

VICINITY MAP
N.T.S.

GENERAL NOTES

1. Bearings are grid, based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27), and are rotated to grid at the New Mexico State Highway Commission Control monument "NM-448-N12".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. Field surveys were performed during the month of January, 2004.
8. U.C.L.S. Log Number 2004110265 .
9. City of Albuquerque Zone Atlas Page: B-14-Z
10. Documents used in the preparation of this survey:
 - A. Plat entitled "TRACTS O-1A-1, O-2A-1, G-1A, MM-1, M-1 AND N-2B-1, SEVEN-BAR, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, OCTOBER 1994", filed January 6, 1994, in Volume 95C, Folio 3, records of Bernalillo County, New Mexico.
 - B. Unfiled survey entitled "A.L.T.A./A.C.S.M. LAND TITLE SURVEY 16.1114 ACRE UNPLATTED PARCEL, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, OCTOBER 2002, prepared by Russ P. Hugg, NMPS No. 9750 for SURV-TEK, INC., Albuquerque, New Mexico.
 - C. Title Report prepared for this property by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 236525SD, dated November 24, 2003.
11. This property is subject to all exceptions pertaining to this property as listed in SCHEDULE B - SECTION II of the Title Report prepared for this property by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 236525SD, dated November 24, 2003.
12. Total number of existing Tracts: 1
13. Total number of New Tracts created: 2
14. Gross Subdivision acreage: 6.2034 acres.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer _____ Date _____

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

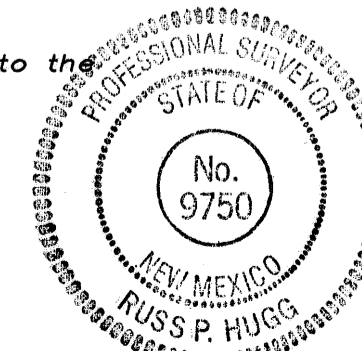
DISCLOSURE STATEMENT

The Purpose of this replat is to: Divide existing Tract MM-1 into two (2) Tracts as shown hereon; and grant the Public utility easements as shown hereon (if any).

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
March 5, 2004



**TRACTS MM-1-A AND MM-1-B
SEVEN-BAR RANCH**

(BEING A REPLAT OF TRACT MM-1, SEVEN-BAR RANCH)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN
**PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

MARCH, 2004

**PRELIMINARY PLAT
APPROVED BY DRB**

ON 4/21/04

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

| | |
|-------------------------------|----------|
| <u>Paul D. Munk</u> | 3-18-04 |
| PNM Electric Services | Date |
| <u>Paul D. Munk</u> | 3-18-04 |
| PNM Gas Services | Date |
| <u>Rosario Ruffier</u> | 03/18/04 |
| QWest Corporation | Date |
| <u>Pita S. Jinks</u> | 3-17-04 |
| Comcast | Date |
| _____ New Mexico Utilities | Date |

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

| | |
|---|---------|
| <u>[Signature]</u> | 3-17-04 |
| City Surveyor | Date |
| _____ Real Property Division | Date |
| _____ Environmental Health Department | Date |
| _____ Traffic Engineering, Transportation Division | Date |
| _____ Utilities Development | Date |
| _____ Parks and Recreation Department | Date |
| _____ AMAFCA | Date |
| _____ City Engineer | Date |
| _____ DRB Chairperson, Planning Department | Date |

**SHEET 1 OF 3
SURVTEK, INC.**

Consulting Surveyors Phone: 505-897-3366
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

TRACTS MM-1-A AND MM-1-B
SEVEN-BAR RANCH

(BEING A REPLAT OF TRACT MM-1, SEVEN-BAR RANCH)

WITHIN

THE TOWN OF ALAMEDA GRANT

IN

PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

MARCH, 2004

LEGAL DESCRIPTION

Tract MM-1 of Seven-Bar Ranch, as shown on the Replat entitled "Tracts O-1A-1, O-2A-1, G-1A, MM-1, M-1 and N-2B-1, SEVEN-BAR RANCH (being a replat of Tract O-1A, O-2A, G-1, M, N-2B of Seven-Bar Ranch and unplatted lands of Seven Bar Land and Cattle Co.), City of Albuquerque, Bernalillo County, New Mexico," as recorded in the office of the Bernalillo County Clerk on January 6, 1995 in Volume 95C, folio 3 as Document No. 95001741.

Said Tract contains 6.2034 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, TRACTS MM-1-A AND MM-1-B, SEVEN-BAR RANCH (BEING A REPLAT OF TRACT MM-1, SEVEN-BAR RANCH) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon (if any). Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER OF TRACT MM-1

RSF Land and Cattle Company, LLC
a New Mexico limited liability company

By



David S. Smoak, Managing Member

ACKNOWLEDGMENT

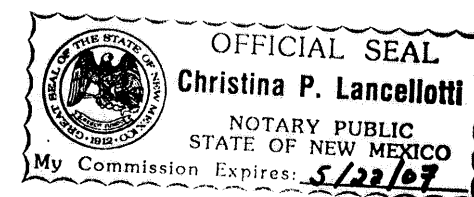
STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 16th
day of March, 2004, by David S. Smoak.



My commission expires May 22, 2007

Notary Public



SHEET 2 OF 3

SURV TEK, INC.

Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366
Fax: 505-897-3377

TRACTS MM-1-A AND MM-1-B
SEVEN-BAR RANCH

(BEING A REPLAT OF TRACT MM-1, SEVEN-BAR RANCH)

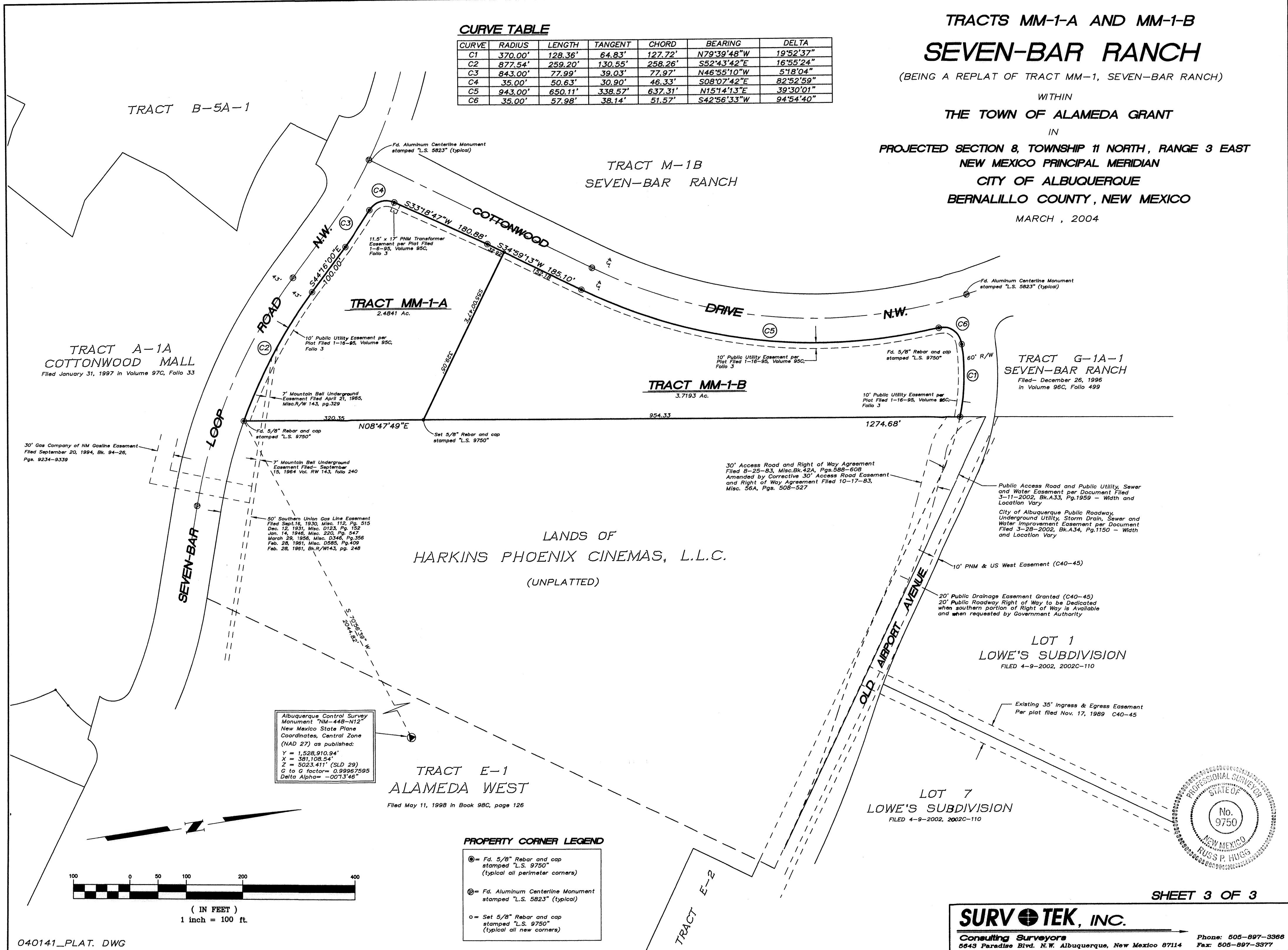
WITHIN
THE TOWN OF ALAMEDA GRANT

IN
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NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MARCH, 2004

CURVE TABLE

| CURVE | RADIUS | LENGTH | TANGENT | CHORD | BEARING | DELTA |
|-------|---------|---------|---------|---------|-------------|-----------|
| C1 | 370.00' | 128.36' | 64.83' | 127.72' | N79°39'48"W | 19°52'37" |
| C2 | 877.54' | 259.20' | 130.55' | 258.26' | S52°43'42"E | 16°55'24" |
| C3 | 843.00' | 77.99' | 39.03' | 77.97' | N46°55'10"W | 51°18'04" |
| C4 | 35.00' | 50.63' | 30.90' | 46.33' | S08°07'42"E | 82°52'59" |
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| C6 | 35.00' | 57.98' | 38.14' | 51.57' | S42°56'33"W | 94°54'40" |



LANDS OF
HARKINS PHOENIX CINEMAS, L.L.C.
(UNPLATTED)

Albuquerque Control Survey Monument "NM-448-N12"
New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:
Y = 1,528,910.94'
X = 381,108.54'
Z = 5023.411' (SLD 29)
G to G factor = 0.9997595
Delta Alpha = -0013'46"

PROPERTY CORNER LEGEND

- ⊙ = Fd. 5/8" Rebar and cap stamped "L.S. 9750" (typical all perimeter corners)
- ⊕ = Fd. Aluminum Centerline Monument stamped "L.S. 5823" (typical)
- = Set 5/8" Rebar and cap stamped "L.S. 9750" (typical all new corners)

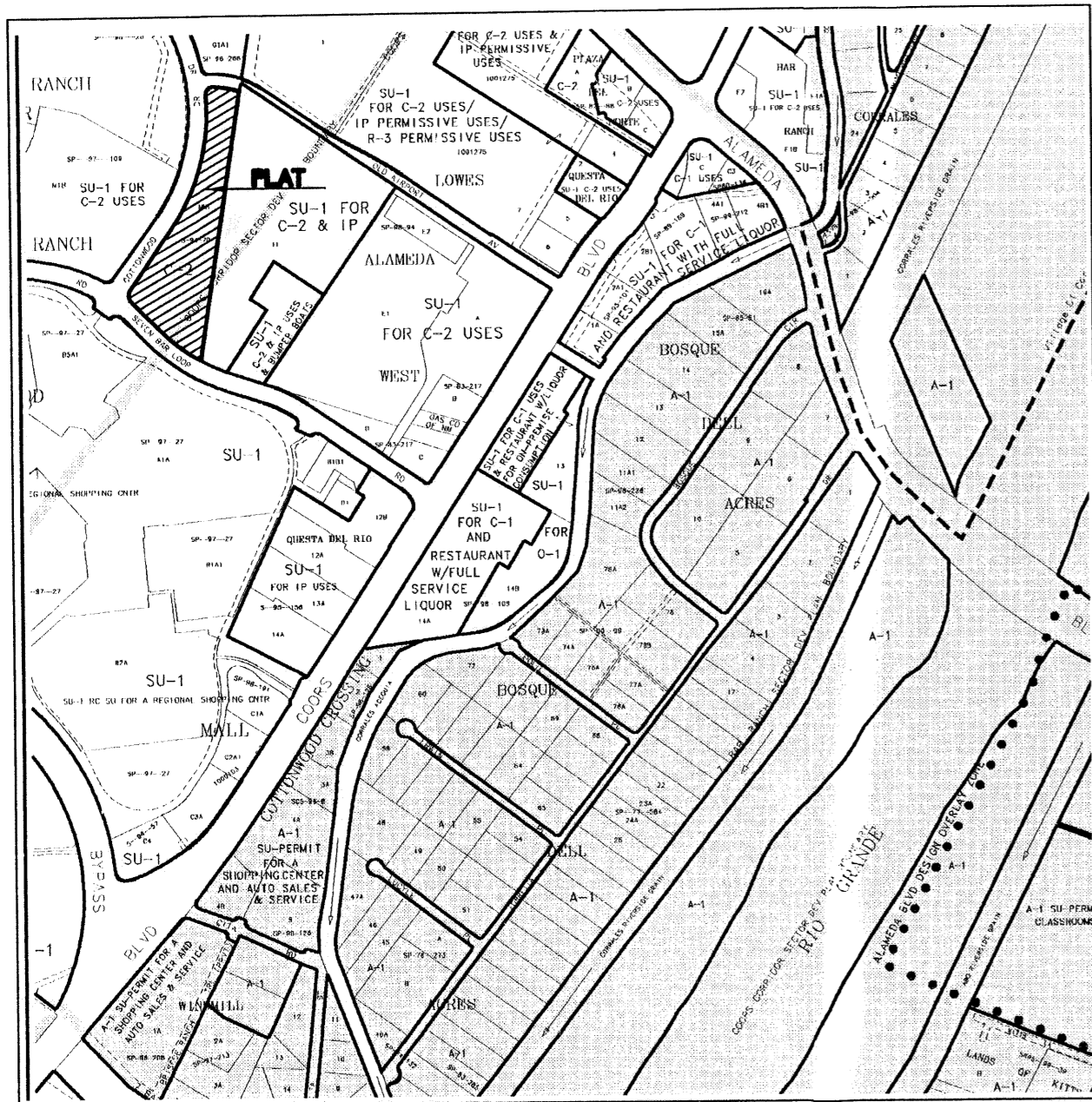


SHEET 3 OF 3

SURVOTEK, INC.

Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114

Phone: 505-897-3366
Fax: 505-897-3377



VICINITY MAP
N.T.S.

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13. Total number of New Tracts created: 2
14. Gross Subdivision acreage: 6.2034 acres.
15. Zoning: C2(SC)

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

1-014-065-067478-2020] - 2003-Taxes

RSE Land + Cattle LLC.

Arturo Kavanagh
Bernalillo County Treasurer

7/30/04
Date

PUBLIC UTILITY EASEMENTS

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DISCLAIMER

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DISCLOSURE STATEMENT

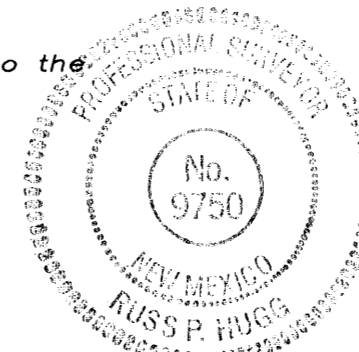
The Purpose of this replat is to: Divide existing Tract MM-1 into two (2) Tracts as shown hereon; and grant the Public utility easements as shown hereon (if any).



SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
Russ P. Hugg
NMPS No. 9750
March 5, 2004



TRACTS MM-1-A AND MM-1-B
SEVEN-BAR RANCH

(BEING A REPLAT OF TRACT MM-1, SEVEN-BAR RANCH)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MARCH, 2004

PROJECT NUMBER: 1003384

Application Number: 04-00570

PLAT APPROVAL

Utility Approvals:

| | |
|------------------------|----------|
| <i>Frank D. Malt</i> | 3-18-04 |
| PNM Electric Services | Date |
| <i>Frank D. Malt</i> | 3-18-04 |
| PNM Gas Services | Date |
| <i>Rosario Ruffier</i> | 03/18/04 |
| QWest Corporation | Date |
| <i>Pita S. Jicks</i> | 3-17-04 |
| Comcast | Date |
| <i>[Signature]</i> | 5-3-04 |
| New Mexico Utilities | Date |

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

| | |
|--|---------|
| <i>[Signature]</i> | 3-17-04 |
| City Surveyor | Date |
| <i>V/A</i> | |
| Real Property Division | Date |
| <i>V/A</i> | |
| Environmental Health Department | Date |
| <i>[Signature]</i> | 4-21-04 |
| Traffic Engineering, Transportation Division | Date |
| <i>Roger A. Sheen</i> | 4/21/04 |
| Utilities Development | Date |
| <i>Christina Sandoval</i> | 4/21/04 |
| Parks and Recreation Department | Date |
| <i>Bradley A. Bihm</i> | 4/21/04 |
| AMAFCA | Date |
| <i>Bradley A. Bihm</i> | 7/12/04 |
| City Engineer | Date |
| <i>Sharon Matson</i> | 4/21/04 |
| DRB Chairperson, Planning Department | Date |

SHEET 1 OF 3

SURV+TEK, INC.

Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114

Phone: 505-897-3366
Fax: 505-897-3377

TRACTS MM-1-A AND MM-1-B
SEVEN-BAR RANCH

(BEING A REPLAT OF TRACT MM-1, SEVEN-BAR RANCH)

WITHIN

THE TOWN OF ALAMEDA GRANT

IN

PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

MARCH, 2004

LEGAL DESCRIPTION

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Said Tract contains 6.2034 acres, more or less.

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OWNER OF TRACT MM-1


RSF Land and Cattle Company, LLC
a New Mexico limited liability company

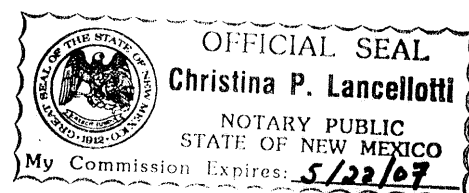
By 
David S. Smoak, Managing Member

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 16th
day of March, 2004, by David S. Smoak.

 My commission expires May 22, 2007
Notary Public



SHEET 2 OF 3

SURV TEK, INC.

Consulting Surveyors Phone: 505-897-3366
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

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(BEING A REPLAT OF TRACT MM-1, SEVEN-BAR RANCH)

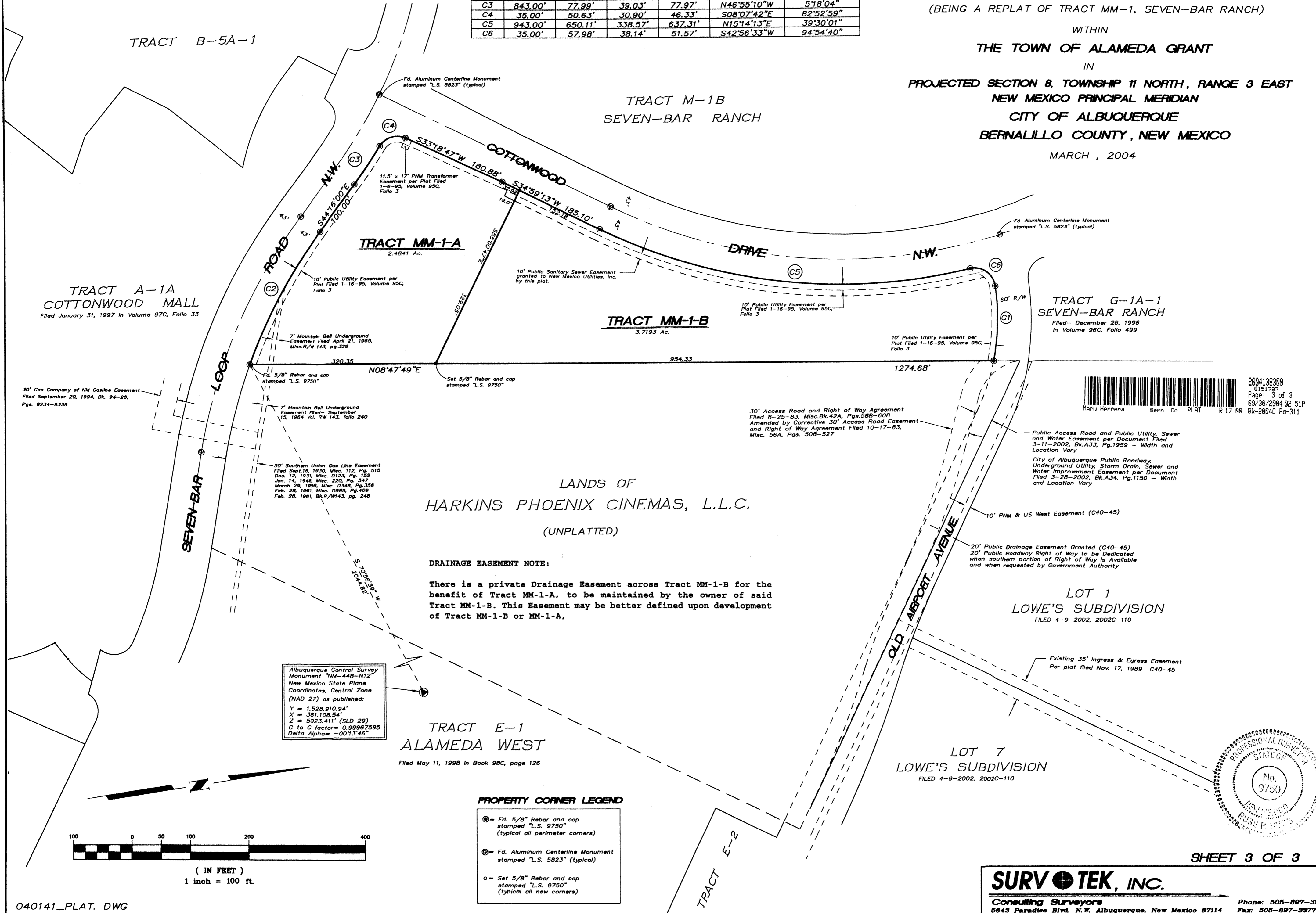
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BERNALILLO COUNTY, NEW MEXICO

MARCH, 2004

CURVE TABLE

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LANDS OF
HARKINS PHOENIX CINEMAS, L.L.C.
(UNPLATTED)

DRAINAGE EASEMENT NOTE:

There is a private Drainage Easement across Tract MM-1-B for the benefit of Tract MM-1-A, to be maintained by the owner of said Tract MM-1-B. This Easement may be better defined upon development of Tract MM-1-B or MM-1-A.

Albuquerque Central Survey Monument "NW-448-N12"
New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:
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Z = 5023.411' (SLD 29)
G to G factor = 0.99967595
Delta Alpha = -00'13.46"

TRACT E-1
ALAMEDA WEST

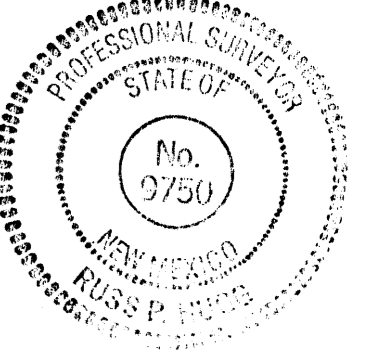
Filed May 11, 1998 in Book 98C, page 126

PROPERTY CORNER LEGEND

- ⊙ = Fd. 5/8" Rebar and cap stamped "L.S. 9750" (typical all perimeter corners)
- ⊙ = Fd. Aluminum Centerline Monument stamped "L.S. 5823" (typical)
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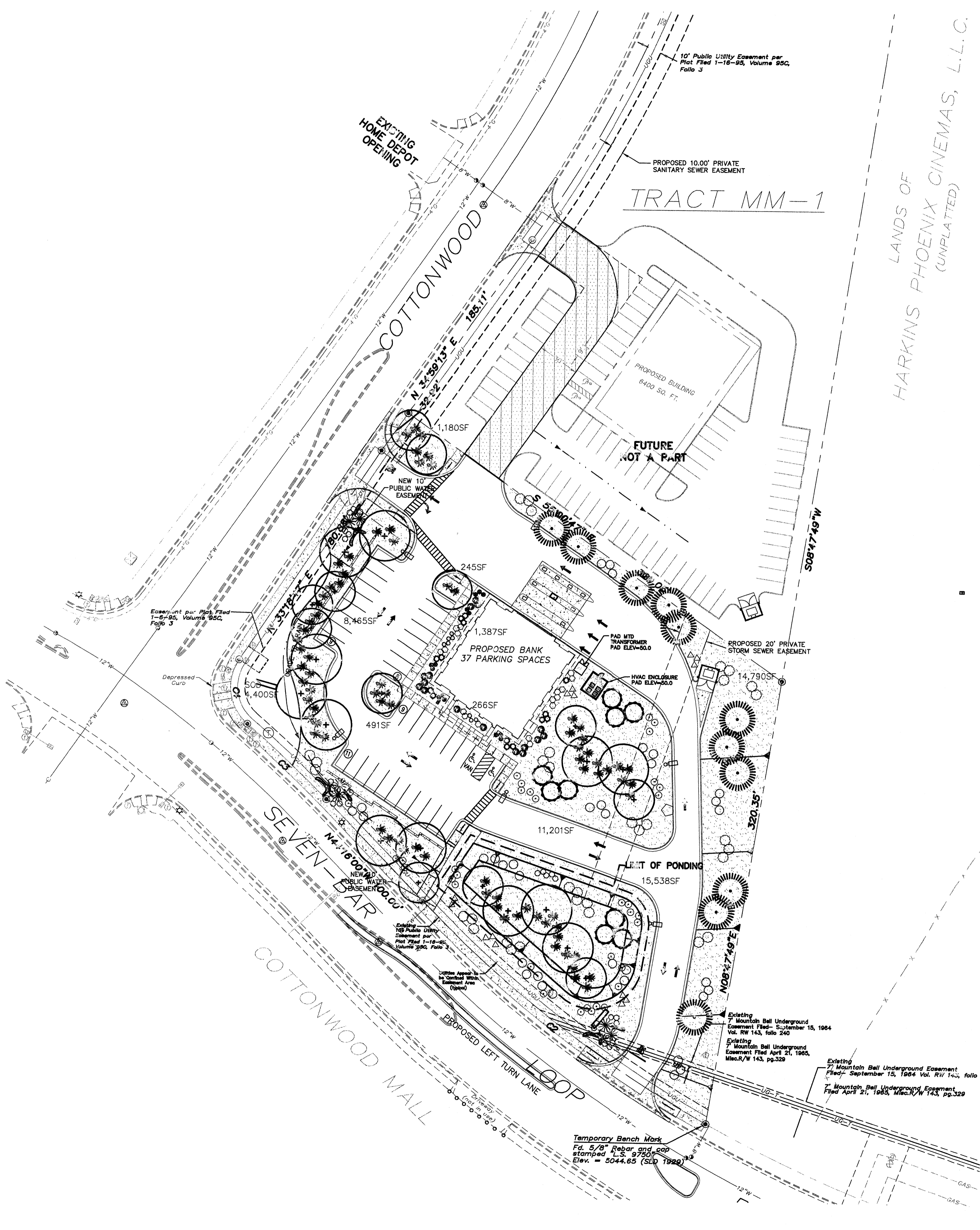
(IN FEET)
1 inch = 100 ft.



SHEET 3 OF 3

SURVOTEK, INC.

Consulting Surveyors
6643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3566
Fax: 505-897-5377



LANDSCAPE LEGEND

| Size | Common Name | Quantity |
|----------------|-----------------------------|----------|
| 4-6' | Palm Yucca, Boulder, Cobble | 6 |
| 2 - 2 1/2" cal | Cottonwood | 12 |
| 2 - 2 1/2" cal | Honeylocust or Ash | 12 |
| 6 - 8' | Austrian Pine | 11 |
| 15 Gal | Desert Willow | 9 |
| 5 Gal | Raphiolepis | 16 |
| 5 Gal | Bearberry Cotoneaster | 81 |
| 5 Gal | Dwarf Butterfly Bush | 14 |
| 5 Gal | Dwarf Fountain Grass | 14 |
| 5 Gal | Cherry Sage | 23 |
| 5 Gal | Blue Mist | 36 |
| 5 Gal | Chamisa | 33 |
| 5 Gal | Apache Plume | 34 |
| 5 Gal | Lanas Broom | 17 |
| 2 Gal | English Lavender | 8 |
| 1 Gal | Powis Castle Sage | 14 |

LANDSCAPE NOTES

Landscape Maintenance and Irrigation system maintenance shall be the responsibility of the owner.

All Landscaping shall be watered by a complete underground irrigation system operated by automatic timer. Bubblers to trees and (2) drip emitters per shrub. Point of Connection for irrigation system is unknown at current time and will be coordinated in the field.

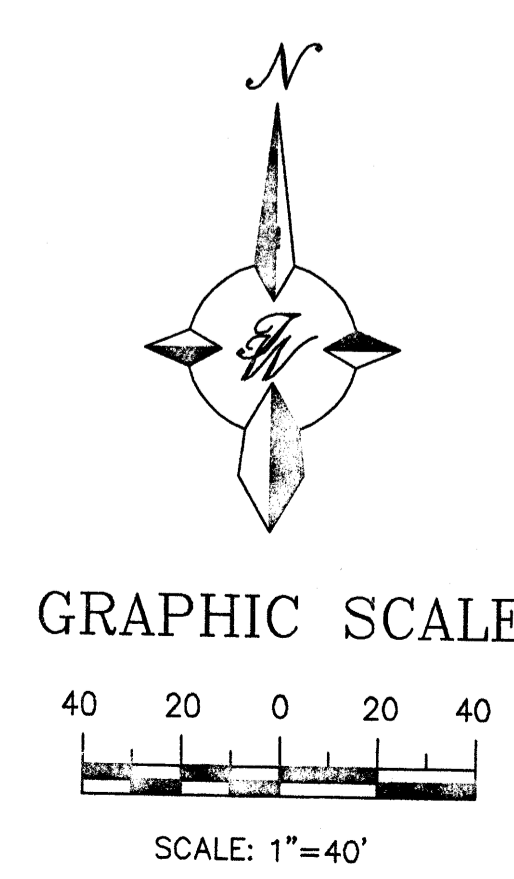
It is the intent of this plan to comply with the City of Albuquerque, water conservation and waste water ordinance.

All landscape beds shall be planted so to achieve 75% live ground cover at maturity.

