

ARCHITECT

ENGINEER

PROJECT

Used Auto-Dealership
5301 Alameda Boulevard NE
Albuquerque, New Mexico 87113

REVISIONS

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▲
▲
▲

DRAWN BY

REVIEWED BY

DATE

PROJECT NO.

DRAWING NAME

**SITE PLAN FOR
SUBDIVISION**

SHEET NO.

A003

OF

GENERAL NOTES

- A. FUTURE DEVELOPMENT ON THE VACANT PORTION OF THIS LOT SHALL ADHERE TO THE SAME DESIGN CONCEPTS SET FORTH IN THIS SUBMITTAL.
- B. ALL SUBDIVIDED LOTS IN THIS SUBMITTAL SHALL NOT EXCEED 0.35 F.A.R. MAX.
- C. MAXIMUM BUILDING HEIGHT AND SETBACKS PER SU2 FOR M-1 ZONE, ALAMEDA DESIGN OVERLAY, AND NORTH I-25 SECTOR PLAN. THE MAX. HEIGHT FOR THIS SUBDIVISION IS 32'-0".

KEYED NOTES

- 1. PROPOSED PROPERTY LINE THROUGH EXISTING LOT 30-A
- 2. LANDSCAPED AREA
- 3. AUTOMOBILE DISPLAY AREA
- 4. NEW 6'-0" WIDE CONCRETE SIDEWALK
- 5. NOT USED
- 6. MONUMENT SIGN, 48 SF SURFACE AREA MAX.
- 7. ASPHALT PAVING
- 8. TRASH ENCLOSURE PER COA STANDARDS.
- 9. EXISTING CONCRETE SIDEWALK TO REMAIN
- 10. EXISTING CONCRETE CURB TO REMAIN
- 11. UNUSED PORTION OF PROPERTY NOT BEING DEVELOPED UNDER THIS CONTRACT
- 12. REMOVE EXISTING CONCRETE CURB AND SIDEWALK
- 13. REMOVE EXISTING ASPHALT CURB
- 14. PROPOSED DECEL LANE FOR WEST BOUND TRAFFIC
- 15. NEW CONCRETE CURB
- 16. 6' WIDE CONCRETE WALKWAY
- 17. EXISTING STUCCO WALL
- 18. EXISTING FIRE HYDRANT
- 19. EXISTING UTILITY POLE
- 20. CONCRETE WHEEL STOP/TYP
- 21. LIGHT POLE TYP.: 4" ALUMINUM POLE, 28'-0" HIGH MAX.
- 22. CONCRETE RETAINING WALL, NOT TO EXCEED 3'-0" IN HEIGHT TYP.
- 23. RAISED PEDESTRIAN WALKWAY
- 24. BIKE RACK
- 25. EXISTING CONCRETE SIDEWALK RAMP.
- 26. 6'-0" LANDSCAPE SETBACK
- 27. 10'-0" BUILDING SETBACK
- 28. NEW CONCRETE SIDEWALK RAMP, SLOPE 1:12 MIN.
- 29. NEW FIRE HYDRANT.
- 30. ACCESSIBLE PARKING SIGN
- 31. 10'-0" PUBLIC UTILITY EASEMENT
- 32. CONCRETE PATIO
- 33. WATER DETENTION POND AREA
- 34. DRAINWAY ACCESS EASEMENT
- 35. PUBLIC WATER & SANITARY SOURCE EASEMENT

SITE INFORMATION

LEGAL DESCRIPTION:
LOT 30-A, BLOCK 11, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

ZONE: SU2 FOR M-1

GROSS BUILDING SQUARE FOOTAGE: 1,965 SF

TOTAL SITE AREA: 36,533 SF / 0.84 ACRES

F.A.R.: 0.053

BUILDING USE: CAR DEALERSHIP INCLUDING ADMINISTRATIVE OFFICE SPACE

AFD Plans Checking Office
924-3611
HYDRANTS ONLY
Hydrants shall be installed prior to construction

APPROVED DISAPPROVED
R.C. Janel 9-9-04
Signature & Date

PROJECT NUMBER: **1003372**
APPLICATION NUMBER: **04-01234**

Is an Infrastructure List required? Yes () No if yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature] 11-2-04
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

