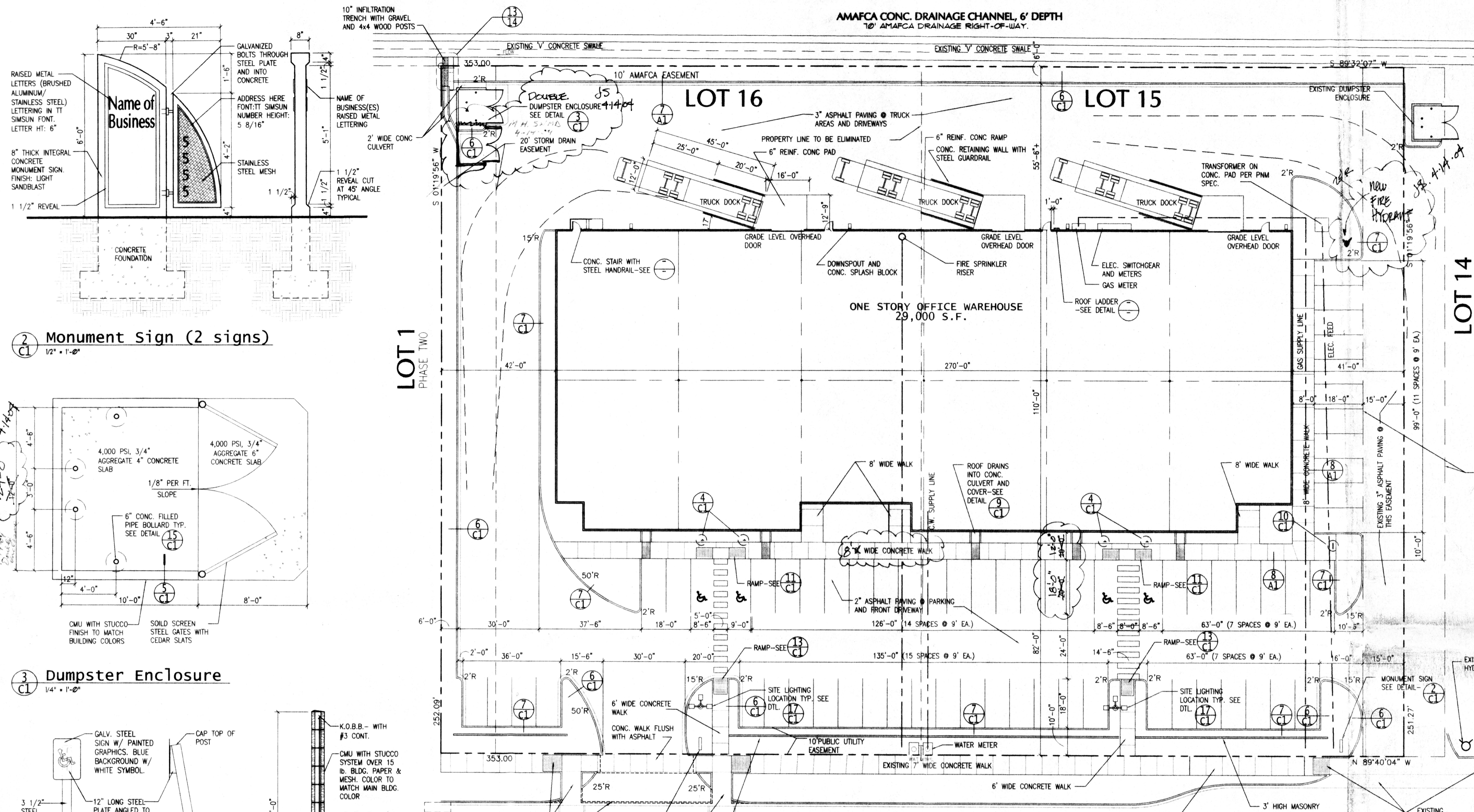


AMAFCA CONC. DRAINAGE CHANNEL, 6" DEPTH
12" AMAFCA DRAINAGE RIGHT-OF-WAY.



GENERAL NOTES

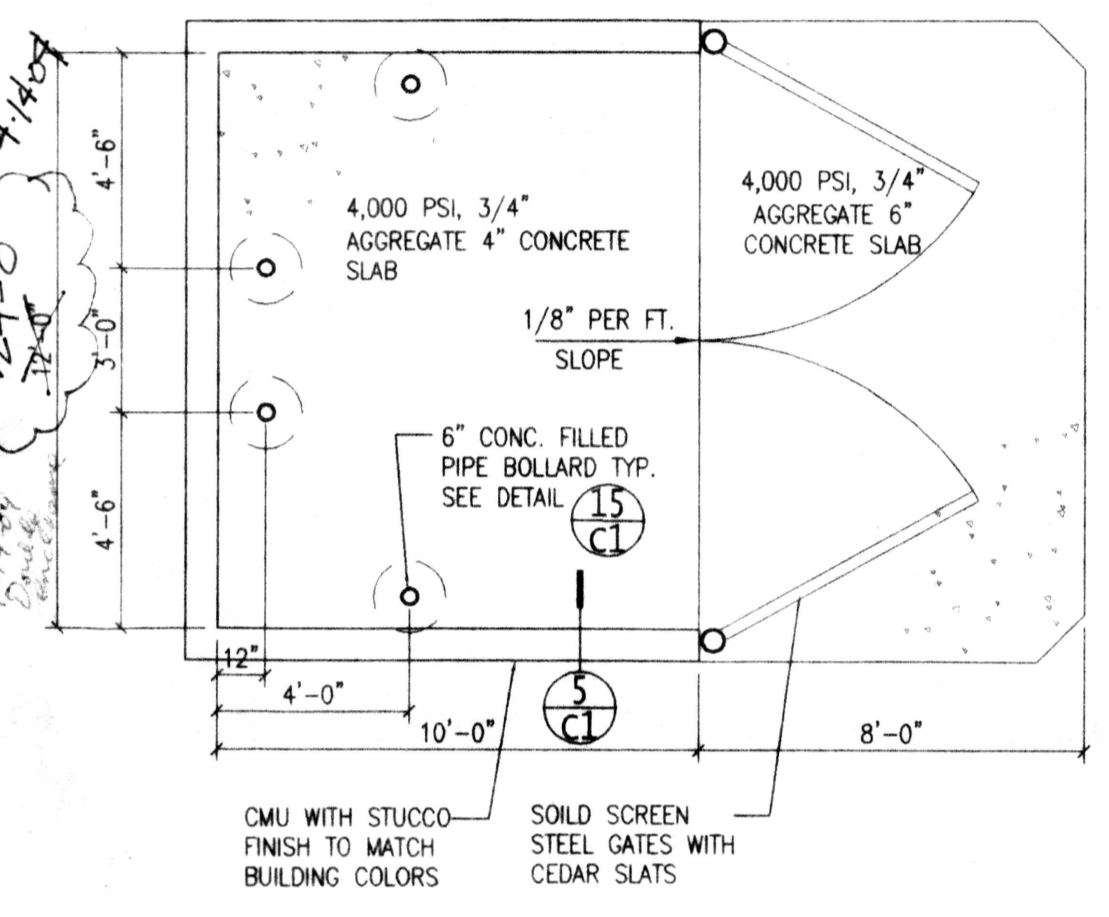
1. VERIFY ALL EXISTING SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS. ALL EXISTING STUD-OUTS TO BE USED AND TIED INTO NEW LINES FOR BUILDING.
 2. CURBS DIMENSIONED TO FACE OF CURB U.N.O.
 3. PATCH & REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTS AS NECESSARY IN COORDINATION WITH DRIVEWAY CONSTRUCTION
- DRIVE LANES & TRUCK DOCKING AREAS
3" ASPHALT PAVING OVER 6" COMPACTED BASE COURSE
- CAR PARKING LOT PARKING AREA
2" ASPHALT PAVING OVER 4" COMPACTED BASE COURSE
- VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS

SITE DATA

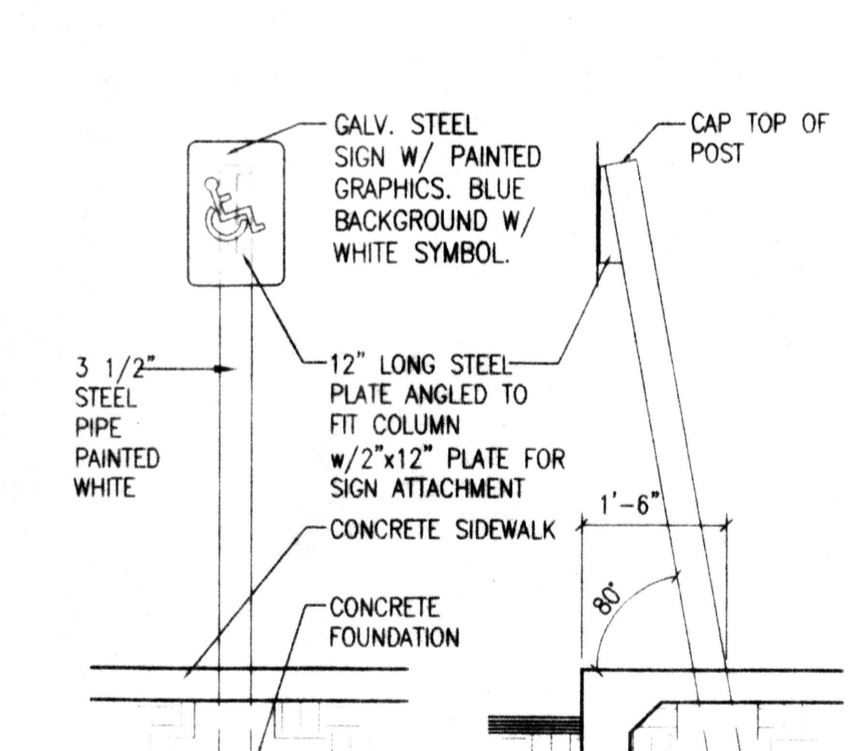
LOCATION:	4301 MASTHEAD STREET ALBUQUERQUE, NM
OWNER:	MASTHEAD CENTER LLC c/o: 1600 RIO GRANDE BLVD. NW ALBUQUERQUE, NM (505) 246-0870
ARCHITECTS:	JLS ARCHITECTS 1600 RIO GRANDE BLVD. NW ALBUQUERQUE, NM (505) 246-0870
LEGAL DESCRIPTION:	LOTS 15 & 16 OF JOURNAL CENTER, PHASE II, UNIT 1 ALBUQUERQUE, NM
CURRENT ZONING:	IP
ZONE ATLAS PAGE:	D-17-Z
APPLICABLE CODE:	1997 UBC
CONSTRUCTION TYPE:	V-N FULLY-SPRINKLED
SEISMIC ZONE:	2B
TOTAL LOT AREA:	(2.04 AC.) 88,842 S.F.
BUILDING AREA:	29,000 S.F.
NET LOT AREA:	59,842 S.F.
PAVED AREA:	49,042 S.F.
LANDSCAPE AREA:	10,800 S.F. (1,709 SF.-OFF SITE LANDSCAPING)
% OF NET LOT AREA LANDSCAPED:	18% (% WITHOUT OFF SITE LANDSCAPING)
LANDSCAPE TO PAVED AREA RATIO:	.22
OFFICE	7000 (EST)/ 200 = 35 SPACES
WAREHOUSE	22,000/ 2000 = 11 SPACES
REQUIRED PARKING (TOTAL):	46 SPACES
PARKING PROVIDED:	64 SPACES
REQUIRED H.C. PARKING:	3 SPACES
H.C. PARKING PROVIDED:	4 SPACES
BICYCLE PARKING PROVIDED:	3 SPACES



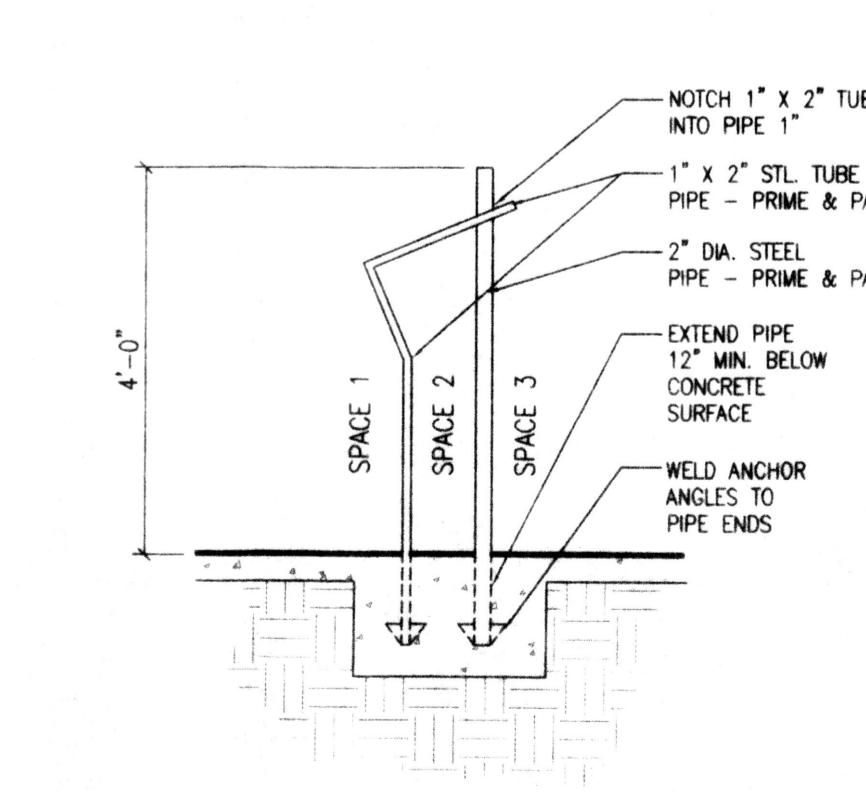
2 Monument Sign (2 signs)
1/2" = 1'-0"



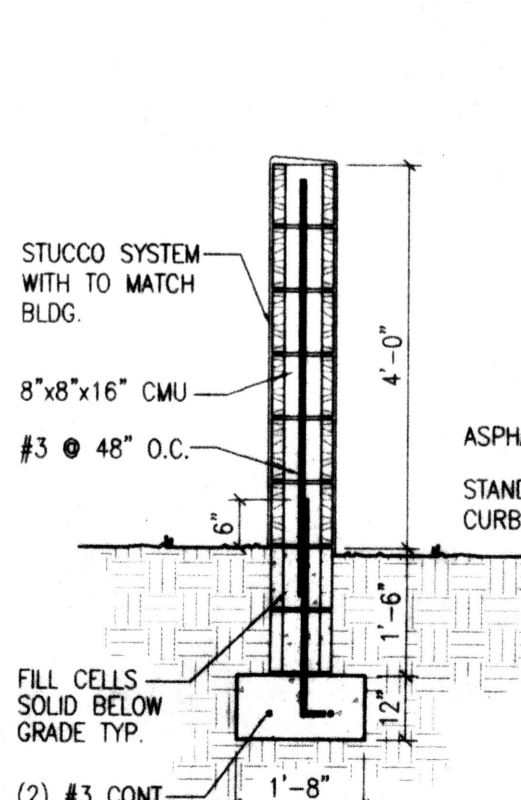
3 Dumpster Enclosure
1/4" = 1'-0"



