



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

October 1, 2014

**Project# 1003445**  
14DRB-70308 - 2 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS  
AGREEMENT (2YR SIA)

CUSTOM GRADING INC agents for JASON SHAFFER request the referenced/ above action for all or a portion of **FOUNTAIN HILLS PLAZA SUBDIVISION** zoned SU-1/ PDA/ C-3/ IP, located on the north side of PASEO DEL NORTE NW between EAGLE RANCH RD NW and RICHLAND HILLS DR NW containing approximately 39.9074 acres. (C-12)

At the October 1, 2014 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved with the condition the improvements for Vista Fuente Rd NW be completed and accepted by the City within one year, otherwise the extension shall only be for one year.

If you wish to appeal this decision, you must do so by October 16, 2014, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, DRB Chair

Cc: CUSTOM GRADING INC  
Planning file



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
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October 1, 2014

**Project# 1003445**

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<p><b>AMAFCA</b>          No comment.  <i>Lynn Mazur</i></p>
<p><b>COG</b>   <i>Kendra Watkins/Andrew Gingerich</i></p>
<p><b>TRANSIT</b>          Adjacent and nearby routes          Route #94, Unser Express commuter route passes the site on Eagle Ranch road.          Adjacent bus stops          None.          Site plan requirements          None          Large site TDM suggestions          None.          Other information          None.  <i>Shabih Rizvi</i></p>
<p><b>ZONING ENFORCEMENT</b>   <i>David Kilpatrick</i></p>
<p><b>NEIGHBORHOOD COORDINATION</b>          Affected NA/HOA's: Paradise Hills Civic Assoc. (R), Piedras Marcadas NA (R), Rancho Seran (R), Taylor Ranch NA (R)   <i>Stephani Winklepleck</i></p>
<p><b>APS</b>          Fountain Hills Plaza, is located on the west side of Eagle Ranch Rd NW between Paseo Del N NW and Paradise Blvd NW. The owner of the above property requests a Major 2 Year Extension Subdivision Improvements Agreement for a development that will consist of a mix of uses that could consist of residential units. If the proposed development includes residential units, it will impact Petroglyph Elementary School, James Monroe Middle School, and Cibola High School. Currently, all three schools are nearing capacity.</p>

Loc No	School	2013-14 Day	Capacit	Space Ava
317	Petroglyph ES	658	660	2
490	James Monroe MS	980	1000	20
580	Cibola HS	1864	1900	36

To address overcrowding at schools, APS will explore various alternatives. A combination of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
  - Construct new schools or additions
  - Add portables
  - Use of non-classroom spaces for temporary classrooms
  - Lease facilities
  - Use other public facilities
- Improve facility efficiency (short term solution)
  - Schedule Changes
    - Double sessions
    - Multi-track year-round
  - Other
    - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
  - Boundary Adjustments / Busing
  - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval  
*April Winters*

**POLICE DEPARTMENT**

This project is in the Northwest Area Command.

No Crime Prevention or CPTED comments concerning the proposed *Major Subdivision Improvement Agreement Extension* request at this time.

*Steve Sink*

**FIRE DEPARTMENT**

*Antonio Chinchilla*

**PNM ELECTRIC**

*Daniel Aragon*

**NMGCO**

*Patrick Sanchez*

**COMCAST**

*Mike Mortus*

**CENTURYLINK**

**ENVIRONMENTAL HEALTH**

<i>Paul Olson</i>
<b>M.R.G.C.D</b>
<i>Ray Gomez</i>
<b>OPEN SPACE DIVISION</b>
<i>Kent Reed Swanson</i>
<b>CITY ENGINEER</b>
<i>Curtis Cherne</i>
<b>TRANSPORTATION DEVELOPMENT</b>
<i>Kristal Metro</i>
<b>TRANSPORTATION PLANNING (DMD)</b> Reviewed, but there are no comments regarding roadways, on-street bicycle lanes, or multi-use trails for consider of the SIA extension.
<i>John MacKenzie</i>
<b>PARKS AND RECREATION</b> No comments
<i>Carol Dumont</i>
<b>ABCWUA</b>
<i>Allan Porter</i>
<b>PLANNING DEPARTMENT</b>
<i>Jack Cloud</i>

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

*Site Plans:* It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1003445

Application #: 14DRB-70182, 14DRB-70213

Project Name: FOUNTAIN HILLS PLAZA

Agent: RIO GRANDE ENGINEERING

Phone #:

\*\*Your request was approved on 6-18-14 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed\*\*

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): Hibby signature, dxp

**PLATS:**

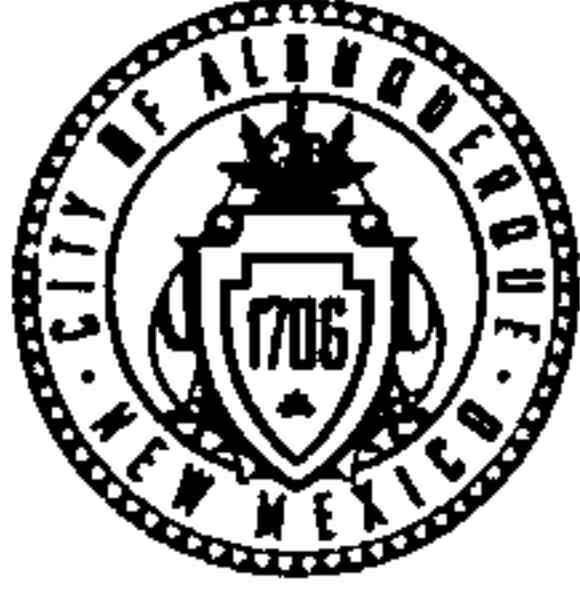
Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

**ALL SITE PLANS:**

3 copies of the approved site plan. Include all pages.



