

Plat of Tract 1A-2-A

Renaissance Center

Albuquerque, Bernalillo County, New Mexico
August 2004

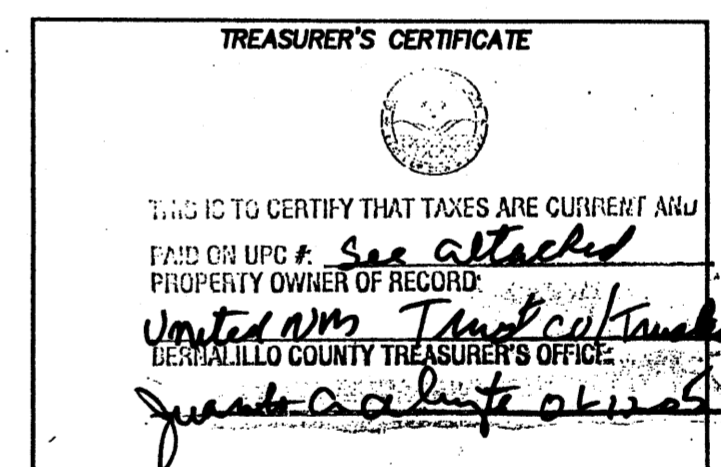
Project No. 1003421
Application No. 04DRB-01306

Utility Approvals

<i>Sean D. Marks</i>	9-9-04
PNM ELECTRIC SERVICES	DATE
<i>Sean D. Marks</i>	9-09-04
PNM GAS SERVICES	DATE
<i>David R. Muller</i>	9-9-04
QWEST TELECOMMUNICATIONS	DATE
<i>Rita Escobedo</i>	9-9-04
COMCAST	DATE

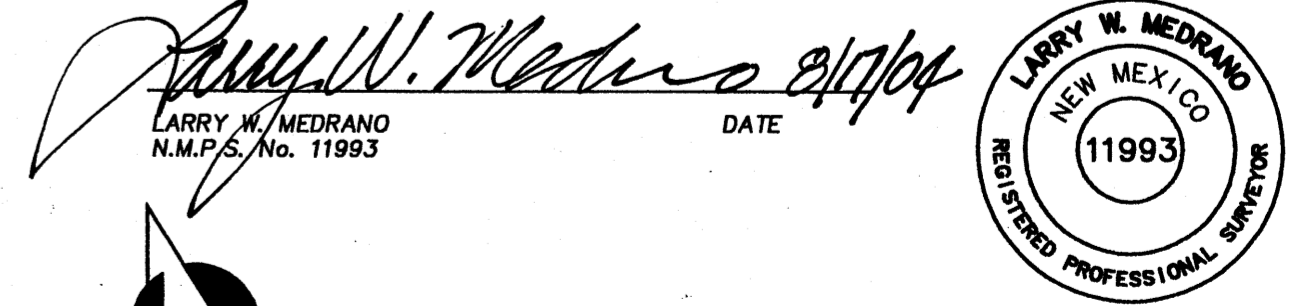
City Approvals

<i>W.B. Hat</i>	8-24-04
CITY SURVEYOR	DATE
<i>John J. ...</i>	9-1-04
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
<i>Roger A. ...</i>	1-11-05
UTILITY DEVELOPMENT	DATE
<i>Christina Sandoval</i>	9/1/04
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley D. Bingham</i>	9/1/04
AMAFCA	DATE
<i>Bradley D. Bingham</i>	
CITY ENGINEER	DATE
<i>Sheran ...</i>	1/10/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 34, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT 1A-2, RENAISSANCE CENTER, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 1997, IN VOLUME 97C, FOLIO 360, TOGETHER WITH TRACTS 1B-1-D AND 1B-1-E, RENAISSANCE CENTER, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 30, 2000, IN VOLUME 2000C, FOLIO 301, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) AND GROUND DISTANCE (U.S. SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF DESCRIBED TRACT, FROM WHENCE A TIE TO THE ALBUQUERQUE CONTROL SURVEY MONUMENT "3-F16" BEARS S 10°24'33" W, A DISTANCE OF 826.60 FEET, SAID MONUMENT HAVING NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE, NORTH AMERICA)

THENCE, FROM SAID POINT OF BEGINNING, N 44°45'40" W, A DISTANCE OF 408.92 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE N 45°14'20" E, A DISTANCE OF 63.82 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE N 12°38'34" E, A DISTANCE OF 44.19 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE N 48°45'54" E, A DISTANCE OF 936.57 FEET TO A FOUND REBAR WITH CAP STAMPED "AGP";

THENCE N 18°44'49" E, A DISTANCE OF 75.18 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE S 71°15'11" E, A DISTANCE OF 155.59 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 32.04 FEET, A RADIUS OF 61.00 FEET, A CHORD BEARING OF S 56°12'26" E, A DISTANCE OF 31.67 FEET, AND A DELTA ANGLE OF 30°05'31", TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE S 41°09'32" E, A DISTANCE OF 65.05 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE S 48°50'28" W, A DISTANCE OF 110.64 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE S 41°14'06" E, A DISTANCE OF 225.00 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE N 48°50'28" E, A DISTANCE OF 38.75 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE S 41°14'06" E, A DISTANCE OF 91.63 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993" LYING ON THE NORTH RIGHT OF WAY LINE OF UNION WAY ROAD, N.E.;

THENCE, THE FOLLOWING TWO CALLS LYING ALONG SAID NORTH RIGHT OF WAY LINE, S 48°45'08" W, A DISTANCE OF 265.26 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 4078";

THENCE ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 230.60 FEET, A RADIUS OF 314.33 FEET, A CHORD BEARING OF S 27°40'30" W, A DISTANCE OF 225.47 FEET, AND A DELTA ANGLE OF 42°02'04", TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE, LEAVING SAID NORTH RIGHT OF WAY LINE, N 68°01'08" W, A DISTANCE OF 123.93 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE S 22°10'22" W, A DISTANCE OF 51.16 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 85.75 FEET, A RADIUS OF 114.00 FEET, A CHORD BEARING OF S 43°43'18" W, A DISTANCE OF 83.74 FEET, AND A DELTA ANGLE OF 43°05'53", TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE S 65°16'14" W, A DISTANCE OF 216.20 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 21.74 FEET, A RADIUS OF 86.00 FEET, A CHORD BEARING OF S 58°01'40" W, A DISTANCE OF 21.68 FEET, AND A DELTA ANGLE OF 14°29'08", TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";

THENCE S 50°47'06" W, A DISTANCE OF 200.75 FEET TO THE POINT OF BEGINNING, HAVING AN AREA OF 12.5582 ACRES, (547,034 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACT 1A-2-A, RENAISSANCE CENTER.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

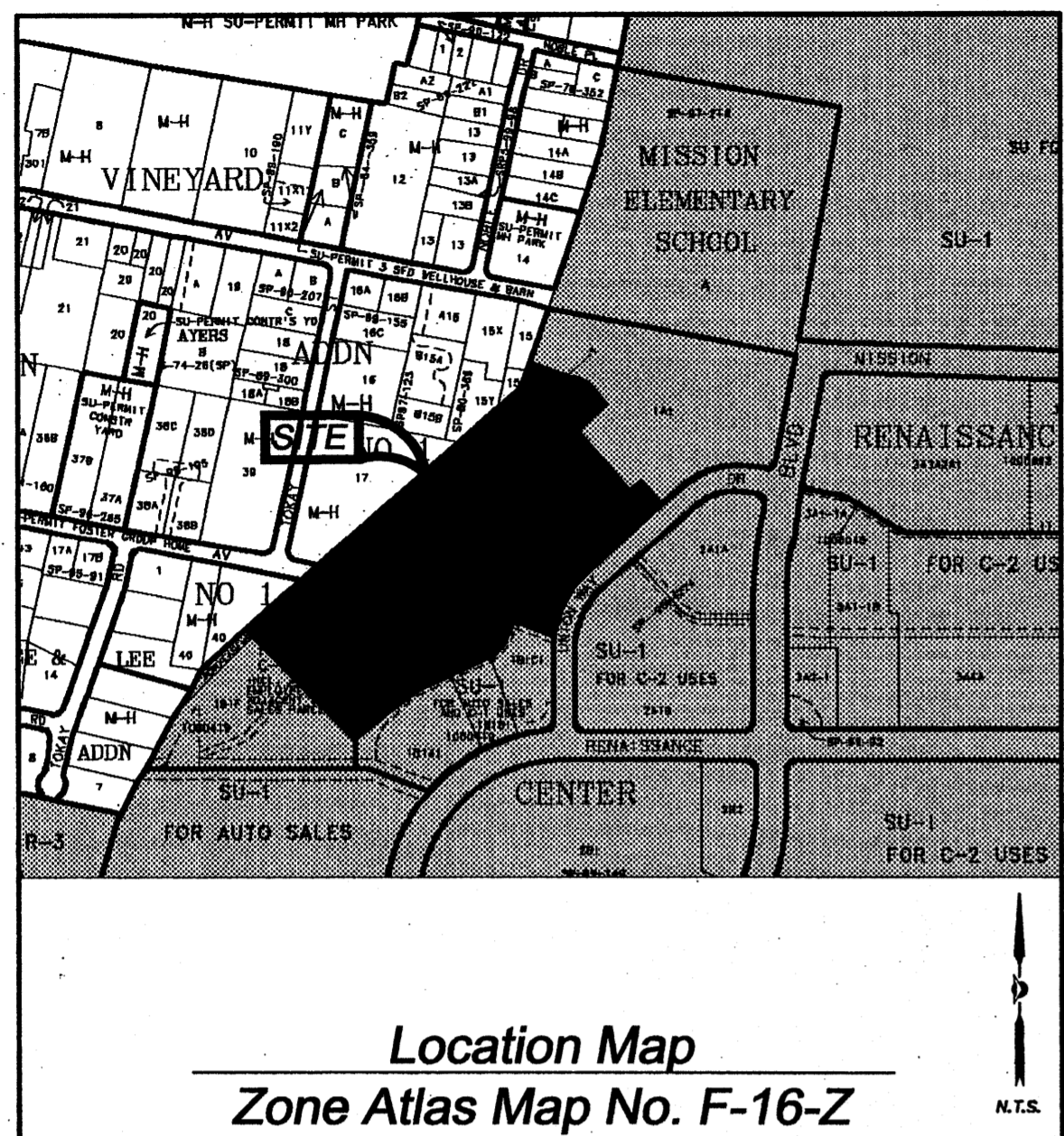
SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Sean C. Walker
SEAN C. WALKER
VICE PRESIDENT
BANK OF ALBUQUERQUE, N.A.—TRUSTEE
UNION PENSION TRANSACTION TRUST 93-2, NM

Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 19th DAY OF August, 2004 BY SEAN C. WALKER, VICE PRESIDENT, BANK OF ALBUQUERQUE, N.A.—TRUSTEE, UNION PENSION TRANSACTION TRUST 93-2, NM.

BY *Joni Frei R. Ponc* COMMISSION EXPIRES Sept 19, 2006
NOTARY PUBLIC



Location Map
Zone Atlas Map No. F-16-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 12.5552 ACRES±
ZONE ATLAS INDEX NO: F-16-Z
NO. OF TRACTS CREATED: 1
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: AUGUST 2004

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING THREE TRACTS INTO ONE NEW TRACT AND TO VACATE EASEMENTS

Notes:

- MISC. DATA: SU-1 FOR R-3 USES (AS TO FORMER TRACT 1A-2) & SU-1 FOR R-3 AND C-1 USES (AS TO TRACTS 1B-E AND 1B-1-D)
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 34, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2004334026

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

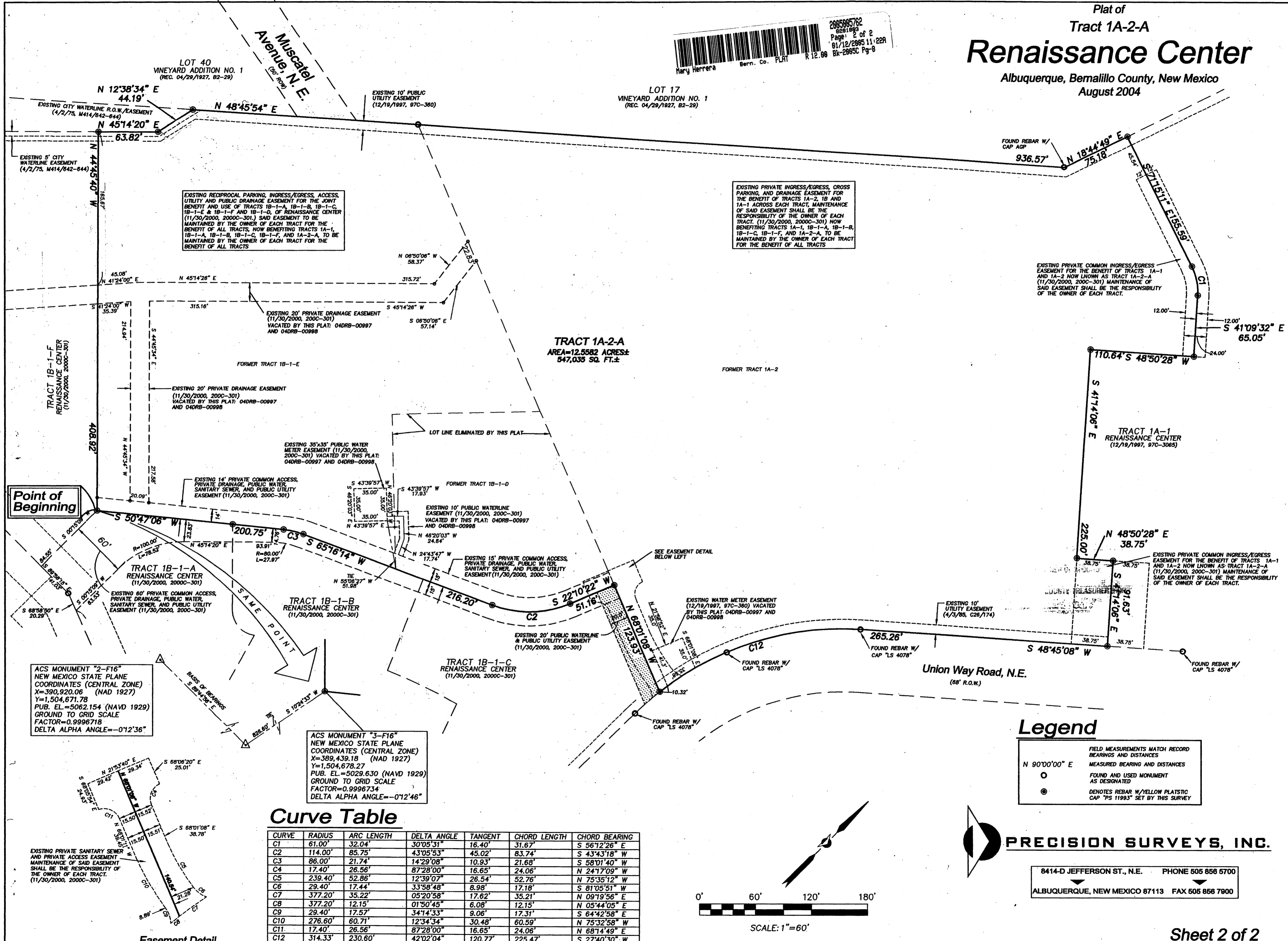
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Plat of
Tract 1A-2-A
Renaissance Center
Albuquerque, Bernalillo County, New Mexico
August 2004



EXISTING RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS, UTILITY AND PUBLIC DRAINAGE EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS 1B-1-A, 1B-1-B, 1B-1-C, 1B-1-E & 1B-1-F AND 1B-1-D, OF RENAISSANCE CENTER (11/30/2000, 2000C-301.) SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS, NOW BENEFITING TRACTS 1A-1, 1B-1-A, 1B-1-B, 1B-1-C, 1B-1-E, AND 1A-2-A, TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS

EXISTING PRIVATE INGRESS/EGRESS, CROSS PARKING, AND DRAINAGE EASEMENT FOR THE BENEFIT OF TRACTS 1A-2, 1B AND 1A-1 ACROSS EACH TRACT, MAINTENANCE OF SAID EASEMENT SHALL BE THE RESPONSIBILITY OF THE OWNER OF EACH TRACT. (11/30/2000, 2000C-301) NOW BENEFITING TRACTS 1A-1, 1B-1-A, 1B-1-B, 1B-1-C, 1B-1-E, AND 1A-2-A, TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS

EXISTING PRIVATE COMMON INGRESS/EGRESS EASEMENT FOR THE BENEFIT OF TRACTS 1A-1 AND 1A-2 NOW KNOWN AS TRACT 1A-2-A (11/30/2000, 2000C-301) MAINTENANCE OF SAID EASEMENT SHALL BE THE RESPONSIBILITY OF THE OWNER OF EACH TRACT.

EXISTING PRIVATE COMMON INGRESS/EGRESS EASEMENT FOR THE BENEFIT OF TRACTS 1A-1 AND 1A-2 NOW KNOWN AS TRACT 1A-2-A (11/30/2000, 2000C-301) MAINTENANCE OF SAID EASEMENT SHALL BE THE RESPONSIBILITY OF THE OWNER OF EACH TRACT.

Point of Beginning

ACS MONUMENT "2-F16"
NEW MEXICO STATE PLANE
COORDINATES (CENTRAL ZONE)
X=390,920.06 (NAD 1927)
Y=1,504,671.78
PUB. EL.=5062.154 (NAVD 1929)
GROUND TO GRID SCALE
FACTOR=0.9996718
DELTA ALPHA ANGLE=-0°12'36"

ACS MONUMENT "3-F16"
NEW MEXICO STATE PLANE
COORDINATES (CENTRAL ZONE)
X=389,439.18 (NAD 1927)
Y=1,504,678.27
PUB. EL.=5029.630 (NAVD 1929)
GROUND TO GRID SCALE
FACTOR=0.9996734
DELTA ALPHA ANGLE=-0°12'46"

Curve Table

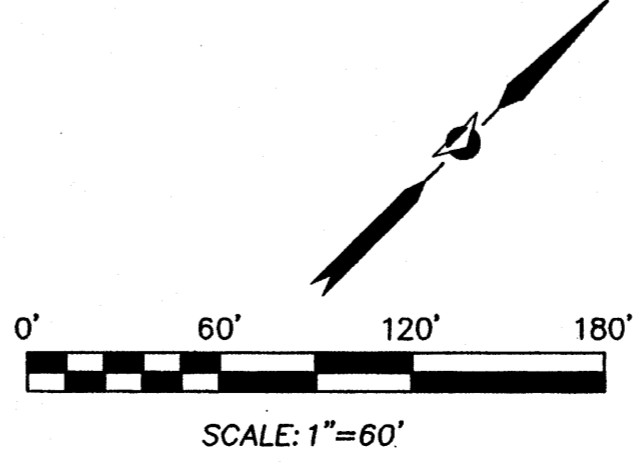
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	61.00'	32.04'	30°05'31"	16.40'	31.67'	S 56°12'26" E
C2	114.00'	85.75'	43°05'53"	45.02'	83.74'	S 43°43'18" W
C3	86.00'	21.74'	14°29'08"	10.93'	21.68'	S 58°01'40" W
C4	17.40'	26.56'	87°28'00"	16.65'	24.06'	N 24°17'09" W
C5	239.40'	52.86'	12°39'07"	26.54'	52.76'	N 75°35'12" W
C6	29.40'	17.44'	33°58'48"	8.98'	17.18'	S 81°05'51" W
C7	377.20'	35.22'	05°20'58"	17.62'	35.21'	N 09°19'56" E
C8	377.20'	12.15'	01°50'45"	6.08'	12.15'	N 05°44'05" E
C9	29.40'	17.57'	34°14'33"	9.06'	17.31'	S 64°42'58" E
C10	276.60'	60.71'	12°34'34"	30.48'	60.59'	N 75°32'58" W
C11	17.40'	26.56'	87°28'00"	16.65'	24.06'	N 68°14'49" E
C12	314.33'	230.60'	42°02'04"	120.77'	225.47'	S 27°40'30" W

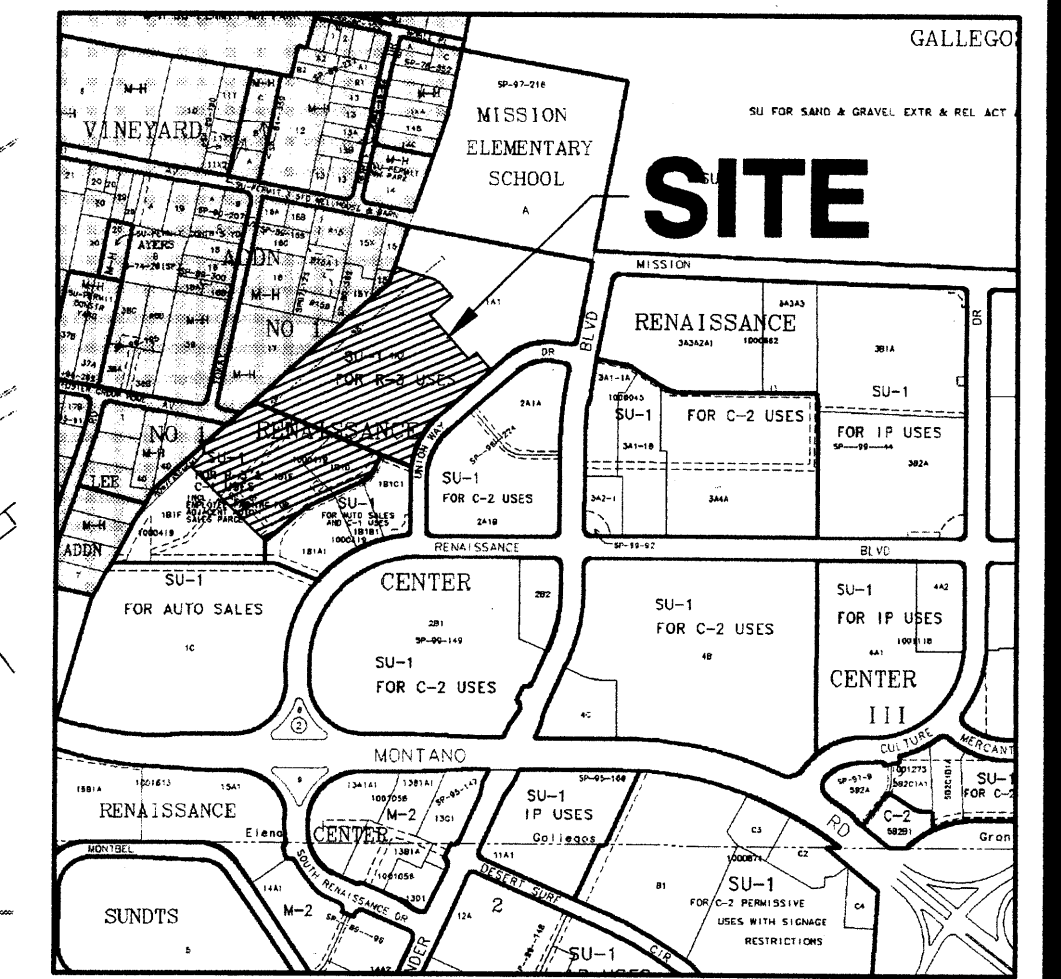
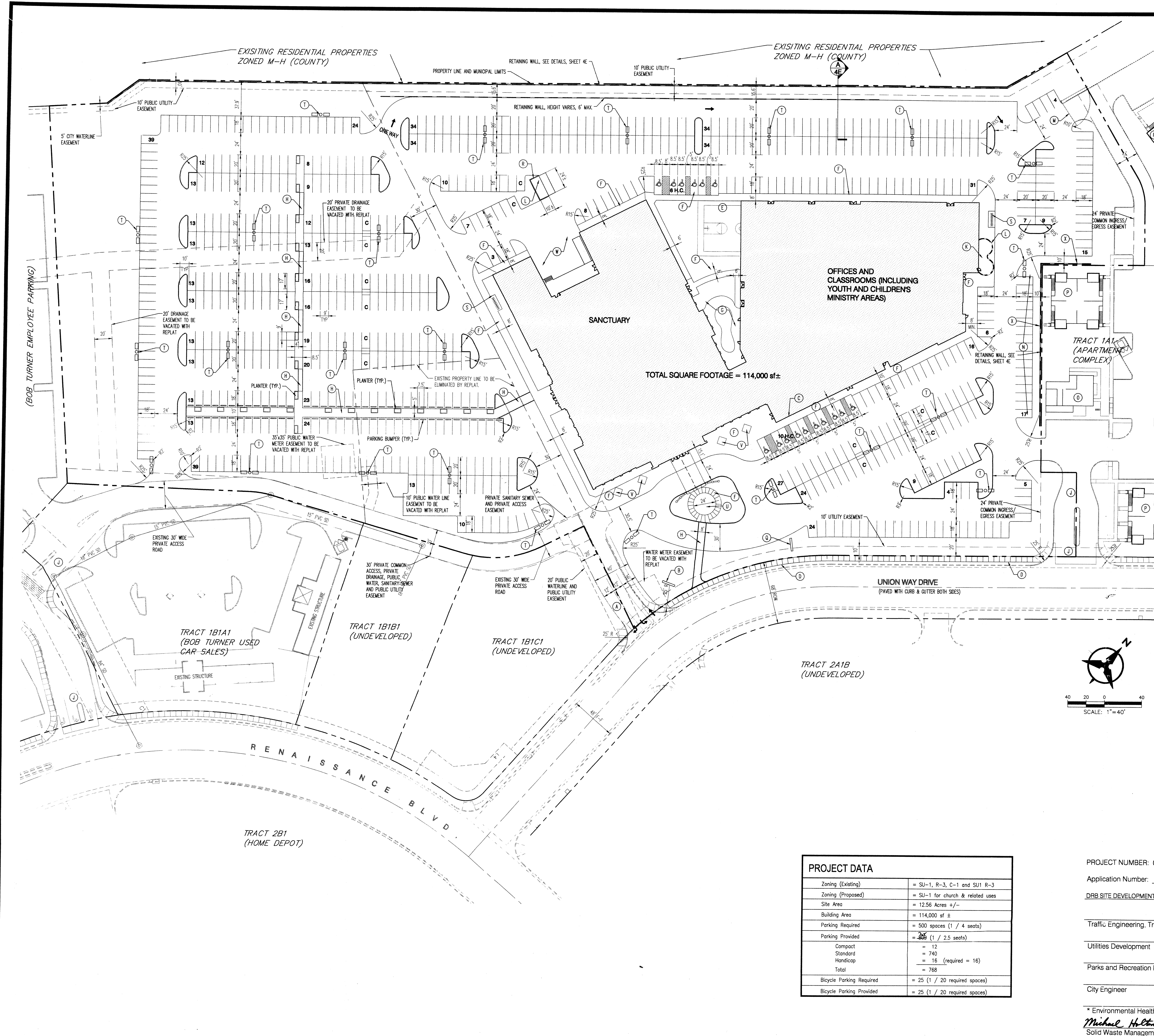
Legend

- FIELD MEASUREMENTS MATCH RECORD BEARINGS AND DISTANCES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES REBAR W/YELLOW PLASTIC CAP "PS 11993" SET BY THIS SURVEY

PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 858 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 858 7900



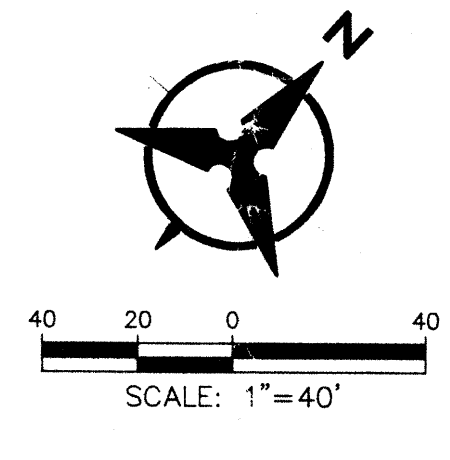


VICINITY MAP
ZONE ATLAS PAGE F-16-Z
SCALE: 1"=800'±

LEGAL DESCRIPTION
TRACT 1-A2, 1B-10, AND 1B-1E OF RENAISSANCE CENTER

NOTES:
1. EXISTING EASEMENTS SHOWN ON THE PLAT TRACTS 1A-1, 1A-2, AND 1B-1 RENAISSANCE CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, RECORDED DEC. 19, 1997 BOOK 97C, PG. 360 AND PLAT OF TRACTS 1B-1-A, 1B-1-B, 1B-1-C, 1B-1-D, 1B-1-E, 1B-1-F RENAISSANCE CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, RECORDED NOVEMBER 30, 2000 BOOK 2000C, PG. 301.