[Signature] 11/5/04
UTILITIES DEVELOPMENT DATE

[Signature] 11/3/04
PARKS AND RECREATION DEPARTMENT DATE

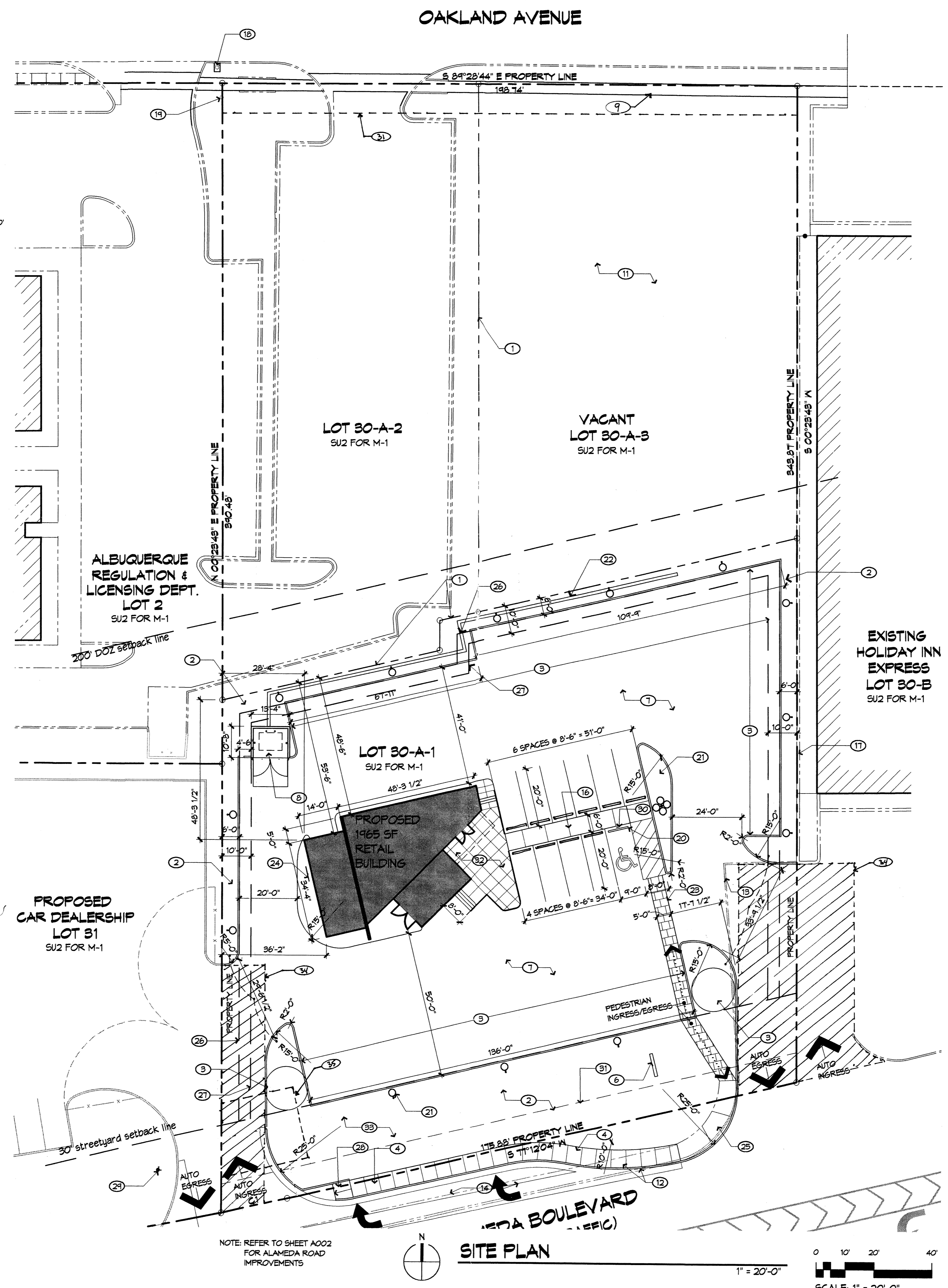
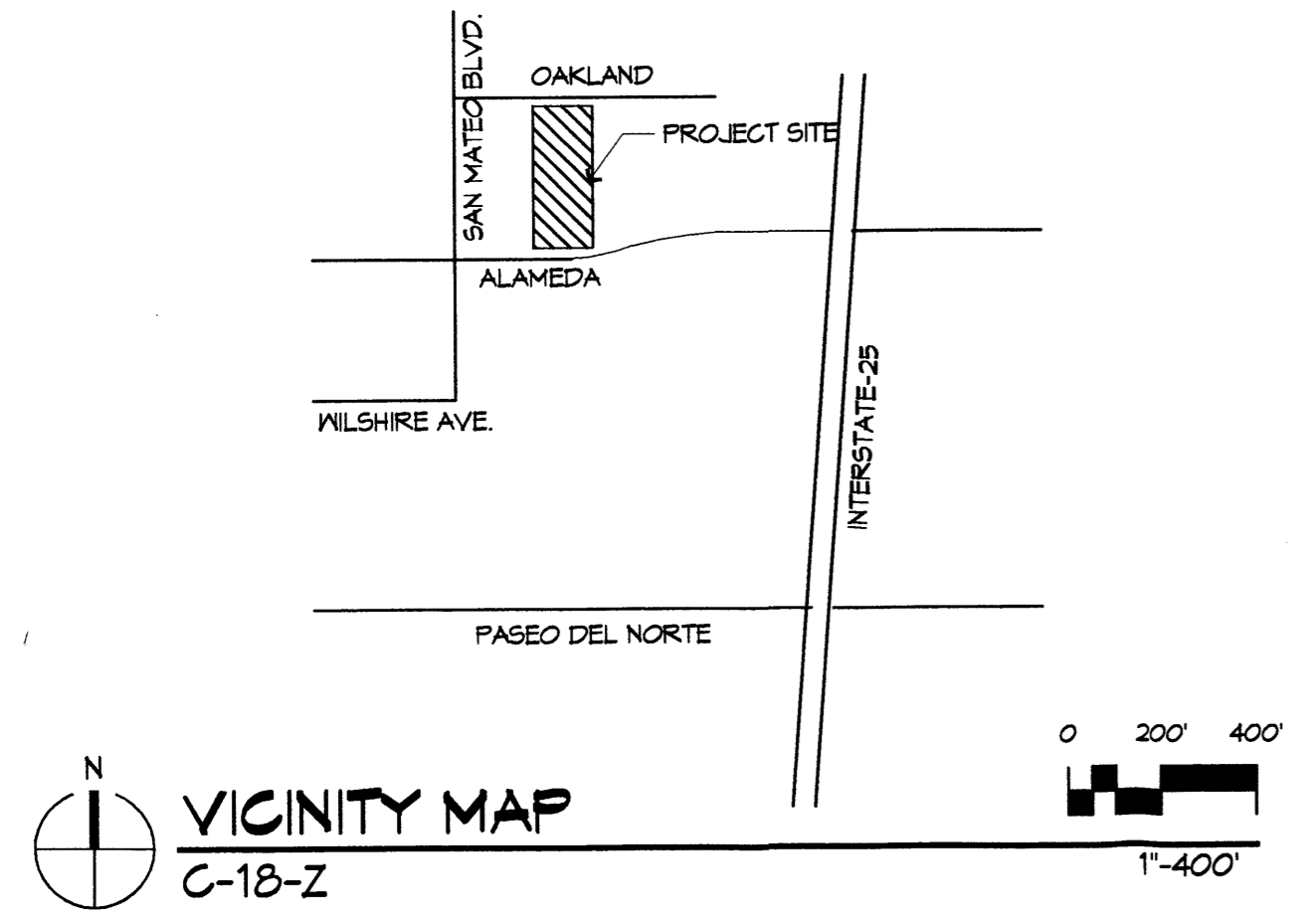
[Signature] 11/3/04
CITY ENGINEER DATE

* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE

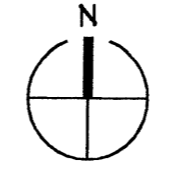
[Signature] 9-9-04
SOLID WASTE MANAGEMENT DATE

[Signature] 11/05/04
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

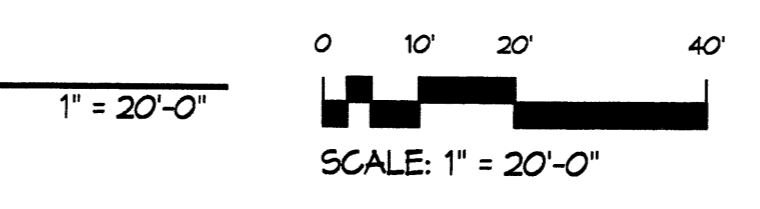
* Environmental Health, if necessary

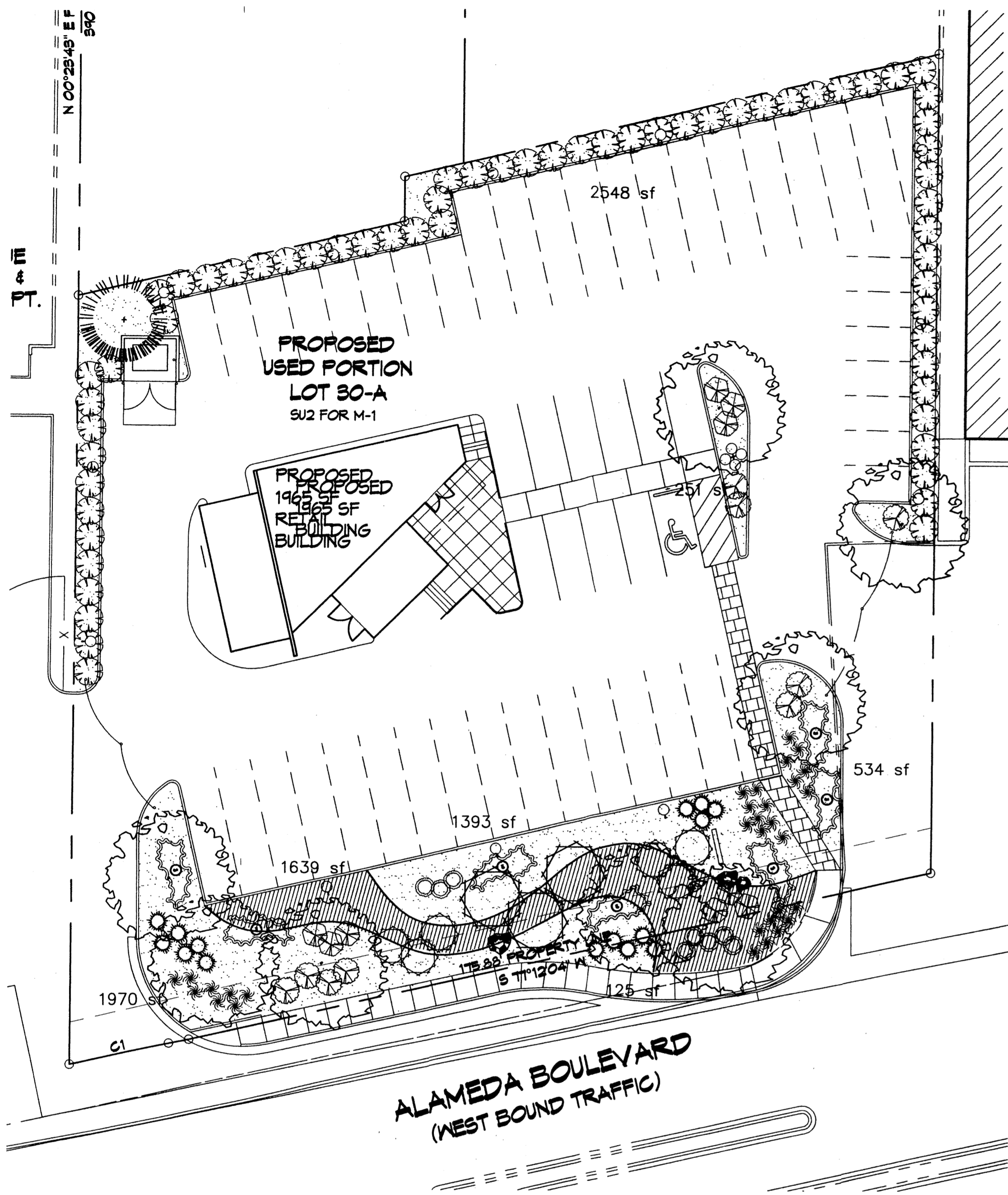


NOTE: REFER TO SHEET A002 FOR ALAMEDA ROAD IMPROVEMENTS



SITE PLAN

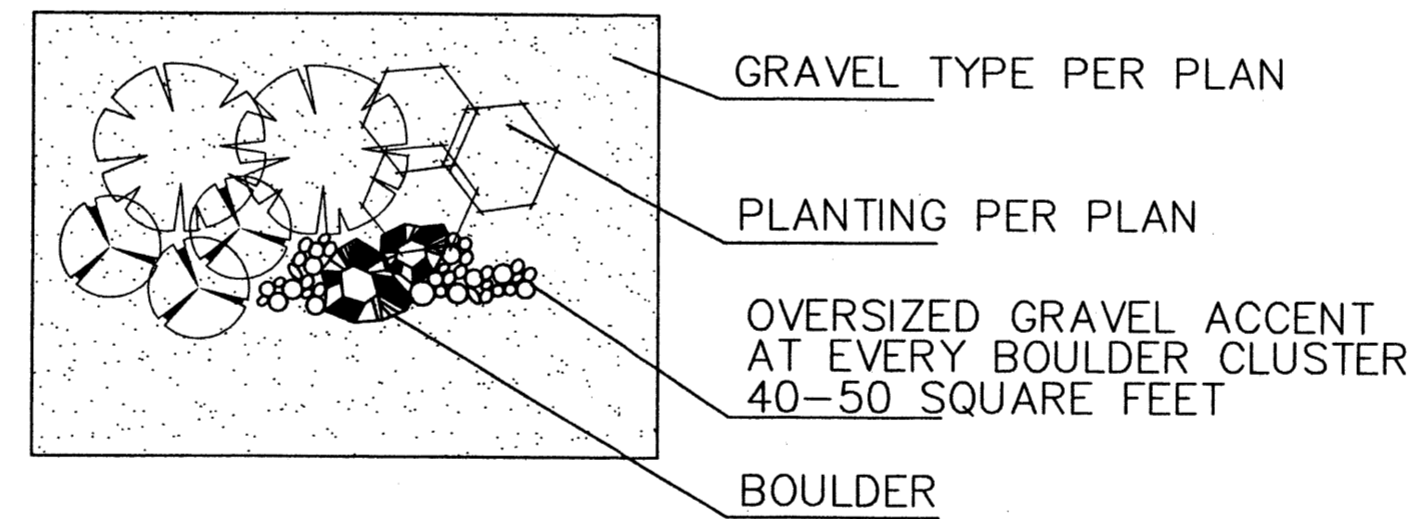




PLANT LEGEND

- RAYWOOD ASH 8
Fraxinus oxycarpa
2" Cal.
- DESERT WILLOW (L) 3
Chilopsis linearis
15 Gal.
- BIRD OF PARADISE (L) 6
Caesalpinia gillesii
5 Gal. 100sf
- INDIAN HAWTHORN (M) 9
Raphiolepis indica
1 Gal. 36sf
- MAIDEN GRASS (M) 15
Miscanthus spp.
1 Gal. 36sf
- COMPACT NANDINA 21
or
CRANBERRY COTONEASTER
Nandina domestica Harbor dwarf /
Cotoneaster apiculatus
1 Gal. 81sf
Symbol indicates 3 plants
- COMMERCIAL GRADE
STEEL EDGING
- AUSTRIAN PINE (M) 1
Pinus nigra
6'-8'
- ROSEMARY (M) 8
Rosmarinus officinalis
1 Gal. 36sf
- CHAMISA (L) 63
