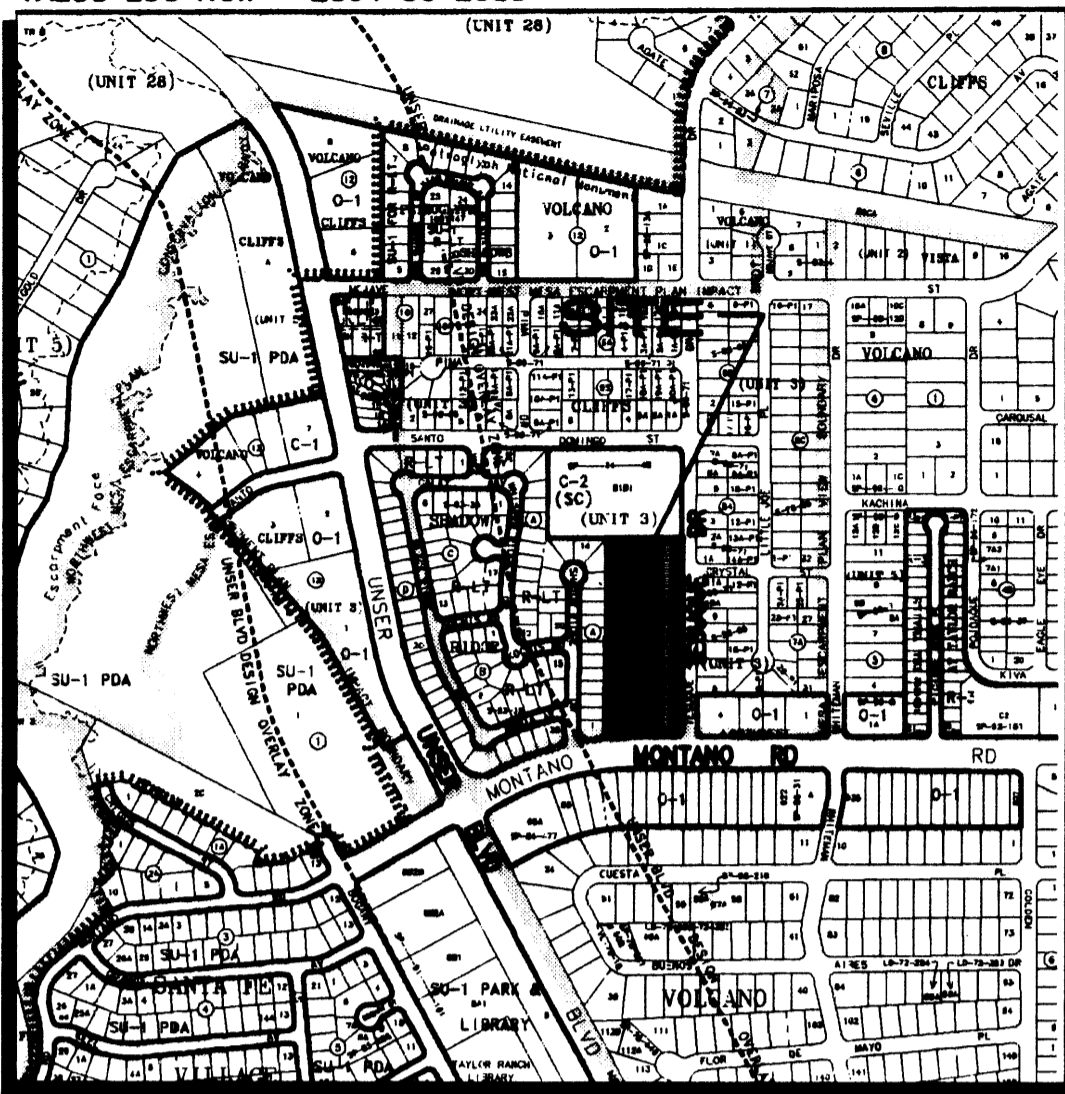


TALOS LOG NO.: 2004 50 2088



E10

1"=750'

VICINITY MAP

SUBDIVISION DATA / NOTES

- Total Number of Existing Tracts: 1
- Total Number of Lots created: 30
- Total Number of Tracts created: 0
- Gross Subdivision Acreage: 4.8703 Ac.
- Total Mileage of Full Width Streets Created: 0.1543
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 "VOLCANO CLIFFS SUBDIVISION, UNIT 3, TRACT B" (02-04-88, C35-159).
 "VOLCANO CLIFFS SUBDIVISION, UNIT 3, TRACTS B-1-A & B-1-B" (11-05-91, 91C-247).
 "SHADOW RIDGE SUBDIVISION (04-10-95, 95C-128).
 all being records of Bernalillo County, New Mexico.
- Field Survey performed on August, 2004.
- Title Report: None provided.
- Address of Property: None provided.
- This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
- City Standard Utility Note II:
 "City of Albuquerque Water and Sanitary Sewer Service to SUNRISE RIDGE must be verified and coordinated with the Public Works Department, City of Albuquerque."
- Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719".
- ZONING: R-LT

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

1352PT1.DWG.rth 12/10/04

2005100430
6286478
Page: 1 of 3
67/13/2005 10:32A
Bk-2085C Pg-246

200502750
Page: 1 of 3
67/13/2005 10:32A
Bk-2085C Pg-81

CORRECTION PLAT FOR SUNRISE RIDGE SUBDIVISION

BEING A REPLAT OF TRACT B-2 VOLCANO CLIFFS SUBDIVISION SECTION 27, T. 11 N., R. 2 E., NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO DECEMBER 2004

LEGAL DESCRIPTION

A tract of land situate within Section 27, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT B-2, UNIT 3, VOLCANO CLIFFS SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 4, 1988 in Volume C35, Folio 159 and containing 4.7370 feet more or less.

CORRECTION NOTE: PLAT CORRECTION REQUIRED TO SHOW REVISED STREET DESIGNATION FOR JAMERS DRIVE NW TO ITS NEW DESIGNATION OF JAMERS PLACE NW.

PRE-CORRECTED PLAT OF THE SUBJECT PROPERTY FOUND IN BK. 2005C, PG 81 AS RECORDED ON FEBRUARY 28, 2005.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject tract into 30 residential lots, to dedicate public rights-of-way, to grant an easement necessary to serve the residential development, and to vacate R.O.W. AND PUG.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.

OWNER

WINDMILL MANOR ESTATES, LLC

Patrick A. Strosnider, Managing Member
WINDMILL MANOR ESTATES, LLC

ACKNOWLEDGMENT

STATE OF NEW MEXICO COUNTY OF BERNALILLO

OFFICIAL SEAL Ruth T. Lozano NOTARY PUBLIC STATE OF NEW MEXICO My Commission Expires: 4/22/07

This instrument was acknowledged before me on December 10, 2004, by Patrick Strosnider, Managing Member of Windmill Manor Estates, LLC, a New Mexico Limited Liability Company, on behalf of said company.

My Commission Expires: 4/22/07

Ruth T. Lozano Notary Public

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1010 002 380313 10102 PROPERTY OWNER OF RECORD US Postal Service BERNALILLO COUNTY TREASURER'S OFFICE: Danny Vigil 28 Feb 05 Arlene Andrade 7/13/05 12/10/04

APPROVALS

DRB PROJECT NO. 1003420 APPLICATION NO. 04 DRB-1657 Utility Approvals 04 DRB-1509, 04 DRB-1508

- Leonard G. Marks 1-31-05 DATE PNM ELECTRIC SERVICES DIVISION
- Leonard G. Marks 1-31-05 DATE PNM GAS SERVICES DIVISION
- Dave R. Muller 12-16-04 DATE QWEST
- John Barber 1-7-05 DATE COMCAST
- NA 2/25/05 DATE NEW MEXICO UTILITIES City Approvals
- GBH 7/7/05 [Signature] 12-16-04 DATE CITY SURVEYOR
- [Signature] 2-25-05 DATE REAL PROPERTY DIVISION
- NA 2/25/05 DATE ENVIRONMENTAL HEALTH DEPARTMENT
- [Signature] 2-25-05 DATE TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
- [Signature] 2-23-05 DATE UTILITIES DEVELOPMENT
- Christina Sandoval 2/24/05 DATE PARKS AND RECREATION DEPARTMENT
- Bradley L. Bingham 2/23/05 DATE AMAFCA
- Bradley L. Bingham 2/23/05 DATE CITY ENGINEER
- [Signature] 2/25/05 DATE DRB CHAIRPERSON, PLANNING DEPARTMENT

SURVEYOR'S CERTIFICATION

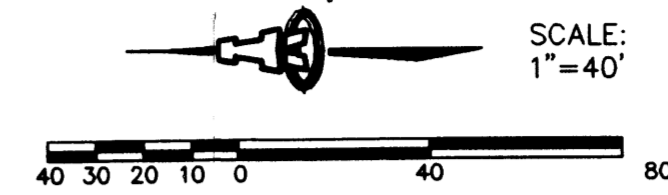
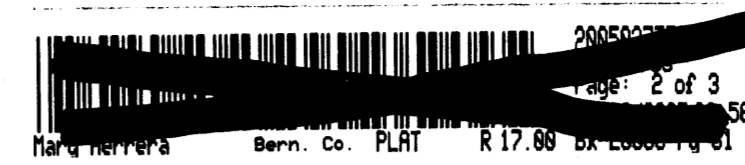
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief."

Timothy Aldrich, P.S. No. 7719 Date 12-16-04 SHEET 1 OF 3

CORRECTION PLAT

**FOR
SUNRISE RIDGE
SUBDIVISION**

BEING A REPLAT OF
TRACT B-2
VOLCANO CLIFFS SUBDIVISION
SECTION 27, T. 11 N, R. 2 E, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2004



LEGEND

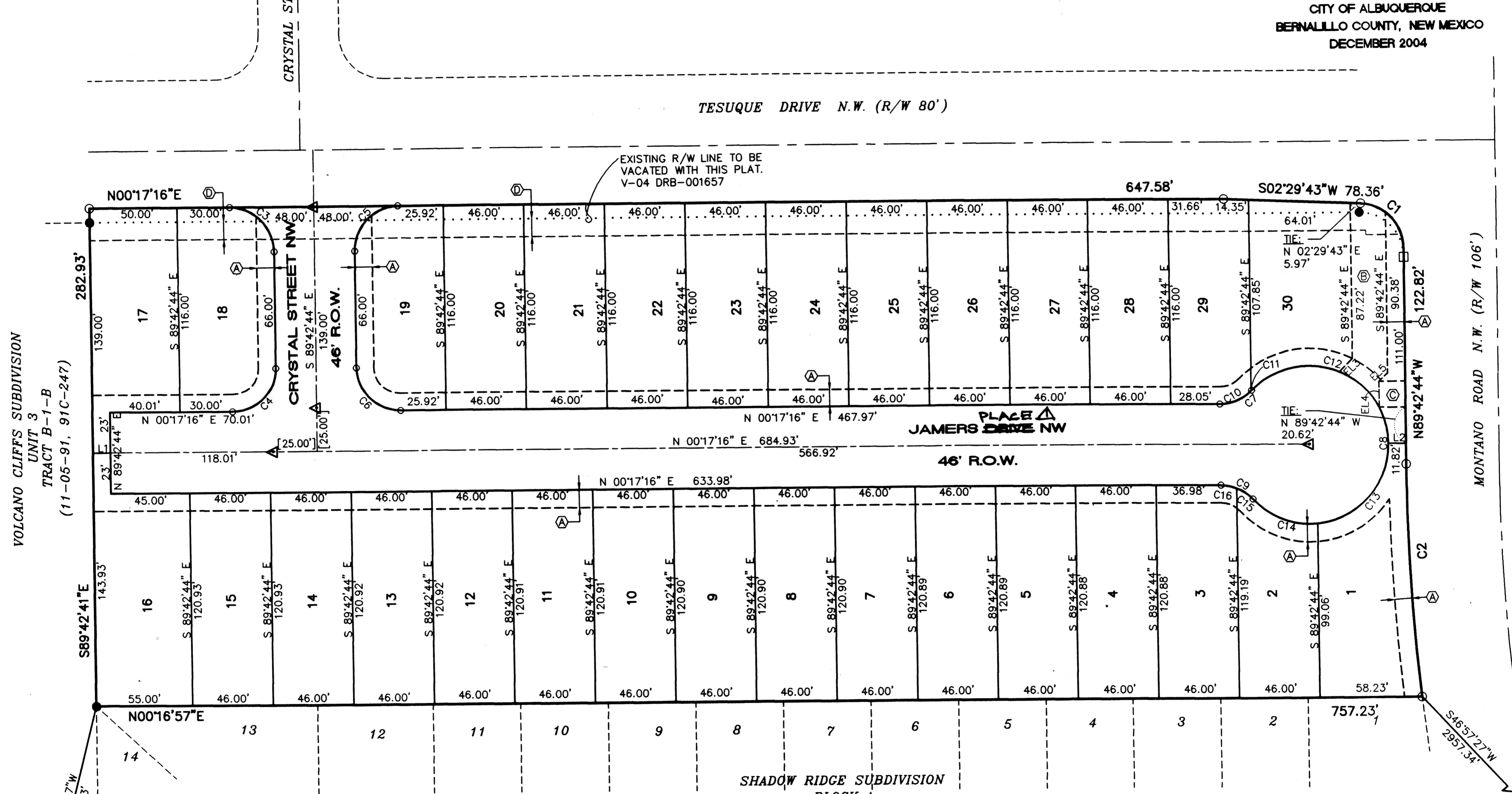
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT

KEYED EASEMENT NOTE

- Ⓐ 10' PUE TO BE GRANTED BY THIS PLAT.
- Ⓑ 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO COA BY THIS PLAT.
- Ⓒ 15'x15' PUE GRANTED BY THIS PLAT.
- Ⓓ EXISTING PNM & QWEST EASEMENT (09-26-03, A65-6798)

CORRECTION NOTE:
PLAT CORRECTION REQUIRED TO SHOW REVISED STREET DESIGNATION FOR JAMERS DRIVE NW TO ITS NEW DESIGNATION OF JAMERS PLACE NW.