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

October 10, 2012

**Project# 1003445**

12DRB-70289 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT (2YR SIA)

CUSTOM GRADING, INC. agent(s) for JASON SHAFFER request(s) the referenced/ above action(s) for all or a portion of **FOUNTAIN HILLS PLAZA SUBDIVISION** zoned SU-1/ PDA/ C-3/ IP, located on the north side of PASEO DEL NORTE NW between EAGLE RANCH RD NW and RICHLAND HILLS DR NW containing approximately 39.9074 acre(s). (C-12)

At the October 10, 2012 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by October 25, 2012, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, DRB Chair

Cc: Custom Grading Inc.  
Marilyn Maldonado  
file



CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

October 10, 2012

**Project# 1003445**

12DRB-70289 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS  
AGREEMENT (2YR SIA)

CUSTOM GRADING, INC. agent(s) for JASON SHAFFER request(s) the referenced/ above action(s) for all or a portion of **FOUNTAIN HILLS PLAZA SUBDIVISION** zoned SU-1/ PDA/ C-3/ IP, located on the north side of PASEO DEL NORTE NW between EAGLE RANCH RD NW and RICHLAND HILLS DR NW containing approximately 39.9074 acre(s). (C-12)

<b>AMAFCA</b> No comment.
<b>COG</b> No comment provided.
<b>TRANSIT</b> No comment.
<b>ZONING ENFORCEMENT</b> No comment provided.
<b>NEIGHBORHOOD COORDINATION</b>
<b>APS</b> No comment provided.
<b>POLICE DEPARTMENT</b> This project is in the Northwest Area Command.  - No Crime Prevention or CPTED comments concerning the proposed SIA Extension request at this time.
<b>FIRE DEPARTMENT</b> No Comments
<b>PNM ELECTRIC &amp; GAS</b> No comment provided.
<b>COMCAST</b> No comment provided.
<b>CENTURYLINK</b> No comment provided.
<b>ENVIRONMENTAL HEALTH</b> No comment provided.

**M.R.G.C.D**

1. Previously reviewed 09/14/2011.
2. No Adverse Comments.

**OPEN SPACE DIVISION**

No comment provided.

**CITY ENGINEER**

Hydrology defers to Transportation

**TRANSPORTATION DEVELOPMENT**

What is the status of the right turn lane on Paseo del Norte at Richland Hills Road? Has this been completed, as agreed to within the agreement between Fountain Hills Plaza LLC and the First Baptist Church of Albuquerque (signed 09-27-2011)?

Please clearly define what items are not yet constructed and provide an approximate timeline.

**PARKS AND RECREATION**

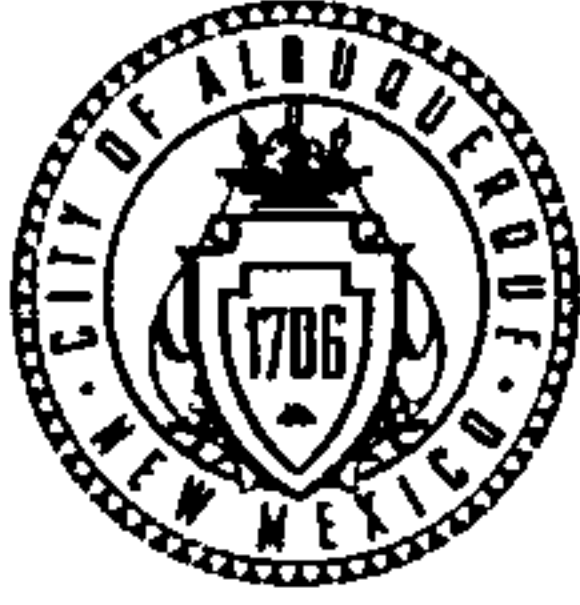
No objection

**ABCWUA****PLANNING DEPARTMENT**

Refer to comments from affected agencies plus any public hearing comments regarding proposed extension.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

September 28, 2011

**Project# 1003445**  
11DRB-702 4 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT (2YR SIA)

BOHANNAN HOUSTON INC agent(s) for JASON SHAFFER request(s) the referenced/ above action(s) for all or a portion of **FOUNTAIN HILLS PLAZA SUBDIVISION** zoned SU-1/ PDA/ C- / IP, located on the north side of PASEO DEL NORTE NW between EAGLE RANCH RD NW and RICHLAND HILLS DR NW containing approximately 9.9074 acre(s). (C-12)

At the September 28, 2011 Development Review Board meeting, an extension of the Subdivision Improvements Agreement was approved through September 30<sup>th</sup>, 2012.

If you wish to appeal this decision, you must do so by October 13, 2011, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, DRB Chair

Cc: Bohannan Huston Inc – 7500 Jefferson St. – Albuquerque, NM 87109  
Cc: Jason Shaffer – P.O. Box 66897 – Albuquerque, NM 8719  
Marilyn Maldonado  
File



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

September 21, 2011

**Project# 1003445**

11DRB-70234 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (2YR SIA)

BOHANNAN HOUSTON INC agent(s) for JASON SHAFFER request(s) the referenced/ above action(s) for all or a portion of **FOUNTAIN HILLS PLAZA SUBDIVISION** zoned SU-1/ PDA/ C-3/ IP, located on the north side of PASEO DEL NORTE NW between EAGLE RANCH RD NW and RICHLAND HILLS DR NW containing approximately 39.9074 acre(s). (C-12)

<b>AMAFCA</b>				
No comments provided.				
<b>COG</b>				
No comments provided.				
<b>TRANSIT</b>				
No comments				
<b>ZONING ENFORCEMENT</b>				
No comments				
<b>NEIGHBORHOOD COORDINATION</b>				
Letters sent to: Las Terrazas NA (R), Paradise Hills Civic Assoc. (R), Piedras Marcadas NA Rancho Sereno NA (R), Tayor Ranch NA (R), Richland Hills HOA.				
<b>APS</b>				
<p><b>Fountain Hills Plaza</b>, is located on the north side of Paseo Del Norte NW between Eagle Ranch Rd NW and Richland Hills Dr NW. The owner of the above property requests a Major 2 Year Extension of Subdivision Improvements Agreement (2 YR SIA) for a development that could consist of residential units. If the proposed development includes residential units, it will impact Petroglyph Elementary School, James Monroe Middle School, and Cibola High School. Petroglyph Elementary School is exceeding capacity; currently James Monroe Middle School and Cibola High School have excess capacity.</p>				
		2010-11		
<b>Loc No</b>	<b>School</b>	<b>40th Day</b>	<b>2010-11 Capacity</b>	<b>Space Available</b>
317	PETROGLYPH ES	734	700	-34
490	JAMES MONROE MS	1001	1015	14
580	CIBOLA HS	1857	2100	243
<p>To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.</p> <ul style="list-style-type: none"> <li>• Provide new capacity (long term solution)             <ul style="list-style-type: none"> <li>○ Construct new schools or additions</li> </ul> </li> </ul>				

