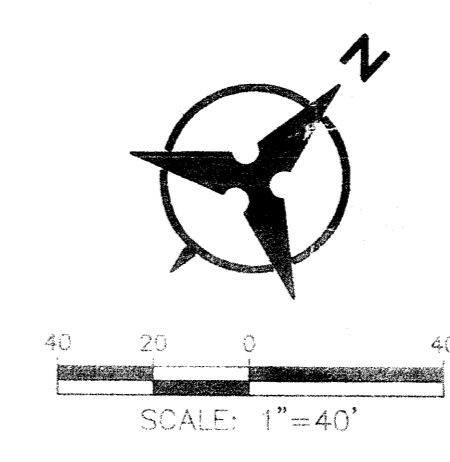


VICINITY MAP
 ZONE ATLAS PAGE F-16-2
 SCALE: 1"=800'

LEGAL DESCRIPTION
 TRACT 1-A2, 1B-1D, AND 1B-1E OF RENAISSANCE CENTER

NOTES:
 1. EXISTING EASEMENTS SHOWN ON THE PLAT TRACTS 1A-1, 1A-2 AND 1B-1 RENAISSANCE CENTER, ALBUQUERQUE, BERNILLO COUNTY NEW MEXICO, RECORDED DEC. 19, 1997 BOOK 97C, PG. 360 AND PLAT OF TRACTS 1B-1-A, 1B-1-B, 1B-1-C, 1B-1-D, 1B-1-E, 1B-1-F, 1B-1-G RENAISSANCE CENTER, ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO, RECORDED NOVEMBER 30, 2000 BOOK 2000C, PG. 301.

- KEYED NOTES:
- A. EXISTING PRIVATE ACCESS ROAD TO BE WIDENED FROM 30' TO 40'
 - B. MONUMENT SIGN- SEE DETAIL, SHEET 4E
 - C. BUILDING MOUNTED SIGNAGE, SEE DETAIL, SHEET 4E.
 - D. NEW 6" PUBLIC SIDEWALK PER CITY STANDARDS 026 G 2430
 - E. OUTDOOR BASKETBALL
 - F. CONCRETE SIDEWALK
 - G. CHILDREN'S PLAY AREA, INCLUDING OUTDOOR PLAY EQUIPMENT
 - H. CONCRETE PEDESTRIAN CROSSING OR PATHWAY
 - J. EXISTING SHARED PRIVATE ACCESS DRIVE
 - K. OUTDOOR PATIO
 - L. CMU SCREEN WALL, SEE DETAIL, SHEET 4E
 - M. PIPE GATE
 - N. COVERED PARKING SPACES, SEE SHEET 4E FOR DETAILS
 - O. EXISTING OFFICE BUILDING FOR APARTMENT COMPLEX
 - P. EXISTING APARTMENT BUILDING
 - Q. TEMPORARY SIGN TO BE USED FOR SPECIAL OCCASIONS ONLY, SEE DETAIL SHEET 4E. TO BE LOCATED ALONG THE FRONTAGE OF UNION WAY.
 - R. DUMPSTER ENCLOSURE, SEE DETAILS, SHEET 4E.
 - S. BIKE RACK AS PER DETAIL SHEET 4E.
 - T. PARKING LOT LIGHTING PER DETAIL SHEET 4E. LOCATION AND QUANTITY OF FIXTURES SHOWN IS APPROXIMATE.
 - U. FOUNTAIN, SEE DETAIL SHEET 4E
 - V. TREE WELLS, SEE LANDSCAPE PLAN
 - W. LOADING AREA
 - X. 6" CMU SCREEN WALL, SEE DETAIL SHEET 4E

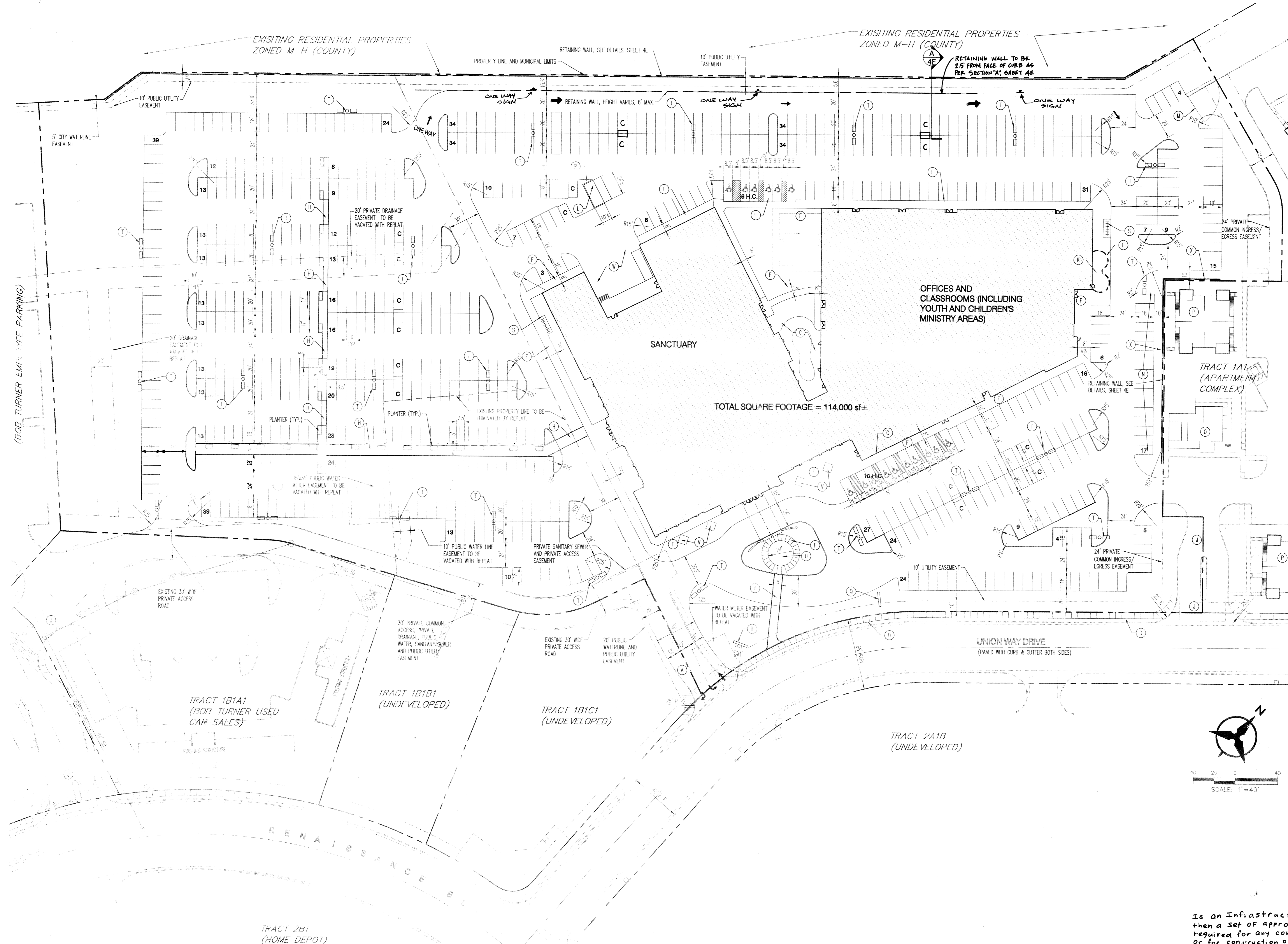


Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-way or for construction of Public Improvements.

PROJECT NUMBER: 04EPC-00684/685
 Application Number: DRB-04-01266
 DRB SITE DEVELOPMENT PLAN APPROVAL:

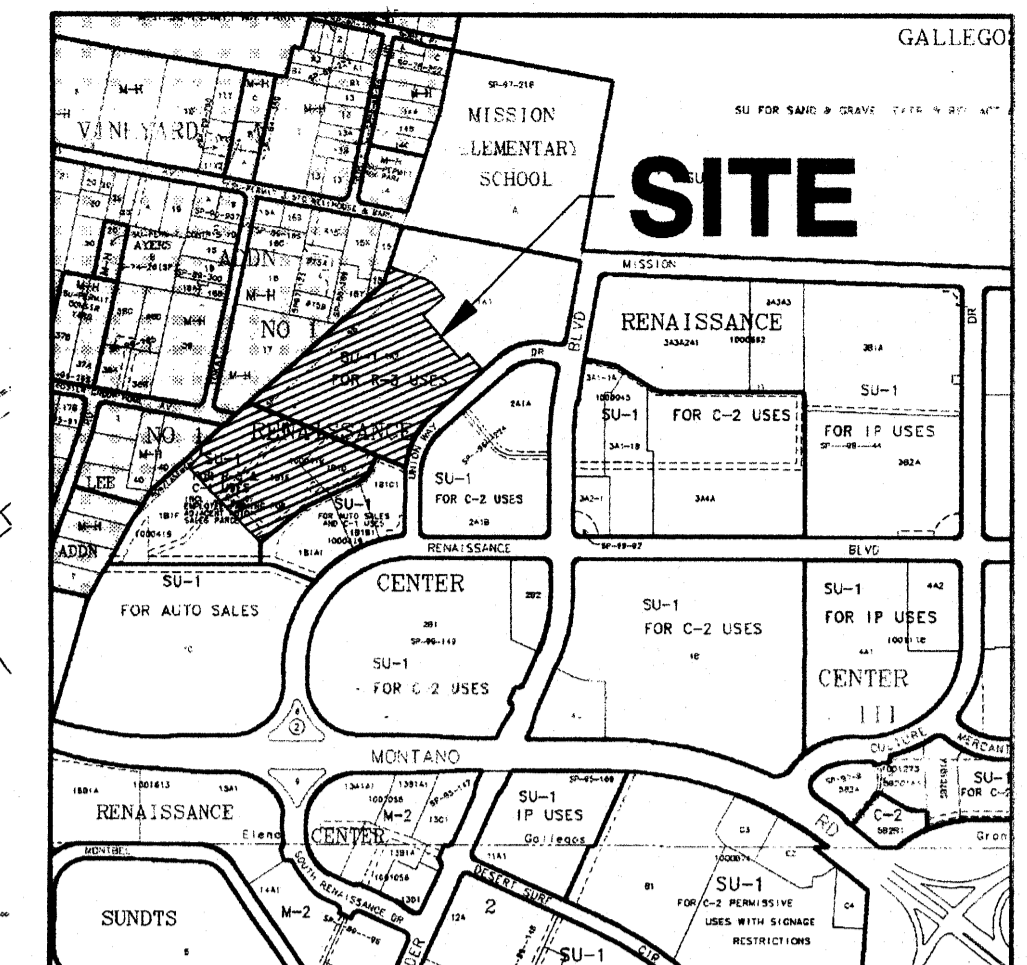
[Signature] 9-1-04 Date
 Traffic Engineering, Transportation Division
[Signature] 9-1-04 Date
 Utilities Department
 Christina Sandoval 9/1/04 Date
 Parks and Recreation Department
 Bradley S. Burghen 9/1/04 Date
 City Engineer
 N/A 9/1/04 Date
 * Environmental Health Department-(conditional)
 Michael Holton 8-16-04 Date
 Solid Waste Management
 Dawn Mateon 9/1/04 Date
 DRB Chairperson, Planning Department

PROJECT DATA	
Zoning (Existing)	= SU-1, R-3, C-1 and SU1 R-3
Zoning (Proposed)	= SU-1 for church & related uses
Site Area	= 12.56 Acres +/-
Building Area	= 114,000 sf ±
Parking Required	= 500 spaces (1 / 4 seats)
Parking Provided	= 500 (1 / 2.5 seats)
Compact Standard	= 16
Handicap	= 16 (required = 16)
Total	= 712
Bicycle Parking Required	= 25 (1 / 20 required spaces)
Bicycle Parking Provided	= 25 (1 / 20 required spaces)



\\050017\cadd\general\050017\master site.dwg
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 Layout1

PROJECT 1003421



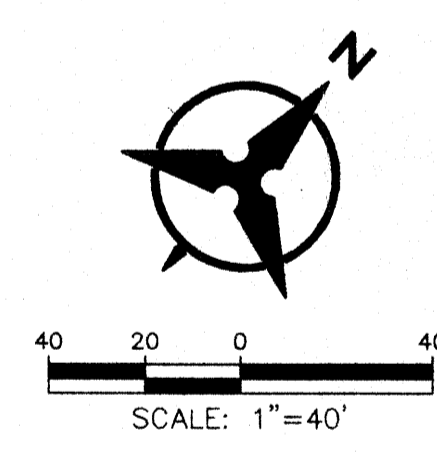
VICINITY MAP
 ZONE ATLAS PAGE F-16-Z
 SCALE: 1"=800'