- (A) KEYED NOTES:**
- A. EXISTING PRIVATE ACCESS ROAD TO BE WIDENED FROM 30' TO 40'
 - B. MONUMENT SIGN - SEE DETAIL SHEET 4E
 - C. BUILDING MOUNTED SIGNAGE, SEE DETAIL SHEET 4E
 - D. NEW 6' PUBLIC SIDEWALK PER CITY STANDARDS
 - E. OUTDOOR BASKETBALL
 - F. CONCRETE SIDEWALK
 - G. CHILDREN'S PLAY AREA, INCLUDING OUTDOOR PLAY EQUIPMENT
 - H. CONCRETE PEDESTRIAN CROSSING OR PATHWAY
 - J. EXISTING SHARED PRIVATE ACCESS DRIVE
 - K. OUTDOOR PATIO
 - L. CMU SCREEN WALL, SEE DETAIL SHEET 4E
 - M. PIPE GATE
 - N. COVERED PARKING SPACES, SEE SHEET 4E FOR DETAILS
 - O. EXISTING OFFICE BUILDING FOR APARTMENT COMPLEX
 - P. EXISTING APARTMENT BUILDING
 - Q. TEMPORARY SIGN TO BE USED FOR SPECIAL OCCASIONS ONLY, SEE DETAIL SHEET 4E. TO BE LOCATED ALONG THE FRONTAGE OF UNION WAY.
 - R. DUMPSTER ENCLOSURE, SEE DETAIL SHEET 4E
 - S. BIKE RACK AS PER DETAIL SHEET 4E
 - T. PARKING LOT LIGHTING PER DETAIL SHEET 4E. LOCATION AND QUANTITY OF FIXTURES SHOWN IS APPROXIMATE.
 - U. FOUNTAIN, SEE DETAIL SHEET 4E
 - V. TREE WELLS, SEE LANDSCAPE PLAN
 - W. LOADING AREA
 - X. 6' CMU SCREEN WALL, SEE DETAIL SHEET 4E



PROJECT DATA	
Zoning (Existing)	= SU-1, R-3, C-1 and SU1 R-3
Zoning (Proposed)	= SU-1 for church & related uses
Site Area	= 12.56 Acres +/-
Building Area	= 114,000 sf ±
Parking Required	= 500 spaces (1 / 4 seats)
Parking Provided	= 256 (1 / 2.5 seats)
Compact	= 12
Standard	= 740
Handicap	= 16 (required = 16)
Total	= 768
Bicycle Parking Required	= 25 (1 / 20 required spaces)
Bicycle Parking Provided	= 25 (1 / 20 required spaces)

PROJECT NUMBER: 04EPC-00684/685
Application Number: DRB-
DRB SITE DEVELOPMENT PLAN APPROVAL:

AFD PLANS CHECKING OFFICE
824-3611
APPROVED/UNAPPROVED
8-16-04
SIGNATURE & DATE

Traffic Engineering, Transportation Division _____ Date _____
Utilities Development _____ Date _____
Parks and Recreation Department _____ Date _____
City Engineer _____ Date _____
* Environmental Health Department-(conditional) _____ Date _____
Michael Holten 8-16-04
Solid Waste Management _____ Date _____
DRB Chairperson, Planning Department _____ Date _____

P:\050017\cdd\general\050017master site.dwg
August 13, 2004 - 6:05am
Layout1

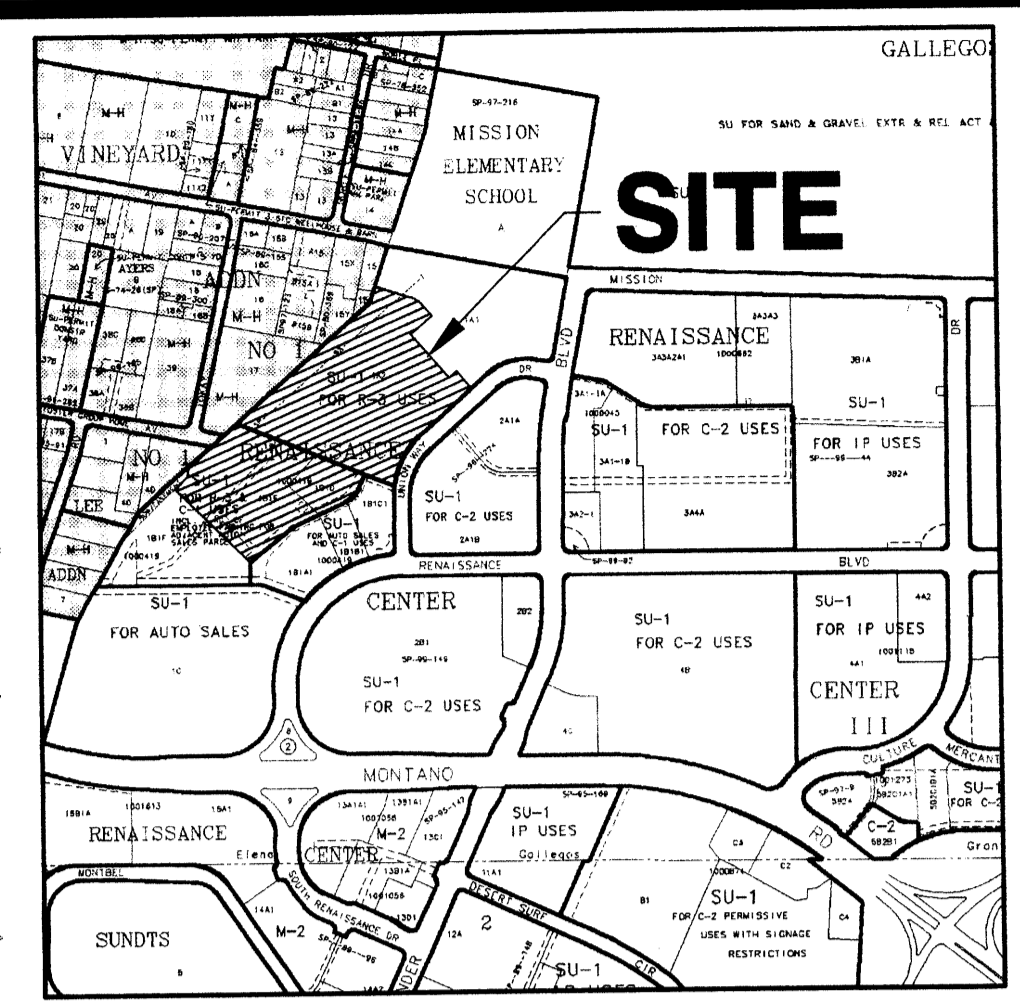
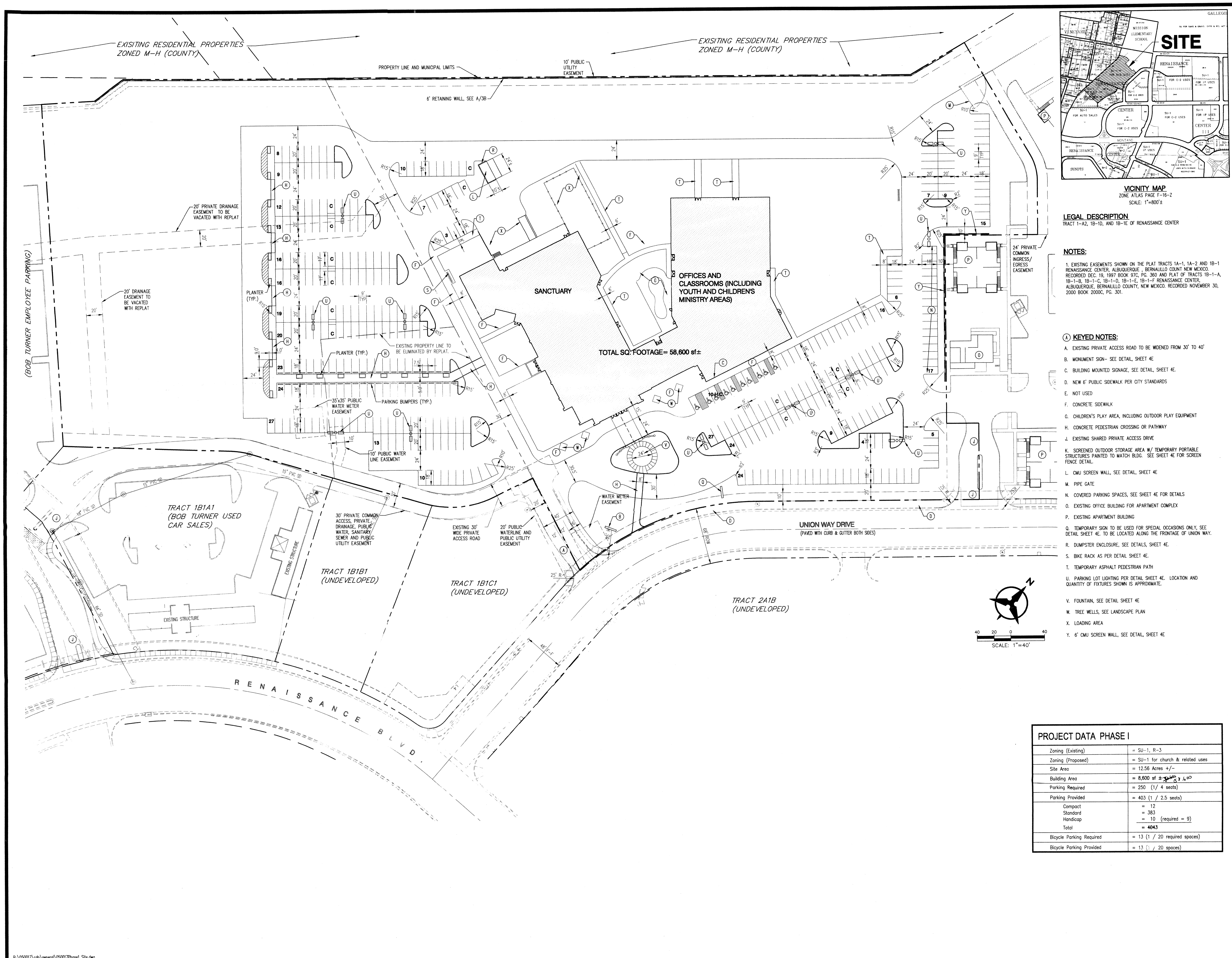
Bohannon & Hinton
Company: 7500 Johnson St. NE Albuquerque, NM 87109-4287
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CENTURY
THE EXCITEMENT IS BUILDING
11200 CHARLES ROAD • HOUSTON, TEXAS 77061 • 713-666-8800 • FAX: 713-666-9897

FIRST FAMILY CHURCH
ALBUQUERQUE, NEW MEXICO

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
MASTER SITE PLAN

JOB NO. 050017 **SHEET**
DATE 08/16/04
DRAWN RWB **1A**
CHECKED BJS
EPC SUBMITTAL SET



VICINITY MAP
ZONE ATLAS PAGE F-16-2
SCALE: 1"=800'

LEGAL DESCRIPTION
TRACT 1-A2, 1B-1B, AND 1B-1E OF RENAISSANCE CENTER

NOTES:
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- KEYED NOTES:**
- A. EXISTING PRIVATE ACCESS ROAD TO BE WIDENED FROM 30' TO 40'
 - B. MONUMENT SIGN- SEE DETAIL, SHEET 4E
 - C. BUILDING MOUNTED SIGNAGE, SEE DETAIL, SHEET 4E.
 - D. NEW 6' PUBLIC SIDEWALK PER CITY STANDARDS
 - E. NOT USED
 - F. CONCRETE SIDEWALK
 - G. CHILDREN'S PLAY AREA, INCLUDING OUTDOOR PLAY EQUIPMENT
 - H. CONCRETE PEDESTRIAN CROSSING OR PATHWAY
 - J. EXISTING SHARED PRIVATE ACCESS DRIVE
 - K. SCREENED OUTDOOR STORAGE AREA W/ TEMPORARY PORTABLE STRUCTURES PAINTED TO MATCH BLDG. SEE SHEET 4E FOR SCREEN FENCE DETAIL.
 - L. CMU SCREEN WALL, SEE DETAIL, SHEET 4E
 - M. PIPE GATE
 - N. COVERED PARKING SPACES, SEE SHEET 4E FOR DETAILS
 - O. EXISTING OFFICE BUILDING FOR APARTMENT COMPLEX
 - P. EXISTING APARTMENT BUILDING
 - Q. TEMPORARY SIGN TO BE USED FOR SPECIAL OCCASIONS ONLY. SEE DETAIL SHEET 4E. TO BE LOCATED ALONG THE FRONTAGE OF UNION WAY.
 - R. DUMPSTER ENCLOSURE, SEE DETAILS, SHEET 4E.
 - S. BIKE RACK AS PER DETAIL SHEET 4E.
 - T. TEMPORARY ASPHALT PEDESTRIAN PATH
 - U. PARKING LOT LIGHTING PER DETAIL SHEET 4E. LOCATION AND QUANTITY OF FIXTURES SHOWN IS APPROXIMATE.
 - V. FOUNTAIN, SEE DETAIL SHEET 4E
 - W. TREE WELLS, SEE LANDSCAPE PLAN
 - X. LOADING AREA
 - Y. 6' CMU SCREEN WALL, SEE DETAIL, SHEET 4E

PROJECT DATA PHASE I	
Zoning (Existing)	= SU-1, R-3
Zoning (Proposed)	= SU-1 for church & related uses
Site Area	= 12.56 Acres +/-
Building Area	= 8,600 sf ± (20,000 ± 4,000)
Parking Required	= 250 (1 / 4 seats)
Parking Provided	= 403 (1 / 2.5 seats)
Compact Standard	= 12
Handicap	= 383
Total	= 10 (required = 9)
Bicycle Parking Required	= 4043
Bicycle Parking Provided	= 13 (1 / 20 required spaces)
	= 13 (1 / 20 spaces)

Bohannon & Huston
Civil & Mechanical Engineers, Inc. Albuquerque, NM 87102-4585
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

CENTURY
THE EXCITEMENT IS BUILDING
11200 CHARLES ROAD • HOUSTON, TEXAS 77041 • 713-566-9800 • FAX 713-566-9897

FIRST FAMILY CHURCH

ALBUQUERQUE, NEW MEXICO

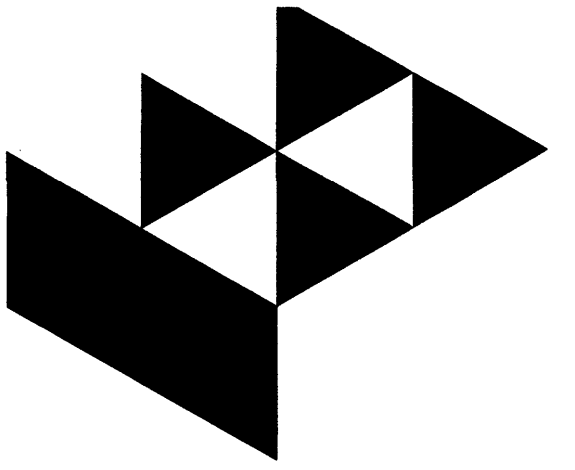
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

PHASE 1 SITE PLAN

JOB NO. 050017	SHEET
DATE 08/16/04	1B
DRAWN RWB	
CHECKED BJS	

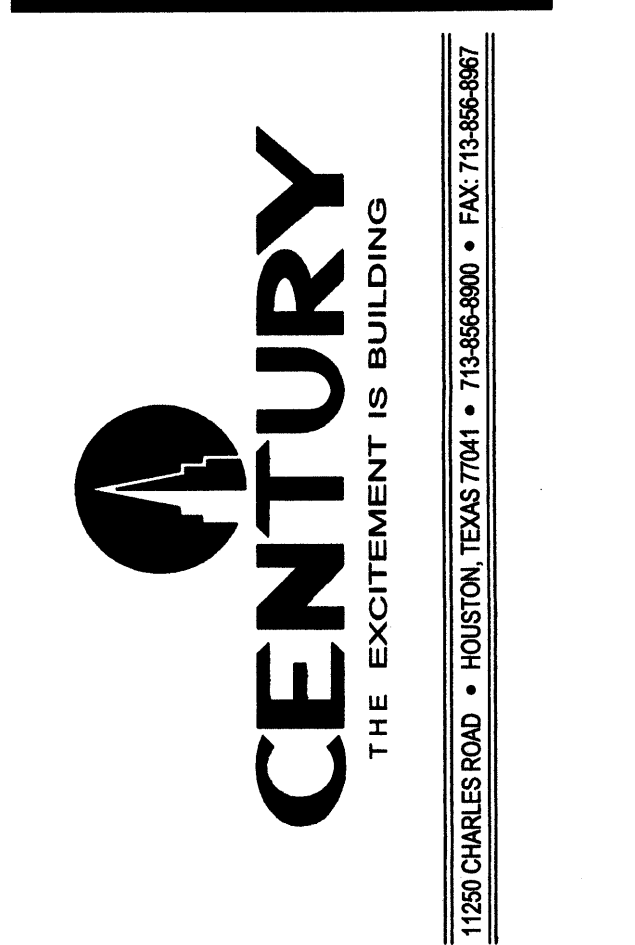
EPC SUBMITTAL SET

P:\050017\cdp\general\050017Phase1 Site.dwg
August 11, 2004 - 8:05am
Layout!



William B. Livingston, AIA

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Houston, TX 77024
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Document Incomplete: Not intended for permit or construction.
Architect: JOHN A. RHEBERGEN
Registration No.: TX 10771
Expiration Date: 31 JUL 2004
Issue Date: 26 JAN 2004

FIRST FAMILY CHURCH

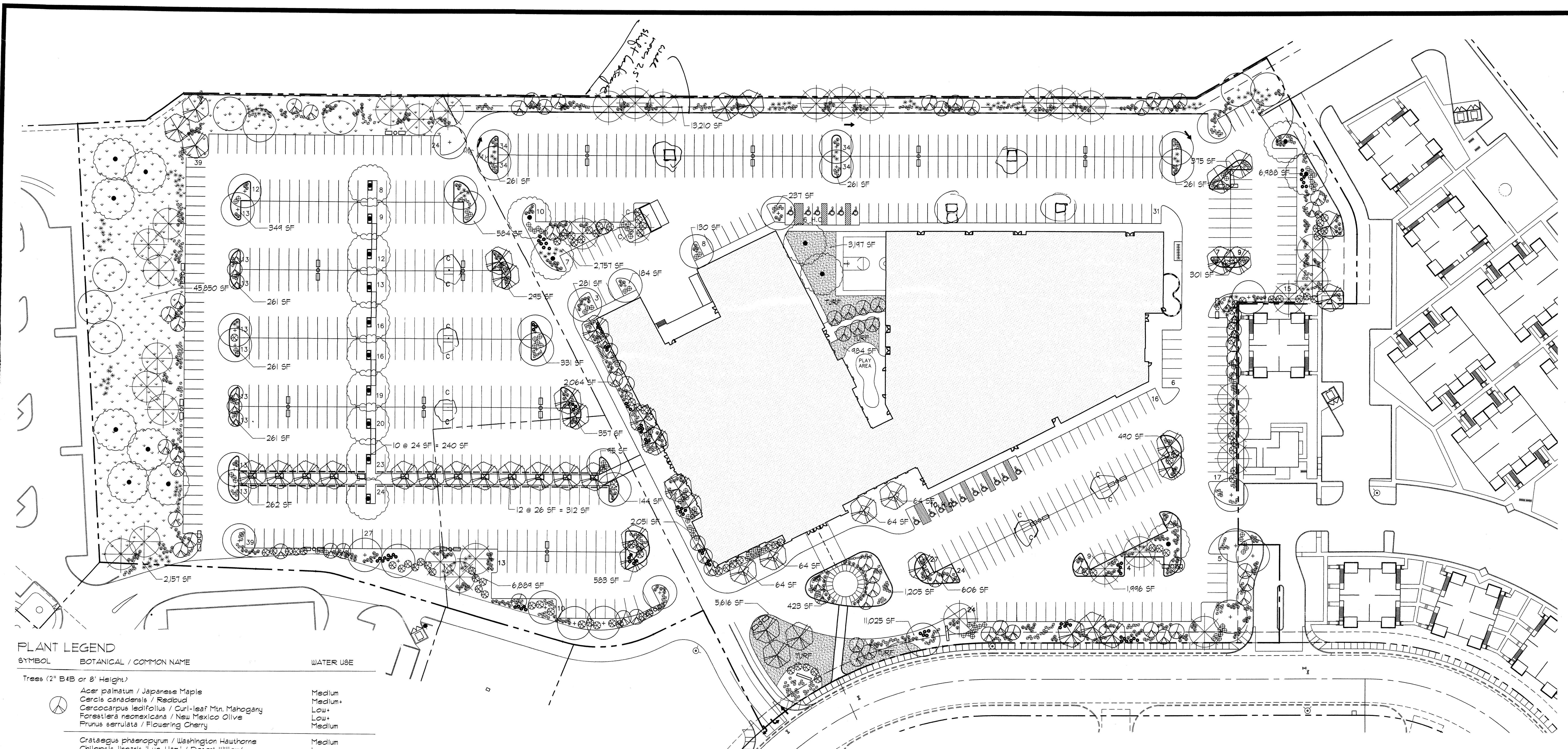
ALBUQUERQUE, NEW MEXICO

MASTER LANDSCAPE PLAN

JOB NO. 0983.350
DATE 5/4/04
DRAWN LF
CHECKED CG

2A

ISSUED FOR REVIEW ONLY



PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	WATER USE
Trees (2" B4B or 8" Height)		
⊙	Acer palmatum / Japanese Maple	Medium
⊙	Cercia canadensis / Redbud	Medium+
⊙	Cercocarpus ledifolius / Curl-leaf Mtn. Mahogany	Low+
⊙	Forestiera neomexicana / New Mexico Olive	Low+
⊙	Prunus serrulata / Flowering Cherry	Low+
⊙	Crataegus phaenopynum / Washington Hawthorn	Medium
⊙	Chilopsis linearis Luc. Ham. / Desert Willow	Low
⊙	Ginkgo biloba / Ginkgo	Medium
⊙	Koeleria paniculata / Goldenrain Tree	Medium
⊙	Fyrus calleryana "Bradford" / Bradford Pear	Medium+
⊙	Vauquelinia californica / Arizona Rosewood	Low+
⊙	Vitex agnus-castus / Chaste tree	Medium
⊙	Fraxinus velutina 'Modesto' / Modesto Ash	Medium
⊙	Fraxinus oxycarpa 'Raywood' / Raywood Ash	Medium+
⊙	Gleditsia triacanthos 'Moraine' / Honey Locust 'Moraine'	Medium
⊙	Robinia 'Purple Robe' / Purple Robe Locust	Medium
⊙	Tilia cordata / Little-leaf Linden	Medium
⊙	Platanus chinensis / Chinese Platanus	Medium+
⊙	Platanus occidentalis / Sycamore	Medium
⊙	Quercus macrocarpa / Burr Oak	Medium+
⊙	Picea pungens / Blue Spruce	Medium
⊙	Pinus leucodermis / Bosnian Pine	Medium
⊙	Pinus nigra / Austrian Pine	Medium
Shrubs (1 and 5 gallon)		
⊙	Artemisia 'Fovis Castle' / Fovis Castle Sage	Low+
⊙	Santolina sp. / Santolina	Low
⊙	Opuntia santaritii tuncac / Prickly Pear	Low
⊙	Rosmarinus officinalis / Rosemary	Low+
⊙	Caryopteris clandonensis / Blue Mist	Medium
⊙	Ericameria laricifolia / Dwarf Turpentine Bush	Medium
⊙	Hesperaloe parviflora / Red Yucca	Medium
⊙	Nandina domestica / Nandina	Medium
⊙	Raphiolepis indica / Indian Hawthorn	Medium
⊙	Potentilla fruticosa / Yellow Cinquefoil	Medium+
⊙	Salvia greggii / Cherry Sage	Medium
⊙	Chrysothamnus nauseosus / Chamisa	Low
⊙	Fallugia paradoxa / Apache Plume	Low
⊙	Barberis species / Barbary	Medium
⊙	Cotoneaster apiculatus / Cranberry Cotoneaster	Medium
⊙	Ferovskia stipulifolia / Russian Sage	Medium
⊙	Cotoneaster lacteus / Parney Cotoneaster	Medium
⊙	Forsythia species / Forsythia	Medium
⊙	Mahonia aquifolium / Dwarf Mahonia	Medium
⊙	Spartium junceum / Spanish Broom	Medium
⊙	Juniperus sabinia 'Buffalo' / Buffalo Juniper (female)	Low+
⊙	Oenothera bielandieri / Evening Primrose	Low+

Ornamental Grasses (1 and 5 gallon)	
⊙	Stipa tenuissima / Threadgrass
⊙	Muhlenbergia capillaris / Bush Muhly Grass
Turf Grasses (sod)	
⊙	Poa pratensis / Bluegrass
Vines (1 gallon)	
⊙	Hedera helix / English Ivy
⊙	Parthenocissus tricuspidata / Boston Ivy
⊙	Wisteria sinensis / Wisteria
Native Revegetation Seed Mix (45,850 SF)	
⊙	Buffalo Grass, Blue Grama Grass, Sidecata Grama, Indian Ricegrass, Galleta, Paperflower, Firewheel, Purple Aster, Purple Coneflower, Mexican Hat
⊙	Moss Rock Boulder (2" min. dia.)

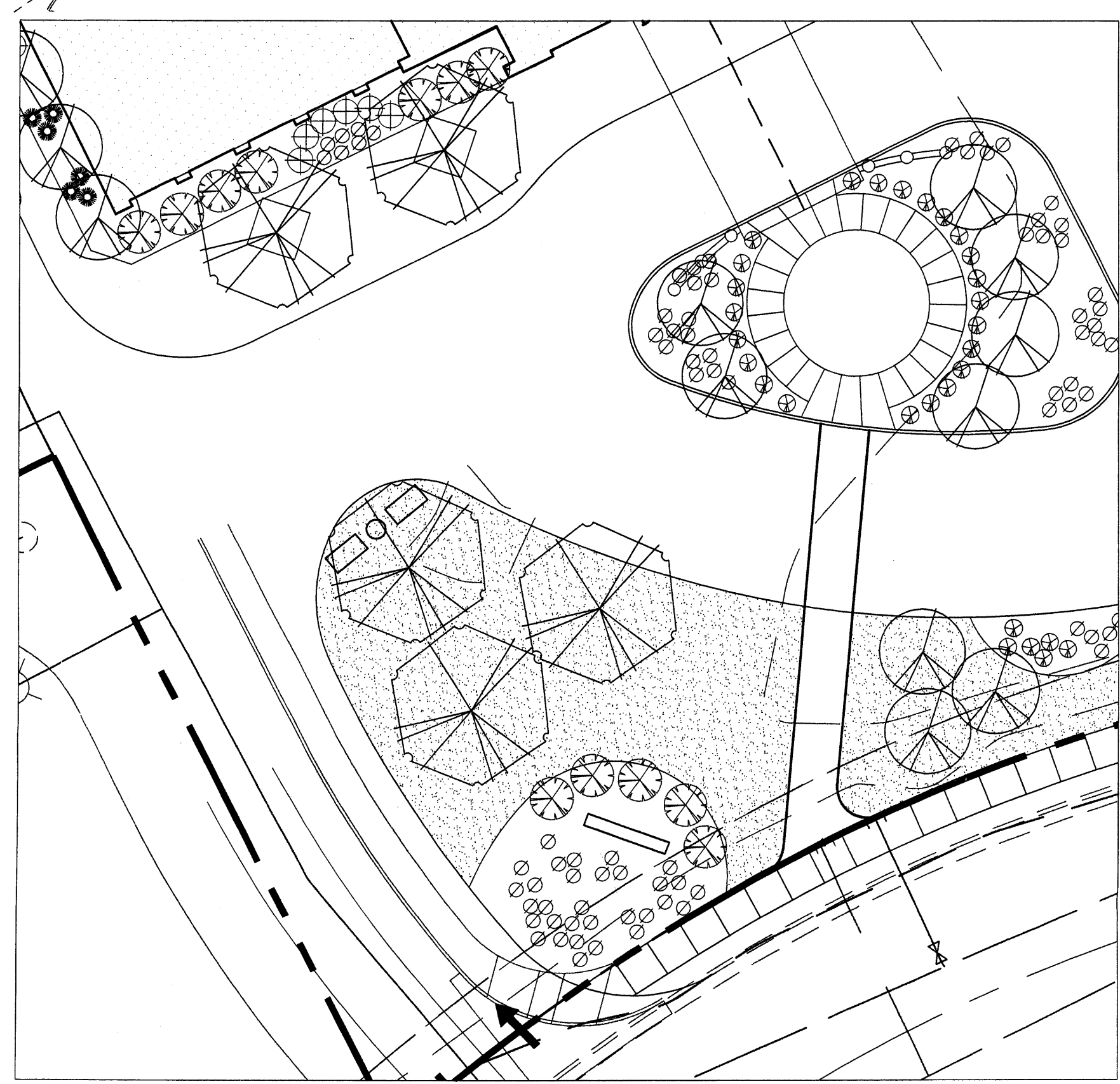
MULCHES
All shrub planting areas shall be top dressed with crusher fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Cobble

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate trees, shrub and groundcover planting areas.