- Add portables
- Use of non-classroom spaces for temporary classrooms
- Lease facilities
- Use other public facilities
- Improve facility efficiency (short term solution)
  - Schedule Changes
    - Double sessions
    - Multi-track year-round
  - Other
    - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
  - Boundary Adjustments / Busing
  - Grade reconfiguration
- Combination of above strategies

**All planned additions to existing educational facilities are contingent upon taxpayer approval.**

**POLICE DEPARTMENT**

No comments provided.

**FIRE DEPARTMENT**

No comments provided.

**PNM**

No adverse comments

**NMGCO**

No comments provided.

**COMCAST**

No comments provided.

**QWEST**

Concerning the subject case number(s), CenturyLinic has no adverse comments at this time provided all utility easement rights are maintained; buried facilities are within the site area. Prior to any final plat approval, we will need a copy for review.

**ENVIRONMENTAL HEALTH**

No comments provided.

**M.R.G.C.D**

No adverse comments

**OPEN SPACE DIVISION**

No comments provided.

**CITY ENGINEER**

Hydrology refers to comments from other board members.

**TRANSPORTATION DEVELOPMENT**

**PARKS AND RECREATION**

No Comment.

**ABCWUA**

**PLANNING DEPARTMENT**

Refer to comments from affected agencies plus any public hearing comments regarding proposed extension.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

HARRIS DATE: 9-21-11 (SIA)



**DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL**

**PROJECT NO.** 1003445

**TO:** Application No. 15DRB-70020

**ALL MEMBERS**

**Jack Cloud, DRB Chairman, Planning Department**

**Curtis Cheme, P.E., Hydrology**

**Kristal Metro, P.E., Transportation Development**

**Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA**

**Carol Dumont, Parks/Municipal Development**

**NEXT HEARING DATE:** March 18, 2015

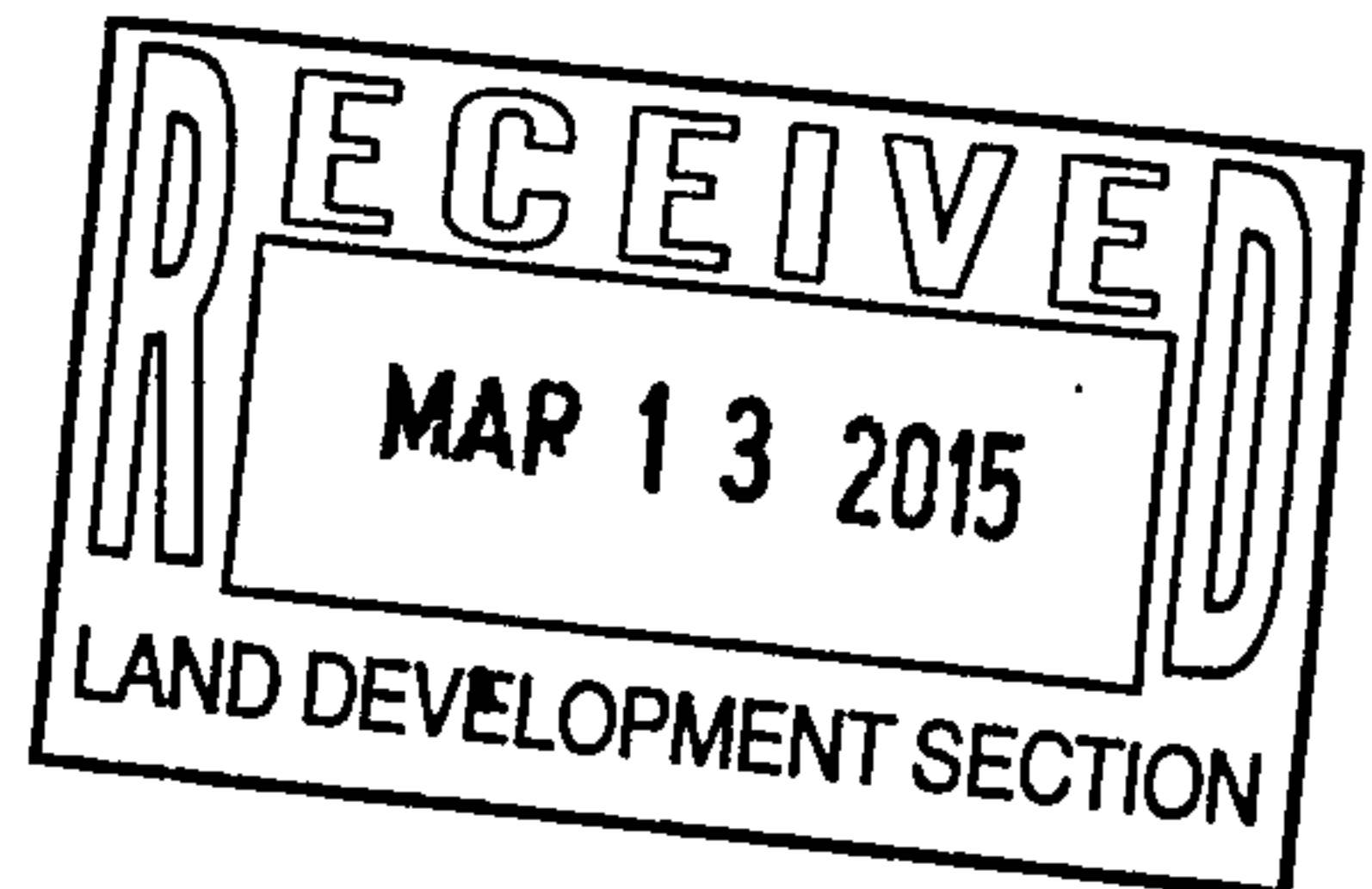
**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

