Complete 6-11-04 BP

DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **04DRB-00527 ~~(P&F)~~** SBP — Project # **1003370**

Project Name: **ALAMEDA BUSINESS PARK**

Agent: Schlegel Lewis Architects — Phone No.: 247-1529

Project Number 1003370

Your request for (**SDP for SUB**), (**SDP for BP**), (**FINAL PLATS**), (**MASTER DEVELOP. PLAN**), was approved on 4/14/04 by the ~~DRB with~~ delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

☒ TRANSPORTATION: NEED TO EXPAND X-ACCESS EASEMENT ON NORTH DRIVE ENTRANCE TO COVER RADIUS

ok 6-10-04

☐ UTILITIES:

☐ CITY ENGINEER / AMAFCA:

☐ PARKS / CIP:

☐ PLANNING (Last to sign):

☐ **Planning must record this plat. Please submit the following items:**
- -The original plat and a mylar copy for the County Clerk.
- -Tax certificate from the County Treasurer.
- -Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- -Tax printout from the County Assessor.

☒ **Include 3 copies of the approved site plan ~~along with the originals.~~**

☐ **County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**

☐ **Property Management's signature must be obtained prior to Planning Department's signature.**

☐ **AGIS DXF File approval required.**

☐ **Copy of recorded plat for Planning.**

BP

DEVELOPMENT REVIEW BOARD
ACTION SHEET

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 14, 2004 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

****

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.
B. Changes and/or Additions to the Agenda
C. New or Old Business

Adjourned: 11:00 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000662**
   04DRB-00370 Major-Two Year SIA

   TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST request(s) the above action(s) for all or a portion of Tract(s) 3A3A1, **RENAISSANCE CENTER,** zoned SU-1 special use zone FOR IP, located on MISSION BLVD NE, between ALEXANDER BLVD NE and CULTURE DR NE [REF:03DRB-00468, 00469] (F-16) **AN EXTENSION OF THE SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED TO JANUARY 8, 2005.**

2. **Project # 1002593**
04DRB-00372 Major-Vacation of Public Easements
04DRB-00371 Major-Preliminary Plat Approval
04DRB-00373 Minor-Sidewalk Waiver
04DRB-00374 Minor-Temp Defer SDWK

BOHANNAN HUSTON, INC. agent(s) for LAS VENTANAS LTD., PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) 29B & 29D, VENTANA RANCH SUBDIVISION (to be known as **VISTA DE ARENAL, UNIT 3,** zoned R-LT residential zone, located on IRVING BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 14 acre(s). [REF: 03DRB-00624] (B-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/14/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/19/04 THE PRELIMINARY PLAT WAS APPROVED. THE SIDEWALK WAIVER WAS WITHDRAWN AT THE AGENT'S REQUEST. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1003111**
04DRB-00377 Major-Vacation of Public Easements

ISAACSON & ARFMAN, P.A. agent(s) for WINDMILL MANOR PLACE, LLC request(s) the above action(s) for all or a portion of Tract(s) B, **WINDMILL MANOR,** zoned SU-1 PRD, located on DELLYNE AVE NW, between MARIPOSA DR NW and VALLE VISTA DR NW containing approximately 4 acre(s). [REF: Z-95-79, Z-98-57, DRB-96-355, 03DRB-01986, 03DRB-01987, 03DRB-01988, 03DRB-01989] (E-11) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1003112**
04DRB-00259 Major-Vacation of Pub Right-of-Way
04DRB-00258 Major-Preliminary Plat Approval
04DRB-00260 Minor-Temp Defer SDWK

COMMUNITY SCIENCES CORP agent(s) for COLLATZ INC./CLIFFORD CAPITAL FUND INC request(s) the above action(s) for: A TRACT OF LAND SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTIONS 34 AND 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING ALL OF: TRACT D OF LAVA TRAILS SUBDIVISION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 5/16/2002, IN BOOK 2002C, PAGE 172; THE REMAINING "LANDS OF SLOAN" AS THE SAME IS SHOWN AND DESIGNATED ON THE SPECIAL WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 7/27/1945, IN BOOK 220, PAGE 289; THE LANDS OF BOB CARRICO AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 5/15/1972, IN BOOK D918, PAGE 551; THE LANDS OF JOE SAAVEDRA AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 5/10/1964, AS DOC #98133; THE LANDS OF ALBERT GURULE AND THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 2/17/1997, IN BOOK 97-4, PAGE 9000; PAQUIN TRAIL GRANT OF EASEMENT AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 01/14/1955, IN BOOK D302, PAGE 303; THE LANDS OF DUNCAN KIRK/DEBORAH TARPLEY AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 02/01/2002, IN BOOK A31, PAGE 4192 BUT LESS AND EXCEPTING THEREFROM THOSE LANDS GRANTED TO THE CITY OF ALBUQUERQUE IN THAT WARRANTY DEED RECORDED ON JUNE 12, 1992 IN BK. 92-13, PGS. 9944-9948; ALL BEING DESCRIBED MORE FULLY AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT D, LAVA TRAILS SUBDIVISION, A POINT LOCATED ON THE NORTHERLY RIGHT OF WAY LINE OF WESTERN TRAIL N.W. AND RUNNING THENCE N11°45'21"W, 338.72 FEET; THENCE S77°36'56"W, 127.43 FEET; THENCE N35°50'27"W, 123.47 FEET; THENCE N35°50'27"W, 66.00 FEET TO A POINT LOCATED ON THE EASTERLY RIGHT OF WAY LINE OF UNSER BLVD N.W.; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE 652.67 FEET ALONG AN 1178.00 FOOT RADIUS CURVE TO THE LEFT (CENTRAL ANGLE = 31°44'40"; CHORD BEARS N44°22'41" E, 644.35 FEET);THENCE LEAVING SAID EASTERLY RIGHT OF WAY LINE S89°34'22"E, 144.15 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF ATRISCO DRIVE N.W.;THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE S11°45'40"E 793.97 FEET TO A NON-TANGENT POINT OF CURVATURE; THENCE 29.21 FEET ALONG A 50.00 FOOT RADIUS CURVE TO THE RIGHT (CENTRAL ANGLE = 33°28'34"; CHORD BEARS S05°07'51"W, 28.80 FEET); THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES: N56°53'08"W, 11.55 FEET; S33°06'52"W, 21.60 FEET; S56°53'08"E, 11.09 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF WESTERN TRAIL ROAD NW; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY LINE 30.39 FEET ALONG A 50.00 FOOT RADIUS CURVE TO THE RIGHT (CENTRAL ANGLE = 34°49'19"; CHORD BEARS S64°14'04"W, 29.92 FEET TO A POINT OF REVERSE CURVATURE;THENCE CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY LINE 188.62 FEET ALONG A 2683.31 FOOT RADIUS CURVE TO THE LEFT (CENTRAL ANGLE = 04°01'39"; CHORD BEARS S79°37'54"W 188.58 FEET A POINT OF TANGENCY; THENCE S77°37'04"W, 228.57 FEET TO THE POINT OF BEGINNING, AND CONTAINING 9.0545 ACRES, MORE OR LESS, (to be known as **RINCONADA TRAILS SUBDIVISION** (formerly Western Trails Estates), zoned R-D, located on UNSER BLVD NW, between WESTERN TRAILS NW and LEGENDS AVE NW containing approximately 10 acre(s). [REF:SD-80-5, 03DRB-0199. [*Deferred from 3/24/04&4/14/04]* (F-10 & F-11) **DEFERRED AT THE AGENT'S REQUEST TO 6/9/04.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1002123**
04DRB-00532 Minor-SiteDev Plan Subd/EPC
04DRB-00533 Minor-SiteDev Plan BldPermit/EPC
04DRB-00538 Minor-Prelim&Final Plat Approval

QUIKDRAW ENGINEERING LLC agent(s) for PAM & PHIL SHEETS request(s) the above action(s) for all or a portion of Tract(s) 22-A-1 and 22-A-2, **DEL'S HIDE-AWAY-PARK,** zoned C-2 & SU-1 FOR RT, located on SAN CLEMENTE & 4TH STREET NW, between GRIEGOS NW and CANDELARIA NW containing approximately 4 acre(s). [REF: 03EPC-01087, 03EPC-01088, 02EPC-01149] **[Russell Brito, EPC Case Planner]** *[Deferred from 4/14/04]* (G-14) **DEFERRED AT THE AGENT'S REQUEST TO 4/28/04.**

6. **Project # 1003012**
04DRB-00523 Minor-SiteDev Plan BldPermit/EPC

WILLIAM MCCONNELL ARCHITECT agent(s) for TOWER ROAD BAPTIST CHURCH, BILL PADILLA request(s) the above action(s) for all or a portion of Lot(s) 430, TOWER ROAD BAPTIST CHURCH, **TOWN OF ATRISCO GRANT, UNIT 3,** zoned SU-1 special use zone Church Facility, located on 86th STREET SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 2 acre(s). [REF: 03EPC-01675, 03EPC-01796] **[Mary Piscitelli, EPC Case Planner]** *[Deferred from 4/14/04]* (L-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/21/04.**

7. **Project # 1003370**
04DRB-00527 Minor-SiteDev Plan BldPermit

SCHLEGEL LEWIS ARCHITECTS agent(s) for ANNODAM INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Tract(s) 28, **ALAMEDA BUSINESS PARK,** zoned SU-2, IP - EP, located on ALAMEDA PARK DR NE, between ALAMEDA BLVD and PASEO ALAMEDA containing approximately 2 acre(s). (C-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT, NEED TO EXPAND CROSS ACCESS EASEMENT ON NORTH DRIVE ENTRANCE TO COVER RADIUS.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project # 1003291**
04DRB-00528 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for JOSEPH & KATHLEEN COWHAM request(s) the above action(s) for all or a portion of Tract(s) 14, M.R.G.C.D. MAP 35, **LANDS OF COWHAM-BOWEN,** zoned R-LT residential zone, located on RIO GRANDE BLVD NW, between CONTRERAS PL NW and MATTHEW AVE NW containing approximately 2 acre(s). [REF: 04DRB-00322] *[Deferred from 4/14/04]* (H-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/21/04.**

9. **Project # 1001400**
03DRB-01961 Minor-Prelim&Final Plat Approval

RHOMBUS PA INC agent(s) for SORIDA GRIEGO REVOCABLE TRUST, ELSIE CLARK, TTEE, request(s) the above action(s) for all or a portion of Lot(s) 5, Tract(s) 197-b-1-a and 197-b-1-b, MRGCD MAP #35, **SORIDA ADDITION,** zoned RA-2 residential and agricultural zone, located on FLORAL RD NW, between DURANES RD NW and PACHECO LN NW containing approximately 1 acre(s). [REF: 01DRB-01140] *[Preliminary & Final Plat were Indefinitely Deferred from 11/26/03]* (H-12). **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ACCEPTANCE OF WATER TAP PERMIT, SET METER, AGIS DXF APPROVAL AND TRANSPORTATION DEVELOPMENT, NEED 5-FOOT DEDICATION ALONG FLORAL ROAD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

