

**LEGAL DESCRIPTION**  
 5310 OAKLAND AVE. NE, ALBUQUERQUE, NM 87113  
 Lot: 30-A-3, BLOCK 11, TRACT A, UNIT B  
 Subdivisor: NORTH ALBUQUERQUE ACRES  
 UIC: 101806404340820005

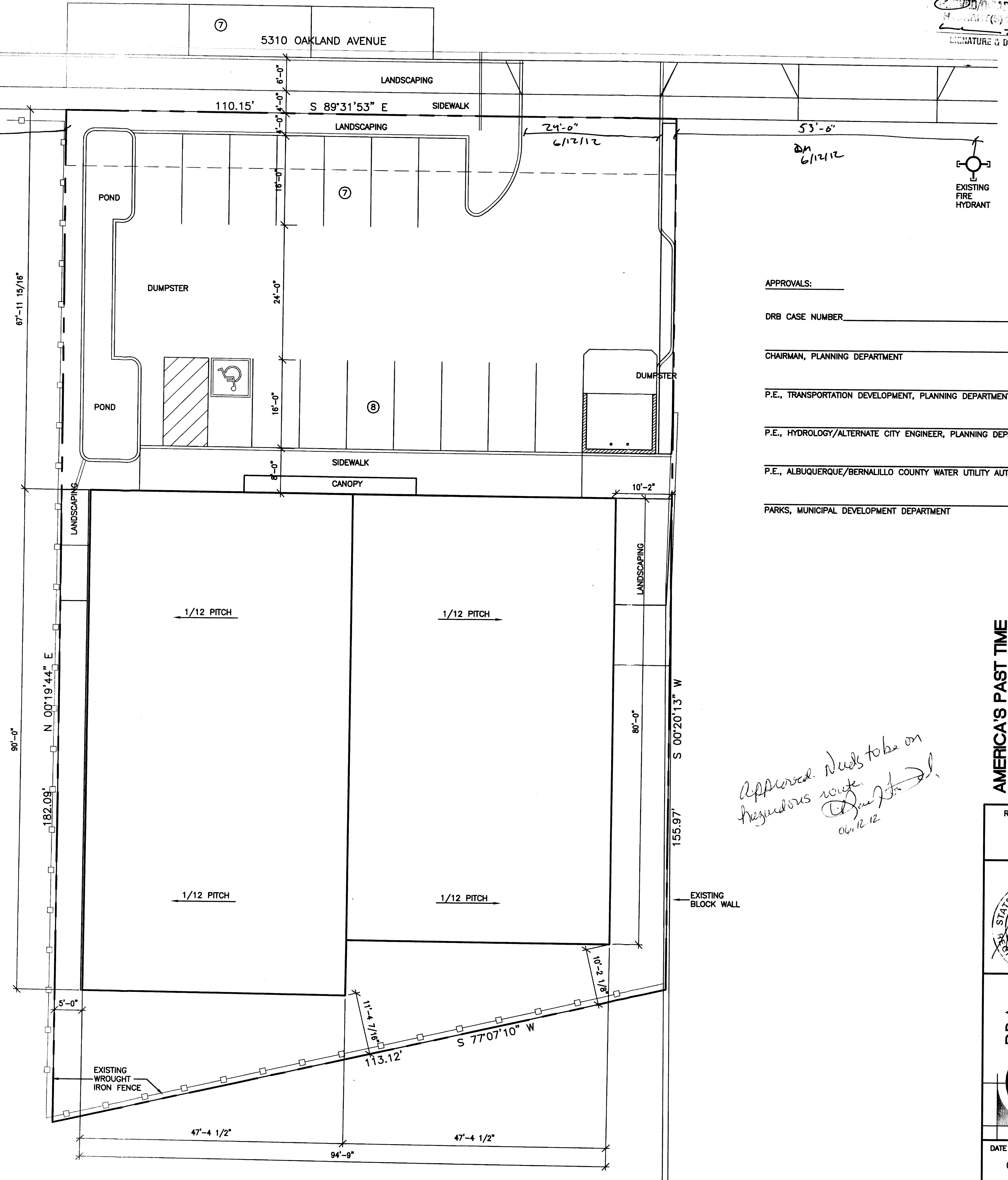
**INTERNATIONAL BUILDING CODE 2009**

OCCUPANCY AND USE CLASSIFICATION:	B, OFFICE
TYPE OF CONSTRUCTION (TABLE 503):	2-B
ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503):	3 STORY, 23,000 S.F. (B GROUP)
SECTION 903 AUTOMATIC SPRINKLER SYSTEM:	NOT REQUIRED FOR GROUP B
SECTION 907 FIRE ALARM AND DETECTION SYSTEM:	NOT REQUIRED FOR GROUP B, LESS THAN 500 OCC.
ACTUAL BUILDING AREA:	B, OFFICE AREA = 8,243 S.F. (HEATED AREA)
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601):	TYPE 2-B, NONE REQUIRED
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 602):	TYPE 2-B, NONE REQUIRED
ROOF LIVE LOAD	= 20 PSF (NON-REDUCABLE)
WIND LOAD	= 90 MPH
EXPOSURE	= C
SEISMIC ZONE	= 2B
OCCUPANT LOAD (TABLE 1004.1.1):	8,243 S.F./100 = 82 OCC. (OFFICE AREA)
SECTION 1021 NUMBER OF EXITS AND CONTINUITY:	PER I.B.C. TABLE 1021.1 OCCUPANT LOAD OF 1-500 (2) EXITS REQUIRED (2) EXITS PROVIDED

SITE: 18,616 SF  
 PAVEMENT/SIDEWALK: 6,031 SF  
 BUILDINGS: 8,243 SF  
 LANDSCAPE: 10,373 SF NET/15% = 1,556 SF  
 PROVIDED 1,872 SF

PARKING REQUIREMENTS:  
 BY APPOINTMENT ONLY:  
 8 BATTING CAGES = 8 SPACES  
 3 WORKOUT STATIONS = 3 SPACES  
 4 EMPLOYEES = 4 SPACES

15 SPACES REQUIRED  
 15 SPACES PROVIDED



*Approved. Needs to be on  
 regardless route.  
 6/12/12*

APPROVALS:

DRB CASE NUMBER \_\_\_\_\_

CHAIRMAN, PLANNING DEPARTMENT \_\_\_\_\_

P.E., TRANSPORTATION DEVELOPMENT, PLANNING DEPARTMENT \_\_\_\_\_

P.E., HYDROLOGY/ALTERNATE CITY ENGINEER, PLANNING DEPARTMENT \_\_\_\_\_

P.E., ALBUQUERQUE/BERNALILLO COUNTY WATER UTILITY AUTHORITY \_\_\_\_\_

PARKS, MUNICIPAL DEVELOPMENT DEPARTMENT \_\_\_\_\_

**1 SITE PLAN**  
 1"=10'-0"

AMERICA'S PAST TIME  
 SITE PLAN  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT #1220

REVISION DATE
DATE
06-11-2012
SHEET NUMBER
C-20





5310 OAKLAND AVENUE

**LANDSCAPE NOTES**

MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER.

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF BERNALILLO.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH.

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY.

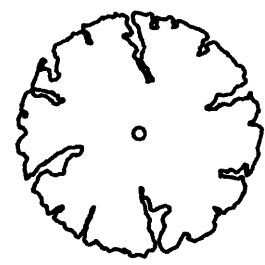
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APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE.

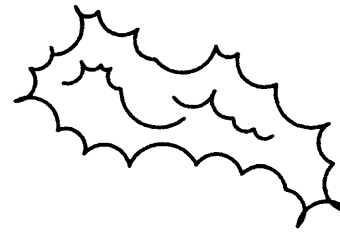
TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

**PLANT LEGEND**



DESERT WILLOW (L) 7  
*Chilopsis linearis*  
 15 GAL



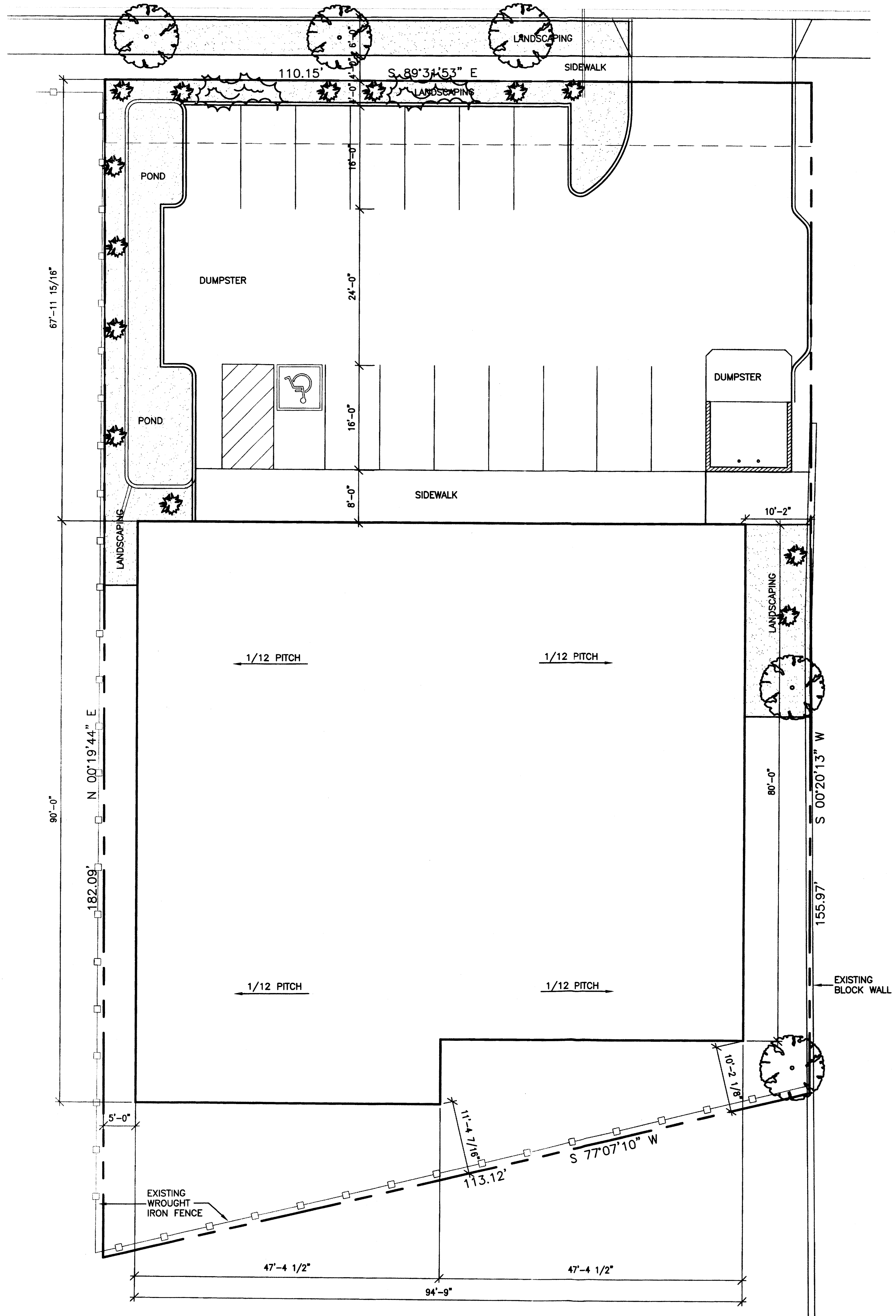
TAM JUNIPER (M) 8  
*JUNIPERUS SABINA*  
 5 gal



LAVENDER (M) 6  
*Lavandula angustifolia*  
 1 gal



3/4" GRAVEL WITH FILTER FABRIC OR BUFFALO GRASS



**1 LANDSCAPE PLAN**

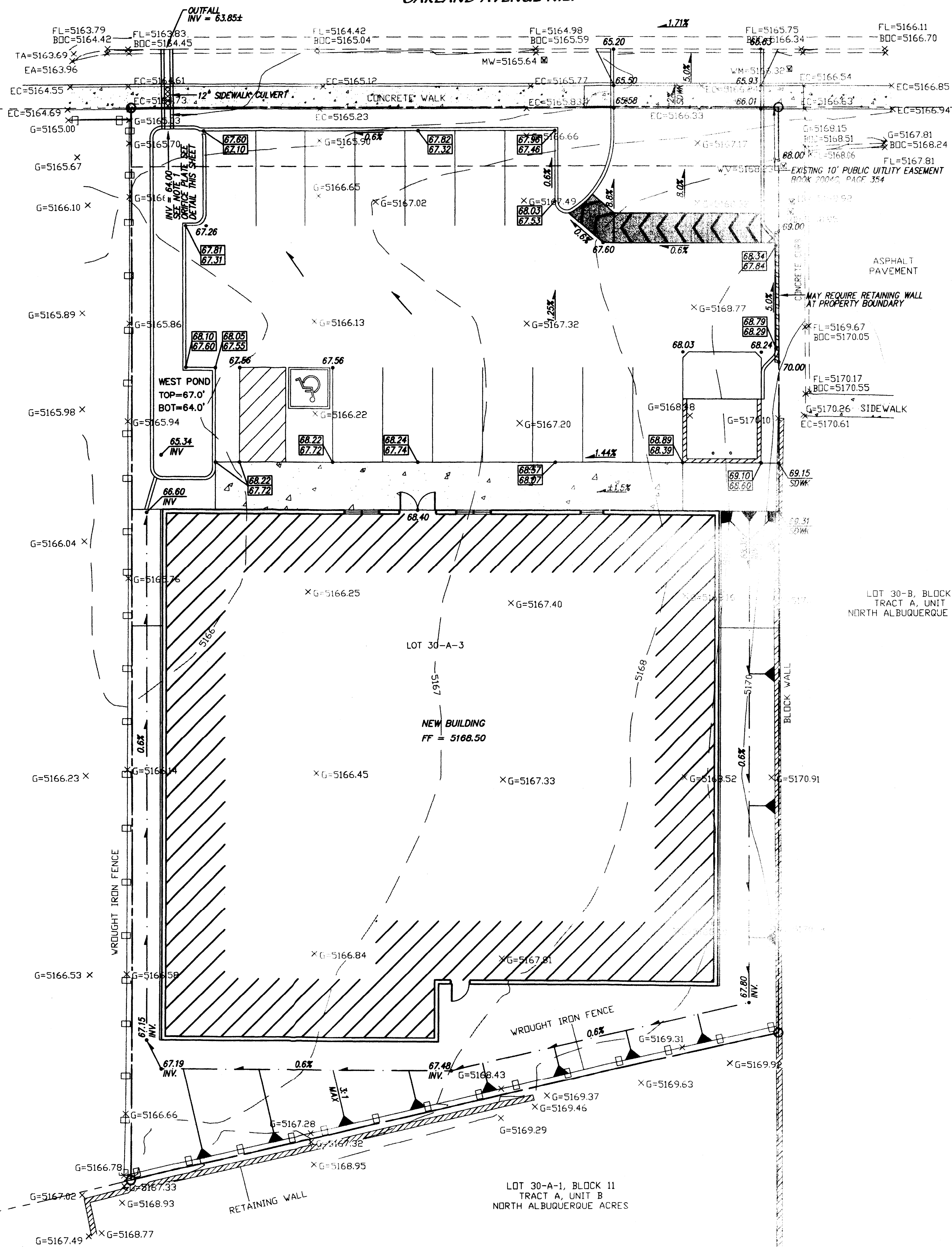
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AMERICA'S PAST TIME  
 LANDSCAPE PLAN  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT #1220

REVISION DATE
DATE 06-11-2012
SHEET NUMBER L-10

OAKLAND AVENUE N.E.

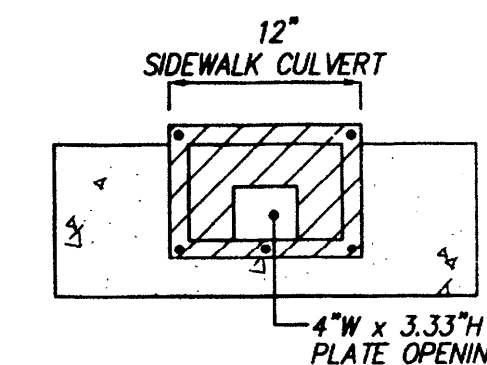


- NOTICE TO CONTRACTOR
1. An excavation/construction permit will be required before beginning any work within City right of way.
  2. All work detailed on these plans to be performed, except as otherwise stated or provided for herein, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
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  7. Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		

NOTES

1. CONTRACTOR TO MAKE SURE POSITIVE OUTFALL FROM POND BOTTOM TO FACE OF CURB FLOWLINE ELEVATION.
2. SWALE AROUND BUILDING SHALL HAVE EROSION PROTECTION IN FORM OF LANDSCAPING MATERIAL OR LANDSCAPE ROCK.



