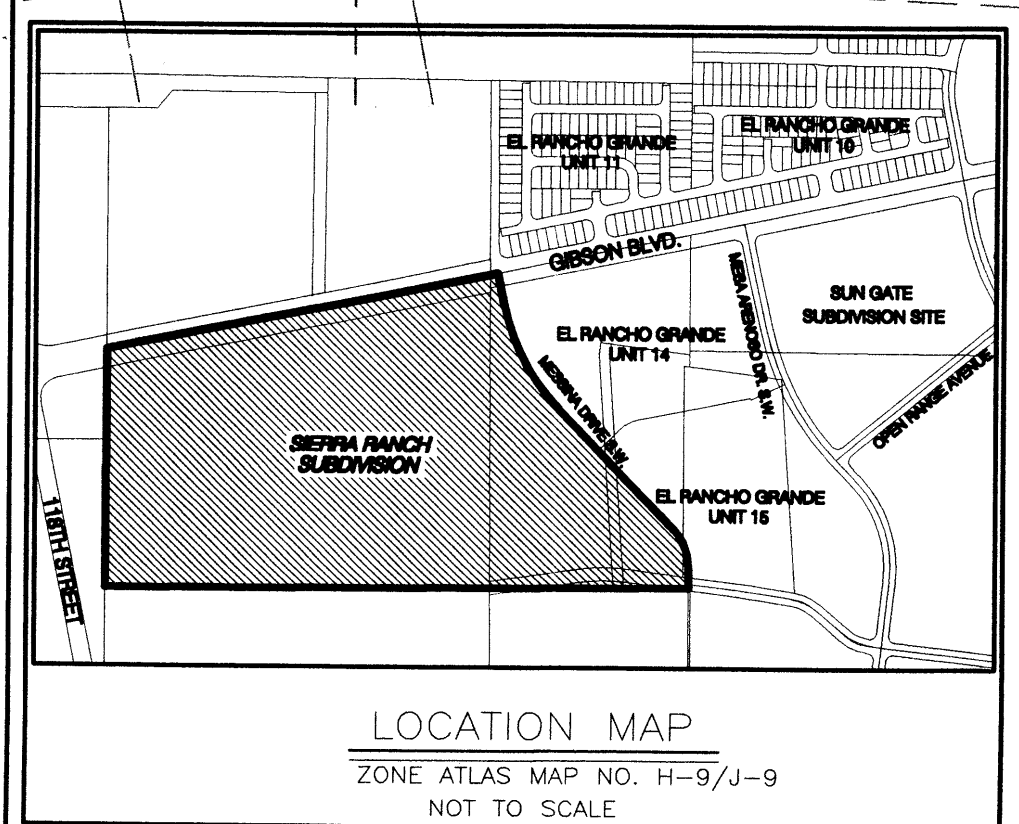


- GENERAL NOTES:
- EXISTING ZONING OF TRACT 16-B: R-D & R-LT
TRACT 16-C: R-D
 - PROPOSED USE OF DEVELOPMENT: SINGLE FAMILY, DETACHED RESIDENTIAL
 - PRODUCT TYPE A = 45' X 105' MIN. LOT SIZE.
PRODUCT TYPE B = 50' X 105' MIN. LOT SIZE.
 - NUMBER OF LOTS = 383
 - BUILDING SETBACKS: 15' FRONT YARD TO BUILDING
20' FRONT YARD TO GARAGE
5' SIDE YARD
15' BACK YARD
 - PADS DEPICTED ON EACH LOT REPRESENT THE LARGEST UNIT PROPOSED FOR CONSTRUCTION, ACTUAL PAD/FOOTPRINT SIZE MAY VARY.
 - PRIVACY WALLS WILL BE CONSTRUCTED ALONG REAR AND SIDE PROPERTY LINES CONSISTING OF CMU BLOCK (6' HIGH MAXIMUM).
 - SIDEWALKS TO BE CONSTRUCTED BY HOME BUILDER. A SIDEWALK VARIANCE WILL BE REQUESTED AS A PART OF THE PLANNING ACTION.
 - TRASH CONTAINER STORAGE SPACE WILL BE PROVIDED IN GARAGE OR ACCESS WILL BE PROVIDED TO SIDEYARD FOR REAR/SIDE YARD STORAGE LOCATION.
 - THE FOLLOWING LOTS ARE ZONED R-LT, ALL REMAINING LOTS ARE ZONED R-D.
1-20, 93, 126-133, 164-179