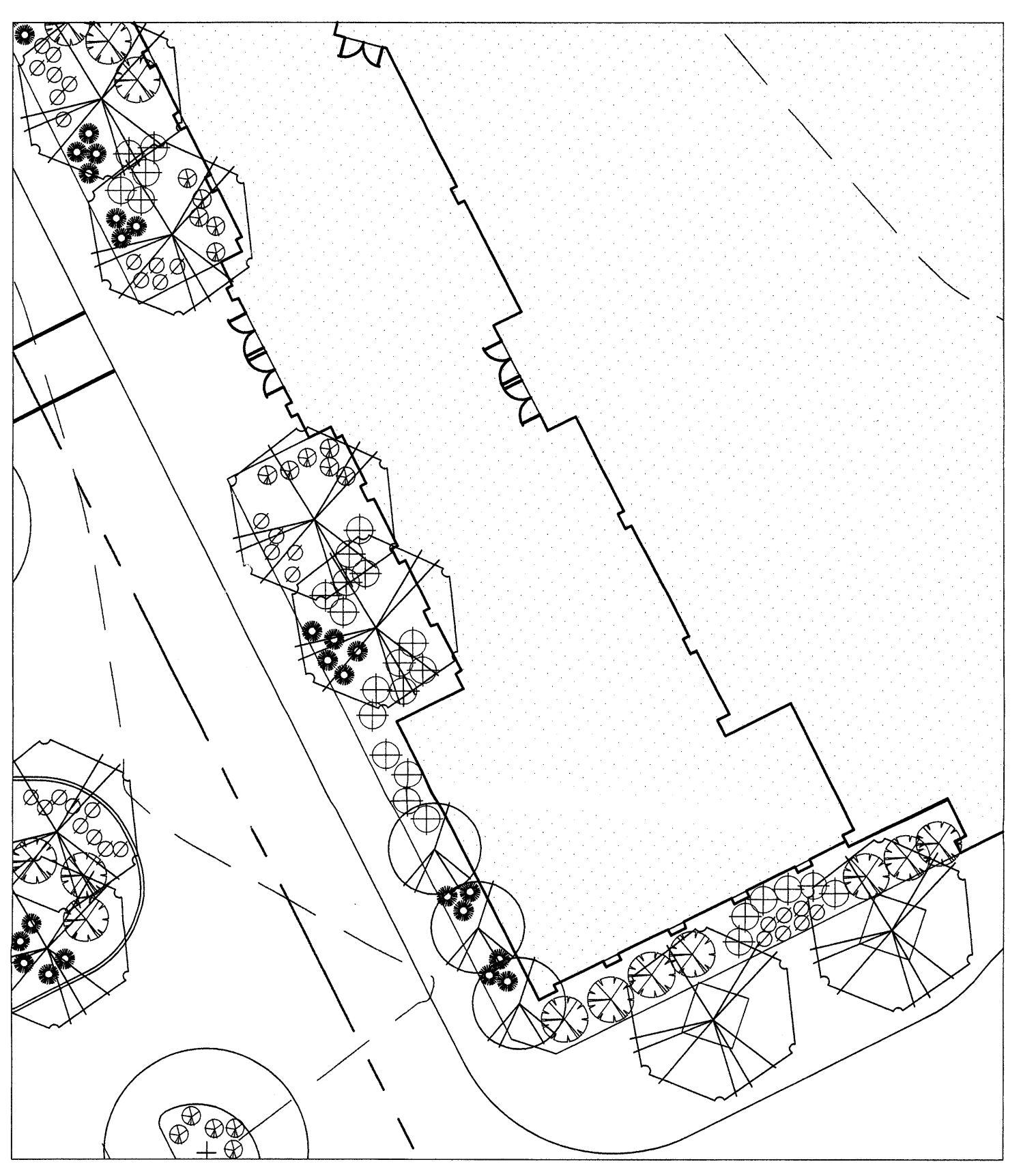
MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

LANDSCAPE REQUIREMENTS	
Site Area:	12.56 acres
Building Footprint:	547,103 SF
Total Area:	114,000 SF
Required Landscape %:	433,103 SF
Landscape Area Required:	64,965 SF
Landscape Area Provided:	(27%) 115,222 SF

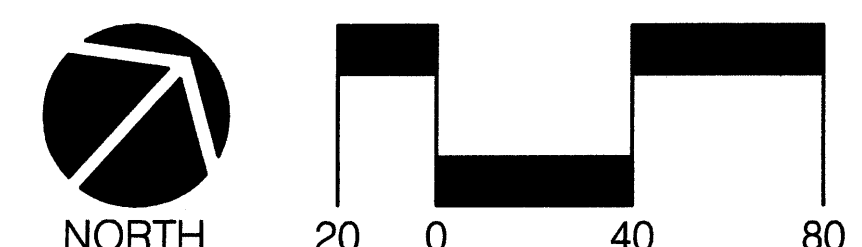


TYPICAL LANDSCAPE AT ENTRY
Scale 1" = 20'



TYPICAL LANDSCAPE ALONG BUILDING
Scale 1" = 20'

Scale 1" = 40'



NORTH

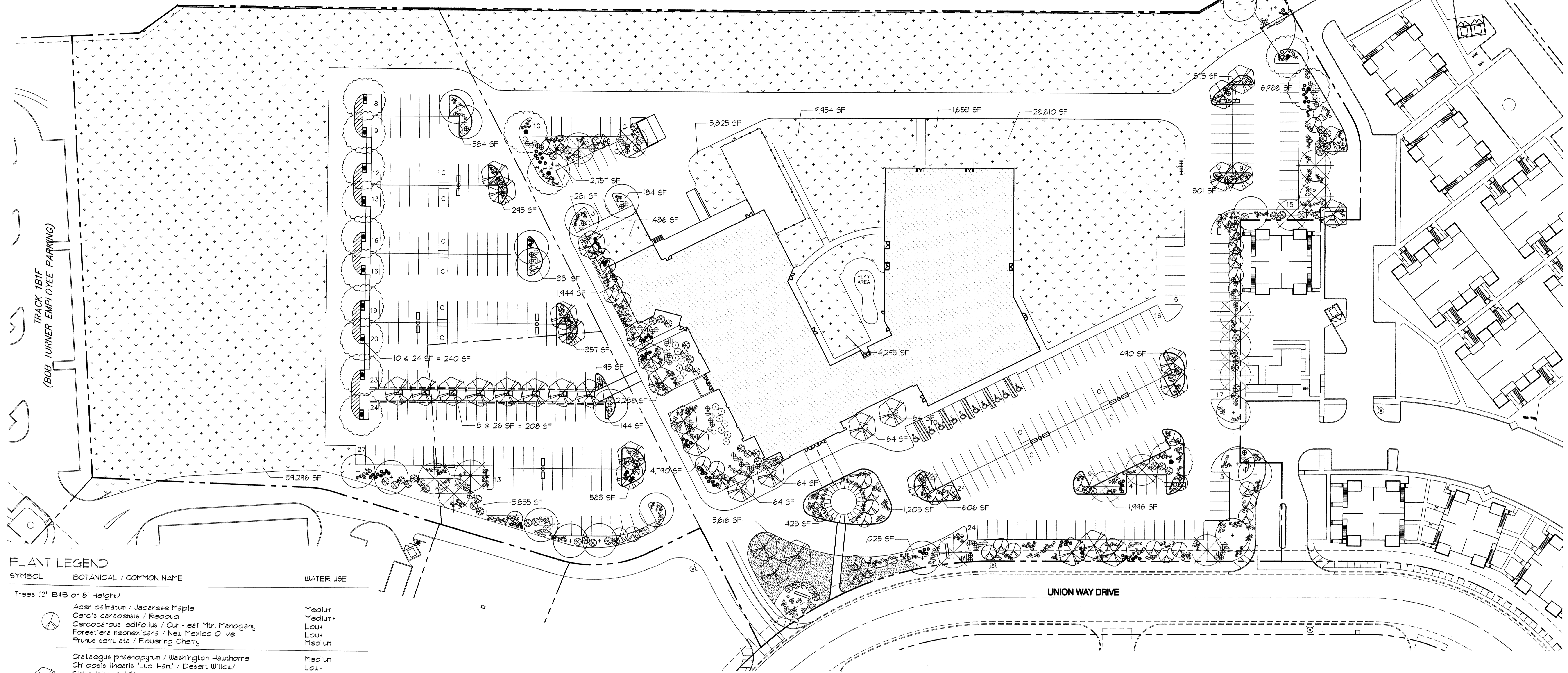
CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
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Courtyard 1 7800 Jefferson St. NE Albuquerque, NM 87109-4886

P:\VI_Projects\1373_First Family Church\ACAD\Site & LS Plans\LS_Plans_8.6.04\Water Landscaping Plan_8.6.04.dwg
August 16, 2004 - 10:47am
Master Landscape Plan

EXISTING RESIDENTIAL PROPERTIES
ZONED M-H (COUNTY)

EXISTING RESIDENTIAL PROPERTIES
ZONED M-H (COUNTY)



PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	WATER USE
Trees (2" B&B or 8' Height)		
⊗	Acer palmatum / Japanese Maple	Medium
⊗	Cercis canadensis / Redbud	Medium+
⊗	Cercocarpus ledifolius / Curl-leaf Mtn. Mahogany	Low+
⊗	Forestiera neomexicana / New Mexico Olive	Low+
⊗	Prunus serrulata / Flowering Cherry	Medium
⊗	Crataegus phaenopyrum / Washington Hawthorne	Medium
⊗	Chilopsis linearis 'Luc. Ham.' / Desert Willow	Low+
⊗	Ginkgo biloba / Ginkgo	Medium
⊗	Koeleria paniculata / Goldenrain Tree	Medium
⊗	Pinus calligyna 'Bradford' / Bradford Pear	Medium+
⊗	Vauquelinia californica / Arizona Rosewood	Low+
⊗	Vitex agnus-castus / Chaste tree	Medium
⊗	Fraxinus velutina 'Modesto' / Modesto Ash	Medium
⊗	Fraxinus oxycarpa 'Raywood' / Raywood Ash	Medium+
⊗	Gleditsia triacanthos 'Moraine' / Honey Locust 'Moraine'	Medium
⊗	Robinia 'Purple Robe' / Purple Robe Locust	Medium
⊗	Tilia cordata / Little-leaf Linden	Medium
⊗	Pistachia chinensis / Chinese Pistache	Medium+
⊗	Platanus occidentalis / Sycamore	Medium+
⊗	Quercus macrocarpa / Burr Oak	Medium+
⊗	Picea pungens / Blue Spruce	Medium
⊗	Pinus leucodermis / Bosnian Pine	Medium
⊗	Pinus nigra / Austrian Pine	Medium
Shrubs (1 and 5 gallon)		
⊗	Artemisia 'Fouls Castle' / Fouls Castle Sage	Low+
⊗	Santolina sp. / Santolina	Low
⊗	Opuntia santaritii / Prickly Pear	Low
⊗	Rosmarinus officinalis / Rosemary	Low+
⊗	Caryopteris clandonensis / Blue Mist	Medium
⊗	Ericameria laricifolia / Dwarf Turpentine Bush	Medium
⊗	Hesperaloe parviflora / Red Yucca	Medium
⊗	Nandina domestica / Nandina	Medium
⊗	Rhapidocephala indica / Indian Hawthorne	Medium+
⊗	Potentilla fruticosa / Yellow Cinquefoil	Medium+
⊗	Salvia greggii / Cherry Sage	Medium
⊗	Chrysothamnus nauseosus / Chamisa	Low
⊗	Falugia paradoxa / Apache Plume	Low
⊗	Berberis species / Barberry	Medium
⊗	Cotoneaster spiculatus / Cranberry Cotoneaster	Medium
⊗	Perovskia atriplicifolia / Russian Sage	Medium
⊗	Cotoneaster lacteus / Parney Cotoneaster	Medium
⊗	Foraynia species / Forsythia	Medium
⊗	Mahonia aquifolium / Dwarf Mahonia	Medium
⊗	Spartium junceum / Spanish Broom	Medium
⊗	Juniperus sabina 'Buffalo' / Buffalo Juniper (female)	Low+
⊗	Oenothera biennis / Evening Primrose	Low+

Ornamental Grasses (1 and 5 gallon)	
⊗	Stipa tenuissima / Threadgrass
⊗	Muhlenbergia capillaris / Bush Muhly Grass
Turf Grasses (sod)	
⊗	Poa pratensis / Kentucky Bluegrass
Vines (1 gallon)	
⊗	Hedera helix / English Ivy
⊗	Parthenocissus tricuspidata / Boston Ivy
⊗	Wisteria sinensis / Wisteria
⊗	Native Revegetation Seed Mix (20,313 SF)
⊗	Buffalo Grass, Blue Grama Grass, Sideoats Grama, Indian Ricegrass, Galleta, Paperflower, Firewheel, Purple Aster, Purple Coneflower, Mexican Hat
⊗	Moss Rock Boulder (2' min. dia.)

MULCHES
All shrub planting areas shall be top dressed with crusher fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Cobble

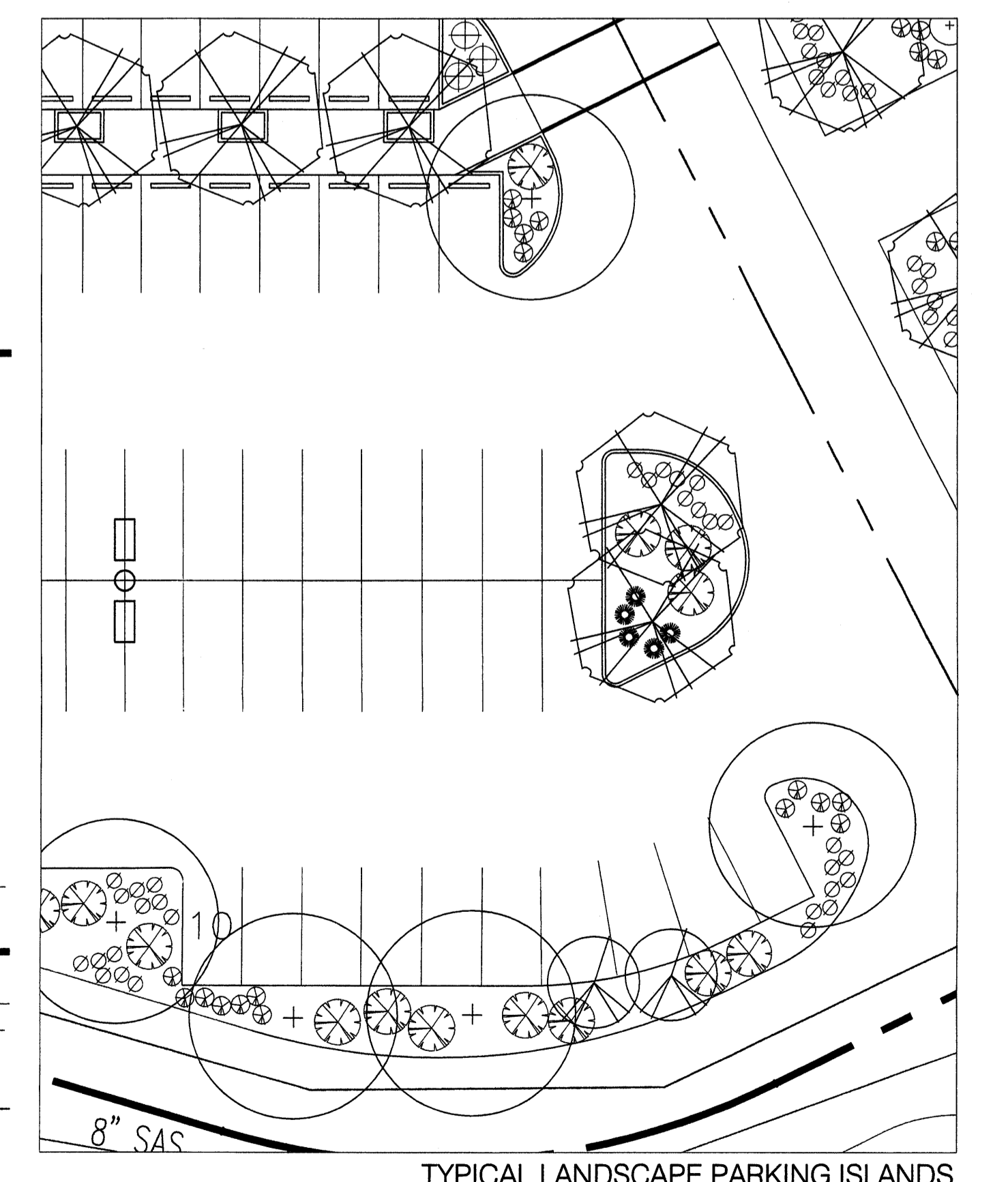
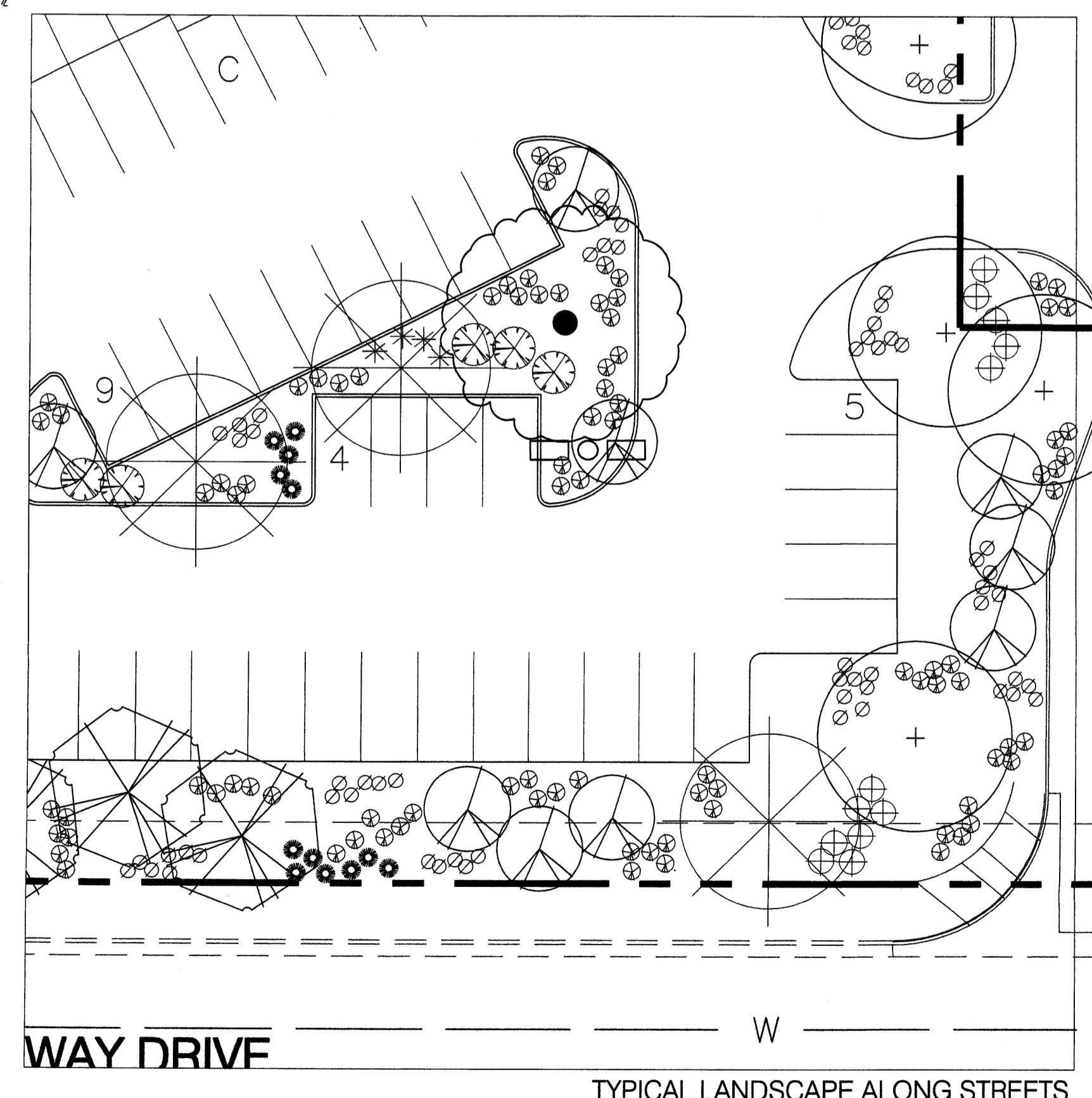
IRRIGATION SYSTEM
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MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

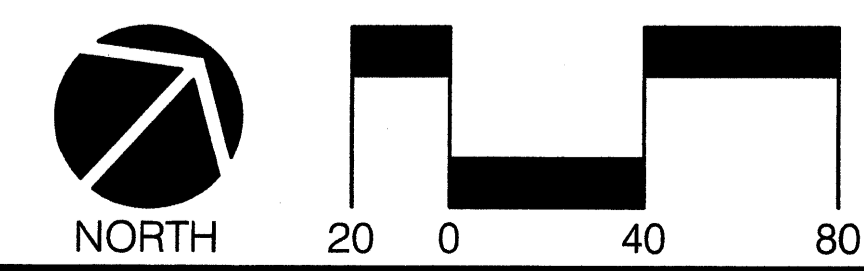
STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

LANDSCAPE REQUIREMENTS

Site Area: 12.56 acres	547,103 SF
Building Footprint:	59,600 SF
Total Area:	488,503 SF
Required Landscape %:	15
Landscape Area Required:	73,276 SF
Landscape Area Provided:	(53%) 259,534 SF

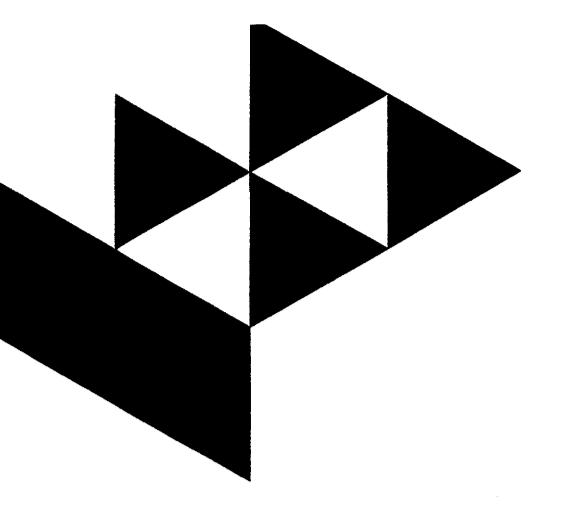


Scale 1" = 40'



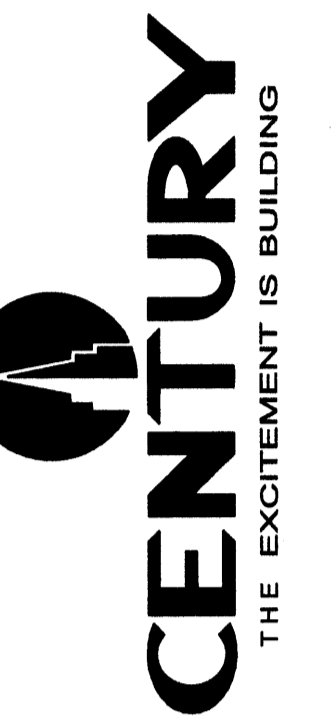
CONSENSUS PLANNING, INC.
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924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
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Engineering • Spatial Data • Advanced Technologies
1700 Johnson Dr. NE Albuquerque, NM 87109-4395



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Architect: JOHN A. RHEBERGEN
Registration No.: TX 10771
Expiration Date: 31 JUL 2004
Issue Date: 26 JAN 2004

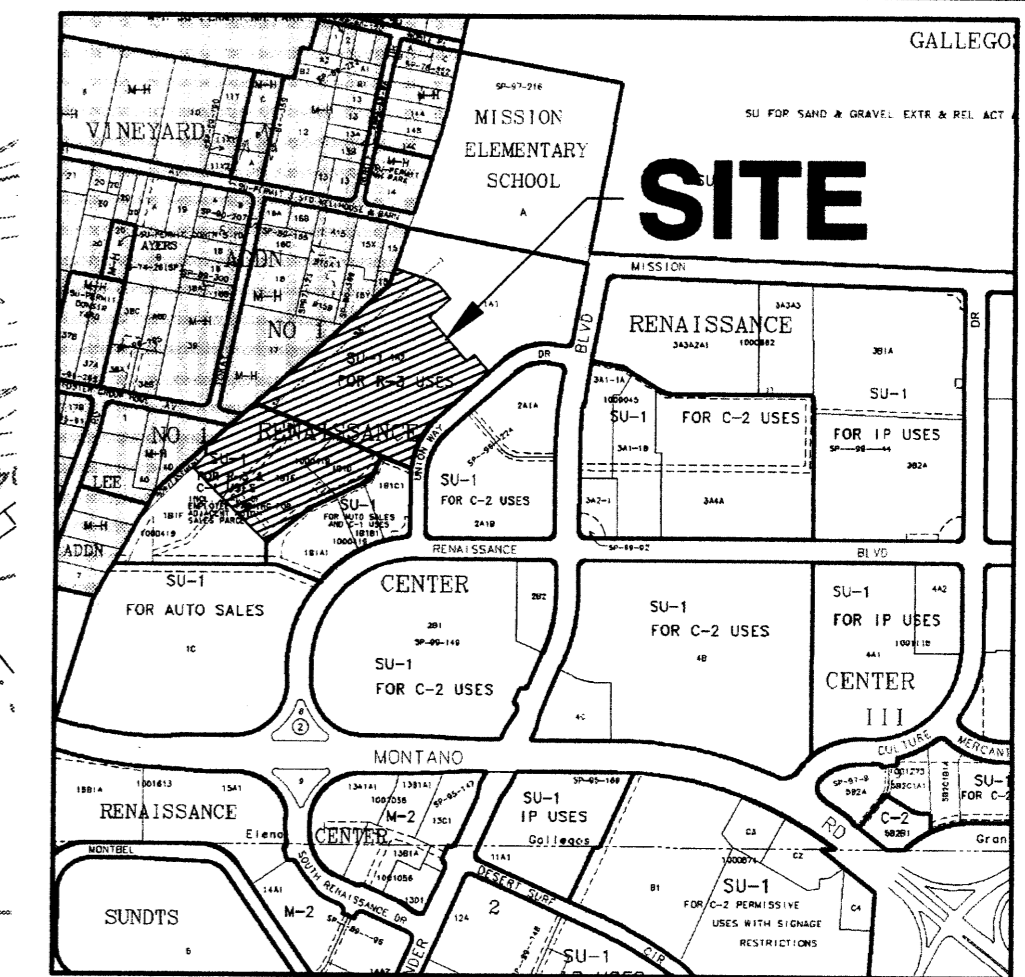
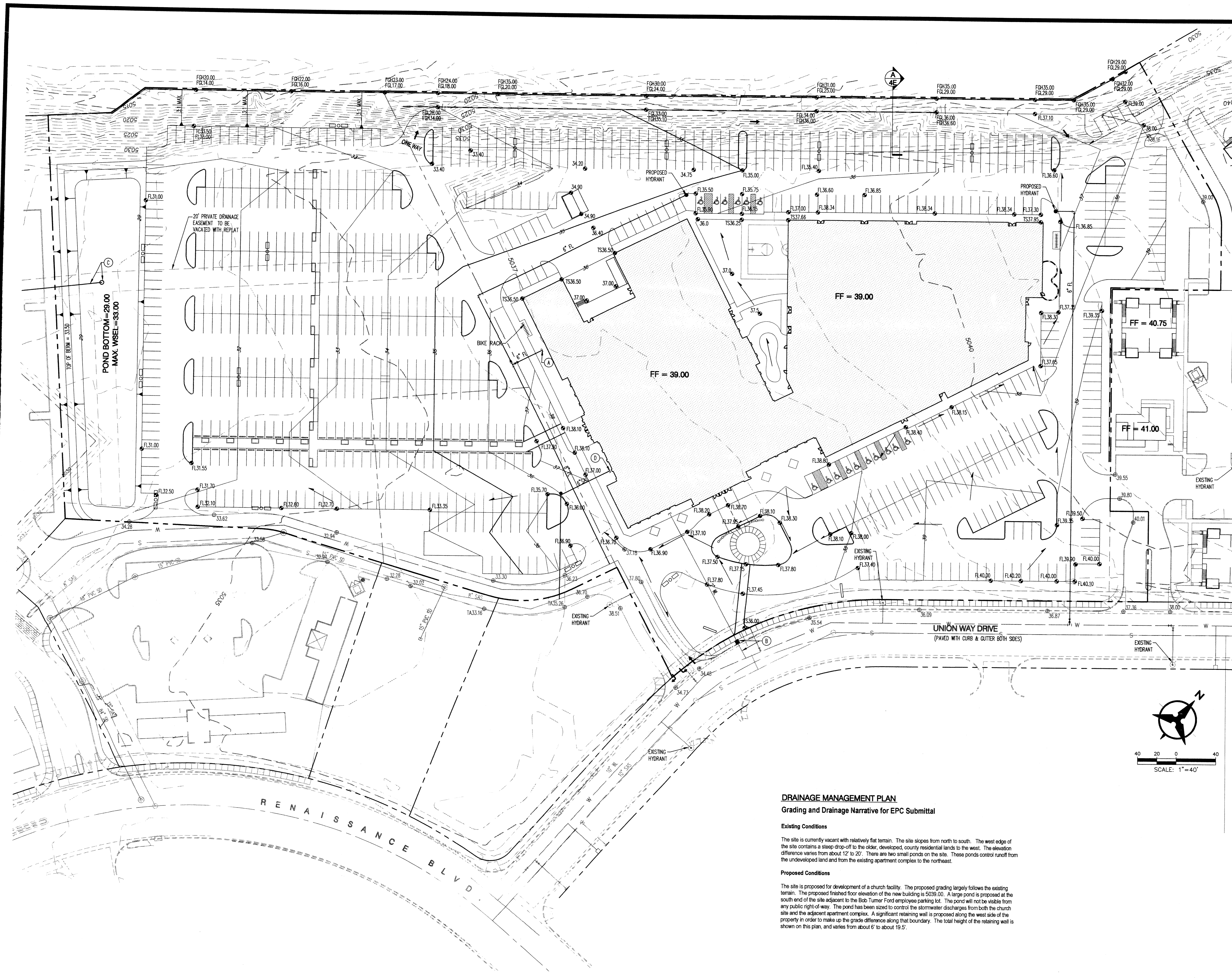
FIRST FAMILY CHURCH

ALBUQUERQUE, NEW MEXICO

PHASE I LANDSCAPE PLAN

JOB NO.	0983.350	2B
DATE	5/4/04	
DRAWN	AF	
CHECKED	CG	
ISSUED FOR REVIEW ONLY		

P:\01\Projects\1373_First Family Church\1373\Site & LS Plans\LS Plans_8.6.04\Phase I Landscaping Plan_8.6.04.dwg
August 16, 2004 - 10:49am
Phase I Landscaping Plan



VICINITY MAP
ZONE ATLAS PAGE F-16-2

LEGAL DESCRIPTION
TRACT 1-A2, 1B-1D, AND 1B-1E OF RENAISSANCE CENTER

LEGEND

---	PROPERTY LINE
---	RETAINING WALL
- - - -	EXISTING CONTOUR
- - - -	PROPOSED INDEX CONTOUR
- - - -	PROPOSED INTERMEDIATE CONTOUR
○ 32.40	EXISTING SPOT ELEVATION
○ 32.40	PROPOSED SPOT ELEVATION
○	FL = FINISH
○	TS = TOP OF SIDEWALK
○	FH = FINISHED GROUND HIGH SIDE
○	FGL = FINISHED GROUND LOW SIDE
→	DIRECTION OF FLOW
○	SLOPE SYMBOL
○	EXISTING WATERLINE W/ HYDRANT & VALVE
○	EXISTING SAS W/ MANHOLE
○	PROPOSED SAS
○	PROPOSED CLEANOUT
○	PROPOSED WATERLINE
○	PROPOSED METER
○	PROPOSED VALVE
○	PROPOSED REDUCER
○	PROPOSED FIRE LINE
○	PROPOSED HYDRANT
○	PROPOSED STORM DRAIN
○	EXISTING STORM DRAIN & MANHOLE

- KEYED NOTES:**
- 6" FIRE LINE FOR BUILDING SPRINKLER SYSTEM
 - NEW 2" DOMESTIC WATER SERVICE LINE & METER
 - EXISTING STORM DRAIN LINE & MANHOLE W/ BEEHIVE GRATE
 - NEW 6" SAS SERVICE

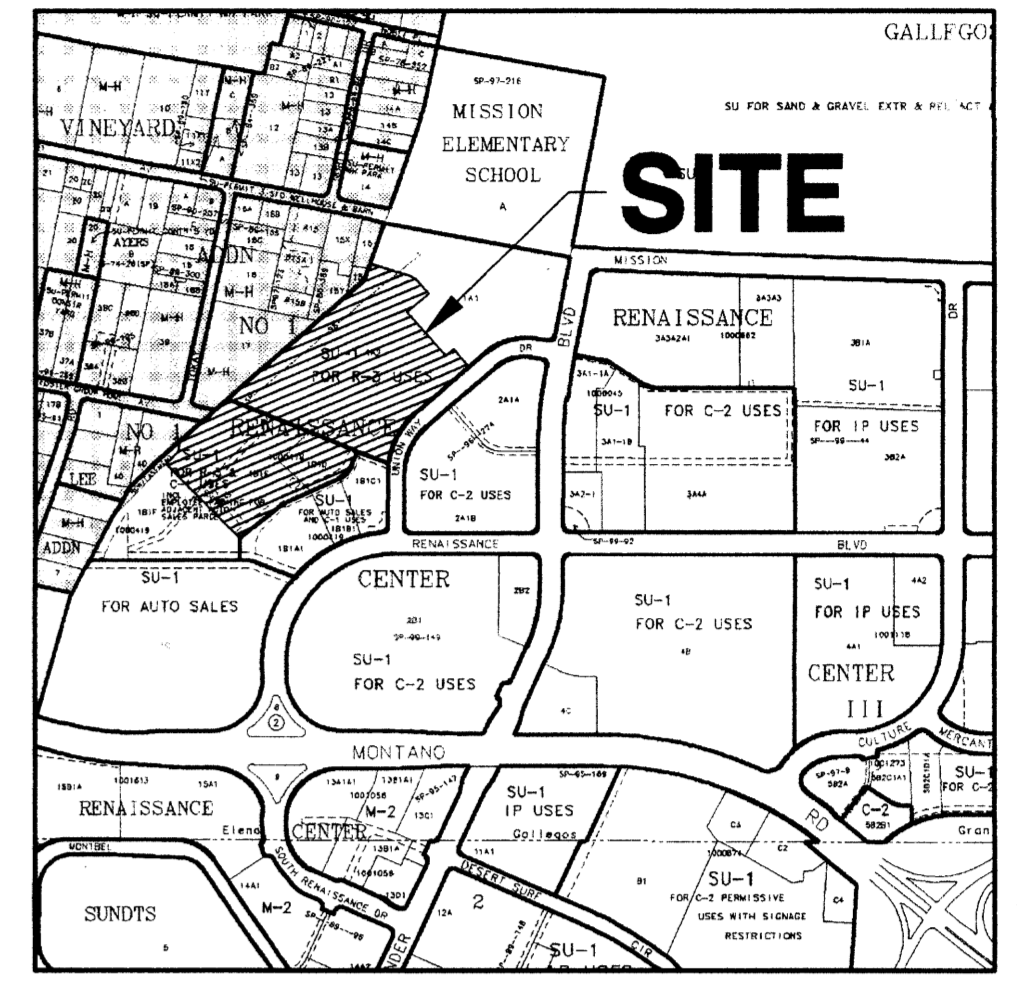
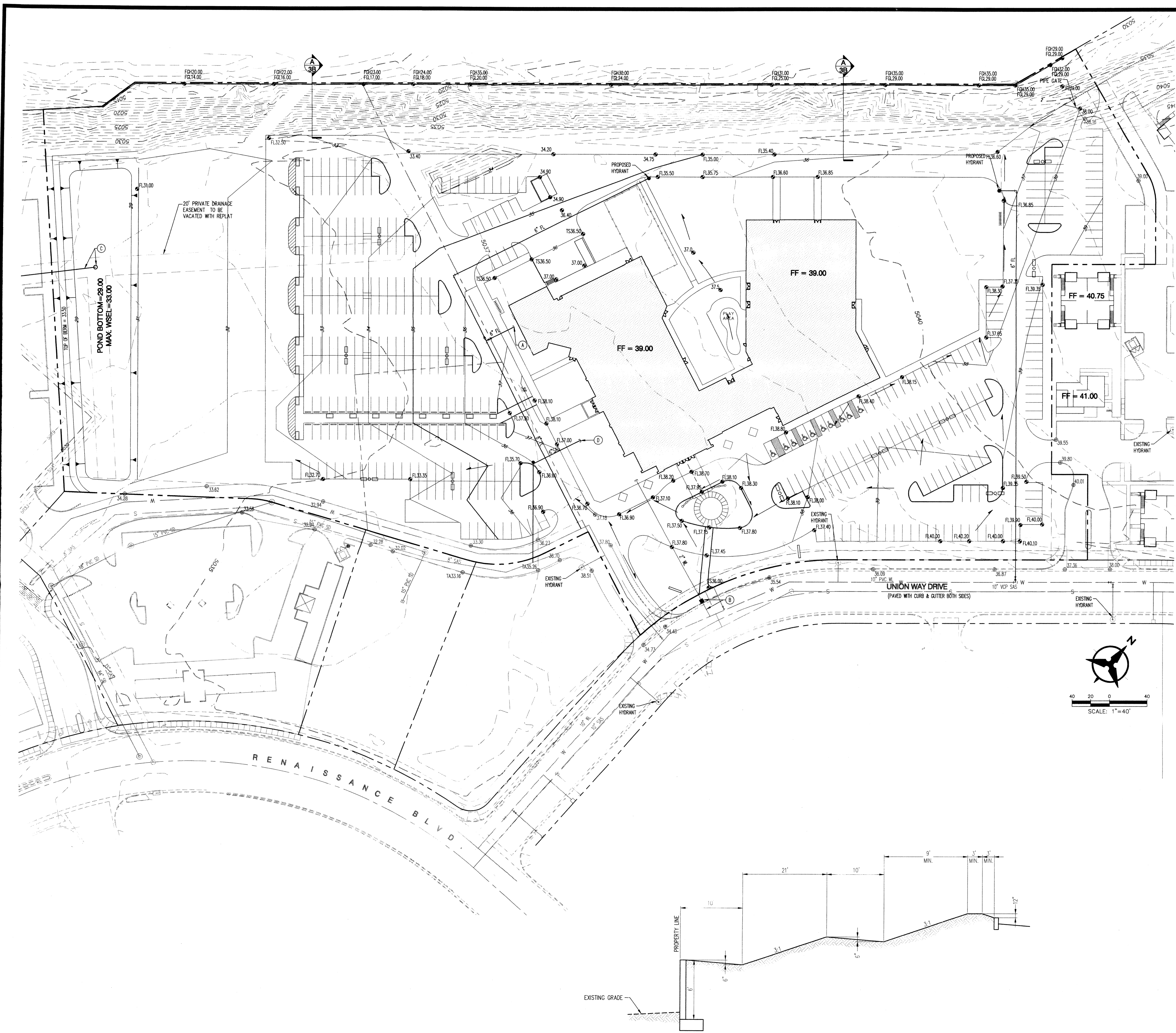
DRAINAGE MANAGEMENT PLAN
Grading and Drainage Narrative for EPC Submittal

Existing Conditions

The site is currently vacant with relatively flat terrain. The site slopes from north to south. The west edge of the site contains a steep drop-off to the older, developed, county residential lands to the west. The elevation difference varies from about 12' to 20'. There are two small ponds on the site. These ponds control runoff from the undeveloped land and from the existing apartment complex to the northeast.

