

**SKETCH PLAT
OVERVIEW**
1" = 400'

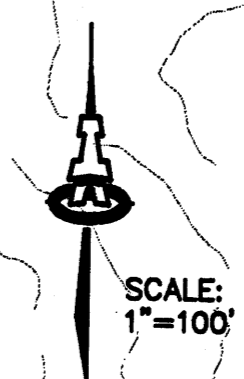


TRACT
A
AC= 9.2763
(404,075.84 sq)

TRACT 4A

PARK

BLOCK	# OF LOTS
A	25
B	11
C	14
D	29
E	32
F	16
G	33
H	30
I	32
J	47
K	41
L	20
M	8
N	8
TOTAL	346

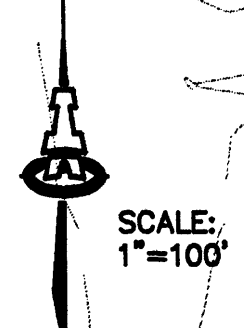


EL RANCHO
GRANDE, UNIT 16 (SOUTH)
SKETCH PLAT

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico

1349EXH-1.DWG/rh 05/10/04

SHEET 1 OF 1



BLOCK	# OF LOTS
A	52
B	26
C	23
D	14
E	7
F	26
G	17
H	15
I	20
J	20
K	22
TOTAL	242

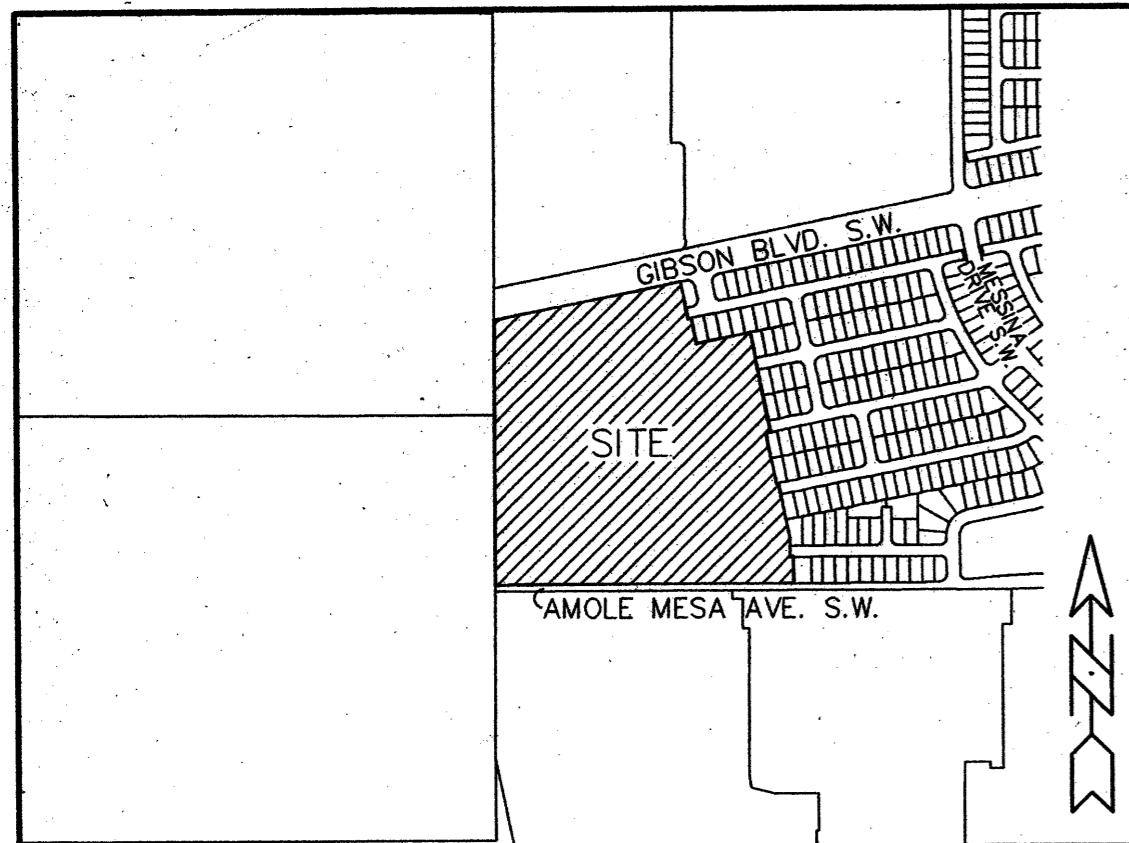
**EL RANCHO
GRANDE, UNIT 16 (NORTH)
SKETCH PLAT**

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico

1349EXH-1.DWG



**PLAT FOR
SIERRA RANCH SUBDIVISION
UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2006**



LOCATION MAP 1" = 750' N-8-Z

PURPOSE OF PLAT

- To create 176 lots as shown hereon.
- To grant easements as shown hereon.
- To dedicate street right-of-way to the City of Albuquerque as shown hereon.

SUBDIVISION DATA

- Project No.:
Application No.:
- Zone Atlas Index No.: N-8-Z
- Total Number of Lots created: 176
- Total Number of existing Tracts: 1
- Total Number of Tracts created: 0
- Miles of Full Width Streets: 1.1948 Mi.
- Gross Subdivision Acreage: 28.3760 Ac.

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary are the following plats of record entitled:
 PLAT FOR "SIERRA RANCH SUBDIVISION, PHASE I", (06-24-05, 05C-216)
 PLAT FOR "LANDS OF RIO BRAVO PARTNERS", (04-17-96, 96C-160)
 all being records of Bernalillo County, New Mexico.
- Field Survey performed on January, 2005.
- Title Report: None provided.
- UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2006463660
- City Zoning: R-D
- Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
- No individual lots shall be allowed direct access to Gibson Boulevard S.W. & Amole Mesa Avenue S.W.
- All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.
- Total remaining open space requirement are met via a cash payment to the City of Albuquerque per the provisions of Section 14-16-3-8 (A) (2).
- The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools recorded on January 18, 2007, Book A130 Pg-9482.

DESCRIPTION

A tract of land situate, within the Town of Atrisco Grant, projected Section 5, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A, SIERRA RANCH SUBDIVISION PHASE II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 24, 2005 in Book 2005C, Page 216 and containing 28.3760 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
- PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Telecommunications for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
- Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 176 lots as shown hereon. Said owner(s) and/or proprietor(s) do hereby grant easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) Warrants that (he/she) holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): Charles Haegelin 12-27-06
 CURB INC., CHARLES HAEGELIN, PRESIDENT Date

STATE OF NEW MEXICO)
 BERNALILLO COUNTY)SS

On this 27 day of December, 2006, this instrument was acknowledge before me by CHARLES HAEGELIN, President of Curb, Inc., a New Mexico Corporation.

Stephanie L. Walton 6-24-2007
 Notary Public My Commission Expires

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
 PAID ON UPC # 100803430536512202
 PROPERTY OWNER OF RECORD
Curb Inc
 BERNALILLO COUNTY TRUSTEE OFFICE
Andrew 1-19-07

PROJECT NUMBER:	<u>1003429</u>
Application Number:	<u>06 DRB-00002</u>
PLAT APPROVAL	
Utility Approvals:	
<u>Lead S. Mark</u>	<u>1-9-07</u>
PNM Electric Services Division	Date
<u>Lead S. Mark</u>	<u>1-9-07</u>
PNM Gas Services Division	Date
<u>David A. Balala</u>	<u>1/8/07</u>
Qwest	Date
<u>Kevin Benson</u>	<u>1-8-07</u>
Comcast	Date
City Approvals:	
<u>John B. Gant</u>	<u>12-27-06</u>
City Surveyor	Date
<u>N/A</u>	<u>1/19/07</u>
Real Property Division	Date
<u>N/A</u>	<u>1/19/07</u>
Environmental Health Department	Date
<u>John S.</u>	<u>1-10-07</u>
Technical Engineering, Transportation Division	Date
<u>Roger A. Sheen</u>	<u>1-10-07</u>
Utilities Development	Date
<u>Christine Santoral</u>	<u>1/18/07</u>
Parks and Recreation Department	Date
<u>Bradley A. Bingham</u>	<u>1/10/07</u>
AMAFCA	Date
<u>Bradley A. Bingham</u>	<u>1/10/07</u>
City Engineer	Date
<u>Charles Matson</u>	<u>1/19/07</u>
DRB Chairperson, Planning Department	Date

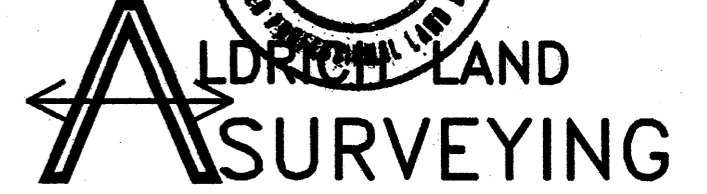
SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Timothy Aldrich 12-22-06
 Timothy Aldrich, P.S. No. 7719 Date



Drawn By:	RJA/JPA	Date:	11-30-06
Checked By:	TA/EM	Drawing Name:	05005PL2.DWG
Job No.:	05-005	Sheet:	1 of 5



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



ACS MONUMENT
 1-NB
 Y=1470679.06
 X=348455.82
 G-G=0.99967260
 Δα=-00'17.26"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)

ACS MONUMENT
 TRANS
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=-00'16.42"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5118.370

PLAT FOR
 SIERRA RANCH SUBDIVISION
 UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2006

NOTE:

ALL STREETS ARE DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. (6.4854 AC.)

SEE SHEET 5 OF 5 FOR CURVE DATA, LINE DATA AND LOT AREA.

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "LS 7429" (TYP)
- SET 5/8" REBAR WITH CAP "LS 7719" (TYP)

SIERRA RANCH SUBDIVISION
 PHASE 1
 (06-24-05, BK. 05C- PG. 216)



LANDS OF RIO BRAVO PARTNERS
 (04-17-96, 96C-160)

PARCEL 2-A

PARCEL 2-B



Scale: N.T.S.



REVISED 12-21-06

Drawn By:	RJA/JPA	Date:	11-30-06
Checked By:	TA/EM	Drawing Name:	05005PL2.DWG
Job No.:	05-005	Sheet:	2 of 5

LDRICH LAND SURVEYING

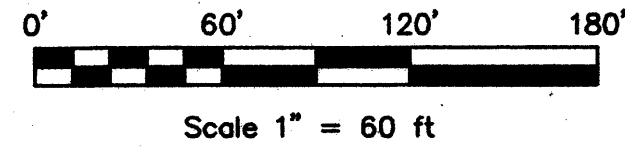
P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

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 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2006

- EASEMENTS**
- ① 10' PUE (GRANTED BY THIS PLAT)
 - ② EXISTING 10' PUE (06-24-05, BK. 05C- PG. 216)
 - ③ 30' C.O.A. PUBLIC SANITARY SEWER AND STORM DRAIN EASEMENT (GRANTED BY THIS PLAT)

SEE SHEET 5 OF 5
 FOR CURVE DATA, LINE
 DATA AND LOT AREA.

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967260
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5118.370



ACS MONUMENT
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 (NAD 1927/SLD 1929)

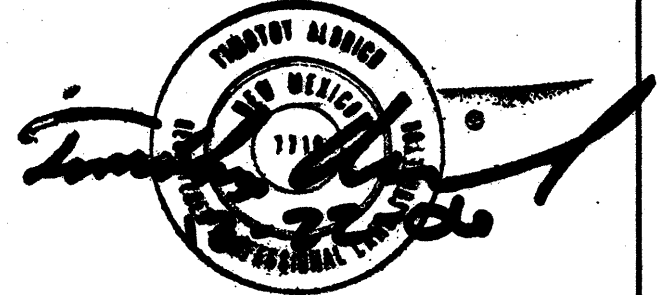
LANDS OF RIO BRAVO PARTNERS
 (04-17-96, 96C-160)

PARCEL 2-A

PARCEL 2-B



SIERRA RANCH SUBDIVISION
 PHASE 1
 (06-24-05, BK. 05C- PG. 216)



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

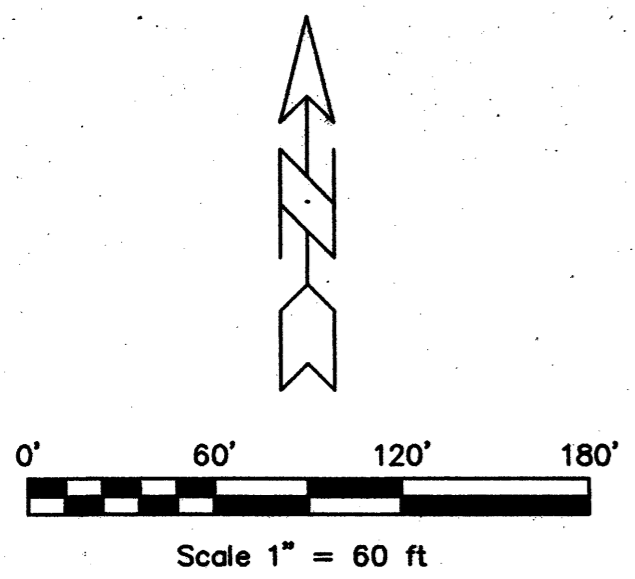
REVISED 12-21-06

Drawn By: RJA/JPA	Date: 11-30-06
Checked By: TA/EM	Drawing Name: 05005PL2.DWG
Job No.: 05-005	Sheet: 3 of 5

PLAT FOR
 SIERRA RANCH SUBDIVISION
 UNIT 2
 WITHIN THE
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 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2006

- EASEMENTS**
- ① 10' PUE (GRANTED BY THIS PLAT)
 - ② EXISTING 10' PUE
 (06-24-05, BK. 05C- PG. 216)

SEE SHEET 5 OF 5
 FOR CURVE DATA, LINE
 DATA AND LOT AREA.



LANDS OF RIO BRAVO PARTNERS
 (04-17-96, 96C-160)

PARCEL 2-B



REVISED 12-21-06

Drawn By:	RJA/JPA	Date:	11-30-06
Checked By:	TA/EM	Drawing Name:	05005PL2.DWG
Job No.:	05-005	Sheet:	4 of 5

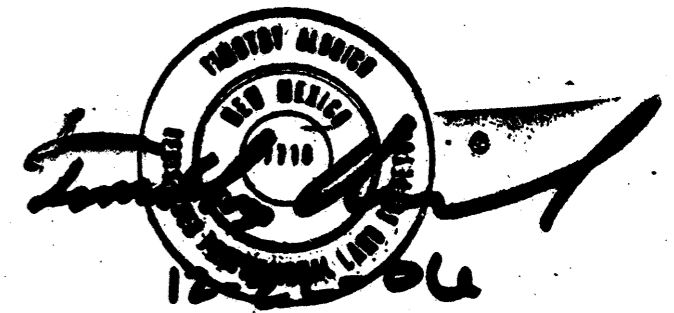
ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT FOR
 SIERRA RANCH SUBDIVISION
 UNIT 2
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 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2006

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	28.68'	11°10'38"	147.00'	14.38'	S05°47'08"E	28.68'
C2	96.89'	05°23'22"	1030.00'	48.48'	N87°06'30"E	96.85'
C3	68.53'	03°48'44"	1030.00'	34.28'	N87°53'49"E	68.52'
C4	28.36'	01°34'38"	1030.00'	14.18'	N85°12'08"E	28.35'
C5	53.65'	11°10'38"	275.00'	26.91'	N05°47'08"W	53.56'
C6	25.85'	09°52'20"	150.00'	12.95'	N06°23'10"W	25.81'
C7	39.27'	90°00'02"	25.00'	25.00'	S45°11'48"E	35.36'
C8	39.27'	90°00'02"	25.00'	25.00'	N44°48'14"W	35.36'
C9	37.34'	85°34'33"	25.00'	23.14'	N47°24'29"W	33.96'
C10	35.13'	06°45'14"	298.00'	17.58'	N07°59'50"W	35.11'
C11	26.18'	05°02'03"	298.00'	13.10'	N07°08'15"W	26.18'
C12	8.95'	01°43'11"	298.00'	4.47'	N10°30'52"W	8.94'
C13	39.27'	90°00'00"	25.00'	25.00'	N33°37'33"E	35.36'
C14	21.45'	04°52'35"	252.00'	10.73'	N08°56'09"W	21.44'
C15	42.02'	96°18'07"	25.00'	27.91'	N41°39'11"E	37.25'
C16	38.76'	88°49'18"	25.00'	24.49'	N45°47'06"W	34.99'
C17	34.91'	80°00'00"	25.00'	20.98'	N38°37'33"E	32.14'
C18	39.27'	90°00'00"	25.00'	25.00'	N56°22'27"W	35.36'
C19	28.76'	11°12'38"	147.00'	14.43'	N05°46'08"W	28.72'
C20	43.63'	100°00'00"	25.00'	29.79'	N51°22'27"W	38.30'
C21	39.78'	91°10'42"	25.00'	25.52'	N44°12'54"E	35.72'
C22	38.72'	88°44'45"	25.00'	24.46'	N45°49'23"W	34.97'
C23	35.90'	82°17'12"	25.00'	21.84'	N37°28'57"E	32.90'
C24	39.82'	91°15'15"	25.00'	25.55'	N44°10'37"E	35.74'
C25	80.54'	88°44'45"	52.00'	50.87'	N45°49'23"W	72.73'
C26	34.94'	80°04'33"	25.00'	21.01'	N38°35'16"E	32.16'
C27	43.60'	99°55'27"	25.00'	29.75'	N51°24'44"W	38.28'
C28	46.58'	09°35'59"	278.00'	23.34'	N06°14'59"W	46.52'
C29	39.27'	90°00'00"	25.00'	25.00'	N56°22'27"W	35.36'
C30	39.27'	90°00'00"	25.00'	25.00'	N33°37'33"E	35.36'
C31	39.27'	90°00'00"	25.00'	25.00'	N56°22'27"W	35.36'
C32	39.27'	90°00'00"	25.00'	25.00'	N33°37'33"E	35.36'
C33	43.60'	99°55'27"	25.00'	29.75'	N51°24'44"W	38.28'
C34	34.94'	80°04'33"	25.00'	21.01'	N38°35'16"E	32.16'
C35	43.60'	99°55'27"	25.00'	29.75'	N51°24'44"W	38.28'
C36	72.67'	80°04'33"	52.00'	43.69'	N38°35'16"E	66.90'
C37	39.27'	90°00'00"	25.00'	25.00'	N56°22'27"W	35.36'
C38	39.27'	90°00'00"	25.00'	25.00'	N33°37'33"E	35.36'
C39	39.27'	90°00'00"	25.00'	25.00'	N56°22'27"W	35.36'
C40	39.27'	90°00'00"	25.00'	25.00'	N33°37'33"E	35.36'
C41	136.96'	80°04'33"	98.00'	82.34'	N38°35'16"E	126.09'
C42	9.92'	05°47'55"	98.00'	4.96'	N75°43'35"E	9.91'
C43	37.60'	21°59'05"	98.00'	19.04'	N61°50'06"E	37.37'
C44	37.60'	21°59'05"	98.00'	19.04'	N39°51'01"E	37.37'
C45	37.60'	21°59'05"	98.00'	19.04'	N17°51'56"E	37.37'
C46	14.24'	08°19'23"	98.00'	7.13'	N02°42'42"E	14.22'
C47	151.79'	88°44'45"	98.00'	95.88'	N45°49'23"W	137.07'
C48	35.14'	20°32'48"	98.00'	17.76'	N11°43'24"W	34.96'
C49	37.60'	21°59'05"	98.00'	19.04'	N32°59'20"W	37.37'
C50	37.60'	21°59'05"	98.00'	19.04'	N54°58'25"W	37.37'
C51	37.60'	21°59'05"	98.00'	19.04'	S76°57'30"E	37.37'
C52	3.85'	02°14'42"	98.00'	1.92'	S89°04'24"E	3.84'
C53	104.82'	80°04'33"	75.00'	63.02'	N38°35'16"E	96.49'
C54	116.17'	88°44'45"	75.00'	73.38'	N45°49'23"W	104.90'
C55	39.27'	89°59'58"	25.00'	25.00'	N45°11'46"W	35.36'
C56	39.27'	89°59'58"	25.00'	25.00'	N44°48'12"E	35.36'
C57	6.68'	02°12'39"	173.00'	3.34'	S024°03'20"E	6.68'

LINE	DIRECTION	DISTANCE
L1	S11°22'27"E	152.04'
L2	N78°37'33"E	12.79'
L3	S11°22'27"E	105.00'
L4	N78°37'33"E	220.00'
L5	S11°22'27"E	407.00'
L6	S78°37'25"W	19.00'
L7	S11°22'27"E	210.00'
L8	N78°37'33"E	9.00'
L9	S11°22'27"E	211.88'
L10	S00°11'49"E	16.77'
L11	S00°11'45"E	46.00'
L12	N89°48'15"E	13.82'
L13	S00°11'45"E	105.98'
L14	S89°48'11"W	1104.59'
L15	N00°01'24"E	1075.41'
L16	N78°37'23"E	766.07'
L17	S11°22'27"E	21.48'
L18	S89°48'11"W	28.04'
L19	S89°48'11"W	27.47'
L20	N00°11'49"W	23.09'
L21	N11°19'20"W	21.56'
L22	N89°48'15"E	28.04'
L23	N11°22'27"W	35.61'
L24	N11°22'27"W	26.70'
L25	S11°22'27"E	31.94'
L26	S11°22'27"E	25.37'
L27	N78°37'33"E	29.05'
L28	S11°22'27"E	38.00'
L29	N78°37'33"E	29.66'
L30	N78°37'33"E	25.64'
L31	N78°37'33"E	31.95'
L32	N01°27'00"W	25.76'
L33	N01°43'50"W	19.62'
L34	S01°27'00"E	19.63'
L35	S01°27'00"E	27.26'
L36	S01°27'00"E	21.67'
L37	S78°37'33"W	27.34'
L38	S78°37'33"W	27.09'
L39	N78°37'33"E	19.86'
L40	N01°27'00"W	27.90'
L41	S89°48'15"W	27.47'
L42	S01°27'00"E	2.96'

LOT	AREA	LOT	AREA	LOT	AREA
208-P1	0.1215 AC.	276-P1	0.1085 AC.	345-P1	0.1205 AC.
209-P1	0.1095 AC.	277-P1	0.1085 AC.	346-P1	0.1205 AC.
210-P1	0.1095 AC.	278-P1	0.1085 AC.	347-P1	0.1085 AC.
211-P1	0.1217 AC.	279-P1	0.1085 AC.	348-P1	0.1205 AC.
212-P1	0.1095 AC.	280-P1	0.1085 AC.	349-P1	0.1085 AC.
213-P1	0.1217 AC.	281-P1	0.1085 AC.	350-P1	0.1085 AC.
214-P1	0.1095 AC.	282-P1	0.1085 AC.	351-P1	0.1205 AC.
215-P1	0.1095 AC.	283-P1	0.1224 AC.	352-P1	0.1085 AC.
216-P1	0.1095 AC.	284-P1	0.1174 AC.	353-P1	0.1215 AC.
217-P1	0.1228 AC.	285-P1	0.1085 AC.	354-P1	0.1085 AC.
218-P1	0.1215 AC.	286-P1	0.1085 AC.	355-P1	0.1112 AC.
219-P1	0.1095 AC.	287-P1	0.1085 AC.	356-P1	0.1393 AC.
220-P1	0.1095 AC.	288-P1	0.1085 AC.	357-P1	0.1515 AC.
221-P1	0.1095 AC.	289-P1	0.1085 AC.	358-P1	0.1205 AC.
222-P1	0.1095 AC.	290-P1	0.1085 AC.	359-P1	0.1342 AC.
223-P1	0.1095 AC.	291-P1	0.1085 AC.	360-P1	0.1883 AC.
224-P1	0.1217 AC.	292-P1	0.1085 AC.	361-P1	0.1514 AC.
225-P1	0.1095 AC.	293-P1	0.1085 AC.	362-P1	0.1422 AC.
226-P1	0.1127 AC.	294-P1	0.1085 AC.	363-P1	0.1722 AC.
227-P1	0.1539 AC.	295-P1	0.1085 AC.	364-P1	0.1388 AC.
228-P1	0.2422 AC.	296-P1	0.1085 AC.	365-P1	0.1410 AC.
229-P1	0.3291 AC.	297-P1	0.1085 AC.	366-P1	0.1209 AC.
230-P1	0.2263 AC.	298-P1	0.1085 AC.	367-P1	0.1085 AC.
231-P1	0.1489 AC.	299-P1	0.1174 AC.	368-P1	0.1085 AC.
232-P1	0.1477 AC.	300-P1	0.1174 AC.	369-P1	0.1205 AC.
233-P1	0.1627 AC.	301-P1	0.1085 AC.	370-P1	0.1085 AC.
234-P1	0.1451 AC.	302-P1	0.1205 AC.	371-P1	0.1085 AC.
235-P1	0.1440 AC.	303-P1	0.1205 AC.	372-P1	0.1352 AC.
236-P1	0.1428 AC.	304-P1	0.1205 AC.	373-P1	0.1339 AC.
237-P1	0.1416 AC.	305-P1	0.1205 AC.	374-P1	0.1205 AC.
238-P1	0.1404 AC.	306-P1	0.1205 AC.	375-P1	0.1205 AC.
239-P1	0.1546 AC.	307-P1	0.1205 AC.	376-P1	0.1205 AC.
240-P1	0.1378 AC.	308-P1	0.1085 AC.	377-P1	0.1205 AC.
241-P1	0.1366 AC.	309-P1	0.1366 AC.	378-P1	0.1214 AC.
242-P1	0.1355 AC.	310-P1	0.1422 AC.	379-P1	0.1650 AC.
243-P1	0.1416 AC.	311-P1	0.1085 AC.	380-P1	0.1205 AC.
244-P1	0.2210 AC.	312-P1	0.1085 AC.	381-P1	0.1205 AC.
245-P1	0.1499 AC.	313-P1	0.1085 AC.	382-P1	0.1205 AC.
246-P1	0.2070 AC.	314-P1	0.1085 AC.	383-P1	0.1541 AC.
247-P1	0.2472 AC.	315-P1	0.1085 AC.		
248-P1	0.1609 AC.	316-P1	0.1085 AC.		
249-P1	0.1178 AC.	317-P1	0.1085 AC.		
250-P1	0.1095 AC.	318-P1	0.1085 AC.		
251-P1	0.1095 AC.	319-P1	0.1085 AC.		
252-P1	0.1095 AC.	320-P1	0.1174 AC.		
253-P1	0.1217 AC.	321-P1	0.1174 AC.		
254-P1	0.1095 AC.	322-P1	0.1085 AC.		
255-P1	0.1095 AC.	323-P1	0.1085 AC.		
256-P1	0.1095 AC.	324-P1	0.1085 AC.		
257-P1	0.1095 AC.	325-P1	0.1085 AC.		
258-P1	0.1095 AC.	326-P1	0.1085 AC.		
259-P1	0.1095 AC.	327-P1	0.1085 AC.		
260-P1	0.1095 AC.	328-P1	0.1085 AC.		
261-P1	0.1095 AC.	329-P1	0.1085 AC.		
262-P1	0.1205 AC.	330-P1	0.1205 AC.		
263-P1	0.1085 AC.	331-P1	0.1085 AC.		
264-P1	0.1174 AC.	332-P1	0.1085 AC.		
265-P1	0.1174 AC.	333-P1	0.1205 AC.		
266-P1	0.1085 AC.	334-P1	0.1085 AC.		
267-P1	0.1085 AC.	335-P1	0.1085 AC.		
268-P1	0.1205 AC.	336-P1	0.1205 AC.		
269-P1	0.1205 AC.	337-P1	0.1085 AC.		
270-P1	0.1205 AC.	338-P1	0.1085 AC.		
271-P1	0.1085 AC.	339-P1	0.1085 AC.		
272-P1	0.1085 AC.	340-P1	0.1408 AC.		
273-P1	0.1665 AC.	341-P1	0.1725 AC.		
274-P1	0.1376 AC.	342-P1	0.1085 AC.		
275-P1	0.1085 AC.	343-P1	0.1205 AC.		



REVISED 12-21-06
 Drawn By: RJA/JPA Date: 11-30-06
 Checked By: TA/EM Drawing Name: 05005PL2.DWG
 Job No.: 05-005 Sheet: 5 of 5

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT FOR
SIERRA RANCH SUBDIVISION
UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2006

PROJECT NUMBER: _____
Application Number: _____

PLAT APPROVAL
Utility Approvals:

PNM Electric Services Division	Date
PNM Gas Services Division	Date
Qwest	Date
Comcast	Date
City Approvals: <i>[Signature]</i>	12-27-06
City Surveyor	Date
Real Property Division	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
AMAFC	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying of New Mexico, and is true and correct to the best of my knowledge and belief.

[Signature]
Timothy Aldrich, R.S. No. 7719 Date 12-27-06



Drawn By: RJA/JPA	Date: 11-30-06
Checked By: TA/EM	Drawing Name: 05005PL2.DWG
Job No.: 05-005	Sheet: 1 of 5

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

DESCRIPTION

A tract of land situate, within the Town of Atrisco Grant, projected Section 5, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 16-C-1, SIERRA RANCH SUBDIVISION PHASE II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 24, 2005 in Book 2005C, Page 216 and containing 28.3760 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Telecommunications for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat. In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

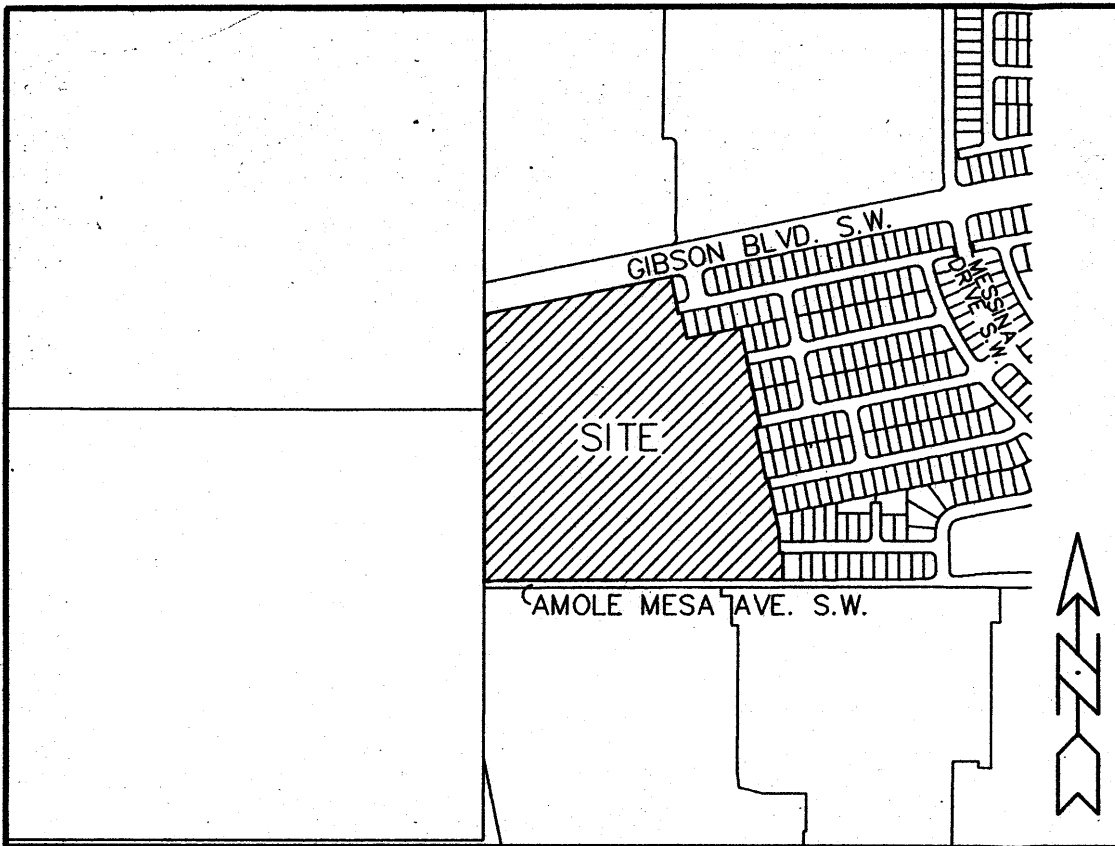
The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 176 lots as shown hereon. Said owner(s) and/or proprietor(s) do hereby grant easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) Warrants that (he/she) holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): *[Signature]*
CURB INC., CHARLES HAEGELIN, PRESIDENT Date 12-27-06

STATE OF NEW MEXICO)
BERNALILLO COUNTY) SS

On this 27 day of December, 2006, this instrument was acknowledge before me by CHARLES HAEGELIN, President of Curb, Inc., a New Mexico Corporation.

[Signature] 12-21-2007
Notary Public My Commission Expires



LOCATION MAP 1" = 750' N-8-Z

PURPOSE OF PLAT

1. To create 176 lots as shown hereon.
2. To grant easements as shown hereon.
3. To dedicate street right-of-way to the City of Albuquerque as shown hereon.

SUBDIVISION DATA

1. Project No.:
Application No.:
2. Zone Atlas Index No.: N-8-Z
3. Total Number of Lots created: 176
4. Total Number of existing Tracts: 1
5. Total Number of Tracts created: 0
6. Miles of Full Width Streets: 1.1948 Mi.
7. Gross Subdivision Acreage: 28.3760 Ac.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances are field and record.
4. Basis of boundary are the following plats of record entitled:
PLAT FOR "SIERRA RANCH SUBDIVISION, PHASE I", (06-24-05, 05C-216)
PLAT FOR "LANDS OF RIO BRAVO PARTNERS", (04-17-96, 96C-160)
all being records of Bernalillo County, New Mexico.
5. Field Survey performed on January, 2005.
6. Title Report: None provided.
7. UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2006463660
8. City Zoning: R-D
9. Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
10. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
11. No individual lots shall be allowed direct access to Gibson Boulevard S.W. & Amole Mesa Avenue S.W.
12. All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.

ACS MONUMENT
 "1-N8"
 Y=1470679.06
 X=348455.82
 G-G=0.99967260
 Δα=00°17'26"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=00°16'42"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5118.370

PLAT FOR
 SIERRA RANCH SUBDIVISION
 UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2006

NOTE:

ALL STREETS ARE DEDICATED
 TO THE CITY OF ALBUQUERQUE
 IN FEE SIMPLE WITH WARRANTY
 COVENANTS. (6.4854 AC.)

SEE SHEET 5 OF 5
 FOR CURVE DATA, LINE
 DATA AND LOT AREA.

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "LS 7429" (TYP)
- SET 5/8" REBAR WITH CAP "LS 7719" (TYP)

SIERRA RANCH SUBDIVISION
 PHASE 1
 (06-24-05, BK. 05C- PG. 216)

Scale: N.T.S.

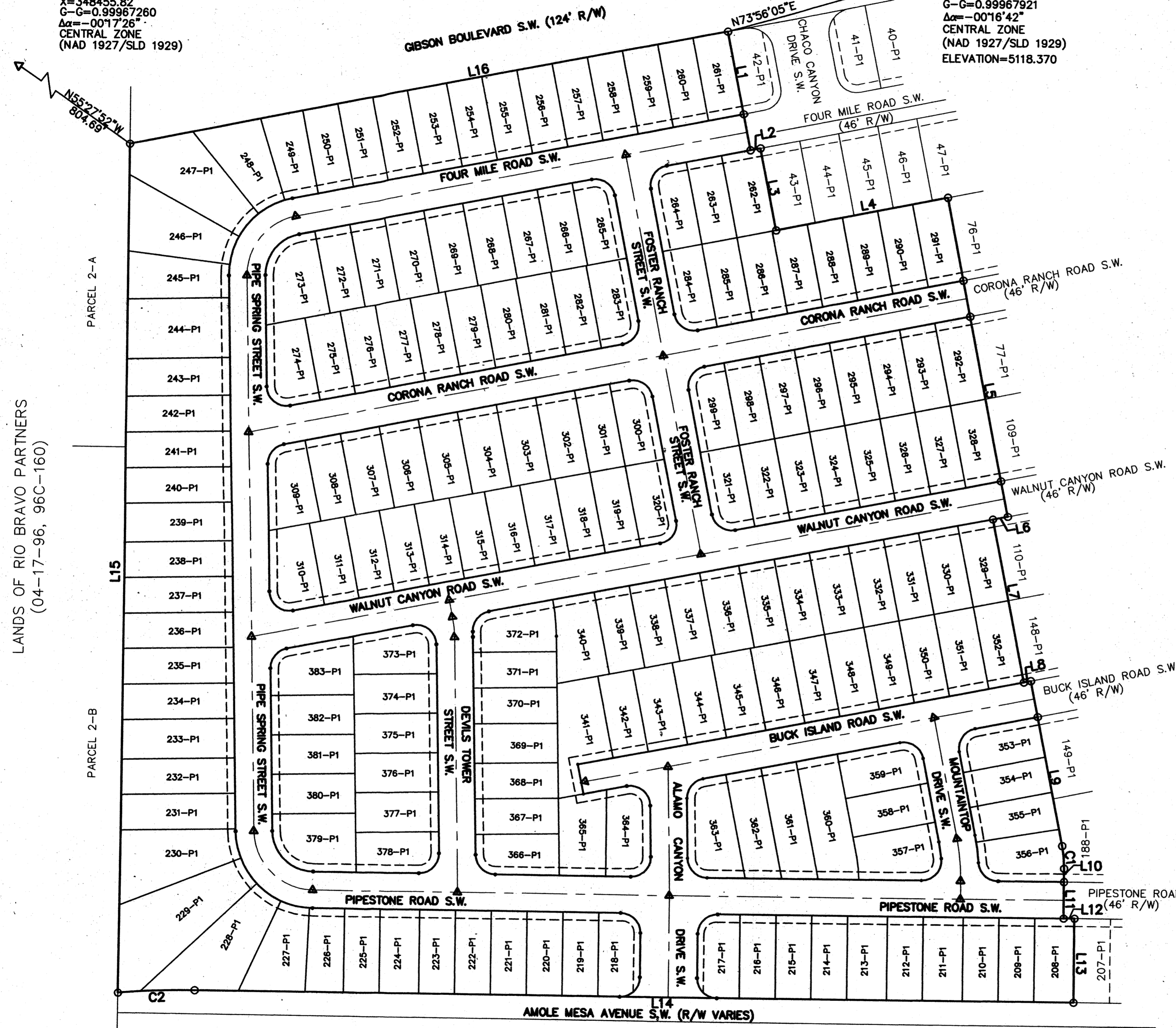


ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

REVISED 12-21-06

Drawn By:	RJA/JPA	Date:	11-30-06
Checked By:	TA/EM	Drawing Name:	05005PL2.DWG
Job No.:	05-005	Sheet:	2 of 5



LANDS OF RIO BRAVO PARTNERS
 (04-17-96, 96C-160)

PARCEL 2-A

PARCEL 2-B

151

C2

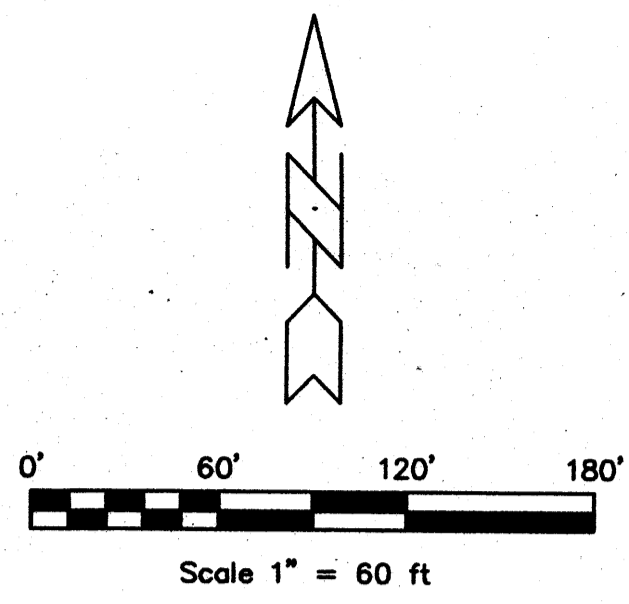
AMOLE MESA AVENUE S.W. (R/W VARIES)

PLAT FOR
SIERRA RANCH SUBDIVISION
UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2006

- EASEMENTS**
- ① 10' PUE (GRANTED BY THIS PLAT)
 - ② EXISTING 10' PUE
(06-24-05, BK. 05C- PG. 216)
 - ③ 30' C.O.A. PUBLIC SANITARY SEWER
AND STORM DRAIN EASEMENT
(GRANTED BY THIS PLAT)

SEE SHEET 5 OF 5
 FOR CURVE DATA, LINE
 DATA AND LOT AREA.

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5118.370



ACS MONUMENT
 "1-N8"
 Y=1470679.06
 X=348455.82
 G-G=0.99967260
 Δα=-00°17'26"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)



SIERRA RANCH SUBDIVISION
 PHASE 1
 (06-24-05, BK. 05C- PG. 216)

LANDS OF RIO BRAVO PARTNERS
 (04-17-96, 96C-160)

PARCEL 2-A

PARCEL 2-B

L15

GIBSON BOULEVARD S.W. (124' R/W)

FOUR MILE ROAD S.W.
 (46' R/W)

CORONA RANCH ROAD S.W.
 (46' R/W)

WALNUT CANYON ROAD S.W.
 (46' R/W)

MATCHLINE SEE SHEET 3



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

REVISED 12-21-06

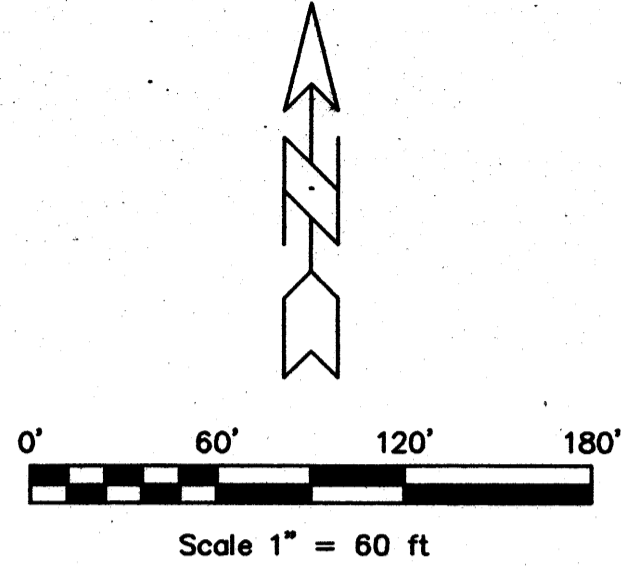
Drawn By: RJA/JPA	Date: 11-30-06
Checked By: TA/EM	Drawing Name: 05005PL2.DWG
Job No.: 05-005	Sheet: 3 of 5

PLAT FOR
 SIERRA RANCH SUBDIVISION
 UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2006

EASEMENTS

- ① 10' PUE (GRANTED BY THIS PLAT)
- ② EXISTING 10' PUE
(06-24-05, BK. 05C- PG. 216)

SEE SHEET 5 OF 5
 FOR CURVE DATA, LINE
 DATA AND LOT AREA.