4 H.C. Parking Sign
1/2" = 1'-0"



5 Wall Section
scale: 1/2" = 1'-0"



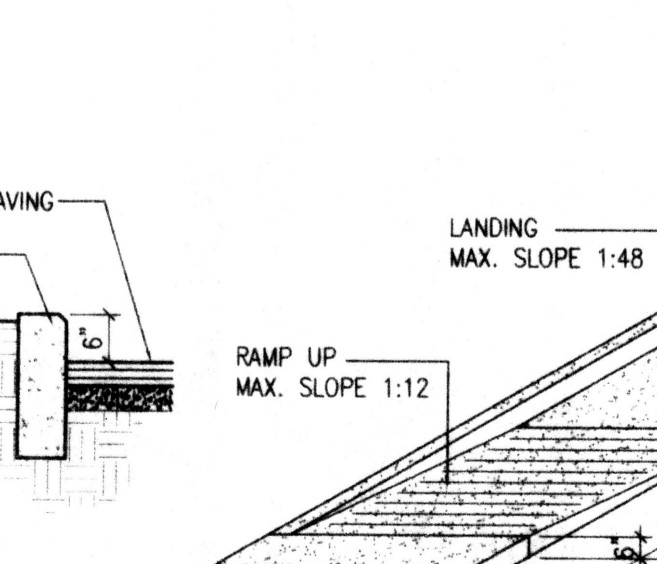
10 Bike Rack
1/2" = 1'-0"



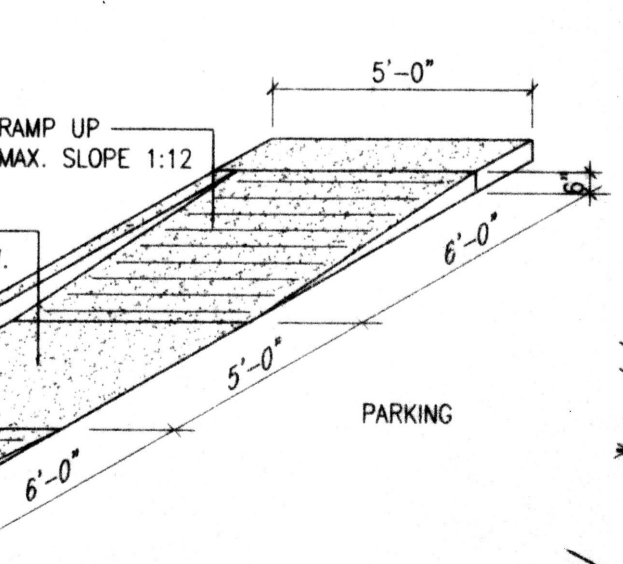
11 Wall Section
scale: 1/2" = 1'-0"



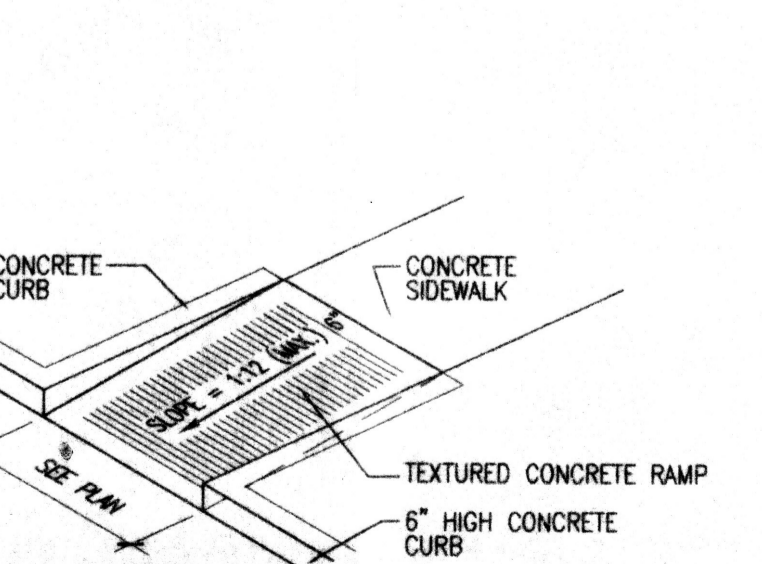
6 Curb and Gutter
scale: 1" = 1'-0"



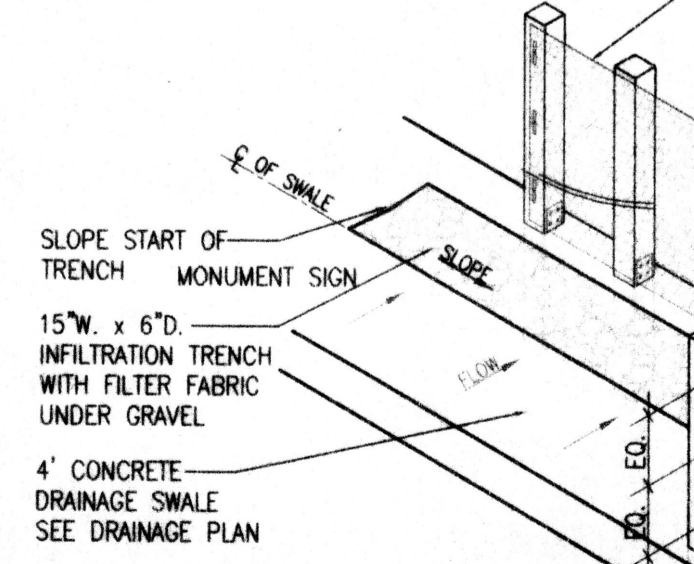
7 Stand-Up Curb
scale: 1" = 1'-0"



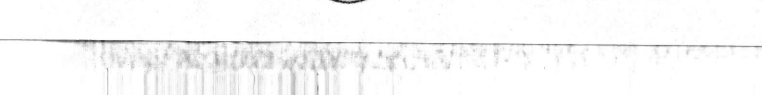
8 Sidewalk Turn-Down
scale: 1" = 1'-0"



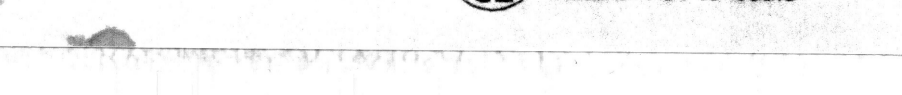
9 Sidewalk Culvert
1/2" = 1'-0"



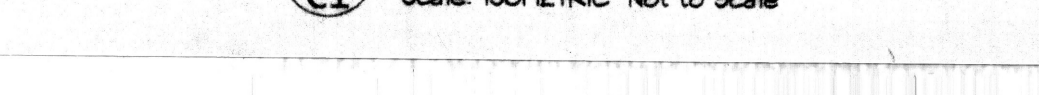
12 H.C. Ramp
ISOMETRIC N.T.S.