Proposed Conditions

The site is proposed for development of a church facility. The proposed grading largely follows the existing terrain. The proposed finished floor elevation of the new building is 5039.00. A large pond is proposed at the south end of the site adjacent to the Bob Turner Ford employee parking lot. The pond will not be visible from any public right-of-way. The pond has been sited to control the stormwater discharges from both the church site and the adjacent apartment complex. A significant retaining wall is proposed along the west side of the property in order to make up the grade difference along that boundary. The total height of the retaining wall is shown on this plan, and varies from about 6' to about 13.5'.

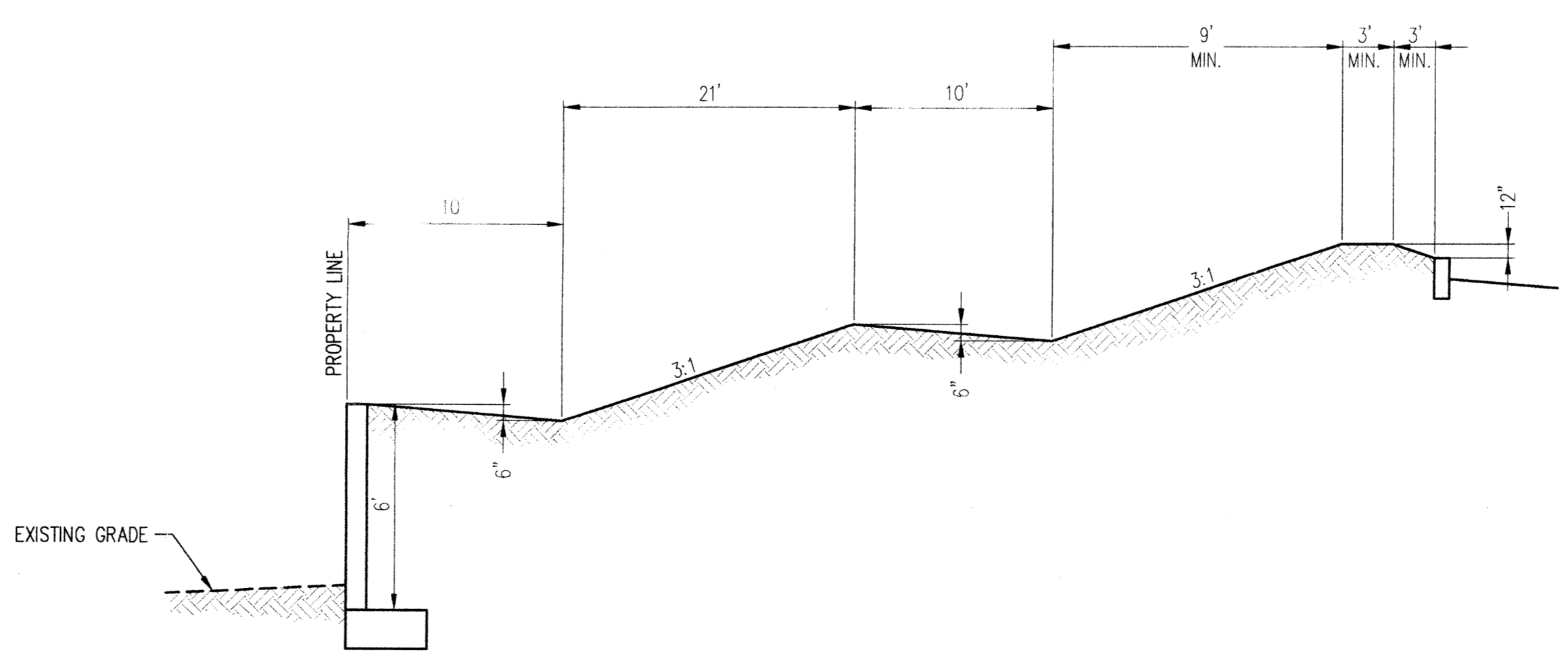
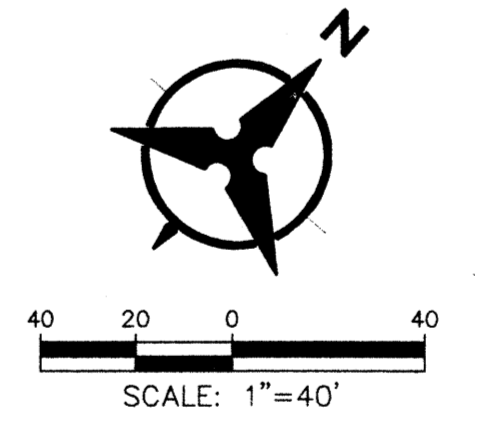


LEGAL DESCRIPTION
TRACT 1-A2, 1B-10, AND 1B-1E OF RENAISSANCE CENTER

LEGEND

---	PROPERTY LINE
- - - -	RETAINING WALL
- - - -	EXISTING CONTOUR
- - - -	PROPOSED INDEX CONTOUR
- - - -	PROPOSED INTERMEDIATE CONTOUR
⊙ 32.40	EXISTING SPOT ELEVATION
● 32.40	PROPOSED SPOT ELEVATION
FL	FLOWLINE
TS	TOP OF SIDEWALK
FGH	FINISHED GROUND HIGH SIDE
FGL	FINISHED GROUND LOW SIDE
→	DIRECTION OF FLOW
▲	SLOPE SYMBOL
EX WL	EXISTING WATERLINE W/ HYDRANT & VALVE
EX SAS	EXISTING SAS W/ MANHOLE
SAS	PROPOSED SAS
○	PROPOSED CLEANOUT
○	PROPOSED WATERLINE
○	PROPOSED METER
○	PROPOSED VALVE
○	PROPOSED REDUCER
○	PROPOSED FIRE LINE
○	PROPOSED HYDRANT
○	PROPOSED STORM DRAIN
EX SD	EXISTING STORM DRAIN & MANHOLE

- KEYED NOTES:**
- 6" FIRE LINE FOR BUILDING SPRINKLER SYSTEM
 - NEW 2" DOMESTIC WATER SERVICE LINE & METER
 - EXISTING STORM DRAIN LINE & MANHOLE W/ BEEHIVE GRATE
 - NEW 6" SAS SERVICE



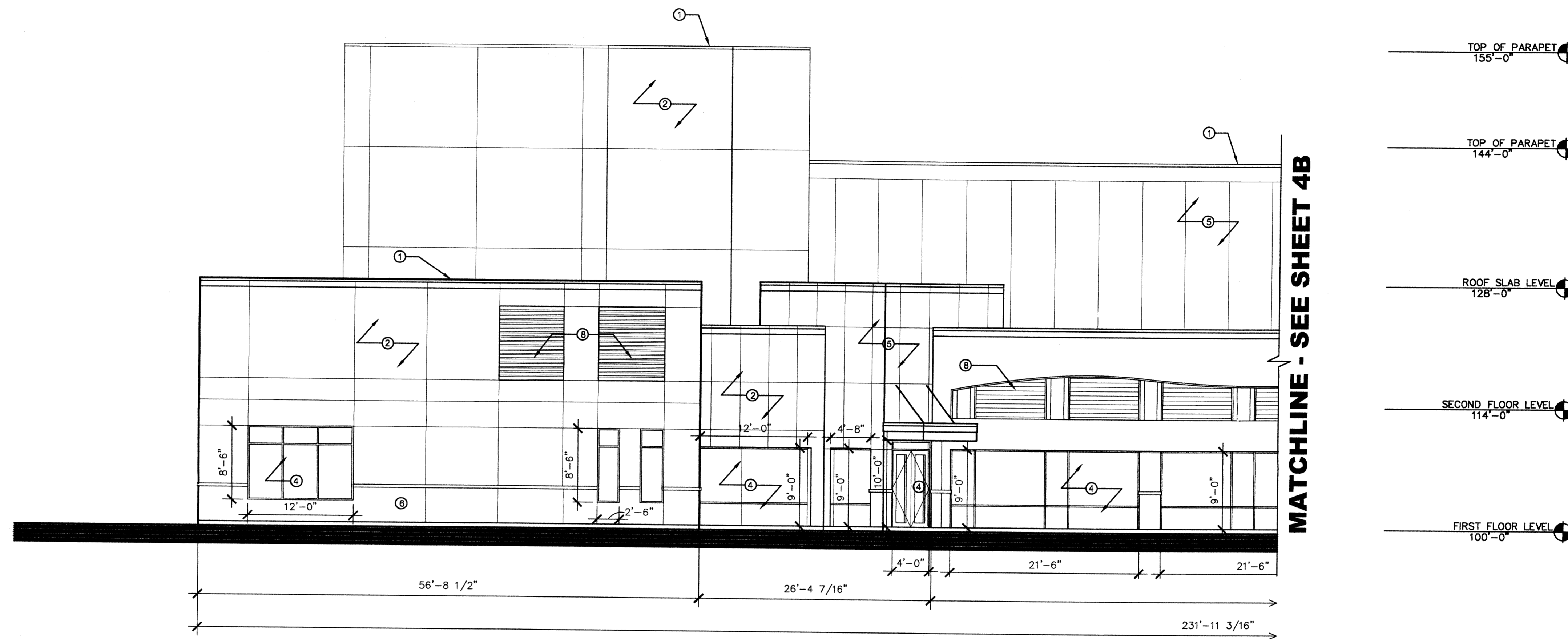
GRADING SECTION

MATERIAL KEY

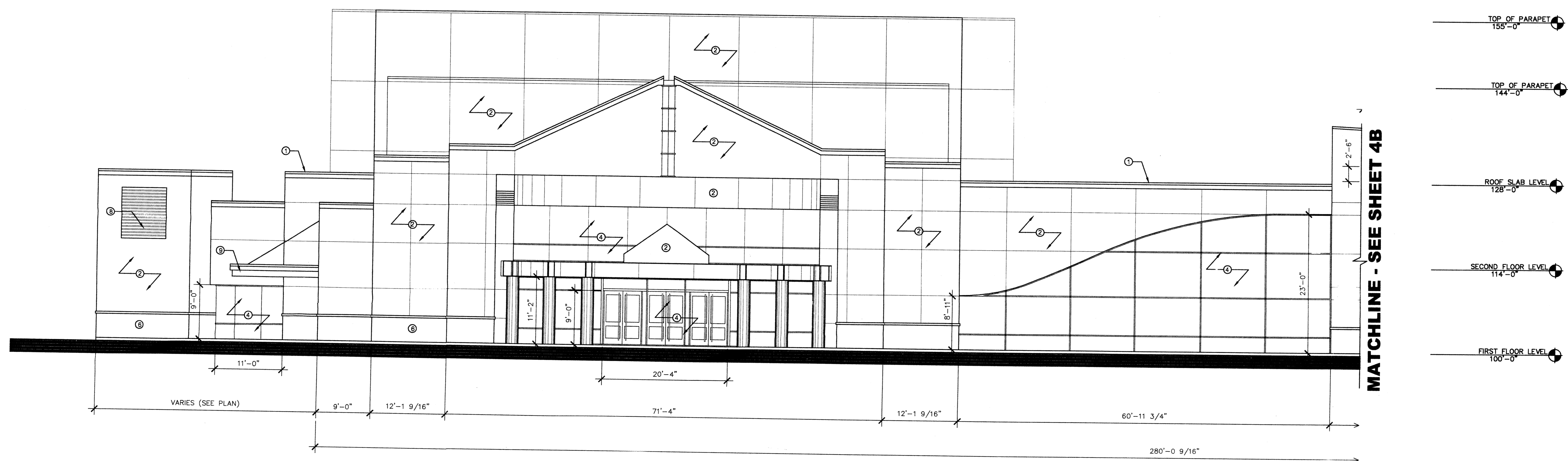
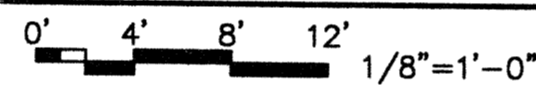
- ① PAINTED METAL COPPING (TO MATCH BEIGE EIFS COLOR)
- ② EIFS WITH 1"x1" CONTINUOUS REVEALS BOTH DIRECTIONS (BEIGE COLOR)
- ③ STANDING SEAM METAL ROOF (DEEP BLUE-GREY COLOR)
- ④ AQUA-MARINE COLORED TINTED GLASS IN WHITE ANODIZED MULLION SYSTEM(TYP.)
- ⑤ PAINTED METAL PANEL (GREY COLOR)
- ⑥ EIFS (DARK BEIGE COLOR)
- ⑦ EIFS WITH 1"x1" CONTINUOUS REVEALS BOTH DIRECTIONS (GREY COLOR)
- ⑧ PAINTED METAL LOUVERS (GREY COLOR)
- ⑨ PAINTED METAL CANOPY WITH STEEL SUPPORTS -TYP. (COLOR TO MATCH BLUE-GREY OF ROOF)
- ⑩ BUILDING SIGANCE - INTERNALLY ILLUMINATED

NOTES:

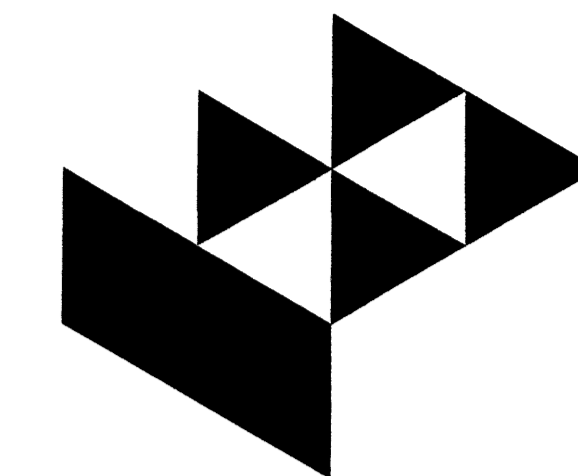
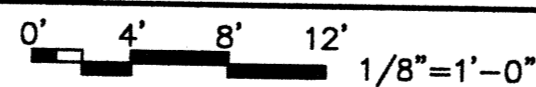
1. THE MAXIMUM HEIGHT OF FUTURE ADDITIONS SHALL NOT EXCEED THE MAXIMUM HEIGHT SHOWN ON THESE PLANS.
2. THE TOP OF ALL ROOFTOP MECHANICAL EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET AND SCREENED FROM VIEW FROM NEARBY PROPERTIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SOLID WALLS WITH THE TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
3. THE DESIGN AND MATERIALS FOR FUTURE ADDITIONS SHALL REFLECT PREVIOUSLY APPROVED SITE PLAN FOR BUILDING PERMITS ON THIS SITE.



SOUTH ELEVATION



EAST-ELEVATION (FRONT)



William B. Livingston, AIA

Architect
Suite Two Forty-Four
10575 Katy Freeway
Houston, TX 77024
Tel: (713) 722-8900
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1125 CHARLES ROAD • HOUSTON, TEXAS 77004 • 713-566-6699 • FAX 713-566-6697

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Architect: WILLIAM B. LIVINGSTON
Registration No.: NM 782
Expiration Date: _____
Issue Date: _____

FIRST FAMILY CHURCH

ALBUQUERQUE, NEW MEXICO

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT PHASE 1 ELEVATIONS

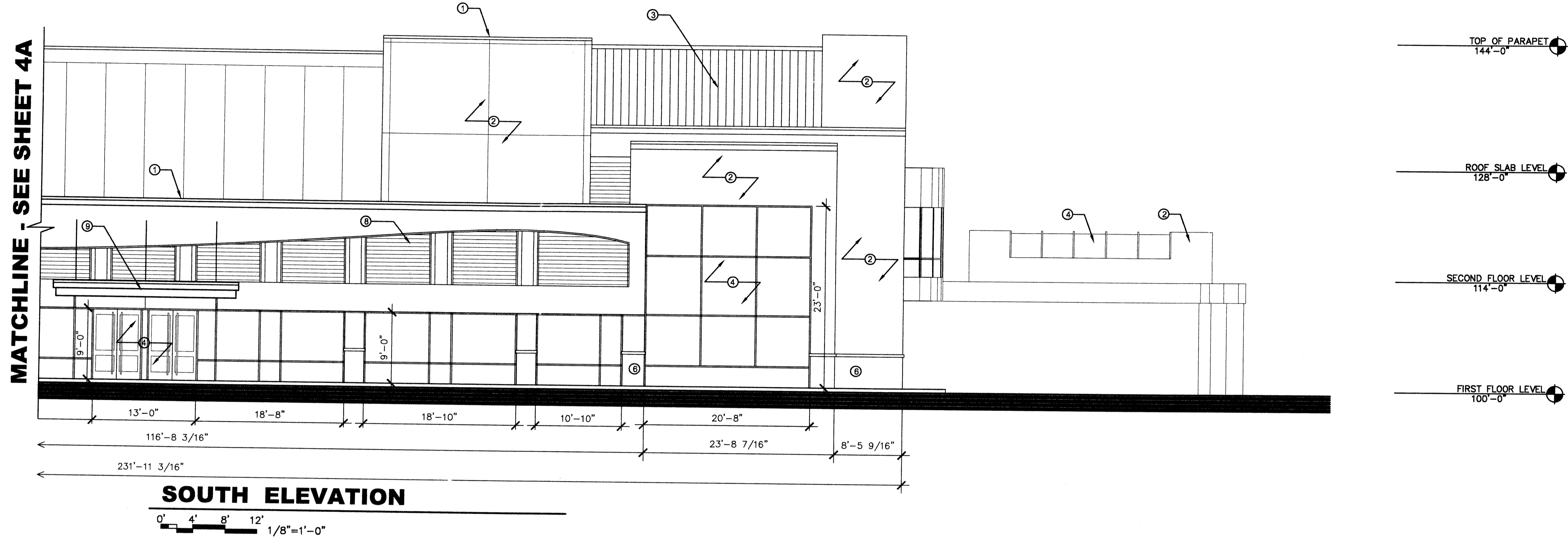
JOB NO. 050017
DATE 08/16/04
DRAWN
CHECKED
SHEET 4A

EPC SUBMITTAL SET

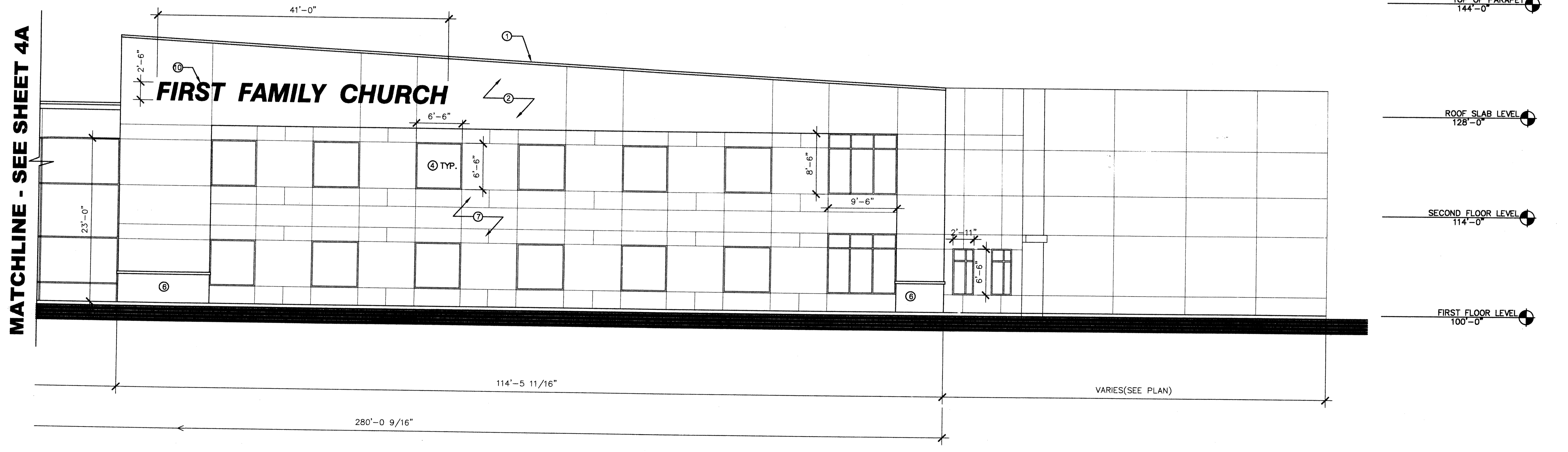
MATERIAL KEY

- ① PAINTED METAL COPPING (TO MATCH BEIGE EIFS COLOR)
- ② EIFS WITH 1"x1" CONTINUOUS REVEALS BOTH DIRECTIONS (BEIGE COLOR)
- ③ STANDING SEAM METAL ROOF (DEEP BLUE-GREY COLOR)
- ④ AQUA-MARINE COLORED TINTED GLASS IN WHITE ANODIZED MULLION SYSTEM(TYP.)
- ⑤ PAINTED METAL PANEL (GREY COLOR)
- ⑥ EIFS (DARK BEIGE COLOR)
- ⑦ EIFS WITH 1"x1" CONTINUOUS REVEALS BOTH DIRECTIONS (GREY COLOR)
- ⑧ PAINTED METAL LOUVERS (GREY COLOR)
- ⑨ PAINTED METAL CANOPY WITH STEEL SUPPORTS - TYP. (COLOR TO MATCH BLUE-GREY OF ROOF)
- ⑩ BUILDING SIGANGE - INTERNALLY ILLUMINATED

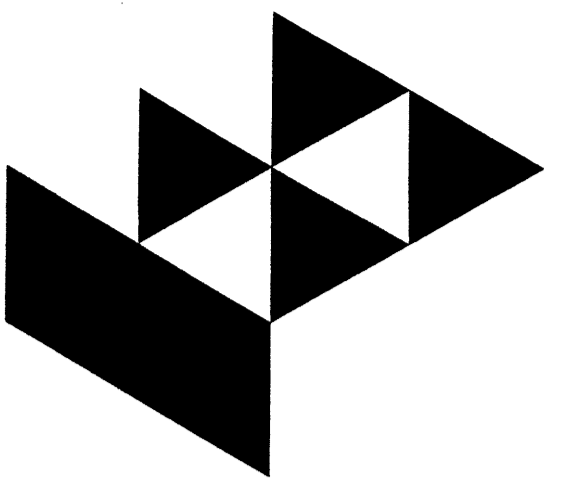
- NOTES:**
1. THE MAXIMUM HEIGHT OF FUTURE ADDITIONS SHALL NOT EXCEED THE MAXIMUM HEIGHT SHOWN ON THESE PLANS.
 2. THE TOP OF ALL ROOFTOP MECHANICAL EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET AND SCREENED FROM VIEW FROM NEARBY PROPERTIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SOLID WALLS WITH THE TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 3. THE DESIGN AND MATERIALS FOR FUTURE ADDITIONS SHALL REFLECT PREVIOUSLY APPROVED SITE PLAN FOR BUILDING PERMITS ON THIS SITE.