LANDS OF RIO BRAVO PARTNERS
 (04-17-96, 96C-160)

PARCEL 2-B



SIERRA RANCH SUBDIVISION
 PHASE 1
 (06-24-05, BK. 05C- PG. 216)



REVISED 12-21-06

Drawn By:	RJA/JPA	Date:	11-30-06
Checked By:	TA/EM	Drawing Name:	05005PL2.DWG
Job No.:	05-005	Sheet:	4 of 5

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

PLAT FOR
SIERRA RANCH SUBDIVISION
UNIT 2
 WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2006

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	28.68'	11°10'38"	147.00'	14.38'	S05°47'08"E	28.68'
C2	96.89'	05°23'22"	1030.00'	48.48'	N87°06'30"E	96.85'
C3	68.53'	03°48'44"	1030.00'	34.28'	N87°53'49"E	68.52'
C4	28.36'	01°34'38"	1030.00'	14.18'	N85°12'08"E	28.35'
C5	53.65'	11°10'38"	275.00'	26.91'	N05°47'08"W	53.56'
C6	25.85'	09°52'20"	150.00'	12.95'	N06°23'10"W	25.81'
C7	39.27'	90°00'02"	25.00'	25.00'	S45°11'48"E	35.36'
C8	39.27'	90°00'02"	25.00'	25.00'	N44°48'14"W	35.36'
C9	37.34'	85°34'33"	25.00'	23.14'	N47°24'29"W	33.96'
C10	35.13'	06°45'14"	298.00'	17.58'	N07°59'50"W	35.11'
C11	26.18'	05°02'03"	298.00'	13.10'	N07°08'15"W	26.18'
C12	8.95'	01°43'11"	298.00'	4.47'	N10°30'52"W	8.94'
C13	25.00'	90°00'00"	25.00'	25.00'	N33°37'33"E	35.36'
C14	21.45'	04°52'35"	252.00'	10.73'	N08°56'09"W	21.44'
C15	42.02'	96°18'07"	25.00'	27.91'	N41°39'11"E	37.25'
C16	38.76'	88°49'18"	25.00'	24.49'	N45°47'06"W	34.99'
C17	34.91'	80°00'00"	25.00'	20.98'	N38°37'33"E	32.14'
C18	39.27'	90°00'00"	25.00'	25.00'	N56°22'27"W	35.36'
C19	28.76'	11°12'38"	147.00'	14.43'	N05°46'08"W	28.72'
C20	43.63'	100°00'00"	25.00'	29.79'	N51°22'27"W	38.30'
C21	39.78'	91°10'42"	25.00'	25.52'	N44°12'54"E	35.72'
C22	38.72'	88°44'45"	25.00'	24.46'	N45°49'23"W	34.97'
C23	35.90'	82°17'12"	25.00'	21.84'	N37°28'57"E	32.90'
C24	39.82'	91°15'15"	25.00'	25.55'	N44°10'37"E	35.74'
C25	80.54'	88°44'45"	52.00'	50.87'	N45°49'23"W	72.73'
C26	34.94'	80°04'33"	25.00'	21.01'	N38°35'16"E	32.16'
C27	43.60'	99°55'27"	25.00'	29.75'	N51°24'44"W	38.28'
C28	46.58'	09°35'59"	278.00'	23.34'	N06°14'59"W	46.52'
C29	39.27'	90°00'00"	25.00'	25.00'	N56°22'27"W	35.36'
C30	39.27'	90°00'00"	25.00'	25.00'	N33°37'33"E	35.36'
C31	39.27'	90°00'00"	25.00'	25.00'	N56°22'27"W	35.36'
C32	39.27'	90°00'00"	25.00'	25.00'	N33°37'33"E	35.36'
C33	43.60'	99°55'27"	25.00'	29.75'	N51°24'44"W	38.28'
C34	34.94'	80°04'33"	25.00'	21.01'	N38°35'16"E	32.16'
C35	43.60'	99°55'27"	25.00'	29.75'	N51°24'44"W	38.28'
C36	72.67'	80°04'33"	52.00'	43.69'	N38°35'16"E	66.90'
C37	39.27'	90°00'00"	25.00'	25.00'	N56°22'27"W	35.36'
C38	39.27'	90°00'00"	25.00'	25.00'	N33°37'33"E	35.36'
C39	39.27'	90°00'00"	25.00'	25.00'	N56°22'27"W	35.36'
C40	39.27'	90°00'00"	25.00'	25.00'	N33°37'33"E	35.36'
C41	136.96'	80°04'33"	98.00'	82.34'	N38°35'16"E	126.09'
C42	9.92'	05°47'55"	98.00'	4.96'	N75°43'35"E	9.91'
C43	37.60'	21°59'05"	98.00'	19.04'	N61°50'06"E	37.37'
C44	37.60'	21°59'05"	98.00'	19.04'	N39°51'01"E	37.37'
C45	37.60'	21°59'05"	98.00'	19.04'	N17°51'56"E	37.37'
C46	14.24'	08°19'23"	98.00'	7.13'	N02°42'42"E	14.22'
C47	151.79'	88°44'45"	98.00'	95.88'	N45°49'23"W	137.07'
C48	35.14'	20°32'48"	98.00'	17.76'	N11°43'24"W	34.96'
C49	37.60'	21°59'05"	98.00'	19.04'	N32°59'20"W	37.37'
C50	37.60'	21°59'05"	98.00'	19.04'	N54°58'25"W	37.37'
C51	37.60'	21°59'05"	98.00'	19.04'	S76°57'30"E	37.37'
C52	3.85'	02°14'42"	98.00'	1.92'	S89°04'24"E	3.84'
C53	104.82'	80°04'33"	75.00'	63.02'	N38°35'16"E	96.49'
C54	116.17'	88°44'45"	75.00'	73.38'	N45°49'23"W	104.90'
C55	39.27'	89°59'58"	25.00'	25.00'	N45°11'46"W	35.36'
C56	39.27'	89°59'58"	25.00'	25.00'	N44°48'12"E	35.36'
C57	6.68'	02°12'39"	173.00'	3.34'	S024°03'20"E	6.68'

LINE	DIRECTION	DISTANCE
L1	S11°22'27"E	152.04'
L2	N78°37'33"E	12.79'
L3	S11°22'27"E	105.00'
L4	N78°37'33"E	220.00'
L5	S11°22'27"E	407.00'
L6	S78°37'25"W	19.00'
L7	S11°22'27"E	210.00'
L8	N78°37'33"E	9.00'
L9	S11°22'27"E	211.88'
L10	S00°11'49"E	16.77'
L11	S00°11'45"E	46.00'
L12	N89°48'15"E	13.82'
L13	S00°11'45"E	105.98'
L14	S89°48'11"W	1104.59'
L15	N00°01'24"E	1075.41'
L16	N78°37'23"E	766.07'
L17	S11°22'27"E	21.48'
L18	S89°48'11"W	28.04'
L19	S89°48'11"W	27.47'
L20	N00°11'49"W	23.09'
L21	N11°19'20"W	21.56'
L22	N89°48'15"E	28.04'
L23	N11°22'27"W	35.61'
L24	N11°22'27"W	26.70'
L25	S11°22'27"E	31.94'
L26	S11°22'27"E	25.37'
L27	N78°37'33"E	29.05'
L28	S11°22'27"E	38.00'
L29	N78°37'33"E	29.66'
L30	N78°37'33"E	25.64'
L31	N78°37'33"E	31.95'
L32	N01°27'00"W	25.76'
L33	N01°43'50"W	19.62'
L34	S01°27'00"E	19.63'
L35	S01°27'00"E	27.26'
L36	S01°27'00"E	21.67'
L37	S78°37'33"W	27.34'
L38	S78°37'33"W	27.09'
L39	N78°37'33"E	19.86'
L40	N01°27'00"W	27.90'
L41	S89°48'15"W	27.47'
L42	S01°27'00"E	2.96'

LOT	AREA	LOT	AREA	LOT	AREA
208-P1	0.1215 AC.	276-P1	0.1085 AC.	345-P1	0.1205 AC.
209-P1	0.1095 AC.	277-P1	0.1085 AC.	346-P1	0.1205 AC.
210-P1	0.1095 AC.	278-P1	0.1085 AC.	347-P1	0.1085 AC.
211-P1	0.1217 AC.	279-P1	0.1085 AC.	348-P1	0.1205 AC.
212-P1	0.1095 AC.	280-P1	0.1085 AC.	349-P1	0.1085 AC.
213-P1	0.1217 AC.	281-P1	0.1085 AC.	350-P1	0.1085 AC.
214-P1	0.1095 AC.	282-P1	0.1085 AC.	351-P1	0.1205 AC.
215-P1	0.1095 AC.	283-P1	0.1224 AC.	352-P1	0.1085 AC.
216-P1	0.1095 AC.	284-P1	0.1174 AC.	353-P1	0.1215 AC.
217-P1	0.1228 AC.	285-P1	0.1085 AC.	354-P1	0.1085 AC.
218-P1	0.1215 AC.	286-P1	0.1085 AC.	355-P1	0.1112 AC.
219-P1	0.1095 AC.	287-P1	0.1085 AC.	356-P1	0.1393 AC.
220-P1	0.1095 AC.	288-P1	0.1085 AC.	357-P1	0.1515 AC.
221-P1	0.1095 AC.	289-P1	0.1085 AC.	358-P1	0.1205 AC.
222-P1	0.1095 AC.	290-P1	0.1085 AC.	359-P1	0.1342 AC.
223-P1	0.1095 AC.	291-P1	0.1085 AC.	360-P1	0.1883 AC.
224-P1	0.1217 AC.	292-P1	0.1085 AC.	361-P1	0.1514 AC.
225-P1	0.1095 AC.	293-P1	0.1085 AC.	362-P1	0.1422 AC.
226-P1	0.1127 AC.	294-P1	0.1085 AC.	363-P1	0.1722 AC.
227-P1	0.1539 AC.	295-P1	0.1085 AC.	364-P1	0.1388 AC.
228-P1	0.2422 AC.	296-P1	0.1085 AC.	365-P1	0.1410 AC.
229-P1	0.3291 AC.	297-P1	0.1085 AC.	366-P1	0.1209 AC.
230-P1	0.2263 AC.	298-P1	0.1085 AC.	367-P1	0.1085 AC.
231-P1	0.1489 AC.	299-P1	0.1174 AC.	368-P1	0.1085 AC.
232-P1	0.1477 AC.	300-P1	0.1085 AC.	369-P1	0.1205 AC.
233-P1	0.1627 AC.	301-P1	0.1085 AC.	370-P1	0.1085 AC.
234-P1	0.1451 AC.	302-P1	0.1205 AC.	371-P1	0.1085 AC.
235-P1	0.1440 AC.	303-P1	0.1205 AC.	372-P1	0.1352 AC.
236-P1	0.1428 AC.	304-P1	0.1205 AC.	373-P1	0.1339 AC.
237-P1	0.1416 AC.	305-P1	0.1205 AC.	374-P1	0.1205 AC.
238-P1	0.1404 AC.	306-P1	0.1205 AC.	375-P1	0.1205 AC.
239-P1	0.1546 AC.	307-P1	0.1205 AC.	376-P1	0.1205 AC.
240-P1	0.1378 AC.	308-P1	0.1085 AC.	377-P1	0.1205 AC.
241-P1	0.1366 AC.	309-P1	0.1366 AC.	378-P1	0.1214 AC.
242-P1	0.1355 AC.	310-P1	0.1422 AC.	379-P1	0.1650 AC.
243-P1	0.1416 AC.	311-P1	0.1085 AC.	380-P1	0.1205 AC.
244-P1	0.2210 AC.	312-P1	0.1085 AC.	381-P1	0.1205 AC.
245-P1	0.1499 AC.	313-P1	0.1085 AC.	382-P1	0.1205 AC.
246-P1	0.2070 AC.	314-P1	0.1085 AC.	383-P1	0.1541 AC.
247-P1	0.2472 AC.	315-P1	0.1085 AC.		
248-P1	0.1609 AC.	316-P1	0.1085 AC.		
249-P1	0.1178 AC.	317-P1	0.1085 AC.		
250-P1	0.1095 AC.	318-P1	0.1085 AC.		
251-P1	0.1095 AC.	319-P1	0.1085 AC.		
252-P1	0.1095 AC.	320-P1	0.1174 AC.		
253-P1	0.1217 AC.	321-P1	0.1174 AC.		
254-P1	0.1095 AC.	322-P1	0.1085 AC.		
255-P1	0.1095 AC.	323-P1	0.1085 AC.		
256-P1	0.1095 AC.	324-P1	0.1085 AC.		
257-P1	0.1095 AC.	325-P1	0.1085 AC.		
258-P1	0.1095 AC.	326-P1	0.1085 AC.		
259-P1	0.1095 AC.	327-P1	0.1085 AC.		
260-P1	0.1095 AC.	328-P1	0.1085 AC.		
261-P1	0.1095 AC.	329-P1	0.1085 AC.		
262-P1	0.1205 AC.	330-P1	0.1205 AC.		
263-P1	0.1085 AC.	331-P1	0.1085 AC.		
264-P1	0.1174 AC.	332-P1	0.1085 AC.		
265-P1	0.1174 AC.	333-P1	0.1205 AC.		
266-P1	0.1085 AC.	334-P1	0.1085 AC.		
267-P1	0.1085 AC.	335-P1	0.1085 AC.		
268-P1	0.1205 AC.	336-P1	0.1205 AC.		
269-P1	0.1205 AC.	337-P1	0.1085 AC.		
270-P1	0.1205 AC.	338-P1	0.1085 AC.		
271-P1	0.1085 AC.	339-P1	0.1085 AC.		
272-P1	0.1085 AC.	340-P1	0.1408 AC.		
273-P1	0.1665 AC.	341-P1	0.1725 AC.		
274-P1	0.1376 AC.	342-P1	0.1085 AC.		
275-P1	0.1085 AC.	343-P1	0.1205 AC.		



REVISED 12-21-06

Drawn By:	RJA/JPA	Date:	11-30-06
Checked By:	TA/EM	Drawing Name:	05005PL2.DWG
Job No.:	05-005	Sheet:	5 of 5

ALDRICH LAND
SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT OF
LANDS OF RIO BRAVO PARTNERS
PARCELS 2-A, 2-B, 2-C & 2-D
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY, 1996

State of New Mexico) SS
County of Bernalillo)
This instrument was filed for record on
10:01 APR 17 1996 960
of records of said County Clerk
Deputy Clerk

APPROVED AND ACCEPTED BY:

<u>5-96-21</u>	
SUBDIVISION PLAT NO.	CITY COUNTY
<u>Wm L. Lora</u>	<u>4-11-96</u>
PLANNING DIRECTOR - ALBUQUERQUE/BERNALILLO COUNTY DEVELOPMENT REVIEW BOARD	DATE
<u>Frank J. Cuyler</u>	<u>9-9-96</u>
CITY ENGINEER	DATE
<u>Frank J. Cuyler</u>	<u>9-9-96</u>
A.M.A.F.C.A.	DATE
<u>Robert W. Kohn</u>	<u>3-25-96</u>
TRAFFIC ENGINEER	DATE
<u>Robert W. Kohn</u>	<u>3-19-96</u>
UTILITIES DEVELOPMENT DIVISION CITY OF ALBUQUERQUE PUBLIC WORKS	DATE
<u>Carl S. Darnest</u>	<u>3-19-96</u>
CITY PARKS AND GENERAL SERVICES	DATE
<u>PJ Rubin</u>	<u>3-21-96</u>
PROPERTY MANAGEMENT	DATE
<u>Paul C. ...</u>	<u>020541</u>
CITY SURVEYOR	DATE
<u>Paul P. ...</u>	<u>2-28-96</u>
PNM ELECTRIC SERVICES	DATE

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYOR'S CERTIFICATION

I, VLADIMIR JIRK, A DULY QUALIFIED PROFESSIONAL SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST AND THAT THE SURVEY MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE BERNALILLO COUNTY SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Vladimir Jirk 1/26/96
VLADIMIR JIRK, N.M.P.S. NO. 10484 DATE



LEGAL DESCRIPTION

Being that certain parcel of land situated within the Town of Atrisco Grant, within Section 5 (as projected), Township 9 North, Range 2 East, New Mexico Principal Meridian, Albuquerque, Bernalillo County, New Mexico, and being identified as a portion of Parcel 2, Lands of Rio Bravo Partners, as said Parcel 2 is shown and designated on "PLAT OF LANDS OF RIO BRAVO PARTNERS WITHIN PROJECTED SECTION 5, T9N, R2E, NMPM, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" filed in the Office of the County Clerk, Bernalillo County, New Mexico, on July 19, 1990, in Volume 90C, Folio 163, and being more particularly described by meets and bounds survey as follows:

Beginning at the northwest corner of the parcel of land herein described being a point on the westerly line of projected Section 5, and the easterly line of the Westland Development Company South Tract, whence the ACS Control Station "1-N8" bears S. 64° 32' 52" E., 1,994.38 feet distance; thence,

- S. 89° 41' 55" E., 1,582.45 feet distance along the southerly line of AMAFCA Westgate Dam Drainage Right-Of-Way to a point; thence,
- S. 11° 15' 18" E., 87.78 feet distance to a point; thence,
- S. 89° 41' 55" E., 864.70 feet distance to the northeast corner of the parcel of land herein described, being a point at the intersection of the line common to Parcels 1 and 2, Lands of Rio Bravo Partners and the southerly line of AMAFCA Westgate Dam Drainage Right-Of-Way; thence,
- S. 00° 01' 21" W., 2,315.04 feet distance to a point being the southwest corner of Parcel 1, Lands of Rio Bravo Partners; thence,
- N. 89° 48' 09" E., 1,859.41 feet distance to a point being the southeast corner of Parcel 1, Lands of Rio Bravo Partners; thence,
- S. 00° 11' 22" E., 2,771.07 feet distance to the southeast corner of the parcel of land herein described being the southeast corner of Parcel 2, Lands of Rio Bravo Partners and a point on the northeasterly line of Westland Development Company South Tract; thence,
- S. 89° 47' 32" W., 4,413.19 feet distance to the southwest corner of the parcel of land herein described being the southwest corner of Parcel 2, Lands of Rio Bravo Partners, the corner on the easterly line of Westland Development Company South Tract, and the Section Corner common to projected Sections 5, 6, 7 and 8; thence,
- N. 00° 53' 46" E., 5,195.29 feet distance along the line common to the westerly line of Parcel 2, Lands of Rio Bravo Partners and the easterly line of Westland Development Company South Tract to the northwest corner and point of beginning of the parcel of land herein described and containing 18,071,149 square feet (414.8565 acres), more or less.

OWNER'S CERTIFICATE

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

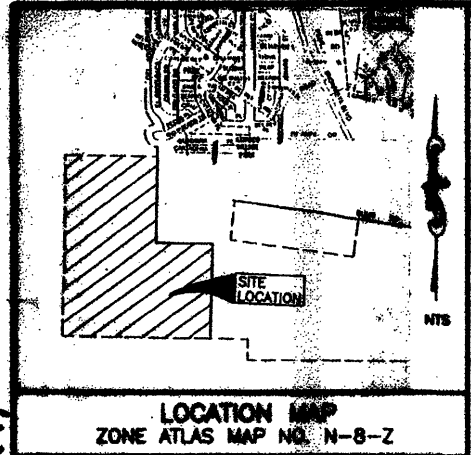
FOR PARCELS 2-A, 2-B, 2-C & 2-D.
BY: Ray B. Pacioni 1-29-96
RAY B. PACIONI
MANAGING GENERAL PARTNER
BELLA VISTA PROPERTIES PARTNERSHIP DATE

ACKNOWLEDGEMENT

STATE OF ARIZONA }
COUNTY OF Maricopa } ss.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME
ON 29th DAY OF January
19 96, BY Ray B. Pacioni

MY COMMISSION EXPIRES: 7-21-97
NOTARY PUBLIC



SUBDIVISION DATA

- 1. CASE NO.: DMB-95-440
- 2. ZONE ATLAS INDEX NO.: N-8-Z
- 3. GROSS SUBDIVISION ACREAGE: 414.8565 ACRES
- 4. TOTAL NUMBER OF LOTS CREATED: 4 LOTS
- 5. DATE OF SURVEY: JANUARY, 1996
- 6. TALOS LOG NO.: SP-960-119-13390433

NOTES:

- 1. BEARINGS SHOWN ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE). BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE RECORD DATA.
- 2. DISTANCES ARE GROUND DISTANCES.
- 3. UNLESS OTHERWISE INDICATED, ALL BOUNDARY CORNERS SHOWN THIS ARE MARKED WITH A P.K. NAIL W/SHINER, SCRIBED "X" IN CONCRETE OR AN IRON STAKE SURMOUNTED WITH A CAP STAMPED "P.S. 10484".
- 4. THE DATA SHOWN HEREON IS FROM AN ACTUAL FIELD SURVEY.
- 5. THE PURPOSE OF THIS PLAT IS TO CREATE A BULK LAND SUBDIVISION OF AN EXISTING PARCEL 2 INTO 4 PARCELS.
- 6. LOCATIONS OF DRAINAGE EASEMENTS SHOWN ON THIS PLAT, DEDICATED BY PLAT OF LANDS OF RIO BRAVO PARTNERS FILED 7/19/1990 IN VOLUME 90C-FOLIO 163, ARE APPROXIMATE ONLY AND WILL BE REDEFINED DURING THE FURTHER DEVELOPMENT PROCESS. PRESENT LOCATIONS OF THESE EASEMENTS AS SHOWN ON THE RECORDED PLAT WERE SCALED FROM MAPS AVAILABLE AT THE TIME AND DO NOT NECESSARILY CORRESPOND WITH THE LOCATION OF ARROYOS ON THE GROUND AND DO NOT CLOSE MATHEMATICALLY.
- 7. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE IS CURRENTLY NOT AVAILABLE TO THESE PROPERTIES.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC#:
1-008-054-221-240-30140
PROPERTY OWNER OF RECORD: Bella Vista Properties
BERNALILLO COUNTY TREASURER'S OFFICE: Bunilda Santillan 4-7-96

96C-160 W

96C-160 W

PLAT OF
LANDS OF RIO BRAVO PARTNERS
PARCELS 2-A, 2-B, 2-C & 2-D
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY, 1996

LINE TABLE

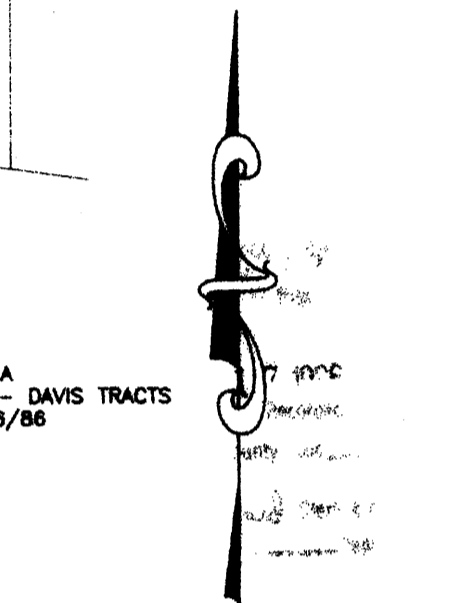
LINE	DIRECTION	DISTANCE
L41	S 11°15'18" E	87.28'
L42	N 11°15'35" W	1087.39'
L43	S 78°37'11" W	273.28'
L44	S 78°37'11" W	242.75'
L45	N 11°15'35" W	1427.05'
L46	N 11°15'35" W	101.79'
L47	N 11°15'35" W	832.51'
L48	N 11°15'35" W	1774.30'
L49	N 11°15'35" W	169.08'
L50	N 11°15'35" W	1128.07'
L51	S 78°37'11" W	240.40'
L52	N 11°15'35" W	1105.58'
L53	S 78°37'11" W	168.08'
L54	N 11°15'35" W	178.39'
L55	S 78°44'25" E	166.42'
L56	N 11°15'35" W	636.80'
L59	S 11°15'35" E	700.00'

CENTER LINE OF DRAINAGE EASEMENTS (ALL RECORD DATA)

CENTER LINE	DIRECTION	DISTANCE
L1	S 82°01'00" W	688.00'
L2	N 73°57'00" W	1,808.00'
L3	N 42°34'00" W	808.00'
L4	N 87°15'00" W	1,825.00'
L5	S 82°12'00" W	628.00'
L6	S 82°08'00" W	2,578.00'
L7	N 70°31'00" W	741.00'
L8	N 81°44'00" W	1,087.00'
L9	N 89°31'00" W	845.00'
L10	N 88°48'00" W	1,328.00'
L11	N 82°11'00" W	814.00'
L12	N 89°41'00" W	811.00'
L13	N 86°16'00" W	383.00'
L14	S 82°58'00" W	1,380.00'
L15	N 86°18'00" W	1,378.00'
L16	N 78°32'00" W	814.00'
L17	N 37°02'00" W	328.00'
L18	N 57°38'00" W	588.00'
L19	N 82°17'00" W	582.00'
L20	S 77°28'00" W	400.00'
L21	N 57°37'00" W	318.00'
L21A	S 88°57'00" W	587.00'
L21B	S 78°28'00" W	450.00'
L21C	N 83°18'00" W	381.00'
L22	N 82°02'00" W	808.00'
L23	N 78°35'00" W	488.00'
L24	S 71°20'00" W	251.00'
L25	N 78°32'00" W	234.00'
L26	N 53°02'00" W	450.00'
L27	N 78°35'00" W	588.00'
L28	S 73°55'00" W	730.00'
L29	N 70°50'00" W	554.00'
L30	N 85°53'00" W	1,120.00'
L31	N 84°48'00" W	1,083.00'
L32	N 88°28'00" W	1,018.00'
L33	N 78°53'00" W	1,288.00'
L34	N 51°58'00" W	583.00'
L35	S 89°17'00" W	1,194.00'
L36	N 70°17'00" W	1,182.00'
L37	S 88°34'00" W	508.00'
L38	S 80°48'00" W	612.00'
L39	S 85°10'00" W	1,014.00'
L40	S 88°19'00" W	358.00'

State of New Mexico)
County of Bernalillo) SS
This instrument was filed for record on
10.08 APR 17 1996
at 10:08 a.m. Recorded in 96C
of records of said County Folio 160
Judy D. Woodard, Clerk & Recorder
Deputy Clerk

TRACT 1-C
SHOWN ON PLAT OF
SALAZAR - DAVIS TRACTS
FILED 5/6/86
(C30-91)

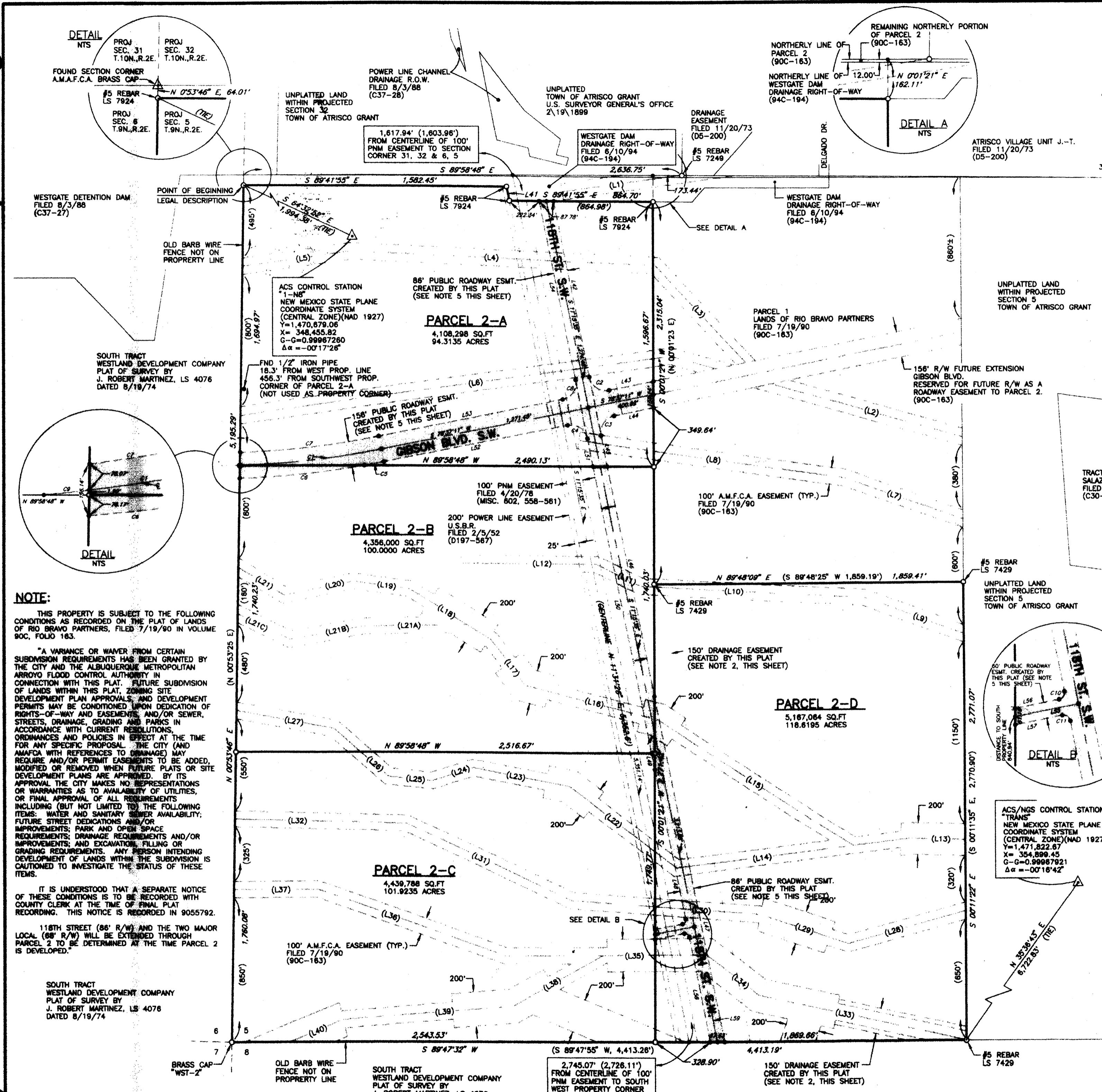


SCALE: 1" = 400'

TRACT 4-A
SALAZAR - DAVIS TRACTS
FILED 5/6/86
(C30-91)

- NOTES:**
- CITY PARKS AND GENERAL SERVICES DEPARTMENT RESERVES THE RIGHT TO NEGOTIATE WITH EACH PROPERTY OWNER THE LOCATION AND SIZE OF ANY PARK SPACE THAT MAY BE REQUIRED.
 - EASEMENTS TO ACCOMMODATE THE EXISTING 100 YEAR STORM FLOWS ARE HEREBY GRANTED TO AMAFCA FOR DRAINAGE CONTROL. SUCH EASEMENTS ARE TO RUN WITH THE LAND BUT MAY BE MODIFIED, REMOVED OR REPLACED AS NECESSARY AND MUTUALLY AGREED TO BY AMAFCA AND OWNER(S) PENDING FUTURE PLATTING SUBMITTALS WHICH CONFORM TO A MORE COMPLETE OR IMPROVED ROUTING OF THE DRAINAGE FACILITIES.
 - FURTHER DIVISION OF THIS LAND WILL BE SUBJECT TO THE PARK DEDICATION AND DEVELOPMENT ORDINANCE.
 - THIS AREA FALLS WITHIN THE SOUTHWEST AREA PLAN WHICH WAS ADOPTED ON AUGUST 23, 1988. POLICY 34, ON PAGE 51 STATES THAT "ARCHAEOLOGICAL CLEARANCE SURVEYS OF AREAS GREATER THAN 10 ACRES SCHEDULED FOR DEVELOPMENT MUST BE PERFORMED PRIOR TO RECEIVING SUBDIVISION APPROVAL OR STARTING CONSTRUCTION."
 - PUBLIC ROADWAY EASEMENTS CREATED BY THIS PLAT MAY BE MODIFIED, REMOVED OR REPLACED AS NECESSARY AND MUTUALLY AGREED TO BY THE CITY OF ALBUQUERQUE AND OWNER(S) PENDING FUTURE PLATTING SUBMITTALS OF EACH INDIVIDUAL PARCEL.

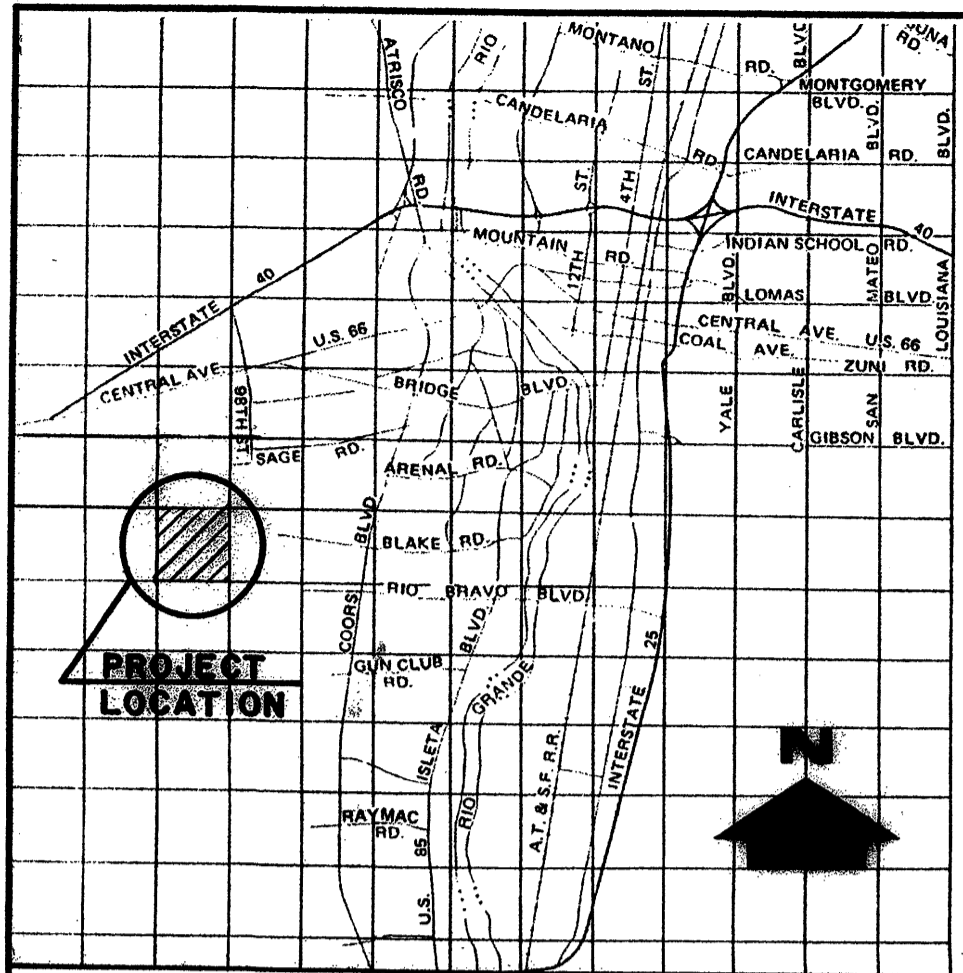
CURVE	RADIUS	LENGTH	CHORD	N BEARING	DELTA
C1	5000.00'	857.28'	858.28'	N 83°31'54" E	08°48'25"
C2	100.00'	157.29'	141.57'	S 88°18'12" E	80°07'14"
C3	100.00'	158.87'	141.27'	S 33°40'48" W	88°52'48"
C4	100.00'	157.29'	141.57'	N 88°18'12" W	80°07'14"
C5	5078.00'	119.19'	118.18'	N 79°17'55" E	01°20'41"
C6	5078.00'	754.81'	754.19'	N 84°32'22" E	08°31'00"
C7	4822.00'	840.57'	838.35'	N 83°30'44" E	08°47'05"
C8	100.00'	158.87'	141.27'	N 33°40'48" E	88°52'48"
C9	5000.00'	137.57'	137.58'	N 89°13'54" E	01°24'35"
C10	25.00'	38.37'	38.38'	N 33°44'25" E	80°07'14"
C11	25.00'	38.37'	38.38'	N 58°15'35" W	80°07'14"



96C-160(a)

96C-160(b)

96C-160(a)



LOCATION MAP

NOT TO SCALE

PLAT OF 9055793
LANDS OF RIO BRAVO PARTNERS
 WITHIN PROJECTED SECTION 5
 T9N, R2E, NMPM
 ALBUQUERQUE
 BERNALILLO COUNTY
 NEW MEXICO
 MAY, 1990

State of New Mexico } SS
 County of Bernalillo }
 This instrument was filed for record on
 153 JUL 9 1990
 o'clock m. Recorded in Vol. 90 C
 of records of said County Folio 163
 Deputy Clerk: Clerk

UTILITY COUNCIL LOCATION SYSTEM LOG NUMBER: 90051609370066

APPROVED AND ACCEPTED BY: SP-90-123

- Michael H. Dent 6-29-90
Traffic Engineer, Transportation Department Date
- Dani M. Stone 6-12-90
Parks and Recreation Department Date
- Wendy Chute 052490
Chief City Surveyor, Engineering Division Date
- Robert W. Kane 6-12-90
Water Resources Department Date
- MA
Property Management Date
- Fred J. Aguirre 6/24/90
Albuquerque Metropolitan Arroyo Flood Control Authority Date
- Fred J. Aguirre 6/25/90
City Engineer, Engineering Division Date

LEGAL DESCRIPTIONS

TOTAL TRACT

A certain tract of land situate within Projected Section 5, Township 9 North, Range 2 East of the New Mexico Principal Meridian, Albuquerque, Bernalillo County, New Mexico, being within the Atrisco Land Grant and being more particularly described as follows:
 Beginning at the northeast corner of the tract herein described, whence, A.C.S. Station 'TRANS' bears N 86°29'40" E, 3939.60 feet and running; thence, S 00°11'35" E, 5,224.77 feet to the southeast corner; thence, S 89°47'55" W, 4,413.26 feet to the southwest corner; thence, N 00°53'52" E, 5,258.94 feet to the northwest corner; thence, S 89°58'37" E, 2,636.68 feet; thence, S 89°25'11" E, 1,676.63 feet to the northeast corner and point of beginning of the tract herein described and containing 525.5159 acres more or less, and is subject to easements as shown, easements of record and prescriptive easements not shown.

PARCEL 1

A certain tract of land situate within Projected Section 5, Township 9 North, Range 2 East of the New Mexico Principal Meridian, Albuquerque, Bernalillo County, New Mexico, being within the Atrisco Land Grant and being more particularly described as follows:
 Beginning at the northeast corner of the tract herein described, whence A.C.S. Station 'TRANS' bears N 86°29'40" E, 3,939.60 feet and running; thence, S 00°11'35" E, 2,453.87 feet to the southeast corner; thence, S 89°48'25" W, 1,859.19 feet to the southwest corner; thence, N 00°01'23" E, 2,477.17 feet to the northwest corner; thence, S 89°58'37" E, 1,733.37 feet; thence, S 89°25'11" E, 1,676.63 feet to the northeast corner and point of beginning of the tract herein described and containing 105.0000 acres more or less.

PARCEL 2

A certain tract of land situate within Projected Section 5, Township 9 North, Range 2 East of the New Mexico Principal Meridian, Albuquerque, Bernalillo County, New Mexico, being within the Atrisco Land Grant and being more particularly described as follows:
 Beginning at the southeast corner of the tract herein described, whence, A.C.S. Station 'TRANS' bears N 35°36'41" E, 6,722.90 feet and running; thence, S 89°47'55" W, 4,413.26 feet to the southwest corner; thence, N 00°53'52" E, 5,258.94 feet to the northwest corner; thence, S 89°58'37" E, 2,463.31 feet to the northeast corner; thence, S 00°01'23" W, 2,477.17 feet; thence, N 89°48'25" E, 1,859.19 feet; thence, S 00°11'35" E, 2,700.90 feet to the southeast corner and point of beginning of the tract herein described and containing 420.5159 acres more or less.

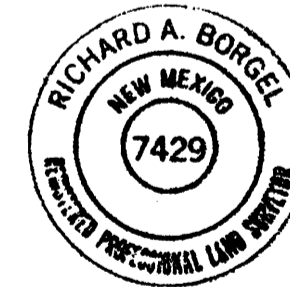
APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Article XI of Chapter 7 of the Revised Ordinances of Albuquerque, New Mexico.

- Jack Clark 7-14-90
City Planner, Albuquerque/Bernalillo County Planning Division Date
 - Robin Phillips 6-22-90
Public Service Company of New Mexico Date
- THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPON: 1-008-054-245-255-30142
 PROPERTY OWNER OF RECORD: Group 574
 BERNALILLO COUNTY TREASURER'S OFFICE: 99-CODE
Chris Simpson 7-16-90

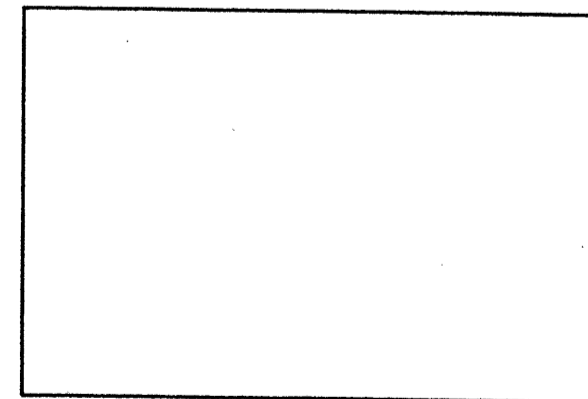
SURVEYOR'S CERTIFICATION

I, RICHARD A. BORDEL, A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION FROM NOTES OF ACTUAL FIELD SURVEYS PERFORMED BY ME, IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND THE STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR LAND SURVEYS IN THE STATE OF NEW MEXICO.