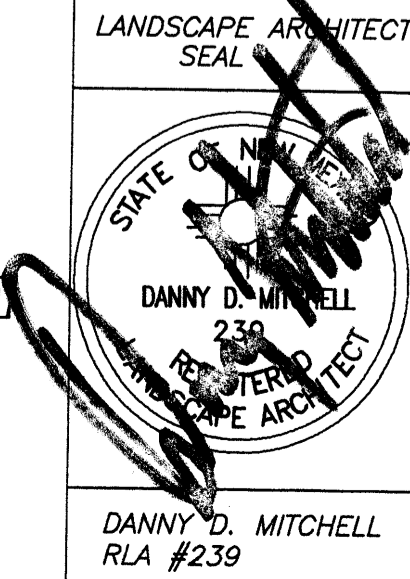
Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

LANDSCAPE CALCULATIONS

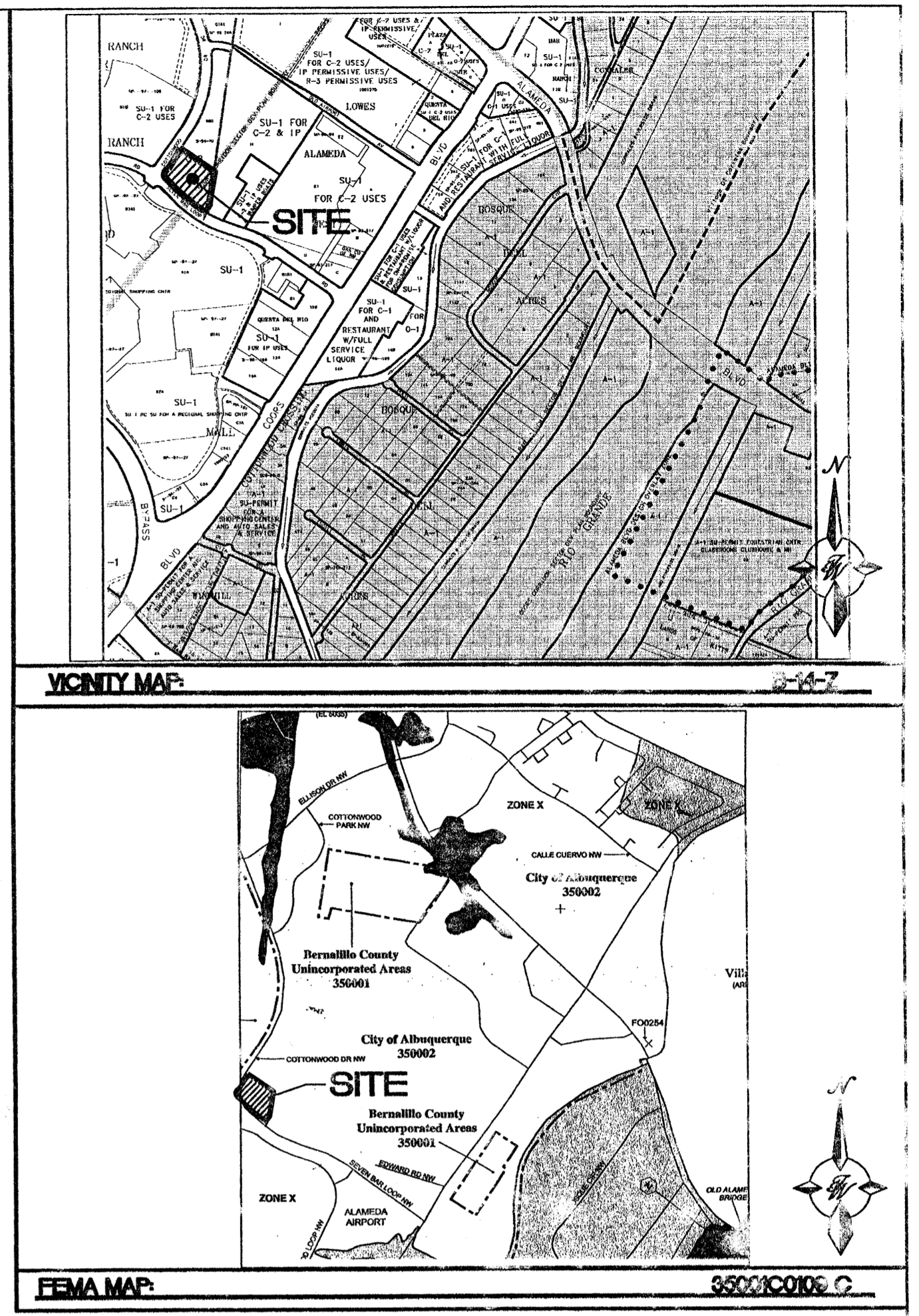
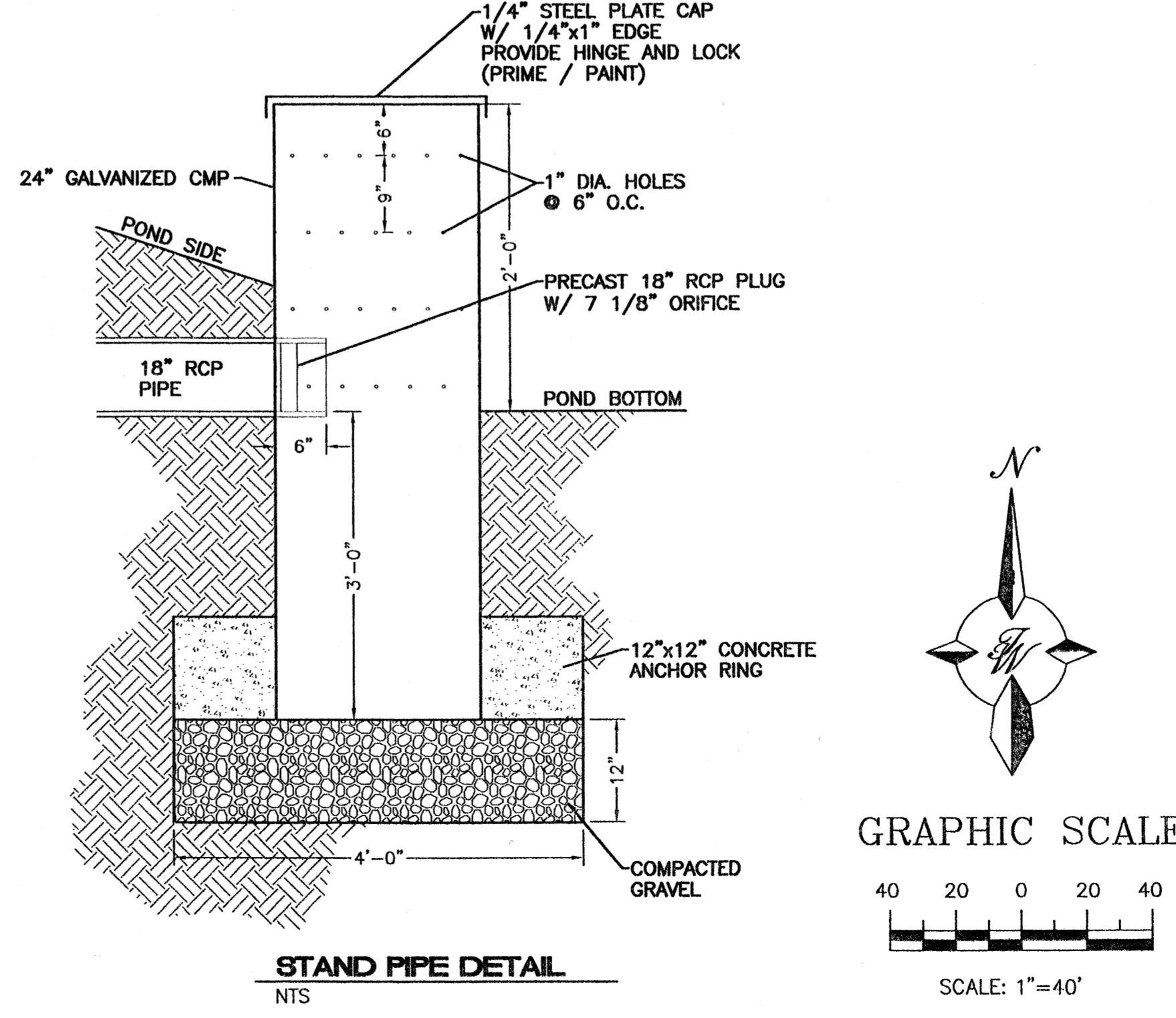
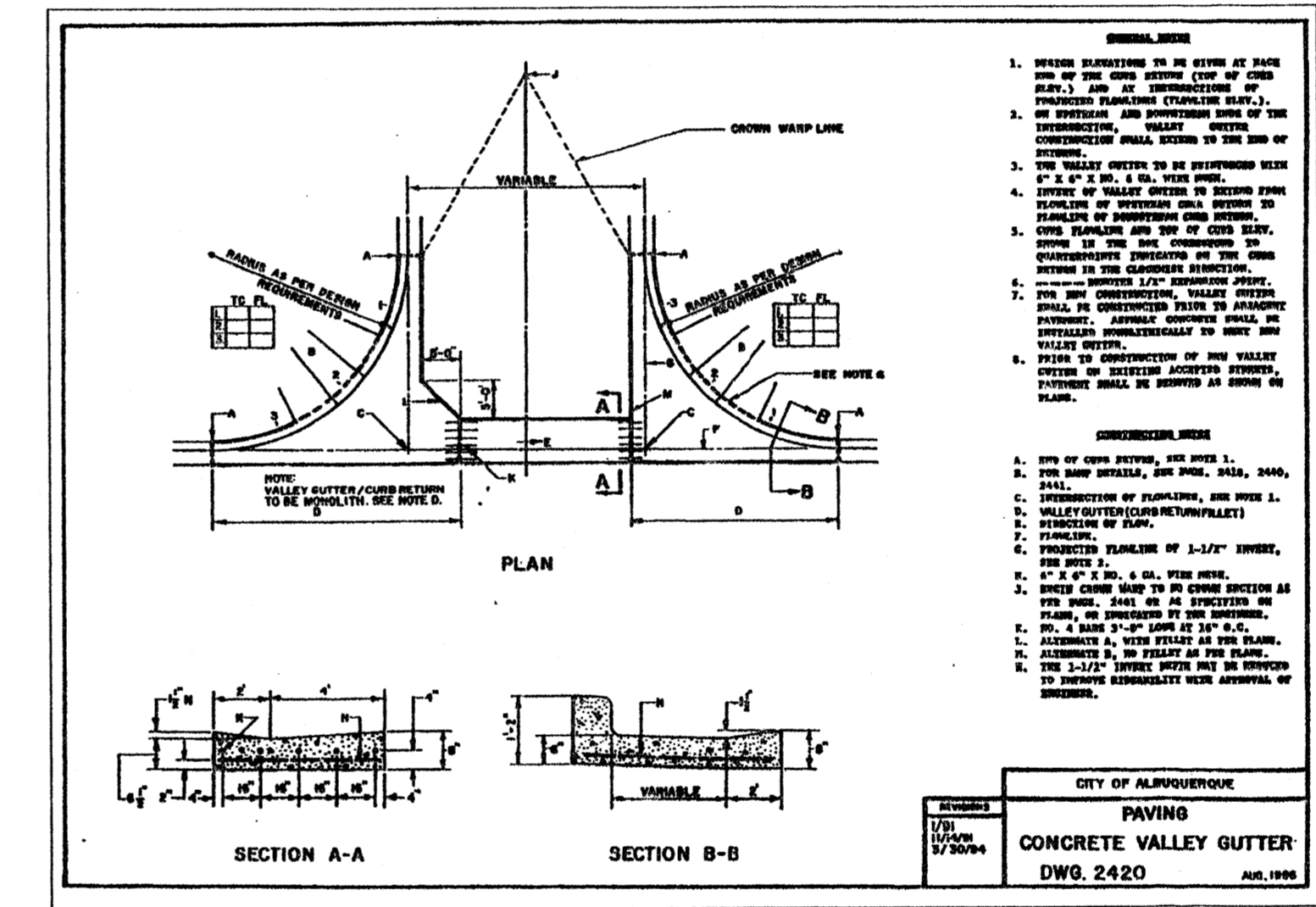
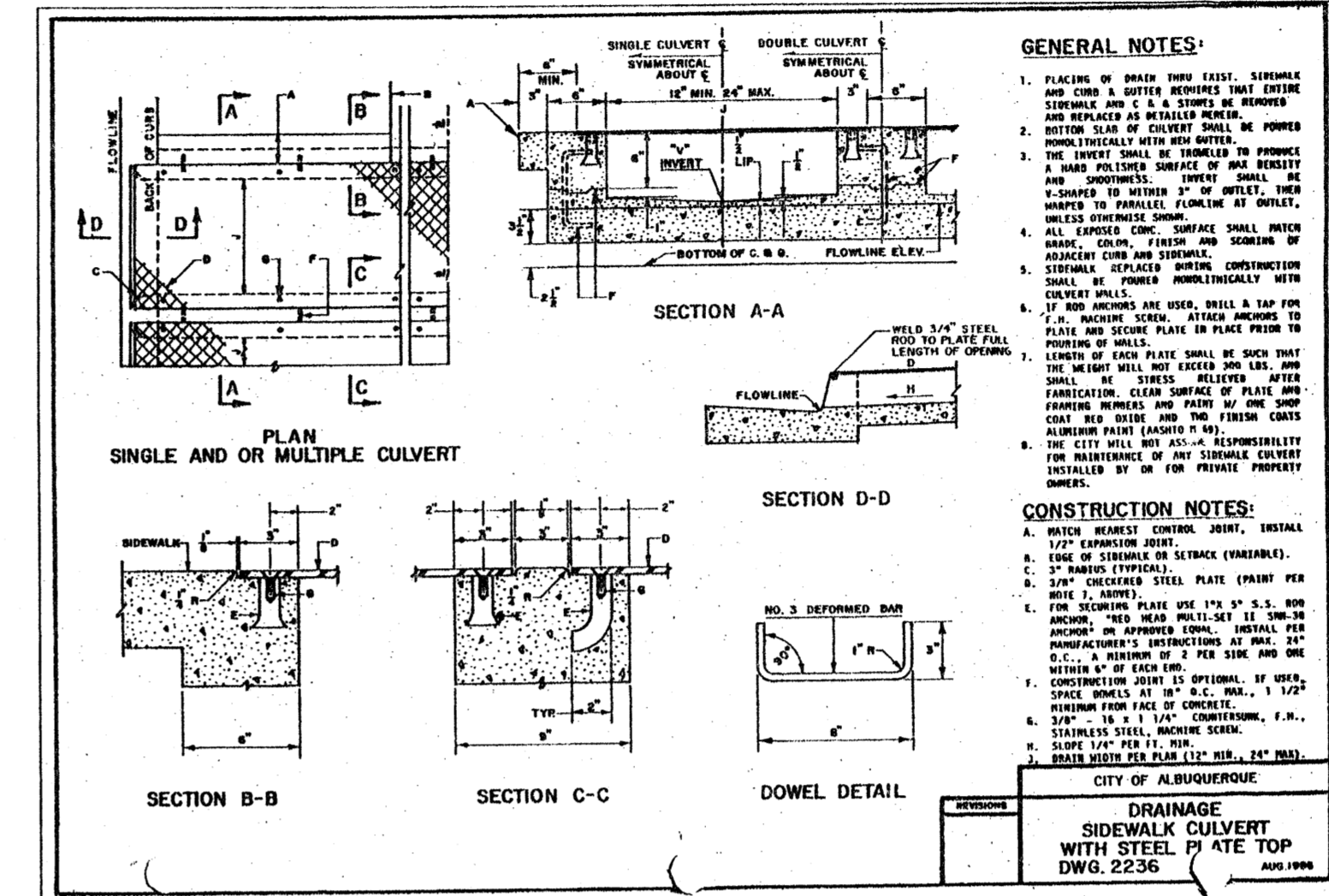
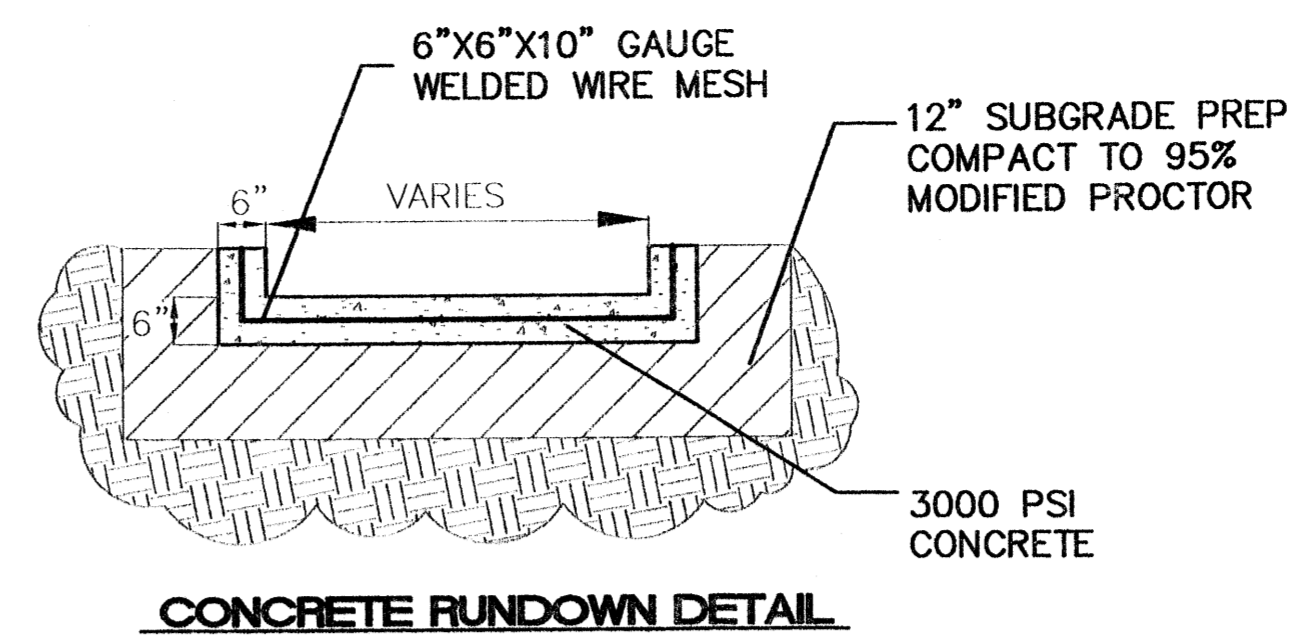
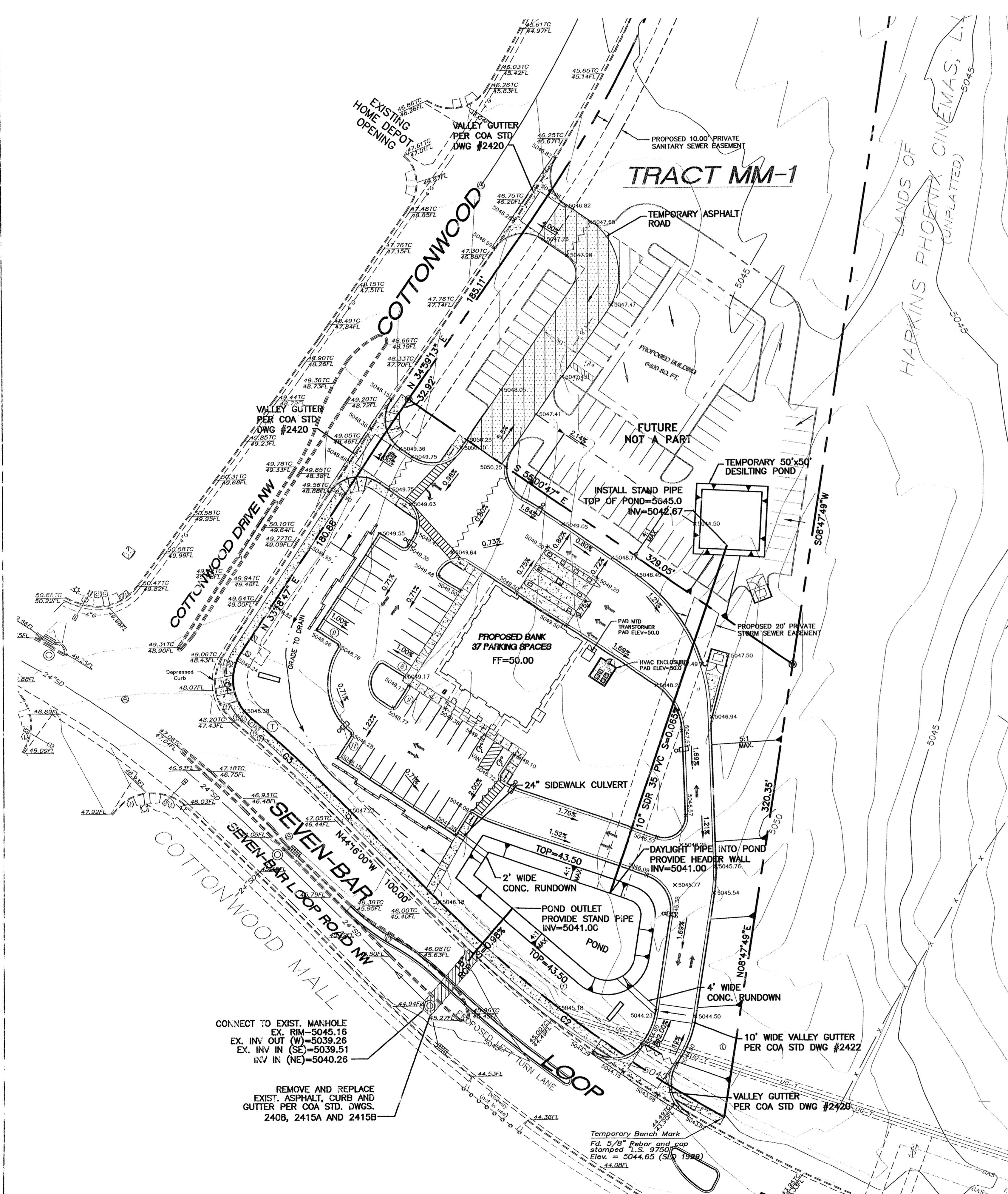
| | |
|-------------------------------|---------|
| TOTAL LOT AREA (sf) | 108,207 |
| TOTAL BUILDING AREA (sf) | -5,216 |
| NET LOT AREA (sf) | 102,991 |
| LANDSCAPE REQUIREMENT (%) | x 15 |
| TOTAL LANDSCAPE REQUIRED (sf) | 15,448 |
| TOTAL BED AREA PROVIDED (sf) | 53,563 |
| TOTAL SOD AREA PROVIDED (sf) | 4,400 |
| TOTAL LANDSCAPE PROVIDED (sf) | 57,963 |