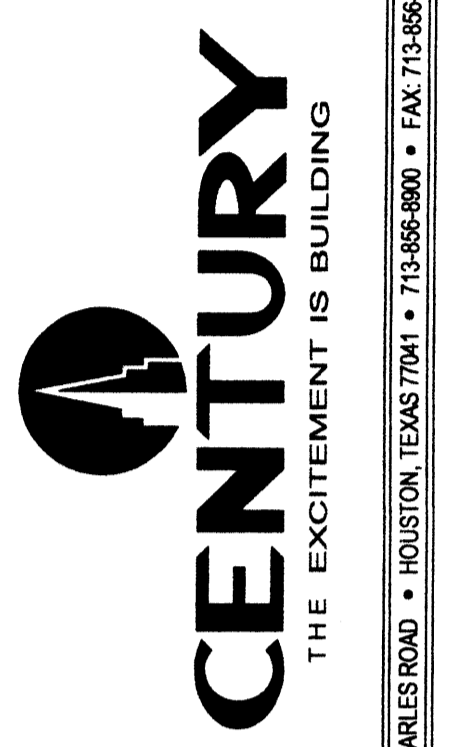
SOUTH ELEVATION



EAST-ELEVATION (FRONT)



William B. Livingston, AIA
 Architect
 Suite Two Forty-Four
 10575 Katy Freeway
 Houston, TX 77024
 Tel: (713) 722-8500
 Fax: (713) 463-9445



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INTERIM REVIEW ONLY
 Document incomplete: Not intended for permit or construction.
 Architect: WILLIAM B. LIVINGSTON
 Registration No.: NM 762
 Expiration Date: _____
 Issue Date: _____

FIRST FAMILY CHURCH
 ALBUQUERQUE, NEW MEXICO

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT PHASE 1 ELEVATIONS

JOB NO. 050017 **SHEET**
 DATE 08/16/04 **4B**
 DRAWN _____
 CHECKED _____
 EPC SUBMITTAL SET

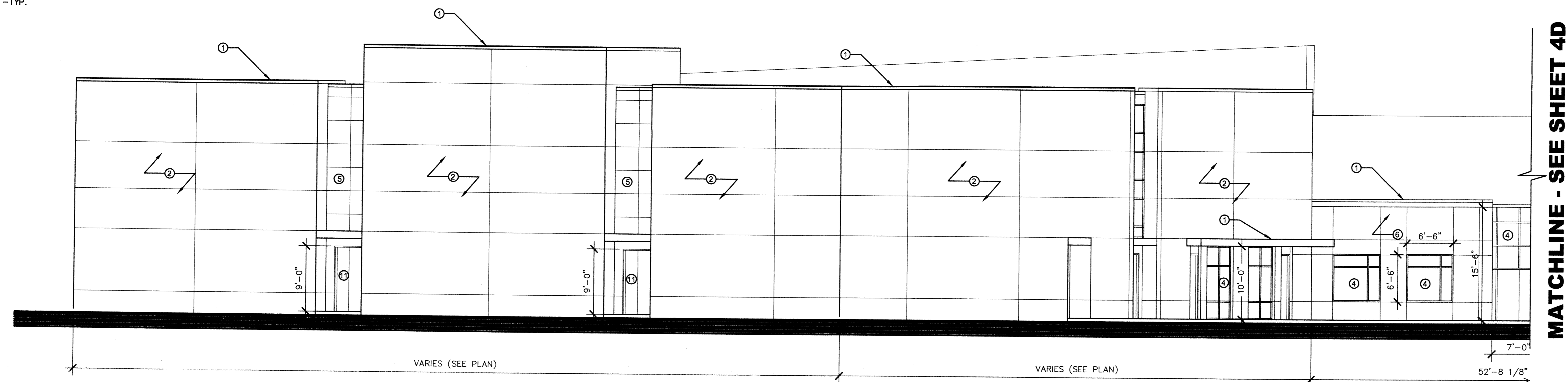
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 August 13, 2004 - 8:24am
 Layout1

MATERIAL KEY

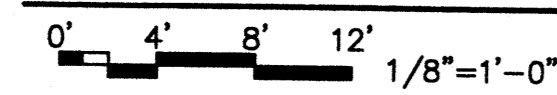
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- ⑤ PAINTED METAL PANEL (GREY COLOR)
- ⑥ EIFS (DARK BEIGE COLOR)
- ⑦ EIFS WITH 1"x1" CONTINUOUS REVEALS BOTH DIRECTIONS (C)
- ⑧ PAINTED METAL LOUVERS (GREY COLOR)
- ⑨ PAINTED METAL CANOPY WITH STEEL SUPPORTS -TYP. (COLOR TO MATCH BLUE-GREY OF ROOF)
- ⑩ PAINTED METAL HANDRAIL WITH STEEL SUPPORTS -TYP. (COLOR TO MATCH BLUE-GREY OF ROOF)
- ⑪ PAINTED METAL DOORS -TYP. (COLOR TO MATCH ADJACENT SURFACES)

NOTES:

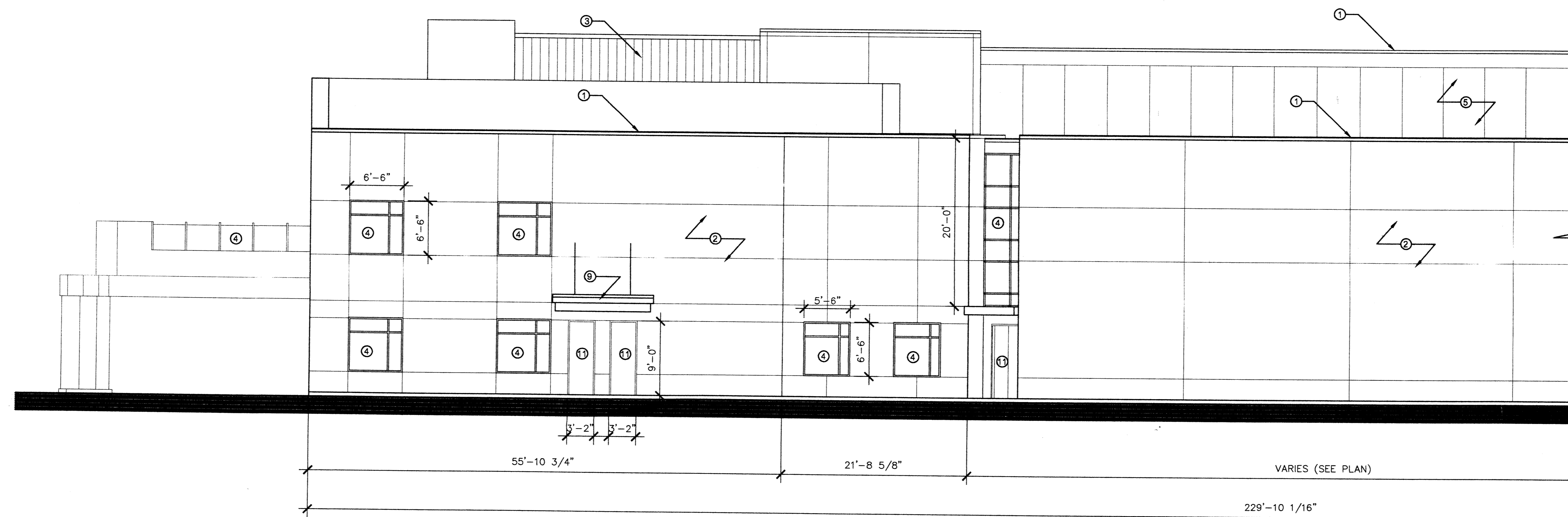
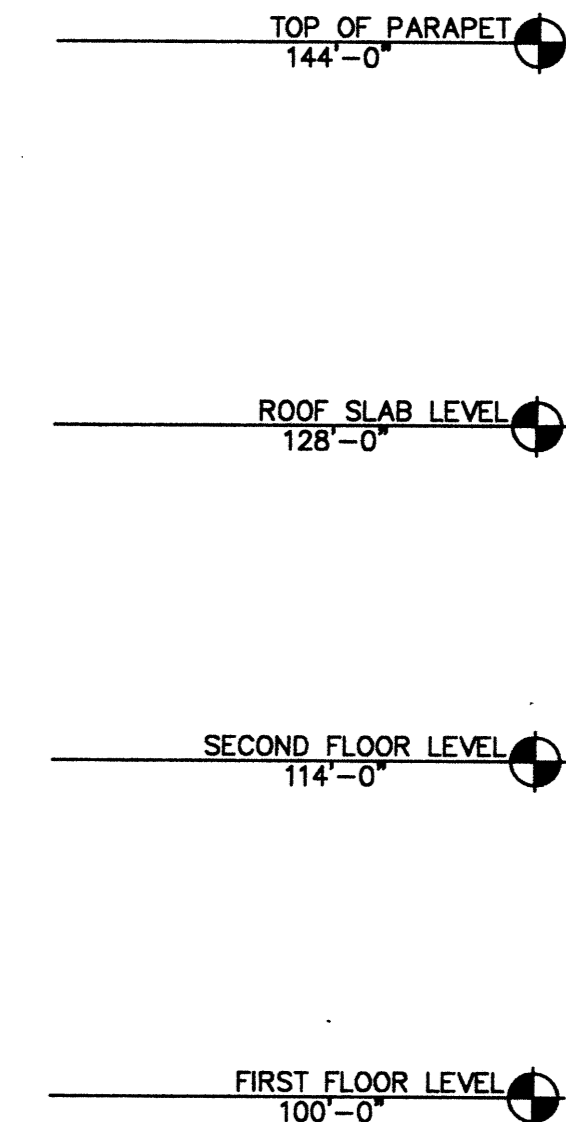
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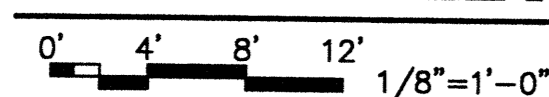
WEST ELEVATION



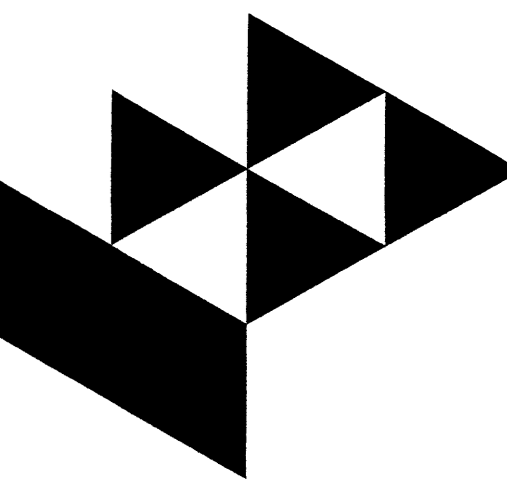
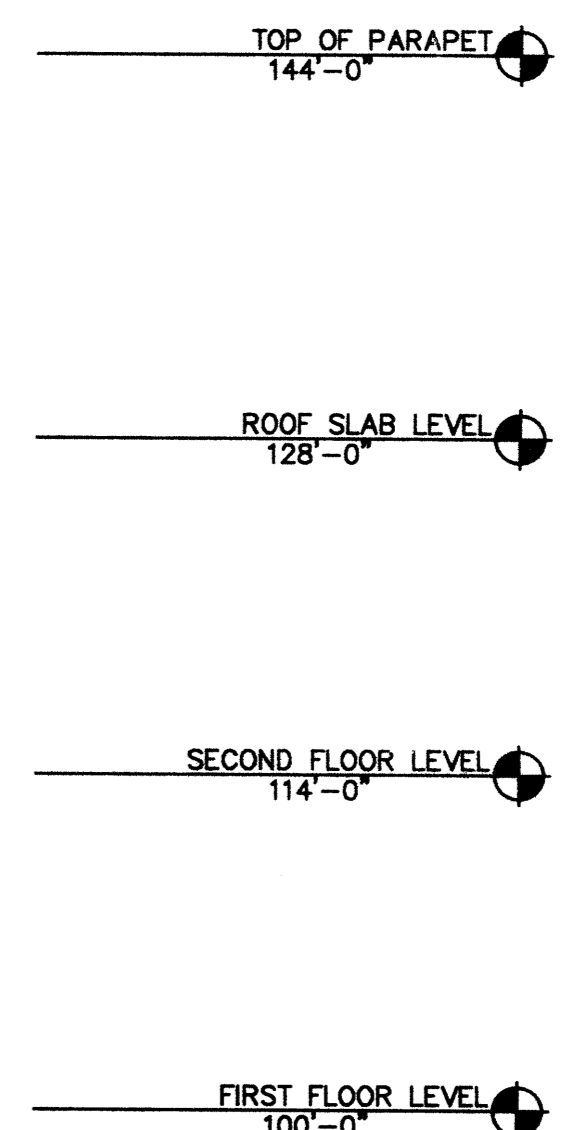
MATCHLINE - SEE SHEET 4D



NORTH ELEVATION

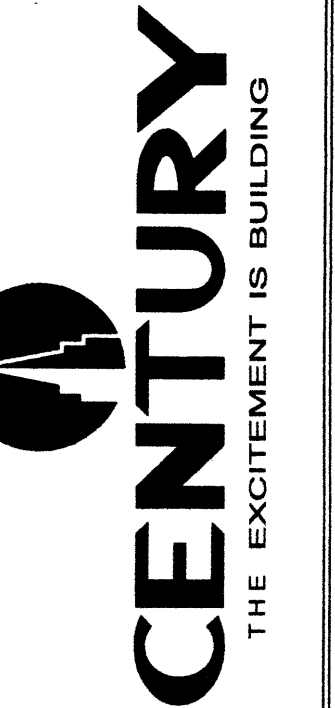


MATCHLINE - SEE SHEET 4D



William B. Livingston, AIA

Architect
 Site: The Family
 10575 Katy Frey
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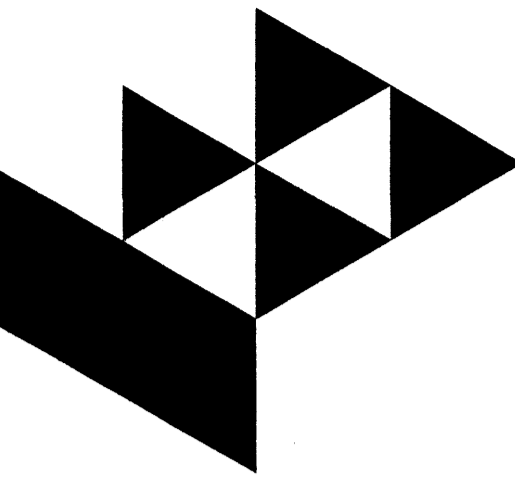
FIRST FAMILY CHURCH

ALBUQUERQUE, NEW MEXICO

**SITE DEVELOPMENT
 PLAN FOR
 BUILDING PERMIT
 PHASE 1
 ELEVATIONS**

JOB NO. 050017 **SHEET**
 DATE 08/16/04
 DRAWN **4C**
 CHECKED

EPC SUBMITTAL SET



William B. Livingston, AIA

Architect
Suite 100
19575 Katy Frey
Houston, TX 77074
Tel (713) 722-8000
Fax (713) 463-9485



THE EXCITEMENT IS BUILDING
11250 CHARLES ROAD • HOUSTON, TEXAS 77036 • TEL 713-566-8800 • FAX 713-566-8899

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ALBUQUERQUE, NEW MEXICO

SITE DEVELOPMENT
PLAN FOR
BUILDING PERMIT
PHASE 1
ELEVATIONS

JOB NO. 050017 SHEET
DATE 08/16/04 4D
DRAWN
CHECKED

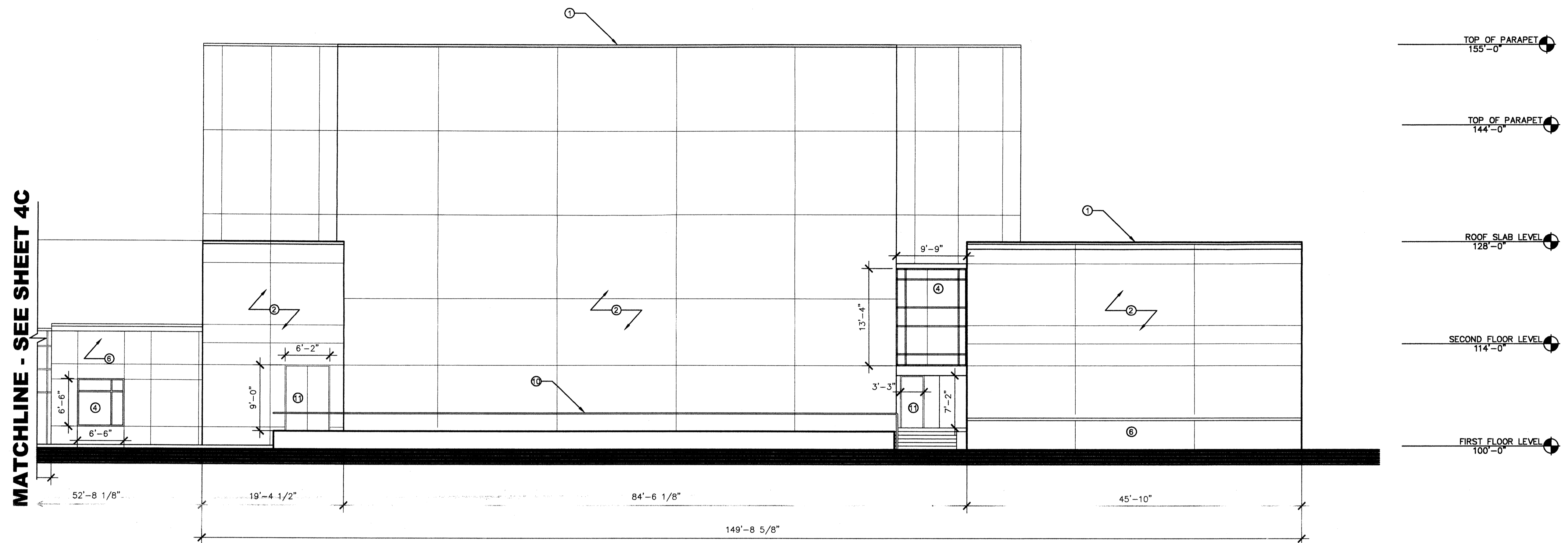
EPC SUBMITTAL SET

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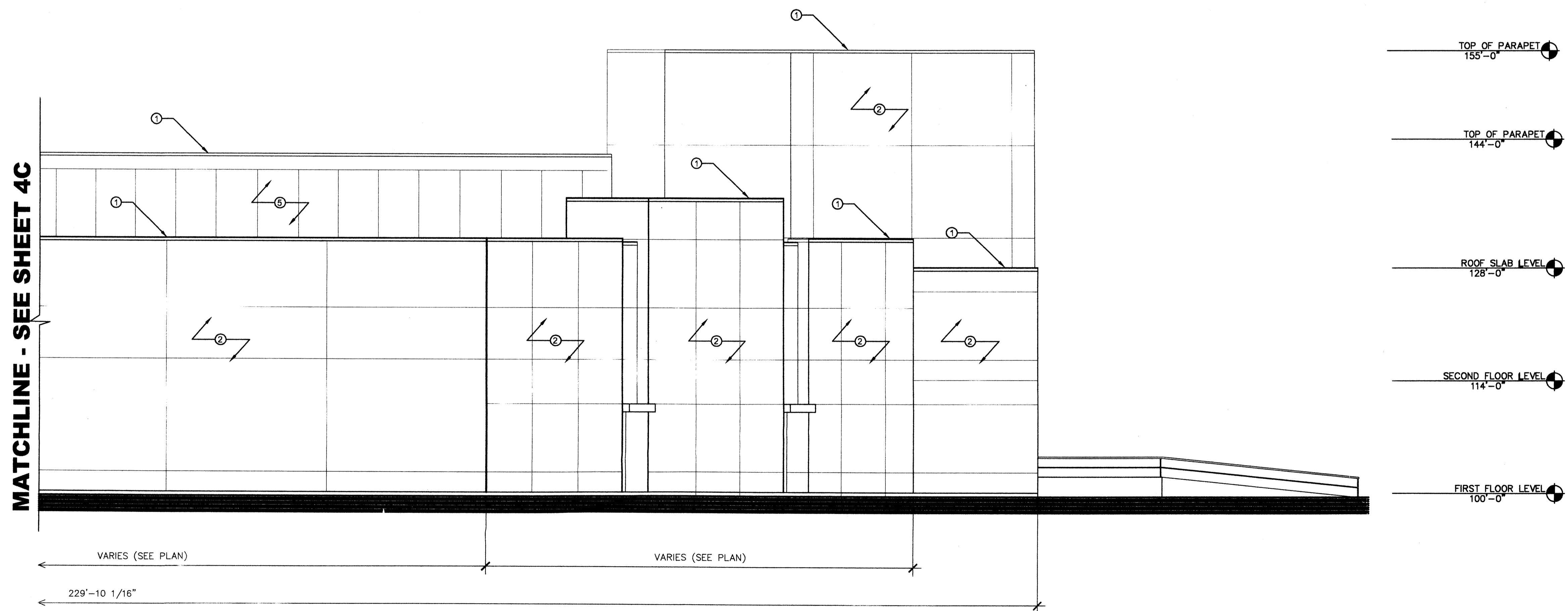
NOTES

