

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1003421 Application #: 12DRB-70175
 Project Name: Renaissance Center Application #: 12DRB-70188
 Agent: Tioma West Phone #:

Your request was approved on 8-1-12 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA: address comments - Add Title 1-10-2A-3 to Working Note as beneficiary

PARKS / CIP:

PLANNING (Last to sign): add Utility Co. signatures

PLATS:

Planning must record this plat. Please submit the following items:




- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.


ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

3. **Project# 1007649**
12DRB-70201 PRELIMINARY/ FINAL
PLAT APPROVAL
12DRB-70217 EPC APPROVED SDP
FOR SUBDIVISION
12DRB-70218 SUBDN DESIGN
VARIANCE FROM MIN DPM STDS
12DRB-70219 MINOR - TEMP DEFR
SWDK CONST 
- THE HARTMAN & MAJEWSKI and SURV-TEK INC.
agent(s) for GREATER ALBUQUERQUE HOUSING
PARTNERSHIP request(s) the above action(s) for all or a
portion of Lot(s) 1-3, Block(s) 9, **FRANSISCAN ACRES**
zoned SU2/SU1 FOR PRD, located on INDIAN SCHOOL
NE (H-14) **DEFERRED TO 8/8/12 AT THE AGENT'S
REQUEST.**
4. **Project# 1009245**
12DRB-70221 MINOR - SDP FOR
BUILDING PERMIT 
- RICK BENNETT ARCHITECTS agent(s) for GUARDIAN
STORAGE LLC request(s) the above action(s) for all or a
portion of Lot(s) 19 AND 20, Block(s) 9, Tract(s) 2,
NORTH ALBUQUERQUE ACRES Unit(s) 3, zoned SU-
2, located on ON HOLLY BETWEEN WYOMING AND
LOUISIANA containing approximately 1.9952 acre(s).
(C-19-Z) **DEFERRED TO 8/8/12 AT THE AGENT'S
REQUEST.**
5. **Project# 1003421**
12DRB-70175 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
12DRB-70188 EPC APPROVED SDP
FOR SUBDIVISION 
- TIERRA WEST LLC agent(s) for KEN WILLIAMS
ENTERPRISE, INC request(s) the above action(s) for all
or a portion of Lot(s) 1A-2-A, **RENAISSANCE
CENTER** zoned SEE ATTACHED FORM, located on
UNION WAY RD. NE BETWEEN MISSION RD NE
AND RENAISSANCE BLVD NE containing
approximately 12.55 acre(s). (F-16) *][Deferred from
7/18/12, 7/25/12 at the agent's request]* **THE
PRELIMINARY/FINAL PLAT WAS APPROVED WITH
FINAL SIGN OFF DELEGATED TO CITY ENGINEER TO
ADDRESS COMMENTS AND TO ADD TRACT 1A-2A-3
TO 1A-2A-2, AND FOR DRAINAGE BENEFIT NOTE
AND TO PLANNING FOR AGIS DXF AND UTILITY
SIGNATURE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project# 1008589**
12DRB-70212 MAJOR - FINAL PLAT
APPROVAL 
- CARTESIAN SURVEYS INC agent(s) for ESMAIL
HAIDARI request(s) the above action(s) for all or a portion
of Lot(s) 15, 16 & PORTIONS OF LOT 18, Block(s) 1,
**NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3
Unit(s) 3**, zoned R-D YDU/A, located on PINON VISTA
BETWEEN MODESTO AND EAGLE CREST containing
approximately 2.3961 acre(s). (C-19) **DEFERRED TO
8/16/12 AT THE AGENT'S REQUEST.**

6



Completed
1/14/05
[Signature]

DRB CASE ACTION LOG (PREL & FINAL)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-01306 (P&F)	Project # 1003421
Project Name: RENAISSANCE CENTER	
Agent: Precision Surveys Inc.	Phone No.: 856-5700

Project Number 1003421

Your request for (SDP for SUB), (SDP for BP) **(FINAL PLATS)**, (MASTER DEVELOP. PLAN), was approved on 9/1/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: either show SAS easement on plat (SAS easement recorded 9/25/03) or process a Release of Easement.

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign). _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

3421

DXF Electronic Approval Form

DRB Project Case #: 1003421

Subdivision Name: RENAISSANCE CENTER TRACT 1A2A

Surveyor: LARRY W MEDRANO

Contact Person: BERNADETTE BUSTOS

Contact Information:

DXF Received: 1/4/2005

Hard Copy Received: 1/4/2005

Coordinate System: NMSP Grid (NAD 27)



Approved

1/4/05

Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied cov 3421 to agiscov on 1/4/2005 Contact person notified on 1/4/2005

8



Completed
9/3/04
OS

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **04DRB-01266 (SBP)**

Project # **1003421**

Project Name: **RENAISSANCE CENTER**

Agent: **Consensus Planning**

Phone No.: **764-9801**

Your request for **(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN)**, was approved on **9/1/04** by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____

- UTILITIES: _____
- _____
- _____
- _____

- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____

- PARKS / CIP: _____
- _____
- _____
- _____

- PLANNING (Last to sign): *Elvira's initials*
- _____
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- ~~County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.~~
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1003421



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 1, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A Call to Order: 9:00 A.M.

Adjourned: 11:30 A..M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1003471**
04DRB-01224 Major-Amnd Prelim Plat
Approval
04DRB-01225 Minor-Temp Defer
SDWK

SURV TEK INC agent(s) for CURB WEST INC request(s) the above action(s) for all or a portion of Tract(s) B-2-A, **SEVILLE SUBDIVISION**, zoned R-1 residential zone, located on KAYENTA BLVD NW, between CALABACILLAS ARROYO and RIO SEGOVIA AVE NW containing approximately 24 acre(s). [REF: 04DRB-00826, 04DRB-00827, 02DRB-01791, 02DRB-01250] (A-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/1/04 AND APPROVAL OF THE AMENDED GRADING PLAN ENGINEER STAMP DATED 5/22/04 THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT APPROVAL: LANGUAGE SHALL BE ADDED THAT STATES MINIMUM LOT WIDTH SHALL BE 50 FEET. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

2. **Project # 1000464**
04DRB-01226 Major-Vacation of
Public Easements

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST INC request(s) the above action(s) for all or a portion of Tract(s) H6A1A, **RIVERVIEW ADDITION**, zoned SU-1, IP Uses with exceptions, located on GOLF COURSE RD NW, between PASEO DEL NORTE NW and SHELLY ROSE RD NW containing approximately 7 acre(s). [REF: Z-99-11, Z-99-17] (C-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

3. **Project # 1003238**
04DRB-01227 Major-Vacation of Pub
Right-of-Way

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) A, B & C, Tract(s) 267, 268-B, 270-A-2, 270-A-1-C, 270-A-1-D, 270-B and 315-A-1-A-1, MRGCD MAP 35, LANDS OF ALBERT PEREZ, TRACTS B-1 AND B-2, LANDS OF MACIEL & TRUJILLO, (to be known as **LAS CASITAS DE LOS DURANAS**, zoned R-LT residential zone, located on INTERSTATE 40 WEST, between RIO GRANDE BLVD NW and MONTOYA ST NW. [REF: Z-71-118, 04EPC-00157, 04EPC-00156, 04DRB-00661(H-12/13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE CONDITION OF FINAL PLAT: PRIOR TO FINAL PLAT APPROVAL, EITHER THE EASEMENTS BE RETAINED OR EXISTING LINES RELOCATED.**

4. **Project # 1003226**
04DRB-00909 Major-Vacation of
Public Easements
04DRB-00908 Minor-Prelim&Final Plat
Approval

J C ENGINEERING agent(s) for SUJAY THAKUR request(s) the above action(s) for all or a portion of Tract(s) 9, **V. E. BARRETT SUBDIVISION**, zoned C-2 community commercial zone, located on BRIDGE ST SW, between UNSER BLVD SW and COORS BLVD SW containing approximately 6 acre(s). [REF: Z-71-125, Z-72-114, Z-72-210, 04DRB-00806, 04DRB-00117] [*Deferred from 7/14/04 & Indefinitely deferred on 7/21/04*] (K-10) [NO NEW SUBMITTAL] **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/1/04 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1003637**
04DRB-01302 Minor-SiteDev Plan
BldPermit
- OPUS WEST CONSTRUCTION CORP request(s) the above action(s) for all or a portion of Lot(s) 12, Block(s) 2, Unit(s) 1, **JOURNAL CENTER PHASE 2**, zoned IP industrial park zone, located on MASTHEAD ST NE, between MASTHEAD ST NE and TIBURON ST NE containing approximately 5 acre(s). [REF: AX-79-13, Z-79-80-2, 1000633] [*Deferred from 9/1/04*] (D-17) **DEFERRED AT THE AGENT'S REQUEST TO 9/8/04.**
6. ~~**Project # 1003421**~~
~~04DRB-01266 Minor-SiteDev Plan~~
BldPermit/EPC
- CONSENSUS PLANNING INC agent(s) for FIRST FAMILY CHURCH, request(s) the above action(s) for all or a portion of Tract(s) 1B1E, 1B1D & 1A2, **RENAISSANCE CENTER**, zoned SU-1 FOR CHURCH AND RELATED FACILITIES, located on UNION WAY DR NE, between MONTANO RD NE and MISSION AVE NE containing approximately 13 acre(s). [REF: 04EPC00685, 04EPC00684] [**Elvira Lopez, EPC Case Planner**] [*Deferred from 8/25/04*] (F-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
- 04DRB-01306 Minor-Prelim&Final Plat
Approval
- PRECISION SURVEYS INC agent(s) for UNION PENSION TRANSACTION TRUST 93-2, NM request(s) the above action(s) for all or a portion of Tract(s) 1A-2-A, **RENAISSANCE CENTER**, zoned SU-1 FOR R-3 & C-1 USES, located on UNION WAY DR NE, between MONTANO RD NE and MISSION RD NE containing approximately 13 acre(s). [REF: 04EPC00684, 04EPC00685, 04DRB01266, 04DRB00207, 04DRB00997, 04DRB00998, 03DRB00590, 02DRB01532, 02AA00814, 1000419] (F-16) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ADDITION OF AN EXISTING SANITARY SEWER EASEMENT ON THE PLAT OR RELEASE OF THAT EASEMENT AND TO PLANNING FOR THE AGIS DXF FILE.**

7. **Project # 1000560**
04DRB-01273 Minor-Amnd SiteDev
Plan BldPermit

DEKKER, PERICH & SABATINI agent(s) for NEW MEXICO ONCOLOGY HEMATOLOGY CONSULTANTS, request(s) the above action(s) for all or a portion of Tract(s) 1A-2-B, **JOURNAL CENTER**, zoned IP, located on LANG AVE NE, between JEFFERSON NE and HEADLINE BLVD NE containing approximately 4 acre(s). [REF: 00450-01713] *[Deferred from 8/25/04]* (D-17) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

8. **Project # 1003548**
04DRB-01090 Minor-SiteDev Plan
BldPermit

JIM MEDLEY, ARCHITECT, AIA agent(s) for TERRI ULIBARRI request(s) the above action(s) for all or a portion of Tract(s) A-1, **MARIPOSA SQUARE**, zoned R-D, located on LADERA DR NW, between 72nd ST NW and MIAMI NW containing approximately 2 acre(s). [REF: DRB-95-353, V-88-95] *[Deferred from 7/21/04]* (H-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1001562**
04DRB-01301 Minor-Sidewalk Waiver
- MARK GOODWIN & ASSOCIATES PA agent(s) for PULTE HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) 36, (TRACT A, BLOCK 28, FOUR HILLS VILLAGE, 5TH INSTALLMENT, to be known as **RESERVE @ FOUR HILLS SUBDIVISION**) zoned R-1 residential zone, located on WAGON TRAIN SE, between RATON AVE SE and RIO ARRIBA AVE SE containing approximately 17 acre(s). [REF: 04DRB-01103, 04DRB-01105, 01DRB-01531, 02DRB-01096, 02DRB-01097, 02DRB-01098, 02DRB-01263, 02DRB-01660] (M-22) **THE SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK AS SHOWN ON EXHIBIT C WAS DENIED FOR SAFETY REASONS.**
10. **Project # 1003634**
04DRB-01297 Minor-Prelim&Final Plat Approval
- WAYJOHN SURVEYING INC agent(s) for HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 4, 5 & 6, Block(s) 12, **EASTERN ADDITION**, zoned SU-2 MR, located on CROMWELL AVE SE, between HIGH ST SE and WALTER ST SE containing approximately 1 acre(s). [*Deferred from 9/1/04*] (K-14) **DEFERRED AT THE AGENT'S REQUEST TO 9/8/04.**

11. **Project # 1003635**
04DRB-01298 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for EASTRIDGE PLAZA LLC request(s) the above action(s) for all or a portion of Tract(s) 1B, 2B & 3A, **EASTRIDGE PLAZA**, zoned C-2 community commercial zone, located on INDIAN SCHOOL RD NE, between MURIEL ST NE and JUAN TABO BLVD NE containing approximately 3 acre(s). [REF: SP-76-471, SP-78-346] (J-21) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE MARSHAL'S APPROVAL OF FIRE PROTECTION FOR THE STORAGE UNITS AND COMMERCIAL BUILDING AND TO PROVIDE FIRE FLOW CALCULATION SHEETS FOR BOTH LOTS.**

12. **Project # 1003636**
04DRB-01300 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING, INC agent(s) for LOWELL SHARP request(s) the above action(s) for all or a portion of Lot(s) 46 & 47, Block(s) 4, **MESA VERDE ADDITION**, zoned C-2, located on UTAH ST NE, between CENTRAL AVE NE and CHICO RD NE containing approximately 1 acre(s). [REF: ZA-78-267] (K-19) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

13. **Project # 1002022**
04DRB-01307 Minor-Extension of Preliminary Plat
04DRB-01308 Minor-Final Plat Approval
- BOHANNAN HUSTON, INC. agent(s) for T. S. MC NANEY & ASSOCIATES, request(s) the above action(s) for all or a portion of Tract(s) 8 & 9, **VISTA WEST SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on TOWER RD SW, between UNSER BLVD NW and EUCARIZ AVE. SE containing approximately 10 acre(s). [REF: 02DRB-01237, 03DRB-00424] *[Final Plat deferred from 9/1/04]* (L-10) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS DEFERRED AT THE AGENT'S REQUEST TO 9/8/04.**
14. **Project # 1002364**
04DRB-01303 Minor-Prelim&Final Plat Approval
- PRECISION SURVEYS, INC agent(s) for SAMUEL & MICHELLE DICKEY request(s) the above action(s) for all or a portion of Tract(s) 4-A & 4-B, **RAY PENA SUBDIVISION**, zoned R-D, located on WESTWARD LN NW, between NORTHERN TRAIL NW and LEGENDS AVE NW containing approximately 1 acre(s). [REF: 02DRB-01793] (F-11) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**
15. **Project # 1003280**
04DRB-01309 Major-Final Plat Approval
- TIERRA WEST LLC agent(s) for STILLBROOKE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 168, TOWN OF ATRISCO GRANT, UNIT 6, (to be known as **VISTA PACIFICA, UNIT 2**, zoned R-1, located on GONZALES RD SW, between OASIS DR SW and CORREGIDOR DR SW containing approximately 5 acre(s). [REF: 04DRB00568,04DRB00870, 04DRB00835] (K-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU.**

16. **Project # 1003543**
04DRB-01275 Minor-Prelim&Final Plat
Approval
- OLIVER TRUJILLO agent(s) for DESI BACA & MARY MARCO request(s) the above action(s) for all or a portion of Lot(s) 6, Block(s) 66, **UNIVERSITY HEIGHTS and** the east 71 feet of the east 1/2 OF BLOCK 14, FIRST UNIT, **VICTORY ADDITION**, zoned R-3, located on PRINCETON AVE SE, between MC EARL SE and GARFIELD SE containing approximately 1 acre(s). [REF: 04DRB01275] *[Deferred from 9/1/04]* (K-16) **DEFERRED AT THE AGENT'S REQUEST TO 9/8/04.**
17. **Project # 1003640**
04DRB-01310 Minor-Prelim&Final Plat
Approval
- WILKS COMPANY agent(s) for ANGELINA CHAVEZ request(s) the above action(s) for all or a portion of Tract(s) A-1 & A-2, **HAYES ADDITION**, zoned C-1 neighborhood commercial zone, located on CARLISLE BLVD NE, between CANDELARIA BLVD NE and LOS ARBOLES AVE NE containing approximately 1 acre(s). (H-17) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE.**
18. **Project # 1003291**
04DRB-00528 Minor- Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for JOSEPH & KATHLEEN COWHAM request(s) the above action(s) for all or a portion of Tract(s) 14, M.R.G.C.D. MAP 35, **LANDS OF COWHAM-BOWEN**, zoned R-LT residential zone, located on RIO GRANDE BLVD NW, between CONTRERAS PL NW and MATTHEW AVE NW containing approximately 2 acre(s). [REF: 04DRB-00322] *[Deferred from 4/14/04]* *(Indefinitely deferred on 4-21-04)* (Final Plat was deferred from 5-26-04) (H-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU.**

19. **Project # 1003112**
04DRB-01005 Major-Final Plat Approval

COMMUNITY SCIENCES CORP agent(s) for COLLATZ INC, JACK CLIFFORD request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF COLLATZ INC, **RINCONADA TRAILS**, zoned SU-1 special use zone, located on UNSER BLVD NW, between UNSER BLVD NW and WESTERN TRAILS NW containing approximately 9 acre(s). [REF: 03DRB-01994, 04DRB-00166, 04DRB-00167, 04DRB-00168] [*Deferred from 7/14/04, 7/21/04, 8/4/04, 8/11/04 & 8/18/04*] (F-11/F-12) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

20. **Project # 1003638**
04DRB-01304 Minor-Sketch Plat or
Plan

BOHANNAN HUSTON INC agent(s) for VENTANA WEST LLC request(s) the above action(s) for all or a portion of Tract(s) 7 & 8, **VENTANA RANCH WEST**, zoned R-LT residential zone, located on VENTANA RIDGE RD NW, between IRVING BLVD NW and VENTANA WEST PARKWAY NW containing approximately 30 acre(s). [REF: 1002778, 04DRB-00128] (B-8) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. Approval of the Development Review Board Minutes for August 18, 2004. **THE DRB MINUTES FOR AUGUST 18, 2004 WERE APPROVED.**

ADJOURNED: 11:30 A.M.

[Handwritten mark]



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-01266 (SBP)
Project Name: RENAISSANCE CENTER
Agent: Consensus Planning

Project # 1003421
Phone No.: 764-9801

Your request for ~~(SDP for SUB)~~, ~~(SDP for BP)~~, ~~(FINAL PLATS)~~, ~~(MASTER DEVELOP. PLAN)~~, was approved on 9/1/04 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): *Elm's initials*

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- ~~County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.~~
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1003421

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
September 1, 2004
DRB Comments**

ITEM # 6

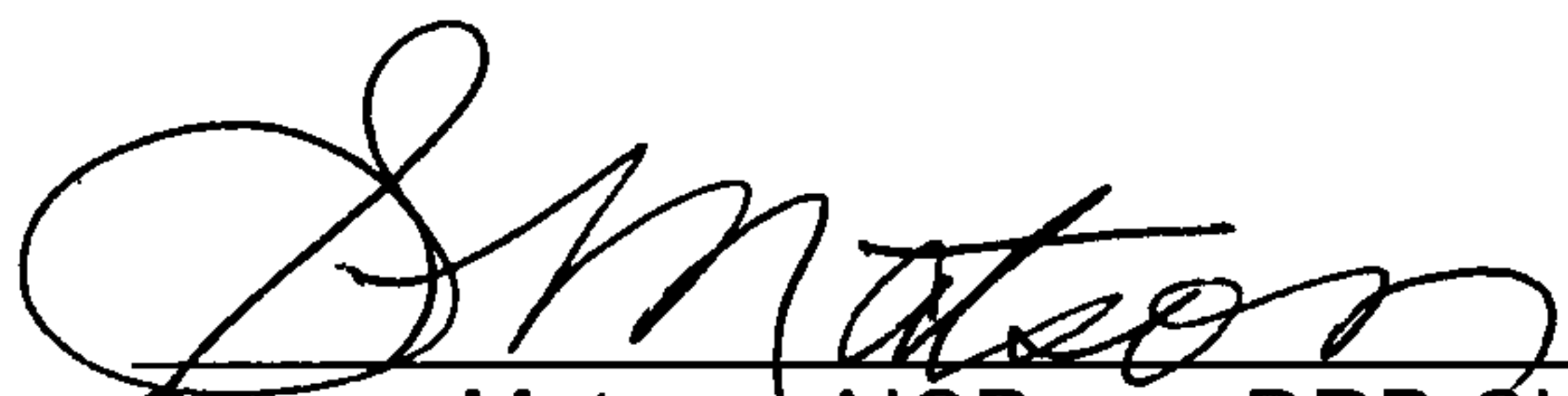
PROJECT # 1003421

APPLICATION # 04-01306

RE: Renaissance Center Tracts 1B1E, 1B1D & 1A2/minor plat

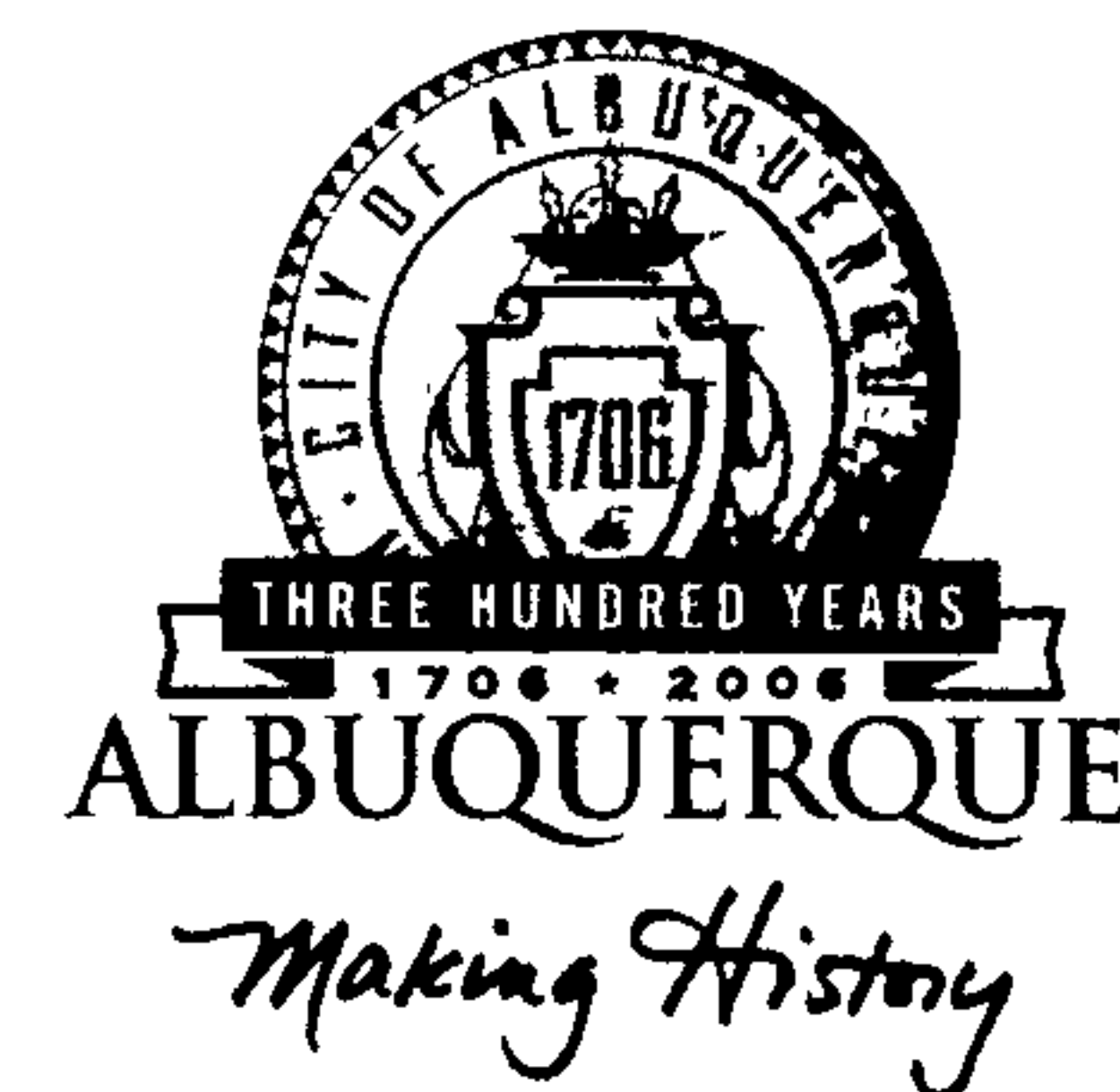
No objection to the replat.

Planning will sign the plat after the AGIS dxf is approved. Be sure to provide Planning with a recorded copy to close our file.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003421

AGENDA ITEM NO: 6

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

Albuquerque

ENGINEERING COMMENTS:

No adverse comments.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: September 1, 2004



Sheran A. Matson

08/25/04 11:55 AM

To: Claire A. Senova/PLN/CABQ@COA
CC:
Subject: Fw: First Family Church

????

----- Forwarded by Sheran A. Matson/PLN/CABQ on 08/25/04 11:55 AM -----



"Bruce Stidworthy"
<bstidworthy@bhinc.com>

08/25/04 11:02 AM

To: <SMatson@cabq.gov>, "John Valdez"
<valdez@consensusplanning.com>
cc: <cp@consensusplanning.com>, "Larry Medrano"
<Larry@presurv.com>, "Roger Green, Utility Development -- CoA"
<RGreen@cabq.gov>
Subject: First Family Church

Sharon: There was some confusion today at DRB regarding the project numbers for this project. Below is an explanation . . .

1. The first application that was made was the EPC submittal for zone change and Site Development Plan for Building Permit. The EPC case number was 1003421.
2. The next application was for the vacation of public and private easements. The application referenced the EPC case number and was assigned a DRB # of 1000419.
3. The next application was for DRB final signoff the Site Development Plan for Building Permit. The application again referenced the EPC case number, but did not reference the DRB number assigned to the vacation action (Our mistake)- This application was assigned a new DRB # of 1003421.
4. The last application submitted was for the plat - that application referenced a myriad of cases, including the EPC number and both DRB numbers mentioned above. It was assigned the same DRB # as the Site Development Plan for Building Permit (1003421).

I hope this helps, sorry for the confusion, please let me know if there is anything I need to do. Thanks, Bruce.

Bruce Stidworthy, P.E.