10. **Project # 1002176**
04DRB-00526 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT, BILL WADE request(s) the above action(s) for all or a portion of Tract(s) E-1, NORTH FOUR HILLS, **COVERED WAGON SUBDIVISION,** zoned C-1 (SC), located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). [REF: Z-98-54, 02DRB-01306] (L-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

11. **Project # 1003172**
04DRB-00529 Minor- Sketch Plat or Plan

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Tract(s) 1D, **SEVILLE, UNIT 9,** zoned R-1, located on KAYENTA ST NW, between IRVING BLVD NW and CALABACILLAS ARROYO containing approximately 1 acre(s). (A-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

12. **Project # 1003371**
04DRB-00531 Minor-Sketch Plat or Plan

STEPHEN C. DAY, ARCHITECT agent(s) for DRIVE TIME INC - DAN PACKOWSKI request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 11, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B,** zoned SU-2-M-1, located on SAN MATEO NE and ALAMEDA NE containing approximately 2 acre(s).(C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project # 1003372**
04DRB-00535 Minor-Sketch Plat or Plan

DEKKER/PERICH/SABATINI agent(s) for TIM OTT request(s) the above action(s) for all or a portion of Lot(s) 30-A, Block(s) 11, Unit(s) B, **NORTH ALBUQUERQUE ACRES,** zoned SU-2 FOR M-1, located on ALAMEDA BLVD NE between SAN MATEO BLVD NE and I-25 containing approximately 1 acre(s). [REF: 03DRB-00092, DRB-96-352, S-96-44] (C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. **Project # 1003373**
04DRB-00536 Minor-Sketch Plat or Plan

MARYELLEN HENNESSY agent(s) for ROBERT PALMER, M.D. request(s) the above action(s) for all or a portion of Lot(s) 8, **ALVARADO GARDENS ADDITION UNIT 1,** zoned RA-2, located on RIO GRANDE BLVD NW between CANDELARIA NW and CAMPBELL RD NW containing approximately 2 acre(s). (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project # 1003355**
04DRB-00466 Minor-Sketch Plat or Plan

WAYJOHN SURVEYING, INC. agent(s) for JOSEPH GREVEY request(s) the above action(s) for all or a portion of Lot(s) 162, 163, 164 & 165, **TOWN OF ATRISCO GRANT, AIRPORT UNIT,** zoned C-1 (SC) & C-2, located on COORS BLVD NW, between GLENRIO RD NW and FORTUNA RD NW containing approximately 14 acre(s). *[Was Indefinitely deferred on a no show 4/7/04]*(J-10/J-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. Approval of the Development Review Board Minutes for March 31, 2004. **THE DEVELOPMENT REVIEW BOARD MINUTES DATED MARCH 31, 2004 WERE APPROVED.**

ADJOURNED: 11:00 A.M.

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board/
April 14, 2004
Comments

ITEM# 7

PROJECT # 1003370 **APPLICATION # 04-00527**

RE: Tract 28, Alameda Business Park/SPBP

1. The signature block should be on the site plan sheet rather than the cover sheet. Also, the signature block is not the one currently used. The Front Counter has the new one.

2. The property lines need to be more clearly defined on the landscape plan & site plan sheets. Bolder lines should suffice.

3. Because the rear of the lot backs up against a City park, the fence running across the back falls within the 30 day moratorium on walls & fences which abut a public park. If you submit a design for the fence which meets the proposed zone code amendments on perimeter walls and follow the submittal requirements in terms of number of copies, size of submittal, etc, and this design is approved by myself & Juanita Vigil, a staff planner, your site plan can proceed.

If you will stop in to the One Stop Shop Counter where you submitted this application, I can provide the requirements.

4. The parking space calculations, what's required and what's provided, are required on the site plan sheet.

5. Landscape Plan. Please remove all junipers as they are a high allergen plant. There are several misspelled words on this sheet. The Alameda Business Park Master Plan requires a 10' landscape buffer as a front yard setback. This is lacking.

6. Roof Mounted Equipment. The Alameda Business Park Master Plan states: "Roof equipment screens are to be at least as high as the equipment." The current elevations sheet detail does not conform to hat requirement.

7. Building Mounted Sign. The Master Plan states that this sign shall not exceed 3'6" in dimensional height of any portion of the sign. This note should be placed on the elevations sheet where the building mounted sign appears.

8. Materials of windows, doors & framing are required on the elevations sheet.
9. Both signs must have dimensions and square footage as well as materials & colors.

I will need the corrections made and returned to me by Tuesday at 10am to have time to review them before the DRB hearing.

Sheran Matson AICP DRB Chair
924-3880 fax 924-3864 smatson@cabq.gov

INTERA Inc.
One Park Square
6501 Americas Parkway NE
Suite 820
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

April 13, 2004

Mr. David Abbott
Schlegel Lewis Architects
(Agents for Annodam Investments, LLC)
1620 Central Avenue SE
Albuquerque, NM 87106-4411

Re: Exclusion from *Interim Guidelines* for Alameda Business Park: Tract 28

Dear Mr. Abbott,

INTERA Incorporated (INTERA), in its role as Albuquerque Environmental Health Department (AEHD) landfill gas contractor has conferred with AEHD regarding landfill gas issues related to the development on Tract 28 of the Alameda Business Park. Although the property falls within the landfill buffer of the Los Angeles Landfill, the AEHD has confirmed that an exemption from fulfilling the requirements of the City's "Interim Guidelines for Development Within 1000 Feet of a Landfill" has been granted by the City. The development must, however, be conducted in accordance with all other City requirements.

If you have any questions/comments concerning the above information, please contact Marcia Pincus of AEHD at 505-768-2618.

Sincerely,
INTERA Incorporated

Jim Joseph, P.E.
Engineer

cc: Marcia Pincus, P.E., Environmental Health Department
Kevin Curran, Legal Department
Charles Kolberg, Legal Department
Sheran Matson, Planning Department
Tom Burlison, Planning Department

7

DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

SBP

DRB Application No.: **04DRB-00527 (~~P&F~~)** Project # **1003370**

Project Name: **ALAMEDA BUSINESS PARK**

Agent: Schlegel Lewis Architects Phone No.: 247-1529

Your request for (**~~SDP for SUB~~**), (**SDP for BP**), (**FINAL PLATS**), (**MASTER DEVELOP. PLAN**), was approved on 4/14/04 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

☒ TRANSPORTATION: NEED TO EXPAND X-ACCESS EASEMENT ON NORTH DRIVE ENTRANCE TO COVER RADIUS

☐ UTILITIES:

☐ CITY ENGINEER / AMAFCA:

☐ PARKS / CIP:

☐ PLANNING (Last to sign):

☐ **Planning must record this plat. Please submit the following items:**

-The original plat and a mylar copy for the County Clerk.
-Tax certificate from the County Treasurer.
-Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
-Tax printout from the County Assessor.

☒ **Include 3 copies of the approved site plan ~~along with the originals.~~**

☐ **County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**

☐ **Property Management's signature must be obtained prior to Planning Department's signature.**

☐ **AGIS DXF File approval required.**

☐ **Copy of recorded plat for Planning.**

Project Number 1003370

City of Albuquerque
CITY OF ALBUQUERQUE P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003370 **AGENDA ITEM NO: 7**

SUBJECT:

(01) Sketch Plat/Plan	(05) Site Plan for Subd	(10) Sector Dev Plan
(02) Bulk Land Variance	(06) Site Plan for BP	(11) Grading Plan
(03) Sidewalk Variance	(07) Vacation	(12) SIA Extension
(03a) Sidewalk Deferral	(08) Final Plat	(13) Master Development Plan
(04) Preliminary Plat	(09) Infrastructure List	(14) Other

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ___; WITHDRAWN

SIGNED-OFF: **(SEC-PLN) (SP-SUB) (SP-BP) (FP)** BY: **(UD) (CE) (TRANS) (PKS) (PLNG)**

DELEGATED: **(SEC-PLN) (SP-SUB) (SP-BP) (FP)** TO: **(UD) (CE) (TRANS) (PKS) (PLNG)**

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: April 14, 2004

Schlegel Lewis Architects

4/13/04

Ms. Sheran Matson AICP
DRB Chairperson
City of Albuquerque, Planning Department

re: Project #: 1003370, Application #: 04-00527

Dear Ms. Matson

Please find enclosed the revised site Development Plan for the above mentioned project. I have also included some photos of other buildings in the development that do not screen there roof top mechanical equipment.

Sincerely

David Abbott

a division of **General Design, Inc.**
1620 Central SE • Albuquerque • New Mexico • 87106
(505) 247-1529 • FAX (505) 243-6701

Sheran A. Matson
04/13/04 02:10 PM

To: "James P. Joseph" <jjoseph@intera.com>@PUBCABQ
cc:
cc: <SMatson@cabq.gov>, <MPincus@cabq.gov>
Subject: Re: DRB Agenda

It's Suite 201, 2nd Floor

"James P. Joseph" <jjoseph@intera.com>
04/13/04 12:12 PM

To: <SMatson@cabq.gov>
cc: <MPincus@cabq.gov>
Subject: DRB Agenda

Ms. Matson,

Please be advised that item #7 on the April 14, 2004 DRB agenda (Project # 1003370 – 04DRB-00527) is within the landfill buffer zone of the Los Angeles Landfill. The development, however, has been exempted from the *Interim Guidelines* and can proceed through the development process.

I also had a letter returned that I had sent to you last week. The USPS indicated that I needed a Suite number. Could you please provide a room number, floor, or suite number for this letter and future reference?

Regards,

Jim Joseph

INTERA Inc.

One Park Square

6501 Americas Parkway NE

Suite 820

Albuquerque, NM 87110

505.246.1600 x209

****
*** TX REPORT ***
****

TRANSMISSION OK

TX/RX NO	1190	
CONNECTION TEL		92436701
SUBADDRESS		
CONNECTION ID		
ST. TIME	04/09 15:15	
USAGE T	02'53	
PGS.	3	
RESULT	OK	

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
FAX FORM

TO: David Abbott **FAX #** 243-6701

 # PAGES (INCLUDING COVER SHEET) 3 4/9/04

FROM: Sheran Matson, DRB Chair FAX # 924-3864 PHONE # 924-3880

#1003370

COMMENTS:

Call if you have questions.

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
April 14, 2004
Comments

ITEM# 7

PROJECT # 1003370 **APPLICATION # 04-00527**

RE: Tract 28, Alameda Business Park/SPBP

1. The signature block should be on the site plan sheet rather than the cover sheet. Also, the signature block is not the one currently used. The Front Counter has the new one.

2. The property lines need to be more clearly defined on the landscape plan & site plan sheets. Bolder lines should suffice.

3. Because the rear of the lot backs up against a City park, the fence running across the back falls within the 30 day moratorium on walls & fences which abut a public park. If you submit a design for the fence which meets the proposed zone code amendments on perimeter walls and follow the submittal requirements in terms of number of copies, size of submittal, etc, and this design is approved by myself & Juanita Vigil, a staff planner, your site plan can proceed.