Mitchell Associates, LLC
 7200 Way Cross Av. NW
 Albuquerque, NM 87120
 (505) 839-2081 danny@mitchellassociatesllc.com



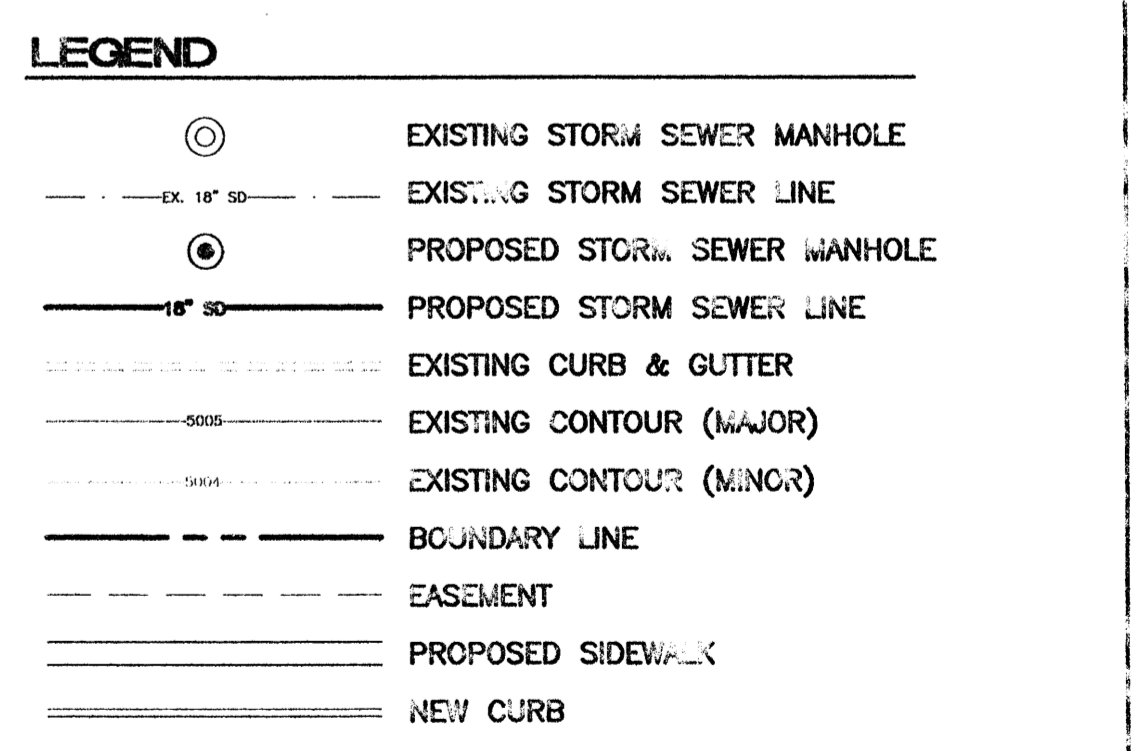
| | | |
|--|--|-------------------|
| LANDSCAPE ARCHITECTS SEAL | IRONSTONE BANK COTTONWOOD/SEVEN BAR | DRAWN BY DM |
| | LANDSCAPE PLAN FOR BUILDING PERMIT | DATE 10-21-04 |
| TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100 | | 2401SPE-05-28-04X |
| | | SHEET # L1 |
| | | JOB # 240001 |



LEGAL DESCRIPTION:
 TRACTS MM-1-A AND MM-1-B, SEVEN-BAR RANCH (BEING A REPLAT OF TRACT MM-1, SEVEN-BAR RANCH)

EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

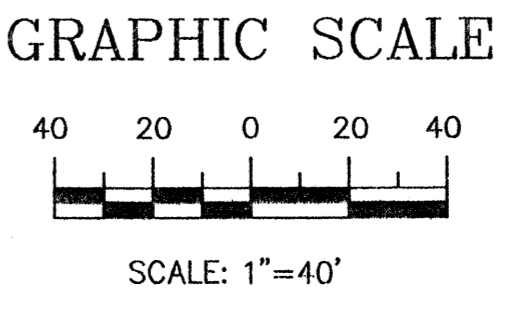


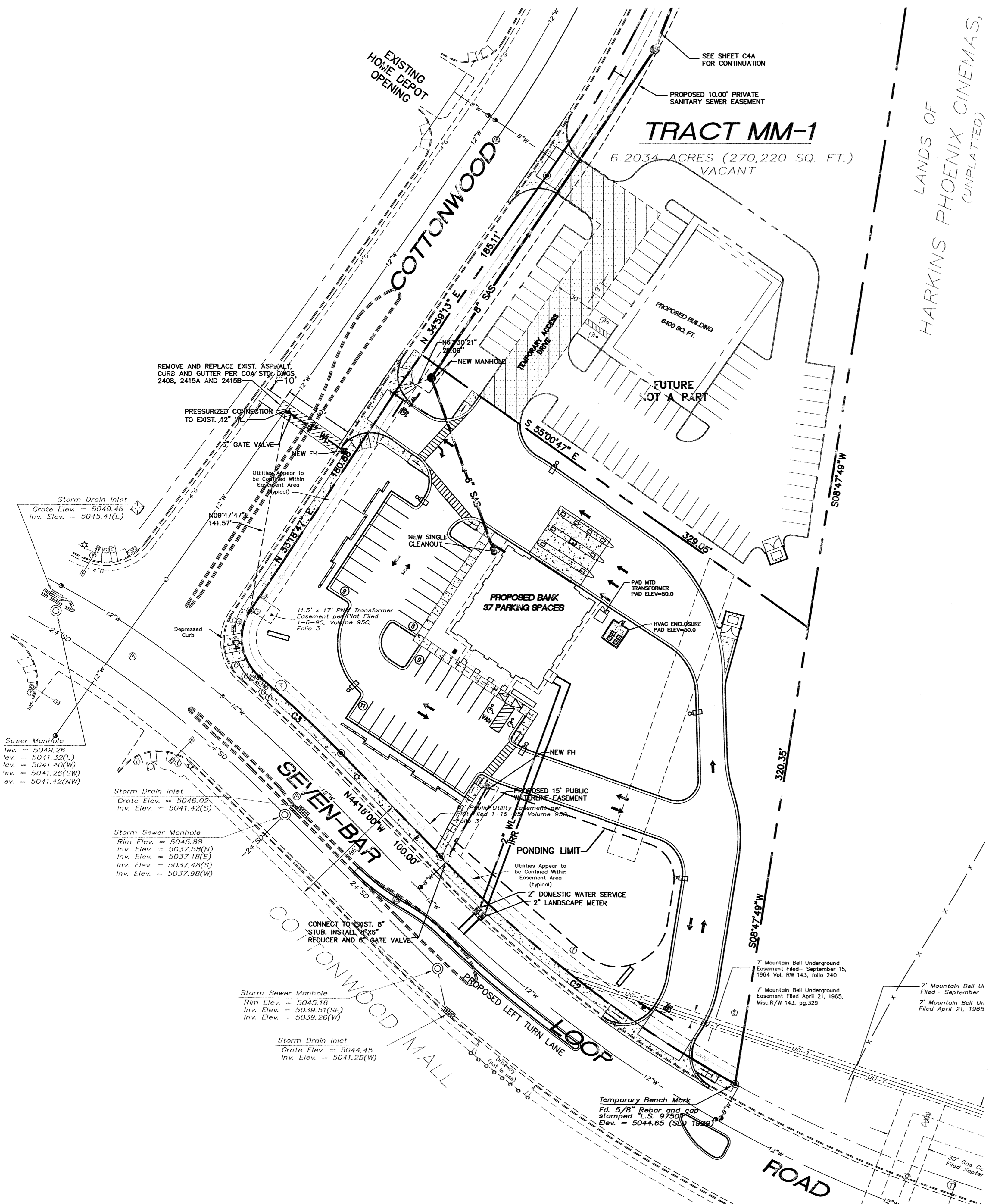
ROUGH GRADING APPROVAL

| | | | |
|-----------------|--|----------|------------------|
| ENGINEER'S SEAL | IRONSTONE BANK COTTONWOOD/SEVEN BAR GRADING AND DRAINAGE PLAN | DRAWN BY | PMT |
| | | DATE | 05-31-04 |
| | | | 2401GR-05-28-04X |
| | | SHEET # | C3 |
| | | JOB # | 240001 |

TIERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505) 858-3100

RONALD R. BOHANNAN
 P.E. #7868

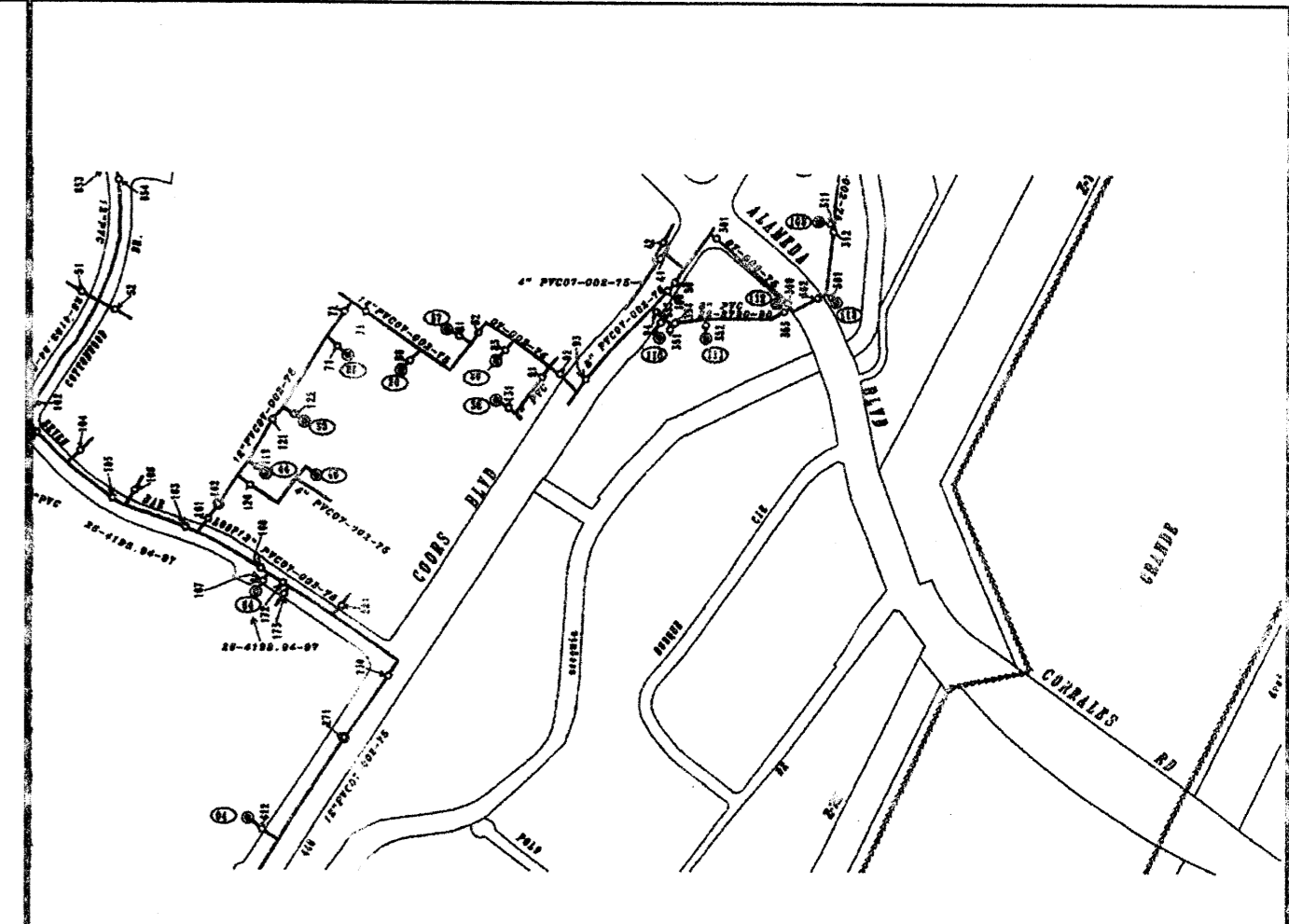
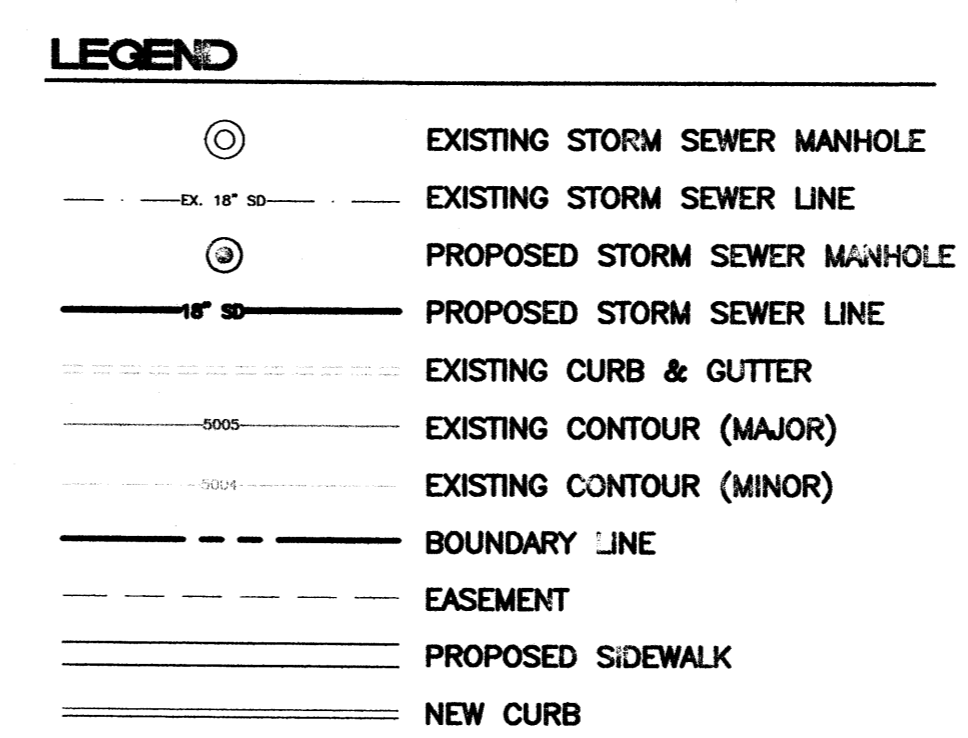




LANDS OF HARKINS PHOENIX CINEMAS, (UNPLATTED)

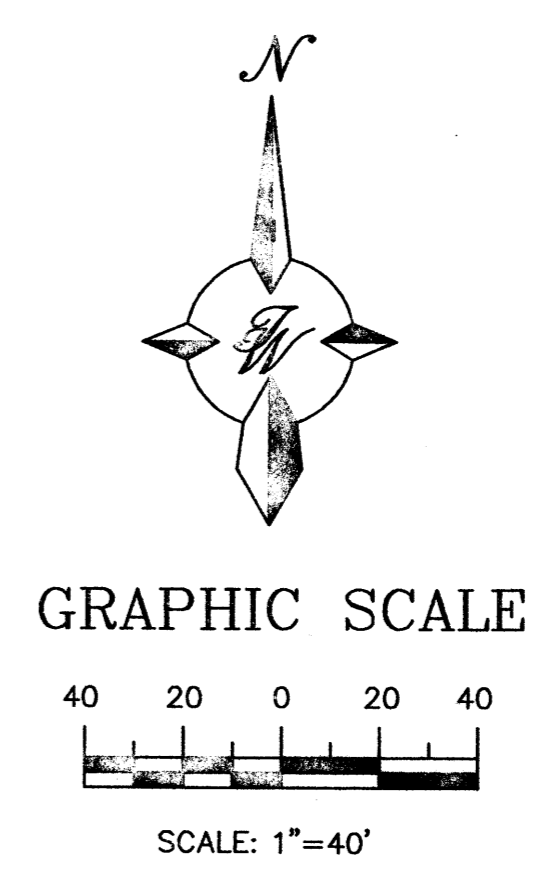
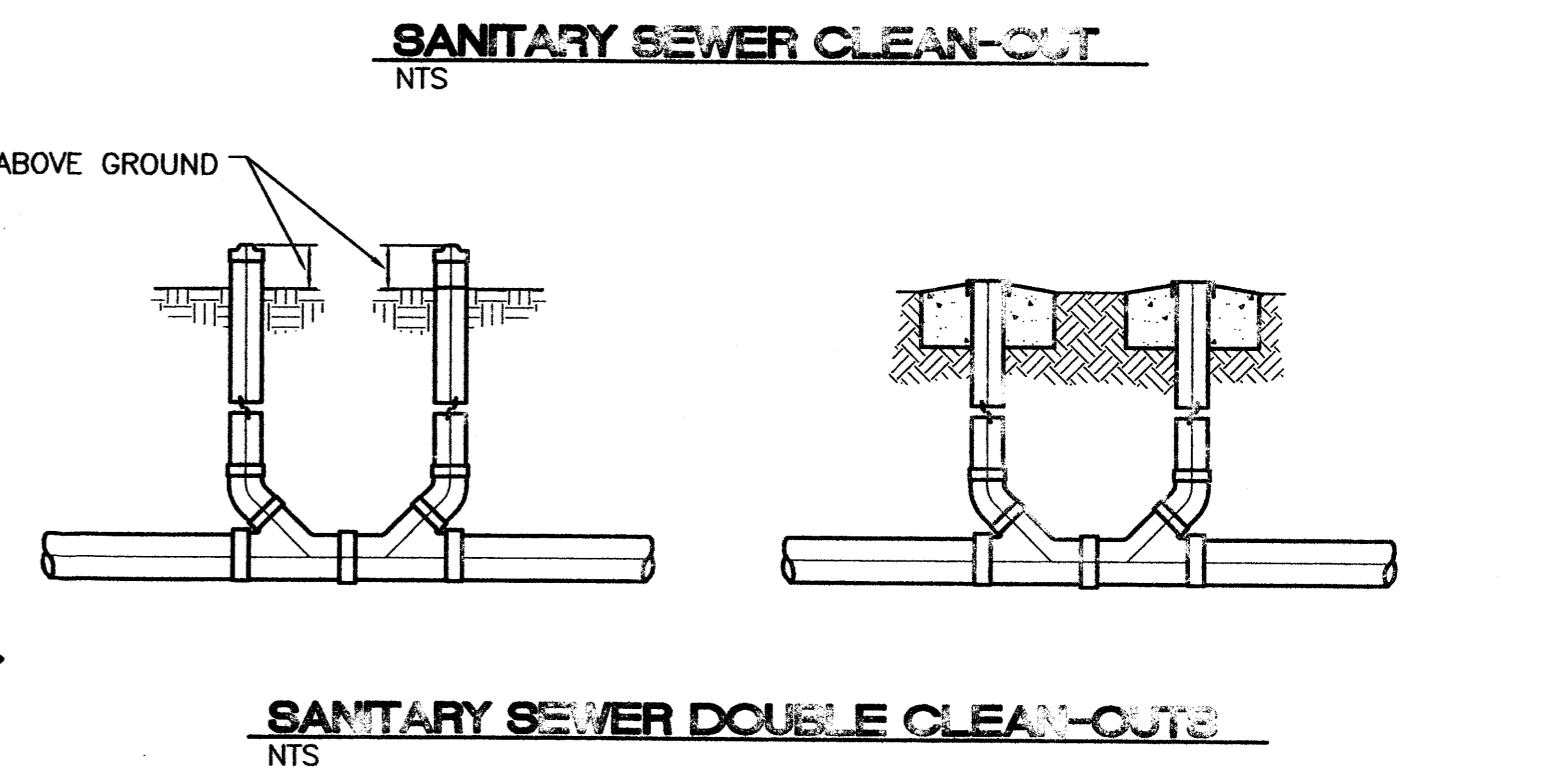
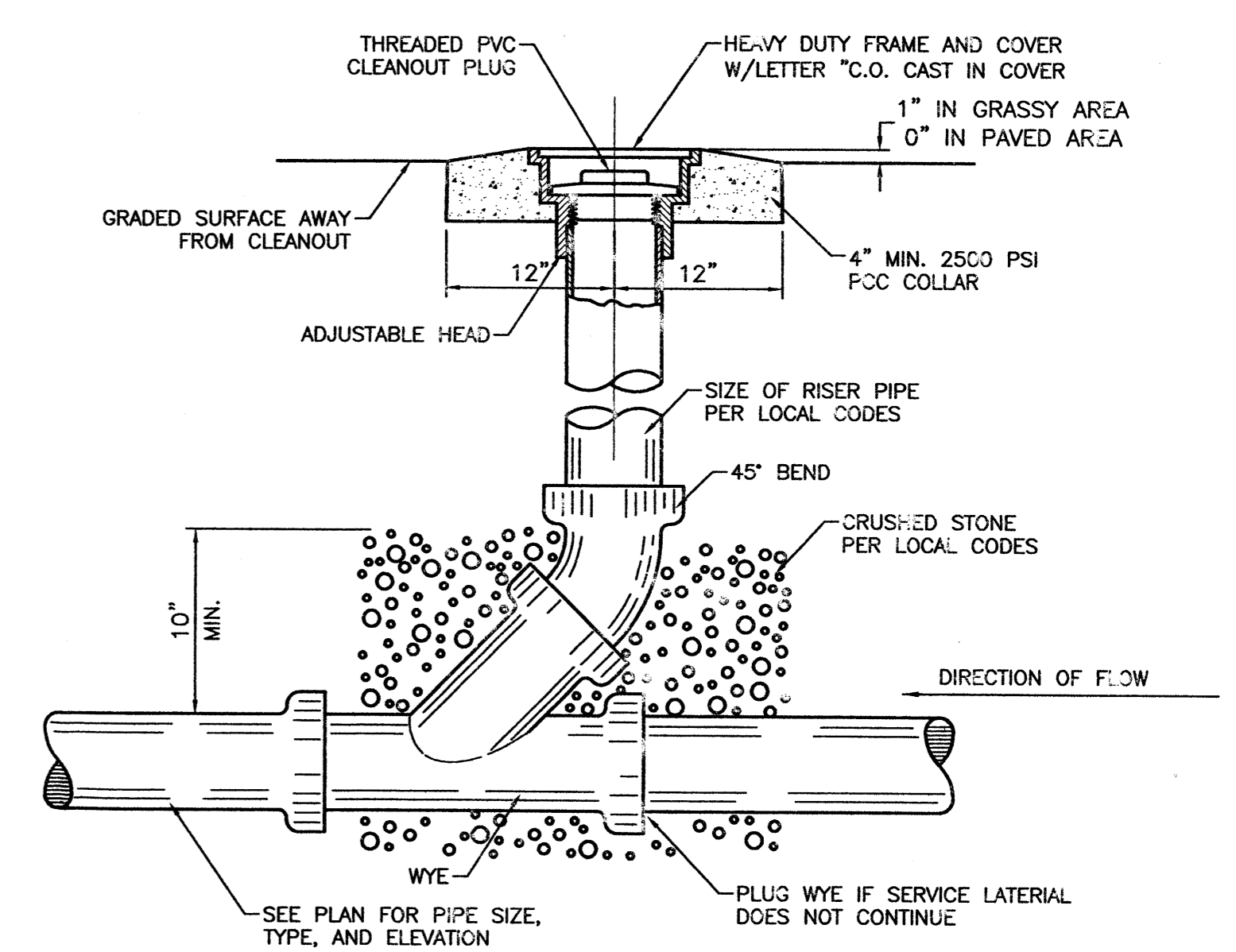
- GENERAL NOTES:**
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
 - ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - CLEAN CUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.

- NOTICE TO CONTRACTORS:**
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF SANTE FE STANDARD SPECIFICATIONS.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (505)765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

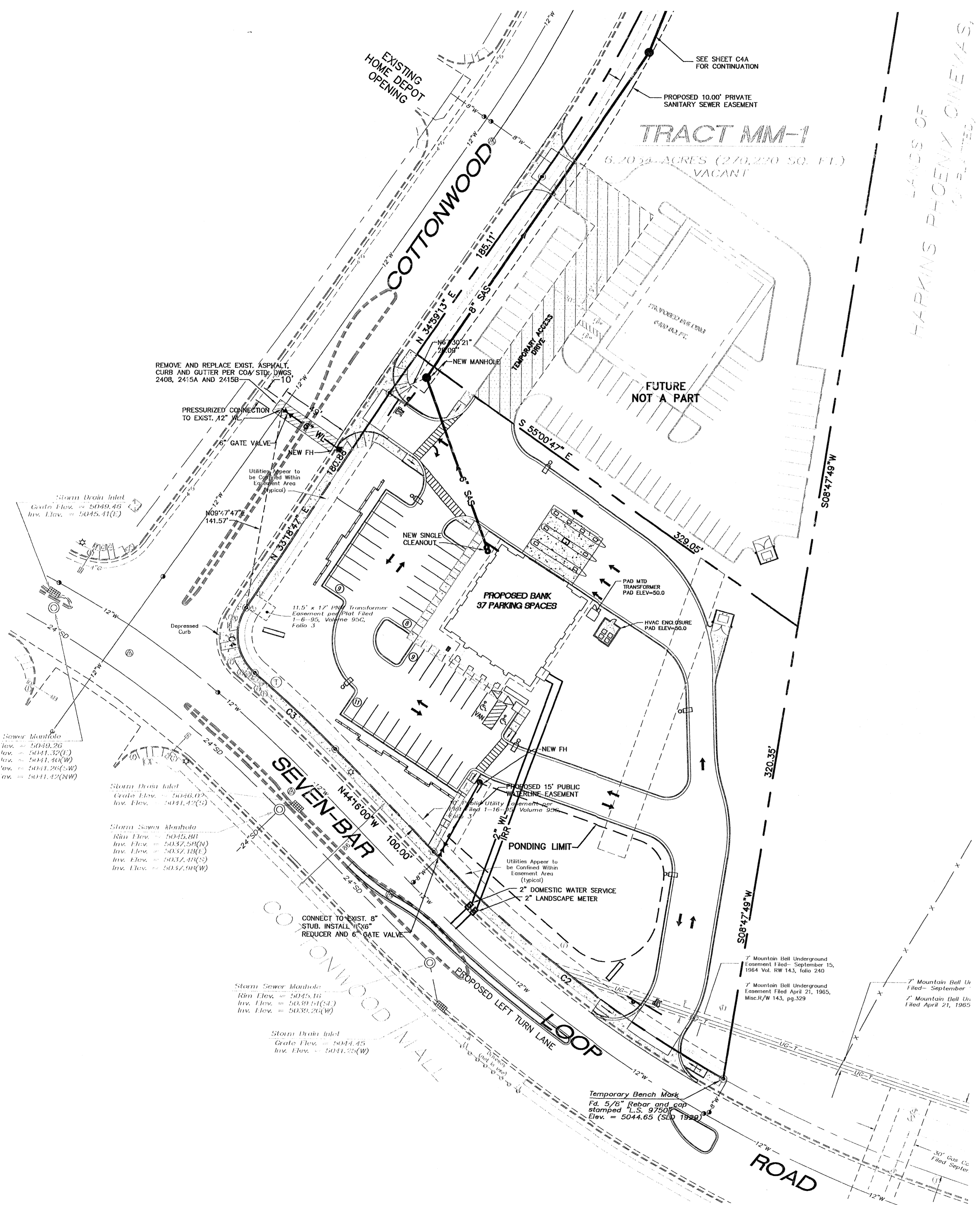


WATER SHUTOFF PLAN SHUTOFF VALVES: #

- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
- NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
- APPROXIMATE SHUT OFF TIME WILL BE 2-3 HOURS.
- SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.