- KEYED NOTES:
- (A) 10' PUBLIC UTILITY EASEMENT
 - (B) 30' PUBLIC SANITARY SEWER AND STORM DRAIN EASEMENT
 - (C) 25' PUBLIC PEDESTRIAN ACCESS EASEMENT
 - (D) EXISTING 100' DRAINAGE DRAINAGE (07-19-90, 90C-163)
 - (E) EXISTING 60' R/W - FUTURE EXTENSION OF DELGADO DRIVE
 - (F) EXISTING 150' DRAINAGE EASEMENT (04-17-96, 96C-160)
 - (G) PUBLIC DRAINAGE EASEMENT
 - (H) EXISTING 68' R/W - RESERVED FOR FUTURE R/W EXTENSION (03-27-03, 03C-80)
 - (J) 40' PUBLIC PEDESTRIAN ACCESS, STORM, AND SANITARY SEWER EASEMENT.



SITE DEVELOPMENT PLAN FOR SUBDIVISION SIERRA RANCH SUBDIVISION (A REPLAT OF TRACTS 16B & 16C EL RANCHO GRANDE)

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	1-26-05
TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	1-26-05
UTILITIES DEVELOPMENT	DATE
<i>[Signature]</i>	1/26/05
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	1/26/05
CITY ENGINEER	DATE
N/A	
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
<i>[Signature]</i>	1-26-05
SOILS MANAGEMENT	DATE
<i>[Signature]</i>	1/26/05
DRB CHAIRMAN, PLANNING DEPARTMENT	DATE

DRB PROJECT #1003429
CASE TRACKING NUMBERS
(PP) 04DRB-01950
(VRW) 04DRB-01951
(VPE) 04DRB-01952
(SW) 04DRB-01953
(TDS) 04DRB-01954
(SPS)

PROJECT NUMBER: 1003429
APPLICATION NUMBER: 05DRB-00090

Is an Infrastructure List Required? (Yes () No (X))
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

Bohannon & Huston

Court yard | 7800 Jefferson St. NE Albuquerque, NM 87106-4395
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PROJECT 1003429

The following are design requirements for homes built in the Sierra Ranch Subdivision ("Sierra Ranch Guidelines"). Builder will construct all homes within the Sierra Ranch Subdivision in compliance with these guidelines.

A. Architectural Styles

All homes must be Modern Southwest, Pueblo, or Colonial. Below are described characteristics of the different styles. While the characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains characteristics of one of the styles listed below and addresses the Guidelines.

1. Modern Southwest Style – Southwest architecture incorporates the traditional style of structures built in the southwest. Exteriors are composed of stucco walls, stucco columns or exposed wood posts and beams, with pitched roofs. Roofing materials can consist of metal panels, concrete tile or a minimum of a 20-year composite shingles.
2. Pueblo Style – Pueblo architecture incorporates the centuries old style of structures built by the Pueblo Indians of New Mexico and the Southwest United States. Exteriors consist of stucco walls, and flat roofs with parapet walls. Rounded edges are used to create a soft appearance from the street. Exposed wood posts and beams or stucco columns are utilized for architectural detail.
3. Modern Colonial Style - Colonial architecture incorporates the style and materials used during the colonial period of the United States. Exteriors consist of brick front elevations and pitched roofs with a minimum 20-year shingles. The side and back elevations can have stucco exteriors that match the brick colors of the front elevation. Columns are constructed of brick, painted concrete, or stucco on the rear or side elevations.

B. Garages

1. Each home must have a garage for not more than three and not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces is provided in accordance with the P-1 parking requirements, City of Albuquerque Zoning Code. Garage doors can be constructed of solid panels or may have a panel with window lites at the top.
2. Garage door colors should match the major color of the home. This will create less emphasis on the garage door as the focal point of the front of the home.

