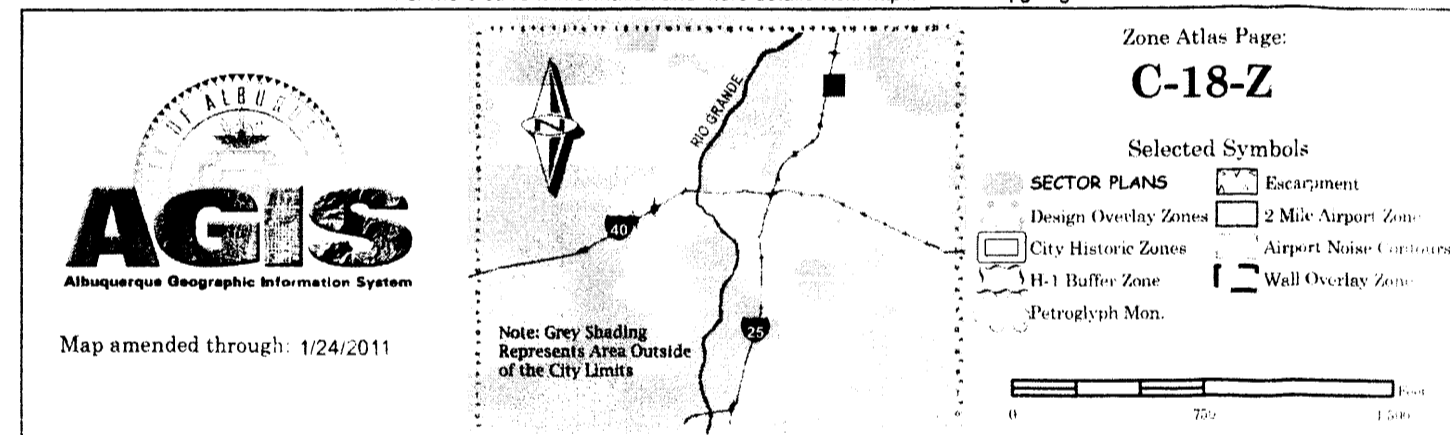
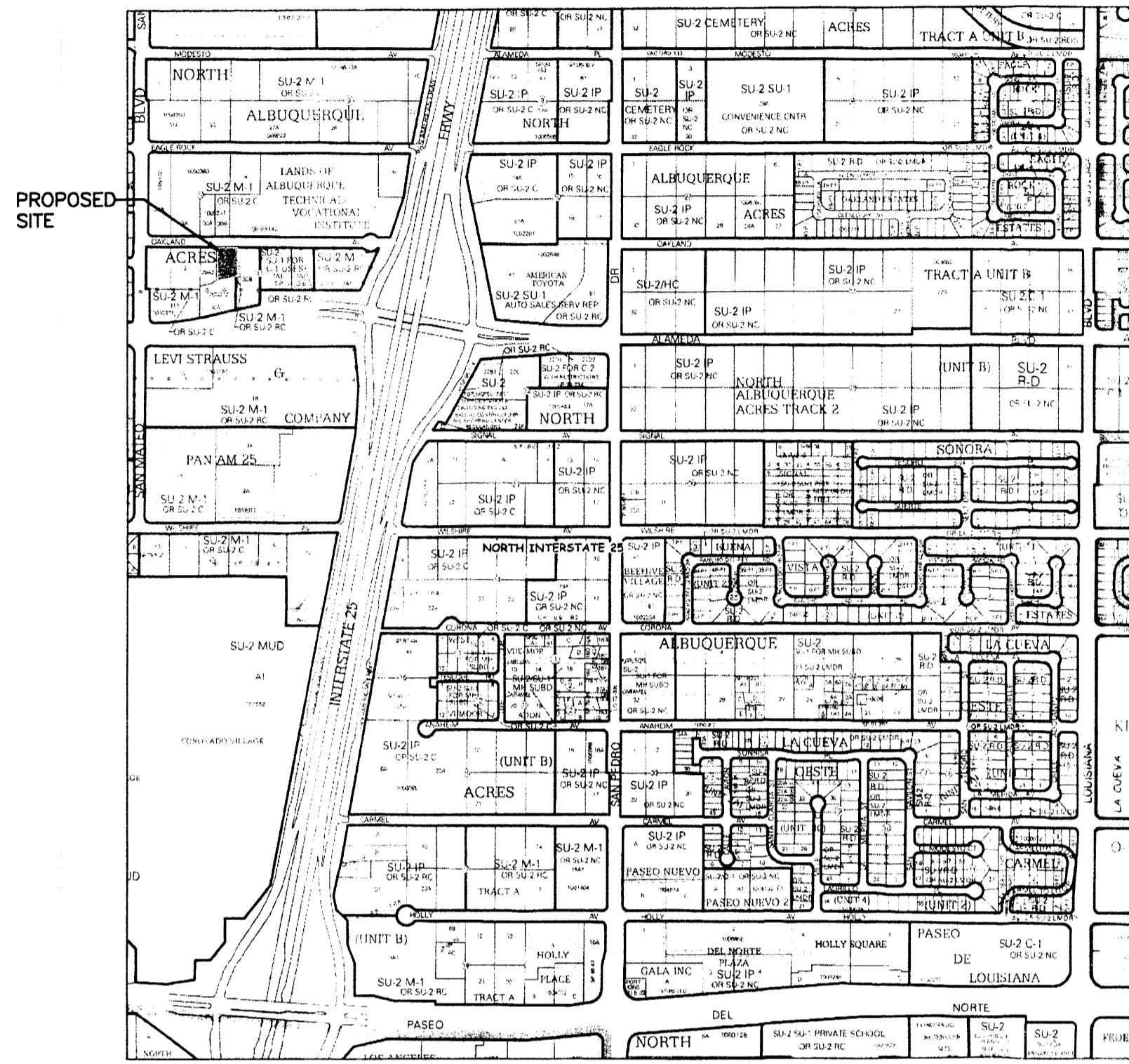


5310 OAKLAND AVENUE
(60' ROW)



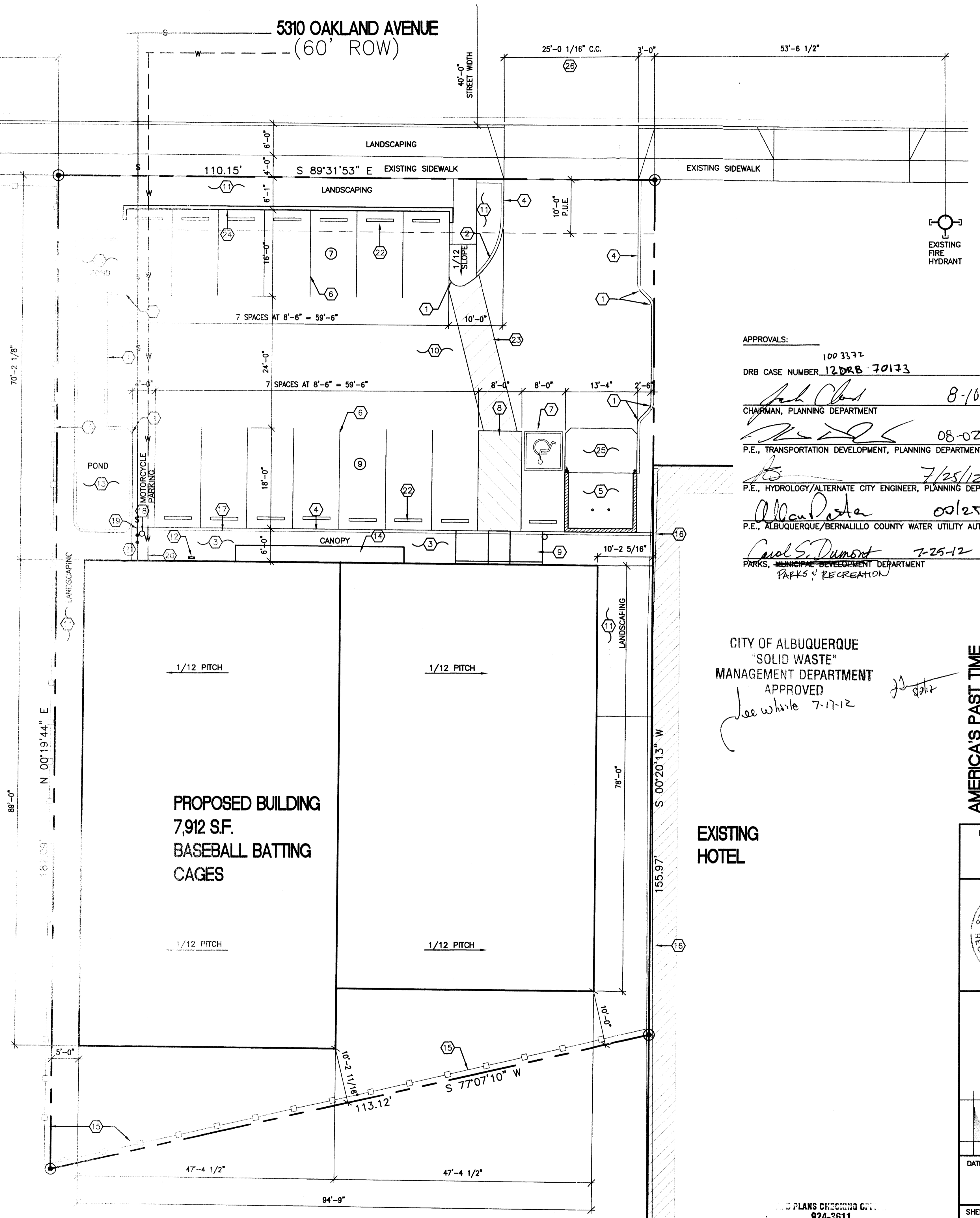
LEGAL DESCRIPTION
5310 OAKLAND AVE. NE, ALBUQUERQUE, NM 87113
Lot: 30-A-3, BLOCK 11, TRACT A, UNIT B
Subdivision: NORTH ALBUQUERQUE ACRES
UPC: 101806404340820505
ZONING: SU-1 FOR M1

INTERNATIONAL BUILDING CODE 2009

OCCUPANCY AND USE CLASSIFICATION:	B, OFFICE
TYPE OF CONSTRUCTION (TABLE 503):	2-B
ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503):	3 STORY, 23,000 S.F. (B GROUP)
SECTION 903 AUTOMATIC SPRINKLER SYSTEM:	NOT REQUIRED FOR GROUP B
SECTION 907 FIRE ALARM AND DETECTION SYSTEM:	NOT REQUIRED FOR GROUP B, LESS THAN 500 OCC.
ACTUAL BUILDING AREA:	B, OFFICE AREA = 7,912 S.F. (HEATED AREA)
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601):	TYPE 2-B, NONE REQUIRED
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 602):	TYPE 2-B, NONE REQUIRED
ROOF LIVE LOAD	= 20 PSF (NON-REDUCABLE)
WIND LOAD	= 90 MPH
EXPOSURE	= C
SEISMIC ZONE	= 2B
SECTION 1021 NUMBER OF EXITS AND CONTINUITY:	PER I.B.C. TABLE 1021.1 OCCUPANT LOAD OF 1-500 (2) EXITS REQUIRED (2) EXITS PROVIDED

- KEYED NOTES**
- 2'-0" RADIUS.
 - 15'-0" RADIUS.
 - CONCRETE SIDEWALK WITH BROOM FINISH, SLOPE SIDEWALK 1/4" FT. AWAY FROM BUILDING.
 - 6" RAISED CONCRETE CURB PER CITY OF ALBUQUERQUE STANDARDS, REF: SHEET C-3 AND GRADING AND DRAINAGE PLAN.
 - DUMPSTER LOCATION, REF: C-3 FOR DETAILS.
 - 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, REF: C-3 FOR DETAILS.
 - HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: C-3 FOR DETAILS.
 - HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS, REF: C-3 FOR DETAILS.
 - HANDICAP ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE STANDARDS, REF: C-3 FOR DETAILS.
 - ASPHALT PAVING.
 - LANDSCAPING AREA, REF: LANDSCAPING PLANS.
 - BIKE RACK, REF: C-3 FOR DETAILS.
 - PONDING AREA, REF: GRADING AND DRAINAGE PLAN.
 - CANOPY.
 - EXISTING WROUGHT IRON FENCE.
 - EXISTING BLACK WALL.
 - HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: C-3 FOR DETAILS.
 - MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS.
 - TIE SEWER LINE INTO EXISTING SEWER LINE, REF: PLUMBING PLANS.
 - TIE WATER LINE INTO EXISTING WATER LINE.
 - DOUBLE CLEANOUT.
 - CONCRETE PARKING BUMPERS, TYP.
 - 6" PEDESTRIAN WALK-WAY.
 - 48" HIGH CMU SCREEN WALL.
 - CONCRETE APRON, FOR DUMPSTER.
 - NEW CURB CUT PER CITY OF ALBUQUERQUE STANDARDS DRAWING 2425.

- PARKING REQUIREMENTS:**
BY APPOINTMENT ONLY:
8 BATTING CAGES = 8 SPACES
3 WORKOUT STATIONS = 3 SPACES
4 EMPLOYEES = 4 SPACES
1 MOTORCYCLE SPACE FOR EACH 25 SPACES = 1 SPACE
1 BICYCLE SPACE FOR EACH 20 SPACES = 1 SPACE
- 15 SPACES REQUIRED
15 SPACES PROVIDED
1 MOTORCYCLE SPACE
2 BICYCLE SPACES
- CITY OF ALBUQUERQUE ZONING CODE:**
SECTION 14-16-1-5 DEFINITIONS: 1-14:
PARKING SPACE, AUTOMOBILE AND LIGHT TRUCK: A SUITABLE SPACE FOR VEHICULAR STORAGE, AT LEAST 8.5 FT. IN WIDTH AND 18 FT. IN LENGTH, THAT MAY BE REDUCED TO 16 FT. IN LENGTH WHERE CARS CAN OVERHANG WHEEL STOPS.