If you will stop in to the One Stop Shop Counter where you submitted this application, I can provide the requirements.

4. The parking space calculations, what's required and what's provided, are required on the site plan sheet.

5. Landscape Plan. Please remove all junipers as they are a high allergen plant. There are several misspelled words on this sheet. The Alameda Business Park Master Plan requires a 10' landscape buffer as a front yard setback. This is lacking.

6. Roof Mounted Equipment. The Alameda Business Park Master Plan states: "Roof equipment screens are to be at least as high as the equipment." The current elevations sheet detail does not conform to hat requirement.

7. Building Mounted Sign. The Master Plan states that this sign shall not exceed 3'6" in dimensional height of any portion of the sign. This note should be placed on the elevations sheet where the building mounted sign appears.

8. Materials of windows, doors & framing are required on the elevations sheet.
9. Both signs must have dimensions and square footage as well as materials & colors.

I will need the corrections made and returned to me by Tuesday at 10am to have time to review them before the DRB hearing.

Sheran Matson AICP DRB Chair
924-3880 fax 924-3864 smatson@cabq.gov

City of Albuquerque

DEVELOPMENT/ PLAN REVIEW APPLICATION

	Supplemental form
SUBDIVISION	**S**
____ Major Subdivision action	
____ Minor Subdivision action	
____ Vacation	**V**
____ Variance (Non-Zoning)	
SITE DEVELOPMENT PLAN	**P**
____ ...for Subdivision Purposes	
X ...for Building Permit	
____ IP Master Development Plan	
____ Cert. of Appropriateness (LUCC)	**L**

	Supplemental form
ZONING & PLANNING	**Z**
____ Annexation	
____ County Submittal	
____ EPC Submittal	
____ Zone Map Amendment (Establish or Change Zoning)	
____ Sector Plan (Phase I, II, III)	
____ Amendment to Sector, Area, Facility or Comprehensive Plan	
____ Text Amendment (Zoning Code/Sub Regs)	
APPEAL / PROTEST of...	**A**
____ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: ANNODAM INVESTMENTS, LLC PHONE: 821-6333

ADDRESS: P. O. BOX 95050 FAX: 821-2003

CITY: ALBUQUERQUE STATE NM ZIP 87199 E-MAIL:

Proprietary interest in site: List all owners:

AGENT (if any): SCHLEGEL LEWIS ARCHITECTS PHONE: 247-1529

ADDRESS: 1620 CENTRAL SE FAX: 243-6701

CITY: ALBUQUERQUE STATE NM ZIP 87106 E-MAIL: GDI@MAC.COM

DESCRIPTION OF REQUEST: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR A WAREHOUSE PROJECT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. X No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 28 Block: — Unit: —

Subdiv. / Addn. ALAMEDA BUSINESS PARK

Current Zoning: SU-2 IP-EP Proposed zoning: SAME

Zone Atlas page(s): C-16 No. of **existing** lots: 1 No. of **proposed** lots: 1

Total area of site (acres): 1.92 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A

Within city limits? X Yes. No___, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? YES

UPC No. MRGCD Map No.

LOCATION OF PROPERTY BY STREETS: On or Near: ALAMEDA PARK DRIVE NE

Between: ALAMEDA BLVD and PASEO ALAMEDA

CASE HISTORY:

List **any** current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_,Z_, V_, S_, etc.):

Check-off if project was previously reviewed by Sketch Plat/Plan ☐, or Pre-application Review Team ☐. Date of review:

SIGNATURE DATE 4/5/04

(Print) DAVID ABBOTT ___ Applicant ___ Agent

FOR OFFICIAL USE ONLY Form revised 9/01, 3/03, 7/03, 10/03, 3/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
☑ All checklists are complete	04DRB - - 00527	SDP		$ 385.00
☑ All fees have been collected	- -	CMF		$ 20.00
☑ All case #s are assigned	- -			$
☑ AGIS copy has been sent	- -			$
☑ Case history #s are listed	- -			$
☑ Site is within 1000ft of a landfill				Total
☑ F.H.D.P. density bonus	Hearing date April 14, 2004			$ 405.00
☑ F.H.D.P. fee rebate				

4-6-04

Planner signature / date

Project # 1003370

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

☐ SKETCH PLAN REVIEW AND COMMENT

__ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
__ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
__ Letter briefly describing, explaining, and justifying the request
__ Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

☐ SITE DEVELOPMENT PLAN FOR SUBDIVISION

__ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
__ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
__ Letter briefly describing, explaining, and justifying the request
__ Letter of authorization from the property owner if application is submitted by an agent
__ Copy of the document delegating approval authority to the DRB
__ Infrastructure List, if relevant to the site plan
__ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
__ Fee (see schedule)
__ Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

☒ SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

✓ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
✓ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
✓ Solid Waste Management Department signature on Site Plan
✓ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
✓ Letter briefly describing, explaining, and justifying the request
✓ Letter of authorization from the property owner if application is submitted by an agent
✓ Copy of the document delegating approval authority to the DRB
N/A Infrastructure List, if relevant to the site plan
✓ Completed Site Plan for Building Permit Checklist
✓ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
✓ Blue-line copy of Site Plan with Fire Marshal's stamp
✓ Fee (see schedule)
✓ Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

☐ AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

☐ AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

__ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
__ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
__ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
__ Letter briefly describing, explaining, and justifying the request
__ Letter of authorization from the property owner if application is submitted by an agent
__ Infrastructure List, if relevant to the site plan
__ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
__ Fee (see schedule)
__ Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

☐ D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

☐ D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

__ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
__ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
__ Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
__ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
__ Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
__ Infrastructure List, if relevant to the site plan
__ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
__ Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
__ Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DAVID ABBOTT
Applicant name (print)

Applicant signature / date

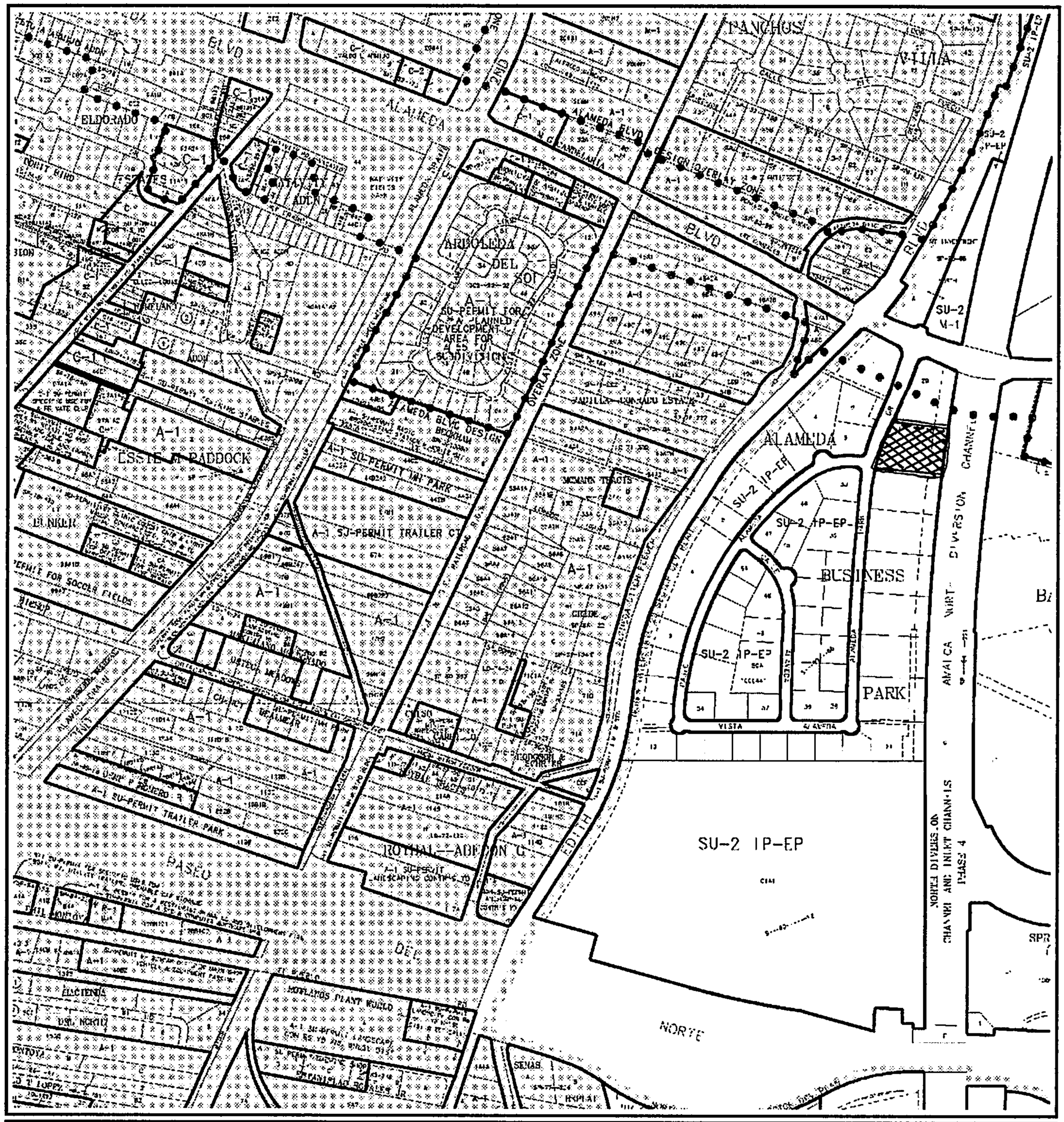
Form revised September 2001

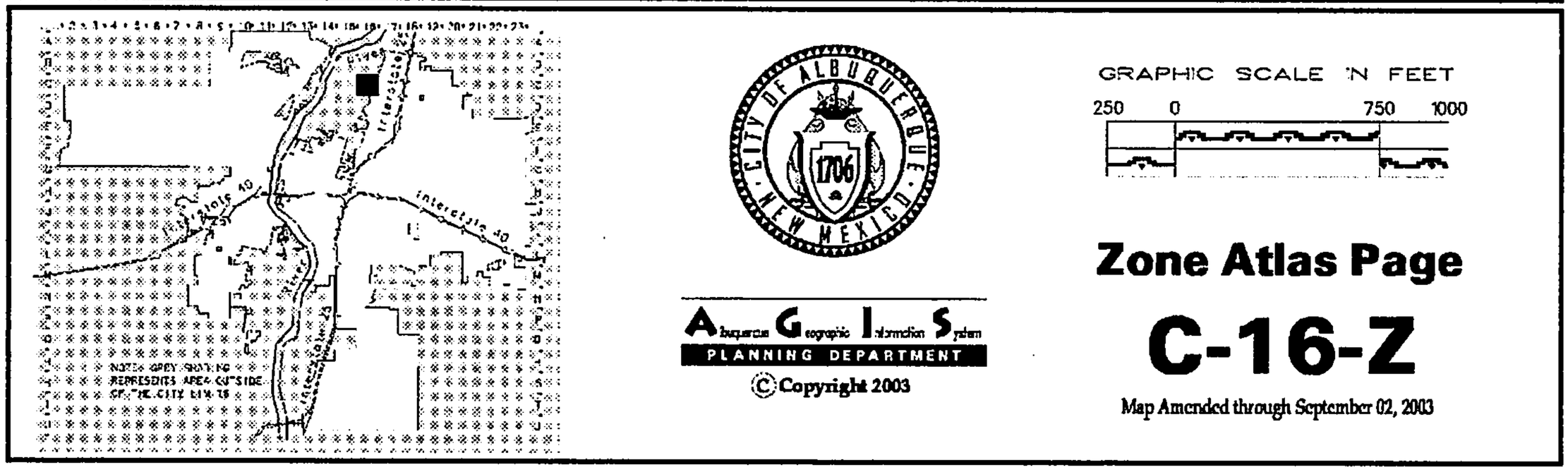
☑ Checklists complete
☑ Fees collected
☑ Case #s assigned
☑ Related #s listed

Application case numbers
OHDRB - - 00527
- -
- -

Luis Duranceau 4-6-04
Planner signature / date

Project # 1003370





GRAPHIC SCALE IN FEET

250 0 750 1000

Albuquerque Geographic Information System

PLANNING DEPARTMENT

Zone Atlas Page

C-16-Z

Map Amended through September 02, 2003

Schlegel Lewis Architects

4/5/04

Design Review Board
City of Albuquerque Planning Department

re: 8700 Alameda Park Warehouse

The proposed project is a warehouse building located in an existing industrial park development.