LEGAL DESCRIPTION
 TRACT 1-A2, 1B-1D, AND 1B-1E OF RENAISSANCE CENTER

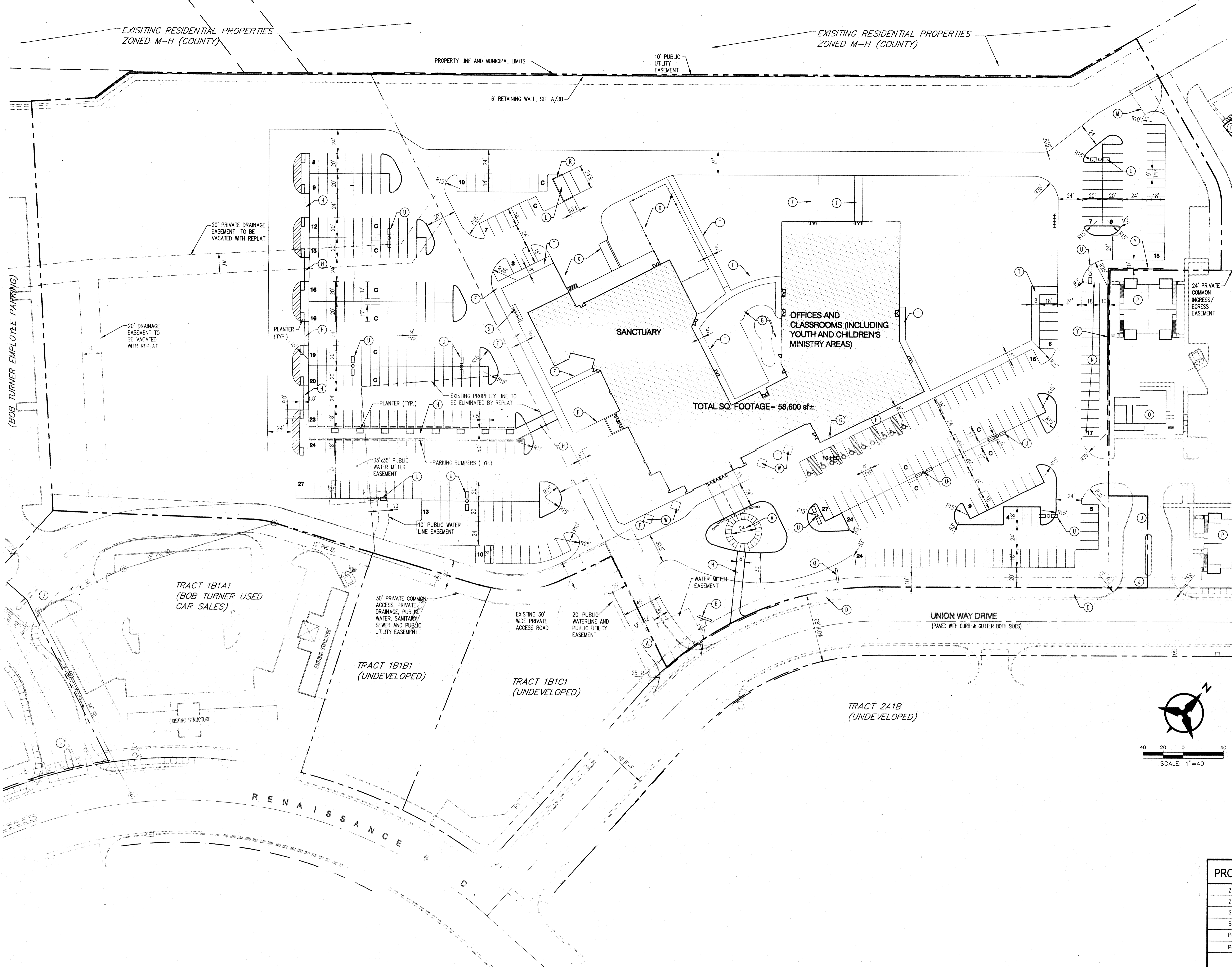
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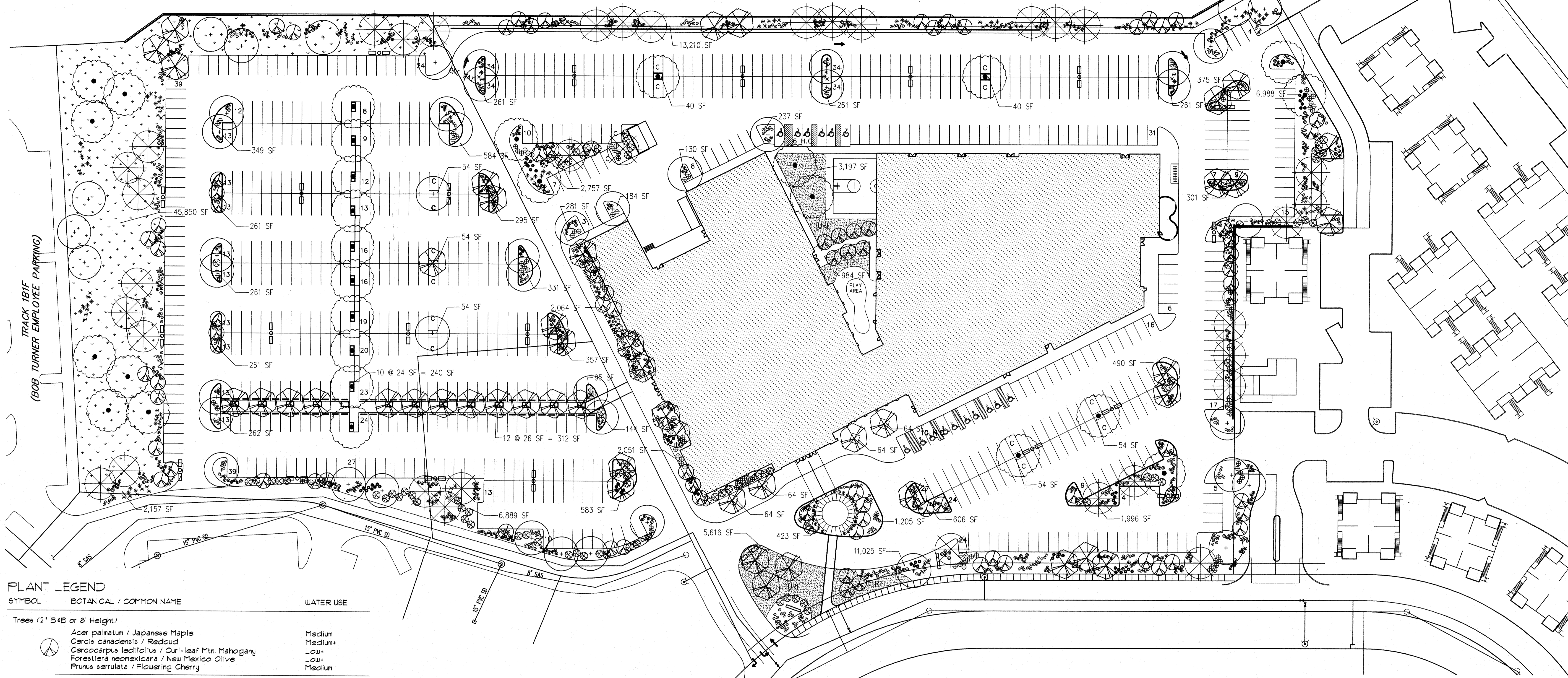
KEYED NOTES:

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- B. MONUMENT SIGN- SEE DETAIL, SHEET 4E
- C. BUILDING MOUNTED SIGNAGE, SEE DETAIL, SHEET 4E
- D. NEW 6' PUBLIC SIDEWALK PER CITY STANDARDS 0-6 2430
- E. NOT USED
- F. CONCRETE SIDEWALK
- G. CHILDREN'S PLAY AREA, INCLUDING OUTDOOR PLAY EQUIPMENT
- H. CONCRETE PEDESTRIAN CROSSING OR PATHWAY
- J. EXISTING SHARED PRIVATE ACCESS DRIVE
- K. SCREENED OUTDOOR STORAGE AREA W/ TEMPORARY PORTABLE STRUCTURES PAINTED TO MATCH BLDG. SEE SHEET 4E FOR SCREEN FENCE DETAIL.
- L. CMU SCREEN WALL, SEE DETAIL, SHEET 4E
- M. PIPE GATE
- N. COVERED PARKING SPACES, SEE SHEET 4E FOR DETAILS
- O. EXISTING OFFICE BUILDING FOR APARTMENT COMPLEX
- P. EXISTING APARTMENT BUILDING
- Q. TEMPORARY SIGN TO BE USED FOR SPECIAL OCCASIONS ONLY, SEE DETAIL SHEET 4E. TO BE LOCATED ALONG THE FRONTAGE OF UNION WAY.
- R. DUMPSTER ENCLOSURE, SEE DETAILS, SHEET 4E.
- S. BIKE RACK AS PER DETAIL SHEET 4E.
- T. TEMPORARY ASPHALT PEDESTRIAN PATH
- U. PARKING LOT LIGHTING PER DETAIL SHEET 4E. LOCATION AND QUANTITY OF FIXTURES SHOWN IS APPROXIMATE.
- V. FOUNTAIN, SEE DETAIL SHEET 4E
- W. TREE WELLS, SEE LANDSCAPE PLAN
- X. LOADING AREA
- Y. 6' CMU SCREEN WALL, SEE DETAIL, SHEET 4E



PROJECT DATA PHASE I	
Zoning (Existing)	SU-1, R-3
Zoning (Proposed)	= SU-1 for church & related uses
Site Area	= 12.56 Acres +/-
Building Area	= 58,600 sf ±
Parking Required	= 250 (1 / 4 seats)
Parking Provided	= 403 (1 / 2.5 seats)
Compact	= 12
Standard	= 383
Handicap	= 10 (required = 9)
Total	= 4043
Bicycle Parking Required	= 13 (1 / 20 required spaces)
Bicycle Parking Provided	= 13 (1 / 20 spaces)





PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	WATER USE
Trees (2" B4B or 8' Height)		
⊗	<i>Acer palmatum</i> / Japanese Maple	Medium
⊗	<i>Cercis canadensis</i> / Redbud	Medium
⊗	<i>Cercocarpus lepidifolius</i> / Curl-leaf Mtn. Mahogany	Low+
⊗	<i>Forestiera neomexicana</i> / New Mexico Olive	Low+
⊗	<i>Prunus serrulata</i> / Flowering Cherry	Medium
⊗	<i>Crataegus phaenopyrum</i> / Washington Hawthorne	Medium
⊗	<i>Chilopsis linearis</i> 'Luc. Ham.' / Desert Willow	Low+
⊗	<i>Ginkgo biloba</i> / Ginkgo	Medium
⊗	<i>Koelreuteria paniculata</i> / Goldenrain Tree	Medium
⊗	<i>Ficus elleryana</i> 'Bradford' / Bradford Pear	Medium+
⊗	<i>Vauquellina californica</i> / Arizona Rosewood	Low+
⊗	<i>Vitex agrus-castus</i> / Chaste tree	Medium
⊗	<i>Fraxinus velutina</i> 'Modesto' / Modesto Ash	Medium
⊗	<i>Fraxinus oxycarpa</i> 'Raywood' / Raywood Ash	Medium+
⊗	<i>Gleditsia triacanthos</i> 'Moraine' / Honey Locust 'Moraine'	Medium
⊗	<i>Robinia</i> 'Purple Robe' / Purple Robe Locust	Medium
⊗	<i>Tilia cordata</i> / Little-leaf Linden	Medium
⊗	<i>Pistachia chinensis</i> / Chinese Pistache	Medium+
⊗	<i>Platanus occidentalis</i> / Sycamore	Medium
⊗	<i>Quercus macrocarpa</i> / Burr Oak	Medium+
⊗	<i>Picea pungens</i> / Blue Spruce	Medium
⊗	<i>Pinus leucodermis</i> / Bosnian Pine	Medium
⊗	<i>Pinus nigra</i> / Austrian Pine	Medium
Shrubs (1 and 5 gallon)		
⊗	<i>Artemisia 'Fovis Castle'</i> / Fovis Castle Sage	Low+
⊗	<i>Santolina</i> sp. / Santolina	Low
⊗	<i>Opuntia santaritica</i> / Prickley Pear	Low
⊗	<i>Rosmarinus officinalis</i> / Rosemary	Low+
⊗	<i>Caryopteris clandestina</i> / Blue Mist	Medium
⊗	<i>Ericameria laricifolia</i> / Dwarf Turpentine Bush	Medium
⊗	<i>Hesperaloe parviflora</i> / Red Yucca	Medium
⊗	<i>Nandina domestica</i> / Nandina	Medium
⊗	<i>Rhapidolepisis indica</i> / Indian Hawthorne	Medium+
⊗	<i>Potentilla fruticosa</i> / Yellow Cinquefoil	Medium+
⊗	<i>Salvia greggii</i> / Cherry Sage	Medium
⊗	<i>Chrysothamnus nauseosus</i> / Chamisa	Low
⊗	<i>Fallugia paradoxa</i> / Apache Plume	Low
⊗	<i>Berberis species</i> / Barberry	Medium
⊗	<i>Cotoneaster apiculatus</i> / Cranberry Cotoneaster	Medium
⊗	<i>Peroevskia arhipicifolia</i> / Russian Sage	Medium
⊗	<i>Cotoneaster lacteus</i> / Farney Cotoneaster	Medium
⊗	<i>Forsythia species</i> / Forsythia	Medium
⊗	<i>Mahonia aquifolium</i> / Dwarf Mahonia	Medium
⊗	<i>Spartium junceum</i> / Spanish Broom	Medium
⊗	<i>Juniperus sabinia</i> 'Buffalo' / Buffalo Juniper (female)	Low+
⊗	<i>Oenothera bielandieri</i> / Evening Primrose	Low+

Ornamental Grasses (1 and 5 gallon)		
⊗	<i>Stipa tenuissima</i> / Threadgrass	Low+
⊗	<i>Muhlenbergia capillaris</i> / Bush Muhly Grass	Medium
Turf Grasses (sod)		
⊗	<i>Poa pratensis</i> / Bluegrass	High+
Vines (1 gallon)		
⊗	<i>Hedera helix</i> / English Ivy	Medium+
⊗	<i>Parthenocissus tricuspidata</i> / Boston Ivy	Medium+
⊗	<i>Wisteria sinensis</i> / Wisteria	Medium+
⊗	Native Revegetation Seed Mix (45,850 SF) Buffalo Grass, Blue Grama Grass, Sideoats Grama, Indian Ricegrass, Galleta, Paperflower, Firewheel, Purple Aster, Purple Coneflower, Mexican Hat	
⊗	Moss Rock Boulder (2" min. dia.)	