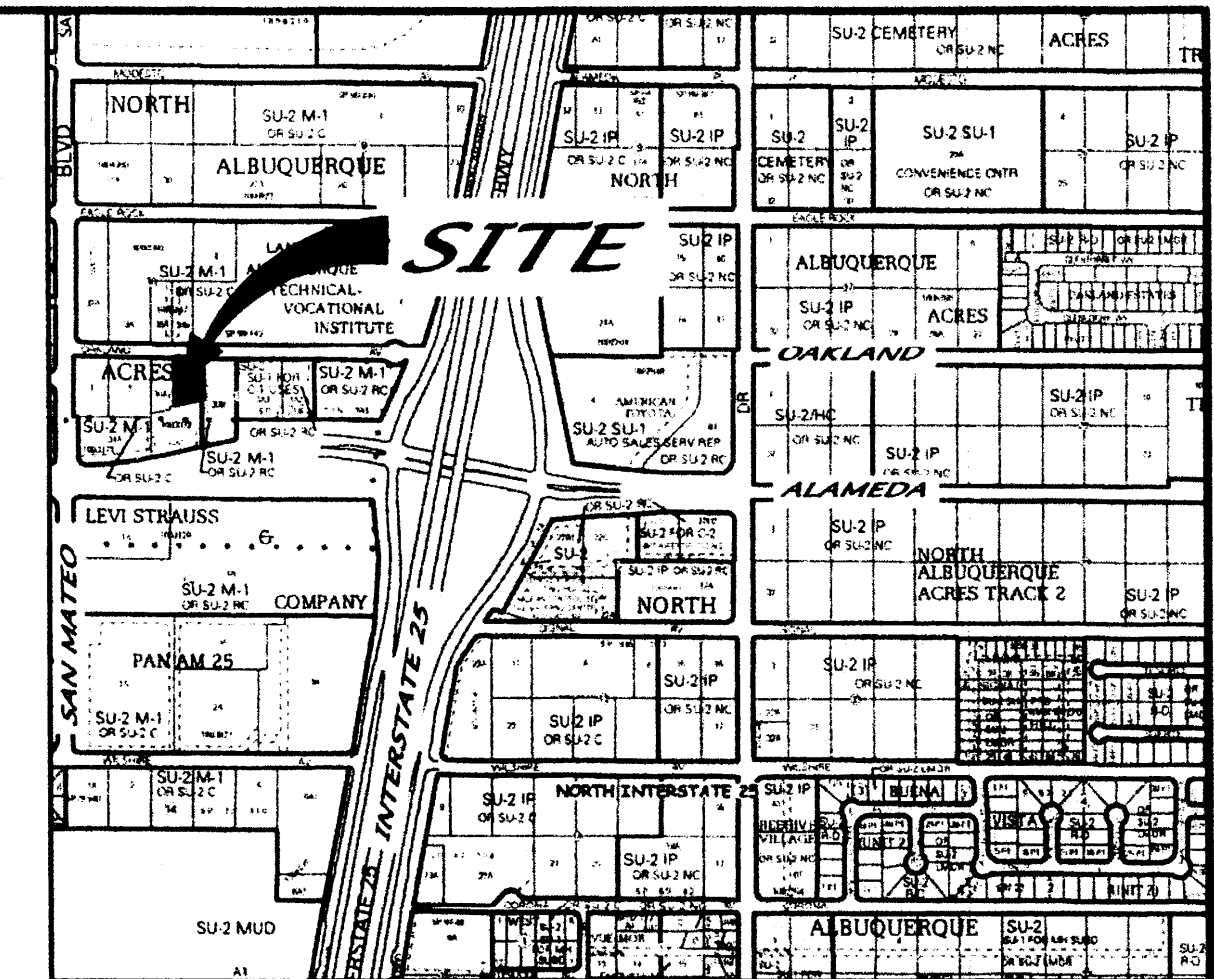
12" ORIFICE PLATE/  
SIDEWALK CULVERT DETAIL

SCALE: 1" = 1'

HYDROLOGY SUMMARY

TOTAL AREA = 0.42 acres  
 Q 100 YR = 1.93 cfs  
 Q ALLOWABLE = 0.75 cfs

RETENTION POND:  
 TOP = 5167.00  
 BOTTOM = 5164.00  
 SS = VERTICAL  
 DESIGN VOLUME = 0.030 AF  
 MAX VOLUME = 0.0275 AF  
 Q 100 OUT = 0.71 cfs  
 MAX INSEL = 5166.75



VICINITY MAP ZONE MAP: C-18-Z

ACS BENCHMARK

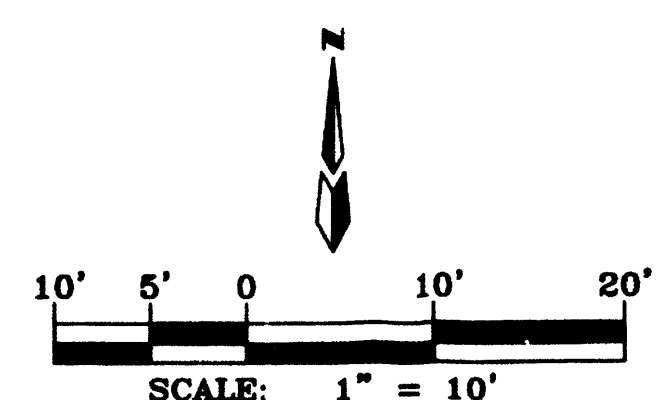
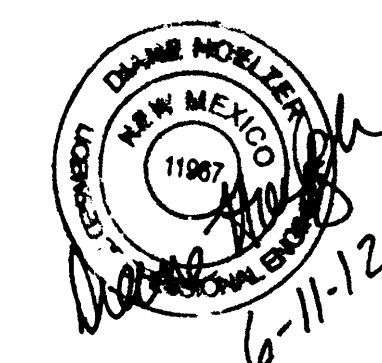
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LEGAL DESCRIPTION

LOT 30-A-3, BLOCK 11, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

LEGEND

BOC	EXISTING BACK OF CURB
TA	EXISTING TOP OF ASPHALT
EC	EXISTING EDGE OF CONCRETE
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
FL	EXISTING FLOW LINE
FH	EXISTING FIRE HYDRANT
NRSASMH	EXISTING NORTH RIM SANITARY SEWER MANHOLE
IBX	EXISTING IRRIGATION BOX
HB	EXISTING HOT BOX
MW	EXISTING MONITORING WELL
G	EXISTING GROUND
5170	EXISTING MAJOR CONTOUR
5167	EXISTING MINOR CONTOUR
---	EXISTING CURB & GUTTER
5166.10 X	EXISTING SPOT ELEVATION
---	EXISTING WALL
---	EXISTING WROUGHT IRON FENCE
---	EXISTING CONCRETE
---	EXISTING BOUNDARY LINE
---	NEW CURB
---	NEW WALL
---	NEW RETAINING WALL
---	NEW SLOPE
---	NEW FLOW
---	NEW SWALE
67.20 67.00	NEW SPOTS
---	NEW SIDEWALK
---	NEW 5' WIDE, 3" HIGH SPEED BUMP



AMERICA'S PASTTIME  
GRADING & DRAINAGE PLAN

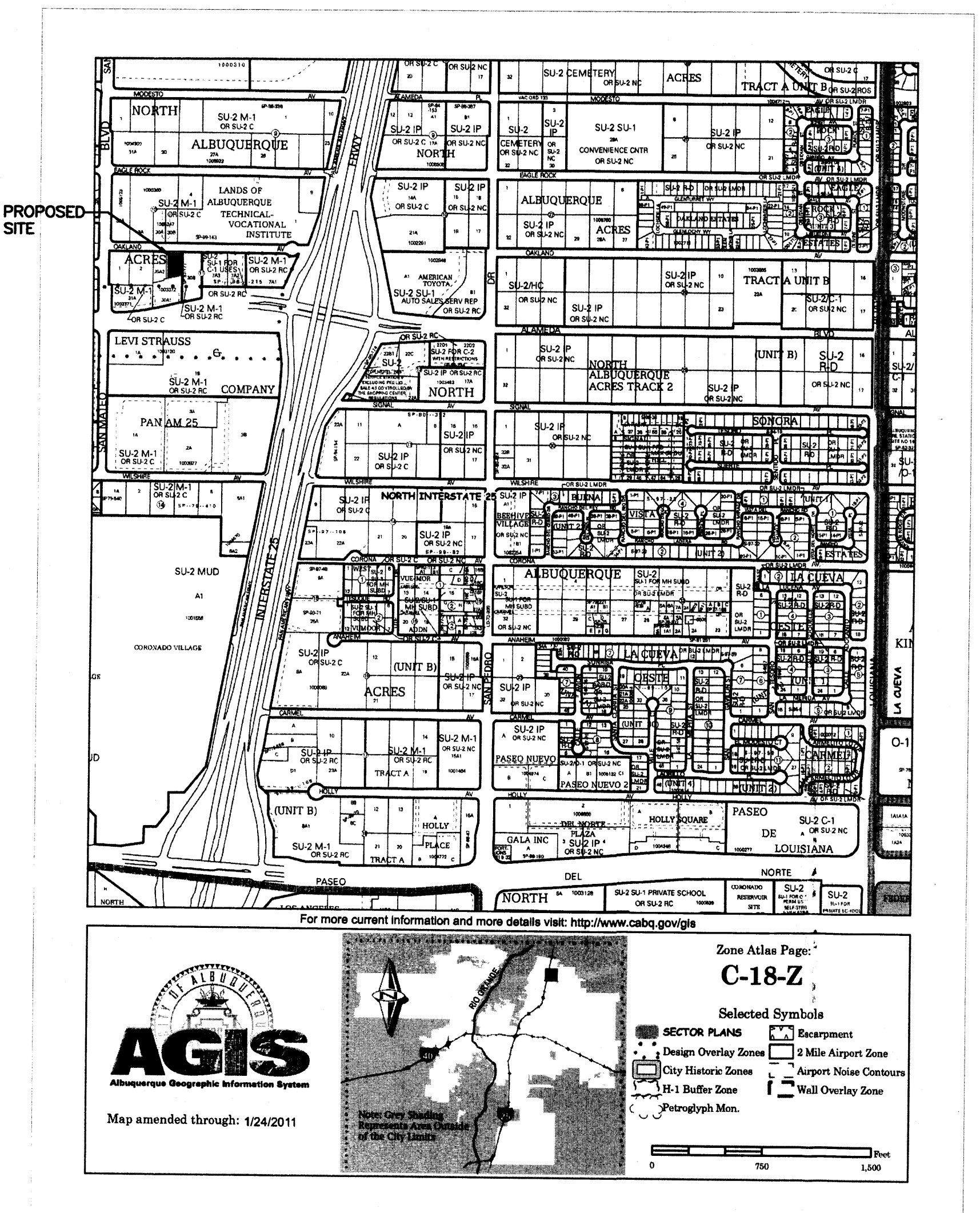
dmg MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: DER	Checked: DMG	Sheet: C1
Scale: 1" = 10'	Date: 06-06-12	Job: A12015	



EXISTING  
 FIRE  
 HYDRANT

EXISTING  
 FIRE  
 HYDRANT



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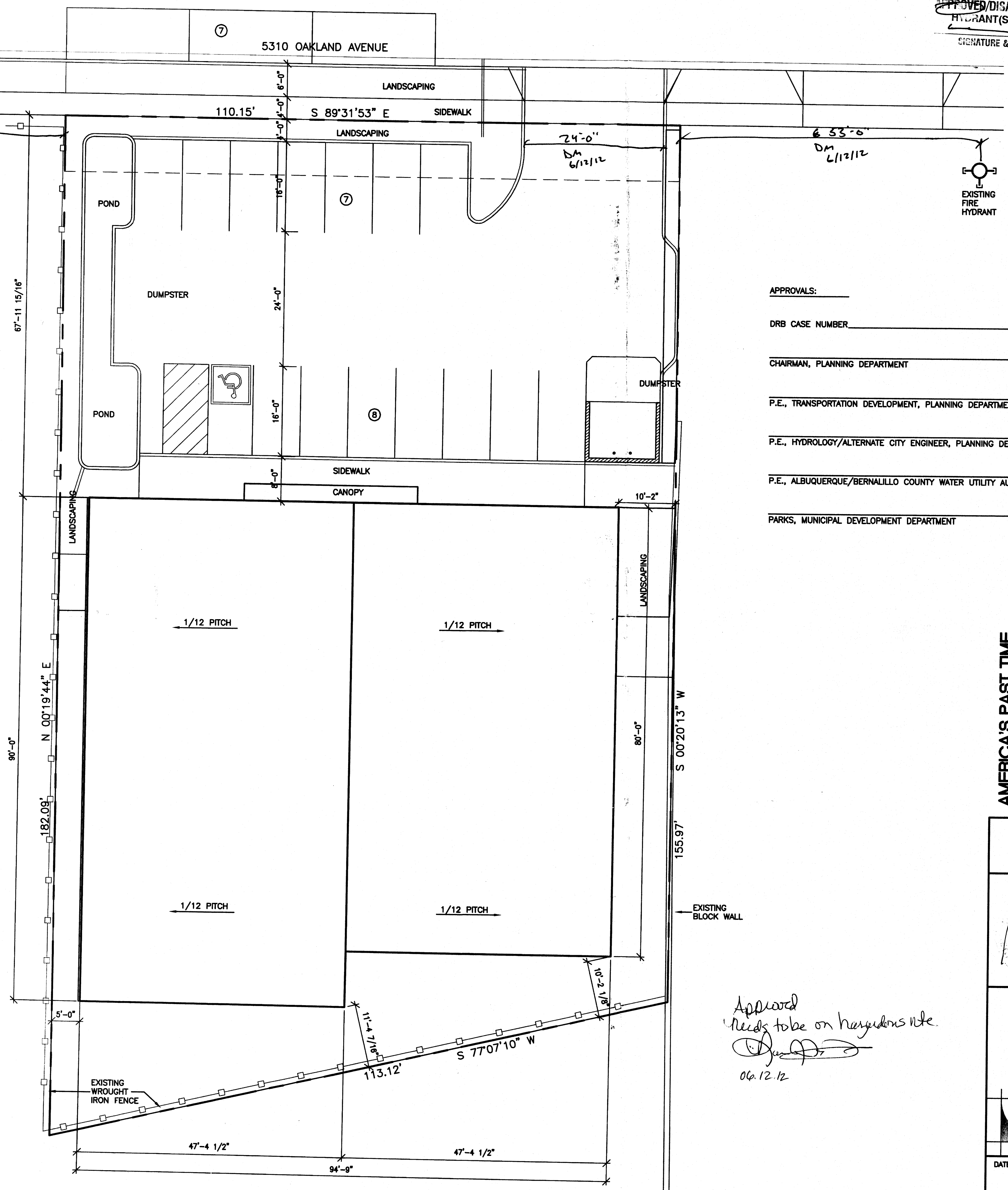
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15 SPACES REQUIRED  
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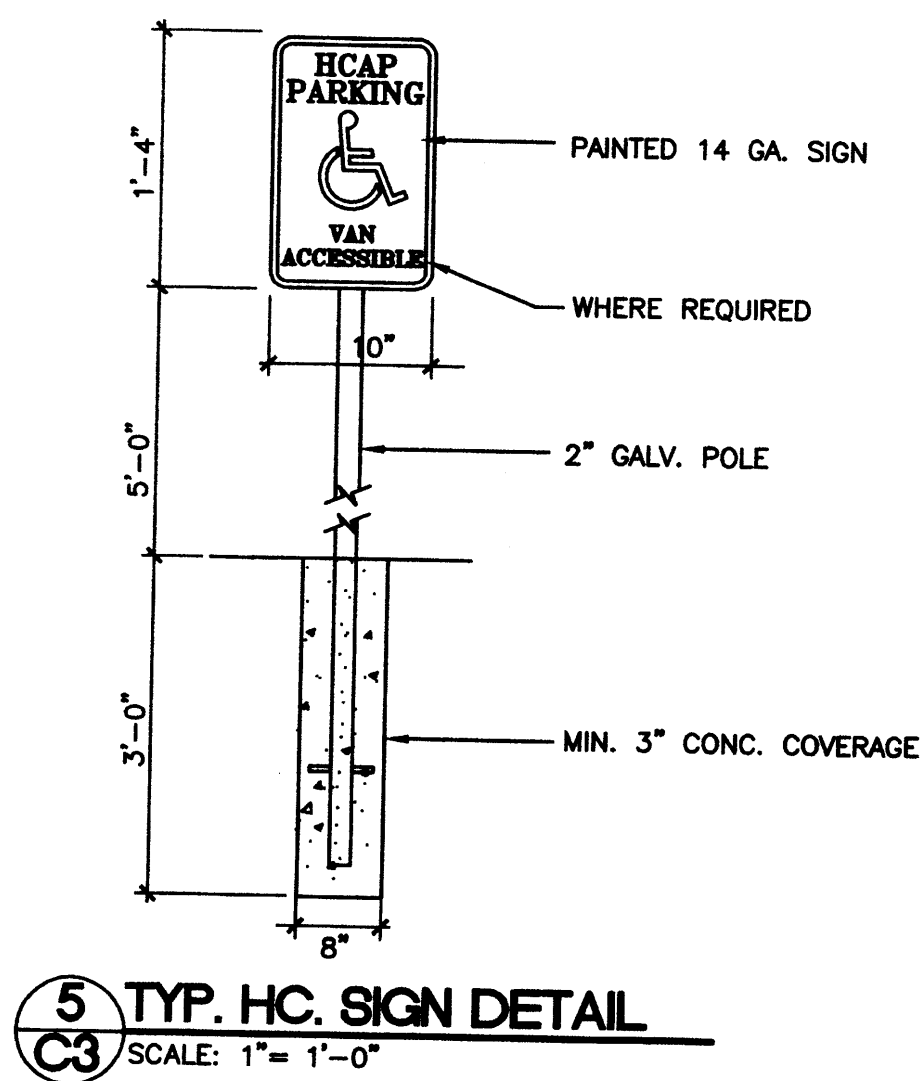
PARKS, MUNICIPAL DEVELOPMENT DEPARTMENT \_\_\_\_\_