We feel that approving this project is justified because this building is similar to existing buildings within the the development, both in character and use and meets the requirements of the master Site Development Plan.

Sincerely

David Abbott

a division of General Design, Inc.
1620 Central SE • Albuquerque • New Mexico • 87106
(505) 247-1529 • FAX (505) 243-6701

CHESHLINE INVESTMENTS, LLC
8324 Washington St. NE
Albuquerque, NM, 87113
Phone (505) 345-4156

March 30, 2004

Dear Sir or Madam:

Schlegel Lewis Architects is hereby authorized to act as my agent for pursuing a Site Development Plan approval for Building Permit from the City of Albuquerque for a new Commercial Warehouse/ Office Building at 8700 Alameda Park NE, Lot #28, of the Alameda Business Park.

Sincerely,

Keith Cheshire, Managing Member

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT *CHECKLIST*

Revised: 3/1/2004

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

4/5/04

Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

✓ A. 8-1/2" x 11" reduction for each plan sheet.

✓ B. **Written project summary**. Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

✓ 1. Date of drawing and/or last revision

✓ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'.
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*

✓ 3. Bar scale

✓ 4. North arrow

✓ 5. Scaled vicinity map

✓ 6. Existing structures on the site and within 20 feet of the site boundaries

✓ 7. Property lines (clearly identify)

✓ 8. Existing and proposed easements (identify each)

B. Proposed Development

1. Structural

✓ A. Location of existing and proposed structures (distinguish between existing & proposed)
✓ B. Square footage of each structure
✓ C. Proposed use of each structure
N/A D. Temporary structures, signs and other improvements
✓ E. Walls, fences, and screening: indicate height, length, color and materials
✓ F. Dimensions of all principal site elements or typical dimensions thereof
✓ G. Loading facilities
✓ H. Site lighting (indicate height & fixture type)
✓ I. Indicate structures within 20 feet of site
✓ J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

✓ A. Parking layout with spaces numbered per aisle and totaled.
✓ 1. **Location and typical dimensions**, including handicapped spaces
___ 2. **Calculations:** spaces required: 43 provided: 49
Handicapped spaces required: 3 provided: 3

✓ B. Bicycle parking & facilities
✓ 1. Bicycle racks, spaces required: 3
provided: 3
N/A 2. Other bicycle facilities, if applicable

✓ C. Vehicular Circulation (Refer to Chapter 23 of DPM)
✓ 1. Ingress and egress locations, including width and curve radii dimensions
✓ 2. Drive aisle locations, including width and curve radii dimensions
N/A 3. End aisle locations, including width and curve radii dimensions
✓ 4. Location & orientation of refuse enclosure, with dimensions
✓ 5. Curb cut locations and dimensions

✓ D. Pedestrian Circulation
✓ 1. Location and dimensions of all sidewalks and pedestrian paths
N/A 2. Location and dimension of drive aisle crossings, including paving treatment
N/A 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

✓ A. Locate and identify adjacent public and private streets and alleys.
✓ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
N/A 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
N/A 3. Location of traffic signs and signals related to the functioning of the proposal
✓ 4. Identify existing and proposed medians and median cuts
✓ 5. Sidewalk widths and locations, existing and proposed

✓ B. Identify Alternate transportation facilities within site or adjacent to site
N/A 1. Bikeways and bike-related facilities

✓ 2. Pedestrian trails and linkages
N/A 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

✓ 1. Fire hydrant locations, existing and proposed.
✓ 2. Distribution lines
✓ 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
✓ 4. Existing water, sewer, storm drainage facilities (public and/or private).
✓ 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

✓ 1. Scale - must be same as scale on sheet #1 - Site plan
✓ 2. Bar Scale
✓ 3. North Arrow
✓ 4. Property Lines
✓ 5. Existing and proposed easements
✓ 6. Identify nature of ground cover materials
  ✓ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  ✓ B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  N/A C. Ponding areas either for drainage or landscaping/recreational use
✓ 7. Identify type, location and size of plantings (common and/or botanical names).
  ✓ A. Existing, indicating whether it is to preserved or removed.
  ✓ B. Proposed, to be established for general landscaping.
  ✓ C. Proposed, to be established for screening/buffering.
✓ 8. Describe irrigation system
✓ 9. Planting Beds, indicating square footage of each bed
✓ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
✓ 11. Responsibility for Maintenance (statement)
✓ 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
✓ 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
✓ 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 –PRELIMINARY GRADING PLAN –

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT *CHECKLIST*

Revised: 3/1/2004

A. General Information

✓ 1. Scale - must be same as Sheet #1 - Site Plan
✓ 2. Bar Scale
✓ 3. North Arrow
✓ 4. Property Lines
✓ 5. Existing and proposed easements
✓ 6. Building footprints
✓ 7. Location of Retaining walls

B. Grading Information

✓ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
✓ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
N/A 3. Identify ponding areas, erosion and sediment control facilities.
N/A 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

✓ A. Scale (minimum of 1/8" or as approved by Planning Staff).
✓ B. Bar Scale
✓ C. Detailed Building Elevations for each facade
✓ 1. Identify facade orientation
✓ 2. Dimensions of facade elements, including overall height and width
✓ 3. Location, material and colors of windows, doors and framing
✓ 4. Materials and colors of all building elements and structures

N/A E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

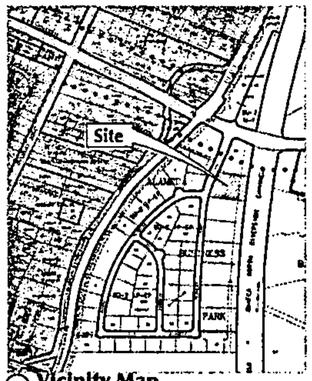
✓ 1. Site location(s)
✓ 2. Sign elevations to scale
✓ 3. Dimensions, including height and width
✓ 4. Sign face area - dimensions and square footage clearly indicated
✓ 5. Lighting
✓ 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

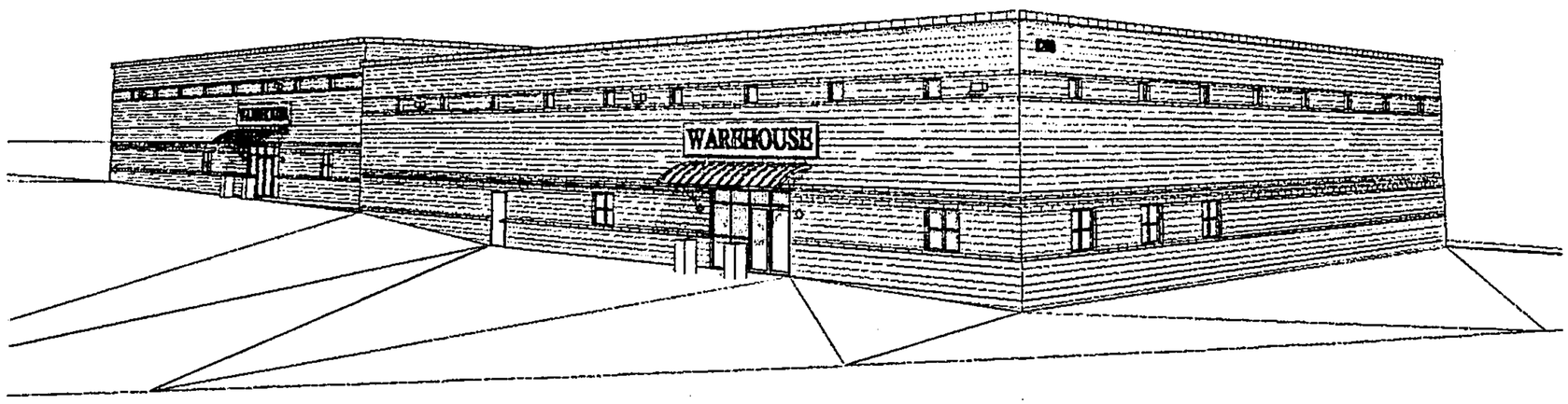
8700 Alameda Park Warehouse

8700 Alameda Park Drive NE • Albuquerque, New Mexico

Ⓐ **Project Title**



Ⓑ **Vicinity Map**



Ⓝ **Prospective**

PROJECT ADDRESS:
8700 Alameda Park Drive NE,
Albuquerque, NM 87113
(Alameda Blvd. and Alameda Park Dr.)

LEGAL DESCRIPTION
LOT: 28
SUBDIVISION: Alameda Business Park

LAND USE: SU-2 IP-EP

ZONE ATLAS PAGE: C-16-Z

PARKING:
Required: 43 spaces
(Assume 30% office, 70% warehouse)
(Office: 6747/200=34)
(Warehouse: 17542/2000=9)
Provided:
Standard Spaces 46 Spaces
HC Space 3 Spaces
Total 49 Spaces

BICYCLE PARKING: TRACT 3E-1
Required: 1 space/20 parking spaces
49 spaces/20 = 3 spaces

LANDSCAPE CALCULATIONS:
See sheet SDP-4 for landscape plan.