Richard A. Borgel
 RICHARD A. BORDEL, R.P.L.S. NO. 7429
 May 14, 1990
 DATE



Any improvements within existing PNM rights-of-way must meet the National Electric Safety Code standards in conjunction with the operating specifications of existing lines. Contact PNM / Transmission Engineering for Operating Specifications. It will be the responsibility of the City of Albuquerque and/or the owner-developer for any relocations or modifications to existing PNM facilities.



RESERVED FOR COUNTY CLERK

PLAT OF
LANDS OF RIO BRAVO PARTNERS

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS & SURVEYORS
 P.O. BOX 21307
 ALBUQUERQUE, NEW MEXICO 87154
 (505) 265-0905

Designed: RAB Drawn: RJA Checked: RAB Sheet 1 of 2
 Scale: 1"=30' Date: 5/90 Job: 9014

SUBDIVISION DATA

Plat Case Nos. DRB. 90-0182, SP. 90-123, V.
 Gross Acreage 525.5159 Ac.
 Zone Atlas No. N-8-Z
 No. of Existing Tracts/Lots 1
 No. of Tracts/Lots Created 2
 No. of Tracts/Lots Eliminated 0
 Miles of Full Width Streets Created 0
 Date of Survey MAY 10, 1990

NOTES

1. The purpose of this plat is to subdivide 105 acres from the total area, creating 2 Bulk Parcels.
2. Basis of bearings is between ACS 1-N8 & ACS Station TRANS. All bearings are grid. All distances are ground.
 $\Delta\alpha = -00'17'15"$
 Combined Factor .99966582
3. Prior to development, City of Albuquerque water and sanitary sewer service to Parcel 1 must be verified and coordinated with the Public Works Department, City of Albuquerque, via a request for a water and sanitary sewer service availability statement.
4. A variance or waiver from certain subdivision requirements has been granted by the City and the Albuquerque Metropolitan Arroyo Flood Control Authority in connection with this plat. Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of rights-of-way and easements, and/or sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal. The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed when future plats or Site Development Plans are approved. By its approval the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

IT IS UNDERSTOOD THAT A SEPERATE NOTICE OF THESE CONDITIONS IS TO BE RECORDED WITH COUNTY CLERK AT THE TIME OF FINAL PLAT RECORDING. THIS NOTICE IS RECORDED IN 9055792

5. 118TH Street (86' R/W) and the two major local (68' R/W) will be extended through Parcel 2 to be determined at the time Parcel 2 is developed.

FREE CONSENT AND DEDICATION

The undersigned owner(s) and/or proprietor(s) do hereby attest that the plat shown hereon is with their free consent and are in accordance with their wishes and desires, along with the granting of drainage and roadway easements as shown and as dedicated on sheet 2 of 2 of this plat.

Robert L. Moody
Jack D. Holland CO-MANAGING PARTNERS
 Rio Bravo Partners

OWNER'S ACKNOWLEDGMENT

State of Arizona }
 County of Maricopa } SS

The foregoing instrument was acknowledged before me on this
22nd day of May, 1990.
Cathy C. Kroegman 7-15-90
 Notary Public My Commission Expires



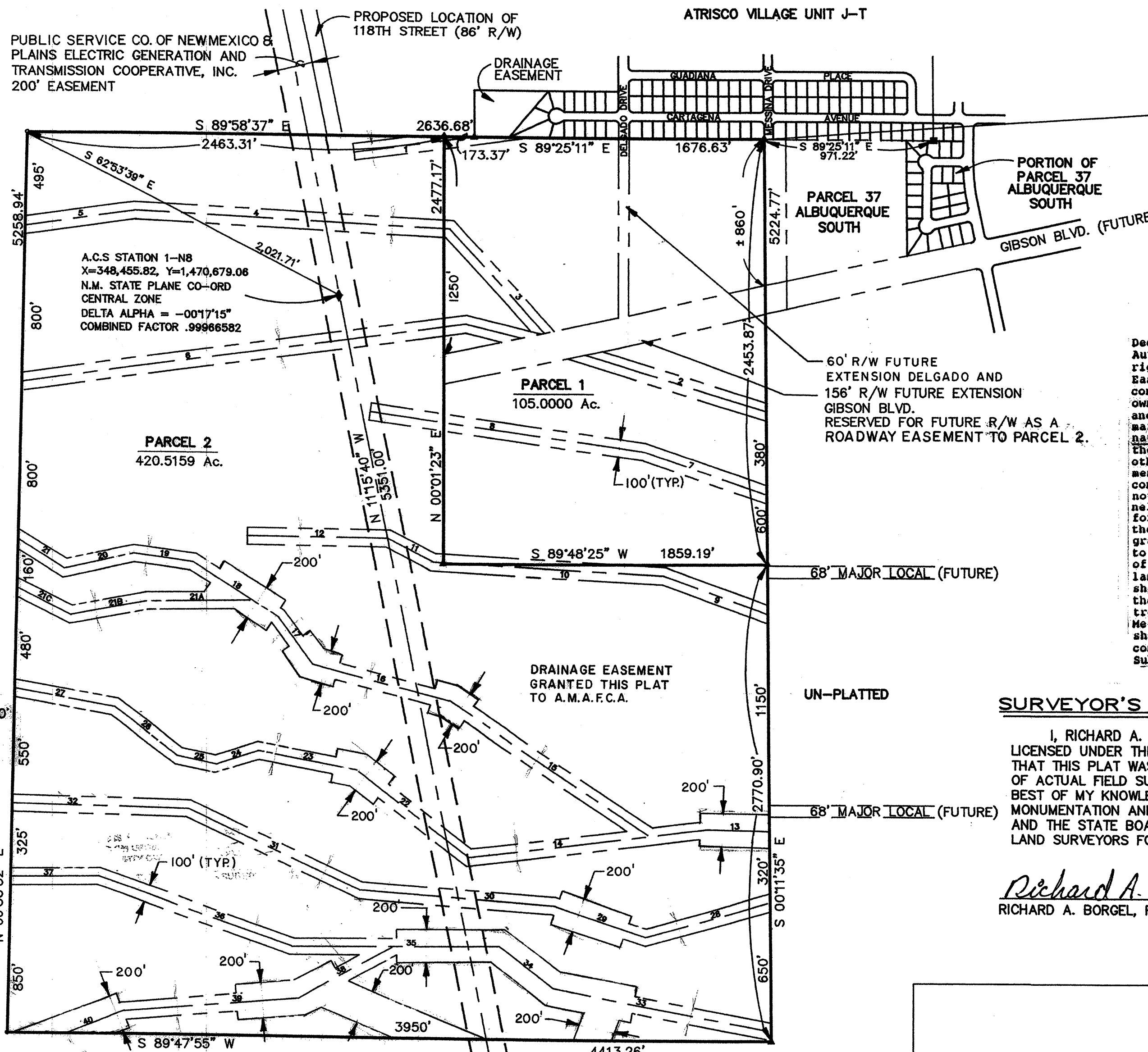
9055793

PLAT OF LANDS OF RIO BRAVO PARTNERS WITHIN PROJECTED SECTION 5 T9N, R2E, NMPM ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO MAY, 1990

Table with 12 columns: C. NO., BEARING, DISTANCE, C. NO., BEARING, DISTANCE, C. NO., BEARING, DISTANCE, C. NO., BEARING, DISTANCE. It lists 30 points for the intended 100' wide drainage easements.

State of New Mexico } County of Bernalillo } SS This instrument was filed for record on

153 JUL 19 1990 At 2:00 p.m. Registered in Vol. 1632 of records of said County Folio 1632 Deputy Clerk



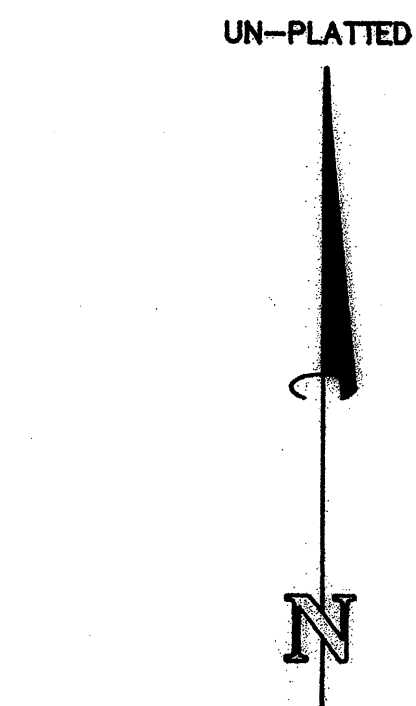
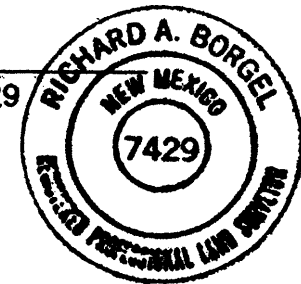
A.C.S. STATION "TRANS" X=354,899.45, Y=1,471,822.67 N.M. STATE PLANE CO-ORD CENTRAL ZONE DELTA ALPHA = -00°17'15" COMBINED FACTOR .99966582

Dedication to the Albuquerque Metropolitan Arroyo Flood Control Authority (AMAFCA), its successors and assigns, of the lands, right-of-way, and easements designated herein as "Flood Plain Easement" or "Drainage Easement." is with the full and free consent and in accordance with the desire of the undersigned owner. This dedication is for drainage, flood control, conveyance of storm water, and the construction, operation, and maintenance of, and access to such facilities, and for subordinate recreational use and access on such facilities.

SURVEYOR'S CERTIFICATION

I, RICHARD A. BORGEL, A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION FROM NOTES OF ACTUAL FIELD SURVEYS PERFORMED BY ME, IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND THE STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR LAND SURVEYS IN THE STATE OF NEW MEXICO.

Richard A. Borgel RICHARD A. BORGEL, R.P.L.S. NO. 7429 May 14, 1990 DATE



- LEGEND
• FOUND KOOGLE & POULS BRASS CAP IN CONCRETE WST 2
• FOUND AMAFCA BRASS CAP IN CONCRETE LS 4078
▲ SET #5 REBAR WITH CAP R.P.L.S. 7429
■ FOUND BRASS CAP IN CONCRETE
T10N 32 | 33 5 | 4 T9N

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND... The easements shown are based upon topographic survey and may not reflect FEMA map flood plans. Maintenance of roadways is to be maintained by the owners of parcel 1.

RESERVED FOR COUNTY CLERK

PLAT OF LANDS OF RIO BRAVO PARTNERS dmG D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS & SURVEYORS P.O. BOX 21307 ALBUQUERQUE, NEW MEXICO 87154 (505) 265-0905

ATRISCO VILLAGE UNIT J-T.

A SUBDIVISION IN
ALBUQUERQUE, NEW MEXICO

**ENCHANTMENT
ENGINEERING**

State of New Mexico | ss
County of Bernalillo | ss
This instrument was filed for record on
NOV 20 1973
At 4 o'clock P.M. Recorded in Vol. 220
of records of said County Falls
Clark & Recorder
Deputy Clerk

LEGAL DESCRIPTION

Beginning at a point which is the corner common to Sections 32 and 33, T10N, R2E, NMPM and running thence N 89°36'W, 2,647.85 feet to the southwest corner; thence N 00°38'E, 271.0 feet; thence S 89°36'E, 825.49 feet; thence N 00°14'E, 217.0 feet; thence S 89°36'E, 1,820.46 feet; thence S 00°14'W, 488.0 feet to the point of beginning and containing 25.535 acres more or less.

DEDICATION

The subdivision of that certain tract of land as described, is with free consent and in accordance with the desires of the undersigned owners and proprietors thereof and said owners and proprietors do hereby dedicate the several thoroughfares shown hereon, together with easements for electric power and telephone lines on the rear seven (7) feet of each lot and also easements as shown on this plat, including easements for overhead, underground, and buried service wires and including the right of ingress, egress and the rights to trim or remove interfering trees.

JAMES THOMAS, INC.

Clair Miller
Clair Miller, President
James Thomas
Attest
INTERNATIONAL BUILDING CORP.

State of New Mexico ss
County of Bernalillo ss
Margaret O. Gabaldon
Margaret O. Gabaldon, President Attest

On this 5th day of JUNE, 1973, the foregoing instrument was acknowledged before me by Clair Miller, known to be the President of James Thomas, Inc., a New Mexico corporation.

My commission expires 9/15/73
State of New Mexico ss
County of Bernalillo ss
John D. Highfill
Notary Public

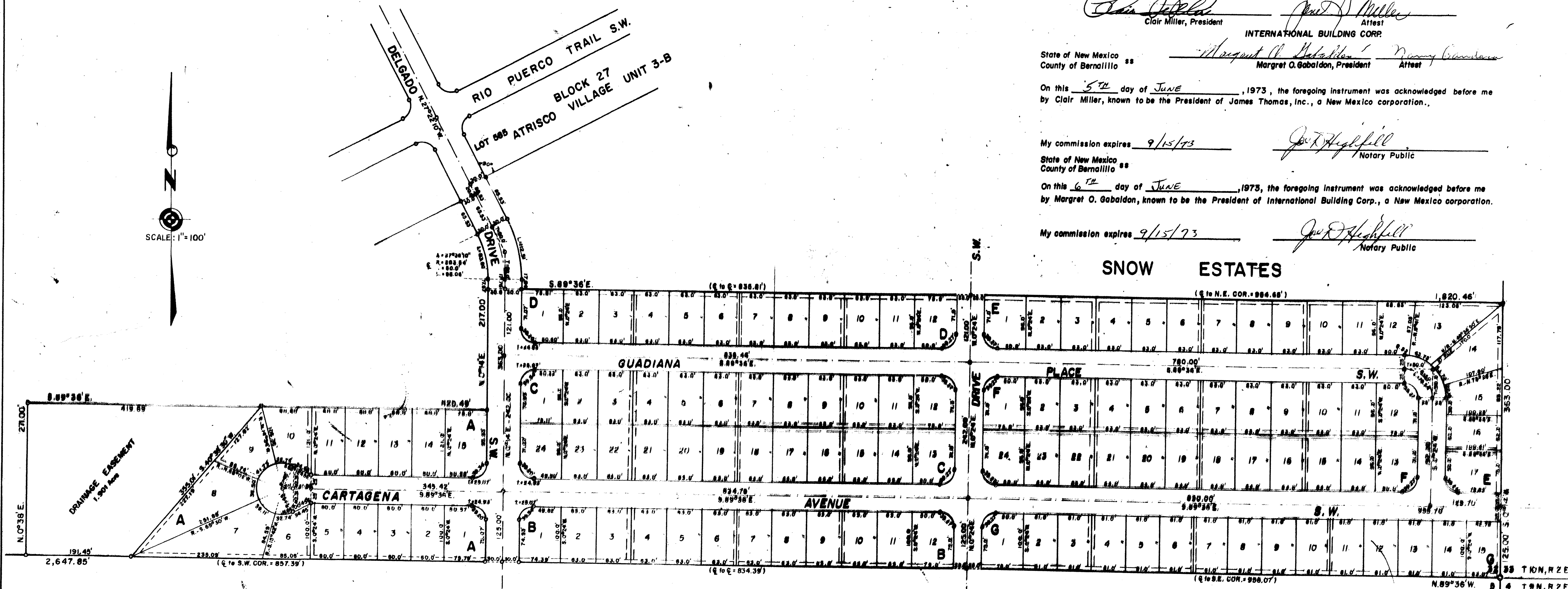
On this 6th day of JUNE, 1973, the foregoing instrument was acknowledged before me by Margaret O. Gabaldon, known to be the President of International Building Corp., a New Mexico corporation.

My commission expires 9/15/73
John D. Highfill
Notary Public

APPROVALS

- John P. Blount* 10/26/73
Executive Engineer, AMAFCA
- William J. Stearns* 10-12-71
City Engineer for the city of Albuquerque, New Mexico
- ...* 1-5-72
Traffic Engineer for the city of Albuquerque, New Mexico
- Robert H. Buzan* 3-6-73
Parks and Recreation Dept. for the city of Albuquerque, New Mexico
- ...* 4/11/74
Mountain States Telephone & Telegraph Co.
- Edward Johnson* 12/6/72
Public Service Co. of New Mexico
- ...* 11-28-72
Southern Union Gas Co.
- ...* 1-4-73
Chairman Planning Commission
- ...* 4-11
Executive Secretary Planning Commission

SNOW ESTATES



We hereby certify that all taxes to and including 1972 are paid.

By: *Gisela Gatignol*
New Mexico Title Co.

LEGAL DESCRIPTIONS FOR TRACTS OF LAND IN THIS SUBDIVISION SHALL BE AS FOLLOWS:

Lot numbered (in Block Lettered) of Atrisco Village Unit J-T, a subdivision in Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on

NOTES

- All easements shown are for use of utilities.
- Unless otherwise shown, all block corner radii are 25 feet with arc length of 39.27 feet.
- Unless otherwise shown, lot boundary lines are perpendicular to street right-of-way lines which they intersect.

I certify that the development of this tract will be in accordance with drainage report dated 2/27/72, 1972, and prepared by Enchantment Engineering Inc. and approved by AMAFCA on 4 Oct 26 1973.

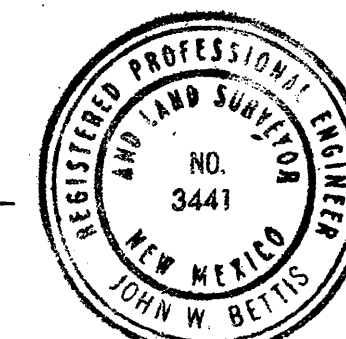
International Building Corp.
By: *Margaret O. Gabaldon*

I, Gisela Gatignol, City Clerk of the city of Albuquerque, New Mexico, do hereby certify that the plat of ATRISCO VILLAGE a subdivision within the City of Albuquerque, New Mexico, upon which this certificate appears, was approved for filing by the City Commission of Albuquerque, at its meeting on the 12th day of Nov 1972.

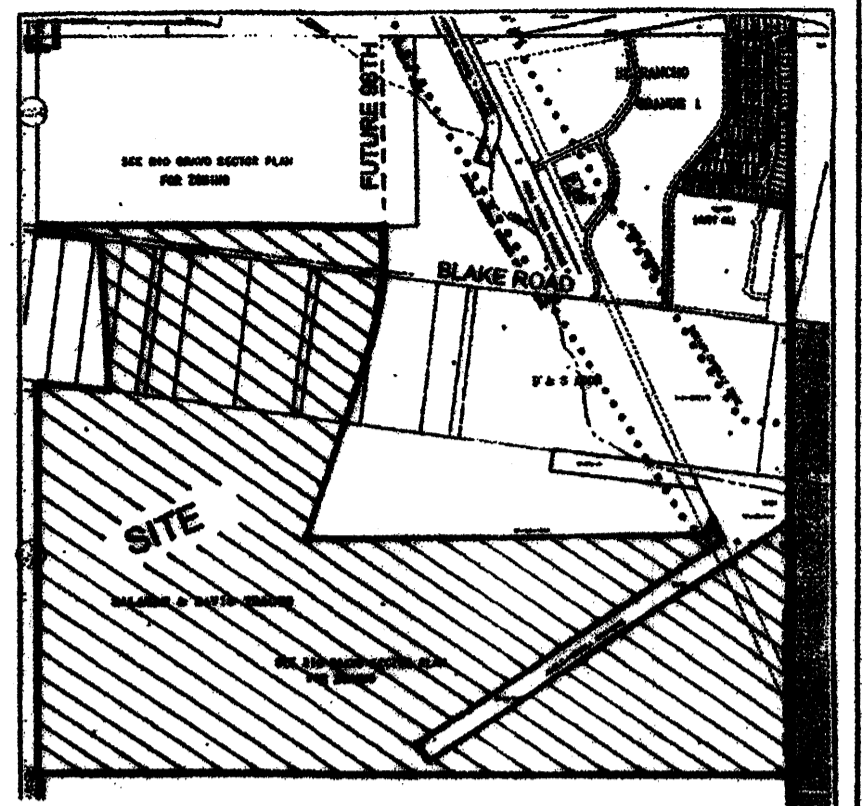
Gisela Gatignol
City Clerk

I, John W. Bettis, hereby certify that I am a Registered Professional Engineer and Land Surveyor and that this plat was prepared from notes of a field survey made under my supervision and is true and correct to the best of my knowledge and belief.

John W. Bettis
John W. Bettis
Reg. N.M.P.E. & L.S. #3441



COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000



N-9-Z VICINITY MAP NOT TO SCALE

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE 25 EXISTING TRACTS SHOWN ON THE RIO BRAVO SECTOR DEVELOPMENT PLAN INTO 7 NEW TRACTS, TO VACATE AN EXISTING RIGHT-OF-WAY EASEMENT AND TO GRANT NEW EASEMENTS AS SHOWN ON THIS PLAT.

SURVEY NOTES:

- BEARINGS ARE GRID BEARINGS (NAD83 CENTRAL ZONE, NAD1987) AND ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATIONS "1-N" AND "7-Q16". ALL DISTANCES ARE GROUND DISTANCES. AVERAGE GROUND-TO-GRID FACTOR IS 0.99987879. SEE STATION DATA FOR DELTA ALPHA VALUES.
- BEARINGS AND DISTANCES IN PARENTHESES () PER DATA FROM UNRECORDED ALTA SURVEY FOR "288.534 ACRE TRACT FOR SALAZAR-DAVIS" DATED SEPTEMBER 28, 1985 BY FRANKLIN E. WILSON, NMPS NO. 6446.
- BEARINGS AND DISTANCES IN BRACKETS [] PER PLAT OF SALAZAR-DAVIS TRACTS RECORDED MAY 6, 1988 IN VOL. C30, FOLIO 91.
- THE TRACTS CREATED BY THIS PLAT ARE REPLATS OF THE FOLLOWING RIO BRAVO SECTOR DEVELOPMENT PLAN PARCELS: TRACT A: RBSDP 13A, 13B, 13D, 13E, 14A, 14B, 14C, 15, 16A, 16B, 18A, 18B, 28A, 28B AND 27C. TRACT 28A: RBSDP 29 AND ADJUST COMMON LINE WITH 32H. TRACT 30A-1: RBSDP 30A, 30B. TRACT 31A-1: RBSDP 31A, 31C. TRACT 32H-1: RBSDP 32H AND ADJUST COMMON LINE WITH 29. TRACT 33C-1: RBSDP 32F, 33C. TRACT 34D-1: RBSDP 34D, 34E.
- ADJOINING TRACT DESIGNATIONS (E.G. RBSDP 13D) ARE TAKEN FROM CITY COUNCIL EXHIBIT B, RIO BRAVO SECTOR DEVELOPMENT PLAN, CASE NUMBER: SD-87-4-1, Z-89-58, SPR-95-2-2; EPC APPROVAL/RECOMMENDATION: JULY 29, 1998. REFERENCE CASES: SD-87-4, AK-87-23, AK-87-24.
- LOCATIONS OF EXISTING AND FUTURE EASEMENTS ON ADJOINING PROPERTIES SUBJECT TO DEVELOPMENT ACTIVITIES BY ADJOINING PROPERTY OWNERS.
- ALL EASEMENT RADII ARE 36' UNLESS OTHERWISE NOTED (FOR EASEMENTS GRANTED BY THIS PLAT).
- DOCUMENTS USED:
 - SPECIAL MASTER'S DEED FILED 10-16-1991, DOC. NO. 91086468.
 - SPECIAL WARRANTY DEED, DOC. NO. 93019210.
 - WARRANTY DEED FILED 11-09-1995, DOC. NO. 95114147.
 - REAL ESTATE CONTRACT FILED 6-19-1997, DOC. NO. 2001070085.
 - UNRECORDED ALTA SURVEY BY FRANKLIN E. WILSON, NMPS 6446, DATED 9-28-1985.
 - UNRECORDED SURVEY "221.749 ACRE PORTION OF TRACT 1" BY L.A. CARLETON, JR., NMPS 7270, DATED 5-25-1988.
 - PLAT OF SALAZAR - DAVIS TRACTS FILED 5-06-1986, VOL. C30, FOLIO 91.
 - RIO BRAVO SECTOR DEVELOPMENT PLAN FILED WITH ALBUQUERQUE CITY CLERK.
- BLAKE ROAD SW IS ALSO SHOWN ON THAT UNRECORDED COMPILATION MAP OF THE TOWN OF ATRISCO GRANT, DATED JULY, 1981.

NOTES CONTINUED ON SH. 5

PNM NOTE: IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

TREASURERS CERTIFICATION:

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #s:
UPC# 1-000-054-300-185-3-01-44 1-000-054-300-327-1-01-02
1-000-054-300-328-1-01-02
BERNALILLO COUNTY TREASURERS OFFICE:
Chas Davis - Owner
BY: Danny Vigil Jr DATE: 10/29/02

LEGAL DESCRIPTION

SEE SHEET 3 FOR LEGAL DESCRIPTION

288310413
Page 1 of 3
08/19/2003 10:42A
Bk-2883C Pg-188

Hary Herrera Bern. Co. PLRT R 17.08

NOTICE OF SUBDIVISION PLAT CONDITIONS:

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING, AND PARKS, IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES, AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA, WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL, THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

- WATER AND SANITARY SEWER AVAILABILITY,
- FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS,
- PARKS AND OPEN SPACE REQUIREMENTS,
- DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS,
- EXCAVATION, FILLING, OR GRADING REQUIREMENTS.

2883127651
Page 1 of 3
07/23/2003 02:10P
Bk-2883C Pg-223

Hary Herrera Bern. Co. PLRT R 17.08

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

A SEPARATE NOTICE OF THESE CONDITIONS IS TO BE RECORDED WITH THE COUNTY CLERK AT THE TIME OF FINAL PLAT RECORDING.

FREE CONSENT AND DEDICATION:

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDER SIGNED OWNERS THEREOF AND SAID OWNERS DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE. SAID OWNERS DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

Lupe Salazar, Trustee of the Salazar Family Trust
DATE: 10-18-02

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF October, 2002, BY LUPE SALAZAR ON BEHALF OF SAID TRUST

BY: Shannon B. Solis
NOTARY PUBLIC

MY COMMISSION EXPIRES: March 8, 2006

Thomas Salazar, Co-trustee of the Salazar Quatro Trust
DATE: 10/18/02

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF October, 2002, BY THOMAS SALAZAR ON BEHALF OF SAID TRUST

BY: Shannon B. Solis
NOTARY PUBLIC

MY COMMISSION EXPIRES: March 8, 2006

Victor Salazar Jr., Co-trustee of the Salazar Quatro Trust
DATE: 10/18/02

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF October, 2002, BY VICTOR SALAZAR JR. ON BEHALF OF SAID TRUST.

BY: Camela B. Cavalier
NOTARY PUBLIC

MY COMMISSION EXPIRES: 10/29/2006

Victor Salazar Jr., Co-trustee of the Salazar Quatro Trust
DATE: 10/29/2006

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10/29/2002, BY VICTOR SALAZAR JR. ON BEHALF OF SAID TRUST.

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- THE PUBLIC SERVICE COMPANY OF NEW MEXICO, ELECTRICAL SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - THE PUBLIC SERVICE COMPANY OF NEW MEXICO, GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES, AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - QWEST COMMUNICATIONS FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL CABLE LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
- INCLUDED IS THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE AND THE RIGHT TO INSTALL AND MAINTAIN SERVICE LINES.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #s:
PROPERTY OWNER OF RECORD:
Chas Davis
BERNALILLO COUNTY TREASURER'S OFFICE:
Danny Vigil Jr 230/02

Falba Hannett, Falba Hannett
DATE: 10/18/02

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF October, 2002, BY FALBA HANNETT

BY: Camela B. Cavalier
NOTARY PUBLIC

MY COMMISSION EXPIRES: 10/29/2006

John M. Warren, President of JSJ Investment Company
DATE: 10/29/02

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 17th DAY OF October, 2002, BY JOHN M. WARREN ON BEHALF OF SAID COMPANY.

BY: Camela B. Cavalier
NOTARY PUBLIC

MY COMMISSION EXPIRES: 10/29/2006

John M. Warren, President of JSJ Investment Company
DATE: 10/29/2006

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

COLLECTION PLAT
VACATION AND BULK LAND PLAT
TRACTS A, 29A, 30A-1, 31A-1, 32H-1, 33C-1 AND 34D-1
LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST,
JSJ INVESTMENT CO. AND FALBA HANNETT

RIO BRAVO SECTOR DEVELOPMENT PLAN
SITUATE WITHIN
PROJECTED SECTION 4, T.9N., R.2E., N.M.P.M.
TOWN OF ATRISCO GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2002

RACK #	5	PAGE #	715
	BOX #		SLOTS

LOT DATA:

CASE NO. 1001594 / DBS CASE: 00000001-0123-01622
GROSS ACREAGE TRACT 1 288.534 ACRES
ZONE ATLAS INDEX NO. N-9-Z
NO. OF EXISTING TRACTS 25
NO. OF EXISTING LOTS 0
NO. OF LOTS CREATED 0
NO. OF TRACTS CREATED 7
MILES OF FULL WIDTH STREETS CREATED 0
S.P. TALOS LOG # 2002411752

APPROVALS:

- SUBDIVISION CASE NUMBER: 1001594
- Ashlan Mateen 11/20/02
CITY PLANNER/ALBUQUERQUE, PLANNING DIVISION DATE
- Christina Sandoval 11/20/02
PARKS-RECREATION/DEVELOPMENT & RECREATION DATE
- Phil Davis 6-23-03
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT DATE
- Brad K. Bishen 11/20/02
CITY ENGINEER, ENGINEERING DIVISION DATE
- Lynn M. Meyer 5-23-03
AMAFCA DATE
- Ronald Green 11/20/02
UTILITY DEVELOPMENT DATE
- Phil Hat 12/04/02
CITY SURVEYOR, ENGINEERING DIVISION DATE
- M/A
PROPERTY MANAGEMENT DATE
- Leon S. Muto 12-15-02
PNM GAS & ELECTRIC SERVICES DATE
- Dan R. Mullen 12-06-02
QWEST COMMUNICATIONS, INC. DATE
- Rita Eickel 12-18-02
COMCAST CABLE DATE

SURVEYORS CERTIFICATION

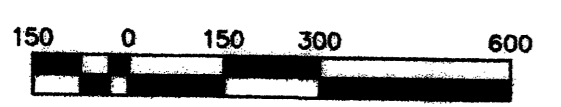
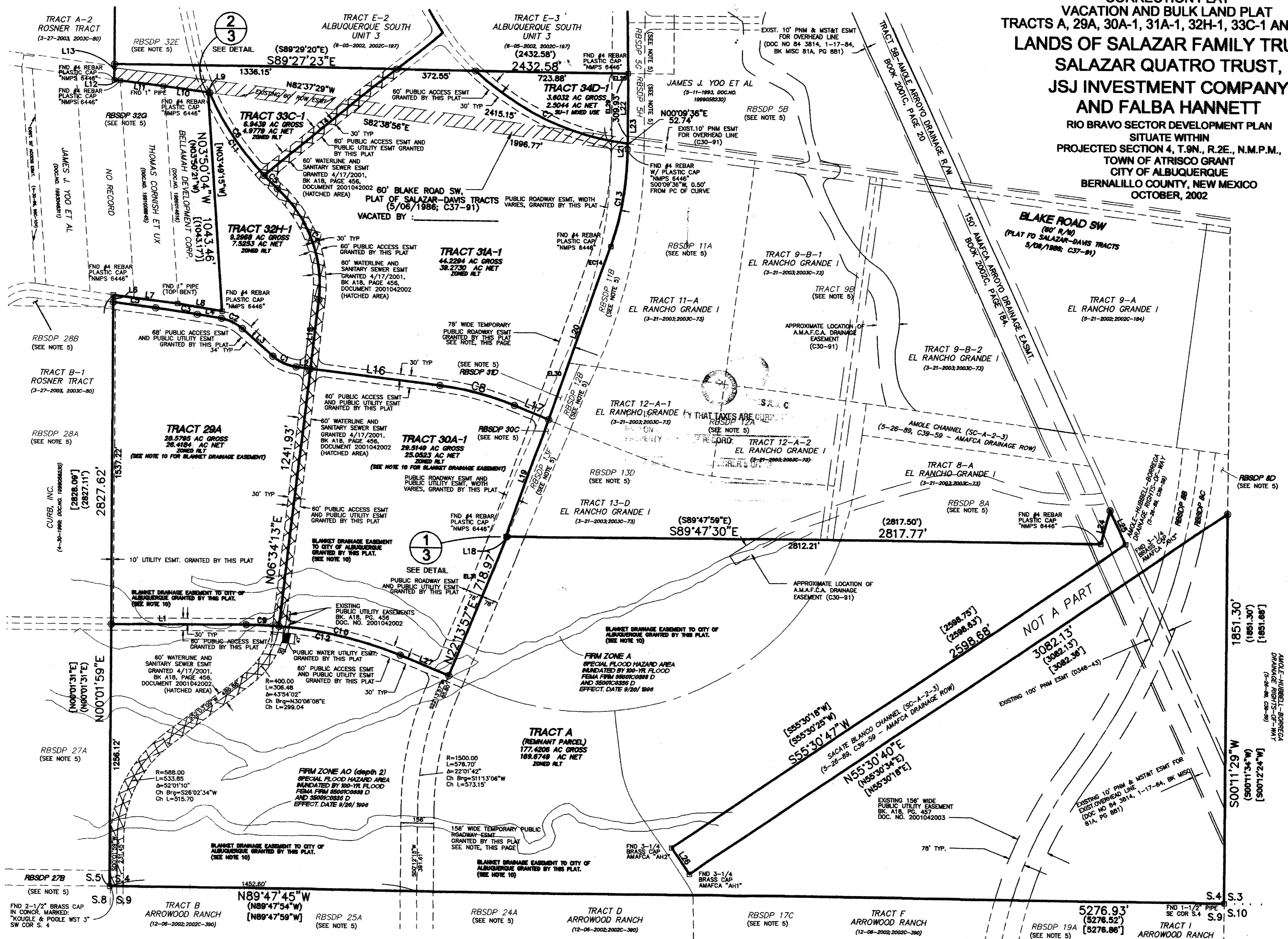
I, CLIFF A. SPIROCK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND MEETS THE "MINIMUM STANDARDS" FOR SURVEYING IN NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Cliff A. Spirock
NEW MEXICO PROFESSIONAL SURVEYOR NO. 4972
DATE: 10/29/02



COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

CORRECTION PLAT
VACATION AND BULK LAND PLAT
TRACTS A, 29A, 30A-1, 31A-1, 32H-1, 33C-1 AND 34D-1
LANDS OF SALAZAR FAMILY TRUST,
SALAZAR QUATRO TRUST,
JSJ INVESTMENT COMPANY
AND FALBA HANNETT
RIO BRAVO SECTOR DEVELOPMENT PLAN
SITUATE WITHIN
PROJECTED SECTION 4, T.9N., R.2E., N.M.P.M.,
TOWN OF ATRISCO GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2002



SCALE: 1" = 300'

- FOUND MONUMENT AS NOTED
- FOUND #5 REBAR W/ 2" ALUMINUM CAP STAMPED "CSC PS4972"

NOTE: NET ACREAGE IS GROSS ACREAGE LESS PERMANENT ACCESS EASEMENT ACREAGE.

2883127851
9/16/02
Page: 2 of 3
87/23/2883 02:18P
Blk-2883C Pg-223

Mary Herrera Bern. Co. PLRT R.17.06 Blk-2883C Pg-223

SEE NOTICE OF SUBDIVISION PLAT CONDITIONS ON SHEET 1.

NOTE FOR 98TH STREET EASEMENTS:
A PERMANENT PUBLIC ROADWAY AND UTILITY EASEMENT IS GRANTED BY THIS PLAT IN CONFORMANCE WITH CITY COUNCIL EXHIBIT B, RIO BRAVO SECTOR PLAN. TEMPORARY EASEMENTS FOR PUBLIC ROADWAY AND UTILITIES ARE ALSO GRANTED CONFORMING TO EXISTING LINES OF PROPERTY OWNERSHIP. THESE EASEMENTS ARE "TEMPORARY" ONLY TO THE EXTENT OF ALLOWING FOR FUTURE RIGHTS-OF-WAY DEDICATIONS AND ALIGNMENTS THAT MAY DIFFER FROM WHAT IS SHOWN HEREON. ANY SURPLUS OF TEMPORARY OR PERMANENT EASEMENTS MUST BE VACATED BY OFFICIAL CITY ACTION.