APPROVALS:

1003372
DRB CASE NUMBER 12 DRB 70173

[Signature] 8-10-12
CHAIRMAN, PLANNING DEPARTMENT

[Signature] 08-02-12
P.E., TRANSPORTATION DEVELOPMENT, PLANNING DEPARTMENT

[Signature] 7/25/12
P.E., HYDROLOGY/ALTERNATE CITY ENGINEER, PLANNING DEPARTMENT

[Signature] 0012/12
P.E., ALBUQUERQUE/BERNALILLO COUNTY WATER UTILITY AUTHORITY

[Signature] 7-25-12
PARKS, RECREATION DEPARTMENT

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED

[Signature] 7-17-12

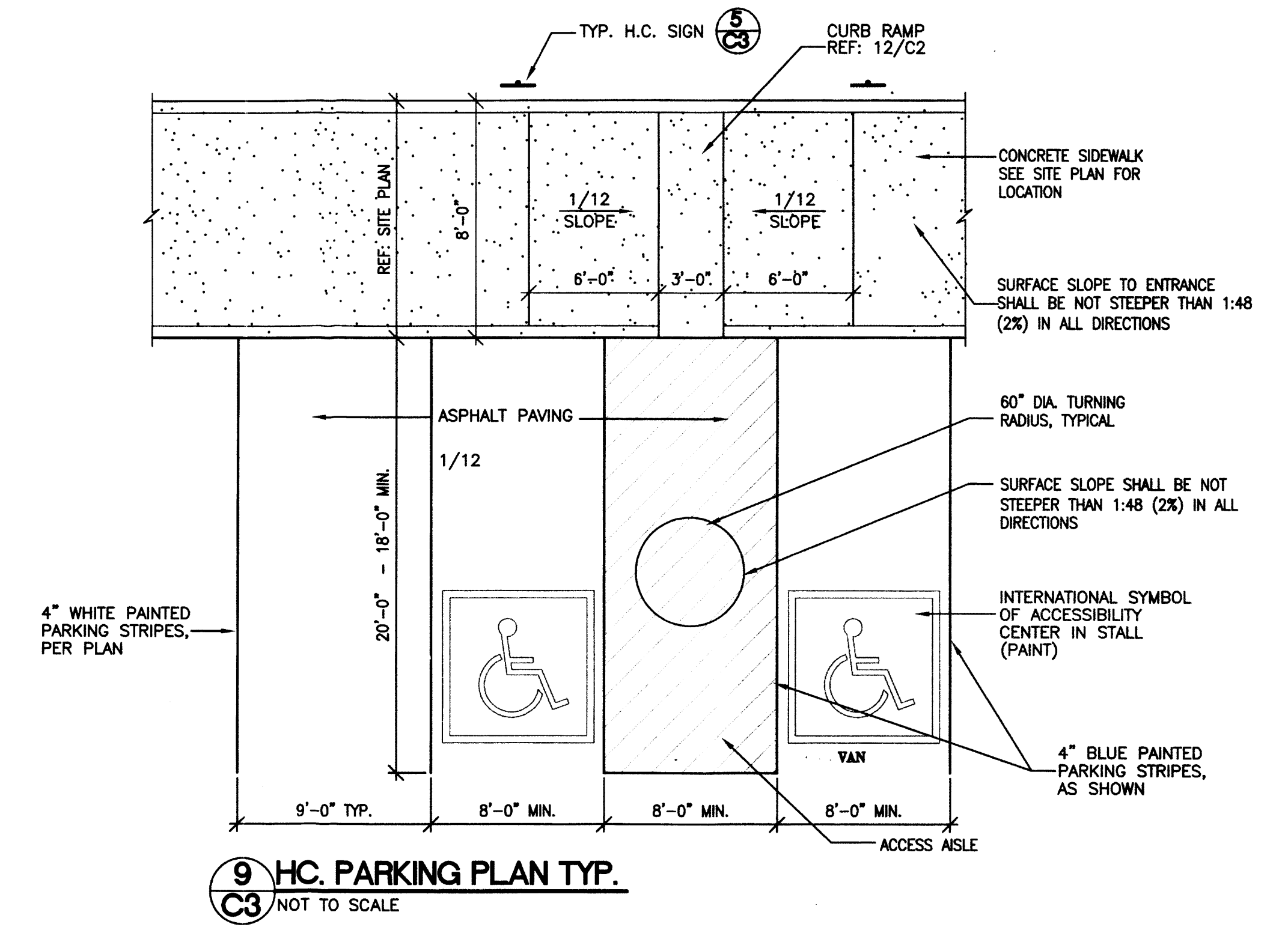