SITE AREA: 83,635 SF (1.92 Acres)

Ⓢ **Legal Information**

Ⓣ **Detail Not Used**

Ⓤ **Detail Not Used**

Ⓥ **Detail Not Used**

Ⓦ **Project Team**

OWNER

Annodam Investments, LLC
P.O. Box 95050
Albuquerque, NM 87199
(505)821-6333, Fax: (505) 821-2003
E-mail: tony@nmframer.com
Contact: Tony Pisto

CIVIL ENGINEER

D. Mark Goodwin and Associates, P.A.
P.O. Box 90606
Albuquerque, NM 87199
(505) 828-2200, Fax: (505) 797-9539
E-mail: dmg@swcp.com
Contact: Mark Goodwin

ARCHITECT

Schlegel Lewis Architects
1620 Central Ave. SE
Albuquerque, NM 87106
(505) 247-1529, Fax: (505) 243-6701
E-mail: gdl@mac.com
Contact: James Lewis

LANDSCAPE

The Hilltop
7909 Edith NE
Albuquerque, NM 87184
(505) 898-9690, Fax: (505) 898-7737
E-mail: cmd@hilltoplandscaping.com
Contact: Carrie Denton

Ⓨ **Sheet Index**

PROJECT NUMBER:
EPC APPLICATION NUMBER:
Site Development Plan for Building Permit

Traffic Engineer, TRANSPORTATION DEPT Date

PARKS & RECREATION DEPT. Date

UTILITY DEVELOPMENT DEPT Date

City Engineer, ENGINEERING DIV/AMAFCA Date
Michael Holtz 4-5-04
SOLID WASTE DEPT. Date

APPROVAL AND CONDITIONAL ACCEPTANCE: As specified by the Development Process Manual.

City Planner Date
ALBUQUERQUE PLANNING DEPARTMENT

Ⓩ **Approvals**

STATE OF NEW MEXICO
James C Lewis
No. 97
REGISTERED ARCHITECT

ENGINEER

Schlegel Lewis Architecture
1620 Central Ave. SE
Albuquerque, NM 87106
(505) 247-1529
FAX (505) 243-6701
gdl@mac.com

Site Development Plan for Building Permit

8700 Alameda Park Warehouse

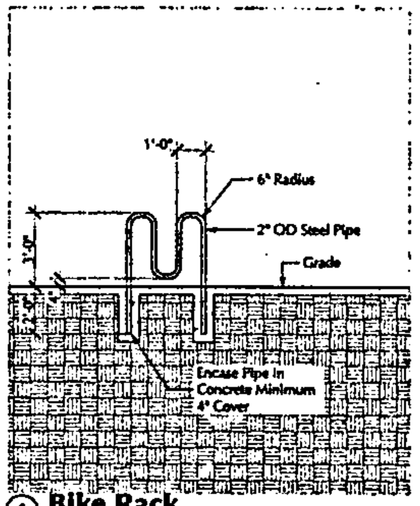
8700 Alameda Park Drive NE
Albuquerque New Mexico 87113

ISSUE DATE:
01 April 2004
REVISIONS:

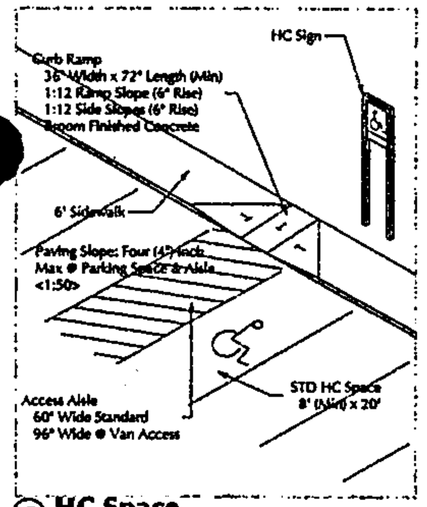
Cover Sheet

PROJECT 0406

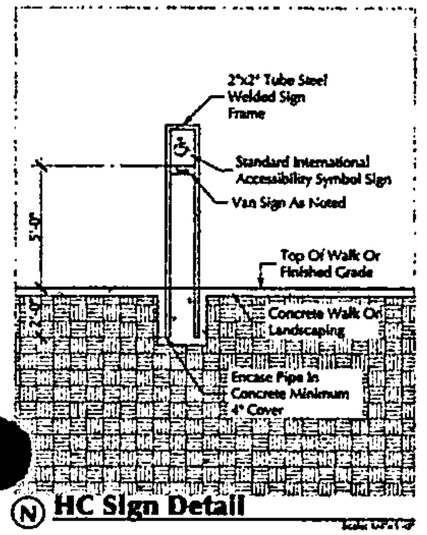
SHEET **SDP-1** OF 5



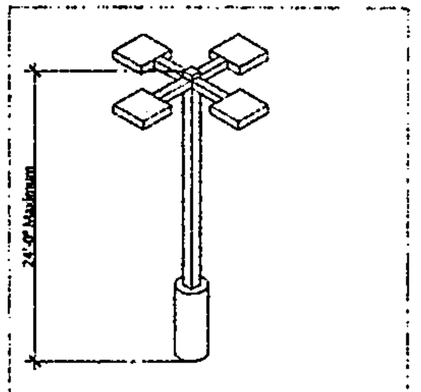
A Bike Rack



G HC Space

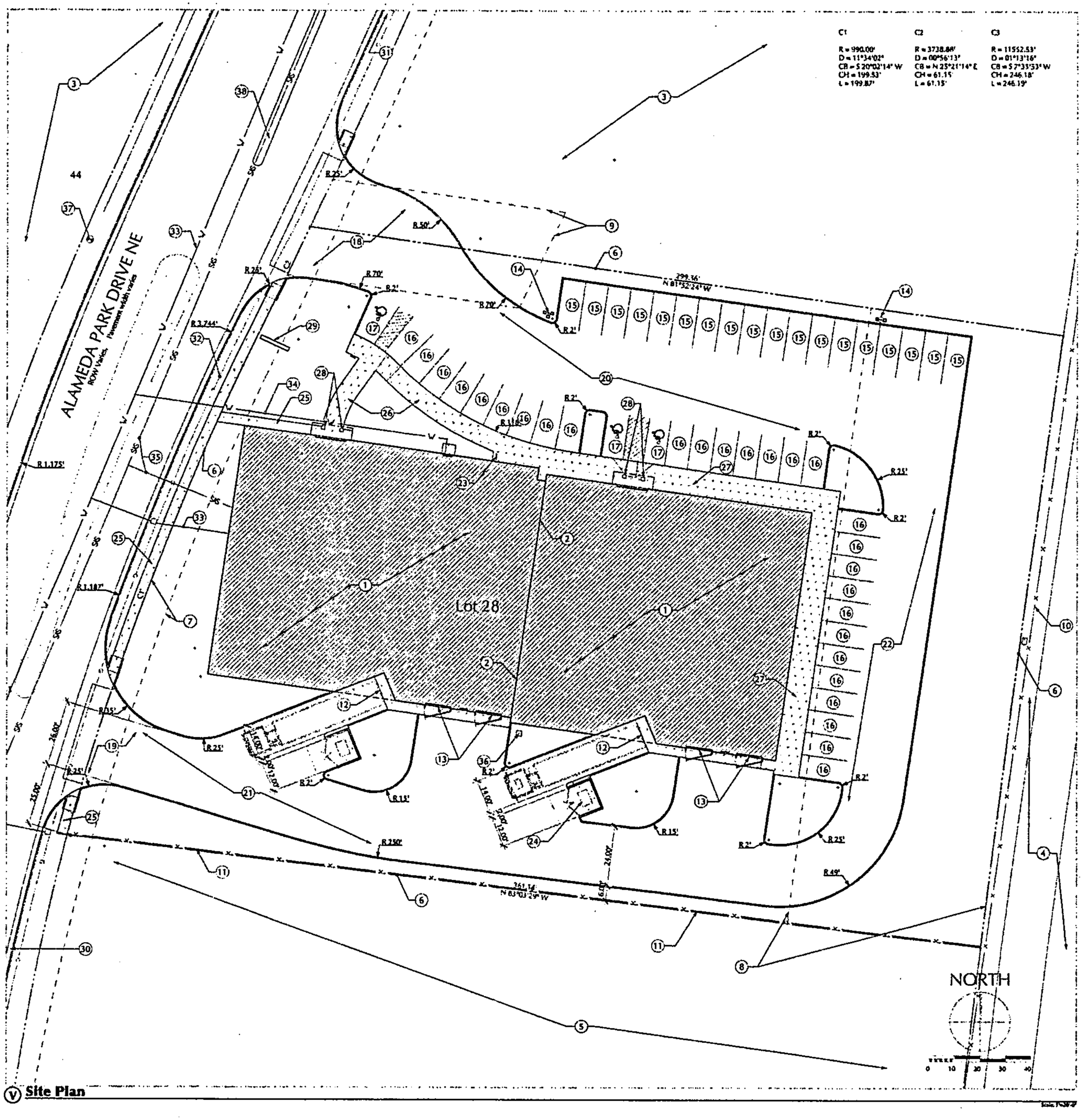


N HC Sign Detail

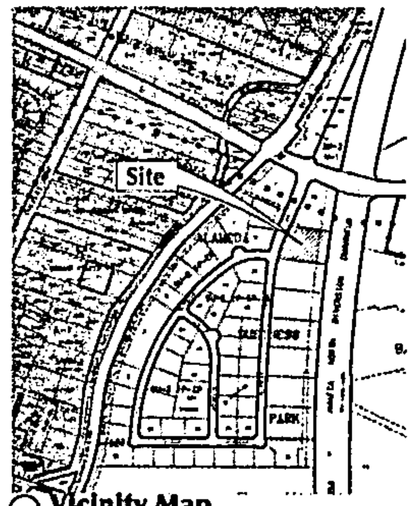


Number Of Light Fixtures On Pole Varies. See Site Plan. All parking lot lighting shall be high pressure sodium shoebox full cutoff type fixtures. Light Fixtures Shall Be Fully Horizontal Lamps So That No Fugitive Light Shall Escape Beyond The Property Line.

T Light Pole Detail



V Site Plan



Vicinity Map

1 Proposed 22518 square foot warehouse, sales/display building

2 Area separation wall (divides building into two buildings)

3 Vacant land

4 AMAFCA North Diversion Channel

5 COA ball fields (under construction)

6 Property line- typical

7 Existing 10' Public utility easement

8 Existing 76.64' flowage easement

9 Existing private common access easement for lots 28 & 29

10 Existing chain link fence

11 6' high chain link fence

12 Loading Dock

13 Overhead door with security gate

14 Site lighting fixture, see detail "T" on this sheet.

15 Typical parking space 9'x 20' (8'-6" minimum)

16 Typical parking space at sidewalk 9'x 20' (18' + 2' overhang) (8'-6" minimum)

17 Typical HC parking space 8'-6" x 20' (18' + 2' overhang)

18 Proposed 40' wide common driveway. Construct per COA standards.

19 Proposed 26' wide private driveway. Construct per COA standards.

20 30' wide drive aisle (asphalt paving)

21 26' wide drive aisle (asphalt paving)

22 24' wide drive aisle (asphalt paving)

23 Bicycle rack with 3 spaces minimum.

24 Refuse enclosure, see detail "W" on sheet SDP-5 for elevations.

25 Proposed 4' wide concrete sidewalk

26 8' Wide concrete sidewalk

27 10' Wide concrete sidewalk

28 Security bollards

29 Monument sign, see detail "Y" on sheet SDP-5

30 Existing fire hydrant located across the street at corner of Alameda Park and Paseo Alameda. Approximately 90' southwest of the southwest property corner.