AMERICA'S PAST TIME  
 SITE PLAN  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT #1220

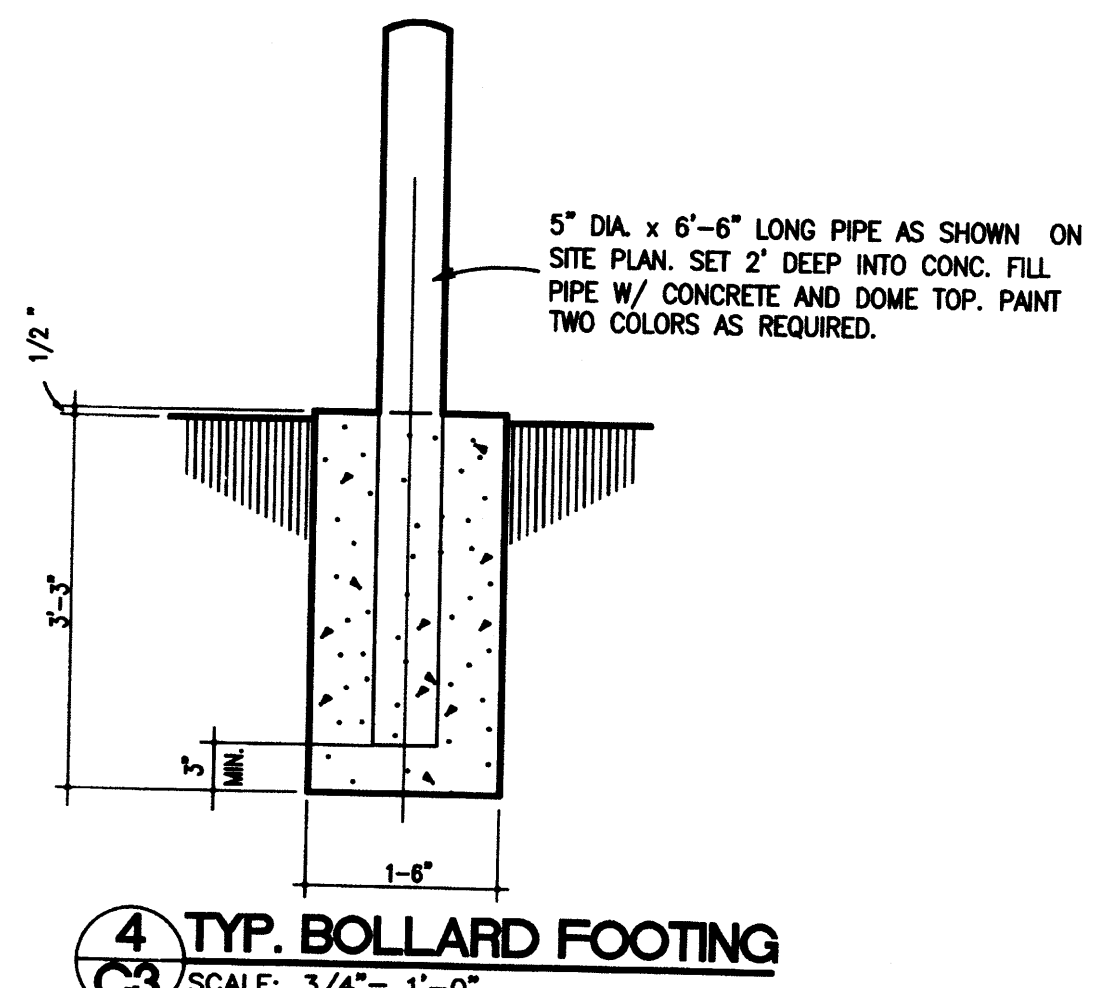
REVISION DATE	
DATE	06-11-2012
SHEET NUMBER	C-20

**1 SITE PLAN**  
 1"=10'-0"

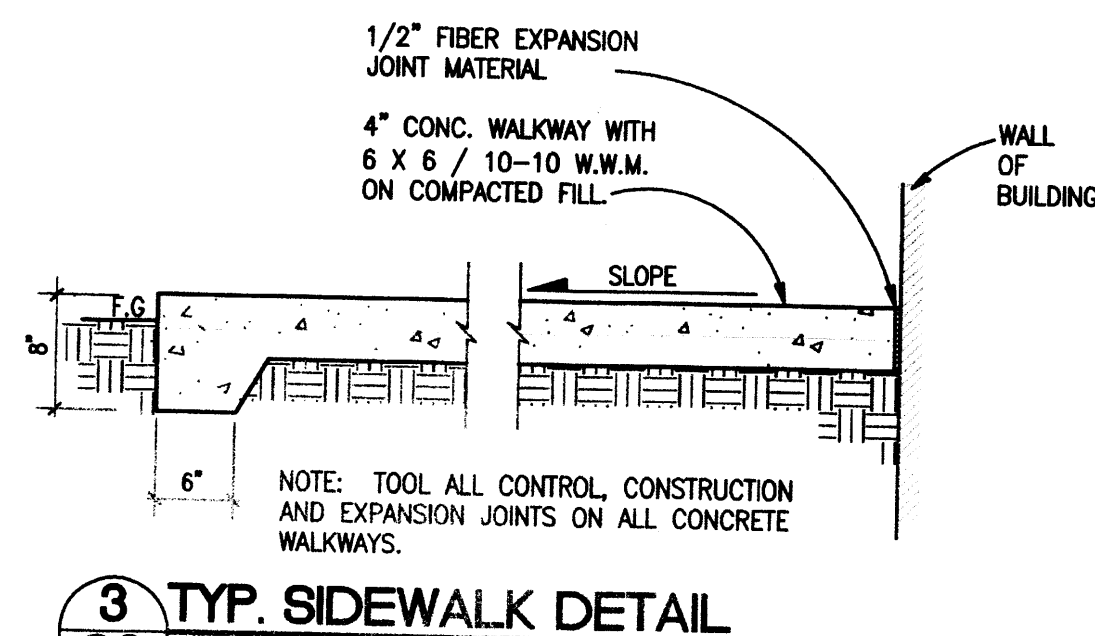
Approved  
 Needs to be on hazardous site.  
 06.12.12



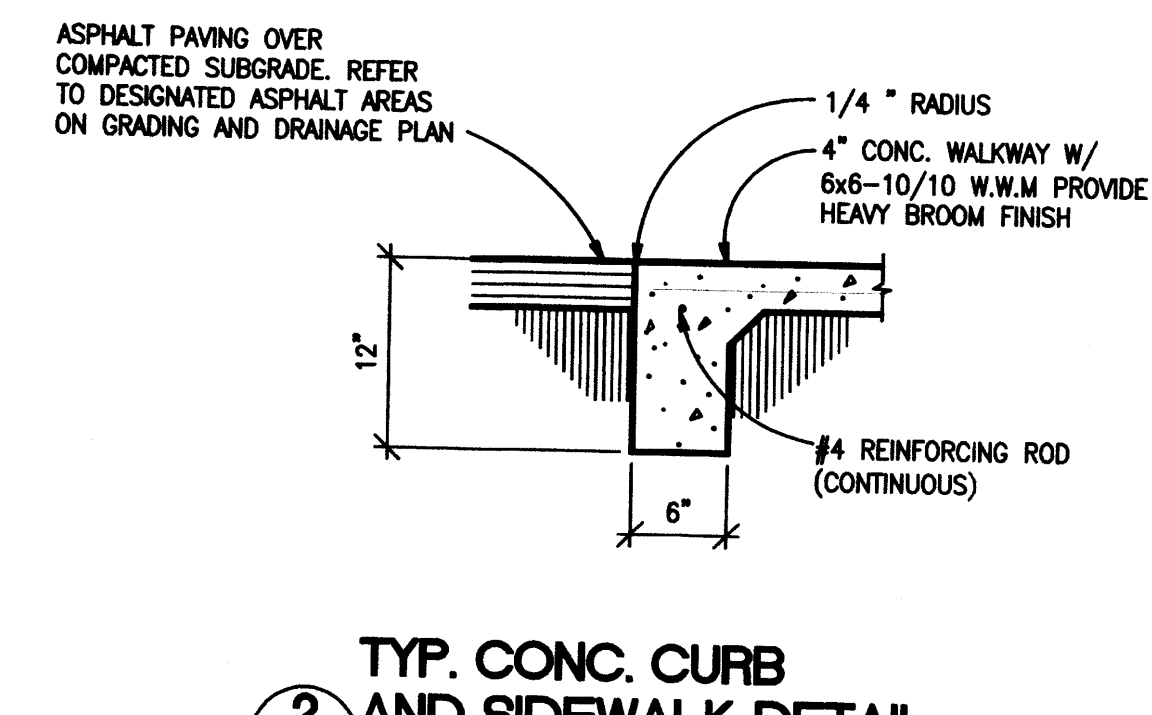
**5 TYP. HC. SIGN DETAIL**  
 C3 SCALE: 1" = 1'-0"



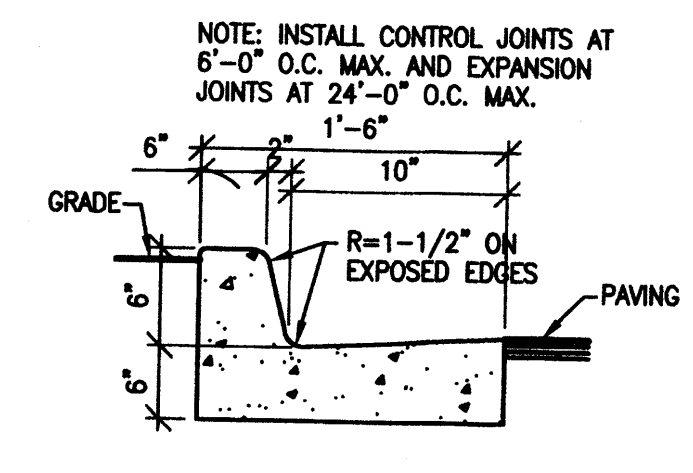
**4 TYP. BOLLARD FOOTING**  
 C3 SCALE: 3/4" = 1'-0"



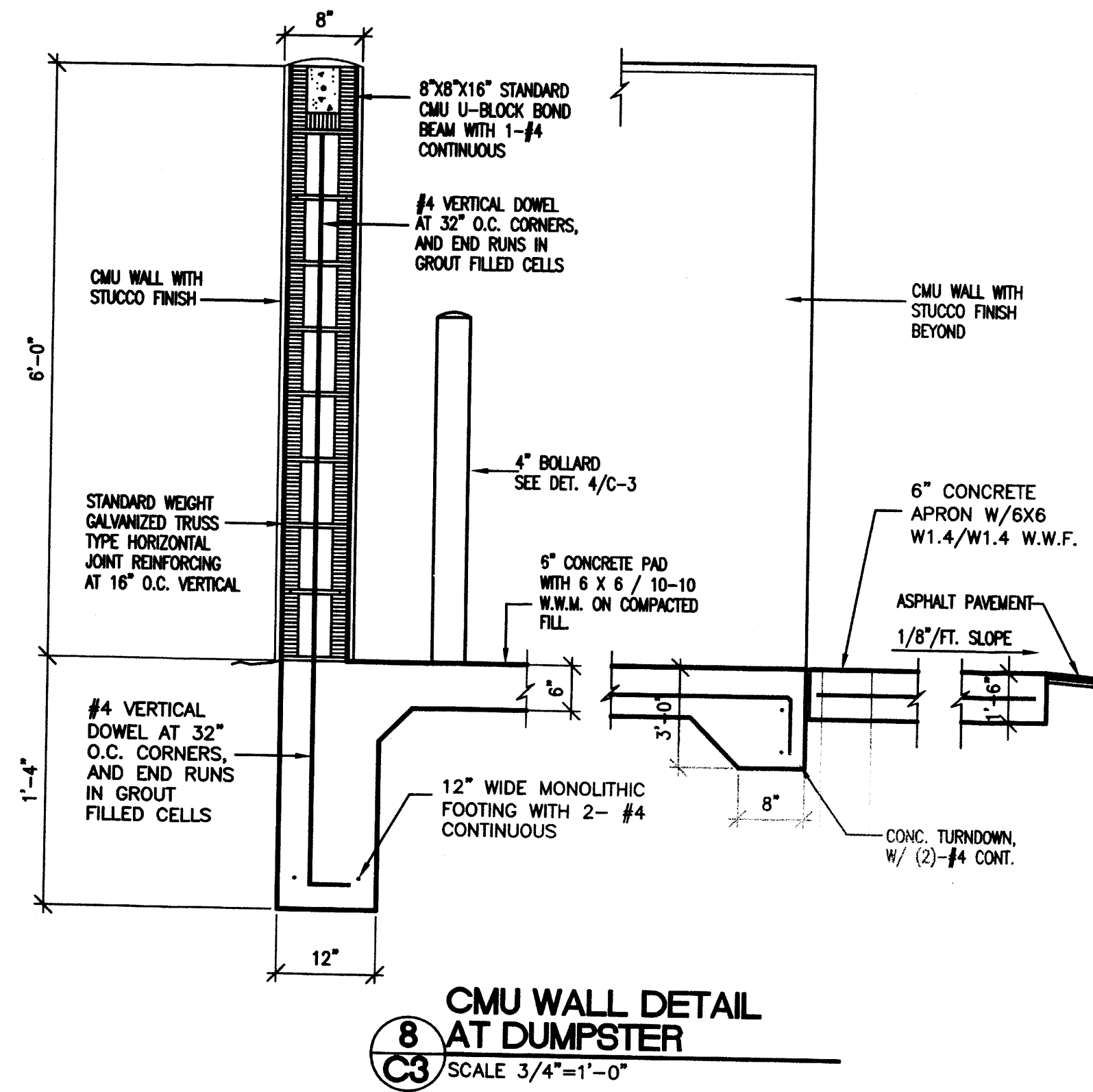
**3 TYP. SIDEWALK DETAIL**  
 C3 SCALE: 1" = 1'-0"