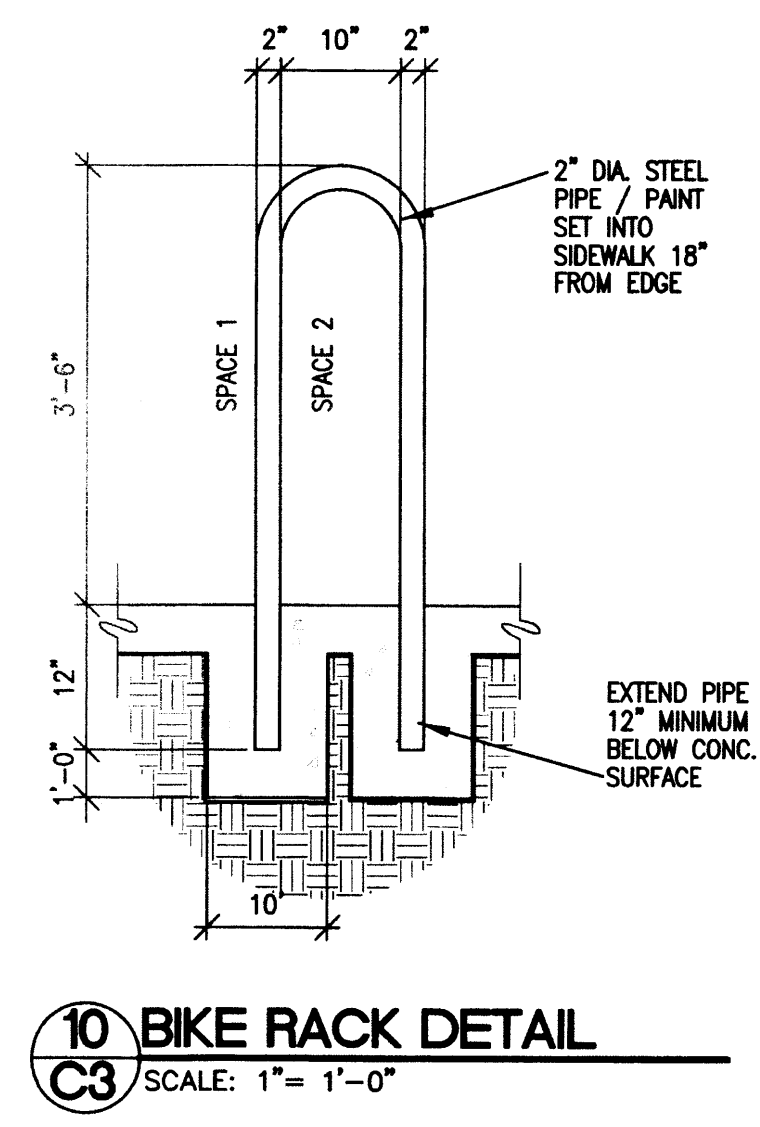
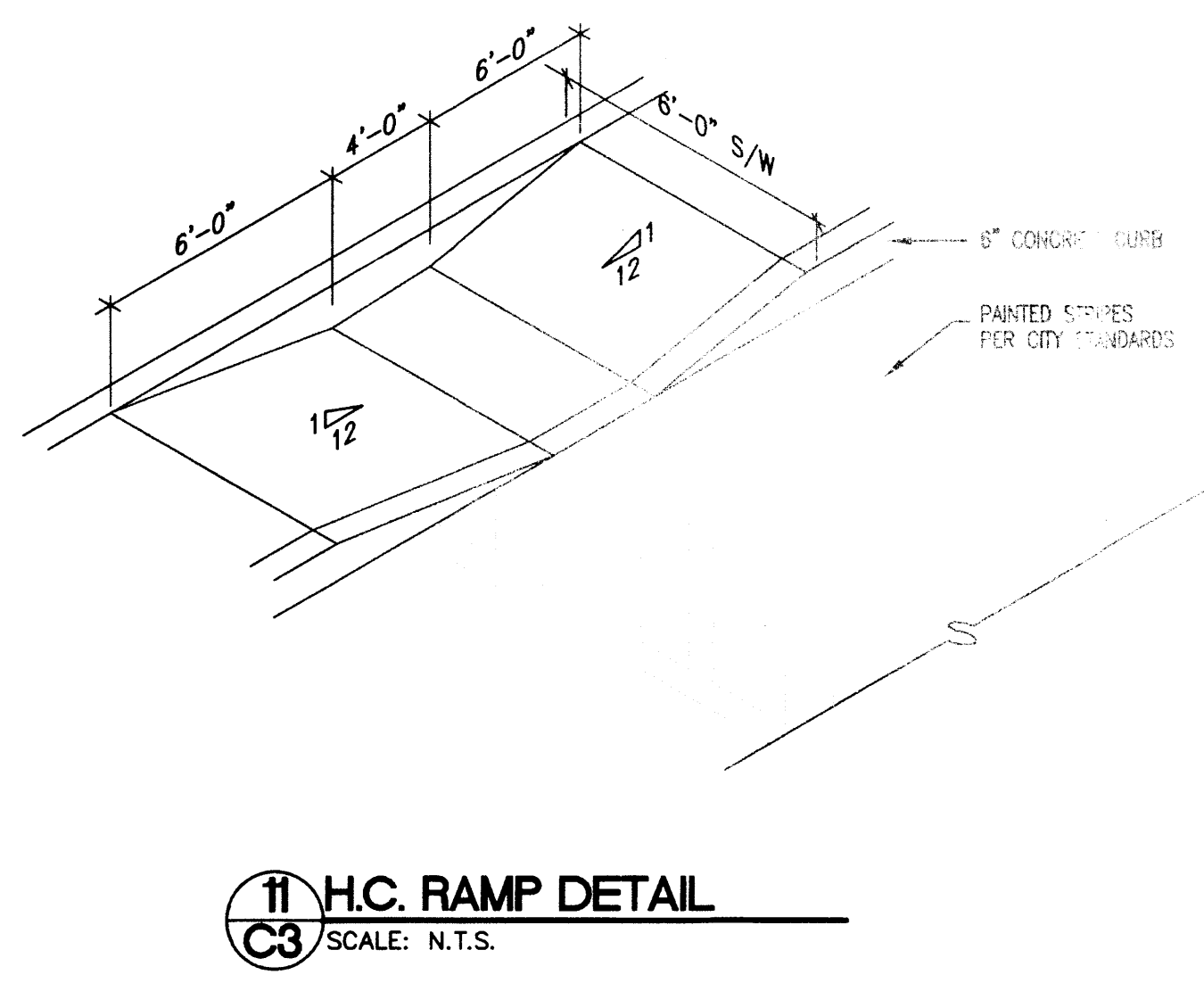
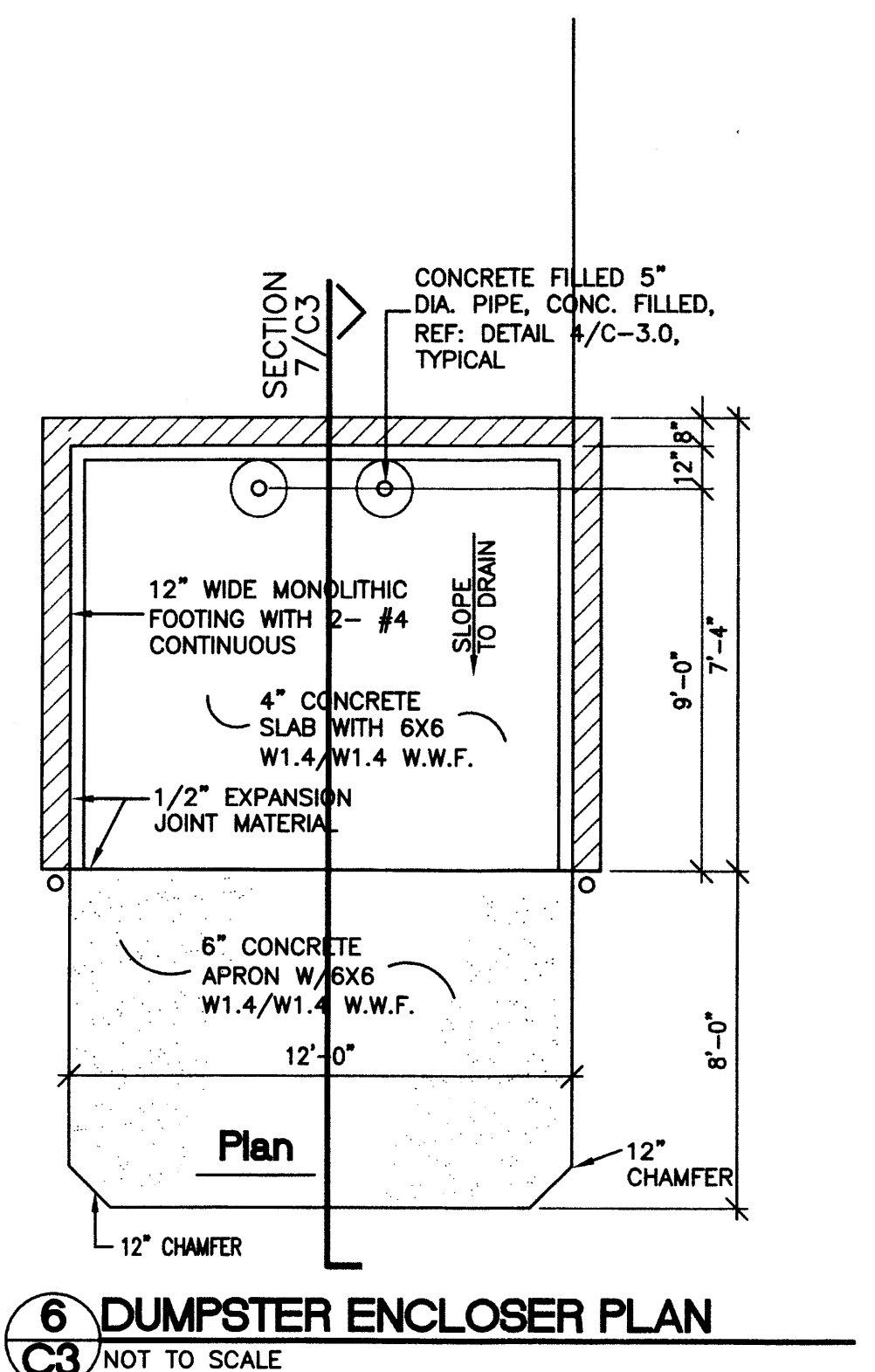
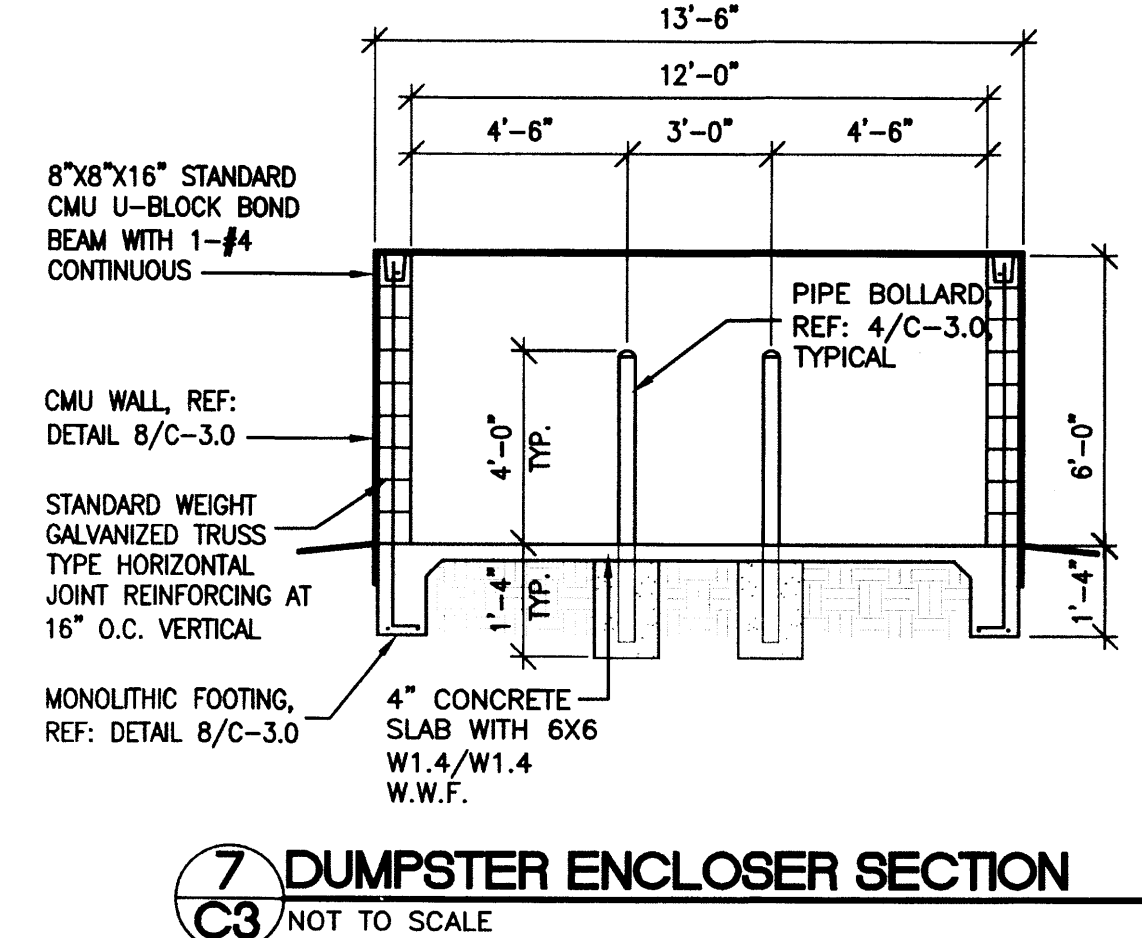
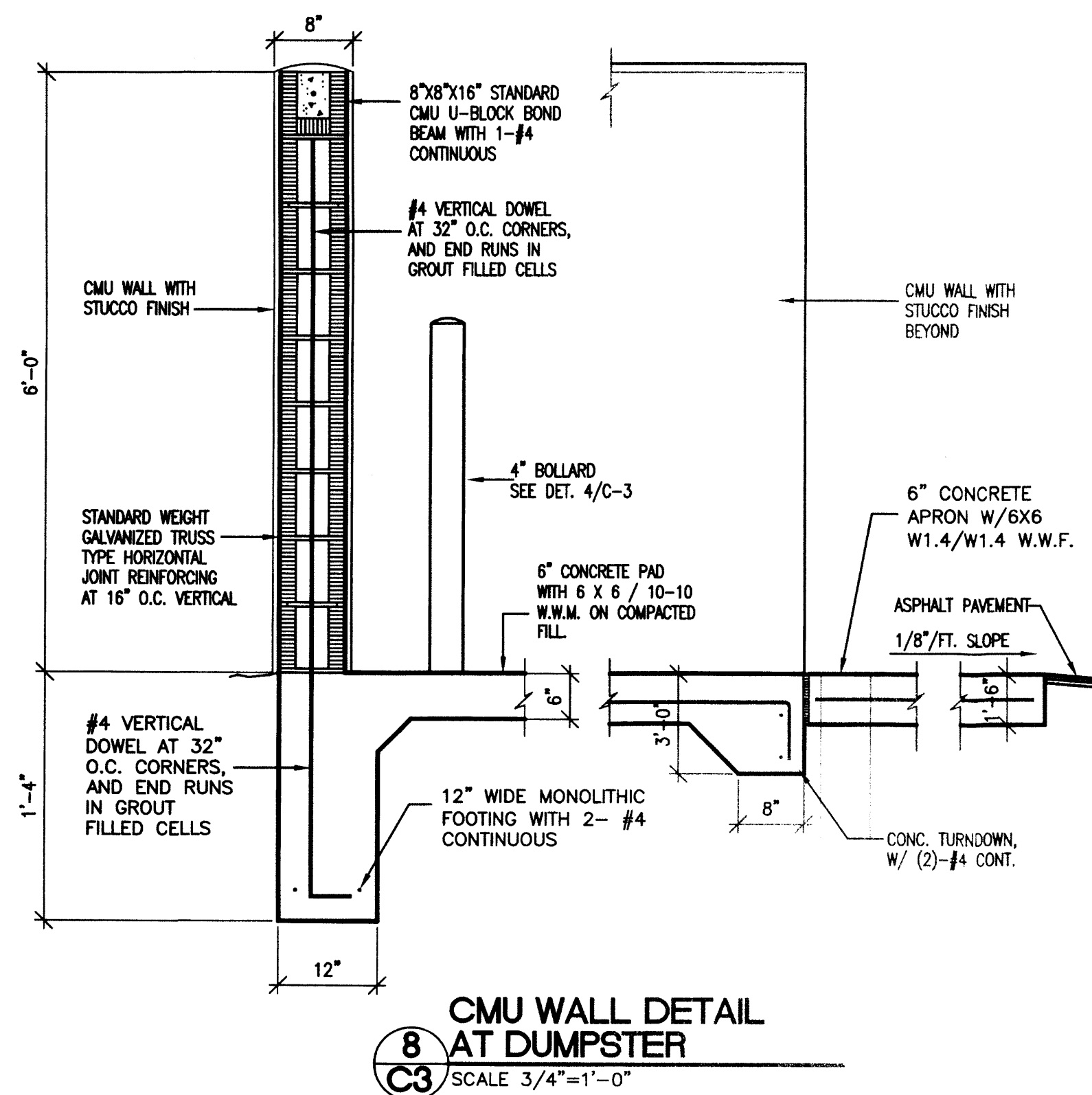
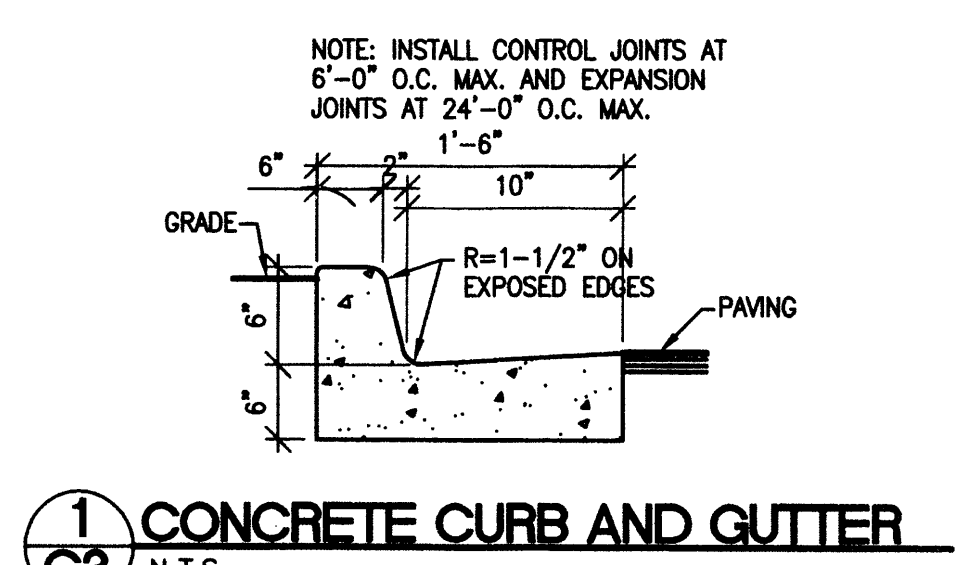
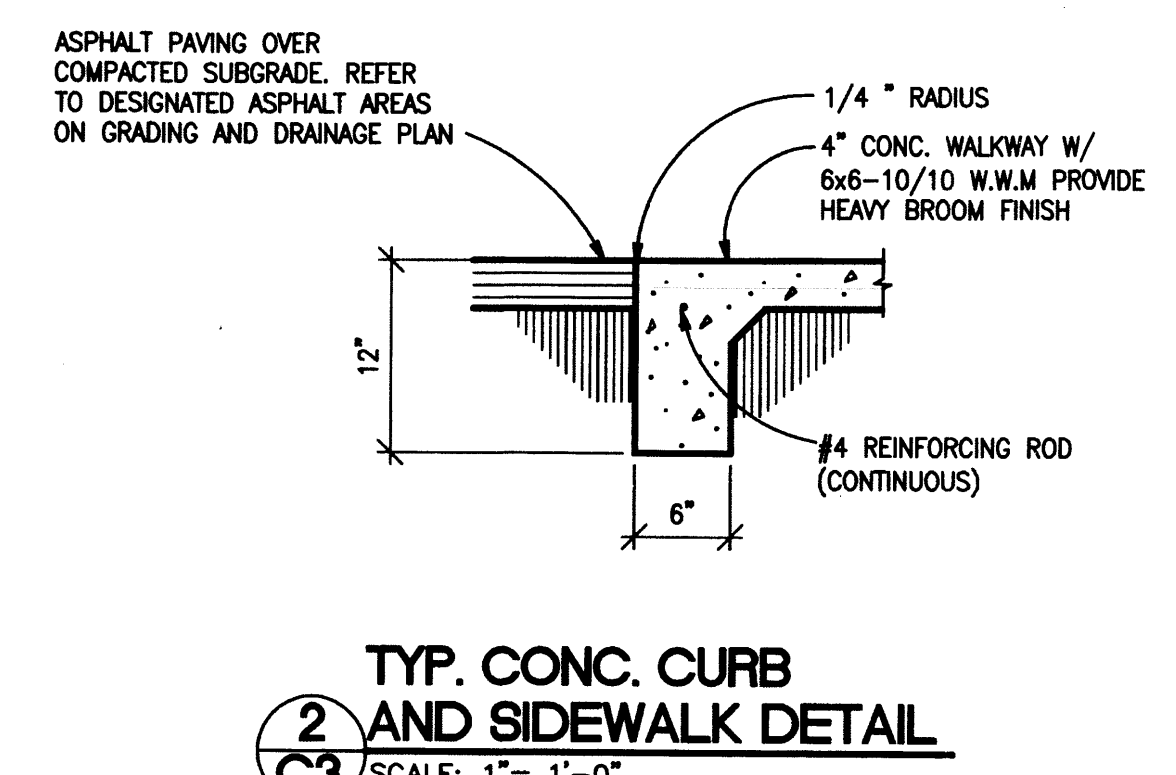
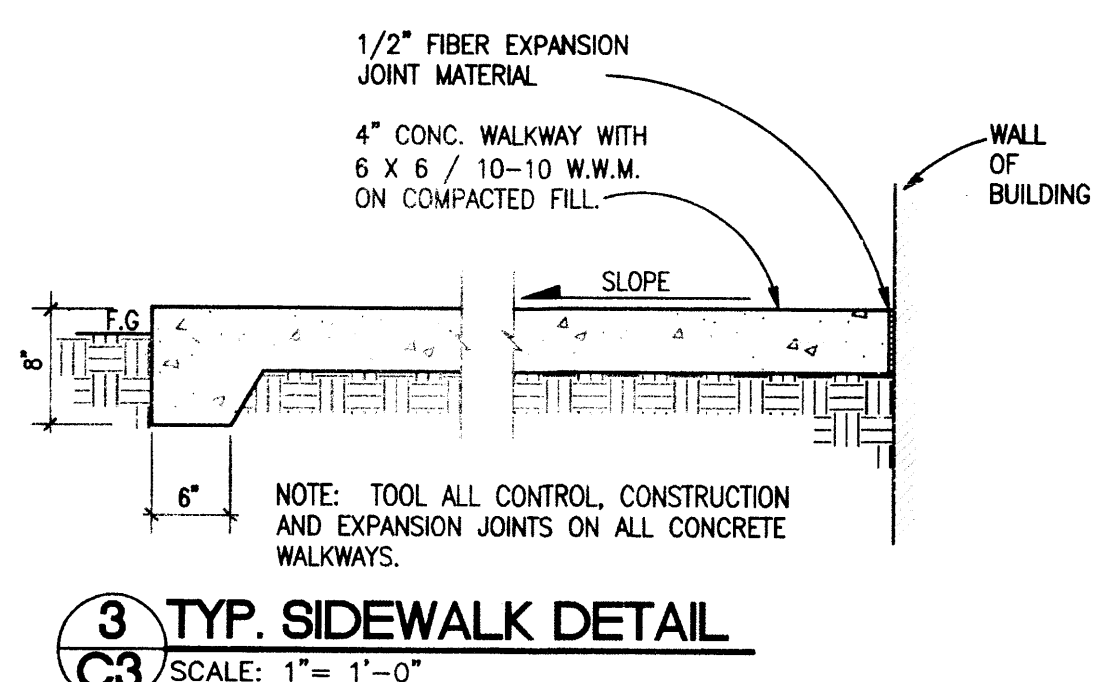
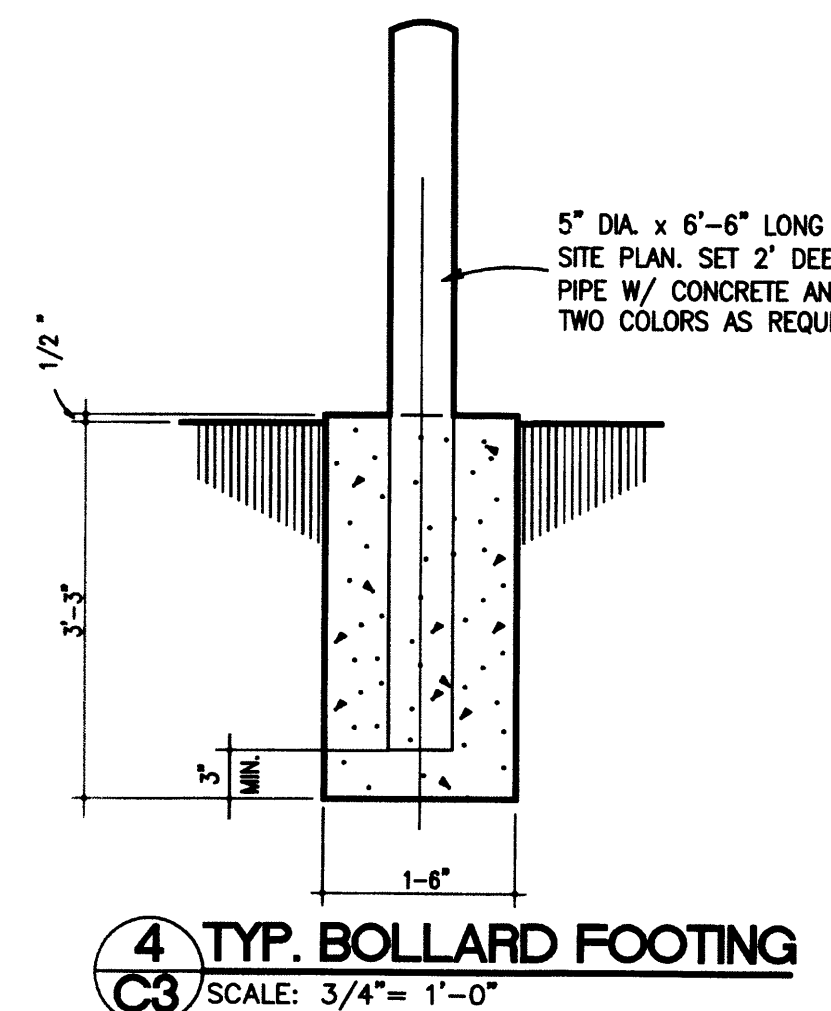
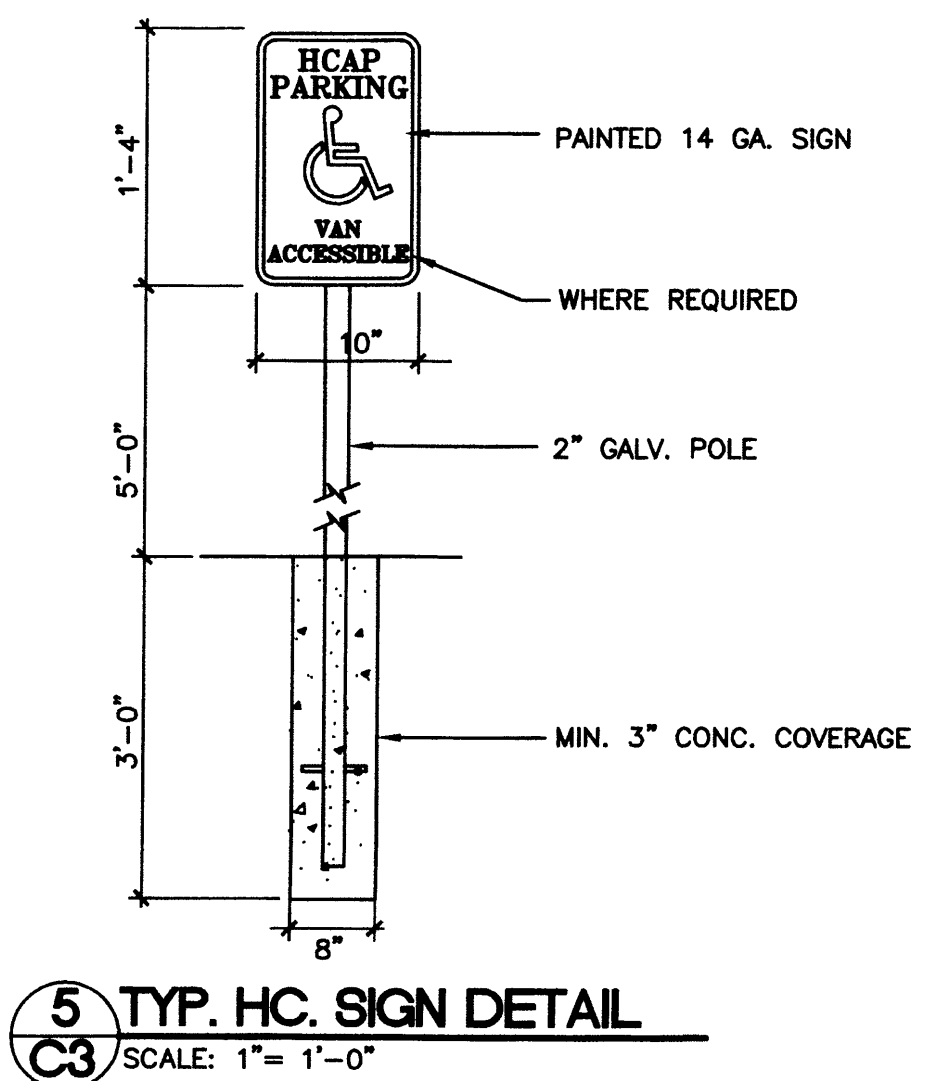
AMERICA'S PAST TIME
SITE PLAN
ALBUQUERQUE, NEW MEXICO
PROJECT #120