**SUBMITTAL DESCRIPTION:** Addressed DRB Staff comments from previous hearing.

\_\_\_\_\_

\_\_\_\_\_

*Bike Lane*



**CONTACT NAME:** Mike Salvador

**TELEPHONE:** 268-4144 **EMAIL:** mike@mullenheller.com



**INTER-OFFICE MEMORANDUM**

**COMMENTING AGENCIES**

TRANSPORTATION DEVELOPMENT .....*John MacKenzie*  
TRANSIT & PARKING DEPARTMENT .....*Shabih Rizvi*  
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*  
AMAFCA.....*Lynn Mazur*  
APD CRIME PREVENTION.....*Steve Sink*  
OPEN SPACE DIVISION.....*Kent Reed Swanson*  
FIRE DEPARTMENT.....*Antonio Chinchilla*  
ZONING ENFORCEMENT INSPECTOR.....*David Kilpatrick*  
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*  
PNM.....*Daniel Aragon*  
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*  
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*  
COMCAST CABLE.....*Mike Mortus*  
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*  
ENVIRONMENTAL HEALTH.....*Paul Olson*

*Your comments on the following case(s) are requested.*

PROJECT # 1003445

**Board hearing date:**

**WEDNESDAY, October 1, 2014**

Comments must be received by:

**September 25, 2014**



Supplemental Form (SF)

<input checked="" type="checkbox"/> <b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	<b>V</b>		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>		<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<input type="checkbox"/> for Subdivision			<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)	<b>D</b>		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>	<b>A</b>	<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE (Form D)</b>			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Custom Grading, Inc. PHONE: 897-4225  
 ADDRESS: P.O. Box 94088 FAX: 792-2399  
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: truc@cgim.com

APPLICANT: Jason Shaffer PHONE: 280-5771  
 ADDRESS: P.O. Box 66897 FAX: 344-3992  
 CITY: Albuquerque STATE NM ZIP 87193 E-MAIL: jshaffer3@comcast.net

Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: SIA Extension

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A, B, C, D, E, F, G, H, I Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: Fountain Hills Plaza Subdivision  
 Existing Zoning: SU-1 Proposed zoning: No change MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C-12-2 UPC Code: \_\_\_\_\_

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX\_Z, V, S, etc.):  
DRB 1003445, City Project 584480

CASE INFORMATION:

Within city limits?  Yes Within 1000FT of a landfill? No  
 No. of existing lots: 9 No. of proposed lots: 9 Total site area (acres): 39.9074  
 LOCATION OF PROPERTY BY STREETS: On or Near: Eagle Ranch Rd NW  
 Between: Paseo del Norte and Paradise Blvd.  
 Check if project was previously reviewed by: Sketch Plan/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE [Signature] DATE 8/25/2014  
 (Print Name) Trula M Howe Applicant:  Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14 DRB - 70308</u>	<u>SIA</u>		<u>\$50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CME</u>		<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>ADV</u>		<u>\$75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				\$
<input type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>Oct. 1, 2014</u>			Total <u>\$145.00</u>

[Signature] 9-2-14 Staff signature & Date Project # 1003445

**FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

**Preliminary plat approval expires after one year.**

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)**

**PLEASE NOTE:** There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

**Amended preliminary plat approval expires after one year.**

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)**

**(Temporary sidewalk deferral extension use FORM-V)**

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Travis M. Howe  
Applicant name (print)  
[Signature] 9/25/14  
Applicant signature / date



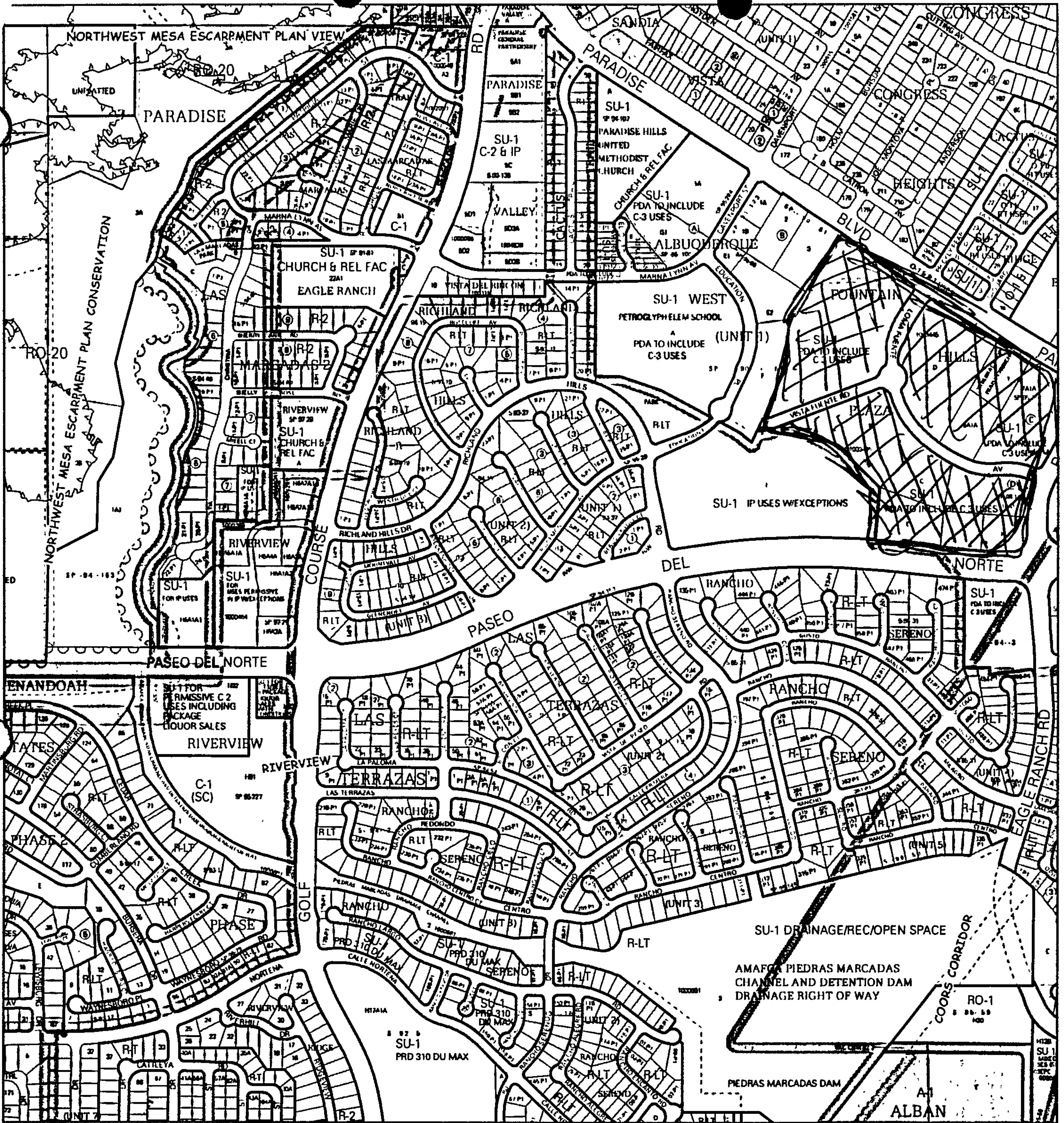
Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
14 - DRB 10308