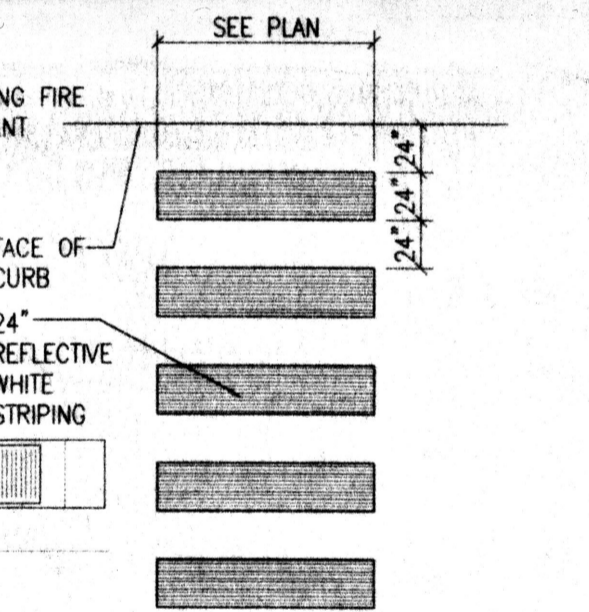
13 H.C. Ramp
Scale: Not to Scale



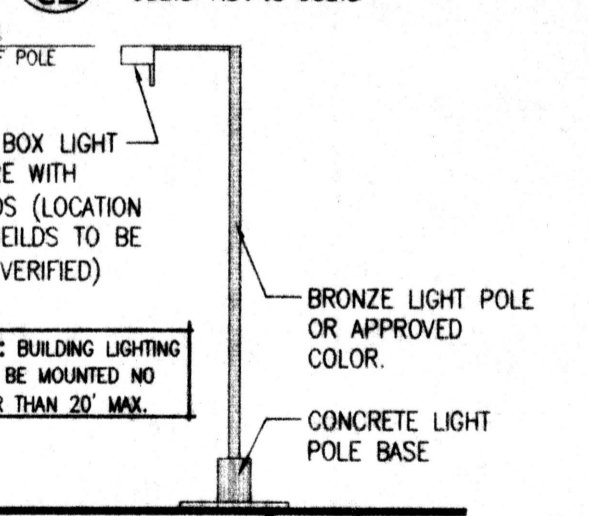
14 Infiltration Trench
Scale: ISOMETRIC Not to Scale



15 Pipe Bollard
1/2" = 1'-0"



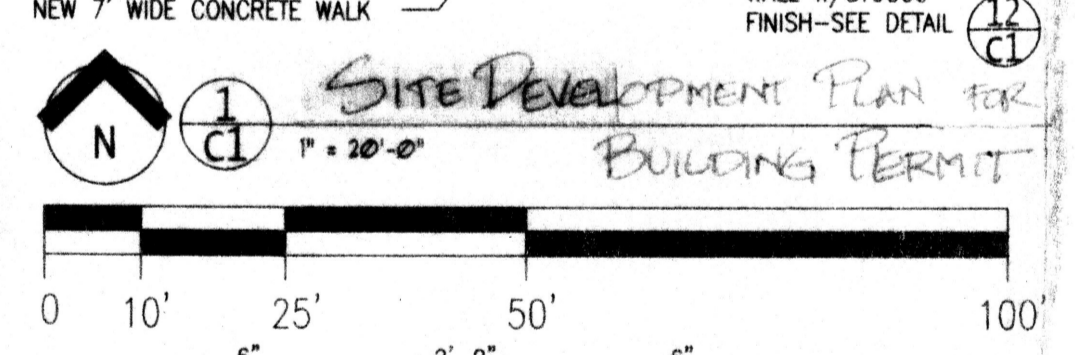
16 Handicap Parking Striping
Scale: Not to Scale



Journal Center II
Office/warehouse
Lots 15 & 16
at Journal Center II
Albuquerque NM

JLS ARCHITECTS

1600 rio grande nw
albuquerque
new mexico 87104
505 246 0870
fax 505 246 0437



PROJECT # 1003398 App # 04-00609
Site Lighting Dtl. APD PLANS CHECKING OFFICE
824-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
4-14-04
SIGNATURE & DATE

Signature Block

Is an infrastructure list required? (yes) (no) If yes, then a set of approved DRG plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

Phum Mation 5/20/04
DRG CHAIRPERSON, PLANNING LEFT

Michael Motton 4/28/04
TRANSPORTATION DEVELOPMENT

Bradley L. Bish 4/28/04
CITY ENGINEER

David [Signature] 4/28/04
RESIDENT AND DEVELOPMENT PLAN Parks & Recreation

Ronald [Signature] 4-28-04
UTILITY DEVELOPMENT

Michael Motton 4-14-04
ENVIRONMENTAL HEALTH DEPT. (CONDITIONAL)
SOLID WASTE

REVISIONS:

ARCHITECT:

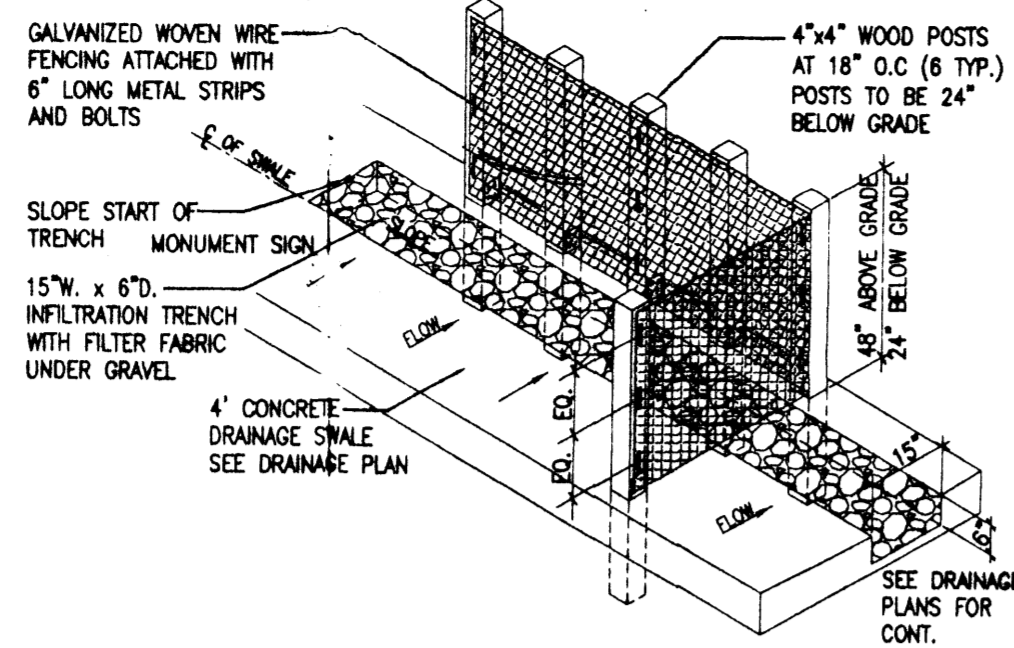
ENGINEER:

DATE: 4-20-04

SHEET: 1 of 1

1003398

BENCHMARK: REEVES 2
 LOCATED AT THE INTERSECTION
 DRAINAGE CHANNEL FROM THE
 EAST INTO THE NORTH DIVERSION
 DITCH, MAP K17, ON EAST BANK.
 ELEVATION 5074



10 Infiltration Trench
 Scale: ISOMETRIC Not to Scale

NOTES

- A. EXISTING 4' WIDE PCC SWALE.
- B. EXISTING ASPHALT SURFACED DRIVEWAY
- C. EXISTING INFILTRATION TRENCHES
- D. EXISTING AMAFCA DRAINAGE CHANNEL
- E. EXISTING PCC SWALE
- F. EXISTING SIDEWALK
- G. EXISTING STANDARD CURB AND GUTTER
- H. EXISTING STORM DRAIN INLETS
- I. EXISTING PEDESTRIAN/WHEELCHAIR ACCESS RAMPS
- J. EXISTING WEST COMMUNICATIONS MANHOLE
- K. NEW SIDEWALK, SLOPE AT 2% AWAY FROM BUILDING
- L. NEW ASPHALT SURFACE
- M. NEW PCC CURB
- N. NEW DRAINAGE CHANNEL WITH 6" HIGH SIDE CURBS
- O. NEW INFILTRATION TRENCHES, SEE DETAIL DRAWING
- P. NEW ROOF RUNOFF DOWNSPOUTS AND SPLASH BLOCKS
- Q. NEW TRASH CONTAINER BIN
- R. NEW LANDSCAPED AREA

