



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 14, 2015

Project# 1003445

15DRB-70369 MAJOR - 2YR SUBD IMP AGMT EXT (2YR SIA)

CUSTOM GRADING, INC. agent(s) for FOUNTAIN HILLS LLC request(s) the above action(s) for all or a portion of Lot(s) A, B, C, D, E, F, G, H & I, **FOUNTAIN HILLS PLAZA SUBDIVISION** zoned SU-1, located on EAGLE RANCH BETWEEN PASEO DEL NORTE AND PARADISE NW containing approximately 39.9074 acre(s).

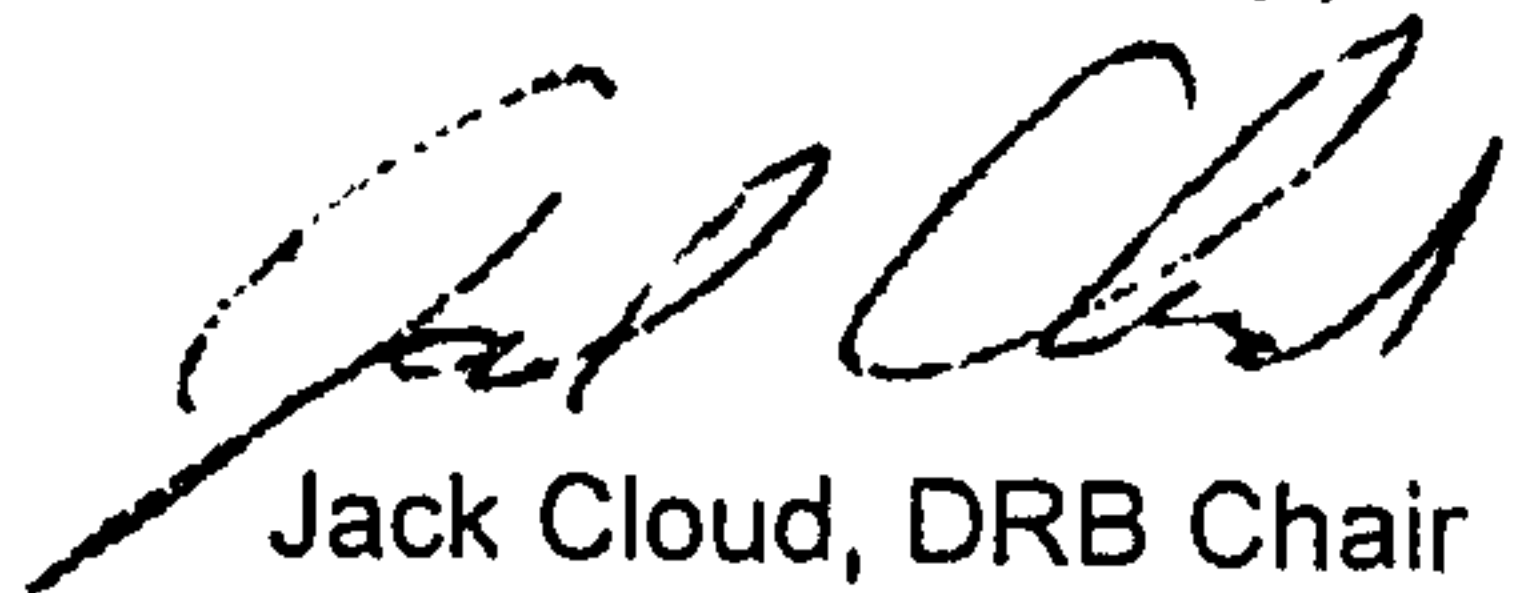
At the October 14, 2015 Development Review Board meeting, the one year extension of the Subdivision Improvement Agreement was approved.

If you wish to appeal this decision, you must do so by October 29, 2015, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, DRB Chair



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 29, 2015

Project# 1003445

15DRB-70235 – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

DEKKER PERICH SABATINI agents for PRESBYTERIAN HEALTHCARE SERVICES request the referenced/ above action for Tract D, **FOUNTAIN HILLS PLAZA** zoned SU-1/ PDA, located on the south side of PARADISE BLVD NW between NUNZIO AVE NW and EAGLE RANCH RD NW containing approximately 5.13 acres. (C-12)

At the July 29, 2015 Development Review Board meeting, with the approved Grading Plan for Site Plan engineer stamp dated 7-17-15 and with the signing of the Infrastructure List, the site development plan for building permit was approved with final sign-off delegated to the City Engineer for the subdivision improvements agreement (SIA) and to Planning for the 15 day appeal period.

If you wish to appeal this decision, you must do so by August 14, 2015, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, DRB Chair

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

PROJECT# 1003445

NAME: FOUNTAIN HILLS PLAZA

AGENT: DEKKER PERICH SABATINI

Your request was approved on 2-29-15 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:

Transportation:

ABCWUA:

City Engineer: 5/A

Parks and Recreation :

Planning:

PLATS:

Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). **RECORDED DATE:**

-Tax printout from the County Assessor.

-County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.



DEVELOPMENT REVIEW BOARD

Agenda

Plaza del Sol Building Basement Hearing Room

July 29, 2015

MEMBERS:


Jack Cloud..... DRB Chair
 Racquel Michel Transportation Development
 Kris Cadena ABCWUA
 Rita HarmonCity Engineer
 Carol Dumont..... Parks & Recreation

Angela Gomez ~ Administrative Assistant

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1003445**
 15DRB-70235 – SITE DEVELOPMENT
 PLAN FOR BUILDING PERMIT
 DEKKER PERICH SABATINI agents for
 PRESBYTERIAN HEALTHCARE SERVICES request the
 referenced/ above action for Tract D, **FOUNTAIN HILLS
 PLAZA** zoned SU-1/ PDA, located on the south side of
 PARADISE BLVD NW between NUNZIO AVE NW and
 EAGLE RANCH RD NW containing approximately 5.13
 acres. (C-12) [Deferred from 7/22/15] **WITH THE SIGNING OF
 THE INFRASTRUCTURE LIST DATED 7/29/15, THE SITE
 DEVELOPMENT PLAN FOR BUILDING PERMIT WAS
 APPROVED WITH FINAL SIGN-OFF DELEGATED TO
 CITY ENGINEER FOR THE RECORDED SUBDIVISION
 IMPROVEMENTS AGREEMENT (SIA) AND TO
 PLANNING FOR 15 DAY APPEAL PERIOD.**

2. **Project# 1010401**
 15DRB-70108 - PRELIMINARY PLAT
 15DRB-70107 - TEMP DEFERRAL/
 SIDEWALK CONSTRUCTION
 15DRB-70105 SIDEWALK WAIVER 
 BOHANNAN HUSTON INC agents for WOODMONT
 PASEO, LLC request the referenced/ above actions for all or
 a portion of Tracts 7 & 8, **THE TRAILS UNIT 3A**, zoned
 VTML/VTRD, located on the south side of WOODMONT
 AVE NW west of RAINBOW BLVD NW containing
 approximately 23.03 acres. (C-9) [deferred from 4/8/15, 5/6/15,
 5/20/15,6/3/15, 6/17/15, 7/8/15] **DEFERRED TO 8/5/15.**



DEVELOPMENT REVIEW BOARD
Action Sheet/ Minutes
Plaza del Sol Building Basement Hearing Room

July 22, 2015

MEMBERS:


- Jack Cloud..... DRB Chair
- Racquel Michel Transportation Development
- Kris Cadena ABCWUA
- Rita HarmonCity Engineer
- Carol Dumont..... Parks & Recreation

Angela Gomez ~ Administrative Assistant

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

- 1. **Project# 1004095**
15DRB-70248 EPC APPROVED SDP
FOR BUILDING PERMIT
TIERRA WEST LLC agents for MICHAEL BUSHELL ET. AL. request the referenced/ above action for Tract D-1, **HUBBELL PLAZA**, zoned C-2, located on the west side of COORS BLVD NW between CENTRAL AVE NW and BLUEWATER RD NW containing approximately 1.4459 acre(s). (K-10) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO WATER AUTHORITY TO ADDRESS COMMENTS AND TO PLANNING.**

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 2. **Project# 1003445**
15DRB-70235 – SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT 
DEKKER PERICH SABATINI agents for PRESBYTERIAN HEALTHCARE SERVICES request the referenced/ above action for Tract D, **FOUNTAIN HILLS PLAZA** zoned SU-1/ PDA, located on the south side of PARADISE BLVD NW between NUNZIO AVE NW and EAGLE RANCH RD NW containing approximately 5.13 acres. (C-12) **DEFERRED TO 7/29/15.**



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 22, 2015

Project# 1003445
15DRB-70235 – SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

DEKKER PERICH SABATINI agents for PRESBYTERIAN HEALTHCARE SERVICES request the referenced/ above action for Tract D, **FOUNTAIN HILLS PLAZA** zoned SU-1/ PDA, located on the south side of PARADISE BLVD NW between NUNZIO AVE NW and EAGLE RANCH RD NW containing approximately 5.13 acres. (C-12)

PUBLIC AGENCY COMMENTS

AMAFCA <i>Lynn Mazur</i> lmazur@amafca.org	
MRCOG <i>Kendra Watkins</i> kwatkins@mrcog-nm.gov <i>Andrew Gingerich</i> AGingerich@mrcog-nm.gov <i>Maida Rubin</i> mrubin@mrcog-nm.gov	
TRANSIT <i>Shabih Rizvi</i> srizvi@cabq.gov	
ZONING ENFORCEMENT <i>Vince Montano</i> VMontano@cabq.gov	
NEIGHBORHOOD COORDINATION <i>Stephani Winklepleck</i> SWinklepleck@cabq.gov	Affected NA/HOA's: Paradise Hills Civic Assoc. (R), Piedras Marcadas NA (R)
APS <i>April Winters</i> winters_a@aps.edu	This will have no adverse impacts to the APS district.
POLICE DEPARTMENT <i>Steve Sink</i> SSink@cabq.gov	This project is in the Northwest Area Command. <ul style="list-style-type: none"> - It appears the proposed parking lot pole lights are positioned to conflict with tree planting locations. Once the trees become mature, they will reduce the available illumination and therefore, reduce natural surveillance. Recommend the trees not be placed in the parking lot islands immediately adjacent to pole lights. - All low-level bush variety landscaping should be kept at a height no

	<p>high than 3' from the ground to promote optimal natural surveillance.</p> <ul style="list-style-type: none"> - Suggest a video surveillance system be incorporated into the plans. Cameras should be positioned to view all vehicle & pedestrian access points, parking lot stalls, walkways, building approaches, common & maintenance areas. Each camera should be monitored and recorded for real-time and historical use.
FIRE DEPARTMENT <i>Antonio Chinchilla</i> achinchilla@cabq.gov	Reviewed with No Comments. Site Plan was reviewed and officially approved.
PNM ELECTRIC <i>Daniel Aragon</i> Daniel.Aragon@pnm.com	
NEW MEXICO GAS COMPANY <i>Robert Gomez</i> Robert.gomez@nmgco.com	
COMCAST <i>Mike Mortus</i> Mike_Mortus@cable.comcast.com	
CENTURYLINK	
ENVIRONMENTAL HEALTH <i>Paul Olson</i> polson@cabq.gov	
M.R.G.C.D <i>Ray Gomez</i> michael@mrgcd.us	No Adverse Comments.
OPEN SPACE DIVISION <i>Kent Reed Swanson</i> kswanson@cabq.gov <i>Sarah Brown</i> sbrowne@cabq.gov	OSD has reviewed and has no comments.
TRANSPORTATION PLANNING (DMD) <i>John MacKenzie</i> jmackenzie@cabq.gov	<p>Per MRCOG's 2040 Long Range Roadway System Map, Paradise Blvd. is identified as a Minor Arterial. DMD is in the process of scoping a design with its consultant to reconstruct the roadway, which will include new improvements along the subject property's frontage. The applicant should Contact DMD, at 768-2680, before initiating plans to design or modify any of the Paradise Blvd. frontage.</p> <p>Per MRCOG's 2040 Long Range Bike System Map, Paradise Blvd. is identified as having both bike lanes and a proposed multi-use trail between Golf Course and Eagle Ranch Road. The Map also identifies a proposed multi-use trail along Nunzio Ave. between Paradise Blvd. and Eagle Ranch Road. In lieu of the 6-foot sidewalk currently shown on the Site Development Plan to be installed with this project, a new multi-use trail should be installed instead. Assuming the trail is 12' wide per DPM standards, an additional 6 feet of R/W dedication would be needed to install it, given the existing R/W line is typically located at the back of proposed sidewalk.</p>
PARKS AND RECREATION <i>Carol Dumont</i> cdumont@cabq.gov	

<p>CITY ENGINEER/ HYDROLOGY <i>Rita Harmon</i> RHarmon@cabq.gov</p>	
<p>ABCWUA <i>Kris Cadena</i> KCadena@abcwua.org</p>	
<p>TRANSPORTATION DEVELOPMENT <i>Racquel Michel</i> RMichel@cabq.gov</p>	
<p>PLANNING DEPARTMENT <i>Jack Cloud</i> jcloud@cabq.gov</p>	<ol style="list-style-type: none">1. Details of the internal focus area must be added to the plans.2. Existing grade elevations (Index) must be added to the G + D plan. Currently, they are unreadable.3. Must add articulation or change in color or materials along the west building elevation per Design Standards.4. Minor corrections and additions to notes and labeling of elements must be completed (see redlined set dated 7-15-15 by Kym Dicome)5. Refer to agency comments plus any public hearing comments regarding proposed site plan.

Trula Howe

From: Cloud, Jack W. <jcloud@cabq.gov>
Sent: Tuesday, September 29, 2015 11:51 AM
To: Trula Howe; Gomez, Angela J.
Cc: Segura, Vanessa; Ortiz, Annette
Subject: RE: DRB review Request

I'm sorry, I did not take a good look at that form – there are no multiple copies required, but on Form S(2) cross out the word MAJOR and write in MINOR –

This will be on a Minor Case Schedule, so you will not need Office of Neighborhood Coordination letters or a Sign Posting Agreement -

From: Trula Howe [mailto:tru@cginm.com]
Sent: Tuesday, September 29, 2015 11:36 AM
To: Gomez, Angela J.
Cc: Cloud, Jack W.
Subject: DRB review Request

Good morning, Angela,

Can you tell me what else I will need for a "Minor Subdivision Action"?

I talked to Jack Cloud yesterday, regarding the 2-year extension we received last year for DRB 1003445.

Jack said I need to submit a new DRB review application, but just to select "minor".

He also said something about 6 copies instead of 24, but I don't see where that is on the second page, FORM S(2).

Can you help me?

Background:

It was contingent on us completing Vista Fuente.

We tried to pull a Work Order, but it was rejected because somewhere down the line, someone at CABQ changed our Procedure B to a "non work order" SIA.

City Legal is releasing the existing SIA and asking us to submit a new one, but we will need to update our DRB extension.

Tru (Trula) Howe



Custom Grading, Inc.

Accounting/Project Admin

PH: 505-897-4225 *133

Cel: 505-321-2722

FX: 505-792-2399

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Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

D Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Trula Howe, Custom Grading, Inc PHONE: 505-897-4225
 ADDRESS: P.O. Box 94088 FAX: 505-792-2399
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: tru@cginm.com
 APPLICANT: Jason Shaffer, Fountain Hills LLC PHONE: 505-280-5771
 ADDRESS: P.O. Box 66897 FAX: 505-344-3992
 CITY: Albuquerque STATE NM ZIP 87193 E-MAIL: jashaffer3@hotmail.com
 Proprietary interest in site: Managing Member List all owners: _____

DESCRIPTION OF REQUEST: SIA Extension, already received 2 year extension in October 2014, however, won't be able to complete Vista Verde because of Work Order; can't pull until NEW SIA complete

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A, B, C, D, E, F, G, H, I Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Fountain Hills Plaza Subdivision
 Existing Zoning: SU-1 Proposed zoning: No change MRGCD Map No _____
 Zone Atlas page(s): C-12-Z UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):
DRB-1003445 CABQ Project 584480

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 9 No. of proposed lots: 9 Total site area (acres): 39.9074
 LOCATION OF PROPERTY BY STREETS: On or Near: Eagle Ranch Rd NW
 Between: Paseo del Norte and Paradise Blvd NW
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) . Review Date: _____

SIGNATURE

[Signature] DATE 9/29/2015
 (Print Name) Trula Howe Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>15DRB-70369</u>	<u>ESIA</u>	—	<u>\$50.00</u>
—	<u>CMF</u>	—	<u>\$20.00</u>
—	—	—	\$
—	—	—	\$
—	—	—	\$
—	—	—	\$
			Total
			<u>\$70.00</u>

Hearing date Oct. 14, 2015

[Signature]
 10-9-15
 Staff signature & Date

Project # 1003445

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

^{MINOR} ~~MAJOR~~ **SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)**

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Trula Howe
Applicant name (print)
[Signature]
Applicant signature / date

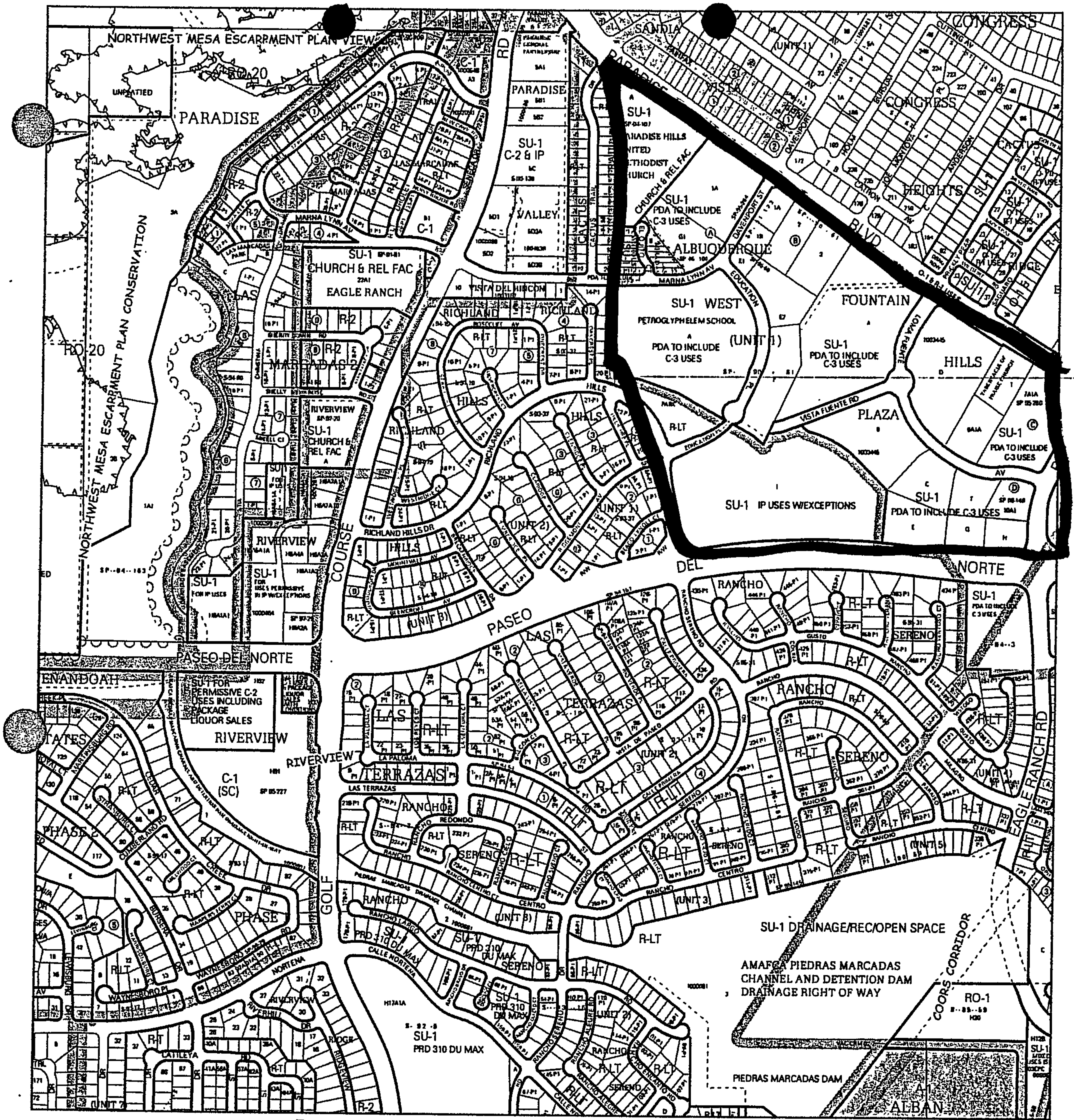


Form revised October 2007

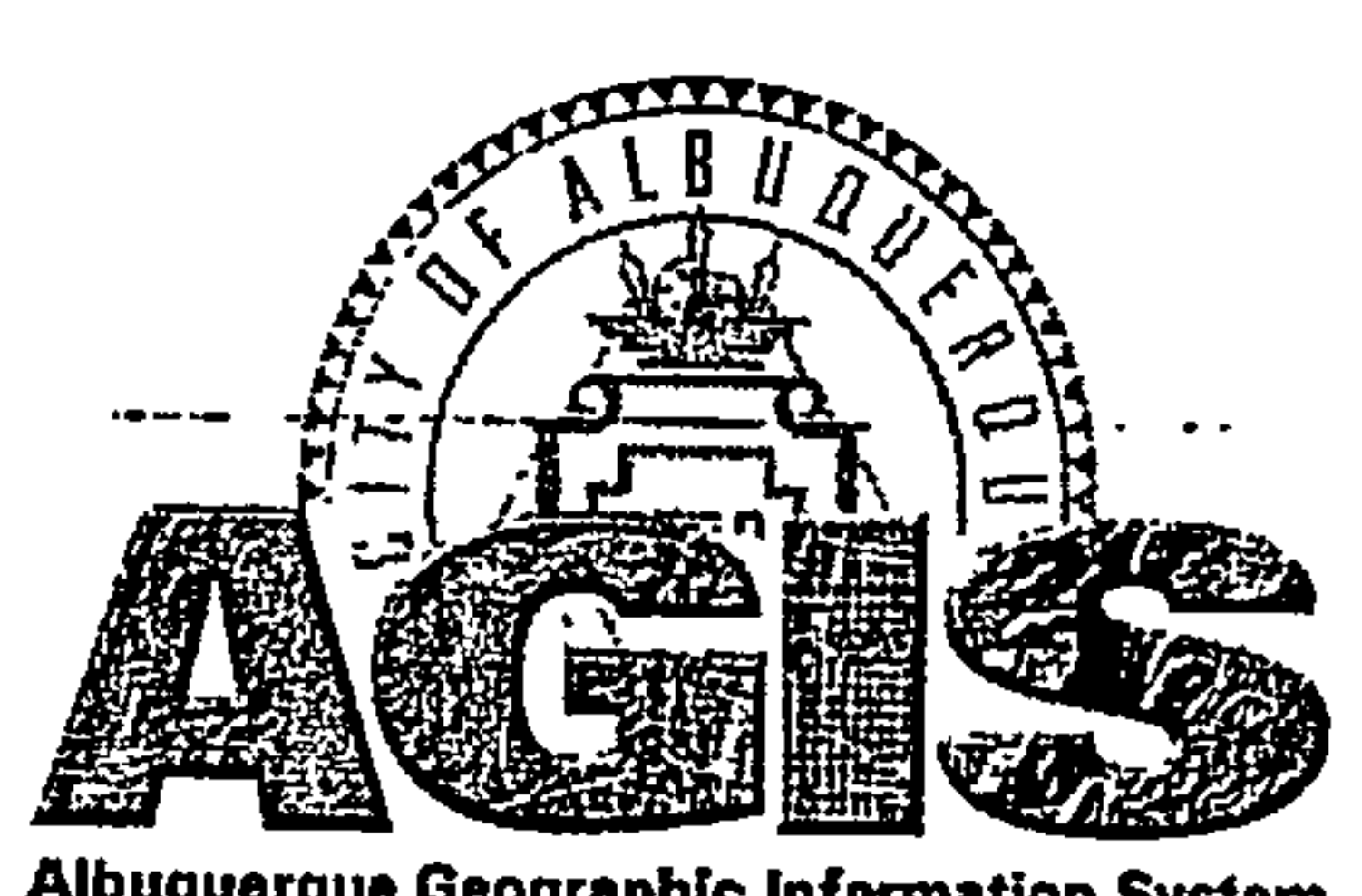
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
15 - DRB - 70369

[Signature] 10-9-15
Planner signature / date
Project # 1003445

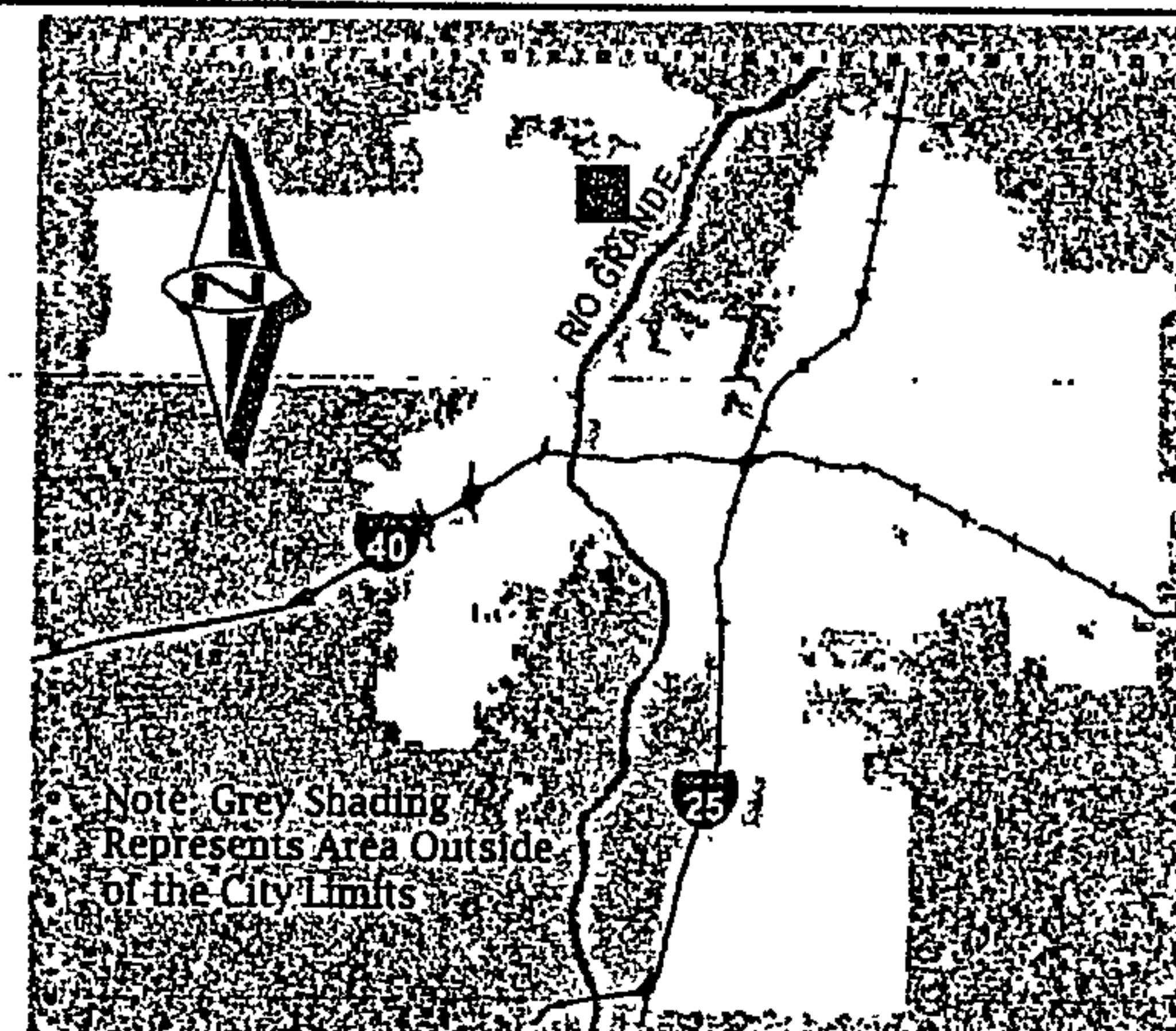


For more current information and more details visit: <http://www.cabq.gov/gis>



AGIS
Albuquerque Geographic Information System

Map amended through: 1/24/2011



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-12-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

September 29, 2015

City of Albuquerque
Planning Department
Design Review Board
1 Civic Plaza NW
Albuquerque, NM 87102

Re: Fountain Hills Plaza Subdivision, Phase/Unit #2, City Project 584480, DRB-1003445

To Whom It May Concern:

Phase 2 of Fountain Hills Plaza Subdivision has not yet been complete. The items required are as follows, according to the Engineers Opinion of Probably Costs on record:

- Traffic Signal at Loma Fuente Rd and Paradise Blvd NW
- On-site paving of Vista Fuente Rd
- Paseo del Norte//Eagle Ranch – Paving, striping, and signage and relocating traffic signal

We received a two-year extension on October 1, 2014, on the condition that we complete Vista Fuente paving within the first year. We attempted to pull a work order on the existing SIA, but were denied. Someone at the City converted the existing SIA to a non-work-order SIA, preventing us from being able to pull the work order. The City has asked us to submit a new Procedure B, which we are working on, but this will not be in place by October 2015.