Chrysothamnus nauseosus
1 Gal. 25sf
- HONEYSUCKLE (M) 9
Lonicera sempervirens
1 Gal. 144 sf
Unstaked-Groundcover
- RED YUCCA (L) 31
Hesperaloe parviflora
1 Gal. 16sf
- BOULDERS
- 3/4" GRAY GRAVEL
WITH FILTER FABRIC
- SANTA FE BROWN CRUSHER FINES
WITH FILTER FABRIC

GRAVEL ACCENT DETAIL



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	36533	square feet
TOTAL BUILDINGS AREA	1965	square feet
OFFSITE AREA	465	square feet
NET LOT AREA	34103	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	5115	square feet
TOTAL BED PROVIDED	8460	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	6346	square feet
TOTAL GROUNDCOVER PROVIDED	6577	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet
TOTAL LANDSCAPE PROVIDED	8460	square feet

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

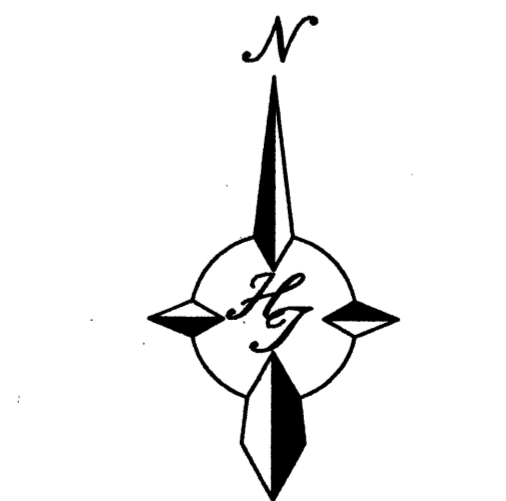
Irrigation maintenance shall be the responsibility of the Property Owner.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Alameda Blvd.
Required 7 Provided 7