| | | |
|--|---|----------------------------|
| ENGINEER'S SEAL | IRONSTONE BANK COTTONWOOD/SEVEN BAR | DRAWN BY PMT |
| | | DATE 05-31-04 |
| | RONALD R. BOHANNAN P.E. #7868 | MASTER UTILITY PLAN |
| TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100 | | SHEET # C4 |



FIRE HYDRANT AND INSTANTANEOUS FIRE FLOW REQUIREMENTS
 ALBUQUERQUE FIRE DEPARTMENT
 FIRE MARSHAL'S PLAN CHECKING OFFICE
 600 2ND ST N.W., 8TH FLOOR, PLAZA DEL SOL
 ALBUQUERQUE, NEW MEXICO 87102
 (505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER B-14 REFERRAL # _____

SITE ADDRESS _____

LEGAL DESCRIPTION: SUBJECT TRACT MM 1 SEVEN BAR

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING _____

INSTANTANEOUS FLOW REQUIRED 1949

SQUARE FOOTAGE - LARGEST BUILDING 5200

TYPE CONSTRUCTION V-B

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLL.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLL.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 2

DATE: 11.2.04

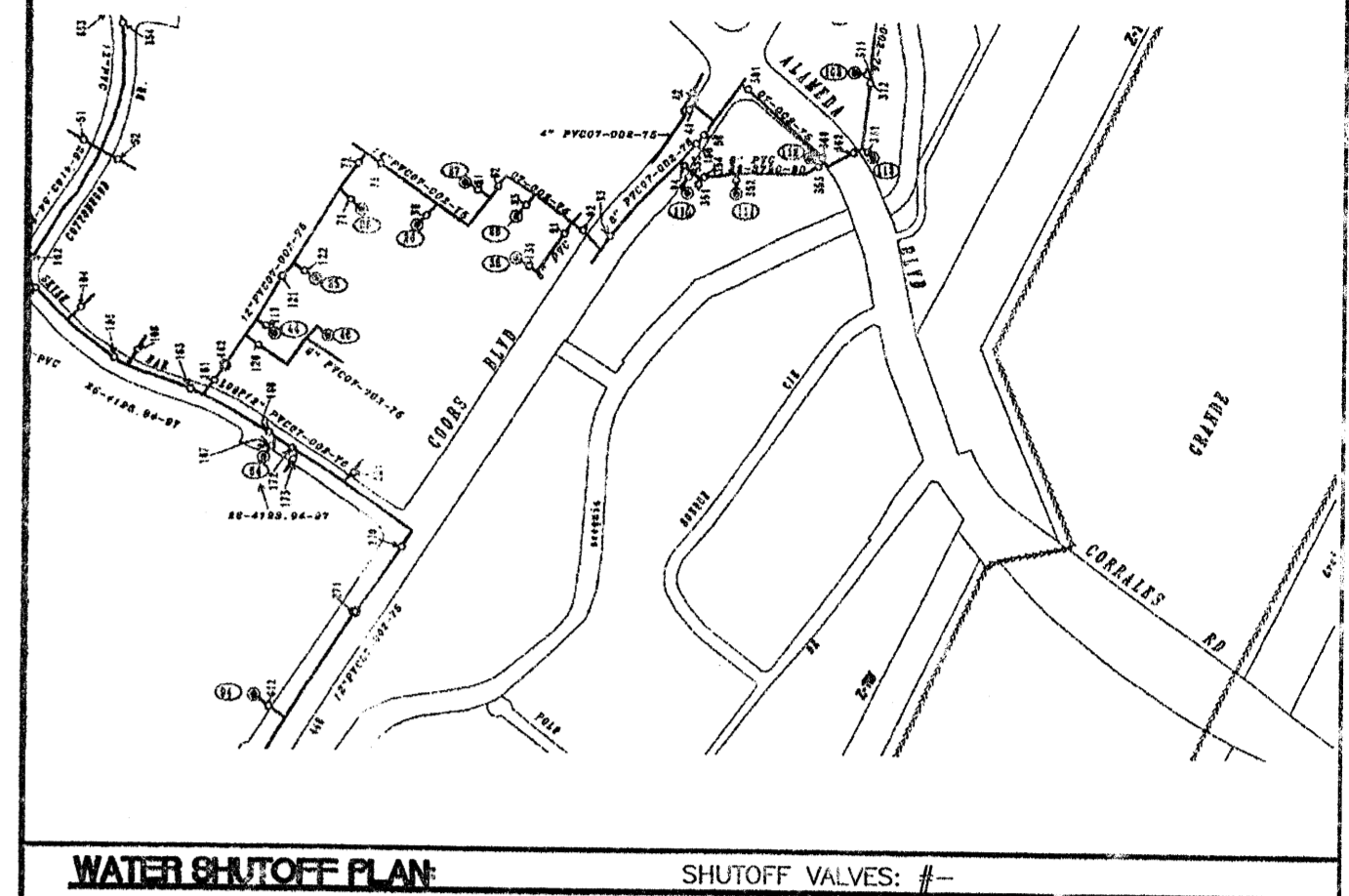
FIRE DEPARTMENT INSPECTOR: [Signature]

RECEIVED BY: [Signature] TELEPHONE: 858-3100

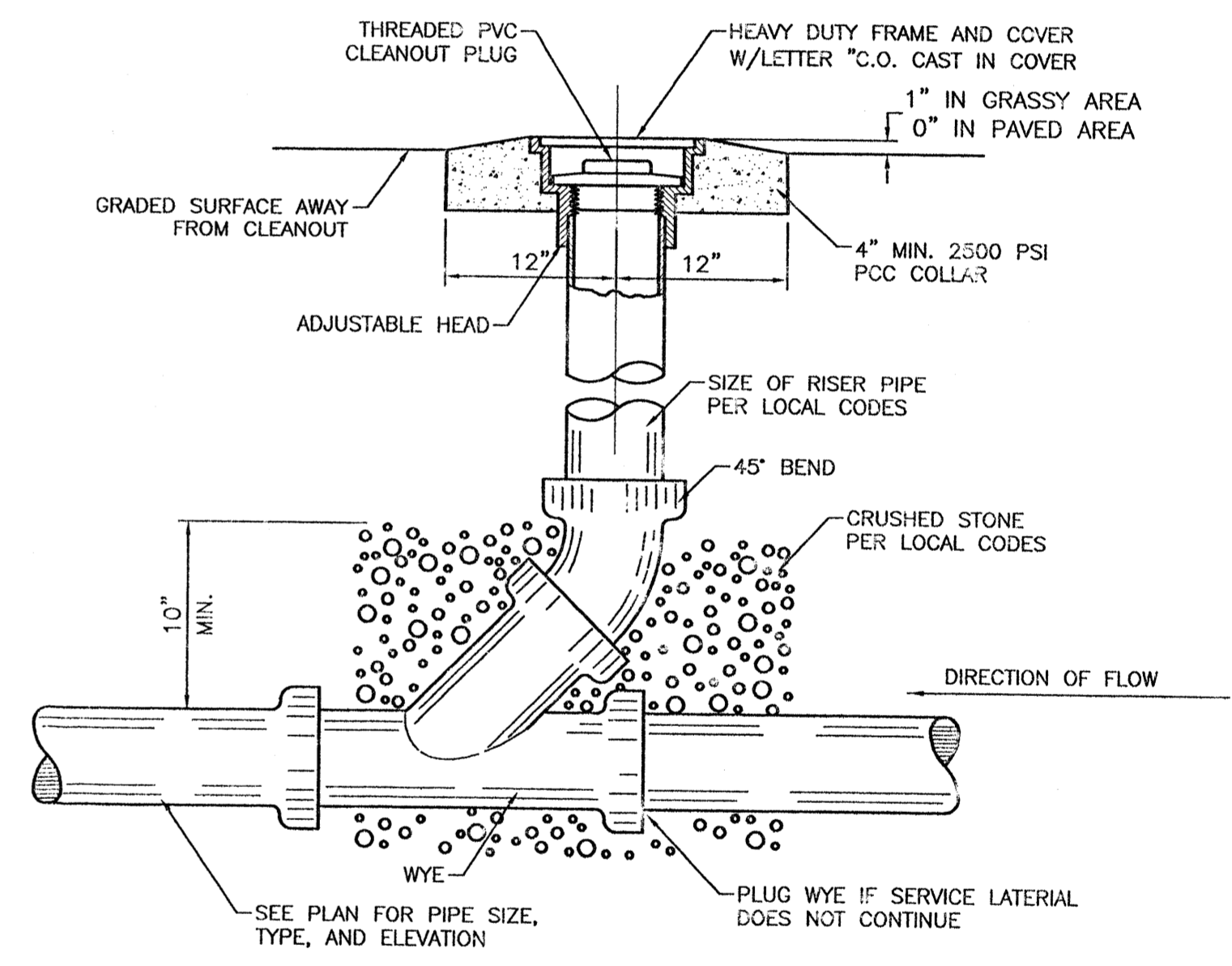
- NOTES:
- ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI UNDER REQUIRED FIRE FLOW CONDITIONS.
 - DETERMINATION OF THE WATER SYSTEM CAPACITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
 - DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPONSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.
- WHITE - INDIVIDUAL YELLOW - FILE

PROPOSED SIDEWALK

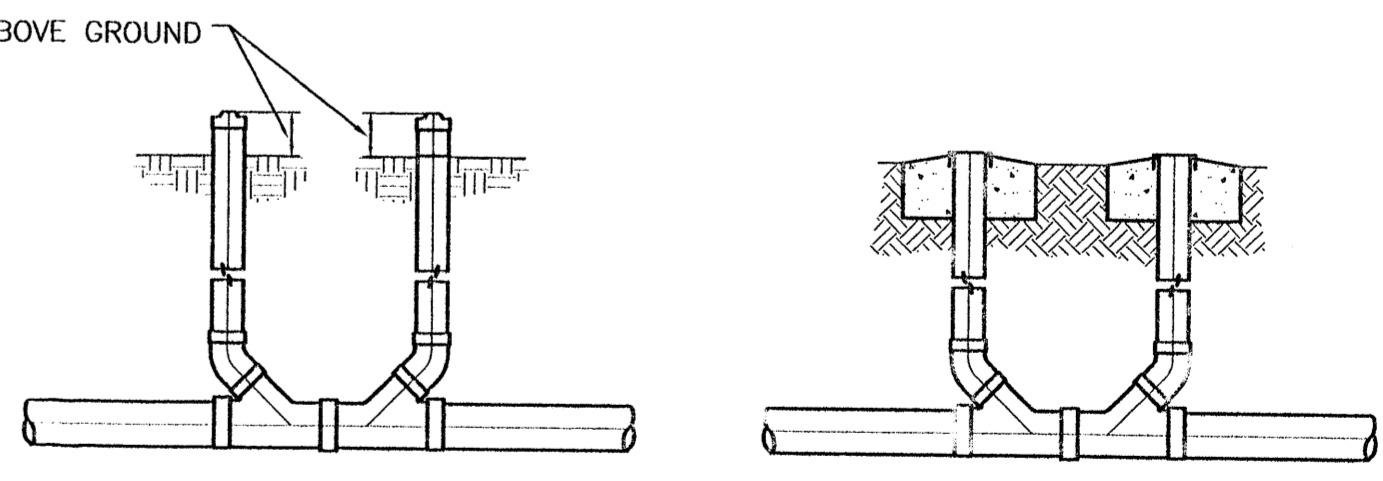
NEW CURB



- WATER SHUTOFF PLAN** SHUTOFF VALVES: # _____
- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 - NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
 - APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 - SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.



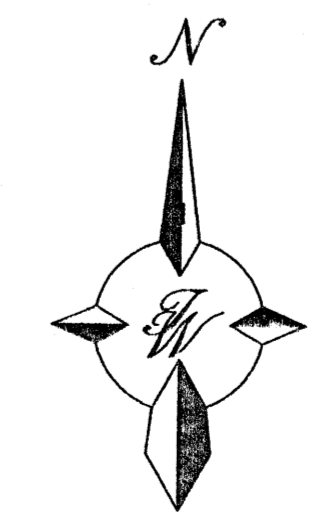
SANITARY SEWER CLEAN-OUT
NTS



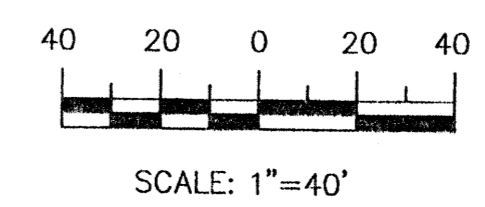
SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

AFD Plans Checking Office
 924-3611
 HYDRANTS ONLY
 Hydrants shall be installed
 prior to construction