Vice President & Senior Project Manager
Bohannon Huston Inc.
Courtyard One, 7500 Jefferson NE
Albuquerque NM, 87109
Voice 505 823 1000, Fax 505 798 7988



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 25, 2004 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:35 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1000352**
04DRB-01175 Major-Two Year SIA

ARLAN COLLATZ agent(s) for COLLATZ INC, ANTHONY PADILLA request(s) the above action(s) for all or a portion of Lot(s) 1-111, Tract(s) A, **RINCONADA MESA SUBDIVISION**, LAVA SHADOWS, zoned SU-1, located on UNSER BLVD NW, between 71ST ST NW and WESTERN TRAIL NW containing approximately 18 acre(s). [REF: 02DRB01158, DRB-99-124, 00128-00430, 00431] (F-10) **TWO-YEAR SIA WAS APPROVED.**

2. **Project # 1001946**
04DRB-01177 Major-Vacation of Pub
Right-of-Way
04DRB-01178 Major-Preliminary Plat
Approval
04DRB-01176 Minor-Vacation of
Private Easements

BOHANNAN HUSTON agent(s) for LOWE'S (NEAL HAMILTON) request(s) the above action(s) for all or a portion of Tract(s) A, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on PASEO DEL NORTE RD NE, between I-25 FRONTAGE RD. NE and SAN FRANCISCO DR. NE containing approximately 32 acre(s). [REF: 03DRB-01271] [*Deferred from 8/25/04*] (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 9/8/04.**

3. **Project # 1002047**
04DRB-01174 Major-Vacation of
Public Easements

TIERRA WEST, LLC agent(s) for MOUNTAIN RUN PARTNERS LTD. request(s) the above action(s) for all or a portion of Tract(s) 2, **MOUNTAIN RUN SUBDIVISION**, zoned C-2 community commercial zone, located on EUBANK BLVD NE, between JUAN TABO BLVD NE and MALAGUENA LANE NE containing approximately 8 acre(s). [REF:Z-77-106-1, ZA-83-145, 02DRB-00955] (E-21) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH ADDITIONAL CONDITION OF FINAL PLAT APPROVAL.**

4. **Project # 1003572**
04DRB-01143 Major-SiteDev Plan
BldPermit
04DRB-01142 Major-SiteDev Plan Subd

CLAUDIO VIGIL ARCHITECTS agent(s) for BRUNACINI DEVELOPMENT LTD CO request(s) the above action(s) for all or a portion of Lot(s) A, **JOURNAL CENTER, PHASE 2, UNIT 2**, (to be known as **BRUNACINI @ JOURNAL CENTER**, zoned IP industrial park zone, located on RUTLEDGE RD NE, between NORTH DIVERSION CHANNEL and BARTLETT ST NE containing approximately 15 acre(s). [REF: DRB-95-268] [Listed as Project #1000633 in error] [*Deferred from 8/18/04*] (D-16) **SITE PLAN FOR BUILDING PERMIT WS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA. SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

5. **Project # 1003369**
04DRB-00514 Major-Drainage Plan to Determine the Cost Allocation for Storm Drainage Improvements
- BOB KEERAN agent(s) for LLAVE CONSTRUCTION INC request(s) these action(s) for all or a portion of Unit(s) 3, Lot(s) 6 & 7, Tract(s) 3, Block(s) 16, NORTH ALBUQUERQUE ACRES, **VINTNER COURT SUBDIVISION**, zoned DETENTION POND, located on VINTNER NE, between VENTURA NE and CORONA NE containing approximately 2 acre(s). [Deferred from 5/12/04, 5/26/04, 6/9/04, 6/23/04, 7/14/04, 7/21/04, 8/11/04 & 8/25/04] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 9/8/04.**
6. **Project # 1002715**
04DRB-00964 Major-Bulk Land Variance
04DRB-00965 Major-Vacation of Pub Right-of-Way
04DRB-00966 Major-Vacation of Public Easements
04DRB-00967 Minor-Prelim&Final Plat Approval
- ISAACSON & ARFMAN PA agent(s) for BOULEVARD LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 1 THRU 4, Tract(s) H, **LANDS OF HORIZON CORPORATION**, zoned SU-1 FOR C-1, located on UNSER BLVD NW, between PARADISE BLVD NW and LYONS BLVD NW containing approximately 30 acre(s). [REF: 03EPC-00918, 03EPC-00919] [Deferred from 7/14/04 & 7/28/04] (B-11) **BULK LAND VARIANCE WAS APPROVED. VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO TRANSPORTATION DEVELOPMENT, NEED EASEMENT FROM BUGLO NORTH RECORDED AND REVIEW DEDICATION OF UNSER AND PLANNING FOR NMU INC. SIGNATURE, TRACT ACREAGES MATCH SITE PLAN AND 15-DAY APPEAL PERIOD.**
- 04DRB-01061 Minor-SiteDev Plan Subd/EPC
- CONSENSUS PLANNING INC agent(s) for BOULEVARD LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3, & 4, **HORIZON CORPORATION REPLAT OF TRACT H**, zoned SU-1, located on PARADISE BLVD NW, between LYON BLVD NW and UNIVERSE BLVD NW containing approximately 30 acre(s). [REF: 03EPC-00918, 03EPC-00919, 04DRB00964, 00965, 00966, 00967] [**Juanita Vigil, EPC Case Planner**] [Deferred from 7/14/04 & 7/21/04] (B-11) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT, NEED TO REMOVE ACCESS TO UNSER AND PLANNING FOR TRACT ACREAGES MATCH PLAT, 15-DAY APPEAL PERIOD, SIGNATURE BLOCK INFRASTRUCTURE LIST LANGUAGE.**

7. **Project # 1003483**
04DRB-00881 Major-SiteDev Plan
BldPermit

SAM PATEL agent(s) for SANTOSH B. MODY request(s) the above action for all or a portion of Lots 17,18 & 19, Tract 4, Block 12, **NORTH ALBUQUERQUE ACRES UNIT B**, zoned SU-2 special neighborhood zone, IP, located on SIGNAL AVE NE, between I-25 NE and SAN PEDRO BLVD NE containing approximately 3 acre(s). [REF: ZA-95-414, DRB-98-273] *[Deferred from 6/30/04 & 7/28/04]*(C-18) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA.**

04DRB-01167 Minor-Prelim&Final Plat
Approval

CARTESIAN SURVEYS agent(s) for SANTOSH BHARAT & CHAMPA MODY request(s) the above action(s) for all or a portion of Lot(s) 17, 18 & 19, Block(s) 12, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP, located on SAN PEDRO NE, between SIGNAL AVE NE and ALAMEDA NE containing approximately 3 acre(s). [REF: 04DRB-00881] *[Deferred from 8/4/04]* (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/25/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/17/04 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. ~~Project # 1003421~~
04DRB-01266 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING INC agent(s) for FIRST FAMILY CHURCH, request(s) the above action(s) for all or a portion of Tract(s) 1B1E, 1B1D & 1A2, **RENAISSANCE CENTER**, zoned SU-1 FOR CHURCH AND RELATED FACILITIES, located on UNION WAY DR NE, between MONTANO RD NE and MISSION AVE NE containing approximately 13 acre(s). [REF: 04EPC00685, 04EPC00684] **[Elvira Lopez, EPC Case Planner]** *[Deferred from 8/25/04]* (F-16) **DEFERRED AT THE AGENT'S REQUEST TO 9/1/04.**

9. **Project # 1000560**
04DRB-01273 Minor-Amnd SiteDev
Plan BldPermit

DEKKER, PERICH & SABATINI agent(s) for NEW MEXICO ONCOLOGY HEMATOLOGY CONSULTANTS, request(s) the above action(s) for all or a portion of Tract(s) 1A-2-B, **JOURNAL CENTER**, zoned IP, located on LANG AVE NE, between JEFFERSON NE and HEADLINE BLVD NE containing approximately 4 acre(s). [REF: 00450-01713] *[Deferred from 8/25/04]* (D-17) **DEFERRED AT THE AGENT'S REQUEST TO 9/1/04.**

10. **Project # 1003371**
04DRB-01184 Minor-SiteDev Plan
BldPermit

STEPHEN C DAY, ARCHITECT agent(s) for DRIVETIME AUTOMOTIVE, DAN PACKOWSKI request(s) the above action(s) for all or a portion of Lot(s) 31 & 32, Block(s) 11, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, (to be known as **DRIVE TIME @ ALAMEDA**) zoned SU-2 FOR M-1, located on ALAMEDA BLVD NE, between SAN MATEO NE and I-25 containing approximately 2 acre(s). [REF: 04DRB-00531] *[Deferred from 8/11/04 & 8/25/04]* (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 9/8/04.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1000908**
04DRB-01264 Minor-Final Plat Approval

WILSON & COMPANY INC agent(s) for LONGFORD GROUP INC., N. JEFF RAINEY, request(s) the above action(s) for all or a portion of Tract(s) 439 (to be known as **CASITA DEL LA MESA, UNIT 4**, TOWN OF ATRISCO GRANT UNIT 3, zoned R-D residential and related uses zone, developing area, located east of 94th ST SW between TOWER RD SW AND SAN YGNACIO RD SW containing approximately 6 acre(s). [REF: 02DRB00721, 02DRB00722, 02DRB00723, 02DRB00724] (L-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

12. **Project # 1001543**
04DRB-01269 Minor- Prelim&Final Plat Approval
- JEFF MORTENSEN & ASSOCIATES, INC., agent(s) for TIARA HOMES, INC. request(s) the above action(s) for all or a portion of Tract(s) 2, **DESERT RIDGE PLACE, UNIT 1**, zoned R-D residential and related uses zone, developing area, located on DESERT FOX WAY NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 2 acre(s). [REF: 02DRB-01128, 02EPC-00131, 02DRB-01126] (C-20) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**
13. **Project # 1001984**
03DRB-01379 Minor- Final Plat Approval
- JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for RICH FORD request(s) the above action(s) for all or a portion of Tract(s) A & B, **HYDER-MAISEL SUBDIVISION**, and Tract(s) A, **LANDS OF ROBERT L. JOHNSON** and **NMSHTD AIRSPACE PARCEL B-13-5**, zoned C-2 and P, located on LOMAS BLVD NE, between WYOMING BLVD NE and INTERSTATE HIGHWAY 40 containing approximately 18 acre(s). [REF: 02DRB-01963, 01964, 02EPC-00826, 00827, 00828] (*Was Indefinitely Deferred on 8/27/03*) (Final Plat was indefinitely deferred for SIA on 7/14/04) (J-20) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
14. **Project # 1003509**
04DRB-01270 Minor-Prelim&Final Plat Approval
- SURVEYING CONTROL, INC. agent(s) for CITY OF ALBUQUERQUE LEGAL DEPARTMENT, REAL PROPERTY, request(s) the above action(s) for all or a portion of Lot(s) 6, Block(s) 6 & remaining portion of Block(s) 11, **DUKE CITY INDUSTRIAL AREA**, zoned C-3, located on CLAREMONT AVE NE, between WELLESLEY DR NE and RICHMOND DR NE containing approximately 5 acre(s). [REF: 04DRB-00983] (H-16) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR REAL PROPERTY SIGNATURE.**

15. **Project # 1002858**
04DRB-01155 Major-Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) G, H & I ARROWOOD RANCH DEVELOPMENT, **THE MESA @ ANDERSON HILLS UNIT 1**, zoned R-2, SU-1, C-1, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 43 acre(s). [REF: SD-87-4-1, Z-99-58, 04DRB-00234, 03DRB-01208, 03DRB-01207, 01206, 01209] *[Deferred from 8/4/04]*(N-9/P-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO PLANNING FOR TRACT G REINSTATEMENT, 5 LOTS INTO PARCEL A AND REMNANT ON WEST TURNED INTO A TRACT.**

- 04DRB-01272 Minor-Extension of
Preliminary Plat

MARK GOODWIN & ASSOC., PA agent(s) for ANDERSON HILLS, LLC request(s) the above action(s) for all or a portion of Tract(s) G THRU I, ARROWOOD RANCH DEVELOPMENT, **THE MESA @ ANDERSON HILLS UNIT 1**, zoned R-2 residential zone, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 43 acre(s). [REF: SD-87-4-1, Z-99-58, SPR-95-2-2] (N-9/P-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

16. **Project # 1003153**
04DRB-01271 Minor-Prelim&Final Plat
Approval
04DRB-01313 Minor-Vacation of Private
Easement(s)

GEORGE J. MARQUEZ agent(s) for LEO KORTE request(s) the above action(s) for all or a portion of Tract(s) 8-A-B, **ALBUQUERQUE BUSINESS ADDITION**, zoned C-2, located on CENTRAL AVE NW, between 50TH ST NW and ARENAL CANAL containing approximately 1 acre(s). [REF:DRB 95-408, DRB 95-495, 03DRB02140, Z- 84-87, ZA 95-199] (K-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/25/04 THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA. THE VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

17. **Project # 1003617**
04DRB-01265 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST, LTD. agent(s) for BILL WADE request(s) the above action(s) for all or a portion of Lot(s) 1-A, 2-A, 3-A AND 4-A, **BREEZE @ MOUNTAIN GATE**, zoned SU-1 special use zone, PRD, located on FOUR HILLS RD SE, between WENONAH AVE. SE and LANIER DR SE containing approximately 1 acre(s). [REF: 1000849, 03DRB-02074] (L-23) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

18. **Project # 1003572**
04DRB-01135 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for BRUNACINI DEVELOPMENT, ANGELO BRUNACINI request(s) the above action(s) for all or a portion of Tract(s) A, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP industrial park zone, located on RUTLEDGE ST NE, between NORTH DIVERSION CHANNEL and SNAPROLL ST NE containing approximately 15 acre(s). (*Deferred from 7/28/04*) (D-17) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/25/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/24/04 THE PRELIMINARY PLAT WAS APPROVED THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

19. **Project # 1003216**
04DRB-00093 Minor- Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for STERLING CAPITAL DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 12-C and remainder of Lot 12, Block(s) 141, **SNOW HEIGHTS ADDITION**, zoned C-2, located on WYOMING BLVD NE, between NORTHEASTERN BLVD NE and INDIAN SCHOOL RD NE containing approximately 2 acre(s). [*Final Plat was indefinitely deferred on 2/18/04*] (H-20) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

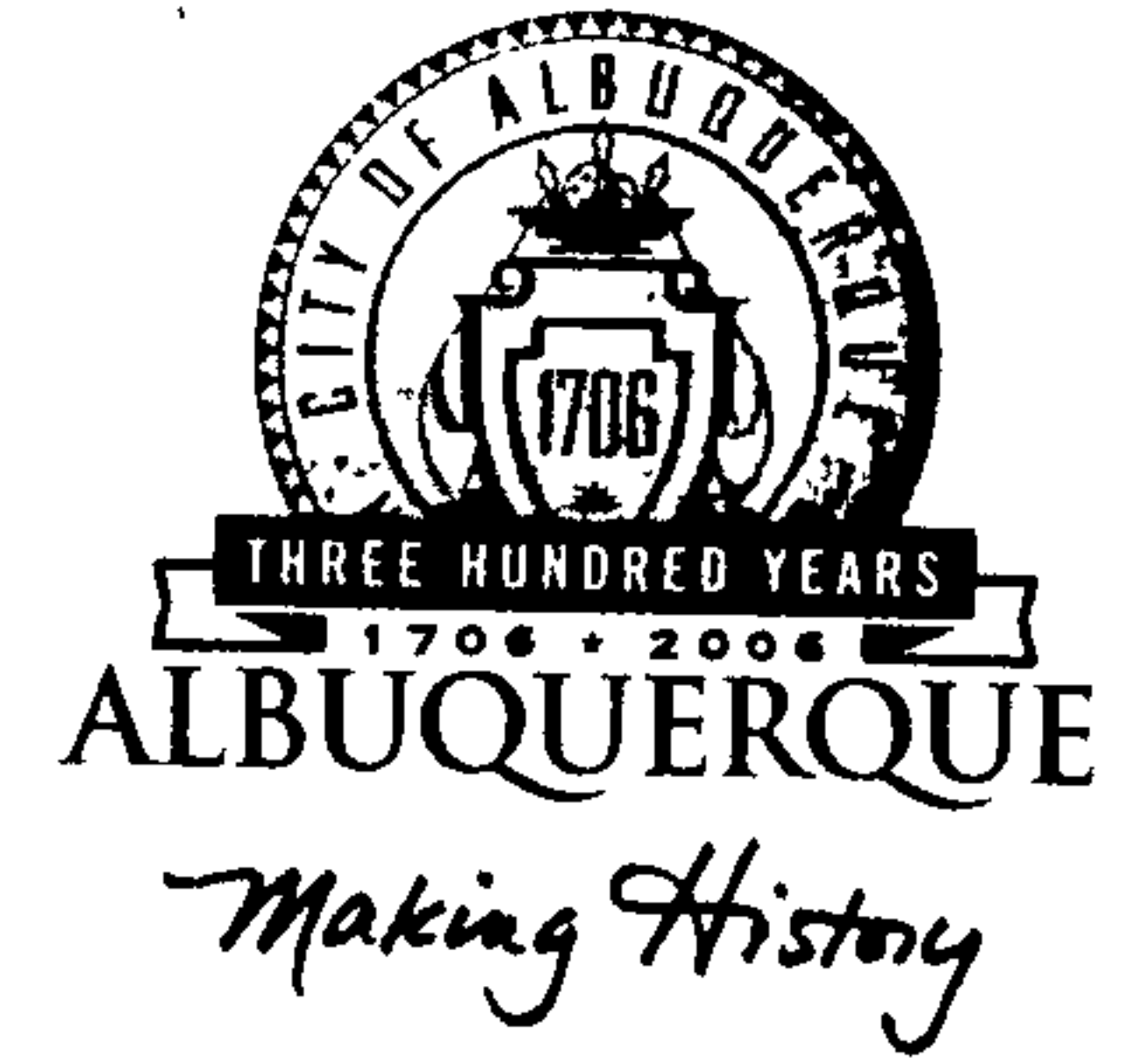
NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK. . .

20. Approval of the Development Review Board Minutes for August 11, 2004. **THE DEVELOPMENT REVIEW BOARD MINUTES DATED AUGUST 11, 2004 WERE APPROVED.**

ADJOURNED: 11:35 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003421

AGENDA ITEM NO: 8

SUBJECT:

- | | | |
|-------------------------|------------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

Albuquerque

ENGINEERING COMMENTS:

No adverse comments.

New Mexico 87103

RESOLUTION:

9-1-04

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: August 25, 2004

DEVELOPMENT REVIEW BOARD
UTILITY DEVELOPMENT
Standard Comment Sheet

DRB-1003421

Item No. 8

Zone Atlas F-16

DATE ON AGENDA 08/25/04

INFRASTRUCTURE REQUIRED () YES (X) NO

CROSS REFERENCE: #1000419

TYPE OF APPROVAL REQUESTED: () ANNEXATION

() SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT

() SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION

(X) SITE PLAN FOR BUILDING PERMIT

No. Comment

1. The sanitary sewer service as shown is not acceptable. The public line shown does not exist. Outfall is at the south west corner of site into the 48" interceptor. Service line must be constructed with a inverted siphon to trap gases, from the interceptor.

2. Need fire flow calculations from the Fire Marshall and their sign off on the utility plan.

3. Need a plat for the site. Plat must show previously recorded public sanitary sewer line easement in the south west corner unless easement is vacated prior to plat approval.

If you have any questions or comments please call Roger Green at 924-3989.

Memorandum

To: Sheran Matson
CC: Clair Senova
From: Elvira Lopez
Date: 8/25/2004
Re: Project 1003421 for DRB review

#8 M

On June 17, 2004, the Environmental Planning Commission voted to approve Project 1003421/04EPC 00684 a request for a zone map amendment from SU-1 for R-2 and SU-1 for R-3 and C-1 to SU-1 for Church and Related Facilities and Daycare for Lots 1A2, 1B1E, and 1B1D Renaissance Center. In addition the EPC approved 04EPC 00685, a site development plan for building permit for these same lots. Ten findings and 15 conditions were approved with 04EPC 00685.

1. The applicant has **not fully** met condition #6, which states:

“A ten foot wide landscape buffer area with trees at least 8-feet high at the time of planting and a 6’ high solid wall shall be provided along the property line where the subject site’s parking abuts residential zones (Section 14-16-3-10 (E) (4)). A mix of evergreen and deciduous trees shall be planted along this buffer area at a minimum interval of 25 ft. This standard shall be met for both the western and northern boundary line during Phase I. The site plan for phase I shall include the retaining wall along the west side of the property.”

- The western lot line is adjacent to a residential area zoned MH. The applicant has not provided a 10’ wide landscape buffer area with trees at least 8’ high at the time of planting along the western property line as required by condition #6 for phase I. The applicant will need to plant these trees during phase I in spite of the fact that the site plan indicates that the applicant will build a second retaining wall (2nd/higher tier) during Phase II. Landscaping to reflect this condition shall be indicated on sheet 2B, Phase I Landscape Plan.

2. In addition, the following errors shall be corrected if they have not already been corrected by the time of DRB review:

- On sheet 1A, the Parking calculations (768) within the Project Data Table do not match the parking provided (809); This discrepancy is related to a reduction in parking spaces from the original site plan. Information in Project Data Table must be corrected.

August 25, 2004

- Condition #15: Project Data Phase I table on sheet 1B still indicates that the building area is 8,600 ft. and this should be modified to 58,600 ft.
- The placement of the retaining wall along the western property line on the master site plan (sheet 1A) shall reflect the dimensions for the retaining wall section (Section A-4E) that will be built in phase II.

Memorandum

To: Sheran Matson
CC: Clair Senova
From: Elvira Lopez
Date: 8/25/2004
Re: Project 1003421 for DRB review

On June 17, 2004, the Environmental Planning Commission voted to approve Project 1003421/04EPC 00684 a request for a zone map amendment from SU-1 for R-2 and SU-1 for R-3 and C-1 to SU-1 for Church and Related Facilities and Daycare for Lots 1A2, 1B1E, and 1B1D Renaissance Center. In addition the EPC approved 04EPC 00685, a site development plan for building permit for these same lots. Ten findings and 15 conditions were approved with 04EPC 00685.

1. The applicant has **not fully** met condition #6, which states:

“A ten foot wide landscape buffer area with trees at least 8-feet high at the time of planting and a 6’ high solid wall shall be provided along the property line where the subject site’s parking abuts residential zones (Section 14-16-3-10 (E) (4)). A mix of evergreen and deciduous trees shall be planted along this buffer area at a minimum interval of 25 ft. This standard shall be met for both the western and northern boundary line during Phase I. The site plan for phase I shall include the retaining wall along the west side of the property.”

- The western lot line is adjacent to a residential area zoned MH. The applicant has not provided a 10’ wide landscape buffer area with trees at least 8’ high at the time of planting along the western property line as required by condition #6 for phase I. The applicant will need to plant these trees during phase I in spite of the fact that the site plan indicates that the applicant will build a second retaining wall (2nd/higher tier) during Phase II. Landscaping to reflect this condition shall be indicated on sheet 2B, Phase I Landscape Plan.

2. In addition, the following errors shall be corrected if they have not already been corrected by the time of DRB review:

- On sheet 1A, the Parking calculations (768) within the Project Data Table do not match the parking provided (809); This discrepancy is related to a reduction in parking spaces from the original site plan. Information in Project Data Table must be corrected.

August 25, 2004

- Condition #15: Project Data Phase I table on sheet 1B still indicates that the building area is 8,600 ft. and this should be modified to 58,600 ft.
- The placement of the retaining wall along the western property line on the master site plan (sheet 1A) shall reflect the dimensions for the retaining wall section (Section A-4E) that will be built in phase II.

gar

TIERRA WEST, LLC

July 25, 2012

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: EPC FINAL SIGN-OFF / PRELIMINARY & FINAL PLAT SIGN-OFF
LOT 1A-2-A-1, 1A-2-A-2, 1A-2-A-3 RENAISSANCE CENTER
PROJECT NO. 1003421 (11EPC-40094 / 12EPC-40001)
ZONE ATLAS PAGE F-16**

Dear Mr. Cloud:

Tierra West LLC, on behalf of Ken Williams Enterprises, Inc., requests a one-week deferral to August 1, 2012 on the above-referenced project. This deferral is requested to allow additional time to address comments.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2011099
RRB/cla

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West, LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place, NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: rrb@tierrawestllc.com

APPLICANT: Ken Williams Enterprise, Inc. PHONE: _____
 ADDRESS: PO Box 14876 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87131 E-MAIL: _____

Proprietary interest in site: Purchaser List all owners: Albuquerque First Assembly of God, Inc.

DESCRIPTION OF REQUEST: Site Plan for Subdivision and Preliminary/Final Plat Sign-Off

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1A-2-A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Renaissance Center
 Existing Zoning: R-3 Proposed zoning: SU-1 for Auto Sales & RV Storage
SU-1 for C-2 Permissive Uses
SU-1 for R-3 Uses MRGCD Map No _____
 Zone Atlas page(s): F-16 UPC Code: 101606109330020801

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____
Z-84-13-4/ 1003421 / 11EPC-40094 / 12EPC-40001

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 12.55 ±
 LOCATION OF PROPERTY BY STREETS: On or Near: Union Way Rd., NE
 Between: Mission Rd., NE and Renaissance Blvd., NE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Ronald R. Bohannon, PE DATE June 18, 2012
 (Print Name) Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 6/2011

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12 DRB - 70175</u>	<u>P&F</u>	_____	\$ <u>215.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>12 DRB - 70176</u>	<u>SBP</u>	_____	\$ 385.00
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>EMF</u>	_____	\$ 20.00
<input type="checkbox"/> AGIS copy has been sent	_____	<u>ADV</u>	_____	\$ 75.00
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ <u>695.00</u>
	Hearing date <u>July 18, 2012</u>			<u>215.00</u>
	<u>6-19-12</u>	Project # <u>1003421</u>		
	Staff signature & Date			

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) CR INTERNAL ROUTING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, PE
 Applicant name (print)
 06-19-12
 Applicant signature / date



Form revised **October 2007**

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 12 - DRB - 76175

Planner signature / date
 Project # 1003421

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - N/A Infrastructure List, if relevant to the site plan
 - N/A Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Solid Waste Management Department signature on Site Plan for Building Permit
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Behannan, PE
 Applicant name (print)
 07-02-12
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 12 - DRB 70180
 - - - - - 70188

7-3-12
 Planner signature / date
 Project # 1003421



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation			
<input type="checkbox"/> Variance (Non-Zoning)			
SITE DEVELOPMENT PLAN	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
<input checked="" type="checkbox"/> for Subdivision			<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Building Permit			<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> Administrative Amendment/Approval (AA)			<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan	P		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)			
STORM DRAINAGE (Form D)	D		
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			
	L A		APPEAL / PROTEST of...
			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements

APPLICATION INFORMATION:

Professional/Agent (if any) Tierra West, LLC PHONE 505-858-3100
 ADDRESS 5571 Midway Park Place, NE FAX 505-858-1118
 CITY Albuquerque STATE NM ZIP 87109 E-MAIL rrb@tierrawestllc.com

APPLICANT: Ken Williams Enterprise, Inc. PHONE _____
 ADDRESS: PO Box 14876 FAX _____
 CITY Albuquerque STATE NM ZIP 87131 E-MAIL _____
 Proprietary interest in site: Purchaser List all owners: Albuquerque First Assembly of God, Inc.