[Signature] 9-2-14  
Planner signature / date  
Project # 1003445





For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-12-Z**

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

August 20, 2014

City of Albuquerque  
Planning Department  
Design Review Board  
1 Civic Plaza NW  
Albuquerque, NM 87102

Re: Fountain Hills Plaza Subdivision, Phase/Unit #2

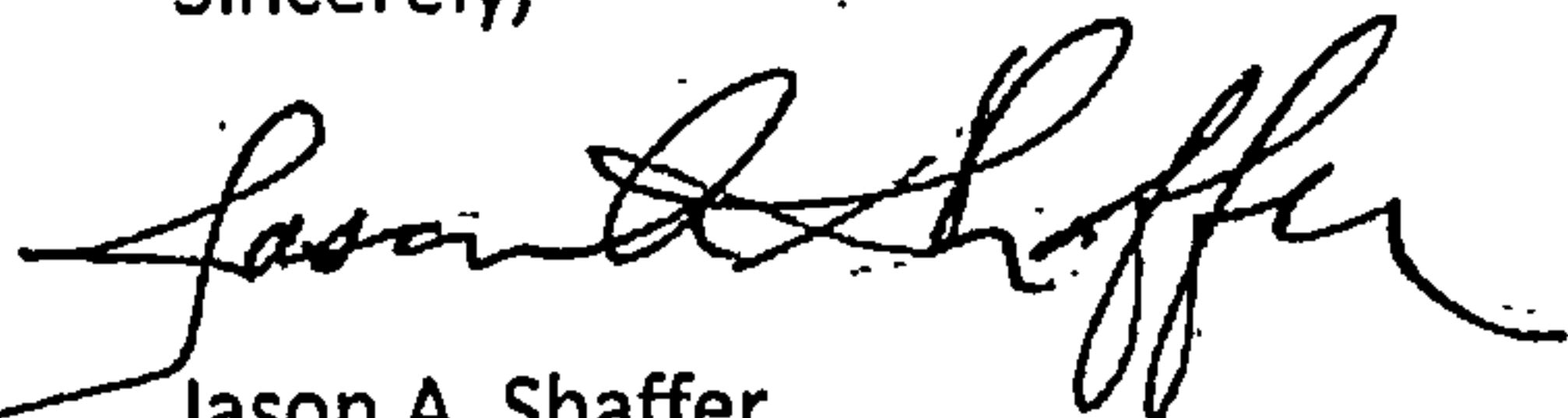
To Whom It May Concern:

Phase 2 of Fountain Hills Plaza Subdivision has not yet been completed. The items required are as follows, according to the Engineers Opinion of Probably Costs on record:

Traffic Signal at Loma Fuente Rd and Paradise Blvd NW  
On-site paving of Vista Fuente Rd  
Paseo del Norte//Eagle Ranch – Paving, striping, and signage and relocating traffic signal

We are requesting a two-year extension of the Subdivision Improvement Agreement, due to slow economic environment and lack of end users.

Sincerely,



Jason A. Shaffer  
Managing Member  
Fountain Hills Plaza LLC

SP-2007-222877



LOCATION MAP  
ZONE ATLAS INDEX MAP No. C12  
NOT TO SCALE

SUBDIVISION DATA

- 1. DWS No.
2. Zone Atlas Index No. C12-11
3. Gross Plat Acreage: 38.9774
4. Total Number of Lots: 100
5. Total Number of Lots: 100
6. Date of Survey: April 2007
7. Plat to include Section 13, Township 11 North, Range 2 East, New Mexico

DISCLOSURE STATEMENT

The purpose of this plat is to subdivide all of Tracts B-1-A, C-1-A, & D-1-A Albuquerque West, Unit One, Albuquerque, Bernalillo County, New Mexico...

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. Street Lighting Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment.
B. Public Gas services for the installation, maintenance, and service of gas mains, valves and other equipment and facilities.
C. CABLE TV for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities.
D. Comcast Cable for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included in the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, repair, operate, and maintain facilities for the purposes described above...

Easements for electric transmission lines, as installed shall extend ten feet (10') in front of transmission lines and five feet (5') on each side.