SHEET 2 OF 3

DWG FILE: F:\N595-00 (SALAZAR PLAT)\PLAT\DWG\BULKLANDPLAT\FINAL.DWG

DATE: 10-10-2002

SCALE: 1" = 300'

CREW: TWP/TCY

DRAWN: TWP

JOB NO.: N595-00

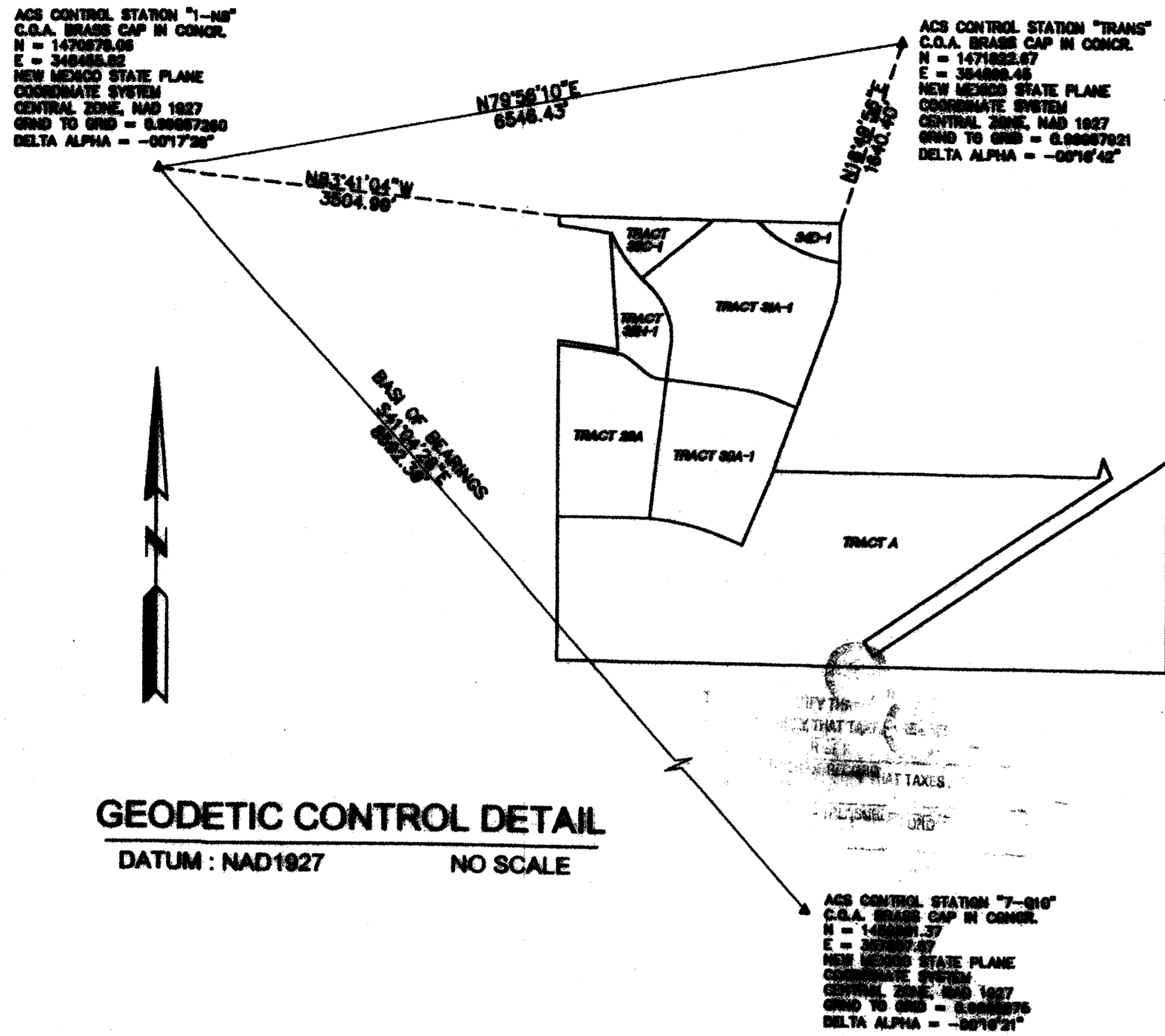
community sciences corporation

LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1328 Corrales, N.M. 87048 (505) 897-0000

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

CORRECTION PLAT
VACATION AND BULK LAND PLAT
TRACTS A, 29A, 30A-1, 31A-1, 32H-1, 33C-1 AND 34D-1
LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST,
JSJ INVESTMENT CO. AND FALBA HANNETT
 RIO BRAVO SECTOR DEVELOPMENT PLAN
 SITUATE WITHIN
 PROJECTED SECTION 4, T.9N., R.2E., N.M.P.M.,
 TOWN OF ATRISCO GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2002

2893184/13
 Page 2 of 3
 08/18/2003 10:42P
 BK-2893C Pg-188



2893127/51
 Page 3 of 3
 07/23/2003 02:16P
 BK-2893C Pg-223

LINE TABLE			LINE TABLE-RECORD DATA		
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	637.53	N82°48'46"E			
L2	86.00	S83°28'47"E			
L3	183.38	S48°22'20"E			
L4	114.88	N89°37'04"W			
L5	202.44	N82°41'53"W			
L6	34.28	N00°01'26"E			
L7	307.40	S82°41'53"E			
L8	213.00	S89°37'04"E			
L9	8.47	S89°30'14"E			
L10	214.84	N82°22'07"W	(L7)	(307.37)	(S82°41'53"E)
L11	205.52	N82°36'03"W	(L8)	(212.98)	(S89°37'04"E)
L12	28.50	N82°46'18"W	(L10)	(430.18)	(N82°22'07"W)
L13	78.28	N00°04'36"E	(L11)	(28.48)	(N82°36'03"W)
L14	811.01	S82°31'24"W	(L12)	(28.48)	(N82°46'18"W)
L15	330.28	S08°24'13"W	(L13)	(77.80)	(N00°04'36"E)
L16	608.88	N83°22'47"W			
L17	181.74	S87°46'03"E			
L18	8.55	S88°47'53"E			
L19	887.81	S18°23'12"W	(L10)	(1478.73)	(S18°22'44"W)
L20	878.01	S18°23'12"W			
L21	28.31	S00°08'36"W			
L22	338.34	S00°08'36"W			
L23	382.67	S00°08'36"W	(L23)	(382.33)	(S00°08'36"W)
L24	188.31	N18°15'28"E	(L24)	(188.31)	(N18°15'28"E)
L25	177.83	S24°32'48"E	(L25)	(177.83)	(S24°32'48"E)
L26	148.88	S34°30'07"E	(L26)	(148.88)	(S34°30'07"E)
L27	248.10	S87°46'03"E			
EL28	78.22	S88°46'23"W			
EL29	348.72	S00°08'36"W			
EL30	288.11	N82°31'57"E			
EL31	1248.04	N82°31'57"E			

(EL = EASEMENT LINE)

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	122.37	300.00	38°32'27"	S88°54'00"E	128.67
C2	112.58	300.00	32°14'44"	N84°28'42"W	111.88
C3	205.00	8507.88	2°04'50"	N81°38'28"W	188.88
C4	888.28	618.00	84°31'53"	N20°41'43"W	884.48
C5	87.88	1334.00	3°48'28"	S48°34'22"E	87.84
C6	478.70	1334.00	20°13'01"	S33°24'47"E	468.58
C7	814.84	1288.00	37°16'34"	S84°38'07"E	808.38
C8	384.88	1334.00	18°38'43"	N78°36'08"W	383.82
C9	188.81	1870.00	4°35'07"	N88°00'53"W	188.47
C10	880.82	1870.00	17°10'28"	N77°06'00"W	888.41
C11	888.88	1334.00	23°38'26"	S38°27'04"E	884.48
C12	747.13	1870.00	21°43'47"	N28°26'35"W	742.88
C13	488.78	1408.00	18°13'38"	S88°46'24"W	487.88
EL14	1077.42	2422.00	28°28'18"	N12°32'08"E	1088.88

(EC = EASEMENT CURVE)

LEGAL DESCRIPTION

That tract of land described by Special Master's Deed recorded in the office of the County Clerk, Bernalillo County, New Mexico on October 18, 1991 in Book 58R 8178, Pages 3703-3711 as Document No. 91089458, and being more particularly described as follows:

BEGINNING at the northeast corner of the tract herein described and from whence ACS Control Station "TRANS" bears N18°46'38"E, 1848.40 feet;

RUNNING THENCE S89°06'38"W, 382.67 feet to a point of curvature;

THENCE, along the arc of a 1488.00 foot radius curve to the right an arc distance of 488.78 feet (central angle = 18°13'38");

chord bears S08°46'24" W, 487.88 feet) to a point of tangency;

THENCE, S18°23'12"W, 1478.92 feet;

THENCE, S88°47'38"E, 3817.77 feet;

THENCE, N18°14'38" E, 188.31 feet;

THENCE, S24°32'48"E, 177.83 feet to AMAFCA brass cap "AH3";

THENCE, along the northerly line of the Secota Blanco Channel S58°36'47"W, 2588.88 feet to AMAFCA brass cap "AH2";

THENCE, along the southeasterly line of said channel S34°30'07"E, 148.88 feet to AMAFCA brass cap "AH1";

THENCE, along the southerly line of said Channel N58°11'28"W, 1881.38 feet to a point on the easterly line of Projected Section 4, T.9N., R.2E., N.M.P.M.;

THENCE, along said section line S89°11'28"W, 1881.38 feet to a 1-1 1/2" pipe monumenting the southeast corner of said Section 4;

THENCE, along the southerly line of said Section 4, N88°47'45"W, 5278.93 feet to a "Kaugle and Poole" brass cap "M873" monumenting to the southeast corner of said Section 4;

THENCE, along the westerly line of said Section 4, N00°01'38"E, 2827.82 feet;

THENCE, S82°41'53"E, 307.40 feet;

THENCE, S89°37'04"E, 213.00 feet;

THENCE, N83°50'04"W, 1043.46 feet;

THENCE, N82°22'07"W, 214.84 feet;

THENCE, N82°36'03"W, 205.52 feet;

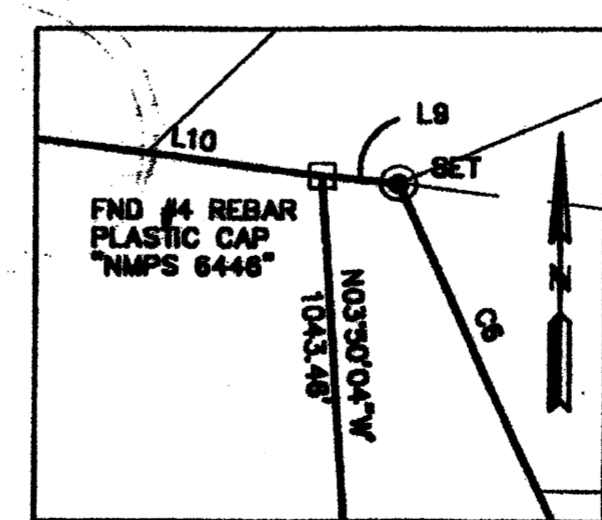
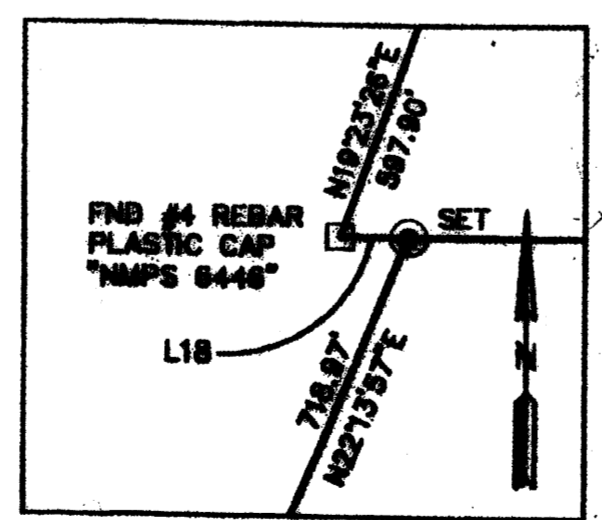
THENCE, N82°46'18"W, 28.50 feet;

THENCE, N00°04'36"E, 78.28 feet;

THENCE, S88°27'23"E, 2432.88 feet to the Point of Beginning.

Contains 298.5889 acres, more or less.

- FOUND MONUMENT AS NOTED
- SET #5 REBAR W/2" ALUMINUM CAP STAMPED "CSC PS4972"



LINE AND CURVE TABLES

NOTES CONTINUED:

NOTE 10. A NON-EXCLUSIVE DRAINAGE EASEMENT IS HEREBY GRANTED TO THE CITY OF ALBUQUERQUE ON THE TRACTS OF LAND HEREBY CREATED. SAID EASEMENT ENCUMBERS ALL OF THE TRACTS WHERE INDICATED (BLANKET EASEMENT) AND MAY BE VACATED, MODIFIED OR ADJUSTED UPON FURTHER ACTION BY THE CITY OF ALBUQUERQUE UPON THEIR APPROVAL OF SUBSEQUENT DEVELOPMENT PLANS, SUBDIVISION ACTIONS OR DOCUMENTARY AGREEMENTS.

COMMUNITY SCIENCES CORPORATION	RACK #	PAGE #
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COMMUNITY SCIENCES CORPORATION	BOX #	SLOT #

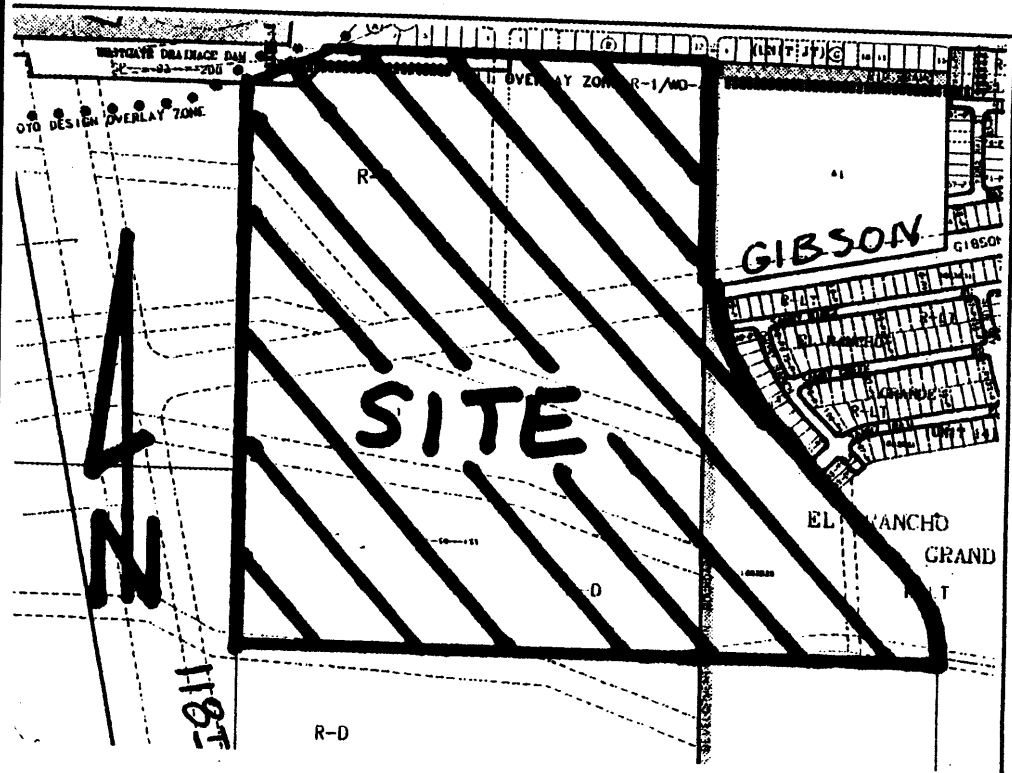
SHEET 3 OF 3

JOB FILE PATH	
JOB	SALAZAR
DATE	10-10-2002
SCALE	AS NOTED
GRID	TWP/TCY
FRAME	TWP
JOB NO.	N595-00

community sciences corporation

LAND PLANNING ENGINEERING
 P.A.#1354 Corrales, N.M. 87048 (505)897-0000

SEE NOTICE OF SUBDIVISION PLAT CONDITIONS ON SHEET 1.



LOCATION MAP 1" = 750' N-8-Z

PURPOSE OF PLAT

- To create Tracts 16-A, 16-B, 16-C, 16-D, 16-E and 16-F as shown hereon.
- To grant easements as shown hereon.
- To dedicate street right-of-way as shown hereon.

SUBDIVISION DATA

- Project No.: Application No.:
- Zone Atlas Index No.: N-8-Z
- Total Number of Lots created: 0
- Total Number of existing Tracts: 2
- Total Number of Tracts created: 5
- Gross Subdivision Acreage: 127.3310 Acres

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary are the following plats of record entitled:

- "WESTGATE DAM DRAINAGE R/W", (06-10-94, 94C-194)
- "ATRISCO VILLAGE, UNIT J.T.", (11-20-73, D5-200)
- "LANDS OF RIO BRAVO PARTNERS", (04-17-96, 96C-160)
- "LANDS OF RIO BRAVO PARTNERS", (07-19-90, 90C-163)
- "SALAZAR - DAVIS TRACTS", (05-06-86, C30-91)
- "ROSNER TRACT, TRACT A AND B", (04-30-99, 99C-104)
- "ROSNER TRACT, TRACT A-1, A-2 AND B-1", (03-27-03, 03C-80)
- "EL RANCHO GRANDE, UNIT 11", (TO BE RECORDED)
- "EL RANCHO GRANDE, UNIT 14", (07-02-04, 04C-202)
- "LANDS IF GREVEY/LIBERMAN, TRACT 3", (07-17-98, 98C-210)
- "LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT", (07-23-03, 03C-223)
- "EL RANCHO GRANDE, TRACTS 14, 15 AND 16", (03-09-04, 04C-72)

all being records of Bernalillo County, New Mexico.

- Field Survey performed on November, 2003.
- Title Report: None provided.
- UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2003500516
- City Zoning: RLT AND R-D
- Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".

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Page: 1 of 4
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BK-2005C Pg-41-

DESCRIPTION

A tract of land situate, within the Town of Atrisco Grant, projected Section 5 Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being A PORTION OF PARCEL 1, LANDS OF RIO BRAVO PARTNERS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 19, 1990 in Book 90C, Page 163 together with all of TRACT 16, EL RANCHO GRANDE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 9, 2004 in Book 04C, Page 72 and further being all of WESTGATE DAM DRAINAGE R/W as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 10, 1994 in Book 94C, Page 194 and together containing 127.3310 acres more or less.

"NOTICE OF SUBDIVISION PLAT CONDITIONS"

EL RANCHO GRANDE 16A, TRACTS 16-A, 16-B, 16-C, 16-D AND 16-E

THE PLAT OF EL RANCHO GRANDE, TRACTS 16-A, 16-B, 16-C, 16-D, AND 16-E HAS BEEN GRANTED A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS PURSUANT TO SECTION 14-14-6-1 OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY AND AMAFCA (WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY; FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND, EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 5 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the vacating of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) Warrants that (he/she) holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): Charles A Haegelin 12-09-04 Date

CURB INC., CHARLES HAEGELIN, PRESIDENT

STATE OF NEW MEXICO)
BERNALILLO COUNTY)SS

On this 9th day of December, 2004, this instrument was acknowledge before me by CHARLES HAEGELIN, President of Curb, Inc., a New Mexico Corporation.

Mary S Strickman
Notary Public My Commission Expires 3-28-07

VERIFY THAT TAXES ARE CURRENT AND
1008 054 504 348 1010
1008 054 352412 1010-4
OWNER OF RECORD
Curt Ince
COUNTY TREASURER'S OFFICE
Conditia Suarez 1-31-05

BULK LAND PLAT FOR
TRACTS 16-A, 16-B, 16-C,
16-D, 16-E AND 16-F
EL RANCHO GRANDE
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2004

PROJECT NUMBER: 1003429
Application Number: 04DRB-01892

PLAT APPROVAL

Utility Approvals:

PNM Electric Services Division	<u>12-30-04</u>	Date
PNM Gas Services Division	<u>12-30-04</u>	Date
Quest	<u>1-7-05</u>	Date
Comcast	<u>12-30-04</u>	Date

City Approvals:

City Surveyor	<u>12-9-04</u>	Date
Real Property Division	<u>N/A</u>	Date
Environmental Health Department	<u>N/A</u>	Date
Traffic Engineering, Transportation Division	<u>1-5-05</u>	Date
Utilities Development	<u>1/05/2005</u>	Date
Parks and Recreation Department	<u>1/5/05</u>	Date
AMAFCA	<u>1-20-05</u>	Date
City Engineer	<u>1-26-05</u>	Date
DRB Chairperson, Planning Department	<u>1/26/05</u>	Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of Albuquerque Subdivision Ordinance, and further meets the minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 12-09-04
Timothy Aldrich, P.S. No. 7719 Date

OFFICIAL SEAL
MARY S. STRICKMAN
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires 3-28-07

Drawn By: RJA/EM	Date: 12-17-03
Checked By: TA	Drawing Name: 01029PLT.DWG
Job No.: 01-029	Sheet: 1 of 4

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

LANDS OF GREVEY/LIBERMAN
TRACT 3*
(07-17-98, 98C-210)

ATRISCO VILLAGE
UNIT J.T.
(11-20-73, D5-200)

2005014732
Page: 2 of 4
01/31/2005 03:06P
Bk-2005C Pg-41

**BULK LAND PLAT FOR
TRACTS 16-A, 16-B, 16-C,
16-D, 16-E AND 16-F
EL RANCHO GRANDE
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2004**

ACS MONUMENT
"1-N8"
Y=1470679.06
X=348455.82
G-G=0.99967260
Δα=-00°17'26"
CENTRAL ZONE
(NAD 1927/SLD 1929)

ACS MONUMENT
"TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
Δα=-00°16'42"
CENTRAL ZONE
ELEVATION=5118.370
NAD 1927/SLD 1929

- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH CAP "LS 7429" (TYP)
 - SET 5/8" REBAR WITH CAP "LS 7719" (TYP)

- EASEMENTS**
- ① EXISTING 150' AMAFCA DRAINAGE EASEMENT (04-17-96, 96C-160)
 - ② EXISTING 100' AMAFCA DRAINAGE EASEMENT (07-19-90, 90C-163)
 - ③ EXISTING 156' PUBLIC ROADWAY EASEMENT (04-17-96, 96C-160)
 - ④ EXISTING 7' UTILITY EASEMENT (11-20-73, D5-200)
 - ⑤ EXISTING 10' UTILITY EASEMENT (TYP) (11-20-73, D5-200)
 - ⑥ EXISTING 20' PUBLIC WATERLINE EASEMENT (02-07-03, BK.A50 - PG.485)
 - ⑧ EXISTING 10' UTILITY EASEMENT (07-23-03, 03C-223)
 - ⑨ EXISTING 30' PUBLIC ROADWAY, SANITARY SEWER, WATER AND DRAINAGE EASEMENT, GRANTED BY THIS PLAT.
 - ⑩ 40' PUBLIC PEDESRIAN ACCESS, STORM AND SANITARY SEWER EASEMENT (GRANTED BY THIS PLAT) SEE DETAIL SHEET 3
 - ⑫ PUBLIC DRAINAGE EASEMENT (GRANTED BY THIS PLAT) SEE DETAIL SHEET 3
 - ⑬ EXISTING 68' RESERVATION FOR FUTURE R/W EXTENSION (03-27-03, 03C-80)
 - ⑭ EXISTING C.O.A. BLANKET DRAINAGE EASMENT (04-30-99, 99C-104) (03-27-03, 03C-80)
 - ⑮ EXISTING 60' RESERVATION FOR FUTURE R/W EXTENSION (07-19-90, 90C-163)

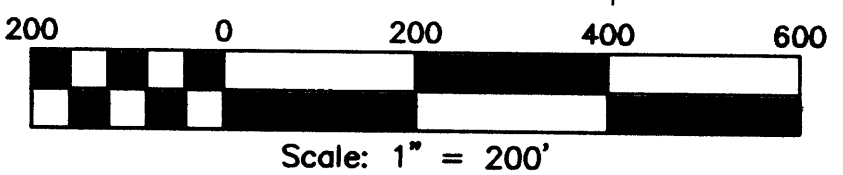
(HATCHED AREA)
STREET RIGHT-OF-WAY
DEDICATED TO THE
CITY OF ALBUQUERQUE
(9.4401 AC.)

LANDS OF RIO BRAVO PARTNERS
(4-17-96, 96C-160)

PARCEL 2-B

LANDS OF RIO BRAVO PARTNERS
PARCEL 2-D
(4-17-96, 96C-160)

- PROPERTY CORNERS**
- SET 5/8" REBAR WITH CAP "ALS LS 7719"

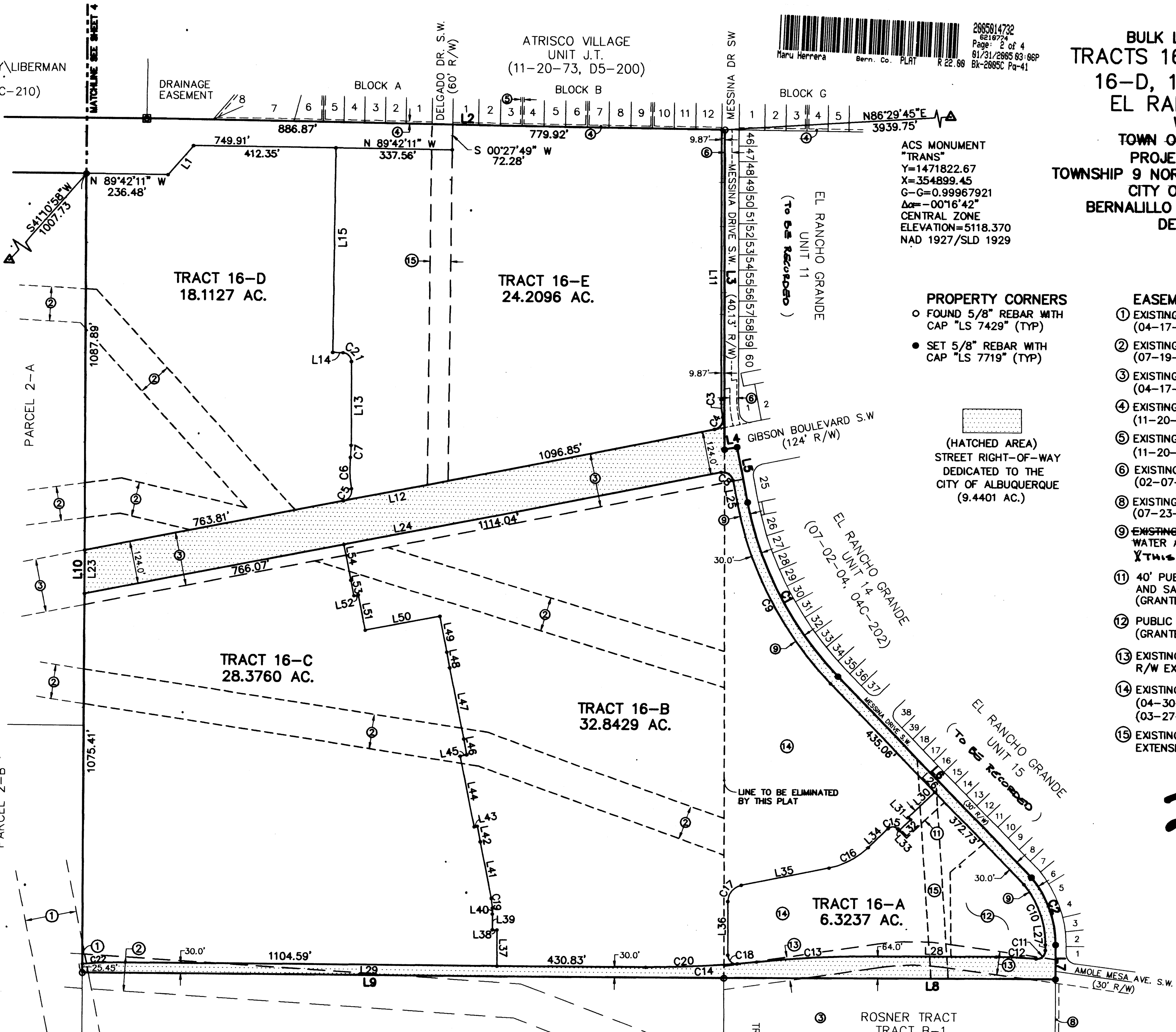


Drawn By: RJA/JPA/ECM	Date: 12-17-03
Checked By: TA	Drawing Name: 01029PLT.DWG
Job No.: 01-029	Sheet: 2 of 4

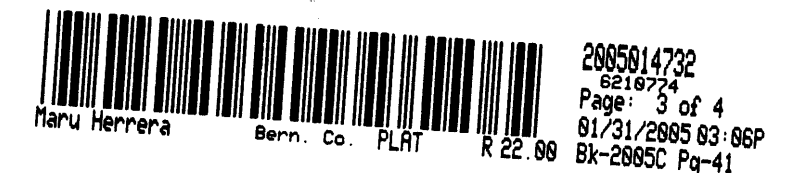
[Signature]
01-18-05

SEE SHEET 3 OF 4 FOR
CURVE AND LINE TABLE

ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990



BULK LAND PLAT FOR
TRACTS 16-A, 16-B, 16-C,
16-D, 16-E AND 16-F
EL RANCHO GRANDE
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2004



NUMBER	DIRECTION	DISTANCE
L1	S 40°32'19" W	112.66'
L2	S 89°26'02" E (S 89°25'11" E)	1485.22'
L3	S 00°11'58" E	923.14'
L4	N 78°46'22" E	37.06'
L5	S 11°13'38" E	162.00'
L6	S 44°12'54" E	807.81'
L7	S 00°01'54" W	100.00'
L8	S 89°48'25" W	961.10'
L9	S 89°48'11" W (S 89°48'25" W) (1859.19')	1859.43'
L10	N 00°01'24" E (N 00°01'23" E)	2315.24'
L11	S 00°11'58" E	780.06'
L12	S 78°37'23" W	1860.66'
L13	N 00°01'24" E	240.22'
L14	N 89°26'02" W	29.85'
L15	N 00°33'58" E	594.13'
L23	S 00°01'24" W	126.50'
L24	S 78°37'23" W	1880.10'
L25	S 11°13'38" E	68.21'
L26	S 44°12'54" E	807.79'
L27	S 00°01'54" W	18.20'
L28	S 89°48'25" W	366.23'
L29	S 89°48'11" W	1632.14'
L30	N 45°47'06" E	106.00'
L31	N 44°12'54" W	10.00'
L32	N 45°47'06" E	46.00'
L33	S 44°12'54" E	6.72'
L34	N 45°47'06" E	79.52'
L35	S 78°37'33" W	259.13'
L36	S 00°11'49" E	155.94'
L37	S 00°11'45" E	105.98'
L38	N 89°48'15" E	13.82'
L39	S 00°11'45" E	46.00'
L40	S 00°11'49" E	16.77'
L41	S 11°22'27" E	165.88'
L42	S 11°22'27" E	46.00'
L43	N 78°37'33" E	9.00'
L44	S 11°22'27" E	210.00'
L45	S 78°37'25" W	19.00'
L46	S 11°22'27" E	46.00'
L47	S 11°22'27" E	210.00'
L48	S 11°22'27" E	46.00'
L49	S 11°22'27" E	105.00'
L50	N 78°37'33" E	220.00'
L51	S 11°22'27" E	105.00'
L52	N 78°37'33" E	12.79'
L53	S 11°22'27" E	46.00'
L54	S 11°22'27" E	106.04'

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	32°52'00"	S 27°42'37" E	295.81	1002.93	575.31	567.46
C2	40°23'07"	S 20°09'39" E	110.33	300.00	211.46	207.11
C3	09°50'38"	S 05°00'59" E	25.83	300.00	51.54	51.48
C4	88°33'40"	S 34°20'33" W	29.26	30.00	46.37	41.89
C5	89°20'31"	N 33°57'07" E	29.66	30.00	46.78	42.18
C6	17°20'25"	S 02°02'56" E	45.75	300.00	90.79	90.45
C7	06°35'52"	N 03°19'20" E	17.29	300.00	34.55	34.53
C8	90°08'59"	S 56°18'08" E	30.08	30.00	47.20	42.48
C9	32°58'01"	S 27°39'48" E	305.64	1032.93	594.33	586.17
C10	39°57'45"	S 19°55'28" E	98.17	270.00	188.32	184.53
C11	94°39'53"	S 47°21'51" W	27.12	25.00	41.31	36.76
C12	04°53'23"	N 87°44'54" W	57.43	1345.12	114.79	114.76
C13	05°59'02"	S 86°48'54" W	164.71	3151.42	329.13	328.98
C14	05°58'48"	S 86°48'47" W	161.47	3091.42	322.65	322.51
C15	90°00'00"	N 89°12'54" W	20.00	20.00	31.42	31.42
C16	32°50'27"	N 62°12'19" E	66.90	227.00	130.11	130.11
C17	78°49'22"	S 39°12'52" W	39.44	48.00	66.03	66.03
C18	94°55'30"	S 47°39'34" E	27.25	25.00	41.42	41.42
C19	11°10'38"	N 05°47'08" W	14.38	147.00	28.68	28.68
C20	04°55'30"	S 87°20'26" W	132.95	3091.42	265.73	265.65
C21	89°27'26"	N 44°42'19" W	24.76	25.00	39.03	35.19
C22	05°23'22"	S 87°06'30" W	48.48	1030.00	96.89	96.85

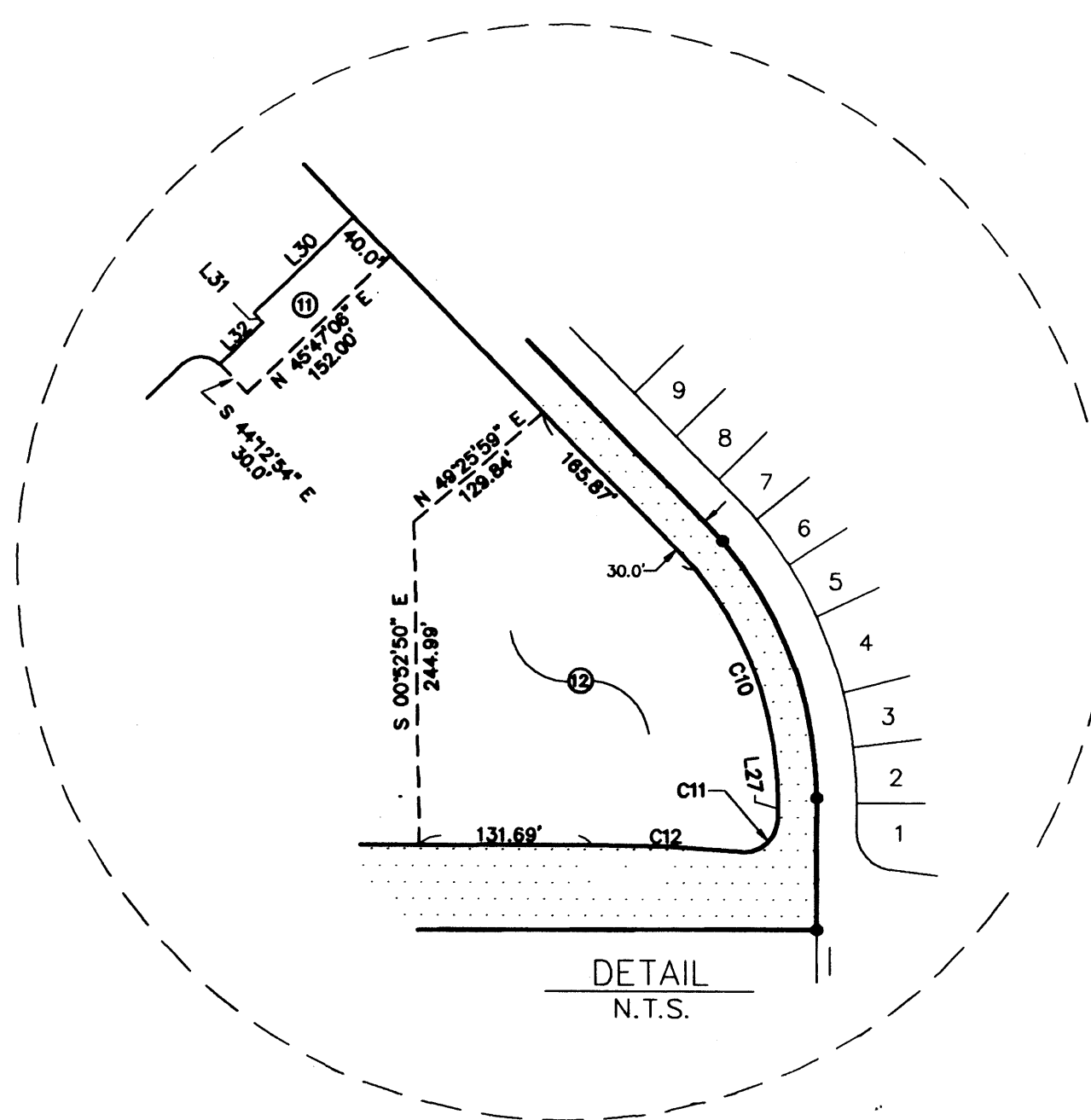
PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Telecommunications for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat. In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



REVISED 01-18-05
REVISED 01-10-05
REVISED 12-09-04
REVISED 11-02-04

Drawn By: RJA/JPA/ECM	Date: 12-17-03
Checked By: TA	Drawing Name: 01029PLT.DWG
Job No.: 01-029	Sheet: 3 of 4



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

BULK LAND PLAT FOR
 TRACTS 16-A, 16-B, 16-C,
 16-D, 16-E AND 16-F
 EL RANCHO GRANDE
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2004

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of TRACT 16-F as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) Warrants that (he/she) holds complete and and indefeasible title in fee simple to the land subdivided.

TRACT 16-F

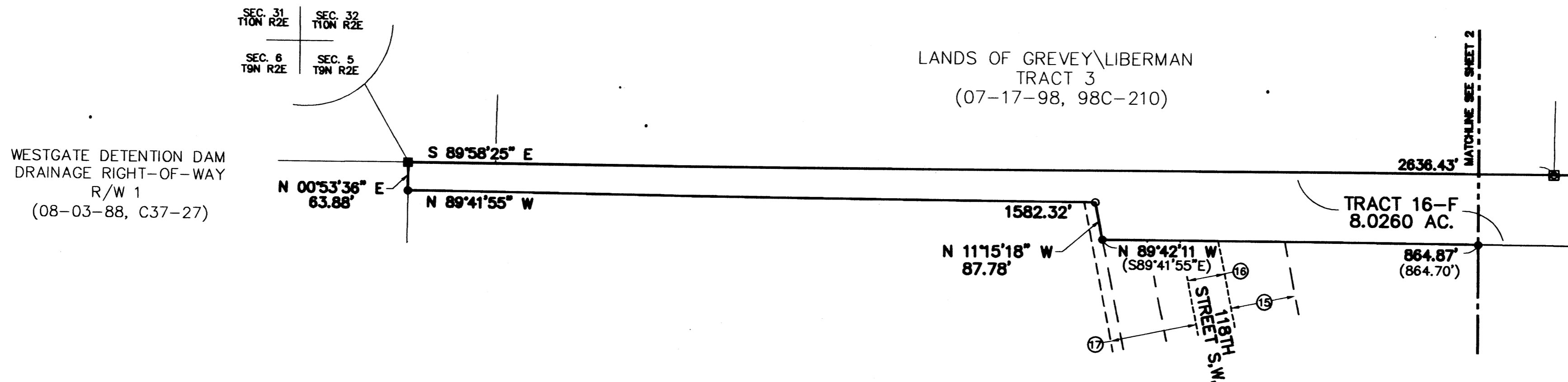
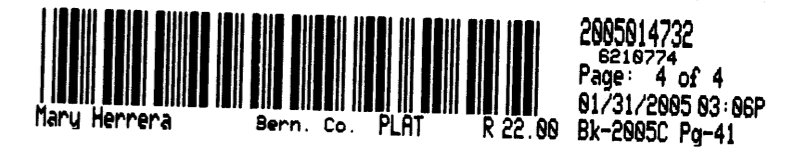
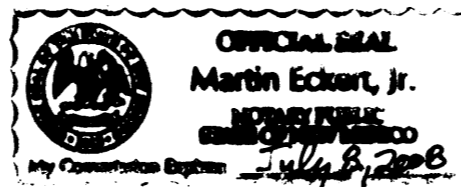
Owner(s): ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY (AMAFCA)

John P. Kelly
 Executive Engineer

STATE OF NEW MEXICO)
 BERNALILLO COUNTY) SS

On this 20th day of January, 2004, this instrument was acknowledge before me by John P. Kelly as Executive Engineer of AMAFCA.

Martin Eckert, Jr. July 8, 2008
 Notary Public My Commission Expires



EASEMENTS

- ⑮ 150' AMAFCA DRAINAGE EASEMENT (04-17-96, 96C-160)
- ⑯ 86' PUBLIC ROADWAY EASEMENT (04-17-96, 96C-160)
- ⑰ 200' POWER LINE EASEMENT U.S.B.R. (02-05-52, D197-567)

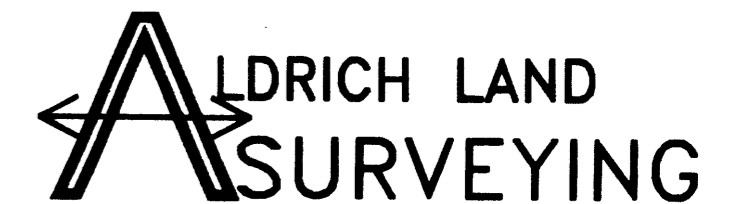
PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "LS 7924" (TYP)
- FOUND BRASS CAP "WST-2"
- ⊠ FOUND 5/8" REBAR WITH CAP "LS 7429" (TYP)

REVISED 01-18-05
 REVISED 01-10-05
 REVISED 12-09-04
 REVISED 11-02-04

Drawn By: RJA/JPA/ECM	Date: 12-17-03
Checked By: TA	Drawing Name: 01029PLT.DWG
Job No.: 01-029	Sheet: 4 of 4

Frank J. Aldrich
 01-18-05



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PRELIMINARY PLAT
APPROVED BY DRB

ON 12/16/04
PRELIMINARY PLAT FOR
SIERRA RANCH SUBDIVISION
WITHIN THE TOWN OF ATRISCO GRANT
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2004

LEGAL DESCRIPTION

TRACTS 16-B & 16-C, EL RANCHO GRANDE WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 5 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO (BOOK: _____ PAGE: _____ DATE: _____)

GENERAL NOTES

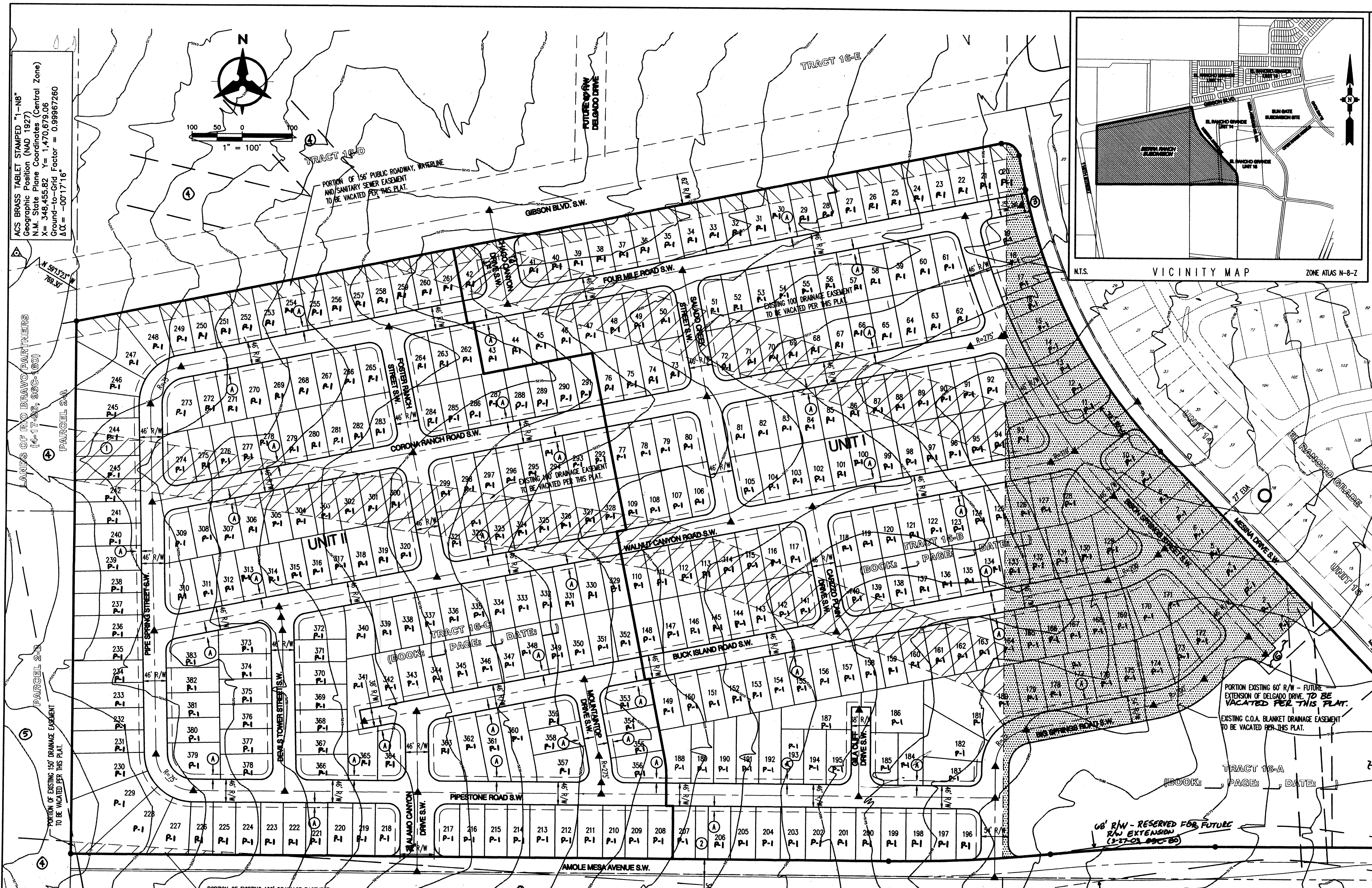
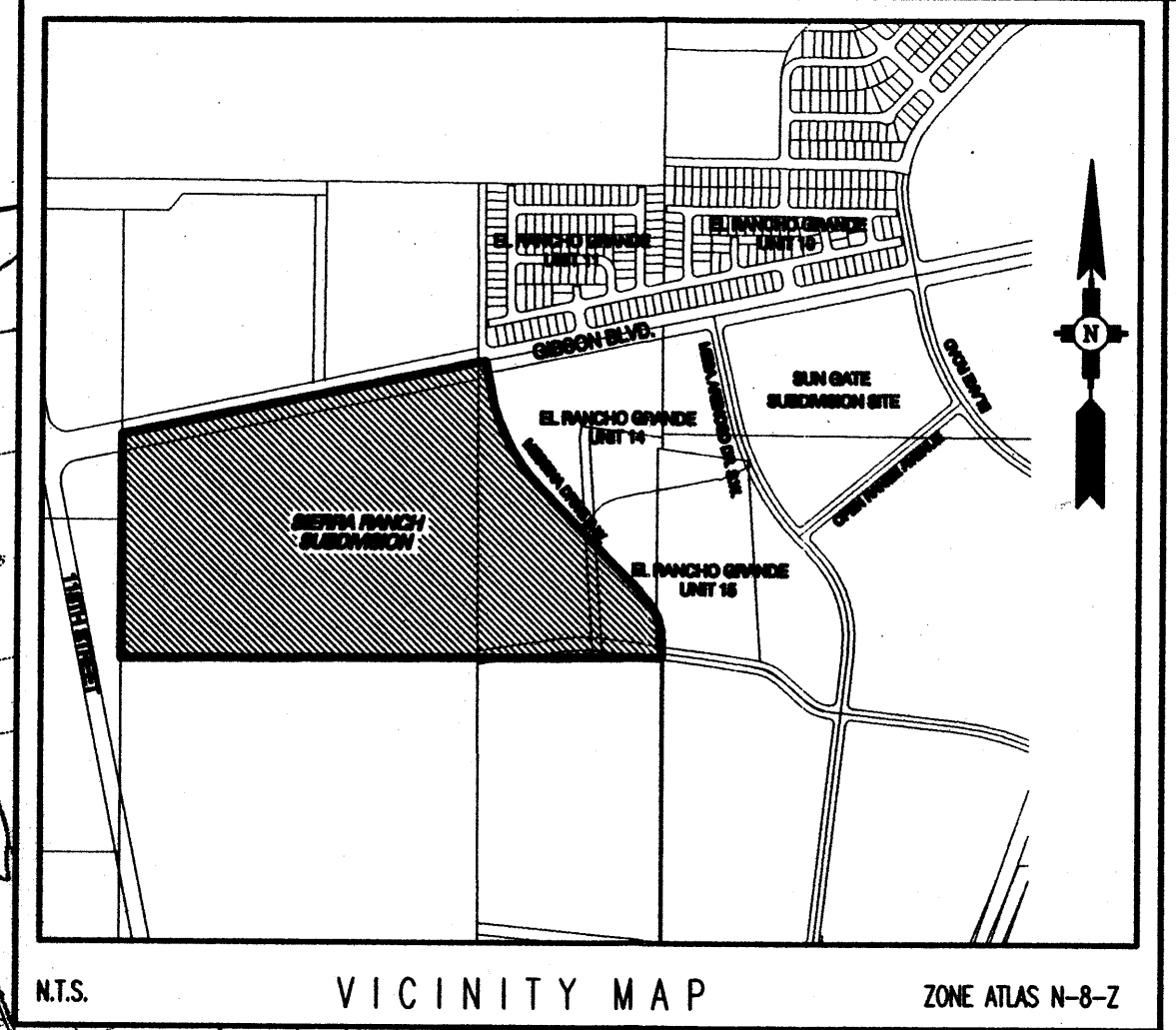
- EXISTING ZONING: R-LI, R-D
PROPOSED DEVELOPMENT: R-LI
- PROPOSED NET ACREAGE: 71.3 AC
NUMBER OF LOTS: 383
PROPOSED DENSITY: 5.37 DU/AC
- MIN. LOT DIMENSIONS:
MINIMUM LOT AREA: 45' X 105'
4,725 SQFT
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS ARE TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO R-LI ZONING REQUIREMENTS
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO GIBSON BLVD., MESSINA DRIVE, AND/OR AMOLE MESA AVENUE.