PRE-CORRECTED PLAT OF THE SUBJECT PROPERTY FOUND IN BK. 2005C, PG 81 AS RECORDED ON FEBRUARY 28, 2005.



VOLCANO CLIFFS SUBDIVISION
UNIT 3
TRACT B-1-B
(11-05-91, 91C-247)

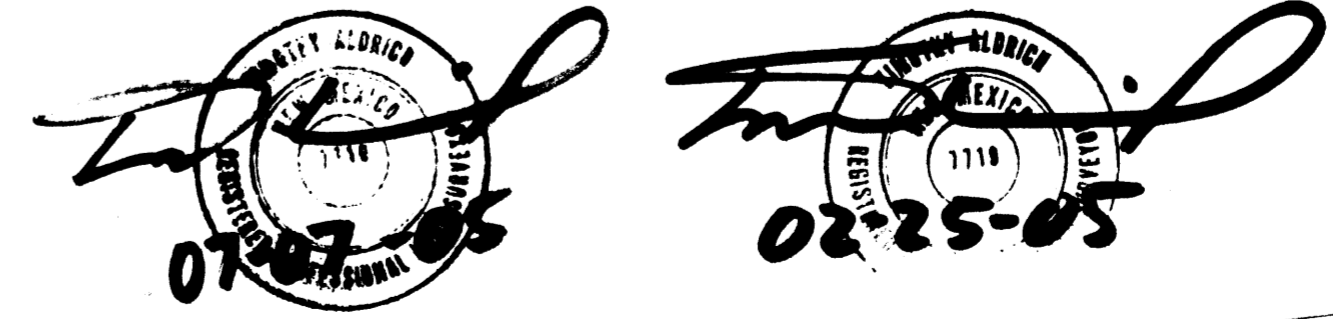
SHADOW RIDGE SUBDIVISION
BLOCK A
(04-10-95, 95C-128)

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND ALUMINUM CAP IN CONCRETE (TYP)

ACS MONUMENT
"3-E10"
Y= 1512565.54
X= 358813.84
G-G= 0.99966844
Δα= -00°16'19"
ELEVATION= 5316.12
CENTRAL ZONE
(NAD 1927/SLD 1929)


ACS MONUMENT
"20-E10"
Y= 1509204.34
X= 358881.17
G-G= 0.9996687
Δα= -00°16'18"
ELEVATION= 5311.86
CENTRAL ZONE
(NAD 1927/SLD 1929)



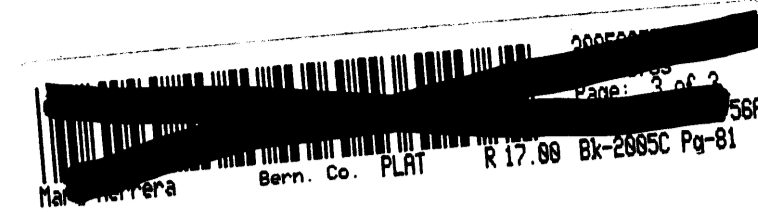
CORRECTION PLAT

FOR SUNRISE RIDGE SUBDIVISION

BEING A REPLAT OF
TRACT B-2
VOLCANO CLIFFS SUBDIVISION
SECTION 27, T. 11 N., R. 2 E., NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2004

CORRECTION NOTE: 
PLAT CORRECTION REQUIRED TO SHOW
REVISED STREET DESIGNATION FOR JAMERS
DRIVE NW TO ITS NEW DESIGNATION OF
JAMERS PLACE NW.

PRE-CORRECTED PLAT OF THE SUBJECT
PROPERTY FOUND IN BK. 2005C, PG 81
AS RECORDED ON FEBRUARY 28, 2005.



PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR
THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE CO. OF NM--ELECTRIC SERVICES DIVISION FOR THE
INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND/OVERHEAD
ELECTRICAL LINES, COMMUNICATION LINES, TRANSFORMERS, AND ANY OTHER
EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY
NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL
BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND
FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION
SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS
AND CLOSURES.
3. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF
SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES
REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
4. THE PUBLIC SERVICE CO. OF NM--GAS SERVICES DIVISION FOR THE
INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND
SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE
GAS SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT,
LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND
MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH
FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT
WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND
PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTER-
FERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, OR
OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASE-
MENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.
PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY
VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRU-
TION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR
EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED,
SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR
DOORS AND FIVE FEET (5') ON EACH SIDE.

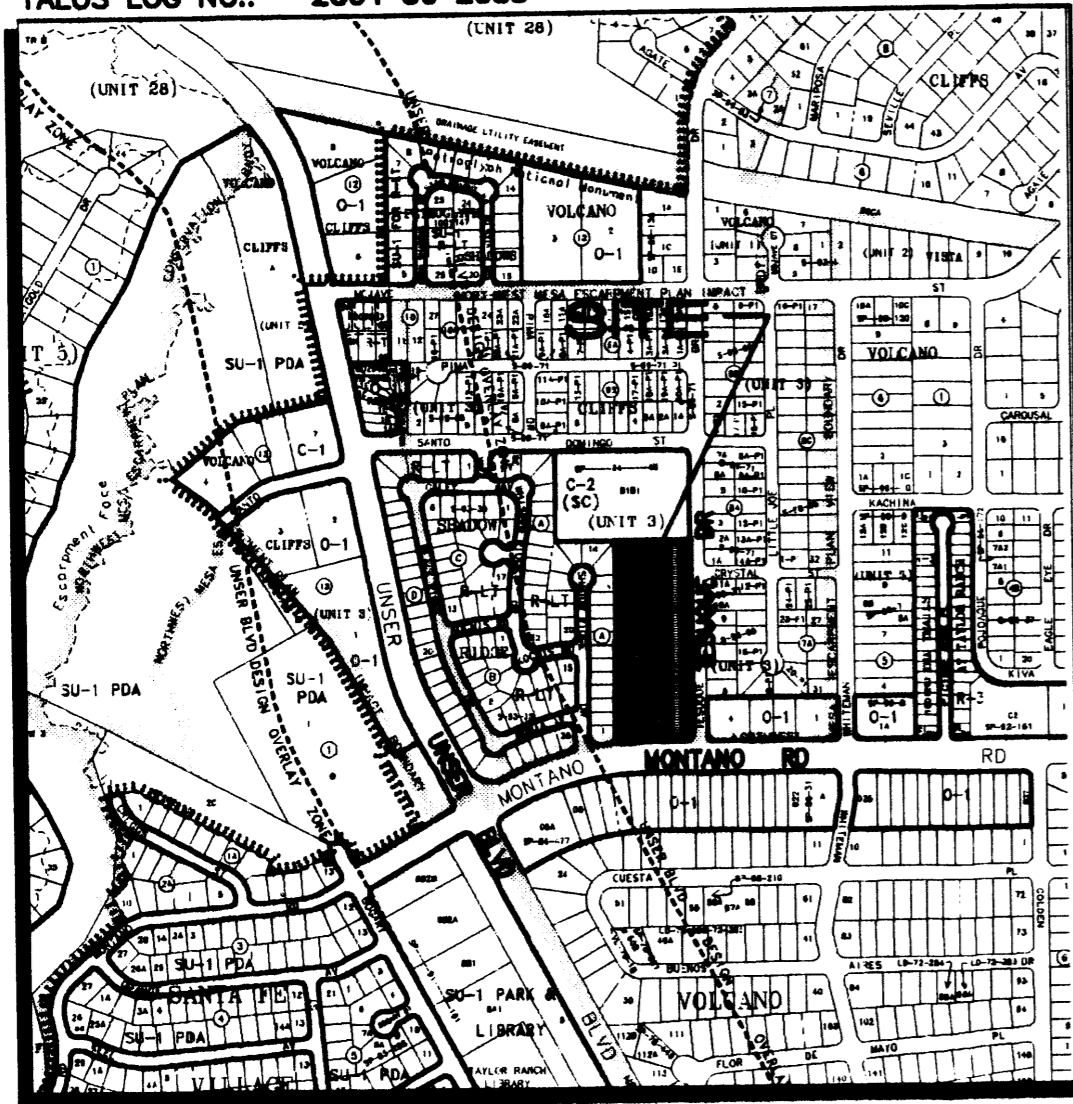
In approving this plat, PNM Electric Services and Gas
Services (PNM) did not conduct a Title Search of the
properties shown hereon. Consequently, PNM does not
waive nor release any easement or easement rights to
which it may be entitled.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 00°17'16" E	10.00
L2	S 00°17'16" W	10.00

BOUNDARY CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	25.00	38.31	24.05	34.67	N 46°23'30" E	87°47'33"
C2	1197.05	132.32	66.23	132.25	S 87°07'18" W	6°20'00"
C3	25.00	39.27	25.00	35.36	N 45°17'16" E	90°00'00"
C4	25.00	39.27	25.00	35.36	S 44°42'44" E	90°00'00"
C5	25.00	39.27	25.00	35.36	N 44°42'45" W	90°00'01"
C6	25.00	39.27	25.00	35.36	S 45°17'16" W	90°00'00"
C7	25.00	20.38	10.79	19.82	S 23°03'59" E	46°42'29"
C8	45.00	214.74	42.39	61.71	S 89°42'44" E	273°24'59"
C9	25.00	20.38	10.79	19.82	N 23°38'31" E	46°42'29"
C10	25.00	20.02	10.58	19.49	S 22°39'31" E	45°53'34"
C11	25.00	0.36	0.18	0.36	S 46°00'46" E	0°48'56"
C12	45.00	107.37	113.39	83.65	N 21°56'01" E	136°42'29"
C13	45.00	66.61	41.10	60.69	S 47°18'30" E	84°48'27"
C14	45.00	40.76	21.90	39.38	S 21°02'45" W	51°54'02"
C15	25.00	11.15	5.67	11.06	N 34°13'15" E	25°33'01"
C16	25.00	9.23	4.67	9.18	N 10°52'00" E	21°09'28"

LOT AREA TABLE	
LOT	AREA (SF)
1	6241
2	4854
3	5555
4	5561
5	5561
6	5561
7	5561
8	5561
9	5562
10	5562
11	5562
12	5562
13	5562
14	5562
15	5563
16	6881
17	6031
18	6112
19	5638
20	5336
21	5336
22	5336
23	5336
24	5336
25	5336
26	5336
27	5336
28	5336
29	5290
30	8982





E10

1"=750'

VICINITY MAP

SUBDIVISION DATA / NOTES

- Total Number of Existing Tracts: 1
- Total Number of Lots created: 30
- Total Number of Tracts created: 0
- Gross Subdivision Acreage: 4.8703 Ac.
- Total Mileage of Full Width Streets Created: 0.1543
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 "VOLCANO CLIFFS SUBDIVISION, UNIT 3, TRACT B" (02-04-88, C35-159).
 "VOLCANO CLIFFS SUBDIVISION, UNIT 3, TRACTS B-1-A & B-1-B" (11-05-91, 91C-247).
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 all being records of Bernalillo County, New Mexico.
- Field Survey performed on August, 2004.
- Title Report: None provided.
- Address of Property: None provided.
- This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
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- ZONING: R-LT



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990



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Page: 1 of 3
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**PLAT
FOR
SUNRISE RIDGE
SUBDIVISION**

BEING A REPLAT OF
TRACT B-2
VOLCANO CLIFFS SUBDIVISION
SECTION 27, T. 11 N, R. 2 E, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2004

LEGAL DESCRIPTION

A tract of land situate within Section 27, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT B-2, UNIT 3, VOLCANO CLIFFS SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 4, 1988 in Volume C35, Folio 159 and containing 4.7370 feet more or less.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject tract into 30 residential lots, to dedicate public rights-of-way, to grant an easement necessary to serve the residential development, and to vacate R.O.W. AND PUE.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.

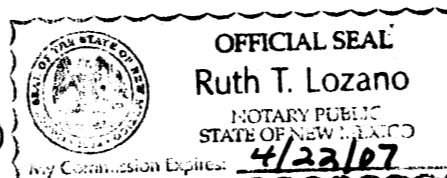
OWNER

WINDMILL MANOR ESTATES, LLC

Patrick A. Strosnider
PATRICK A. STROSNIDER, MANAGING MEMBER
WINDMILL MANOR ESTATES, LLC

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)



This instrument was acknowledged before me on December 10, 2004, by Patrick Strosnider, Managing Member of Windmill Manor Estates, LLC, a New Mexico Limited Liability Company, on behalf of said company.

My Commission Expires: 4/22/07
Ruth T. Lozano
Notary Public

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1010 062 380313 10102 PROPERTY OWNER OF RECORD
US Postal Service
BERNALILLO COUNTY TREASURER'S OFFICE
Danny Vigil 2/26/05

APPROVALS

DRB PROJECT NO. 1003420
APPLICATION NO. 04 DRB-1657
Utility Approvals 04 DRB-1509, 04 DRB-1508

- Leonard G. Mank* 1-31-05
PNM ELECTRIC SERVICES DIVISION DATE
- Leonard G. Mank* 1-31-05
PNM GAS SERVICES DIVISION DATE
- David R. Muller* 12-16-04
QWEST DATE
- Thomas Barber* 1-7-05
COMCAST DATE
- NA* 2/23/05
NEW MEXICO UTILITIES DATE
- John B. Hat* 12-16-04
CITY SURVEYOR DATE
- John B. Hat* 2-25-05
REAL PROPERTY DIVISION DATE
- NA* 2/25/05
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- Bradley L. Bingham* 2/23/05
PARKS AND RECREATION DEPARTMENT DATE
- Bradley L. Bingham* 2/23/05
AMAFCA DATE
- Bradley L. Bingham* 2/23/05
CITY ENGINEER DATE
- Sharon Watson* 2/25/05
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

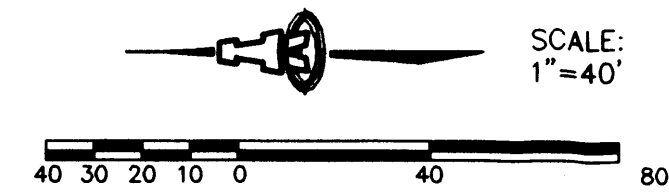
SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief".