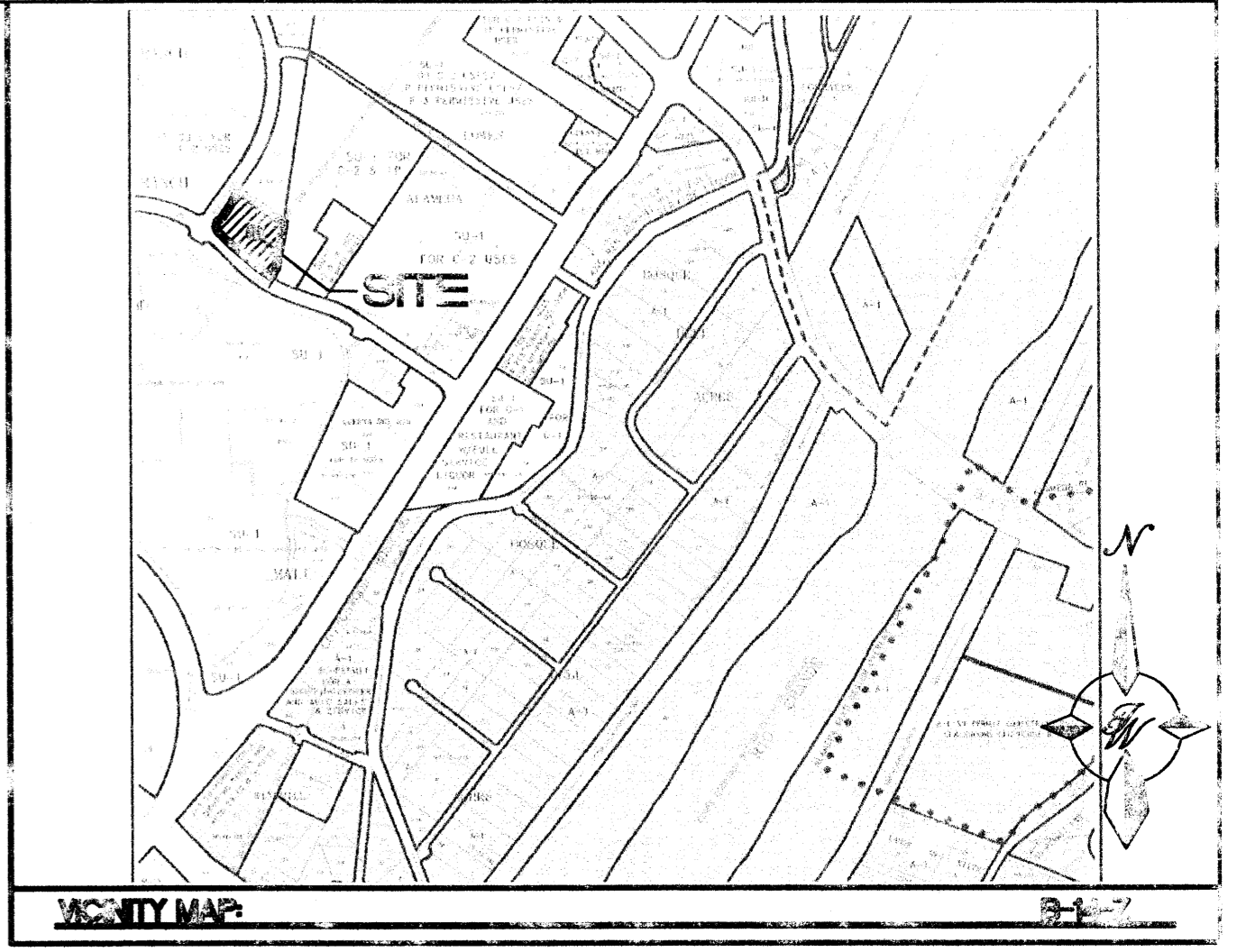
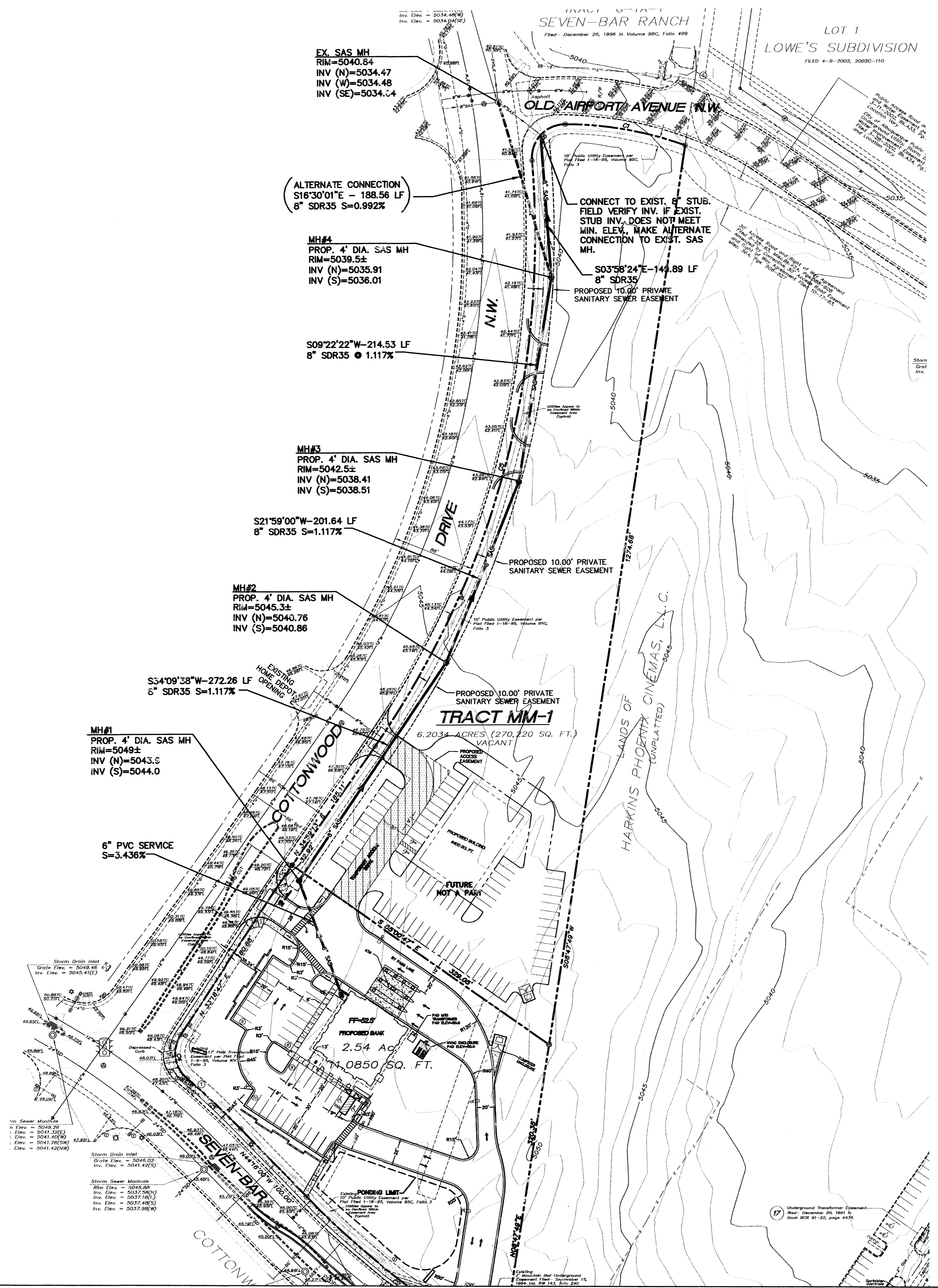
APPROVED/DISAPPROVED
[Signature] 11.2.04
 Signature & Date



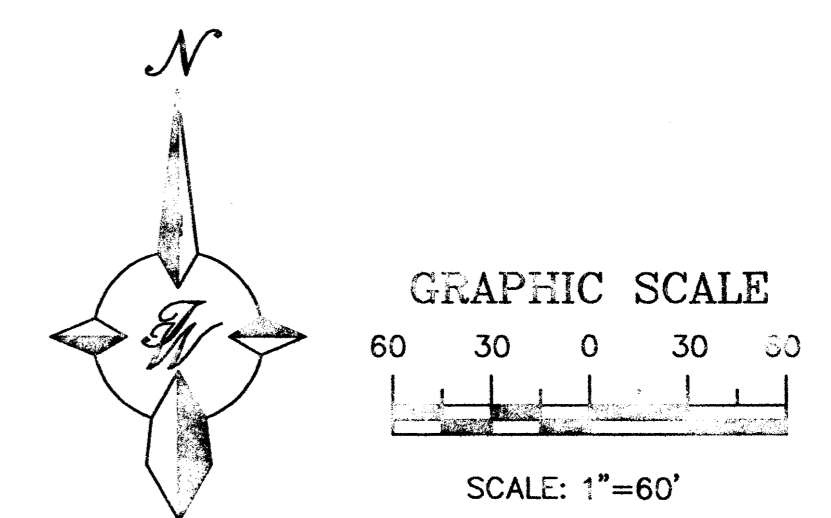
GRAPHIC SCALE




| | | |
|----------------------------------|---|----------------------|
| ENGINEER'S SEAL | IRONSTONE BANK COTTONWOOD/SEVEN BAR MASTER UTILITY PLAN | DRAWN BY PMT |
| | | DATE 05-31-04 |
| | | 2401MUB-05-28-04X |
| | | SHEET # C4 |
| | TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100 | JCB # 240001 |
| RONALD R. BOHANNAN P.E. #7868 | | |



- LEGEND**
- BOUNDARY LINE
 - - - EASEMENT
 - ===== EXISTING CURB AND GUTTER
 - ===== PROPOSED CURB
 - ===== PROPOSED SCREEN WALL
 - ===== PROPOSED SIDEWALK
 - EXISTING BOUNDARY
 - ||||| PEDESTRIAN ACCESS
 - PROPOSED BIKE RACK
 - PROPOSED PARKING LOT LIGHTING
 - ⊙ EXISTING STORM SEWER MANHOLE
 - - - EXISTING STORM SEWER LINE
 - EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)



| | | |
|--|---|---|
| ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868 | CITIZEN'S BANK COTTONWOOD/SEVEN BAR PROPOSED SANITARY SEWER LINE | DRAWN BY: PMT DATE: 04-22-04 DRB: 2401-SAS-EXHIBIT-05-28-04 |
| | TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100 | SHEET #  JOB # 240001 |

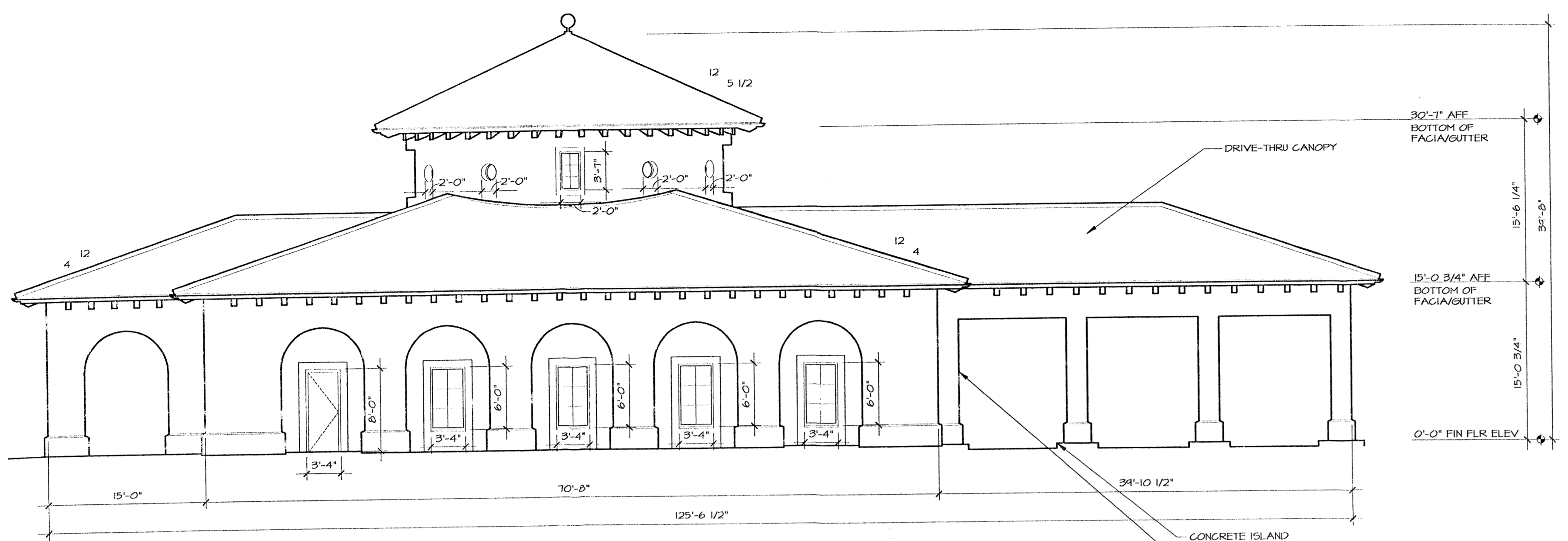
3105 Glenwood Ave
Suite 100
Raleigh, NC 27612
919-833-1994
fax 919-832-2553

General Building Colors:

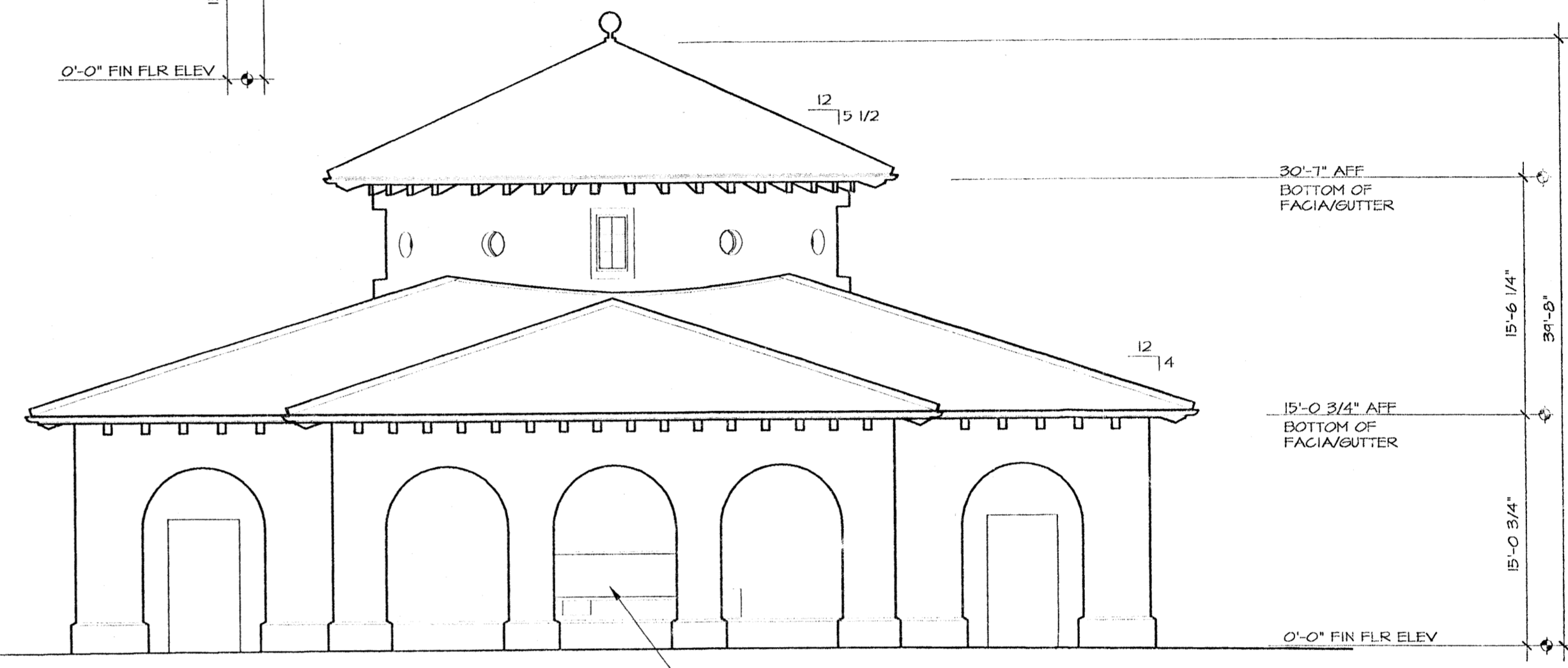
| Item | Color |
|---|---|
| Concrete | Natural grey |
| Eave trim, exposed rafters and T&G decking | Medium brown transparent stain sealer finish - match Sherwin Williams stain color Armoire hickory SW 3123-K |
| Pre-finished windows | Medium bronze finish - match Vistawall "Brown" |
| Glass | Clear |
| Aluminum storefront, entrance doors & gate at mechanical screen | Medium bronze anodized finish - match Vistawall "Brown" |
| Roofing | Red clay tile roof - pantile shape units Predominant color will be natural red clay tile with some brown and grey flashed units - Gladding McBean Cordova clay tile roofing, color similar to kiln run # 8 mix except that predominate natural red unit shall compose approximately 2/3 of the tile units |
| Exposed Flashing | Paint finish to match predominate roof color - Terne coated stainless steel |
| Typical Acrylic stucco color w/ elastomeric primer and finish | Natural white color - match color "#8 Mushroom" by Sacramento Stucco Company |
| Sealant at CMU foundation wall control joints | Match color of adjacent wall surfaces |
| Gutters and downspouts | Terne coated stainless steel painted medium bronze finish - match Vistawall "Brown" |

LEGEND
EXTERIOR COLOR SCHEDULE
(*INTERIOR COLOR SCHEDULE BY OWNER)