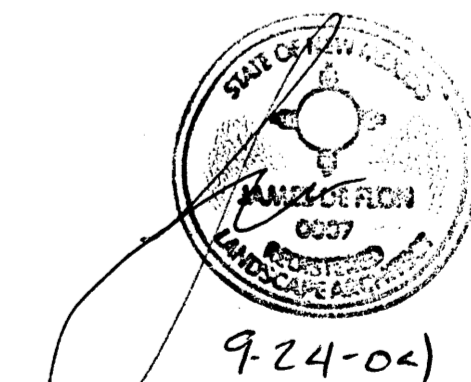
FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



GRAPHIC SCALE

20 10 0 10 20

SCALE: 1"=20'



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com

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REVISIONS

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DRAWN BY **SL**

REVIEWED BY **CMD**

DATE **09/28/04**

PROJECT NO. **04042**

DRAWING NAME

Landscape plan

SHEET NO.

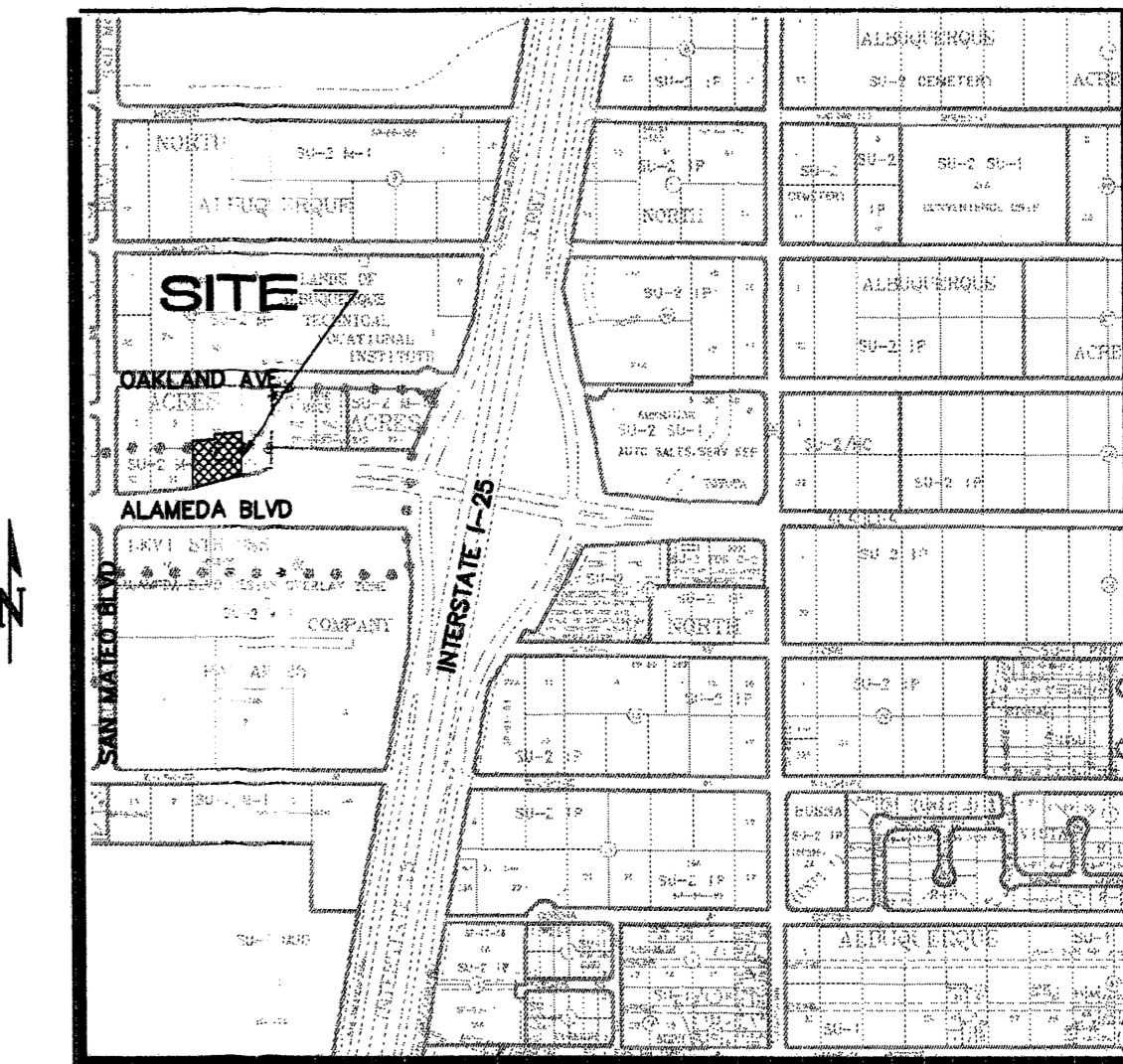


Used Auto-Dealership
5301 Alameda Boulevard NE
Albuquerque, New Mexico 87113

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DRAWN BY	thor
REVIEWED BY	SMM
DATE	07/30/04
PROJECT NO.	
DRAWING NAME	

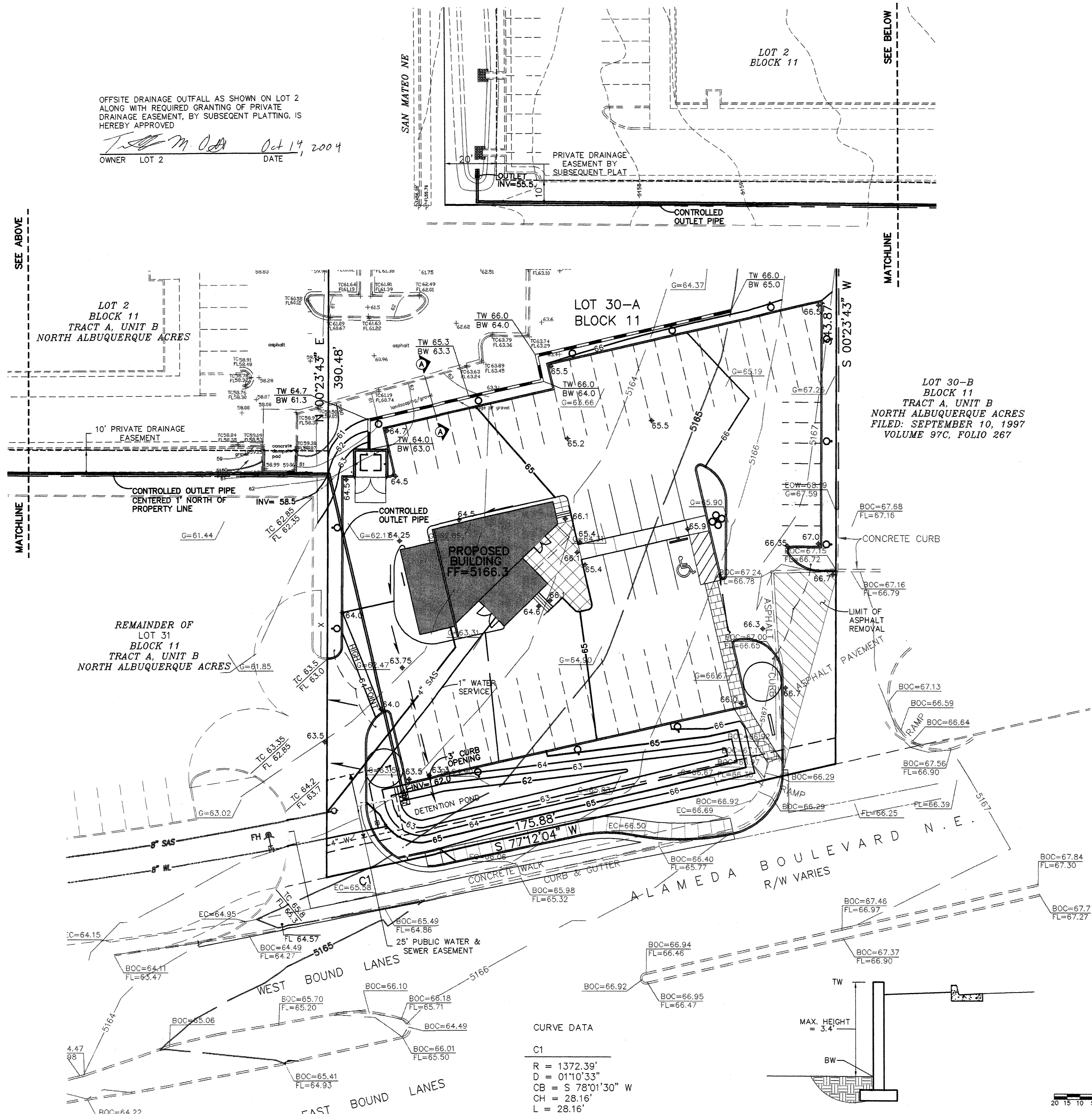
**CONCEPTUAL
GRADING & UTILITY
PLAN**



C-18-Z
VICINITY MAP
1"=750'