We are requesting a modification of the two-year extension of the Subdivision Improvement Agreement, to allow us to submit a new SIA and complete Vista Fuente.

Sincerely,

Jason A. Shaffer
Managing Member
Fountain Hills Plaza LLC

SP-2007-222877



LOCATION MAP
ZONE ATLAS INDEX MAP No. C-12
NOT TO SCALE

SUBDIVISION DATA

1. DPL No.
2. Zone Atlas Index No. C-12
3. Gross Plat Acreage 28.974
4. Total Number of Lots/Tracts created: (8) Tracts
5. Total Number of acres created: Full width - 0.1373 Half width - 0.1714
6. Date of Survey: April 2007
7. Plat is located within Section 13, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico.

DISCLOSURE STATEMENT

The purpose of this plat is to subdivide all of Tracts B-1-A, C-1-A, D-1-A, Albuquerque West, Unit One, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 24, 2005 in Book 20000 page 218 as Document 20000022, and Tract 10-A-2 Block D, of the Plat of Albuquerque West, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on July 17, 1994, Volume 89C, Folio 233 and Tract B, Richland Hills Unit 1, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 08, 1984, Volume 84C, Folio 148, into nine (9) Tracts, dedicate right-of-way, grant easements and vacate easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- EDM Electric Services** for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, meters, structures, and related facilities reasonably necessary to provide electrical services.
- PNM Gas Services** for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWEST** for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Cable TV** for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV services.
- New Mexico L&D, Inc.** for the installation, maintenance and service of underground water and sanitary sewer lines across the easements.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, move, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements including sufficient working areas space for electric transformers, with the right and privilege to tie and remove lines, cables or busses which interfere with the purposes set forth herein. No building, sign, post, (above ground or subsurface), but this, concrete or wood post structure, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for connecting any structures of National Electric Safety Code issued by construction of posts, decking, or any structure adjacent to or near easements shown on this plat.

Easements for electric transformers shall be shown, as located shall extend ten feet (10') in front of transformer structure and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, City of Albuquerque, Bernalillo County, New Mexico within projected Section 13, Township 11 North, Range 2 East, New Mexico Principal Meridian, being and comprising all of Tracts B-1-A, C-1-A, D-1-A of the Plat of Albuquerque West, Unit One, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 24, 2005 in Book 20000 page 218 as Document 20000022, and Tract 10-A-2 Block D, of the Plat of Albuquerque West, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on July 17, 1994, Volume 89C, Folio 233 and Tract B, Richland Hills Unit 1, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 08, 1984, Volume 84C, Folio 148.

Containing 28.974 acres more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, City of Albuquerque, Bernalillo County, New Mexico within projected Section 13, Township 11 North, Range 2 East, New Mexico Principal Meridian, being and comprising all of Tracts B-1-A, C-1-A, D-1-A of the Plat of Albuquerque West, Unit One, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 24, 2005 in Book 20000 page 218 as Document 20000022, and Tract 10-A-2 Block D, of the Plat of Albuquerque West, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on July 17, 1994, Volume 89C, Folio 233 and Tract B of the Plat of Richland Hills Unit 1, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 08, 1984, Volume 84C, Folio 148, is with the free consent and in acceptance made in shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 24, 2005 in Book 20000 page 218 as Document 20000022, and Tract 10-A-2 Block D, of the Plat of Albuquerque West, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on July 17, 1994, Volume 89C, Folio 233 and Tract B of the Plat of Richland Hills Unit 1, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 08, 1984, Volume 84C, Folio 148, hereby dedicate public street rights of way shown herein to the City of Albuquerque in Fee Simple with Warranty, and on hereby grant: All access, utility and drainage easements herein including the right to construct, operate, inspect, and maintain facilities electric and all Public Utility easements shown herein for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground utilities and the right to install and maintain lines and conduits, in the event of damage, to reconstruct within any easement area granted to or for the benefit of the City. The City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the encroachment (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the encroachment, nor shall the City be financially responsible if the Work affects any of the encroachment. The City shall have the right if reasonably necessary, to enter Owner's property to access the easement area for the purpose of performing the Work. These stipulations are given in full and complete satisfaction of all claims and demands that may be made in the future by the City of Albuquerque. Owner does hereby consent in all of the foregoing and does hereby certify that this dedication is made with his free will and deed.

THE FIRST BAPTIST CHURCH OF ALBUQUERQUE - owner of Tract B, Richland Hills

By: Michael L. Cook
MICHAEL L. COOK
Pastor/President

State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 11 day of June, 2007

By: Michael L. Cook, Pastor/President

My Commission Expires 12-24-2011 Stephanie L. Walton
Notary Public

FOUNTAIN HILLS PLAZA LLC - Owner of Tracts B-1-A, C-1-A, & D-1-A Albuquerque West, Unit One and all 10-A-2, Block D, Albuquerque West

By: Mirviano Vano
Mirviano Vano
Managing Member

State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 11 day of June, 2007

By: Mirviano Vano, Managing Member, Fountain Hills Plaza LLC

My Commission Expires 12-24-2011 Stephanie L. Walton
Notary Public

NOTES

1. Bearing on New Mexico State Plane (NAD 83) (Central Zone)
2. Distances are rounded distances.
3. All easements of record are shown that fall across it.
4. Record bearings and distances are shown in parenthesis.
5. Tracts C, F & G are subject to a Twenty Five Foot (25') Easement, water, fire, gas, and sanitary sewer easement for the benefit of and to be maintained by Tracts E, G & H granted with this plat. This easement will be contained and defined with future platting.
6. Easements in favor of NW recommendation to be located at consecutive P.C., P.T., and P.C. points and closed therefrom prior to acceptance of street improvements and the control of a standard 3-1/4" minimum utility caps stamped "CITY OF ALBUQUERQUE", "CONTINUOUS MONUMENTATION", "SUBWAY MARKERS", "DO NOT DISTURB", "PLS 18-407"
7. Easement information shown on this survey was taken from TITLE COMMITMENT No. 02200028, effective January 02, 2007 issued by LandAmerica Albuquerque in Title.
8. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
9. Public drainage enters the vacated drainage easement. Maintenance of these tracts with respect to drainage is the responsibility of private property owners.

SURVEYOR'S CERTIFICATION

I, Robert Gronowicz, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and survey contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gronowicz
Robert Gronowicz
New Mexico Professional Surveyor 16408

Date: 6-11-07

JURISDICTIONAL AFFIDAVIT

I, Robert Gronowicz, a registered Professional New Mexico Surveyor, hereby affirm that the property described does lie within the platting and subdivision jurisdiction of the City of Albuquerque, New Mexico.

Robert Gronowicz
Robert Gronowicz
New Mexico Professional Surveyor 16408

Date: 6-11-07

DOC# 2007134847
SUBMITTED BY: SP-2007-222877; Lot 6, Volume 8, Bernalillo County
NEW MEXICO PLAT AND SUBDIVISION RECORDS DIVISION

**PLAT OF
FOUNTAIN HILLS PLAZA
SUBDIVISION**
(A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A,
ALBUQUERQUE WEST, UNIT ONE,
LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST &
TRACT B, RICHLAND HILLS UNIT 1)
WITHIN PROJECTED SECTION 13, T 11 N, R 2 E, N.M.P.M.
TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2007

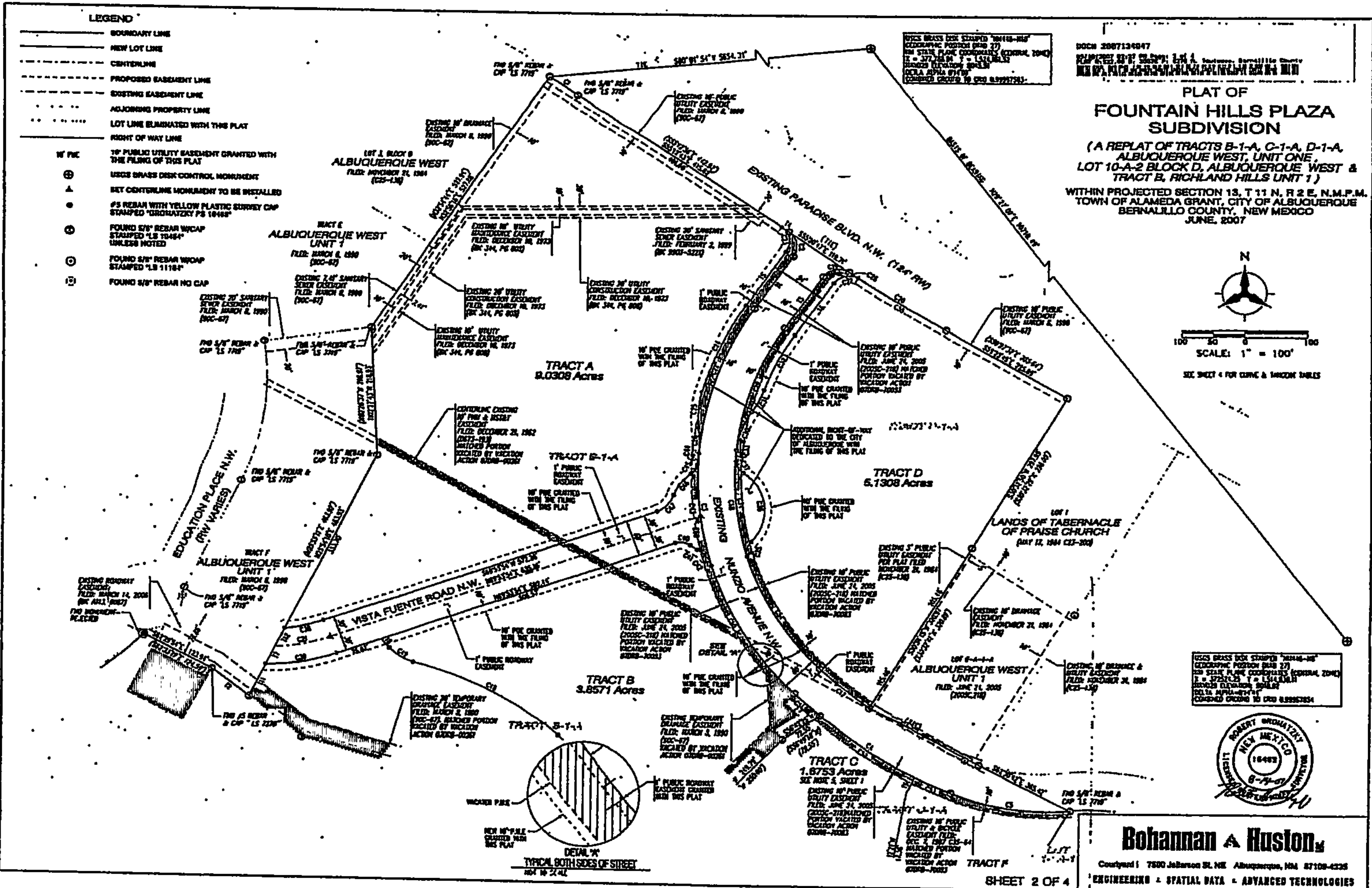
PROJECT NUMBER	1003449
APPLICATION NUMBER	07 DRB-70054
PLAT APPROVAL	
CITY ENGINEER	<u>David Bolin</u> 6/21/07
CITY PLANNING	<u>Stephanie L. Walton</u> 6/20/07
PLAT REVIEW	<u>Stephanie L. Walton</u> 6-19-07
PLAT REVIEW	<u>Stephanie L. Walton</u> 6-19-07
CITY ENGINEER	<u>David Bolin</u> 6-12-07
CITY PLANNING	<u>Stephanie L. Walton</u> 6-22-07
PLAT REVIEW	<u>Christina Chandoval</u> 6/22/07
PLAT REVIEW	<u>Stephanie L. Walton</u> 6-20-07
PLAT REVIEW	<u>Stephanie L. Walton</u> 6/22/07
PLAT REVIEW	<u>Stephanie L. Walton</u> 6/19/07
PLAT REVIEW	<u>Stephanie L. Walton</u> 6-19-07

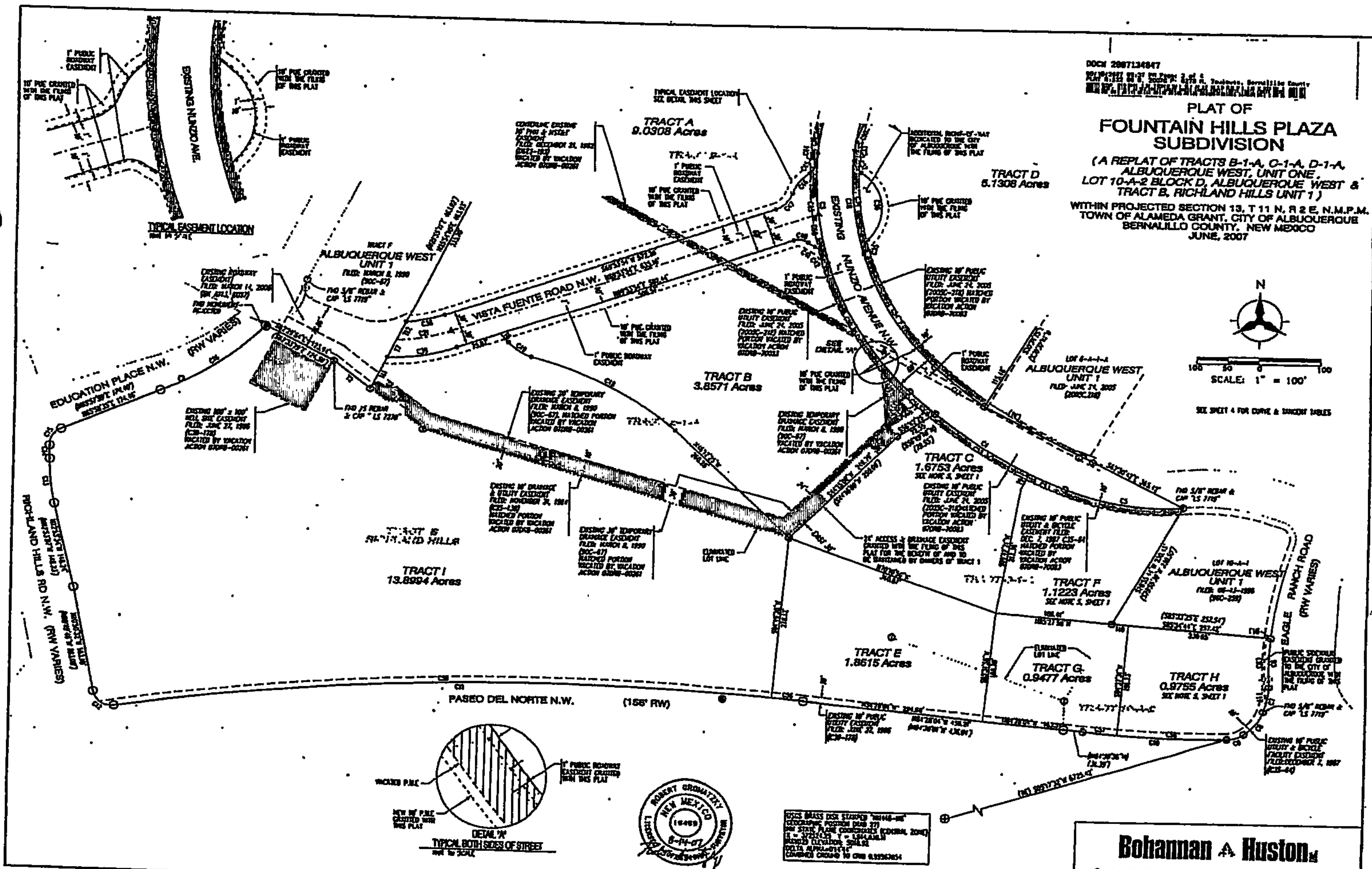
TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON W/F 1
L-012-044-704327-119-01

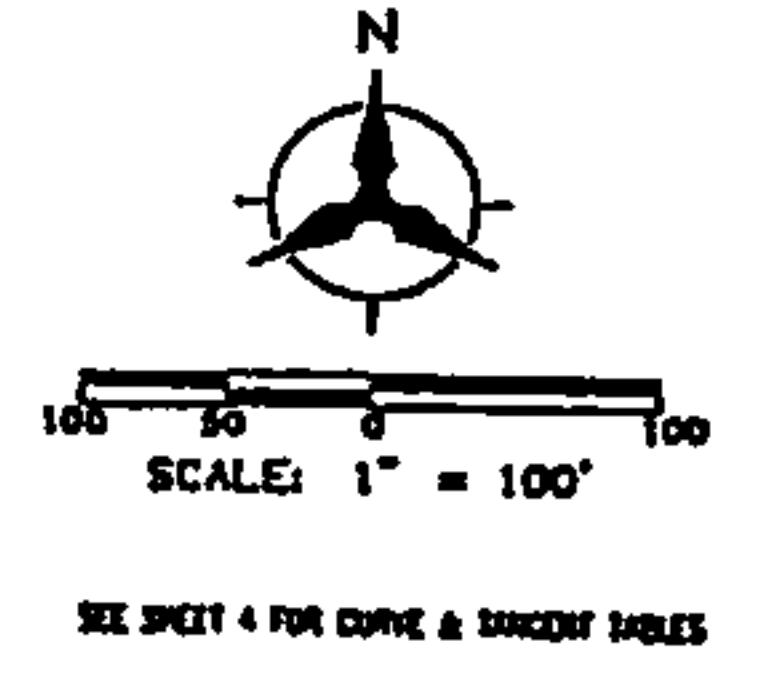
PROPERTY OWNER OF RECORD First Baptist Church
Stephanie L. Walton 6-19-2007
BERNALILLO COUNTY RECORDER'S OFFICE DATE

Bohannon & Huston
Courtland 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES





DOCH 2887134847
 REPLAT OF TRACTS B-1-A, C-1-A, D-1-A, LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST & TRACT B, RICHLAND HILLS UNIT 1
PLAT OF FOUNTAIN HILLS PLAZA SUBDIVISION
 (A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A, ALBUQUERQUE WEST, UNIT ONE, LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST & TRACT B, RICHLAND HILLS UNIT 1)
 WITHIN PROJECTED SECTION 15, T 11 N, R 2 E, N.M.P.M., TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2007



THIS MASS ISH STAMPED "1044-10" (UNDESIGNED PORTION ONLY) IS THE STATE PLAT OF THE CONVEYANCE ZONING DISTRICT DIVISION, STATE OF NEW MEXICO. ANY CHANGES TO THIS MASS SHALL BE MADE BY THE ENGINEER.

Bohannon & Huston
 Civil/1700 Jefferson BL NE Albuquerque, NM 87108-0305
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



EXHIBIT "A"

OFFICIAL NOTICE OF DECISION

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD**

August 19, 2009

**Project# 1003445
09DRB-70238 MAJOR - 1YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS
AGREEMENT
(2YR SIA)**

At the August 19, 2009 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by September 3, 2009, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: Bohannon Huston, Inc. - 7500 Jefferson St. - Albuquerque, NM 87109
Cc: Dwayne Pino - P.O. Box 56883 - Albuquerque, NM 87187
Marilyn Maldonado
File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 28, 2011

Project# 1003445
11DRB-702 4 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA)

BOHANNAN HOUSTON INC agent(s) for JASON SHAFFER request(s) the referenced/ above action(s) for all or a portion of **FOUNTAIN HILLS PLAZA SUBDIVISION** zoned SU-1/ PDA/ C- / IP, located on the north side of PASEO DEL NORTE NW between EAGLE RANCH RD NW and RICHLAND HILLS DR NW containing approximately 9.9074 acre(s). (C-12)

At the September 28, 2011 Development Review Board meeting, an extension of the Subdivision Improvements Agreement was approved through September 30th, 2012.

If you wish to appeal this decision, you must do so by October 13, 2011, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, DRB Chair

Cc: Bohannan Huston Inc -- 7500 Jefferson St. -- Albuquerque, NM 87109
Cc: Jason Shaffer -- P.O. Box 66897 -- Albuquerque, NM 8719
Marilyn Maldonado
File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 10, 2012

Project# 1003445
12DRB-70289 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA)

CUSTOM GRADING, INC. agent(s) for JASON SHAFFER request(s) the referenced/ above action(s) for all or a portion of **FOUNTAIN HILLS PLAZA SUBDIVISION** zoned SU-1/ PDA/ C-3/ IP, located on the north side of PASEO DEL NORTE NW between EAGLE RANCH RD NW and RICHLAND HILLS DR NW containing approximately 39.9074 acre(s). (C-12)

At the October 10, 2012 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by October 25, 2012, in the manner described below.

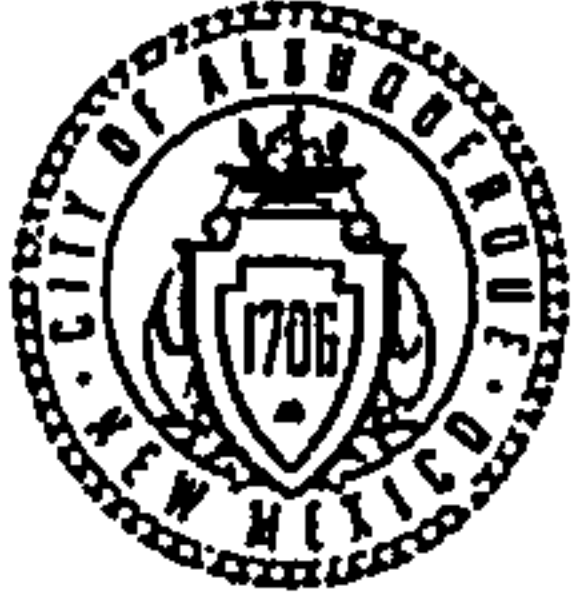
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, DRB Chair

Cc: Custom Grading Inc.
Marilyn Maldonado
file



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 1, 2014

Project# 1003445

14DRB-70308 - 2 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS
AGREEMENT (2YR SIA)

CUSTOM GRADING INC agents for JASON SHAFFER request the referenced/ above action for all or a portion of **FOUNTAIN HILLS PLAZA SUBDIVISION** zoned SU-1/ PDA/ C-3/ IP, located on the north side of PASEO DEL NORTE NW between EAGLE RANCH RD NW and RICHLAND HILLS DR NW containing approximately 39.9074 acres. (C-12)

At the October 1, 2014 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved with the condition the improvements for Vista Fuente Rd NW be completed and accepted by the City within one year, otherwise the extension shall only be for one year.