REVISION DATE
DATE
07-16-2012
SHEET NUMBER
C-20



PLANS CHECKING CITY
924-3611
APPROVED/CAPPROVED
HYDRANT(S) ONLY
[Signature] 7-16-12

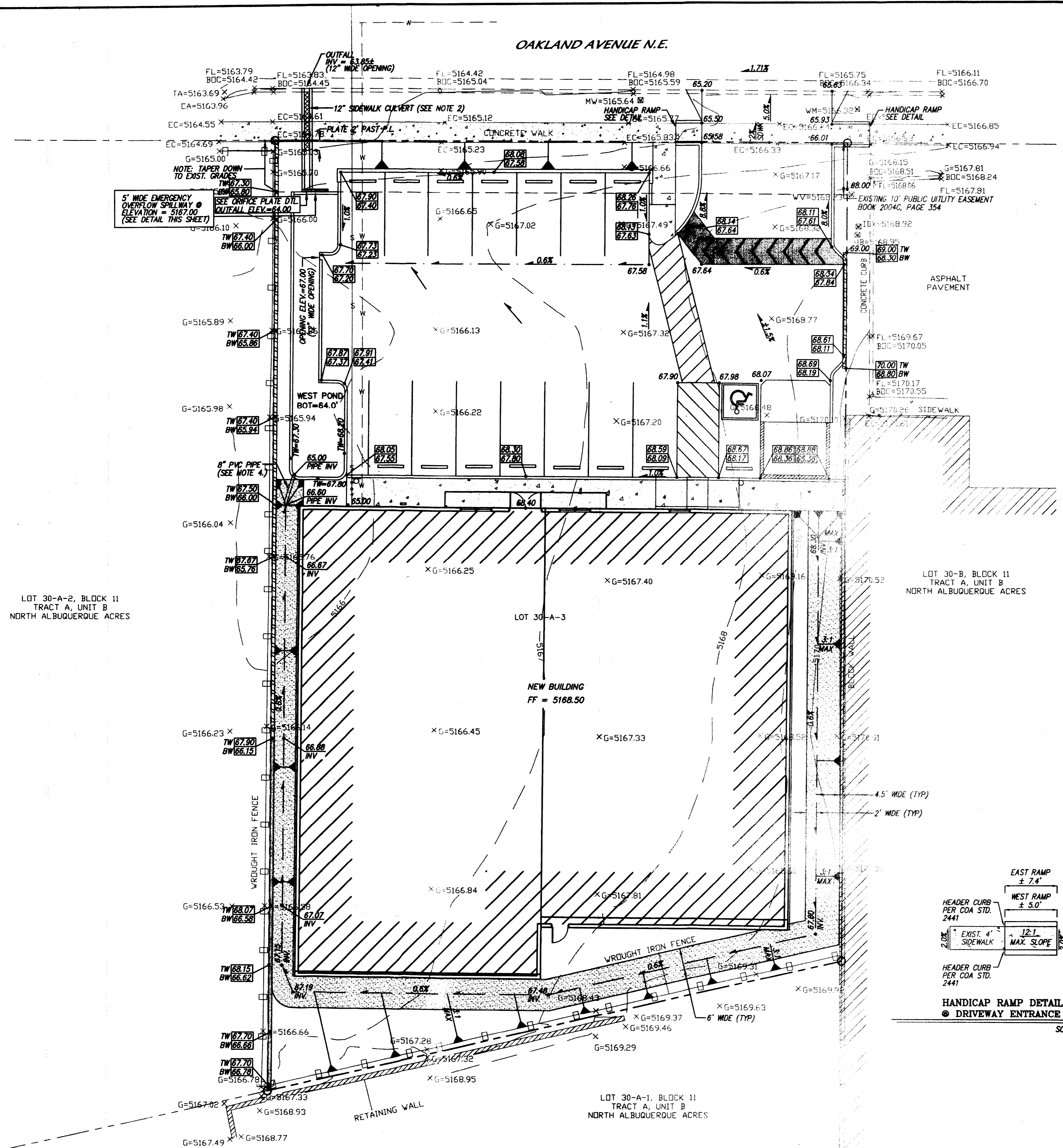
1003372



AMERICA'S PAST TIME
 SITE DETAILS
 ALBUQUERQUE, NEW MEXICO
 PROJECT #1220

REVISION DATE
DATE 07-16-2012
SHEET NUMBER C-3.0

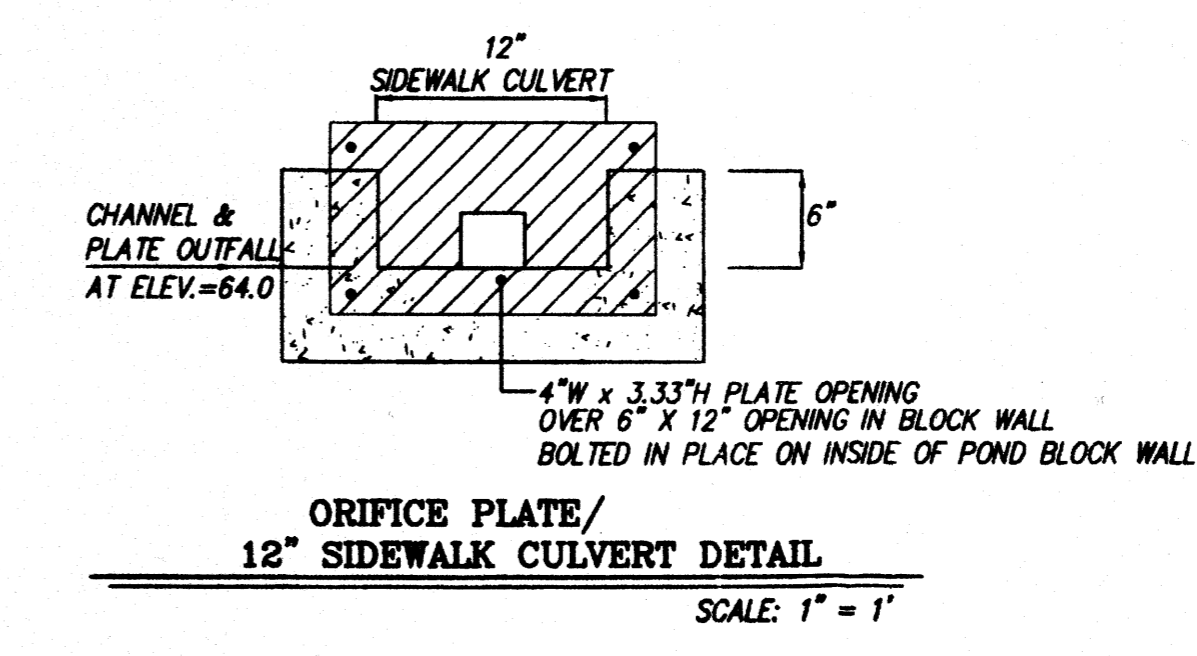
RBA ARCHITECTURE DESIGN
 1000 UNIVERSITY BLVD. N.W.
 ALBUQUERQUE, NM 87102
 (505) 263-1000