DESCRIPTION

A certain tract of land situated within the Town of Alameda Grant, City of Albuquerque, Bernalillo County, New Mexico within projected Section 13, Township 11 North, Range 2 East, New Mexico Principal Meridian, being and comprising all of Tracts B-1-A, C-1-A, & D-1-A of the Plat of Albuquerque West, Unit One, Albuquerque, Bernalillo County, New Mexico...

Containing 38.9774 acres more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situated within the Town of Alameda Grant, City of Albuquerque, Bernalillo County, New Mexico within projected Section 13, Township 11 North, Range 2 East, New Mexico Principal Meridian, being and comprising all of Tracts B-1-A, C-1-A, & D-1-A of the Plat of Albuquerque West, Unit One, Albuquerque, Bernalillo County, New Mexico...

THE FIRST BAPTIST CHURCH OF ALBUQUERQUE - owner of Tract B, Richland Hills

By: R.M. Cook, Pastor

State of New Mexico
County of Bernalillo

This instrument was acknowledged before me on 11 day of June 2007

My Commission Expires 12-24-2011 Stephanie L. Walton

FOUNTAIN HILLS PLAZA LLC - Owner of Tracts B-1-A, C-1-A, & D-1-A Albuquerque West, Unit One and Lot 10-A-2, Block D, Albuquerque West

By: M. M. M. M. Managing Member

State of New Mexico
County of Bernalillo

This instrument was acknowledged before me on 11 day of June 2007

My Commission Expires 6-24-2011 Stephanie L. Walton

NOTES

- 1. Existing are New Mexico State Plane Grid Bearings (Control Zone)
2. Distances are ground distances.
3. All easements of record are shown but I am aware of.
4. Record bearings and distances are shown in parenthesis.
5. Tracts C, F & G are subject to a Twenty Five Foot Right of Way for water, drainage, and sanitary sewer easement for the benefit of Lot 10-A-2 Block D, Albuquerque West.
6. Curbline in (line of RW reconstruction) to be located at existing R.O.W. F.T. and points and street intersections prior to acceptance of street improvements and the transfer of a standard 3-1/4" aluminum alloy cap stamped 'CITY OF ALBUQUERQUE, "CENTRALINE SIGNIFICATION, "SHOWN APPROXIMATE, "DO NOT DISTURB, "PLS TRAP"
7. Boundary information shown on this survey was taken from TITLE COMMITMENT No. 622000086, effective January 22, 2007 issued by Land America Albuquerque Title.
8. These parcels are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.

SURVEYOR'S CERTIFICATION

I, Robert Granados, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Granados
New Mexico Professional Surveyor 16488

Date: 6-11-07

JURISDICTIONAL AFFIDAVIT

I, Robert Granados, a registered Professional New Mexico Surveyor, hereby affirm that the property described above is within the planning and subdivision jurisdiction of the City of Albuquerque, New Mexico.

Robert Granados
New Mexico Professional Surveyor 16488

Date: 6-11-07

DOC# 2887134847

PLAT OF FOUNTAIN HILLS PLAZA SUBDIVISION

PLAT OF FOUNTAIN HILLS PLAZA SUBDIVISION

(A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A, ALBUQUERQUE WEST, UNIT ONE, LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST & TRACT B, RICHLAND HILLS UNIT 1)

WITHIN PROJECTED SECTION 13, T 11 N, R 2 E, N.M.P.M. TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JUNE, 2007

PROJECT NUMBER 1003445

APPLICATION NUMBER 07 DRB-70054

PLAT APPROVAL

Table with columns for City/Department, Name, and Date. Includes City Council, Public Works, Planning, and Engineering departments.

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID BY: 1/12/07-544-764327-119.01

1-017-544-764327-119.01

PROPERTY OWNER OF RECORD: Fountain Hills Plaza LLC

Signature and date: 6-19-2007

BERNALILLO COUNTY TREASURER'S OFFICE

Bohannon & Huston logo and contact information: 7800 Jefferson St NE, Albuquerque, NM 87109-1336