DESCRIPTION OF REQUEST: Site Plan for Subdivision and Preliminary/Final Plat Sign-Off

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No 1A-2-A Block _____ Unit _____
 Subdiv/Addn/TBKA: Renaissance Center
 Existing Zoning: R-3 Proposed zoning SU-1 for R-3 Uses MRGCD Map No _____
 Zone Atlas page(s) F-16 UPC Code: 101606109330020801

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj, App, DRB-, AX, Z, V, S, etc) _____
Z-84-13-4/ 1003421 / 11EPC-40094 / 12EPC-40001

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots 1 Total site area (acres). 12.55 ±
 LOCATION OF PROPERTY BY STREETS On or Near Union Way Rd., NE
 Between Mission Rd., NE and Renaissance Blvd., NE
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date _____

SIGNATURE Ronald R. Bohannon, PE DATE June 18, 2012
 (Print Name) _____ Applicant Agent

FOR OFFICIAL USE ONLY

Revised 6/2011

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12 DRB - 70175</u>	<u>P&F</u>		<u>\$215.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>12 DRB - 70176</u>	<u>SBP</u>		<u>\$385.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	<u>70188</u>	<u>EMT</u>		<u>\$20.00</u>
<input type="checkbox"/> AGIS copy has been sent		<u>ADV</u>		<u>\$75.00</u>
<input type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>July 18, 2012</u>			<u>\$695.00</u>
	<u>6-19-12</u>	Project # <u>1003421</u>		<u>215.00</u>
	Staff signature & Date			

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required

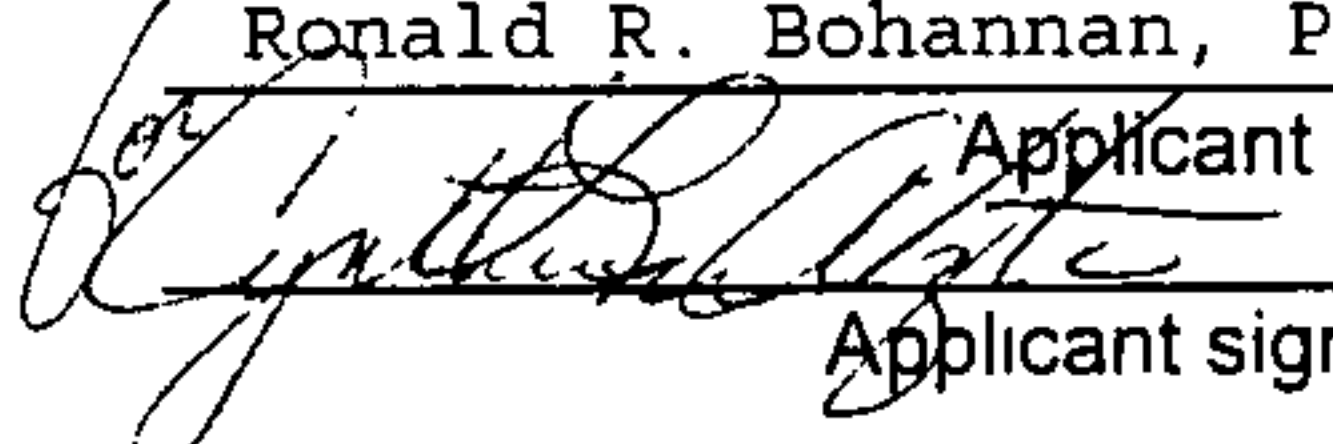
MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more. Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, PE

 Applicant name (print) _____
 06-19-12
 Applicant signature / date _____



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 12 - DRB - 76175

 6-19-12
 Planner signature / date _____
 Project # 1003421

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Behannan, PE
 Applicant name (print)
 Applicant signature / date 07-02-12

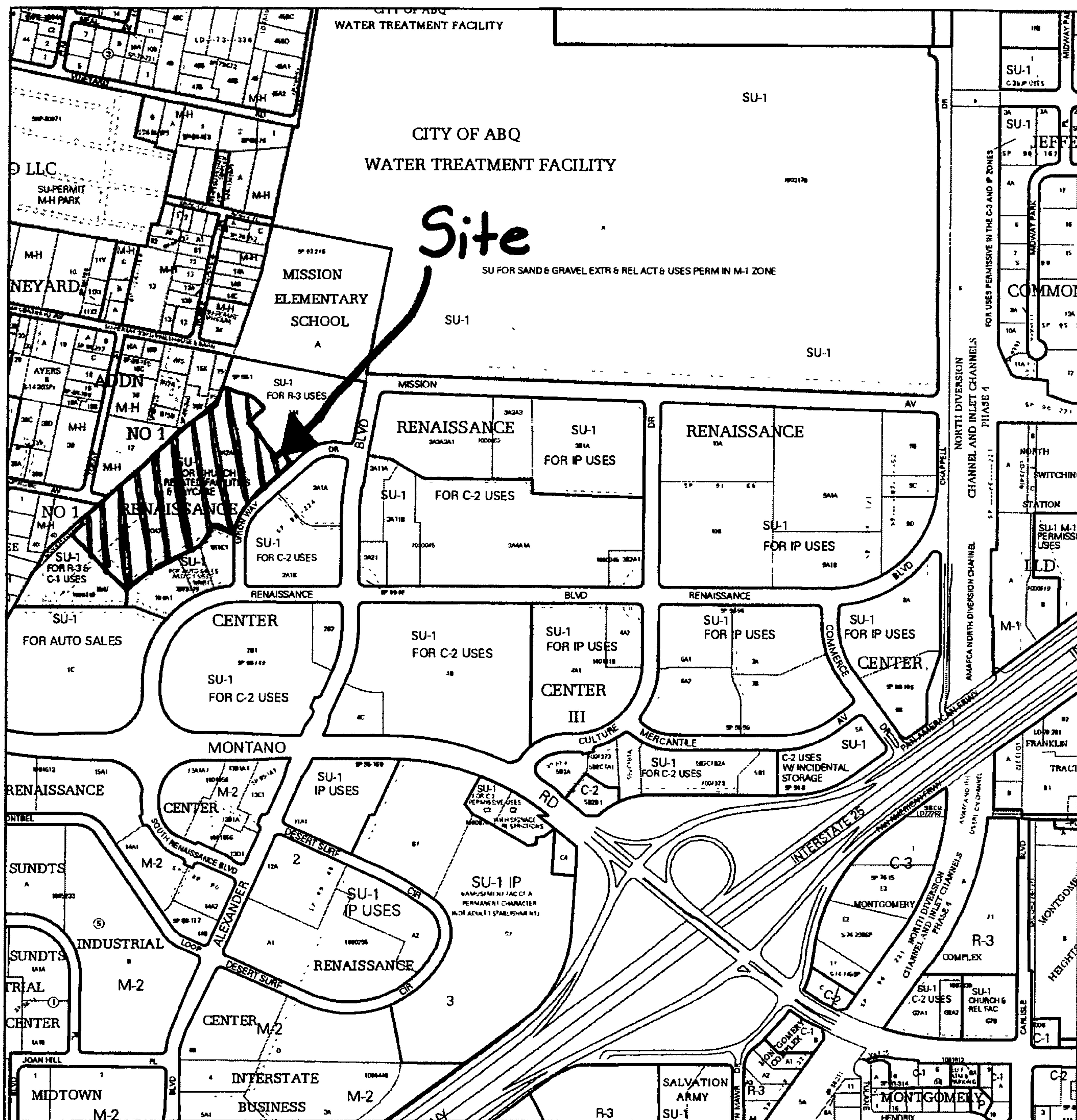


Form revised October 2007

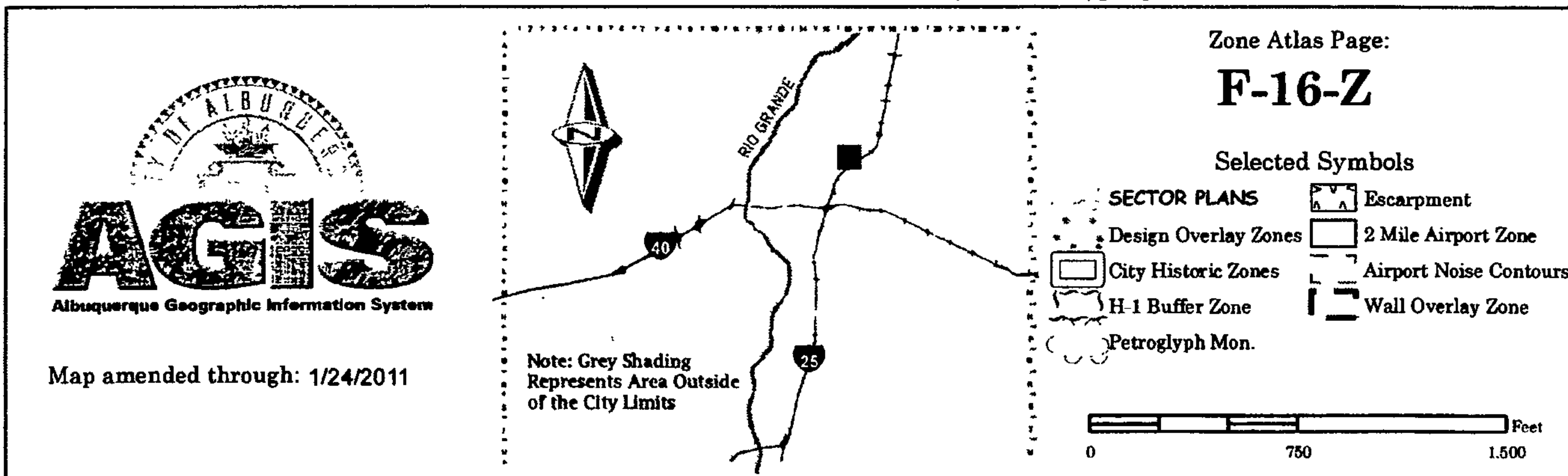
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 12 - DRB 70180
 - - - 70188

Planner signature / date 7-3-12
 Project # 1003421



For more current information and more details visit: <http://www.cabq.gov/gis>



gaw

TIERRA WEST, LLC

June 19, 2012

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: EPC FINAL SIGN-OFF / PRELIMINARY & FINAL PLAT SIGN-OFF
LOT 1A-2-A-1, 1A-2-A-2, 1A-2-A-3 RENAISSANCE CENTER
PROJECT NO. 1003421 (11EPC-40094 / 12EPC-40001)
ZONE ATLAS PAGE F-16**

Dear Mr. Cloud:

Tierra West LLC, on behalf of Ken Williams Enterprises, Inc., requests approval of the Site Plan for Subdivision and Preliminary/Final Plat Sign-Off for the above-referenced site. The site is zoned SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage, and is approximately a 12.5 acre site located at Union Way Road, between Mission Road and Renaissance Boulevard. We have addressed the conditions from EPC related to the Site Plan for Subdivision in the following manner:

ZONE MAP AMENDMENT

- 1 The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to §14-16-4-1(C) (11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.
The Site Development Plan is submitted herewith for DRB approval.

SITE PLAN FOR SUBDIVISION

- 1 The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
This letter explains how all the conditions are met and all modifications due to those conditions.
- 2 Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
On February 16, 2012 we met with Randall Faulkner, the staff planner, to review the updated plans for conformance with the conditions of approval. We believe we made all of the necessary changes.

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

- 3 Tract 1A-2A-1 shall replace "R-3" with "SU-1 for R-3 Uses". Tract 1A-2A-2 shall replace "C-2" with "SU-1 for C-2 Permissive Uses". Tract 1A-2A-3 shall replace "RV" with "SU-1 for Auto Sales and RV Storage".

The zoning notes were added to both the Site Plan and the Plat.

- 4 Under the heading "Site Data" the category "Proposed Usage" needs to be changed to "Proposed Zoning" and the Zoning shall be listed as follows: "SU-1 for C-2 Permissive Uses; R-3 Uses; and RV Storage/Auto Sales".

As requested above, the changes were added to the "Site Data" table.

- 5 Under the heading "Site Data" the following categories beginning with "Maximum Bldg. Height" shall be listed as follows: Maximum Bldg. Height: Height shall be provided as in the O-1 Zone; Minimum Bldg. Setback (C-2): Per Zoning Code; Maximum Dwelling Units: 20 DU/Acre; Maximum F.A.R. (C-2): 0.30; Maximum F.A.R. (Residential): 0.60.

As requested above the changes were added to the "Site Data" table.

- 6 The "General Notes" on the site development plan for subdivision shall be changed to "General Design Standards."

The "General Notes" was revised to read, "General Design Standards", as requested above.

- 7 The General Notes (General Design Standards) shall be categorized into specific groups (such as Access, Lighting, Signage, Screening, Parking, Circulation, Public Outdoor Space, Sustainability, Landscaping, Approval Process, etc.).

The General Notes were divided into two categories – Site Data, Lighting and Signs / Landscaping, as requested above.

- 8 General Notes 1 and 3 shall be deleted (same language used in General Notes 10 and 15).

The notes were deleted as requested and remaining notes renumbered as necessary.

- 9 General Note 5, sentence 1, shall be changed to "15' high lighting poles shall be placed along main pedestrian walkway areas and 20' high lighting elsewhere in the parking area."

General Note 3 (formally note 5) was changed as requested above.

- 10 General Note 5, sentence 2, shall replace "20 feet" with "16 feet".

General Note 3, sentence 2, (formally Note 5, sentence 2), was changed as requested above.

- 11 General Note 8 shall be replaced with the following: "All signs shall adhere to the signage regulations found in the Renaissance Master Plan."

General Note 6, (formally Note 8) was changed as requested above.

- 12 General Note 14, second sentence, needs to replace the word "on" after C-2 with the word "and".

General Note 11, (formally Note 14) was changed as requested above.

- 13 General Note 15 shall replace the word “uses” with the word “standards” and a period shall be placed after the word “regulations”.
General Note 12, (formally Note 15), was changed as requested above.
- 14 The applicant shall delete the words “except the City Landscape Ordinance will apply” at the end of General Note 15 and shall have a separate General Note (General Design Standard) under the category heading of Landscaping that states that “All landscaping shall be in conformance with the landscaping requirements in the Renaissance Master Declaration and Rules and Regulations, City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. All landscaping requirements in the Renaissance Master Declaration and Rules and Regulations shall be followed, except that high water use turf grasses and trees (such as Kentucky Bluegrass and Fescue, and Cottonwood and London Plane trees) shall be prohibited. Waste water management is the sole responsibility of the property owner.” General Note 11 (which has similar language concerning waste water management) shall be deleted.
General Note 16, (formally Note 15) was changed as requested above.
General Note 11 was deleted.
- 15 General Note 16 shall be changed to read “Future site development plans for building permit shall be approved the EPC.”
General Note 17, (Formally Note 16), was changed as requested above.
- 16 General Note 18 shall change “5 ft” to “10 ft”. The 10 ft landscape buffer on the western boundary of the development shall begin at the end of the 10 ft existing Public Utility Easement (so there shall be 20 ft between the far western boundary and any future buildings).
General Note 15, (formally Note 18), was changed as requested above.
- 17 Conditions of Approval from City Engineer, Municipal Development and NMDOT:
- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
We believe the site plan complies with all DPM criteria.
 - b. Consistency and clarification with notation needs to be provided on this Site Plan. Concurrent Platting Action required at Development Review Board (DRB).
The plat is included with this submittal.
- 18 Conditions of Approval from Public Service Company of New Mexico
- a. As a condition, it is the applicant’s obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
 - b. Screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.
 - c. As a condition, it is necessary for the developer to contact PNM’s New Service Delivery Department to coordinate electric service regarding this project. Any existing or proposed public utility easements are to be indicated on the site plan utility sheet prior to DRB review. PNM’s standard for public utility easements for distribution is 10 feet in width to ensure adequate, safe clearances.

We have contacted PNM's New Service Delivery Department to coordinate new service delivery and have indicated all existing and proposed easements on the site and master utility plans.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

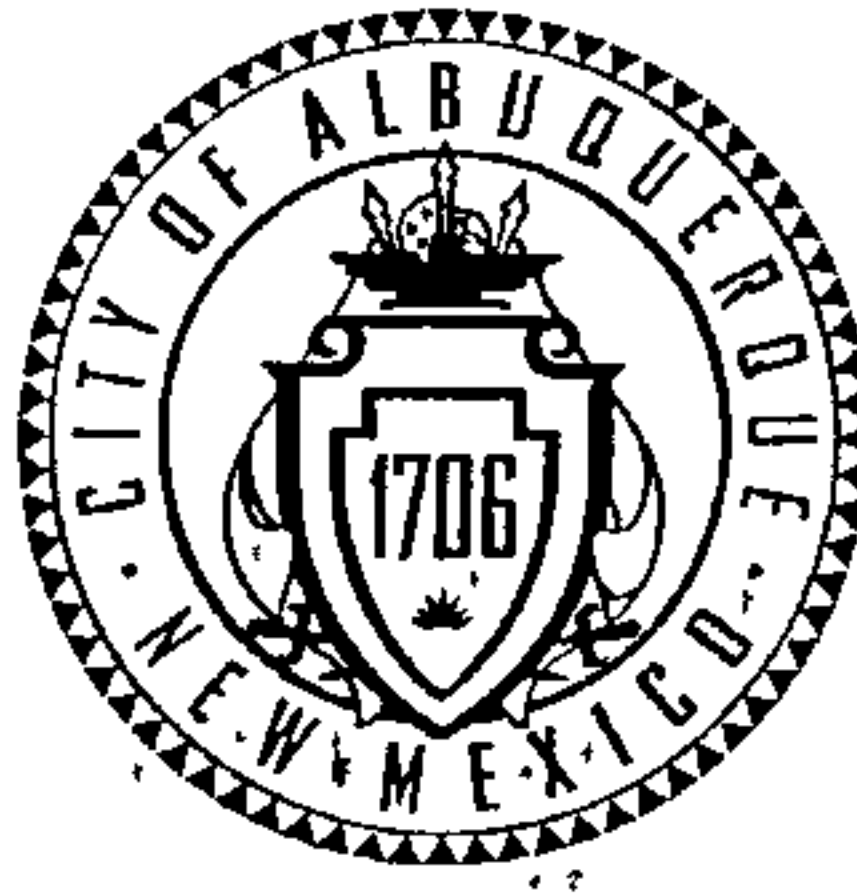


for Ronald R. Bohannon, P.E.

Enclosure/s

cc: Ken Williams – Ken Williams Enterprises, Inc.

JN: 2011099.01
RRB/JDH/cla



City of Albuquerque
Planning Department
Urban Design & Development Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 8, 2012

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003421**

11EPC-40094 Amendment to Zone Map (Zone Change)

12EPC-40001 Site Development Plan for Subdivision

Ken Williams Enterprise, Inc.
P.O. Box 14876
Albuquerque, NM 87191

LEGAL DESCRIPTION:

Tierra West, LLC, agent for Ken Williams Enterprise, Inc., requests the above action for all or a portion of lot 1-A-2-A, Renaissance Center, zoned R-3 to SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage, located on Union Way Road, between Mission Road and Renaissance Boulevard, containing approximately 12.5 acres. (F-16)
Randall Falkner, Staff Planner

On March 8, 2012, the Environmental Planning Commission voted to APPROVE Project 1003421/11EPC-40094, a request for an Amendment to the Zone Map based and 12EPC-40001, a request for a Site Development Plan for Subdivision based on the following Findings and subject to the following Conditions:

FINDINGS - 11EPC-40094, March 8, 2012, Zone Map Amendment

1. This is a request for a zone map amendment from R-3 to SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage for Lot 1A-2A, Renaissance Center, an approximately 12.5 acre site located at Union Way Road, between Mission Road and Renaissance Boulevard.
2. The subject site is currently zoned R-3. The proposed uses would be permissive under the proposed zoning (SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage).

3. The Environmental Planning Commission is hearing the case because zone map amendments must receive approval from the EPC. The applicant has provided justification for the zone map amendment pursuant to R270-1980.
4. A request for a site development plan for subdivision (12 EPC 40001) accompanies this request.
5. The site is located within the Established Urban Area of the Comprehensive Plan and within the boundaries of the North Valley Area Plan and the Renaissance Master Declaration and Rules and Regulations (although the Renaissance Plan was never adopted by the City).
6. The Albuquerque/Bernalillo County Comprehensive Plan, the North Valley Area Plan, the Renaissance Master Declaration and Rules and Regulations, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The applicant provided an adequate justification for the zone change request pursuant to Resolution 270-1980:
 - A. The zone change request is consistent with health, safety, morals, and general welfare of the City. The vacant subject site is located in the Renaissance Center and is surrounded by the same or similar zoning (SU-1 for C-2 Uses, SU-1 for Auto Sales; SU-1 for R-3 Uses) and a mix of uses (retail, warehousing, high density residential, single family residential, vacant and other miscellaneous industrial and commercial). The request will not have a substantial adverse effect on the environment, public facilities and services, roadways, park, fire and police facilities, and drainage facilities.
 - B. The zone change request will provide stability for the area. The proposed zoning (SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage) would be similar to the existing zoning surrounding the site (SU-1 for C-2 Uses, SU-1 for Auto Sales; SU-1 for R-3 Uses). The applicant has provided a sound justification by demonstrating that the requested zoning will be similar to the existing zoning that surrounds the site, and will not destabilize land use and zoning in the area.
 - C. The request furthers applicable policies of the Comprehensive Plan and the North Valley Area Plan, including the following:
 1. Established Urban Area Policy II.B.5d – The zone change request will respect existing neighborhood values by placing similar zoning and land uses next to each other. A buffer is preferred between the subject site and the residential neighborhood to the west.

2. Established Urban Area Policy Policy II.B.5e – The zone change request is proposed on land that is vacant, and is contiguous to existing urban facilities and services where the integrity of existing neighborhoods can be ensured.
 3. Activity Center Goal and Policies II.B.7a and II.B.7f – The zone change request is located in the Renaissance Center, which has been designated by the Comprehensive Plan as a Major Activity Center. The request will create a mix of uses (medium to high density residential, commercial, office, and retail) that would reduce urban sprawl, auto travel needs, and maximize cost-effectiveness of City services. The request meets the intent of the purpose, access, land uses, and scale described in Table 22 of Activity Centers Policy a.
 4. Economic Development Policy II.D.6a – The zone change request would provide new employment opportunities which could accommodate a wide range of occupational skills and salary levels.
 5. North Valley Area Plan Goal 2 – The request preserves and enhances the environmental quality of the North Valley Area by controlling growth and maintaining primarily low density development, and by providing a variety of housing opportunities and life styles.
 6. North Valley Area Plan Goals 5, 6 and 11, and Zoning and Land Use Policy 3.c – The request follows the existing approved drainage plan for the Renaissance Center, which would reduce or eliminate flooding and improve ponding and drainage in the area. The request encourages commercial development in an area that has established commercial land uses. The land uses proposed with the request are compatible with the existing surrounding uses and zoning. The subject site is located in an existing commercial/industrial center located within the I-25 corridor. The request would result in similar land uses (commercial and residential) to what surrounds the subject site.
 7. North Valley Area Plan Transportation Policy 3 – The request would limit industrial and heavy commercial traffic through residential areas because the subject site has no access to the single-family residential area to the west.
- D. The applicant has demonstrated that a different use category is more advantageous to the community based upon applicable policies in the Comprehensive Plan and the North Valley Area Plan. The applicant has cited a preponderance of policies that support the proposal.
- E. The majority of the uses that could be on the subject site are uses that are already allowed on adjacent sites, such as medium to high density residential, C-2 Permissive Uses and Auto Sales. RV storage is not used on any adjacent site, but staff agrees

with the applicant that it is a relatively low intensity use that would not be harmful to the adjacent property, neighborhood, or the community.

- F. No major or unprogrammed capital expenditures by the City are required.
 - G. The cost of land or other economic considerations are not the primary determining factors for a change of zone in this case.
 - H. The site is not located on a collector or major street.
 - I. The request would result in a spot zone, since the none of the surrounding zoning has the exact same zoning as is being requested, SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage. The applicant has shown that the change will clearly facilitate realization of the Comprehensive Plan and the NVAP. The request is a justified spot zone.
 - J. The request would not result in a strip zone.
8. There is no known opposition to the request.

CONDITIONS

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to §14-16-4-1(C)(11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

RECOMMENDATION - 11EPC-40094, March 8, 2012, Zone Map Amendment

APPROVAL of 11EPC-40094, a request for a Zone Map Amendment from R-3 to SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage for Lot 1A-2A, Renaissance Center, based on the preceding Findings and subject to the following Conditions of Approval.

FINDINGS - 12EPC-40001, March 8, 2012, Site Development Plan for Subdivision

1. This is a request for a site development plan for subdivision for Lot 1A-2A, Renaissance Center, an approximately 12.5 acre site located at Union Way Road, between Mission Road and Renaissance Boulevard.
2. The applicant intends to subdivide Lot 1A-2A into three tracts (Tract 1A-2A-1, Tract 1A-2A-2, and Tract 1A-2A-3).
3. A request for a zone map amendment (11 EPC 40094) accompanies this request.
4. The site is located within the Established Urban Area of the Comprehensive Plan and within the boundaries of the North Valley Area Plan and Renaissance Master Declaration and Rules and Regulations (although the Renaissance Plan was never adopted by the City).
5. The Albuquerque/Bernalillo County Comprehensive Plan, the North Valley Area Plan, the Renaissance Master Declaration and Rules and Regulations, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The request furthers applicable policies of the Comprehensive Plan and the North Valley Area Plan, including the following:
 - a. Established Urban Area Policy II.B.5i – The request will provide employment uses which will complement nearby residential areas, and will be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.
 - b. Established Urban Area Policy II.B.5k – While the subject site is not adjacent to an arterial street the site has been designed to minimize the harmful effects of traffic. Similar land uses and zoning will be placed adjacent to each other. There is no direct traffic access between the subject site and the existing neighborhood to the west, so there will be little to no impact to the neighborhood's current traffic patterns.
 - c. Economic Development Policy II.D.6a – The request would provide new employment opportunities which could accommodate a wide range of occupational skills and salary levels.
 - d. North Valley Area Plan Goal 2 – The request preserves and enhances the environmental quality of the North Valley Area by controlling growth and maintaining primarily low density development, and by providing a variety of housing opportunities and life styles.
 - e. North Valley Area Plan Goal 5 and 11 – The request follows the existing approved drainage plan for the Renaissance Center, which would reduce or eliminate flooding

and improve ponding and drainage in the area. The subject site is located in an existing commercial/industrial center located within the I-25 corridor.

- f. North Valley Area Plan Transportation Policy 3 – The request would limit industrial and heavy commercial traffic through residential areas, thereby enhancing residential stability and preserving area history and character.
7. There is no known opposition to the request.

RECOMMENDATION - 12EPC-40001, March 8, 2012, Site Development Plan for Subdivision APPROVAL of 12EPC-40001, a request for a Site Development Plan for Subdivision for Lot 1A-2A, Renaissance Center, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Tract 1A-2A-1 shall replace “R-3” with “SU-1 for R-3 Uses”. Tract 1A-2A-2 shall replace “C-2” with “SU-1 for C-2 Permissive Uses”. Tract 1A-2A-3 shall replace “RV” with “SU-1 for Auto Sales and RV Storage”.
4. Under the heading “Site Data” the category “Proposed Usage” needs to be changed to “Proposed Zoning” and the Zoning shall be listed as follows: “SU-1 for C-2 Permissive Uses; R-3 Uses; and RV Storage/Auto Sales”.
5. Under the heading “Site Data” the following categories beginning with “Maximum Bldg Height” shall be listed as follows: Maximum Bldg Height: Height shall be provided as in the O-1 Zone; Minimum Bldg Setback (C-2): Per Zoning Code; Maximum Dwelling Units: 20 DU/Acre; Maximum F.A.R. (C-2): 0.30; Maximum F.A.R. (Residential): 0.60.

6. The "General Notes" on the site development plan for subdivision shall be changed to "General Design Standards."
7. The General Notes (General Design Standards) shall be categorized into specific groups (such as Access, Lighting, Signage, Screening, Parking, Circulation, Public Outdoor Space, Sustainability, Landscaping, Approval Process, etc.).
8. General Notes 1 and 3 shall be deleted (same language used in General Notes 10 and 15).
9. General Note 5, sentence 1, shall be changed to "15' high lighting poles shall be placed along main pedestrian walkway areas and 20' high lighting elsewhere in the parking area."
10. General Note 5, sentence 2, shall replace "20 feet" with "16 feet".
11. General Note 8 shall be replaced with the following: "All signs shall adhere to the signage regulations found in the Renaissance Master Plan."
12. General Note 14, second sentence, needs to replace the word "on" after C-2 with the word "and".
13. General Note 15 shall replace the word "uses" with the word "standards" and a period shall be placed after the word "regulations".
14. The applicant shall delete the words "except the City Landscape Ordinance will apply" at the end of General Note 15 and shall have a separate General Note (General Design Standard) under the category heading of Landscaping that states that "All landscaping shall be in conformance with the landscaping requirements in the Renaissance Master Declaration and Rules and Regulations, City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. All landscaping requirements in the Renaissance Master Declaration and Rules and Regulations shall be followed, except that high water use turf grasses and trees (such as Kentucky Bluegrass and Fescue, and Cottonwood and London Plane trees) shall be prohibited. Waste water management is the sole responsibility of the property owner." General Note 11 (which has similar language concerning waste water management) shall be deleted.
15. General Note 16 shall be changed to read "Future site development plans for building permit shall be approved the EPC."

16. General Note 18 shall change "5 ft" to "10 ft". The 10 ft landscape buffer on the western boundary of the development shall begin at the end of the 10 ft existing Public Utility Easement (so there shall be 20 ft between the far western boundary and any future buildings).

17. Conditions of Approval from City Engineer, Municipal Development and NMDOT:

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
- b. Consistency and clarification with notation needs to be provided on this Site Plan. Concurrent Platting Action required at Development Review Board (DRB).