- NOTICE TO CONTRACTOR**
1. An excavation/construction permit will be required before beginning any work within City right of way.
 2. All work detailed on these plans to be performed, except as otherwise stated or provided for herein, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #8 amendment 1).
 3. Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
 4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all Constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
 5. Backfill compaction shall be according to Traffic / street use.
 6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
 7. Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		

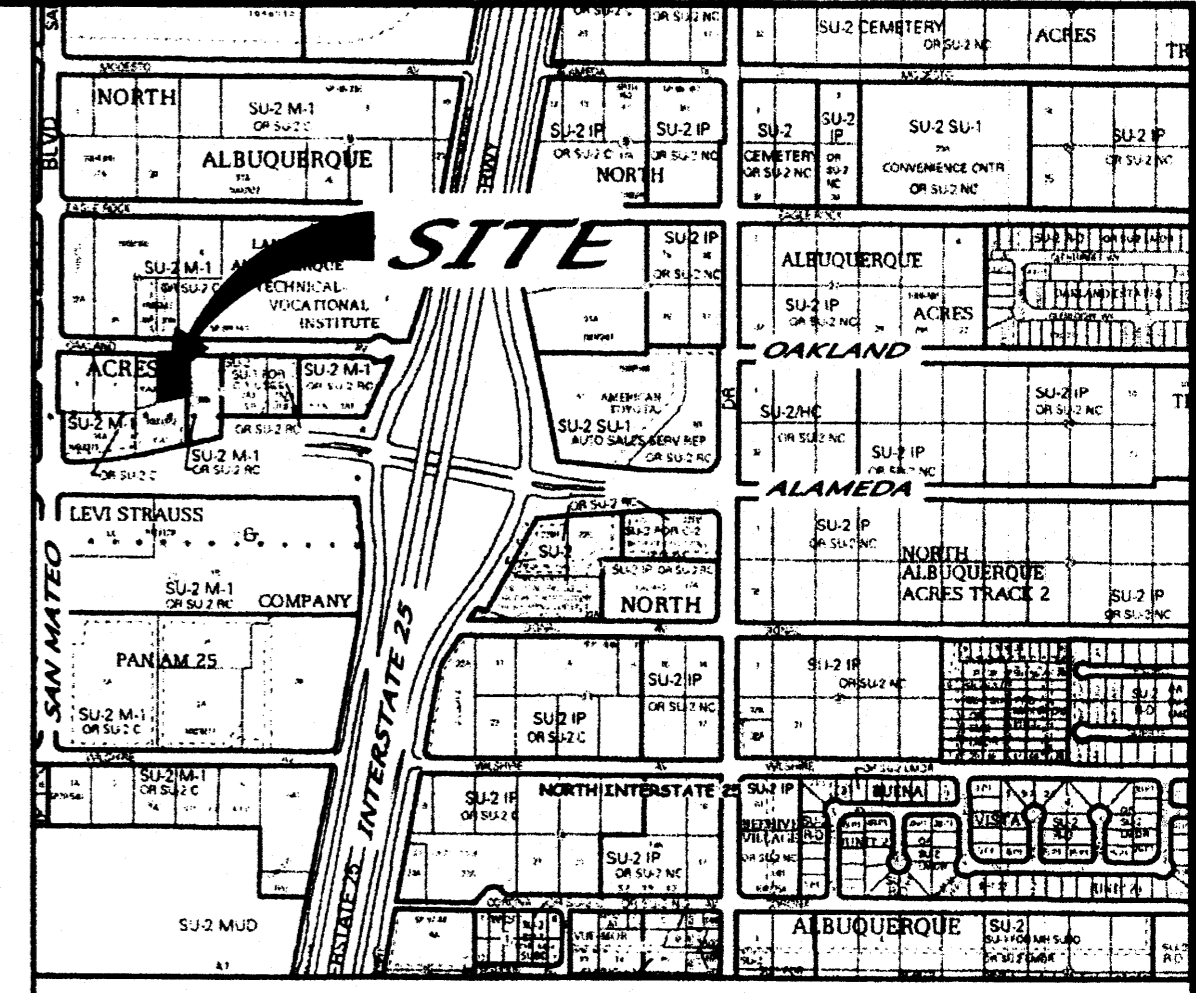
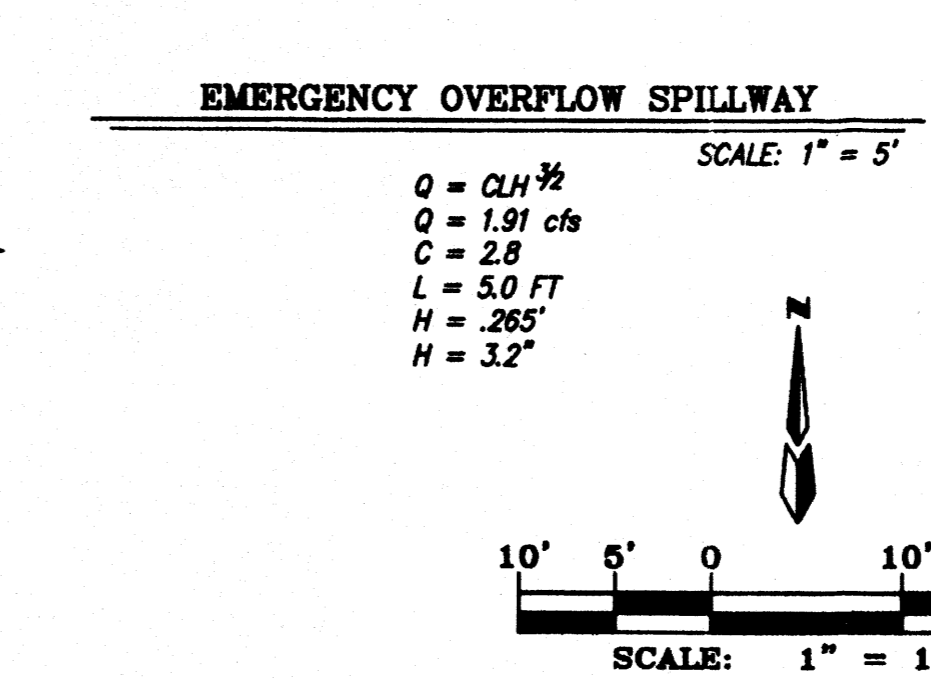
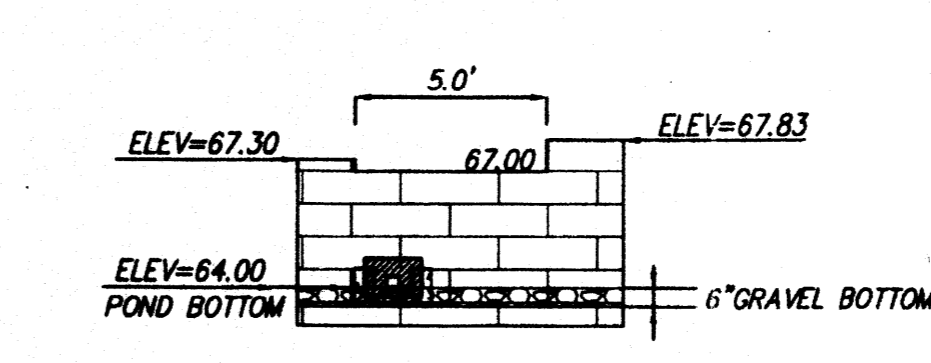
- NOTES**
1. CONTRACTOR TO MAKE SURE POSITIVE OUTFALL FROM POND BOTTOM TO FACE OF CURB FLOWLINE ELEVATION.
 2. SWALE AROUND BUILDING SHALL HAVE EROSION PROTECTION IN FORM OF LANDSCAPING MATERIAL OR LANDSCAPE ROCK.
 3. SIDEWALK CULVERT PER COA STD. 2236. CONTRACTOR TO TACK WELD THE BOLTS ON THE PLATE.
 4. 8" PVC PIPE PENETRATION THROUGH A 10" OPENING IN BLOCK WALL INVERT AT ELEVATION 65.00' GROUPE AREA BETWEEN PIPE AND WALL OPENING FOR A WATER TIGHT SEAL.



HYDROLOGY SUMMARY

TOTAL AREA = 0.42 acres.
 Q 100 YR = 1.93 cfs
 Q ALLOWABLE = 0.75 cfs

DETENTION POND:
 TOP = 5167.00
 BOTTOM = 5164.00
 SS = VERTICAL
 DESIGN VOLUME = 0.0264 AF
 MAX VOLUME = 0.0263 AF
 Q 100 OUT = 0.75 cfs
 MAX WSEL = 5166.99



VICINITY MAP ZONE MAP: C-18-Z

ACS BENCHMARK

A CITY OF ALBUQUERQUE 1 3/4" ALUMINUM DISK, STAMPED "ACS BM, 9-C17", EXPLORED TO THE TOP OF CONCRETE CURB, S.S.E. QUADRANT OF JEFFERSON STREET & WATERCRESS DRIVE N.E. HAVING A DATUM OF NAD 83, NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE. ELEVATION = 5123.218 (NAVD 1988).

LEGAL DESCRIPTION

LOT 30-A-3, BLOCK 11, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

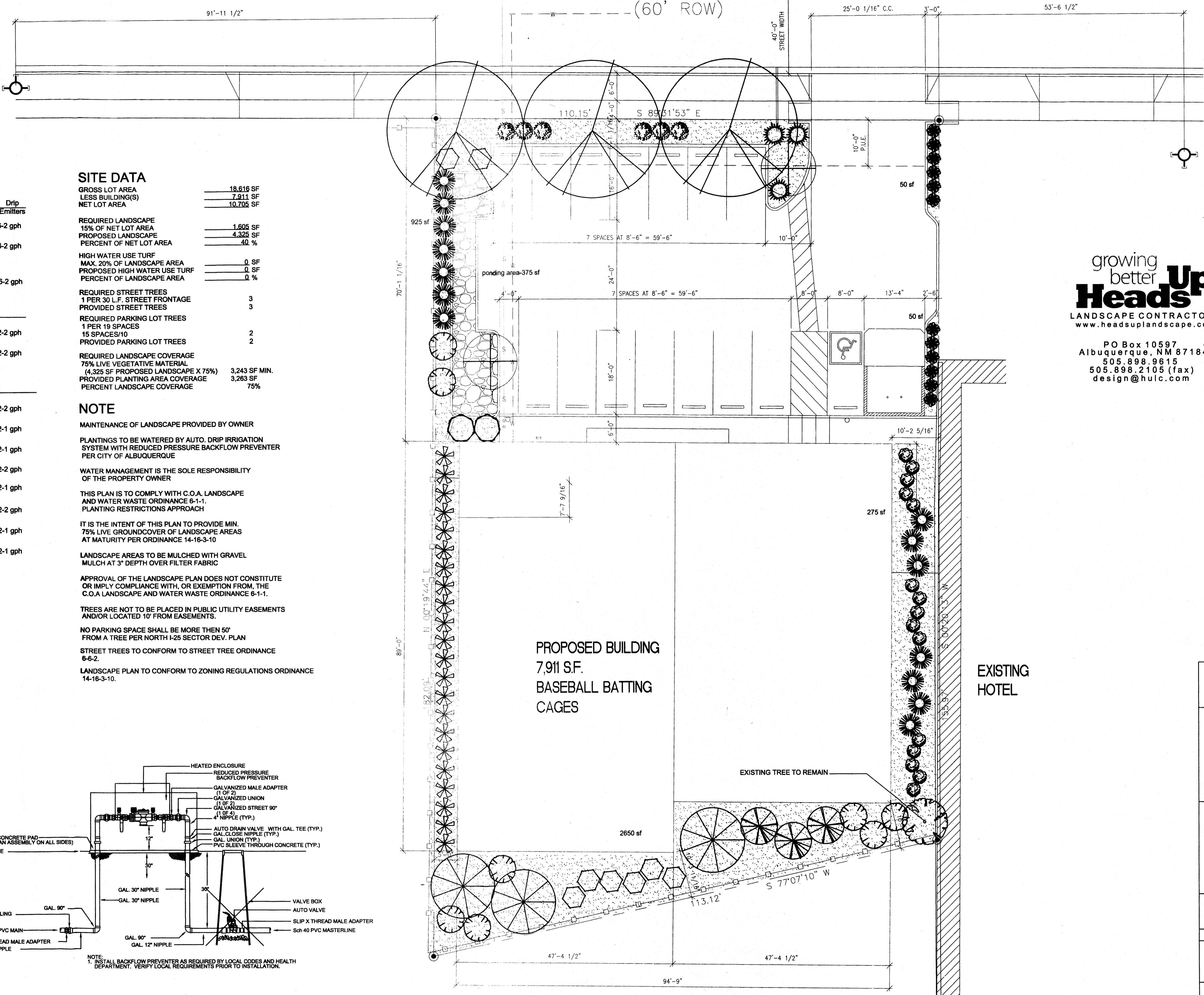
- LEGEND**
- BOC EXISTING BACK OF CURB
 - TA EXISTING TOP OF ASPHALT
 - EC EXISTING EDGE OF CONCRETE
 - WV EXISTING WATER VALVE
 - WM EXISTING WATER METER
 - FL EXISTING FLOW LINE
 - FB EXISTING FIRE HYDRANT
 - NRSASHM EXISTING NORTH RIM SANITARY SEWER MANHOLE
 - IBX EXISTING IRRIGATION BOX
 - HB EXISTING HOT BOX
 - MW EXISTING MONITORING WELL
 - G EXISTING GROUND
 - 5170 EXISTING MAJOR CONTOUR
 - 5167 EXISTING MINOR CONTOUR
 - EXISTING CURB & GUTTER
 - 5166.10 X EXISTING SPOT ELEVATION
 - EXISTING WALL
 - EXISTING WROUGHT IRON FENCE
 - EXISTING CONCRETE
 - EXISTING BOUNDARY LINE
 - NEW CURB
 - NEW BLOCK WALL (FOR DRAINAGE)
 - NEW RETAINING WALL (FOR DRAINAGE)
 - NEW SLOPE
 - NEW FLOW
 - NEW SWALE
 - NEW SPOTS
 - NEW SIDEWALK
 - NEW 5' WIDE 3" HIGH SPEED BUMP
 - SWALE EROSION ARMOR (3" D50 RIP-RAP)