**LEGEND**

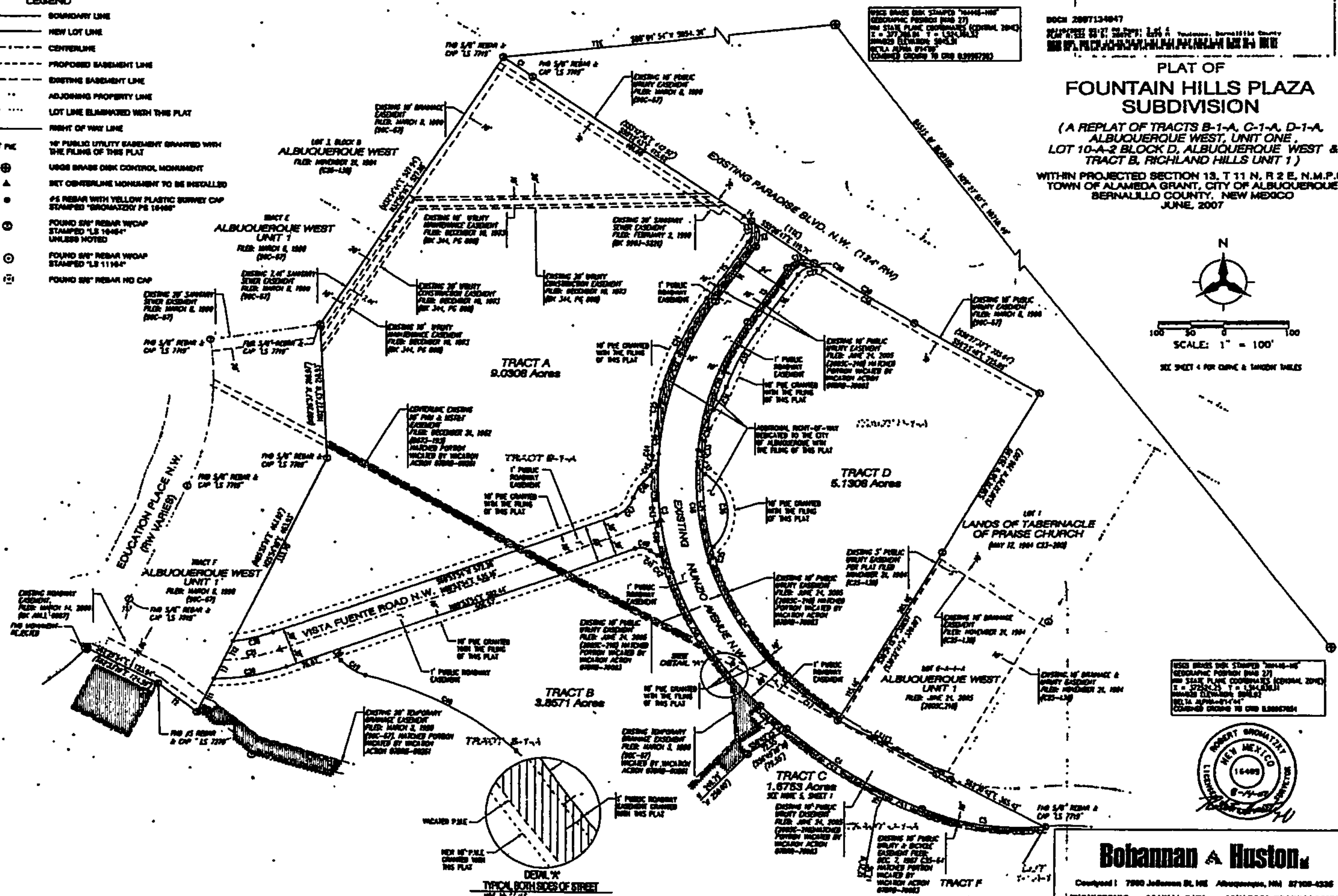
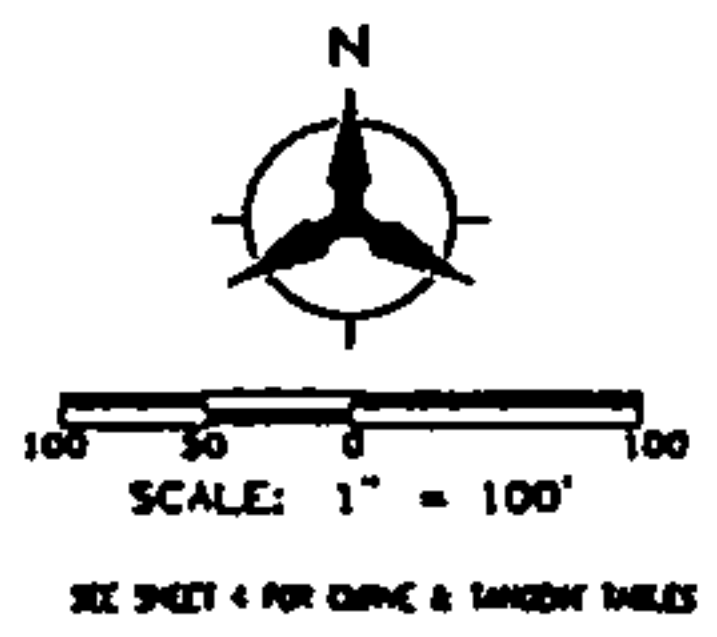
- BOUNDARY LINE
- NEW LOT LINE
- - - - CENTERLINE
- - - - PROPOSED EASEMENT LINE
- - - - EXISTING EASEMENT LINE
- ..... ADJOINING PROPERTY LINE
- ..... LOT LINE EMBARRASSED WITH THIS PLAT
- RIGHT OF WAY LINE
- 1" PUE 1" PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- ⊕ URS BRASS DISK CONTROL MONUMENT
- ▲ SET CENTERLINE MONUMENT TO BE INSTALLED
- 1/2" REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "BROMATZKY PS 1648"
- ⊙ FOUND 3/4" REBAR W/O CAP STAMPED "LS 1046"
- ⊙ FOUND 3/4" REBAR W/O CAP STAMPED "LS 1118"
- ⊙ FOUND 3/4" REBAR NO CAP

BOCM 2007134047  
 PLAN 2007 06 27 00:00:00  
 BOCM OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**PLAT OF  
 FOUNTAIN HILLS PLAZA  
 SUBDIVISION**

(A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A, ALBUQUERQUE WEST, UNIT ONE, LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST & TRACT B, RICHLAND HILLS UNIT 1)

WITHIN PROJECTED SECTION 13, T 11 N, R 2 E, N.M.P.M. TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO  
 JUNE, 2007



URS BRASS DISK STAMPED "1648-10" GEOGRAPHIC POINT (MAG 27) NAD 83 STATE PLANE COORDINATES (CONFORMAL 2011) X = 377,884.51 Y = 1,514,184.31 HANDED ELEVATION 5043.31 UTM 12A ALPH-AUTM CONFORMAL GRID TO UTM 12QD 83076725