C. Windows

1. All exterior windows and frames must be a white or tan color.

D. Setbacks

1. Front yard setbacks
 - a. No house shall be constructed within fifteen feet (15') of the front property line of a lot.
 - b. The garage shall be constructed to insure that a twenty foot (20') setback exists from the front property line.
2. Side yard setback – no house shall be constructed within five feet (5') from the side property line of a lot.
3. Rear yard setback – no house shall be constructed within fifteen feet (15') from the rear property line of a lot.

E. Minimum and Maximum Square Footage

1. Each home shall have a minimum of 1,000 square feet and a maximum of 3,500 square feet of enclosed heated area exclusive of garages and open porches and patios.

F. Materials and Approved Colors

1. All homes must be finished with stucco or brick. Colors shall be a white, tan or brown color.
2. Stone and/or tile may be used as an accent feature, and must match the range of colors listed in F.1 above.

G. Building Height

1. Houses or improvements on any lot shall not exceed nineteen feet (19') for a single story. The maximum height allowed for a two story is twenty six feet (26'). Height limitation shall be as described in the City of Albuquerque Zoning Code.

H. Landscaping

1. Plans for front yard landscaping must be compatible with the City of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance.
2. Timing of Installation. All front yard landscaping, and all side yard landscaping (if the house is on a corner lot, the side fronting street), must be completed by the builder no later than two months after the completion of construction of the home, but in no event later than the occupancy date of the home.

I. Walls and fences

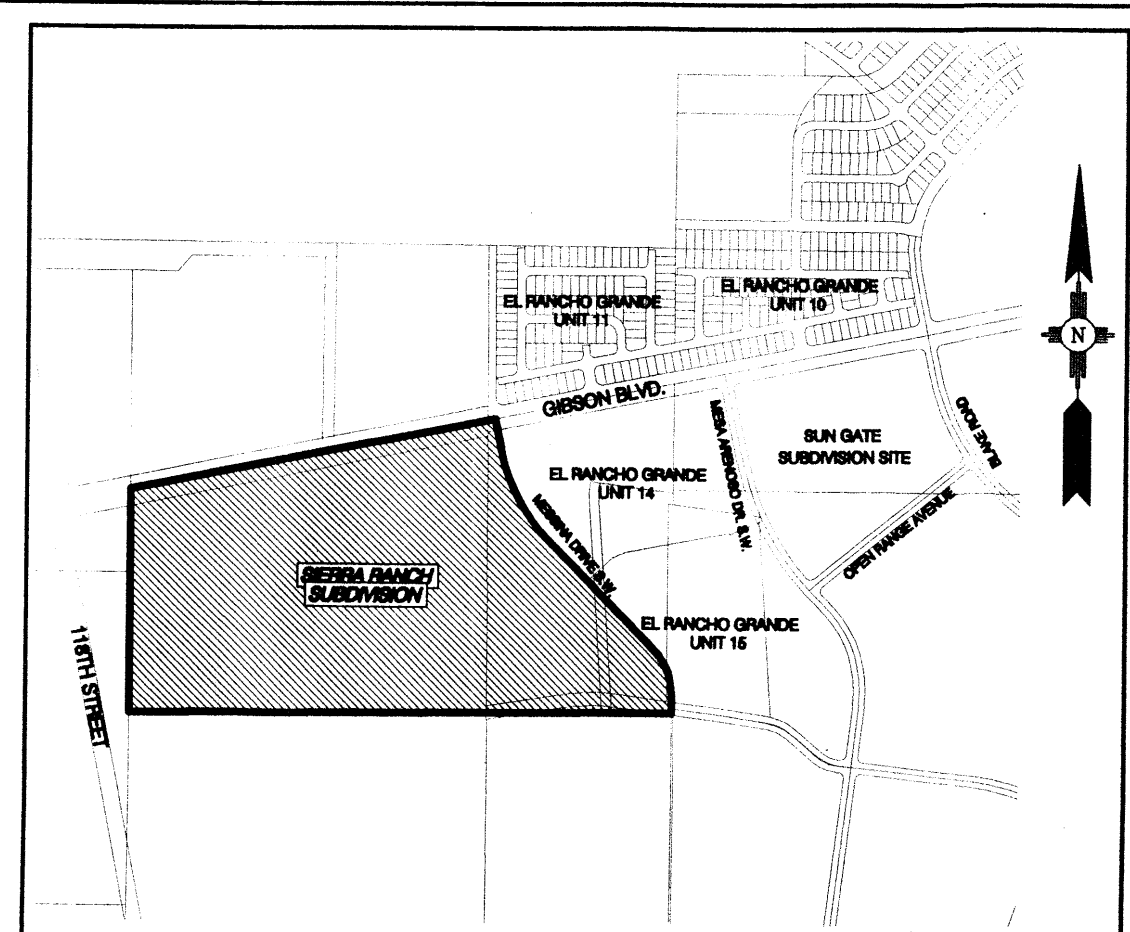
1. All perimeter walls must be constructed of cmu block and built in accordance with the City of Albuquerque Zoning Code requirements. Interior fences in the community shall be constructed of cmu block.
2. All fences and walls shall measure a minimum of seven courses from the top of the footing.