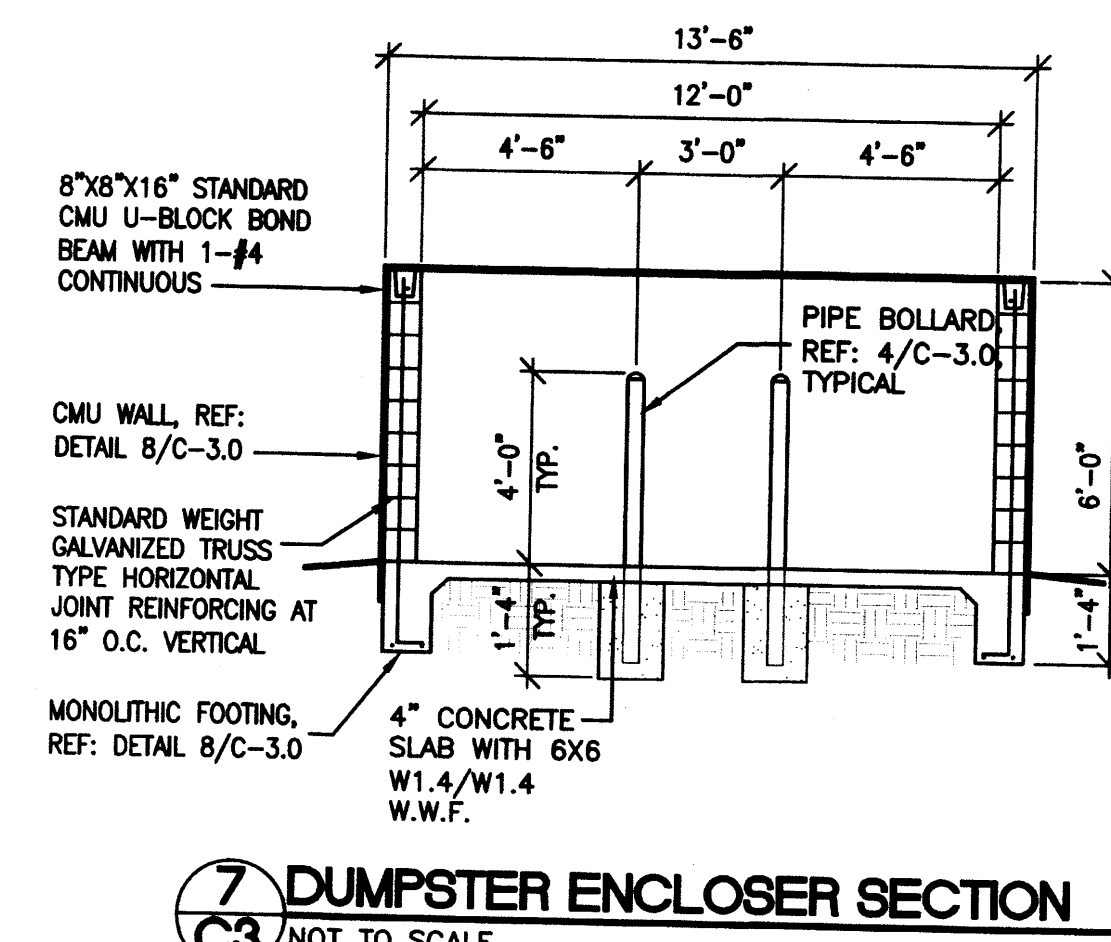
**2 TYP. CONC. CURB AND SIDEWALK DETAIL**  
 C3 SCALE: 1" = 1'-0"



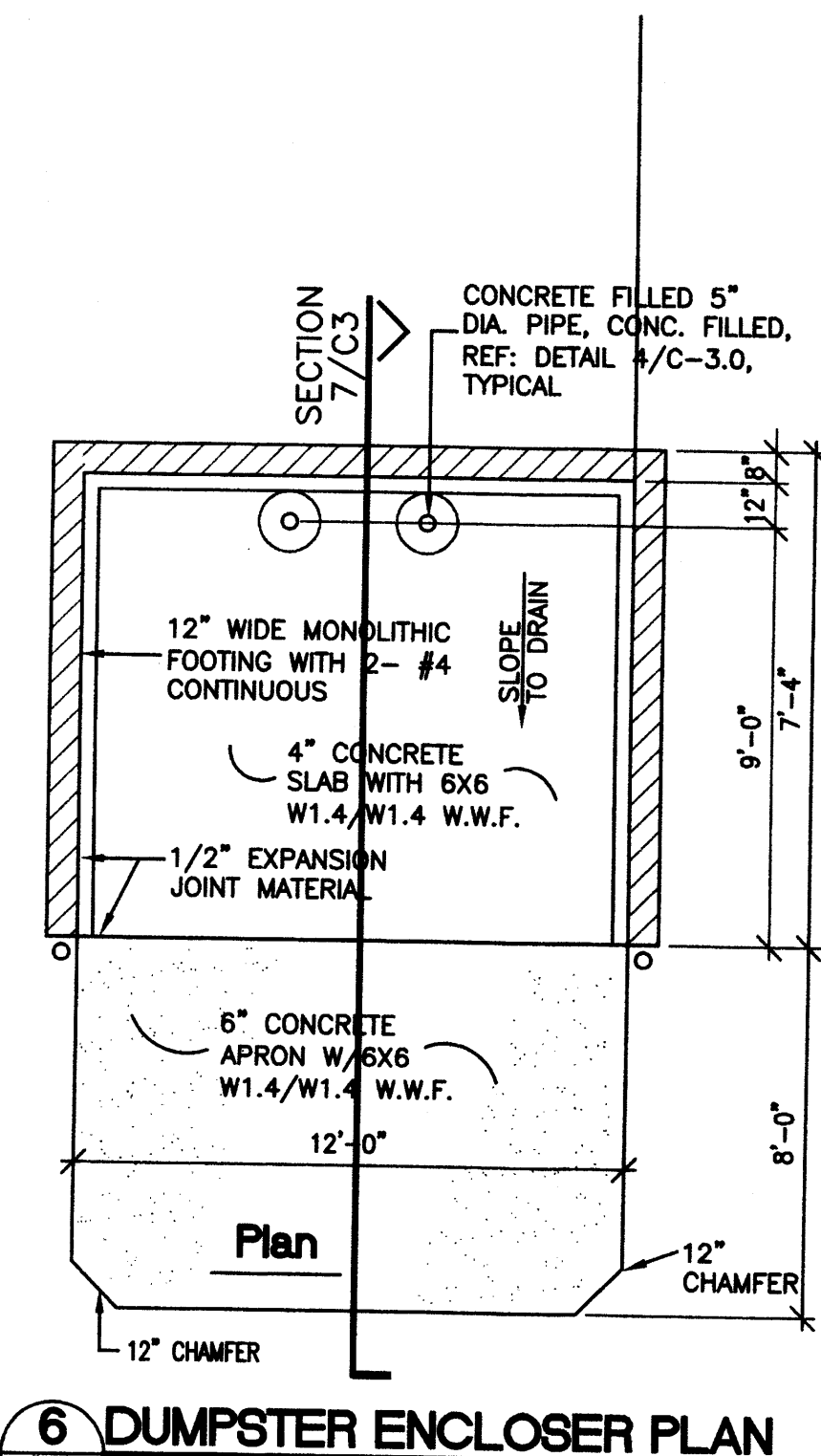
**1 CONCRETE CURB AND GUTTER**  
 C3 N.T.S.



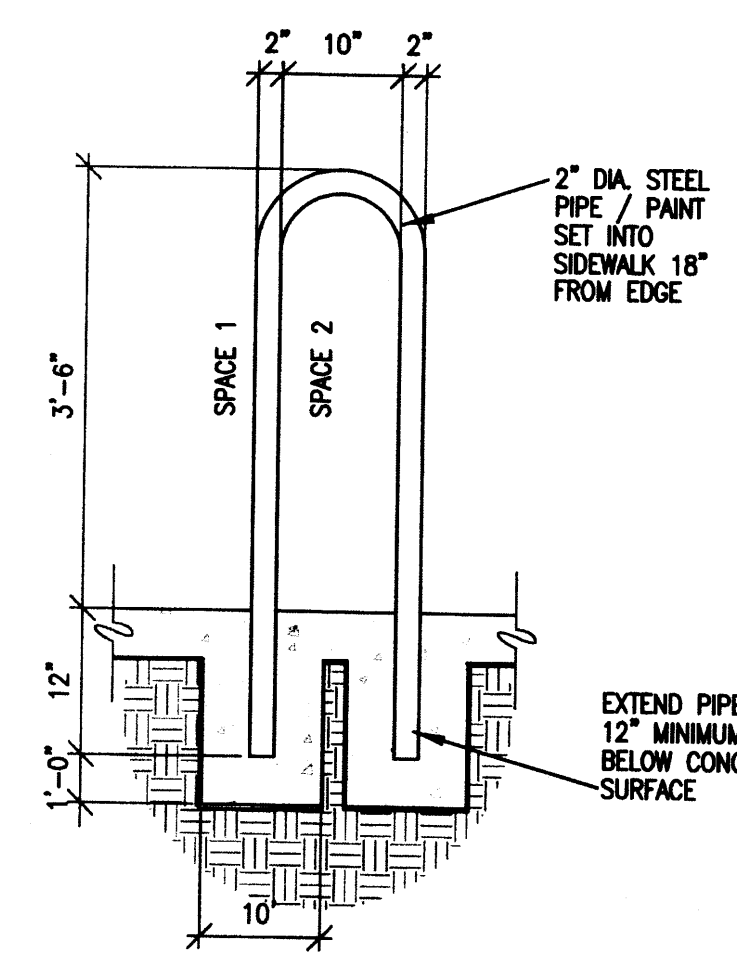
**8 CMU WALL DETAIL AT DUMPSTER**  
 C3 SCALE: 3/4" = 1'-0"



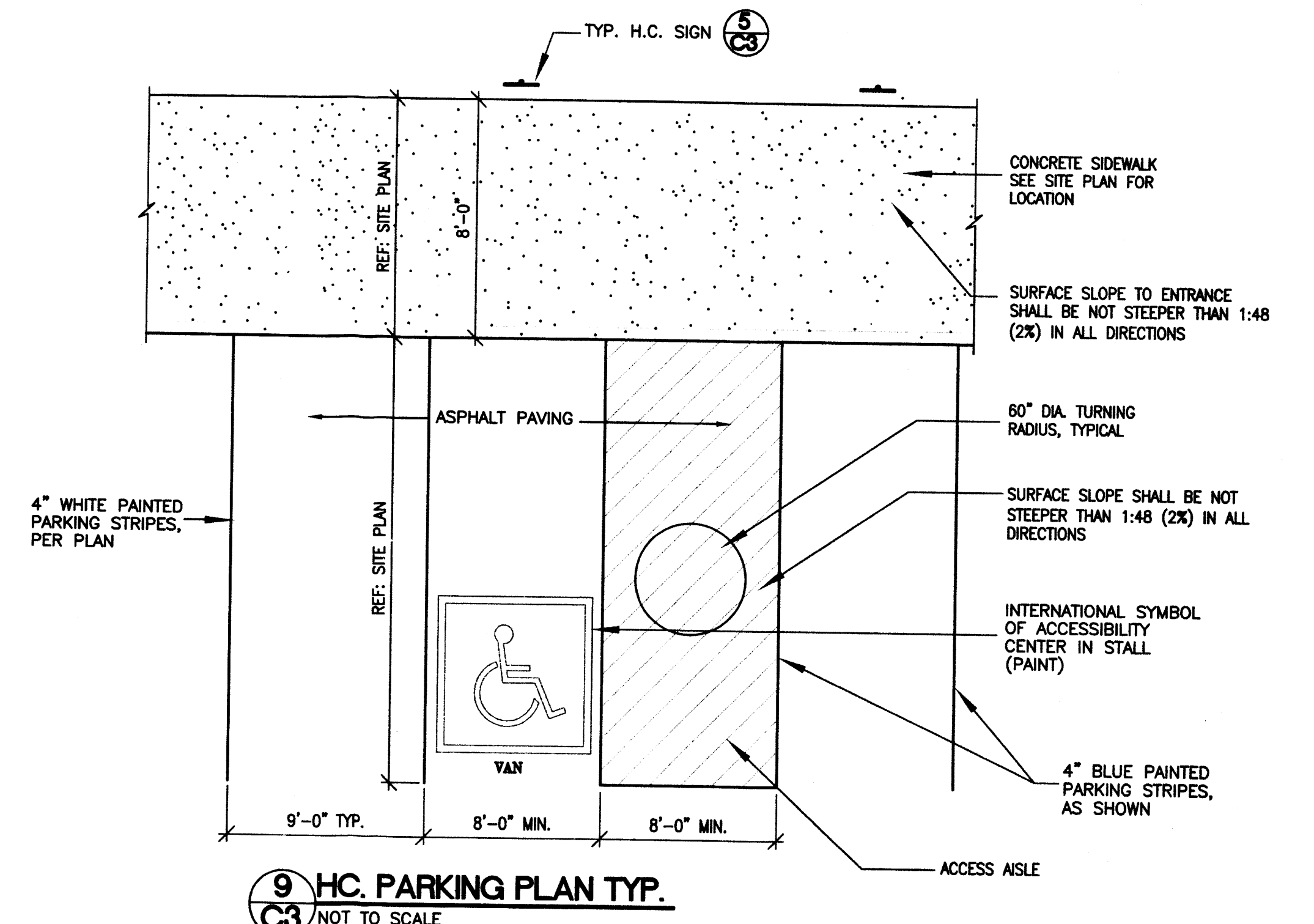
**7 DUMPSTER ENCLOSER SECTION**  
 C3 NOT TO SCALE



**6 DUMPSTER ENCLOSER PLAN**  
 C3 NOT TO SCALE



**10 BIKE RACK DETAIL**  
 C3 SCALE: 1" = 1'-0"



**9 HC. PARKING PLAN TYP.**  
 C3 NOT TO SCALE

AMERICA'S PAST TIME  
 SITE DETAILS  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT #1220

REVISION DATE
DATE
06-11-2012
SHEET NUMBER
C-30



**LANDSCAPE NOTES**

MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER.

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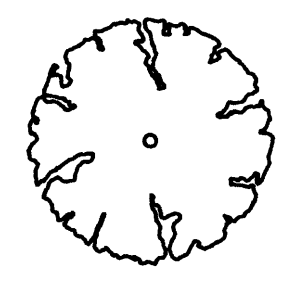



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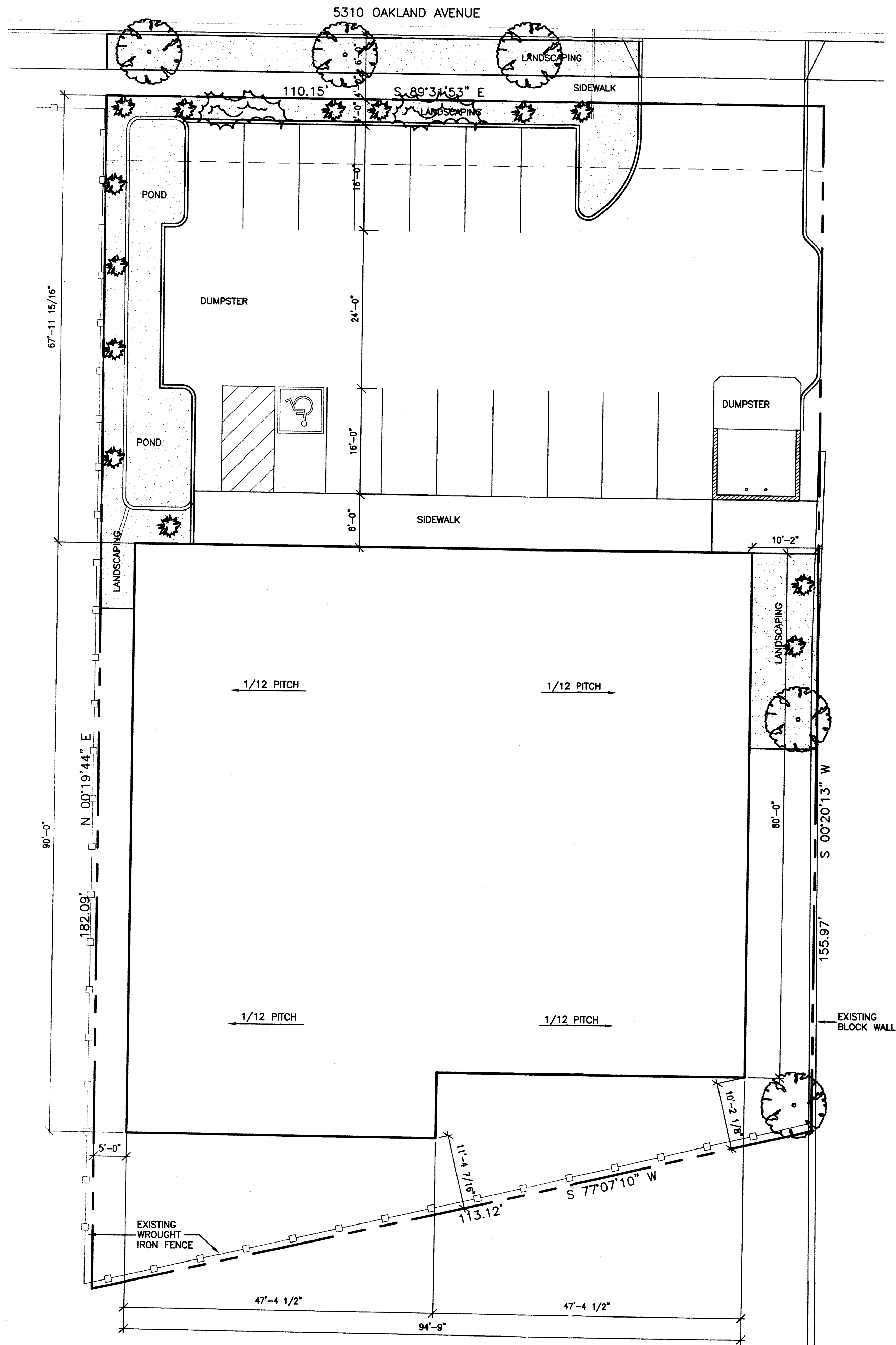
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**PLANT LEGEND**