SITE DATA

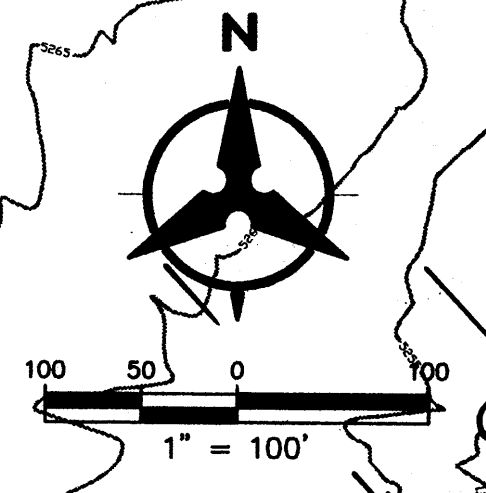
ZONE ATLAS NO.	N-8-Z
ZONING	R-LI, R-D
MILES OF FULL WIDTH STREETS CREATED	2.83 MILES
NO. OF EXISTING PARCELS	1
NO. OF LOTS CREATED	383
DENSITY	5.37 DU/AC

SURVEY NOTES:

- ALL BOUNDARY CORNERS SHOWN (O) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THIS (A) AND WILL BE MARKED BY (C) ALUMINUM CAP STAMPED CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS "7718".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.



ACS BRASS TABLE STAMPED "11-116"
Geographic Position (NAD 1927)
Central Zone
N.M. State Plane Coordinates
X = 348,452.82 Y = 1,470,679.06
Ground-to-Grid Factor = 0.99997260
Δα = -00°17'16"



LEGEND

(Solid line)	SUBDIVISION BOUNDARY LINE
(Dashed line)	EXISTING SUBDIVISION BOUNDARY
(Thin solid line)	NEW LOT LINE
(Thin solid line)	ADJOINING PROPERTY LINE
(Triangle)	CENTERLINE MONUMENT TO BE INSTALLED
(Circle)	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT

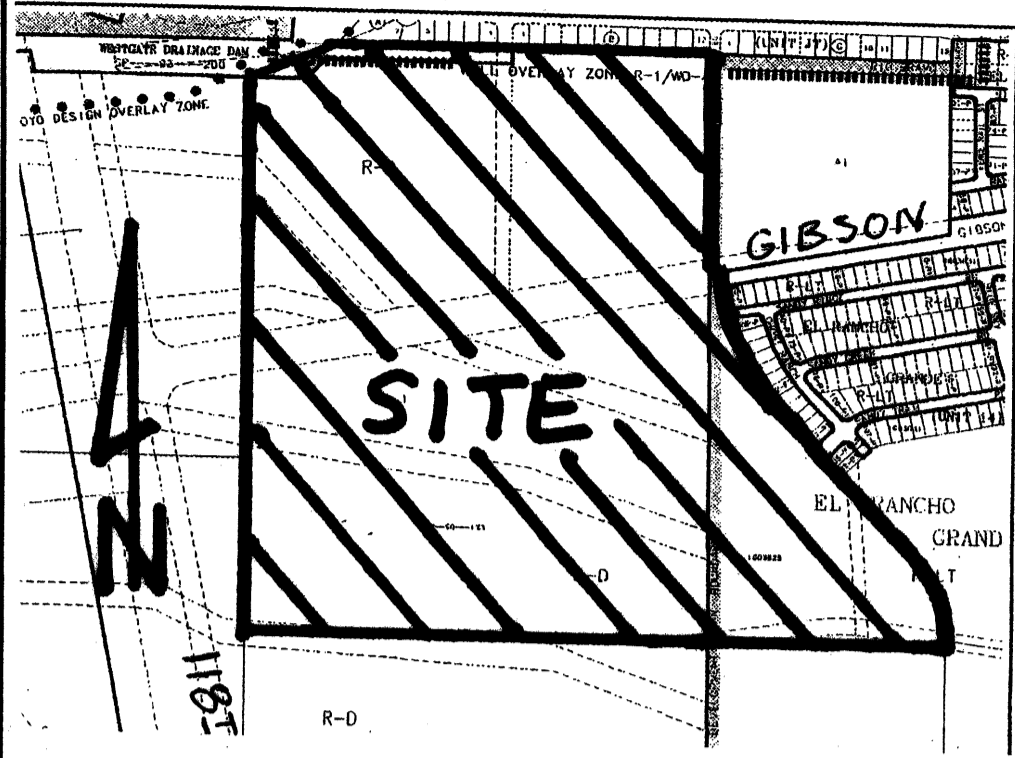
APPROVED
M. B. Johnson
CITY SURVEYOR
12/16/04
DATE

B. Johnson
BO JOHNSON
VICE PRESIDENT, CURB INC.
12/14/04
DATE

ACS BRASS TABLE STAMPED "TRANS"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X = 354,899.45 Y = 1,471,822.67
Ground-to-Grid Factor = 0.99967921
Δα = -00°16'42"
SLD 1929 ELEVATION = 5118.43

Bohannon & Huston
Engineering • Spatial Data • Water Technologies
1700 Jefferson St. NE Albuquerque, NM 87109-4305

- KEYED NOTES CONT'D
- EXISTING 100' DRAINAGE EASEMENT (07-19-90, 90C-163)
 - EXISTING 150' DRAINAGE EASEMENT (04-17-90, 90C-160)
 - EXISTING 40' PUBLIC PEDESTRIAN ACCESS, STORM AND SANITARY SEWER EASEMENT
- KEYED NOTES
- 10' PUBLIC UTILITY EASEMENT
 - 30' PUBLIC SANITARY SEWER AND STORM DRAIN EASEMENT
 - TRACT 10-B-1 25' PUBLIC PEDESTRIAN ACCESS EASEMENT
 - 30' PUBLIC PEDESTRIAN ACCESS EASEMENT



LOCATION MAP 1" = 750' N-8-Z

PURPOSE OF PLAT

1. To create Tracts 16-A, 16-B, 16-C, 16-D, and 16-E as shown hereon.
2. To grant easements as shown hereon.
3. To dedicate street right-of-way as shown hereon.

SUBDIVISION DATA

1. Project No.: Application No.:
2. Zone Atlas Index No.: N-8-Z
3. Total Number of Lots created: 0
4. Total Number of existing Tracts: 2
5. Total Number of Tracts created: 5
6. Gross Subdivision Acreage: 121.1730 Acres

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances are field and record.
4. Basis of boundary are the following plats of record entitled:
 - "WESTGATE DAM DRAINAGE R/W", (06-10-94, 94C-194)
 - "ATRISCO VILLAGE, UNIT J.T.", (11-20-73, D5-200)
 - "LANDS OF RIO BRAVO PARTNERS", (04-17-96, 96C-160)
 - "LANDS OF RIO BRAVO PARTNERS", (07-19-90, 90C-163)
 - "SALAZAR - DAVIS TRACTS", (05-06-86, C30-91)
 - "ROSNER TRACT, TRACT A AND B", (04-30-99, 99C-104)
 - "ROSNER TRACT, TRACT A-1, A-2 AND B-1", (03-27-03, 03C-80)
 - "EL RANCHO GRANDE, UNIT 11", ()
 - "EL RANCHO GRANDE, UNIT 14", (07-02-04, 04C-202)
 - "LANDS IF GREVEY/LIBERMAN, TRACT 3", (07-17-98, 98C-210)
 - "LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT (07-23-03, 03C-223)
 - "EL RANCHO GRANDE, TRACTS 14, 15 AND 16", (03-09-04, 04C-72)
- all being records of Bernalillo County, New Mexico.
5. Field Survey performed on November, 2003.
6. Title Report: None provided.
7. UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2003500516
8. City Zoning: RLT AND R-D
9. Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".

DESCRIPTION

A tract of land situate, within the Town of Atrisco Grant, projected Section 5 Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being A PORTION OF PARCEL 1, LANDS OF RIO BRAVO PARTNERS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 19, 1990 in Book 90C, Page 163 together with all of TRACT 16, EL RANCHO GRANDE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 9, 2004 in Book 04C, Page 72 and further being a portion of WESTGATE DAM DRAINAGE R/W as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 10, 1994 in Book 94C, Page 194 and together containing 121.1730 acres more or less.

PRELIMINARY PLAT APPROVED BY DRB ON 1/25/05

BULK LAND PLAT FOR TRACTS 16-A, 16-B, 16-C, 16-D AND 16-E EL RANCHO GRANDE WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 5 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO DECEMBER, 2004

PROJECT NUMBER: _____
 Application Number: _____
PLAT APPROVAL
 Utility Approvals:

PNM Electric Services Division	Date
PNM Gas Services Division	Date
Qwest	Date
Comcast	Date
City Approvals:	
<i>[Signature]</i> City Surveyor	12-9-04 Date
Real Property Division	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

"NOTICE OF SUBDIVISION PLAT CONDITIONS" EL RANCHO GRANDE 16A, TRACTS 16-A, 16-B, 16-C, 16-D AND 16-E

THE PLAT OF EL RANCHO GRANDE, TRACTS 16-A, 16-B, 16-C, 16-D, AND 16-E HAS BEEN GRANTED A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS PURSUANT TO SECTION 14-14-6-1 OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY AND AMAFCA (WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY; FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND, EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

FREE CONSENT AND DEDICATION

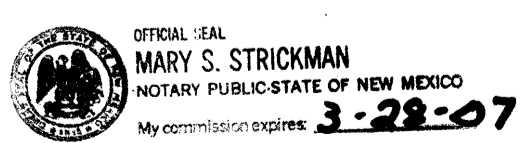
The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 5 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the vacating of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) Warrants that (he/she) holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): Charles A Haegelin 12-09-04 Date
 CURB INC., CHARLES HAEGELIN, PRESIDENT

STATE OF NEW MEXICO)
 BERNALILLO COUNTY)SS

On this 9th day of December, 2004, this instrument was acknowledge before me by CHARLES HAEGELIN, President of Curb, Inc., a New Mexico Corporation.

Mary S Strickman
 Notary Public My Commission Expires



SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."



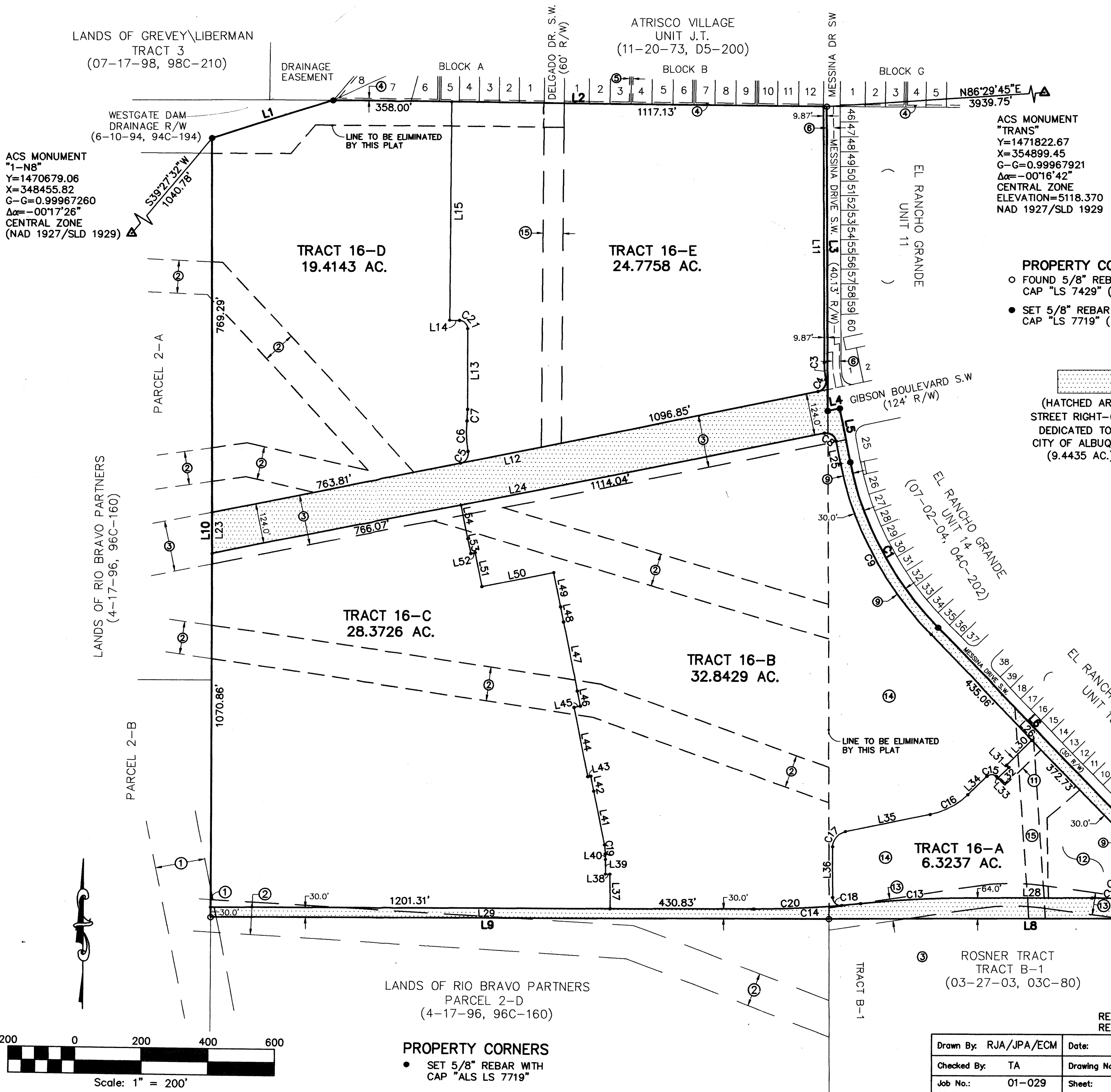
Timothy Aldrich 12-09-04
 Timothy Aldrich, P.S. No. 7719 Date

Drawn By: RJA/EM	Date: 12-17-03
Checked By: TA	Drawing Name: 01029PLT.DWG
Job No.: 01-029	Sheet: 1 of 3



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

**BULK LAND PLAT FOR
TRACTS 16-A, 16-B, 16-C,
16-D AND 16-E
EL RANCHO GRANDE
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2004**



ACS MONUMENT
"1-N8"
Y=1470679.06
X=348455.82
G-G=0.99967260
Δα=-00°17'26"
CENTRAL ZONE
(NAD 1927/SLD 1929)

ACS MONUMENT
"TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
Δα=-00°16'42"
CENTRAL ZONE
ELEVATION=5118.370
NAD 1927/SLD 1929

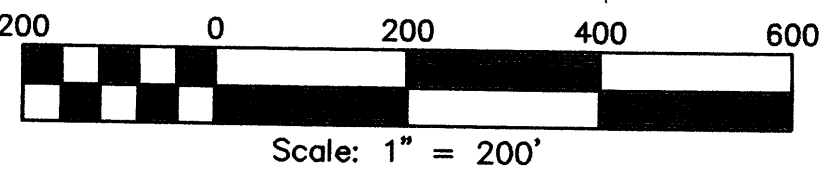
PROPERTY CORNERS
○ FOUND 5/8" REBAR WITH CAP "LS 7429" (TYP)
● SET 5/8" REBAR WITH CAP "LS 7719" (TYP)

(HATCHED AREA)
STREET RIGHT-OF-WAY
DEDICATED TO THE
CITY OF ALBUQUERQUE
(9.4435 AC.)

- EASEMENTS**
- ① EXISTING 150' DRAINAGE EASEMENT (04-17-96, 96C-160)
 - ② EXISTING 100' DRAINAGE DRAINAGE (07-19-90, 90C-163)
 - ③ EXISTING 156' PUBLIC ROADWAY EASEMENT (04-17-96, 96C-160)
 - ④ EXISTING 7' UTILITY EASEMENT (11-20-73, D5-200)
 - ⑤ EXISTING 10' UTILITY EASEMENT (TYP) (11-20-73, D5-200)
 - ⑥ EXISTING 20' PUBLIC WATERLINE EASEMENT (02-07-03, BK.A50 - PG.485)
 - ⑧ EXISTING 10' UTILITY EASEMENT (07-23-03, 03C-223)
 - ⑨ EXISTING 30' PUBLIC ROADWAY, SANITARY SEWER, WATER AND DRAINAGE EASEMENT
 - ⑩ 40' PUBLIC PEDESRIAN ACCESS, STORM AND SANITARY SEWER EASEMENT (GRANTED BY THIS PLAT) SEE DETAIL SHEET 3
 - ⑪ PUBLIC DRAINAGE EASEMENT (GRANTED BY THIS PLAT) SEE DETAIL SHEET 3
 - ⑬ 68' R/W- RESERVED FOR FUTURE R/W-EXTENSION (03-27-03, 03C-80)
 - ⑭ EXISTING C.O.A. BLANKET DRAINAGE EASMENT (04-30-99, 99C-104) (03-27-03, 03C-80)
 - ⑮ EXISTING 60' R/W - FUTURE EXTENSION DELGADO DRIVE (07-19-90, 90C-163)

[Signature]
12-09-04

SEE SHEET 3 OF 3 FOR
CURVE AND LINE TABLE



PROPERTY CORNERS
● SET 5/8" REBAR WITH CAP "ALS LS 7719"

REVISED 12-09-04	
REVISED 11-02-04	
Drawn By: RJA/JPA/ECM	Date: 12-17-03
Checked By: TA	Drawing Name: 01029PLT.DWG
Job No.: 01-029	Sheet: 2 of 3

**ALDRICH LAND
SURVEYING**
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

BULK LAND PLAT FOR
TRACTS 16-A, 16-B, 16-C,
16-D AND 16-E
EL RANCHO GRANDE
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PROJECTED SECTION 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2004

NUMBER	DIRECTION	DISTANCE
L1	N 72°42'16" E	382.06'
L2	S 89°28'02" E (S 89°25'11" E)	1485.22'
L3	S 00°11'58" E	923.14'
L4	N 78°46'22" E	37.06'
L5	S 11°13'38" E	162.00'
L6	S 44°12'54" E	807.81'
L7	S 00°01'54" W	100.00'
L8	S 89°48'25" W	961.10'
L9	S 89°48'11" W (S 89°48'25" W)	1859.43' (1859.19')
L10	N 00°01'24" E (N 00°01'23" E)	2361.31'
L11	S 00°11'58" E	780.06'
L12	S 78°37'23" W	1860.66'
L13	N 00°01'24" E	240.22'
L14	N 89°26'02" W	29.85'
L15	N 00°33'58" E	668.00'
L23	S 00°01'24" W	126.50'
L24	S 78°37'23" W	1880.10'
L25	S 11°13'38" E	68.21'
L26	S 44°12'54" E	807.79'
L27	S 00°01'54" W	16.20'
L28	S 89°48'25" W	366.23'
L29	S 89°48'11" W	1632.14'
L30	N 45°47'06" E	106.00'
L31	N 44°12'54" W	10.00'
L32	N 45°47'06" E	46.00'
L33	S 44°12'54" E	6.72'
L34	N 45°47'06" E	79.52'
L35	S 78°37'33" W	259.13'
L36	S 00°11'49" E	155.94'
L37	S 00°11'45" E	105.98'
L38	N 89°48'15" E	13.82'
L39	S 00°11'45" E	46.00'
L40	S 00°11'49" E	16.77'
L41	S 11°22'27" E	165.88'
L42	S 11°22'27" E	46.00'
L43	N 78°37'33" E	9.00'
L44	S 11°22'27" E	210.00'
L45	S 78°37'25" W	19.00'
L46	S 11°22'27" E	46.00'
L47	S 11°22'27" E	210.00'
L48	S 11°22'27" E	46.00'
L49	S 11°22'27" E	105.00'
L50	N 78°37'33" E	220.00'
L51	S 11°22'27" E	105.00'
L52	N 78°37'33" E	12.79'
L53	S 11°22'27" E	46.00'
L54	S 11°22'27" E	106.04'

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	32°52'00"	S 27°42'37" E	295.81	1002.93	575.31	567.46
C2	40°23'07"	S 20°09'39" E	110.33	300.00	211.46	207.11
C3	09°50'38"	S 05°00'59" E	25.83	300.00	51.54	51.48
C4	88°33'40"	S 34°20'33" W	29.26	30.00	46.37	41.89
C5	89°20'31"	N 33°57'07" E	29.66	30.00	46.78	42.18
C6	17°20'25"	S 02°02'56" E	45.75	300.00	90.79	90.45
C7	06°35'52"	N 03°19'20" E	17.29	300.00	34.55	34.53
C8	90°08'59"	S 56°18'08" E	30.08	30.00	47.20	42.48
C9	32°58'01"	S 27°39'48" E	305.64	1032.93	594.33	586.17
C10	39°57'45"	S 19°55'28" E	98.17	270.00	188.32	184.53
C11	94°39'53"	S 47°21'51" W	27.12	25.00	41.31	36.76
C12	04°53'23"	N 87°44'54" W	57.43	1345.12	114.79	114.76
C13	05°59'02"	S 86°48'54" W	164.71	3151.42	329.13	328.98
C14	05°58'48"	S 86°48'47" W	161.47	3091.42	322.65	322.51
C15	90°00'00"	N 89°12'54" W	20.00	20.00	31.42	31.42
C16	32°50'27"	N 62°12'19" E	66.90	227.00	130.11	130.11
C17	78°49'22"	S 39°12'52" W	39.44	48.00	66.03	66.03
C18	94°55'30"	S 47°39'34" E	27.25	25.00	41.42	41.42
C19	11°10'38"	N 05°47'08" W	14.38	147.00	28.68	28.68
C20	04°55'30"	S 87°20'26" W	132.95	3091.42	265.73	265.65
C21	89°27'26"	N 44°42'19" W	24.76	25.00	39.03	35.19

PUBLIC UTILITY EASEMENTS

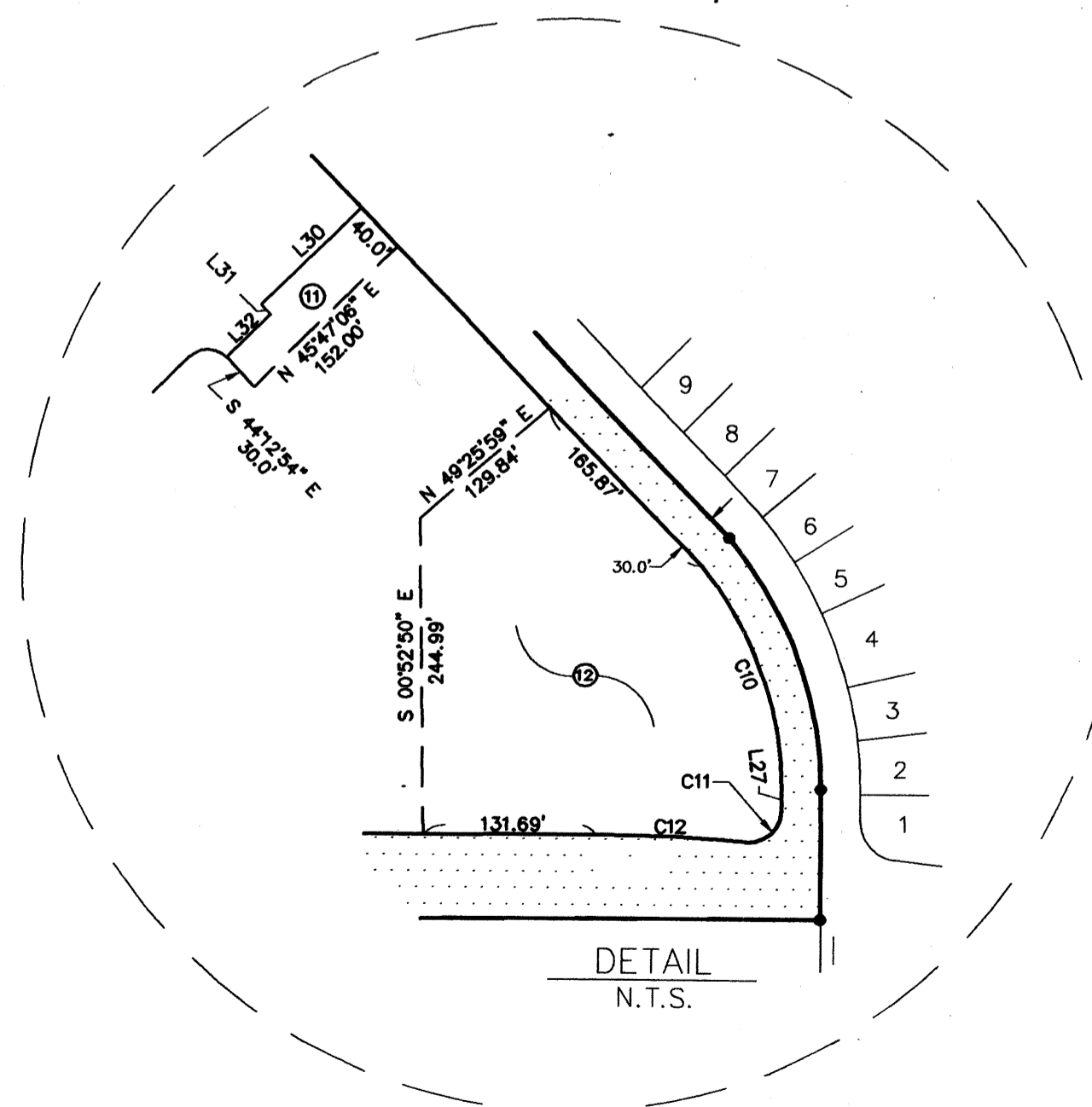
PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
- PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Telecommunications for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
- Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



12-09-04

REVISED 12-09-04
REVISED 11-02-04

Drawn By: RJA/JPA/ECM	Date: 12-17-03
Checked By: TA	Drawing Name: 01029PLT.DWG
Job No.: 01-029	Sheet: 3 of 3

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

The following are design requirements for homes built in the Sierra Ranch Subdivision ("Sierra Ranch Guidelines"). Builder will construct all homes within the Sierra Ranch Subdivision in compliance with these guidelines.

A. Architectural Styles

All homes must be Modern Southwest, Pueblo, or Colonial. Below are described characteristics of the different styles. While the characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains characteristics of one of the styles listed below and addresses the Guidelines.

1. Modern Southwest Style – Southwest architecture incorporates the traditional style of structures built in the southwest. Exteriors are composed of stucco walls, stucco columns or exposed wood posts and beams, with pitched roofs. Roofing materials can consist of metal panels, concrete tile or a minimum of a 20-year composite shingles.
2. Pueblo Style – Pueblo architecture incorporates the centuries old style of structures built by the Pueblo Indians of New Mexico and the Southwest United States. Exteriors consist of stucco walls, and flat roofs with parapet walls. Rounded edges are used to create a soft appearance from the street. Exposed wood posts and beams or stucco columns are utilized for architectural detail.
3. Modern Colonial Style - Colonial architecture incorporates the style and materials used during the colonial period of the United States. Exteriors consist of brick front elevations and pitched roofs with a minimum 20-year shingles. The side and back elevations can have stucco exteriors that match the brick colors of the front elevation. Columns are constructed of brick, painted concrete, or stucco on the rear or side elevations.

B. Garages

1. Each home must have a garage for not more than three and not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces is provided. Garage doors can be constructed of solid panels or may have a panel with window lites at the top.

per P-1 parking requirements
Garage doors colors must match main color of home.

C. Windows

1. All exterior windows and frames must be a white or tan color.

D. Setbacks

1. Front yard setbacks
 - a. No house shall be constructed within fifteen feet (15) of the front property line of a lot.
 - b. The garage shall be constructed to insure that a twenty foot (20) setback exists from the front property line.
2. Side yard setback – no house shall be constructed with in five feet (5) from the side property line of a lot.
3. Rear yard setback – no house shall be constructed within fifteen feet (15) from the rear property line of a lot.

E. Minimum and Maximum Square Footage

1. Each home shall have a minimum of 1,000 square feet and a maximum of 3,500 square feet of enclosed heated area exclusive of garages and open porches and patios.

F. Materials and Approved Colors

1. All homes must be finished with stucco or brick. Colors shall be a white, tan or brown color.
2. Stone and/or tile may be used as an accent feature, and must match the range of colors listed in F.1 above.

G. Building Height

1. Houses or improvements on any lot shall not exceed nineteen feet (19') for a single story. The maximum height allowed for a two story is twenty six feet (26'). Height limitation shall be as described in the City of Albuquerque Zoning Code.

H. Landscaping

1. Plans for front yard landscaping must be compatible with the City of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance.
2. Timing of Installation. All front yard landscaping, and all side yard landscaping (if the house is on a corner lot, the side fronting street), must be completed by the builder no later than two months after the completion of construction of the home, but in no event later than the occupancy date of the home.

I. Walls and fences

1. All perimeter walls must be constructed of cmu block and built in accordance with the City of Albuquerque Zcne Code requirements. Interior fences in the community shall be constructed of cmu block.
2. All fences and walls shall measure a minimum of seven courses from the top of the footing.

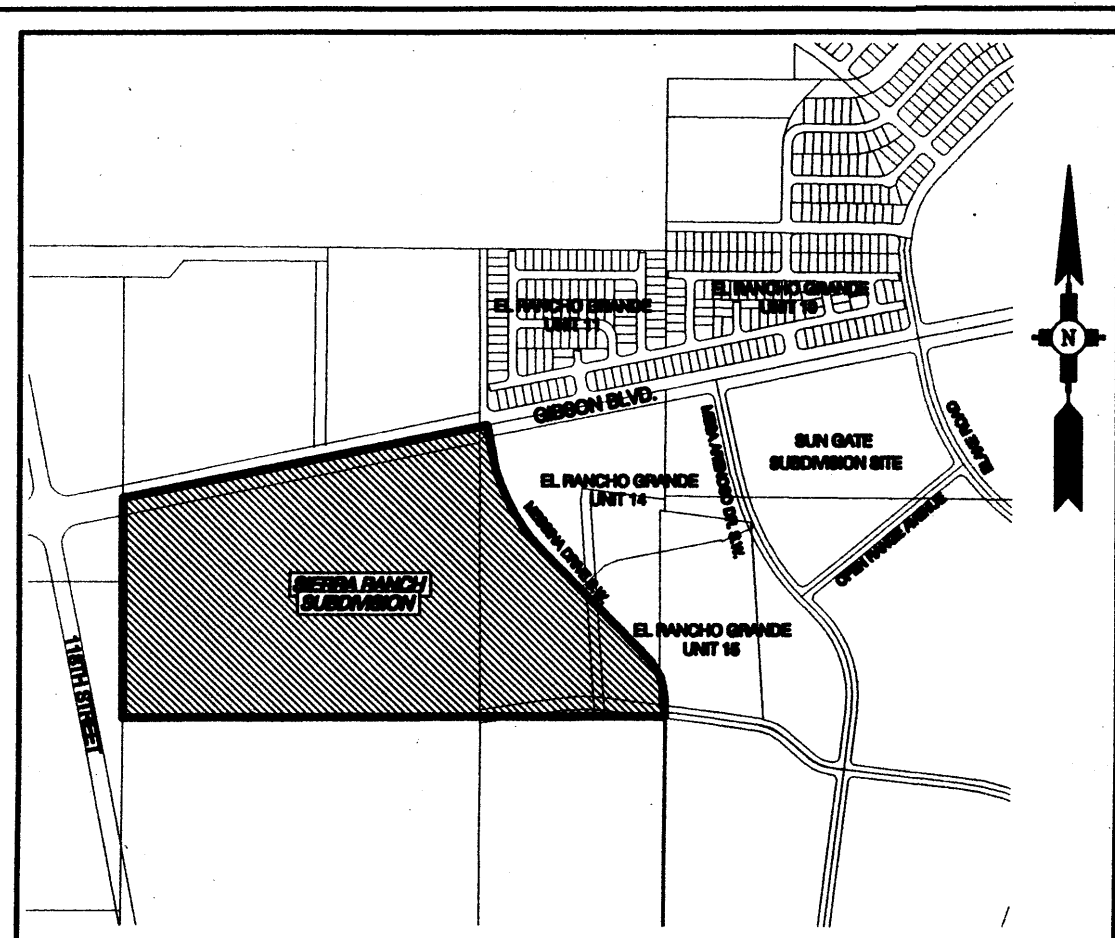
J. Mail Boxes

1. "Cluster-type" mailboxes will be used, subject to the requirements of, and in coordination with, the United States Postal Service.

K. Vacant Lots, Construction

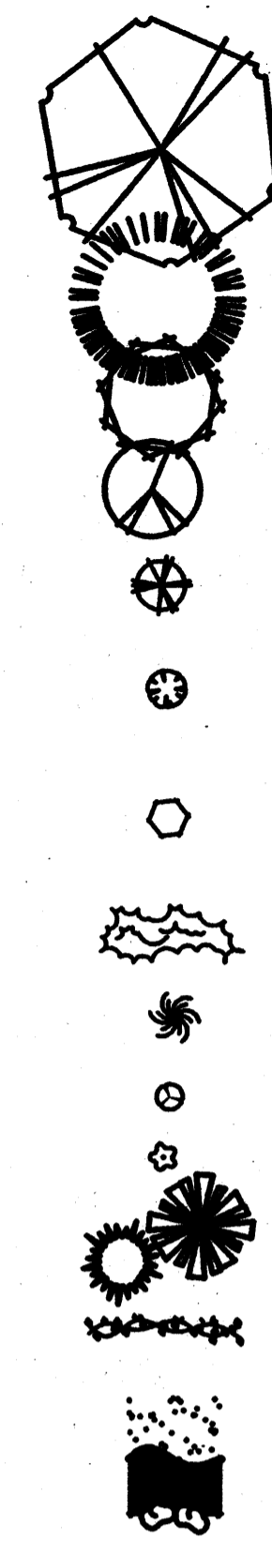
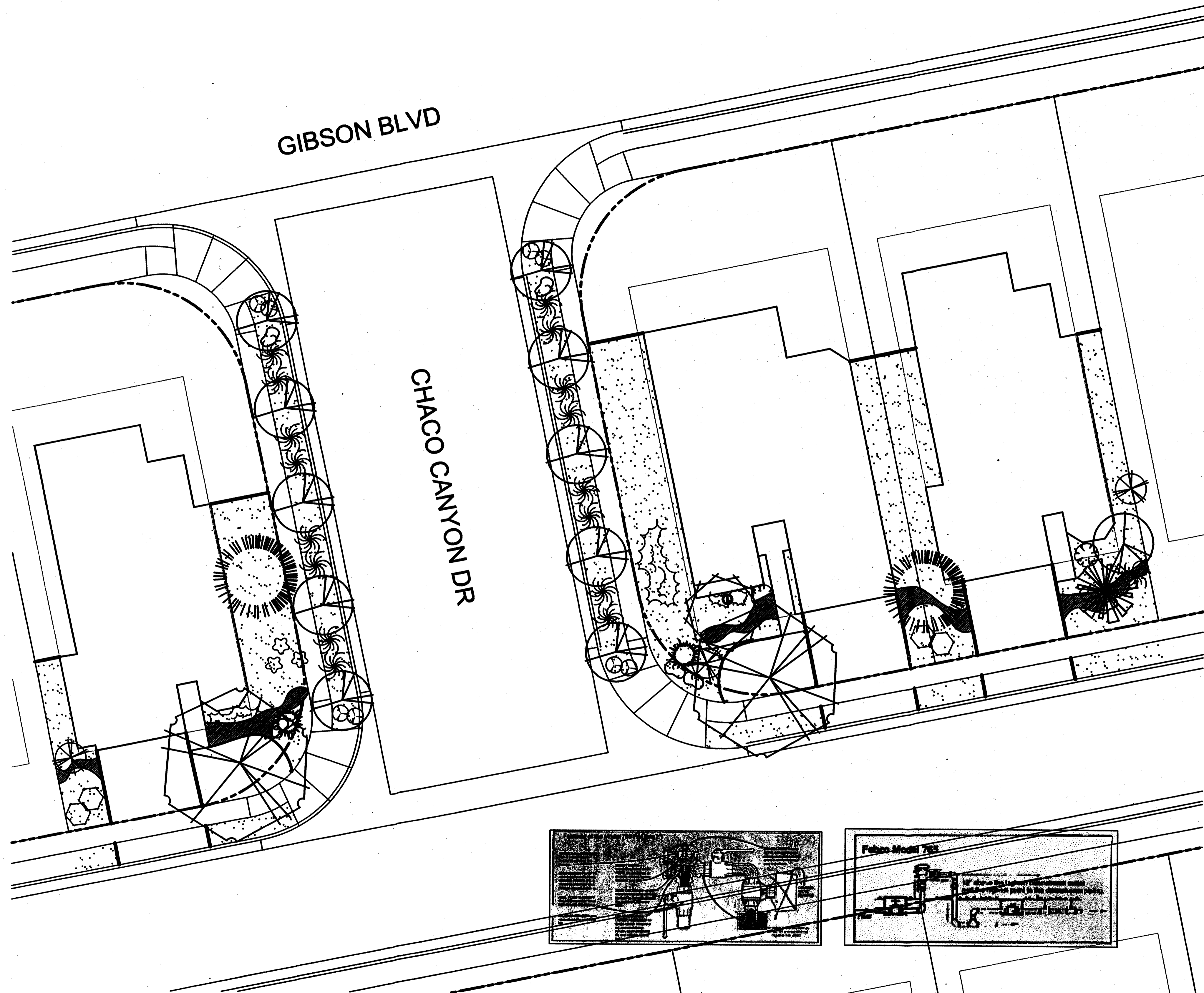
1. There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots in the Sierra Ranch Subdivision. During construction, builder will maintain all building debris on the lot and remove debris at reasonable intervals.
2. The owner of a lot within the Sierra Ranch Subdivision shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.

SPS
 PRELIMINARY PLAT
 APPROVED BY DRB
 ON 1/26/05



N.T.S. LOCATION MAP ZONE ATLAS N-9-Z

DESIGN REQUIREMENTS
 SIERRA RANCH SUBDIVISION
 TRACTS 16B AND 16C, EL RANCHO GRANDE
 ALBUQUERQUE, NEW MEXICO
 JANUARY 2005



- TREES**
 Honey Locust, Arizona Ash, Raywood Ash, Golden Rain Tree, Chinese Pistache
- EVERGREENS**
 Austrian Pine, Afgan Pine
- ORNAMENTALS**
 Canada Red Cherry, Desert Willow, Crabapple, Vitex, Redbud
- ORNAMENTALS**
 Flowering Pear
- SHRUBS - LARGE 1 Gal.**
 Bird of Paradise, Butterfly Bush, Spanish Broom, Photinia
- SHRUBS - MEDIUM 1 Gal.**
 Chamise, Indian Hawthorn, Russian Sage, Apache Plume, Cotoncaster Sage, Rosemary
- SHRUBS - SMALL 1 Gal.**
 Lenas Broom, Autumn Sage, Potentilla, Gaura, Crimson Pigmy
- GROUNDCOVERS 1 Gal.**
 Cotoncaster, Rosemary
- LARGE GRASSES 1 Gal.**
 Regal Mist, Deer Muhly, Maiden, Blue Avena
- SMALL GRASSES 1 Gal.**
 Threadgrass, Blue Fescue
- WILDFLOWER 1 Gal.**
- ACCENTS**
 Sotol, Palm Yucca, Mugo Pine
- VINES**
 Wisteria, Banks Rose, Boston Ivy, Virginia Creeper
- Santa Fe Brown Gravel
 Steel Edge
 Cobblestone
 Boulder
 Sod

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

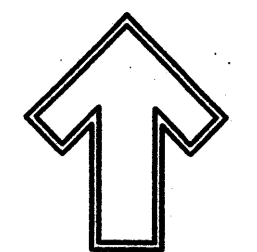
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/BUILDER.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



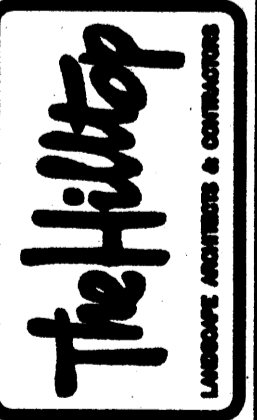
Cont. Ltr. #204488
 7009 Edith N.E.
 Albuquerque, NM 87104
 Ph: (505) 898-8900
 Fax: (505) 898-7737
 email: hilltop@hilltoplandscape.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLOW
 #0007

EL RANCHO GRANDE
 STANDARD ENTRY AND FRONT YARD
 LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied without the approval of the designer or his/her employer.