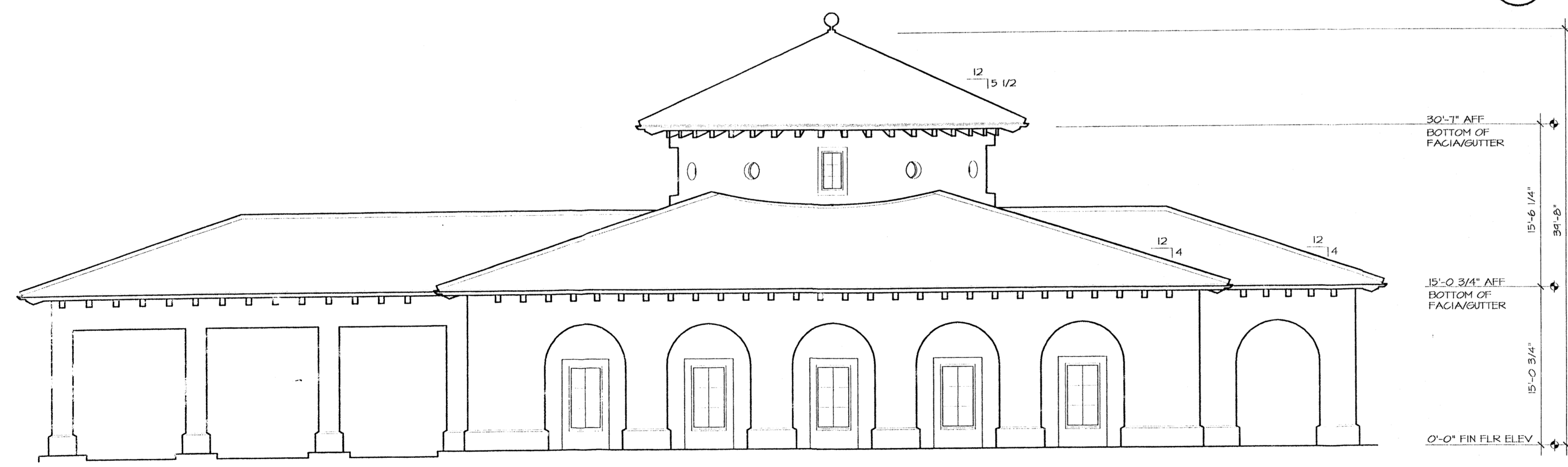
| | |
|---|--|
| CONCRETE | NATURAL GRAY |
| EAVE TRIM, EXPOSED RAFTERS, AND T&G DECKING | MEDIUM BROWN TRANSPARENT STAIN SEALER FINISH - MATCH SHERWIN WILLIAMS STAIN COLOR ARMOIRE HICKORY SW 3123-K |
| PRE-FINISHED WINDOWS | MEDIUM BRONZE FINISH - MATCH VISTAWALL "BROWN" |
| GLASS | CLEAR |
| ALUM. STOREFRONT, ENTRANCE DOORS, & GATE AT MECH. SCREEN | MEDIUM BRONZE ANODIZED FINISH - MATCH VISTAWALL "BROWN" |
| ROOFING | RED CLAY TILE ROOF - PANTILE SHAPE UNITS PREDOMINANT COLOR WILL BE NATURAL RED CLAY TILE WITH SOME BROWN AND GREY FLASHED UNITS - GLADDING McBEAN, CORDOVA CLAY TILE ROOFING, COLOR SIMILAR TO KILN RUN # 8 MIX EXCEPT THAT PREDOMINATE NATURAL RED UNIT SHALL COMPOSE APPROXIMATELY 2/3 OF TILE |
| EXPOSED FLASHING | PAINT FINISH TO MATCH PREDOMINANT ROOF COLOR - TERNE COATED STAINLESS STEEL |
| TYPICAL ACRYLIC STUCCO COLOR W/ ELASTOMERIC PRIMER AND FINISH | NATURAL WHITE COLOR - MATCH "#8 MUSHROOM" BY SACRAMENTO STUCCO COMPANY |
| SEALANT AT CMU FOUNDATION WALL CONTROL JOINTS | MATCH COLOR OF ADJACENT WALL SURFACES |
| GUTTERS AND DOWNSPOUTS | TERNE COATED STAINLESS STEEL, PAINTED MEDIUM BRONZE - MATCH VISTAWALL "BROWN" |



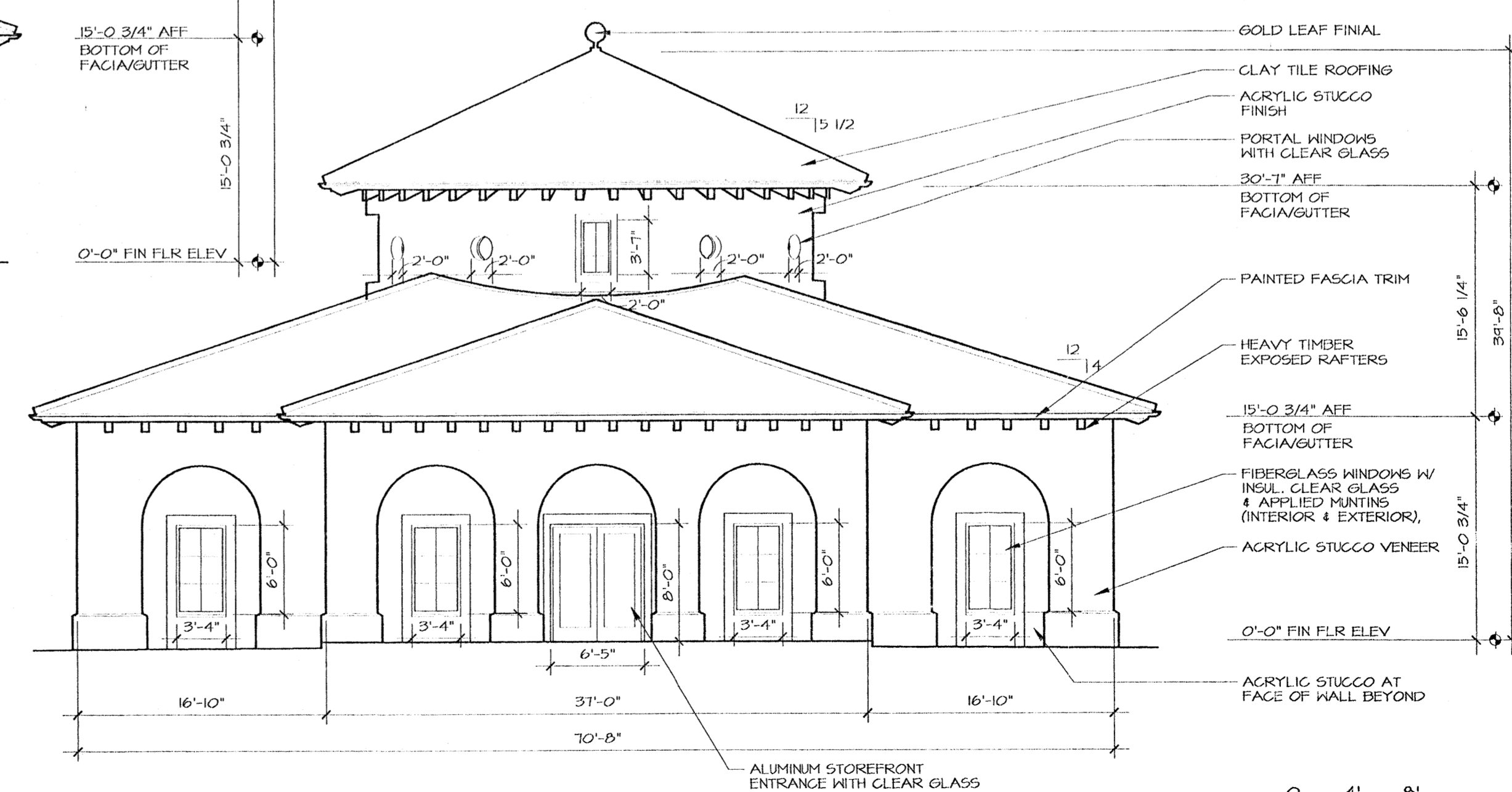
4 SIDE ELEVATION
A2.1 1/8" = 1'-0"



2 REAR ELEVATION
A2.1 1/8" = 1'-0"



3 SIDE ELEVATION
A2.1 1/8" = 1'-0"



1 FRONT ELEVATION
A2.1 1/8" = 1'-0"

IRONSTONE BANK

COTTONWOOD BRANCH
ALBUQUERQUE, NM

PROJECT NO. 0410656.00
5. VARIOUS ELEVATIONS (IRONSTONE - NM CONSTRUCTION)
COTTONWOOD REPRESENTATION - A2.1 - REV. 10/20

ELEVATIONS

VACATION EXHIBIT TRACTS MM-1-A AND MM-1-B SEVEN-BAR RANCH

(BEING A REPLAT OF TRACT MM-1, SEVEN-BAR RANCH)

WITHIN
THE TOWN OF ALAMEDA GRANT

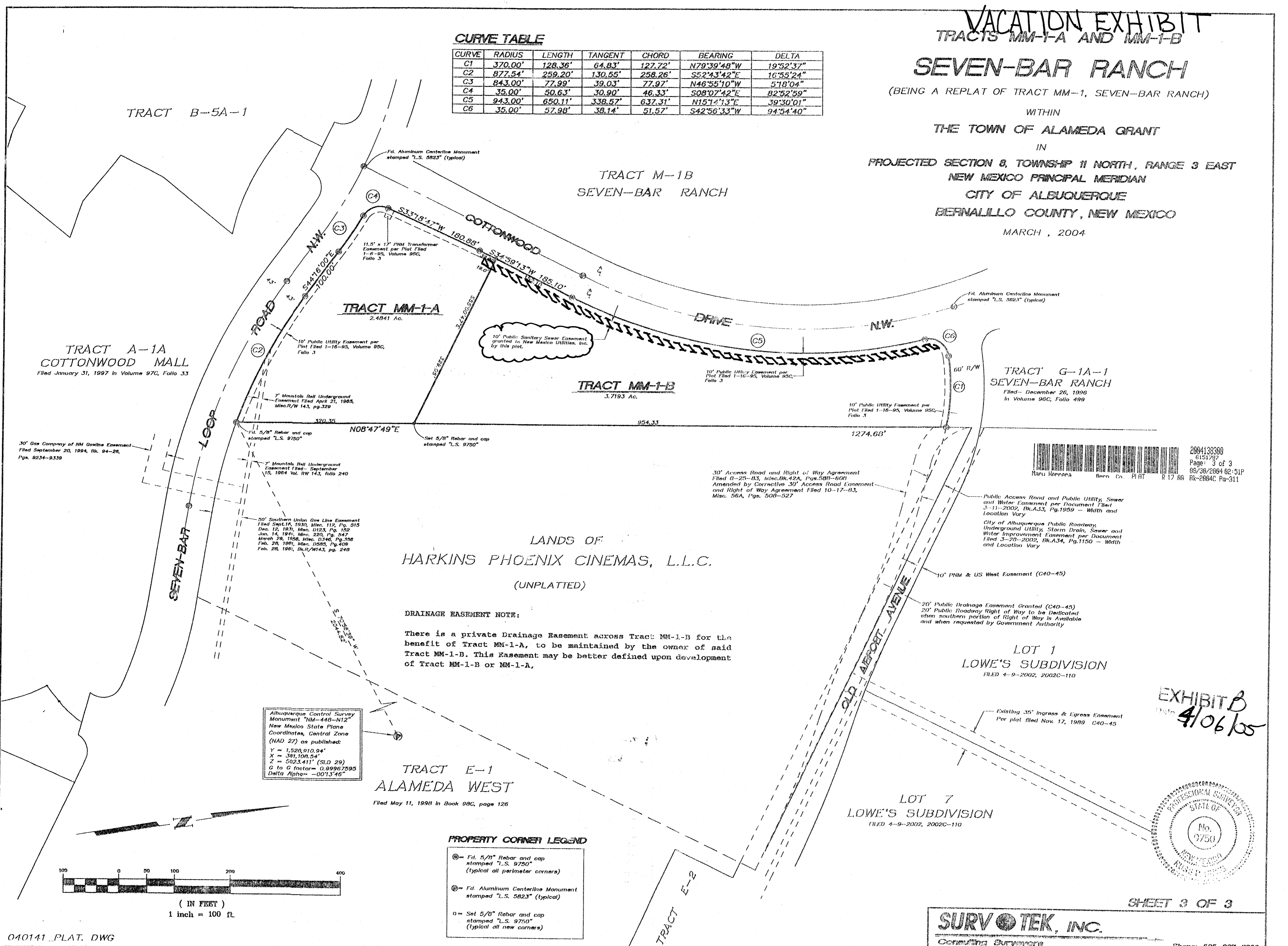
IN

PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MARCH, 2004

CURVE TABLE

| CURVE | RADIUS | LENGTH | TANGENT | CHORD | BEARING | DELTA |
|-------|---------|---------|---------|---------|-------------|-----------|
| C1 | 370.00' | 128.36' | 64.83' | 127.72' | N79°39'48"W | 19°52'37" |
| C2 | 877.54' | 259.20' | 130.55' | 258.26' | S52°43'42"E | 16°55'24" |
| C3 | 843.00' | 77.99' | 39.03' | 77.97' | N46°55'10"W | 5°18'04" |
| C4 | 35.00' | 50.63' | 30.90' | 46.33' | S08°07'42"E | 82°52'59" |
| C5 | 943.00' | 650.11' | 338.57' | 637.31' | N15°14'13"E | 39°30'01" |
| C6 | 35.00' | 57.98' | 38.14' | 51.57' | S42°56'33"W | 94°54'40" |



LANDS OF
HARKINS PHOENIX CINEMAS, L.L.C.
(UNPLATTED)

DRAINAGE EASEMENT NOTE:

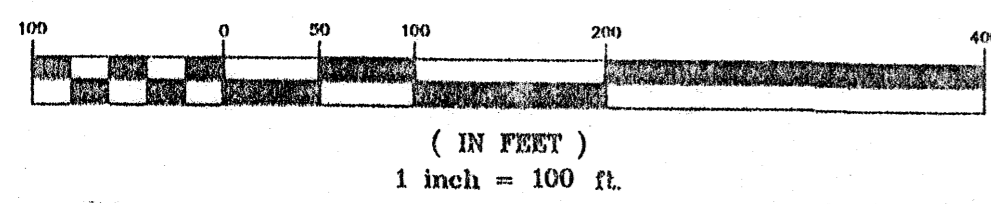
There is a private Drainage Easement across Tract MM-1-B for the benefit of Tract MM-1-A, to be maintained by the owner of said Tract MM-1-B. This Easement may be better defined upon development of Tract MM-1-B or MM-1-A.

Albuquerque Control Survey Monument "NM-448-N12"
New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:
Y = 1,520,910.94'
X = 381,108.54'
Z = 5023.411' (SLD 29)
G to G factor = 0.99967595
Delta Alpha = -001'346"

TRACT E-1
ALAMEDA WEST
Filed May 11, 1998 in Book 98C, page 126

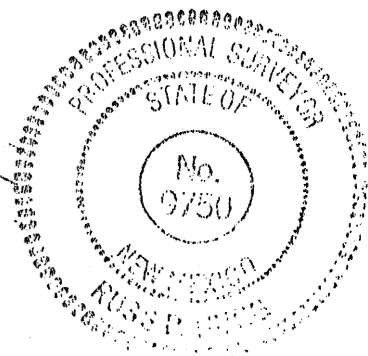
PROPERTY CORNER LEGEND

- ⊙ = Ft. 5/8" Rebar and cap stamped "L.S. 9750" (typical all perimeter corners)
- ⊙ = Ft. Aluminum Centerline Monument stamped "L.S. 5823" (typical)
- = Set 5/8" Rebar and cap stamped "L.S. 9750" (typical all new corners)



2894138300
6151782
Page: 3 of 3
09/30/2004 02:51P
Bk-2884C Pg-311

EXHIBIT B
Date 4/06/05



SHEET 3 OF 3

SURVOTEK, INC.
Consulting Surveyors
6643 Paradise Blvd. N.E. Albuquerque, New Mexico 87114
Phone: 505-897-3360
Fax: 505-897-3377

040141_PLAT.DWG
C:\Users\jrd\Desktop\40141\040141_PLAT.dwg, 05/01/2004 09:56:49 AM, 11'10502.2, 2, 2, 3