Timothy Aldrich 12-16-04
Date
1110
RECEIVED
MAR 1 2005
HYDROLOGY SECTION
SHEET 1 OF 3

PLAT
FOR
SUNRISE RIDGE
SUBDIVISION

BEING A REPLAT OF
TRACT B-2
VOLCANO CLIFFS SUBDIVISION
SECTION 27, T. 11 N., R. 2 E., NMPM
CITY OF ALBUQUERQUE
BERNALLILLO COUNTY, NEW MEXICO
DECEMBER 2004

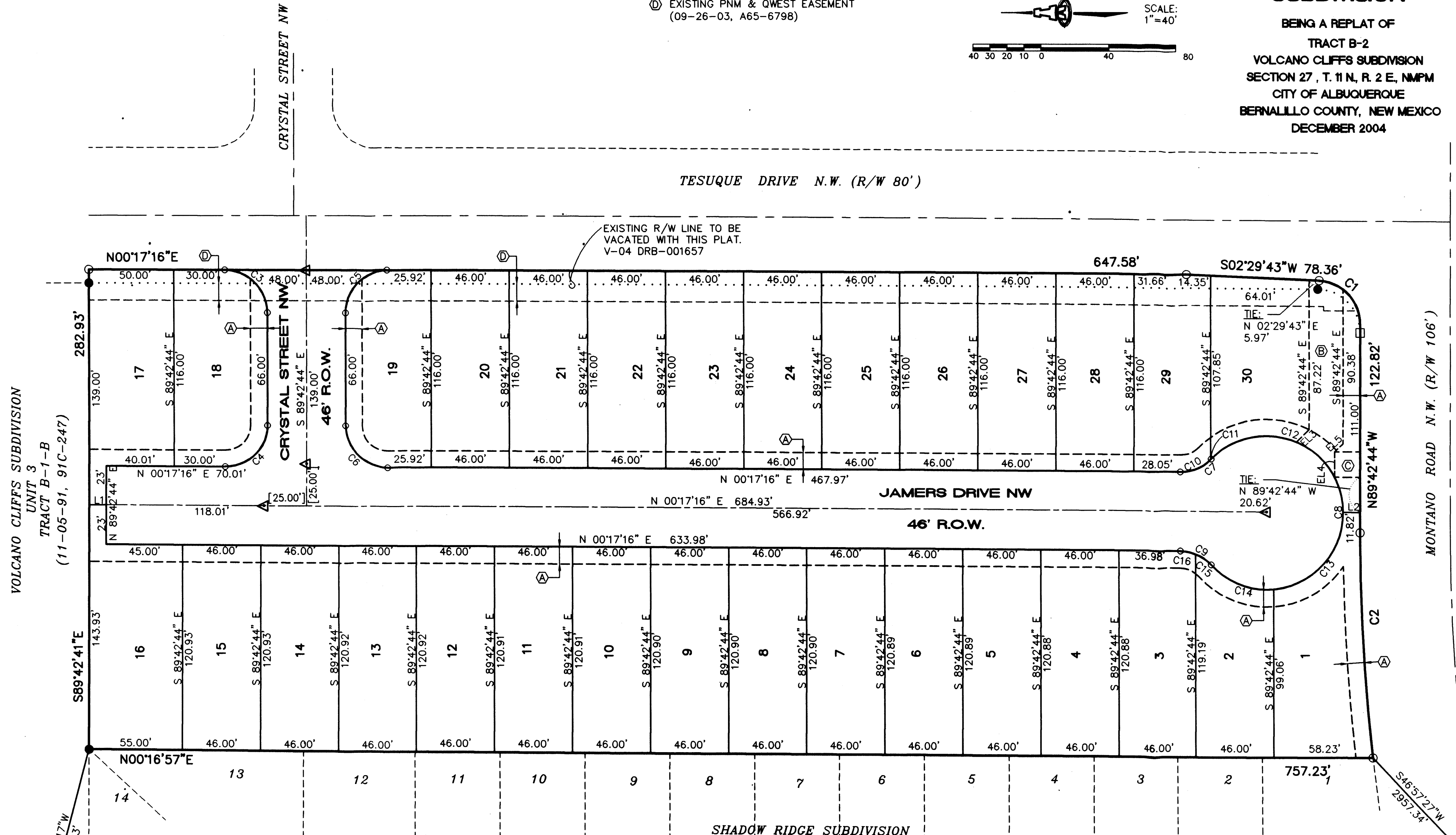


LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- CENTERLINE MONUMENT

KEYED EASEMENT NOTE

- 10' PUE TO BE GRANTED BY THIS PLAT.
- 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO COA BY THIS PLAT.
- 15'x15' PUE GRANTED BY THIS PLAT.
- EXISTING PNM & QWEST EASEMENT (09-26-03, A65-6798)



VOLCANO CLIFFS SUBDIVISION
UNIT 3
TRACT B-1-B
(11-05-91, 91C-247)

SHADOW RIDGE SUBDIVISION
BLOCK A
(04-10-95, 95C-128)

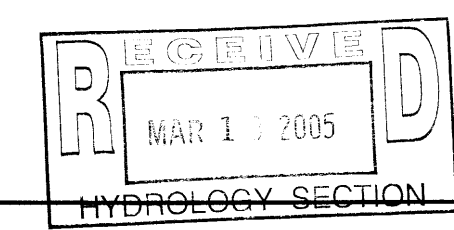
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X= 358813.84
G-G= 0.99966844
Δα= -00°16'19"
ELEVATION= 5316.12
CENTRAL ZONE
(NAD 1927/SLD 1929)

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND ALUMINUM CAP IN CONCRETE (TYP)

ACS MONUMENT
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X= 358881.17
G-G= 0.9996687
Δα= -00°16'18"
ELEVATION= 5311.86
CENTRAL ZONE
(NAD 1927/SLD 1929)

Handwritten signature
02-25-05



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 6223793
 Page: 3 of 3
 02/28/2005 09:56A
 Bk-2805C Pg-81
 Mary Herrera Bern. Co. PLAT R 17.00

PLAT
FOR
SUNRISE RIDGE
SUBDIVISION

BEING A REPLAT OF
 TRACT B-2
 VOLCANO CLIFFS SUBDIVISION
 SECTION 27, T. 11 N., R. 2 E., NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2004

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE CO. OF NM--ELECTRIC SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, COMMUNICATION LINES, TRANSFORMERS, AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
3. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
4. THE PUBLIC SERVICE CO. OF NM--GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

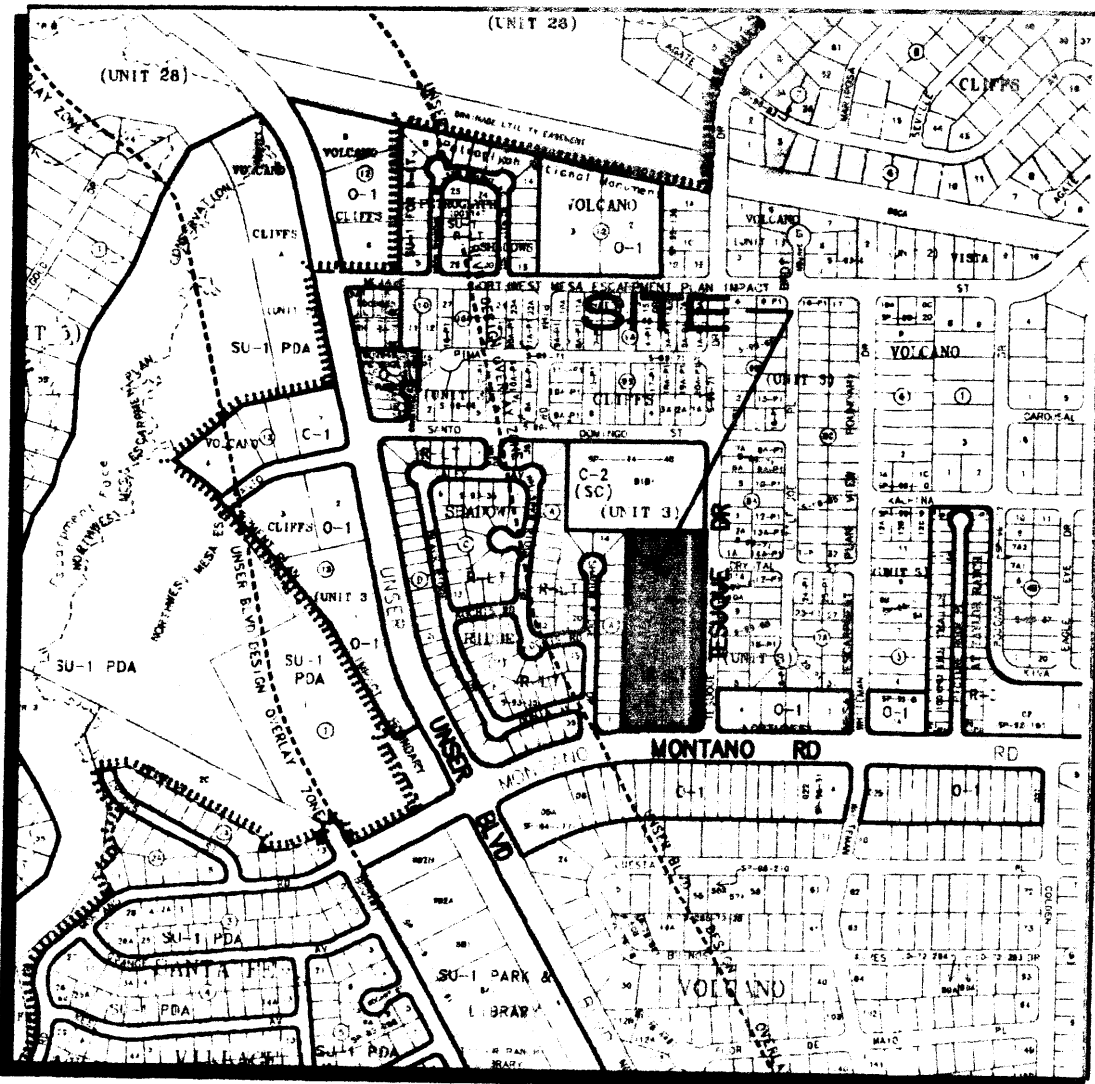
LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 00°17'16" E	10.00
L2	S 00°17'16" W	10.00

BOUNDARY CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
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C2	1197.05	132.32	66.23	132.25	S 87°07'18" W	6°20'00"
C3	25.00	39.27	25.00	35.36	N 45°17'16" E	90°00'00"
C4	25.00	39.27	25.00	35.36	S 44°42'44" E	90°00'00"
C5	25.00	39.27	25.00	35.36	N 44°42'45" W	90°00'01"
C6	25.00	39.27	25.00	35.36	S 45°17'16" W	90°00'00"
C7	25.00	20.38	10.79	19.82	S 23°03'59" E	46°42'29"
C8	45.00	214.74	42.39	61.71	S 89°42'44" E	273°24'59"
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C10	25.00	20.02	10.58	19.49	S 22°39'31" E	45°53'34"
C11	25.00	0.36	0.18	0.36	S 46°00'46" E	0°48'56"
C12	45.00	107.37	113.39	83.65	N 21°56'01" E	136°42'29"
C13	45.00	66.61	41.10	60.69	S 47°18'30" E	84°48'27"
C14	45.00	40.76	21.90	39.38	S 21°02'45" W	51°54'02"
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C16	25.00	9.23	4.67	9.18	N 10°52'00" E	21°09'28"

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5	5561
6	5561
7	5561
8	5561
9	5562
10	5562
11	5562
12	5562
13	5562
14	5562
15	5563
16	6881
17	6031
18	6112
19	5638
20	5336
21	5336
22	5336
23	5336
24	5336
25	5336
26	5336
27	5336
28	5336
29	5290
30	8982

[Handwritten Signature]
 TIMOTHY ALDRICH
 02-25-05

RECEIVED
 MAR 1 2005
 HYDROLOGY SECTION



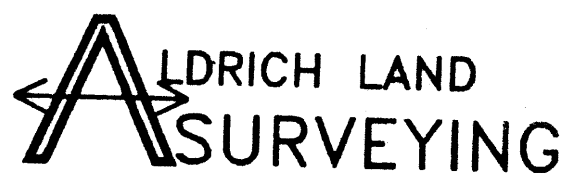
E10

1"=750'±

VICINITY MAP

SUBDIVISION DATA / NOTES

1. Total Number of Existing Tracts: 1
2. Total Number of Lots created: 30
3. Total Number of Tracts created: 0
4. Gross Subdivision Acreage: 4.8703 Ac.
5. Total Mileage of Full Width Streets Created: 0.1543
6. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
7. Distances are ground distances.
8. Bearings and distances in parenthesis are record.
9. Basis of boundary are the following plats of record entitled:
 "VOLCANO CLIFFS SUBDIVISION, UNIT 3, TRACT B" (02-04-88, C35-159).
 "VOLCANO CLIFFS SUBDIVISION, UNIT 3, TRACTS B-1-A & B-1-B" (11-05-91, 91C-247).
 "SHADOW RIDGE SLBDIVISION (04-10-95, 95C-128).
 all being records of Bernalillo County, New Mexico.
10. Field Survey performed on August, 2004.
11. Title Report: None provided.
12. Address of Property: None provided.
13. This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
14. City Standard Utility Note II:
 "City of Albuquerque Water and Sanitary Sewer Service to SUNRISE RIDGE must be verified and coordinated with the Public Works Department, City of Albuquerque."
15. Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719".
16. ZONING: R-LT



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

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6223793
Page: 1 of 3
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Bk-2865C Pg-81

PLAT FOR SUNRISE RIDGE SUBDIVISION

BEING A REPLAT OF TRACT B-2 VOLCANO CLIFFS SUBDIVISION SECTION 27, T. 11 N, R. 2 E, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO DECEMBER 2004

LEGAL DESCRIPTION

A tract of land situate within Section 27, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT B-2, UNIT 3, VOLCANO CLIFFS SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 4, 1988 in Volume C35, Folio 159 and containing 4.7370 feet more or less.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject tract into 30 residential lots, to dedicate public rights-of-way, to grant an easement necessary to serve the residential development, and to vacate R.O.W. AND PUE.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.