J. Mail Boxes

1. "Cluster-type" mailboxes will be used, subject to the requirements of, and in coordination with, the United States Postal Service.

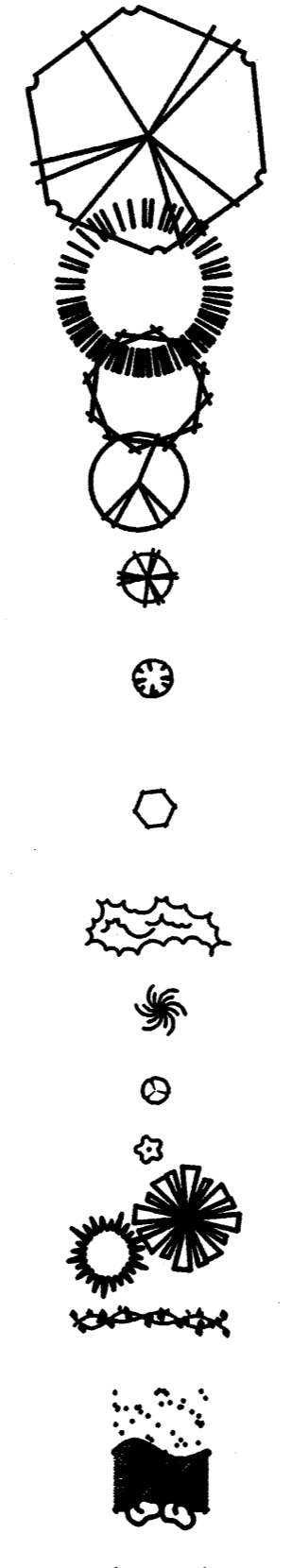
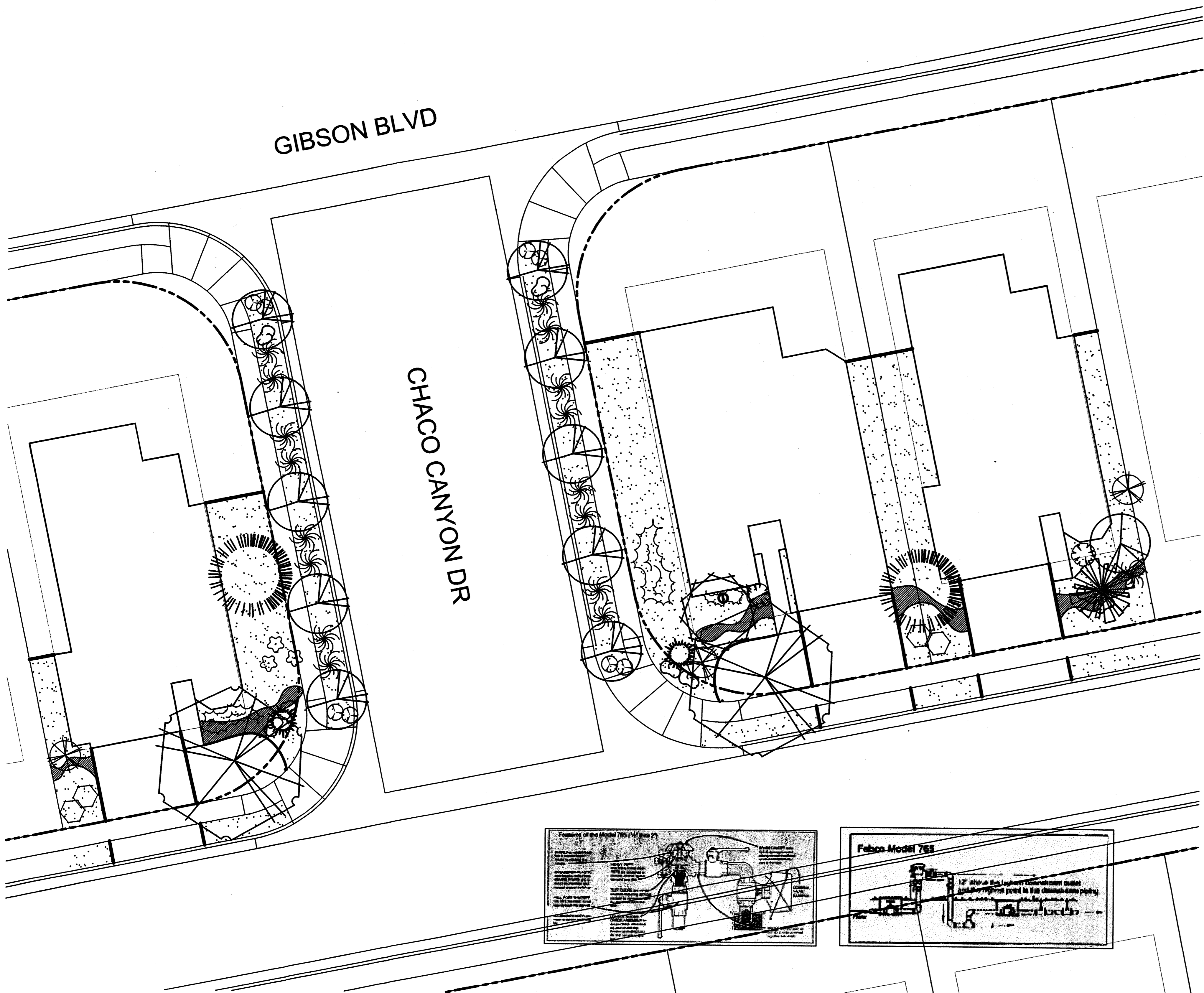
K. Vacant Lots, Construction