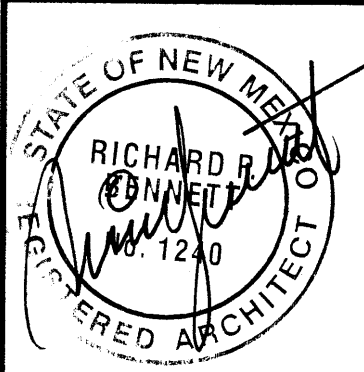
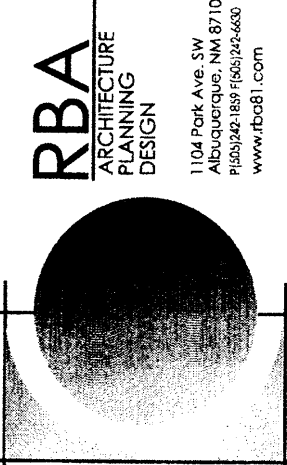
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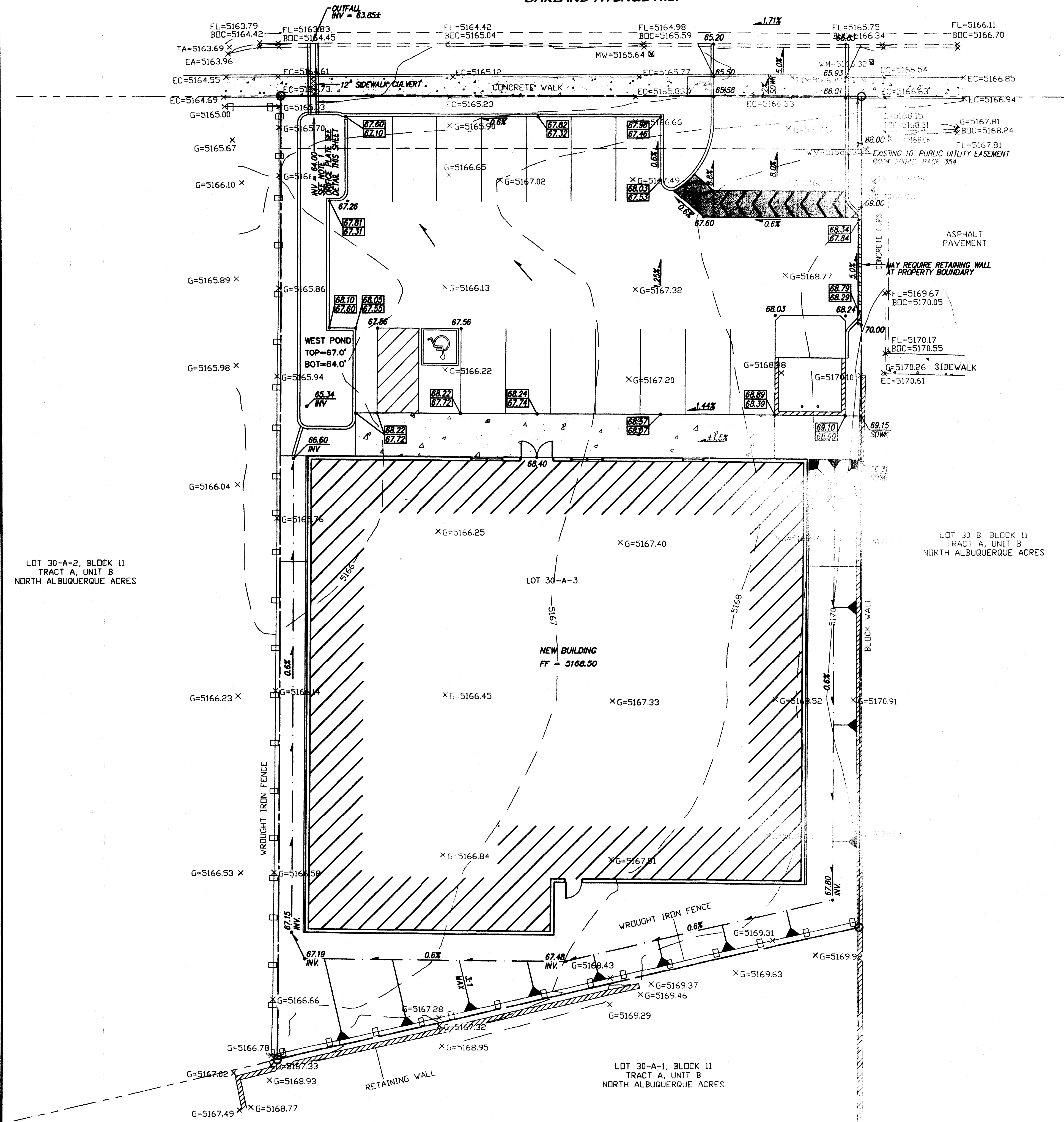
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LANDSCAPE PLAN  
ALBUQUERQUE, NEW MEXICO  
PROJECT #1220

REVISION DATE


DATE 06-11-2012
SHEET NUMBER L-10

OAKLAND AVENUE N.E.



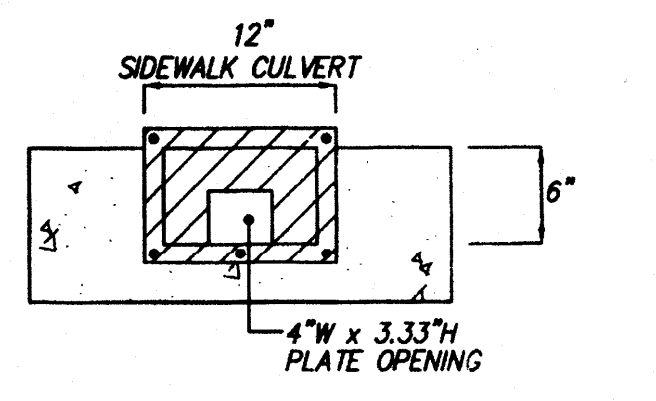
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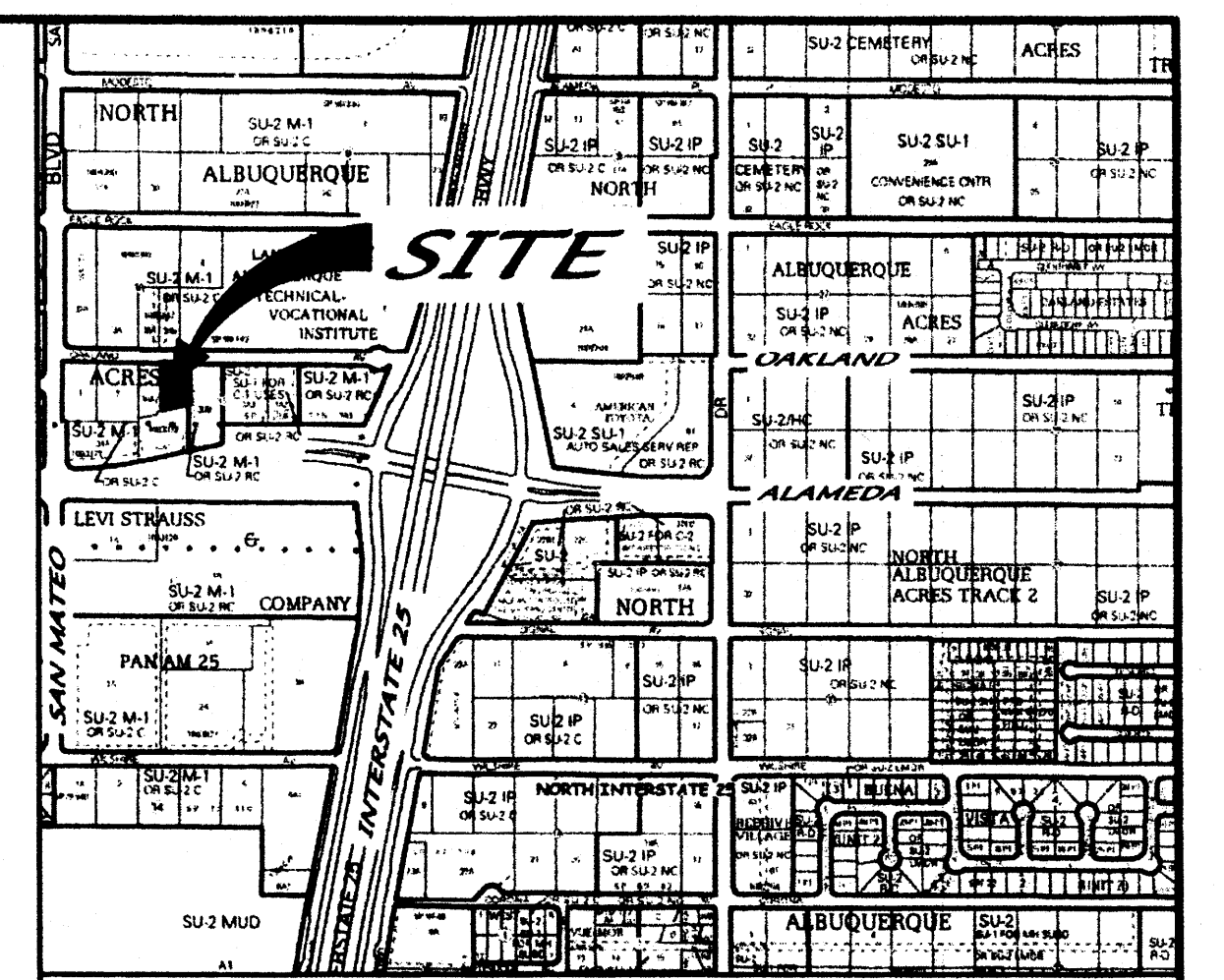
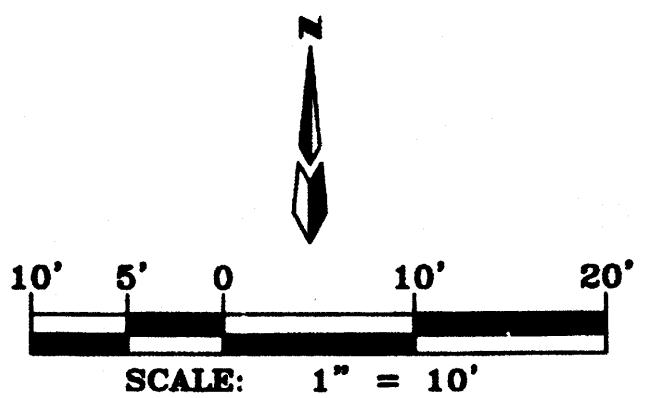


12" ORIFICE PLATE/  
SIDEWALK CULVERT DETAIL  
SCALE: 1" = 1'

HYDROLOGY SUMMARY

TOTAL AREA = 0.42 acres  
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 Q ALLOWABLE = 0.75 cfs

DETENTION POND:  
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 MAX VOLUME = 0.0275 AF  
 Q 100 OUT = 0.71 cfs  
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VICINITY MAP ZONE MAP: C-18-Z

ACS BENCHMARK  
 A CITY OF ALBUQUERQUE 1 3/4" ALUMINUM DISK, STAMPED "ACS BM, 9-117", EXPOSED TO THE TOP OF CONCRETE CURB, S.S.E. QUADRANT OF JEFFERSON STREET & WATERCRESS DRIVE N.E. HAVING A DATUM OF NAD 83, NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE. ELEVATION = 5123.218 (NAVD 1988).

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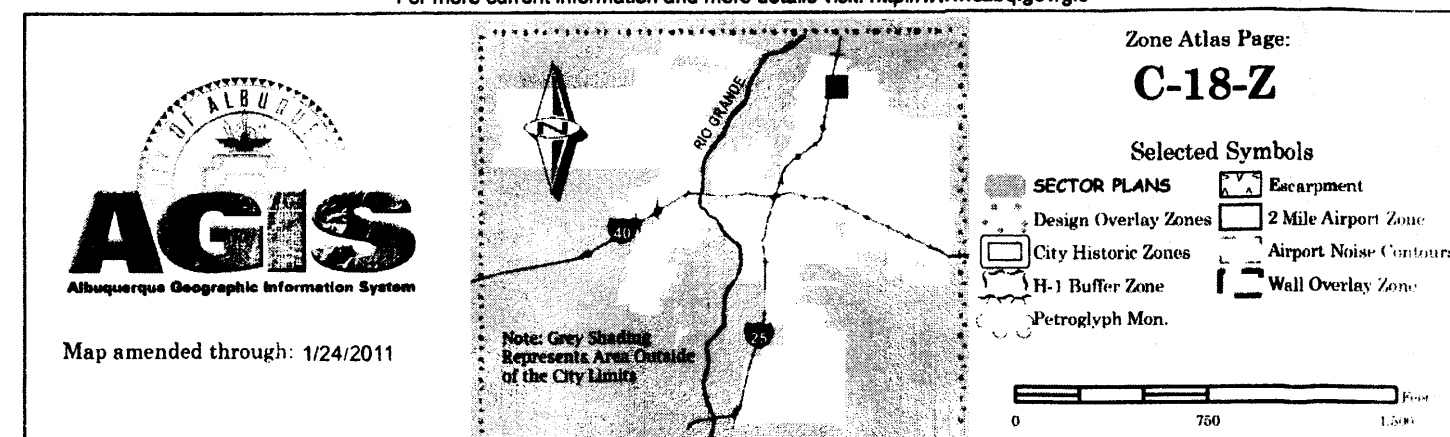
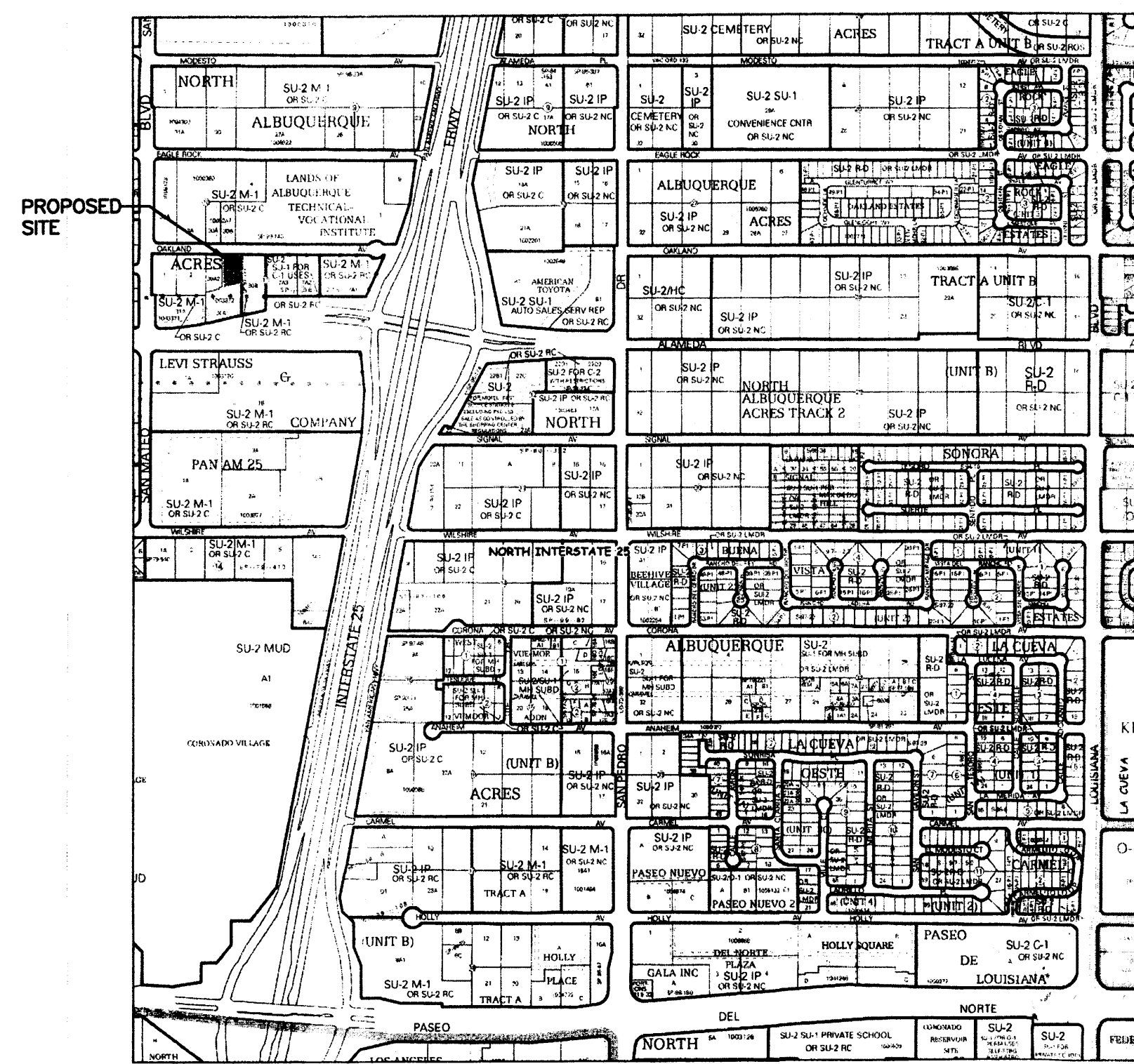
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---	EXISTING BOUNDARY LINE
---	NEW CURB
---	NEW WALL
---	NEW RETAINING WALL
---	NEW SLOPE
---	NEW FLOW
---	NEW SWALE
67.50 67.00	NEW SPOTS
---	NEW SIDEWALK
---	NEW 5' WIDE, 3" HIGH SPEED BUMP