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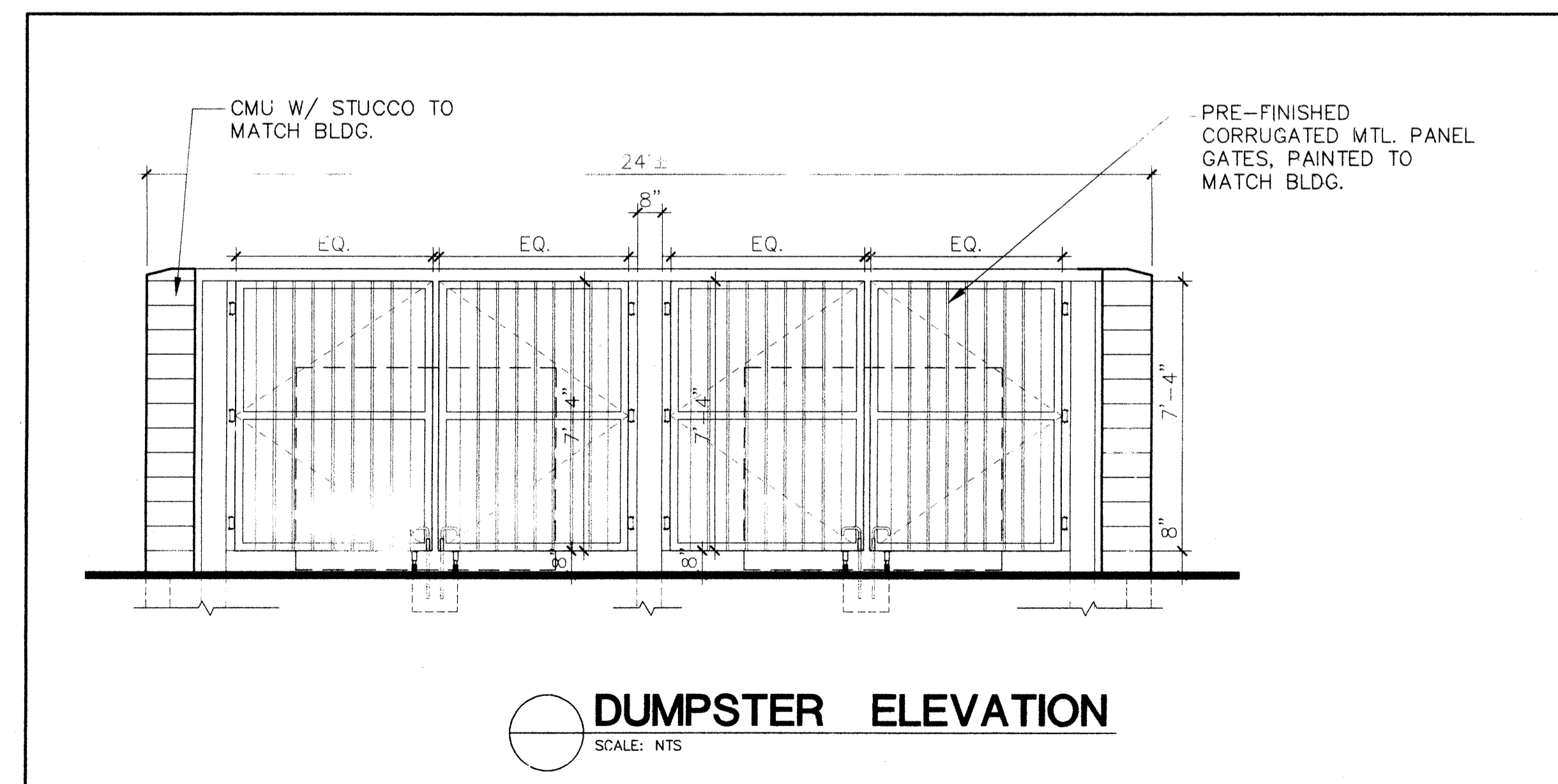
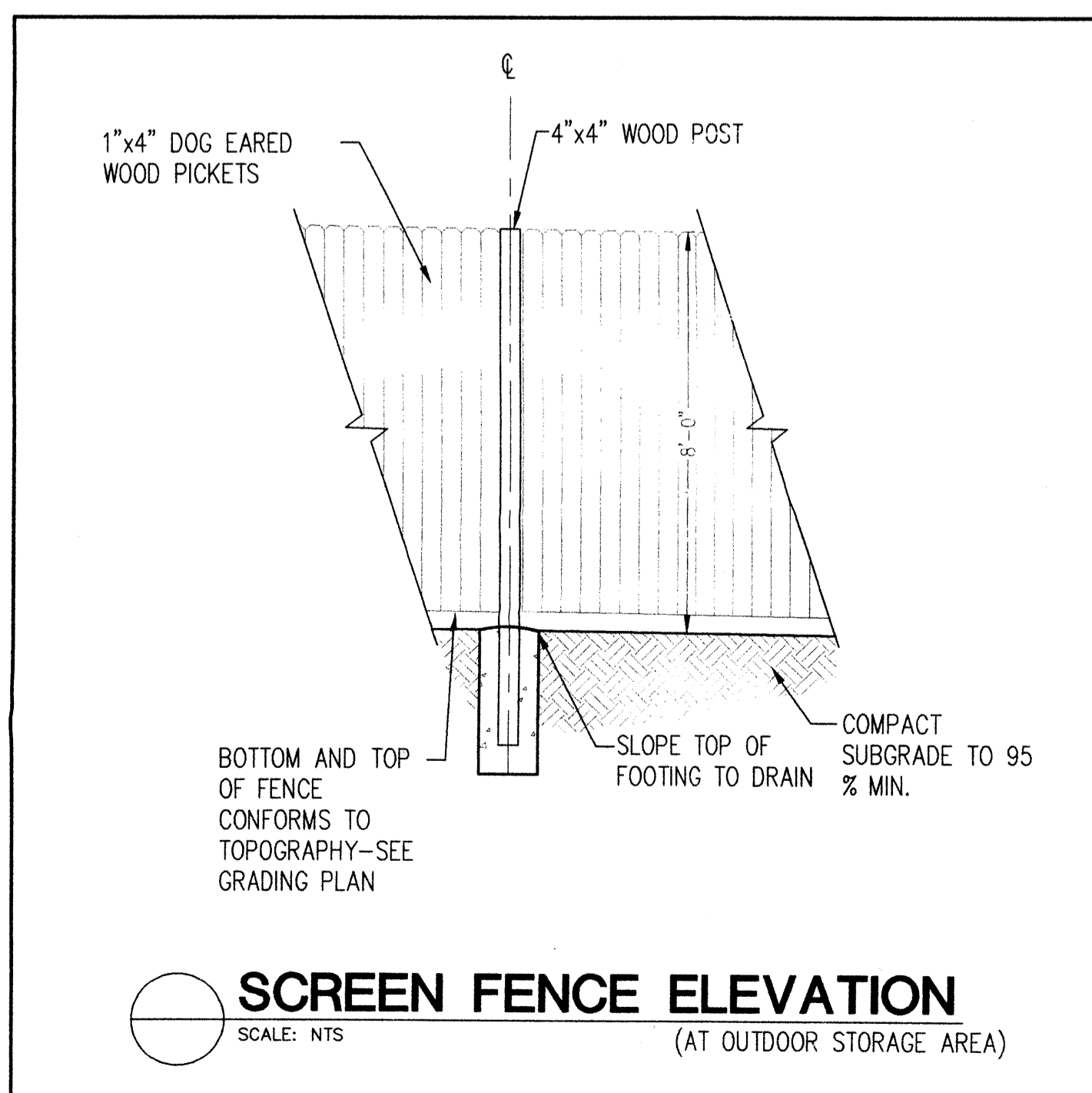
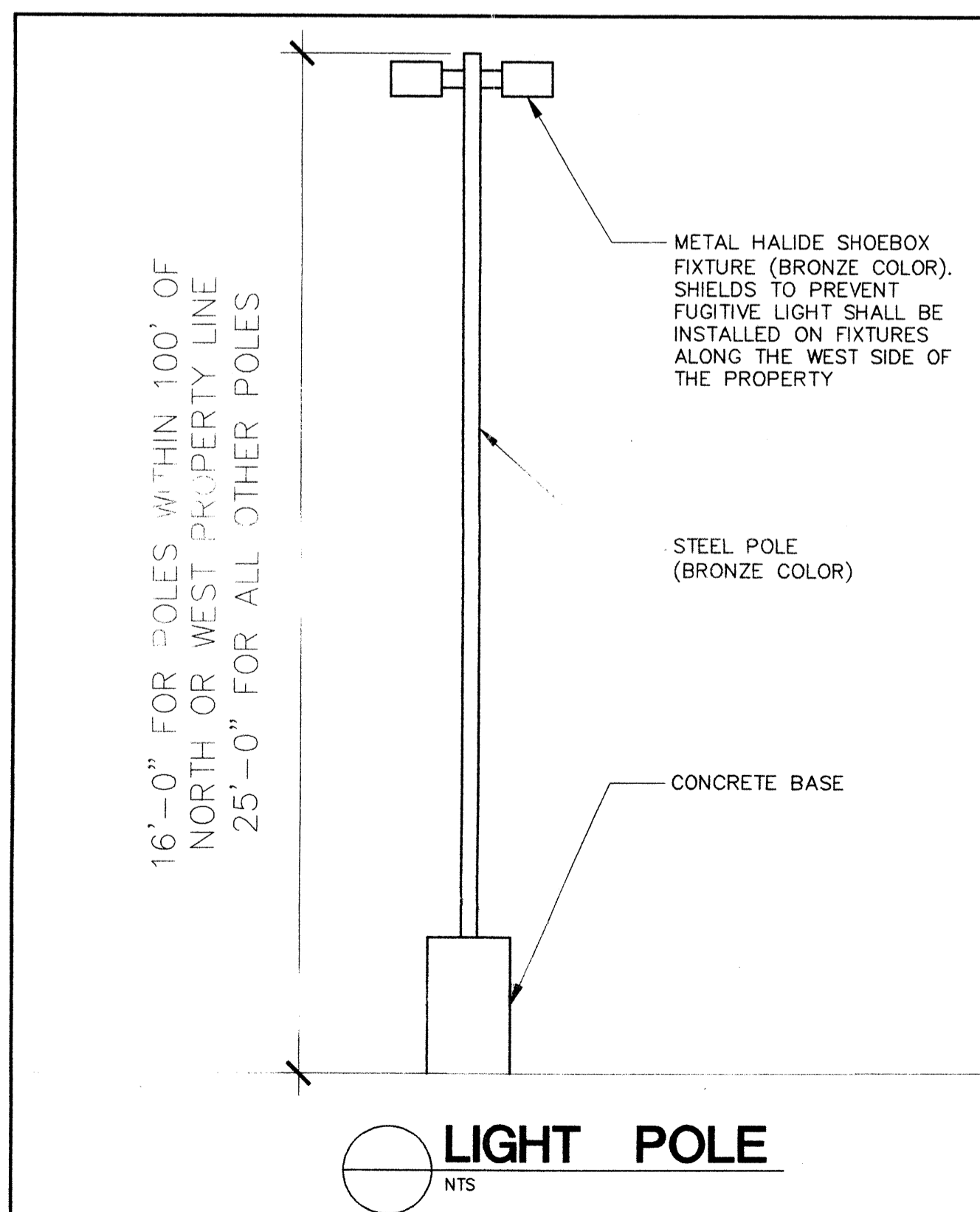
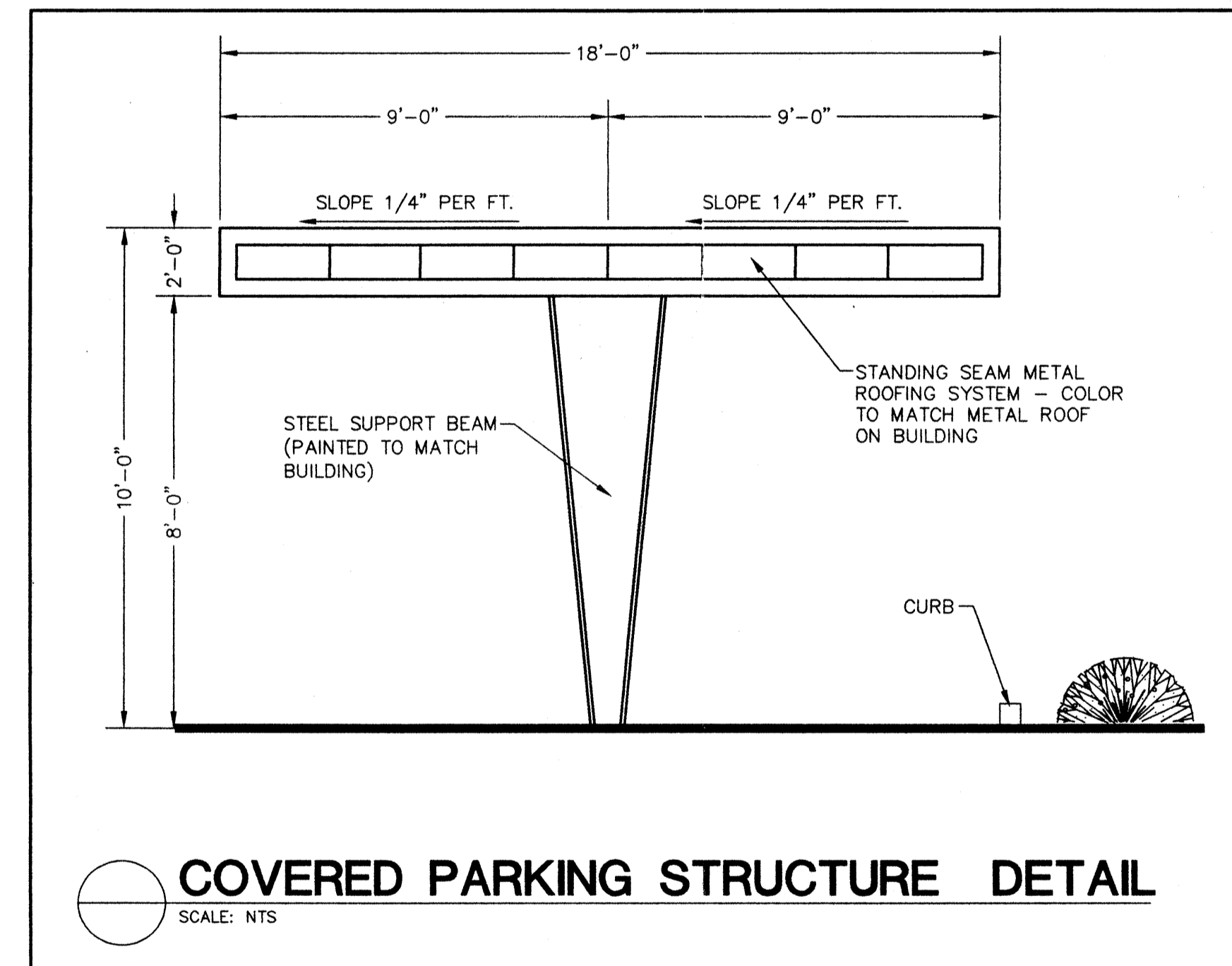
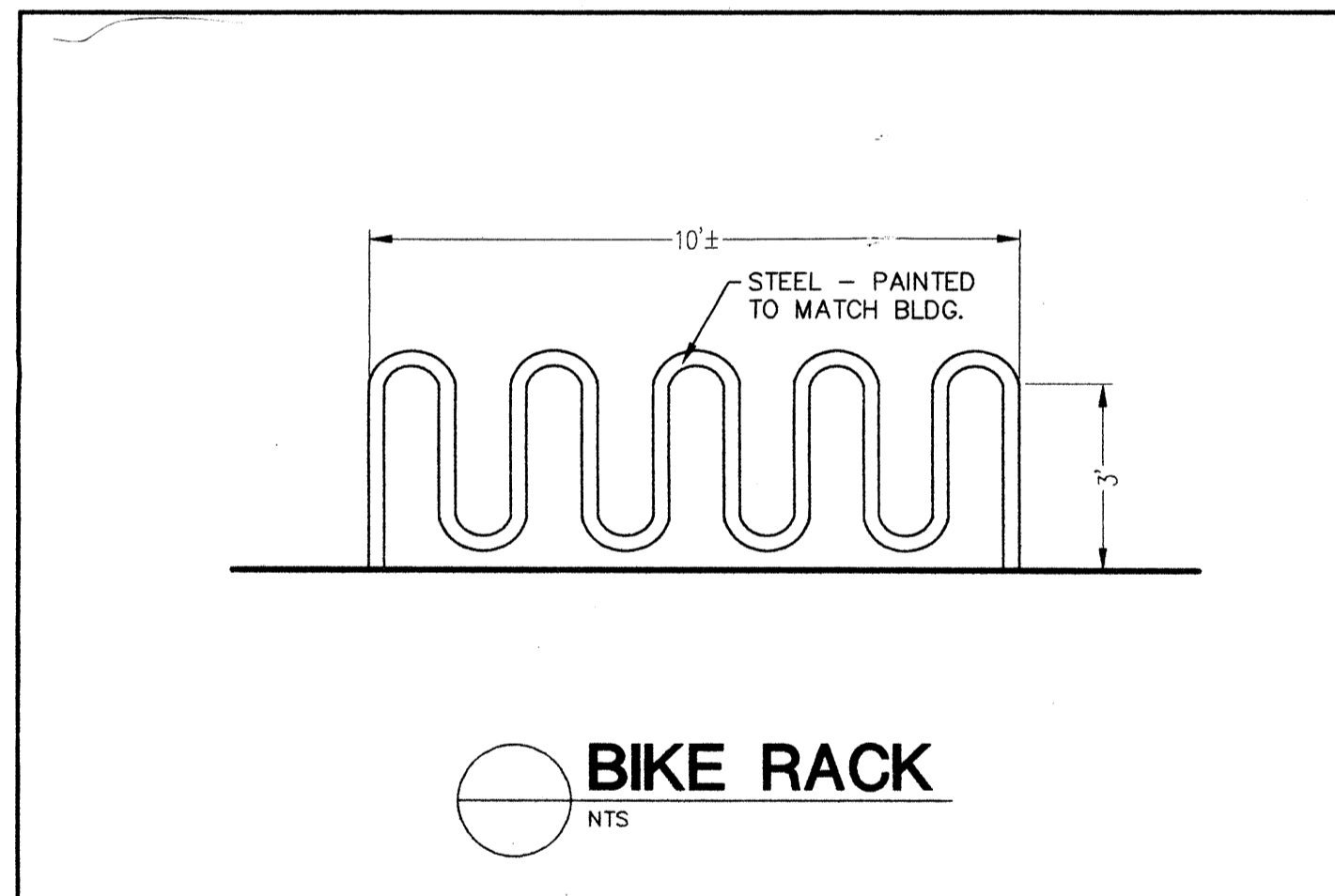
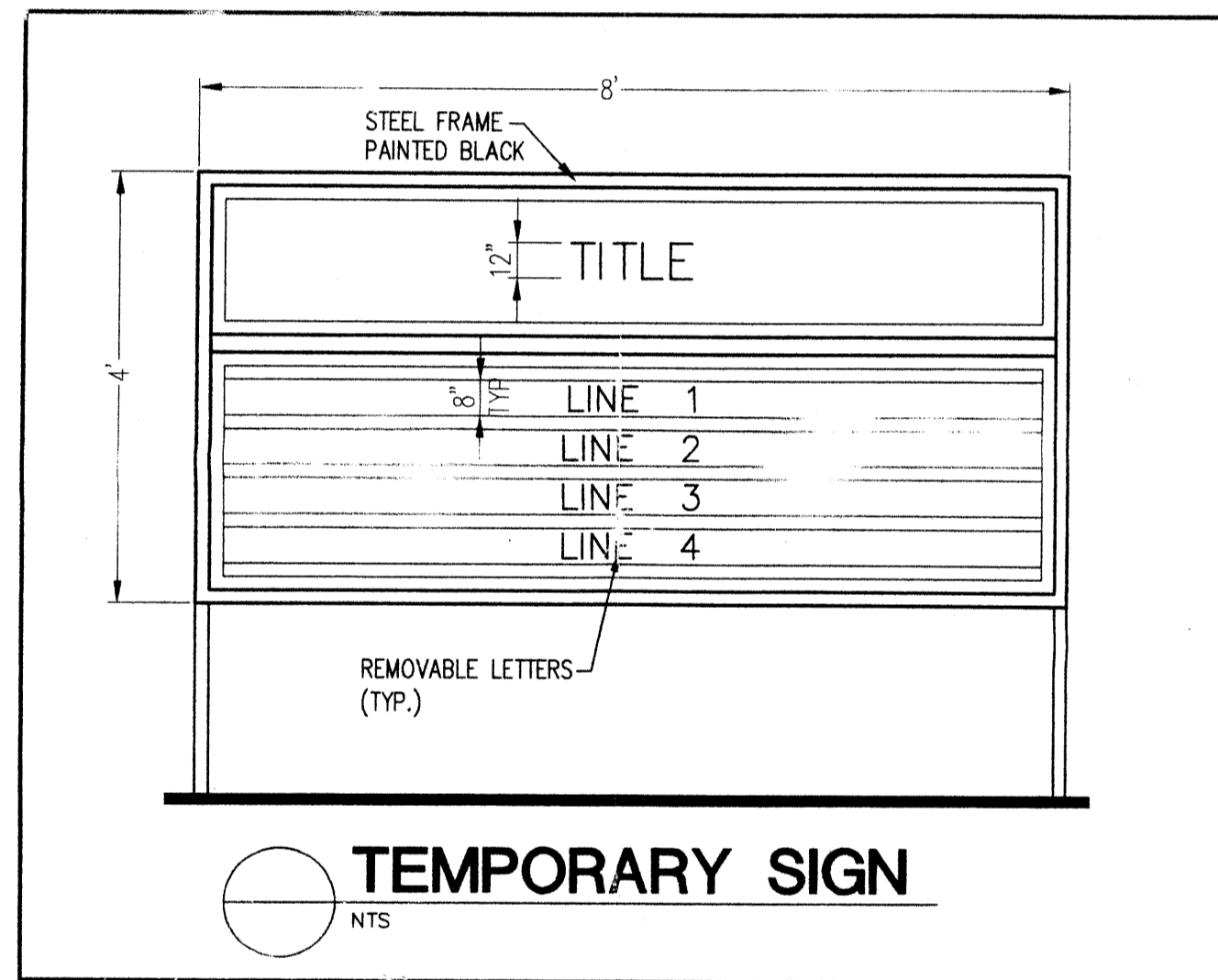
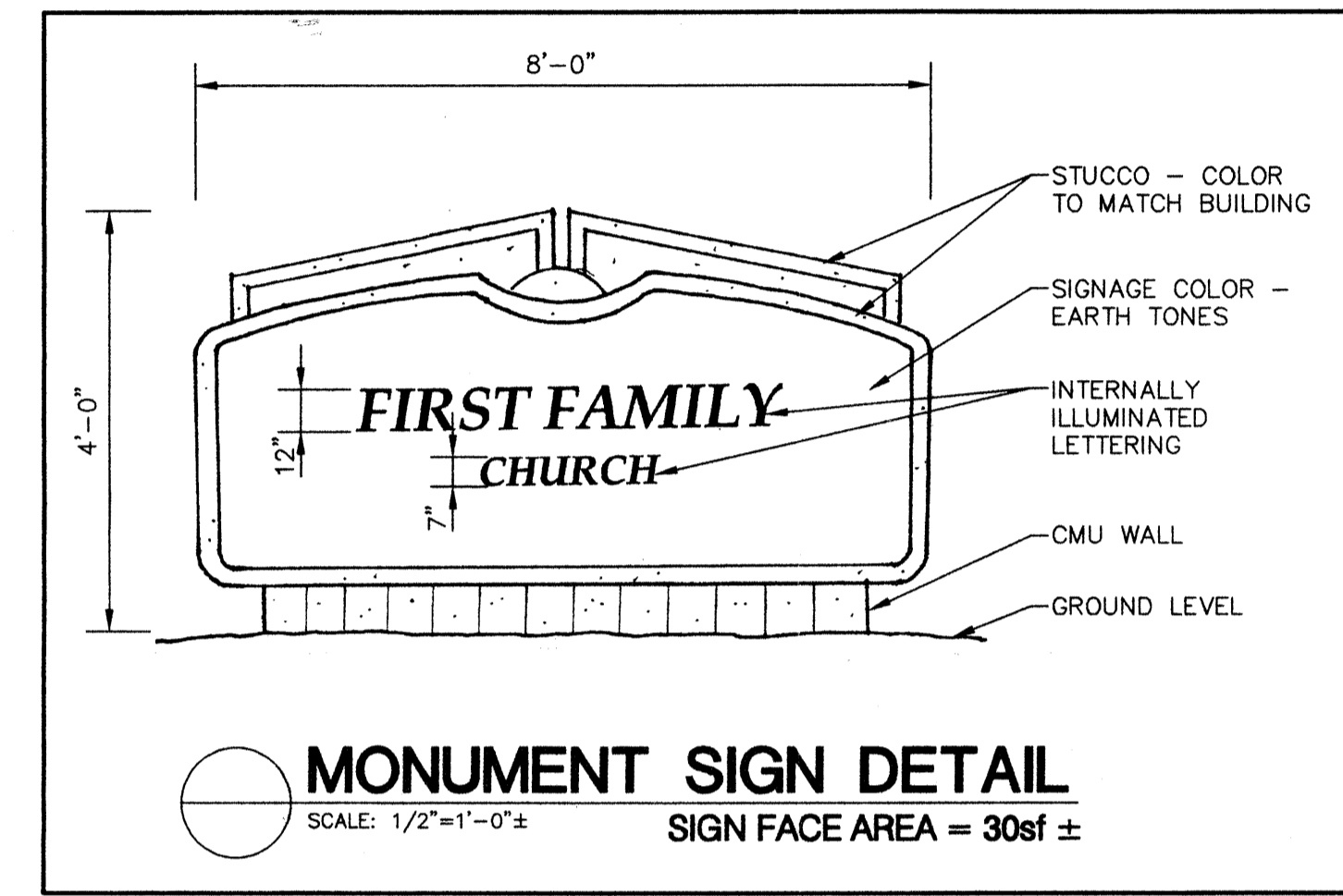
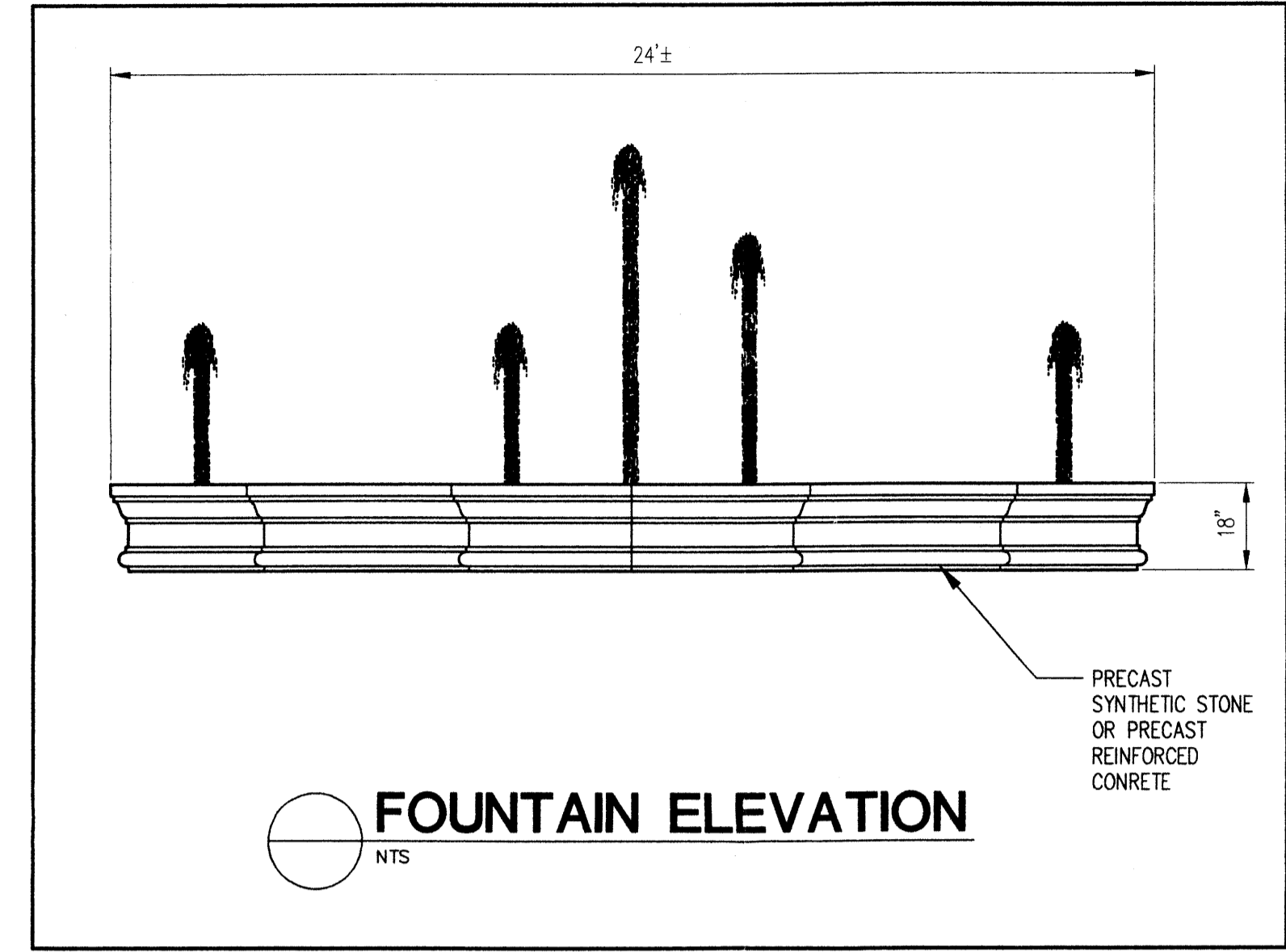
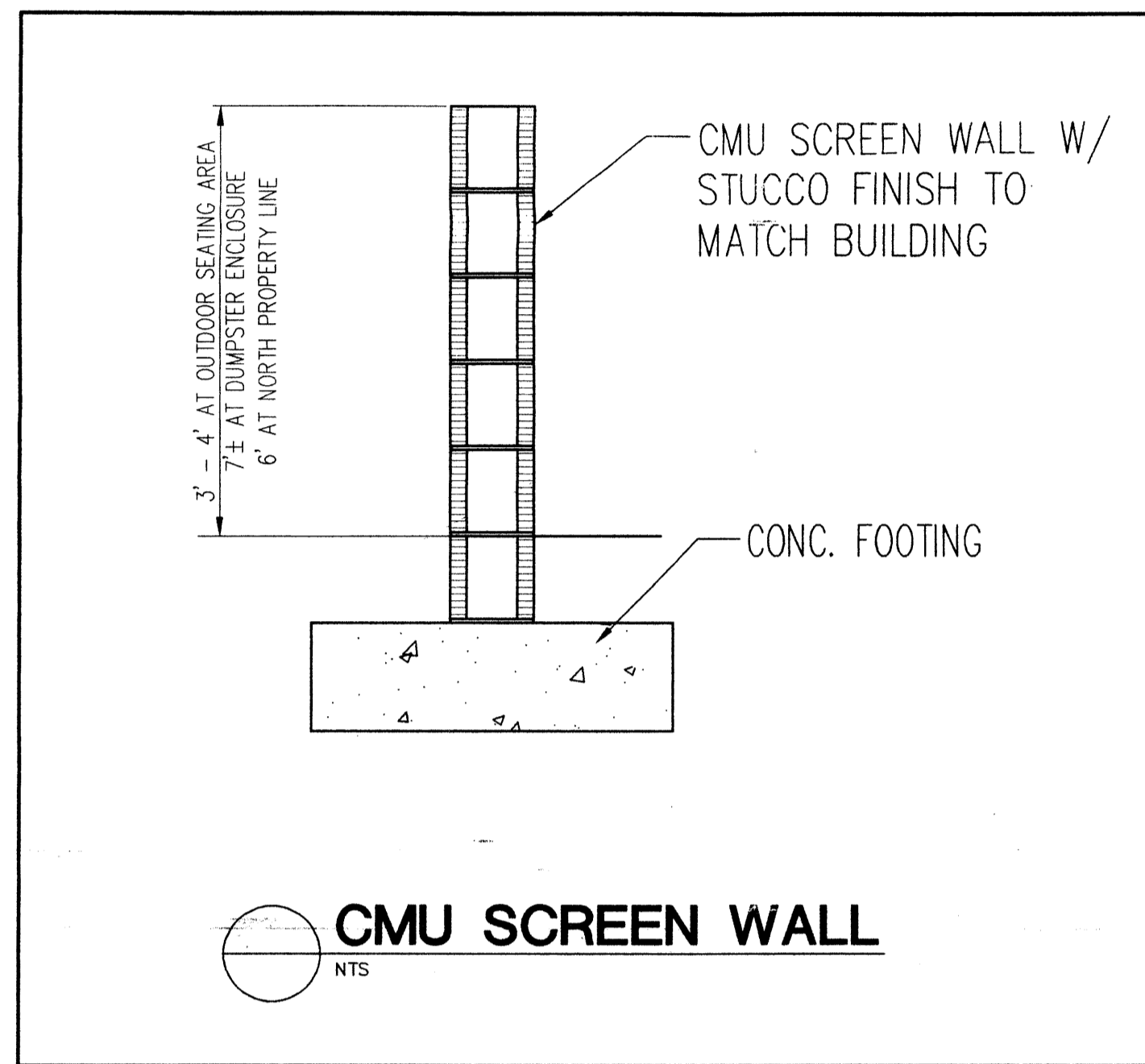
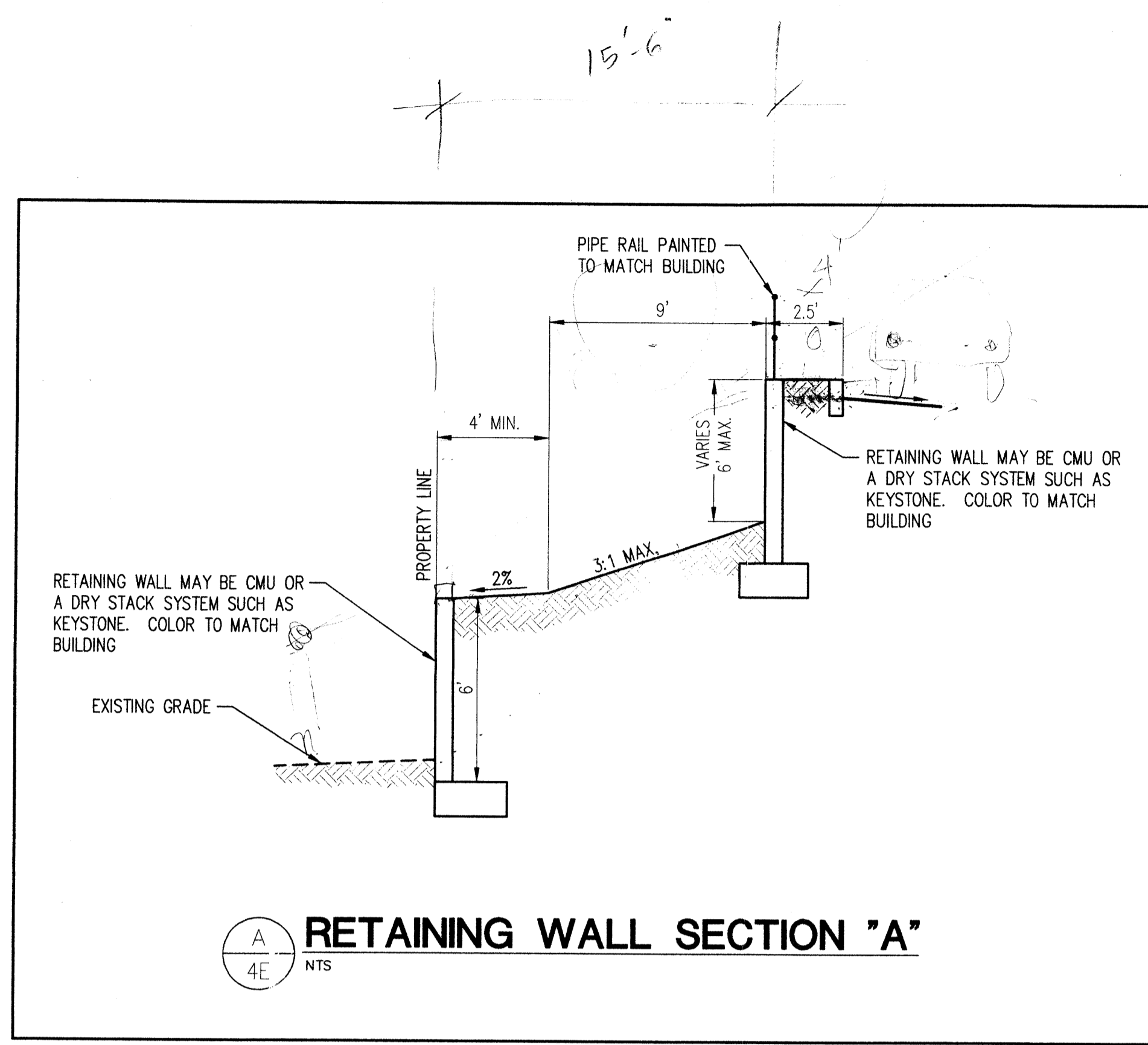
WEST ELEVATION

0' 4' 8' 12' 1/8"=1'-0"

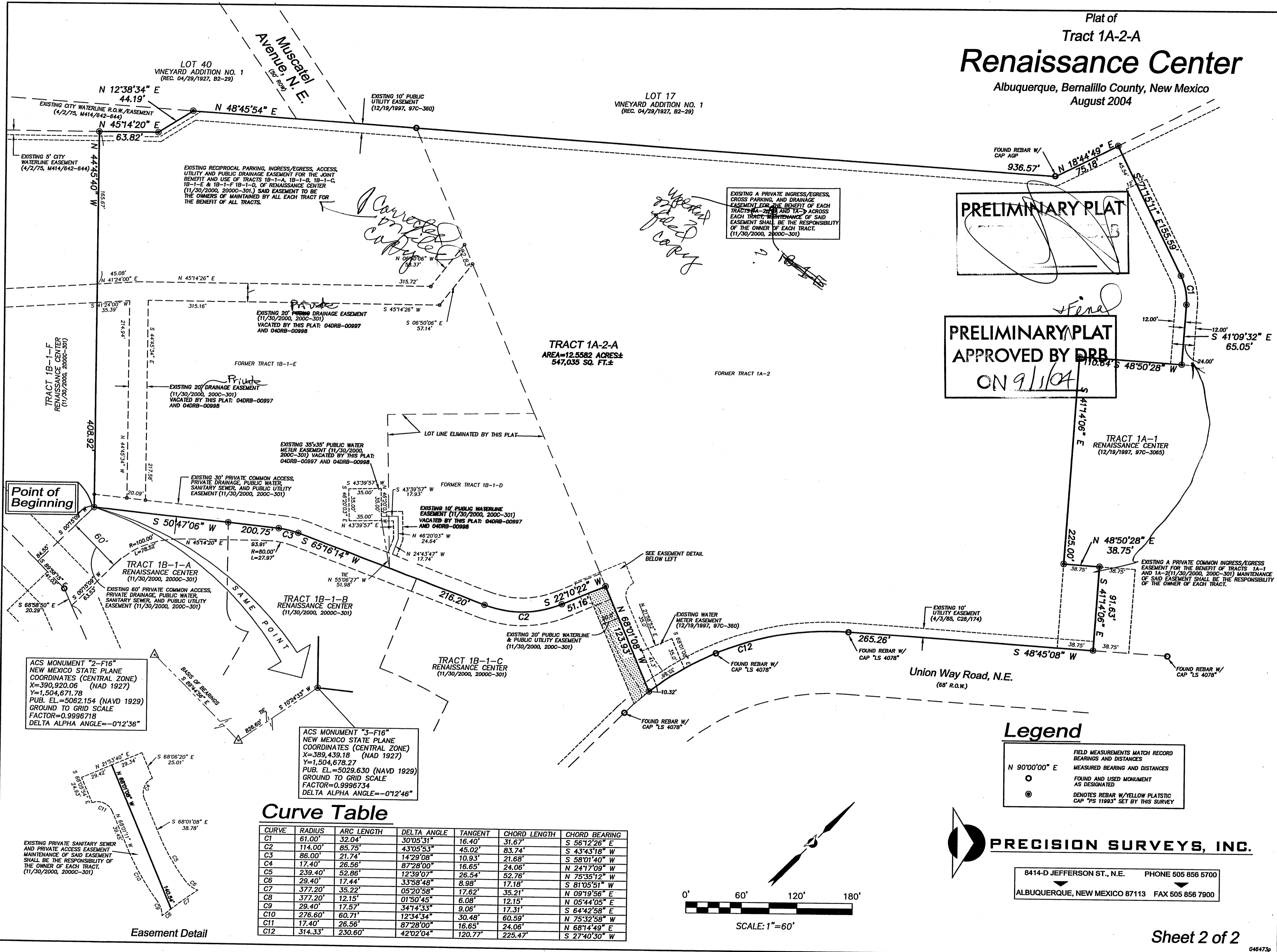


NORTH ELEVATION

0' 4' 8' 12' 1/8"=1'-0"



Plat of
Tract 1A-2-A
Renaissance Center
Albuquerque, Bernalillo County, New Mexico
August 2004



PRELIMINARY PLAT

PRELIMINARY PLAT
APPROVED BY DRB
ON 9/1/04

Point of Beginning

ACS MONUMENT "2-F16"
NEW MEXICO STATE PLANE
COORDINATES (CENTRAL ZONE)
X=390,920.06 (NAD 1927)
Y=1,504,671.78
PUB. EL.=5062.154 (NAVD 1929)
GROUND TO GRID SCALE
FACTOR=0.9996718
DELTA ALPHA ANGLE=-0°12'36"

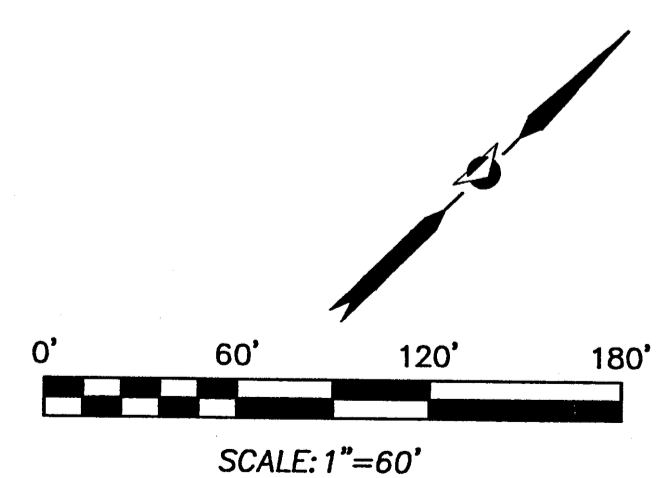
ACS MONUMENT "3-F16"
NEW MEXICO STATE PLANE
COORDINATES (CENTRAL ZONE)
X=389,439.18 (NAD 1927)
Y=1,504,678.27
PUB. EL.=5029.630 (NAVD 1929)
GROUND TO GRID SCALE
FACTOR=0.9996734
DELTA ALPHA ANGLE=-0°12'46"

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	61.00'	32.04'	30°05'31"	16.40'	31.67'	S 56°12'26" E
C2	114.00'	85.75'	43°05'53"	45.02'	83.74'	S 43°43'18" W
C3	86.00'	21.74'	14°29'08"	10.93'	21.68'	S 58°01'40" W
C4	17.40'	26.56'	87°28'00"	16.65'	24.06'	N 24°17'09" W
C5	239.40'	52.86'	12°39'07"	26.54'	52.76'	N 75°35'12" W
C6	29.40'	17.44'	33°58'48"	8.98'	17.18'	S 81°05'51" E
C7	377.20'	35.22'	05°20'58"	17.62'	35.21'	N 09°19'56" E
C8	377.20'	12.15'	01°50'45"	6.08'	12.15'	N 05°44'05" E
C9	29.40'	17.57'	34°14'33"	9.06'	17.31'	S 64°42'58" E
C10	276.60'	60.71'	12°34'34"	30.48'	60.59'	N 75°32'58" W
C11	17.40'	26.56'	87°28'00"	16.65'	24.06'	N 68°14'49" E
C12	314.33'	230.60'	42°02'04"	120.77'	225.47'	S 27°40'30" W