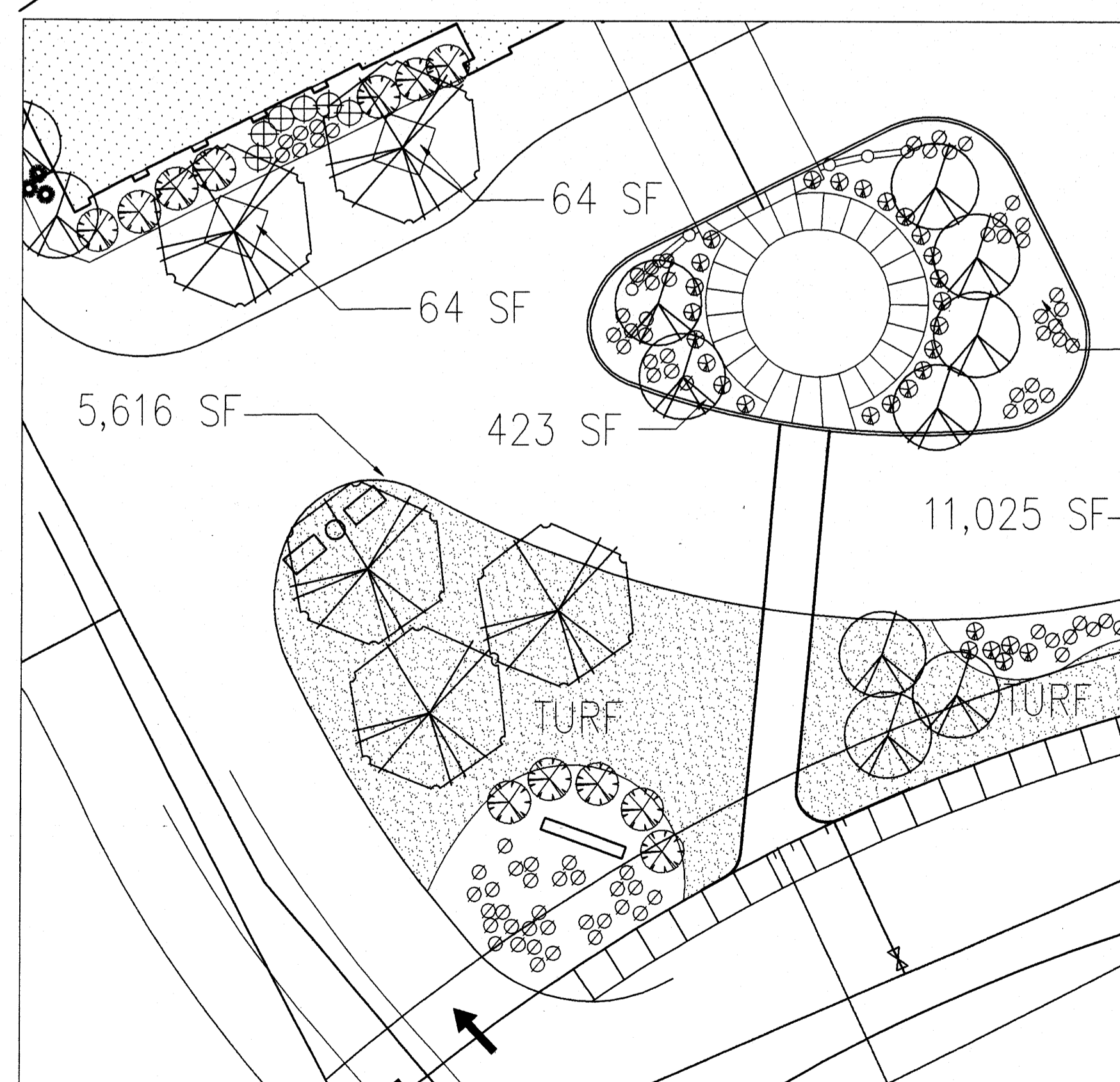
MULCHES
All shrub planting areas shall be top dressed with crusher fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Cobble

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

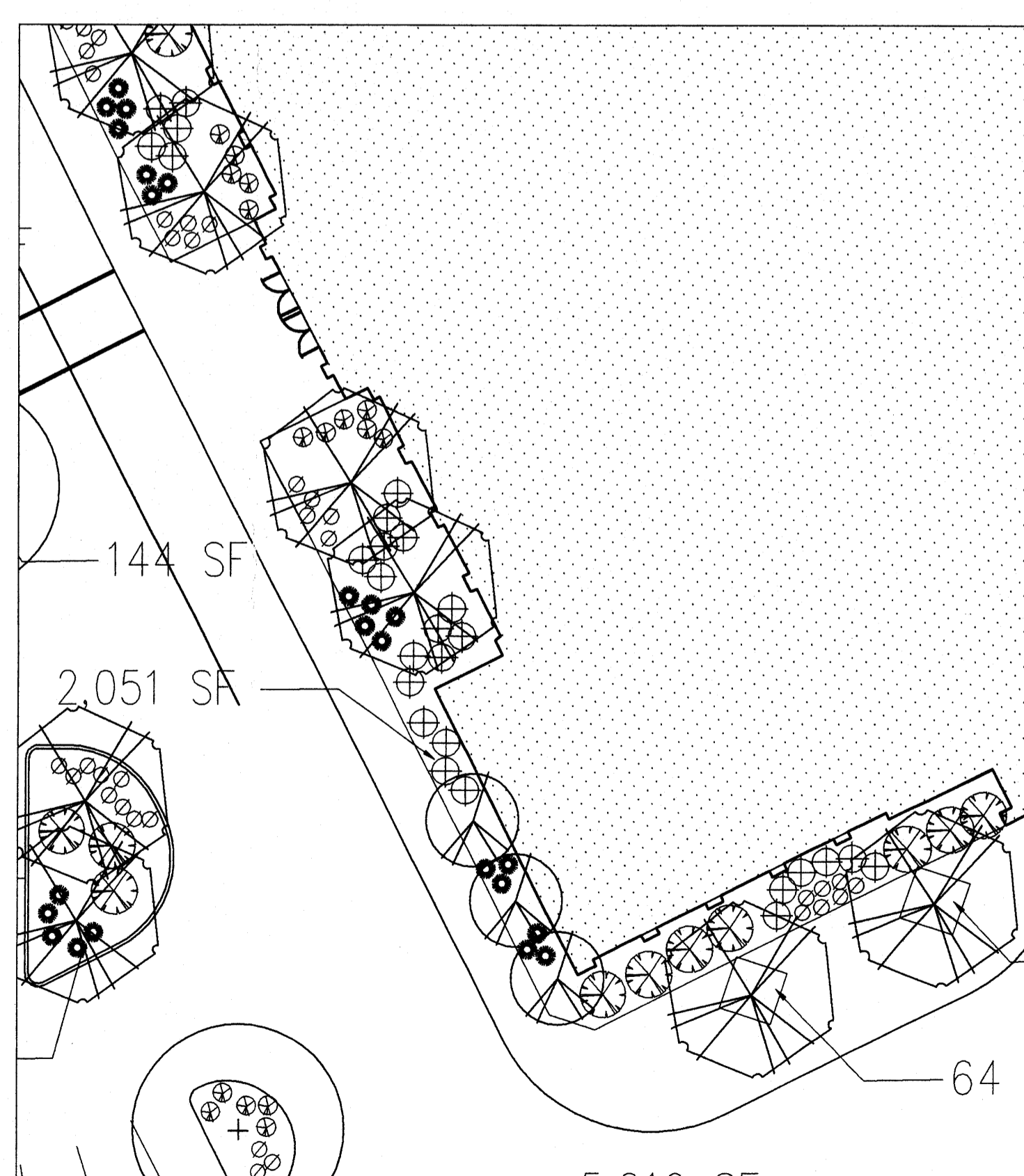
MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

LANDSCAPE REQUIREMENTS		
Site Area:	12.56 acres	547,103 SF
Building Footprint:		114,000 SF
Total Area:		433,103 SF
Required Landscape %:		15
Landscape Area Required:		64,965 SF
Landscape Area Provided:		(271) 115,372 SF



TYPICAL LANDSCAPE AT ENTRY
Scale 1" = 20'



TYPICAL LANDSCAPE ALONG BUILDING
Scale 1" = 20'

Scale 1" = 40'



CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
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e-mail: cp@consensusplanning.com

Bohannon & Huston
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1700 Jefferson Bl. NE Albuquerque, NM 87109-4888
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William B. Livingston, AIA
Architect
Site To Far/Far
10575 Katy Fry
Houston, TX 77024
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Fax (713) 463-9415

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Architect: JOHN A. RHEBERGEN
Registration No.: TX 10771
Expiration Date: 31 JUL 2004
Issue Date: 26 JAN 2004

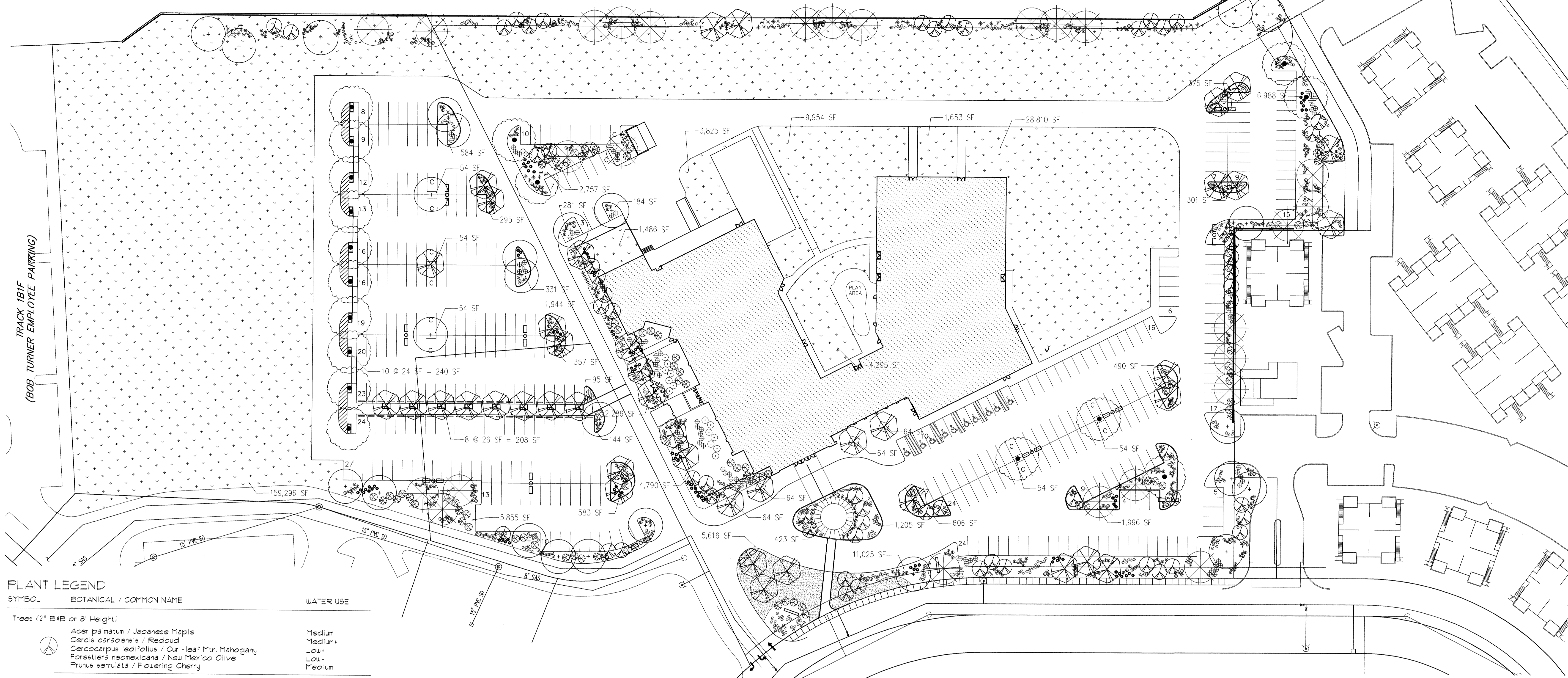
FIRST FAMILY CHURCH
ALBUQUERQUE, NEW MEXICO

MASTER LANDSCAPE PLAN
JOB NO. 0983.350
DATE 8/27/04
DRAWN LF
CHECKED CG
2A
ISSUED FOR REVIEW ONLY

P:\01_Projects\1373_First Family Church\ACAD\Site & LS Plans\LS Plans\27.04\Master LS Plan.dwg
August 27, 2004 - 11:33am
Master LS plan

EXISTING RESIDENTIAL PROPERTIES
ZONED M-H (COUNTY)

EXISTING RESIDENTIAL PROPERTIES
ZONED M-H (COUNTY)



SYMBOL	BOTANICAL / COMMON NAME	WATER USE
Trees (2" B&B or 8' Height)		
⊗	Acer palmatum / Japanese Maple	Medium
⊗	Cercis canadensis / Redbud	Medium+
⊗	Cercocarpus ledifolius / Curl-leaf Mtn. Mahogany	Low+
⊗	Forsteria neomexicana / New Mexico Olive	Low+
⊗	Prunus serrulata / Flowering Cherry	Medium
⊗	Crataegus phaeocorym / Washington Hawthorne	Medium
⊗	Chilopsis linearis 'Luc. Ham.' / Desert Willow	Low+
⊗	Ginkgo biloba / Ginkgo	Medium
⊗	Koeleria paniculata / Goldenrain Tree	Medium
⊗	Fyrus californica 'Bradford' / Bradford Pear	Medium+
⊗	Vauquelinia californica / Arizona Rosewood	Low+
⊗	Vitex agnus-castus / Chaste tree	Medium
⊗	Fraxinus velutina Modesto / Modesto Ash	Medium
⊗	Fraxinus oxycarpa Raywood / Raywood Ash	Medium+
⊗	Gleditsia triacanthos Moraine / Honey Locust Moraine	Medium
⊗	Robinia 'Purple Robe' / Purple Robe Locust	Medium
⊗	Tilia cordata / Little-leaf Linden	Medium
⊗	Pistachia chinensis / Chinese Pistache	Medium+
⊗	Platanus occidentalis / Sycamore	Medium+
⊗	Quercus macrocarpa / Burr Oak	Medium+
⊗	Picea pungens / Blue Spruce	Medium
⊗	Pinus leucodermis / Bosnian Pine	Medium
⊗	Pinus nigra / Austrian Pine	Medium
Shrubs (1 and 5 gallon)		
⊗	Artemisia 'Fovis Castle' / Fovis Castle Sage	Low+
⊗	Santolina sp. / Santolina	Low
⊗	Opuntia santaritica tupa / Prickley Pear	Low
⊗	Rosmarinus officinalis / Rosemary	Low+
⊗	Caryopteris clandonensis / Blue Mist	Medium
⊗	Ericameria laricifolia / Dwarf Turpentine Bush	Medium
⊗	Hesperaloe parviflora / Red Yucca	Medium
⊗	Nandina domestica / Nandina	Medium
⊗	Rhapidolepis indica / Indian Hawthorne	Medium+
⊗	Potentilla fruticosa / Yellow Cinquefoil	Medium+
⊗	Salvia greggii / Cherry Sage	Medium
⊗	Chrysothamnus nauseosus / Chamisa	Low
⊗	Fallugia paradoxa / Apache Plume	Low
⊗	Berberis species / Barberry	Medium
⊗	Cotoneaster apiculatus / Cranberry Cotoneaster	Medium
⊗	Perovskia atriplicifolia / Russian Sage	Medium
⊗	Cotoneaster lacteus / Raney Cotoneaster	Medium
⊗	Forsythia species / Forsythia	Medium
⊗	Mahonia aquifolium / Dwarf Mahonia	Medium
⊗	Spartium junceum / Spanish Broom	Medium
⊗	Juniperus sabina 'Buffalo' / Buffalo Juniper (female)	Low+
⊗	Oenothera bielandieri / Evening Primrose	Low+

SYMBOL	BOTANICAL / COMMON NAME	WATER USE
Ornamental Grasses (1 and 5 gallon)		
⊗	Stipa tenuissima / Threadgrass	Low+
⊗	Muhlenbergia capillaris / Bush Muhly Grass	Medium
Turf Grasses (500)		
⊗	Poa pratensis / Kentucky Bluegrass	High+
Vines (1 gallon)		
⊗	Hedera helix / English Ivy	Medium+
⊗	Parthenocissus tricuspidata / Boston Ivy	Medium+
⊗	Wisteria sinensis / Wisteria	Medium+
⊗	Native Revegetation Seed Mix (200,000 SF) Buffalo Grass, Blue Grama Grass, Sideoats Grama, Indian Ricegrass, Galleta, Paperflower, Firewheel, Purple Aster, Purple Coneflower, Mexican Hat	
⊗	Moss Rock Boulder (2' min. dia.)	