LEGEND:

- EXISTING SPOT ELEVATION \blacklozenge
- EXISTING CONTOUR LINE $-\text{---}5\text{---}114$
- EXISTING STRUCTURE ---
- EXISTING DRAINAGE FLOW ---
- PROPOSED SPOT ELEVATION \blacklozenge
- PROPOSED CONTOUR LINE $-\text{---}14$
- PROPOSED STRUCTURE ---
- PROPOSED DRAINAGE FLOW ---

GRADING AND DRAINAGE DISCUSSION

PURPOSE: TO OBTAIN APPROVAL FOR BUILDING AND OFFICE/WAREHOUSE ON LOTS 15 AND 16 AS SHOWN. THE LOT LINE WILL BE ELIMINATED BY SEPARATE ACTION, SO CROSS LOT DRAINAGE EASEMENT ARE NOT REQUIRED.

PLAN: THIS PLAN IS PREPARED FOLLOWING THE GENERAL GUIDANCE AND LAYOUT AS SHOWN ON THE MASTERPLAN FOR THE JOURNAL CENTER II DEVELOPMENT (HYDROLOGY #D17/D03).

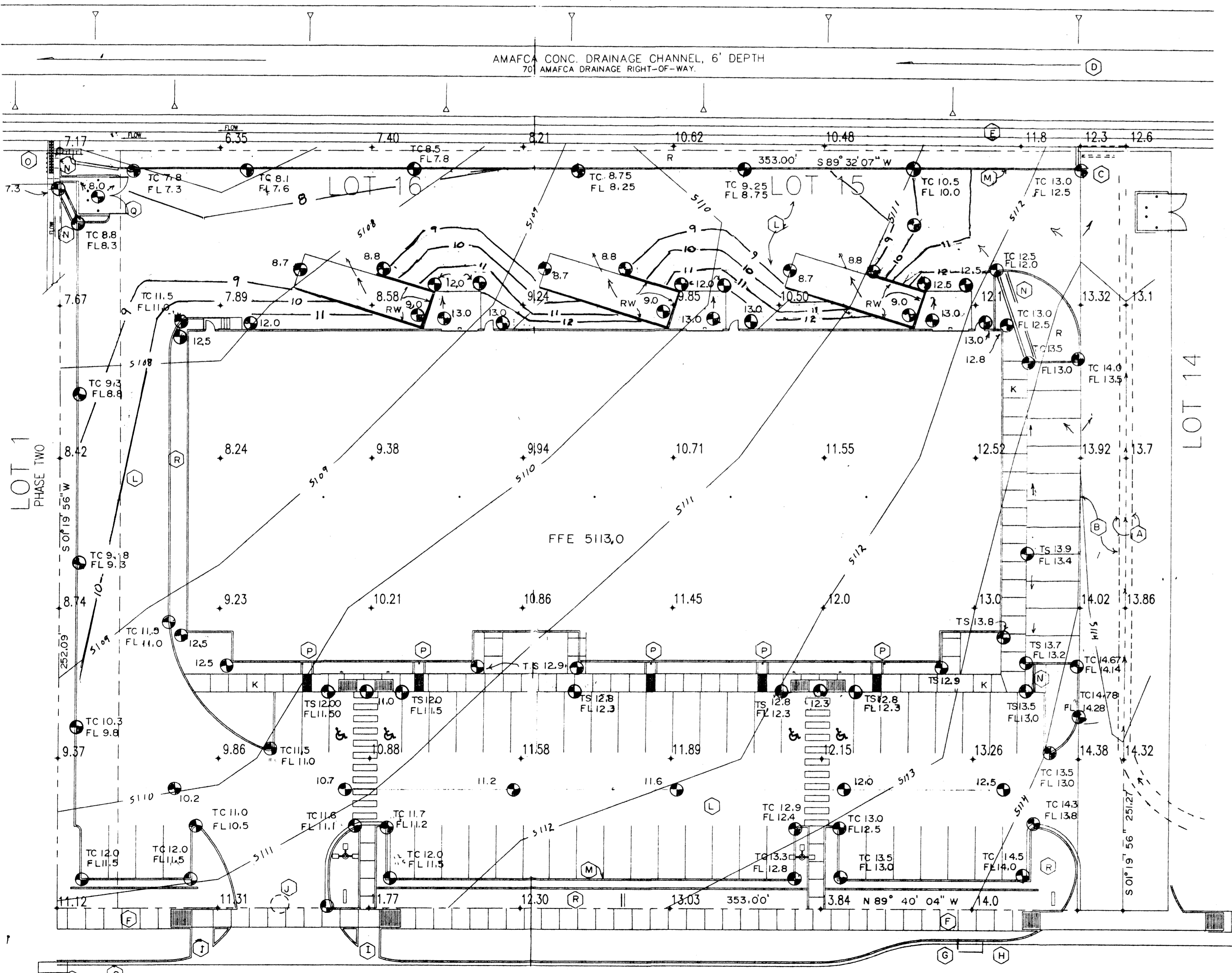
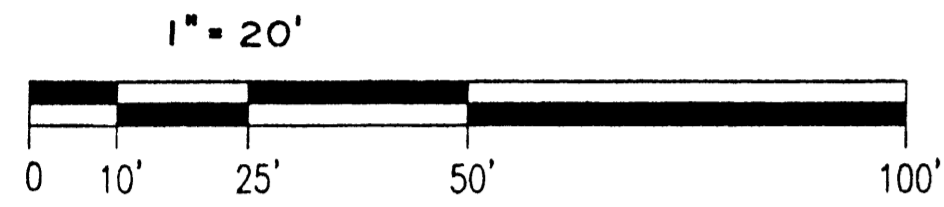
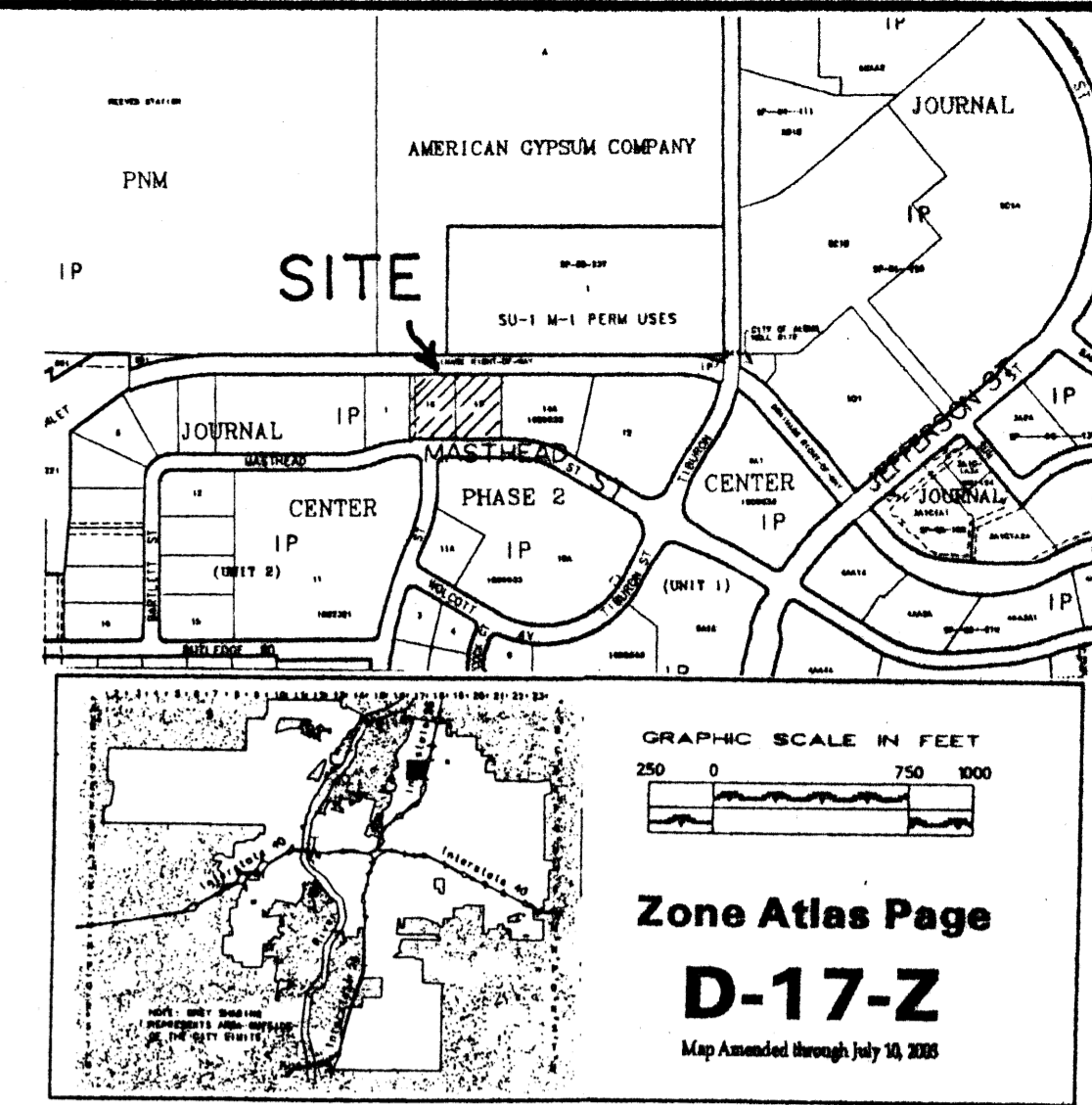
RUNOFF: STORM RUNOFF FROM THE DEVELOPED LOT WILL BE DIRECTED TO THE EXISTING AMAFCA SWALE AND CHANNEL THROUGH TWO OUTLETS:

1. A SMALL PORTION OF THE RUNOFF ALONG THE EAST SIDE OF THE PROPERTY WILL FLOW TO THE EXISTING INFILTRATION TRENCHES LOCATED AT THE NORTH END OF THE EXISTING PCC SWALE. THE EXISTING ASPHALT SURFACED DRIVEWAY, 12 FEET IN WIDTH, WEST OF THE PCC SWALE SLOPES TO DRAIN INTO THE SWALE.
2. THE NEW BUILDING AND PAVEMENT WILL HAVE RUNOFF CHANNLED TO THE NORTHWEST CORNER OF THE SITE, WHERE IT WILL EXIT THE SITE THROUGH TWO NEW INFILTRATION TRENCHES TO BE CONSTRUCTED AS PART OF THIS PROJECT.

AS STATED IN THE MASTER DRAINAGE PLAN FOR THE DEVELOPMENT, THE AMAFCA CHANNEL ALONG THE NORTH SIDE OF THE LOTS DIRECTS ALL FLOWS INTO THE NORTH DIVERSION CHANNEL, LOCATED ABOUT 3000 FEET WEST OF THE SITE. THE QUANTITY OF RUNOFF GENERATED BY THE DEVELOPMENT OF LOTS 15 AND 16 IS SHOWN ON THE TABLE, THIS SHEET.

SURFACE WATER POLLUTION PROTECTION PLAN (SWPPP): PROVISIONS OF THE SWPPP PREPARED FOR THE OVERALL DEVELOPMENT ARE TO BE FOLLOWED DURING THE CONSTRUCTION OF THIS PROJECT. SPECIFIC ITEMS ARE AS STATED BELOW:

1. DURING CONSTRUCTION, A BERM WILL BE CONSTRUCTED ALONG THE DOWN SLOPE SIDE OF THE PROPERTY (THE NORTH SIDE AND THE WEST SIDE). A SILT FENCE WILL BE PLACED ALONG THE NORTHWEST CORNER OF THE BERMS TO REDUCE THE OUTFLOW OF SEDIMENTS INTO THE AMAFCA CHANNEL. IF THE SITE BECOMES MUDDY, A WASH AREA WILL BE ESTABLISHED TO WASH THE WHEELS OF ANY VEHICLES OR EQUIPMENT LEAVING THE SITE TO PREVENT TRACKING OF SEDIMENT AWAY FROM THE SITE.
2. AFTER CONSTRUCTION, THE SITE WILL BE STABILIZED BY HAVING THE LANDSCAPED AREAS REVEGETATED AND THE SURFACE COVERED WITH A GROUND COVER, SUCH AS DECORATIVE GRAVEL MULCH. THE PAVED AREAS AND BUILDING WILL BE COVERED WITH IMPERVIOUS SURFACES. SO NO SOIL EROSION WILL OCCUR. ALL RUNOFF WILL FLOW OFF THE SITE THROUGH THE INFILTRATION TRENCHES. REQUIRED MAINTENANCE AFTER CONSTRUCTION WILL CONSIST OF CLEANING TRASH FROM THE SITE, TO INCLUDE THE INFILTRATION TRENCHES, AND FIXING ANY DAMAGE THAT MAY HAPPEN TO THE LANDSCAPED AREAS.



MASTHEAD ST. NE

TBM 5115.61

FIRST SUBMITTAL FOR REVIEW	MRK	MARCH 26, 2004
APPROVALS, REVISIONS	BY	DATE
	MARVIN R. KORTUM, P.E.	
	Civil Engineering	
	NM PE 6519	
	1605 Speakman Drive, S.E.	
	Albuquerque, New Mexico 87123	
	(505) 299-0774	
GRADING AND DRAINAGE PLAN		
LOTS 15 & 16, JOURNAL CENTER II		
MASTHEAD ST NE		
OFFICE / WAREHOUSE		
PROJECT NO	MAP NO	SHEET OF
D17/	D17	2 / 4

Landscape Legend

Size	Common Name	Quantity
2"	Berinda Ash (M)	3
15 Gal	Oklahoma Redbud (M)	5
5 Gal	Curleaf Mtn. Mahogany (M)	17
5 Gal	English Lavender (M)	15
5 Gal	Upright Rosemary (M)	108
5 Gal	Winter Jasmine (M)	57
5 Gal	Mexican Threadgrass (M)	44
5 Gal	Powis Castle Sage (M)	21
5 Gal	Apache Plume (L)	16
	Crusher Fines-Santa Fe Tan	

Landscape Calculations

TOTAL LOT AREA (sf)	88,842
TOTAL BUILDING AREA (sf)	-28,450
NET LOT AREA (sf)	60,392
LANDSCAPE REQUIREMENT (%)	15
TOTAL LANDSCAPE REQUIRED (sf)	9,060
NEW LANDSCAPE PROVIDED (sf)	10,800
EXISTING LANDSCAPE (sf)	+2,345
TOTAL LANDSCAPE PROVIDED (sf)	13,145