Plat action

18. Conditions of Approval from Public Service Company of New Mexico

- a. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
- b. Screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.
- c. As a condition, it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Any existing or proposed public utility easements are to be indicated on the site plan utility sheet prior to DRB review. PNM's standard for public utility easements for distribution is 10 feet in width to ensure adequate, safe clearances.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MARCH 23, 2012 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION

PROJECT #1003421

MARCH 8, 2012

Page 9 of 9

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

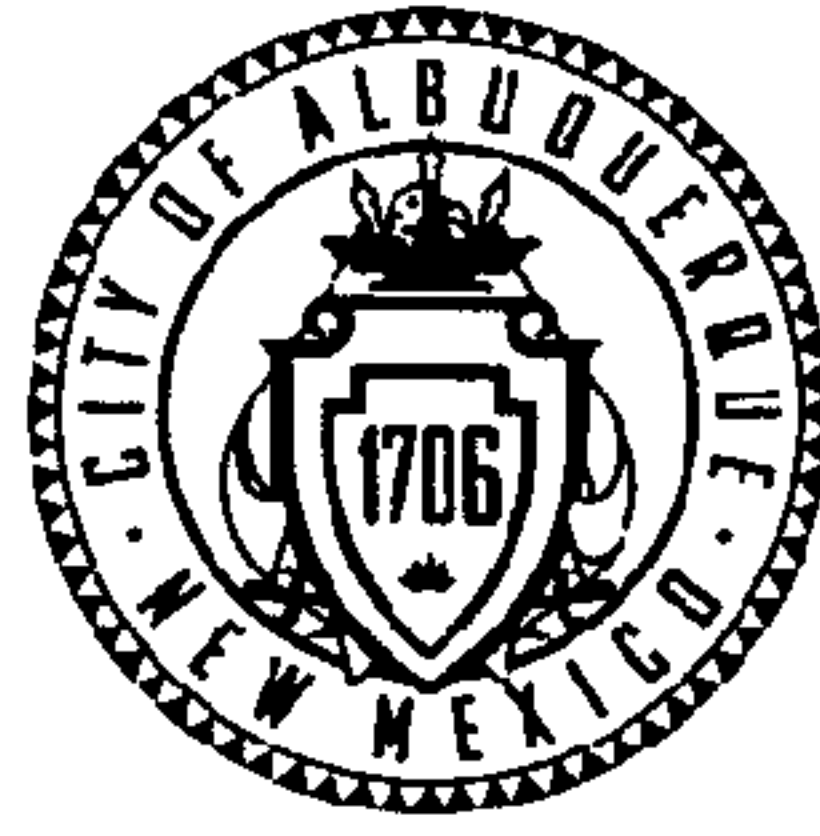
DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,

Deborah Stover
Planning Director

DS/RF/mc

cc: Tierra West, LLC, 5571 Midway Park Place, NE, Albuquerque, NM 87109
Chris Catechis, North Valley Coalition, 5733 Guadalupe Trail, NW, Albuquerque, NM 87107
David Wood, North Valley Coalition, 158 Pleasant, NW, Albuquerque, NM 87107



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The
Neighborhood and/or
Homeowner Association
information listed in this letter
is valid for one (1) month.

If you haven't filed your
application within one (1)
month of the date of this letter
– you will need to get an
updated letter from our office.

June 15, 2012

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **June 15, 2012:**

Contact Name: CYNTHIA ABEYTA

Company or Agency: TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE/87109
PHONE: 858-3100/FAX: 858-1118

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – LOT 1A-2-A-1, 1A-2-A-2 AND 1A-2-A-3, RENAISSANCE CENTER, LOCATED ON UNION WAY NE BETWEEN MISSION AVENUE NE AND RENAISSANCE BOULEVARD NE** zone map **F-16**.

Our records indicate that as of June 15, 2012, there were no Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabaq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet -OR-
- [X] **The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.**
- [] Copies of Letters to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: 06/15/12 Time Entered: 2:15 p.m. ONC Rep. Initials: siw

**SITE DEVELOPMENT PLAN
FOR SUBDIVISION CHECKLIST**

Revised 4/18/06

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission (EPC) and Development Review Board (DRB). Since development proposals vary in type and scale, there may be application requirements that are not included here and others that may not be necessary. Nonetheless, it is the applicant's responsibility to provide a complete submittal. The EPC and DRB will not consider incomplete submittals. Incomplete submittals run the risk of not being scheduled for hearing until they are made complete. Site development plans should ordinarily be composed of the following plan sheets:

1. **Site Plan** (required)
2. **Conceptual Utility Plan** (required)
3. **Design requirements for future site development plans for building permit** (optional, but STRONGLY recommended)

The following checklist describes the minimum information necessary for each sheet. Most of the site plan requirements for *Sheet #1* are taken from the definition for "SITE DEVELOPMENT PLAN" as outlined in the Zoning Code (§ 14-16-1-1 et. seq.). **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Accompanying Material

- A. Fee payment
- B. Complete application
- C. Written Summary of Request
- D. 8-1/2" x 11" reductions

SHEET # 1 – SITE PLAN (Required)

- 1. Scale: at least 1" = 100'
- 2. Bar Scale
- 3. North Arrow
- 4. Scaled Vicinity Map
- 5. The Site (property lines)
- 6. Proposed Use(s)
- 7. Pedestrian Ingress and Egress (Access)
- 8. Vehicular Ingress and Egress (Access)
- 9. Any Internal Circulation Requirements
- 10. For each lot:
 - a. Maximum Building Height
 - b. Minimum Building Setback
 - c. Maximum Total Dwelling Units and / or
 - d. Nonresidential Uses' Maximum Floor Area Ratio (F.A.R.)

**SHEET #2 – DESIGN REQUIREMENTS FOR FUTURE SITE DEVELOPMENT
PLANS FOR BUILDING PERMIT (Optional, but STRONGLY
recommended)**

- n/a 1. Overall Design Theme and Land Use Concept
- n/a 2. Off-Street Parking Requirements and Design (Automobile and Bicycle)
- n/a 3. Street Design
- n/a 4. Transit Facilities (benches, shelters, pedestrian connections, etc.)
- n/a 5. Landscape Design Requirements (plant list, buffer areas, locations, amounts, etc.)
- n/a 6. Architectural Design Requirements (façade elements, massing, colors, materials, etc.)
- n/a 7. Signage Design Requirements (face area, colors, materials, maximum height, etc.)
- n/a 8. Lighting Design Requirements (type, locations, colors materials, maximum height, etc.)
- n/a 9. Pedestrian Amenities (walkways, plazas, shade structures, etc.)

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Tierra West LLC DATE OF REQUEST: 12 / 28 / 11 ZONE ATLAS PAGE(S): F-16

CURRENT:

ZONING R-3

PARCEL SIZE (AC/SQ. FT.) 12.5 +/-

LEGAL DESCRIPTION:

LOT OR TRACT # 1-A-2-A BLOCK # _____

SUBDIVISION NAME Renaissance Center

REQUESTED CITY ACTION(S):

ANNEXATION []

ZONE CHANGE [X]: From * See Below To _____

SECTOR, AREA, FAC, COMP PLAN []

AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []

BUILDING PERMIT [] ACCESS PERMIT []

BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT [X]

NEW CONSTRUCTION []

EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: _____

BUILDING SIZE: _____ (sq. ft.)

* From R-3 to SU-1 for R-3, IP Permissive Uses & RV Storage

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE Heli D. Krueger

DATE 12/28/11

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

THRESHOLDS MET? YES [] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

FUTURE SITE PLANS (SPBP OR SPS) MAY REQUIRE A TIS.

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

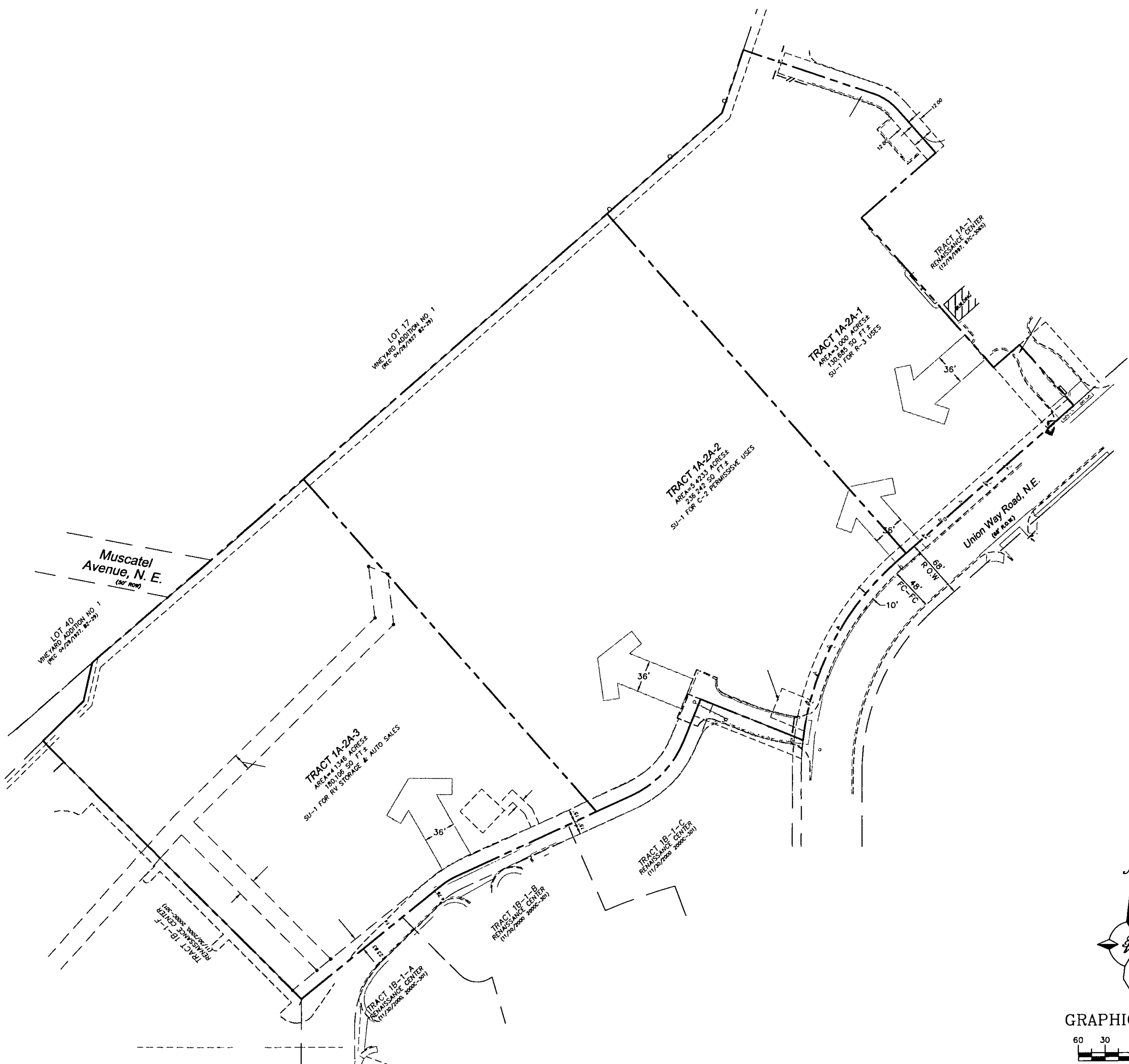
12-29-11
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

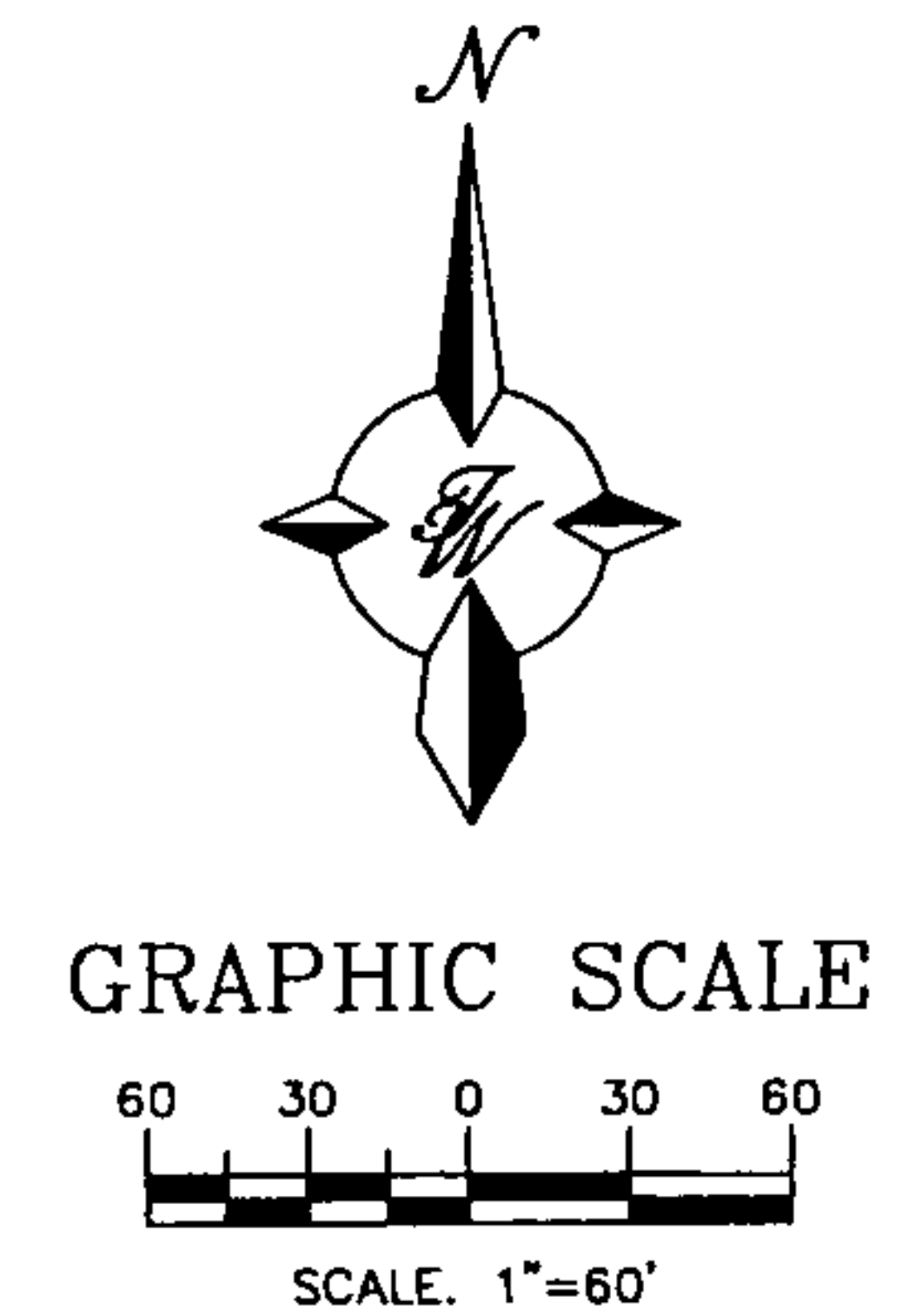
TRAFFIC ENGINEER _____

DATE _____



LEGAL DESCRIPTION
TRACT 1A-2-A RENAISSANCE CENTER
EXISTING ZONING R-3

- LEGEND**
- ==== CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING SIDEWALK
 - ➔ PROPOSED VEHICULAR AND PEDESTRIAN ACCESS POINTS



FOR TRANSPORTATION

ENGINEER'S SEAL	RENAISSANCE PLAZA	DRAWN BY DY
	SIDEWALK EXHIBIT	DATE 6/19/12
		2011099-SW-EXHIBIT
		SHEET # -
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	
RONALD R. BOHANNAN P.E. #7868		JOB # 2011099

December 28, 2011

Mr. Doug Peterson, Chair
Environmental Planning Commission
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: Zone Map Amendment
Lot 1-A-2-A, Renaissance Center**

Dear Chairman Peterson:

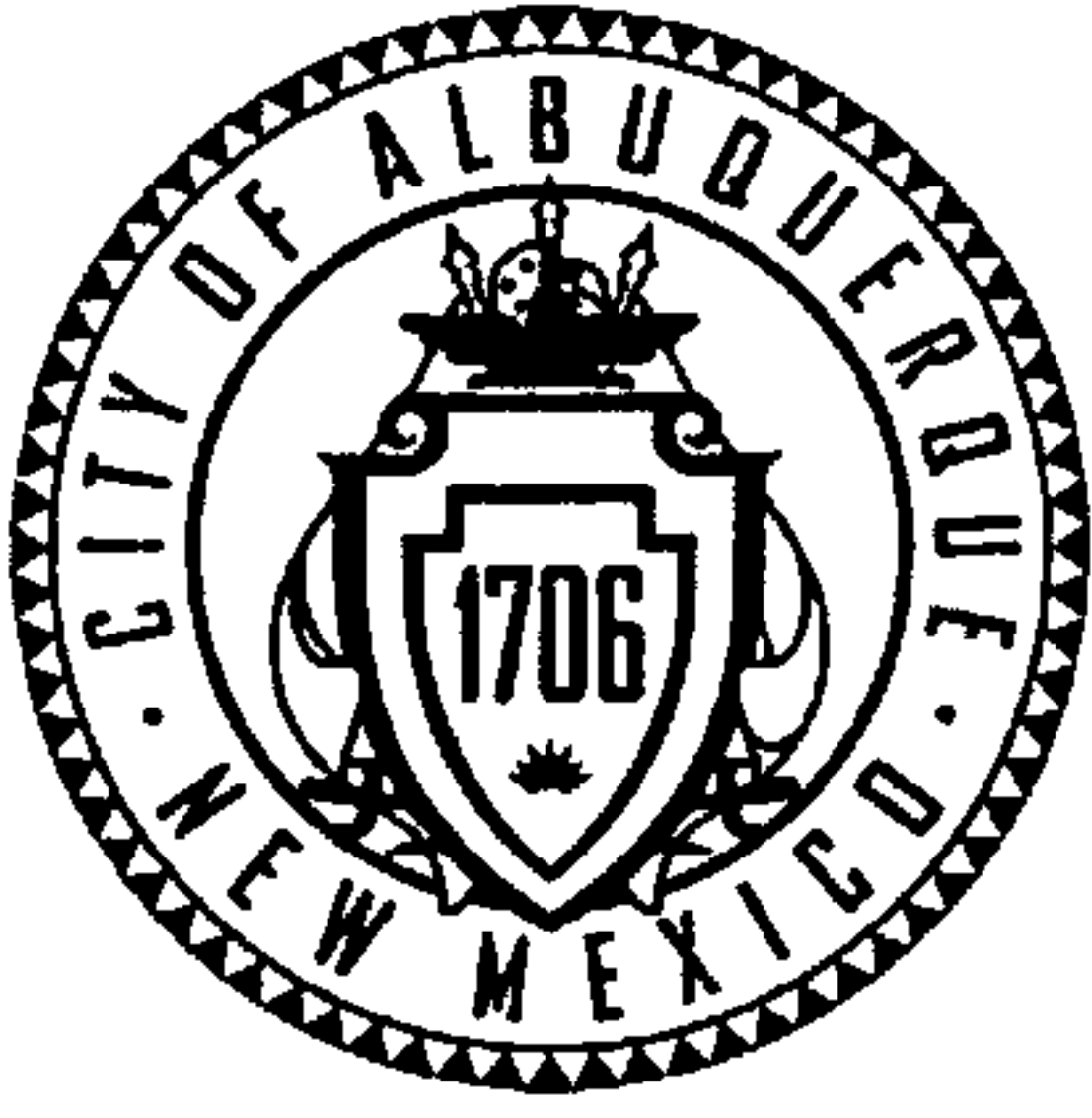
The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of **Albuquerque's First Assembly of God Inc.** pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site

Brian Baldwin
Print Name


Signature

Treasurer
Title

12-28-11
Date



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Deborah Stover, Director

Richard J. Berry, Mayor
Robert J. Perry, CAO
June 7, 2012

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance

Documentation

Project Number(s):

Case Number(s): 1003421

Agent: Tierra West, LLC

Applicant: Renaissance Center

Legal Description: Tracts 1A-2-A-1, 1A-2-A-2 and 1A-2-A-3 Renaissance Center

Zoning: R-3

Acreage: ± 12.56 acres

Zone Atlas Page: F-16

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

**TREATMENT PLAN REVIEW:
DISCOVERY:**

**SUPPORTING DOCUMENTATION:
SITE VISIT:**

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(2)—extensive previous land disturbance) .***

SUBMITTED:

Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Jack Cloud, DRB Chair

FROM: Randall Falkner, Planner

SUBJECT: Project # 1003421

On March 8, 2012, the Environmental Planning Commission (EPC) approved Project #1003421/11EPC 40094, a zone map amendment from R-3 to SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage, and Project # 1003421/12EPC 40001, a site development plan for subdivision, for all or a portion of Lot 1A-2A, Renaissance Center, located on Union Way Road, between Mission Road and Renaissance Boulevard, containing approximately 12.5 acres.

The applicant has satisfied all of the EPC conditions of approval.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

TIERRA WEST, LLC

June 19, 2012

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: EPC FINAL SIGN-OFF / PRELIMINARY & FINAL PLAT SIGN-OFF
LOT 1A-2-A-1, 1A-2-A-2, 1A-2-A-3 RENAISSANCE CENTER
PROJECT NO. 1003421 (11EPC-40094 / 12EPC-40001)
ZONE ATLAS PAGE F-16**

Dear Mr. Cloud:

Tierra West LLC, on behalf of Ken Williams Enterprises, Inc., requests approval of the Site Plan for Subdivision and Preliminary/Final Plat Sign-Off for the above-referenced site. The site is zoned SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage, and is approximately a 12.5 acre site located at Union Way Road, between Mission Road and Renaissance Boulevard. We have addressed the conditions from EPC related to the Site Plan for Subdivision in the following manner:

ZONE MAP AMENDMENT

1 The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to §14-16-4-1(C) (11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

The Site Development Plan is submitted herewith for DRB approval.

SITE PLAN FOR SUBDIVISION

1 The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

This letter explains how all the conditions are met and all modifications due to those conditions.

2 Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

On February 16, 2012 we met with Randall Faulkner, the staff planner, to review the updated plans for conformance with the conditions of approval. We believe we made all of the necessary changes.

- 3 Tract 1A-2A-1 shall replace "R-3" with "SU-1 for R-3 Uses". Tract 1A-2A-2 shall replace "C-2" with "SU-1 for C-2 Permissive Uses". Tract 1A-2A-3 shall replace "RV" with "SU-1 for Auto Sales and RV Storage".

The zoning notes were added to both the Site Plan and the Plat.

- 4 Under the heading "Site Data" the category "Proposed Usage" needs to be changed to "Proposed Zoning" and the Zoning shall be listed as follows: "SU-1 for C-2 Permissive Uses; R-3 Uses; and RV Storage/Auto Sales".

As requested above, the changes were added to the "Site Data" table.

- 5 Under the heading "Site Data" the following categories beginning with "Maximum Bldg. Height" shall be listed as follows: Maximum Bldg. Height: Height shall be provided as in the O-1 Zone; Minimum Bldg. Setback (C-2): Per Zoning Code; Maximum Dwelling Units: 20 DU/Acre; Maximum F.A.R. (C-2): 0.30; Maximum F.A.R. (Residential): 0.60.

As requested above the changes were added to the "Site Data" table.

- 6 The "General Notes" on the site development plan for subdivision shall be changed to "General Design Standards."

The "General Notes" was revised to read, "General Design Standards", as requested above.

- 7 The General Notes (General Design Standards) shall be categorized into specific groups (such as Access, Lighting, Signage, Screening, Parking, Circulation, Public Outdoor Space, Sustainability, Landscaping, Approval Process, etc.).

The General Notes were divided into two categories – Site Data, Lighting and Signs / Landscaping, as requested above.

- 8 General Notes 1 and 3 shall be deleted (same language used in General Notes 10 and 15).

The notes were deleted as requested and remaining notes renumbered as necessary.

- 9 General Note 5, sentence 1, shall be changed to "15' high lighting poles shall be placed along main pedestrian walkway areas and 20' high lighting elsewhere in the parking area."

General Note 3 (formally note 5) was changed as requested above.

- 10 General Note 5, sentence 2, shall replace "20 feet" with "16 feet".

General Note 3, sentence 2, (formally Note 5, sentence 2), was changed as requested above.

- 11 General Note 8 shall be replaced with the following: "All signs shall adhere to the signage regulations found in the Renaissance Master Plan."

General Note 6, (formally Note 8) was changed as requested above.

- 12 General Note 14, second sentence, needs to replace the word "on" after C-2 with the word "and".

General Note 11, (formally Note 14) was changed as requested above.

- 13 General Note 15 shall replace the word "uses" with the word "standards" and a period shall be placed after the word "regulations".
General Note 12, (formally Note 15), was changed as requested above.
- 14 The applicant shall delete the words "except the City Landscape Ordinance will apply" at the end of General Note 15 and shall have a separate General Note (General Design Standard) under the category heading of Landscaping that states that "All landscaping shall be in conformance with the landscaping requirements in the Renaissance Master Declaration and Rules and Regulations, City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. All landscaping requirements in the Renaissance Master Declaration and Rules and Regulations shall be followed, except that high water use turf grasses and trees (such as Kentucky Bluegrass and Fescue, and Cottonwood and London Plane trees) shall be prohibited. Waste water management is the sole responsibility of the property owner." General Note 11 (which has similar language concerning waste water management) shall be deleted.
General Note 16, (formally Note 15) was changed as requested above.
General Note 11 was deleted.
- 15 General Note 16 shall be changed to read "Future site development plans for building permit shall be approved the EPC."
General Note 17, (Formally Note 16), was changed as requested above.
- 16 General Note 18 shall change "5 ft" to "10 ft". The 10 ft landscape buffer on the western boundary of the development shall begin at the end of the 10 ft existing Public Utility Easement (so there shall be 20 ft between the far western boundary and any future buildings).
General Note 15, (formally Note 18), was changed as requested above.
- 17 Conditions of Approval from City Engineer, Municipal Development and NMDOT:
- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
We believe the site plan complies with all DPM criteria.
 - b. Consistency and clarification with notation needs to be provided on this Site Plan. Concurrent Platting Action required at Development Review Board (DRB).
The plat is included with this submittal.
- 18 Conditions of Approval from Public Service Company of New Mexico
- a. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
 - b. Screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.
 - c. As a condition, it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Any existing or proposed public utility easements are to be indicated on the site plan utility sheet prior to DRB review. PNM's standard for public utility easements for distribution is 10 feet in width to ensure adequate, safe clearances.

We have contacted PNM's New Service Delivery Department to coordinate new service delivery and have indicated all existing and proposed easements on the site and master utility plans.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

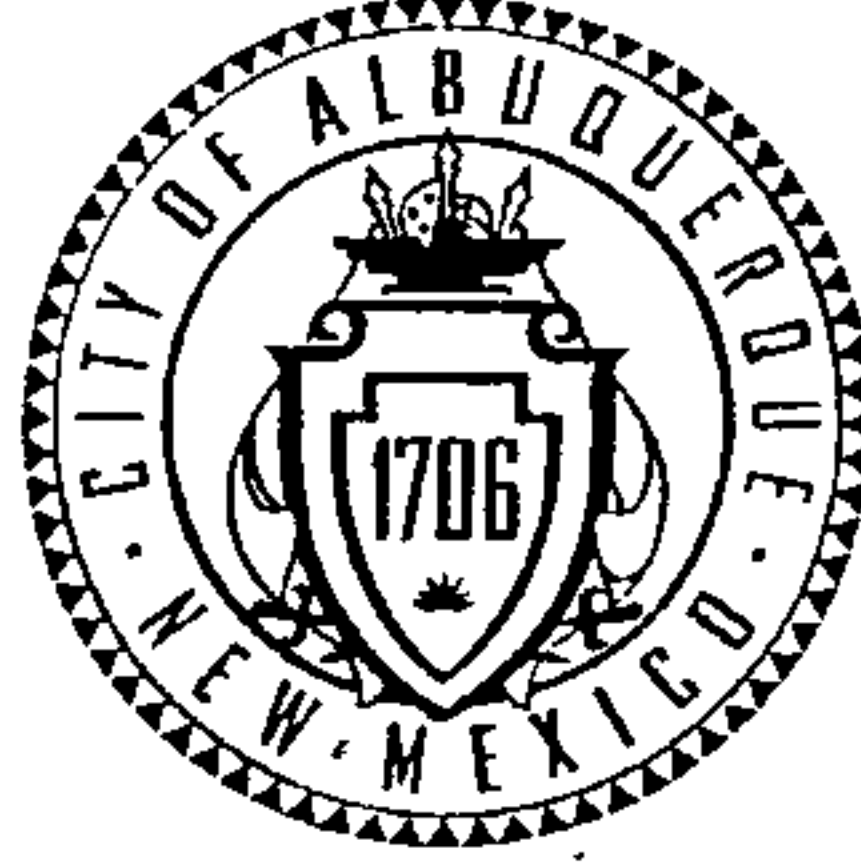


for Ronald R. Bohannon, P.E.

Enclosure/s

cc: Ken Williams – Ken Williams Enterprises, Inc.