If you wish to appeal this decision, you must do so by October 16, 2014, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, DRB Chair

Cc: CUSTOM GRADING INC
Planning file

Current DRC
Project No. _____

ORIGINAL

**Figure 12
INFRASTRUCTURE LIST
EXHIBIT 'A'
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
MOUNTAIN HILLS**

Date Submitted: June 5, 2007
Date Site Plan Approved: N/A
Date Preliminary Plat Approved: 6-20-07
Date Preliminary Plat Expires: 6-20-08

DRC Project No. 1003445
Appl # D7DRB-70054

Following is a summary of PUBLIC/PRIVATE infrastructures required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appropriate items and/or associated items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appropriate or non-essential items can be deleted from the listing, those items may be deleted as well as the related portion of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and applicant. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
PHASE 1 INFRASTRUCTURE IMPROVEMENTS									
PHASE 1 OFFSITE PUBLIC ROADWAY IMPROVEMENTS									
B-1	584480	30' F-F 16' MEDIAN	ARTERIAL PAVEMENT W/ MEDIAN & STD. CURB & GUTTER W/ 6' SIDEWALK ON SOUTHSIDE	PARADISE BLVD	WEST PROPERTY BOUNDARY	EAST PROPERTY BOUNDARY	/	/	/
B-1	584480	30' WIDE	4" TEMPORARY ASPHALT	PARADISE BLVD EASTBOUND LANE	DAVENPORT ST	WEST PROPERTY BOUNDARY	/	/	/
B-1	584480	30' WIDE	4" TEMPORARY ASPHALT	PARADISE BLVD EASTBOUND LANE	EAST PROPERTY LINE	EXISTING MINI STORAGE UNIT WEST PROPERTY LINE	/	/	/
		NOTE:	STREET LIGHTS AS PER COA DPM						
		NOTE:	LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETSCAPE AGREEMENT. A FINANCIAL GUARANTY IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY.						
PHASE 1 ONSITE PUBLIC ROADWAY IMPROVEMENTS									
B-1	584480	40' F-F	PAVEMENT W/ PCC CURB & GUTTER & PCC 6' WIDE SIDEWALK ON BOTH SIDES	MUNDO AVE	EAGLE RANCH RD	VISTA FUENTE ROAD	/	/	/
B-1	584480	VARIES 24' F-F MIN - 48' F-F MAX	PAVEMENT W/ PCC CURB & GUTTER & PCC 6' WIDE SIDEWALK ON EAST SIDE	MUNDO AVE EAST HALF OF ROADWAY	VISTA FUENTE ROAD	PARADISE BLVD	/	/	/
B-1	584480		ROUNDOABOUT	MUNDO AVE	VISTA FUENTE	MUNDO AVE	/	/	/
		NOTE:	STREET LIGHTS AS PER COA DPM						
		NOTE:	LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETSCAPE AGREEMENT. A FINANCIAL GUARANTY IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY.						

EIA Request #	COA DRG Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
PHASE 1 PUBLIC SANITARY SEWER IMPROVEMENTS <i>UMUI</i>									
		8" DIA	SANITARY SEWER LINE W/ NEC. MYS & SERVICES	MUNDO AVE	EAGLE RANCH RD	PARADISE BLVD	/	/	/
		8" DIA	SANITARY SEWER LINE W/ NEC. MYS & SERVICES	VISTA FUENTE ROAD	140' SOUTHWEST OF INTERSECTION OF VISTA FUENTE ROAD & MUNDO AVE	MUNDO AVE	/	/	/
PHASE 1 PUBLIC WATERLINE IMPROVEMENTS <i>UMUI</i>									
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MFS & PLS	MUNDO AVE	EAGLE RANCH RD	PARADISE BLVD	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MFS & PLS	VISTA FUENTE ROAD	EDUCATION PLACE	MUNDO AVE	/	/	/
PHASE 1 PUBLIC STORM DRAIN IMPROVEMENTS									
B-1 584480	B-1 584480	18"-42" DIA	RCP W/ NEC. MYS, LATERALS, & INLETS	MUNDO AVE	PARADISE BLVD	EXISTING LOT 8-A-1	/	/	/
B-1 584480	B-1 584480	18"-30" DIA	RCP W/ NEC. MYS, LATERALS, & INLETS	VISTA FUENTE ROAD	EDUCATION PLACE	MUNDO AVE	/	/	/
B-1 584480	B-1 584480	24" DIA	RCP W/ NEC. MYS, LATERALS, & INLETS	TRACT 8-A-1	TRACT D	DETENTION POND	/	/	/
B-1 584480	B-1 584480	2.5 AC-FT	DETENTION POND	EXISTING LOT 8-A-1			/	/	/
PHASE 2 INFRASTRUCTURE IMPROVEMENTS									
PHASE 2 OFFSITE PUBLIC ROADWAY IMPROVEMENTS									
MB-1 584480	MB-1 584480		TRAFFIC SIGNAL	PARADISE BLVD/ PRICKLY PEAR ST			/	/	/
MB-1 584480	MB-1 584480	12' WIDE	ADD 2ND LEFT TURN ARTERIAL PAVEMENT W/ PCC CURB & GUTTER	PASEO DEL NORTE EAST BOUND LANE		RICHLAND HILLS RD	/	/	/
MB-1 584480	MB-1 584480	12' WIDE	ADD RIGHT TURN LANE ARTERIAL PAVEMENT W/ PCC CURB & GUTTER	RICHLAND HILLS RD SOUTHBOUND LANE		PASEO DEL NORTE	/	/	/
MB-1 584480	MB-1 584480	12' WIDE	ADD RIGHT TURN LANE ARTERIAL PAVEMENT	PASEO DEL NORTE WESTBOUND LANE	RICHLAND HILLS RD	150' EAST OF RICHLAND HILLS EAST CURB & GUTTER	/	/	/
MB-1 584480	MB-1 584480	10' WIDE	TRAIL	PASEO DEL NORTE	WEST PROPERTY LINE	EAGLE RANCH RD	/	/	/

SIA Sequence #	COA DRG Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Const Engineer
MB-1	584480	12' WIDE	ADD 2ND LEFT TURN LANE ARTERIAL PAVEMENT W/ PCC CURB & GUTTER (ADD. WIDTH TO BE TAKEN FROM MEDIAN)	PASEO DEL NORTE EAST BOUND LANE		EAGLE RANCH RD	/	/	/
MB-1		11' WIDE	ADD THIRD THRU LANE - STRIPING MODIFICATION ONLY	PASEO DEL NORTE EAST BOUND LANE	WEST OF EAGLE RANCH	EAST OF EAGLE RANCH	/	/	/
		12' WIDE	ADD THIRD THRU LANE - STRIPING MODIFICATION ONLY	PASEO DEL NORTE WEST BOUND LANE	BEGINNING FREE RIGHT	EAGLE RANCH RD	/	/	/
		12' WIDE	ADD THIRD THRU LANE ARTERIAL PAVEMENT W/ PCC CURB & GUTTER & 6' BIKE LANE	PASEO DEL NORTE WEST BOUND LANE	EAGLE RANCH RD	DEMAND POLINEAM-HILLS WEST BOUNDARY	/	/	/
		12' WIDE	ADD LEFT TURN LANE (DONE W/ COSTCO) NO FINANCIAL GUARANTEE REQUIRED	COORS BLVD. NORTHBOUND		EAGLE RANCH RD	/	/	/
		8' WIDE	BIKE LANE W/ PCC CURB & GUTTER W/ 6' SIDEWALK	EAGLE RANCH ROAD	SOUTH BOUNDARY TRACT 10-A-1	PASEO DEL NORTE	/	/	/

PHASE 2 ONITE PUBLIC ROADWAY IMPROVEMENTS

MB-1	584480	40' F-F	RESIDENTIAL PAVEMENT W/ PCC CURB & GUTTER & PCC 8' WIDE SIDEWALK ON BOTH SIDES	VISTA FUENTE ROAD	EDUCATION PLACE	HUNZIO AVE	/	/	/
		VARIES 20' MIN	RESIDENTIAL PAVEMENT W/ PCC CURB & GUTTER & PCC 8' WIDE SIDEWALK ON WEST SIDE	HUNZIO AVE WEST HALF OF ROADWAY	VISTA FUENTE ROAD	PARADISE BLVD	/	/	/
		NOTE:	STREET LIGHTS AS PER COA DPM				/	/	/
		NOTE:	LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETSCAPE AGREEMENT. A FINANCIAL GUARANTEE IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY				/	/	/

BRUCE STODWORTHY, PE
PREPARED BY: PRINT NAME

06/05/07

[Signature]
DRB CHAIR

6/20/07
DATE

[Signature]
PARKS & GENERAL SERVICES
DATE

BOHANNAN HUSTON INC.
FIRM

[Signature]
TRANSPORTATION DEVELOPMENT

6-20-07
DATE

[Signature]
SIGNATURE
DATE

[Signature]
UTILITY DEVELOPMENT
DATE

6/20/07
DATE

[Signature]
CITY ENGINEER
DATE

MAXIMUM TIME ALLOW TO CONSTRUCT
IMPROVEMENTS WITHOUT A DRB EXTENSION

[Signature]
DATE

6-19-07
DATE

DATE

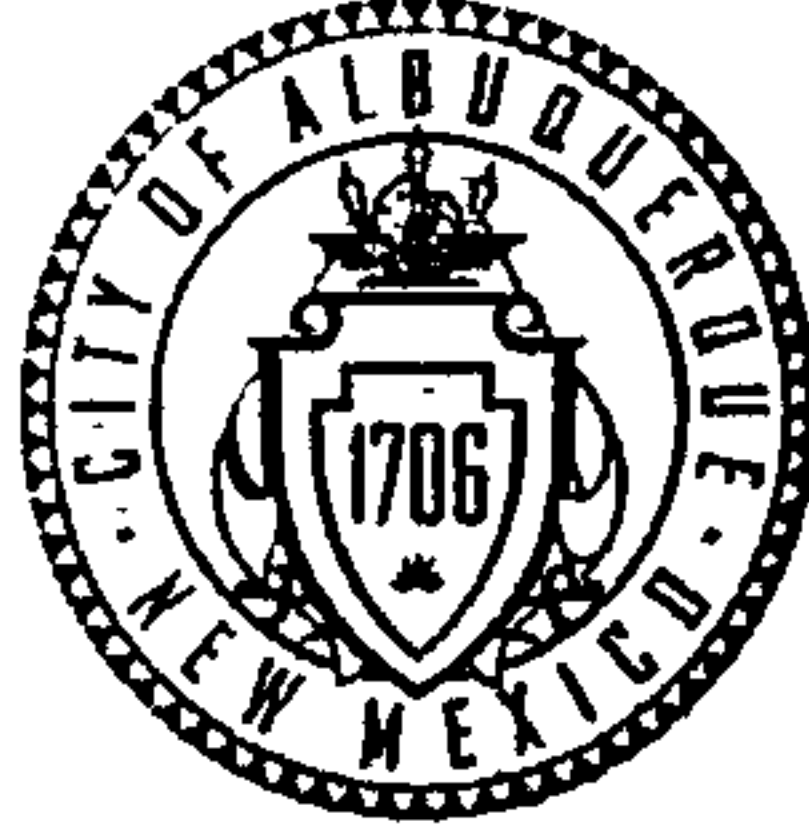
REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT/OWNER

PROJECT #

1003415

OCTOBER 14, 2015

ESLA



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

TRANSPORTATION DEVELOPMENT*John MacKenzie*
TRANSIT & PARKING DEPARTMENT*Shabih Rizvi*
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*
AMAFCA.....*Lynn Mazur*
APD CRIME PREVENTION.....*Steve Sink*
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*
FIRE DEPARTMENT.....*Antonio Chinchilla*
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*
PNM.....*Daniel Aragon*
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*
COMCAST CABLE.....*Mike Mortus*
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*
ENVIRONMENTAL HEALTH.....*Paul Olson*

Your comments on the following case(s) are requested.

PROJECT # 1003445

Board hearing date:

WEDNESDAY, July 22, 2015



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Dekker/Perich/Sabatini, Chris Gunning or Daren Pocus PHONE: 761-9700
 ADDRESS: 7601 Jefferson Street NE Suite 100 FAX: 761-4222
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: chrisg@dpsdesign.org
 APPLICANT: Presbyterian Health Services, Jim Jeppson PHONE: 841-1769
 ADDRESS: PO Box 26666 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87125 E-MAIL: JJeppson@phs.org
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Approval of a Site Development Plan for Building Permit.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract D Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Plat of Fountain Hills Subdivision
 Existing Zoning: SU-1, PDA to include C-3 Uses Proposed zoning: no change MRGCD Map No _____
 Zone Atlas page(s): C-12-Z UPC Code: 101206447634910707

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____
1003445, 05EPC-00022, 07DRB-70053, AA #07-10066

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 5.13 acres
 LOCATION OF PROPERTY BY STREETS: On or Near: Paradise Hills NW
 Between: Nunzio and Eagle Ranch
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE DATE 6/26/15
 (Print Name) Christopher R. Gunning Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>15DRB - 70239</u>	<u>SBP</u>	_____	<u>\$ 385.00</u>
_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Total			<u>\$ 460.00</u>

Hearing date July 22, 2015

Staff signature & Date 6-26-15

Project # 1003445

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB *(SPS attached)*
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Chris Gunning
 Applicant name (print)
Chris Gunning 6/26/15
 Applicant signature / date



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 15DRB - 70235

Form revised October 2007

[Signature] 6-26-15
 Planner signature / date

Project # 1003445

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from July 7 2015 To July 22, 2015

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Channing
(Applicant or Agent)

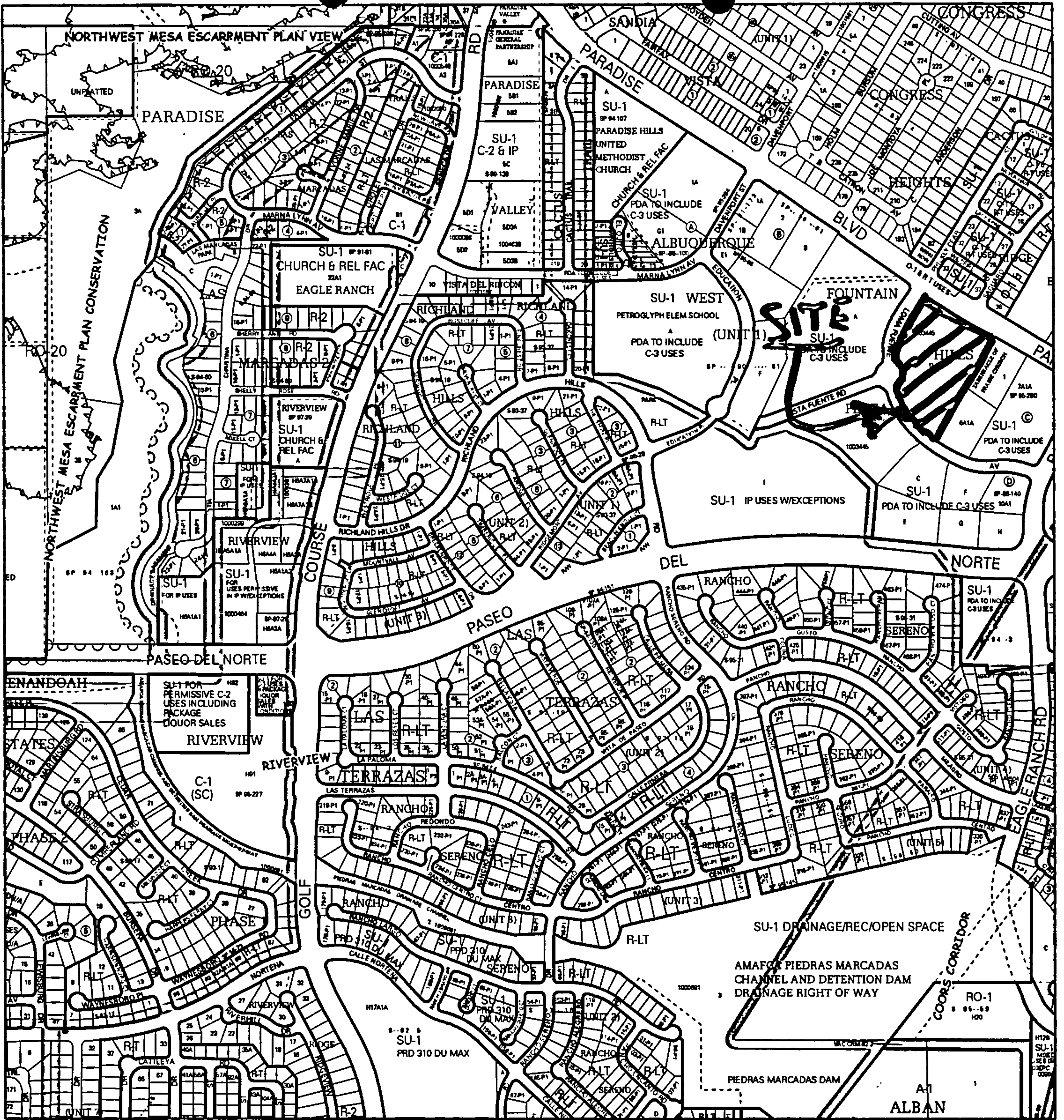
6/26/15
(Date)

I issued 2 signs for this application,

6-26-15
(Date)

[Signature]
(Staff Member)

DRB PROJECT NUMBER: 1003445



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-12-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

CONCRETE CROSSWALK

RAMP (ARROW POINTS DOWN)

LED LIGHT, FULL CUT-OFF WITH (2) LED LIGHT

DRIVEMENT ACCESS PATH

TRAILER (2 NEW AND 4 EXISTING)

URGENT CARE	10	12	15	49
TRICORE LABS	13	13	10	10
TOTAL	57	80	51	74

BASIC PARKING

PHASE 1

28 PROVIDERS AT 5 SPACES/ PROVIDER = 140 SPACES
+10% + 14 SPACES
TOTAL MAX PARKING PHASE 1 = 154 SPACES

FULL BUILD OUT

38 PROVIDERS AT 5 SPACES/ PROVIDER = 190 SPACES
+10% + 19 SPACES
TOTAL MAX PARKING FULL BUILD OUT = 209 SPACES

ACCESSIBLE PARKING:

PHASE 1: 154 SPACES, 10% (16) REQUIRED

16 SPACES PROVIDED: 12 ACCESSIBLE SPACES / 4 VAN SPACES

FULL BUILD OUT = TOTAL 208 SPACES, 10% (21) REQUIRED

21 SPACES PROVIDED: 17 ACCESSIBLE SPACES / 4 VAN SPACES

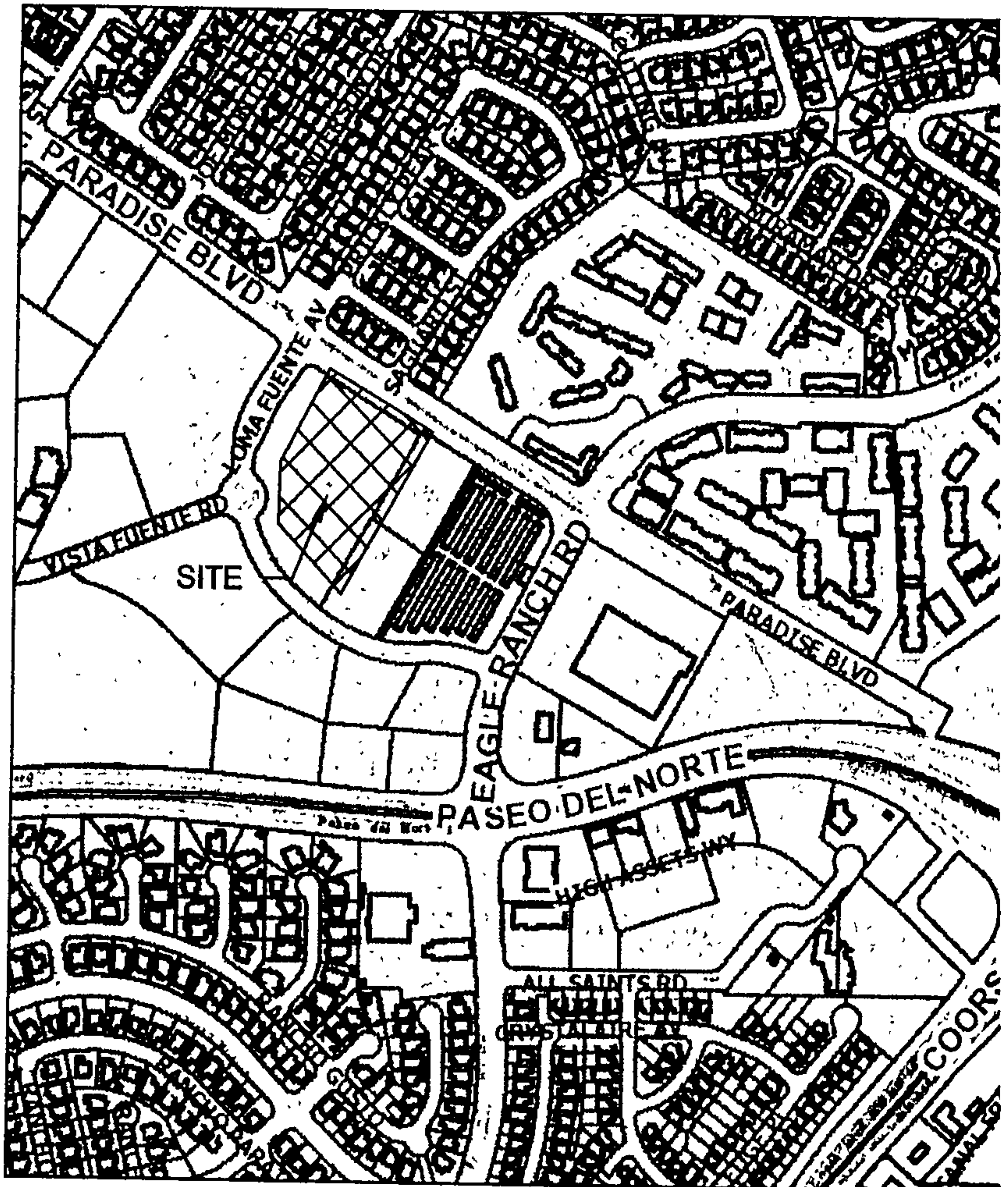
MOTORCYCLE SPACES

5 REQUIRED FOR 151-300 SPACES (BOTH PHASE ONE AND FULL BUILD)
5 PROVIDED AT PHASE ONE

BICYCLE PARKING

1 PER 20 PARKING SPACES REQUIRED FOR AUTOMOBILES.

208 SPACES AT FULL BUILD OUT = 11 BICYCLE SPACES REQUIRED AT FULL BUILD
12 PROVIDED AT PHASE ONE



NORTH



VICINITY MAP

Case # 3435-15

AED PLANS CHECKING OFFICE

934-8011

APPROVED DISAPPROVED

Laura Parat 6-25-15

SIGNATURE & DATE

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION

DATE

UTILITIES DIVISION

DATE

PARKS AND RECREATION DEPARTMENT

DATE

CITY ENGINEER

DATE

Carla Wilkins

6-25-15

SOLID WASTE MANAGEMENT

DATE

Lauren Pavett

6-25-15

FIRE MARSHALL

DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

DATE

PROJECT DATA

BUILDING AREA

PHASE 1: 25,762 SF (INCLUDING TRICORE AREA 3,505 SF)

PHASE 2: 9,050 SF

FULL BUILD OUT AREA: 34,812 SF

CONSTRUCTION TYPE: IIB

OCCUPANCY TYPE: B

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISTICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

PARKING CALCULATIONS

PARKING PROVIDED PER PROVIDER. CLINICAL PROVIDERS INCLUDE: DOCTORS OF MEDICINE, MEDICAL/PHYSICIAN ASSISTANTS, NURSE PRACTITIONERS, PHLEBOTOMISTS OR LAB TECHNICIANS, NUTRITIONISTS AND BEHAVIOR HEALTH PROFESSIONALS.

SPACE	ALL STAFF		EXAM ROOMS		PROVIDERS	
	PHASE 1	PHASE 2	PHASE 1	PHASE 2	PHASE 1	PHASE 2
PRIMARY CARE	34	55	26	49	15	25
URGENT CARE	10	12	15	15	8	8
TRICORE LABS	13	13	10	10	5	5
TOTAL	57	80	51	74	28	38

PERIC SABAT

7601 JEFFERSON
ALBUQUERQUE

505.761.9700 / DPS

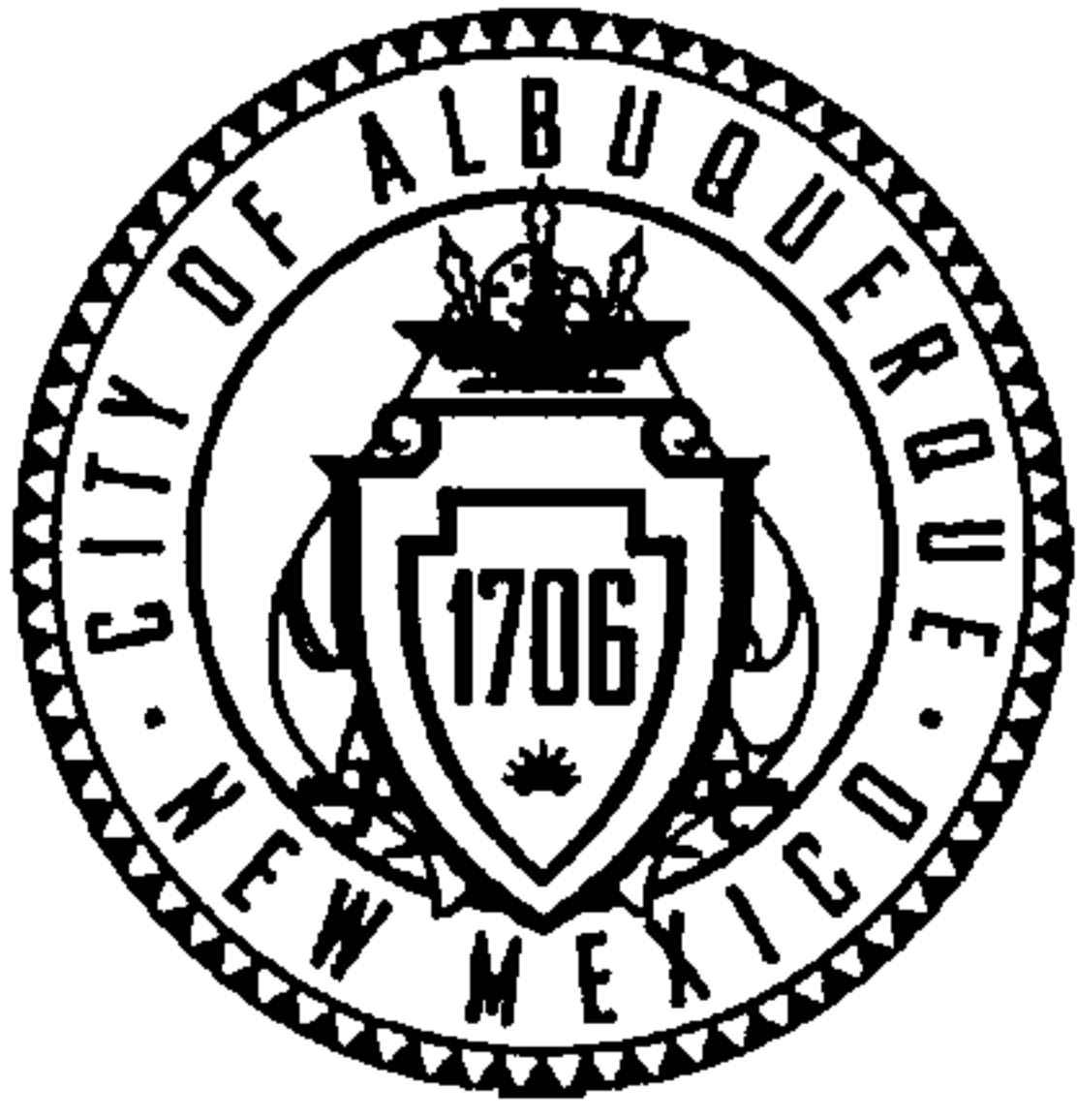
ARCHITECT

ENGINEER

PROJECT

ADISE CLINIC

BLVD



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
Administrative Officer
Date: June 24, 2015

Robert J. Perry, Chief

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

Project Number(s): 1003445?