AMERICA'S PASTTIME  
 GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539





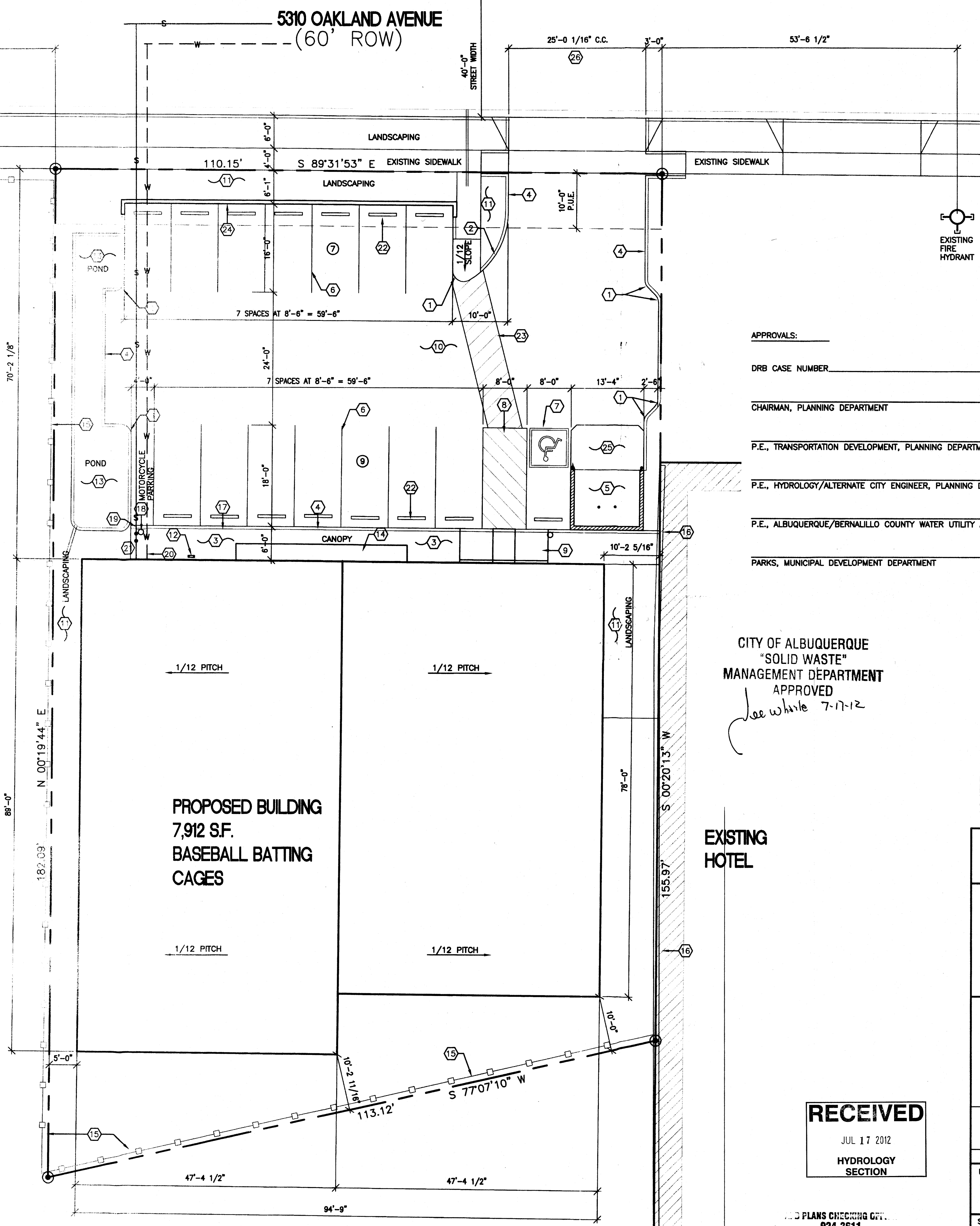
**LEGAL DESCRIPTION**  
 5310 OAKLAND AVE. NE, ALBUQUERQUE, NM 87113  
 Loc. 30-A-3, BLOCK 11, TRACT A, UNIT B  
 Subdivisor: NORTH ALBUQUERQUE ACRES  
 UPC: 10180640434020005  
 ZONING: SU-1 FOR M1

INTERNATIONAL BUILDING CODE 2009	
OCCUPANCY AND USE CLASSIFICATION:	B, OFFICE
TYPE OF CONSTRUCTION (TABLE 503):	2-B
ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503):	3 STORY, 23,000 S.F. (B GROUP)
SECTION 903 AUTOMATIC SPRINKLER SYSTEM:	NOT REQUIRED FOR GROUP B
SECTION 907 FIRE ALARM AND DETECTION SYSTEM:	NOT REQUIRED FOR GROUP B, LESS THAN 500 OCC.
ACTUAL BUILDING AREA:	B, OFFICE AREA = 7,912 S.F. (HEATED AREA)
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601):	TYPE 2-B, NONE REQUIRED
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 602):	TYPE 2-B, NONE REQUIRED
ROOF LIVE LOAD	= 20 PSF (NON-REDUCABLE)
WIND LOAD	= 90 MPH
EXPOSURE	= C
SEISMIC ZONE	= 2B
SECTION 1021 NUMBER OF EXITS AND CONTINUITY:	PER I.B.C. TABLE 1021.1 OCCUPANT LOAD OF 1-500 (2) EXITS REQUIRED (2) EXITS PROVIDED

- KEYED NOTES**
- 2'-0" RADIUS.
  - 15'-0" RADIUS.
  - CONCRETE SIDEWALK WITH BROOM FINISH, SLOPE SIDEWALK 1/4"/FT. AWAY FROM BUILDING.
  - 6" RAISED CONCRETE CURB PER CITY OF ALBUQUERQUE STANDARDS, REF: SHEET C-3 AND GRADING AND DRAINAGE PLAN.
  - DUMPSTER LOCATION, REF: C-3 FOR DETAILS.
  - 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, REF: C-3 FOR DETAILS.
  - HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: C-3 FOR DETAILS.
  - HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS, REF: C-3 FOR DETAIL.
  - HANDICAP ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE STANDARDS, REF: C-3 FOR DETAIL.
  - ASPHALT PAVING.
  - LANDSCAPING AREA, REF: LANDSCAPING PLANS.
  - BIKE RACK, REF: C-3 FOR DETAIL.
  - PONDING AREA, REF: GRADING AND DRAINAGE PLAN.
  - CANOPY
  - EXISTING WROUGHT IRON FENCE.
  - EXISTING BLACK WALL.
  - HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: C-3 FOR DETAILS.
  - MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS.
  - TIE SEWER LINE INTO EXISTING SEWER LINE, REF: PLUMBING PLANS
  - TIE WATER LINE INTO EXISTING WATER LINE.
  - DOUBLE CLEANOUT.
  - CONCRETE PARKING BUMPERS, TYP.
  - 6" PEDESTRIAN WALK-WAY.
  - 48" HIGH CMU SCREEN WALL.
  - CONCRETE APRON, FOR DUMPSTER.
  - NEW CURB CUT PER CITY OF ALBUQUERQUE STANDARDS.

**PARKING REQUIREMENTS:**  
 BY APPOINTMENT ONLY:  
 8 BATTING CAGES = 8 SPACES  
 3 WORKOUT STATIONS = 3 SPACES  
 4 EMPLOYEES = 4 SPACES  
 1 MOTORCYCLE SPACE FOR EACH 25 SPACES = 1 SPACE  
 1 BICYCLE SPACE FOR EACH 20 SPACES = 1 SPACE  
 15 SPACES REQUIRED  
 15 SPACES PROVIDED  
 1 MOTORCYCLE SPACE  
 2 BICYCLE SPACES

**CITY OF ALBUQUERQUE ZONING CODE:**  
 SECTION 14-16-1-5 DEFINITIONS: 1-14;  
 PARKING SPACE, AUTOMOBILE AND LIGHT TRUCK:  
 A SUITABLE SPACE FOR VEHICULAR STORAGE, AT LEAST 8.5 FT. IN WIDTH AND 18 FT. IN LENGTH, THAT MAY BE REDUCED TO 16 FT. IN LENGTH WHERE CARS CAN OVERHANG WHEEL STOPS.



APPROVALS:

DRB CASE NUMBER \_\_\_\_\_

CHAIRMAN, PLANNING DEPARTMENT \_\_\_\_\_

P.E., TRANSPORTATION DEVELOPMENT, PLANNING DEPARTMENT \_\_\_\_\_

P.E., HYDROLOGY/ALTERNATE CITY ENGINEER, PLANNING DEPARTMENT \_\_\_\_\_

P.E., ALBUQUERQUE/BERNALILLO COUNTY WATER UTILITY AUTHORITY \_\_\_\_\_

PARKS, MUNICIPAL DEVELOPMENT DEPARTMENT \_\_\_\_\_

CITY OF ALBUQUERQUE  
 "SOLID WASTE"  
 MANAGEMENT DEPARTMENT  
 APPROVED  
*Lee White* 7-17-12

EXISTING HOTEL

**RECEIVED**  
 JUL 17 2012  
 HYDROLOGY SECTION

AMERICA'S PAST TIME  
 SITE PLAN  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT #1220

REVISION DATE

STATE OF NEW MEXICO  
 REGISTERED ARCHITECT  
 RICHARD R. BELMONT  
 No. 1240

RBA  
 ARCHITECTURE  
 PLANNING  
 DESIGN  
 1101 EAST AVENUE, SUITE 200  
 ALBUQUERQUE, NEW MEXICO 87102  
 (505) 243-8888

DATE  
 07-16-2012

SHEET NUMBER  
 C-20

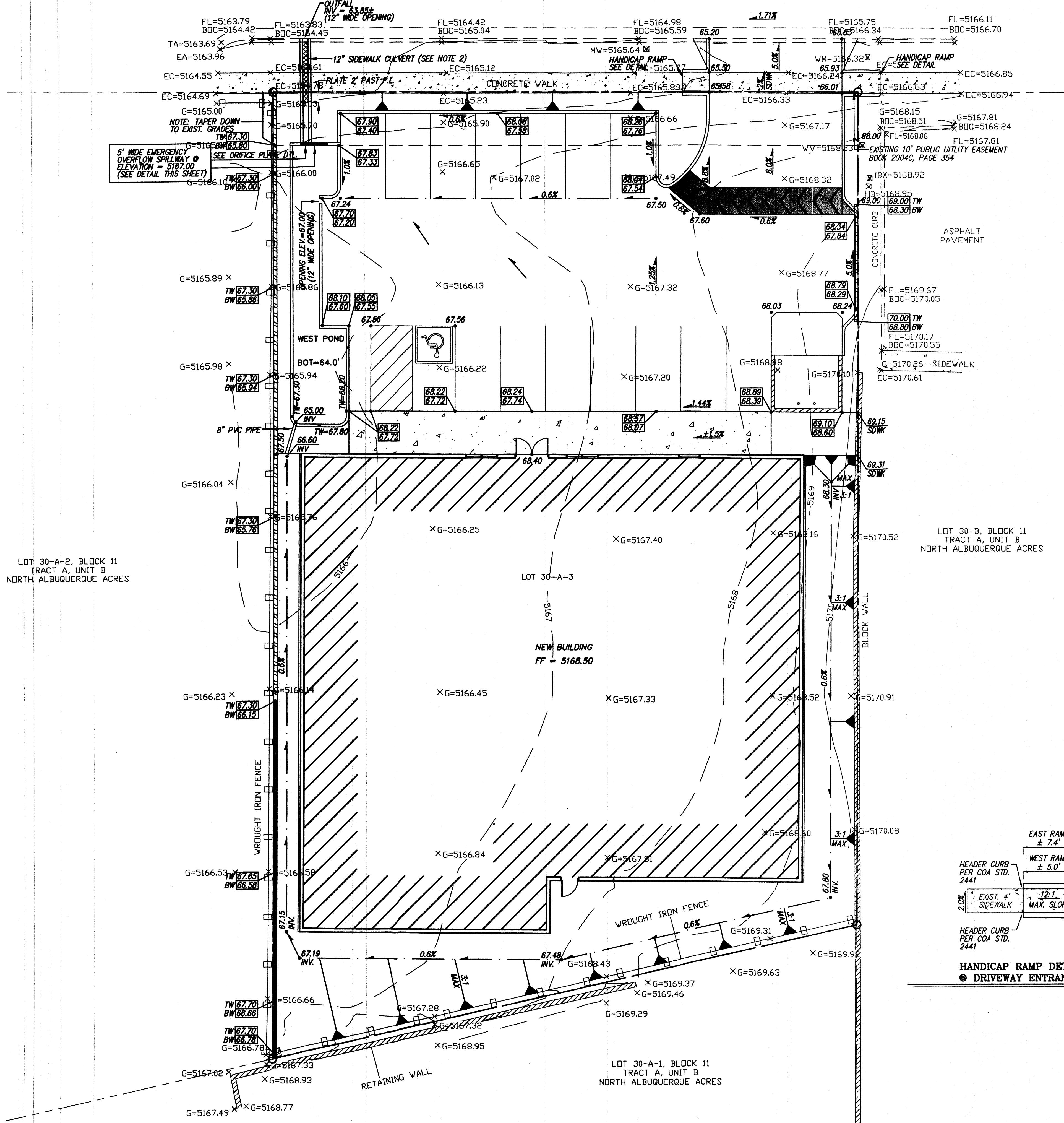
**1 SITE PLAN**  
 1"=10'-0"  
 BAR SCALE  
 0 10 20  
 (IN FEET)

NO PLANS CHECKING OFF.  
 924-3611  
 APPROVED/DISAPPROVED  
 HYDRANT(S) ONLY  
*R.C. Jones* 7-16-12  
 COMMENTS & DATE





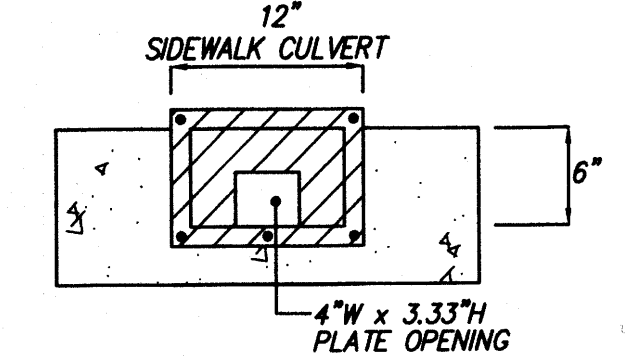
OAKLAND AVENUE N.E.



- NOTICE TO CONTRACTOR**
1. An excavation/construction permit will be required before beginning any work within City right of way.
  2. All work detailed on these plans to be performed, except as otherwise stated or provided for hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #B amendment 1).
  3. Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
  4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
  5. Backfill compaction shall be according to Traffic / street use.
  6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
  7. Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		

- NOTES**
1. CONTRACTOR TO MAKE SURE POSITIVE OUTFALL FROM POND BOTTOM TO FACE OF CURB FLOWLINE ELEVATION.
  2. SWALE AROUND BUILDING SHALL HAVE EROSION PROTECTION IN FORM OF LANDSCAPING MATERIAL OR LANDSCAPE ROCK.
  3. SIDEWALK CULVERT PER COA STD. 2236. CONTRACTOR TO TACK WELD THE BOLTS ON THE PLATE.