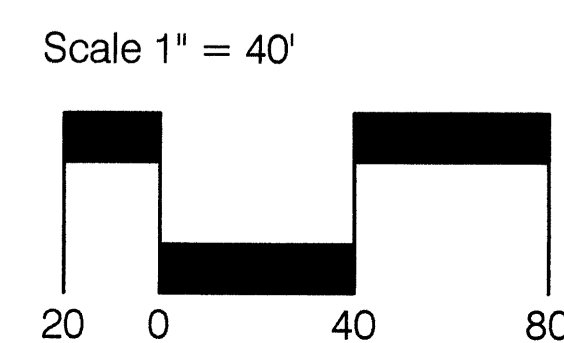
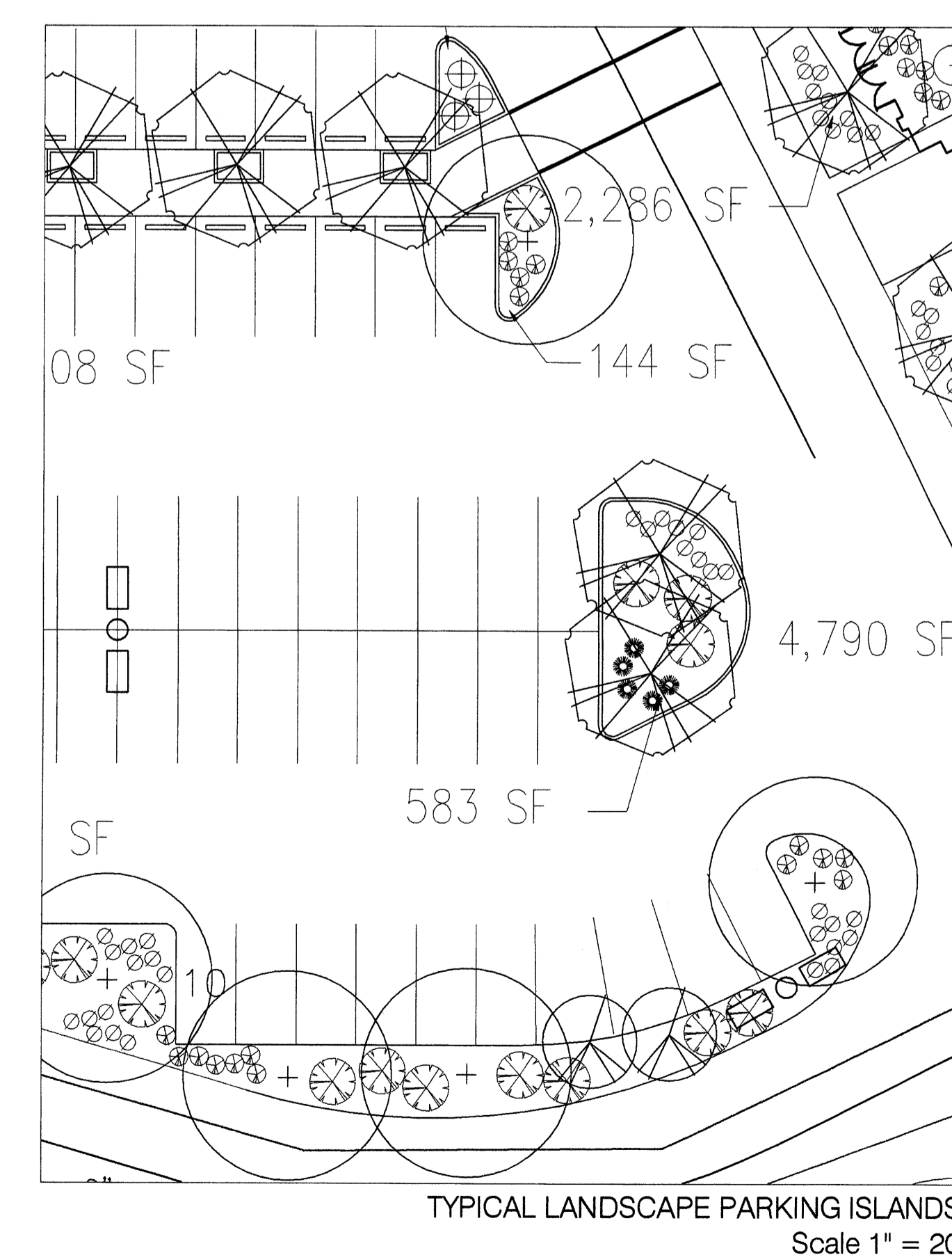
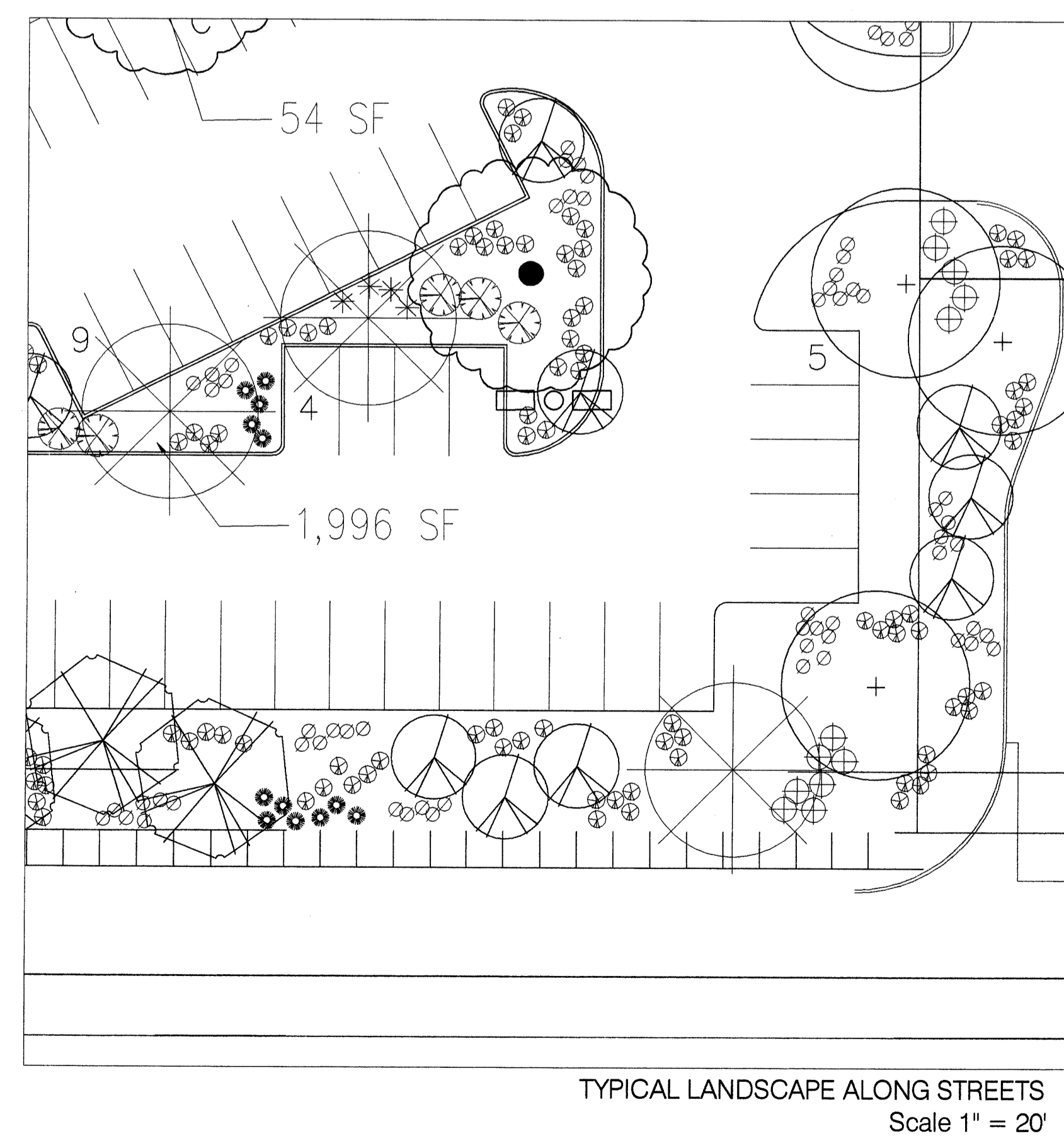
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MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

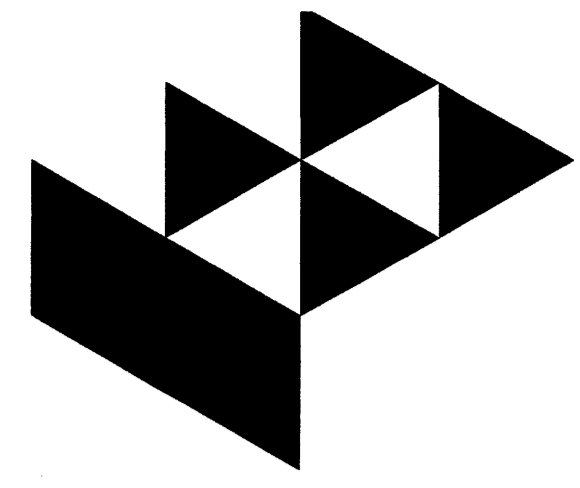
STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

LANDSCAPE REQUIREMENTS		
Site Area: 12.56 acres	541,103 SF	
Building Footprint:	58,800 SF	
Total Area:	488,503 SF	
Required Landscape %:	15	
Landscape Area Required:	73,276 SF	
Landscape Area Provided:	(53%) 259,804 SF	



CONSENSUS PLANNING, INC.
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e-mail: cp@consensusplanning.com

Bohannon & Huston
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William B. Livingston, AIA

Architect
Sally Van Deyn-Fay
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Fax (713) 463-9415



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Registration No.: TX 10771
Expiration Date: 31 JUL 2004
Issue Date: 26 JAN 2004

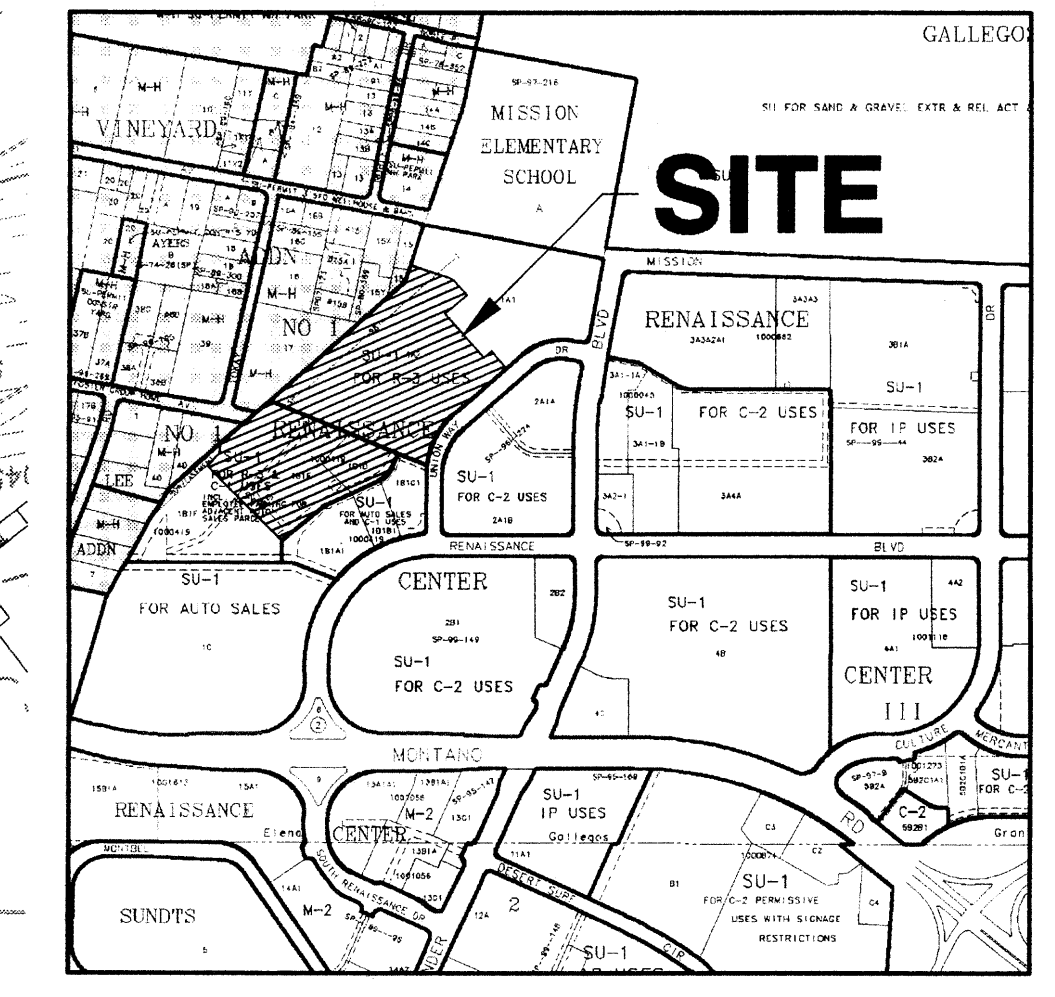
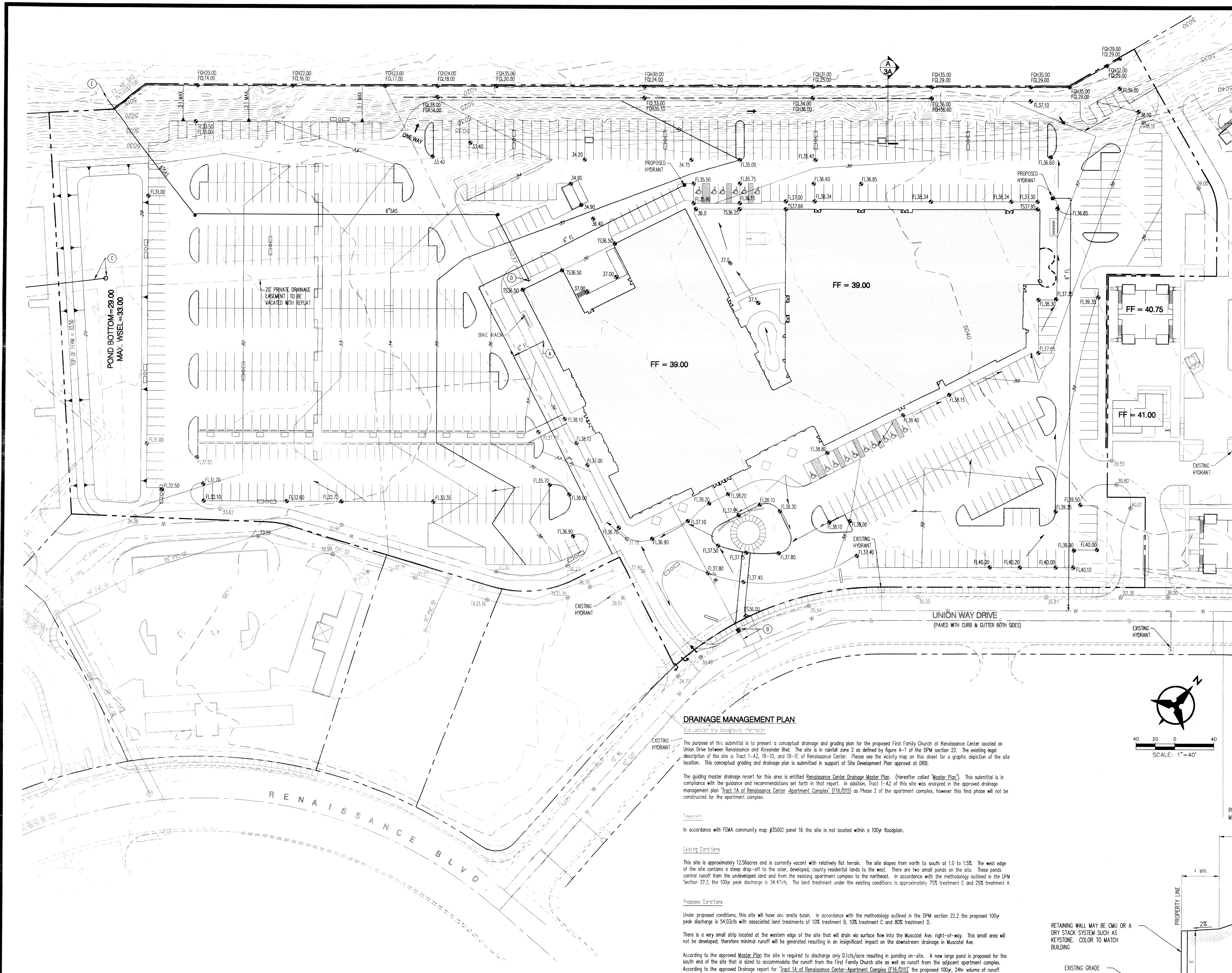
FIRST FAMILY CHURCH
ALBUQUERQUE, NEW MEXICO