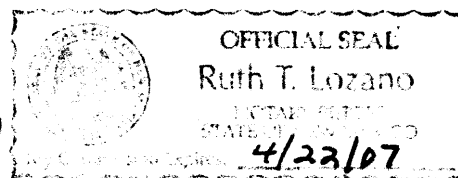
OWNER

WINDMILL MANOR ESTATES, LLC

Patrick A. Strosnider
PATRICK A. STROSNIDER, MANAGING MEMBER
WINDMILL MANOR ESTATES, LLC

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)



This instrument was acknowledged before me on December 10 2004, by Patrick Strosnider, Managing Member of Windmill Manor Estates, LLC, a New Mexico Limited Liability Company, on behalf of said company.

My Commission Expires: 4/22/07

Ruth T. Lozano
Notary Public

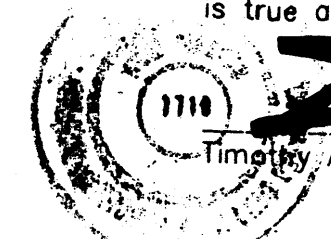
APPROVALS

DRB PROJECT NO. 1003420
APPLICATION NO. 04 DRB-1657
Utility Approvals 04 DRB-1509, 04 DRB-1508

- Leonard G. Marks* 1-31-05
PNM ELECTRIC SERVICES DIVISION DATE
- Leonard G. Marks* 1-31-05
PNM GAS SERVICES DIVISION DATE
- David R. Mueller* 12-16-04
QWEST DATE
- NA* 1-7-05
COMCAST DATE
- NA* 2/25/05
NEW MEXICO UTILITIES DATE
- NA*
City Approvals
- Mark Hal* 12-16-04
CITY SURVEYOR DATE
- John McDaniel* 2-25-05
REAL PROPERTY DIVISION DATE
- NA* 2/25/05
ENVIRONMENTAL HEALTH DEPARTMENT DATE
- John McDaniel* 2-23-05
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
- Roger A. Shean* 2-23-05
UTILITIES DEVELOPMENT DATE
- Christina Sandoval* 2/24/05
PARKS AND RECREATION DEPARTMENT DATE
- Bradley L. Bingham* 2/23/05
AMAFA DATE
- Bradley L. Bingham* 2/23/05
CITY ENGINEER DATE
- Sharan Watson* 2/25/05
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief."



Timothy Aldrich
Timothy Aldrich, P.S. No. 7719

Timothy Aldrich 12-16-04
Date

PLAT
FOR
SUNRISE RIDGE
SUBDIVISION

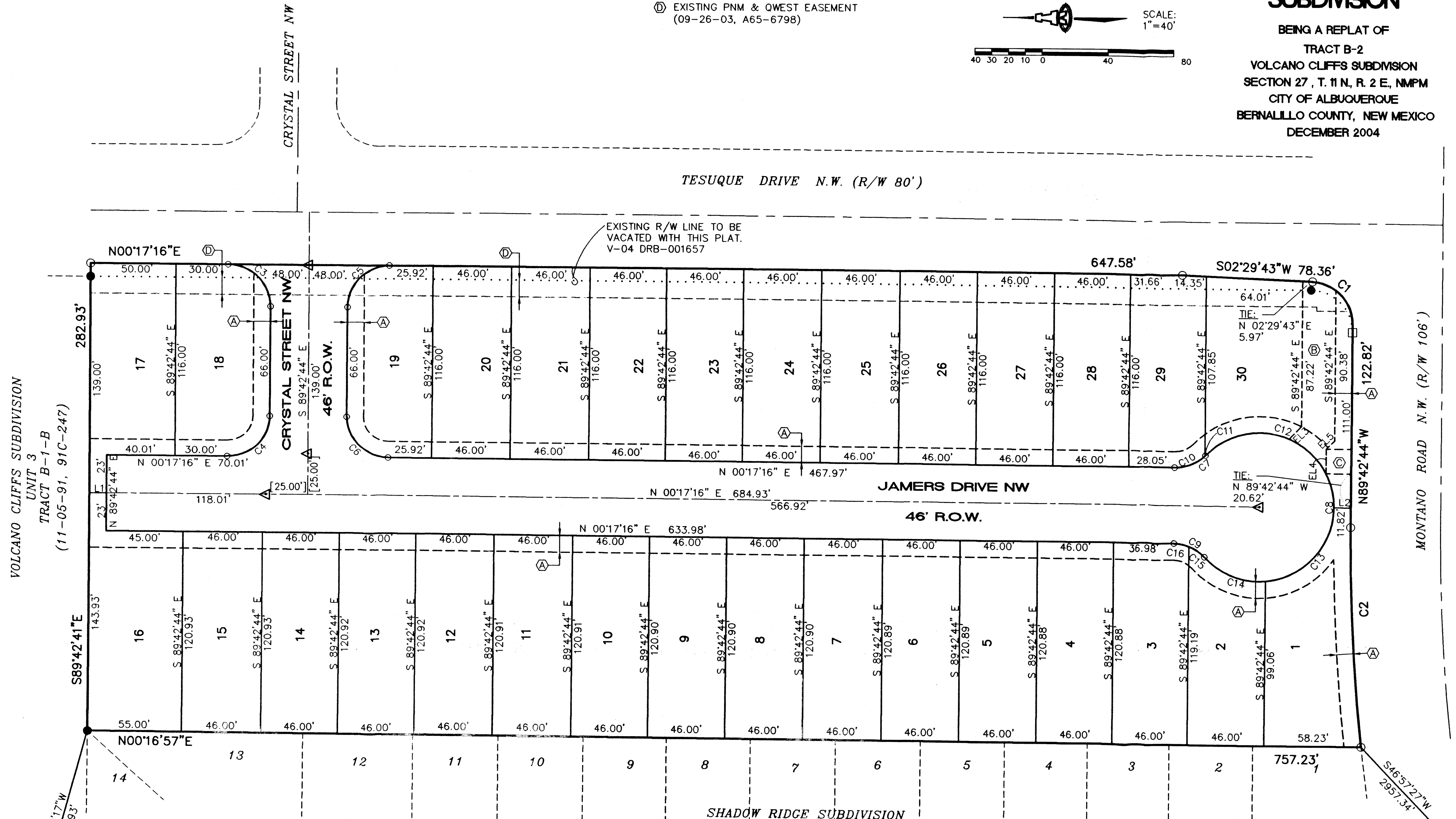
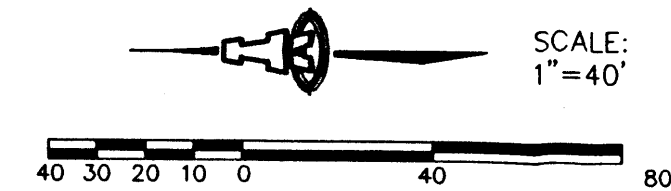
BEING A REPLAT OF
TRACT B-2
VOLCANO CLIFFS SUBDIVISION
SECTION 27, T. 11 N., R. 2 E., NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2004

LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- CENTERLINE MONUMENT

KEYED EASEMENT NOTE

- (A) 10' PUE TO BE GRANTED BY THIS PLAT.
- (B) 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO COA BY THIS PLAT.
- (C) 15'x15' PUE GRANTED BY THIS PLAT.
- (D) EXISTING PNM & QWEST EASEMENT (09-26-03, A65-6798)



VOLCANO CLIFFS SUBDIVISION
UNIT 3
TRACT B-1-B
(11-05-91, 91C-247)

SHADOW RIDGE SUBDIVISION
BLOCK A
(04-10-95, 95C-128)

ACS MONUMENT
"3-E10"
Y= 1512565.54
X= 358813.84
G-G= 0.99966844
Δα= -00°16'19"
ELEVATION= 5316.12
CENTRAL ZONE
(NAD 1927/SLD 1929)

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND ALUMINUM CAP IN CONCRETE (TYP)

ACS MONUMENT
"20-E10"
Y= 1509204.34
X= 358881.17
G-G= 0.9996687
Δα= -00°16'18"
ELEVATION= 5311.86
CENTRAL ZONE
(NAD 1927/SLD 1929)

Handwritten signature and date: 02-25-05

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 Page: 3 of 3
 02/28/2005 09:56A
 BK-2005C Pg-81
 Mary Herrera Bern. Co. PLRT R 17.00

PLAT
FOR
SUNRISE RIDGE
SUBDIVISION
 BEING A REPLAT OF
 TRACT B-2
 VOLCANO CLIFFS SUBDIVISION
 SECTION 27, T. 11 N., R. 2 E., NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2004

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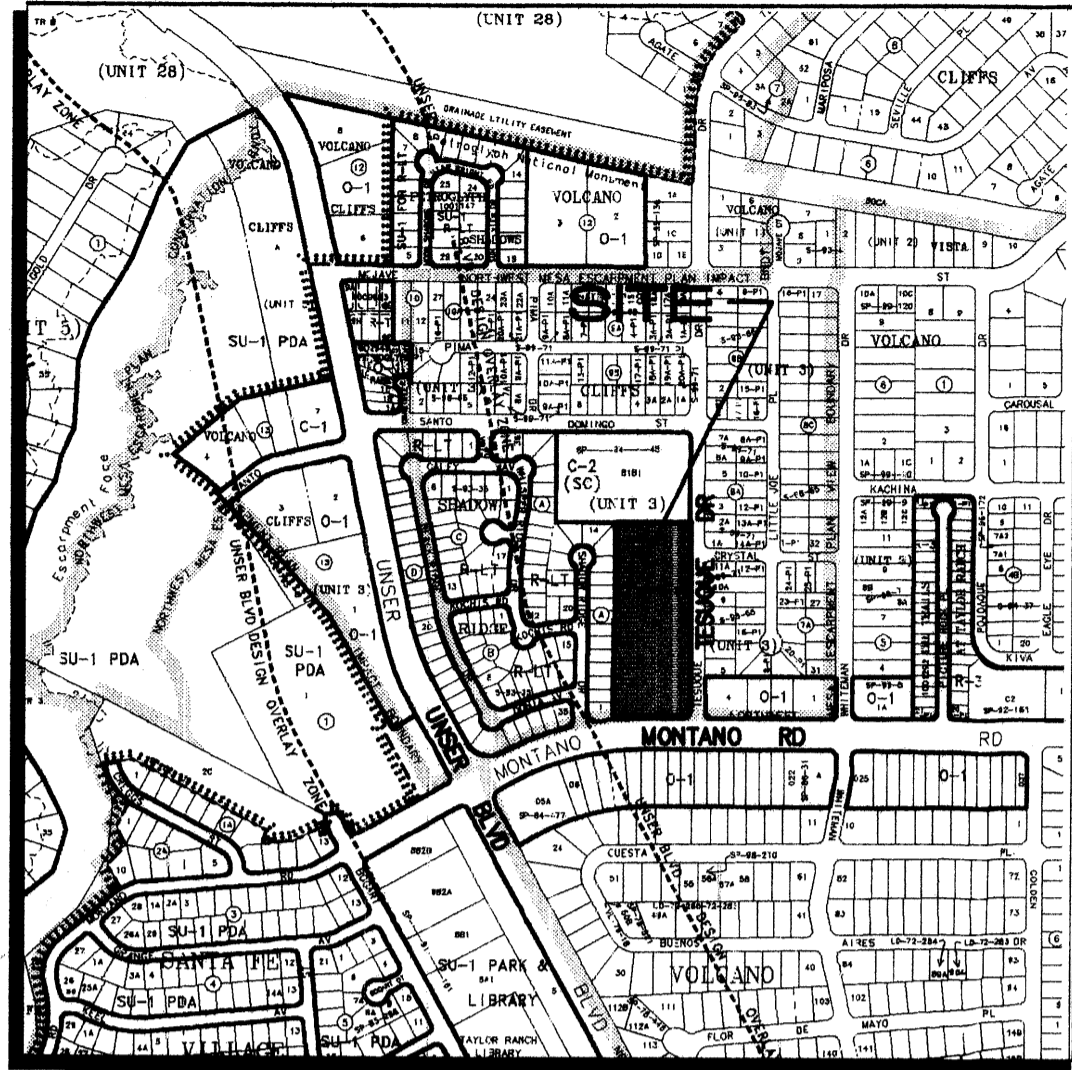
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02-25-05

TALOS LOG NO.: 2004 50 2088



E10 1"=750'±

VICINITY MAP

SUBDIVISION DATA / NOTES

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3. Total Number of Tracts created: 0
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16. ZONING: R-LT

LEGAL DESCRIPTION

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The intent of this plat is to subdivide the subject tract into 30 residential lots, to dedicate public rights-of-way, to grant an easement necessary to serve the residential development, and to vacate R.O.W. AND PUE.

FREE CONSENT AND DEDICATION

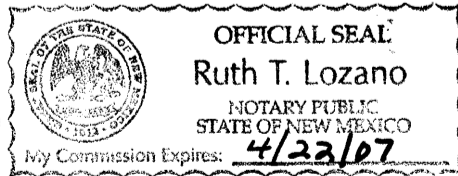
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OWNER

WINDMILL MANOR ESTATES, LLC

Signature of Patrick A. Strosnider, Managing Member of Windmill Manor Estates, LLC, dated 12/10/04.

ACKNOWLEDGMENT



STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on December 10, 2004, by Patrick Strosnider, Managing Member of Windmill Manor Estates, LLC, a New Mexico Limited Liability Company, on behalf of said company.

My Commission Expires: 4/22/07

Signature of Ruth T. Lozano, Notary Public.