Case Number(s):

Agent: Dekker/Perich/Sabatini, Chris Gunning

Applicant: Presbyterian Healthcare Services

Legal Description: Tract D Plat of Fountain Hills Subdivision

Zoning: SU-1, PDA to include C-3 Uses

Acreage: 5.13 acres

Zone Atlas Page: C-12

PROVISIONAL CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

TREATMENT PLAN REVIEW:
DISCOVERY:

SUPPORTING DOCUMENTATION:
SITE VISIT: n/a

RECOMMENDATION(S):

- ***PROVISIONAL CERTIFICATE OF NO EFFECT IS ISSUED to allow platting process to continue.***
- ***Archaeological survey required prior to issuance of building permit.***

M7Schmader

Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist

June 26, 2015

Mr. Jack Cloud, AICP
Chair, Development Review Board
Plaza Del Sol Building
600 2nd St. NW
Albuquerque, NM 87102

RE: Proposed Presbyterian Paradise Clinic – Project #1003445

4588 Paradise Blvd NW, Albuquerque NM, 87114

Acreage: 5.13 acres

Legal Description: TRACT D PLAT OF FOUNTAIN HILLS PLAZA SUBDIVISION (A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A, ALBUQUERQUE WEST, UNIT 1, LOT 10-A-2, BLOCK D, ALBUQUERQUE WEST & TRACT B, RICHLAND HILLS UNIT 1)

Dear Mr. Cloud:

Dekker/Perich/Sabatini is acting on behalf of Presbyterian Healthcare Services as their agent during the entitlement and permitting process of this project. We are submitting the attached application for a Site Development Plan for Building Permit, dated June 26, 2015, to the Development Review Board for review and consideration. The project is zoned under the current “SU-1, PDA to include C-3 Uses” designation and shall not seek a zoning change.

We have attached the previously approved Site Development Plan for Subdivision of the site dating back to August 8, 2005.

The main specifics of the project are as follows:

- Construct a new 34,812 s.f. healthcare clinic in two phases. The first phase will comprise 25,762 s.f., and the second phase will be 9,050 s.f.
- Required parking will be constructed in two phases to meet the requirements for parking provision.

Additional project specifics include the following:

- A freestanding monument sign that compliments the architecture of the building as dictated by Presbyterian standards along with two directory signs.
- Landscaping coverage as required for the newly developed parking and building areas.

Presbyterian Healthcare would like to construct a new healthcare clinic at the aforementioned site to provide convenient services to the growing population in this area. The site has always been vacant and having a new clinic at this location will help to continue with infill development and generate jobs on the westside. The new construction shall adhere to the approved Site Development Plan for Subdivision and current City zone code, and complements the existing scale, proportion, and architectural character of the area. The traffic flow calculated to be produced by the clinic does not meet the thresholds that would require a traffic impact analysis.

■ ■ ■

7601 Jefferson NE

Suite 100

Albuquerque NM

87109

505.761.9700

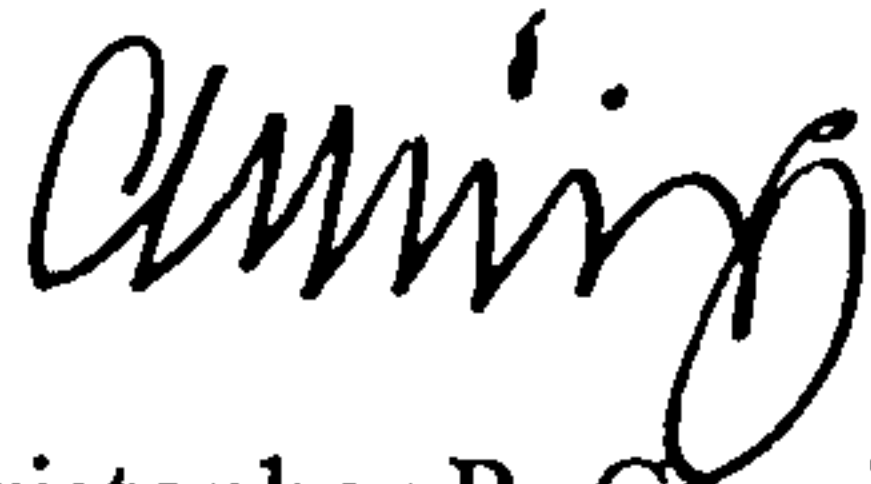
fax 761.4222

www.dpsdesign.org

Thank you for your consideration of this application. If you have questions about this submittal, please feel free to call Will Gleason or me at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Christopher R. Gunning, AIA, LEED AP
Principal



Presbyterian Healthcare Services
P.O. Box 26666
Albuquerque, NM 87125-6666
Phone: (505) 841-1234
www.phs.org

June 25, 2015

Mr. Christopher R. Gunning
Dekker/Perich/Sabatini LLC
7601 Jefferson Street NE, Suite 100
Albuquerque, NM 87109

Re: Owner's Authorization
Application for Site Development Plan for Building Permit
TRACT D PLAT OF FOUNTAIN HILLS PLAZA SUBD

Dear Chris:

Presbyterian Healthcare Services, owners of the subject property, authorizes Dekker/Perich/Sabatini to act as it's agent with the City of Albuquerque, with regard to the above referenced property both for the entitlements process through the Development Review Board and with the permitting process.

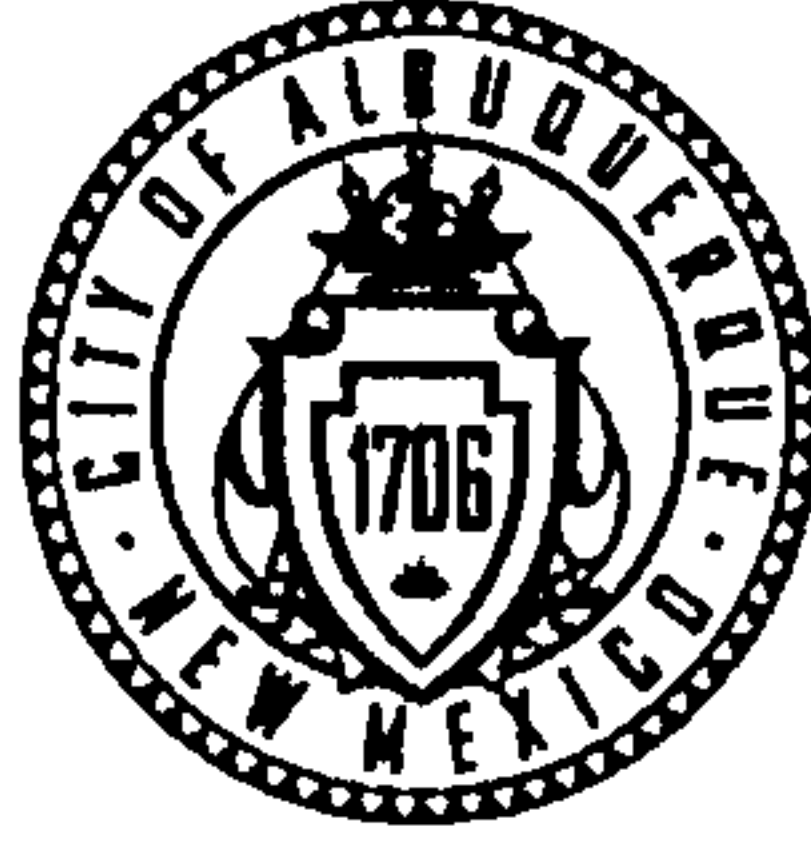
Please contact me at 563-6641 if there are any questions.

Sincerely,
Presbyterian Healthcare Services

A handwritten signature in black ink, appearing to read 'James R. Jeppson'.

James R. Jeppson
Administrative Director

CC: Diana Lamb, PHS Project Manager
John Laur, DPS



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office

June 23, 2015

Tim Trujillo or Chris Gunning
Dekker Perich Sabatini
7601 Jefferson NE, Suite 100/87109
Phone: 505-761-9700/Fax: 505-761-4222
E-mail: timt@dpsdesign.org or chrisg@dosdesign.org

Dear Tim or Chris:

Thank you for your inquiry of June 23, 2015 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – TRACT D PLAT OF FOUNTAIN HILLS PLAZA SUBDIVISION (A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A, ALBUQUERQUE WEST, UNIT 1, LOT 10-A-, BLOCK D, ALBUQUERQUE WEST AND TRACT B, RICHLAND HILLS, UNIT 1 LOCATED ON PARADISE BOULEVARD NW BETWEEN NUNZIO AVENUE NW AND EAGLE RANCH ROAD NW** Zone Map: **C-12**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this submittal and the contact names are as follows:

SEE "ATTACHMENT A" FOR THE NAMES OF THE NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS THAT NEED TO BE CONTACTED IN REGARDS TO THIS DRB SUBMITTAL – please attach this letter and Attachment A to your application packet – siw.

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH NA/HOA.**

7013 1090 0002 4279 6566

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Postage	\$ 0.49
Certified Fee	3.45
Return Receipt Fee (Endorsement Required)	2.80
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.74

RECEIVED

Postmark
Here
JUN 25 2015

Dekker/Perich/Sabatini

Sent To
Karen Daniel, Piedras Mercedas NA
Street, Apt. No.,
or P.O. Box No. 66815 Sherry Ann Rd. nw
City, State, ZIP+4
Albuquerque NM 87114

0859 6224 0002 4279 6580

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Certified Fee	3.45
Return Receipt Fee (Endorsement Required)	2.80
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.74

RECEIVED

Postmark
Here
JUN 25 2015

Dekker/Perich/Sabatini

Sent To
Maria Warren, Paradise Hills CA
Street, Apt. No.,
or P.O. Box No. 5020 Russell NW
City, State, ZIP+4
Albuquerque NM 87114

7013 1090 0002 4279 6597

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Certified Fee	3.45
Return Receipt Fee (Endorsement Required)	2.80
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.74

RECEIVED

Postmark
Here
JUN 25 2015

Dekker/Perich/Sabatini

Sent To
Lawrence Fendall, Piedras Mercedas NA
Street, Apt. No.,
or P.O. Box No. 6600 Tia Christina Dr. nw
City, State, ZIP+4
Albuquerque NM 87114

0859 6224 0002 4279 6577

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OFFICIAL USE

Postage	\$ 0.49
Certified Fee	3.45
Return Receipt Fee (Endorsement Required)	2.80
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.74

RECEIVED

Postmark
Here
JUN 25 2015

Dekker/Perich/Sabatini

Sent To
Tom Anderson Paradise Hills CA
Street, Apt. No.,
or P.O. Box No. 6600 Plunkett Dr. nw
City, State, ZIP+4
Albuquerque NM 87114

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **06/23/15** Time Entered: **11:50 a.m.** ONC Rep. Initials: **siw**

“ATTACHMENT A”

(DRB SUBMITTAL) – TRACT D PLAT OF FOUNTAIN HILLS PLAZA SUBDIVISION (A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A, ALBUQUERQUE WEST, UNIT 1, LOT 10-A-, BLOCK D, ALBUQUERQUE WEST AND TRACT B, RICHLAND HILLS, UNIT 1 LOCATED ON PARADISE BOULEVARD NW BETWEEN NUNZIO AVENUE NW AND EAGLE RANCH ROAD NW Zone Map: C-12 for Tim Trujillo or Chris Gunning, Dekker/Perich/Sabatini.

PARADISE HILLS CIVIC ASSOC. “R”

***Tom Anderson**

10013 Plunkett Dr. NW/87114 304-0106 (c)

Maria Warren

5020 Russell NW/87114 440-2240 (c)

PIEDRAS MARCADAS N.A. “R”

Lawrence Fendall

8600 Tia Christina Dr. NW/87114

Karen Daniel

4815 Sherry Ann Rd. NW/87114 293-3614 (h)

***President of NA/HOA**

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Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 6.74	

Sent To
Tom Anderson Paradise Hills CA
Street, Apt. No.,
or PO Box
118013 Plunkett Dr. nw
City, State, ZIP+4
Albuquerque Nm 87114
PS Form 3800, August 2006 See Reverse for Instructions

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Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 6.74	

Sent To
Lawrence Fendall, Piedras Marcadas N
Street, Apt. No.,
or PO Box
5000 Tia Christina Dr. nw
City, State, ZIP+4
Albuquerque Nm 87114
PS Form 3800, August 2006 See Reverse for Instructions

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Total Postage & Fees	\$ 6.74	

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Karen Daniel, Piedras Mercadas NA
Street, Apt. No.,
or PO Box
11815 Sherry Ann Rd. nw
City, State, ZIP+4
Albuquerque Nm 87114
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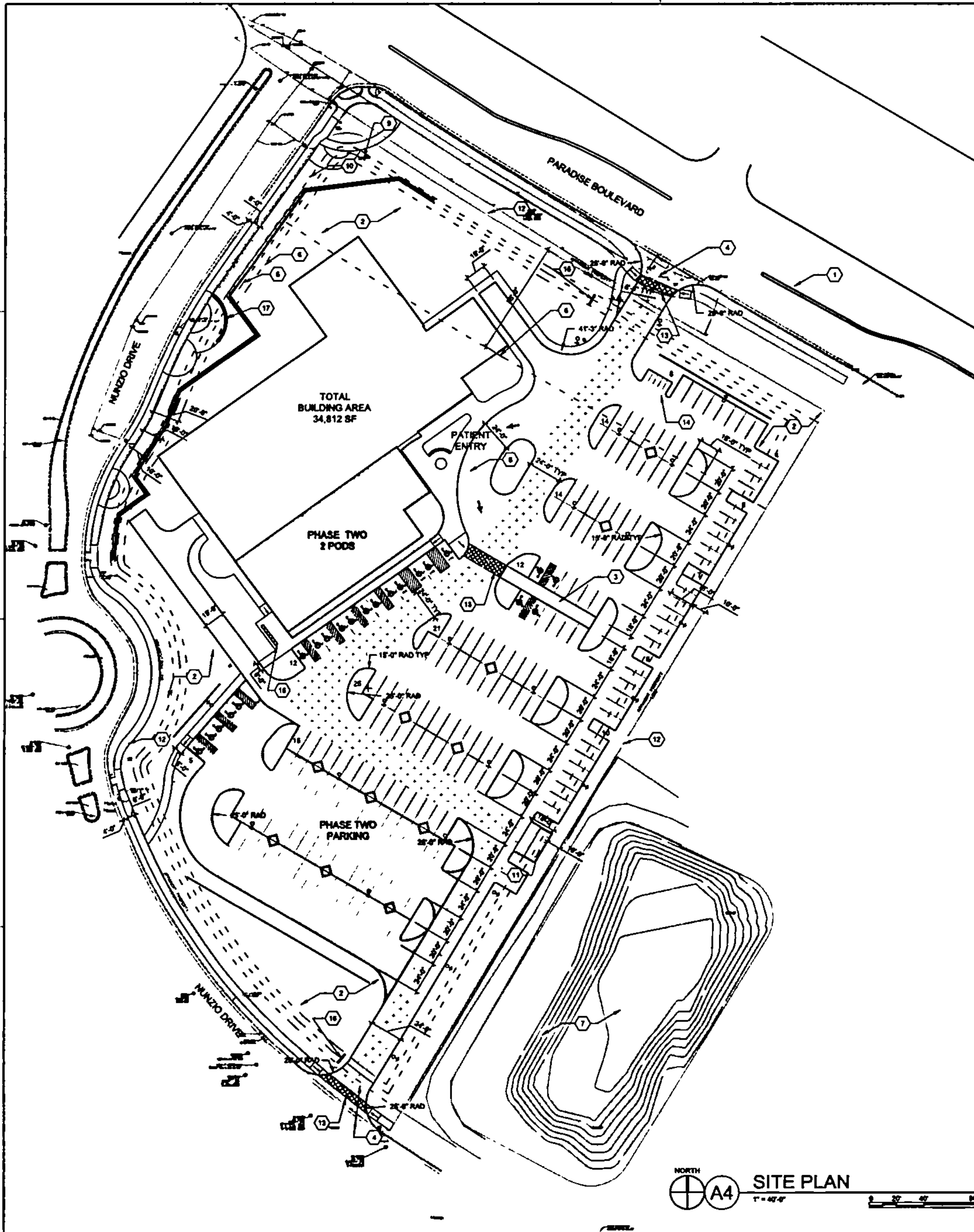
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Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 6.74	

Sent To
Maria Warren, Paradise Hills CN
Street, Apt. No.,
or PO Box
5020 Russell NW
City, State, ZIP+4
Albuquerque Nm 87114
PS Form 3800, August 2006 See Reverse for Instructions



GENERAL SHEET NOTES

1. THESE PLANS HAVE BEEN DEVELOPED BASED ON THE GUIDELINES ESTABLISHED IN THE SUBDIVISION PLAN FOR FOUNTAIN HILLS PLAZA DATED SEPT 4 2007
2. THIS SUBMITTAL ILLUSTRATES THE DESIGN INTENT FOR A NEW HOTEL TO BE CONSTRUCTED ON TRACT D OF THE PRESBYTERIAN OLD TOWN INN COMPLEX (#1000318), ALONG WITH ASSOCIATED SITE, LANDSCAPE, GRADING, AND UTILITIES IMPROVEMENTS.
3. IN A SEPARATE EPC SUBMITTAL, TRACT D WILL BE REMOVED FROM THE OVERALL SITE DEVELOPMENT PLAN ASSOCIATED WITH THE EXISTING HOTEL, ALBUQUERQUE. THE PRIMARY REASON FOR REMOVING TRACT D IS TO ESTABLISH SEPARATE ZONING THAT IS MORE ALIGNED WITH THE NEW HOTEL OBJECTIVES.
4. SEE SHEET SDP-1.2 FOR NEW DESIGN STANDARDS THAT WILL APPLY TO TRACT D. IT IS ANTICIPATED THAT THERE WILL BE A SHARED PARKING AGREEMENT BETWEEN THE EXISTING HOTEL (TRACTS A & B) AND TRACT D TO SUPPORT PARKING DEMAND FOR THE NEW HOTEL. BEYOND WHAT IS PROVIDED ON THE TRACT.
5. PHASES OF DEVELOPMENT: THE PROPOSED MODIFICATIONS TO THE POOL AREA WILL BE MADE IN A FUTURE PHASE. SEE PHASING DIAGRAM ON SDP-1.2.
6. COURTYARD WALL (KEYNOTE 103) MAY NOT BE ONE CONTINUOUS MATERIAL. BREAKS WITH OTHER MATERIALS OR ARTISTIC ELEMENTS MAY BE INCORPORATED.
7. SITE LIGHTING SHALL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED LIGHT FIXTURES. SEE PLAN FOR POLE LOCATIONS.
8. MECHANICAL AND ELECTRICAL EQUIPMENT WILL BE SCREENED FROM VIEW WITHIN THE ENCLOSED SERVICE YARD AREA. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF EQUIPMENT DOOR, AND 6'-0" OF CLEARANCE ON REMAINING THREE SIDES.

○ SHEET KEYED NOTES

1. NEW TURN LANE
2. LANDSCAPE AREA
3. PEDESTRIAN PATHWAY
4. NEW CURB CUT
5. BUILDING SETBACK MINIMUM
6. BUILDING SETBACK MAXIMUM
7. EXISTING RETENTION POND
8. PATIENT DROP-OFF
9. FREESTANDING MONUMENT SIGN
10. PARKING SETBACK
11. DUMPSTER ENCLOSURE
12. PROPERTY LINE
13. CROSSWALK
14. MOTORCYCLE PARKING
15. BIKE RACKS
16. DIRECTORY SIGN
17. SITE BENCH

LEGEND

- PROPERTY LINE
- - - EXISTING EASEMENT (ALL EASEMENTS ARE EXISTING)
- RETAINING WALL
- 36" PARKING SCREEN WALLS
- 72" PLAZA WALLS
- 42" GUARD RAILS
- ▨ 6'-0" WIDE CONCRETE CROSSWALK
- ▩ SIDEWALK RAMP; ARROW POINTS DOWN
- 20'-0" POLE LIGHT FULL CUT-OFF WITH (2) LED LIGHT ENGINES
- ▨ FIRE DEPARTMENT ACCESS PATH
- FIRE HYDRANT (2 NEW AND 4 EXISTING)

PROJECT NUMBER: 1000318
 APPLICATION NUMBER: DRB Site Development Plan-Building Permit

Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DBC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
FIRE MARSHALL	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

PROJECT DATA

BUILDING AREA
 PHASE 1: 2,761 SF (INCLUDING TRICORE AREA 2,804 SF)
 PHASE 2: 6,089 SF
 FULL BUILD OUT AREA: 34,812 SF

CONSTRUCTION TYPE: III
 OCCUPANCY TYPE: B

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

PARKING CALCULATIONS

PARKING PROVIDED PER PROVIDER. CLINICAL PROVIDERS INCLUDE: DOCTORS OF MEDICINE, MEDICAL PHYSICIAN ASSISTANTS, NURSE PRACTITIONERS, PHLEBOTOMISTS OR LAB TECHNICIANS, NUTRITIONISTS AND BEHAVIOR HEALTH PROFESSIONALS

SPACE	ALL STAFF	EXAM ROOMS	PROVIDERS
	PHASE 1	PHASE 2	PHASE 1
PRIMARY CARE	34	56	28
URGENT CARE	10	12	15
TRICORE LABS	12	12	10
TOTAL	57	80	53

BASIC PARKING
 PHASE 1
 28 PROVIDERS AT 5 SPACES/ PROVIDER = 140 SPACES
 +10% = 154 SPACES
 TOTAL MAX PARKING PHASE 1 = 154 SPACES

FULL BUILD OUT
 28 PROVIDERS AT 5 SPACES/ PROVIDER = 140 SPACES
 +10% = 154 SPACES
 TOTAL MAX PARKING FULL BUILD OUT = 208 SPACES

ACCESSIBLE PARKING
 PHASE 1: 154 SPACES, 10% (15) REQUIRED
 15 SPACES PROVIDED: 12 ACCESSIBLE SPACES / 4 VAN SPACES

FULL BUILD OUT = TOTAL: 208 SPACES, 10% (21) REQUIRED
 21 SPACES PROVIDED: 17 ACCESSIBLE SPACES / 4 VAN SPACES

MOTORCYCLE SPACES
 1 REQUIRED FOR 101-200 SPACES (BOTH PHASE ONE AND FULL BUILD OUT)
 5 PROVIDED AT PHASE ONE

BIKE PARKING
 1 PER 20 PARKING SPACES REQUIRED FOR AUTOMOBILES.
 208 SPACES AT FULL BUILD OUT = 11 BIKE SPACES REQUIRED AT FULL BUILD OUT
 13 PROVIDED AT PHASE ONE



ARCHITECTURE / DESIGN / INSPIRATION

DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100
 ALBUQUERQUE, NM 87119
 505.761.7700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

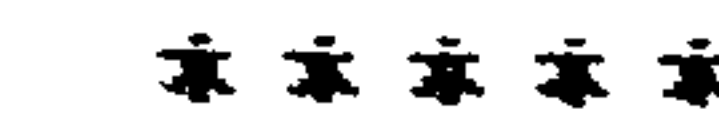
PRESBYTERIAN PARADISE CLINIC
 4588 PARADISE BLVD
 ALBUQUERQUE, NM

REVISIONS

△	
△	
△	
△	

DRAWN BY: _____
 REVIEWED BY: _____
 DATE: 06/25/2015
 PROJECT NO: 15-0028
 DRAWING NAME: SITE PLAN

SHEET NO: **SDP-1.1**



○ SHEET KEYED NOTES

- 3'-6" TALL SCREEN WALL
- URBAN PLAZA PEDESTRIAN AMENITY
- PHASE TWO LIMITS
- CLEAR SITE TRIANGLE
- METAL SITE FURNISHINGS
- EXISTING EASEMENT
- EXISTING TREE TO BE REMOVED
- PROPOSED POONDING AREA, SEE CIVIL

PLANTING NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE INSTALLATION DURING CONSTRUCTION AND DURING A 90-DAY MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE GENERAL LANDSCAPE REGULATIONS SECTION 14-16-3-10: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS APPLICABLE TO NON-RESIDENTIAL DEVELOPMENT.
- EXISTING PLANT MATERIALS: THE PLANT MATERIAL ON THE MAJORITY OF THE PROPERTY WILL NOT BE AFFECTED BY THE PROPOSED CHANGES TO TRACT XX. A FEW TREES WILL NEED TO BE REMOVED TO ACCOMMODATE THE NEW DESIGN. THESE TREES WILL BE REPLACED BY NEW STREET TREES.
- STREET TREE PLAN: STREET TREES ARE PLANTED 30' ON CENTER OR LESS AS INDICATED ON THE PLANS. STREET TREES WILL BE PLANTED IN A CONTINUOUS TREE TRENCH IN ORDER TO MAXIMIZE THE AMOUNT OF SPACE AVAILABLE FOR TREE ROOT GROWTH. STREET TREE PLACEMENT HAS BEEN COORDINATED WITH ON-STREET PARKING STRIPING IN ORDER TO ALLOW EASY ACCESS TO THE SIDEWALK AND TO PROTECT THE TREES.
- TURF AREA: GRASS TURF AREAS ARE NOT INCLUDED IN THIS PLAN.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 90 DAYS OF THE BUILDING OCCUPANCY. LANDSCAPE IMPROVEMENTS WILL BE PHASED IN ASSOCIATION WITH THE PHASED SITE DEVELOPMENT INDICATED.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION, MULCH OR SEED.
- VEGETATION: A MINIMUM OF 40% OF INSTALLED SHRUBS, ACCENT PLANTS AND ORNAMENTAL GRASSES WILL BE EVERGREEN IN ORDER TO PROVIDE SIGNIFICANT WINTER INTEREST AND VISUAL IMPACT.
- WATER HARVESTING: PASSIVE AND ACTIVE WATER HARVESTING ZONES ARE INDICATED ON THE PLANS. SEE IRRIGATION NOTES.
- LANDSCAPING FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SOME WALLS, TREES, AND SHRUBBERY BETWEEN 2' AND 7' (AS MEASURED FROM THE GUTTER PAW) WILL NOT BE ACCEPTABLE IN THIS AREA.