PHASE I
LANDSCAPE PLAN

JOB NO. 0983.350
DATE 8/27/04
DRAWN LF
CHECKED CG

2B

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VICINITY MAP
ZONE ATLAS PAGE F-16-Z

LEGAL DESCRIPTION
TRACT 1-A2, 1B-10, AND 1B-1E OF RENAISSANCE CENTER

LEGEND

---	PROPERTY LINE
---	RETAINING WALL
---	EXISTING CONTOUR
---	PROPOSED INDEX CONTOUR
---	PROPOSED INTERMEDIATE CONTOUR
●	EXISTING SPOT ELEVATION
○	PROPOSED SPOT ELEVATION
FL	FINISHED GROUND LOW SIDE
FG	FINISHED GROUND HIGH SIDE
---	DIRECTION OF FLOW
---	SLOPE SYMBOL
EX. WL	EXISTING WATERLINE W/ HYDRANT & VALVE
EX. SAS	EXISTING SAS W/ MANHOLE
SAS	PROPOSED SAS
CO	PROPOSED CLEANOUT
---	PROPOSED WATERLINE
---	PROPOSED VALVE
---	PROPOSED REDUCER
FL	PROPOSED FIRE LINE
---	PROPOSED HYDRANT
SD	PROPOSED STORM DRAIN
EX. SD	EXISTING STORM DRAIN & MANHOLE

- KEYED NOTES:**
- 6" FIRE LINE FOR BUILDING SPRINKLER SYSTEM
 - NEW 2" DOMESTIC WATER SERVICE LINE & METER
 - EXISTING STORM DRAIN LINE & MANHOLE W/ BEEHIVE GRATE
 - NEW 6" SAS SERVICE
 - THE NEW SAS SERVICE LINE TO EXISTING 48" INTERCEPT AT EXISTING MANHOLE. SERVICE LINE SHALL HAVE AN INVERTED Siphon FOR SEWER GAS CONTROL.

DRAINAGE MANAGEMENT PLAN

The purpose of this submittal is to present a conceptual drainage and grading plan for the proposed First Family Church at Renaissance Center located on Union Drive between Renaissance and Alameda Blvd. The site is in rainfall zone 2 as defined by Figure A-1 of the DPM section 22. The existing local description of the site is Tract 1-A2, 1B-10, and 1B-1E of Renaissance Center. Please see the vicinity map on this sheet for a graphic depiction of the site location. This conceptual grading and drainage plan is submitted in support of Site Development Plan approval at DRB.

The guiding master drainage report for this area is entitled Renaissance Center Drainage Master Plan (hereafter called "Master Plan"). This submittal is in compliance with the guidance and recommendations set forth in that report. In addition, Tract 1-A2 of this site was analyzed in the approved drainage management plan "Tract 1A of Renaissance Center Apartment Complex (F16/D15)" as Phase 2 of the apartment complex, however this final phase will not be constructed for the apartment complex.

In accordance with FEMA community map #35002 panel 16 the site is not located within a 100yr floodplain.

Existing Conditions
This site is approximately 12.56 acres and is currently vacant with relatively flat terrain. The site slopes from north to south at 1.0 to 1.5%. The west edge of the site contains a steep drop-off to the older, developed, county residential lands to the west. There are two small ponds on the site. These ponds control runoff from the undeveloped land and from the existing apartment complex to the northeast. In accordance with the methodology outlined in the DPM Section 22.2, the 100yr peak discharge is 34.47 cfs. The land treatment under the existing conditions is approximately 75% treatment C and 25% treatment A.

Proposed Conditions
Under proposed conditions, this site will have on-site detention. In accordance with the methodology outlined in the DPM section 22.2 the proposed 100yr peak discharge is 34.03 cfs with associated land treatments of 10% treatment B, 10% treatment C and 80% treatment D.

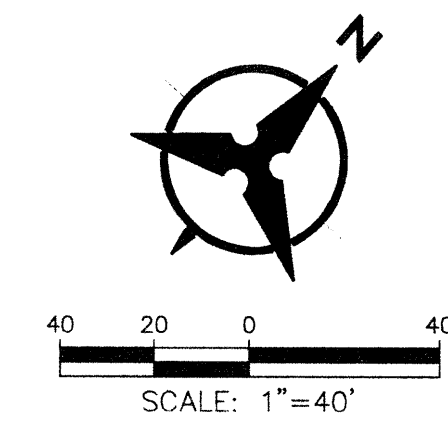
There is a very small strip located at the western edge of the site that will drain via surface flow into the Mascotel Ave. right-of-way. This small area will not be developed, therefore minimal runoff will be generated resulting in an insignificant impact on the downstream drainage in Mascotel Ave.

According to the approved Master Plan the site is required to discharge only 0.1 cfs/acre resulting in ponding on-site. A new large pond is proposed for the south end of the site that is sized to accommodate the runoff from the First Family Church site as well as runoff from the adjacent apartment complex. According to the approved Drainage report for "Tract 1A of Renaissance Center Apartment Complex (F16/D15)" the proposed 100yr, 24hr volume of runoff from the apartment complex is 0.983 acre-ft. The total 100yr, 24hr runoff generated from the First Family Church site is equal to 2.33 acre-ft (See Basin Data Table-Proposed Conditions). Therefore the required pond volume is 3.29 acre-ft (2.31+0.983). The actual volume of the pond is approximately 3.85 acre-ft which is 0.56 acre-ft larger than required.

The pond will drain to an existing pipe on-site which is connected to the North Renaissance Detention Pond. The allowable discharge from this on-site pond is approximately 1.8 cfs in accordance with the Master Plan (Total of 18 acres at 0.1 cfs/acre). A 6" pipe will regulate the outflow of this pond to this allowable discharge. (See "POND CALCULATIONS TABLE-OUTFLOW")

There is an existing cross-lot drainage easement between the apartment complex and the First Family Church site which allows the apartment complex to drain across the site. The peak discharge generated on this site as well as on the apartment complex will be contained on site and discharged at a controlled rate per the approved Master Plan. As a result of this detention on site, there will not be negative impacts on the drainage system downstream.

This conceptual drainage submittal has been prepared in accordance with City of Albuquerque requirements, and complies with Renaissance Drainage Master Plan. This plan clearly demonstrates the proposed grading and drainage concepts. The implementation of these concepts would result in the safe passage of the 100 year storm event. With this submittal we are seeking DRB site plan approval and building permit approval.



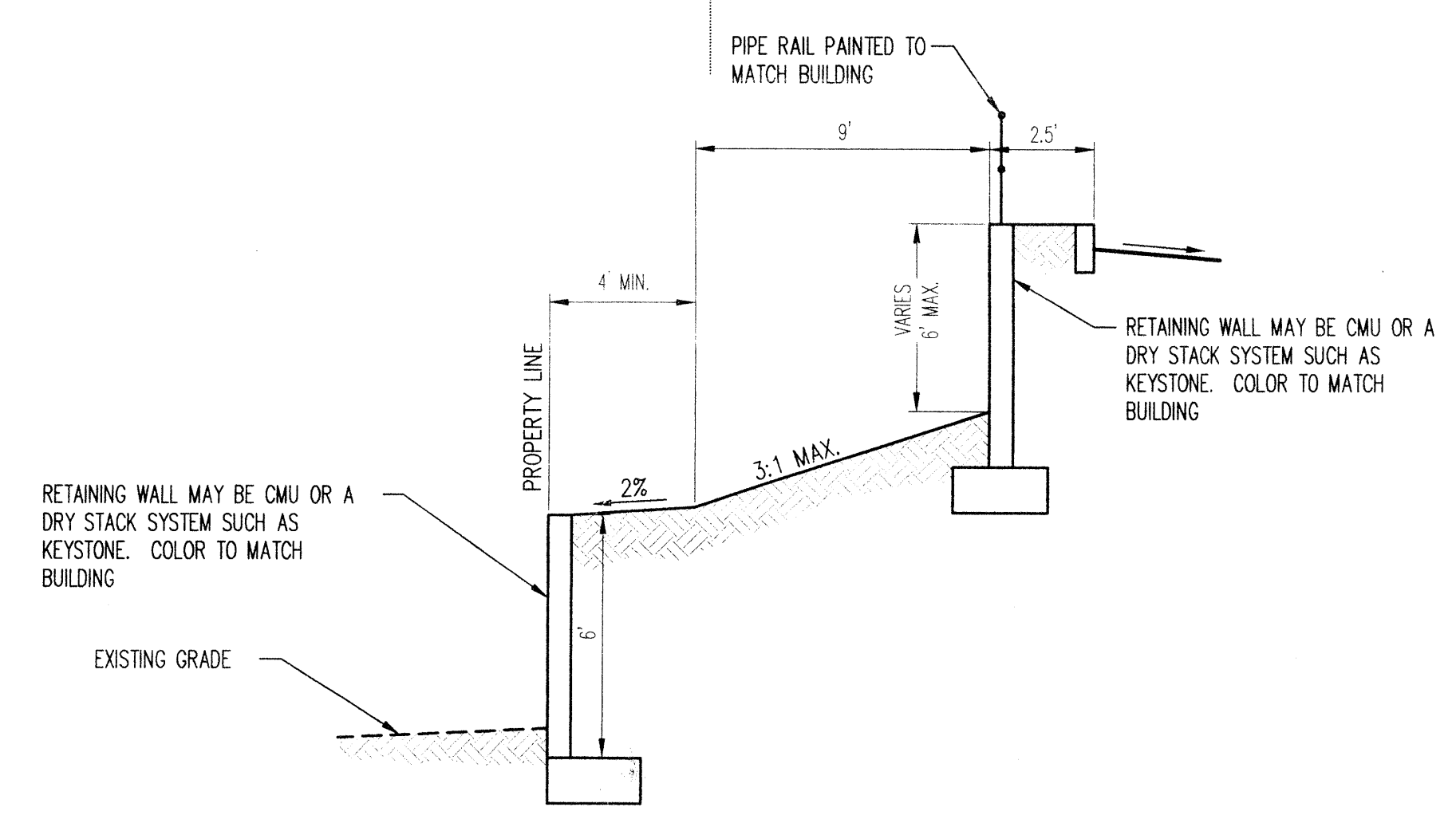
BASIN DATA TABLE

BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac)	Q(100) (cfs)	WT E (inches)	V(100)360 (CF)	V(100)440 (CF)	V(100)440 (Acre-Ft)
			A	B	C	D						
EXISTING	547034	12.56	25.0%	0.0%	75.0%	0.0%	2.75	34.47	0.98	44674	44674	1.03
PROPOSED	547034	12.56	0.0%	10.0%	10.0%	80.0%	4.30	54.03	1.89	86021	100909	2.31
OFFSITE (APART. CPLX)	239573	5.50	0.0%	10.0%	10.0%	80.0%	4.30	23.86	1.89	37673	44061	1.01
TOTAL	786607	18.06						77.69*		123894	144870	3.32

POND CALCULATIONS TABLE

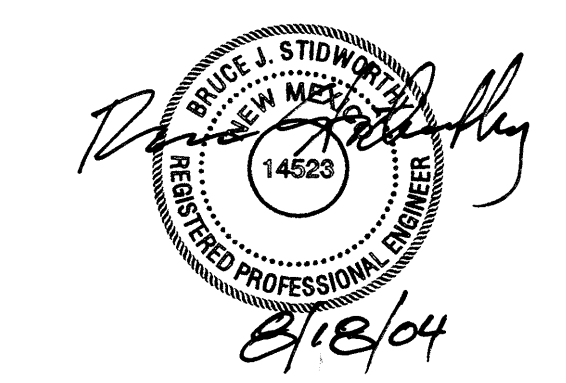
Outflow (cfs)	Storage Volume (ft³)	Storage Volume (Ac-ft)	Elev.	Head (ft)
0.000	0	0.0000	29.00	0.00
0.010	20823.3	0.4760	30.00	0.75
1.282	44398.0	1.0192	31.00	1.75
1.620	86950.5	1.9852	32.00	2.75
1.892	167796.0	3.8521	33.00	3.75