PLAT FOR SUNRISE RIDGE SUBDIVISION

FINAL

APPROVED BY ON 2/23/05

BEING A REPLAT OF TRACT B-2 VOLCANO CLIFFS SUBDIVISION SECTION 27, T. 11 N., R. 2 E., NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO DECEMBER 2004

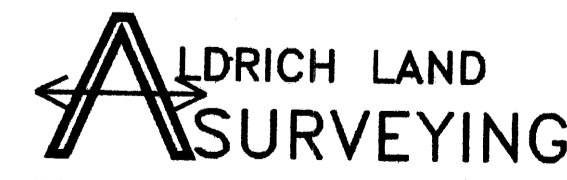
APPROVALS

Table listing approvals from various departments including PNM Electric Services Division, PNM Gas Services Division, QWEST, Comcast, New Mexico Utilities, City Surveyor, Real Property Division, Environmental Health Department, Traffic Engineering, Transportation Division, Utilities Development, Parks and Recreation Department, AMAFCA, City Engineer, and DRB Chairperson, Planning Department. Includes dates and signatures for each approval.

SURVEYOR'S CERTIFICATION

I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief.

Signature of Timothy Aldrich, P.S. No. 7719, dated 12-16-04. Includes a circular seal for the State of New Mexico.



P.O. BOX 30701, ALBQ., N.M. 87190 505-884-1990

PLAT FOR SUNRISE RIDGE SUBDIVISION

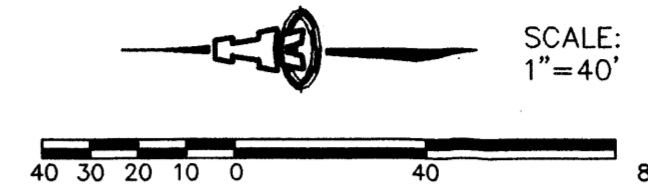
BEING A REPLAT OF
TRACT B-2
VOLCANO CLIFFS SUBDIVISION
SECTION 27, T. 11 N., R. 2 E., NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2004

KEYED EASEMENT NOTE

- (A) 10' PUE TO BE GRANTED BY THIS PLAT.
- (B) 20' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO COA BY THIS PLAT.
- (C) 15'x15' PUE GRANTED BY THIS PLAT.
- (D) EXISTING PNM & QWEST EASEMENT (09-26-03, A65-6798)

LEGEND

- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT

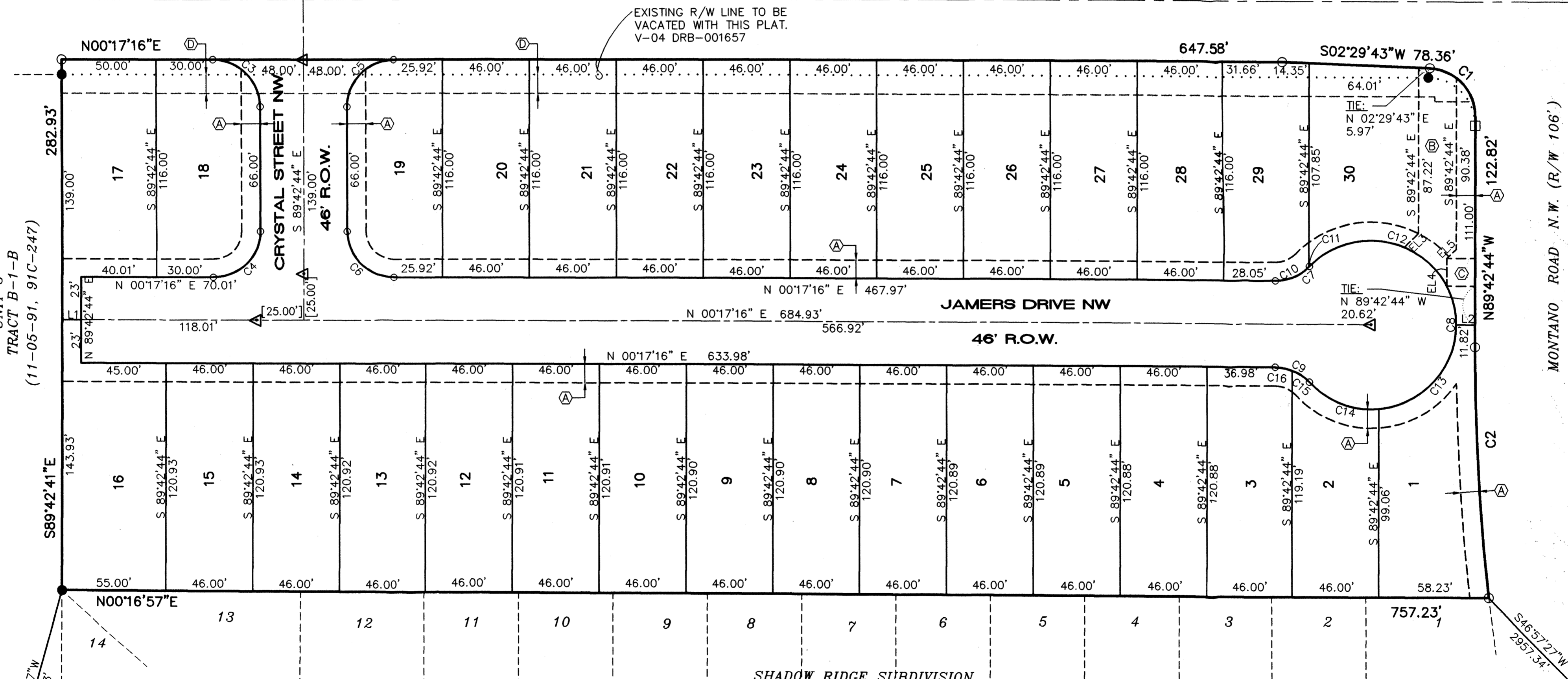


TESUQUE DRIVE N.W. (R/W 80')

EXISTING R/W LINE TO BE VACATED WITH THIS PLAT.
V-04 DRB-001657

VOLCANO CLIFFS SUBDIVISION
UNIT 3
TRACT B-1-B
(11-05-91, 91C-247)

MONTANO ROAD N.W. (R/W 106')



ACS MONUMENT
"3-E10"
Y= 1512565.54
X= 358813.84
G-G= 0.99966844
Δα= -00°16'19"
ELEVATION= 5316.12
CENTRAL ZONE
(NAD 1927/SLD 1929)

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP
"ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP
"ALS LS 7719" (TYP)
- FOUND ALUMINUM CAP
IN CONCRETE (TYP)

SHADOW RIDGE SUBDIVISION
BLOCK A
(04-10-95, 95C-128)

ACS MONUMENT
"20-E10"
Y= 1509204.34
X= 358881.17
G-G= 0.9996687
Δα= -00°16'18"
ELEVATION= 5311.86
CENTRAL ZONE
(NAD 1927/SLD 1929)

**PLAT
FOR
SUNRISE RIDGE
SUBDIVISION**

BEING A REPLAT OF
TRACT B-2
VOLCANO CLIFFS SUBDIVISION
SECTION 27, T. 11 N., R. 2 E., NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2004

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE CO. OF NM--ELECTRIC SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, COMMUNICATION LINES, TRANSFORMERS, AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
3. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
4. THE PUBLIC SERVICE CO. OF NM--GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

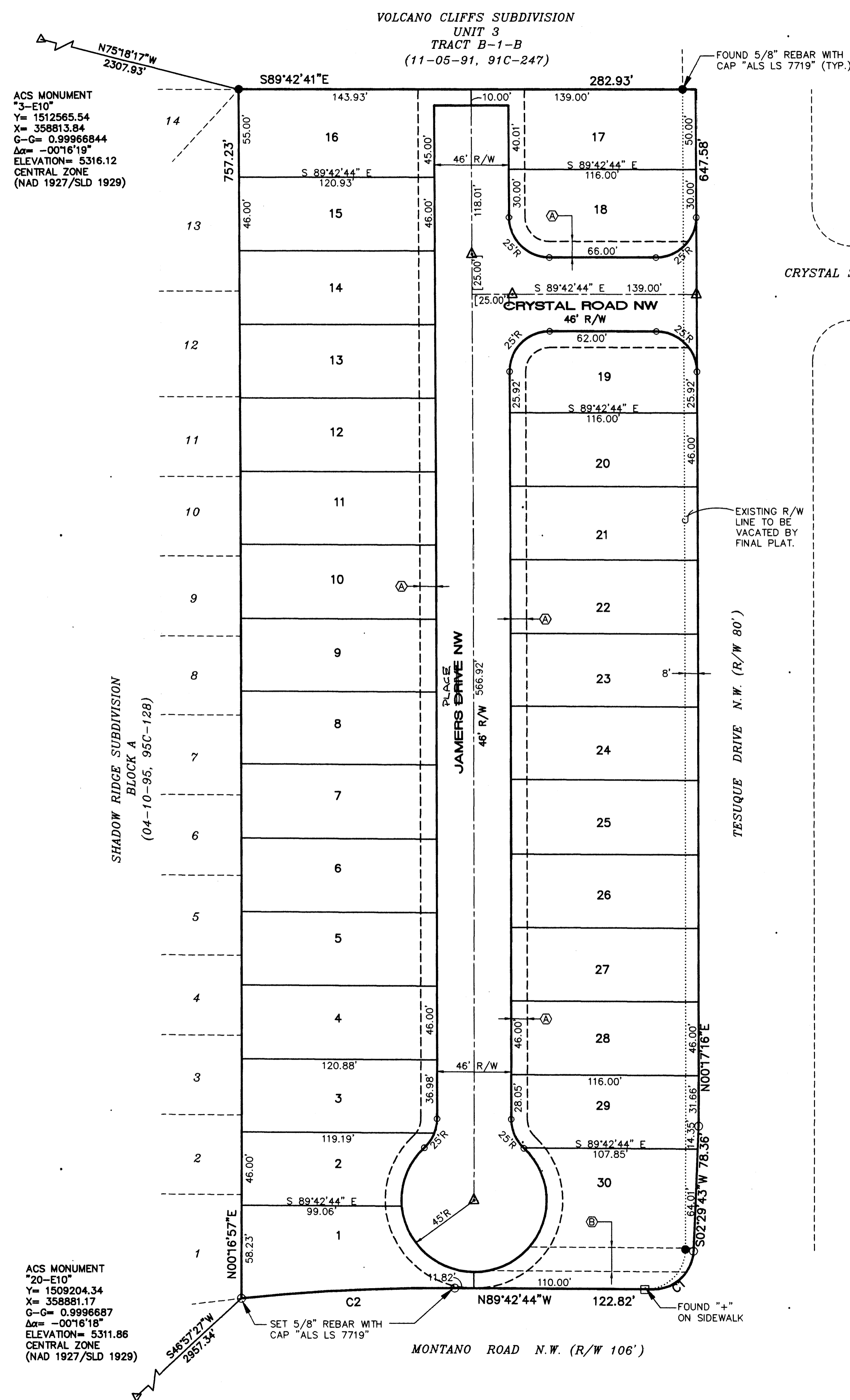
EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 00°17'16" E	10.00
L2	S 00°17'16" W	10.00

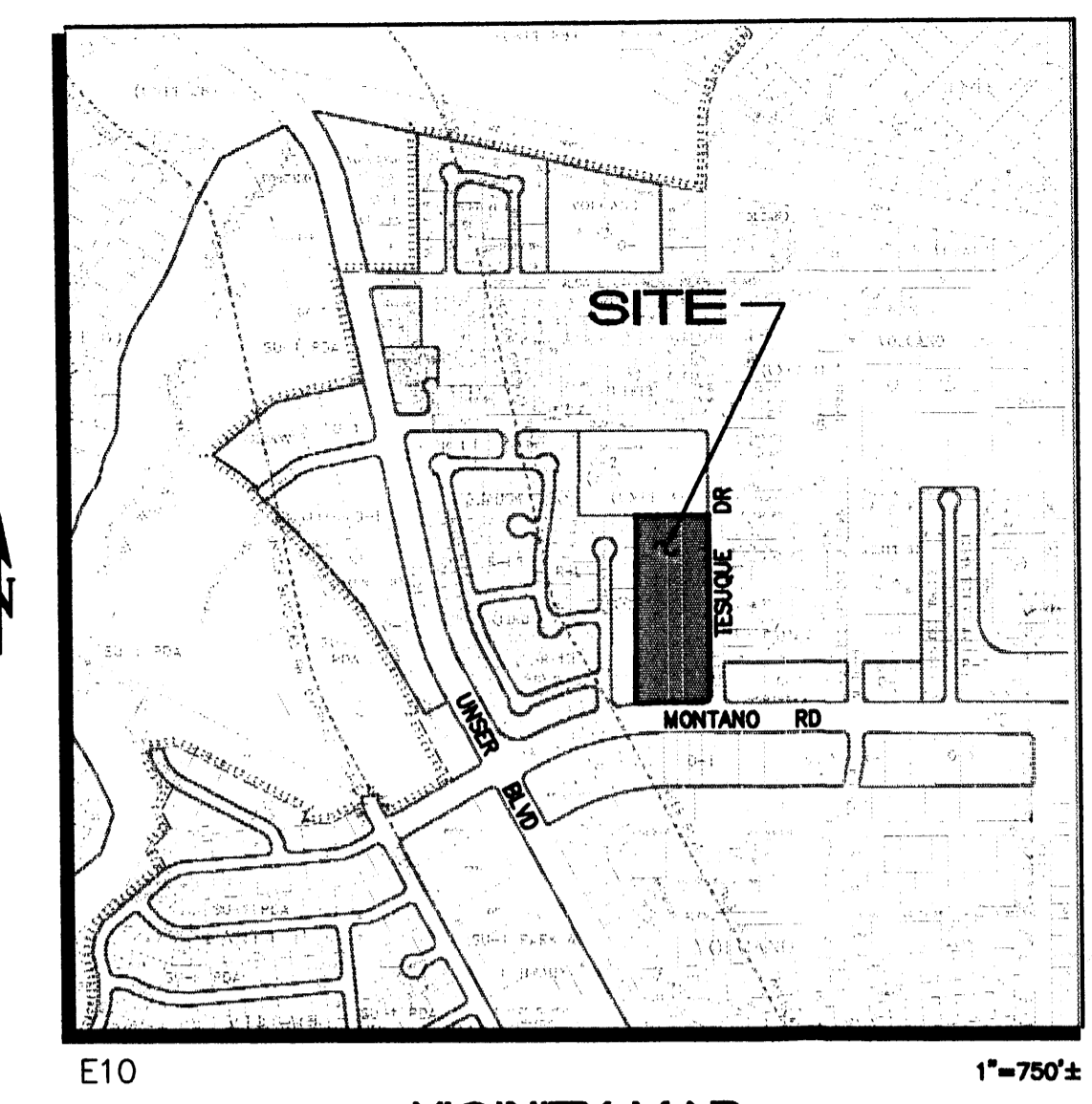
BOUNDARY CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	25.00	38.31	24.05	34.67	N 46°23'30" E	87°47'33"
C2	1197.05	132.32	66.23	132.25	S 87°07'18" W	6°20'00"
C3	25.00	39.27	25.00	35.36	N 45°17'16" E	90°00'00"
C4	25.00	39.27	25.00	35.36	S 44°42'44" E	90°00'00"
C5	25.00	39.27	25.00	35.36	N 44°42'45" W	90°00'01"
C6	25.00	39.27	25.00	35.36	S 45°17'16" W	90°00'00"
C7	25.00	20.38	10.79	19.82	S 23°03'59" E	46°42'29"
C8	45.00	214.74	42.39	61.71	S 89°42'44" E	273°24'59"
C9	25.00	20.38	10.79	19.82	N 23°38'31" E	46°42'29"
C10	25.00	20.02	10.58	19.49	S 22°39'31" E	45°53'34"
C11	25.00	0.36	0.18	0.36	S 46°00'46" E	0°48'56"
C12	45.00	107.37	113.39	83.65	N 21°56'01" E	136°42'29"
C13	45.00	66.61	41.10	60.69	S 47°18'30" E	84°48'27"
C14	45.00	40.76	21.90	39.38	S 21°02'45" W	51°54'02"
C15	25.00	11.15	5.67	11.06	N 34°13'15" E	25°33'01"
C16	25.00	9.23	4.67	9.18	N 10°52'00" E	21°09'28"