1. There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots in the Sierra Ranch Subdivision. During construction, builder will maintain all building debris on the lot and remove debris at reasonable intervals.
2. The owner of a lot within the Sierra Ranch Subdivision shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.



N.T.S. LOCATION MAP ZONE ATLAS N-8-Z

DESIGN REQUIREMENTS SIERRA RANCH SUBDIVISION TRACTS 16B AND 16C, EL RANCHO GRANDE ALBUQUERQUE, NEW MEXICO JANUARY 2005



- TREES**
Honey Locust, Arizona Ash, Raywood Ash, Golden Rain Tree, Chinese Pistache
- EVERGREENS**
Austrian Pine, Afgan Pine
- ORNAMENTALS**
Canada Red Cherry, Desert Willow, Crabapple, Vitex, Redbud
- ORNAMENTALS**
Flowering Pear
- SHRUBS - LARGE 1 Gal.**
Bird of Paradise, Butterfly Bush, Spanish Broom, Photinia
- SHRUBS - MEDIUM 1 Gal.**
Chamisa, Indian Hawthorn, Russian Sage, Apache Plume, Coteoneaster Sage, Rosemary
- SHRUBS - SMALL 1 Gal.**
Lenas Broom, Autumn Sage, Potentilla, Gaura, Crimson Pigmy
- GROUNDCOVERS 1 Gal.**
Cotoncaster, Rosemary
- LARGE GRASSES 1 Gal.**
Regal Mist, Deer Muhly, Maiden, Blue Avena
- SMALL GRASSES 1 Gal.**
Threadgrass, Blue Fescue
- WILDFLOWER 1 Gal.**
- ACCENTS**
Sotol, Palm Yucca, Mugo Pine
- VINES**
Wisteria, Banks Rose, Boston Ivy, Virginia Creeper
- Santa Fe Brown Gravel
Steel Edge
Cobblestone
Boulder
Sod