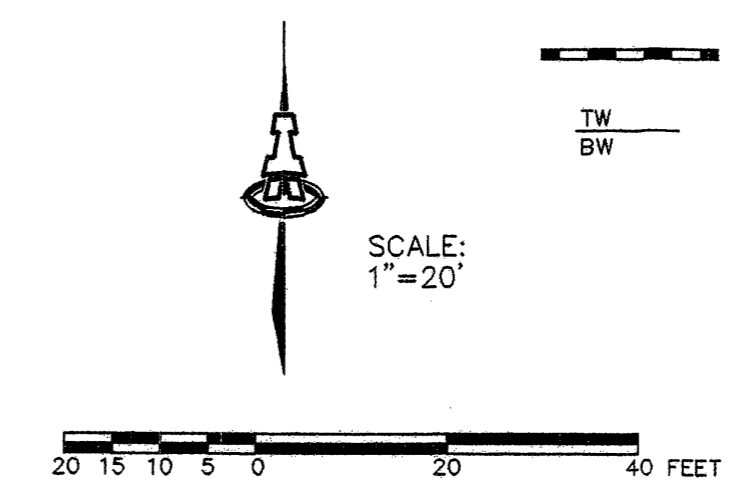
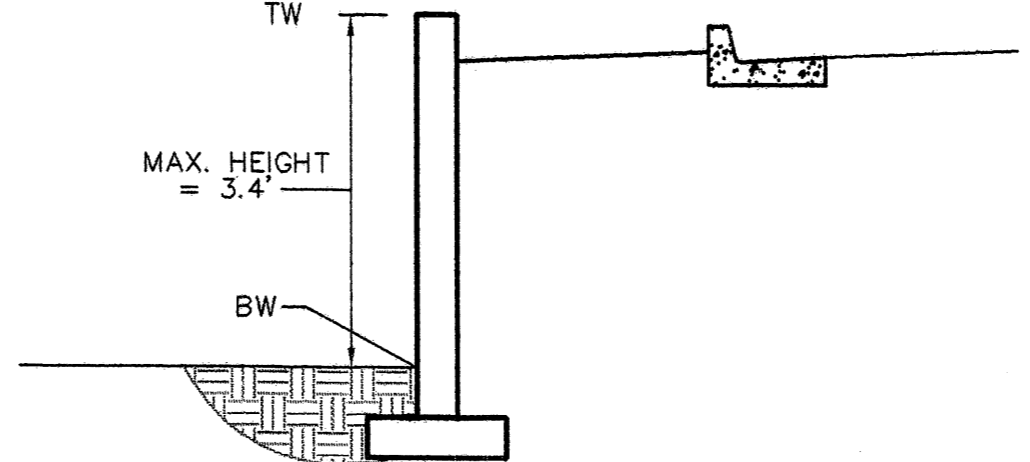
OFFSITE DRAINAGE OUTFALL AS SHOWN ON LOT 2
ALONG WITH REQUIRED GRANTING OF PRIVATE
DRAINAGE EASEMENT, BY SUBSEQUENT PLATTING, IS
HEREBY APPROVED

Scott M. McGehee Oct 14, 2004
OWNER LOT 2 DATE



CURVE DATA

R	= 1372.39'
D	= 01°10'33"
CB	= S 78°01'30" W
CH	= 28.16'
L	= 28.16'



LEGEND

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
◆ 64.5	PROPOSED SPOT ELEVATION
→	FLOW ARROW
FF = 5166.3	FINISH FLOOR ELEVATION
---	SIDEWALK CULVERT
TC 81.9 FL 81.4	TOP OF CURB ELEVATION FLOWLINE
INV=72.5	INVERT ELEVATION
---	CONTROLLED OUTLET PIPE
---	RETAINING WALL
TW BW	TOP OF BOTTOM OF WALL ELEVATION

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico
1356GRD.DWGthor 10.05.04