LOT AREA TABLE	
LOT	AREA (SF)
1	6241
2	4854
3	5555
4	5561
5	5561
6	5561
7	5561
8	5561
9	5562
10	5562
11	5562
12	5562
13	5562
14	5562
15	5563
16	6881
17	6031
18	6112
19	5638
20	5336
21	5336
22	5336
23	5336
24	5336
25	5336
26	5336
27	5336
28	5336
29	5290
30	8982



ACS MONUMENT
 "3-E10"
 Y= 1512565.54
 X= 358813.84
 G-G= 0.99966844
 Δα= -00°16'19"
 ELEVATION= 5316.12
 CENTRAL ZONE
 (NAD 1927/SLD 1929)

ACS MONUMENT
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 X= 358861.17
 G-G= 0.9996687
 Δα= -00°16'18"
 ELEVATION= 5311.86
 CENTRAL ZONE
 (NAD 1927/SLD 1929)



VICINITY MAP

PRELIMINARY
 PLAT FOR
SUNRISE RIDGE
 BEING A REPLAT OF
 TRACT B-2
 VOLCANO CLIFFS SUBDIVISION
 SECTION 27
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2004

PRELIMINARY PLAT
 APPROVED BY DRB
 ON 11/17/04

SCALE:
 1"=40'

BOUNDARY CURVE TABLE

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	39.27	90°00'00"	25.00'	25.00'	S45°17'18"W	35.36'
C2	132.32	06°20'00"	1197.05'	66.23'	S87°07'18"W	132.25'

KEYED EASEMENT NOTE

- Ⓐ 10' PUE TO BE GRANTED BY FINAL PLAT.
- Ⓑ 15' PUBLIC WATERLINE EASEMENT TO BE GRANTED BY FINAL PLAT.

LEGEND

- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT

LEGAL DESCRIPTION

TRACT B-2, UNIT 3, VOLCANO CLIFFS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 4, 1988, IN VOLUME C35, FOLIO 159.

ACS BENCHMARK

ACS MONUMENT "25-E10"
 ELEVATION: 5162.57

SITE DATA

1. TOTAL LAND AREA = 4.8703 ACRES.
2. NUMBER OF EXISTING TRACTS IS 1.
3. NUMBER OF PROPOSED RESIDENTIAL LOTS IS 30.
4. CURRENT ZONING: R-LT.
5. ALL STREETS WILL MEET CITY STANDARDS AND WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE CITY OF ALBUQUERQUE.
6. ALL STREETS HAVE RIGHT-OF-WAY AND PAVING WIDTHS PER DPM STANDARDS.
7. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
8. UTILITY COUNCIL SYSTEM LOG NO. 2004390017.

NOTES

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "ALS LS #7719".
2. ALL STREET CENTERLINE POINTS SHOWN THUS △ WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, ALS LS #7719".
3. BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARINGS WILL BE NAD 83 GRID BEARINGS.
5. DISTANCES WILL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
7. DISTANCES IN BRACKETS REFER TO CENTERLINE MONUMENT DISTANCES.

APPROVED

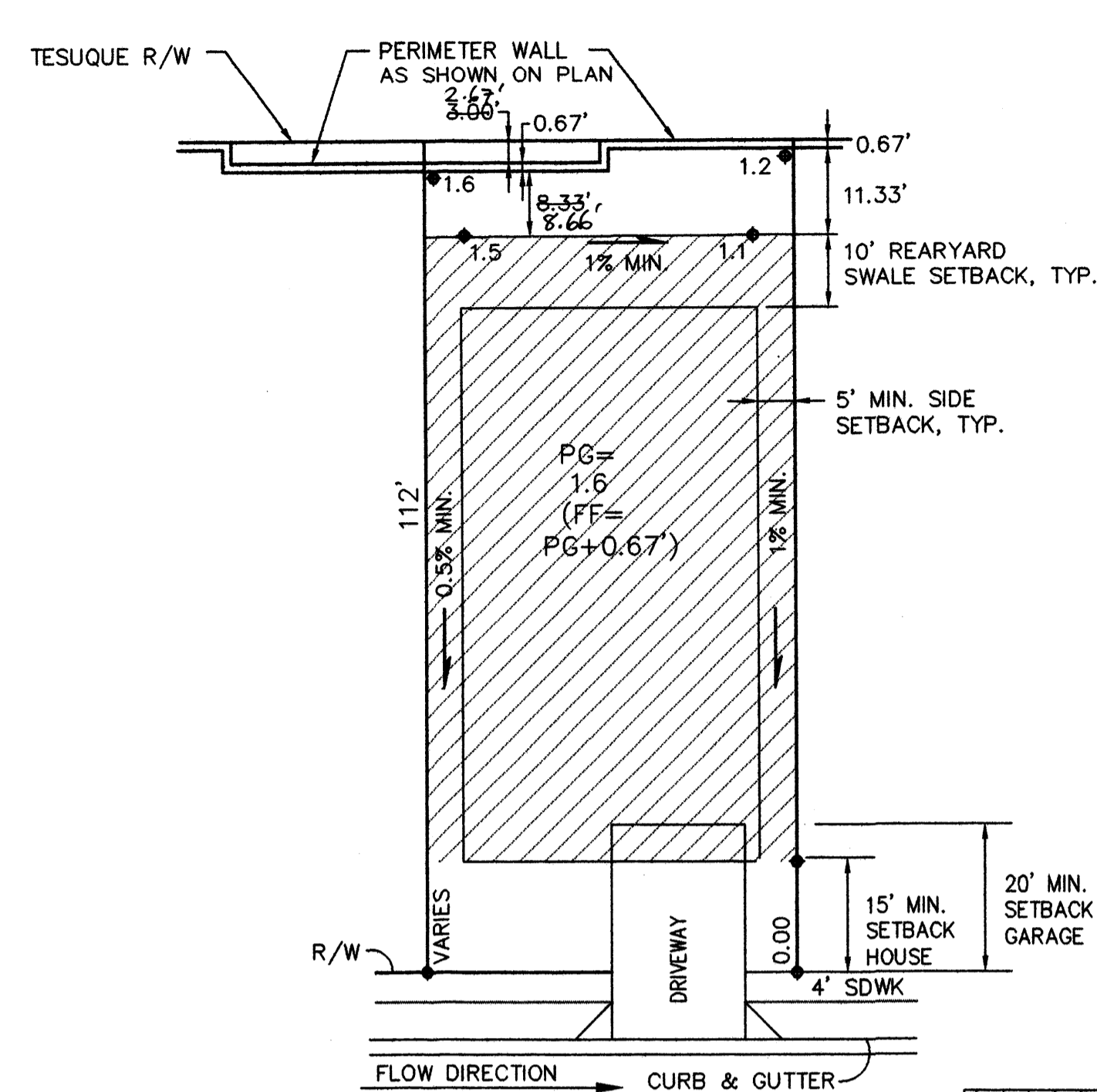
CITY SURVEYOR _____ DATE _____

OWNERSHIP

PATRICK STROSNIDER, MANAGING MEMBER DATE _____
 WINDMILL MANOR PLACE, LLC

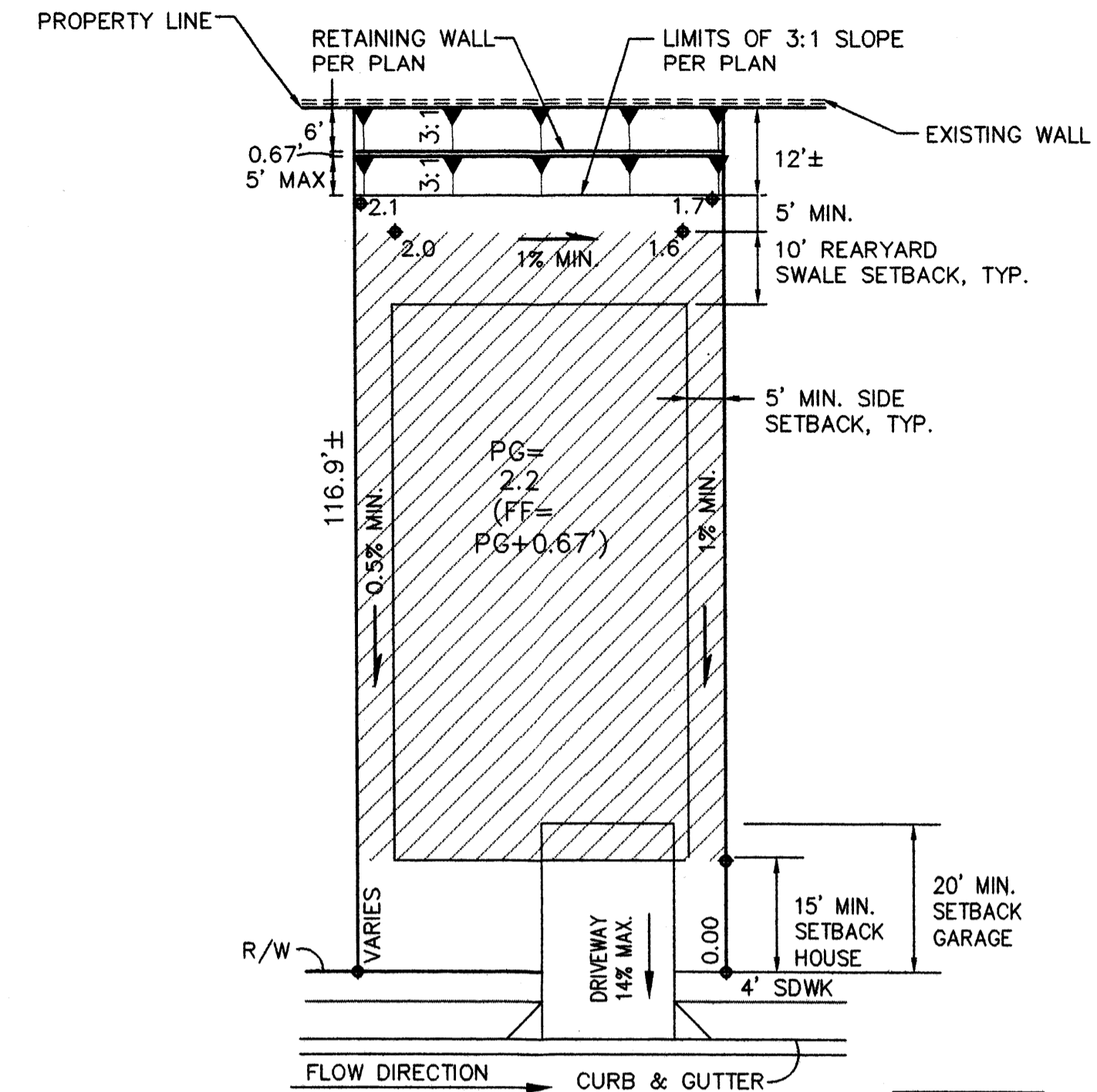
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico

1352PLIM.DWGonw 9/27/04



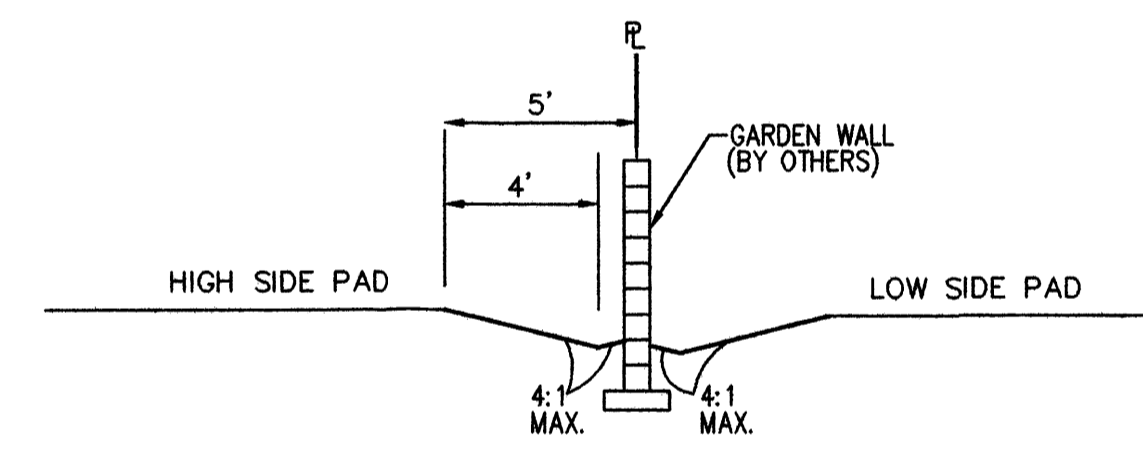
LOTS 1 & 2 AND 19-29
TYPICAL LOT GRADING
 SCALE: 1"=20'

COMPACTION ZONE--CONTRACTOR SHALL COMPACT SOILS IN THIS AREA TO A MINIMUM OF 95% COMPACTION PER ASTM D698, FOR A DEPTH OF 12 INCHES.