AMERICA'S PASTTIME GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS

P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: DER	Checked: DMG	Sheet C1
Scale: 1" = 10'	Date: 06-08-12	Job: A12015	



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Mature Ht./ Sp.	Landscape Coverage	Water Use	Drip Emitters
Trees							
2	⊕	Crataegus Hawthorn	2" Cal	20'/20'		Medium	6-2 gph
3	⊕	Fraxinus velutina Modesto Ash	2" Cal	40'/35'		Medium +	6-2 gph
3	⊕	Vitex Chaste Tree	15-Gal	20'/20'	400 sf=1200 sf	Medium	6-2 gph
Grasses							
14	●	Miscanthus Maiden Grass	1-Gal	5'/5'	25 sf=350 sf	Medium	2-2 gph
12	●	Calamagrotis Karl Foerster Grass	1-Gal	3'/2'	10 sf=120 sf	Medium	2-2 gph
Shrubs/Groundcovers							
6	●	Caryopteris Blue Mist	1-Gal	3'/3'	15 sf=90 sf	Medium	2-2 gph
22	●	Hesperaloe parviflora Red Yucca	1-Gal	3'/4'	20 sf=440 sf	Low+	2-1 gph
3	●	Juniperus sabina 'Buffalo' Buffalo Juniper (female)	1-Gal	1'/5'	25 sf=75 sf	Low +	2-1 gph
2	●	Buddleia Butterfly Bush	1-Gal	5'/5'	25 sf=50 sf	Medium	2-2 gph
3	●	Chamaebatia Fernbush	1-Gal	5'/6'	36 sf=108 sf	Low+	2-1 gph
15	●	Potentilla Shrubby Cinquefoil	1-Gal	3'/3'	10 sf=150 sf	Medium+	2-2 gph
8	●	Rhus trilobata 3 Leaf Sumac	1-Gal	6'/6'	36 sf=288 sf	Low	2-1 gph
8	●	Fallugia Apache Plume	1-Gal	6'/7'	49 sf=392 sf	Low	2-1 gph

Total landscape coverage= 3,263 sf

SITE DATA

GROSS LOT AREA	18,616 SF
LESS BUILDING(S)	7,911 SF
NET LOT AREA	10,705 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	1,605 SF
PROPOSED LANDSCAPE	4,325 SF
PERCENT OF NET LOT AREA	40 %
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0 %
REQUIRED STREET TREES 1 PER 30 L.F. STREET FRONTAGE	3
PROVIDED STREET TREES	3
REQUIRED PARKING LOT TREES 1 PER 19 SPACES	2
15 SPACES/10	2
PROVIDED PARKING LOT TREES	2
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (4,325 SF PROPOSED LANDSCAPE X 75%)	3,243 SF MIN.
PROVIDED PLANTING AREA COVERAGE	3,263 SF
PERCENT LANDSCAPE COVERAGE	75%

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS AND/OR LOCATED 10' FROM EASEMENTS.

NO PARKING SPACE SHALL BE MORE THEN 50' FROM A TREE PER NORTH I-25 SECTOR DEV. PLAN

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

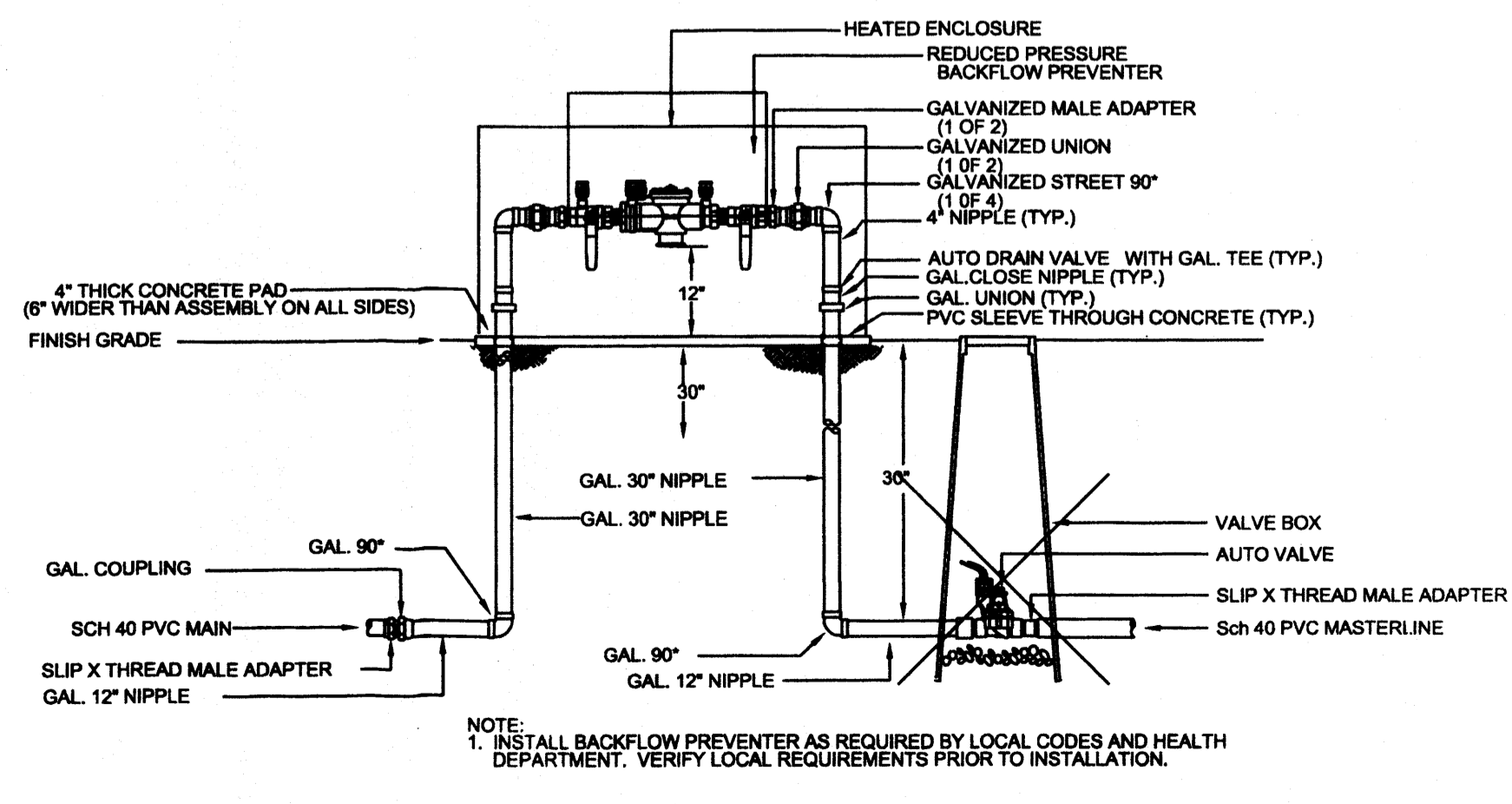
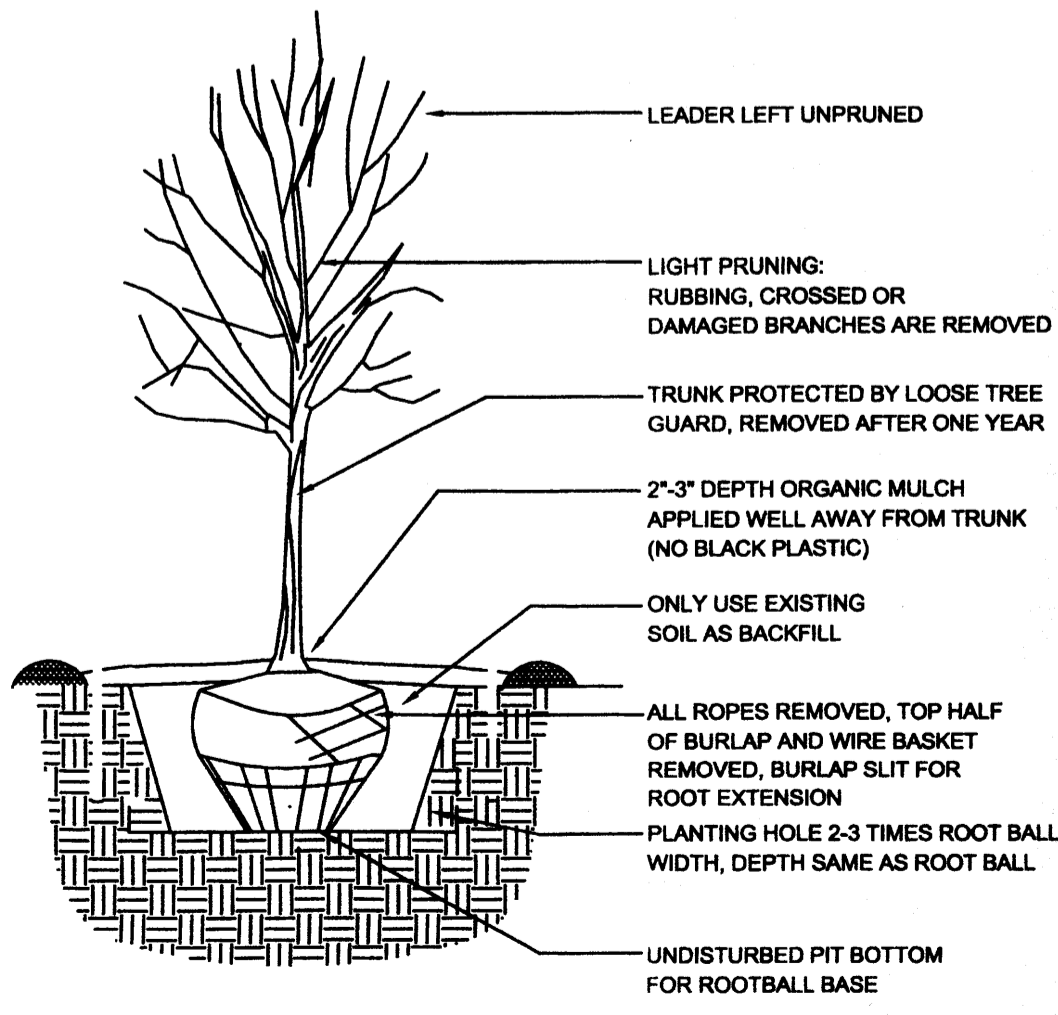
PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