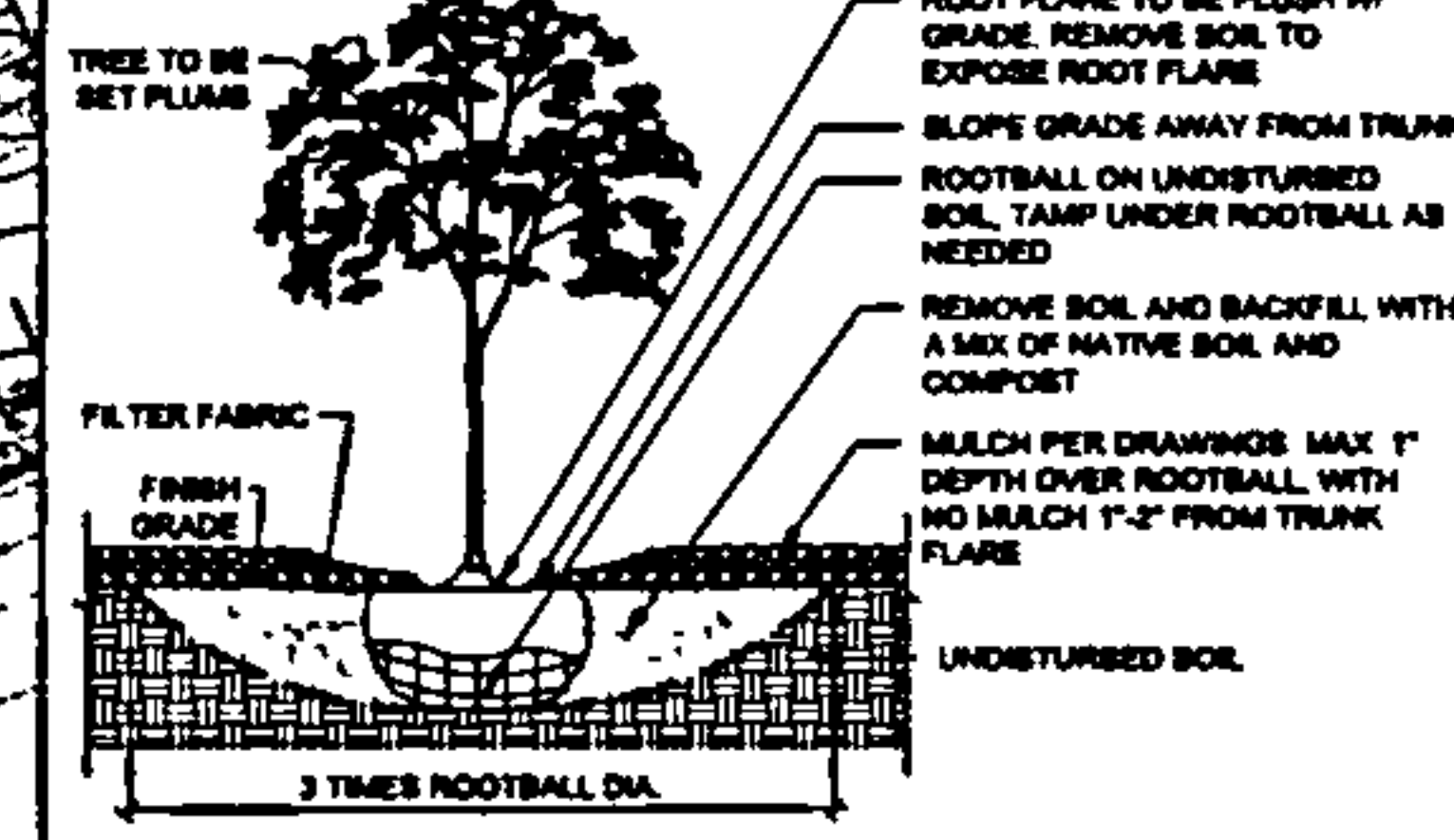
IRRIGATION NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE IRRIGATION INSTALLATION DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATE OF COMPLIANCE WITH WATER CONSERVATION REGULATIONS: THE IRRIGATION DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- IRRIGATION DESIGN DESCRIPTION: A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE PLANTS IN THE PROJECT AREA. IRRIGATION MAY BE DESIGNED IN PART OR IN TOTAL AS AN EXTENSION OF THE EXISTING IRRIGATION SYSTEM FOR THE EXISTING HOTEL. THE IRRIGATION SYSTEM WILL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO WATER REQUIREMENTS. ON AVERAGE, EACH TREE SHALL RECEIVE THREE (3) - TWO (2) GPH EMITTERS EACH AND ALL OTHER PLANT MATERIAL SHALL RECEIVE TWO (2) - ONE (1) GPH EMITTERS EACH.
- WATER SOURCE AND PROTECTION: THE WATER SOURCE FOR PROJECT IRRIGATION WILL BE CITY WATER. IF THE EXISTING IRRIGATION SYSTEM DESIGN IS INSUFFICIENT TO ACCOMMODATE THE LANDSCAPING FOR THE NEW HOTEL, IRRIGATION WATER SUPPLY WILL BE PROVIDED OFF OF THE HOTEL DOMESTIC SUPPLY LINE. A NEW BACKFLOW PREVENTER AND MASTER VALVE WILL BE PROVIDED PER COA STANDARD DETAIL 2701.
- WATER HARVESTING: PASSIVE AND ACTIVE WATER HARVESTING ZONES ARE INDICATED ON THE ENLARGEMENT PLANS (SEE SHEET SDP-2.3). THE NEW HOTEL WILL DIRECT ROOF STORMWATER TO CISTERNS IN ORDER TO MANAGE OFF-SITE STORMWATER FLOWS. THE WATER IN THE CISTERNS WILL BE USED FOR IRRIGATION PURPOSES IN ORDER TO REDUCE POTABLE WATER USE FOR IRRIGATION.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 6.13 AC = 223,496 SF
 AREA OF LOT COVERED BY BUILDING (AT FULL BUILD-OUT) = 34,812 SF
 NET LOT AREA = 188,684 SF
 REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 28,303 SF
 PROVIDED LANDSCAPE AREA (AT FULL BUILD-OUT) = 77,860 SF = 41.3%
 LANDSCAPE AREA CALCULATION DOES NOT INCLUDE 0.0 IF THERE IS NO HIGH WATER USE TURF GRASS ON THIS PROJECT
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
 NUMBER OF PARKING = 209 (AT FULL BUILD-OUT)
 REQUIRED NUMBER OF TREES = 21 TREES
 PROVIDED NUMBER OF TREES = 38 TREES

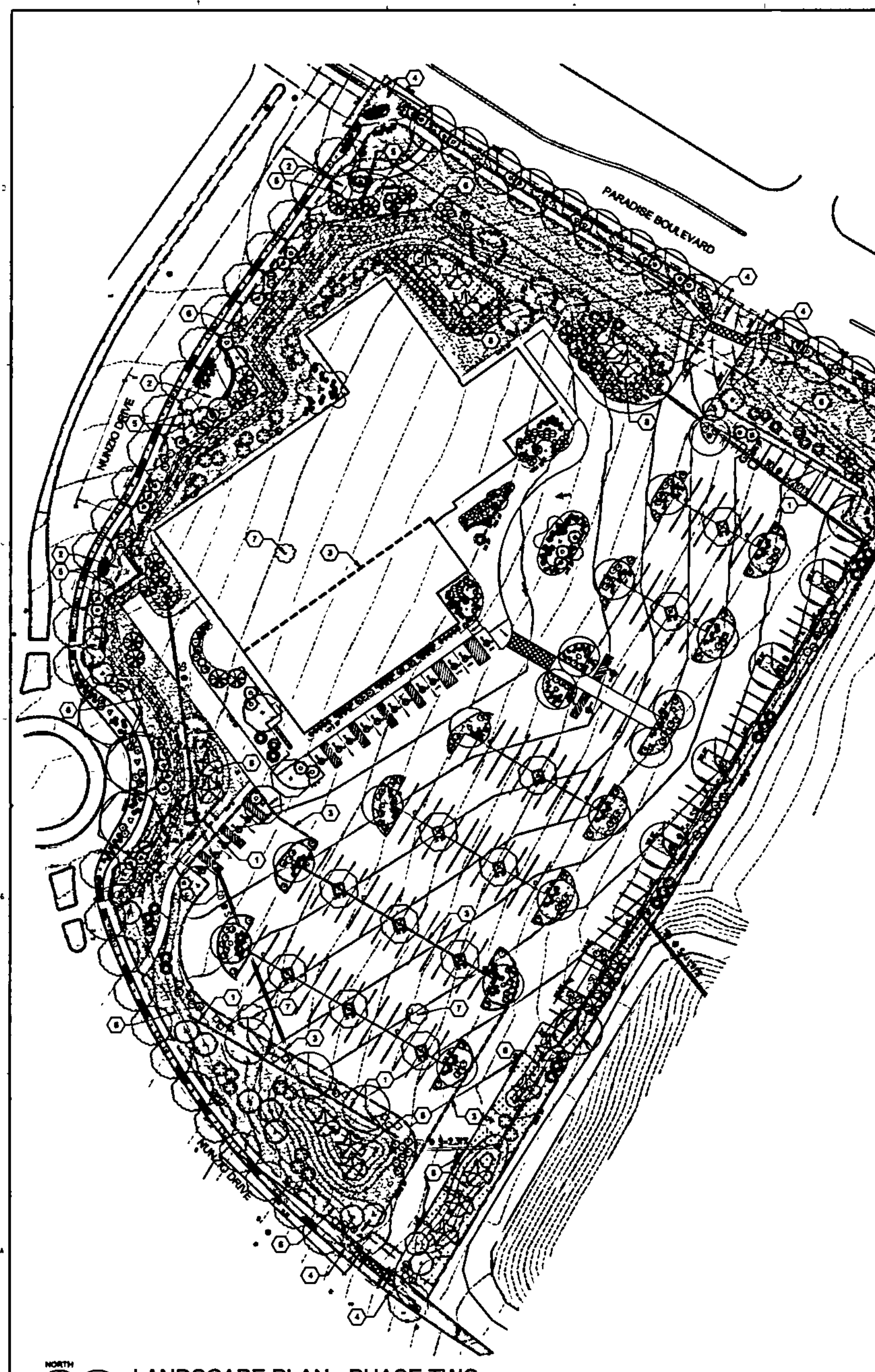
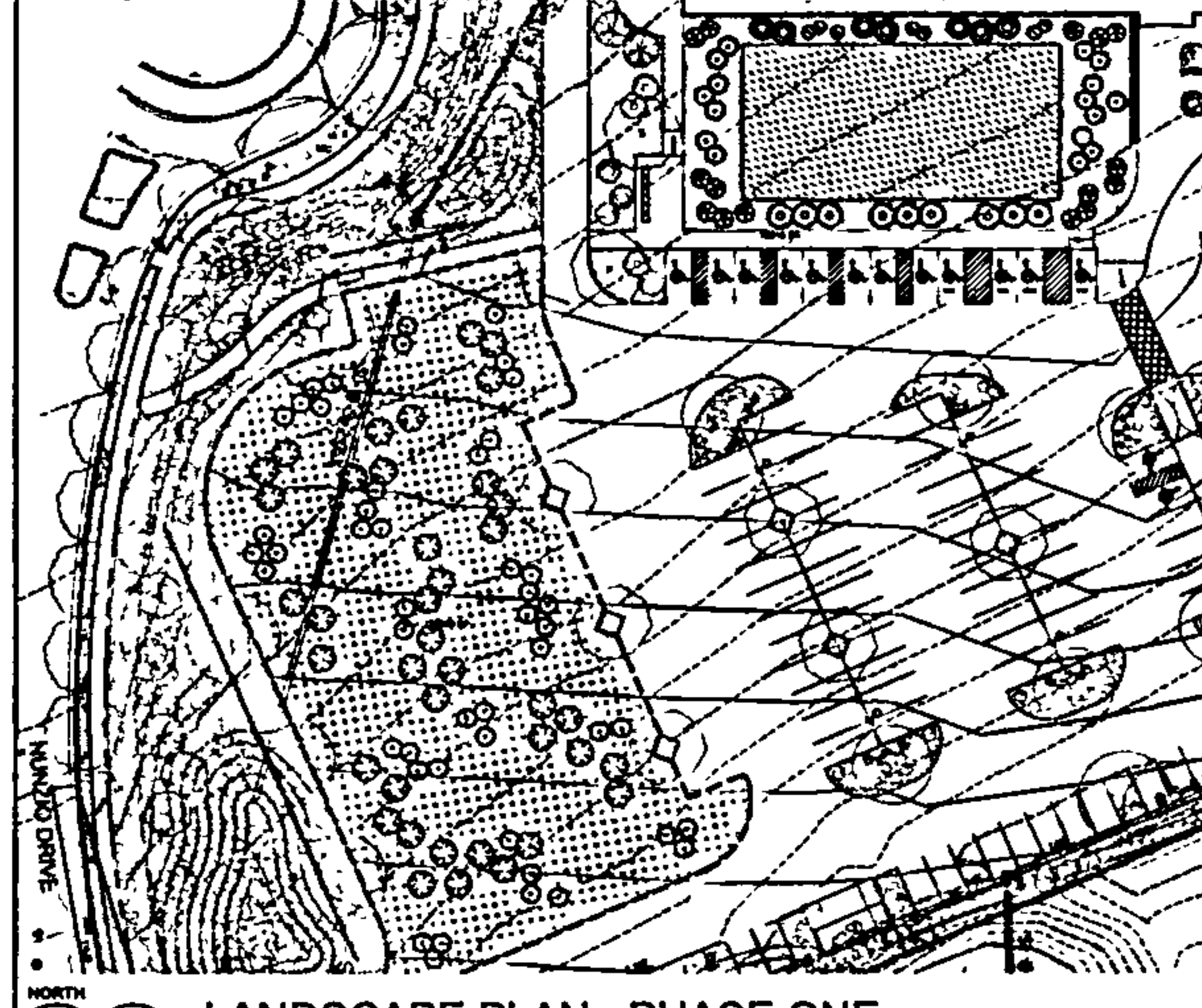
NOTES:
 PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL.
 BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING



A5 TREE
3/4" = 1'-0"

PLANTING LEGEND

SYMBOL	COMMON NAME	SCIENTIFIC NAME
TREES - SEE GROUP 1.1		
○	BLISS DESERT WILLOW	Chilopsis linearis 'Subul'
○	LEYLAND CYPRISS	Cupressopsis leylandii
○	NEW MEXICO OLIVE	Fraxinus pennsylvanica
○	RAYWOOD ASH	Fraxinus viridis 'Raywood'
○	MODESTO ASH	Fraxinus viridis 'Modest'
○	GOLDBIRCH TREE	Koeleria paniculata
○	AFGHAN PINE	Pinus indiana
○	AMSTOCRAT PEAR	Pyrus ussuriensis 'Amstoc'
○	ESCAMENT LIVE OAK	Quercus laevis
○	MEXICAN BLOOM	Bursera mexicana
○	FRONTIER BLM	Ulmus 'Frontier'
SHRUBS		
○	THOMPSON BROOM	Baccharis hybrid 'Stem Throat'
○	BLUE MIST SPRAEA	Caryocarpus attenuatus 'Dawn Knight'
○	MOUNTAIN MAHOGANY	Cercocarpus montanus
○	DABAWITA	Chrysothamnus montanus
○	RED CLUSTERBERRY	Crotonotus parviflorus
○	BAILEY'S REDTWO DOGWOOD	Cornus verticillata 'Bailey'
○	PURPLE ROCK ROSE	Cistus s. pedunculatus
○	CHAMISA	Eriogonum fasciculatum
○	ARCHIE PLUME	Foliate peruviana
○	BUFFALO ZAPPER	Juniperus spicata 'Buffalo'
○	DWARF FRAGRANT SUMAC	Rhus aromatica 'Dwarf-Low'
PERENNIALS		
○	PINK CLOUD GALIA	Scilla triflorum 'Pink Cloud'
○	WALKER'S LOW CATMINT	Hypoxis Walker's Low'
○	CHRISPY BAGE	Solanum 'Crispy'
ACCENTS		
○	TEXAN DESERT SPOON	Dasylirion linearis
○	RED YUCCA	Yucca linearis 'Red'
○	BEARGRASS	Hesperaloe parviflora
○	PALE LEAF YUCCA	Yucca pallida
GRASSES		
○	KARL FORNIER FEATHER REED GRASS	Colymbopogon acutifolius 'Carl Forner'
○	BLUE AVENA GRASS	Holcus lanatus 'Blue'
○	DEER GRASS	Muhlenbergia rigida
○	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Dwarf'
SEEDS AND MULCH		
■	CRUSHER PINES ROCK MULCH OVER FILTER FABRIC, COLOR: BROWN	
■	1/2" ROCK MULCH OVER FILTER FABRIC, COLOR: GOLD	
■	1" ANGULAR COBBLE OVER FILTER FABRIC, COLOR: GOLD	
■	BUFFALO BLUE GRAMA REED BLEND	
■	NATIVE REED BLEND	



A1 LANDSCAPE PLAN - PHASE TWO
1" = 40'-0"

GENERAL NOTES

1. ALL WORK DETAIL ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER RUNOFF.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION SUPERVISOR OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT THE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPROPRIATELY IDENTIFIED DURING CONSTRUCTION SHALL REQUIRE RELOCATION, SHALL BE COOPERATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ABANDONMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RELOCATE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LOTS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LINES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., EXCAVATING, TOPSOIL REMOVAL, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY OWNERS RESIDING DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY OWNERS MUST BE NOTICED BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SCHEDULING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL DRIVEWAYS AND CONSTRUCTION SCHEDULING SHALL CONFORM TO APPLICABLE SECTIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS DEPARTMENT OF TRANSPORTATION LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION DRIVEWAYS AND SCHEDULING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL DRIVEWAYS AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

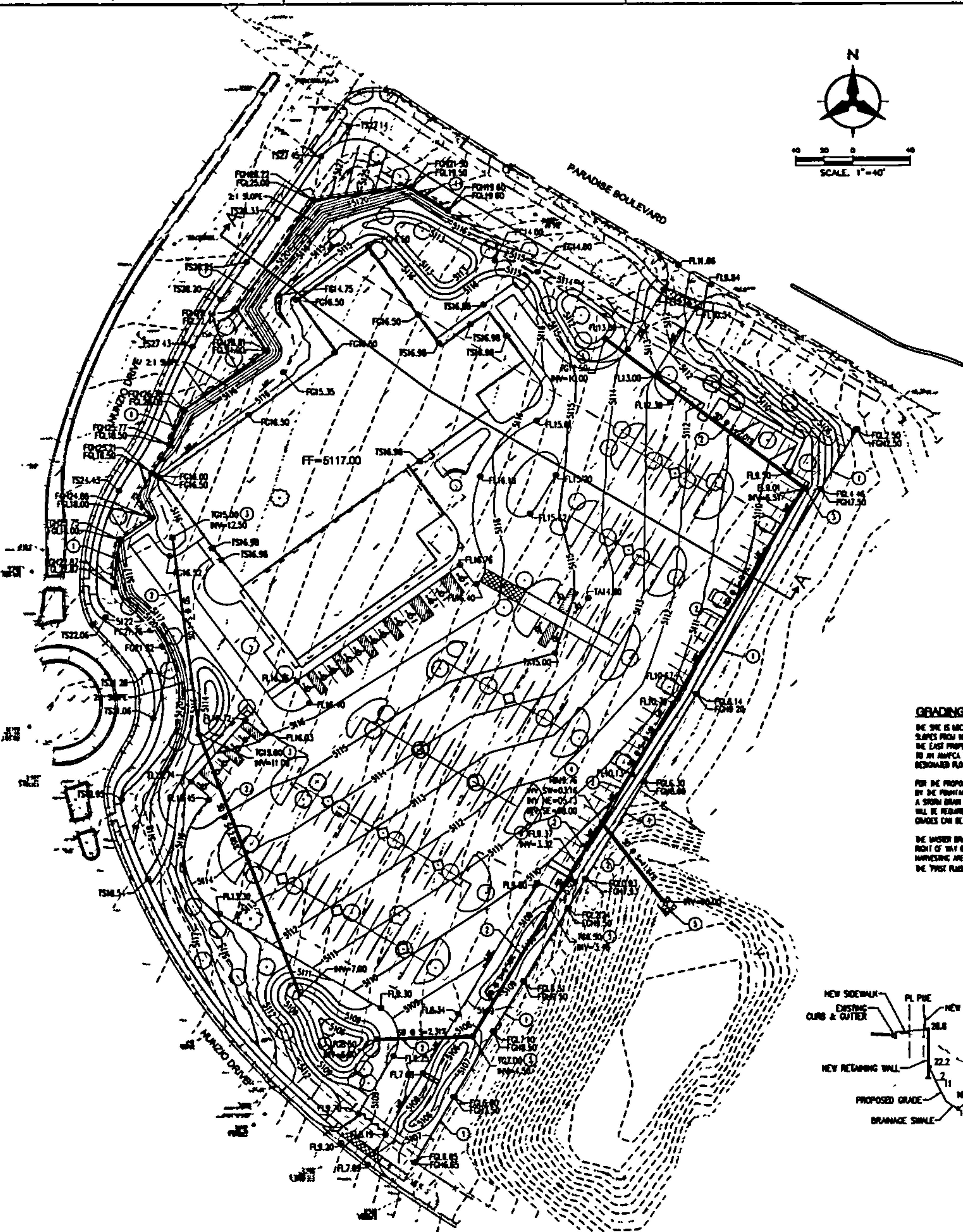
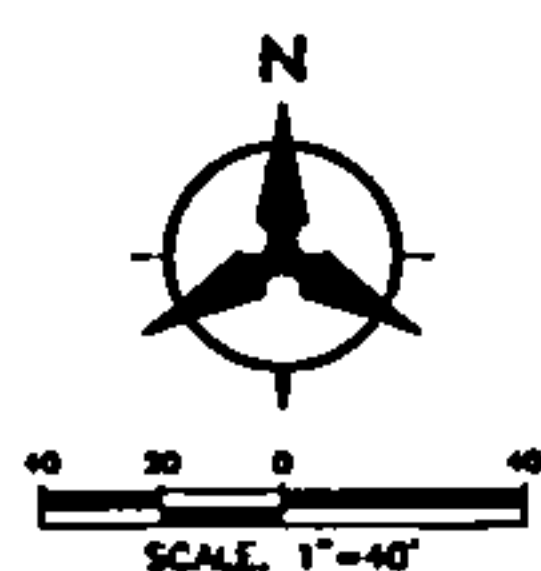
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE BENCHMARK AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCORPORATED TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION AND PERMITS INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION" ALL OTHER WORK SHALL UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (BEST PRACTICE) SPECIFICATIONS AND/OR THE CITY OF ALBUQUERQUE (CDA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EXISTING SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IF IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO EXERCISE DUE CARE TO NOT INFRINGE UPON THE SITE AND ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNDESIRABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE DESIGNER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND FILL TO BE FURNISHED SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. FINISH AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. FINISH BENCHMARK SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF BENCHMARK CONTROL. SEARCH PRIOR TO BEGINNING CONSTRUCTION.

KEYED NOTES

1. RETAINING WALL.
2. STORM DRAIN PIPE.
3. STORM DRAIN INLET.
4. STORM DRAIN MANHOLE.
5. RIP-RAP PAD.

LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOURS
- DESIRED GRADE SPOT ELEVATION
- ELEVATION
- PROPOSED SPOT ELEVATION
TC=TOP OF CURB, FL=FLOW LINE
FS=TOP OF SIDEWALK, SA=TOP OF ASPHALT
EX=EXISTING, PG=PROPOSED GRADE
IS=TOP OF DRIVE, HW=HEIGHT
FH=FINISHED GRADE HIGH
FL=FINISHED GRADE LOW
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK / BUMP OR HOOT POINT
- PROPOSED RETAINING WALL
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- CEMENTUM
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET

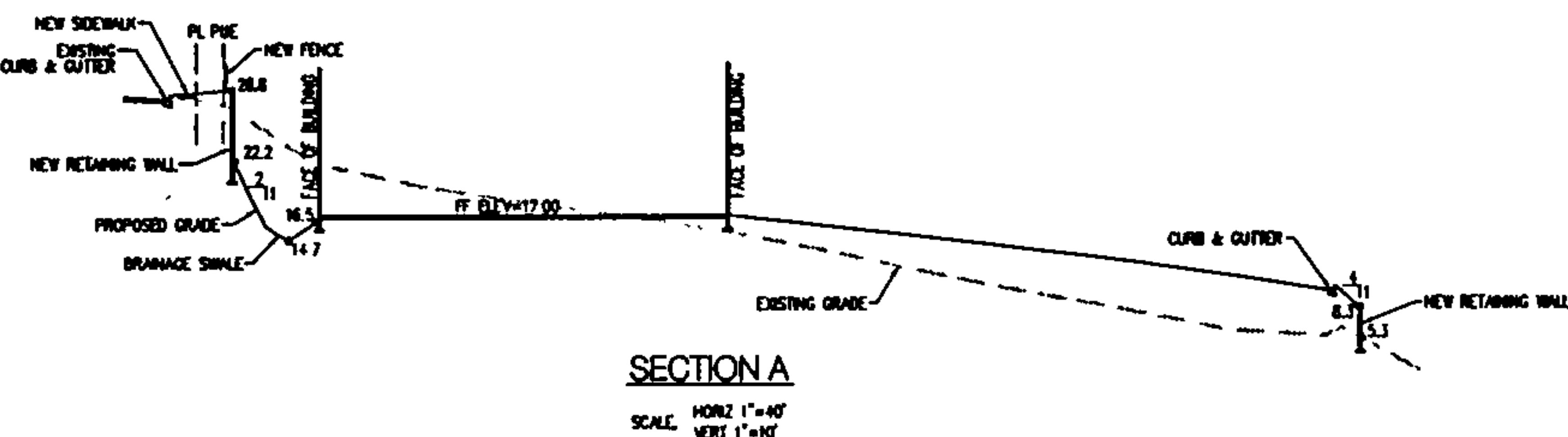


GRADING & DRAINAGE NARRATIVE

THE SITE IS LOCATED ON TRACT 8 OF PIONEER HILLS PLAZA AND IS APPROXIMATELY 5.1 ACRES. THE SLOPES FROM WEST TO EAST AT AN AVERAGE SLOPE OF ROUGHLY 3% ELEVATIONS RANGE FROM 5800 AT THE EAST PROPERTY LINE TO 5127 AT PARADISE AVE. NEAR PARADISE BLVD. THE SITE CURRENTLY DRAINS TO AN AMFCA DETENTION POND ADJACENT TO THE PROJECT SITE. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD PLAIN AS SHOWN ON FEMA PANEL NO. 5040, MAP NUMBER 33000010C.