JN: 2011099.01
RRB/JDH/cla



City of Albuquerque
Planning Department
Urban Design & Development Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 8, 2012

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003421**
11EPC-40094 Amendment to Zone Map (Zone
Change)
12EPC-40001 Site Development Plan for
Subdivision

Ken Williams Enterprise, Inc.
P.O. Box 14876
Albuquerque, NM 87191

LEGAL DESCRIPTION:

Tierra West, LLC, agent for Ken Williams Enterprise, Inc., requests the above action for all or a portion of lot 1-A-2-A, Renaissance Center, zoned R-3 to SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage, located on Union Way Road, between Mission Road and Renaissance Boulevard, containing approximately 12.5 acres. (F-16)
Randall Falkner, Staff Planner

On March 8, 2012, the Environmental Planning Commission voted to APPROVE Project 1003421/ 11EPC-40094, a request for an Amendment to the Zone Map based and 12EPC-40001, a request for a Site Development Plan for Subdivision based on the following Findings and subject to the following Conditions:

FINDINGS - 11EPC-40094, March 8, 2012, Zone Map Amendment

1. This is a request for a zone map amendment from R-3 to SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage for Lot 1A-2A, Renaissance Center, an approximately 12.5 acre site located at Union Way Road, between Mission Road and Renaissance Boulevard.
2. The subject site is currently zoned R-3. The proposed uses would be permissive under the proposed zoning (SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage).

OFFICIAL NOTICE OF DECISION

PROJECT #1003421

MARCH 8, 2012

Page 2 of 9

3. The Environmental Planning Commission is hearing the case because zone map amendments must receive approval from the EPC. The applicant has provided justification for the zone map amendment pursuant to R270-1980.
4. A request for a site development plan for subdivision (12 EPC 40001) accompanies this request.
5. The site is located within the Established Urban Area of the Comprehensive Plan and within the boundaries of the North Valley Area Plan and the Renaissance Master Declaration and Rules and Regulations (although the Renaissance Plan was never adopted by the City).
6. The Albuquerque/Bernalillo County Comprehensive Plan, the North Valley Area Plan, the Renaissance Master Declaration and Rules and Regulations, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The applicant provided an adequate justification for the zone change request pursuant to Resolution 270-1980:
 - A. The zone change request is consistent with health, safety, morals, and general welfare of the City. The vacant subject site is located in the Renaissance Center and is surrounded by the same or similar zoning (SU-1 for C-2 Uses, SU-1 for Auto Sales; SU-1 for R-3 Uses) and a mix of uses (retail, warehousing, high density residential, single family residential, vacant and other miscellaneous industrial and commercial). The request will not have a substantial adverse effect on the environment, public facilities and services, roadways, park, fire and police facilities, and drainage facilities.
 - B. The zone change request will provide stability for the area. The proposed zoning (SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage) would be similar to the existing zoning surrounding the site (SU-1 for C-2 Uses, SU-1 for Auto Sales; SU-1 for R-3 Uses). The applicant has provided a sound justification by demonstrating that the requested zoning will be similar to the existing zoning that surrounds the site, and will not destabilize land use and zoning in the area.
 - C. The request furthers applicable policies of the Comprehensive Plan and the North Valley Area Plan, including the following:
 1. Established Urban Area Policy II.B.5d – The zone change request will respect existing neighborhood values by placing similar zoning and land uses next to each other. A buffer is preferred between the subject site and the residential neighborhood to the west.

OFFICIAL NOTICE OF DECISION

PROJECT #1003421

MARCH 8, 2012

Page 3 of 9

2. Established Urban Area Policy Policy II.B.5e – The zone change request is proposed on land that is vacant, and is contiguous to existing urban facilities and services where the integrity of existing neighborhoods can be ensured.
 3. Activity Center Goal and Policies II.B.7a and II.B.7f – The zone change request is located in the Renaissance Center, which has been designated by the Comprehensive Plan as a Major Activity Center. The request will create a mix of uses (medium to high density residential, commercial, office, and retail) that would reduce urban sprawl, auto travel needs, and maximize cost-effectiveness of City services. The request meets the intent of the purpose, access, land uses, and scale described in Table 22 of Activity Centers Policy a.
 4. Economic Development Policy II.D.6a – The zone change request would provide new employment opportunities which could accommodate a wide range of occupational skills and salary levels.
 5. North Valley Area Plan Goal 2 – The request preserves and enhances the environmental quality of the North Valley Area by controlling growth and maintaining primarily low density development, and by providing a variety of housing opportunities and life styles.
 6. North Valley Area Plan Goals 5, 6 and 11, and Zoning and Land Use Policy 3.c – The request follows the existing approved drainage plan for the Renaissance Center, which would reduce or eliminate flooding and improve ponding and drainage in the area. The request encourages commercial development in an area that has established commercial land uses. The land uses proposed with the request are compatible with the existing surrounding uses and zoning. The subject site is located in an existing commercial/industrial center located within the I-25 corridor. The request would result in similar land uses (commercial and residential) to what surrounds the subject site.
 7. North Valley Area Plan Transportation Policy 3 – The request would limit industrial and heavy commercial traffic through residential areas because the subject site has no access to the single-family residential area to the west.
- D. The applicant has demonstrated that a different use category is more advantageous to the community based upon applicable policies in the Comprehensive Plan and the North Valley Area Plan. The applicant has cited a preponderance of policies that support the proposal.
- E. The majority of the uses that could be on the subject site are uses that are already allowed on adjacent sites, such as medium to high density residential, C-2 Permissive Uses and Auto Sales. RV storage is not used on any adjacent site, but staff agrees

with the applicant that it is a relatively low intensity use that would not be harmful to the adjacent property, neighborhood, or the community.

- F. No major or unprogrammed capital expenditures by the City are required.
 - G. The cost of land or other economic considerations are not the primary determining factors for a change of zone in this case.
 - H. The site is not located on a collector or major street.
 - I. The request would result in a spot zone, since the none of the surrounding zoning has the exact same zoning as is being requested, SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage. The applicant has shown that the change will clearly facilitate realization of the Comprehensive Plan and the NVAP. The request is a justified spot zone.
 - J. The request would not result in a strip zone.
8. There is no known opposition to the request.

CONDITIONS

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to §14-16-4-1(C)(11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

RECOMMENDATION - 11EPC-40094, March 8, 2012, Zone Map Amendment

APPROVAL of 11EPC-40094, a request for a Zone Map Amendment from R-3 to SU-1 for R-3, C-2 Permissive Uses, and Auto Sales and RV Storage for Lot 1A-2A, Renaissance Center, based on the preceding Findings and subject to the following Conditions of Approval.

FINDINGS - 12EPC-40001, March 8, 2012, Site Development Plan for Subdivision

1. This is a request for a site development plan for subdivision for Lot 1A-2A, Renaissance Center, an approximately 12.5 acre site located at Union Way Road, between Mission Road and Renaissance Boulevard.
2. The applicant intends to subdivide Lot 1A-2A into three tracts (Tract 1A-2A-1, Tract 1A-2A-2, and Tract 1A-2A-3).
3. A request for a zone map amendment (11 EPC 40094) accompanies this request.
4. The site is located within the Established Urban Area of the Comprehensive Plan and within the boundaries of the North Valley Area Plan and Renaissance Master Declaration and Rules and Regulations (although the Renaissance Plan was never adopted by the City).
5. The Albuquerque/Bernalillo County Comprehensive Plan, the North Valley Area Plan, the Renaissance Master Declaration and Rules and Regulations, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The request furthers applicable policies of the Comprehensive Plan and the North Valley Area Plan, including the following:
 - a. Established Urban Area Policy II.B.5i – The request will provide employment uses which will complement nearby residential areas, and will be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.
 - b. Established Urban Area Policy II.B.5k – While the subject site is not adjacent to an arterial street the site has been designed to minimize the harmful effects of traffic. Similar land uses and zoning will be placed adjacent to each other. There is no direct traffic access between the subject site and the existing neighborhood to the west, so there will be little to no impact to the neighborhood's current traffic patterns.
 - c. Economic Development Policy II.D.6a – The request would provide new employment opportunities which could accommodate a wide range of occupational skills and salary levels.
 - d. North Valley Area Plan Goal 2 – The request preserves and enhances the environmental quality of the North Valley Area by controlling growth and maintaining primarily low density development, and by providing a variety of housing opportunities and life styles.
 - e. North Valley Area Plan Goal 5 and 11 – The request follows the existing approved drainage plan for the Renaissance Center, which would reduce or eliminate flooding

and improve ponding and drainage in the area. The subject site is located in an existing commercial/industrial center located within the I-25 corridor.

- f. North Valley Area Plan Transportation Policy 3 – The request would limit industrial and heavy commercial traffic through residential areas, thereby enhancing residential stability and preserving area history and character.

7. There is no known opposition to the request.

RECOMMENDATION - 12EPC-40001, March 8, 2012, Site Development Plan for Subdivision APPROVAL of 12EPC-40001, a request for a Site Development Plan for Subdivision for Lot 1A-2A, Renaissance Center, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Tract 1A-2A-1 shall replace “R-3” with “SU-1 for R-3 Uses”. Tract 1A-2A-2 shall replace “C-2” with “SU-1 for C-2 Permissive Uses”. Tract 1A-2A-3 shall replace “RV” with “SU-1 for Auto Sales and RV Storage”.
4. Under the heading “Site Data” the category “Proposed Usage” needs to be changed to “Proposed Zoning” and the Zoning shall be listed as follows: “SU-1 for C-2 Permissive Uses; R-3 Uses; and RV Storage/Auto Sales”.
5. Under the heading “Site Data” the following categories beginning with “Maximum Bldg Height” shall be listed as follows: Maximum Bldg Height: Height shall be provided as in the O-1 Zone; Minimum Bldg Setback (C-2): Per Zoning Code; Maximum Dwelling Units: 20 DU/Acre; Maximum F.A.R. (C-2): 0.30; Maximum F.A.R. (Residential): 0.60.

OFFICIAL NOTICE OF DECISION

PROJECT #1003421

MARCH 8, 2012

Page 7 of 9

6. The "General Notes" on the site development plan for subdivision shall be changed to "General Design Standards."
7. The General Notes (General Design Standards) shall be categorized into specific groups (such as Access, Lighting, Signage, Screening, Parking, Circulation, Public Outdoor Space, Sustainability, Landscaping, Approval Process, etc.).
8. General Notes 1 and 3 shall be deleted (same language used in General Notes 10 and 15).
9. General Note 5, sentence 1, shall be changed to "15' high lighting poles shall be placed along main pedestrian walkway areas and 20' high lighting elsewhere in the parking area."
10. General Note 5, sentence 2, shall replace "20 feet" with "16 feet".
11. General Note 8 shall be replaced with the following: "All signs shall adhere to the signage regulations found in the Renaissance Master Plan."
12. General Note 14, second sentence, needs to replace the word "on" after C-2 with the word "and".
13. General Note 15 shall replace the word "uses" with the word "standards" and a period shall be placed after the word "regulations".
14. The applicant shall delete the words "except the City Landscape Ordinance will apply" at the end of General Note 15 and shall have a separate General Note (General Design Standard) under the category heading of Landscaping that states that "All landscaping shall be in conformance with the landscaping requirements in the Renaissance Master Declaration and Rules and Regulations, City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. All landscaping requirements in the Renaissance Master Declaration and Rules and Regulations shall be followed, except that high water use turf grasses and trees (such as Kentucky Bluegrass and Fescue, and Cottonwood and London Plane trees) shall be prohibited. Waste water management is the sole responsibility of the property owner." General Note 11 (which has similar language concerning waste water management) shall be deleted.
15. General Note 16 shall be changed to read "Future site development plans for building permit shall be approved the EPC."

OFFICIAL NOTICE OF DECISION

PROJECT #1003421

MARCH 8, 2012

Page 8 of 9

16. General Note 18 shall change "5 ft" to "10 ft". The 10 ft landscape buffer on the western boundary of the development shall begin at the end of the 10 ft existing Public Utility Easement (so there shall be 20 ft between the far western boundary and any future buildings).

17. Conditions of Approval from City Engineer, Municipal Development and NMDOT:

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
- b. Consistency and clarification with notation needs to be provided on this Site Plan. Concurrent Platting Action required at Development Review Board (DRB).

Plat action

18. Conditions of Approval from Public Service Company of New Mexico

- a. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
- b. Screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.
- c. As a condition, it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Any existing or proposed public utility easements are to be indicated on the site plan utility sheet prior to DRB review. PNM's standard for public utility easements for distribution is 10 feet in width to ensure adequate, safe clearances.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MARCH 23, 2012 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

Van H. Gilbert Architect • PC

August 20, 2004

Ms. ~~Debra~~ Matson
DRB Chairperson
City of Albuquerque
600 2nd Street, Plaza del Sol
Albuquerque, NM 87102

RE: 1019 Vermont New Garcia Honda Parking/Storage Lot
EPC Project No. 1002855

Dear DRB Members,

The Environmental Planning Commission has approved the Site Development Plan for Building Permit for the new automobile storage for Garcia Honda located at 1019 Vermont St. All of the EPC conditions have been met as per the following:

1. The Owner will construct the cul-de-sac as shown on the Site Development Plan.
2. The site has been replatted to reflect the dedication of the right of way for the construction of the cul-de-sac.
3. The site will comply and be designed per the DPM Standards.
4. The Owner will be responsible for the improvements of the cul-de-sac adjacent to the site. These improvements will include new paving, curb and gutter, sidewalks, and drive pad.

After the DRB final signoff is complete, the construction plans for the cul-de-sac will be prepared and submitted to the DRC. Also, a Subdivision Improvement Agreement (SIA) will be submitted to the City of Albuquerque Public Works.

If there are any questions, please call me at 247.9955.

Sincerely,


Michael Borowski, AIA

MB:cj

Cc: Ed Garcia



DRB 1003421

CROSS REF # 1000419

August 23, 2004

Ms. Sheran Matson, Chair
 Development Review Board
 City of Albuquerque
 Post Office Box 1293
 Albuquerque, New Mexico 87103

**RE: Tract 1A-2, 1B-1D and 1B-1E
 Renaissance Center**

Dear Ms. Matson:

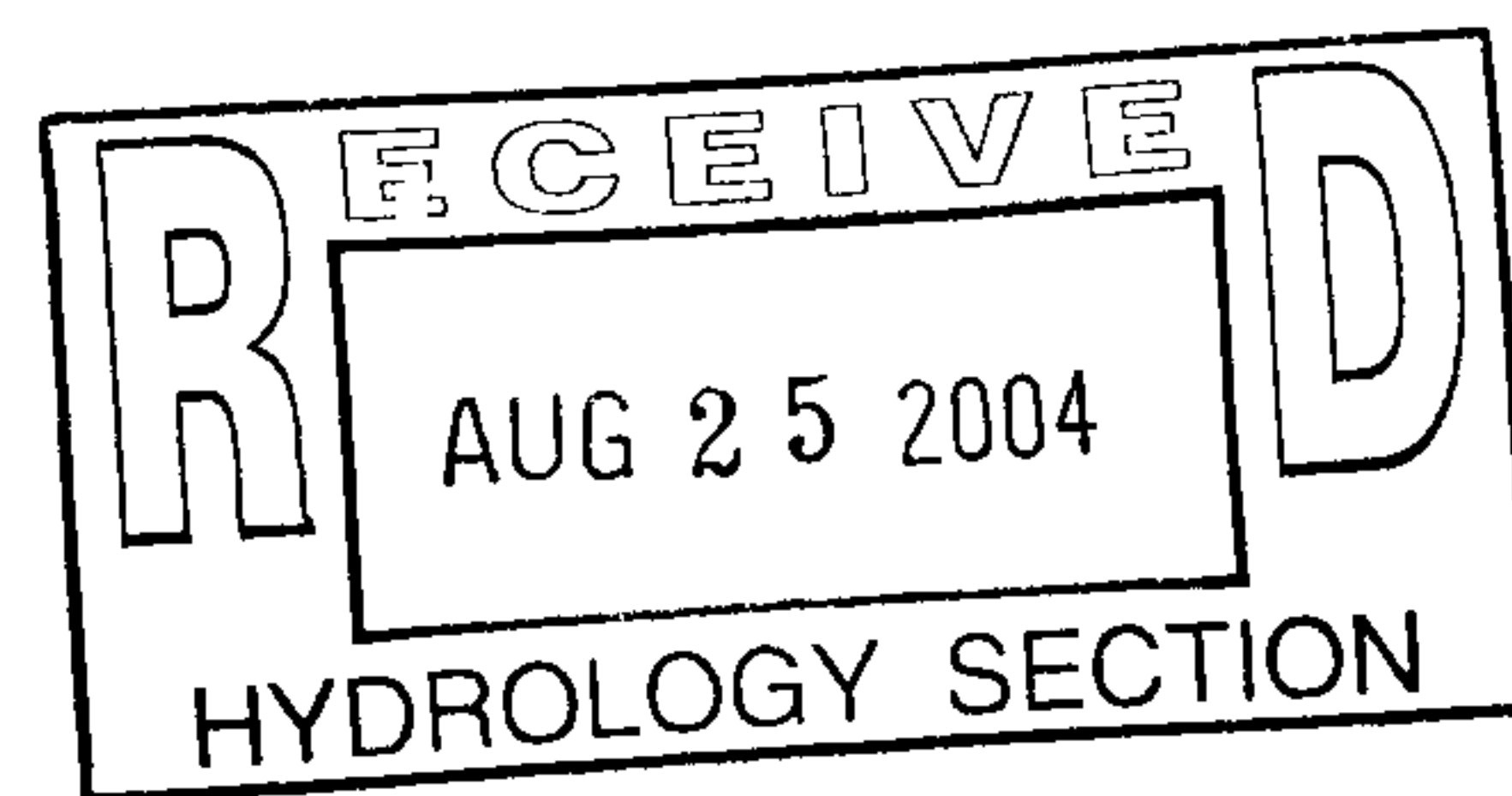
On behalf of the Union Development Corporation, f/k/a the New Mexico Development Foundation, please accept this letter as written approval of acceptance on behalf of the Renaissance Center Architectural Review Committee. The committee approves the plan as submitted on First Family Church Albuquerque's First Assembly of God, Inc., tracts 1A-2, 1B-1D and 1B-1E, Renaissance Center.

If you have any questions, please do not hesitate to contact our office directly at 505.268.1200.

Sincerely,

James K. Trump, Jr.
 Chairman Architectural Review Committee
jim@buildnewmexico.org

JKT/tlp



A MEMBER OF BUILD NEW MEXICO

1110 Pennsylvania NE, Suite A • Albuquerque, New Mexico 87110 • Phone: (505) 268-1200 • Fax: (505) 268-0449

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

Supplemental form

- SUBDIVISION** **S**
- Major Subdivision action
 - Minor Subdivision action
 - Vacation **V**
 - Variance (Non-Zoning)
- SITE DEVELOPMENT PLAN** **P**
- ...for Subdivision Purposes
 - ...for Building Permit
 - IP Master Development Plan
 - Cert. of Appropriateness (LUCC) **L**

- ZONING & PLANNING** **Z**
- Annexation
 - County Submittal
 - EPC Submittal
 - Zone Map Amendment (Establish or Change Zoning)
 - Sector Plan (Phase I, II, III)
 - Amendment to Sector, Area, Facility or Comprehensive Plan
 - Text Amendment (Zoning Code/Sub Regs)
- APPEAL / PROTEST of...** **A**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: First Family Church PHONE: 823-1000
 ADDRESS: c/o Bruce Stidworthy, BHI, 7500 Jefferson NE FAX: 798-7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____
 Proprietary interest in site: Contract Purchaser List all owners: _____
 AGENT (if any): Consensus Planning Inc. PHONE: 764-9801
 ADDRESS: 924 Park Avenue SW FAX: 842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: DRB final sign-off for EPC approved Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1B1E, 1B1D & 1A2 Block: _____ Unit: _____
 Subdiv. / Addn. Renaissance Center
 Current Zoning: SU -1 for Church and Related facilities Proposed zoning: No Change
 Zone Atlas page(s): F-16 No. of existing lots: 3 No. of proposed lots: 1
 Total area of site (acres): 12.5 Acres Density if applicable: dwellings per gross acre: N/A dwellings per net acre: NA
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____
 UPC No. 101606110831020807 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Union Way Drive NE
 Between: Montaño Road NE and Mission Avenue NE

CASE HISTORY: Elvira Lopez, EPC Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):
04EPC-00685 & 04EPC-00684, Project #1003421

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 8/17/04

FOR OFFICIAL USE ONLY Form revised 9/01, 3/03, 7/03, 10/03, 3/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Applicant Fees	Agent Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - 01266</u>	<u>SBP</u>	<u>PL3</u>	<u>\$ 20.00</u>	
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>			
<input checked="" type="checkbox"/> All case #s are assigned					
<input checked="" type="checkbox"/> AGIS copy has been sent					
<input type="checkbox"/> Case history #s are listed					
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill					
<input checked="" type="checkbox"/> F.H.D.P. density bonus					
<input checked="" type="checkbox"/> F.H.D.P. fee rebate					
				Total	<u>\$ 20.00</u>

Hearing date 8-25-04

[Signature] 8-17-04
 Planner signature / date

Project # 1003421

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies. **IN SET**
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John M. Valdez
Applicant name (print)
[Signature]
Applicant signature / date



Form revised September 2001

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
04DRB- -01266
 _____ _____
 _____ _____

[Signature] 8-17-04
Planner signature / date
Project # 1003421



Memorandum

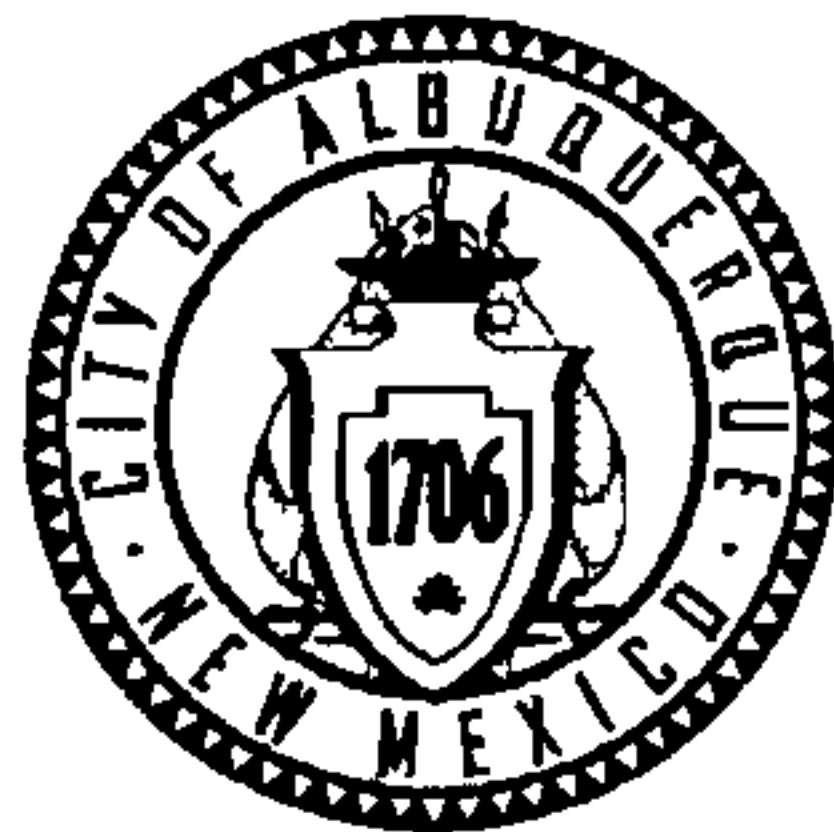
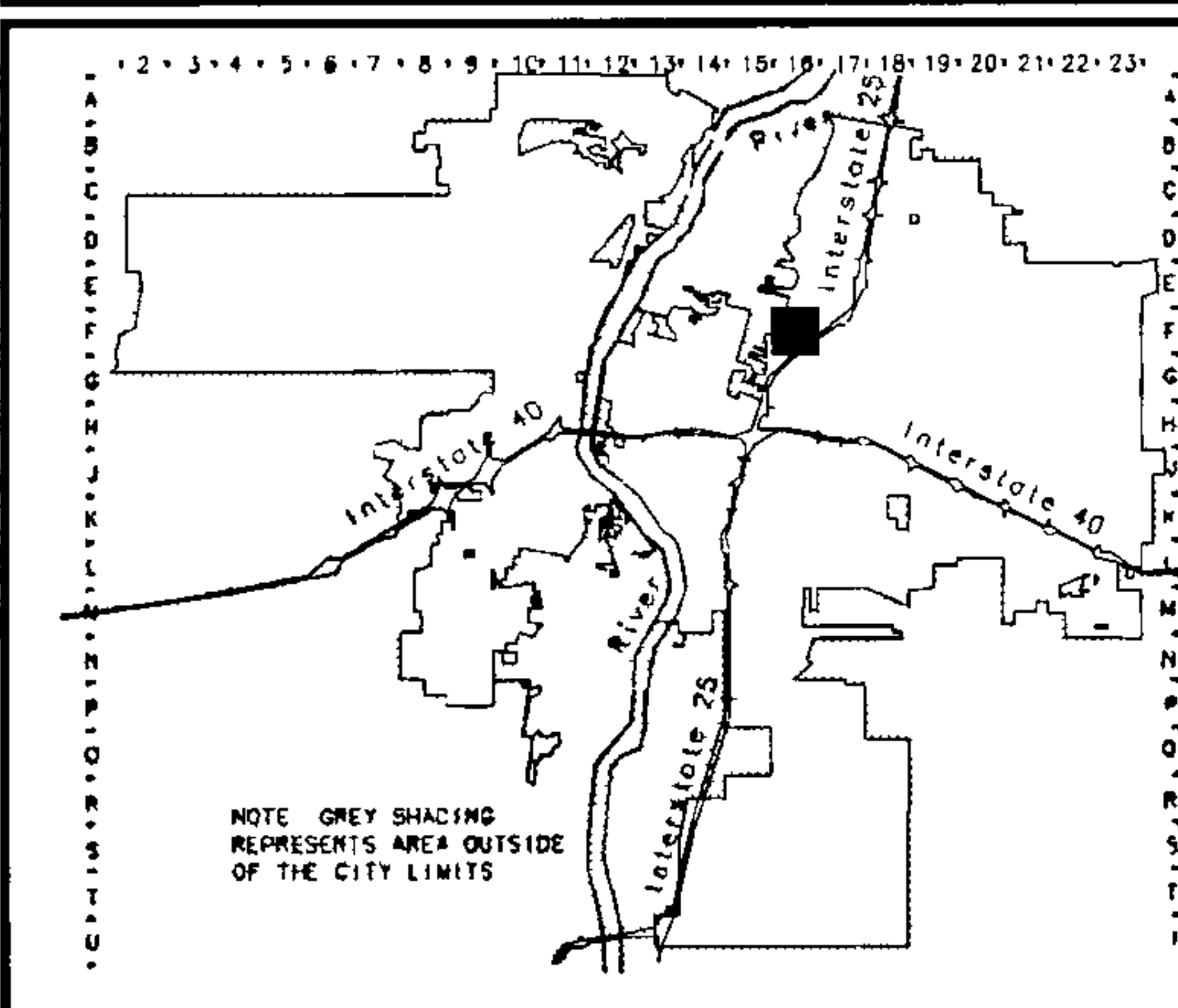
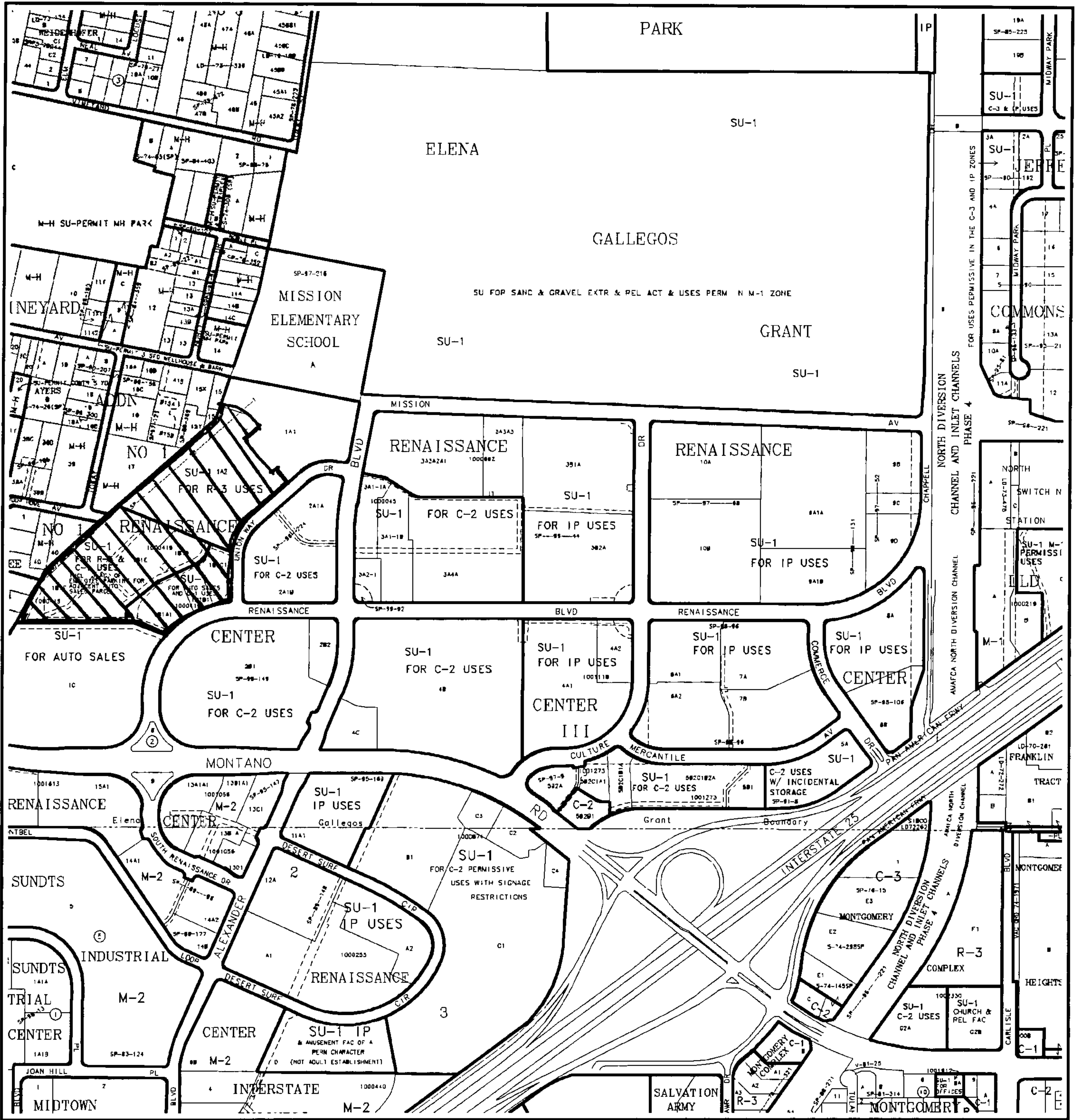
To: Claire Senova, DRB Administrative Assistant

From: John Valdez, AICP 

Date: April 17, 2004

Re: DRB Submittal for Project # 1003421, 04EPC-00684, 04EPC-00685

The purpose of this memo is to inform you that this application for final sign off of an EPC approved site plan for building permit is being submitted concurrently with a plat from Precision Surveying. Therefore, we are requesting that these two items be placed on the DRB agenda at the same time in order to be heard together. Please call me if you have any questions or need additional information. I can be reached at 764-9801.