MATERIALS LEGEND

- BROWN CRUSHER FINES
- 2"-4" COBBLESTONE



TREE PLANTING DETAIL

RP BACKFLOW/MASTER VALVE DETAIL

PROPOSED BUILDING
7,911 S.F.
BASEBALL BATTING
CAGES

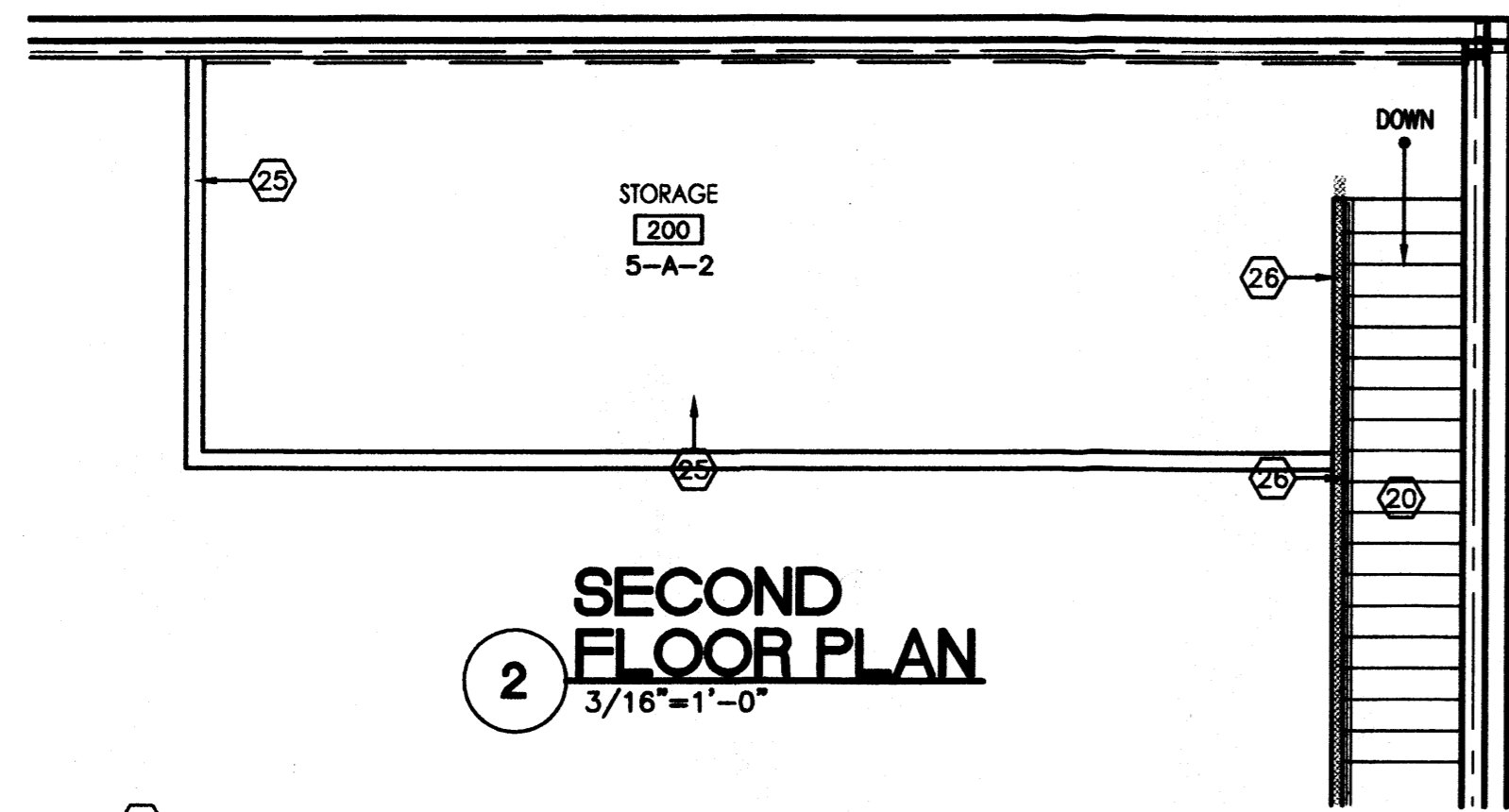
EXISTING
HOTEL

growing
better
**Up
Heads**
LANDSCAPE CONTRACTORS
www.headsuplandscape.com

PO Box 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com

AMERICA'S PAST TIME
LANDSCAPE PLAN
ALBUQUERQUE, NEW MEXICO
PROJECT #1220

REVISION DATE
DATE 06-11-2012
SHEET NUMBER L-10



2 SECOND FLOOR PLAN
3/16"=1'-0"

KEYED NOTES

1. NETTING FOR BATTING CAGES, BY OWNER.
2. BASEBALL/SOFTBALL PITCHING MACHINE, BY OWNER.
3. EXERCISE EQUIPMENT, BY OWNER.
4. RECEPTIONIST COUNTER, REF: DETAIL A/A1.
5. REFRIGERATOR, BY OWNER.
6. DESK, BY OWNER.
7. 24" DEEP PLYWOOD ADJUSTABLE SHELVES, PAINT.
8. H.C. ACCESSIBLE DRINKING FOUNTAIN, REF: PLUMBING PLANS.
9. 20 GA. X 3 5/8" METAL STUDS AT 16" O.C., REF: WALL SECTION B/A1.
10. 25 GA. X 3 5/8" METAL STUDS AT 16" O.C., 42" HIGH, REF: WALL SECTION B/A1.
11. 20 GA. X 6" METAL STUDS AT 16" O.C., W/ 5/8" TYPE "X" GYP. BD., REF: WALL SECTION B/A1.
12. 3070 STOREFRONT DOOR W/ 1" INSULATED CLEAR GLAZING, STOREFRONT FRAME TO BE ALUM. MILL ANODIZED FINISH, DOOR HARDWARE: KEYED LOCKSET, EXIT DEVICE, AUTO CLOSURE, THRESHOLD, DOOR SWEEP, WEATHER STRIPPING, AND DOOR STOP, REF: BUILDING ELEVATIONS.
13. STOREFRONT WINDOW WITH 1" INSULATED CLEAR GLAZING, STOREFRONT TO BE ALUM. MILL ANODIZED FINISH, REF: BUILDING ELEVATIONS.
14. AWNING, REF: BUILDING ELEVATIONS.
15. 3068 H.M. DOOR AND FRAME, DOOR HARDWARE: PRIVACY LOCKSET, LEVER HANDLE, W/ CLOSURE AND DOOR STOP.
16. 2668 H.M. DOOR AND FRAME, DOOR HARDWARE: KEYED LOCKSET, LEVER HANDLE AND DOOR STOP.
17. 3068 H.M. DOOR AND FRAME, DOOR HARDWARE: KEYED LOCKSET, LEVER HANDLE, W/ CLOSURE AND DOOR STOP.
18. 6068 SLIDING GLASS DOOR W/ ALUMIN. FRAME, 1" INSULATED GLASS, W/ KEYED LOCKSET.
19. EXIT LIGHT W/ BATTERY BACK-UP.
20. METAL STAIRS, REF: STAIR DETAILS.
21. 1 1/4" DIA. PAINTED STEEL HANDRAIL, REF: DETAIL MOP SINK, REF: PLUMBING PLANS.
22. 6x6 T.S. POST.
23. SKYLITES TYP. AT 20 PLCS.
24. 18 GA. 6" METAL STUDS AT 16" O.C. W/ 5/8" GYP. BD. TO 42" ABOVE SECOND FLOOR, REF: 11/52.
25. 20 GA. 3-5/8" METAL STUD WALLS SLOPED AT 42" ABOVE STAIRS TREADS, W/ 5/8" GYP. BD. METAL BUILDING MANUFACTURER TO ROUGH-IN FUTURE 10'x14' OVERHEAD ROLL-UP DOOR. REFERENCE C/A&O FOR CEILING FRAMING.
26. REFERENCE C/A&O FOR CEILING FRAMING.

FLOOR

1. SEALED CONCRETE W/ 6" VINYL BASE
2. CARPET W/ 6" VINYL BASE
3. MATT
4. TURF CARPET
5. 3/4" TAG FIRE RATED PLYWOOD OVER 10" C-CHANNEL AT 12" O.C.

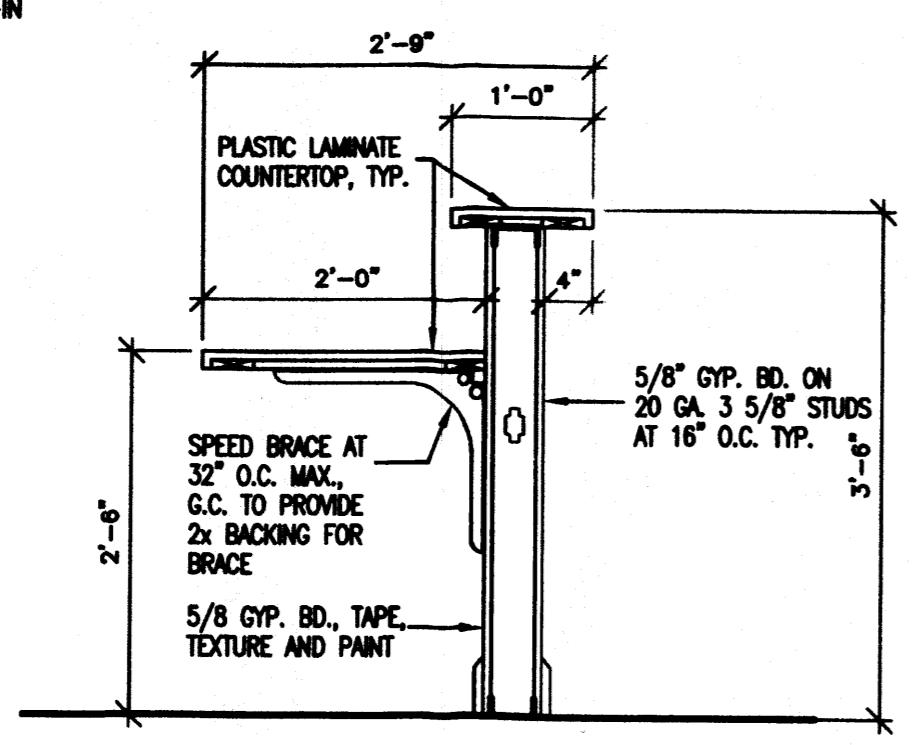
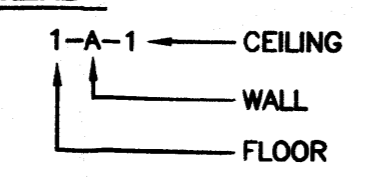
WALL

- A. 5/8" GYP. BD. W/ LIGHT SPRAY ORANGE PEEL FINISH, 2 COATS LATEX PAINT
- B. 5/8" ARMOR PLUS GYP. BD. W/ LIGHT SPRAY ORANGE PEEL FINISH, 2 COATS EPOXY WASHABLE PAINT

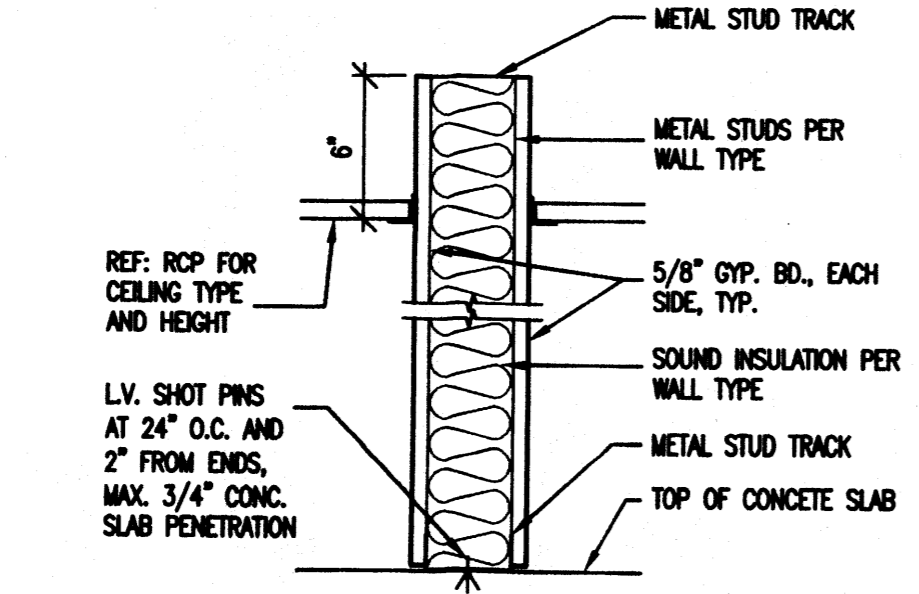
CEILING

1. 5/8" GYP. BD. W/ MED. SPRAY KNOCK DOWN FINISH, 2 COATS LATEX PAINT.
2. EXPOSED STRUCTURE, PAINT AS REQUIRED.

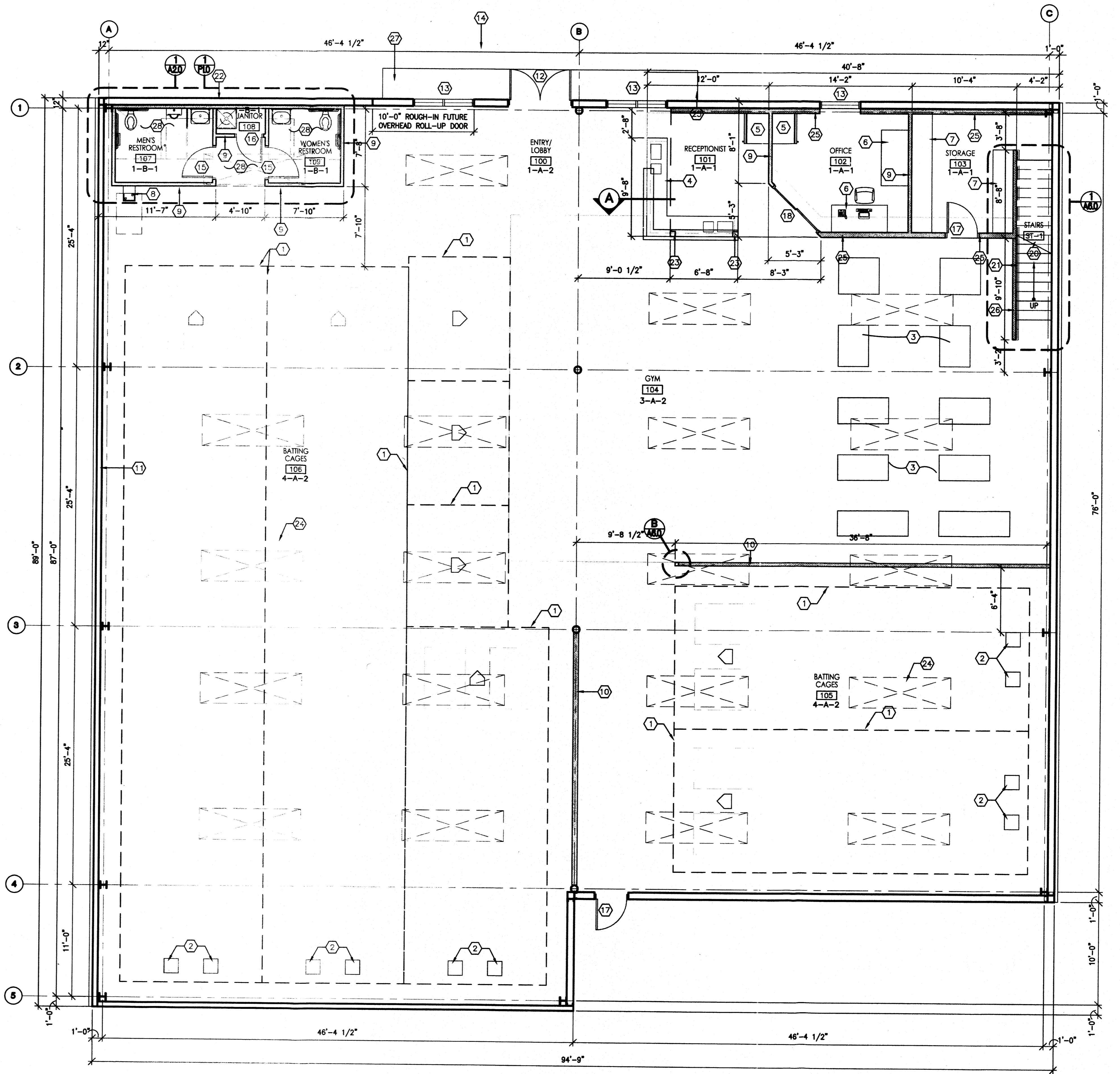
LEGEND



A RECEPTIONIST COUNTER
3/4"=1'-0"