FOR THE PROPOSED CONTOURS THE BUILDING WILL BE LOCATED ADJACENT TO PARADISE AVE. AS REQUIRED BY THE FRONTIERS HILLS DESIGN STANDARDS, THE SITE WILL DRAIN TO THE EAST AS IT HISTORICALLY HAS. A STORM DRAIN SYSTEM WILL CONVEY SITE DRAINAGE TO THE AMFCA DETENTION POND. RETAINING WALLS WILL BE REQUIRED ALONG THE EASTERN AND WESTERN SIDES OF THE SITE TO ENSURE THE REASONABLE GRADES CAN BE ACHIEVED IN THE PARKING LOT AND TO ACCOMMODATE PEDESTRIAN ACCESSIBILITY.

THE UNDER DRAINAGE REPORT OF THE SUBDIVISION ALLOWS FOR THIS SITE TO FREE DRAINAGE TO THE RIGHT OF WAY ON AMFCA DETENTION POND. NO DITCHES OR DETENTION PONDS ARE REQUIRED. WATER IMPROVING AREAS WILL BE INCORPORATED WITH THE LANDSCAPE DESIGN AND WILL BE SIZED TO MANAGE THE FIRST FLUSH RAIN FALL EVENT.



SECTION A
SCALE: HORIZ 1"=40'
VERT 1"=10'

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7601 JEFFERSON DR, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

PRESBYTERIAN PARADISE CLINIC

4588 PARADISE BLVD
ALBUQUERQUE, NM

REVISIONS

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△
△
△

DRAWN BY BO

REVIEWED BY GSB

DATE 08/29/2015

PROJECT NO. 15-0028

DRAWING NAME

SITE UTILITY PLAN

SHEET NO.

C-200
OF

UTILITY NOTES

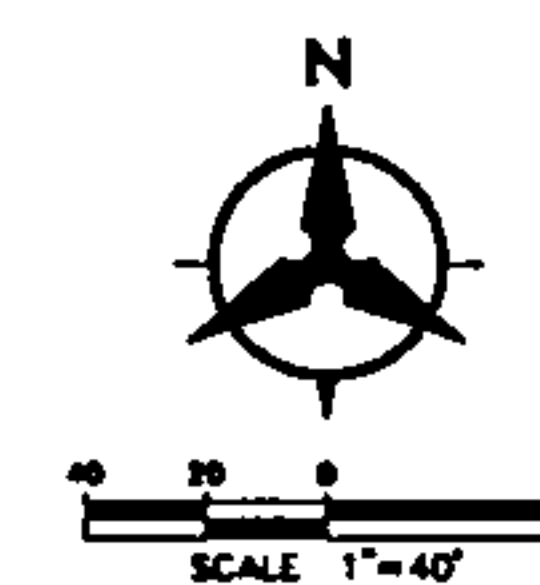
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PANS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND SCHEDULING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REWORKED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED BY REGION, BE CONSTRUCTED IN ACCORDANCE WITH THE NMPS UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (80:20) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD SPEC 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER MISCOP FEES FOR INSTALLATION. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PROGRAM AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY HEIGHTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

KEYED NOTES

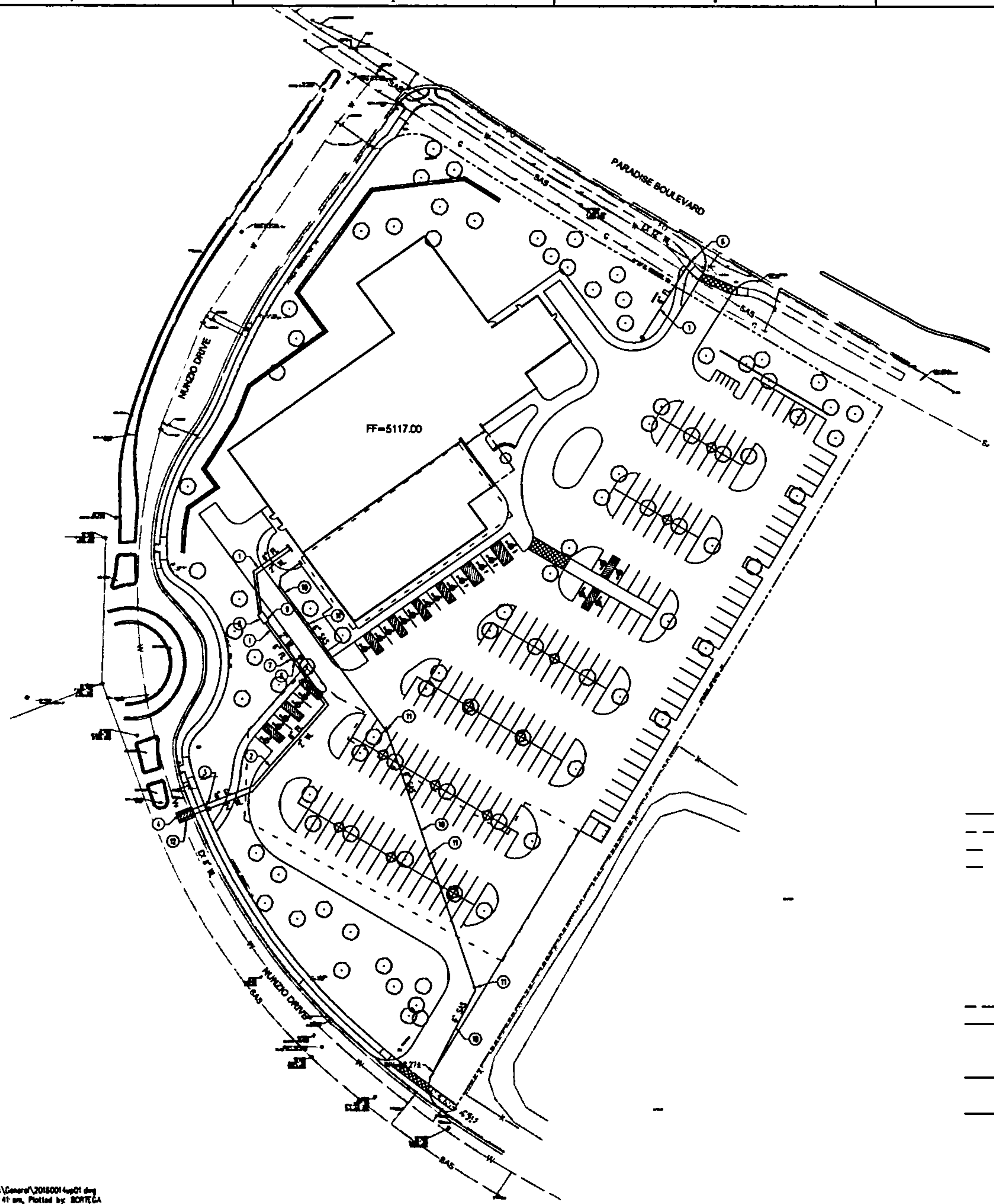
1. 6" FIRE LINE.
2. 8" FIRE LINE.
3. 8" GATE VALVE WITH POST INDICATOR.
4. 8"x8"x6" TEE & 8" GATE VALVE WITH BOX & LID.
5. 8"x8"x6" TEE, 6" GATE VALVE WITH BOX & LID AND 1 FIRE HYDRANT.
6. 12"x12"x6" TEE, 6" GATE VALVE WITH BOX AND LID AND 1 FIRE HYDRANT.
7. 8"x6" REDUCER.
8. 6" FIRE PROTECTION REDUCED PRESSURE BACKFLOW PREVENTER AND 2" DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER IN SINGLE HEATED ENCLOSURE.
9. REMOTE FIRE DEPARTMENT CONNECTION (FDC) AND CHECK VALVE TO BE INSTALLED DOWNSTREAM OF 6" REDUCED PRESSURE BACKFLOW PREVENTER AND MOUNTED TO THE HEATED ENCLOSURE.
10. 6" SANITARY SEWER SERVICE LINE.
11. SANITARY SEWER CLEANOUT.
12. REMOVE & REPLACE EXISTING ASPHALT PAVEMENT AND CONCRETE CURB & GUTTER FOR UTILITY TRENCH MATCH EXISTING.

LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
□	EXISTING WATER METER
~	EXISTING CAP
+	EXISTING VALVE
W	EXISTING FIRE HYDRANT
○	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN MANHOLE
○	EXISTING INLET
---	PROPOSED EASEMENT
---	PROPOSED SANITARY SEWER LINE
●	PROPOSED SANITARY SEWER MANHOLE
○	PROPOSED CLEANOUT
---	PROPOSED WATER LINE
+	PROPOSED VALVE
---	PROPOSED FIRE LINE
W	PROPOSED HYDRANT
~	PROPOSED CAP
W	PROPOSED WATER METER



Bohannon & Huston
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ARCHITECT

ENGINEER

PROJECT

PRESBYTERIAN PARADISE CLINIC
4588 PARADISE BLVD
ALBUQUERQUE, NM

REVISIONS

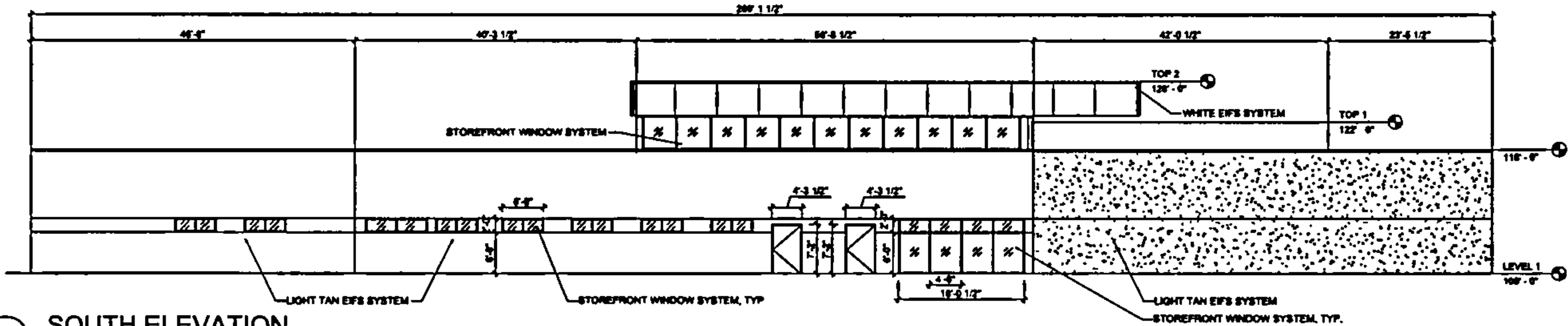
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 REVIEWED BY _____
 DATE 08/25/2015
 PROJECT NO 15-0028
 DRAWING NAME

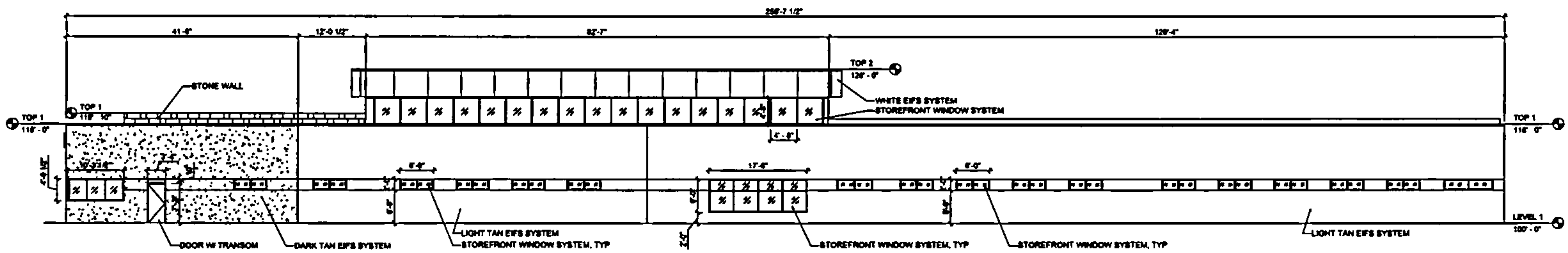
EXTERIOR
ELEVATIONS

SHEET NO.

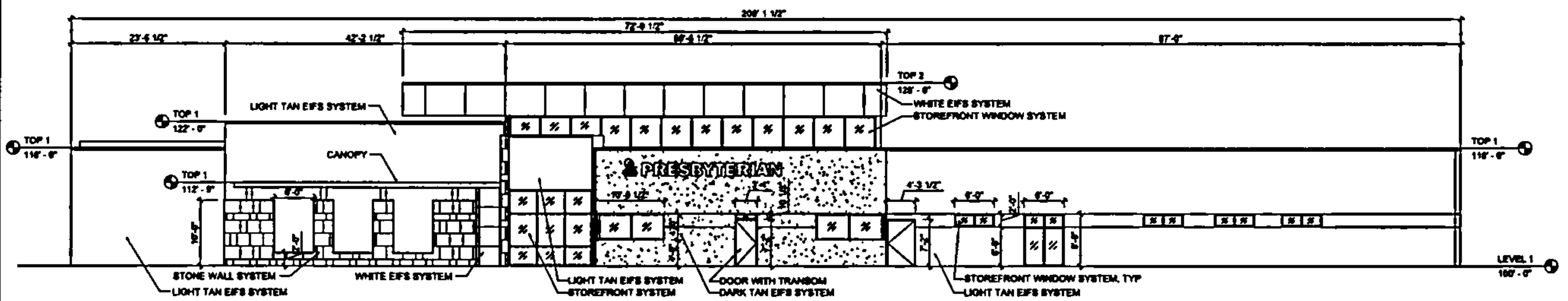
AE-201
OF



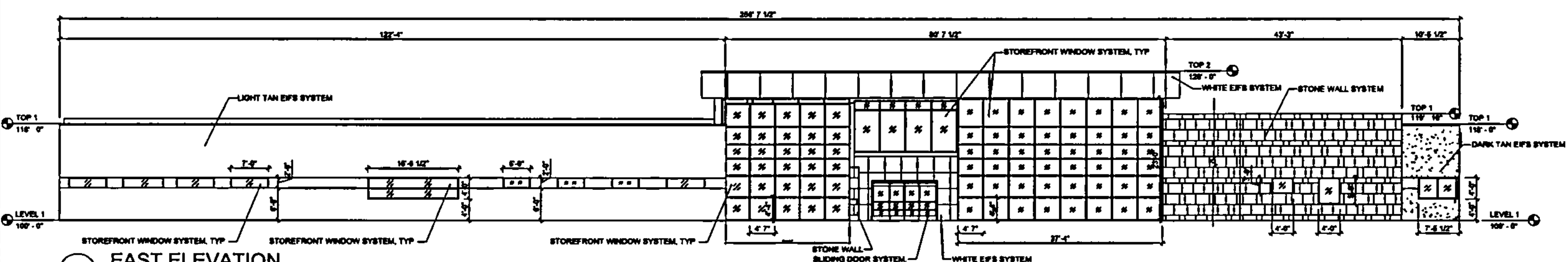
D1 SOUTH ELEVATION
3/32" = 1'-0"



C1 WEST ELEVATION
3/32" = 1'-0"



B1 NORTH ELEVATION
3/32" = 1'-0"



A1 EAST ELEVATION
3/32" = 1'-0"

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PROJECT

PRESBYTERIAN PARADISE CLINIC

4588 PARADISE BLVD
ALBUQUERQUE, NM

REVISIONS

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REVIEWED BY

DATE 08/25/2015

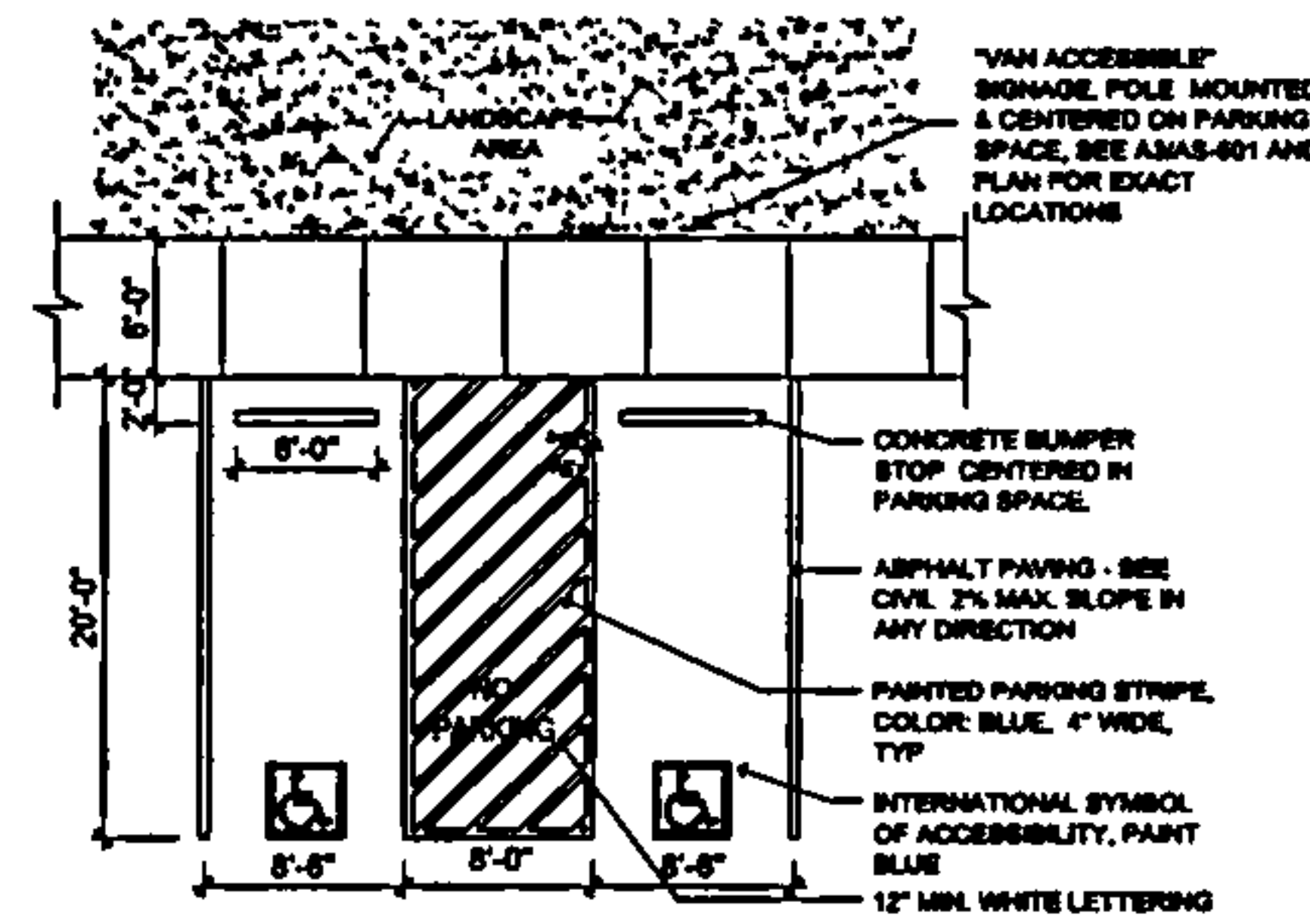
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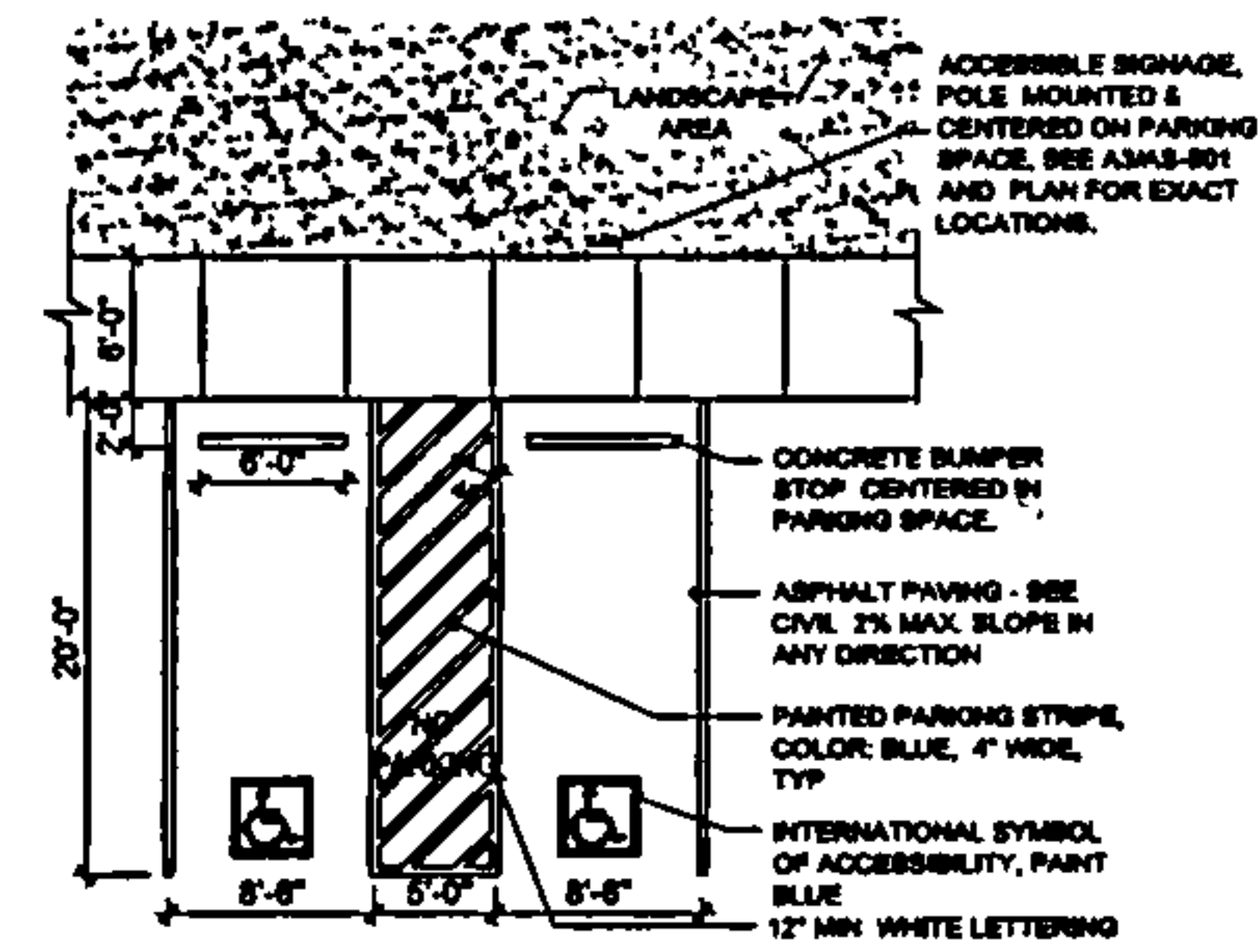
SITE DETAILS