Landscape Notes

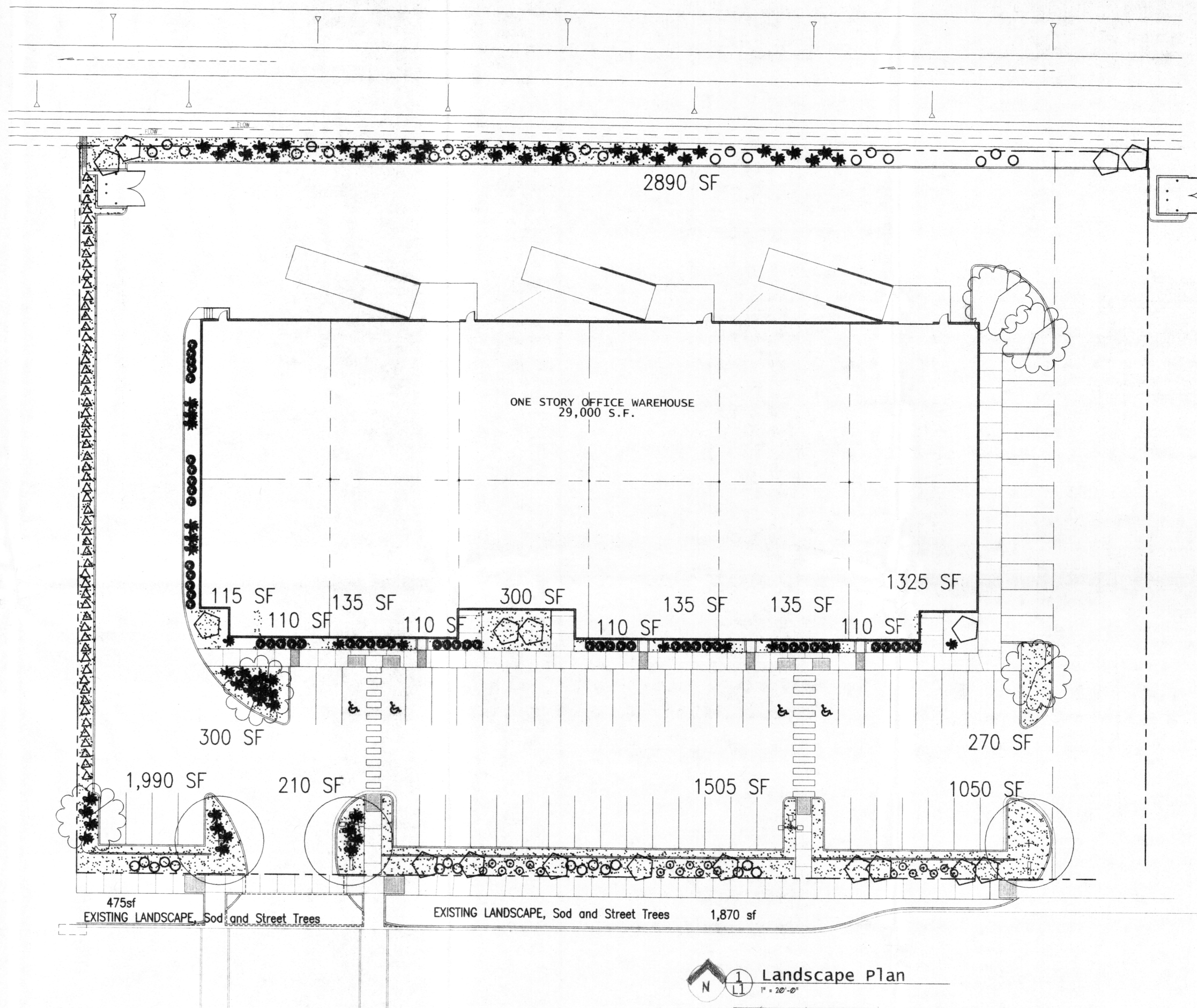
Landscape Maintenance and Irrigation system maintenance shall be the responsibility of the owner.

All Landscaping shall be watered by a complete underground irrigation system operated by automatic timer. Bubblers to trees and (2) drip emitters per shrub. Point of Connection for irrigation system is unknown at current time and will be coordinated in the field.

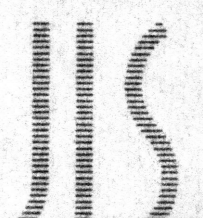
It is the intent of this plan to comply with the City of Albuquerque, water conservation and waste water ordinance.

All landscape beds shall be planted so to achieve 75% live ground cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.



**Journal Center II
Office/Warehouse**
Lots 15 & 16
at Journal Center II
Albuquerque NM



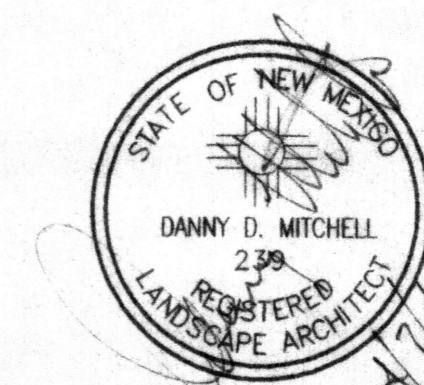
ARCHITECTS

1600 rio grande nw
albuquerque
new mexico 87104
505 246 0870
fax 505 246 0437

Landscape Plan

REVISIONS:

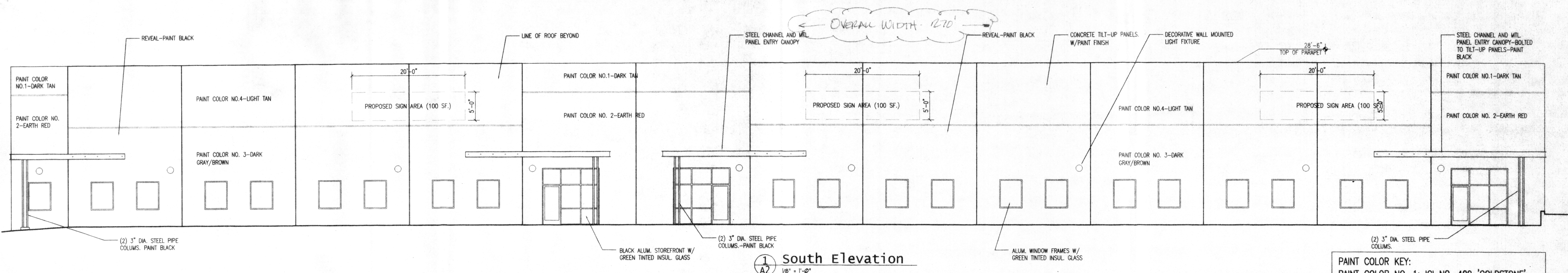
ARCHITECT: ENGINEER:



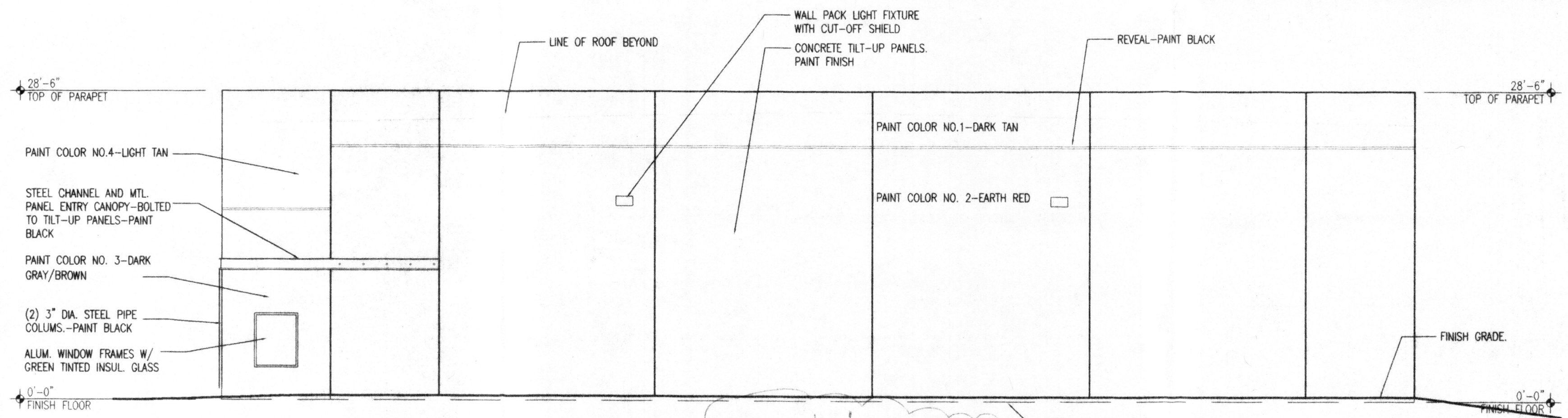
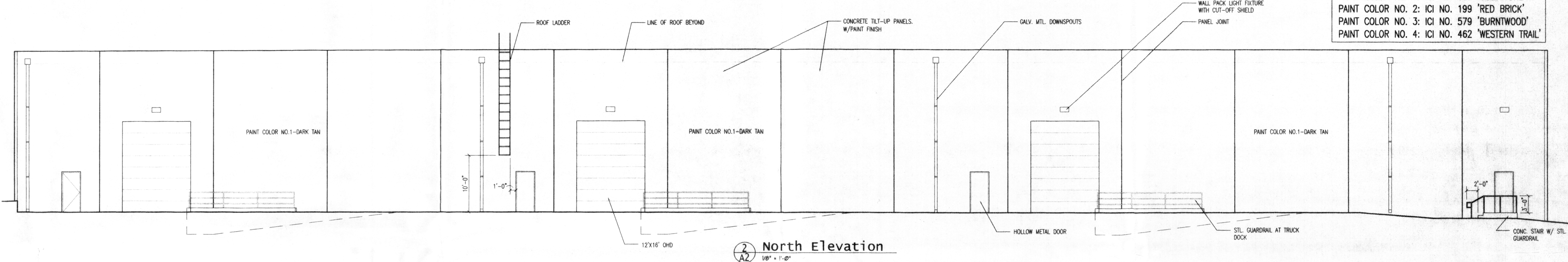
Mitchell Associates, LLC
7200 Way Cross Av. NW
Albuquerque, NM 87120
(505) 839-2081
danny@mitchellassociatesllc.com

DATE:
3-29-04

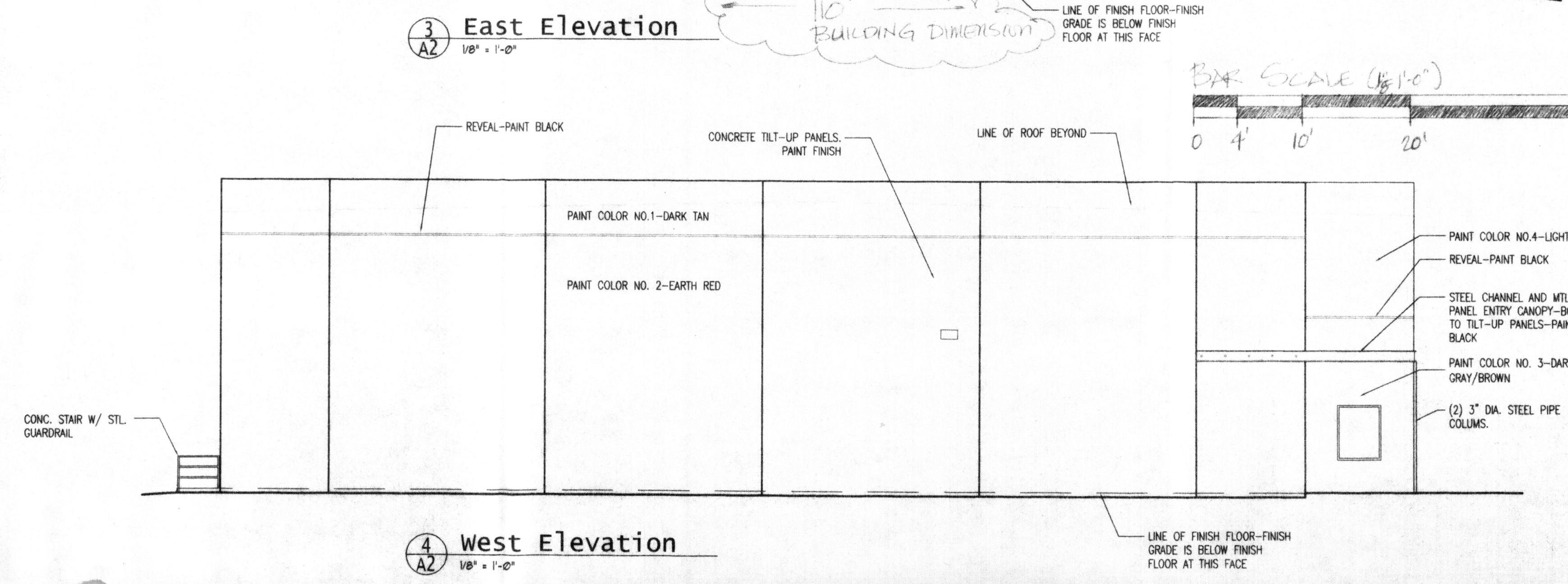
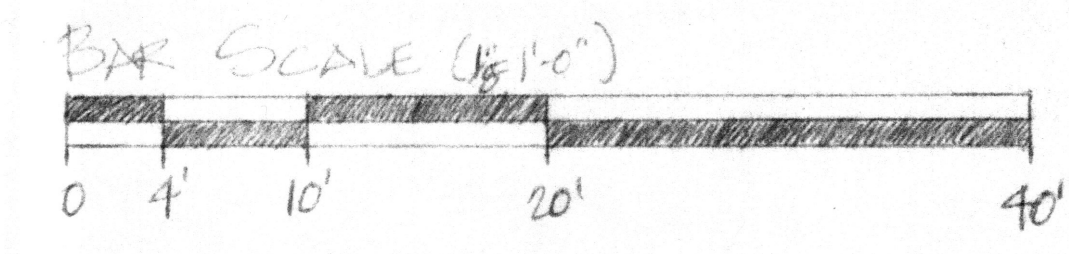
SHEET:
3 of 4



PAINT COLOR KEY:
 PAINT COLOR NO. 1: ICI NO. 409 'GOLDSTONE'
 PAINT COLOR NO. 2: ICI NO. 199 'RED BRICK'
 PAINT COLOR NO. 3: ICI NO. 579 'BURNTWOOD'
 PAINT COLOR NO. 4: ICI NO. 462 'WESTERN TRAIL'



110' BUILDING DIMENSION



**Journal Center II
 Office/Warehouse**
 Lots 15 & 16
 at Journal Center II
 Albuquerque NM

JAS ARCHITECTS
 1600 rio grande nw
 albuquerque
 new mexico 87104
 505 246 0870
 fax 505 246 0437

Elevations

REVISIONS:

ARCHITECT: ENGINEER:

DATE: 3-29-04 SHEET: 4 of 4