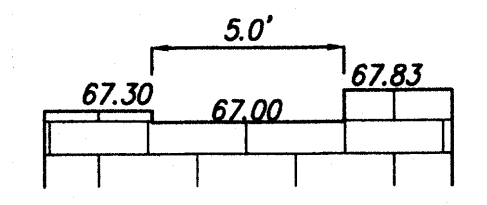


12" ORIFICE PLATE/  
SIDEWALK CULVERT DETAIL  
SCALE: 1" = 1'

**HYDROLOGY SUMMARY**

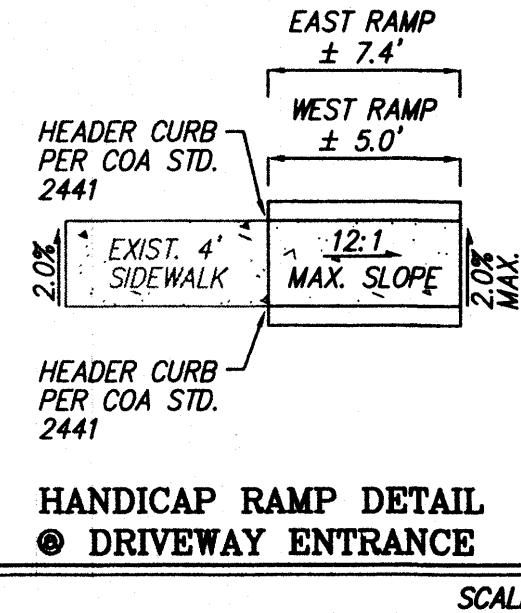
TOTAL AREA = 0.42 acres.  
 Q 100 YR = 1.93 cfs  
 Q ALLOWABLE = 0.75 cfs

**DETENTION POND:**  
 TOP = 5167.00  
 BOTTOM = 5164.00  
 SS = VERTICAL  
 DESIGN VOLUME = 0.0264 AF  
 MAX VOLUME = 0.0263 AF  
 Q 100 OUT = 0.75 cfs  
 MAX WSEL = 5166.99

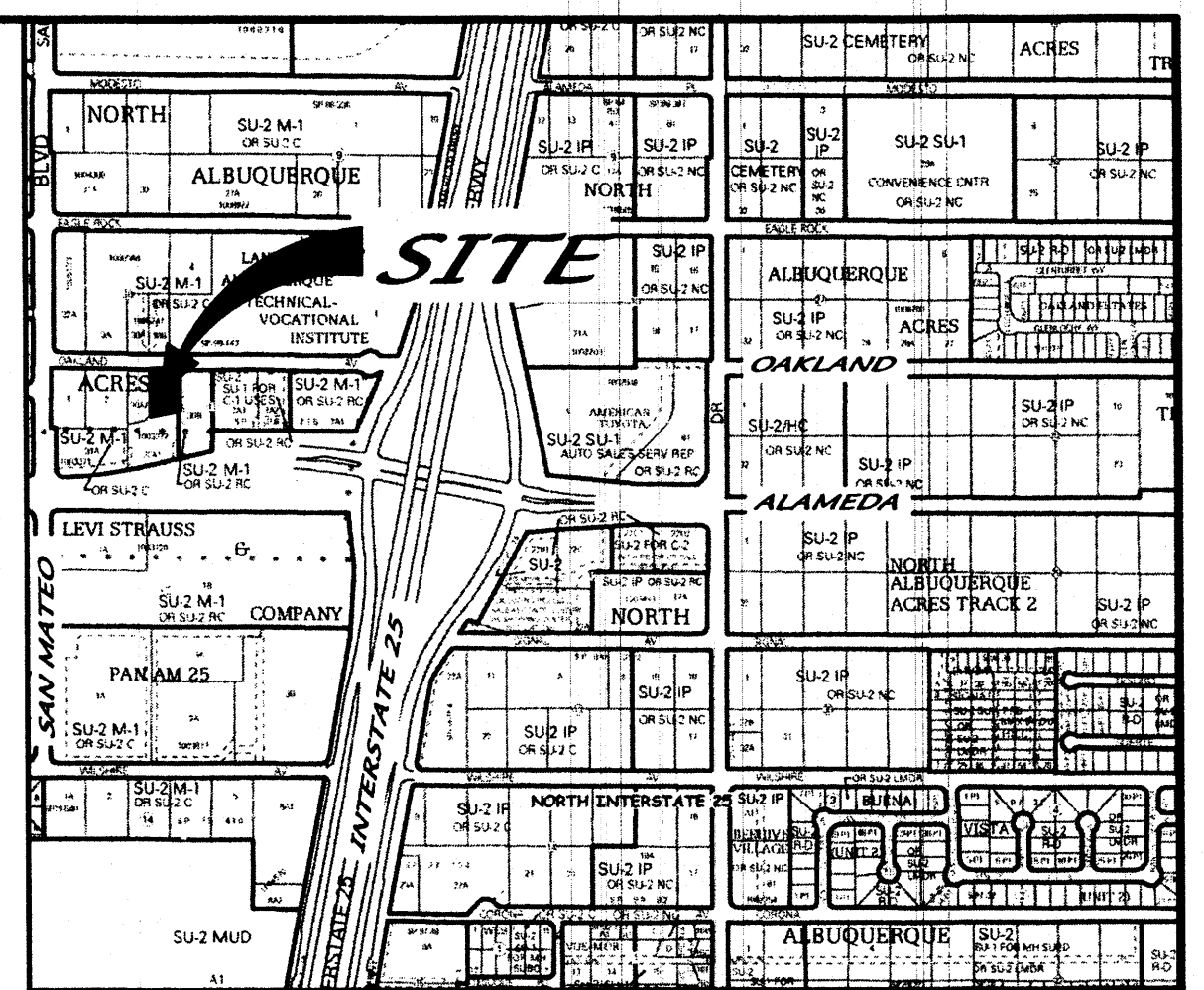


**EMERGENCY OVERFLOW SPILLWAY**  
 SCALE: 1" = 5'

Q = CLH<sup>3/2</sup>  
 Q = 1.91 cfs  
 C = 2.8  
 L = 5.0 FT  
 H = .265'  
 H = 3.2"



HANDICAP RAMP DETAIL  
 DRIVEWAY ENTRANCE  
 SCALE: 1" = 5'



**VICINITY MAP** ZONE MAP: C-18-Z

**ACS BENCHMARK**  
 A CITY OF ALBUQUERQUE 1 3/4" ALUMINUM DISK, STAMPED "ACS BM, 9-C17", EXPOSED TO THE TOP OF CONCRETE CURB, S.S.E. QUADRANT OF IFFERSON STREET & WATERCRESS DRIVE N.E., HAVING A DATUM OF NAD 83, NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE. ELEVATION = 5123.218 (NAVD 1988).

**LEGAL DESCRIPTION**  
 LOT 30-A-3, BLOCK 11, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

**LEGEND**

BOC	EXISTING BACK OF CURB
TA	EXISTING TOP OF ASPHALT
EC	EXISTING EDGE OF CONCRETE
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
FL	EXISTING FLOW LINE
FH	EXISTING FIRE HYDRANT
NRSASH	EXISTING NORTH RIM SANITARY SEWER MANHOLE
IBX	EXISTING IRRIGATION BOX
HB	EXISTING HOT BOX
MW	EXISTING MONITORING WELL
G	EXISTING GROUND
5170	EXISTING MAJOR CONTOUR
5167	EXISTING MINOR CONTOUR
---	EXISTING CURB & GUTTER
5166.10 X	EXISTING SPOT ELEVATION
---	EXISTING WALL
---	EXISTING WROUGHT IRON FENCE
---	EXISTING CONCRETE
---	EXISTING BOUNDARY LINE
---	NEW CURB
---	NEW BLOCK WALL (FOR DRAINAGE)
---	NEW RETAINING WALL (FOR DRAINAGE)
---	NEW SLOPE
---	NEW FLOW
---	NEW SWALE
---	NEW SPOTS
---	NEW SIDEWALK
---	NEW 5' WIDE, 3" HIGH SPEED BUMP

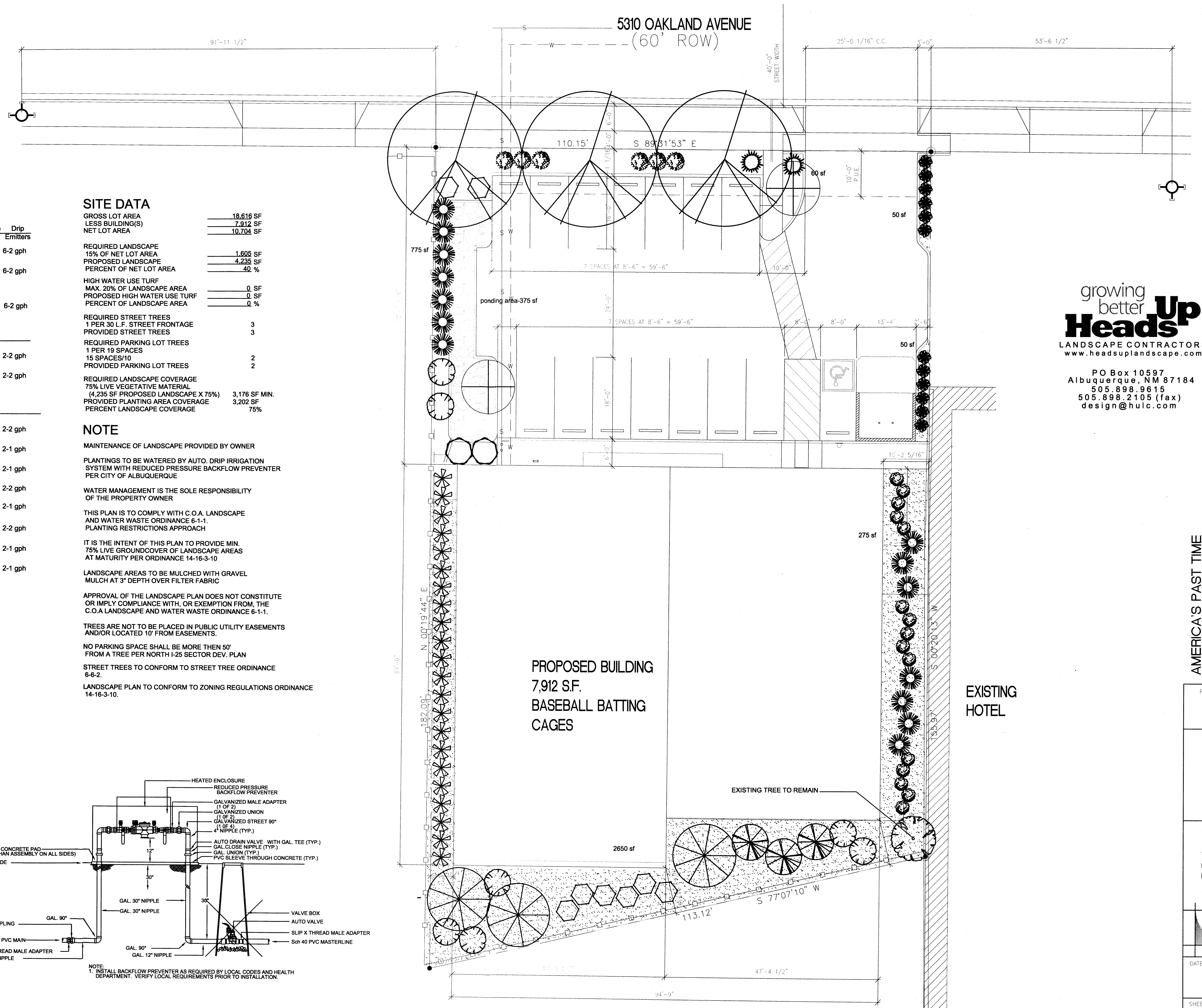
**AMERICA'S PASTTIME  
 GRADING & DRAINAGE PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: DER	Checked: DMG	Sheet: C1
Scale: 1" = 10'	Date: 06-06-12	Job: A12015	



5310 OAKLAND AVENUE  
(60' ROW)



**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Size	Mature Ht./ Sp.	Landscape Coverage	Water Use	Drip Emitters
<b>Trees</b>							
2		Crataegus Hawthorn	2" Cal	20'/20'		Medium	6-2 gph
3		Fraxinus velutina Modesto Ash	2" Cal	40'/35'		Medium +	6-2 gph
3		Vitex Chaste Tree	15-Gal	20'/20'	400 sf=1200 sf	Medium	6-2 gph
<b>Grasses</b>							
14		Miscanthus Maiden Grass	1-Gal	5'/5'	25 sf=350 sf	Medium	2-2 gph
12		Calamagrotis Karl Foerster Grass	1-Gal	3'/2'	10 sf=120 sf	Medium	2-2 gph
<b>Shrubs/Groundcovers</b>							
6		Caryopteris Blue Mist	1-Gal	3'/3'	15 sf=90 sf	Medium	2-2 gph
22		Hesperaloe parviflora Red Yucca	1-Gal	3'/4'	20 sf=440 sf	Low+	2-1 gph
2		Juniperus sabina 'Buffalo' Buffalo Juniper (female)	1-Gal	1'/5'	25 sf=50 sf	Low +	2-1 gph
2		Buddleia Butterfly Bush	1-Gal	5'/5'	25 sf=50 sf	Medium	2-2 gph
3		Chamaebatia Fernbush	1-Gal	5'/6'	36 sf=108 sf	Low+	2-1 gph
15		Potentilla Shrubby Cinquefoil	1-Gal	3'/3'	10 sf=150 sf	Medium+	2-2 gph
7		Rhus trilobata 3 Leaf Sumac	1-Gal	6'/6'	36 sf=252 sf	Low	2-1 gph
8		Fallugia Apache Plume	1-Gal	6'/7'	49 sf=392 sf	Low	2-1 gph

Total landscape coverage= 3,202 sf

**SITE DATA**

GROSS LOT AREA	18,616 SF
LESS BUILDING(S)	7,912 SF
NET LOT AREA	10,704 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	1,605 SF
PROPOSED LANDSCAPE	4,235 SF
PERCENT OF NET LOT AREA	40 %
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0 %
REQUIRED STREET TREES 1 PER 30 L.F. STREET FRONTAGE	3
PROVIDED STREET TREES	3
REQUIRED PARKING LOT TREES 1 PER 19 SPACES	2
PROVIDED PARKING LOT TREES	2
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (4,235 SF PROPOSED LANDSCAPE X 75%)	3,176 SF MIN.
PROVIDED PLANTING AREA COVERAGE	3,202 SF
PERCENT LANDSCAPE COVERAGE	75%

**NOTE**

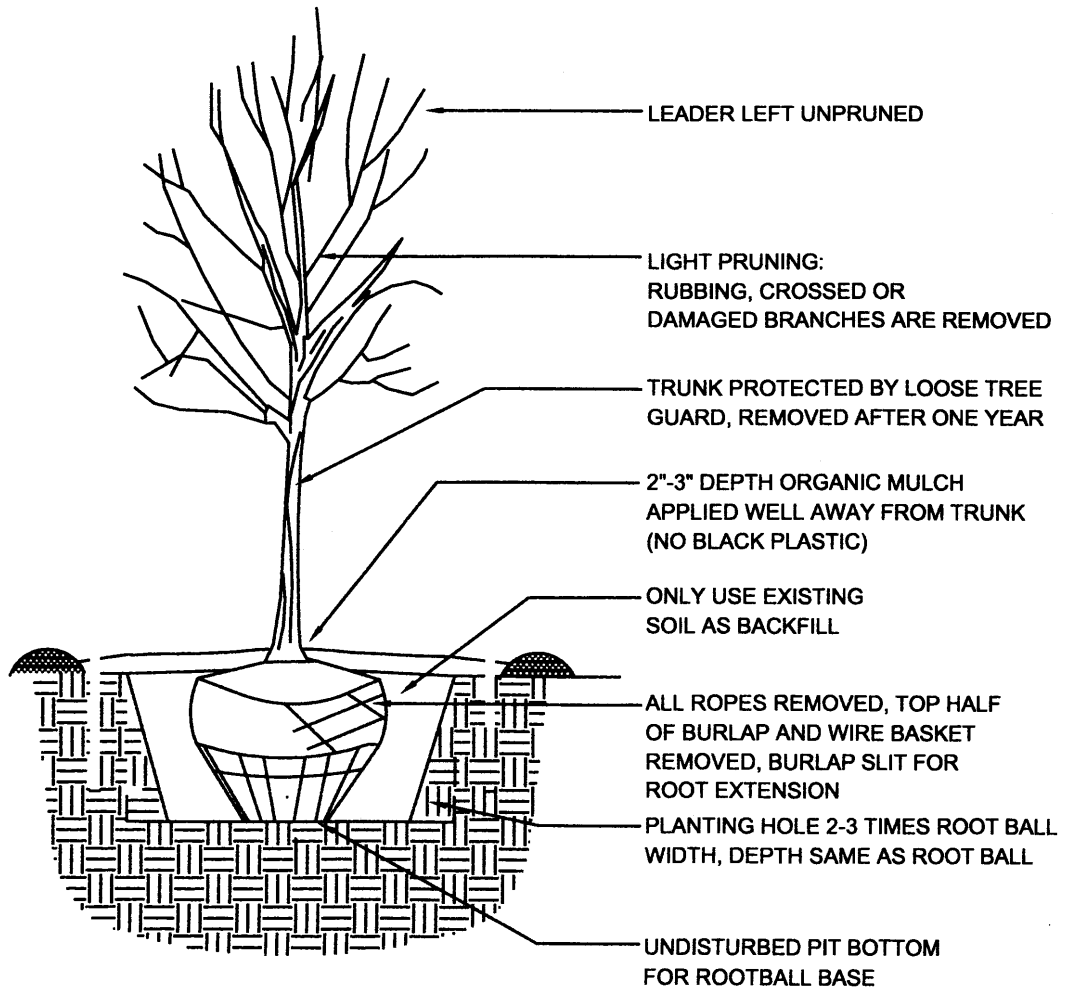
- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10
- LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS AND/OR LOCATED 10' FROM EASEMENTS.
- NO PARKING SPACE SHALL BE MORE THEN 50' FROM A TREE PER NORTH I-25 SECTOR DEV. PLAN
- STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.
- LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