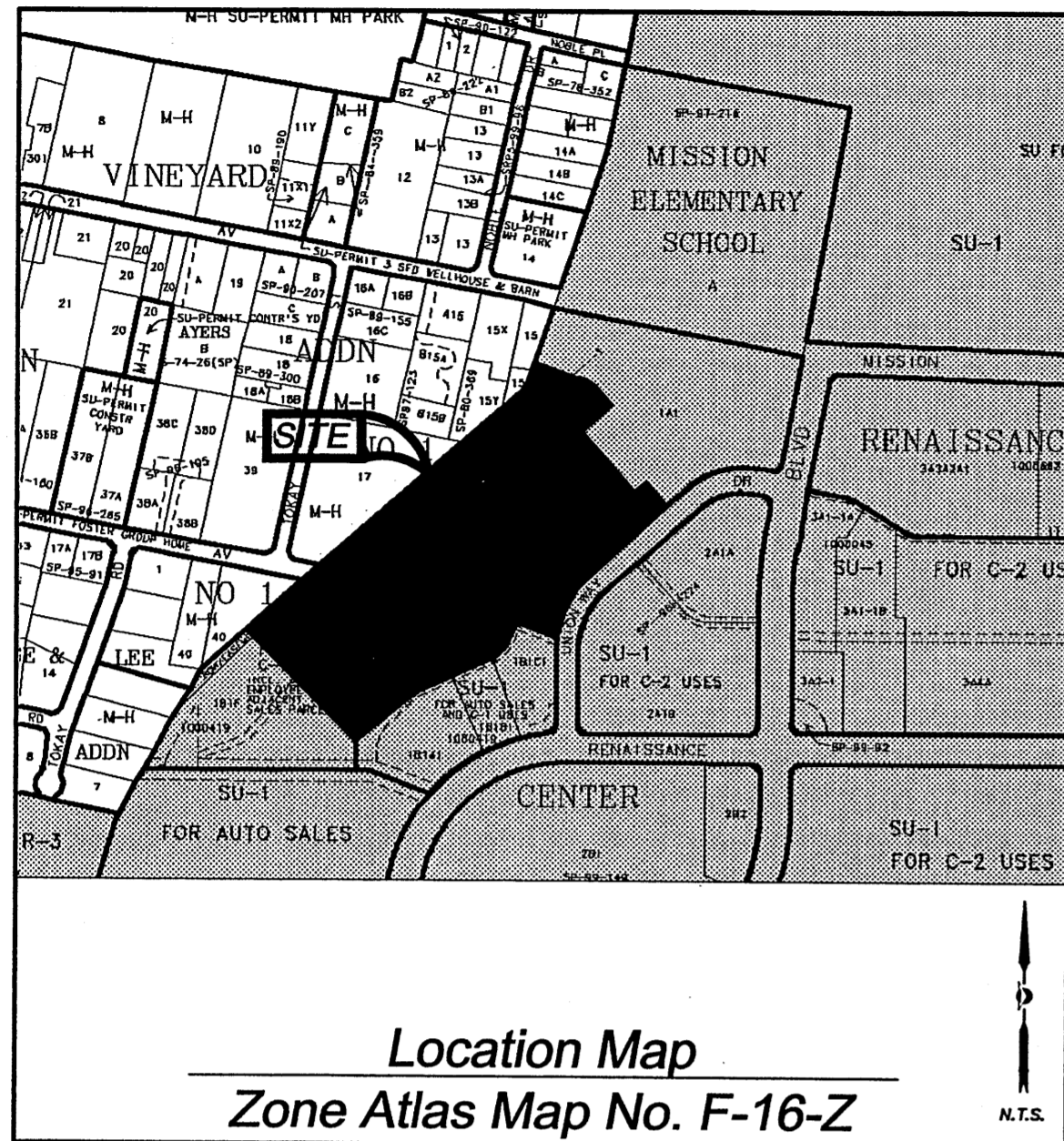
Legend

- FIELD MEASUREMENTS MATCH RECORD BEARINGS AND DISTANCES
- MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES REBAR W/ YELLOW PLASTIC CAP "PS 11893" SET BY THIS SURVEY



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



Location Map
Zone Atlas Map No. F-16-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 12.5552 ACRES±
 ZONE ATLAS INDEX NO: F-16-Z
 NO. OF TRACTS CREATED: 1
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: AUGUST 2004

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING THREE TRACTS INTO ONE NEW TRACT AND TO VACATE EASEMENTS

Notes:

- MISC. DATA: SU-1 FOR R-3 USES (AS TO FORMER TRACT 1A-2) & SU-1 FOR R-3 AND C-1 USES (AS TO TRACTS 1B-E AND 1B-1-D)
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 34, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2004334026.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRICAL TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEAR DOOR AND FIVE FEET (5') ON EACH SIDE.
 IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 34, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT 1A-2, RENAISSANCE CENTER, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 1997, IN VOLUME 97C, FOLIO 360, TOGETHER WITH TRACTS 1B-1-D AND 1B-1-E, RENAISSANCE CENTER, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 30, 2000, IN VOLUME 2000C, FOLIO 301, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) AND GROUND DISTANCE (U.S. SURVEY FOOT) AS FOLLOWS:

- BEGINNING AT THE SOUTHWEST CORNER OF DESCRIBED TRACT, FROM WHENCE A TIE TO THE ALBUQUERQUE CONTROL SURVEY MONUMENT "3-F16" BEARS S 10°24'33" W, A DISTANCE OF 826.60 FEET, SAID MONUMENT HAVING NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE, NORTH AMERICA)
- THENCE, FROM SAID POINT OF BEGINNING, N 44°45'40" W, A DISTANCE OF 408.92 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE N 45°14'20" E, A DISTANCE OF 63.82 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE N 12°38'34" E, A DISTANCE OF 44.19 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE N 48°45'54" E, A DISTANCE OF 936.57 FEET TO A FOUND REBAR WITH CAP STAMPED "AGP";
- THENCE N 18°44'49" E, A DISTANCE OF 75.18 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE S 71°15'11" E, A DISTANCE OF 155.59 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 32.04 FEET, A RADIUS OF 61.00 FEET, A CHORD BEARING OF S 56°12'26" E, A DISTANCE OF 31.67 FEET, AND A DELTA ANGLE OF 30°05'31", TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE S 41°09'32" E, A DISTANCE OF 65.05 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE S 48°50'28" W, A DISTANCE OF 110.64 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE S 41°14'06" E, A DISTANCE OF 225.00 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE N 48°50'28" E, A DISTANCE OF 38.75 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE S 41°14'06" E, A DISTANCE OF 91.63 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993" LYING ON THE NORTH RIGHT OF WAY LINE OF UNION WAY ROAD, N.E.;
- THENCE, THE FOLLOWING TWO CALLS LYING ALONG SAID NORTH RIGHT OF WAY LINE, S 48°45'08" W, A DISTANCE OF 265.26 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 4078";
- THENCE ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 230.60 FEET, A RADIUS OF 314.33 FEET, A CHORD BEARING OF S 27°40'30" W, A DISTANCE OF 225.47 FEET, AND A DELTA ANGLE OF 42°02'04", TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE, LEAVING SAID NORTH RIGHT OF WAY LINE, N 68°01'08" W, A DISTANCE OF 123.93 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE S 22°10'22" W, A DISTANCE OF 51.16 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 85.75 FEET, A RADIUS OF 114.00 FEET, A CHORD BEARING OF S 43°43'18" W, A DISTANCE OF 83.74 FEET, AND A DELTA ANGLE OF 43°05'53", TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE S 65°16'14" W, A DISTANCE OF 216.20 FEET TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 21.74 FEET, A RADIUS OF 86.00 FEET, A CHORD BEARING OF S 58°01'40" W, A DISTANCE OF 21.68 FEET, AND A DELTA ANGLE OF 14°29'08", TO A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993";
- THENCE S 50°47'06" W, A DISTANCE OF 200.75 FEET TO THE POINT OF BEGINNING, HAVING AN AREA OF 12.5582 ACRES, (547,034 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACT 1A-2-A, RENAISSANCE CENTER.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Sean C. Walker
 SEAN C. WALKER
 VICE PRESIDENT
 BANK OF ALBUQUERQUE, N.A.-TRUSTEE
 UNION PENSION TRANSACTION TRUST 93-2, NM

8/19/04
 DATE

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 19th DAY OF August, 2004 BY SEAN C. WALKER, VICE PRESIDENT, BANK OF ALBUQUERQUE, N.A.-TRUSTEE. UNION PENSION TRANSACTION TRUST 93-2, NM.

BY *Toni-Leir Ponc*
 TONI-LEIR PONC
 NOTARY PUBLIC, STATE OF NEW MEXICO
 My commission expires: Sept 9, 2006

RECORDING STAMP

Plat of
 Tract 1A-2-A
Renaissance Center

Albuquerque, Bernalillo County, New Mexico
 August 2004

Project No. _____
 Application No. _____

Utility Approvals

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE

City Approvals

<i>M.B. Ford</i> CITY SURVEYOR	8-24-04 DATE
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 8/17/04
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

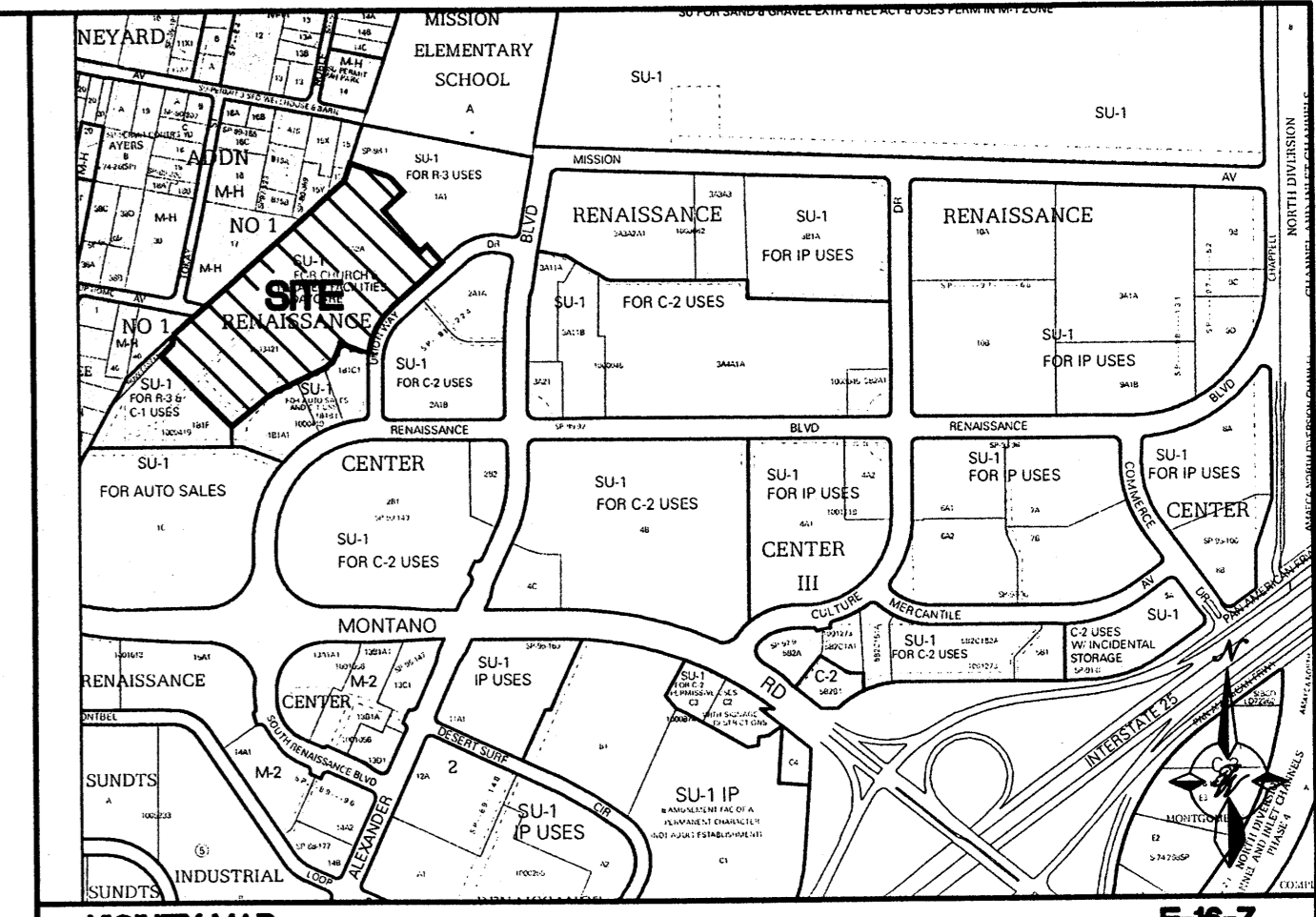
GENERAL DESIGN STANDARDS:

SITE DATA, LIGHTING AND SIGNS:

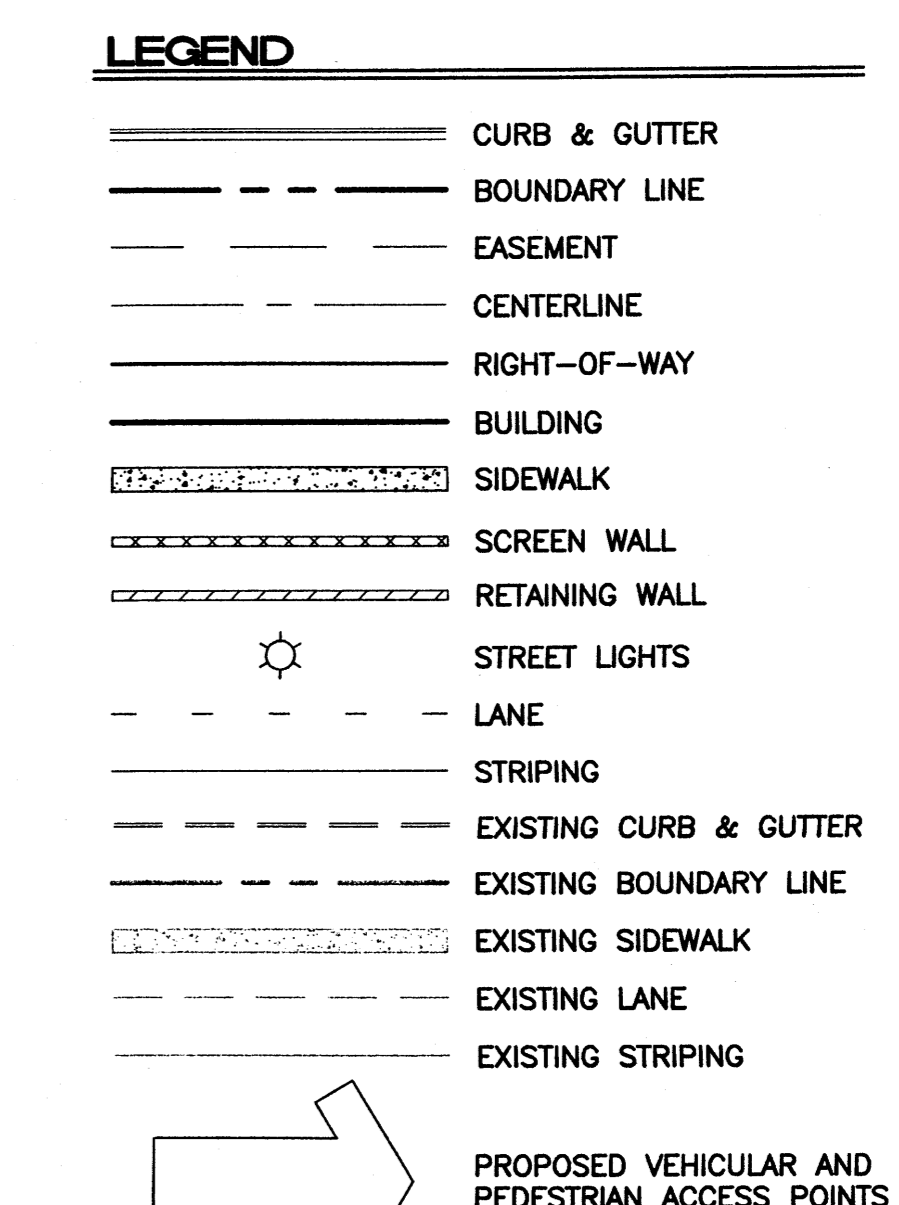
- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- NEW LIGHTING SHALL BE FULL CUT OFF FIXTURES (I.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
- 15' HIGH LIGHTING POLES SHALL BE PLACED ALONG MAIN PEDESTRIAN WALKWAY AREAS AND 20' HIGH LIGHTING ELSEWHERE WITHIN THE PARKING AREA. MAX. 16' POLE HEIGHT IF WITHIN 100' OF RESIDENTIAL ZONE. FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON BUILDING SIGNAGE.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- ALL SIGNS SHALL ADHERE TO THE SIGNAGE REGULATIONS FOUND IN THE RENAISSANCE MASTER PLAN.
- STREETSCAPE ALONG UNION WAY ROAD NE AS WELL AS WITHIN THE PROJECT WILL ENCOURAGE USERS TO PARK ONCE AND WALK TO MORE THAN ONE DESTINATION. IT WILL ALSO ENCOURAGE NEARBY RESIDENTS AND EMPLOYEES FROM THE ADJOINING MULTI-FAMILY DEVELOPMENT AND EMPLOYMENT CENTERS TO WALK RATHER THAN DRIVE TO THIS DEVELOPMENT.
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS WILL BE GRANTED BY PLATTING ACTION WITH THIS PROJECT.
- PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING ALL OUTDOOR PUBLIC SPACES.
- THIS DEVELOPMENT SHALL FOLLOW SUSTAINABILITY PRINCIPLES WHERE APPROPRIATE TO INCLUDE BUT NOT BE LIMITED TO THE USE OF BIOSWALES, PERMEABLE PAVEMENT, LED LIGHTING AND SOLAR PANELS, SHOULD AN AGREEMENT BE WORKED OUT WITH PNM.
- THE RESIDENTIAL USES WILL BE LOCATED ON THE NORTH SIDE OF THE PARCEL ADJACENT TO THE EXISTING RESIDENTIAL USES NORTH OF THE SITE. THE C-2 AND AUTO RELATED USES WILL BE LOCATED ON THE SOUTH SIDE.
- DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE CITY OF ALBUQUERQUE ZONING CODE AND THE RENAISSANCE MASTER DECLARATION RULES & REGULATIONS. WHERE THERE IS A CONFLICT THE MORE RESTRICTIVE OF THE STANDARDS SHALL APPLY.
- ALL FUTURE DEVELOPMENT OF THE SITE SHALL BE APPROVED BY THE EPC.
- ALL FUTURE DIVISIONS WILL PROVIDE INTERNAL, PEDESTRIAN, VEHICULAR CIRCULATION BETWEEN THE TRACTS PER RENAISSANCE MASTER DECLARATION RULES & REGULATIONS STANDARDS.

LANDSCAPING:

- ALL FUTURE USES WILL PROVIDE A 10 FT MINIMUM LANDSCAPE BUFFER BETWEEN TRACTS. THE 10 FT. LANDSCAPE BUFFER ON THE WESTERN BOUNDARY OF THE DEVELOPMENT SHALL BEGIN AT THE END OF THE 10 FT. EXISTING PUBLIC UTILITY EASEMENT. (SO THERE SHALL BE 20 FT. BETWEEN THE FAR WESTERN BOUNDARY AND ANY FUTURE BUILDINGS).
- ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH THE LANDSCAPING REQUIREMENTS IN THE RENAISSANCE MASTER DECLARATION AND RULES AND REGULATIONS, CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. ALL LANDSCAPING REQUIREMENTS IN THE RENAISSANCE MASTER DECLARATION AND RULES AND REGULATIONS SHALL BE FOLLOWED, EXCEPT THAT HIGH WATER USE TURF GRASSES AND TREES (SUCH AS KENTUCKY BLUEGRASS AND FESCUE, AND COTTONWOOD AND LONDON PLANE TREES) SHALL BE PROHIBITED. WASTE WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- FUTURE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT SHALL BE APPROVED BY THE EPC.
- CONCURRENT PLATTING ACTION IS REQUIRED BY THE DEVELOPMENT REVIEW BOARD.
- SCREENING OF THE PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT SHOULD BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. AS A CONDITION, ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. PLEASE REFER TO THE PNM ELECTRIC SERVICE GUIDE FOR SPECIFICATIONS.

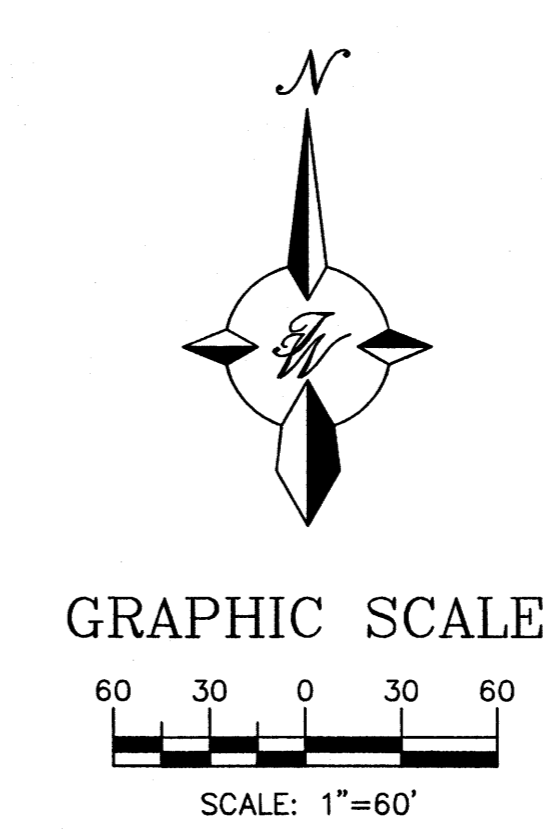
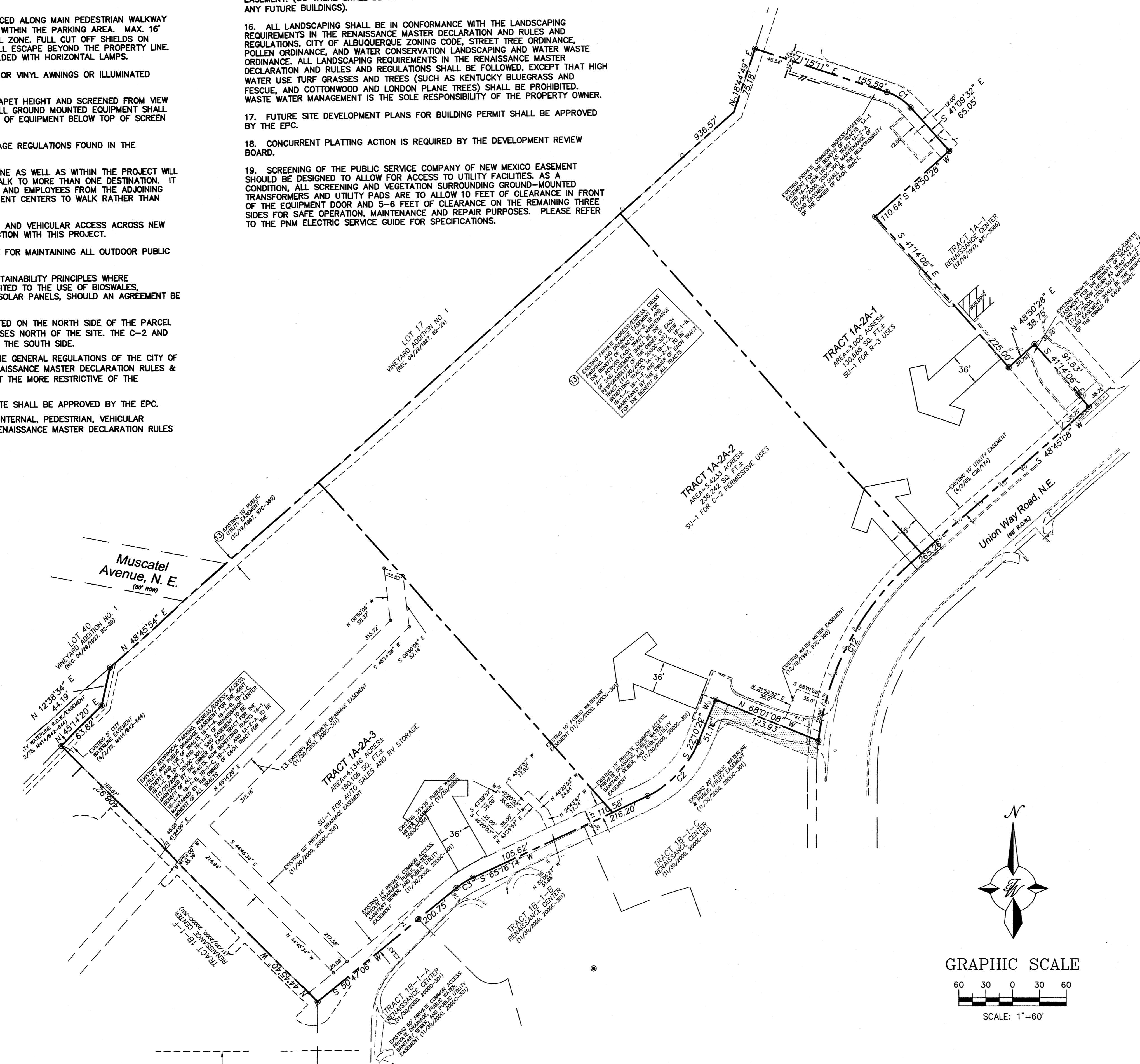


LEGAL DESCRIPTION:
TRACT 1A-2-A RENAISSANCE CENTER
EXISTING ZONING R-3



SITE DATA

EXISTING ZONING:	R-3
PROPOSED ZONING:	SU-1 FOR C2 PERMISSIVE USES; 2 - 6 R-3 USES; AND 2 - 5 RV STORAGE/AUTO SALES: 2 - 5
LOT AREA:	547,035 SF (12.55 ACRES)
MAXIMUM BLDG HEIGHT:	HEIGHT SHALL BE PROVIDED AS IN THE 0-1 ZONE
MINIMUM BLDG SETBACK (C2):	MINIMUM BUILDING SETBACK PER THE C-2 ZONE
MAXIMUM DWELLING UNITS:	20 DU/ACRE
MAXIMUM F.A.R. (C2):	0.30
MAXIMUM F.A.R. (RESIDENTIAL):	0.60
PARKING REQUIRED:	PER ZONING CODE SECTION 14-16-3-1
LANDSCAPE AREA REQUIRED:	PER CURRENT ZONING CODE REQUIREMENTS



ENGINEER'S SEAL	RENAISSANCE PLAZA	DRAWN BY
		DY
	SITE PLAN FOR SUBDIVISION	DATE
		6/18/12
		2011099-SPE
		SHEET #
		C1
		JOB #
		2011099

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrowestllc.com

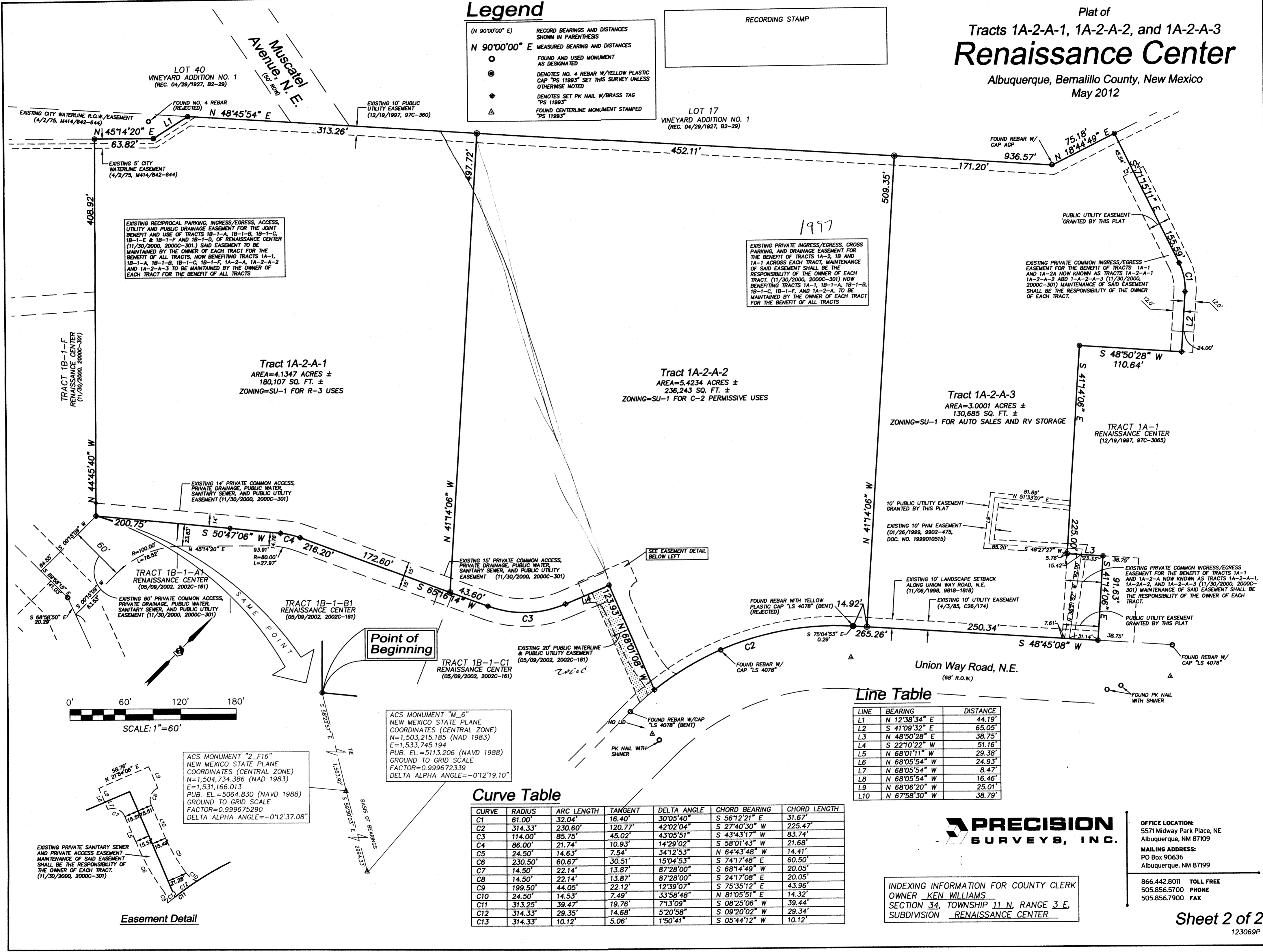
RONALD R. BOHANNAN
P.E. #7868

Plat of
Tracts 1A-2-A-1, 1A-2-A-2, and 1A-2-A-3
Renaissance Center
 Albuquerque, Bernalillo County, New Mexico
 May 2012

Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY UNLESS OTHERWISE NOTED
- ◆ DENOTES SET PK NAIL W/BRASS TAG "PS 11993"
- △ FOUND CENTERLINE MONUMENT STAMPED "PS 11993"

RECORDING STAMP



EXISTING RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS, UTILITY AND PUBLIC DRAINAGE EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS 1B-1-A, 1B-1-B, 1B-1-C, 1B-1-E & 1B-1-F AND 1B-1-D, OF RENAISSANCE CENTER (11/30/2000, 2000C-301). SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS, NOW BENEFITING TRACTS 1A-1, 1B-1-A, 1B-1-B, 1B-1-C, 1B-1-F, 1A-2-A, 1A-2-A-2 AND 1A-2-A-3 TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS

EXISTING PRIVATE INGRESS/EGRESS, CROSS PARKING, AND DRAINAGE EASEMENT FOR THE BENEFIT OF TRACTS 1A-2, 1B AND 1A-1 ACROSS EACH TRACT. MAINTENANCE OF SAID EASEMENT SHALL BE THE RESPONSIBILITY OF THE OWNER OF EACH TRACT. (11/30/2000, 2000C-301) NOW BENEFITING TRACTS 1A-1, 1B-1-A, 1B-1-B, 1B-1-C, 1B-1-F, AND 1A-2-A, TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS

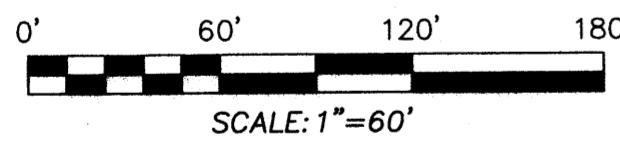
EXISTING PRIVATE COMMON INGRESS/EGRESS EASEMENT FOR THE BENEFIT OF TRACTS 1A-1 AND 1A-2A NOW KNOWN AS TRACTS 1A-2-A-1 1A-2-A-2 AND 1A-2-A-3 (11/30/2000, 2000C-301) MAINTENANCE OF SAID EASEMENT SHALL BE THE RESPONSIBILITY OF THE OWNER OF EACH TRACT.