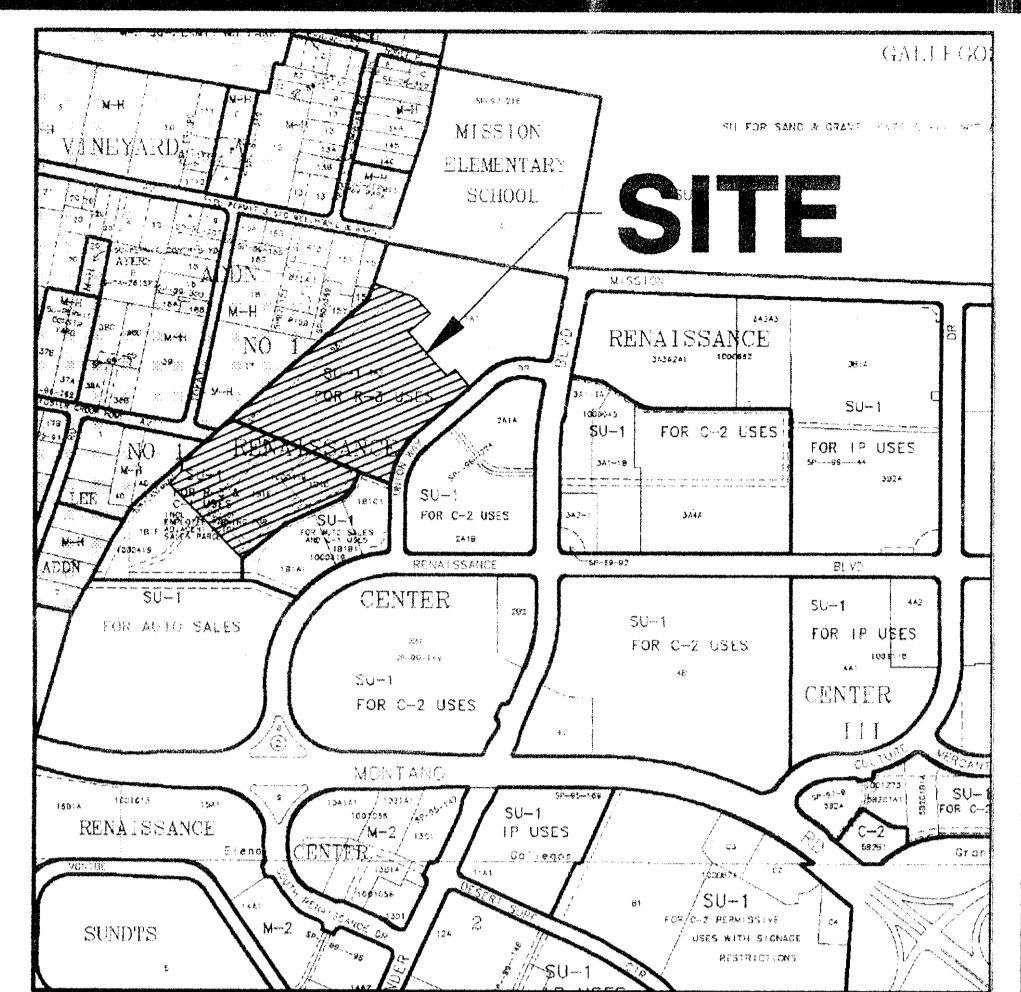
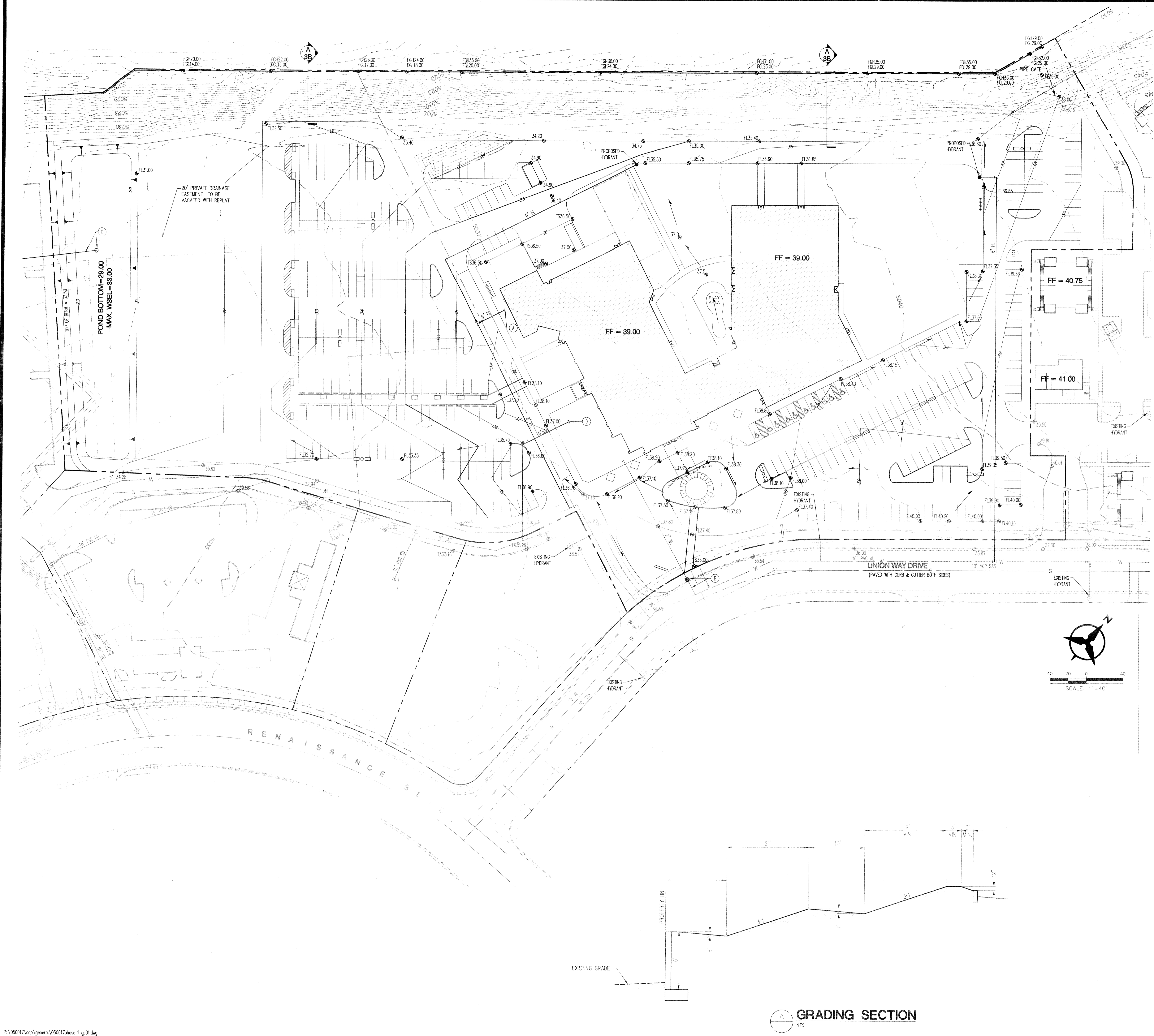
Peak Q = 1.81 cfs at WSEL of 32.70



RETAINING WALL SECTION "A"

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August 25, 2004 - 5:59am
Layout1





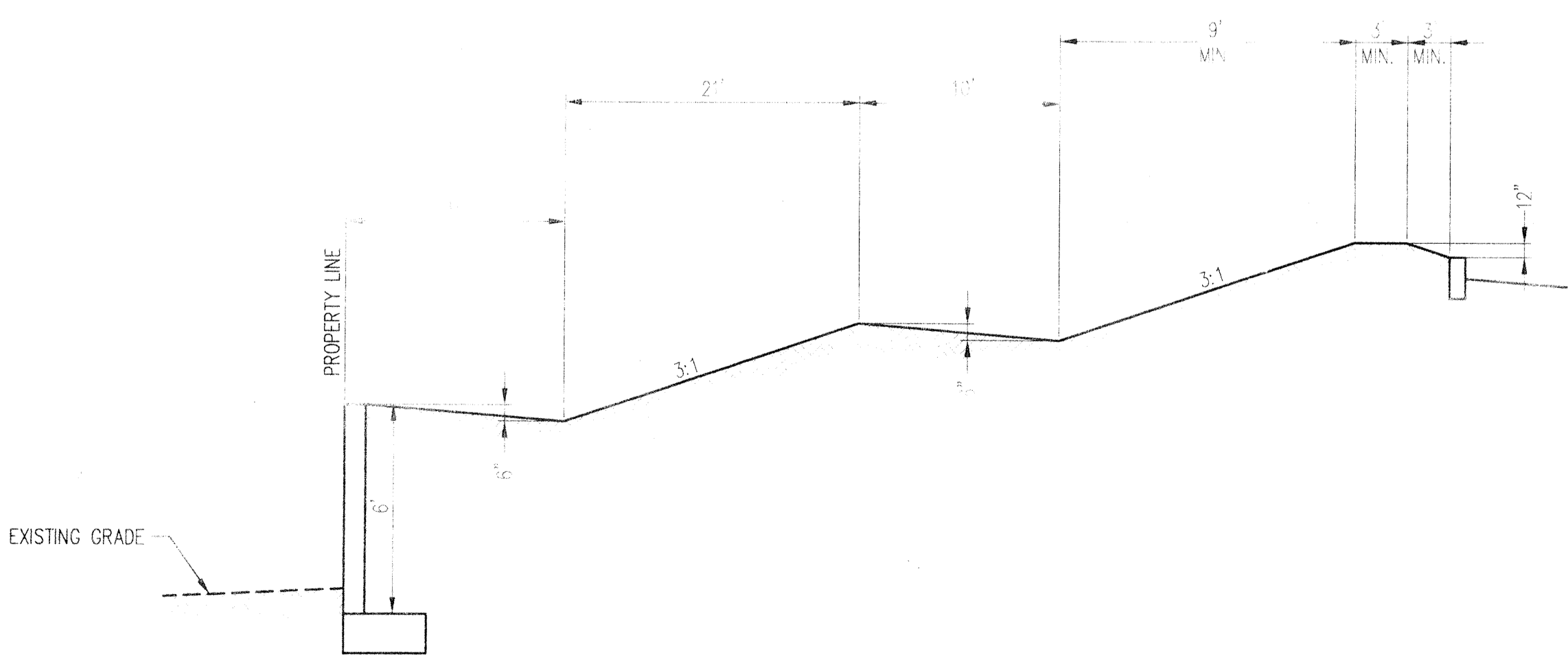
VICINITY MAP
ZONE ATLAS PAGE F-16-Z

LEGAL DESCRIPTION
TRACT 1-A2, 1B-1D, AND 1B-1E OF RENAISSANCE CENTER

LEGEND

	PROPERTY LINE
	RETAINING WALL
	EXISTING CONTOUR
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	FL = FLOWLINE
	TS = TOP OF SIDEWALK
	FGH = FINISHED GROUND HIGH SIDE
	FGL = FINISHED GROUND LOW SIDE
	DIRECTION OF FLOW
	SLOPE SYMBOL
	EXISTING WATERLINE W/ HYDRANT & VALVE
	EXISTING SAS W/ MANHOLE
	PROPOSED SAS
	PROPOSED CLEANOUT
	PROPOSED WATERLINE
	PROPOSED METER
	PROPOSED VALVE
	PROPOSED REDUCER
	PROPOSED FIRE LINE
	PROPOSED HYDRANT
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN & MANHOLE

- KEYED NOTES:**
- A. 6" FIRE LINE FOR BUILDING SPRINKLER SYSTEM
 - B. NEW 2" DOMESTIC WATER SERVICE LINE & METER
 - C. EXISTING STORM DRAIN LINE & MANHOLE W/ BEEHIVE GRATE
 - D. NEW 6" SAS SERVICE