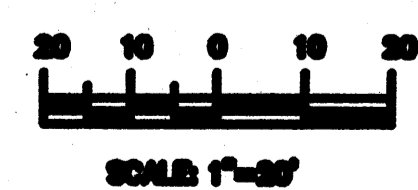
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 CMO

REVISION #
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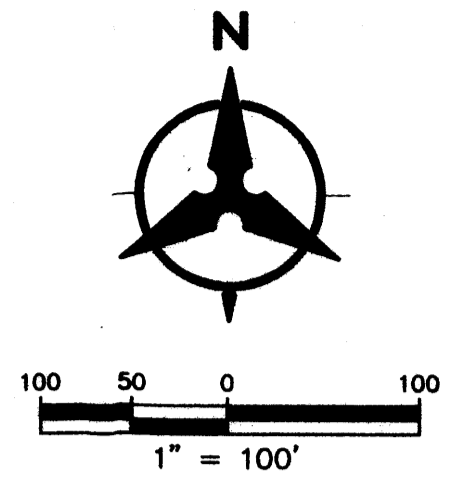
DATE
 1/17/06

SHEET #
 L1 of L1

GRAPHIC SCALE

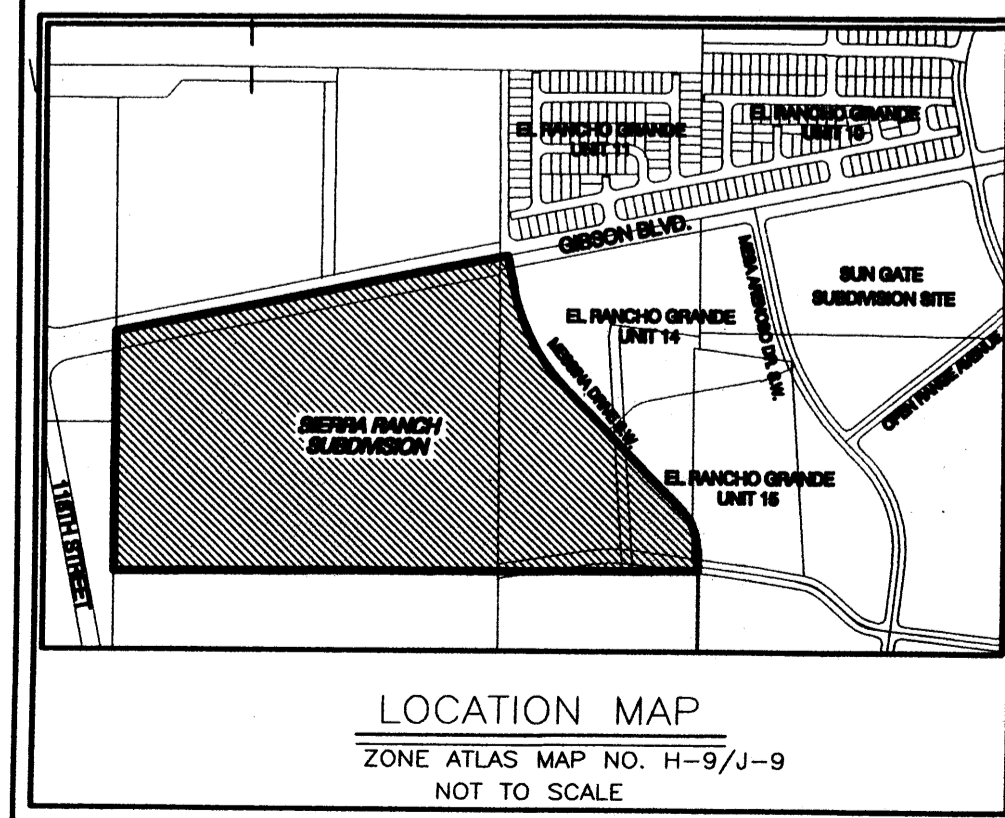
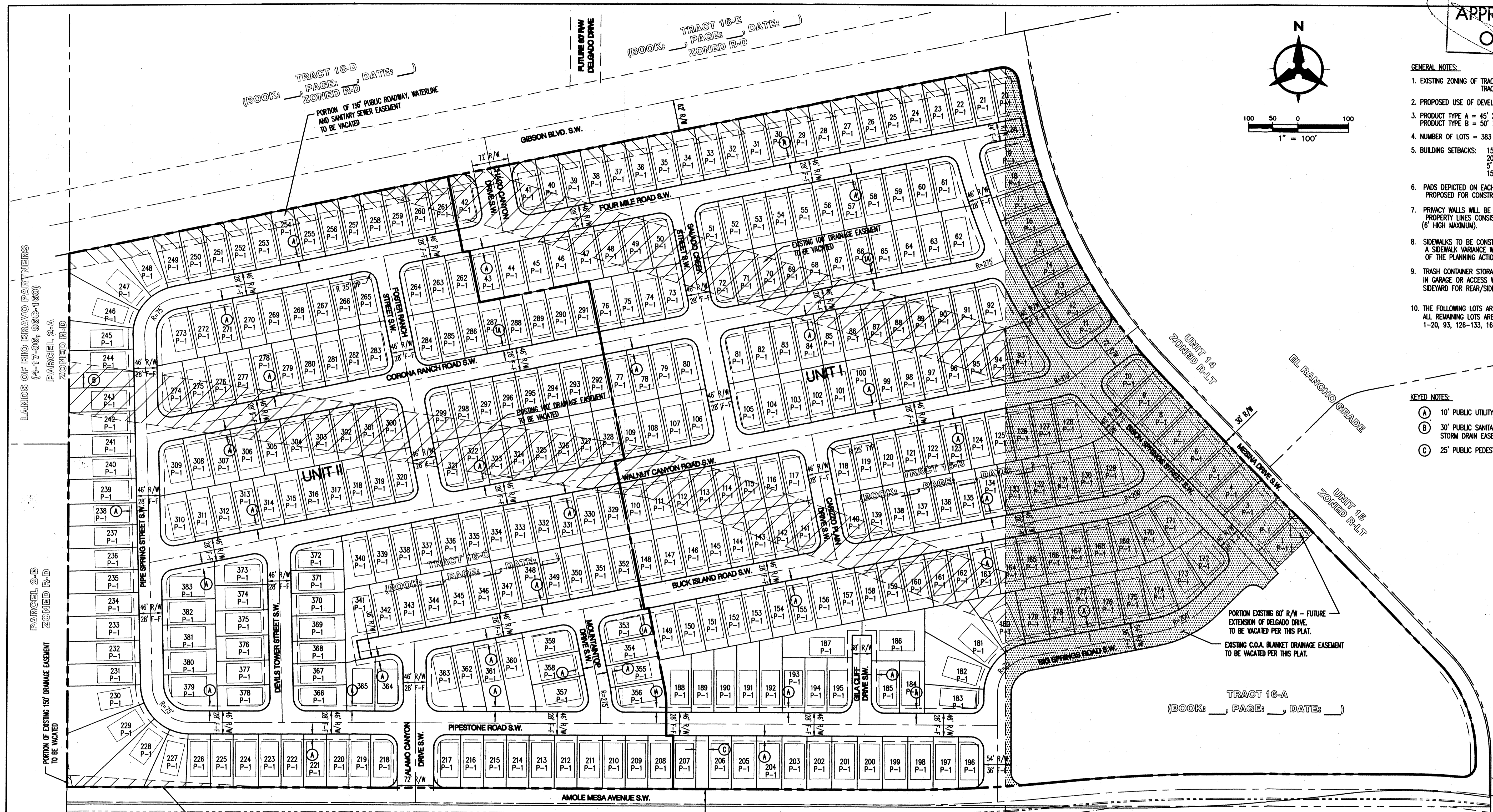


Garage Change SPS
PRELIMINARY PLAN
APPROVED BY DRB
ON



- GENERAL NOTES:**
- EXISTING ZONING OF TRACT 16-B: R-D & R-LT
TRACT 16-C: R-D
 - PROPOSED USE OF DEVELOPMENT: SINGLE FAMILY, DETACHED RESIDENTIAL.
 - PRODUCT TYPE A = 45' X 105' MIN. LOT SIZE.
PRODUCT TYPE B = 50' X 105' MIN. LOT SIZE.
 - NUMBER OF LOTS = 383
 - BUILDING SETBACKS: 15' FRONT YARD TO BUILDING
20' FRONT YARD TO GARAGE
5' SIDE YARD
15' BACK YARD
 - PADS DEPICTED ON EACH LOT REPRESENT THE LARGEST UNIT PROPOSED FOR CONSTRUCTION, ACTUAL PAD/FOOTPRINT SIZE MAY VARY.
 - PRIVATE WALLS WILL BE CONSTRUCTED ALONG REAR AND SIDE PROPERTY LINES CONSISTING OF CMU BLOCK (6" HIGH MAXIMUM).
 - SIDEWALKS TO BE CONSTRUCTED BY HOME BUILDER. A SIDEWALK VARIANCE WILL BE REQUESTED AS A PART OF THE PLANNING ACTION.
 - TRASH CONTAINER STORAGE SPACE WILL BE PROVIDED IN GARAGE OR ACCESS WILL BE PROVIDED TO SIDEYARD FOR REAR/SIDE YARD STORAGE LOCATION.
 - THE FOLLOWING LOTS ARE ZONED R-LT, ALL REMAINING LOTS ARE ZONED R-D.
1-20, 93, 126-133, 164-179

- KEYED NOTES:**
- (A) 10' PUBLIC UTILITY EASEMENT
 - (B) 30' PUBLIC SANITARY SEWER AND STORM DRAIN EASEMENT
 - (C) 25' PUBLIC PEDESTRIAN ACCESS EASEMENT



SITE DEVELOPMENT PLAN FOR SUBDIVISION SIERRA RANCH SUBDIVISION (A REPLAT OF TRACTS 16B & 16C EL RANCHO GRANDE)

ROSNER TRACT
 TRACT B-1
 (03-27-03, 03C-80)
 ZONED R-LT

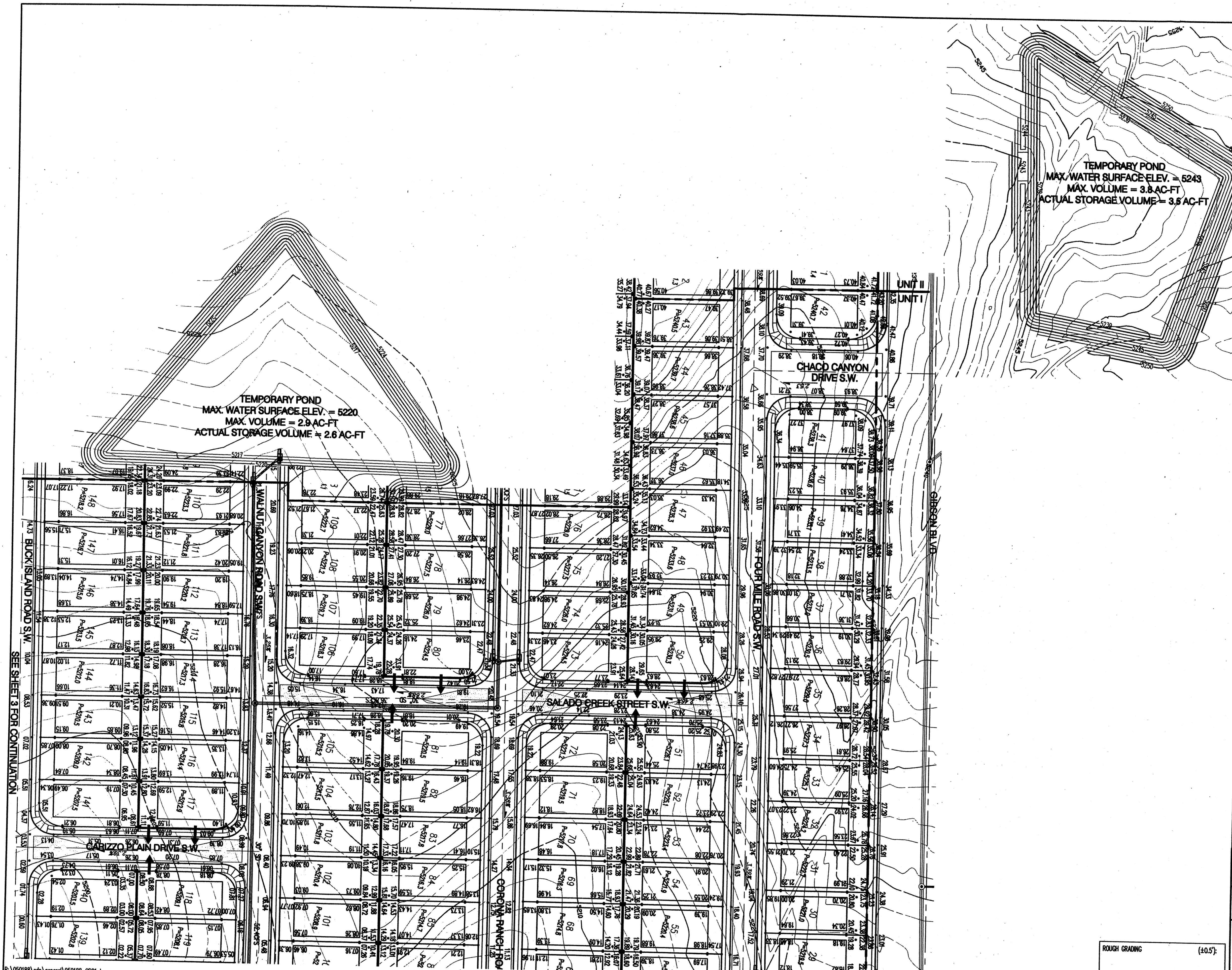
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CITY ENGINEER	DATE
AMAFCA	DATE
TRAFFIC ENGINEER	DATE
UTILITY DEVELOPMENT DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
SOLID WASTE MANAGEMENT DEPARTMENT	DATE

DRB PROJECT #1003429
 CASE TRACKING NUMBERS:
 (PP) 04DRB-01950
 (VRW) 04DRB-01951
 (VPE) 04DRB-01952
 (SW) 04DRB-01953
 (TDS) 04DRB-01954
 (SPS)

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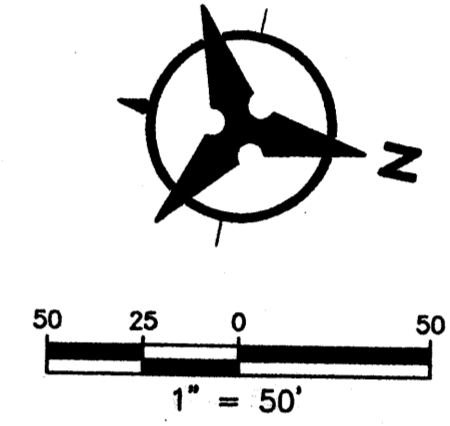
1003429



TEMPORARY POND
 MAX. WATER SURFACE ELEV. = 6243
 MAX. VOLUME = 3.8 AC-FT
 ACTUAL STORAGE VOLUME = 3.5 AC-FT

TEMPORARY POND
 MAX. WATER SURFACE ELEV. = 6220
 MAX. VOLUME = 2.9 AC-FT
 ACTUAL STORAGE VOLUME = 2.6 AC-FT

- GENERAL NOTES**
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 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
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 - 91.62 PROPOSED SPOT ELEVATION
 - × 92.46 EXISTING SPOT ELEVATION (GRID & IC)
 - ===== EXISTING CURB & GUTTER
 - ===== PROPOSED MOUNTABLE CURB & GUTTER
 - ===== PROPOSED STANDARD CURB & GUTTER
 - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - ===== PROPOSED RETAINING WALL
 - ===== PROPOSED GARDEN WALL
 - ===== CONCRETE FILLED TO 1-FOOT DEPTH
 - ===== PROPOSED SLOPE
 - ===== PROPOSED STORM DRAIN
 - ⊙ PROPOSED STORM DRAIN MANHOLE
 - ⊙ PROPOSED STORM DRAIN INLET
 - ⊙ PROPOSED CATTLE GUARD INLET
 - ===== WALL DRAIN

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
SIERRA RANCH SUBDIVISION
UNIT I GRADING AND DRAINAGE PLAN

Design Review Committee City Engineer Approval
 Mo./Day/Yr. Mo./Day/Yr.

City Project No. XXXXX Zone Map No. N-8-Z Sheet 1 Of 7

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	BY	DATE	NO.	DATE	BY	DATE
		AC'S BRASS TABLET STAMPED "TRANS"		CONTRACTOR		DATE	
		Geographic Position (NAD 1927)		INSPECTOR'S BY		DATE	
		N.M. State Plane Coordinates (Central Zone) X = 354,899.45 Y = 1,471,822.67		FIELD CHECKED BY		DATE	
REVISIONS		MICROFILM INFORMATION					
No.	Date	Ground-to-Grid Factor = 0.99987921		NO.		DATE	
By	DATE	AC = -0016'42"		NO.		DATE	
DESIGN	DATE 11/04	SLD 1929 Elevation = 5118.43		NO.		DATE	
REVISIONS	DATE 11/04			NO.		DATE	
DESIGN	DATE 11/04			NO.		DATE	

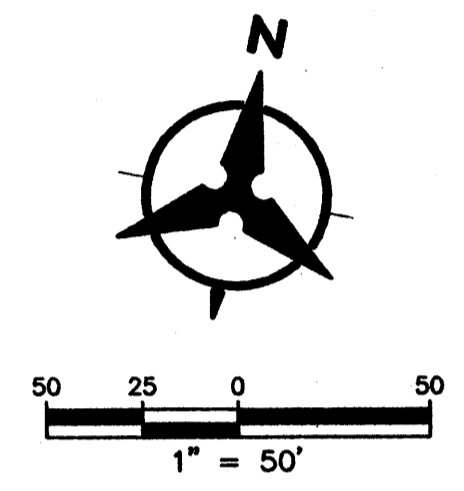
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SEE SHEET 2 FOR CONTINUATION

ROUGH GRADING (±0.5')
 Approved for Rough Grading
 Bradley S. Bohannon 1-26-05
 DATE

file

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 - PROPOSED STORM DRAIN MANHOLE
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 - PROPOSED CATTLE GUARD INLET
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AS-BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR	DATE
APPROVED BY	DATE
DRAWN BY	DATE
REVISIONS	DATE
MICROFILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
CONTRACTOR	DATE
INSPECTOR	DATE
APPROVED BY	DATE
DRAWN BY	DATE
REVISIONS	DATE
MICROFILM INFORMATION	
RECORDED BY	DATE
NO.	

SURVEY INFORMATION	
NO.	DATE
BY	
FIELD NOTES	

ENGINEER'S SEAL

No.	Date	By	REVISIONS
			DESIGN

Designed By: SJS DATE: 11/04
 Drawn By: DH DATE: 11/04
 Checked By: SJS DATE: 11/04

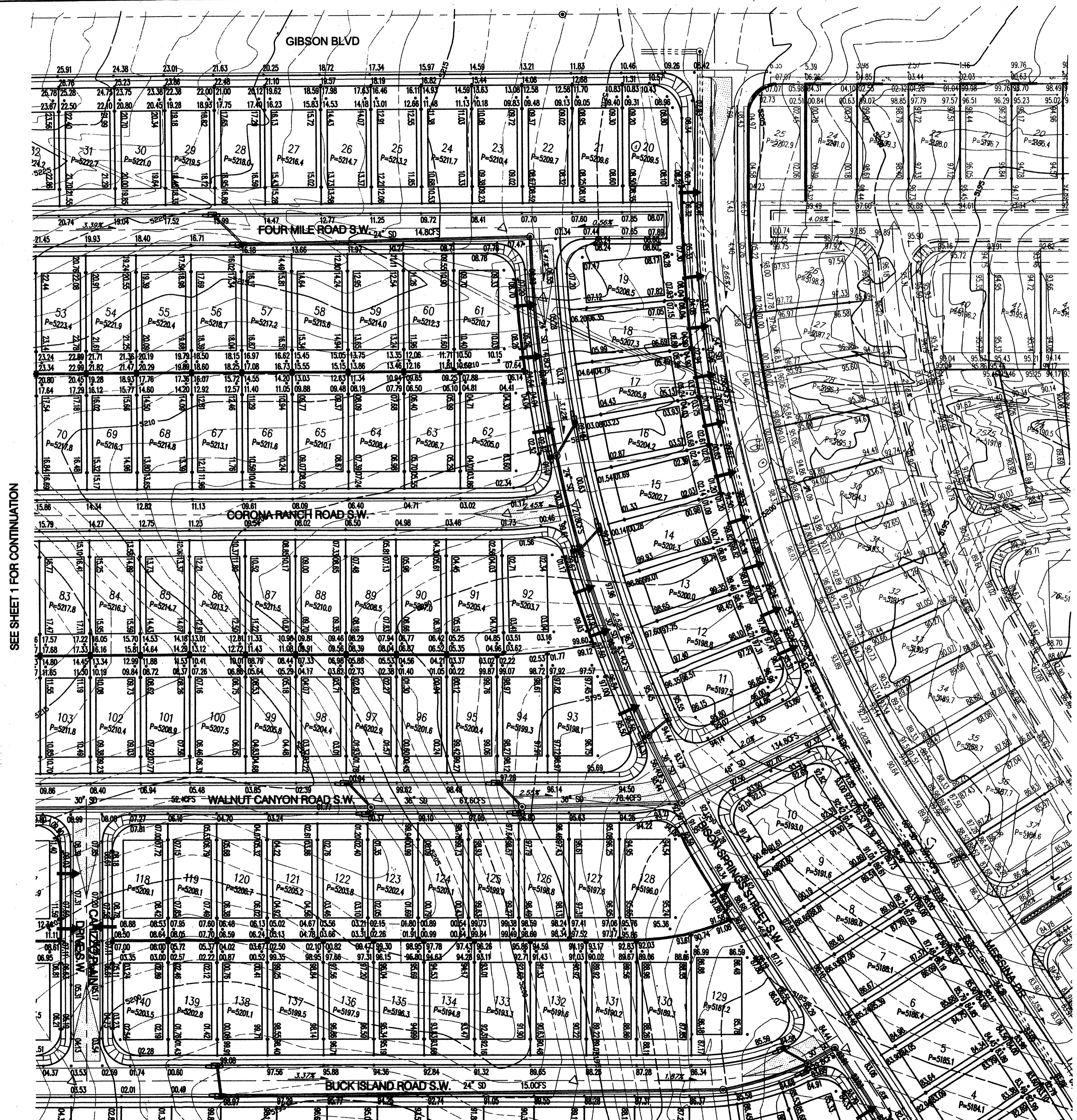
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
SIERRA RANCH SUBDIVISION
UNIT I GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

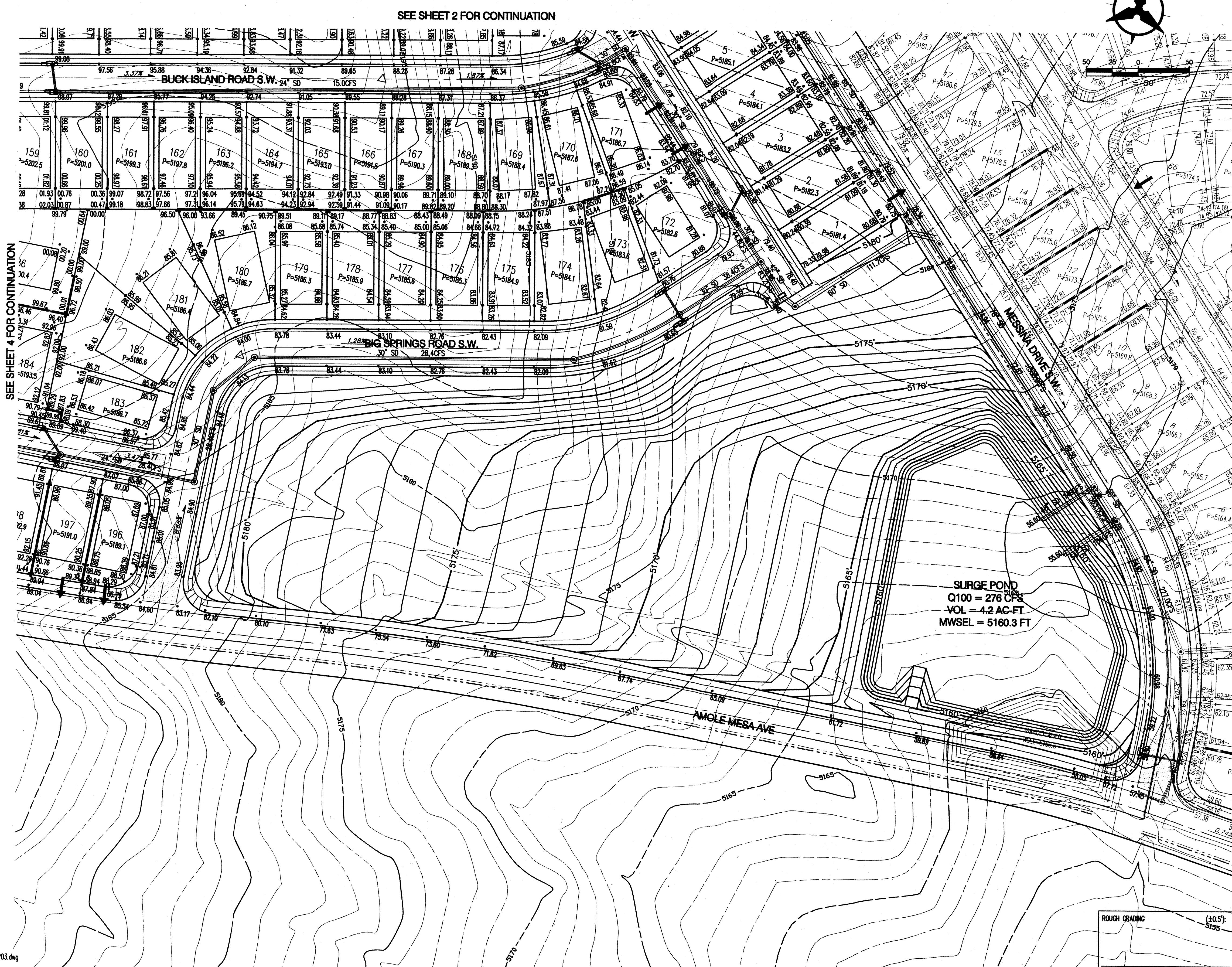
City Project No. XXXXX Zone Map No. N-8-Z Sheet 2 of 7

ROUGH GRADING (±0.5')
 Approved for Rough Grading
 Bradley L. Biegan 1.26.05
 DATE



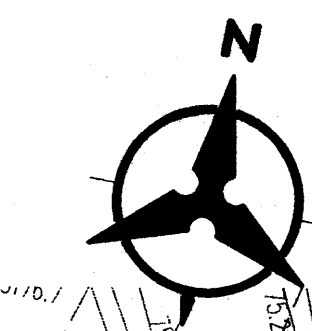
SEE SHEET 1 FOR CONTINUATION

SEE SHEET 3 FOR CONTINUATION



SEE SHEET 2 FOR CONTINUATION

SEE SHEET 4 FOR CONTINUATION



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LEGEND

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SURGE POND
 Q100 = 276 CFS
 VOL = 4.2 AC-FT
 MWSEL = 5160.3 FT

ROUGH GRADING ±0.5'
 5155
 APPROVED FOR ROUGH GRADING DATE

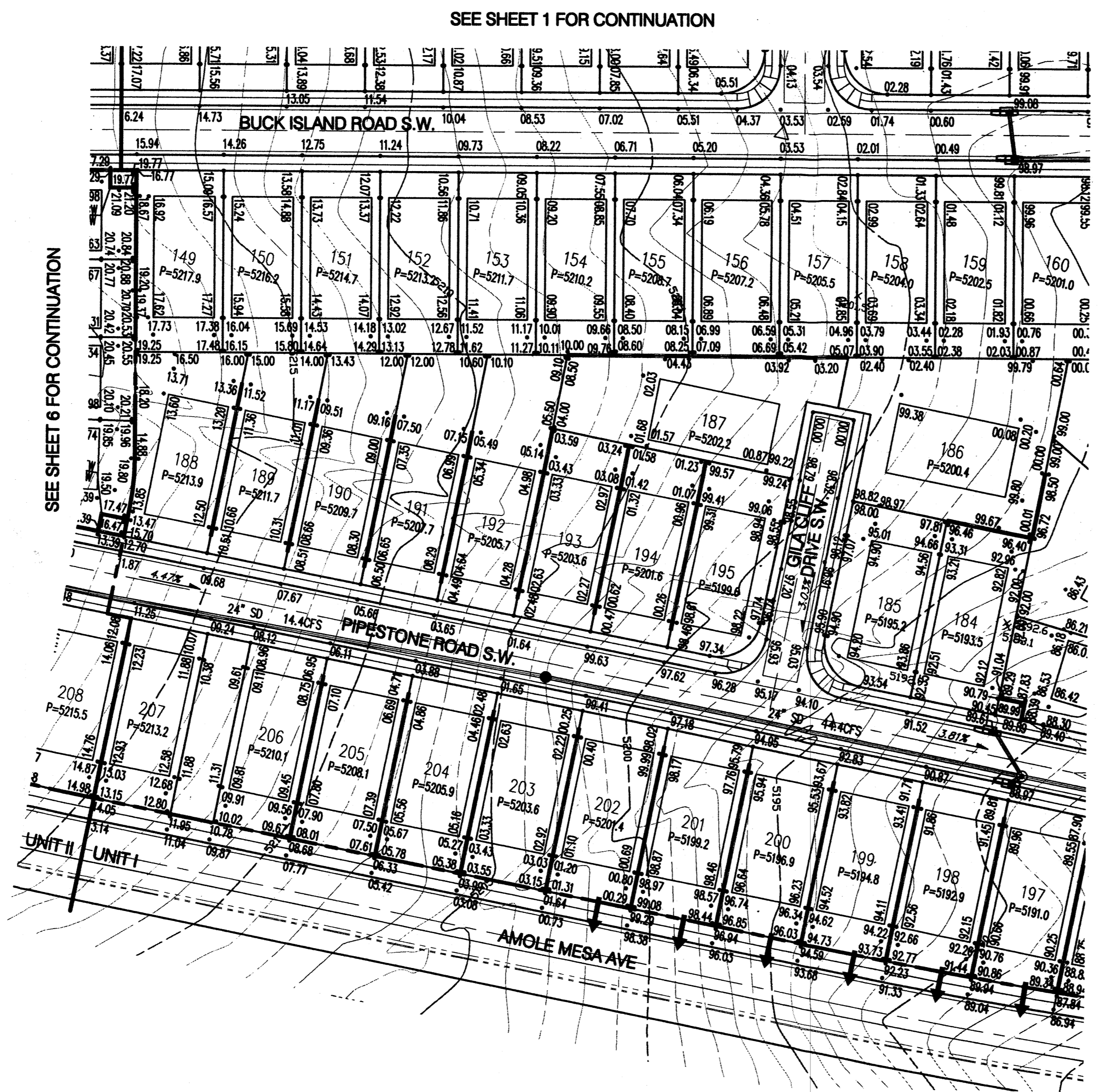
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WORK AT	DATE	DATE	DATE	DATE	DATE		
ACCEPTANCE BY	DATE	Geographic Position (NAD 1927)					Designed By: SJS
APPROVED BY	DATE	N.M. State Plane Coordinates (Central Zone)					Drawn By: DH
REVISIONS	DATE	X = 354,899.45 Y = 1,471,822.67					Checked By: SJS
		Ground-to-Grid Factor = 0.99967921					
		ΔC = -00'16"42"					
		S.L.D. 1929 Elevation = 5118.43					

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
 SIERRA RANCH SUBDIVISION
 UNIT I GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXXX	N-8-Z	3	7

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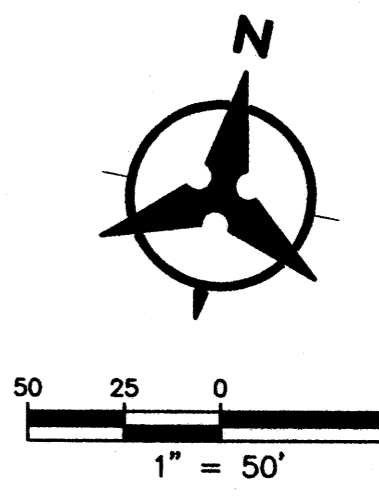


SEE SHEET 6 FOR CONTINUATION

SEE SHEET 1 FOR CONTINUATION

SEE SHEET 3 FOR CONTINUATION

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AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
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CONTRACTOR	DATE	NO.	BY	NO.	BY	REVISIONS	DATE
MARKED BY	DATE	NO.	BY	NO.	BY	DESIGN	DATE
ACCEPTANCE BY	DATE						
FIELD CHECK BY	DATE						
DRAWN BY	DATE						
CHECKED BY	DATE						
RECORDED BY	DATE						
NO.							

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
SIERRA RANCH SUBDIVISION
UNIT I GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXXX	N-8-Z	4	7

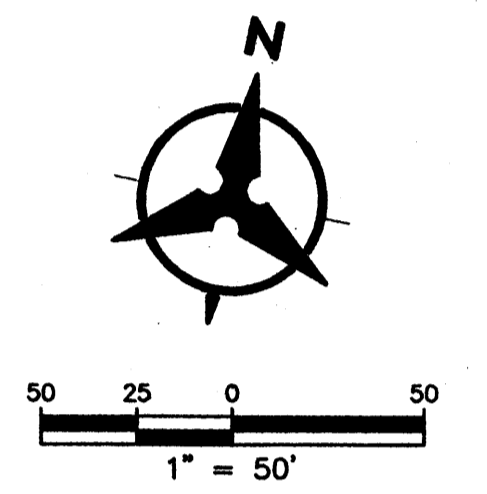
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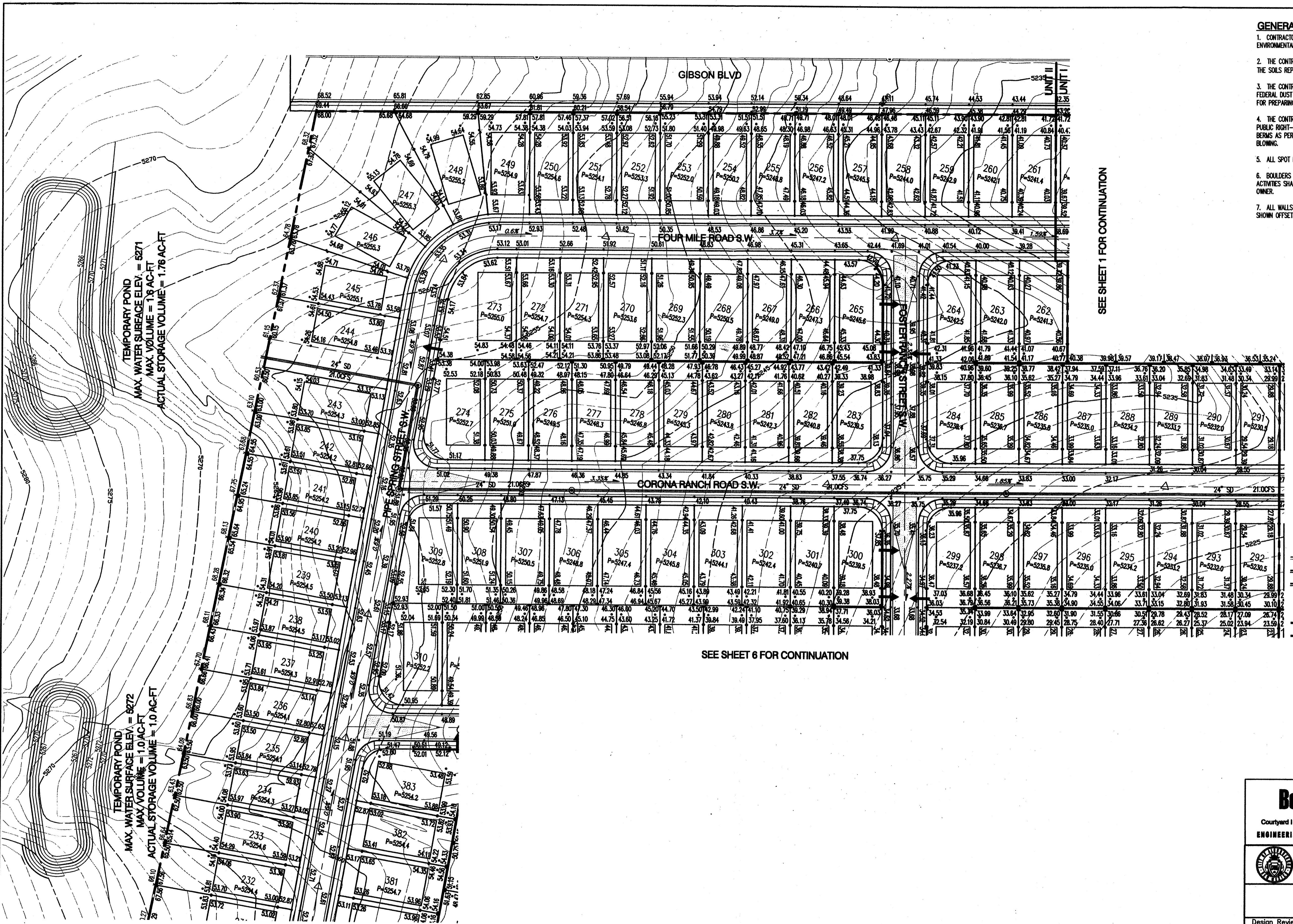
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SEE SHEET 1 FOR CONTINUATION

SEE SHEET 6 FOR CONTINUATION



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January 26, 2005 - 7:19am

ROUGH GRADING (±0.5')
Brad J. Birk 1.26.05
APPROVED FOR ROUGH GRADING DATE

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Court yard 1 7600 Jefferson St NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

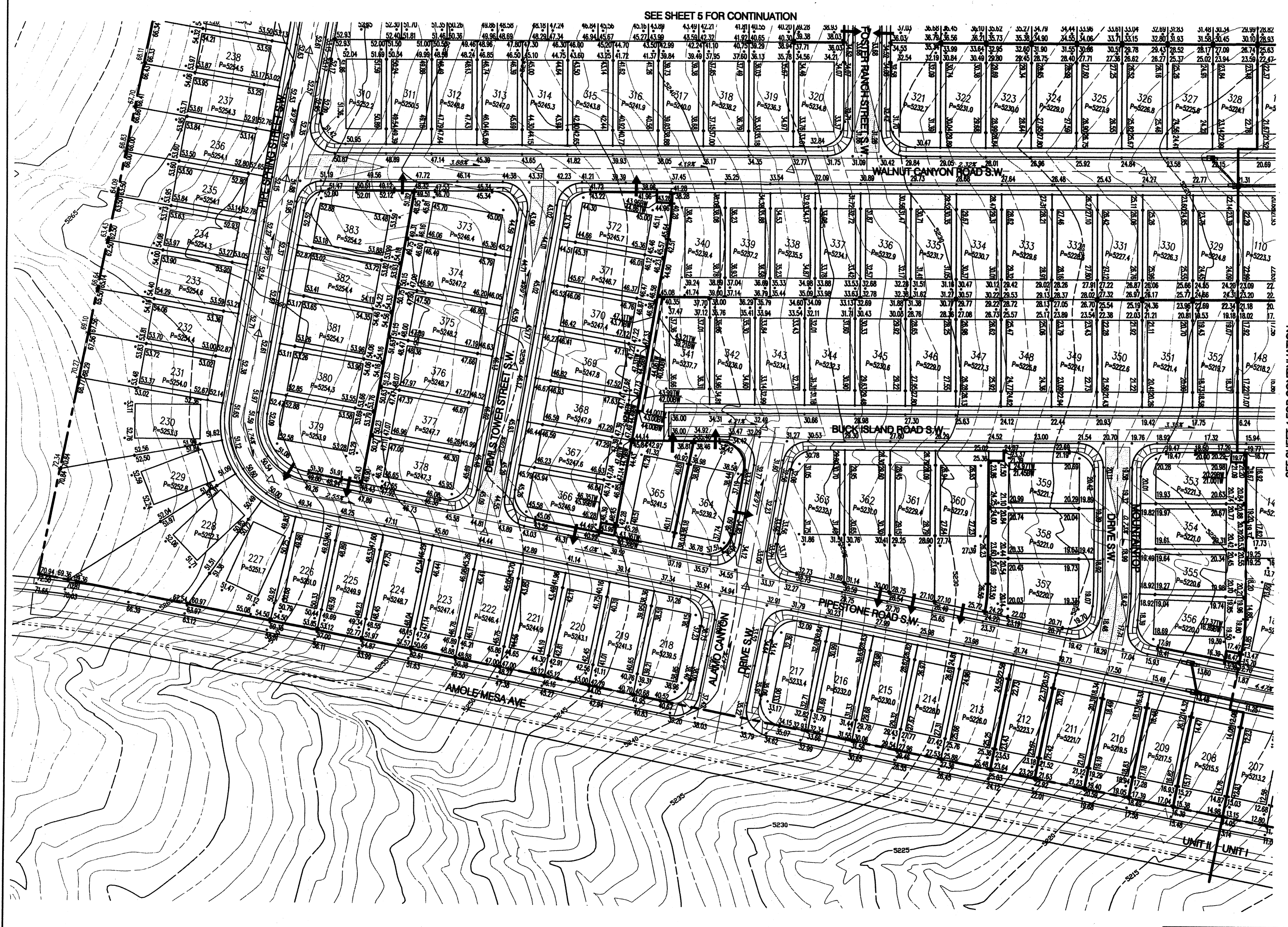
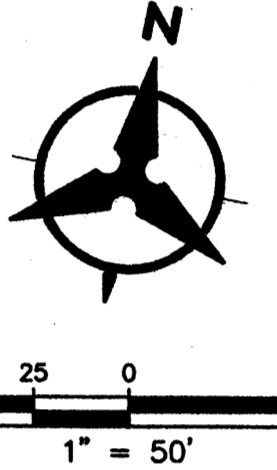
CITY OF ALBUQUERQUE
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UNIT II GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXXX	N-8-Z	5	7

SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL		REVISIONS		AS-BUILT INFORMATION	
NO.	DATE	BY		DATE	BY	NO.	DATE	CONTRACTOR	DATE
								ACCS BRASS TABLET STAMPED "TRANS"	
								Geographic Position (NAD 1927)	
								N.M. State Plane Coordinates (Central Zone)	
								X= 354,899.45 Y= 1,471,822.67	
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SEE SHEET 4 FOR CONTINUATION

SEE SHEET 5 FOR CONTINUATION

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ENGINEER'S SEAL		SURVEY INFORMATION		AS-BUILT INFORMATION	
		NO.	DATE	NO.	DATE
	BY	DATE	CONTRACTOR	DATE	
	NO.	DATE	BY	DATE	
	NO.	DATE	BY	DATE	
	NO.	DATE	BY	DATE	
REVISIONS		MICROFILM INFORMATION			
		NO.	DATE	NO.	DATE
REVISIONS		DESIGN		RECORDED BY	
By	Date	By	Date	DATE	
DESIGNED BY: SJS	DATE: 11/04	BY: DH	DATE: 11/04	NO.	
DRAWN BY: SJS	DATE: 11/04	BY: SJS	DATE: 11/04	NO.	
CHECKED BY: SJS	DATE: 11/04				

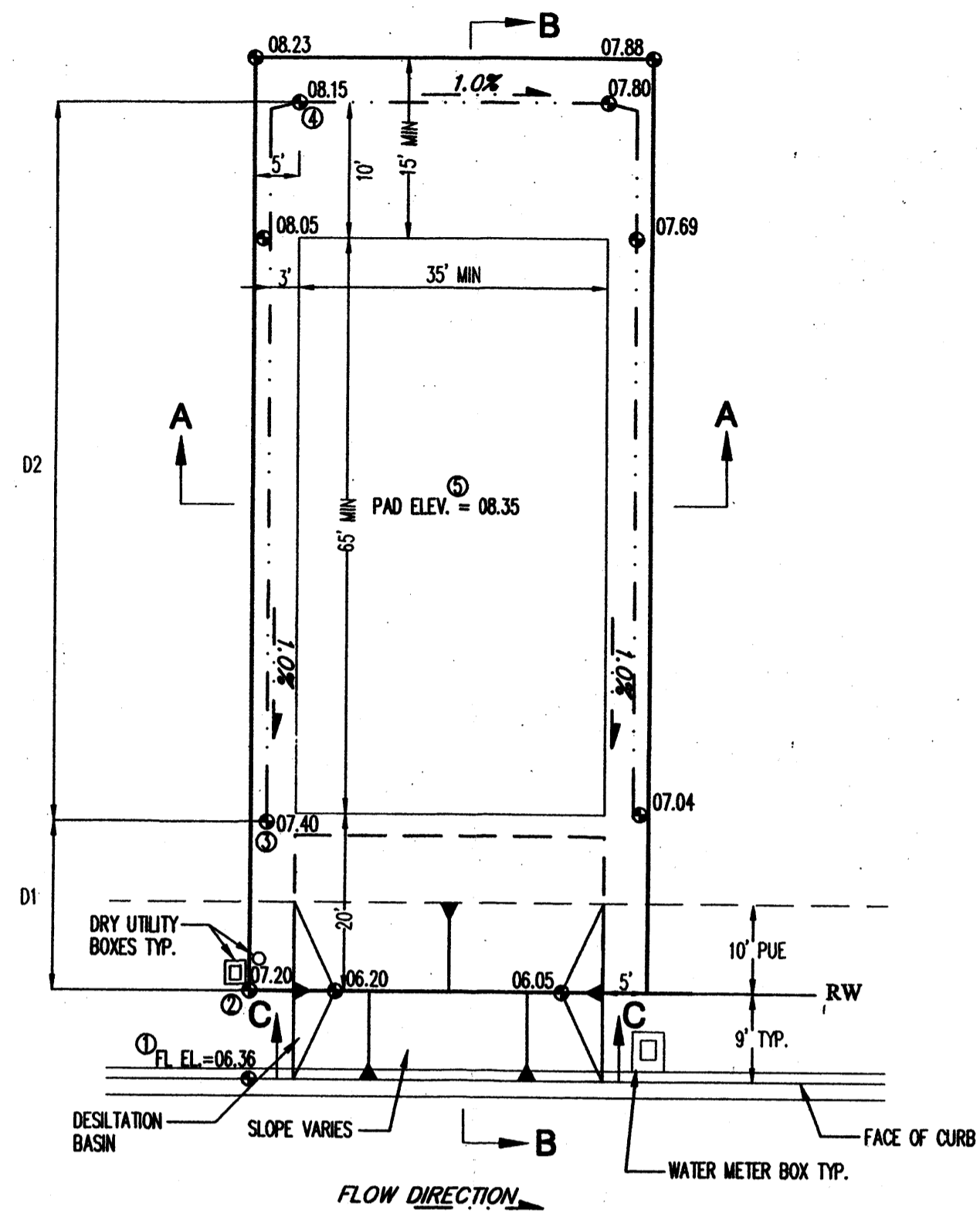
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Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. XXXXX	Zone Map No. N-8-Z	Sheet 6	Of 7

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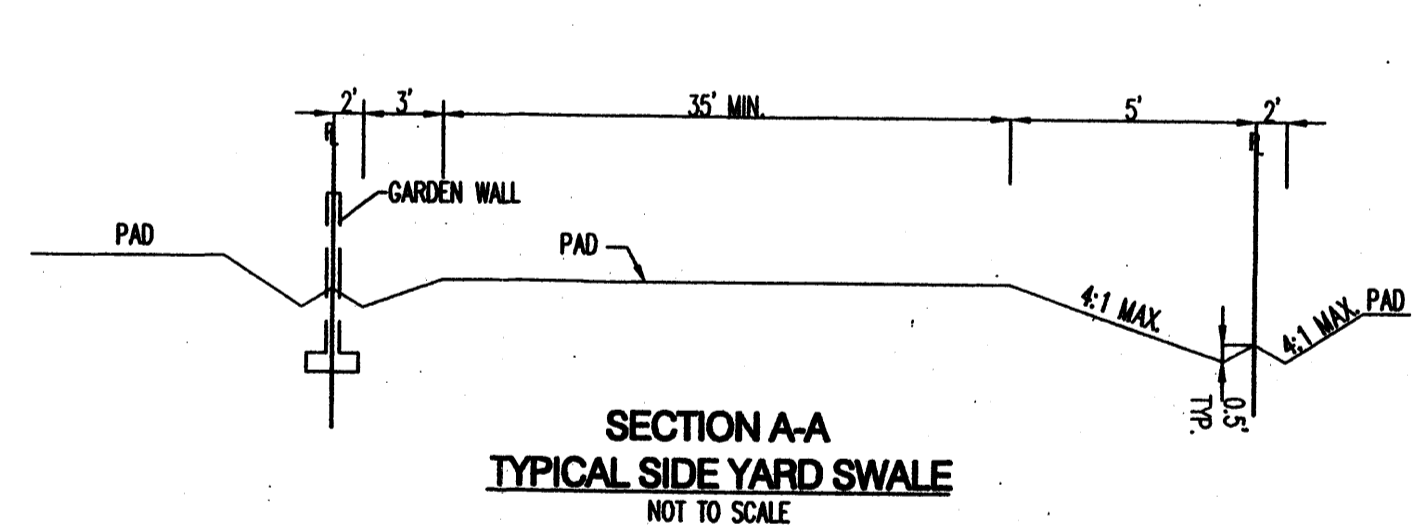
ROUGH GRADING (±0.5)
Bohannon & Huston
 1.26.05
 APPROVED FOR ROUGH GRADING DATE



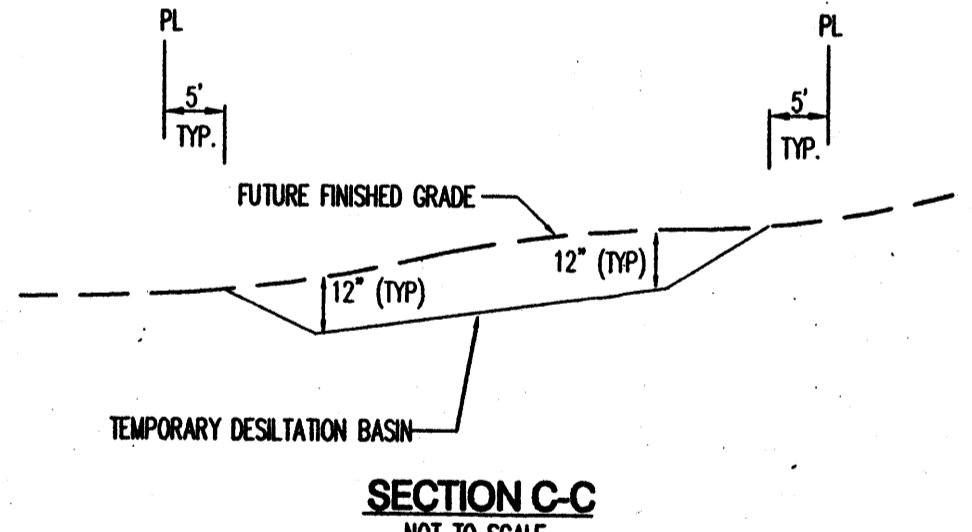
EL RANCHO GRANDE UNITS 14 & 15
TYPICAL LOT GRADE DETAIL
WITH DESILTATION BASIN FOR SEDIMENTATION CONTROL
 NOT TO SCALE

TO SET SPOT ② - ADD 0.6' TO SPOT ①
 TO SET SPOT ③ - MULTIPLY D1 BY 1.0% AND ADD TO SPOT ②
 TO SET SPOT ④ - MULTIPLY D2 BY 1.0% AND ADD TO SPOT ③
 TO SET SPOT ⑤ - ADD 0.2' TO SPOT ④

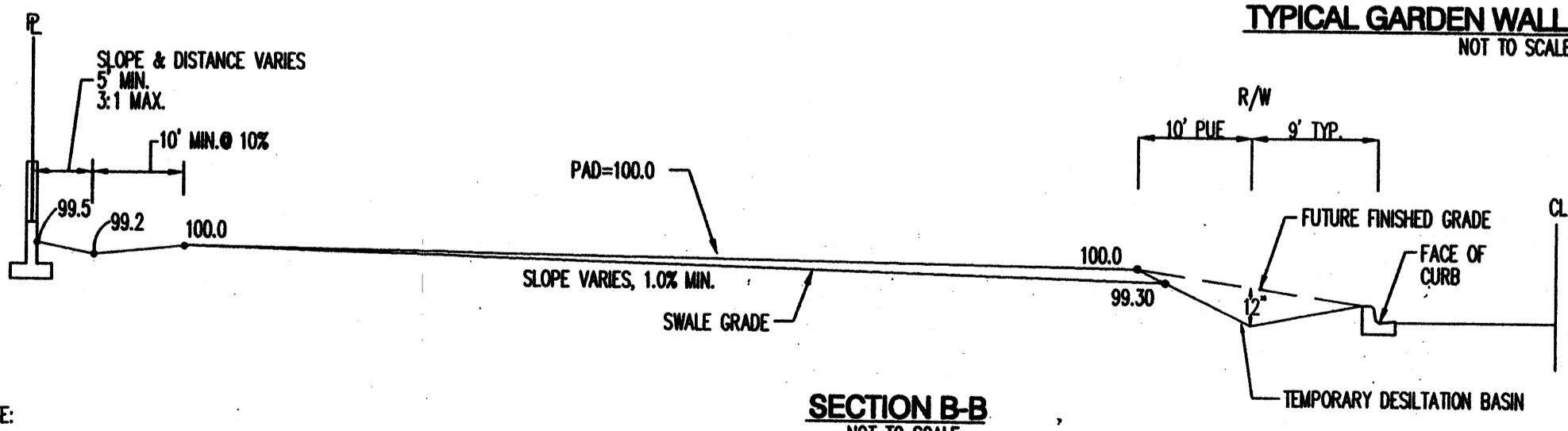
BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.
 SEE GRADING PLANS FOR EXACT ELEVATIONS.
 CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH LOT.



SECTION A-A
TYPICAL SIDE YARD SWALE
 NOT TO SCALE

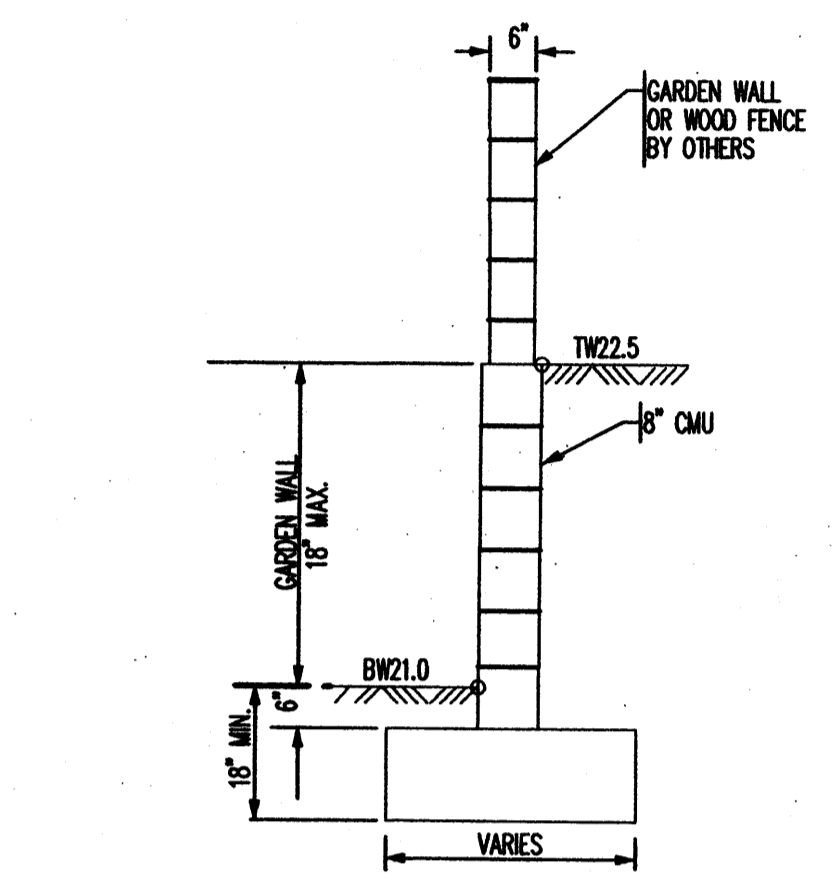


SECTION C-C
TYPICAL GARDEN WALL NOMENCLATURE
 NOT TO SCALE

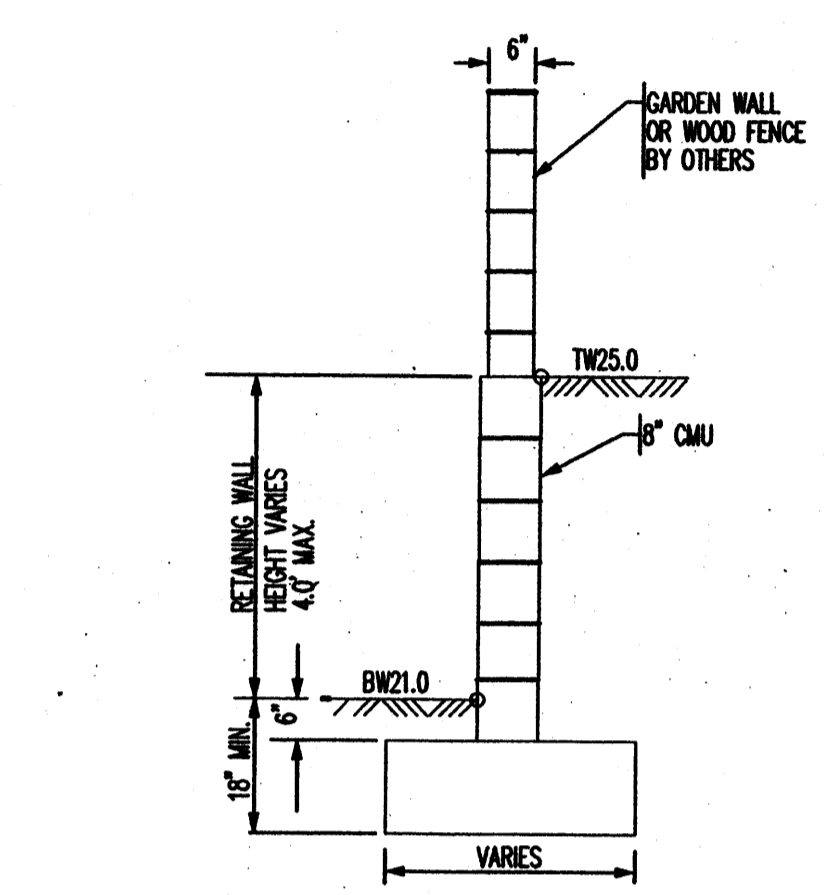


SECTION B-B
TYPICAL GARDEN WALL NOMENCLATURE
 NOT TO SCALE

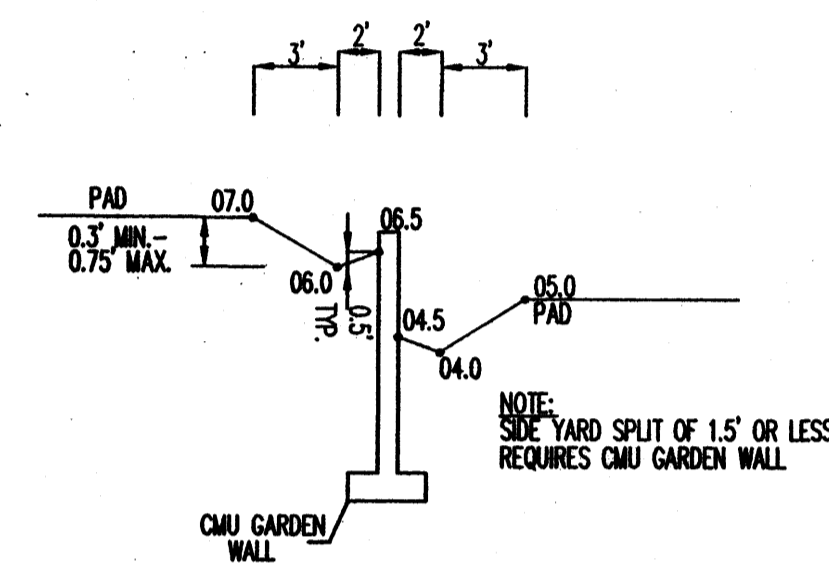
- NOTE:
- CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
 - FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
 - HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.



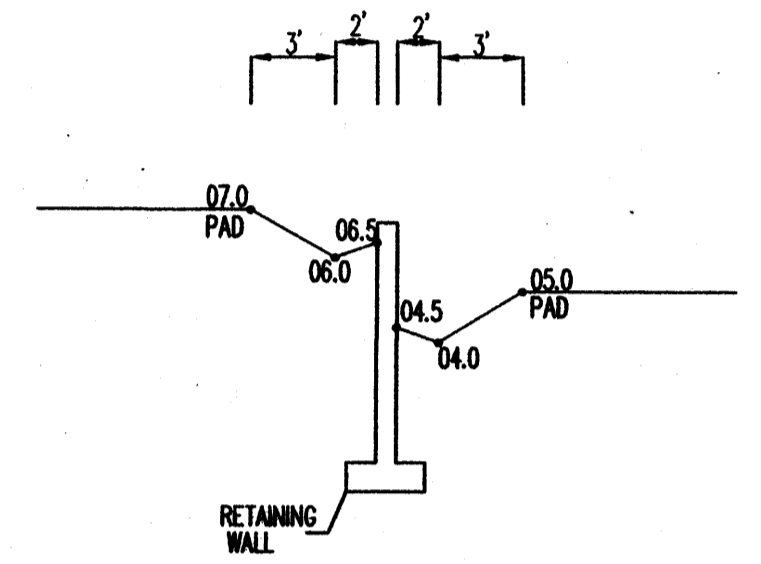
TYPICAL GARDEN WALL NOMENCLATURE
 NOT TO SCALE
 (RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



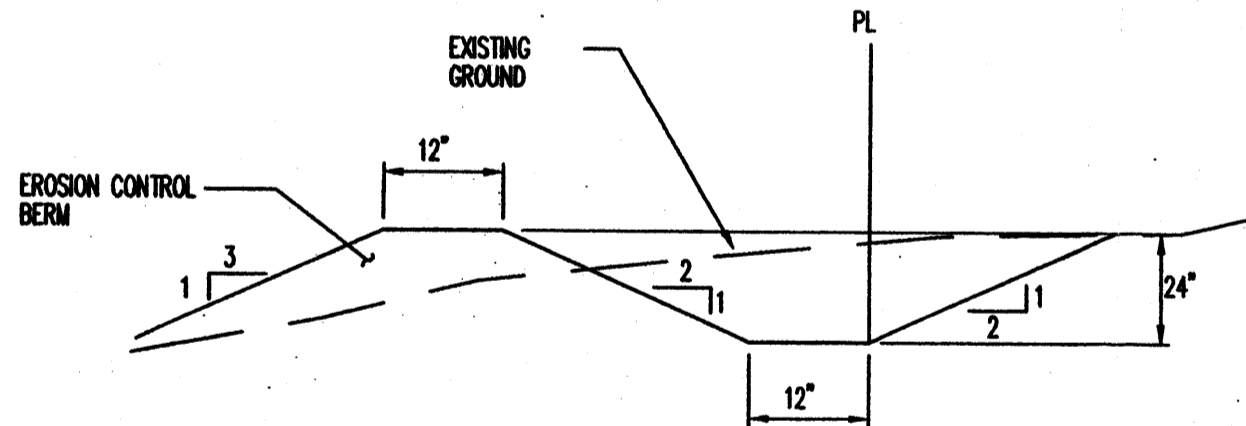
TYPICAL RETAINING WALL NOMENCLATURE
 NOT TO SCALE
 (RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



SIDE YARD GARDEN WALL DETAIL
 NOT TO SCALE



SIDE YARD RETAINING WALL DETAIL
 NOT TO SCALE



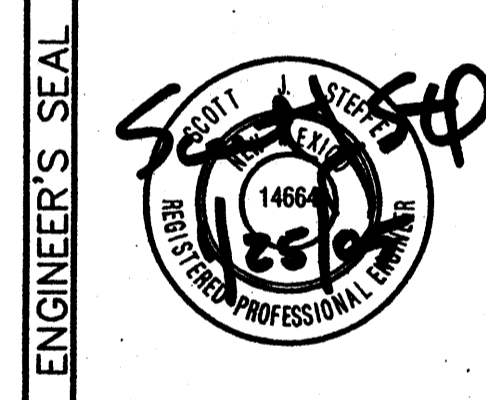
- EROSION CONTROL BERM**
- TO PREVENT EROSION FROM THE SITE, DURING GRADING & CONSTRUCTION OPERATIONS, A BERM OF THE ABOVE DIMENSIONS SHALL BE MAINTAINED ON THE WEST WEST BOUNDARY OF THE SITE.
 - WIND EROSION SHALL BE PREVENTED BY MAINTAINING AN ADEQUATELY MOISTENED SITE.
 - AFTER CONSTRUCTION ALL SURFACES WILL BE PAVED OR LANDSCAPED TO PREVENT EROSION.
 - CONTRACTOR MUST OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

EROSION CONTROL PLAN
 NOT TO SCALE

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
REVISIONS	DATE
NO.	DATE
MICROFILM INFORMATION	
RECORDED BY	DATE
NO.	DATE

BENCH MARKS	
ACS BRASS TABLET STAMPED "TRANS"	
Geographic Position (NAD 1927)	
N.M. State Plane Coordinates (Central Zone)	
X = 354,899.45 Y = 1,471,822.67	
Ground-to-Grid Factor = 0.99967921	
AC = -00'16"42"	
SLD 1929 Elevation = 5118.43	

SURVEY INFORMATION	
FIELD NOTES	
DATE	
BY	
NO.	



REVISIONS	
No.	Date
By	
REVISIONS	
DESIGN	
DATE: 05/03	
DRAWN BY: LSM	
CHECKED BY: SJS	
DATE: 05/03	

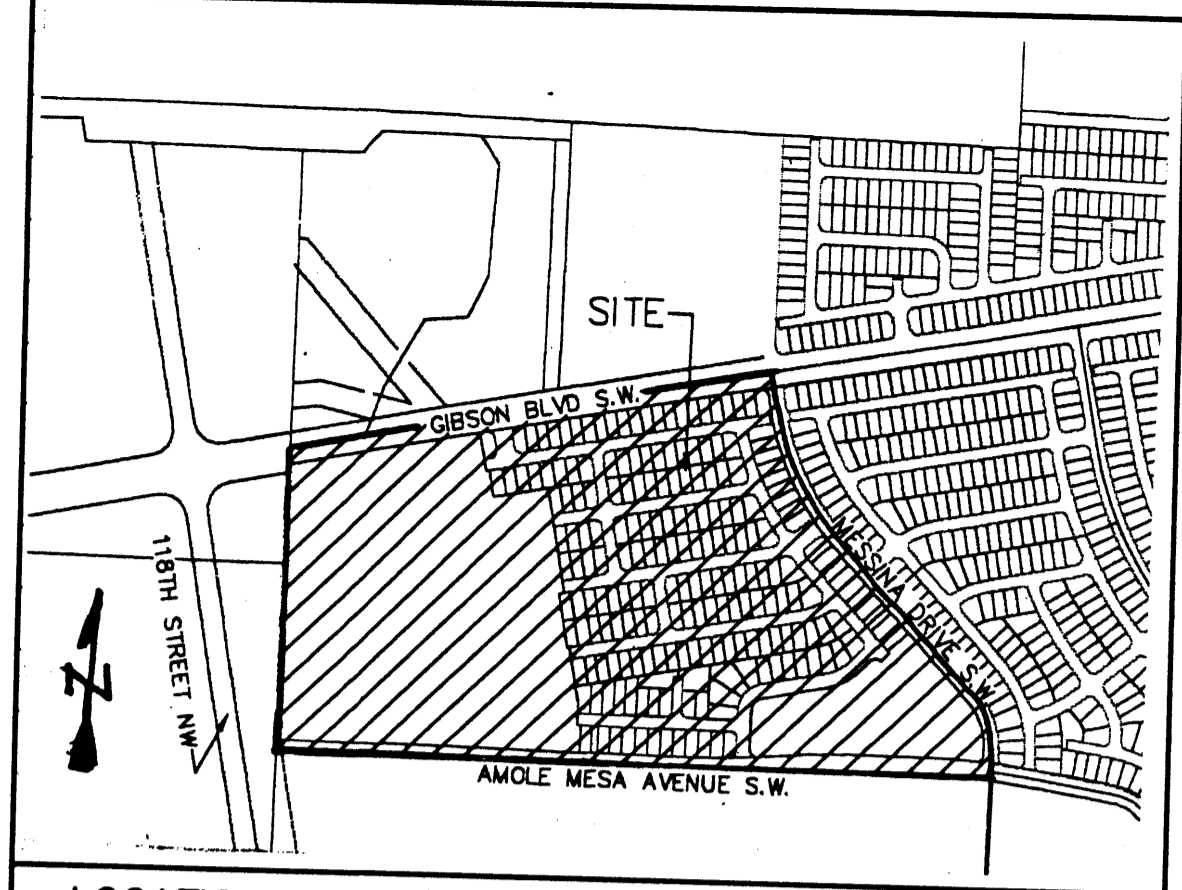
Bohannon & Huston
 Courtyard I 7800 Jefferson BL NE Albuquerque, NM 87109-4395
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

SIERRA RANCH SUBDIVISION
UNITS I & II GRADING AND EROSION CONTROL PLAN
GRADING DETAILS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	N-8-Z	7	7

PLAT FOR
 SIERRA RANCH SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2005



LOCATION MAP 1" = 750' N-8-Z

PURPOSE OF PLAT

- To create 207 lots and 2 tracts as shown hereon.
- To grant easements as shown hereon.
- To dedicate street right-of-way to the City of Albuquerque as shown hereon.

SUBDIVISION DATA

- Project No.:
Application No.:
- Zone Atlas Index No.: N-8-Z
- Total Number of Lots created: 207
- Total Number of existing Tracts: 3
- Total Number of Tracts created: 2
- Miles of Full Width Streets: 1.4476 Mi.
- Gross Subdivision Acreage: 67.5426 Ac.

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary are the following plats of record entitled:
 PLAT FOR "EL RANCHO GRANDE, UNIT 11", (
 PLAT FOR "EL RANCHO GRANDE, UNIT 15", (
 BULK LAND PLAT FOR "TRACTS 16-A THRU 16-F, EL RANCHO GRANDE",
 (01-31-05, 05C-41)
 PLAT FOR "EL RANCHO GRANDE, UNIT 14", (07-02-04, 04C-202)
 PLAT FOR "ROSNER TRACT, TRACT A-1, A-2 AND B-1", (03-27-03, 03C-80)
 PLAT FOR "LANDS OF RIO BRAVO PARTNERS", (04-17-96, 96C-160)
 PLAT FOR "ATRISCO VILLAGE, UNIT J.T.", (11-20-73, D5-200)
 all being records of Bernalillo County, New Mexico.
- Field Survey performed on January, 2005.
- Title Report: None provided.
- UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2005230026
- City Zoning: RLT AND R-D
- Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
- No individual lots shall be allowed direct access to Gibson Boulevard S.W., Messina Drive S.W., & Amole Mesa Avenue S.W.
- All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.

DESCRIPTION

A tract of land situate, within the Town of Atrisco Grant, projected Section 5 Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACTS 16-A, 16-B AND 16-C, EL RANCHO GRANDE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 31, 2005 in Book 2005C, Page 41 and containing 67.5426 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
- PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Telecommunications for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
- Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs of bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 207 lots and 2 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby grant easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) Warrants that (he/she) holds complete and in-defeasible title in fee simple to the land subdivided.

Owner(s):
 CURB INC., CHARLES HAEGELIN, PRESIDENT
 STATE OF NEW MEXICO)
 BERNALILLO COUNTY) SS
 On this 13 day of June, 2005, this instrument was acknowledged to me by CHARLES HAEGELIN, President of Curb, Inc., a New Mexico Corporation.
 Stephanie L. Stratton
 Notary Public My Commission Expires 6-24-07

6/13/05
 OFFICIAL SEAL
 STEPHANIE L. STRATTON
 SUC-STATE OF NEW MEXICO
 My Commission Expires: 6-24-07

PROJECT NUMBER: 1003429
 Application Number: 05-00995

PLAT APPROVAL

Utility Approvals:	Date
PNM Electric Services Division	6-14-05
PNM Gas Services Division	6-14-05
Qwest	6-14-05
Comcast	6-14-05
City Approvals:	
City Surveyor	6-13-05
Real Property Division	6/22/05
Environmental Health Department	6/22/05
Traffic Engineering, Transportation Division	6-22-05
Utilities Development	6-22-05
Parks and Recreation Department	6/22/05
AMA/CA	6-22-05
City Engineer	6/22/05
DRB Chairperson, Planning Department	6/24/05

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Timothy Aldrich, P.S. No. 7719
 Date: 05-31-05

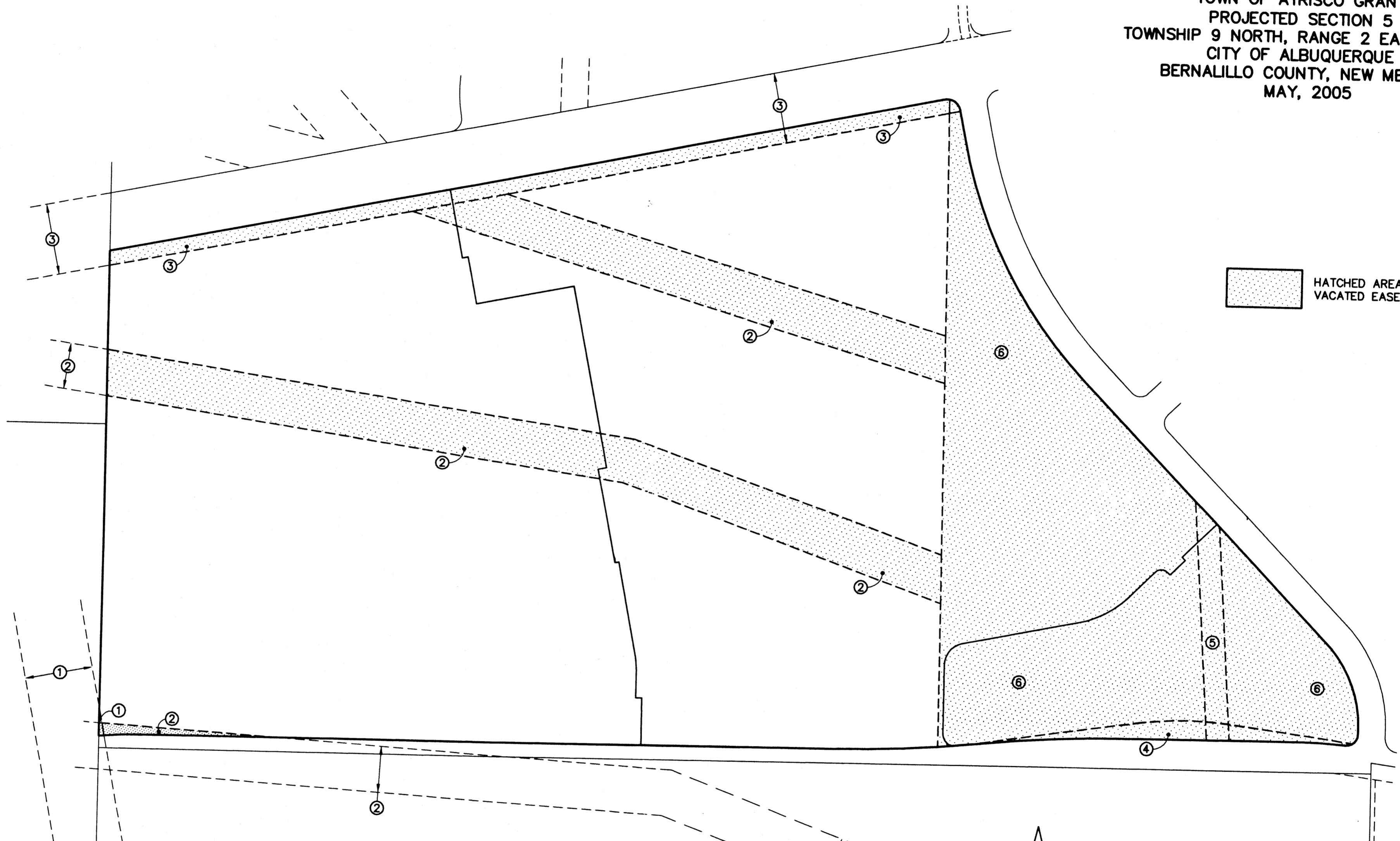
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Checked By: TA	Drawing Name: 05005PL1.DWG
Job No.: 05-005	Sheet: 1 of 6

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

2005098226
 628827
 Page: 2 of 6
 06/24/2005 10:48A
 Bk-2885C Pg-216
 Mary Herrera Bern. Co. PLAT R 32.00

VACATED EASEMENTS

PLAT FOR
 SIERRA RANCH SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005



HATCHED AREA
 VACATED EASEMENTS.

- EASEMENTS**
- ① EXISTING 150' AMAFCA DRAINAGE EASEMENT
 (04-17-96, 96C-160)
 PORTION VACATED BY (1003429-04DRB-01952)
 QUITCLAIMED BY AMAFCA
 (06-17-05, BK-A98, PG-6090, DOC No 2005086351)
 - ② EXISTING 100' AMAFCA DRAINAGE EASEMENT
 (07-19-90, 90C-163)
 PORTION VACATED BY (1003429-04DRB-01952)
 QUITCLAIMED BY AMAFCA
 (06-17-05, BK-A98, PG-6090, DOC No 2005086351)
 - ③ EXISTING 156' PUBLIC ROADWAY EASEMENT
 (04-17-96, 96C-160)
 PORTION VACATED BY (1003429-04DRB-01952)
 - ④ EXISTING 68' RESERVATION FOR FUTURE
 R/W EXTENSION (03-27-03, 03C-80)
 PORTION VACATED BY (1003429-04DRB-01951)
 - ⑤ EXISTING 60' RESERVATION FOR FUTURE R/W
 EXTENSION (07-19-90, 90C-163)
 PORTION VACATED BY (1003429-04DRB-01951)
 - ⑥ EXISTING C.O.A. BLANKET DRAINAGE EASEMENT
 (04-30-99, 99C-104)
 (03-27-03, 03C-80)
 VACATED BY (1003429-04DRB-01952)

NOT TO SCALE

Drawn By:	RJA	Date:	05-29-05
Checked By:	TA	Drawing Name:	05005PL1.DWG
Job No.:	05-005	Sheet:	2 of 6

[Handwritten Signature]
 06-21-05

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

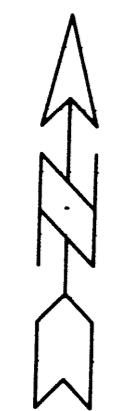
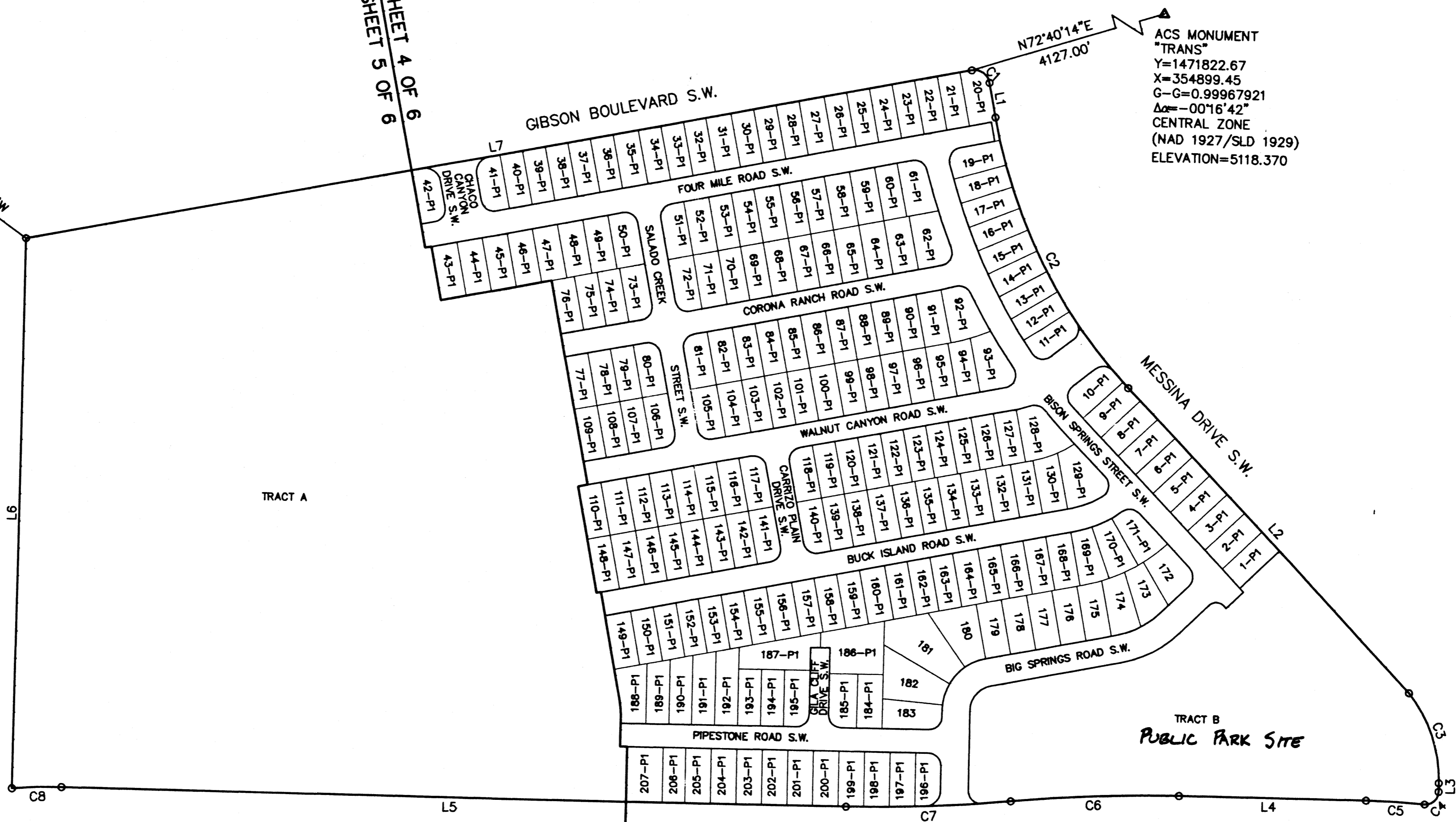
PLAT FOR
 SIERRA RANCH SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2005

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 Page: 3 of 6
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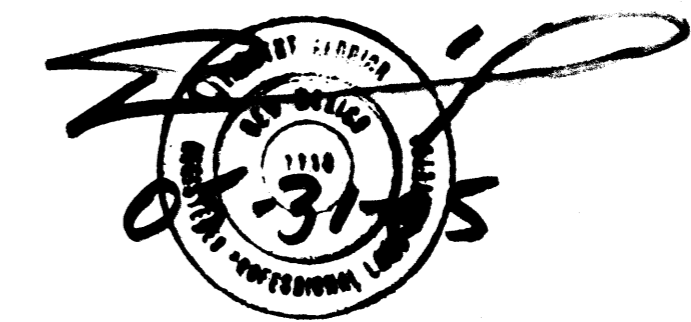
ACS MONUMENT
 "1-N8"
 Y=1470679.06
 X=348455.82
 G-G=0.99967260
 Δα=-00°17'26"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
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 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5118.370

SHEET 4 OF 6
 SHEET 5 OF 6



NOT TO SCALE



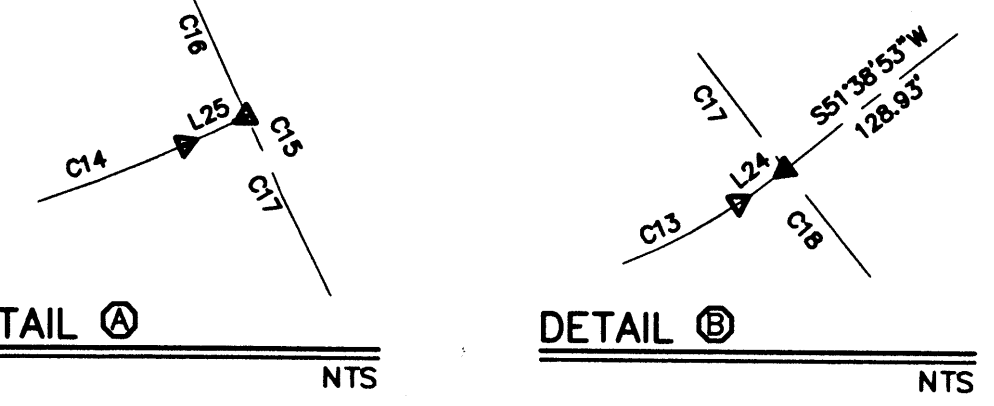
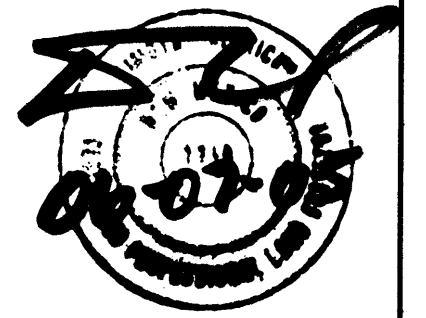
ALDRICH LAND SURVEYING

Drawn By:	RJA	Date:	05-29-05
Checked By:	TA	Drawing Name:	05005PL1.DWG
Job No.:	05-005	Sheet:	3 of 6

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT FOR
 SIERRA RANCH SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2005

SEE SHEET 6 OF 6
 FOR CURVE DATA, LINE
 DATA AND LOT AREA.