Tract 1A-2-A-1
 AREA=4.1347 ACRES ±
 180,107 SQ. FT. ±
 ZONING=SU-1 FOR R-3 USES

Tract 1A-2-A-2
 AREA=5.4234 ACRES ±
 236,243 SQ. FT. ±
 ZONING=SU-1 FOR C-2 PERMISSIVE USES

Tract 1A-2-A-3
 AREA=3.0001 ACRES ±
 130,685 SQ. FT. ±
 ZONING=SU-1 FOR AUTO SALES AND RV STORAGE

TRACT 1A-1
 RENAISSANCE CENTER
 (12/19/1997, 97C-3065)



Easement Detail

EXISTING PRIVATE SANITARY SEWER AND PRIVATE ACCESS EASEMENT MAINTENANCE OF SAID EASEMENT SHALL BE THE RESPONSIBILITY OF THE OWNER OF EACH TRACT. (11/30/2000, 2000C-301)

ACS MONUMENT "2_F16"
 NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE)
 N=1,504,734.386 (NAD 1983)
 E=1,531,166.013
 PUB. EL.=5064.830 (NAVD 1988)
 GROUND TO GRID SCALE
 FACTOR=0.999675290
 DELTA ALPHA ANGLE=-0°12'37.08"

ACS MONUMENT "M_6"
 NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE)
 N=1,503,215.185 (NAD 1983)
 E=1,533,745.194
 PUB. EL.=5113.206 (NAVD 1988)
 GROUND TO GRID SCALE
 FACTOR=0.999672339
 DELTA ALPHA ANGLE=-0°12'19.10"

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	61.00'	32.04'	16.40'	30°05'40"	S 56°12'21" E	31.67'
C2	314.33'	230.60'	120.77'	42°02'04"	S 27°40'30" W	225.47'
C3	114.00'	85.75'	45.02'	43°05'51"	S 43°43'17" W	83.74'
C4	86.00'	21.74'	10.93'	14°29'02"	S 58°01'43" W	21.68'
C5	24.50'	14.63'	7.54'	34°12'53"	N 64°43'48" W	14.41'
C6	230.50'	60.67'	30.51'	15°04'53"	S 74°17'48" E	60.50'
C7	14.50'	22.14'	13.87'	87°28'00"	S 68°14'49" W	20.05'
C8	14.50'	22.14'	13.87'	87°28'00"	S 24°17'08" E	20.05'
C9	199.50'	44.05'	22.12'	12°39'07"	S 75°35'12" E	43.96'
C10	24.50'	14.53'	7.49'	33°58'48"	N 81°05'51" E	14.32'
C11	313.25'	39.47'	19.76'	7°13'09"	S 08°25'06" W	39.44'
C12	314.33'	29.35'	14.68'	5°20'58"	S 09°20'02" W	29.34'
C13	314.33'	10.12'	5.06'	1°50'41"	S 05°44'12" W	10.12'

Line Table

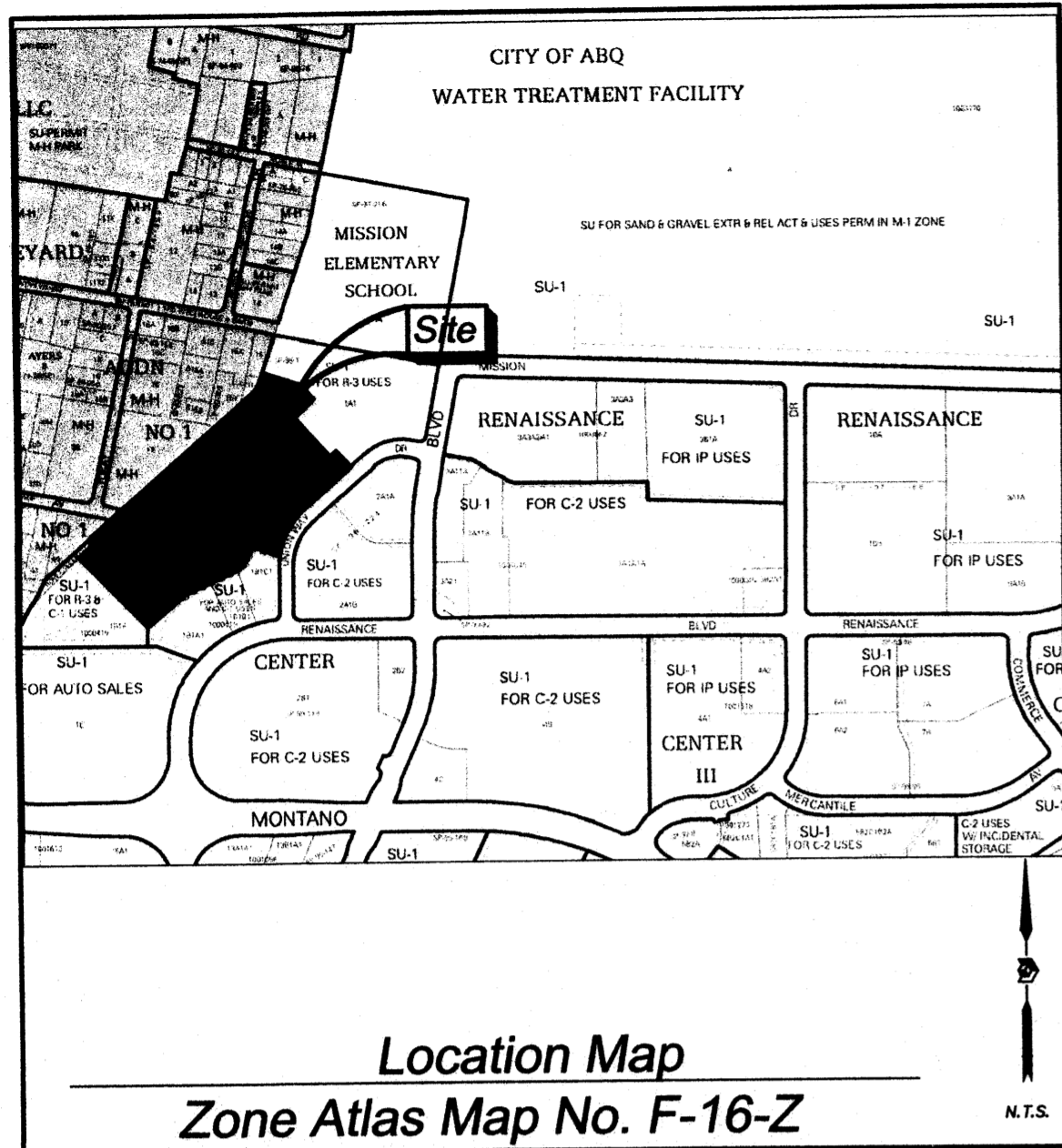
LINE	BEARING	DISTANCE
L1	N 12°38'34" E	44.19'
L2	S 41°09'32" E	65.05'
L3	N 48°50'28" E	38.75'
L4	S 22°10'22" W	51.16'
L5	N 68°01'11" W	29.38'
L6	N 68°05'54" W	24.93'
L7	N 68°05'54" W	8.47'
L8	N 68°05'54" W	16.46'
L9	N 68°06'20" W	25.01'
L10	N 67°58'30" W	38.79'



INDEXING INFORMATION FOR COUNTY CLERK
 OWNER KEN WILLIAMS
 SECTION 34, TOWNSHIP 11 N, RANGE 3 E,
 SUBDIVISION RENAISSANCE CENTER

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX



RECORDING STAMP

Plat of
 Tracts 1A-2-A-1, 1A-2-A-2, and 1A-2-A-3
Renaissance Center
 Albuquerque, Bernalillo County, New Mexico
 May 2012

Legal Description

TRACT "1A-2-A" OF RENAISSANCE CENTER, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT OF TRACT 1A-2-A, RENAISSANCE CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 12, 2005, IN PLAT BOOK 2005C, PAGE 8, AS DOC. NO. 2005005762, CONTAINING 12.5582 ACRES (547,035 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACTS 1A-2-A-1, 1A-2-A-2 AND 1A-2-A-3, RENAISSANCE CENTER.

Project No. 1003421
 Application No. 12DRB-
Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
<i>Rochelle Olsky</i> QWEST CORPORATION <i>Q/B/A</i> CENTURYLINK QC	<u>6-11-12</u> DATE
COMCAST	DATE
City Approvals <i>[Signature]</i> CITY SURVEYOR	<u>5/23/12</u> DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE

Subdivision Data:

ZONING: SEE SHEET 2 OF 2
 GROSS SUBDIVISION ACREAGE: 12.5582 ACRES±
 ZONE ATLAS INDEX NO: F-16-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: APRIL 2012

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING TRACT INTO 3 NEW TRACTS, AND TO GRANT EASEMENTS.

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES--US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN THE ELENA CALLEGOS GRANT, PROJECTED SECTION 34, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Public Utility Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDED ELECTRICAL SERVICES.
- B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDED NATURAL GAS SERVICES.
- C. QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTEE FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

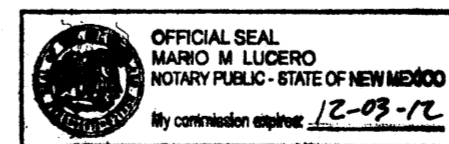
Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 23 DAY OF MAY, 2012 BY
 KEN W. WILLIAMS, OWNER, KEN WILLIAMS ENTERPRISES, INC.

BY *[Signature]*
 NOTARY PUBLIC

MY COMMISSION EXPIRES: 12-03-2012



DRB CHAIRPERSON, PLANNING DEPARTMENT
 TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 5/10/12
 LARRY W. MEDRANO
 N.P.S. No. 11993



PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER KEN WILLIAMS ENTERPRISES, INC.
 SECTION 34, TOWNSHIP 11 N., RANGE 3 E.
 SUBDIVISION RENAISSANCE CENTER

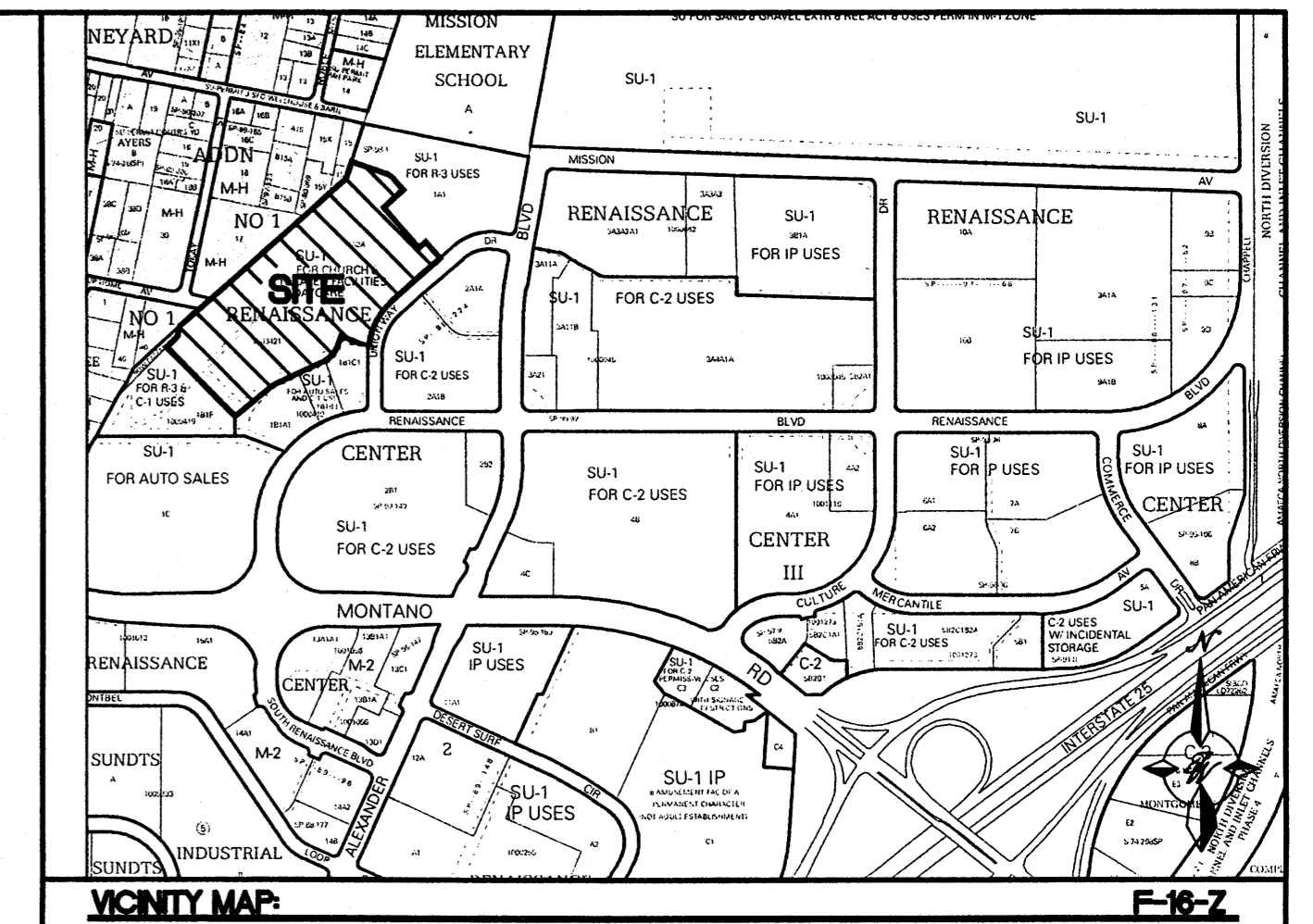
GENERAL DESIGN STANDARDS:

SITE DATA, LIGHTING AND SIGNS:

- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- NEW LIGHTING SHALL BE FULL CUT OFF FIXTURES (I.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
- 15' HIGH LIGHTING POLES SHALL BE PLACED ALONG MAIN PEDESTRIAN WALKWAY AREAS AND 20' HIGH LIGHTING ELSEWHERE WITHIN THE PARKING AREA. MAX. 16' POLE HEIGHT IF WITHIN 100' OF RESIDENTIAL ZONE. FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON BUILDING SIGNAGE.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- ALL SIGNS SHALL ADHERE TO THE SIGNAGE REGULATIONS FOUND IN THE RENAISSANCE MASTER PLAN.
- STREETSCAPE ALONG UNION WAY ROAD NE AS WELL AS WITHIN THE PROJECT WILL ENCOURAGE USERS TO PARK ONCE AND WALK TO MORE THAN ONE DESTINATION. IT WILL ALSO ENCOURAGE NEARBY RESIDENTS AND EMPLOYEES FROM THE ADJOINING MULTI-FAMILY DEVELOPMENT AND EMPLOYMENT CENTERS TO WALK RATHER THAN DRIVE TO THIS DEVELOPMENT.
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS WILL BE GRANTED BY PLATTING ACTION WITH THIS PROJECT.
- PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING ALL OUTDOOR PUBLIC SPACES.
- THIS DEVELOPMENT SHALL FOLLOW SUSTAINABILITY PRINCIPLES WHERE APPROPRIATE TO INCLUDE BUT NOT BE LIMITED TO THE USE OF BIOSWALES, PERMIABLE PAVEMENT, LED LIGHTING AND SOLAR PANELS, SHOULD AN AGREEMENT BE WORKED OUT WITH PNM.
- THE RESIDENTIAL USES WILL BE LOCATED ON THE NORTH SIDE OF THE PARCEL ADJACENT TO THE EXISTING RESIDENTIAL USES NORTH OF THE SITE. THE C-2 AND AUTO RELATED USES WILL BE LOCATED ON THE SOUTH SIDE.
- DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE CITY OF ALBUQUERQUE ZONING CODE AND THE RENAISSANCE MASTER DECLARATION RULES & REGULATIONS. WHERE THERE IS A CONFLICT THE MORE RESTRICTIVE OF THE STANDARDS SHALL APPLY.
- ALL FUTURE DEVELOPMENT OF THE SITE SHALL BE APPROVED BY THE EPC.
- ALL FUTURE DIVISIONS WILL PROVIDE INTERNAL, PEDESTRIAN, VEHICULAR CIRCULATION BETWEEN THE TRACTS PER RENAISSANCE MASTER DECLARATION RULES & REGULATIONS STANDARDS.

LANDSCAPING:

- ALL FUTURE USES WILL PROVIDE A 10 FT MINIMUM LANDSCAPE BUFFER BETWEEN TRACTS. THE 10 FT. LANDSCAPE BUFFER ON THE WESTERN BOUNDARY OF THE DEVELOPMENT SHALL BEGIN AT THE END OF THE 10 FT. EXISTING PUBLIC UTILITY EASEMENT. (SO THERE SHALL BE 20 FT. BETWEEN THE FAR WESTERN BOUNDARY AND ANY FUTURE BUILDINGS).
- ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH THE LANDSCAPING REQUIREMENTS IN THE RENAISSANCE MASTER DECLARATION AND RULES AND REGULATIONS, CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. ALL LANDSCAPING REQUIREMENTS IN THE RENAISSANCE MASTER DECLARATION AND RULES AND REGULATIONS SHALL BE FOLLOWED, EXCEPT THAT HIGH WATER USE TURF GRASSES AND TREES (SUCH AS KENTUCKY BLUEGRASS AND FESCUE, AND COTTONWOOD AND LONDON PLANE TREES) SHALL BE PROHIBITED. WASTE WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- FUTURE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT SHALL BE APPROVED BY THE EPC.
- CONCURRENT PLATTING ACTION IS REQUIRED BY THE DEVELOPMENT REVIEW BOARD.
- SCREENING OF THE PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT SHOULD BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. AS A CONDITION, ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. PLEASE REFER TO THE PNM ELECTRIC SERVICE GUIDE FOR SPECIFICATIONS.



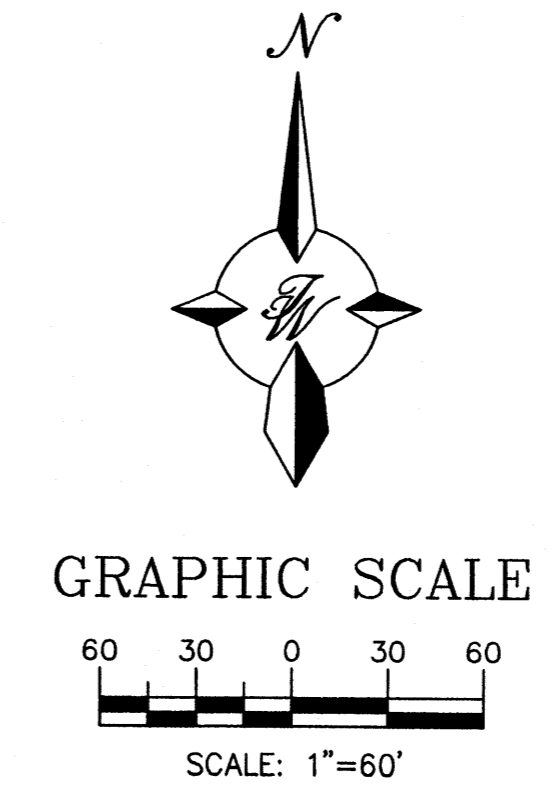
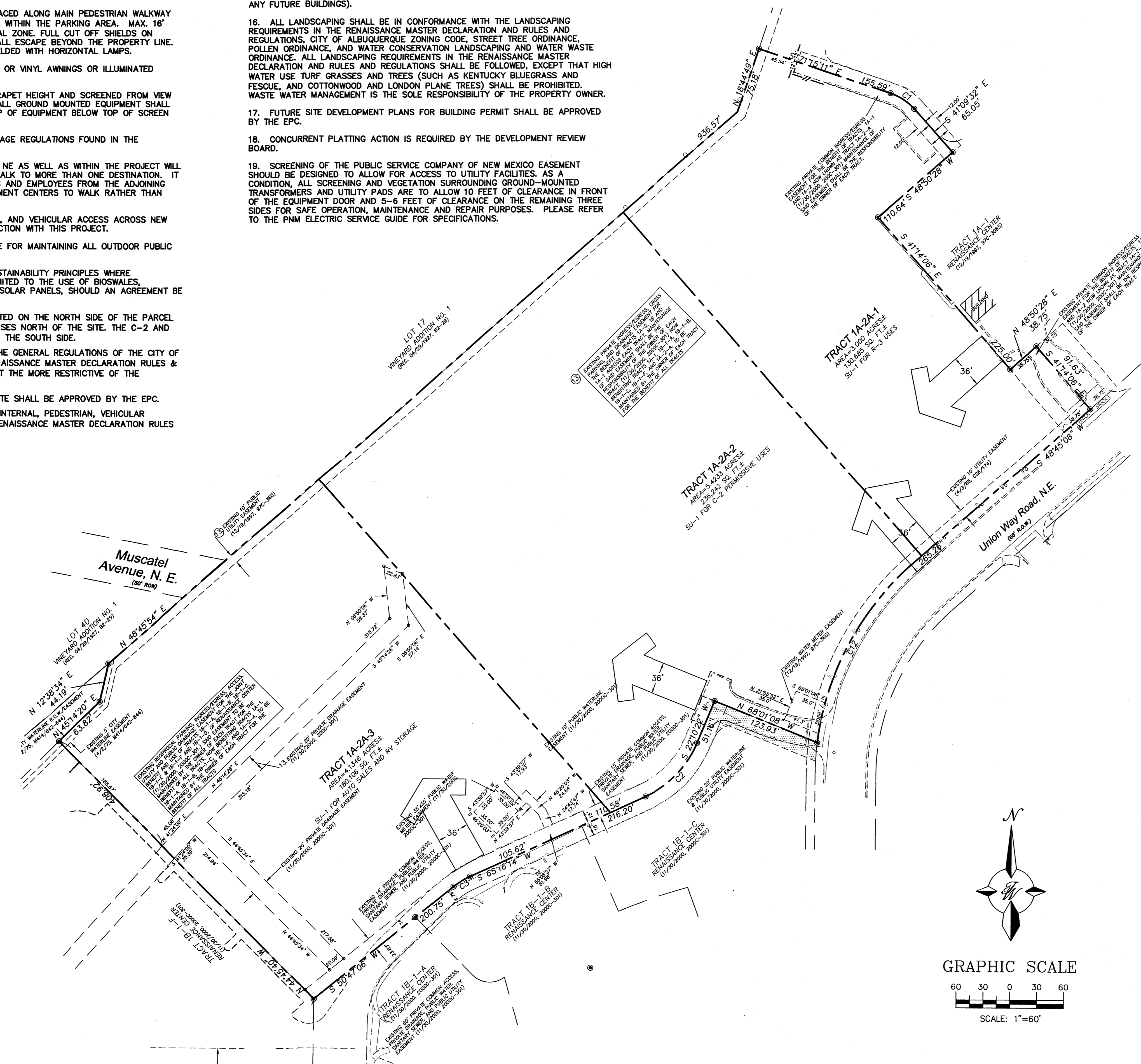
LEGAL DESCRIPTION:
TRACT 1A-2-A RENAISSANCE CENTER
EXISTING ZONING R-3

LEGEND

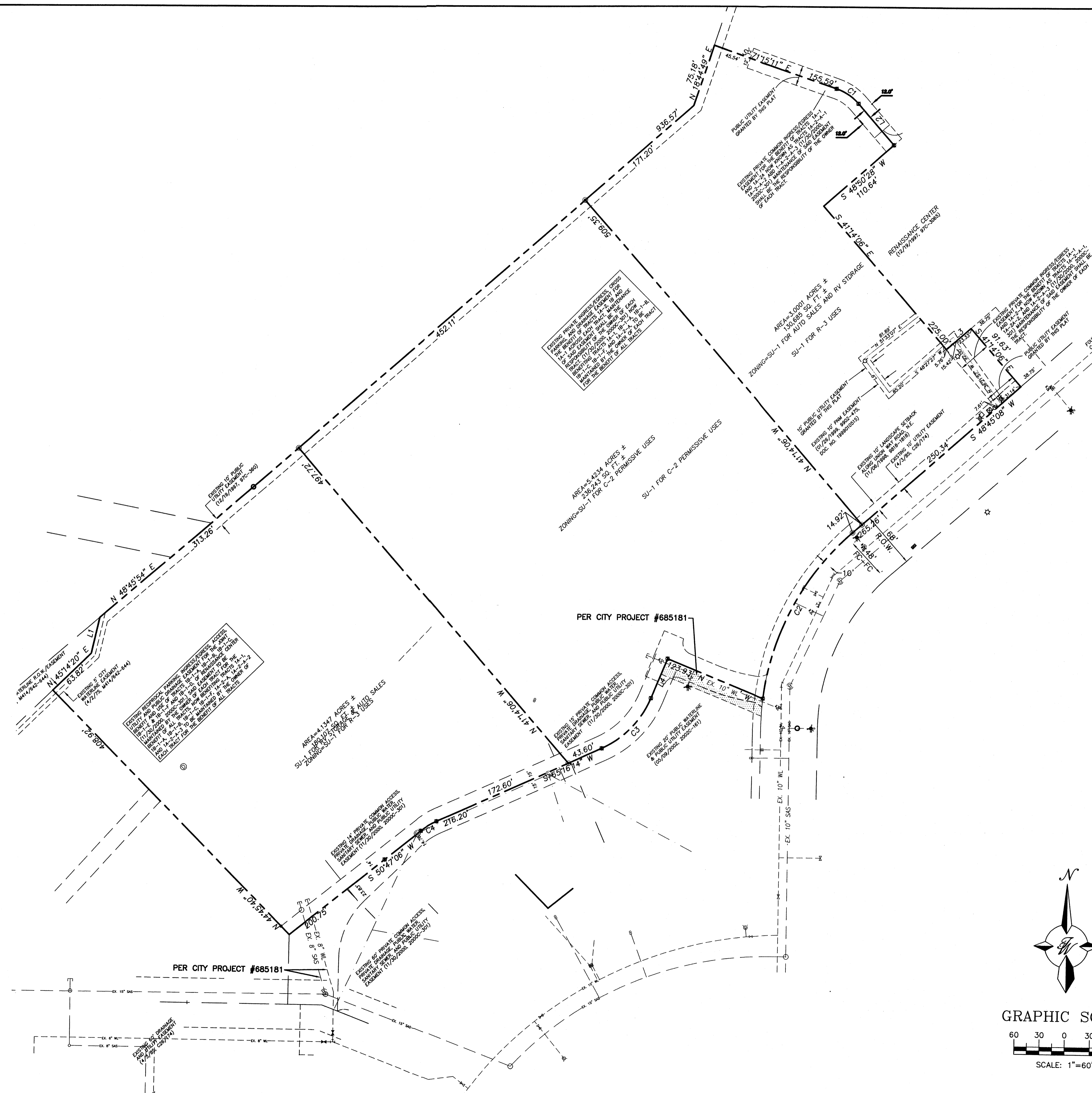
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- PROPOSED VEHICULAR AND PEDESTRIAN ACCESS POINTS

SITE DATA

EXISTING ZONING: R-3
 PROPOSED ZONING: SU-1 FOR C2 PERMISSIVE USES; R-3 USES; AND RV STORAGE/AUTO SALES;
 LOT AREA: 547,035 SF (12.55 ACRES)
 MAXIMUM BLDG HEIGHT: HEIGHT SHALL BE PROVIDED AS IN THE 0-1 ZONE
 MINIMUM BLDG SETBACK (C2): MINIMUM BUILDING SETBACK PER THE C-2 ZONE
 MAXIMUM DWELLING UNITS: 20 DU/ACRE
 MAXIMUM F.A.R. (C2): 0.30
 MAXIMUM F.A.R. (RESIDENTIAL): 0.60
 PARKING REQUIRED: PER ZONING CODE SECTION 14-16-3-1
 LANDSCAPE AREA REQUIRED: PER CURRENT ZONING CODE REQUIREMENTS

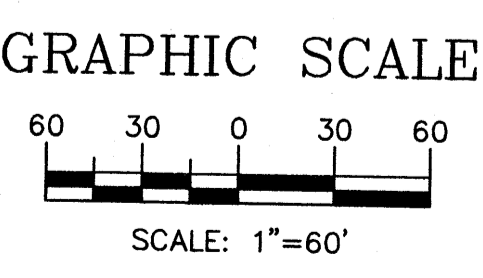
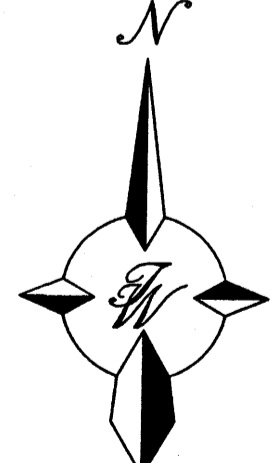


ENGINEER'S SEAL	RENAISSANCE PLAZA	DRAWN BY DY
		DATE 6/18/12
	SITE PLAN FOR SUBDIVISION	2011099-SPE
		SHEET # C1
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2011099
RONALD R. BOHANNAN P.E. #7868		



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- ===== BUILDING
- ===== SIDEWALK
- ===== SCREEN WALL
- ===== RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 36" SD ----- STORM SEWER LINE
- 8" SAS ----- SANITARY SEWER LINE
- 8" WL ----- WATERLINE
- SINGLE CLEAN OUT
- ∞ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊚ EXISTING INLET
- ⊚ EXISTING SAS MANHOLE
- ⊚ EXISTING FIRE HYDRANT
- ⊚ EXISTING WATER METER
- ⊚ EXISTING POWER POLE
- ⊚ EXISTING GAS VALVE
- U ----- EXISTING OVERHEAD UTILITIES
- EX. UGE ----- EXISTING UNDERGROUND UTILITIES
- EX. 2" GAS ----- EXISTING GAS
- EX. 8" SAS ----- EXISTING SANITARY SEWER LINE
- EX. 10" WL ----- EXISTING WATER LINE
- EX. 18" RCP ----- EXISTING STORM SEWER LINE



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	RENAISSANCE PLAZA	DRAWN BY DY
	MASTER UTILITY PLAN	DATE 6/19/12
	<i>TIERRA WEST, LLC</i> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2011099-MUE
		SHEET # -
		JOB # 2011099

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