Albuquerque Geographic Information System
 PLANNING DEPARTMENT

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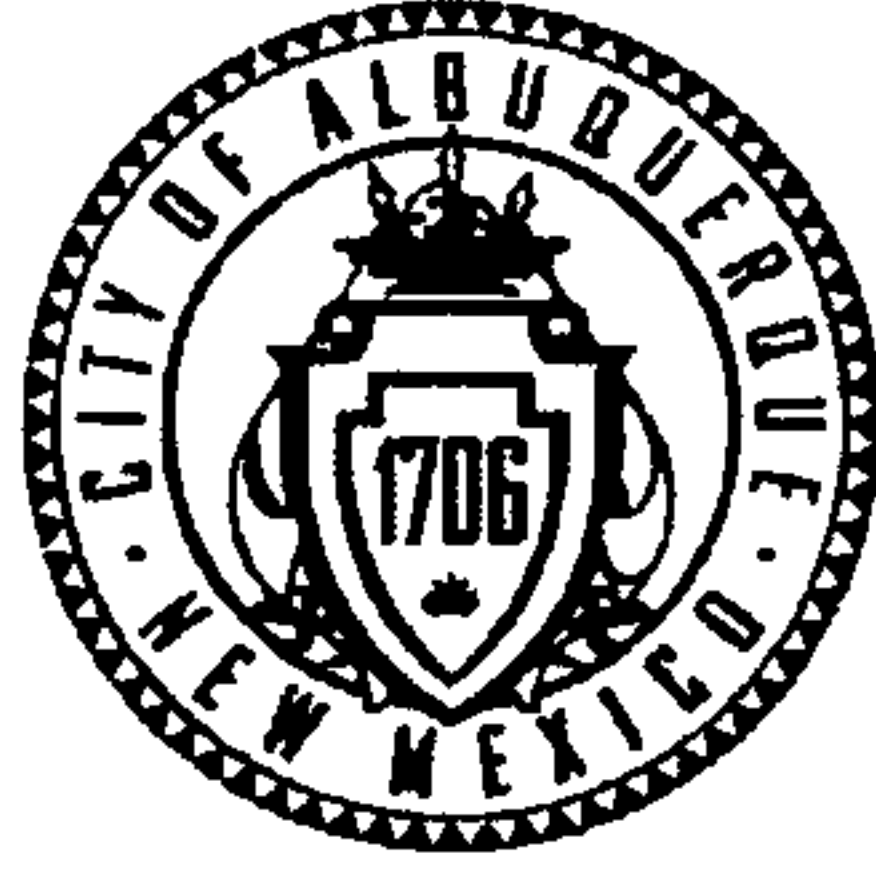
GRAPHIC SCALE IN FEET



Zone Atlas Page

F-16-Z

Map Amended through August 03, 2004



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: June 18, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003421***
04EPC-00685 EPC Site Development Plan-
Building Permit
04EPC-00684 Zone Map Amendment

First Family Church of Albuquerque
c/o B. Stidworthy, BHI
7500 Jefferson NE
Albuq. NM 87109

LEGAL DESCRIPTION: for all or a portion of Lots 1B1E, 1B1D and Lot 1A2, **Renaissance Center**, a zone map amendment from SU-1 for R-3 Uses and SU-1 R-3 & C-1 including 3 acres of employees parking for adjacent auto sales parcel to SU-1 for Church and Related Facilities and Daycare, located on UNION WAY DRIVE NE, between MONTANO ROAD NE and MISSION AVENUE NE, containing approximately 13 acres. (F-16) Elvira Lopez, Staff Planner

On June 17, 2004 the Environmental Planning Commission voted to approve Project 1003421/ 04EPC 00684 a request for a zone map amendment from SU-1 for R-3 & SU-1 for R-3 and C-1 to SU-1 for Church and Related Facilities and Daycare for Lots Lot 1A2, 1B1E, and 1B1D Renaissance Center, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a zone map amendment from SU-1 R-3 and SU-1 R-3 and C-1 (Including 3 Acres of Employee Parking for Adjacent Auto Sales Parcel) to SU-1 for Church and Related Facilities for lot 1B1E, 1B1D and 1A2, an approximately 13 acre site located on Union Way Drive NE, between Montano Road NE and Mission Avenue NE.
2. The applicant has submitted a site development plan to accompany the SU-1 zone request as required by Section 14-16-2-22 (A) (1) of the Comprehensive City Zoning Code.

OFFICIAL NOTICE OF DECISION

JUNE 17, 2004

PROJECT \$1003421

PAGE 2 OF 8

3. This request furthers Policies 5d, 5e, 5i, 5l, and 5m for Established Urban Areas of the Comprehensive Plan. With some modifications, the location, intensity and design of new development as proposed in the site development plan concurrently submitted with this request will respect the existing neighborhoods located to the west and north of the subject site (Policy 5d). The subject site is centrally located in the City and is a vacant parcel that is contiguous to existing urban facilities and services (Policy 5e). The proposed church and related facilities will complement the existing residential areas, and with some modifications to the proposed buffer areas along residential neighborhoods, the site will minimize adverse effects of noise, lighting, pollution, and traffic on residential environments (Policy 5i). The modern, contemporary style design of the proposed church is compatible with the surrounding area and with the applicable sector plan (Policy 5l). The applicant proposes a maximum height of 55 feet and this will help to preserve the unique vistas (Policy 5m).
4. This request furthers applicable policies for Major Community Activity Centers of the Comprehensive Plan. The request will help to create mixed-use concentrations of interrelated activities that promote transit and pedestrian access both to and within the activity center (Policy 7a). The proposed maximum height of 55' is appropriate for a Major Activity Center (Policy 7c). The proposed church facility will provide functional diversity and support the activity center market (Policy 7d). The proposed church use will function as a transition between more intense uses in the activity center and the surrounding residential areas (Policy 7f).
5. This request furthers applicable policies of the North Valley Area Plan. Portions of the subject property are zoned C-1 and this request will promote the development of a church, an institutional use Permissive in the C-1 zone (Zoning and Land Use Policy 2c). With some modifications to the site plan, the submitted site plan will limit the potential impacts of non-residential uses on residential area (Zoning and Land Use Policy 2d). With some modifications to the site plan, this request will promote sustainable transportation in and through the plan area by encouraging reduced automobile use and improving the safety of non-motorized travel (Transportation Policy 2).
6. With some modifications, the requests for a zone map amendment and site plan for subdivision generally comply with the rules, regulations and land development standards of the Renaissance Master Declaration and Rules and Regulations.

7. The applicant justifiably argues that the requested zoning is more advantageous to the community as per the policies of the Comprehensive Plan, North Valley Area Plan and the Renaissance sector plan. Changing the zoning for all three lots would enable the applicant to develop the church as per the site plan that has been submitted and, thus enable the applicant to further applicable policies of the Comprehensive Plan, NVAP and Renaissance sector plan that have been noted above. This request would encourage uniformity and stability of zoning because the request would make uses on the site predictable and restricted to only church development. The requested zoning is more appropriate than the existing C-1 zoning for lots 1B1E and 1B1D given the subject site's status as a Major Community Activity Center by the Comprehensive Plan. A church facility could complement the mix of commercial, high-density residential, office, and industrial lands already located in the area. Finally, the applicant correctly argues that a church facility could serve as a transition between the auto sales dealerships to the south and the apartment complex to the north (R-270-1980, Section 1D).
8. There are no known recognized neighborhood associations affected by this request. There is no known opposition to this request.

CONDITIONS:

1. The subject site shall be replatted to create one lot prior to any site plan for building permit approval.

On June 17, 2004 the Environmental Planning Commission voted to approve Project 1003421/ 04EPC 00685, approval of a site plan for building permit, for Lots 1B1E, 1B1D and Lot 1A2, Renaissance Center, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site plan for building permit for lot 1B1E, 1B1D and 1A2, an approximately 13 acre site located on Union Way Drive NE, between Montano Road NE and Mission Avenue NE. The applicant proposes to develop a church and related facilities. Concurrently, the applicant requests approval of a zone map amendment.

OFFICIAL NOTICE OF DECISION

JUNE 17, 2004

PROJECT \$1003421

PAGE 4 OF 8

2. This request furthers Policies 5d, 5e, 5i, 5l, and 5m for Established Urban Areas of the Comprehensive Plan. With some modifications, the location, intensity and design of new development as proposed in the site development concurrently submitted with this request will respect the existing neighborhoods located to the west and north of the subject site (Policy 5d). The subject site is centrally located in the City and is a vacant parcel that is contiguous to existing urban facilities and services (Policy 5e). The proposed church and related facilities will complement the existing residential areas, and with some modifications to the proposed buffer areas along residential neighborhoods, the site will minimize adverse effects of noise, lighting, pollution, and traffic on residential environments (Policy 5i). The modern, contemporary style design of the proposed church is compatible with the surrounding area and with the applicable sector plan (Policy 5l). The applicant proposes a maximum height of 55 feet and this will help to preserve the unique vistas (Policy 5m).
3. This request furthers applicable policies for Major Community Activity Centers of the Comprehensive Plan. With some modifications to the site plan, this request will help to create mixed-use concentrations of interrelated activities that promote transit and pedestrian access both to and within the activity center (Policy 7a). The proposed maximum height of 55' is appropriate for a Major Activity Center (Policy 7c). The proposed church facility will provide functional diversity and support the activity center market (Policy 7d). The proposed church use will function as a transition between more intense uses in the activity center and the surrounding residential areas (Policy 7f).
4. This request furthers applicable policies of the North Valley Area Plan. Portions of the subject property are zoned C-1 and this request will promote the development of a church, an institutional use Permissive in the C-1 zone (Zoning and Land Use Policy 2c). With some modifications to the site plan, the submitted site plan will limit the potential impacts of non-residential uses on residential area (Zoning and Land Use Policy 2d). Likewise, with some modifications to the site plan, this request will promote sustainable transportation in and through the plan area by encouraging reduced automobile use and improving the safety of non-motorized travel (Transportation Policy 2).
5. With some modifications, the request for site plan for subdivision generally complies with the rules, regulations and land development standards of the Renaissance Master Declaration and Rules and Regulations.
6. The applicant has not met with the Renaissance Architectural Review Board to receive approval of the site plan for building permit. Nevertheless, the Environmental Planning Commission (EPC) has the jurisdiction to approve the site plan. If an approved site plan significantly contrasts with the intent of the Architectural Review Board, the applicant may need to resubmit a revised site plan for approval by the EPC.
7. The applicant proposes to create one lot from lots 1B1E, 1B1D and 1A2 through a replat of the subject site, prior to DRB approval.

8. The applicant requests that approval of a future phase be delegated to the Development Review Board. The design of future phases shall match and complement Phase I architecture.
9. There are no known recognized neighborhood associations affected by this request. There is no known opposition to this request.
10. The Commission encourages the applicant prior to implementation of Phase II to explore and develop incentives and shared parking arrangements with nearby property owners.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The applicant shall meet the provisions of section 14-16-3-1 (G) of the Zoning Code. Parking sub areas shall be linked to the main pedestrian walkways leading to the main entrance of the buildings by means of pedestrian walkways. These pedestrian walkways shall be a minimum of 6 feet in width, unobstructed, and clearly demarcated by the use of techniques such as special paving, grade separation, or pavement marking of a permanent nature. Pedestrian walkways shall be lined with adjacent trees spaced approximately 25 feet on center and placed within defined planting areas that have a minimum interior dimension of 36 square feet and a minimum width of four feet. Pedestrian walkways shall be placed in the various parking subareas surrounding the building.
3. The applicant shall provide sidewalks 15 feet in width along the entire length of major facades containing primary entrances as per the General Building and Site design Regulations for Non-Residential Uses (Section 14-16-3-18). The proposed 6 ft. wide sidewalks along other sides of the building shall be increased to 8 ft. The major façade is the east sanctuary façade.
4. All light fixtures shall be a maximum height of 16' if they are within 100' of a residential area (Section 14-16-3-9). Otherwise, if the light pole is not within 100' of a residential area, the maximum height of light poles measured from the finished grade to the top of the pole shall be 25' as per the Renaissance master plan (p. 30). The lights along the west side of the property shall have added shields to prevent fugitive lighting.
5. The Statement of Water Waste on sheets 2A and 2B shall be modified to state, "The landscape plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area."

OFFICIAL NOTICE OF DECISION

JUNE 17, 2004

PROJECT \$1003421

PAGE 6 OF 8

6. A 10-foot wide landscape buffer area with trees at least 8-feet high at the time of planting and a 6' high solid wall shall be provided along the property line where the subject site's parking abuts residential zones (Section 14-16-3-10 (E) (4)). A mix of evergreen and deciduous trees shall be planted along this buffer area at a minimum interval of 25 ft. This standard shall be met for both the western and northern boundary line during Phase I. The site plan for phase I shall include the retaining wall along the west side of the property.
7. Ground mounted signs shall be located no closer than seven (7) feet from any street right-of-way when positioned perpendicular to the street (Renaissance Master Declaration and Rules and Regulations, Regulation II.A.12b, p. 34).
8. The applicant shall indicate on the site plan that the maximum height of future additions shall not exceed the maximum height approved in Phase I. In addition, the site plan shall state that, "The top of all rooftop mechanical equipment shall be below the top of parapet and screened from view from nearby properties. All ground mounted equipment shall be screened by solid walls with the top of equipment below top of screen wall." Also, since the applicant proposes delegation of future site plans for building permit approval to the DRB, the site plan shall state that, "The design and materials proposed for all future additions shall reflect previously approved site plan for building permits on this site."
9. The subject site shall be replatted to create one lot prior to any site plan for building permit approval.
10. Fire protection requirements are determined by the Fire Marshal based on both the size and type of construction. The location of each hydrant must be approved by the Fire Marshal and system capacity verified by Utility Development prior to DRB approval of any site plan for building permit.
11. An approved drainage report is required for Site Plan sign-off by the City Engineer. Approval of drainage plan is required prior to placement on the DRB agenda.
12. The applicant shall comply with all SWMD ordinances and requirements.
13. The applicant shall comply with the following recommendations of approval as specified by the City Engineer, Municipal Development, Public Works Department, and NMDOT:
 - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).

- c. Label existing access points.
 - d. Provide internal access to parking adjacent to drive aisle on north side of Tracts 1B1B1 and 1B1C1. As shown, this parking area creates two additional driveways that are not needed.
 - e. Where drive aisles are 30' in width and parking spaces are 18' long, decrease aisle width to a minimum of 24' and increase parking space length to 20'.
 - f. Where angled parking is used, provide angled parking on opposite side of drive aisle (including adjacent to building). Do not mix angled parking with perpendicular parking on the same drive aisle. The angled parking implies one-way operation and the perpendicular parking implies two-way operation.
 - g. By providing a drive aisle with angled parking on both sides, the aisle width can be reduced to provide a drive aisle wider than 15.5' for the drive aisle on the north side of lot.
 - h. On the north side drive aisle, sign as one-way.
 - i. Site plan shall comply and be designed per DPM Standards.
 - j. Provide cross access agreement between tracts if not already in place.
14. The applicant shall correct the following errors prior to final sign off by the DRB:
- a. Indicate that the building area for Phase I on sheet 1B is 58,600 SF rather than the stated 8,600 SF.
 - b. The Master Landscape Plan (sheet 2A) and Phase I Landscape Plan (sheet 2B) shall indicate that the building footprint is 114,000 SF rather than the 117,000 SF. Calculations on both sheets should be modified to reflect the correct square footage of the building.
15. Approval authority for a future phase is delegated to the Development Review Board. The design of future phases shall match and complement Phase I architecture.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JULY 2, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

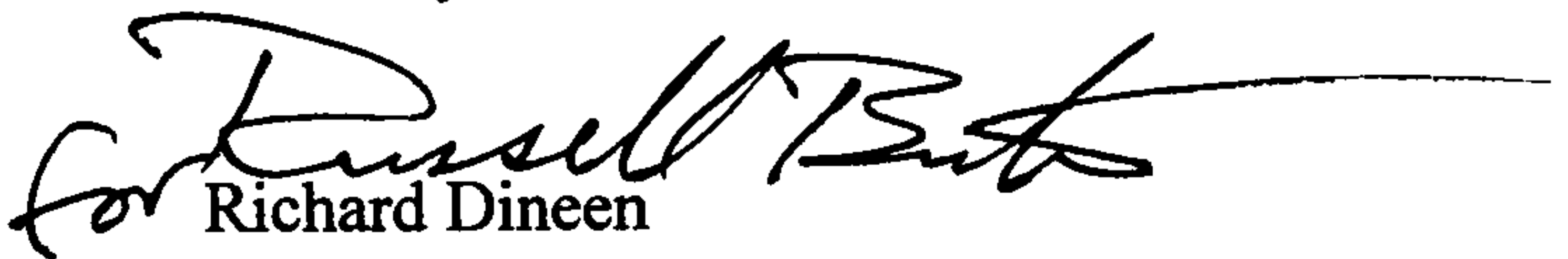
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
JUNE 17, 2004
PROJECT \$1003421
PAGE 8 OF 8

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


Richard Dineen
Planning Director

RD/EL/ac

cc: Consensus Planning, Inc., 924 Park Ave. SW, Albuquerque, NM 87102
Walter Morris, 5814 Tokay Rd. NE, Albuquerque, NM 87102



August 10, 2004

Ms. Sheran Matson, DRB Chair
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87103

RE: Project # 1003421, 04EPC-00684, 04EPC-00685

Dear Ms. Matson:

Landscape Architecture
Urban Design
Planning Services

924 Park Avenue SW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to explain our submittal to the DRB for the project referenced above. We are requesting final sign-off for an EPC approved Site Development Plan for Building Permit. The EPC approved a zone map amendment and site plan for building permit for a 13-acre site located on Union Way Drive, between Montañó Road NE and Mission Avenue NE. The zone map amendment approved the category of SU-1 for Church and Related Facilities for the site for the purposes of relocating First Family Church to the site. The site is comprised of three separate tracts of land. These tracts include:

- Lot 1B1E
- Lot 1B1D
- Lot 1A2

These three lots will be replatted to form one lot. The replat has been prepared and is being submitted to the DRB concurrently with this request for final sign-off for Site Plan for Building Permit.

Development of the site is expected to occur in two phases as funding becomes available for the church. The site plan for building permit reflects this two-phase development. The initial phase will result in the construction of a portion of the church building and off-street parking. The second phase will result in another portion of the church construction and completion of the parking areas.

This letter demonstrates the manner in which we have addressed each condition established by the EPC in its Notice of Decision dated June 18, 2004. The condition is presented followed by an explanation as to how the condition was addressed in italics.

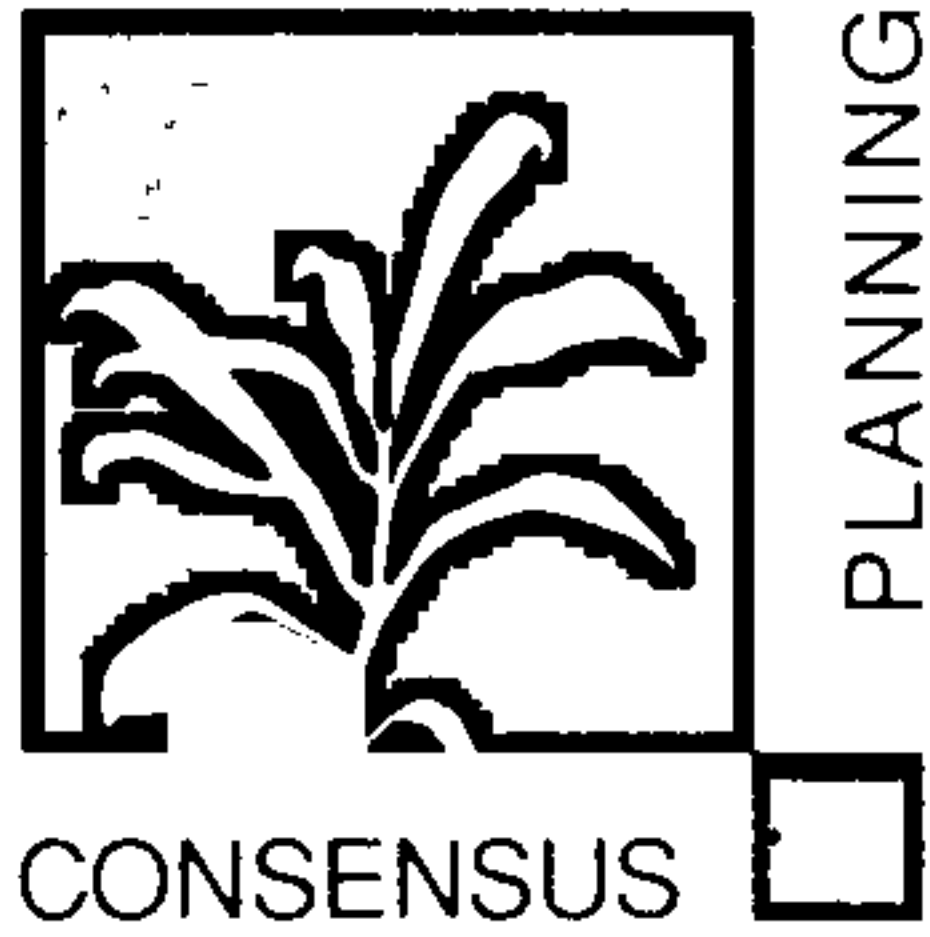
04EPC-00684

1. The subject site shall be replatted to create one lot prior to any site plan for building permit approval.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

This site plan for building permit submittal accompanies a minor subdivision plat, which will create one lot out of the existing three lots.



04EPC-00685

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

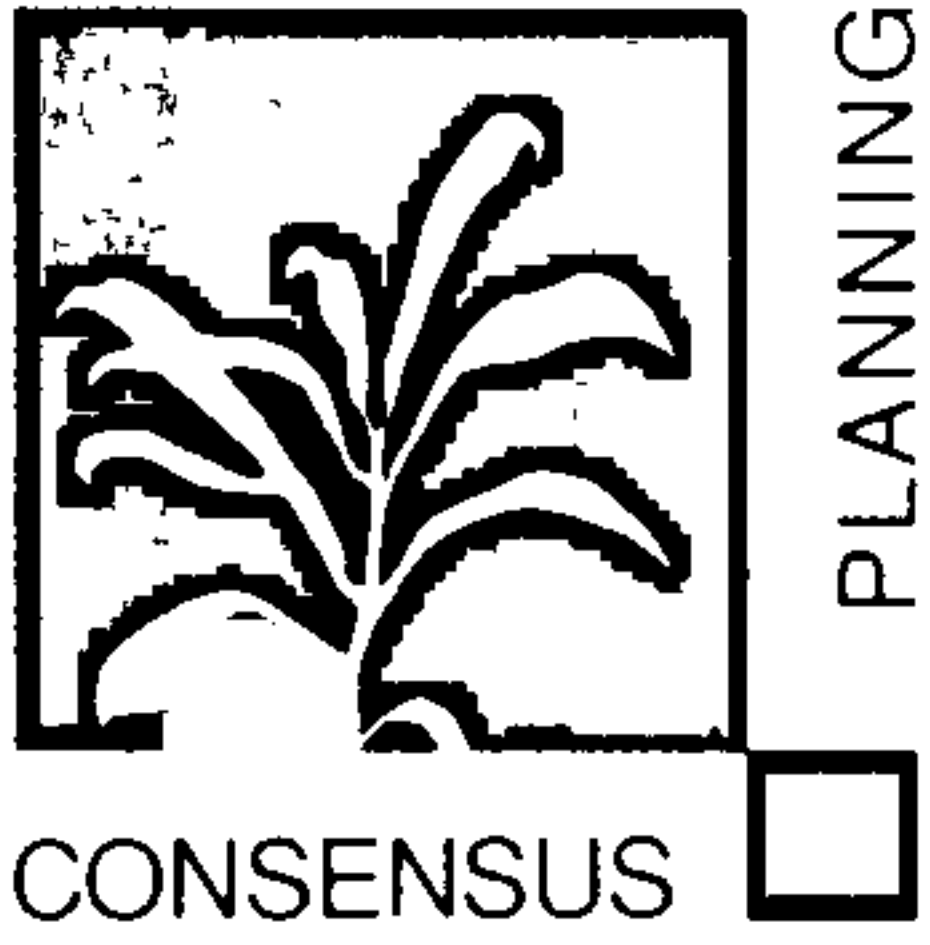
We are in agreement with this condition. This letter provides detail as to how the site plan has been modified to satisfy the EPC conditions.

2. The applicant shall meet the provisions of Section 14-16-3-1 (G) of the Zoning Code. Parking sub areas shall be linked to the main pedestrian walkways leading to the main entrance of the buildings by means of pedestrian walkways. These pedestrian walkways shall be a minimum of 6 feet in width, unobstructed, and clearly demarcated by the use of techniques such as special paving, grade separation, or pavement marking of a permanent nature. Pedestrian walkways shall be lined with adjacent trees spaced approximately 25 feet on center and placed within defined planting areas that have a minimum interior dimension of 36 square feet and a minimum width of four feet. Pedestrian walkways shall be placed in the various subareas around the building.