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

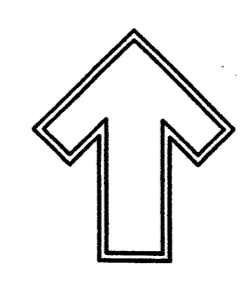
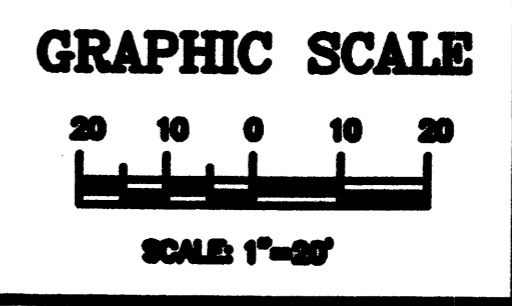
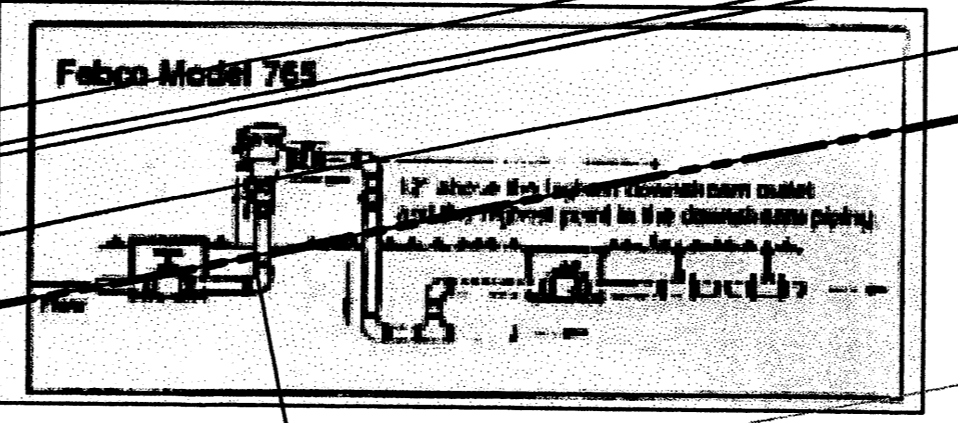
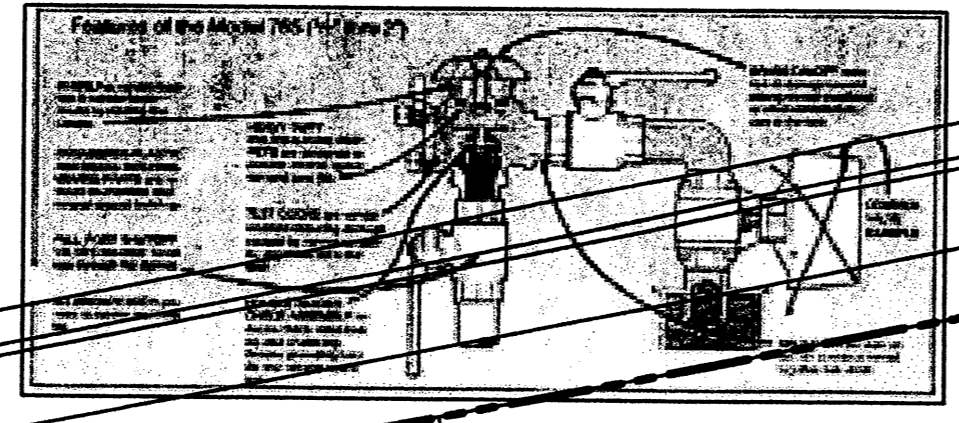
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



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Fax: (505) 889-7737
www.hilltoplandscape.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLOH #0007

EL RANCHO GRANDE
STANDARD ENTRY AND FRONT YARD
LANDSCAPE PLAN

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DRAWN BY CHD
REVISION 1
DATE 1/17/05

SHEET #
L1 OF L1