SHEET NO

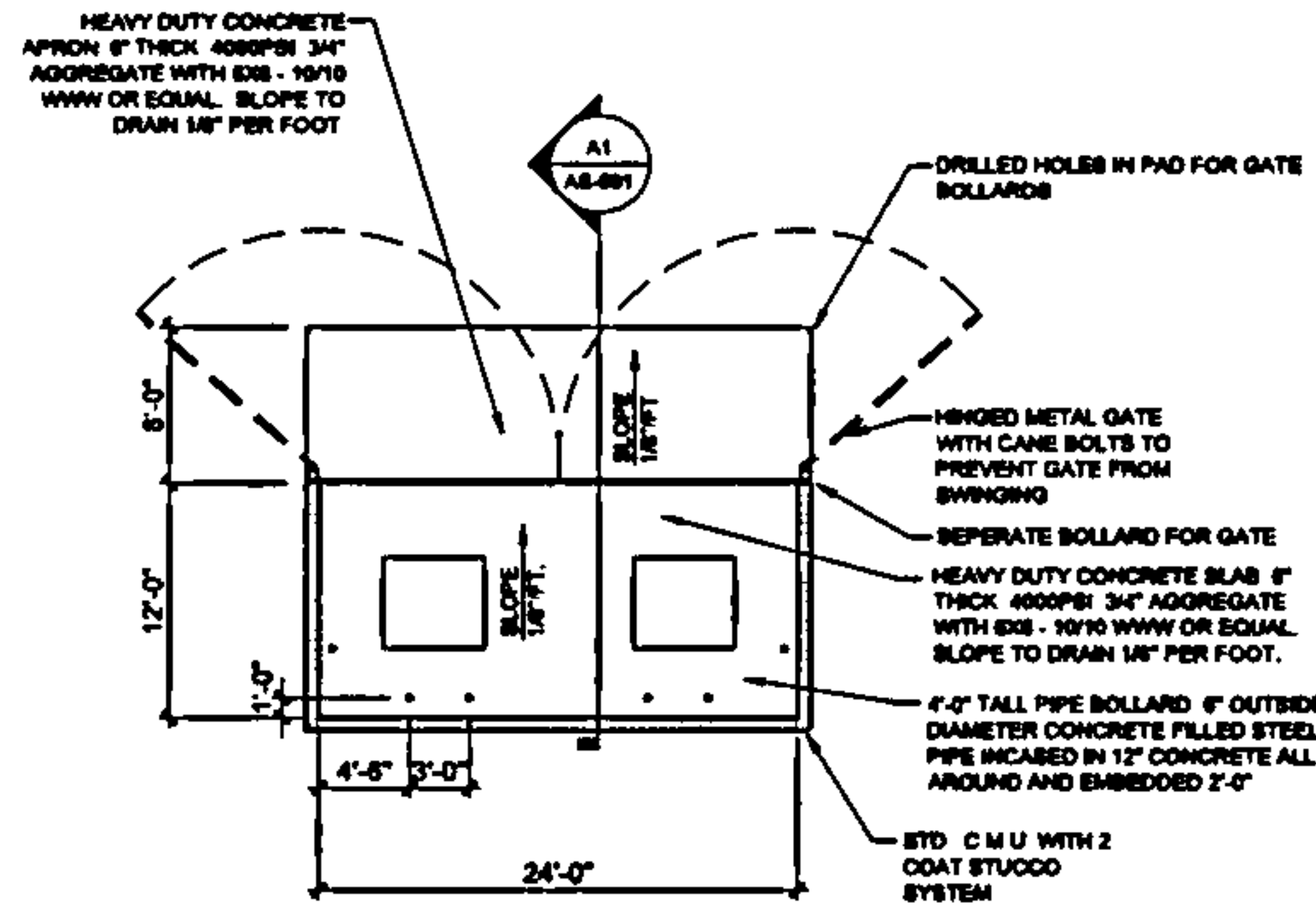
AS-501
OF



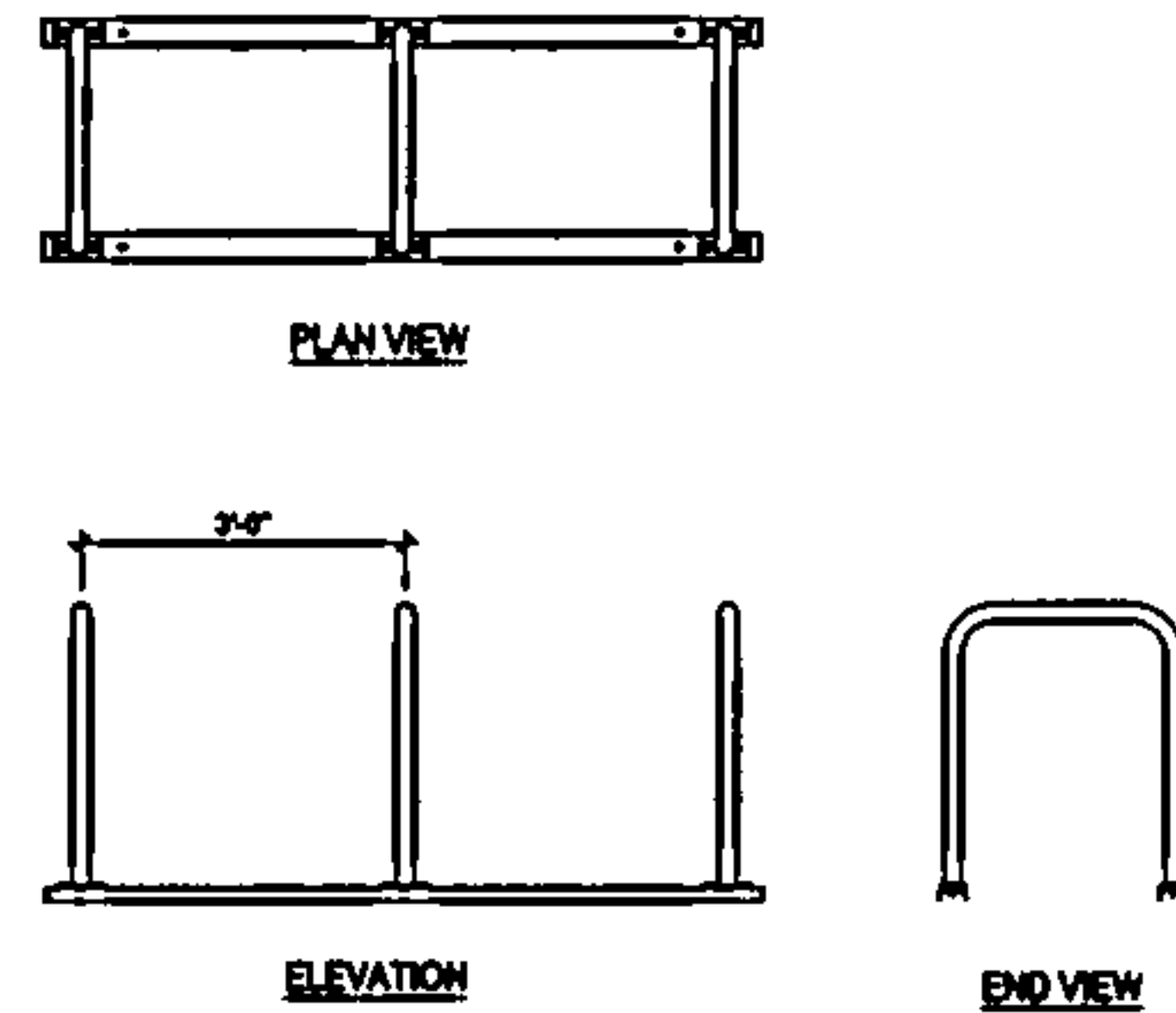
D3 ACCESSIBLE PARKING, VAN TYP. 1/8" = 1'-0"



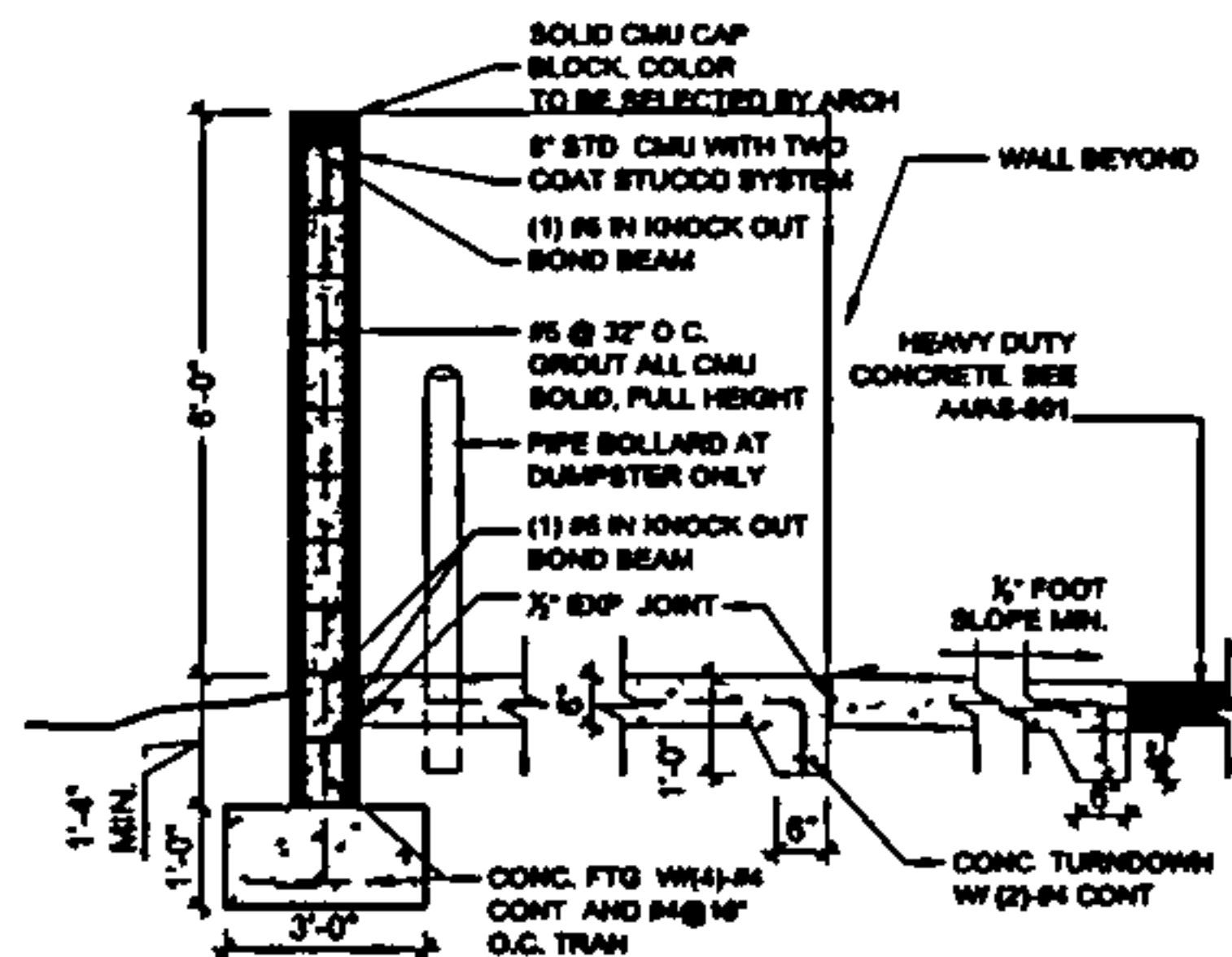
D5 ACCESSIBLE PARKING, CAR TYP. 1/8" = 1'-0"



B1 DUMPSTER ENCLOSURE PLAN 1/8" = 1'-0"

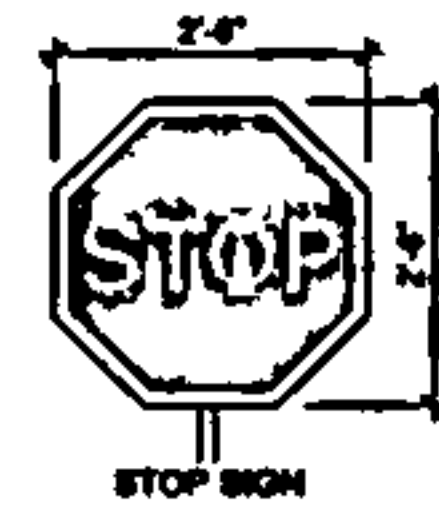


B3 6 BIKE RAIL-INVERTED U 1/2" = 1'-0"

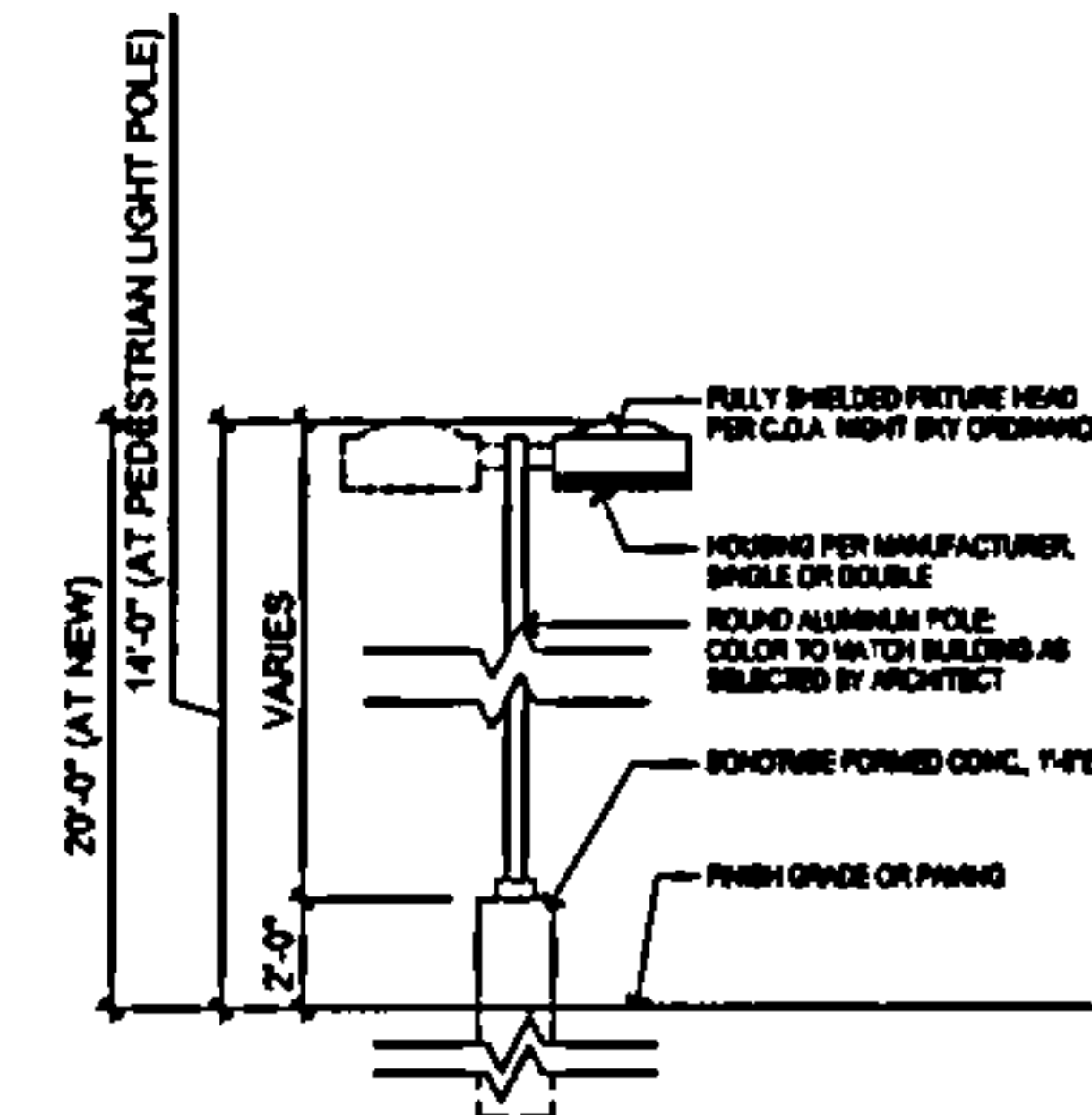
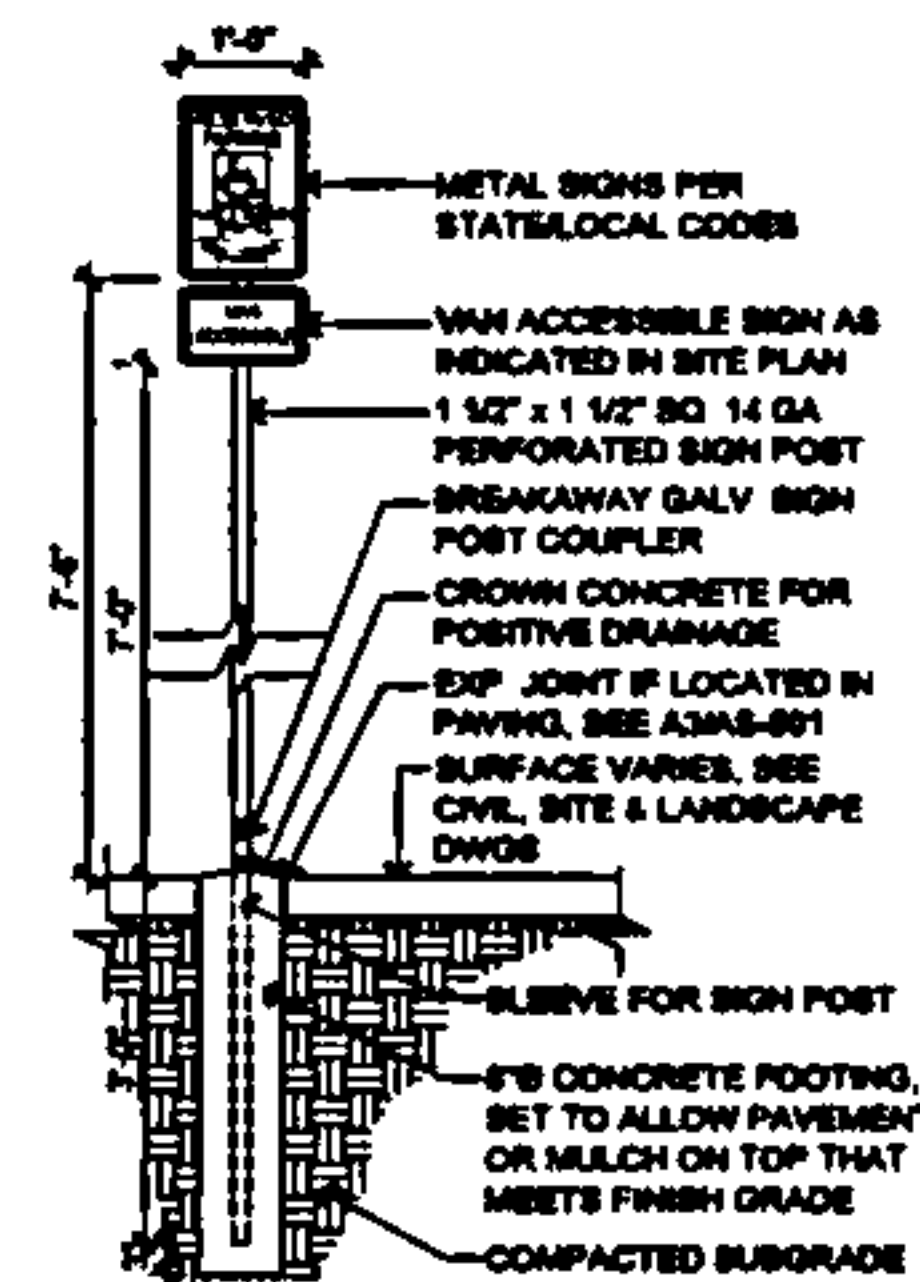


A1 DUMPSTER / UTILITY ENCLOSURE SECTION 1/2" = 1'-0"

NOTE: ALL SIGNS SHOWN HERE WILL HAVE THE SAME POLE AND FOOTING AS THE ACCESSIBLE SIGN



A3 SITE AND PARKING SIGNS 1/2" = 1'-0"



A5 PARKING LIGHT POLE 1/4" = 1'-0"

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PRESBYTERIAN PARADISE CLINIC

4588 PARADISE BLVD
ALBUQUERQUE, NM

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DRAWN BY

REVIEWED BY

DATE 08/25/2016

PROJECT NO 15-0028

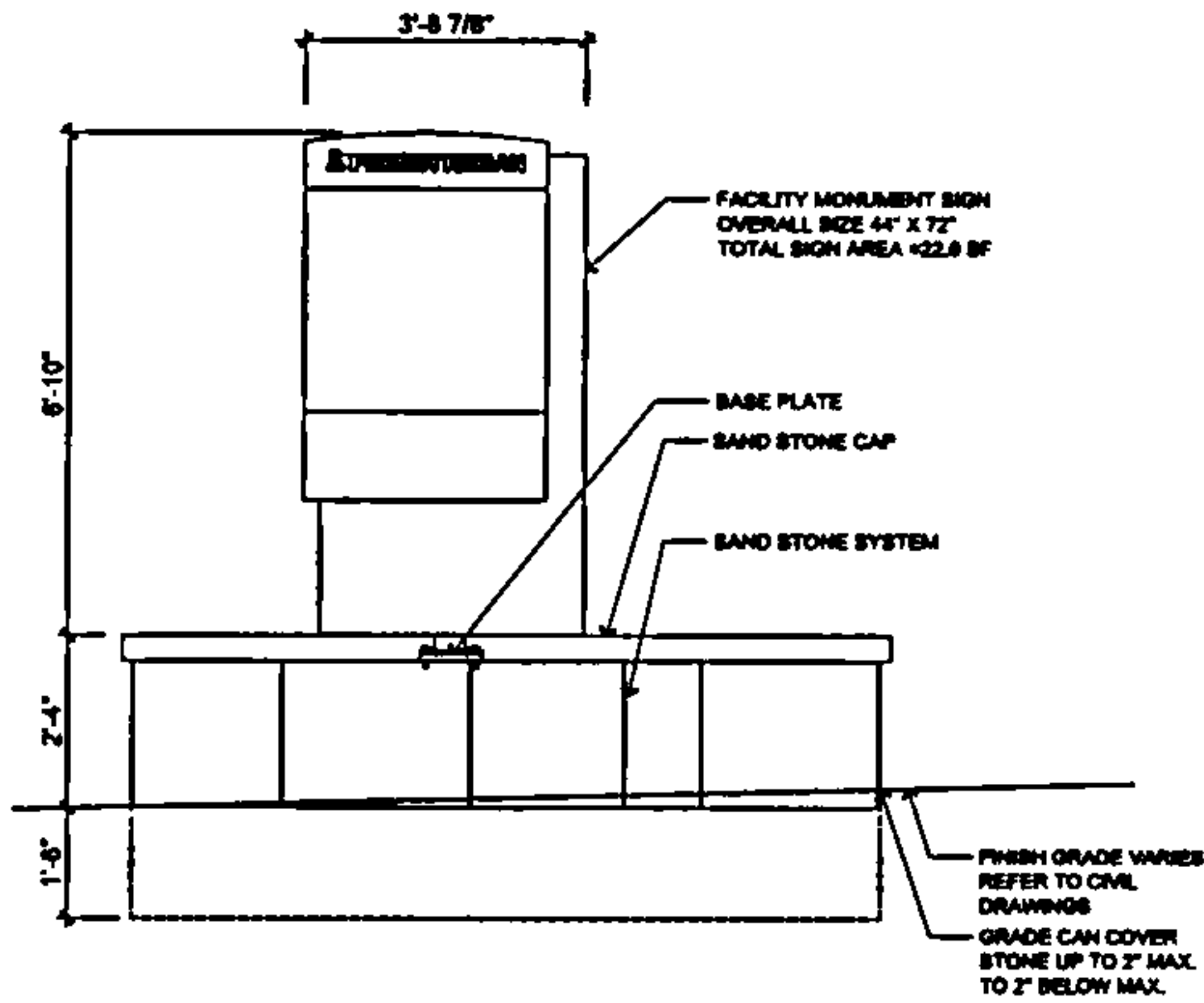
DRAWING NAME

SIGN ELEVATIONS

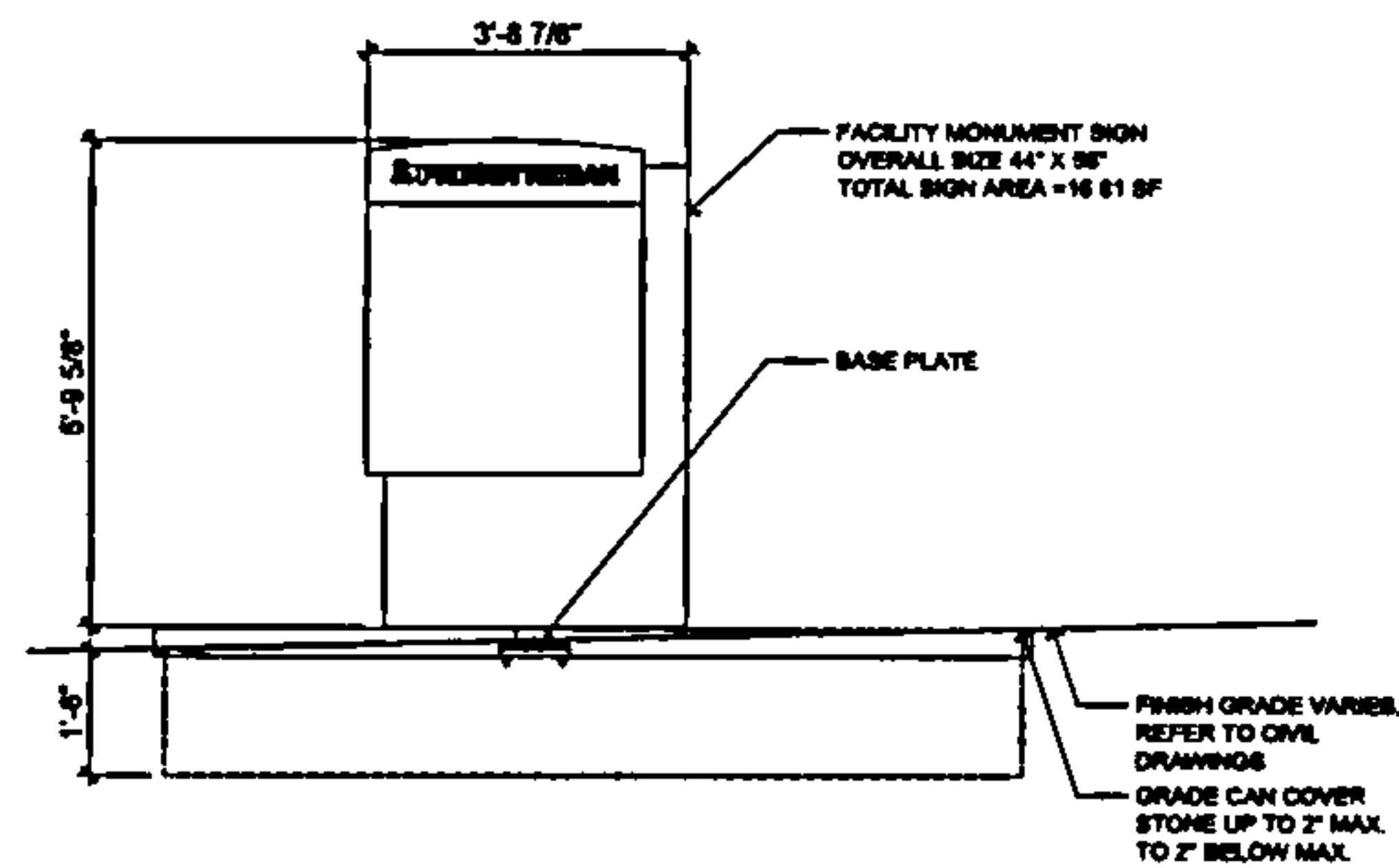
SHEET NO

SI-501
OF

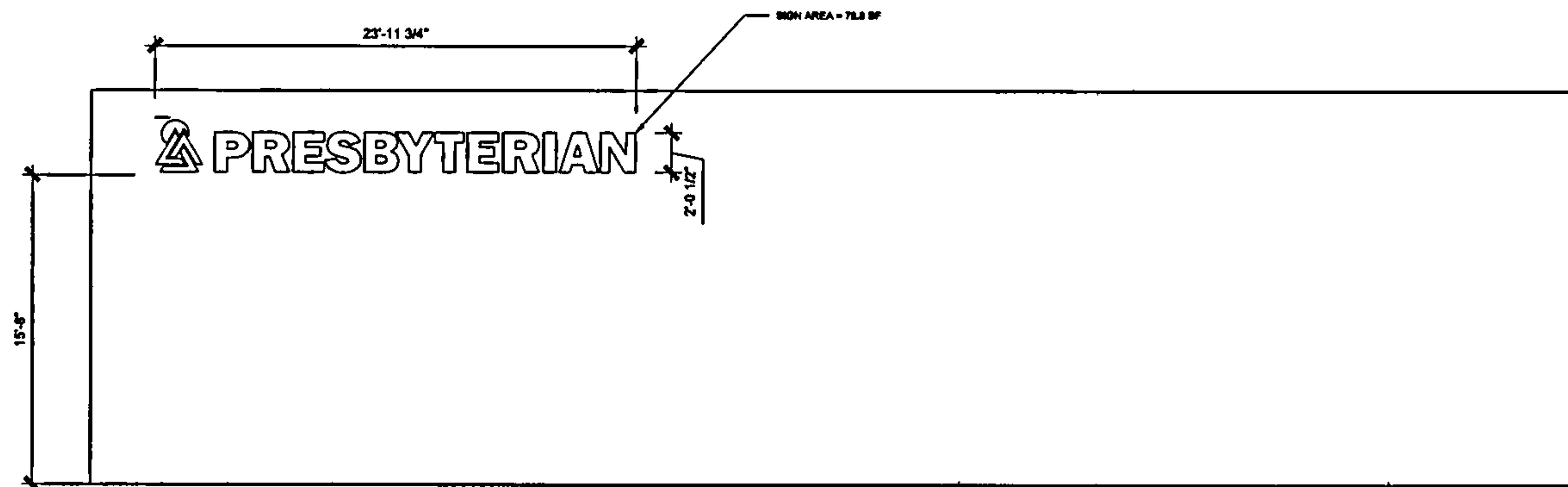
**FREE STANDING MONUMENT
SITE SIGNAGE**
MAX BASE SIZE ALLOWED= 40 SF
PROVIDED BASE SIZE= 28 SF
MAX SIGN SIZE ALLOWED= 48 SF
PROVIDED SIGN SIZE= 22 SF



B1 FREESTANDING MONUMENT SIGN
ELEVATION 1/2" = 1'-0"



B3 DIRECTORY SIGN
ELEVATION 1/2" = 1'-0"



A1 ILLUMINATED BUILDING SIGN
1/4" = 1'-0"

June 24, 2015



Maria Warren, Paradise Hills Civic Assoc.
5020 Russell NW
Albuquerque, NM 87114

Re: Proposed Presbyterian Paradise Clinic

Legal Description: Tract D Plat of Fountain Hills Plaza Subdivision (A replat of Tracts B-1-A, C-1-A, D-1-A, Albuquerque West, Unit 1, Lot 10-A-2, Block D, Albuquerque West & Tract B, Richland Hills Unit 1)

Location: Paradise Boulevard NW between Nunzio Ave NW and Eagle Ranch Rd NW

Address: 4588 Paradise Blvd NW

City Planning Project # 1003445

Dear Ms. Warren,

Dekker/Perich/Sabatini is acting on behalf of Presbyterian Healthcare Services as their agent during the entitlement and permitting process of this project. We are submitting to the Development Review Board (DRB) for a Site Development Plan for Building Permit, dated June 26, 2015. The project is zoned under the current "SU-1, PDA to include C-3 Uses" designation and shall not seek a zoning change.