We have complied with this condition. We have provided pedestrian walkways from the southern subarea parking lot that are approximately 10 feet in width. Planters with trees have been provided along the pedestrian walkways with trees spaces 25 feet on center. Each planter is 9 feet in length and 4 feet in width for a total of 36 feet square feet per planter.

3. The applicant shall provide sidewalks 15 feet in width along the entire length of major facades containing primary entrances as per the General Building and Site design Regulations for Non-Residential Uses (Section 14-16-3-18). The proposed 6 ft. wide sidewalks along other sides of the building shall be increased to 8 ft. The major façade is the east sanctuary.

The Church building will have only one primary entrance/façade, which is located west of the fountain. As the condition states, the primary entrance/façade leads into the sanctuary and faces east. The width of the sidewalk at this location has been increased to 15 feet. Other entrances to the building are not considered primary entrances but will only be used as entrance/exit points to other portions of the church building such as classrooms or offices. Sidewalks along the sides of the building have been increased to a minimum width of 8 feet. See Sheet 1A.



4. All light fixtures shall be a maximum of 16' if they are within 100' of a residential area (Section 14-16-3-9). Otherwise, if the light pole is not within 100' of a residential area, the maximum height of light poles measured from the finished grade to the top of the pole shall be 25' as per the Renaissance master plan (p.30). The lights along the west side of the property shall have added shields to prevent fugitive lighting.

We agree with this provision. Lighting poles have been reduced to 25 feet high in full compliance with the Renaissance Master Plan. See Sheet 4E. No light fixtures are proposed within 100' feet of adjacent residential areas.

5. The Statement of Water Wastes on sheets 2A and 2B shall be modified to state, "The landscape plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area".

We agree with this condition. A note has been added to Sheets 2A and 2B (Master Landscape Plan and Phase I Landscape Plan) that states:

"The landscape plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area".

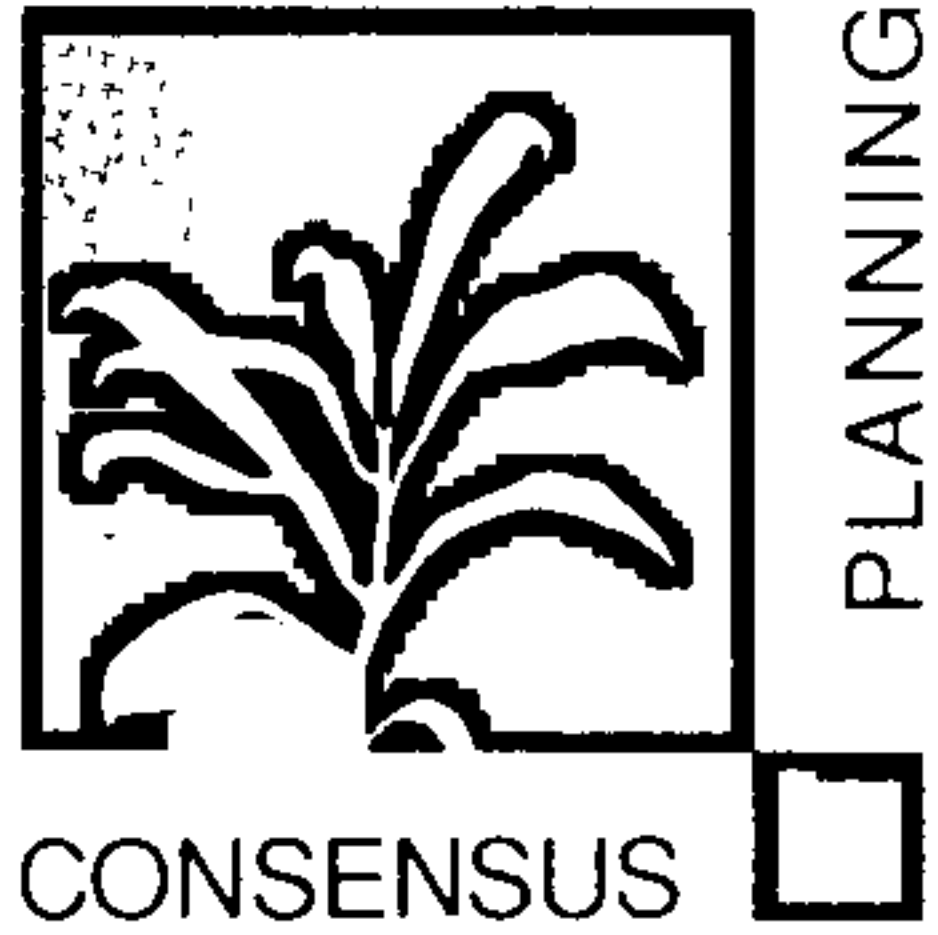
6. A 10-foot wide landscape buffer area with trees at least 8-feet high at the time of planting and a 6' high solid wall shall be provided along the property line where the subject site's parking abuts residential zones (Section 14-16-3-10-(E) (4)). A mix of evergreen and deciduous trees shall be planted along this buffer area at a minimum interval of 25 ft. This standard shall be met for both the western and northern boundary line during Phase I. The site plan for phase I shall include the retaining wall along the west side of the property.

A 10-foot wide public utility easement will serve as a buffer area that will contain trees 8-feet high. This easement is located adjacent to residential areas on the west and northern portions of the site. A retaining wall has also been added to the western boundary and is shown on the site plan (See sheet 1A and 1B). The condition concerning the retaining wall will be met through the location of a retaining wall along the western property boundary.

7. Ground mounted signs shall be located no closer than seven (7) feet from any street right-of-way when positioned perpendicular to the street (Renaissance Master Declaration and Rules and Regulations, Regulation II.A.12b, p. 34).

We have complied with this condition. Signs locations are provided 7 feet or farther from the right-of-way. See sheet 1A.

8. The applicant shall indicate on the site plan that the maximum height of future additions shall not exceed the maximum height approved in Phase I. In addition, the site plan shall state that "The top of all rooftop mechanical equipment shall be below the top of parapet and screened from view from



nearby properties. All ground mounted equipment shall be screened by solid walls with the top of equipment below top of screen wall." Also, since the applicant proposes delegation of future site plans for building permit approval to DRB, the site plan shall state that, "The design and materials proposed for all future additions shall reflect previously approved site plan for building permits on this site".

We have complied with this condition by adding two notes to the Elevations Sheet (sheet4C) that states:

"The top of all rooftop mechanical equipment shall be below the top of parapet and screened from view from nearby properties. All ground mounted equipment shall be screened by solid walls with the top of equipment below top of screen wall."

"The design and materials proposed for all future additions shall reflect previously approved site plan for building permits on this site".

9. The subject site shall be replatted to create one lot prior to any site plan for building permit approval.

We agree with this provision. A minor subdivision plat has been submitted concurrently with this site plan for building permit.

10. Fire protections requirements are determined by the Fire Marshal based on both the size and type of construction. The location of each hydrant must be approved by the Fire Marshal and system capacity verified by Utility Development prior to DRB approval of any site plan for building permit.

Hydrant locations have been provided on the Grading, Drainage and Utility Plans for both the overall site plan and Phase I. The Fire Marshal's stamp has been obtained and placed on the Site Plan for Building Permit.

11. An approved drainage report is required for Site Plan sign-off by the City Engineer. Approval of drainage plan is required prior to placement on the DRB agenda.

We have complied with this request.

12. The applicant shall comply with all SWMD ordinances and requirements.

We are in compliance with this condition.

13. The applicant shall comply with the following recommendations of approval as specified by the City Engineer, Municipal Development, Public Works Department, and the NMDOT:



CONSENSUS

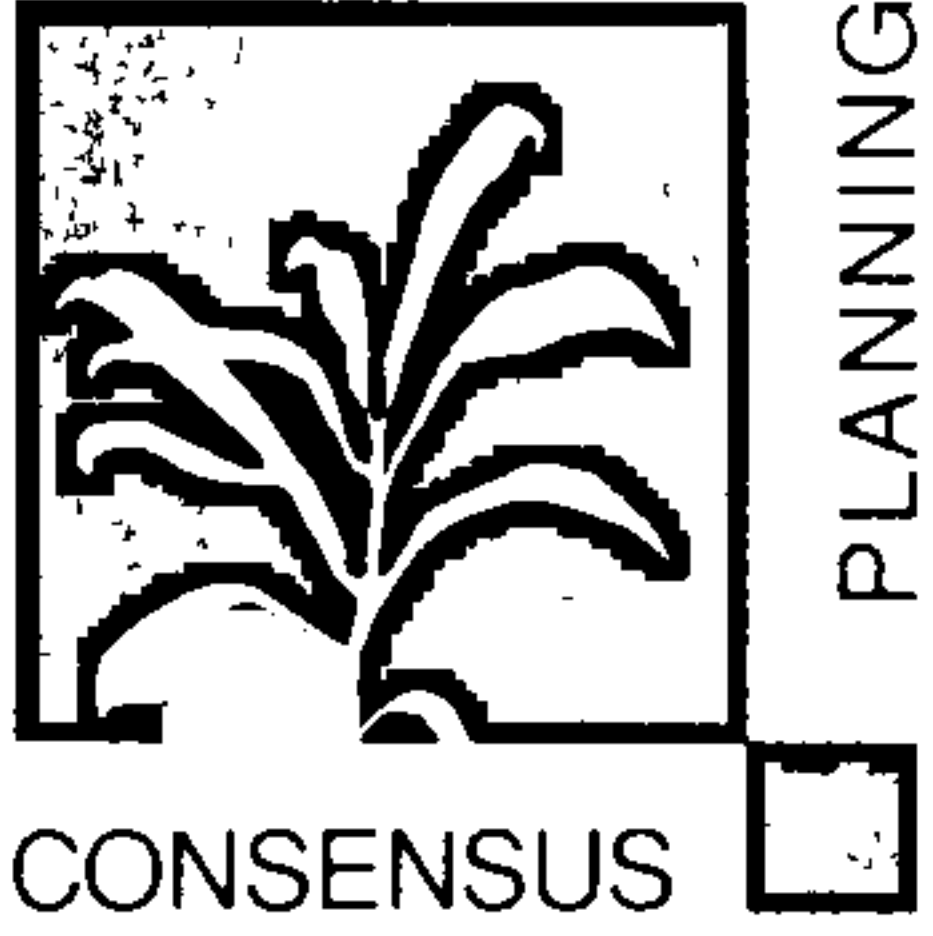
PLANNING



- a. All the requirements of previous actions taken by the EPC and the DRB must be completed and/or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb, and gutter, sidewalk and ADA accessible ramps that not have already been provided for. All public infrastructure constructed within the public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. Label existing access points.
- d. Provide internal access to parking adjacent to drive aisle on north side of Tracts 1B1B1 and 1B1C1. As shown, this parking area creates two additional driveways that are not needed.
- e. Where drive aisles are 30' in width and parking spaces are 18' long, decrease aisle width to a minimum of 24' and increase parking space length to 20'.
- f. Where angled parking is used, provide angled parking on opposite side of drive aisle (including adjacent to building). Do not mix angled parking with perpendicular parking on the same drive aisle. The angled parking implies one-way operation and the perpendicular parking implies two-way operation.
- g. By providing a drive aisle with angled parking on both sides, the aisle width can be reduced to provide a drive aisle wider than 15.5' for the drive aisle on the north side of the lot.
- h. On the north side drive aisle, sign as one-way
- i. Site plan shall comply and be designed per DPM standards.
- j. Provide cross access agreement between tracts if not already in place.

Each of these points has been addressed through changes or additions to the Site Plan for Building Permit. These changes include:

- *Identification of the existing access point by a note;*
- *Internal access is provided adjacent to Tracts 1B1B1 and 1B1C1. The additional driveways have been eliminated;*
- *Elimination of areas where angled parking and perpendicular parking were mixed. Angled parking has been eliminated along the western edge of the property;*
- *The north side and west side drive aisle have been labeled with "one-way" pavement stamping and one-way arrows;*
- *Cross access easements are already in place between the tracts as shown on the Site Plan for Building Permit;*
- *30' drive aisles have been reduced to 24 feet. Parking space length in some locations has been increased to 20'.*
- *The Site Plan complies and is designed per DPM standards.*



14. The applicant shall correct the following errors prior to final sign off by the DRB:

- a. Indicate that the building area for Phase I on sheet 1B is 58,600 SF rather than the stated 8,600 SF.
- b. The Master Landscape Plan (Sheet 2A) and Phase I Landscape Plan (Sheet 2B) shall indicate that the building footprint is 114,000 SF rather than the 117,000 SF. Calculations on both sheet should be modified to reflect the correct square footage of the building.

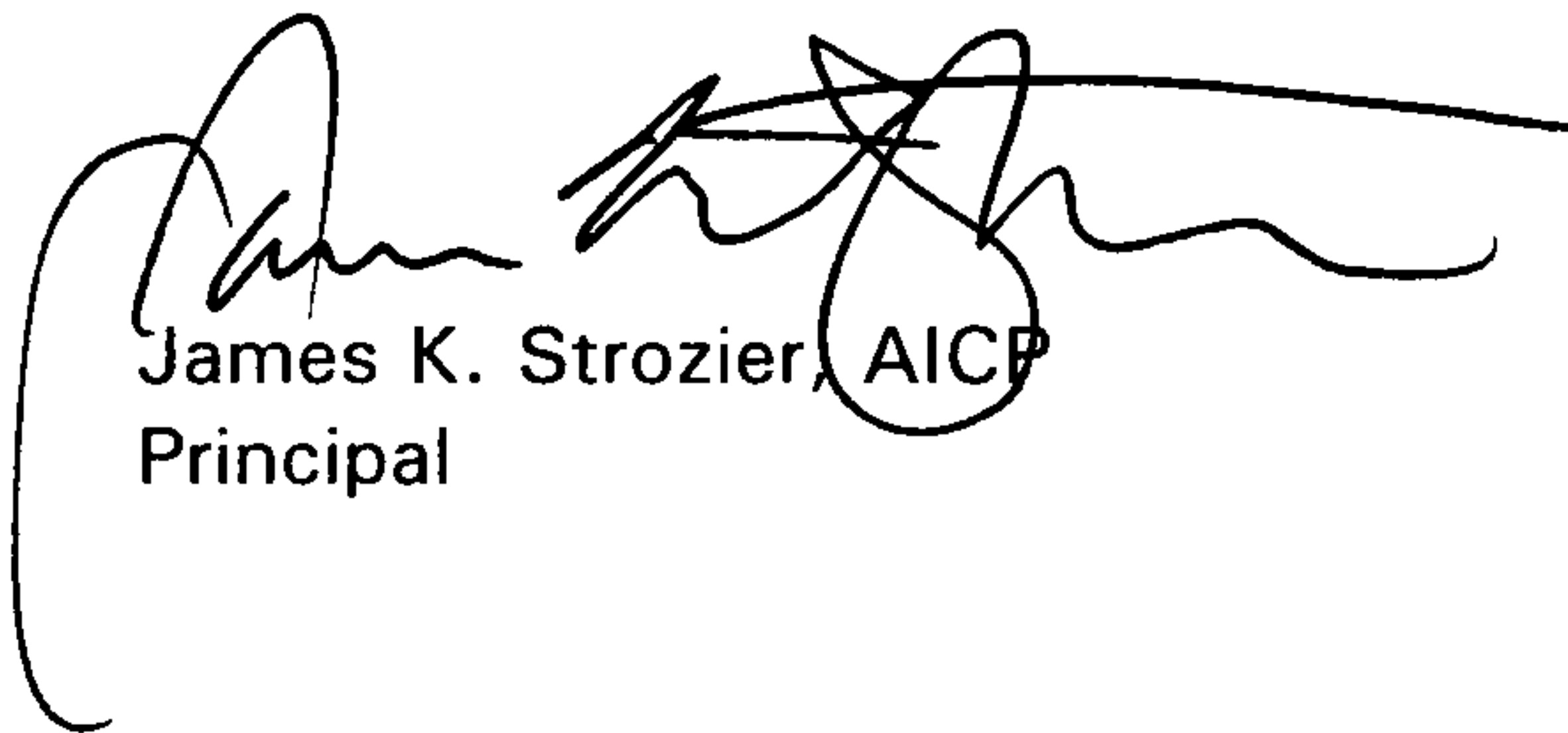
These errors have been corrected on the Site Plan for Building Permit. .

15. Approval authority for a future phase is delegated to the Development Review Board. The design of future phases shall match and complement Phase I architecture.

We agree with this condition.

In conclusion, this letter demonstrates compliance with the conditions that the EPC placed on the project on June 18, 2004. Please feel free to call me if you have any questions or desire additional information.

Sincerely,



James K. Strozier, AICP
Principal

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME First Family Church
AGENT Consensus Plan.
ADDRESS 924 Park Ave SW.
PROJECT & APP # 1003421 / 04 DRB 01266
PROJECT NAME Renaissance Cntr

\$ 20.00 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

Counterreceipt.doc 6/21/04

8/17/2004 10:19AM LOC: ANNX
RECEIPT# 00027879 WSH 006 TRANSH 0010
Account 441032 Fund 0000
Activity 3424000 TRSEJA
Trans Amt \$20.00
J24 Misc \$20.00
VI \$20.00
CHANGE \$0.00

Thank You



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **04DRB-01306 (P&F)**

Project # **1003421**

Project Name: **RENAISSANCE CENTER**

Agent: Precision Surveys Inc.

Phone No.: 856-5700

Your request for (SDP for SUB), (SDP for BP) **(FINAL PLATS)**, (MASTER DEVELOP. PLAN), was approved on 9/1/04 by the DRB with delegation of signature(s) to the following departments
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____

- UTILITIES: either show GAS easement on plat (has easement recorded 9/25/03) or process a Release of Easement.
- _____
- _____

- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____

- PARKS / CIP: _____
- _____
- _____
- _____

- PLANNING (Last to sign): _____
- _____
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1003421

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION Supplemental form **S**

___ Major Subdivision action
 Minor Subdivision action
 ___ Vacation **V**
 ___ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

___ ...for Subdivision Purposes
 ___ ...for Building Permit
 ___ IP Master Development Plan
 ___ Cert. of Appropriateness (LUCC) **L**

ZONING & PLANNING Supplemental form **Z**

___ Annexation
 ___ County Submittal
 ___ EPC Submittal
 ___ Zone Map Amendment (Establish or Change Zoning)
 ___ Sector Plan (Phase I, II, III)
 ___ Amendment to Sector, Area, Facility or Comprehensive Plan
 ___ Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... **A**

___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: UNION PENSION TRANSACTION TRUST 93-2, NM PHONE: _____

ADDRESS: 1110 PENNSYLVANIA FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____

Proprietary interest in site: _____ List all owners: UNION PENSION TRANSACTION TRUST 93-2, NM

AGENT (if any): PRECISION SURVEYS, INC PHONE: 856-5700

ADDRESS: 8414-D JEFFERSON ST, NE FAX: 856-7900

CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: PRESURV@PRESURV.COM

DESCRIPTION OF REQUEST: Replat existing 3 tracts into 1 new tract and to vacate easements.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 1A-2-A Block: N/A Unit: N/A

Subdiv. / Addn. RENAISSANCE CENTER

Current Zoning: SU-1 FOR R-3 USES (FORMER TR 1A-2) Proposed zoning: SU-1 FOR CHURCHES & RELATED USES
SU-1 FOR R-3 & C-1 USES (FORMER TR 1B-2-E)

Zone Atlas page(s): F-116 No. of existing lots: 3 No. of proposed lots: 1

Total area of site (acres): 12.5552 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A

Within city limits? Yes. No ___ , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____

UPC No. 101606110831020801, 101606108526920835, 101606105426620836 MRGCD Map No. N/A

LOCATION OF PROPERTY BY STREETS: On or Near: UNION WAY DRIVE, NE

Between: MONTANO RD and MISSION AVE

CASE HISTORY: 04DRB 01264 1003421 04EPC 00684 04EPC 00685

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): Proj 1000419

04DRB-00207, 04DRB-00997, 04DRB00998, 03DRB00590, 02DRB01532, 02AA00814

02DRB00357

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Deborah F Pennebaker DATE 8.24.04

(Print) Deborah F Pennebaker Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - 01306</u>	<u>PEF</u>	<u>5(3)</u>	<u>\$ 215.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ _____</u>
Hearing date <u>9-1-04</u>				Total <u>\$ 235.00</u>

[Signature] 8-24-04
 Planner signature / date

Project # 1003421

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

- SKETCH PLAT REVIEW AND COMMENT** **YOUR ATTENDANCE IS REQUIRED.**
- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application

- MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**
- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Design elevations & cross sections of perimeter walls
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - SIA financial guaranty verification
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer *N/A*
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
 - Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.** *Pending*

- AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**
- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**
- AMENDMENT TO GRADING PLAN (with minor changes)**
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Deborah F Pennnebaker
Applicant name (print)

Deborah F Pennnebaker 8.24.04
Applicant signature / date

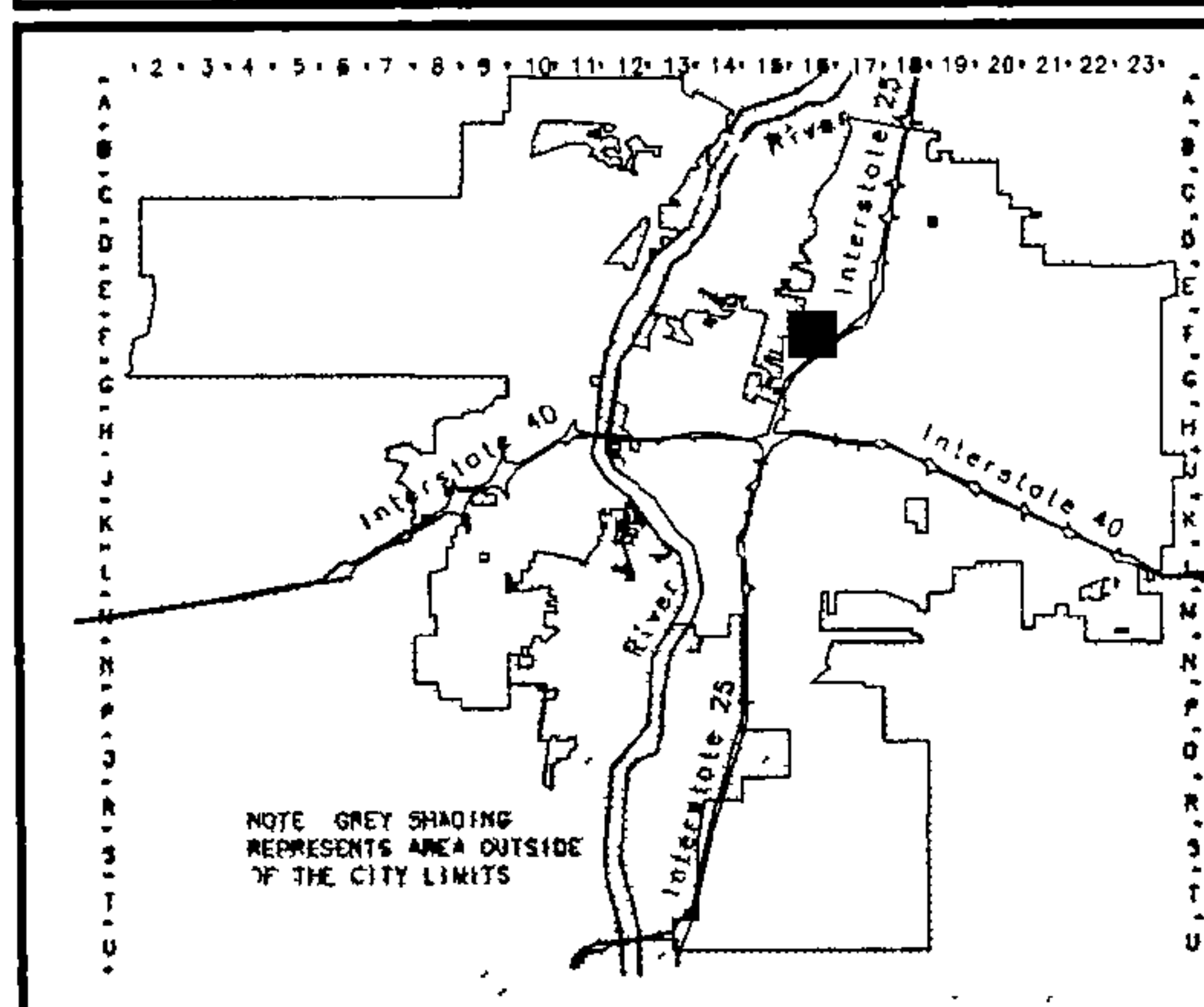
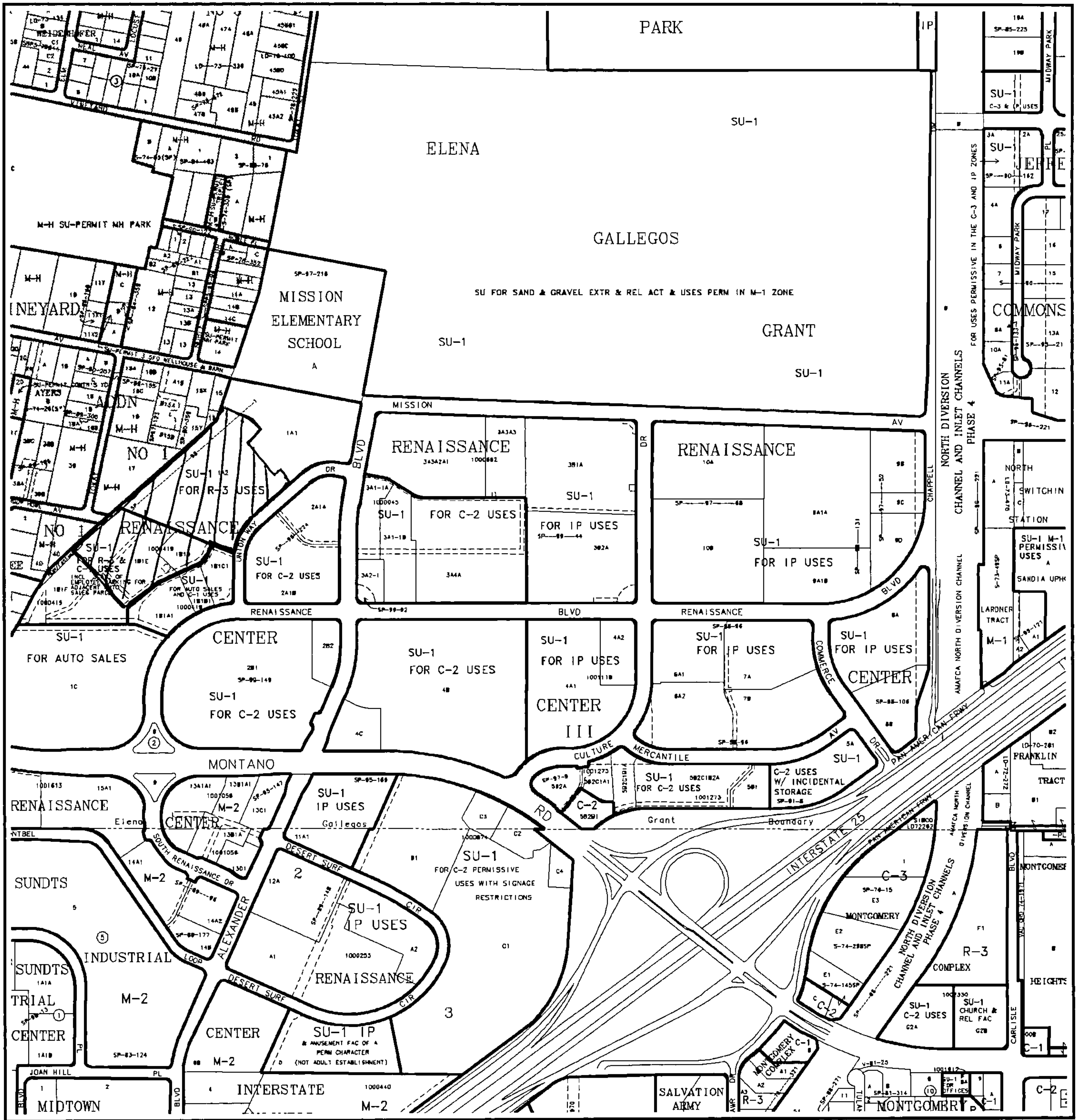


Form revised 3/03, 8/03 and 11/03

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
04DRB - - 01306

[Signature] *8-24-04*
Planner signature / date

Project # 100 3421



CITY OF
Albuquerque
A buquerque G eographic I nformation S ystem
PLANNING DEPARTMENT
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Zone Atlas Page

F-16-Z

Map Amended through July 31, 2003



Project Summary Report

Click on any Application Number or Completion Disposition under Related Applications to reveal more detail.