**PLANTING RESTRICTIONS APPROACH**

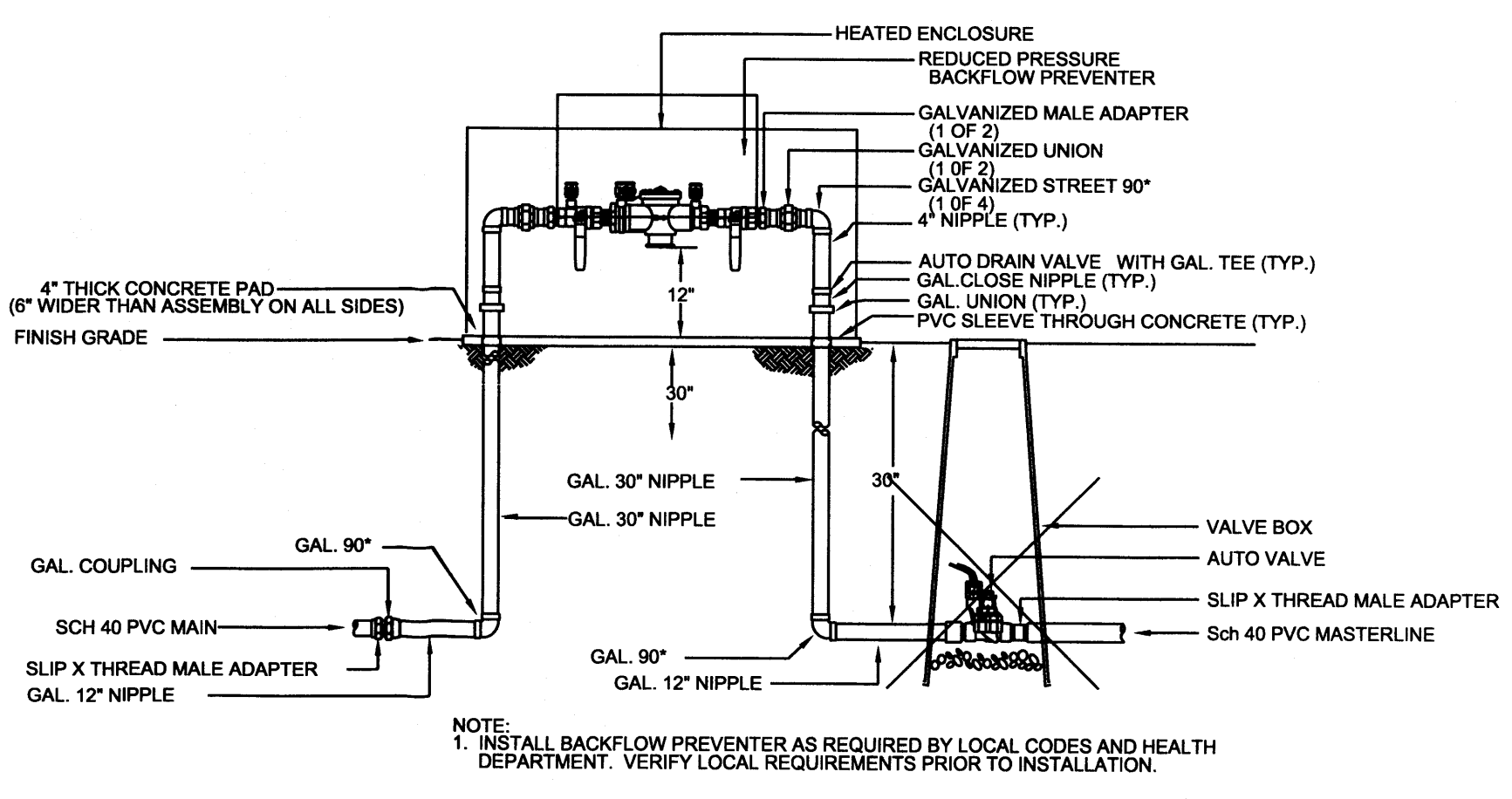
A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS  
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

**MATERIALS LEGEND**

- BROWN CRUSHER FINES
- 2"-4" COBBLESTONE

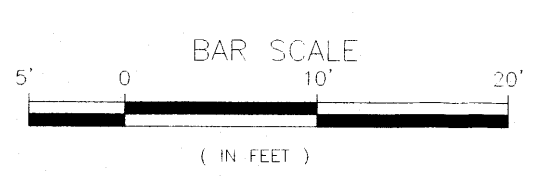


TREE PLANTING DETAIL



RP BACKFLOW/MASTER VALVE DETAIL

**1 LANDSCAPE PLAN**

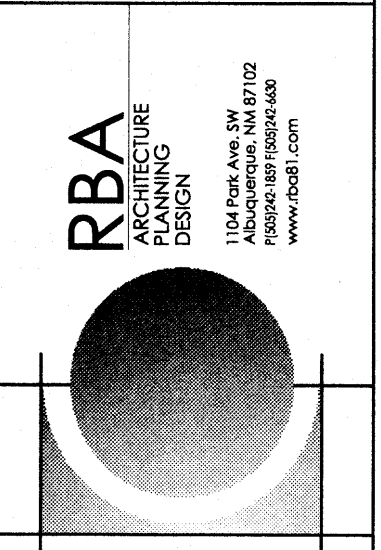


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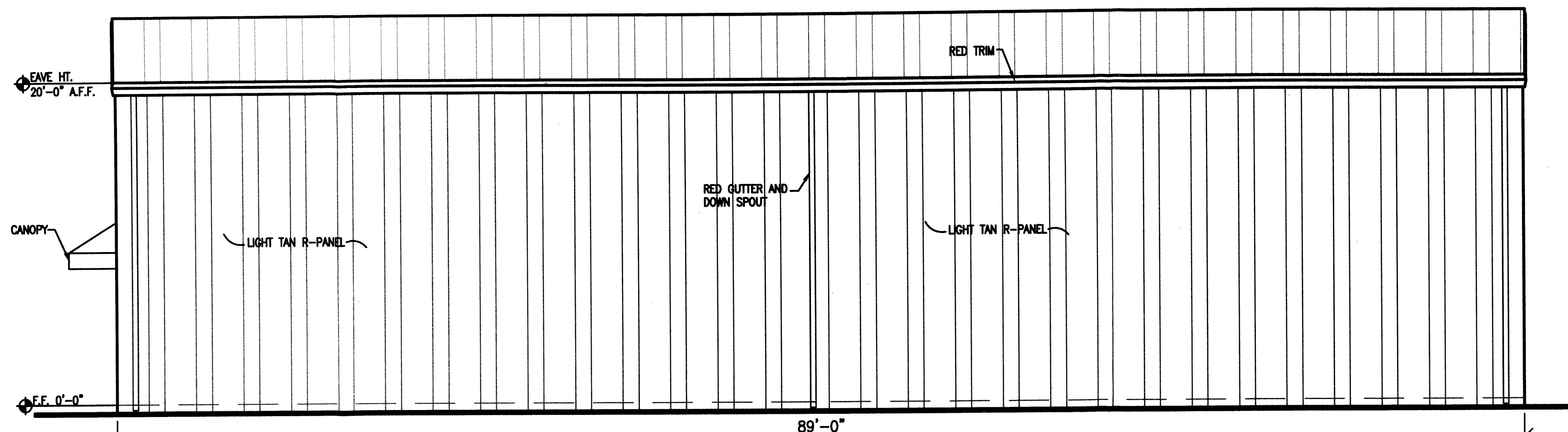
P O Box 10597  
Albuquerque, NM 87184  
505.898.9615  
505.898.2105 (fax)  
design@hulc.com

AMERICA'S PAST TIME  
LANDSCAPE PLAN  
ALBUQUERQUE, NEW MEXICO  
PROJECT #1220

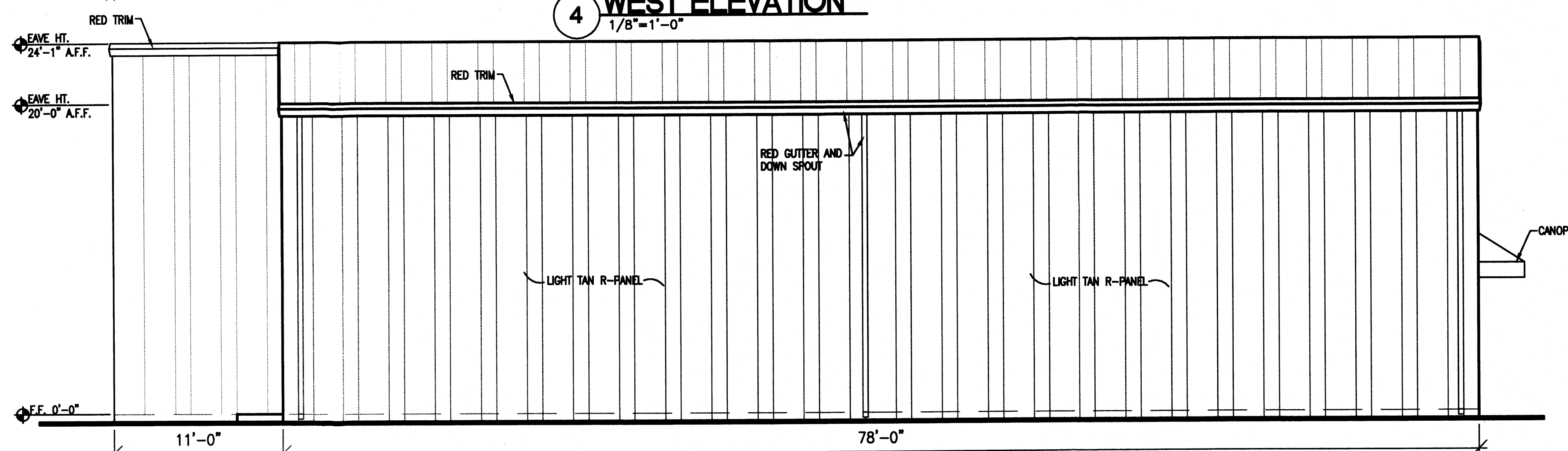
REVISION DATE
DATE
06-11-2012
SHEET NUMBER
L-10



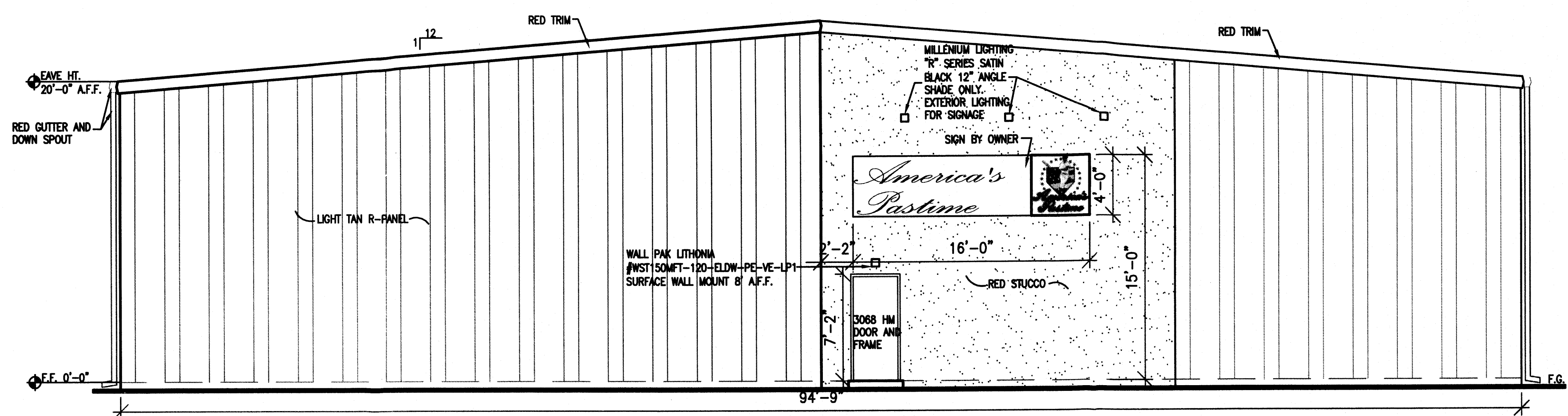




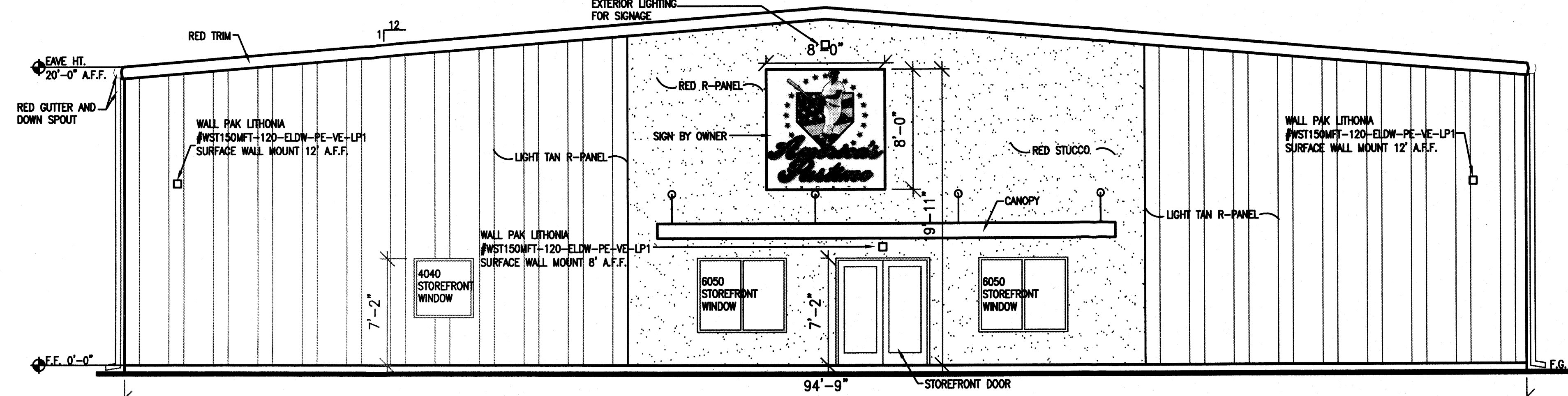
**4 WEST ELEVATION**  
1/8"=1'-0"



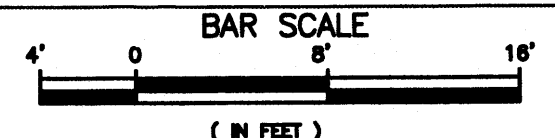
**3 EAST ELEVATION**  
1/8"=1'-0"



**2 SOUTH ELEVATION**  
1/8"=1'-0"



**1 NORTH ELEVATION**  
1/8"=1'-0"



AMERICA'S PASTIME  
BUILDING ELEVATIONS  
ALBUQUERQUE, NEW MEXICO  
PROJECT #1220

REVISION DATE
DATE 7-16-2012
SHEET NUMBER <b>A-4.0</b>