The main specifics of the project are as follows:

- Construct a new 34,812 s.f. healthcare clinic in two phases. The first phase will comprise 25,762 s.f., and the second phase will be 9,050 s.f.
- Required parking will be constructed in two phases to meet the parking provision requirements.

Additional project specifics include the following:

- A freestanding monument sign that compliments the architecture of the building as dictated by Presbyterian standards along with two directory signs.
- Landscaping coverage as required for the newly developed parking and building areas.

Presbyterian Healthcare would like to construct a new healthcare clinic at the aforementioned site to provide convenient services to the growing population in this area. The site has always been vacant and having a new clinic at this location will help to continue with infill development and generate jobs on the westside. The new construction shall adhere to the previously approved Site Plan for Subdivision (dated August 8, 2005), current City zone code, and will complement the existing scale, proportion, and architectural character of the community. The traffic flow calculated to be produced by the clinic does not meet any thresholds that would suggest any traffic concerns.

The entire package of request for Site Development Plan for Building Permit approval will be submitted prior to the March 26th deadline for review by the DRB on July 22, 2015. The hearing is scheduled for 9:00 a.m. in the Plaza Del Sol Hearing Room, Lower Level 600 2nd Street NW. If you have any questions or need clarification of anything contained herein, please contact Will Gleason or myself at (505) 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

Christopher R. Gunning, AIA, LEED AP
Principal

June 24, 2015

DEKKER
PERICH
SABATINI

Tom Anderson, Paradise Hills Civic Assoc.
10013 Plunkett Dr. NW
Albuquerque, NM 87114

Re: Proposed Presbyterian Paradise Clinic

Legal Description: Tract D Plat of Fountain Hills Plaza Subdivision (A replat of Tracts B-1-A, C-1-A, D-1-A, Albuquerque West, Unit 1, Lot 10-A-2, Block D, Albuquerque West & Tract B, Richland Hills Unit 1)

Location: Paradise Boulevard NW between Nunzio Ave NW and Eagle Ranch Rd NW

Address: 4588 Paradise Blvd NW

City Planning Project # 1003445

Dear Mr. Anderson,

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Very truly yours,

Dekker/Perich/Sabatini Ltd.

Christopher R. Gunning, AIA, LEED AP
Principal

June 24, 2015

DEKKER
PERICH
SABATINI

Lawrence Fendall, Piedras Marcadas N.A
8600 Tia Christina Dr. NW
Albuquerque, NM 87114

Re: Proposed Presbyterian Paradise Clinic

Legal Description: Tract D Plat of Fountain Hills Plaza Subdivision (A replat of Tracts B-1-A, C-1-A, D-1-A, Albuquerque West, Unit 1, Lot 10-A-2, Block D, Albuquerque West & Tract B, Richland Hills Unit 1)
Location: Paradise Boulevard NW between Nunzio Ave NW and Eagle Ranch Rd NW
Address: 4588 Paradise Blvd NW
City Planning Project # 1003445

Dear Mr. Fendall,

Dekker/Perich/Sabatini is acting on behalf of Presbyterian Healthcare Services as their agent during the entitlement and permitting process of this project. We are submitting to the Development Review Board (DRB) for a Site Development Plan for Building Permit, dated June 26, 2015. The project is zoned under the current "SU-1, PDA to include C-3 Uses" designation and shall not seek a zoning change.

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Very truly yours,

Dekker/Perich/Sabatini Ltd.

Christopher R. Gunning, AIA, LEED AP
Principal

June 24, 2015

DEKKER
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SABATINI

Karen Daniel, Piedras Marcadas N.A
4815 Sherry Ann Rd. NW
Albuquerque, NM 87114

Re: Proposed Presbyterian Paradise Clinic

Legal Description: Tract D Plat of Fountain Hills Plaza Subdivision (A replat of Tracts B-1-A, C-1-A, D-1-A, Albuquerque West, Unit 1, Lot 10-A-2, Block D, Albuquerque West & Tract B, Richland Hills Unit 1)

Location: Paradise Boulevard NW between Nunzio Ave NW and Eagle Ranch Rd NW

Address: 4588 Paradise Blvd NW

City Planning Project # 1003445

Dear Ms. Daniel,

Dekker/Perich/Sabatini is acting on behalf of Presbyterian Healthcare Services as their agent during the entitlement and permitting process of this project. We are submitting to the Development Review Board (DRB) for a Site Development Plan for Building Permit, dated June 26, 2015. The project is zoned under the current "SU-1, PDA to include C-3 Uses" designation and shall not seek a zoning change.

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Very truly yours,


Dekker/Perich/Sabatini Ltd.

Christopher R. Gunning, AIA, LEED AP
Principal

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.



 Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.
see cover letter.

SHEET #1 – SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale:

1.0 acre or less	1" = 10'	Over 5 acres	1" = 50'
1.0 - 5.0 acres	1" = 20'	Over 20 acres	1" = 100'

 [other scales, if approved by staff]
3. Bar scale
4. North arrow
5. Vicinity map
6. Signature Block (for DRB site dev. plans)
7. Property lines (clearly identify)
8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
9. Phases of development including location and square footages of structures, circulation, parking and landscaping
10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- 1. Scale - must be same as scale on sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- 9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
- 10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
- 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- 12. Verification of adequate sight distance
- 13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Building footprints
- 6. Location of Retaining walls

B. Grading Information

- 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- 3. Identify whether ponding is required
- 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 5. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- 6. In addition to the above, the following must be provided for DRB applications:
 - A. Conceptual onsite drainage system
 - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff) *(3/32" OK'd by Fym Dionne)*
- 2. Bar Scale
- 3. Detailed Building Elevations for each facade
 - a. Identify facade orientation (north, south, east, & west)
 - b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
 - c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
 - d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- 4. Dimensions, colors and materials of Refuse Enclosure *(sheets AS-501 site details)*
- 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements
- 7. Verification of adequate sight distance

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development

1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 190 provided: 209
Handicapped spaces (included in required total) required: 28 provided: 21
Motorcycle spaces (in addition to required total) required: 5 provided: 5
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 11 provided: 12
 - NA 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

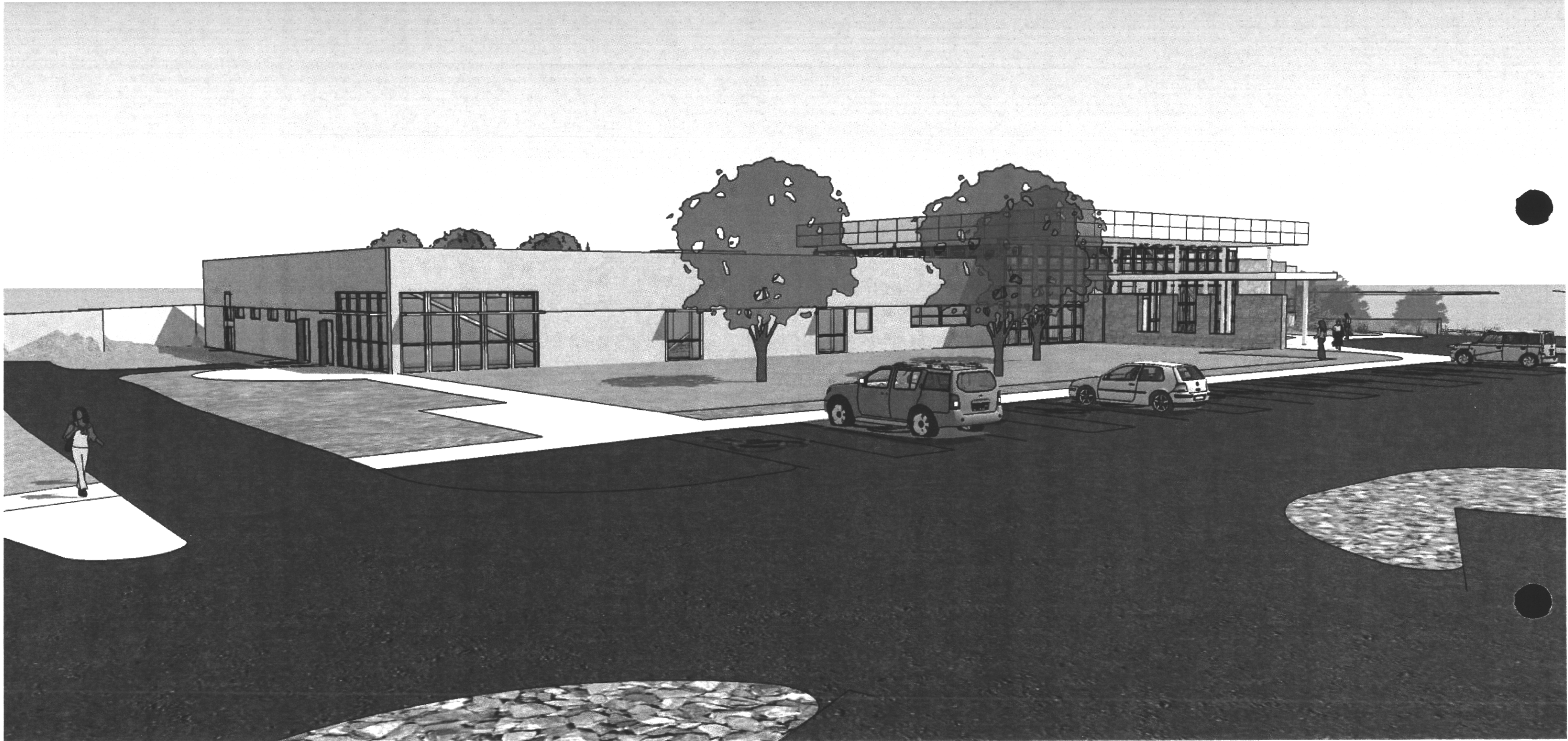
3. Phasing – This is required information if phasing of project is anticipated

- Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.



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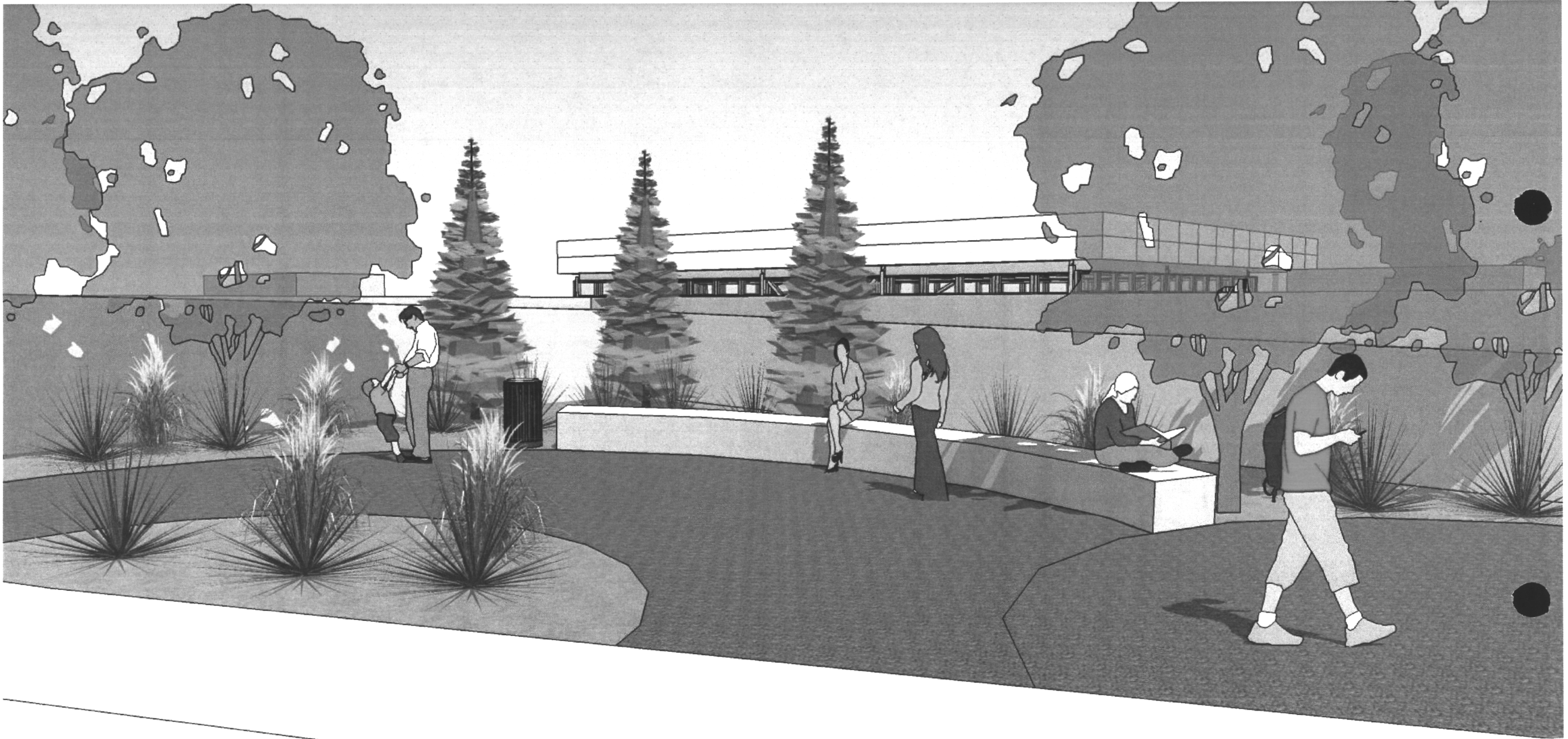
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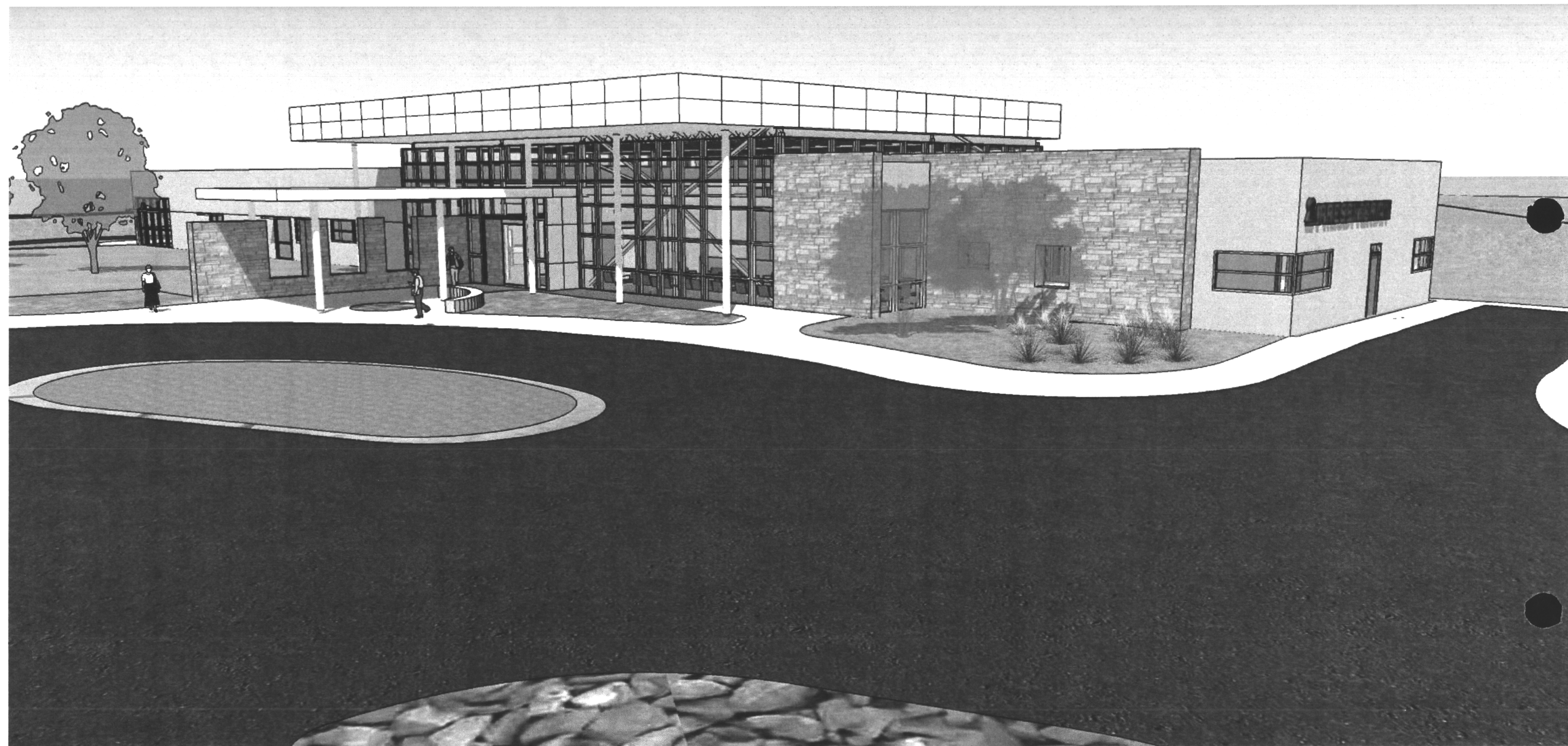
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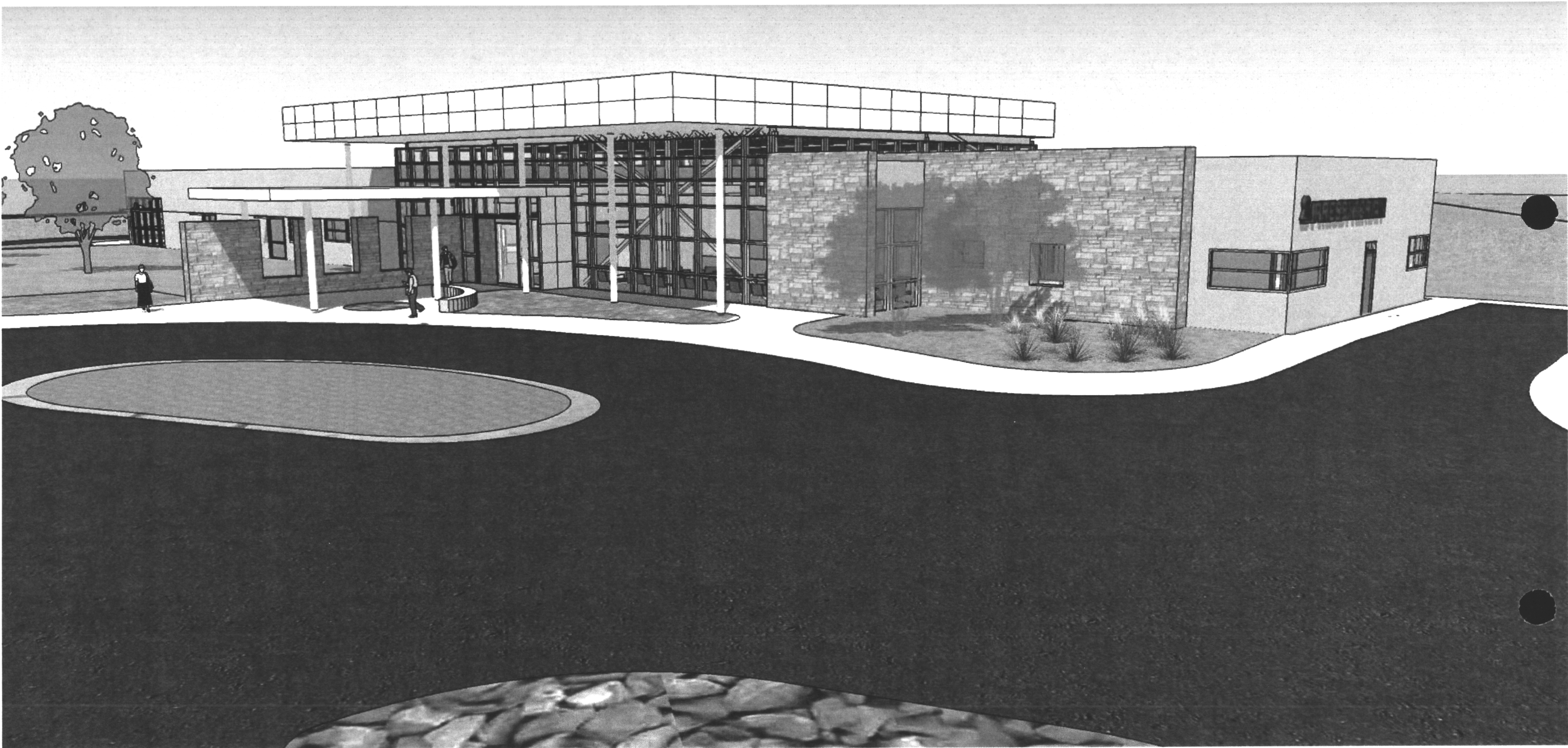
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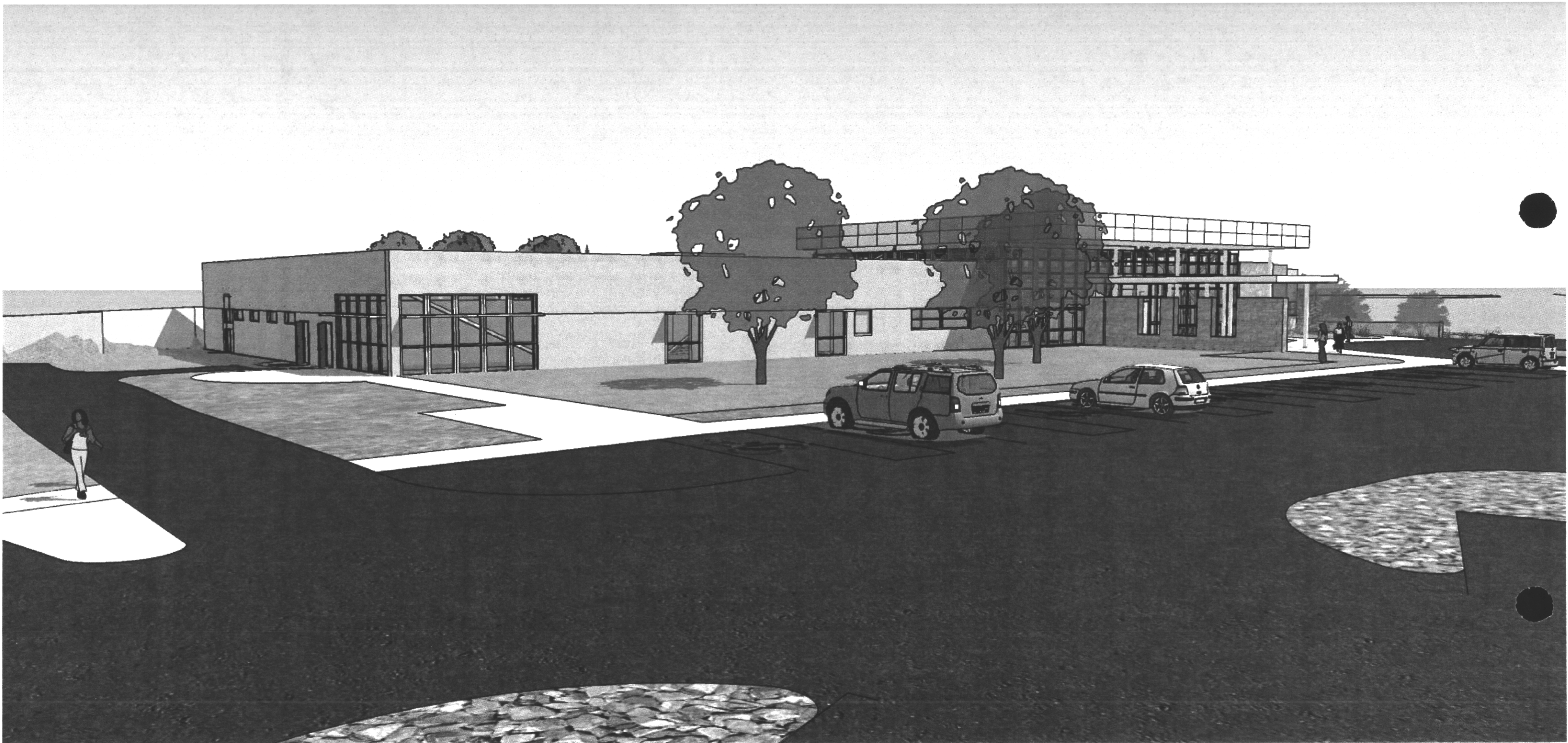
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VIEW FROM NUNZIO DRIVE ENTRY

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MAIN ENTRY FROM PARADISE BULEVARD

PROJECT #

1003445

July 22, 2015

SBF