31 Existing fire hydrant located approximately 110' north of the northwest property corner

32 Natural gas line

33 Water line

34 Fire protection line

35 Sanitary sewer line

36 Electrical transformer location

37 Location of person for roof screen detail, detail "T" on sheet SDP-5

38 Existing street median

Keyed Notes

STATE OF NEW MEXICO
James C Lewis
No. 6778
REGISTERED ARCHITECT

ENGINEER

Schlegel Lewis Architecture
1620 Central Ave SE
Albuquerque NM 87106
(505) 247-1529
FAX (505) 243-6701
gsdinc.com

Site Development Plan for Building Permit

8700 Alameda Park Warehouse

8700 Alameda Park Drive NE
Albuquerque New Mexico 87113

ISSUE DATE:
01 April 2004

REVISIONS:

Site Plan

PROJECT 0406

SHEET **SDP-2** OF 5

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

1-1/2" santa Ana tan Gravel over filter fabric shall be placed in all landscape areas which are not designed to receive seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emiters and Shrubs to receive (2) 1.0 GPH Drip Emiters. Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

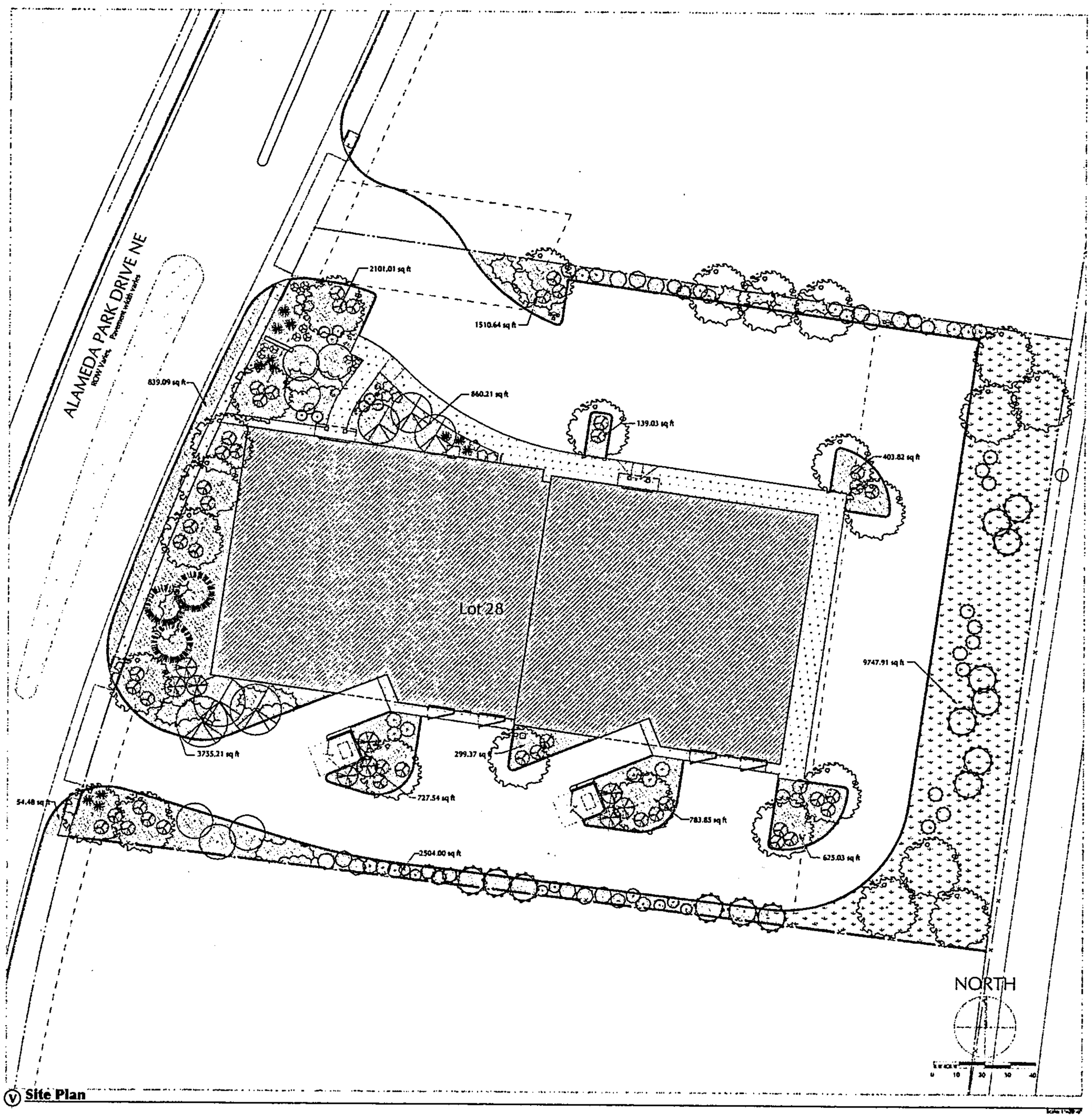
Irrigation maintenance shall be the responsibility of the Property Owner.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

Landscape Notes

Detail Not Used

Detail Not Used



Site Plan

Total Lot Area:	83,648 sf
Total Building Area:	22,518 sf
Net lot Area:	61,130 sf
Landscaping Requirment:	15%
Landscap Requirment (15%):	9,170 sf
Total Bed Provided:	14,602 sf
Groungcover Requirment:	75%
Total Groungcover Requirment:	10,951 sf
Total Groungcover Provided:	11609 sf
Total Sod Provided:	0 sf
Total Native Seed Provided:	7947 sf
Total Landscap Provided:	24,350 sf (40%)

landscape Calculations

ARIZONA ASH (H) 26
Fraxinus velutina
2" Cal.

AUSTRIAN PINE (H) 3
Pinus nigra
6'-8"

DESERT WILLOW (L) 14
Chilopsis linearis
15 Gallon

CHINESE PISTACHE 6
Pistachia chinensis
2" Cal.

SILVERBERRY (M) 9
Elaeagnus pungens
5 Gallon 100sf

LEYLANDII CYPRESS (M) 6
Cupressocyparis leylandii
15 Gallon

FOUR WING SALTBUSH 25
Atriplex canescens
5 Gallon

THREE-LEAF SUMAC (L) 18
Rhus trilobata
5 Gallon 36 square feet

RED YUCCA (L) 12
Hesperaloe parviflora
5 Gallon

RUSSIAN SAGE (M) 16
Perovskia atriplicifolia
5 Gallon

BUFFALO JUNIPER / GREYLEAF COTONEASTER 24
Juniperus sabina/
Cotoneaster buxifolius
5 Gallon
(Symbol indicates 3 plants)

APACHE PLUME (L) 12
Fallugia paradoxa
5 Gallon 25 square feet

POTENTILLA (M) 9
Potentilla fruticosa
2 Gallon

HONEYSUCKLE (M) 37
Lonicera sempervirens
1 Gallon 200sf
Unstaked-Groundcover

WILDFLOWER 36
1 Gallon 4sf

Boulders

1-1/2" Santa ana tan gravel with filter fabric

Crimp straw / native seed

Commercial grade steel edging

landscape Legend

STATE OF NEW MEXICO
James C Lewis
No. 97
REGISTERED ARCHITECT

ENGINEER

Schlegel Lewis Architects
1620 Central Ave. SE
Albuquerque NM 87106
(505) 247-1529
FAX (505) 243-6091

Site Development Plan for Building Permit

8700 Alameda Park Warehouse

8700 Alameda Park Drive NE
Albuquerque New Mexico 87113

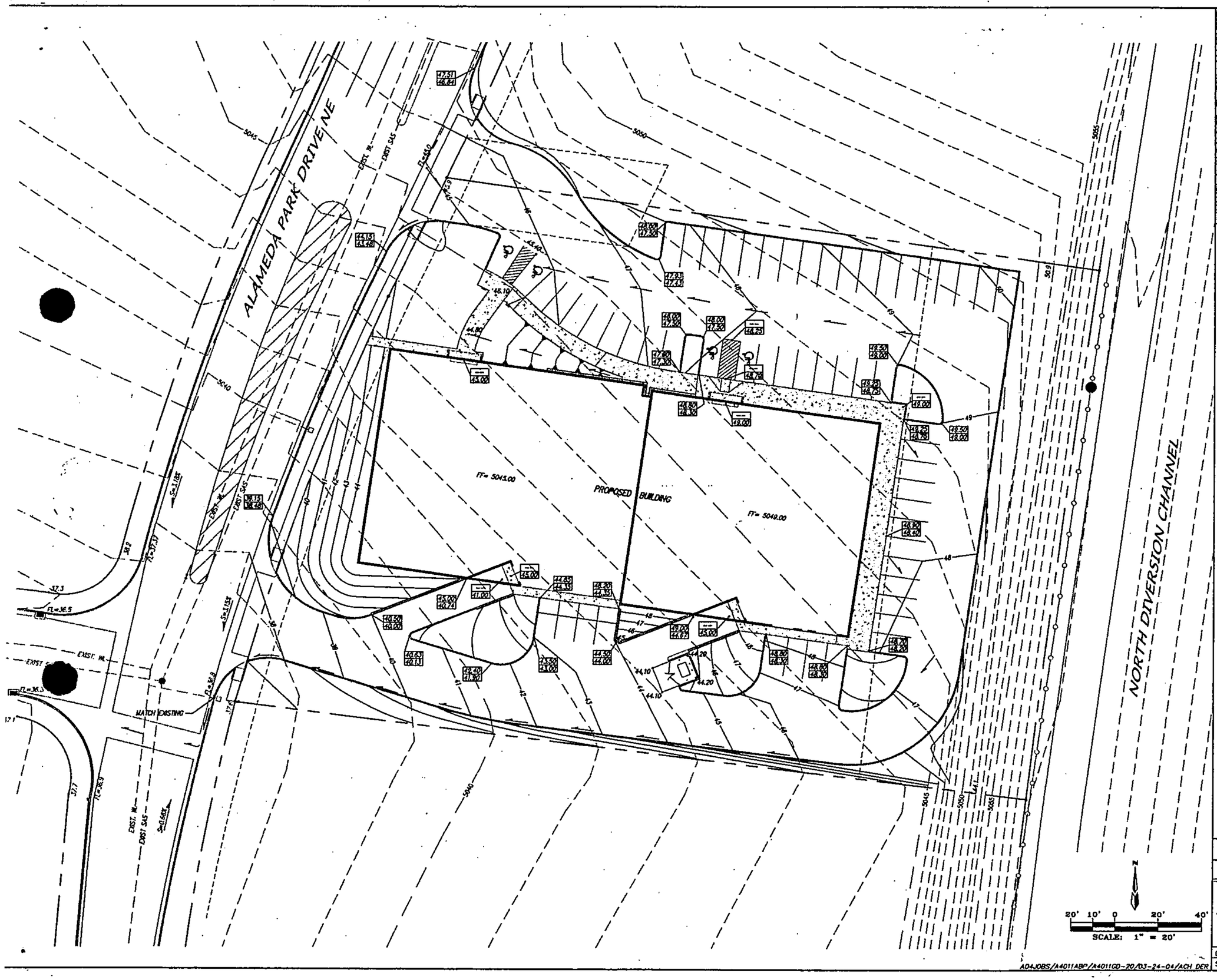
ISSUE DATE:
01 April 2004

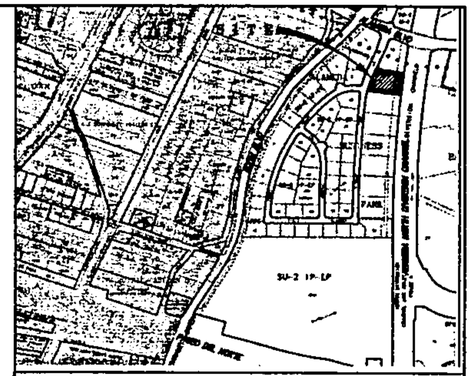
REVISIONS:

Landscping Plan

PROJECT 0406

SHEET **SDP-3** OF 5





VICINITY MAP ZONE MAP: C-16-Z

ACS BENCHMARK

BENCHMARK FOR THIS PROJECT IS AN AMAFCA BRASS TABLET STAMPED "NDC7-182", SET ON CONCRETE POST PROJECTING 0.3 FEET ABOVE GROUND LOCATED SOUTH OF THE RICHFIELD ROAD BRIDGE OVER THE AMAFCA NORTH DIVERSION CHANNEL. X= 383,931.78, Y= 1,520,664.05 (NAD 1927). ELEVATION= 5,064.4 (SLD 1929)

LEGAL DESCRIPTION

LOT 28, ALAMEDA BUSINESS PARK, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LEGEND

5064	EXISTING CONTOUR MINOR
5065	EXISTING CONTOUR MAJOR
	EXISTING CURB & GUTTER
	EXISTING INLET
	EXISTING SANITARY SEWER LINE
EXIST SAS	EXISTING SANITARY SEWER MANHOLE
EXIST WL	EXISTING WATERLINE
	EXISTING GATE VALVE
	EXISTING WATER SERVICE METER
	EXISTING FENCE
FL=36.8	EXISTING FLOWLINE ELEVATION
37.6	EXISTING SPOT ELEVATION
48	PROPOSED CONTOUR LINE
	PROPOSED RETAINING WALL/WALL
85.00	PROPOSED SPOT ELEVATION
48.80 / 48.30	PROPOSED TOP CURB ELEVATION / PROPOSED FLOWLINE ELEVATION

8700 ALAMEDA PARK WAREHOUSE

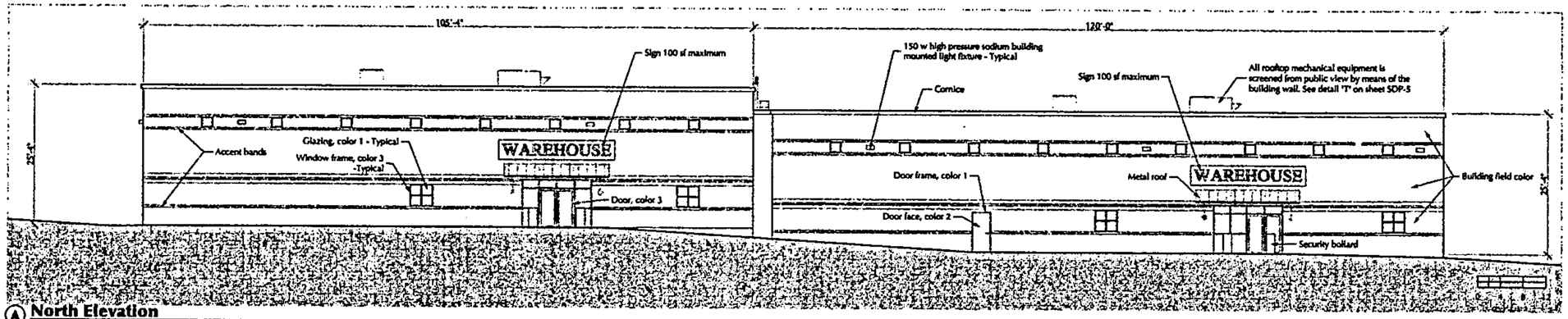
GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JSD	Drawn: DER	Checked: DMG	Sheet 1 of 1
Scale: 1" = 20'	Date: 03-24-04	Job: A04011	

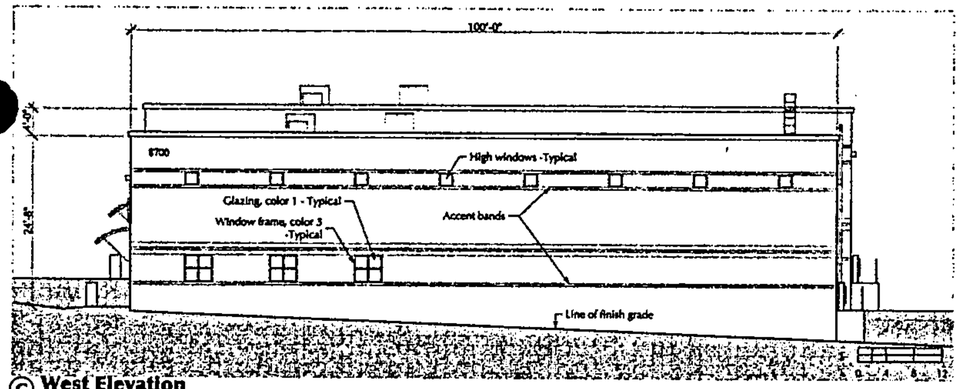
A04JOBS/A4011ABP/A4011GD-20/03-24-04/ACH DER

SDP-4



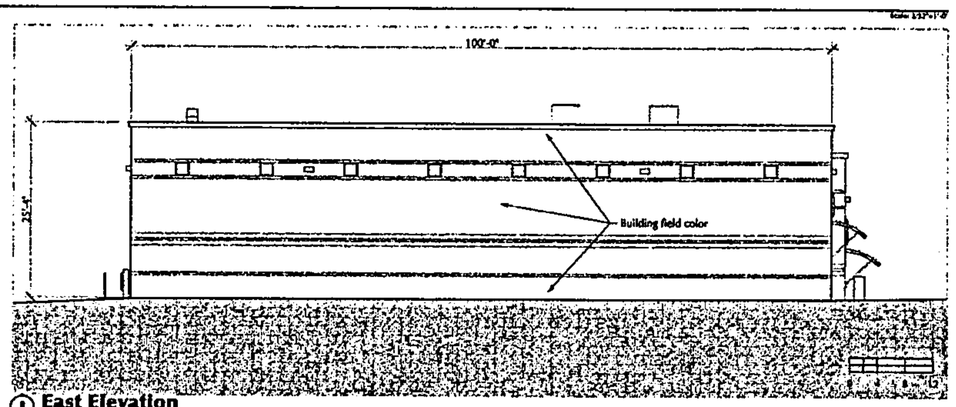
Ⓐ North Elevation

Scale: 1/32"=1'-0"



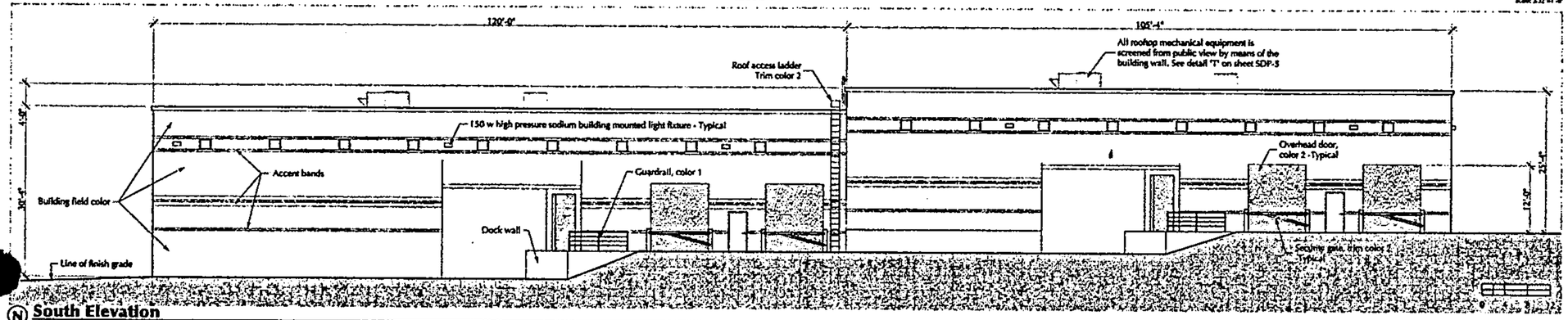
Ⓒ West Elevation

Scale: 1/32"=1'-0"



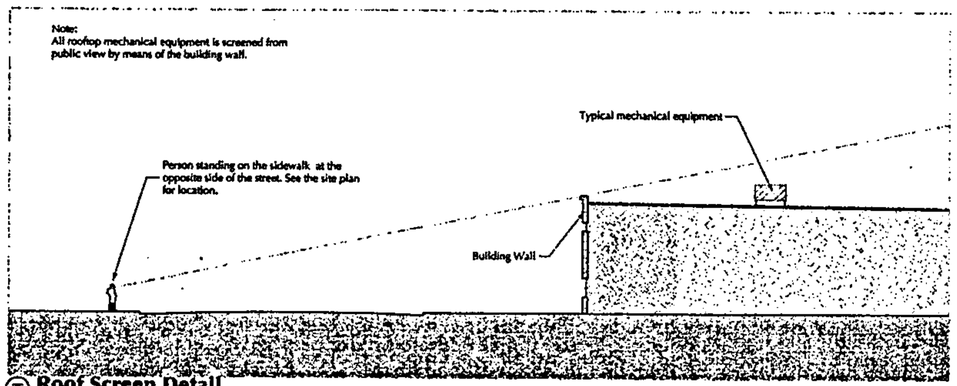
Ⓙ East Elevation

Scale: 1/32"=1'-0"



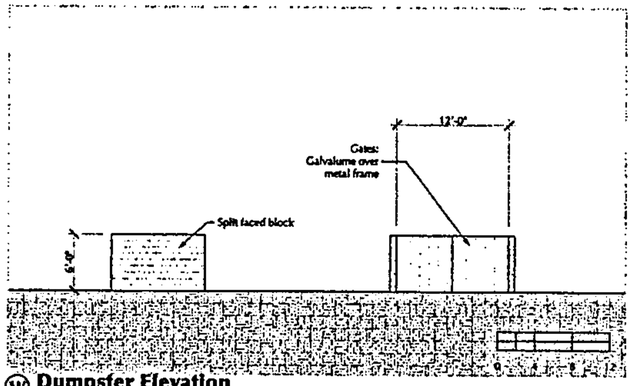
Ⓝ South Elevation

Scale: 1/32"=1'-0"