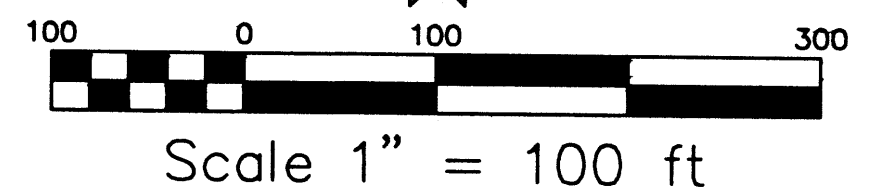
NOTE:
 ALL STREETS ARE DEDICATED
 TO THE CITY OF ALBUQUERQUE
 IN FEE SIMPLE WITH WARRANTY
 COVENANTS. (8.0651 AC.)

- EASEMENTS
- ⑦ EXISTING 40' PUBLIC PEDESTRIAN ACCESS, STORM AND SANITARY SEWER EASEMENT (01-31-05, 05C-41)
 - ⑧ EXISTING PUBLIC DRAINAGE EASEMENT (01-31-05, 05C-41)
 - ⑨ 10' PUE (GRANTED BY THIS PLAT)
 - ⑩ EXISTING PNM EASEMENT ()
 - ⑪ 25' PUBLIC PEDESTRIAN ACCESS EASEMENT (GRANTED BY THIS PLAT)

- PROPERTY CORNERS
- FOUND 5/8" REBAR WITH CAP "LS 7429" (TYP)
 - SET 5/8" REBAR WITH CAP "LS 7719" (TYP)

TRACT A
 28.3760 AC.

TRACT B
 6.3237 AC.
 PUBLIC PARK SITE



SHEET 5 OF 6

Drawn By:	RJA	Date:	05-29-05
Checked By:	TA	Drawing Name:	05005PL1.DWG
Job No.:	05-005	Sheet:	4 of 6

ADRICH LAND SURVEYING
 P.O. BOX 30701, ALBUQU., N.M. 87190
 505-884-1990

PLAT FOR
 SIERRA RANCH SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2005

SEE SHEET 6 OF 6
 FOR CURVE DATA, LINE
 DATA AND LOT AREA.

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH
 CAP "LS 7429" (TYP)
- SET 5/8" REBAR WITH
 CAP "LS 7719" (TYP)

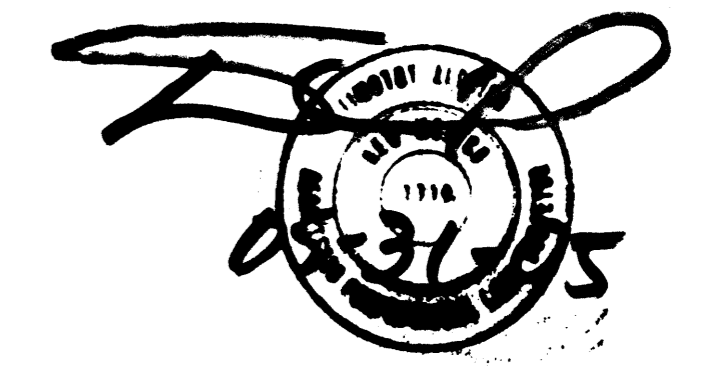
EASEMENTS

- Ⓣ 10' PUE (GRANTED BY THIS PLAT)

268599226
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 6/24/2005 18:49R
 Bk-2685C Pg-216

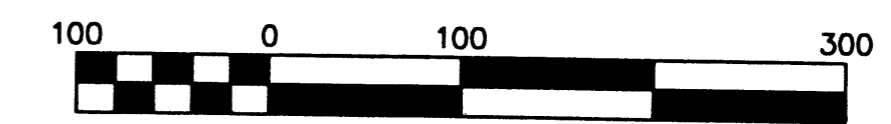


Mary Herrera Bern. Co. PLRT R 32.00



**ALDRICH LAND
 SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



Scale 1" = 100 ft

Drawn By:	RJA	Date:	05-29-05
Checked By:	TA	Drawing Name:	05005PL1.DWG
Job No.:	05-005	Sheet:	5 of 6

SHEET 4 OF 6
 SHEET 5 OF 6

GIBSON BOULEVARD S.W. (124' R/W)
 L7
 766.07'

LANDS OF RIO BRAVO PARTNERS
 (04-17-96, 96C-160)

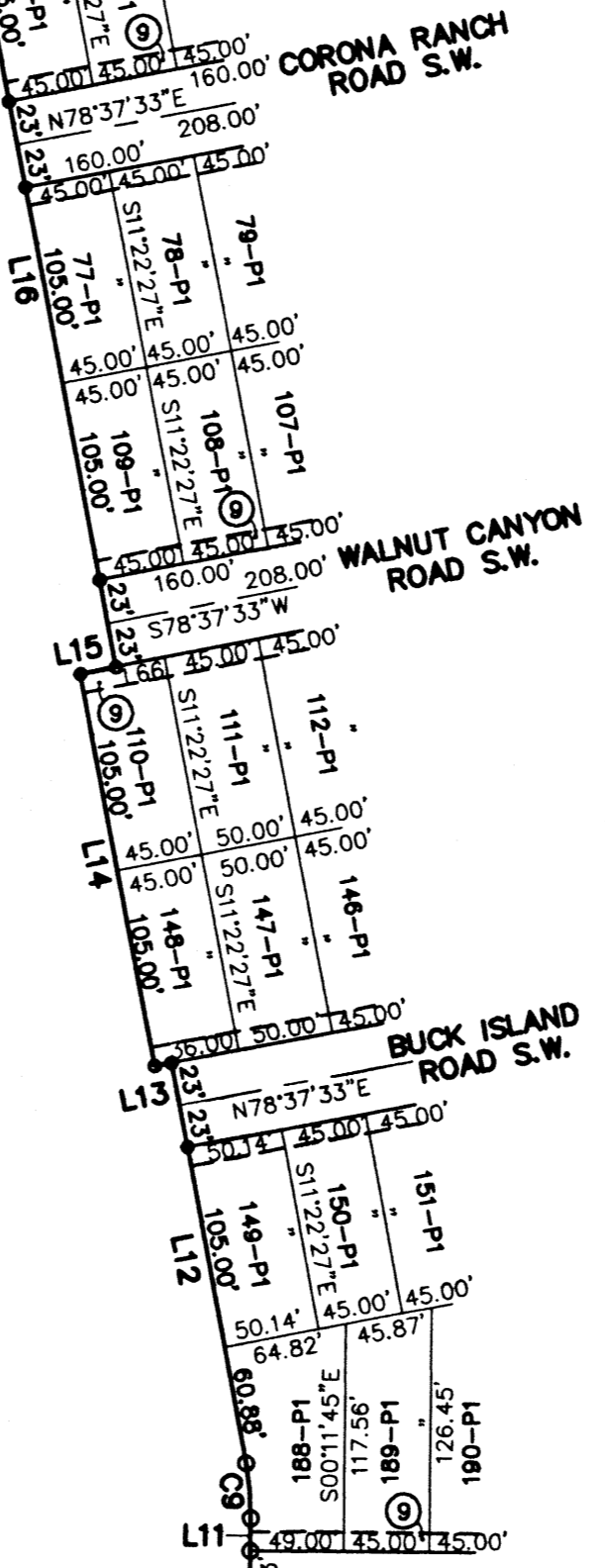
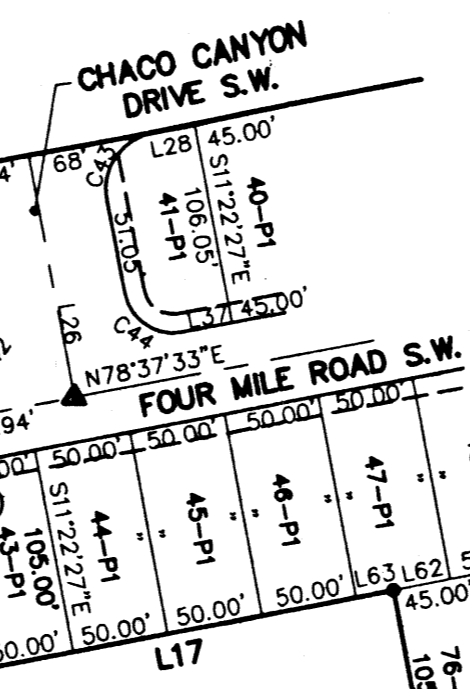
PARCEL 2-A

PARCEL 2-B

L6

TRACT A
 28.3760 AC.

AMOLE MESA AVENUE S.W. (R/W VARIES)
 L5
 1104.59'



SHEET 4 OF 6
 SHEET 5 OF 6

25.45' C8

PLAT FOR SIERRA RANCH SUBDIVISION UNIT 1 WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 5 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JUNE, 2005

Table with columns: LINE, DIRECTION, DISTANCE, CURVE, LENGTH, DELTA, RADIUS, TANGENT, DIRECTION, CHORD. Contains survey data for lines L1 through L75.

Table with columns: CURVE, LENGTH, DELTA, RADIUS, TANGENT, DIRECTION, CHORD. Contains survey data for curves C106 through C131.

Table with columns: LOT, AREA. Lists lot numbers and their corresponding areas, ranging from 1-P1 to 195-P1.

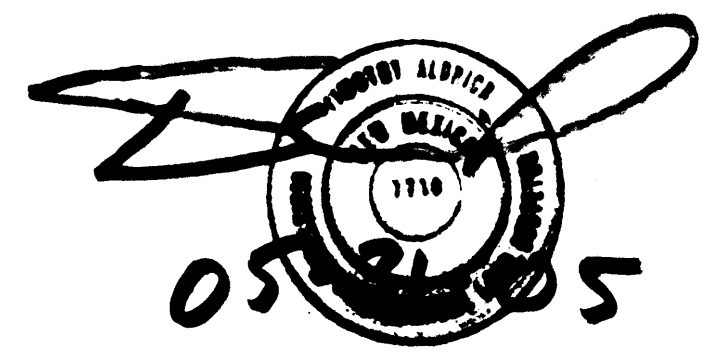
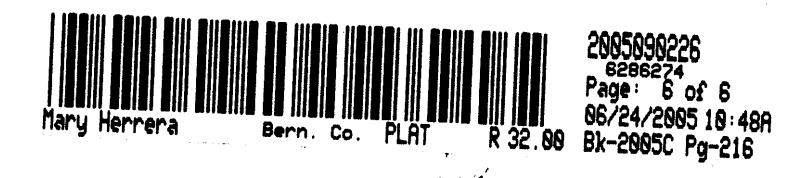
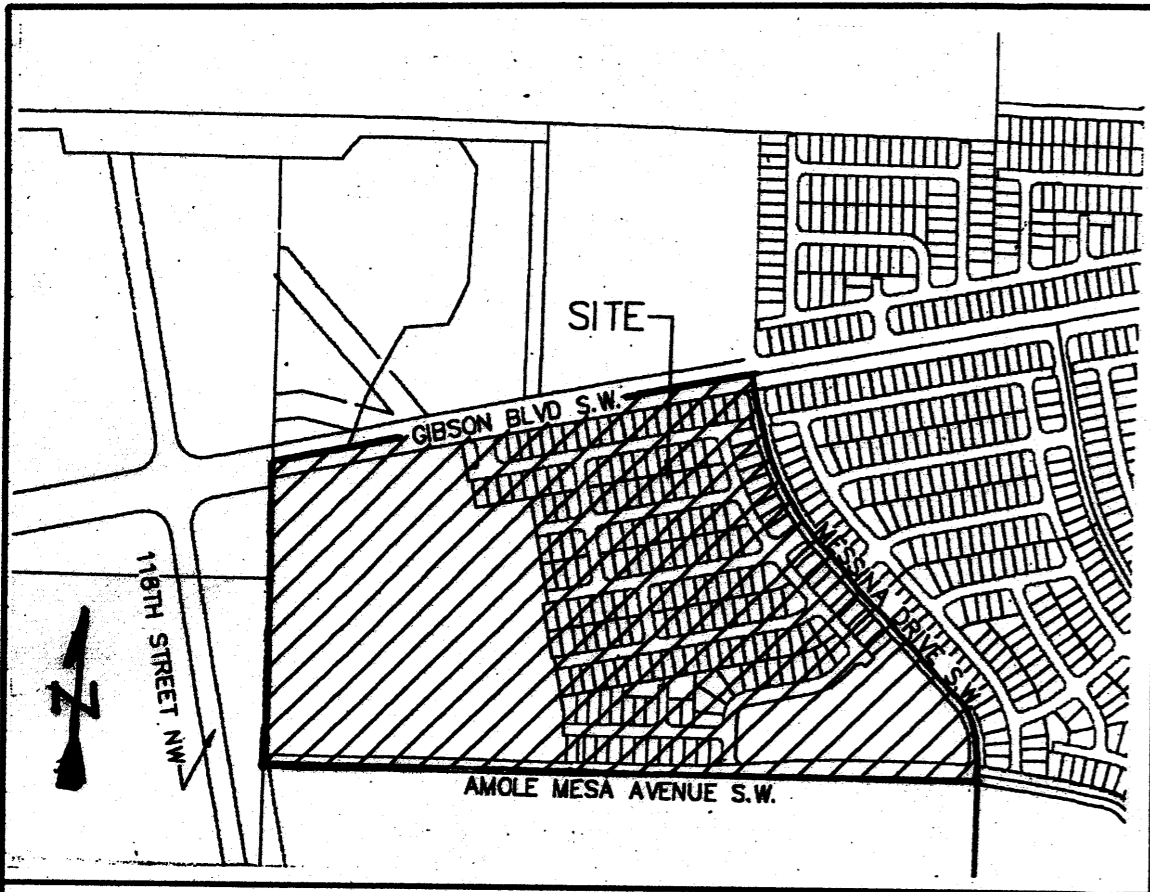


Table with columns: Drawn By, Checked By, Job No., Date, Drawing Name, Sheet. Contains project details: Drawn By: RJA, Checked By: TA, Job No.: 05-005, Date: 05-29-05, Drawing Name: 05005PL1.DWG, Sheet: 6 of 6.

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190 505-884-1990



LOCATION MAP 1" = 750' N-8-Z

PURPOSE OF PLAT

1. To create 207 lots and 2 tracts as shown hereon.
2. To grant easements as shown hereon.
3. To dedicate street right-of-way to the City of Albuquerque as shown hereon.

SUBDIVISION DATA

1. Project No.:
Application No.:
2. Zone Atlas Index No.: N-8-Z
3. Total Number of Lots created: 207
4. Total Number of existing Tracts: 3
5. Total Number of Tracts created: 2
6. Miles of Full Width Streets: 1.4476 Mi.
7. Gross Subdivision Acreage: 67.5426 Ac.

NOTES

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2. Distances are ground distances.
3. Bearings and distances are field and record.
4. Basis of boundary are the following plats of record entitled:
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 - PLAT FOR "EL RANCHO GRANDE, UNIT 15", ()
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 - PLAT FOR "EL RANCHO GRANDE, UNIT 14", (07-02-04, 04C-202)
 - PLAT FOR "ROSNER TRACT, TRACT A-1, A-2 AND B-1", (03-27-03, 03C-80)
 - PLAT FOR "LANDS OF RIO BRAVO PARTNERS", (04-17-96, 96C-160)
 - PLAT FOR "ATRISCO VILLAGE, UNIT J.T.", (11-20-73, D5-200)
 all being records of Bernalillo County, New Mexico.
5. Field Survey performed on January, 2005.
6. Title Report: None provided.
7. UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2005230026
8. City Zoning: RLT AND R-D
9. Unless otherwise noted all points are set "5/8" rebar with cap "ALS LS 7719".
10. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
11. No individual lots shall be allowed direct access to Gibson Boulevard S.W., Messina Drive S.W., & Amole Mesa Avenue S.W.
12. All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.

DESCRIPTION

A tract of land situate, within the Town of Atrisco Grant, projected Section 5 Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACTS 16-A, 16-B AND 16-C, EL RANCHO GRANDE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 31, 2005 in Book 2005C, Page 41 and containing 67.5426 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Telecommunications for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.

4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs of bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat. In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 207 lots and 2 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby grant easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all street right-of-ways to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) Warrants that (he/she) holds complete and in-defeasible title in fee simple to the land subdivided.

Owner(s):

Charles Haegelin
 CURB INC., CHARLES HAEGELIN, PRESIDENT
 STATE OF NEW MEXICO
 BERNALILLO COUNTY) SS

On this 13 day of June, 2005, this instrument was acknowledged before me by CHARLES HAEGELIN, President of Curb, Inc., a New Mexico Corporation.

Stephanie L. Stratton
 Notary Public My Commission Expires 6-24-07

6/13/05
 OFFICIAL SEAL
 STEPHANIE L. STRATTON
 PUBLIC STATE OF NEW MEXICO
 My commission expires 6-24-07

PLAT FOR
 SIERRA RANCH SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2005

Final
 PLAT
 APPROVED BY DRB
 ON 6/22/05

PROJECT NUMBER:
 Application Number:
 PLAT APPROVAL
 Utility Approvals:

PNM Electric Services Division	Date
PNM Gas Services Division	Date
Qwest	Date
Comcast	Date
City Approvals: <i>[Signature]</i>	6-13-05
City Surveyor	Date
Real Property Division	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
AMAFA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Timothy Aldrich
 Timothy Aldrich, P.S. No. 7719
 Date 05-31-05

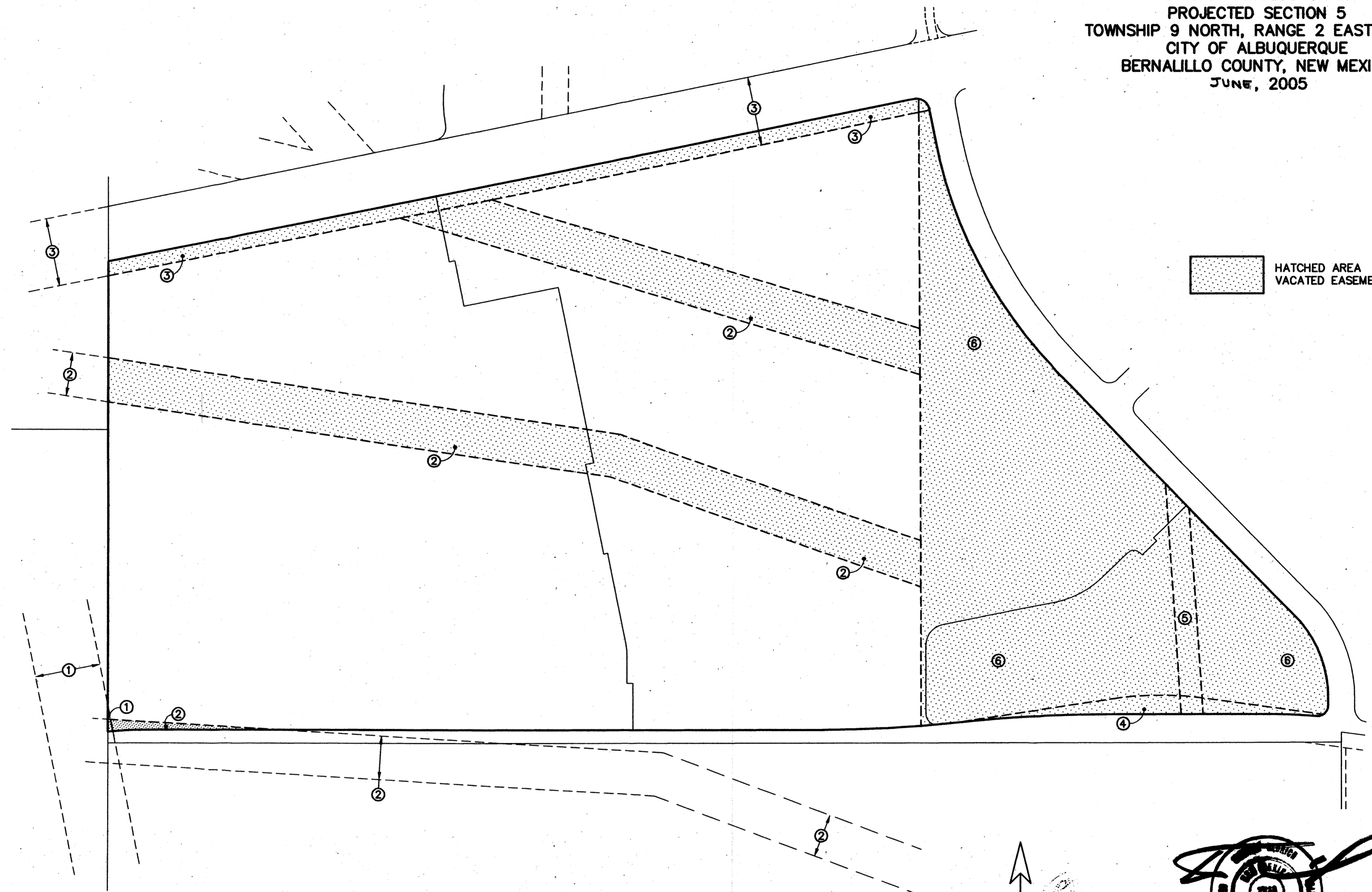


Drawn By: RJA	Date: 05-29-05
Checked By: TA	Drawing Name: 05005PL1.DWG
Job No.: 05-005	Sheet: 1 of 6

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT FOR
SIERRA RANCH SUBDIVISION
UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2005

VACATED EASEMENTS



 HATCHED AREA
 VACATED EASEMENTS.

- EASEMENTS**
- ① EXISTING 150' AMAFCA DRAINAGE EASEMENT
 (04-17-96, 96C-160)
 PORTION VACATED BY (1003429-04DRB-01952)
 - ② EXISTING 100' AMAFCA DRAINAGE EASEMENT
 (07-19-90, 90C-163)
 PORTION VACATED BY (1003429-04DRB-01952)
 - ③ EXISTING 156' PUBLIC ROADWAY EASEMENT
 (04-17-96, 96C-160)
 PORTION VACATED BY (1003429-04DRB-01952)

- ④ EXISTING 68' RESERVATION FOR FUTURE
 R/W EXTENSION (03-27-03, 03C-80)
 PORTION VACATED BY (1003429-04DRB-01951)
- ⑤ EXISTING 60' RESERVATION FOR FUTURE R/W
 EXTENSION (07-19-90, 90C-163)
 PORTION VACATED BY (1003429-04DRB-01951)
- ⑥ EXISTING C.O.A. BLANKET DRAINAGE EASEMENT
 (04-30-99, 99C-104)
 (03-27-03, 03C-80)
 VACATED BY (1003429-04DRB-01952)

↑
 NOT TO SCALE

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Checked By:	TA	Drawing Name:	05005PL1.DWG
Job No.:	05-005	Sheet:	2 of 6



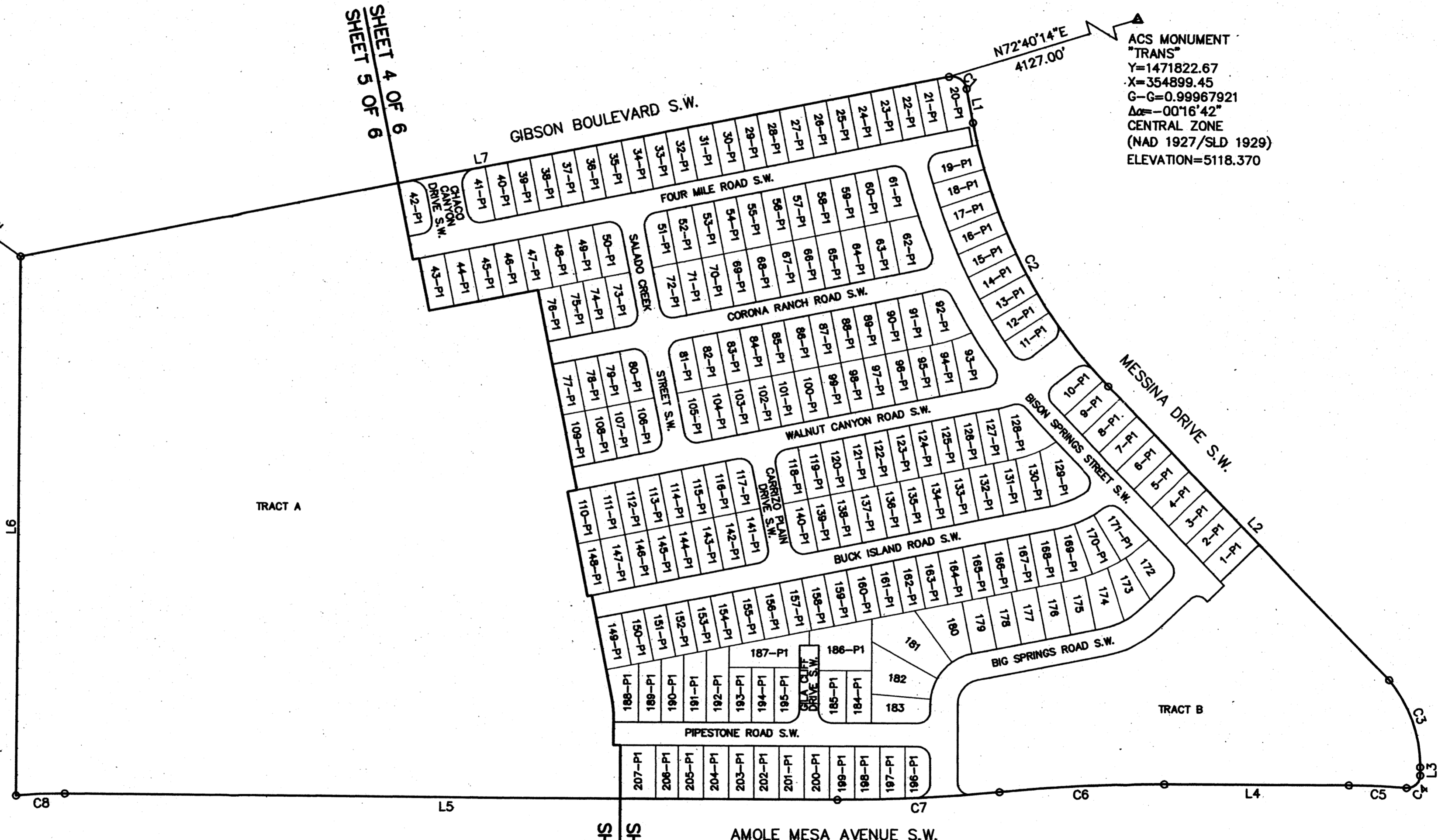
ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT FOR
 SIERRA RANCH SUBDIVISION
 UNIT 1
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 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2005

ACS MONUMENT
 "1-N8"
 Y=1470679.06
 X=348455.82
 G-C=0.99967260
 $\Delta\alpha=-00^{\circ}17'26"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-C=0.99967921
 $\Delta\alpha=-00^{\circ}16'42"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5118.370



SHEET 4 OF 6
 SHEET 5 OF 6

SHEET 4 OF 6
 SHEET 5 OF 6

NOT TO SCALE

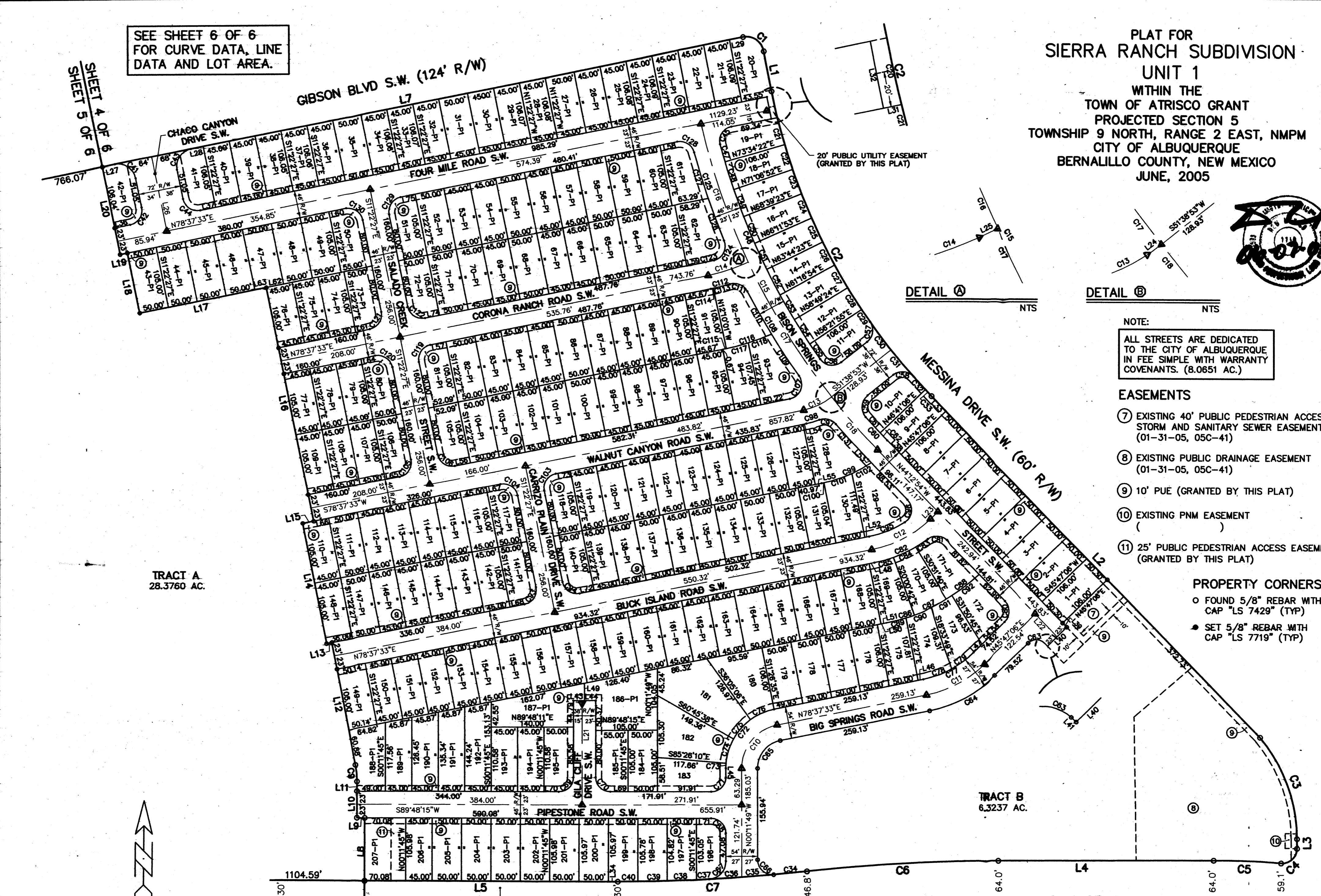


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Checked By:	TA	Drawing Name:	05005PL1.DWG
Job No.:	05-005	Sheet:	3 of 6

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBUQU., N.M. 87190
 505-884-1990

SEE SHEET 6 OF 6
FOR CURVE DATA, LINE
DATA AND LOT AREA.

PLAT FOR
SIERRA RANCH SUBDIVISION
UNIT 1
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 5
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2005



TRACT A
28.3760 AC.

TRACT B
6.3237 AC.

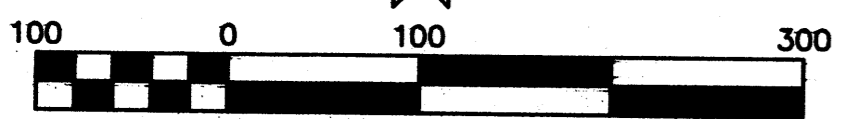
DETAIL A
NTS

DETAIL B
NTS

NOTE:
ALL STREETS ARE DEDICATED
TO THE CITY OF ALBUQUERQUE
IN FEE SIMPLE WITH WARRANTY
COVENANTS. (8.0651 AC.)

- EASEMENTS**
- ⑦ EXISTING 40' PUBLIC PEDESTRIAN ACCESS, STORM AND SANITARY SEWER EASEMENT (01-31-05, 05C-41)
 - ⑧ EXISTING PUBLIC DRAINAGE EASEMENT (01-31-05, 05C-41)
 - ⑨ 10' PUE (GRANTED BY THIS PLAT)
 - ⑩ EXISTING PNM EASEMENT ()
 - ⑪ 25' PUBLIC PEDESTRIAN ACCESS EASEMENT (GRANTED BY THIS PLAT)

- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH CAP "LS 7429" (TYP)
 - SET 5/8" REBAR WITH CAP "LS 7719" (TYP)



Scale 1" = 100 ft

Drawn By:	RJA	Date:	05-29-05
Checked By:	TA	Drawing Name:	05005PL1.DWG
Job No.:	05-005	Sheet:	4 of 6

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

PLAT FOR
SIERRA RANCH SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 5
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2005

SEE SHEET 6 OF 6
 FOR CURVE DATA, LINE
 DATA AND LOT AREA.

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "LS 7429" (TYP)
- SET 5/8" REBAR WITH CAP "LS 7719" (TYP)

EASEMENTS

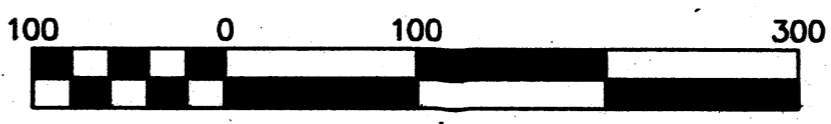
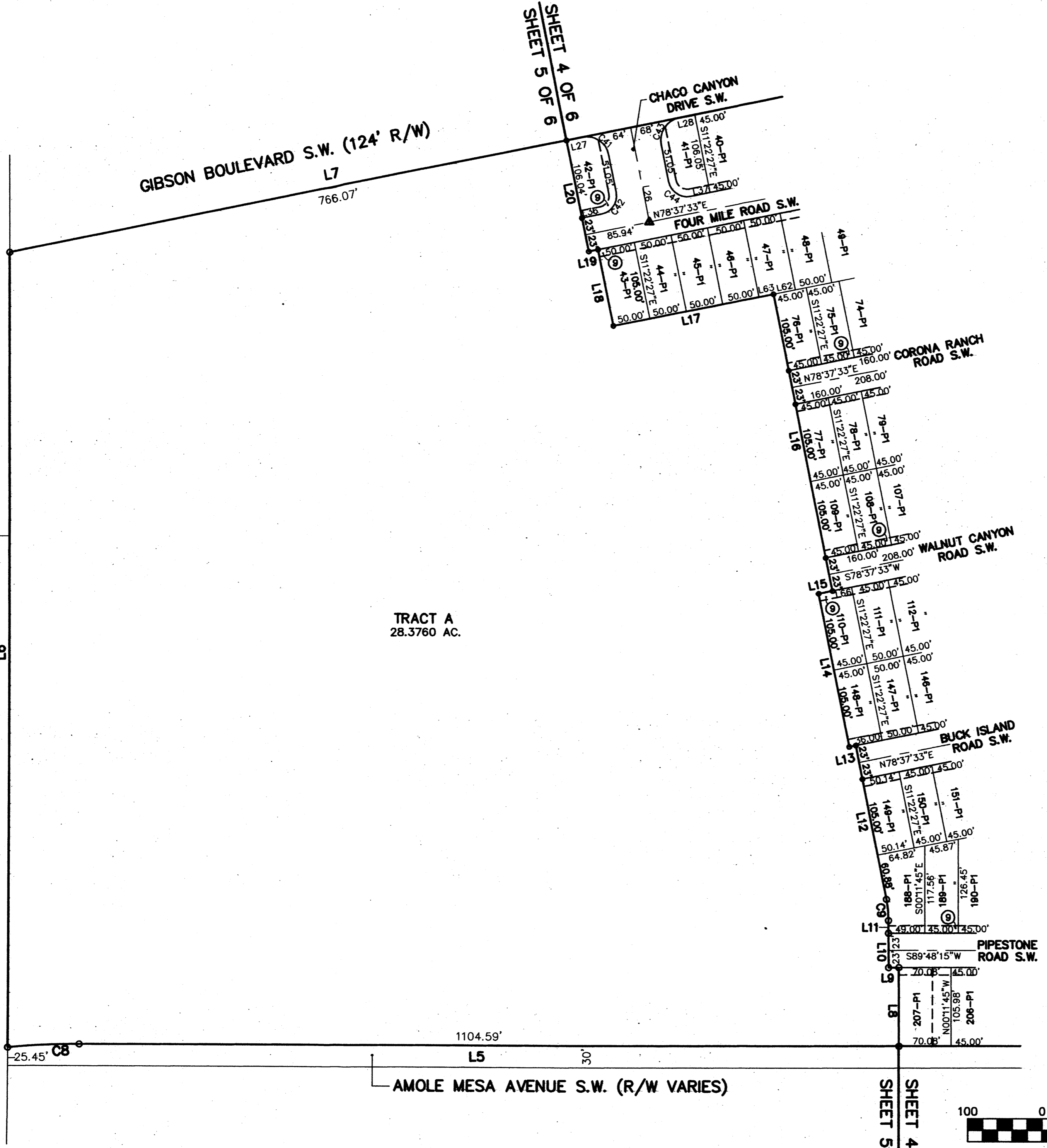
- ⑨ 10' PUE (GRANTED BY THIS PLAT)

TRACT A
 28.3760 AC.

LANDS OF RIO BRAVO PARTNERS
 (04-17-96, 96C-160)

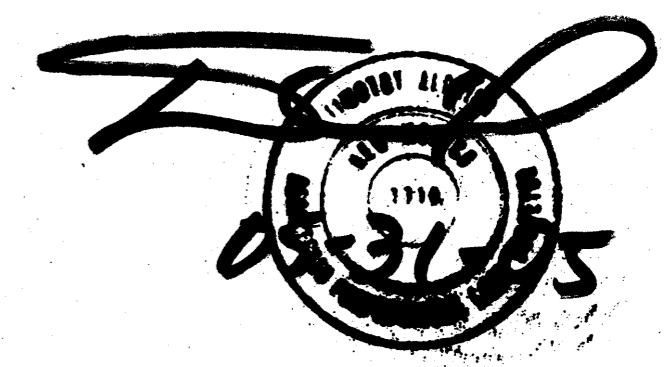
PARCEL 2-A

PARCEL 2-B



Scale 1" = 100 ft

Drawn By:	RJA	Date:	05-29-05
Checked By:	TA	Drawing Name:	05005PL1.DWG
Job No.:	05-005	Sheet:	5 of 6



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

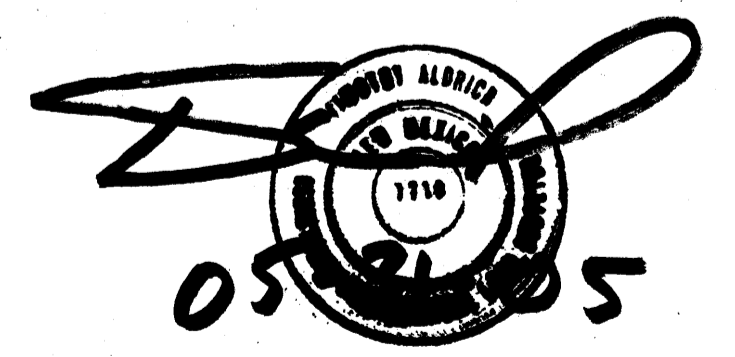
CDN12'27'01"W

Table with columns: LINE, DIRECTION, DISTANCE, CURVE, LENGTH, DELTA, RADIUS, TANGENT, DIRECTION, CHORD. Contains survey data for lines L1 through L75.

Table with columns: CURVE, LENGTH, DELTA, RADIUS, TANGENT, DIRECTION, CHORD. Contains survey data for curves C106 through C131.

Table with columns: LOT, AREA. Lists lot numbers and their corresponding areas, ranging from 1-P1 to 195-P1.

PLAT FOR SIERRA RANCH SUBDIVISION UNIT 1 WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 5 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JUNE, 2005



ALDRICH LAND SURVEYING

Table with columns: Drawn By, Checked By, Job No., Date, Drawing Name, Sheet. Contains administrative information for the drawing.

P.O. BOX 30701, ALBQ., N.M. 87190 505-884-1990