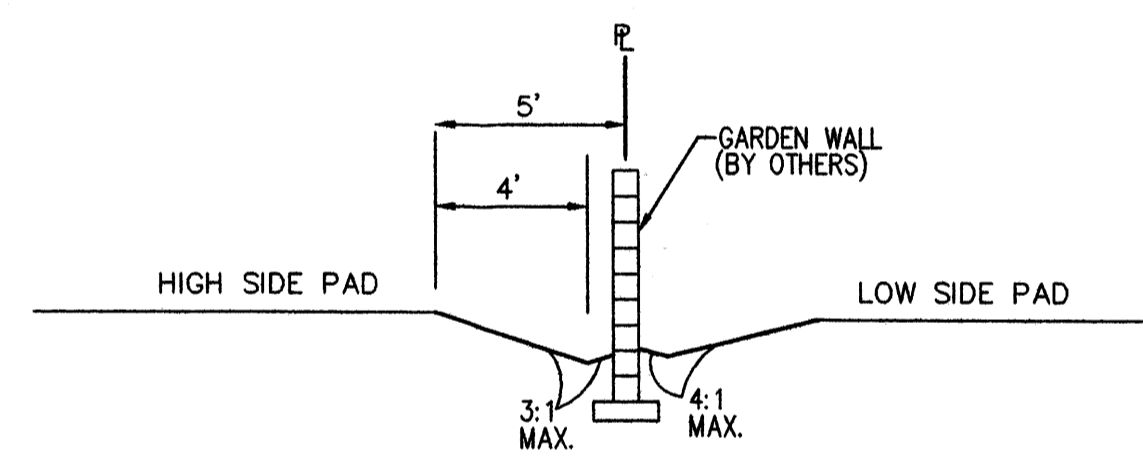


LOTS 3-18
TYPICAL LOT GRADING
 SCALE: 1"=20'

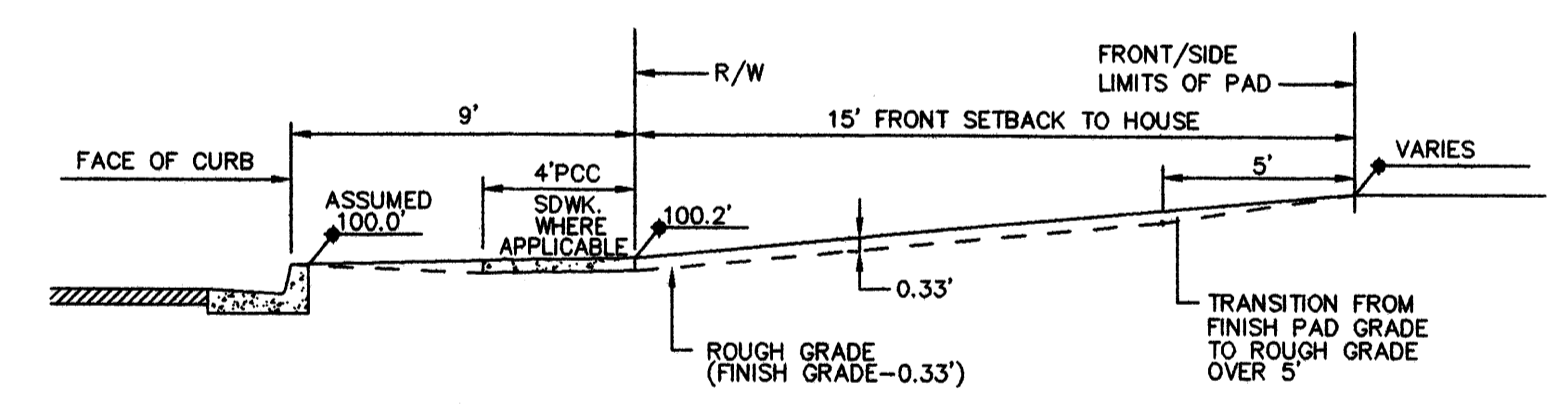
COMPACTION ZONE--CONTRACTOR SHALL COMPACT SOILS IN THIS AREA TO A MINIMUM OF 95% COMPACTION PER ASTM D698, FOR A DEPTH OF 12 INCHES.



LOTS 1 & 2 AND 19-29
TYPICAL SIDEYARD GRADING
 SCALE: 1"=5'



LOTS 3-18
TYPICAL SIDEYARD GRADING
 SCALE: 1"=5'

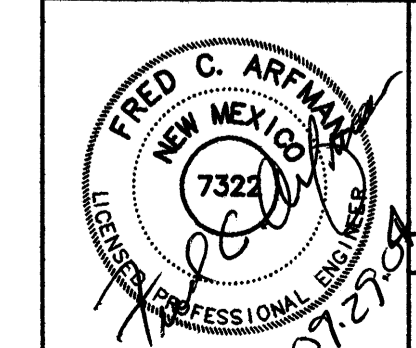


FRONT/SIDE YARD GRADING
 SCALE: 1"=5'-0"

GRADING NOTES:

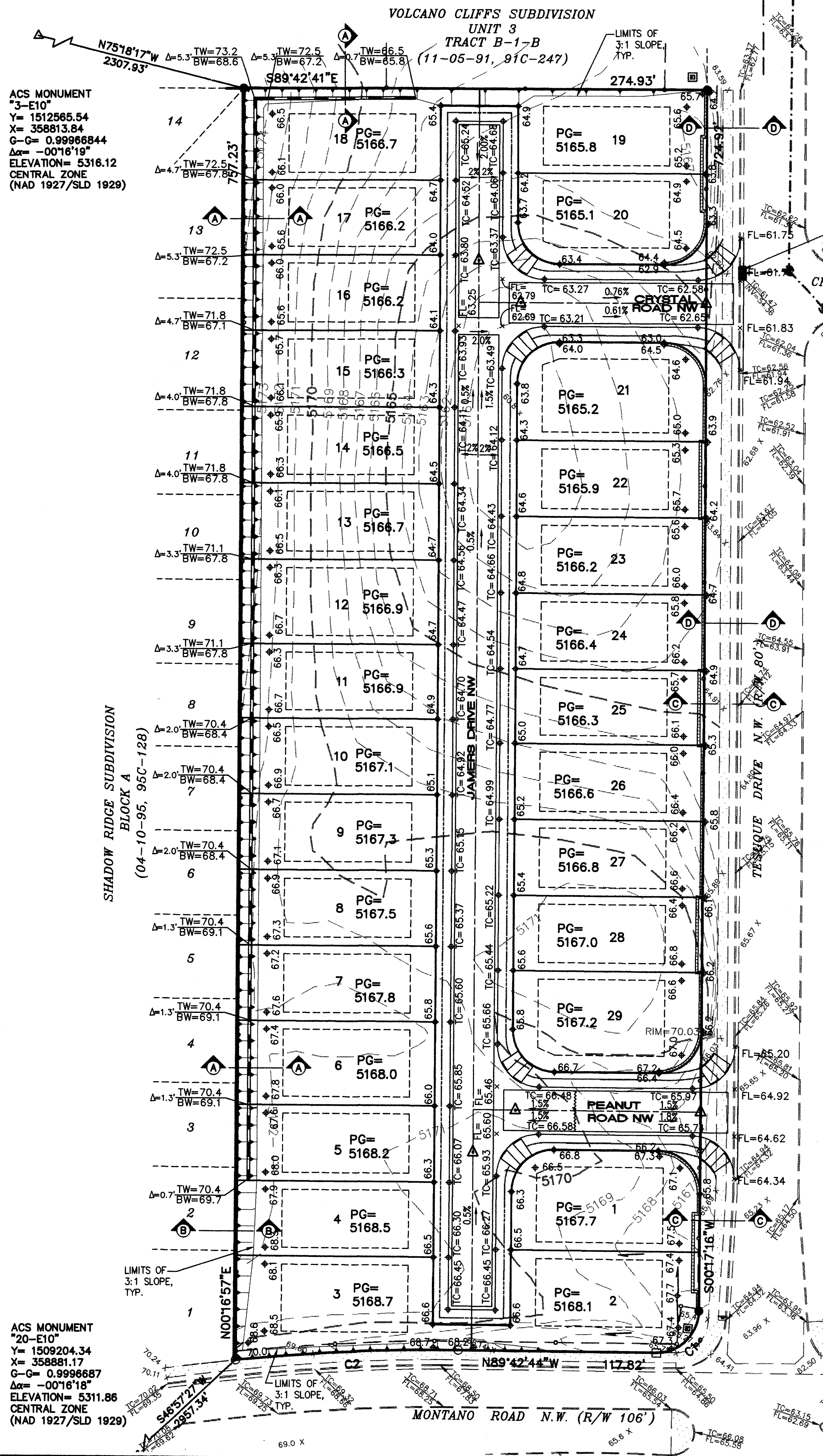
1. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
2. ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
3. EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
4. CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
5. SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
6. UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
7. MAXIMUM SLOPES SHALL BE 3:1 MINIMUM SLOPES SHALL BE 1%.
8. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
9. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
10. OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL EXPENSE.
11. OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.
12. OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.

SUNRISE RIDGE
GRADING DETAILS



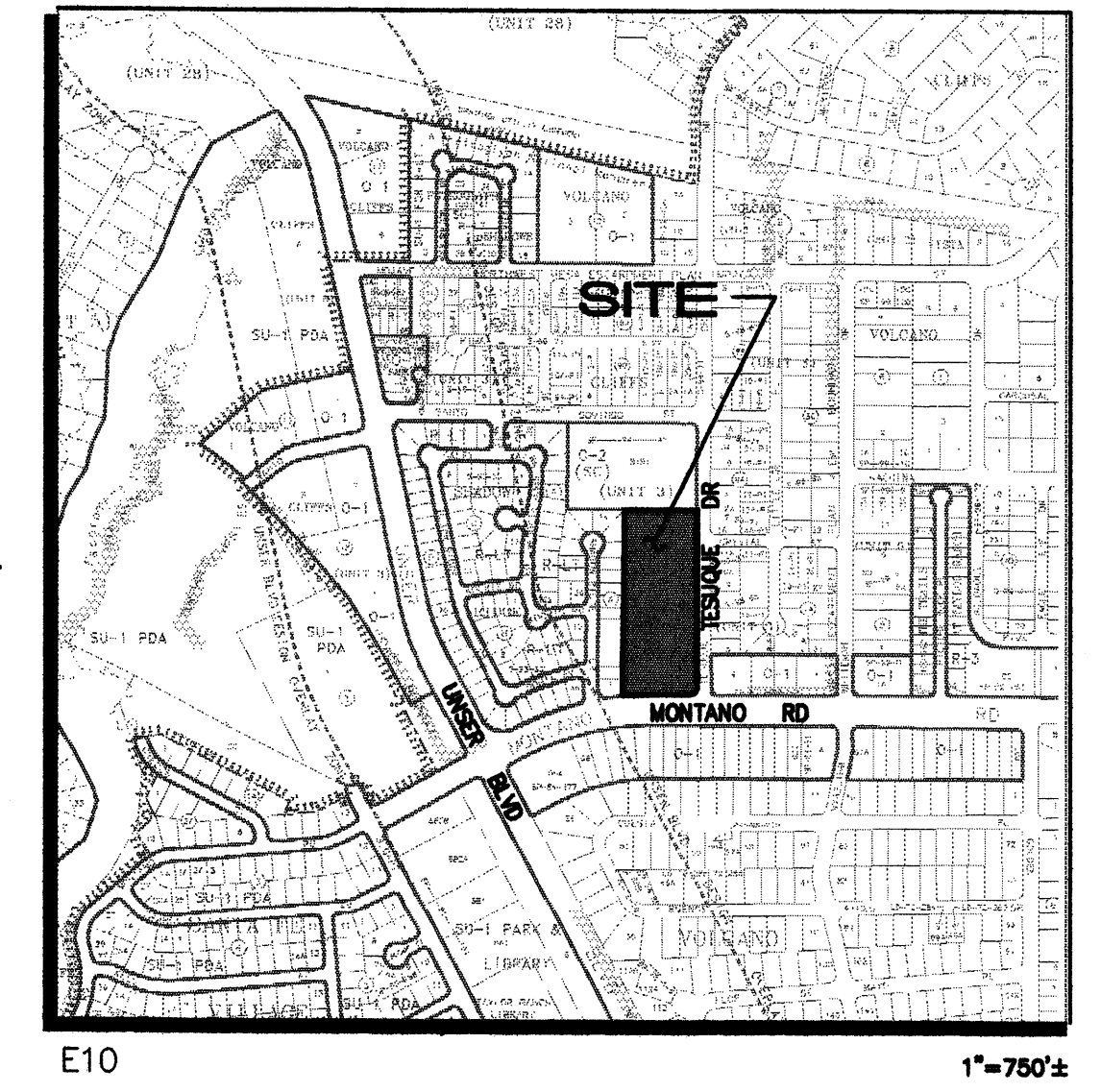
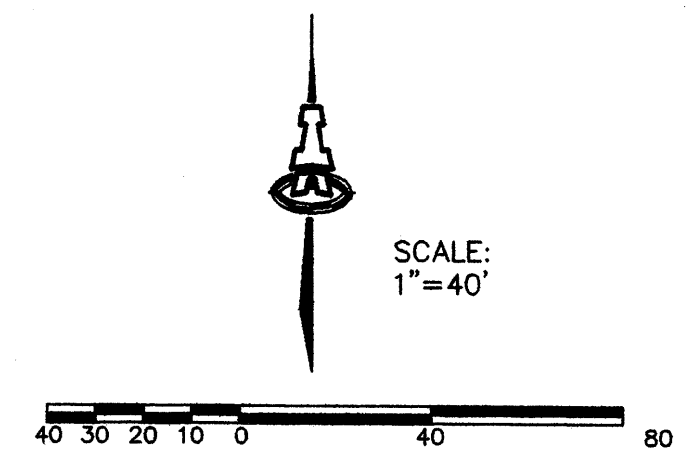
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 125 Monroe Street N.E.
 Albuquerque, New Mexico