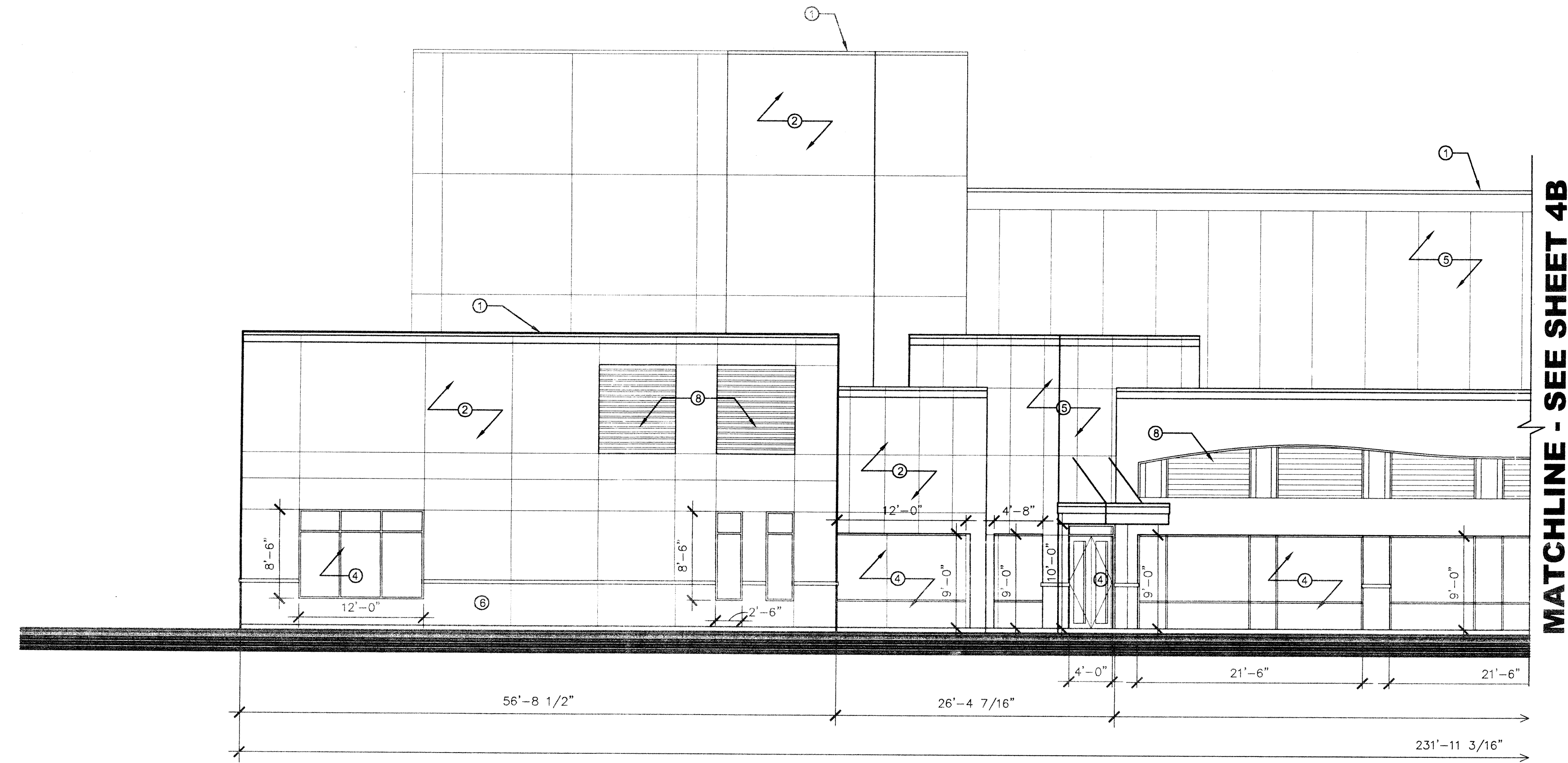
A GRADING SECTION
NTS

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 Layout1

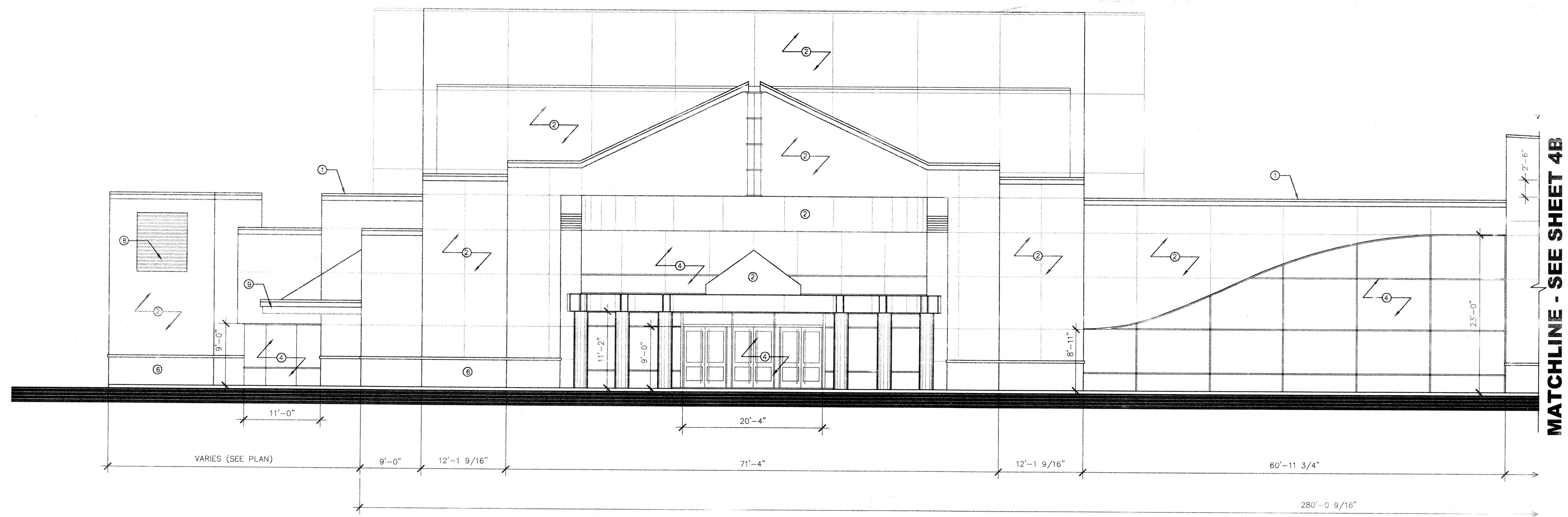
MATERIAL KEY

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- ② EIFS WITH 1"x1" CONTINUOUS REVEALS BOTH DIRECTIONS (BEIGE COLOR)
- ③ STANDING SEAM METAL ROOF (DEEP BLUE-GREY COLOR)
- ④ AQUA-MARINE COLORED TINTED GLASS IN WHITE ANODIZED MULLION SYSTEM(TYP.)
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- ⑩ BUILDING SIGANCE - INTERNALLY ILLUMINATED

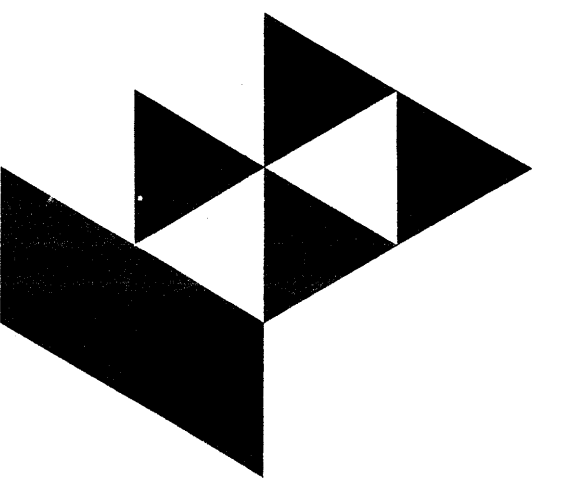
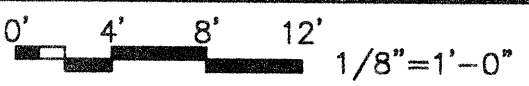
- NOTES:**
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 2. THE TOP OF ALL ROOFTOP MECHANICAL EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET AND SCREENED FROM VIEW FROM NEARBY PROPERTIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SOLID WALLS WITH THE TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 3. THE DESIGN AND MATERIALS FOR FUTURE ADDITIONS SHALL REFLECT PREVIOUSLY APPROVED SITE PLAN FOR BUILDING PERMITS ON THIS SITE.



SOUTH ELEVATION

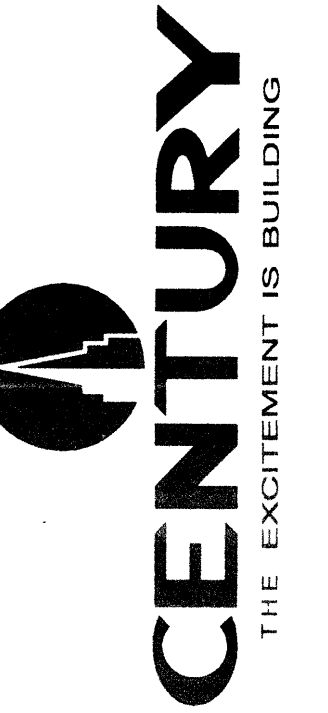


EAST-ELEVATION (FRONT)



William B. Livingston, AIA

Architect
Sally McFarley
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FIRST FAMILY CHURCH

ALBUQUERQUE, NEW MEXICO

**SITE DEVELOPMENT
PLAN FOR
BUILDING PERMIT
PHASE 1
ELEVATIONS**

JOB NO. 050017
DATE 08/16/04
DRAWN
CHECKED

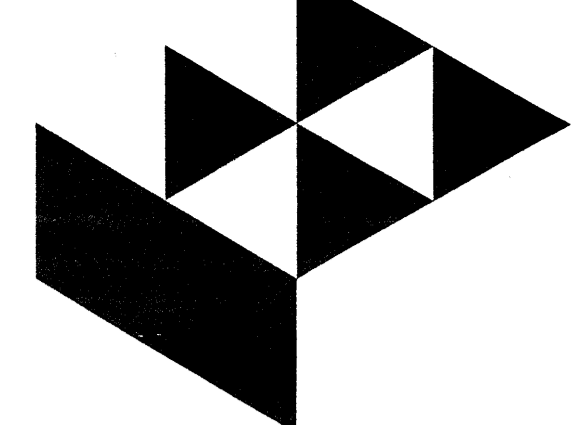
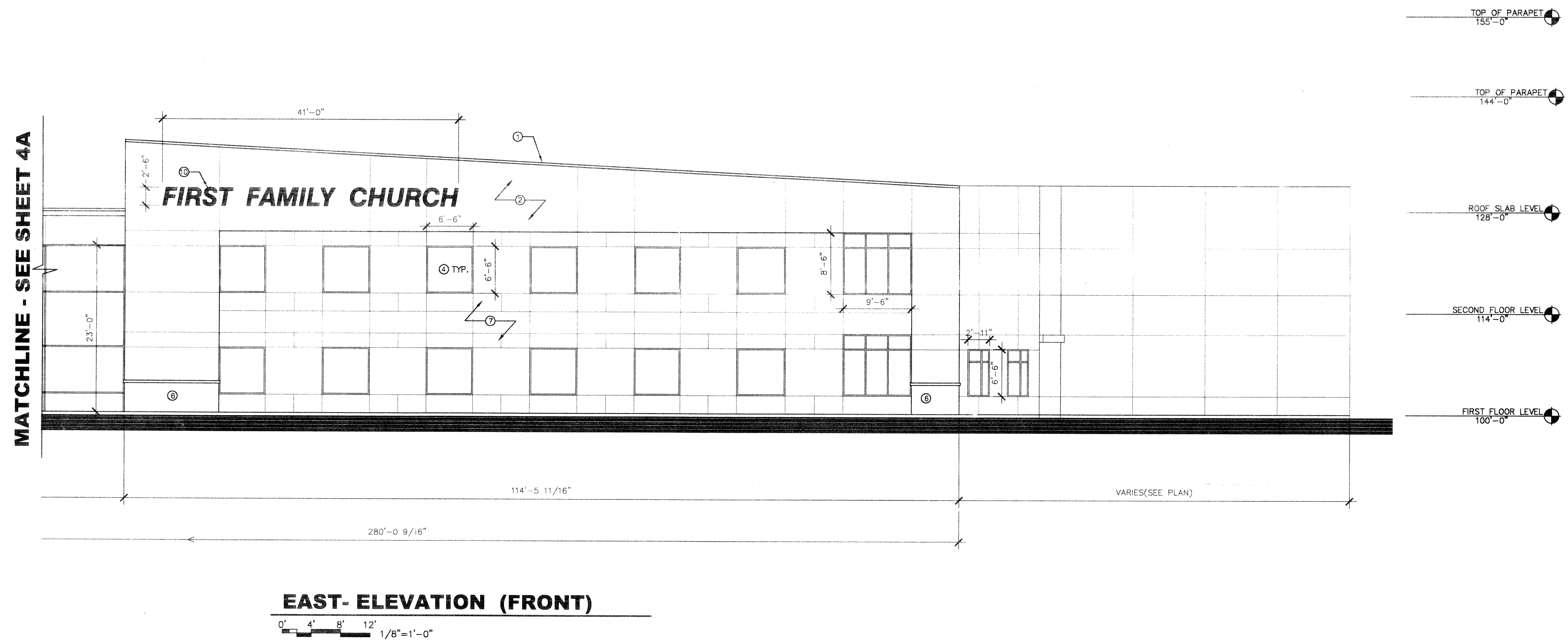
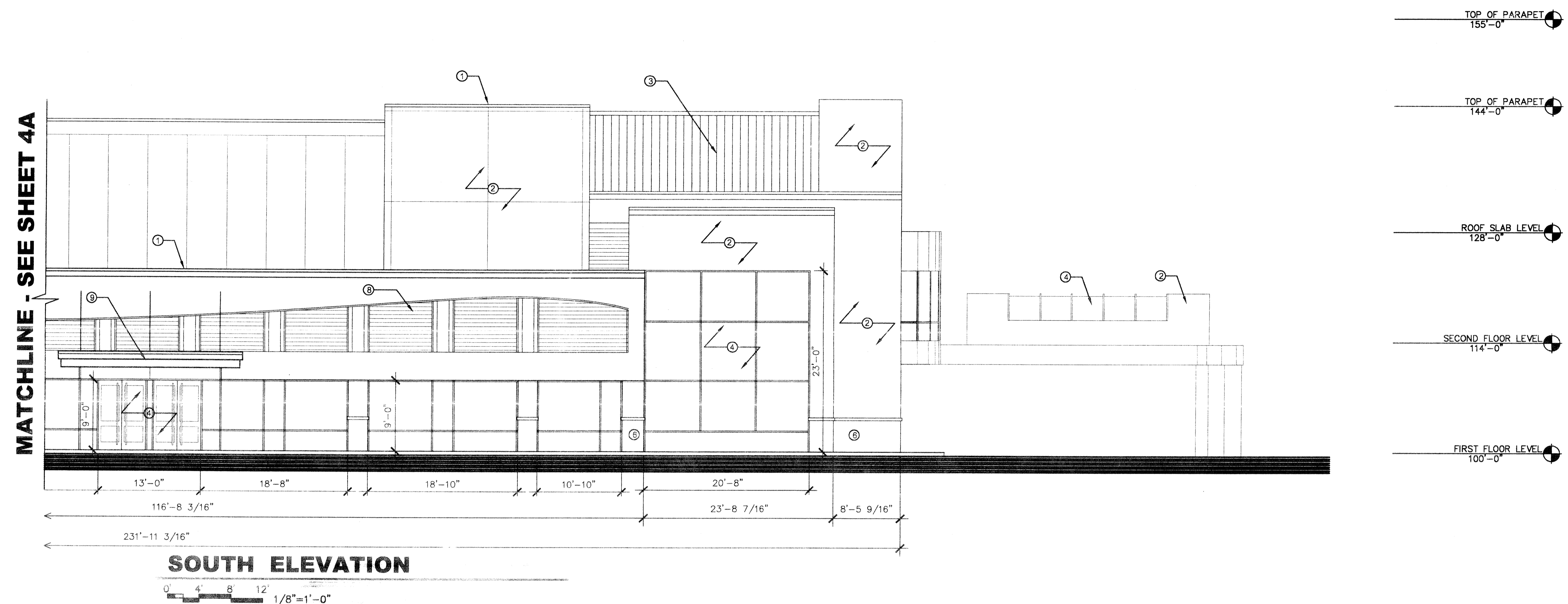
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EPC SUBMITTAL SET

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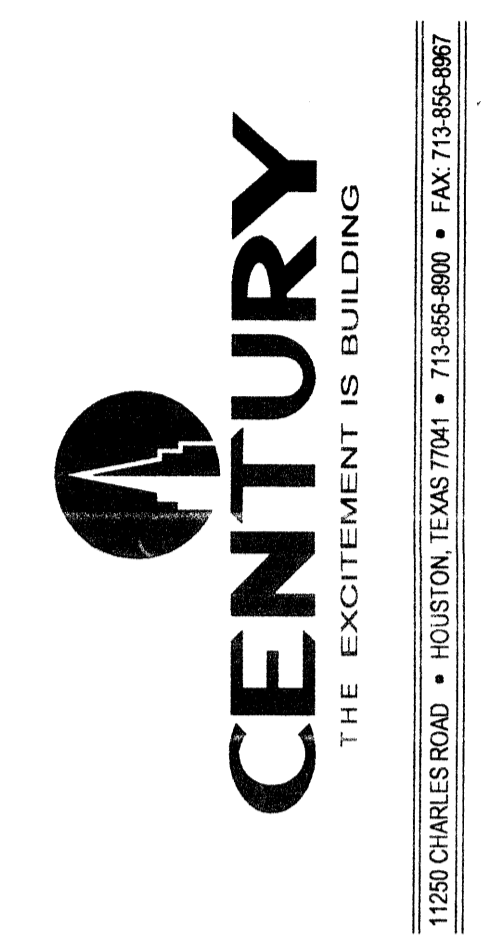
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FIRST FAMILY CHURCH
ALBUQUERQUE, NEW MEXICO