Date: 08/19/2004

Page 1

Project Number: 1000419

Project Name: RENAISSANCE CENTER 1B1

Project Description:

FINAL SIGN OFF OF SITE PLAN FOR BUILDING PERMIT FINAL SIGN OFF OF SITE PLAN FOR BUILDING PERMIT

Related Applications in Order of Submittal:

Red - Withdrawn

Application	Application Type	Completed Activity	Completion Disposition	Date
00EPC - 00460	ZONE MAP AMENDMENT	CLOSURE	<u>COMPLETED</u>	7/12/2000
00EPC - 00461	SUBDIVISION	PUBLIC HEARING	<u>DEFERRED TO DATE</u>	7/12/2000
00DRB - 01380	SITEDEV PLAN SUBD	APPLICATION SUBMITTAL	<u>RECEIVED ON OR BEFORE DEADLINE</u>	9/29/2000
00DRB - 01381	SITEDEV PLAN BLDPERMIT	APPLICATION SUBMITTAL	<u>RECEIVED ON OR BEFORE DEADLINE</u>	9/29/2000
00DRB - 01419	PRELIM&FINAL PLAT APPROVAL	NO MORE ACTION	<u>COMPLETED</u>	6/11/2002
00DRB - 01610	FINAL PLAT APPROVAL	PLANNER ASSIGNMENT	<u>INTERNAL ROUTING COMPLETED</u>	11/29/2000
01EPC - 01765	AMENDMENT TO SUBDIVISION	APPLICATION SUBMITTAL	<u>RECEIVED ON OR BEFORE DEADLINE</u>	12/3/2001
01EPC - 01767	BUILDING PERMIT	APPLICATION SUBMITTAL	<u>RECEIVED ON OR BEFORE DEADLINE</u>	12/3/2001
01EPC - 01768	ZONE MAP AMENDMENT	APPLICATION SUBMITTAL	<u>RECEIVED ON OR BEFORE DEADLINE</u>	12/3/2001
02DRB - 00164	SITEDEV PLAN SUBD/EPC	NO MORE ACTION	<u>COMPLETED</u>	5/9/2002
02DRB - 00165	SITEDEV PLAN BLDPERMIT/EPC	NO MORE ACTION	<u>COMPLETED</u>	5/9/2002
02DRB - 00356	PRELIM&FINAL PLAT APPROVAL	NO MORE ACTION	<u>COMPLETED</u>	3/20/2002
02AA - 00814	SU-1 PLAN	ADMIN AMENDMENT SUBMITTAL	<u>ACCEPTED</u>	5/30/2002
02DRB - 01532	TWO YEAR SIA	NO MORE ACTION	<u>COMPLETED</u>	10/31/2002



Project Summary Report

Click on any Application Number or Completion Disposition under Related Applications to reveal more detail.

Project Number: 1000419

Project Name: RENAISSANCE CENTER 1B1

Project Description:

FINAL SIGN OFF OF SITE PLAN FOR BUILDING PERMIT FINAL SIGN OFF OF SITE PLAN FOR BUILDING PERMIT

Related Applications in Order of Submittal:

Red - Withdrawn

Application	Application Type	Completed Activity	Completion Disposition	Date
03DRB - 00590	TWO YEAR SIA	NO MORE ACTION	<u>COMPLETED</u>	5/8/2003
03EPC - 00838	DEVELOPMENT REVIEW BOARD	PUBLIC HEARING	<u>WITHDRAWN</u>	10/23/2003
04DRB - 00207	TWO YEAR SIA	NO MORE ACTION	<u>COMPLETED</u>	3/11/2004
04DRB - 00997	VACATION OF PUBLIC EASEMENTS	NO MORE ACTION	<u>COMPLETED</u>	7/21/2004
04DRB - 00998	VACATION OF PRIVATE EASEMENTS	NO MORE ACTION	<u>COMPLETED</u>	7/21/2004



PRECISION SURVEYS, INC.

August 23, 2004

Ms. Sheran Matson, AICP
Chair, Development Review Board
Planning/Development Services Division
600 2nd Street, NW
Albuquerque, NM 87102

**RE: REQUEST FOR PRELIMINARY/FINAL PLAT APPROVAL, RENAISSANCE
 CENTER TRACT 1A-2-A**

Dear Ms. Matson,

On behalf of our client, Union Pension Transaction Trust 93-2 NM, we are submitting an application for minor subdivision preliminary/final plat approval. The purpose of the request is to re-plat lots 1A-2, 1B-1-D and 1B-1-E into 1 new tract and to vacate easements.

If you have any questions or need additional information, please do not hesitate to contact our office at 856-5700.



Sincerely,



Deborah Pennebaker



Deborah Pennebaker
Public Liaison

8414 - D JEFFERSON ST NE

ALBUQUERQUE, NEW MEXICO 87113

email presurv@presurv.com

PHONE 505 856 5700

FAX 505 856 7900

www.presurv.com

ACTIVATE BUTTONS BY 'CLICKING' ON THE MAP

⌂ Zoom In ⌂ Id Address ⌂ Pan ⌂ Zoom Out



NO landfills

LAYER LEGEND

- STREET NAMES
- PARKS
- CITY LIMITS
- ZONE MAP GRID
- NDR BOUNDARY
- COMMUNITY PLANNING
- WATER LINES
N
- SEWER LINES
N
- STORM DRAINS
N
- ZONING
- LOT NUMBERS Zoom Further In!
- ZIP CODES
- COUNCIL DISTRICTS
- FLOOD ZONES (disclaimer)
- PARCELS
- CONTROL STATIONS
- SENATE DIST.
- REPRESENTATIVE DIST.
- COUNTY COMMISSION DIST.
- PARCEL ADDRESS
- CRIMINAL ACTIVITY
- PUBLIC FACILITIES
- LAND USE
- 1960 CITY LIMITS
- LANDFILL/BUFFERS
[Patterned Box] [Patterned Box]
- CRP LOCATIONS
- CASE HISTORY

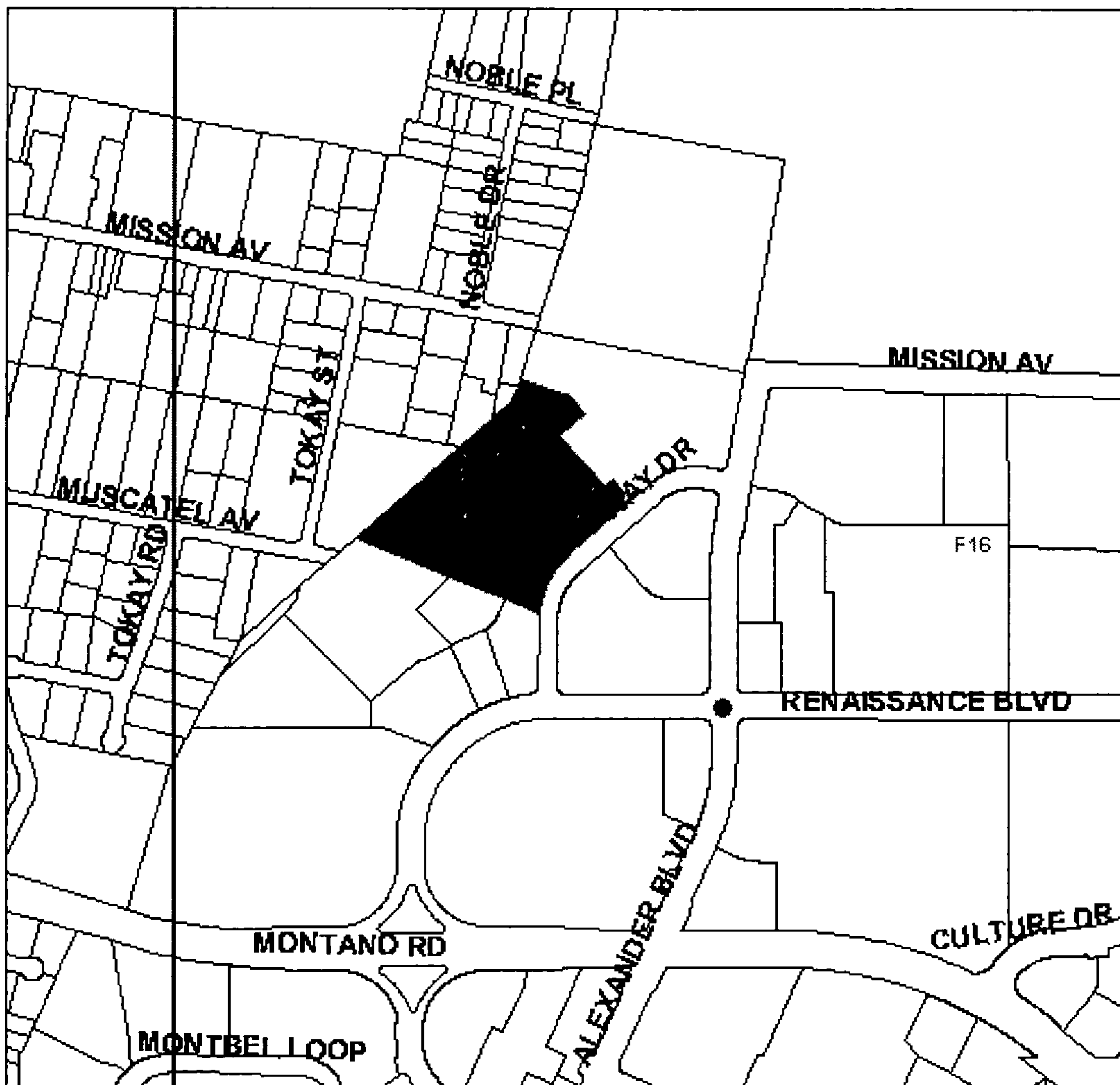
SHOW LOCATION MAP

SHOW 1999 AERIAL

Selected Address: 4910 UNION WAY DR NE
Zoning: SU-1 R-3 USES **Lot/Block/Subd:** 1A2 , 0000 , RENAISSANCE CENTER
Council District/Name: TWO , O'MALLEY **County Commission:** 1 **Rep District/Sen District:** 17 , 13
Tr Assc: Nothing Selected **Comp. Plan:** Established Urban
Other Pct: 15
Hgh Sch District: VALLEY **Mld Sch District:** TAFT **Elem Sch District:** MISSION AVE
Page: F16 **Jurisdiction:** CITY
Police Dept: 241/VALLEY
Flood Zone: ZONE X
Comm Plan Area: NORTH VALLEY
PC #: 101606110831020801
Owner Name: UNITED NM TRUST CO/TRUSTEE OF UNION PENS TRANS TRUST #93-2NM
Owner Street Address: 1110 PENNSYLVANIA
Owner City/State/Zip: ALBUQUERQUE / NM / 87110 NM
*Note: Accuracy for Owner info cannot be guaranteed correct.
 Please check with the Bernalillo County Assessor for official data.*

ACTIVATE BUTTONS BY 'CLICKING' ON THE MAP


○ Zoom In ○ Id Address ○ Pan ○ Zoom Out



ReDraw Screen

Zoning Definitions

LAYER LEGEND

- STREET NAMES
- PARKS
- CITY LIMITS
- ZONE MAP GRID
- 
- NBR BOUNDARY
- COMMUNITY PLANNING
- WATER LINES
- SEWER LINES
- STORM DRAINS
- ZONING Zoom Further In!
- LOT NUMBERS Zoom Further In!
- ZIP CODES
- COUNCIL DISTRICTS
- FLOOD ZONES (disclaimer)
- PARCELS
- CONTROL STATIONS
- SENATE DIST.
- REPRESENTATIVE DIST.
- COUNTY COMMISSION DIST.
- PARCEL ADDRESS
- CRIMINAL ACTIVITY
- PUBLIC FACILITIES
- LAND USE
- 1960 CITY LIMITS
- LANDFILLS/BUFFERS
- CRP LOCATIONS
- CASE HISTORY

SHOW LOCATION MAP

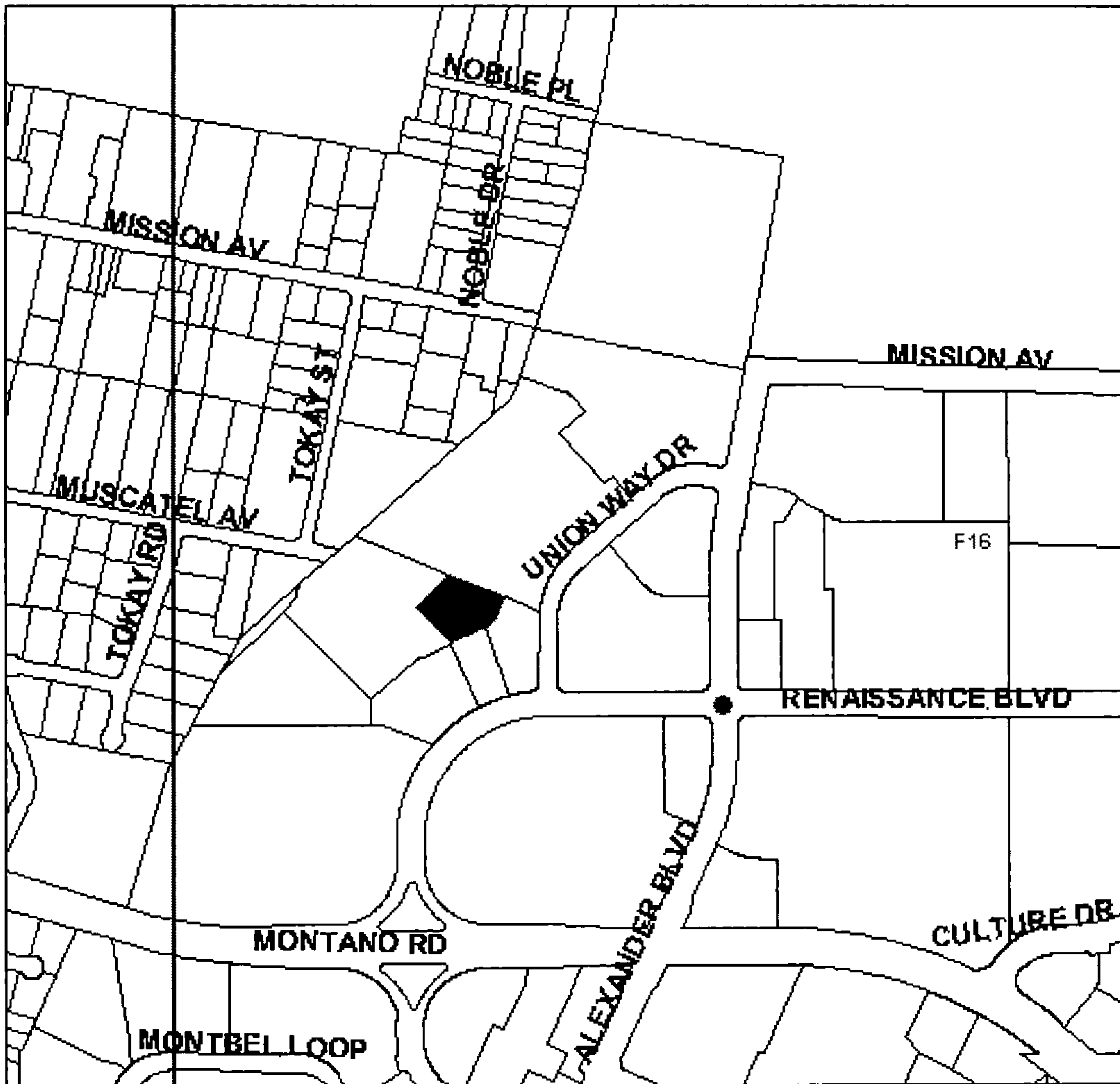
SHOW 1999 AERIAL

Selected Address: 4910 UNION WAY DR NE
Zoning: SU-1 R-3 USES **Lot/Block/Subd:** 1A2 , 0000 , RENAISSANCE CENTER
Council District/Name: TWO , O'MALLEY **County Commission:** 1 **Rep District/Sen District:** 17 , 13
Nbr Assoc: Nothing Selected **Comp. Plan:** Established Urban
Voter Pct: 15
High Sch District: VALLEY **Mid Sch District:** TAFT **Elem Sch District:** MISSION AVE
ZoneMap Page: F16 **Jurisdiction:** CITY
Police Beat: 241/VALLEY
Flood Zone: ZONE X
Comm Plan Area: NORTH VALLEY
UPC #: 101606110831020801
Owner Name: UNITED NM TRUST CO/TRUSTEE OF UNION PENS TRANS TRUST #93-2NM
Owner Street Address: 1110 PENNSYLVANIA
Owner City/State/Zip: ALBUQUERQUE / NM / 87110 NM
 Note: Accuracy for Owner info cannot be guaranteed correct.
 Please check with the Bernalillo County Assessor for official data.

SEARCH FOR OTHER SERVICES AROUND THIS ADDRESS

ACTIVATE BUTTONS BY 'CLICKING' ON THE MAP


Zoom In Id Address Pan Zoom Out



ReDraw Screen

Zoning Definitions

LAYER LEGEND

- STREET NAMES
- PARKS
- CITY LIMITS
- ZONE MAP GRID
- 
- NBR BOUNDARY
- COMMUNITY PLANNING
- WATER LINES
- SEWER LINES
- STORM DRAINS
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- LOT NUMBERS Zoom Further In!
- ZIP CODES
- COUNCIL DISTRICTS
- FLOOD ZONES (disclaimer)
- PARCELS
- CONTROL STATIONS
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- REPRESENTATIVE DIST.
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- PARCEL ADDRESS
- CRIMINAL ACTIVITY
- PUBLIC FACILITIES
- LAND USE
- 1960 CITY LIMITS
- LANDFILLS/BUFFERS
- CRP LOCATIONS
- CASE HISTORY

SHOW LOCATION MAP

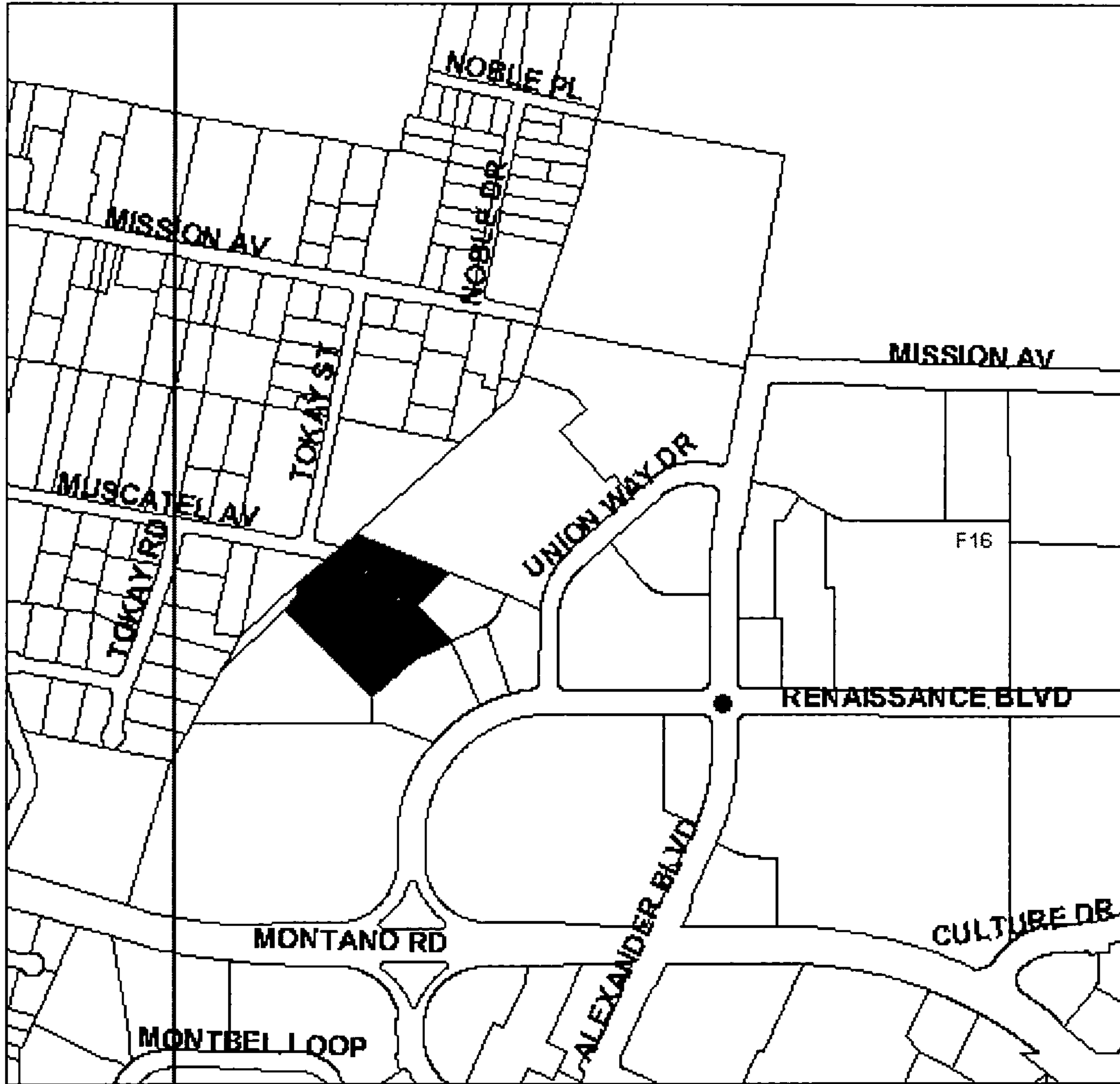
SHOW 1999 AERIAL

Selected Address: 1251 RENAISSANCE BLVD NE
Zoning: SU-1 R-3 & C-1 INCL 3 AC OF EMPLOYEE PARKNG FOR ADJACENT AUTO SALES PARCEL **Lot/Block/Subd:** 1B1D , 0000 , RENAISSANCE CENTER
Council District/Name: TWO , O'MALLEY **County Commission:** 1 **Rep District/Sen District:** 17 , 13
Nbr Assoc: Nothing Selected **Comp. Plan:** Established Urban
Voter Pct: 15
High Sch District: VALLEY **Mid Sch District:** TAFT **Elem Sch District:** MISSION AVE
ZoneMap Page: F16 **Jurisdiction:** CITY
Police Beat: 241/VALLEY
Flood Zone: ZONE X
Comm Plan Area: NORTH VALLEY
UPC #: 101606108526920835
Owner Name: UNITED NM TRUST CO/TRUSTEE OF UNION PENS TRANS TRUST #93-2NM
Owner Street Adress: 1110 PENNSYLVANIA
Owner City/State/Zip: ALBUQUERQUE / NM / 87110 NM
 Note: Accuracy for Owner info cannot be guaranteed correct.
 Please check with the Bernalillo County Assessor for official data.

SEARCH FOR OTHER SERVICES AROUND THIS ADDRESS

ACTIVATE BUTTONS BY 'CLICKING' ON THE MAP

Zoom In Id Address Pan Zoom Out



ReDraw Screen

Zoning Definitions

LAYER LEGEND

- STREET NAMES
PARKS
CITY LIMITS
ZONE MAP GRID
NBR BOUNDARY
COMMUNITY PLANNING
WATER LINES
SEWER LINES
STORM DRAINS
ZONING Zoom Further In!
LOT NUMBERS Zoom Further In!
ZIP CODES
COUNCIL DISTRICTS
FLOOD ZONES (disclaimer)
PARCELS
CONTROL STATIONS
SENATE DIST.
REPRESENTATIVE DIST.
COUNTY COMMISSION DIST.
PARCEL ADDRESS
CRIMINAL ACTIVITY
PUBLIC FACILITIES
LAND USE
1960 CITY LIMITS
LANDFILLS/BUFFERS
CRP LOCATIONS
CASE HISTORY

SHOW LOCATION MAP

SHOW 1999 AERIAL

Selected Address: 1241 RENAISSANCE BLVD NE
Zoning: SU-1 R-3 & C-1 INCL 3 AC OF EMPLOYEE PARKNG FOR ADJACENT AUTO SALES PARCEL
Council District/Name: TWO, O'MALLEY
County Commission: 1
Rep District/Sen District: 17, 13
Nbr Assoc: Nothing Selected Comp. Plan: Established Urban
Voter Pct: 15
High Sch District: VALLEY
Mid Sch District: TAFT
Elem Sch District: MISSION AVE
ZoneMap Page: F16
Jurisdiction: CITY
Police Beat: 241/VALLEY
Flood Zone: ZONE X
Comm Plan Area: NORTH VALLEY
UPC #: 101606105426620836
Owner Name: UNITED NM TRUST CO/TRUSTEE OF UNION PENS TRANS TRUST #93-2NM
Owner Street Address: 1110 PENNSYLVANIA
Owner City/State/Zip: ALBUQUERQUE / NM / 87110 NM
Note: Accuracy for Owner info cannot be guaranteed correct.
Please check with the Bernalillo County Assessor for official data.

SEARCH FOR OTHER SERVICES AROUND THIS ADDRESS

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME UNION PENSION TRANSACTION TRUST
 AGENT Precision Survey
 ADDRESS 8414 D Jefferson St NE
 PROJECT & APP # 1003421/04DRB 01306
 PROJECT NAME Renaissance Center Tr 1A-2-A

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 215.00 441006/4983000 DRB Actions



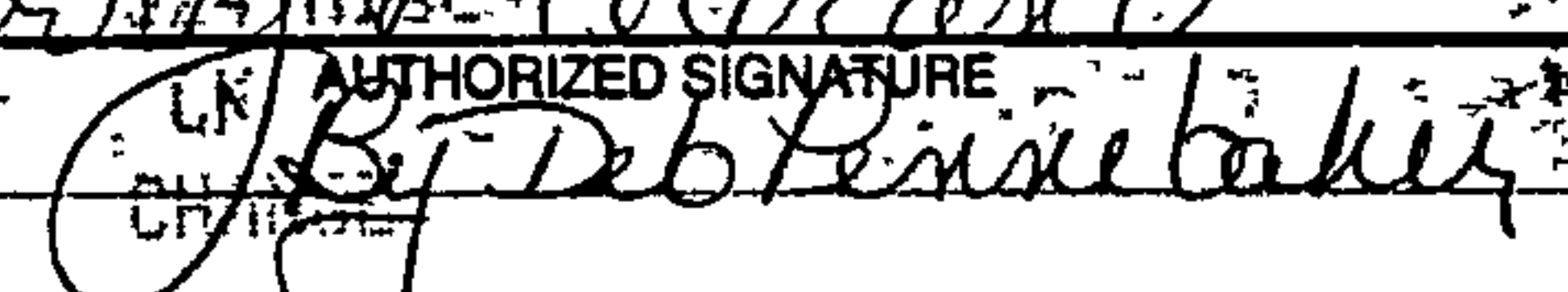
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study

\$ 235.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

 PRECISION SURVEYS, INC. PHONE 505-856-5700 FAX 505-856-7900 8414-D JEFFERSON ST. N.E. ALBUQUERQUE, N.M. 87113	FIRST STATE BANK Taos, Santa Fe, Albuquerque and Surrounding Communities Ph. 505-241-7500 95-145/1070	006678
	8-24-04	006678
ORDER OF <u>City of Albuquerque</u> <u>Treasury Division</u> <u>Two hundred thirty five & no/100</u>	***DUPLICATE*** ***DUPLICATE***	006678
RECEIPT# 00027880 WSH 008 TRANS# 0018 Account 441032 Fund 0110 Activity 3424000 TRSDMM Trans Amt \$235.00 J24 Misc \$20.00 EMO <u>Renaissance 04-6473</u>	AUTHORIZED SIGNATURE  	006678

⑈006678⑈ ⑆107001452⑆ 001048147⑈

Thank You