1352GRD.DWGaw 9/28/04

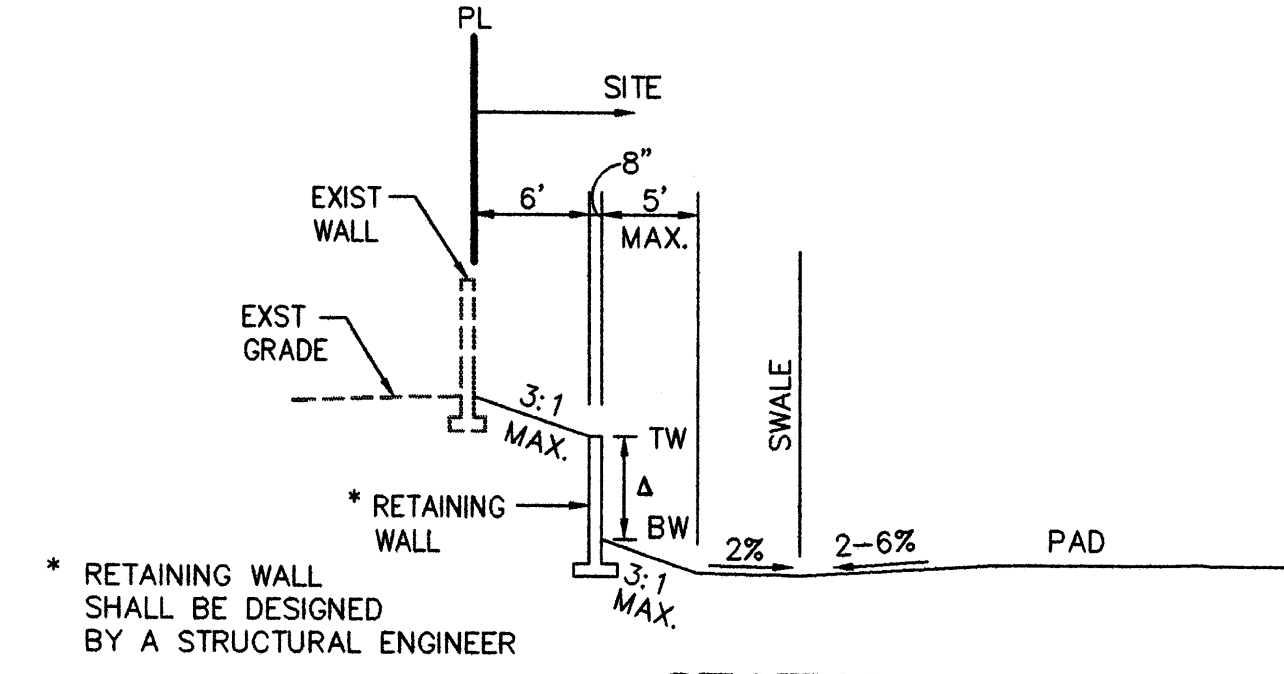


ACS MONUMENT
"3-E10"
Y= 1512565.54
X= 358613.84
G-C= 0.99968844
Δ= -00°16'19"
ELEVATION= 5316.12
CENTRAL ZONE
(NAD 1927/SLD 1929)

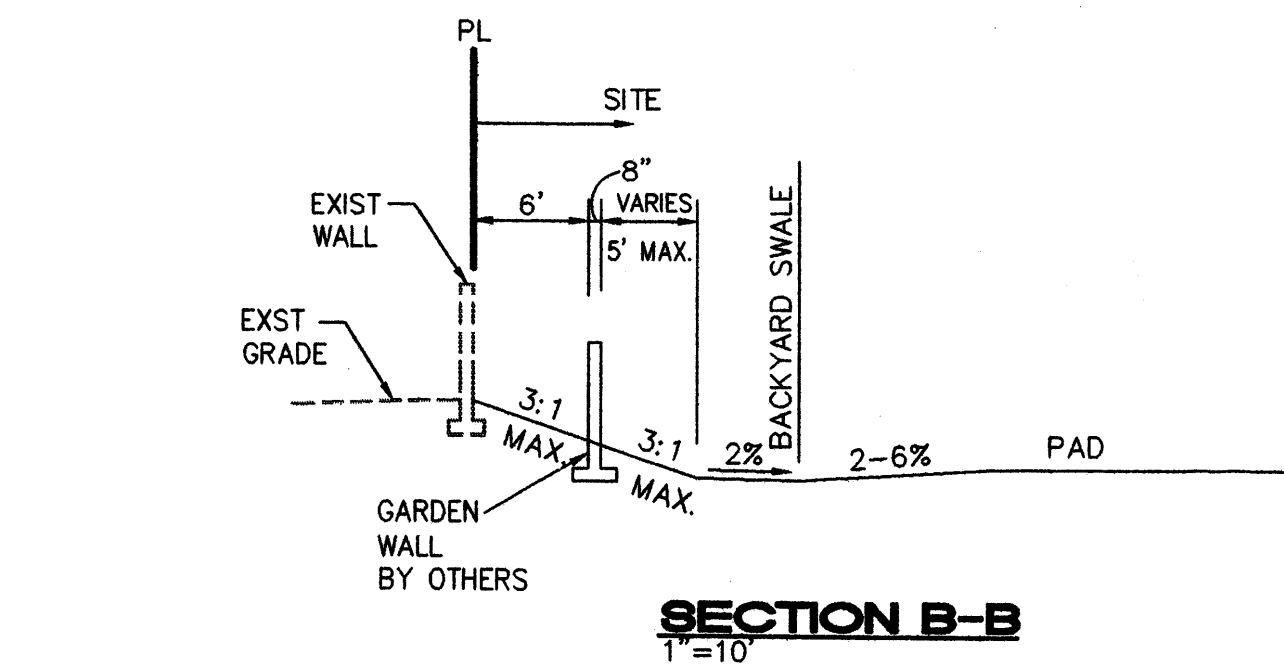
ACS MONUMENT
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Y= 1509204.34
X= 358861.17
G-C= 0.9996887
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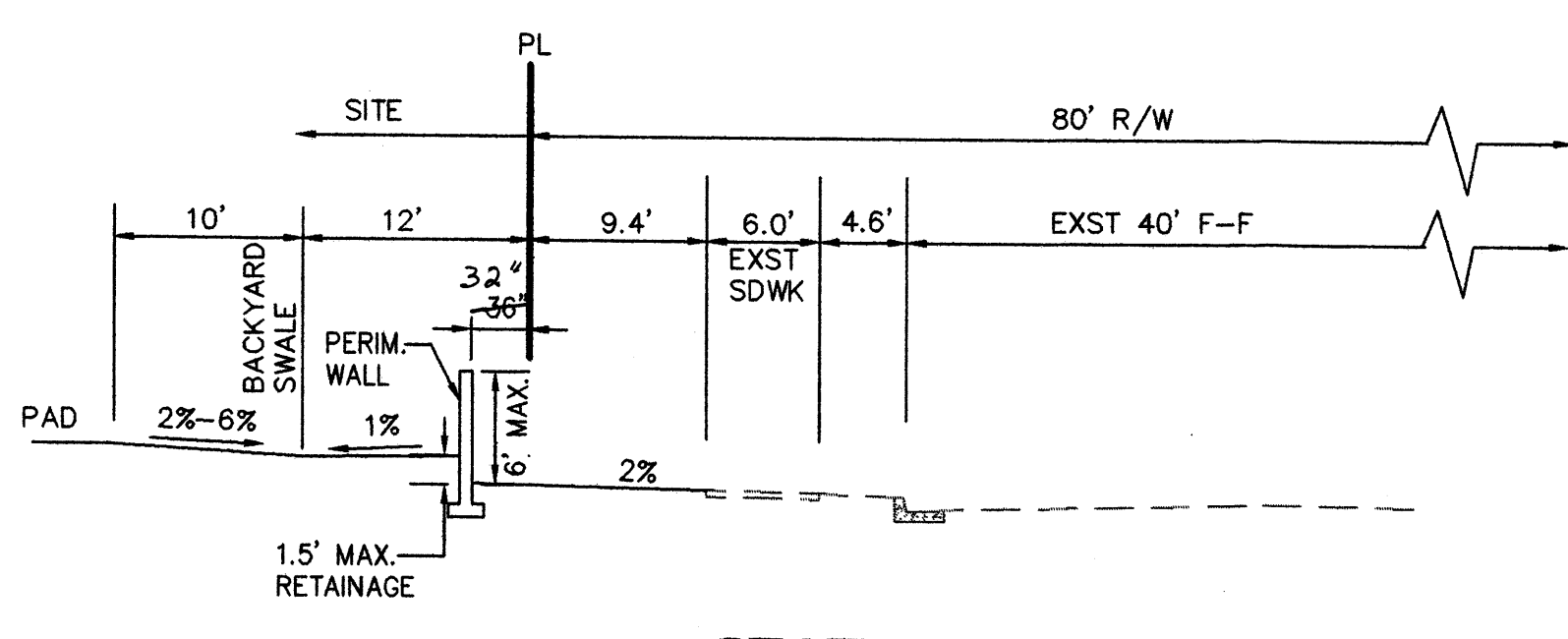
VICINITY MAP
1"=750'



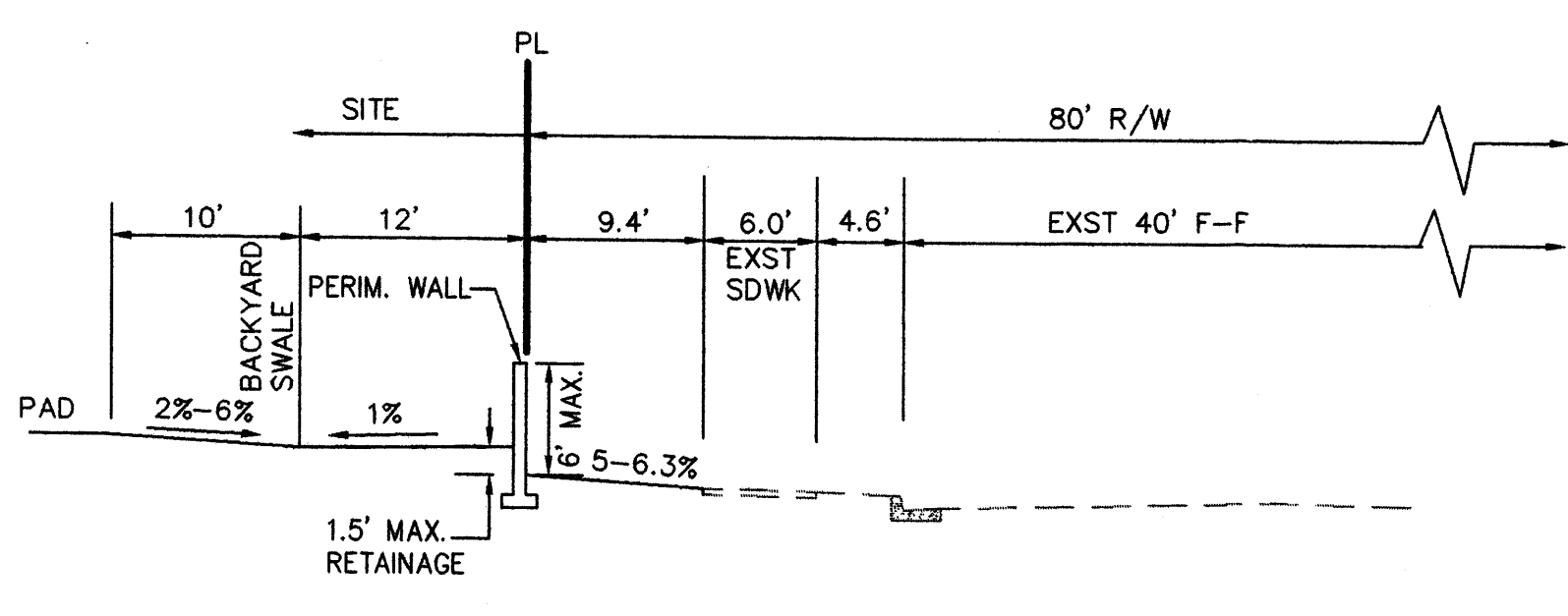
SECTION A-A
1"=10'



SECTION B-B
1"=10'



SECTION C-C
1"=10'



SECTION D-D
1"=10'

LEGAL DESCRIPTION
TRACT B-2, UNIT 3, VOLCANO CLIFFS SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 4, 1988, IN VOLUME C35, FOLIO 159.

ACS BENCHMARK
ACS MONUMENT "25-E10"
ELEVATION: 5162.57

SURVEY INFORMATION
DATE: AUGUST 2004
BY: TIM ALDRICH, ALDRICH LAND SURVEYING

LEGEND

— 5168 —	EXISTING CONTOUR
◆ 66.7	PROPOSED SPOT ELEVATION
PG=5167.9	PAD GRADE ELEVATION
TC=66.27	TOP OF CURB ELEVATION
FL=65.80	FLOWLINE ELEVATION
2.00%	STREET GRADE W/ FLOW DIRECTION
→	FLOW ARROW
▬	WATER BAR
▬	PROPOSED RETAINING WALL
TW=71.8 BW=67.8	TOP OF BOTTOM OF RETAINING WALL
▬	PROPOSED PERIMETER WALL

**SUNRISE RIDGE
GRADING & DRAINAGE PLAN**

	ISAACSON & ARFMAN, P.A. Consulting Engineering Associates 128 Monroe Street N.E. Albuquerque, New Mexico
1352GRD.DWGm 9/28/04	SHEET 1 OF 2