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT PHASE 1 ELEVATIONS

JOB NO. 050017
DATE 08/16/04
DRAWN
CHECKED
SHEET 4B
EPC SUBMITTAL SET

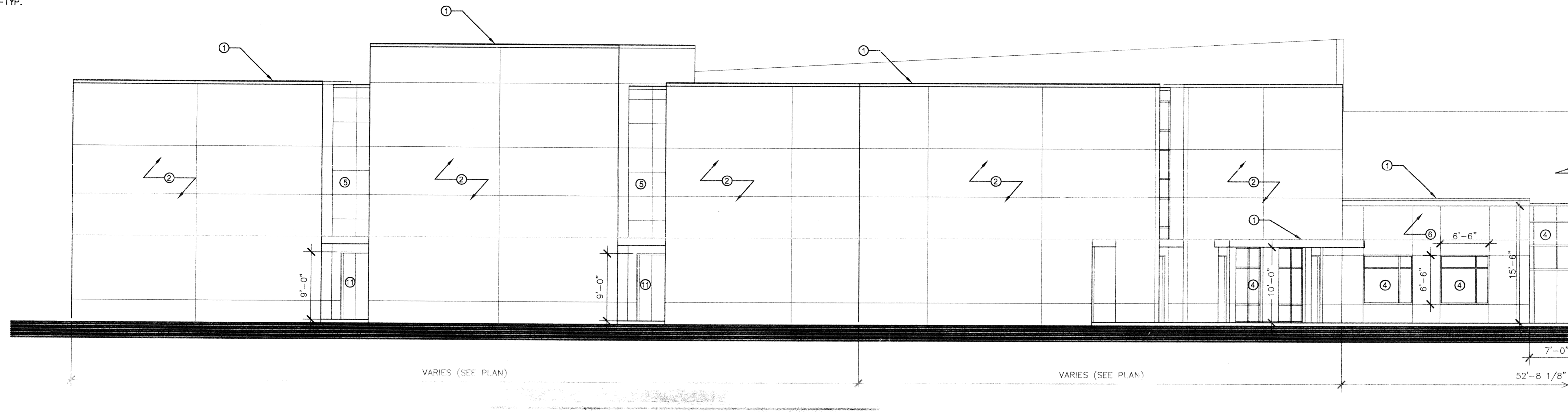
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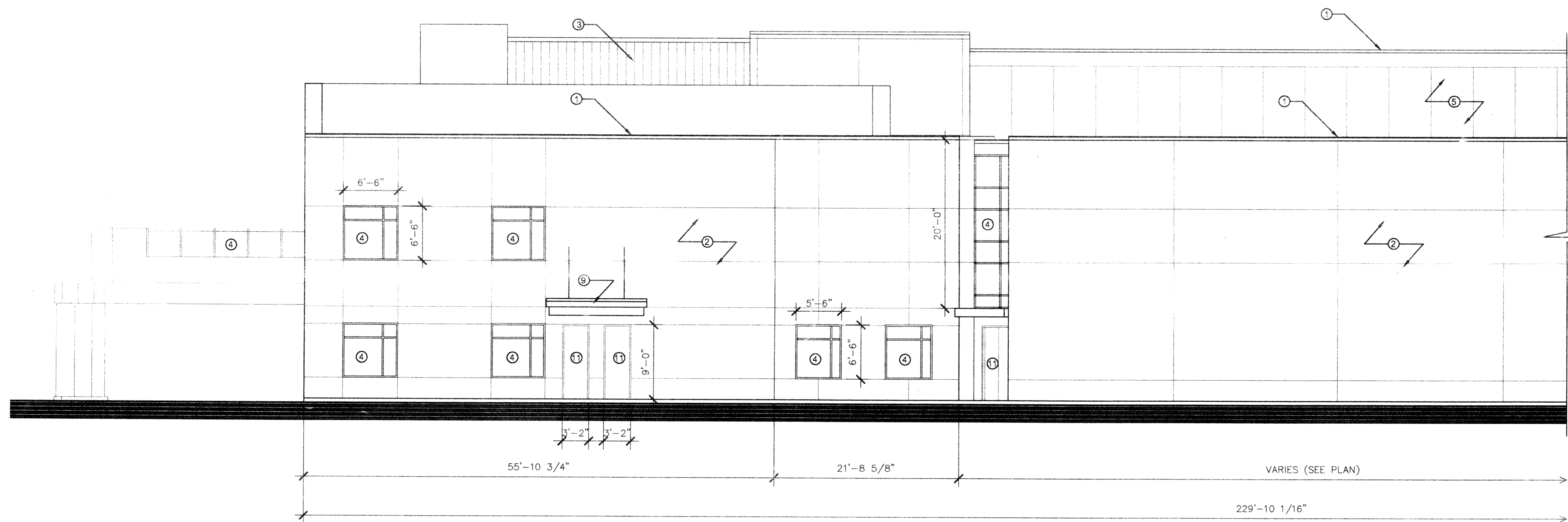
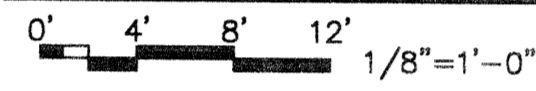
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- ⑪ PAINTED METAL DOORS -TYP. (COLOR TO MATCH ADJACENT SURFACES)

NOTES:

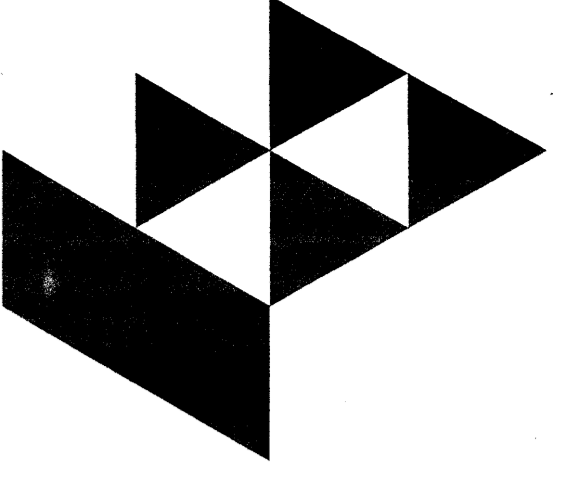
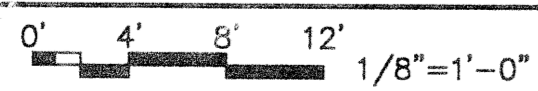
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WEST ELEVATION

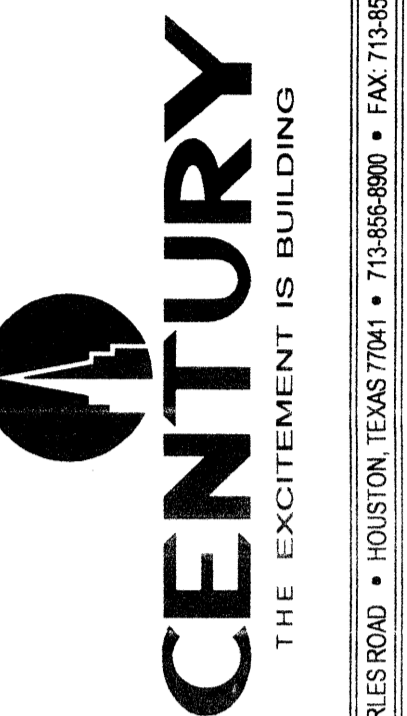


NORTH ELEVATION



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Architect
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Fax: (713) 463-9415



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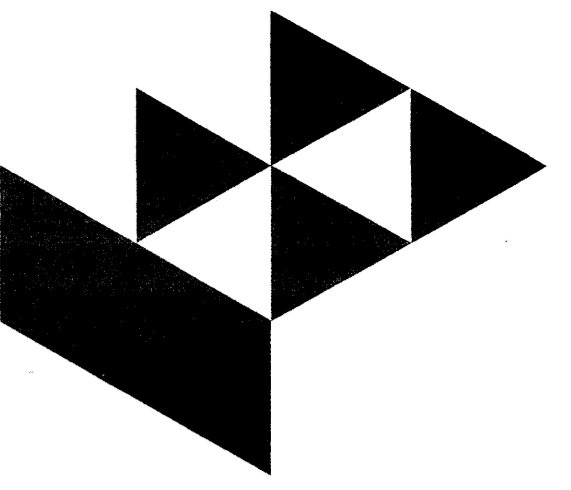
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FIRST FAMILY CHURCH
ALBUQUERQUE, NEW MEXICO

SITE DEVELOPMENT PLAN FOR PHASE 1 ELEVATIONS

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FIRST FAMILY CHURCH
ALBUQUERQUE, NEW MEXICO

SITE DEVELOPMENT
PLAN FOR
BUILDING PERMIT
PHASE 1
ELEVATIONS

JOB NO. 050017
DATE 06/16/04
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4D

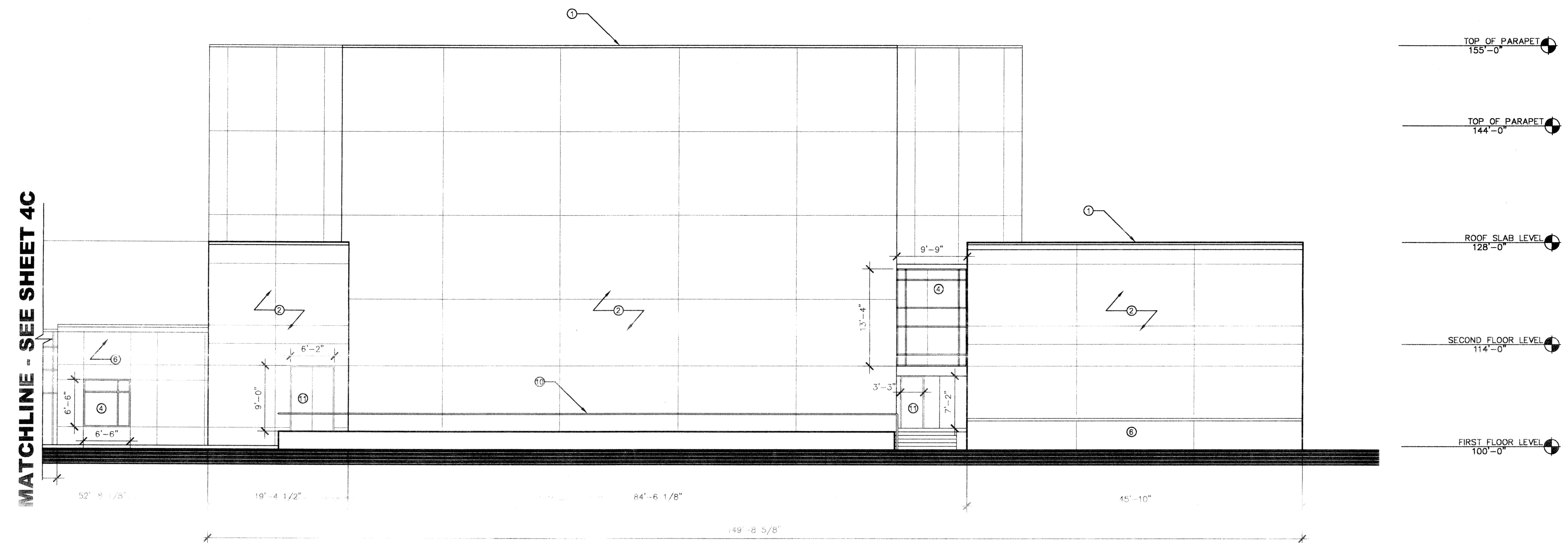
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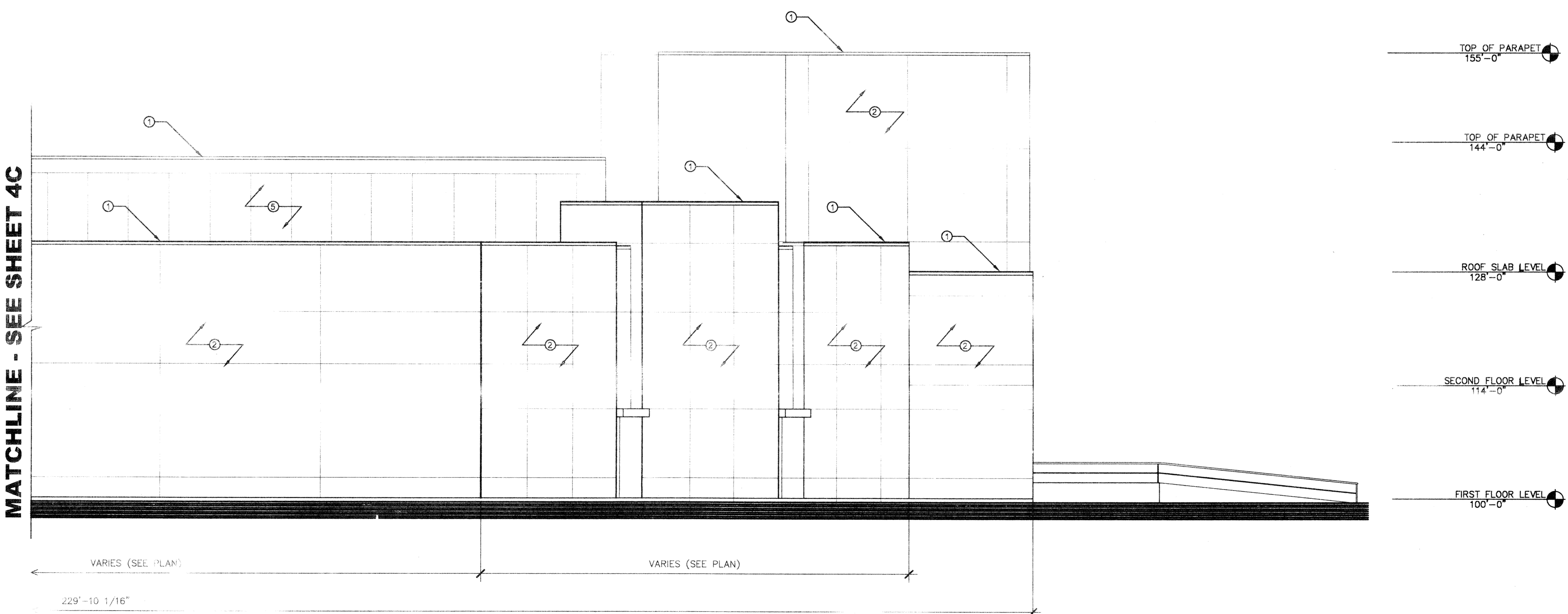
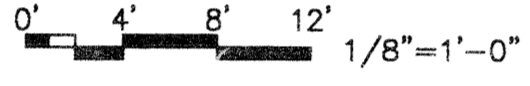
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WEST ELEVATION



NORTH ELEVATION