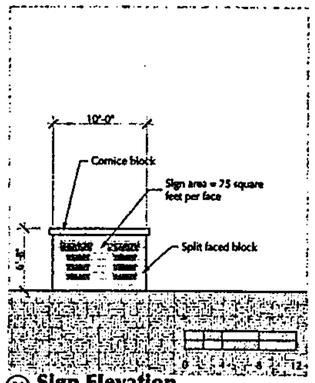
Ⓣ Roof Screen Detail

Scale: 1/16"=1'-0"



Ⓦ Dumpster Elevation

Scale: 1/8"=1'-0"



Ⓨ Sign Elevation

Scale: 1/8"=1'-0"

Ⓧ Detail Not Used

Ⓧ Detail Not Used

BUILDING MATERIALS

Building field:	Tan split-face block
Accent bands:	Smooth gray block
Cornice:	Smooth gray block
Dock wall:	Gray concrete

PAINTED TRIM

Color 1:	Light gray
Color 2:	Dark gray

DOORS & WINDOWS

Color 1:	Light grey
Color 2:	Dark gray
Color 3:	Clear Aluminum

GLAZING

Color 1:	Tinted gray

METAL ROOFING

Color 1:	Light gray galvalume

SIGNAGE

Illuminated channel letters or
Internally illuminated light box

Ⓩ Colors and Finishes

STATE OF NEW MEXICO James C Lewis REGISTERED ARCHITECT

ENGINEER

Schlegel Lewis Architects, Inc.
1620 Central Ave SE
Albuquerque NM 87106
(505) 247-1329
FAX (505) 243-6701

Site Development Plan for Building Permit

8700 Alameda Park Warehouse

8700 Alameda Park Drive NE
Albuquerque New Mexico 87113

ISSUE DATE:
01 April 2004

REVISIONS:

Elevations

PROJECT 0406

SHEET **SDP-5** OF 5

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Annodam Investments LLC

AGENT SCHLEGEL LEWIS ARCHITECTS

ADDRESS 1620 CENTRAL SE 247 1529

PROJECT & APP # 1003370

PROJECT NAME 8700 ALAMEDA PARK WAREHOUSE

$ 20.00 469099/4916000 Conflict Management Fee

$ 385.00 441006/4983000 DRB Actions

$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

$ _____ 441018/4971000 Public Notification

$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
( )Major/Minor Subdivision ( )Site Development Plan ( )Bldg Permit
( ) Letter of Map Revision ( )Conditional Letter of Map Revision
( ) Traffic Impact Study

$ 405.00 TOTAL AMOUNT DUE

****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an*

3052

SCHLEGEL LEWIS ARCHITECTS
A DIVISION OF GENERAL DESIGN
1620 CENTRAL AVE SE
ALBUQUERQUE, NM 87106
PH. (505) 247-1529

BANK OF ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
95-660-1070

4-5-04

PAY TO THE ORDER OF City of ALBQ $ 405.00

FOUR HUNDRED FIVE and no/100 DOLLARS

MEMO

⑆000052⑈ ⑆107006606⑆ 7827 0315

Security Features Included. Details on back.

DELUXE BUSINESS FORMS 1+800-328-0304 www.deluxeforms.com

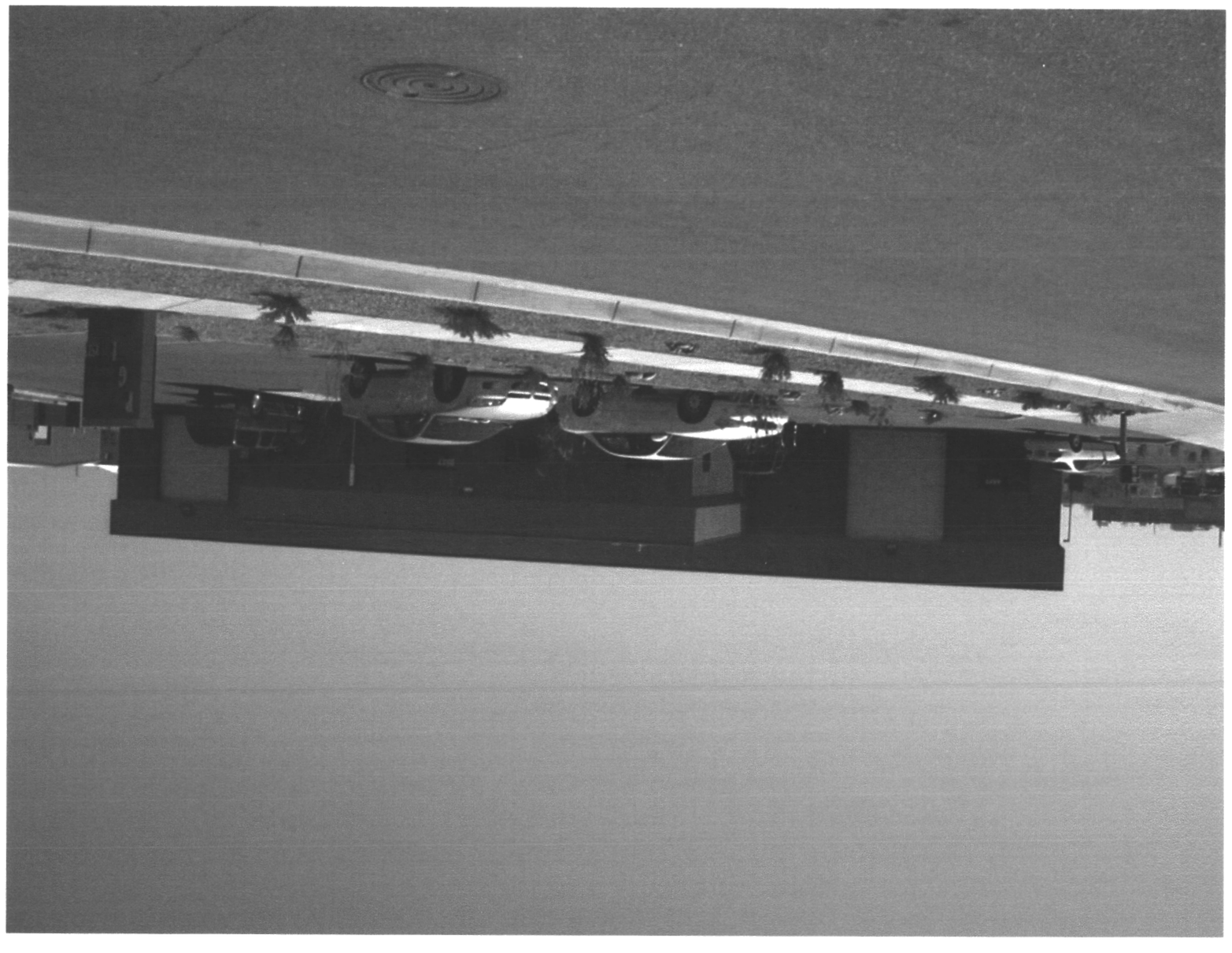
DUPLICATE
City Of Albuquerque
Treasury Division
10:01AM
RECEIPT# 00023742 WS# 007 TRANS# 0007
Account 441006 Fund 0110
Activity 4983000 TRSLJS
Trans Amt $405.00
J24 Misc $385.00
CK 405.00
CHANGE $0.00
LOC: ANN
04/06

DUPLICATE
City Of Albuquerque
Treasury Division
04/06/2004 10:30AM LOC: ANN
RECEIPT# 00023741 WS# 007 TRANS# 0007
Account 469099 Fund 0110
Activity 4916000 TRSLJS
Trans Amt $405.00
J24 Misc $20.00

Thank You

EXISTING BLDGS IN AREA


GEO-TEST
8524



odium type

fixtures will
atures to avoid
traffic and nearby
l fixtures are to be

lighting is
l highlight site and

paque exterior building materials used will be onsistent with commonly used materials in lbuquerque, New Mexico. These include ucco, exterior finish and insulation system EIFS) with synthetic stucco finishes, brick and one masonry or veneer, concrete masonry with rchitectural exterior treatment, pre-cast rchitectural concrete, and metal paneling subject o the terms of the succeeding sentence. Smooth ace concrete masonry, metal paneling, ceramic ile veneer or reflective glass shall not be allowed on the front façades for interior lots and on the ront façade and the side façade facing the street or corner lots. The front façade building naterials for metal buildings shall wrap around to he sides of the building for a depth of approximately twenty feet (20'). Metal building surfaces shall be natural environment and earth tone colors (tans, browns, sand, green, white) bright or garish colors will not be allowed. Other colors will be allowed as accent colors which would not comprise more than 10% of the building surfaces.

The rear facades of Lots 1 and 4-13, the south façade of the lot located north of the Drainage Pond and the north façade of the lot located south of the Drainage Pond may not be metal paneling, smooth face concrete masonry, or ceramic tile veneer, if visible from Edith Boulevard taking into consideration the landscaped fence to be constructed at the top of the slope, as determined by the approving official upon site plan review.

~~part. Glass curtain wall. Glass used in windows and storefronts compatible with other glass used in windows and storefronts. Glass installed in the westerly facing facades shall be of a type which reduces light reflectance. Mirrored glass and/or highly reflective glass shall not be installed in westerly facing facades.~~

~~Accent walls or accent elements introduced to the building design to give it detailing may utilize any of the allowable materials above as well as painted or pre-finished metal, stainless steel, ceramic tile veneer or colored concrete.~~

4. Building Colors of major facades are to be muted or pastel rather than bright or brilliant. The use of primary colors for major building walls is prohibited. Architectural accent walls, detached entry walls or colonnades or attached accent elements (entry canopies, window shading devices, medallions, window transoms) may be primary or bright colors.

5. Roofs may be either flat or pitched. Flat roofs shall have a perimeter parapet which at no point will be lower than any portion of the roof it surrounds. Pitched roofs are to be of either concrete tiles, clay tiles or pre-finished ribbed metal. Tile and metal roof colors are to be consistent with the building colors are not to have a highly reflective surface. Metal buildings having a pre-finished metal roof with a pitch of at least 4' to 12' shall not require a parapet. Metal roofs may not be bright, garish colors or reflective metal surfaces. Roofs may be tan, brown, sand, green, blue, non-reflective white and gray metallic finished (e.g. Galvalume).

6. Roof Equipment Screens

A. Mechanical equipment on roofs is to be screened from public view as much as practical. Roof equipment screens are to be at least as high as the highest part of the equipment. Roof screens are to be architecturally compatible with the building.

7. Building mounted signage will conform to the zoning ordinance and the following:

A. Dimensional height of any portion of the signs shall not exceed 3'-6".

B. No portion of the sign shall protrude more than 6" from the building face on which it is mounted.