B METAL STUD WALL SECTION
1 1/2"=1'-0"

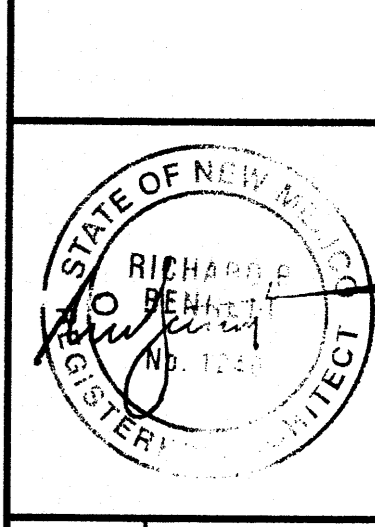


1 FIRST FLOOR PLAN
3/16"=1'-0"

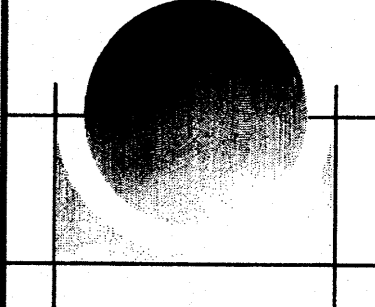
BUILDING AREA:
HEATED AREA: 8,054 S.F.

AMERICA'S PASTIME
FLOOR PLAN
ALBUQUERQUE, NEW MEXICO
PROJECT #1220

REVISION DATE

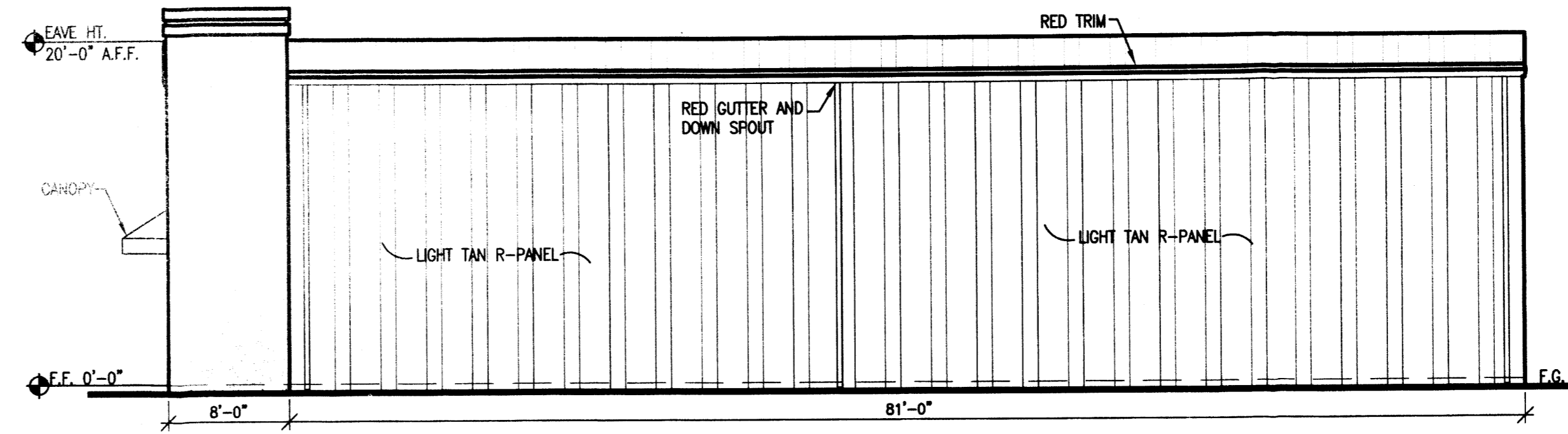


RBA
ARCHITECTURE
PLANNING
DESIGN

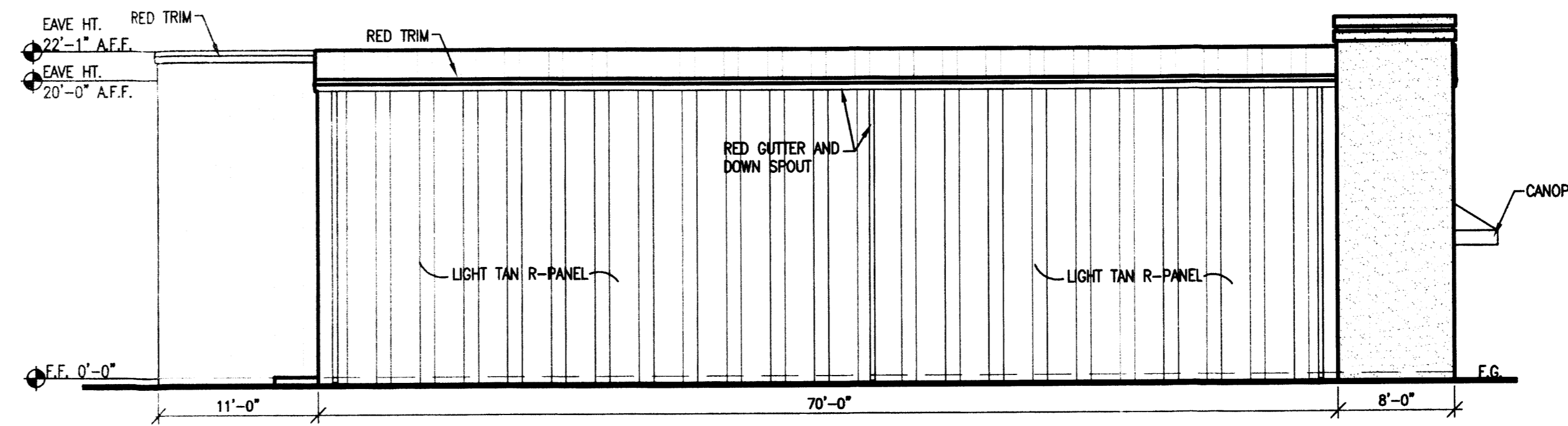


DATE
6-28-2012

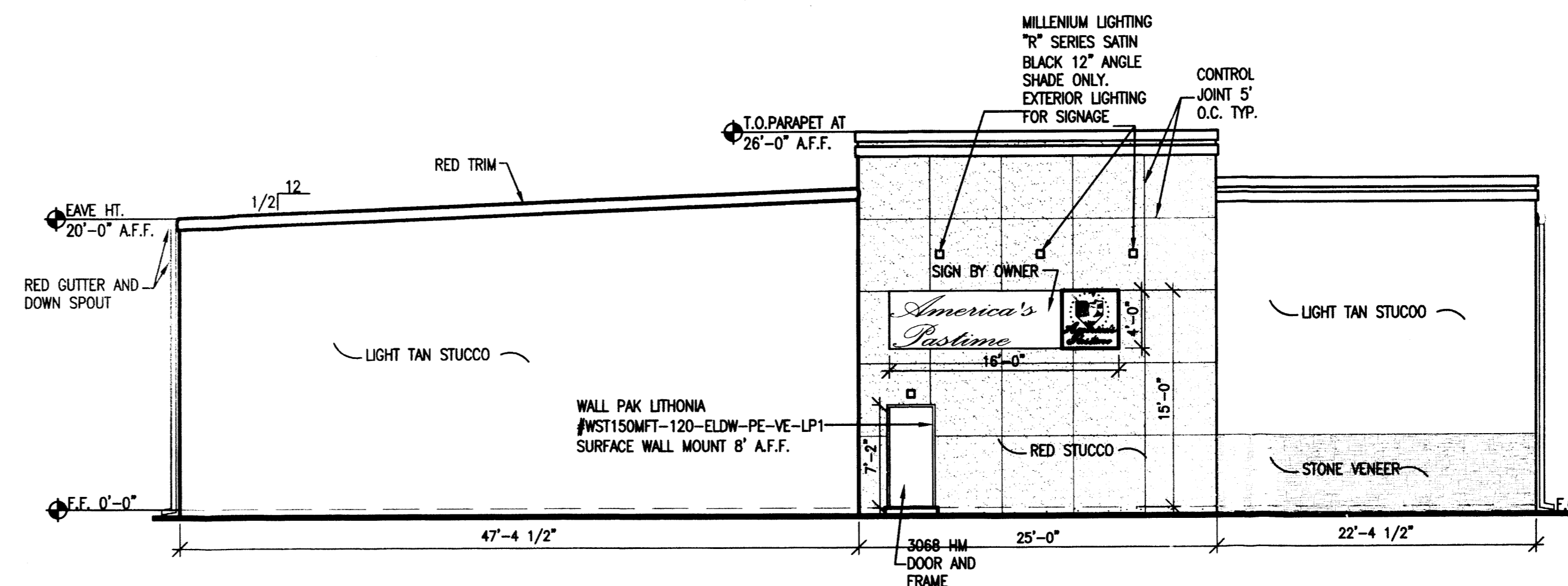
SHEET NUMBER
A-10



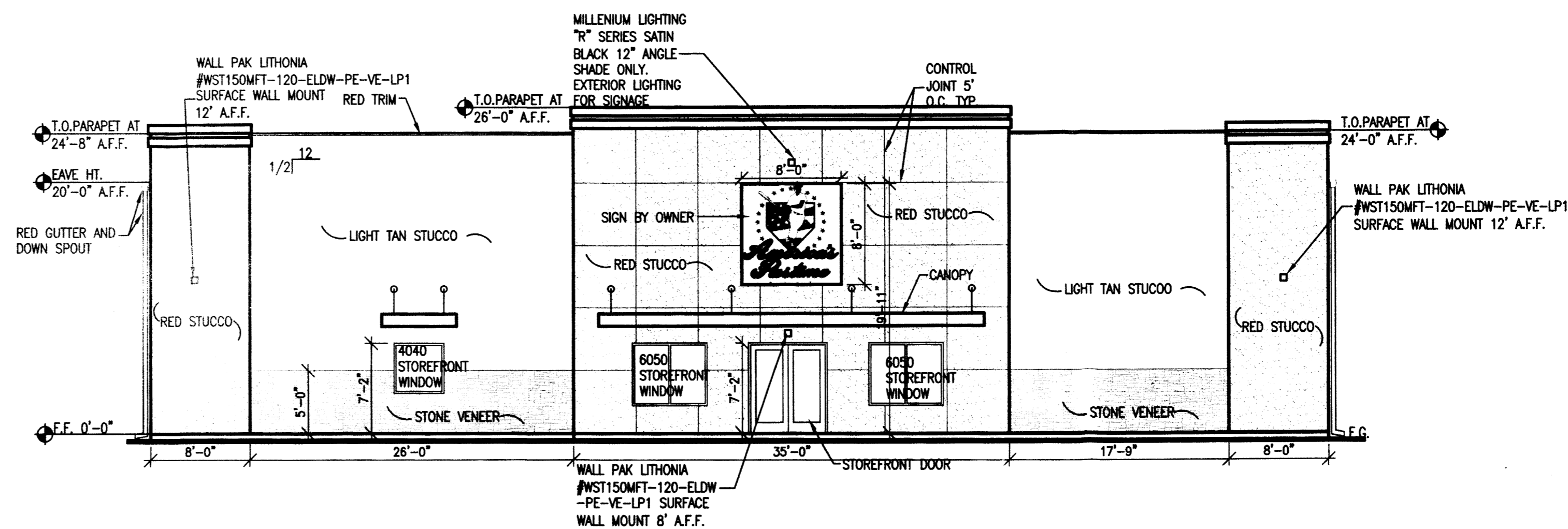
4 WEST ELEVATION
1/8"=1'-0"



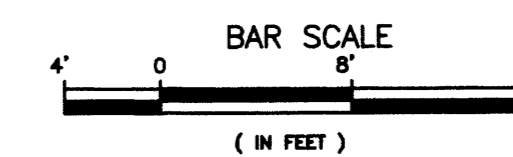
3 EAST ELEVATION
1/8"=1'-0"



2 SOUTH ELEVATION
1/8"=1'-0"



1 NORTH ELEVATION
1/8"=1'-0"



AMERICA'S PASTIME
BUILDING ELEVATIONS
ALBUQUERQUE, NEW MEXICO
PROJECT #1220

REVISION DATE
DATE
7-16-2012
SHEET NUMBER
A-4.0