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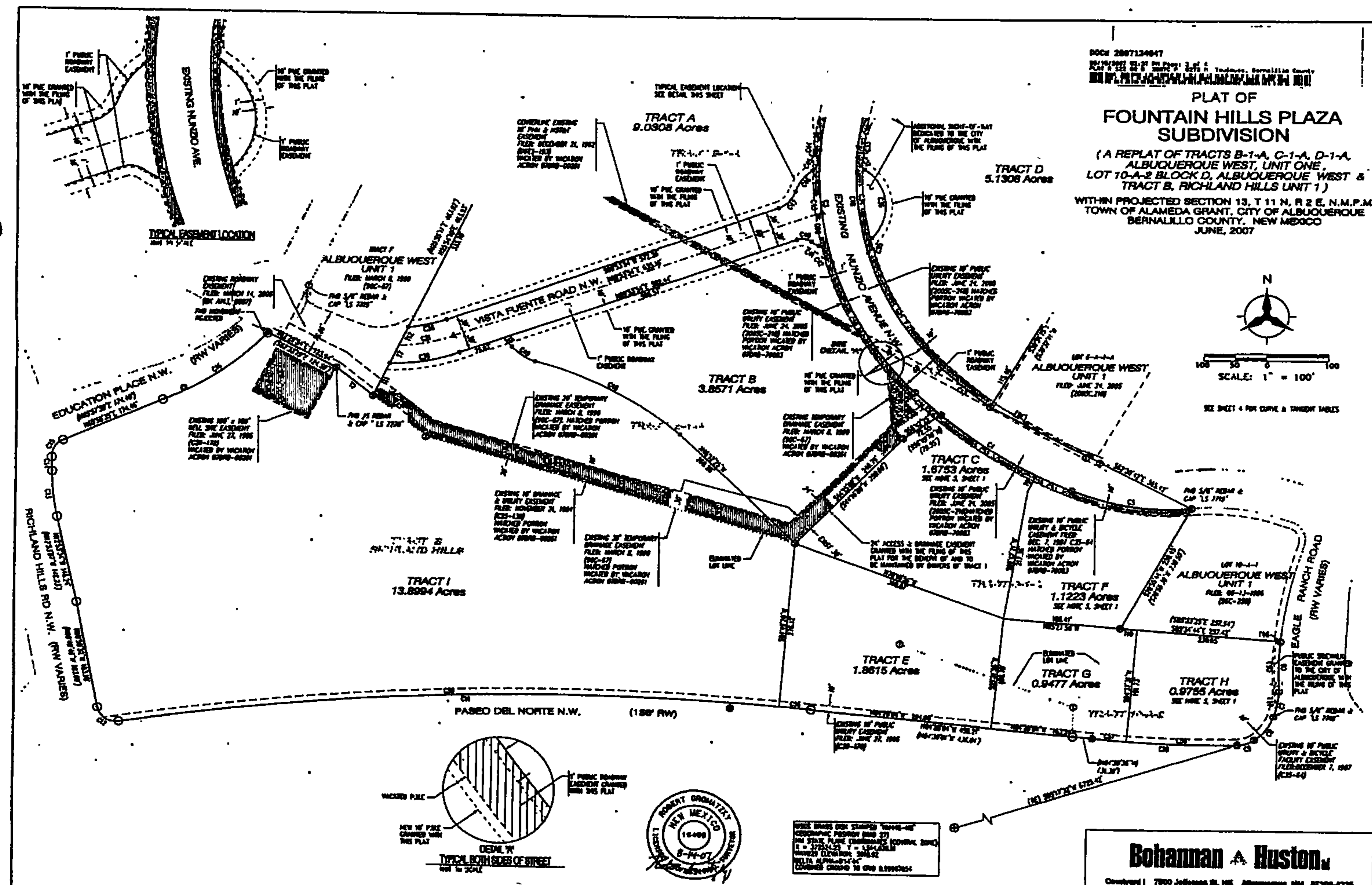
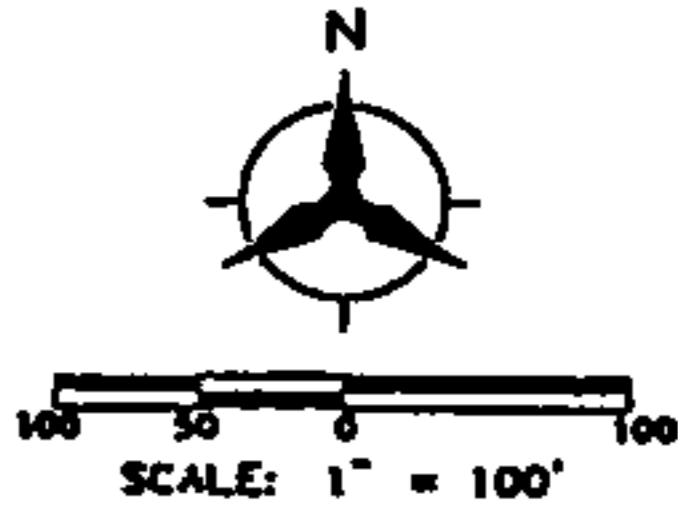


**Bohannon & Huston**  
 Engineers & Surveyors  
 7900 Jefferson St. NE Albuquerque, NM 87109-4336  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

DOC# 2007134047  
 BOHANNAN & HUSTON  
 7900 JOHNSON BL. NE ALBUQUERQUE, NM 87109-4335  
 505.833.6666  
 WWW.BH.COM

# PLAT OF FOUNTAIN HILLS PLAZA SUBDIVISION

(A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A,  
 ALBUQUERQUE WEST, UNIT ONE,  
 LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST &  
 TRACT B, RICHLAND HILLS UNIT 1)  
 WITHIN PROJECTED SECTION 13, T 11 N, R 2 E, N.M.P.M.  
 TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JUNE, 2007



**Bohannan & Huston**

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 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SHEET 3 OF 4

DOCS 208713-4847  
 REC'D BY THE CITY OF ALBUQUERQUE  
 REGISTRATION DIVISION

PLAT OF  
**FOUNTAIN HILLS PLAZA  
 SUBDIVISION**

(A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A,  
 ALBUQUERQUE WEST, UNIT ONE,  
 LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST &  
 TRACT B, RICHLAND HILLS UNIT 1)

WITHIN PROJECTED SECTION 13, T 11 N, R 2 E, N.M.P.M.  
 TOWN OF ALAMEDA COUNTY, CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JUNE, 2007

Curve Data				
ID	BOLA	BEARING	ARC	CHORD
C1	62° 12' 32"	27.71'	21.42'	844.97'
C2	62° 04' 20"	24.91'	21.42'	844.97'
C3	61° 56' 08"	22.31'	21.42'	844.97'
C4	61° 47' 56"	19.71'	21.42'	844.97'
C5	61° 39' 44"	17.11'	21.42'	844.97'
C6	61° 31' 32"	14.51'	21.42'	844.97'
C7	61° 23' 20"	11.91'	21.42'	844.97'
C8	61° 15' 08"	9.31'	21.42'	844.97'
C9	61° 06' 56"	6.71'	21.42'	844.97'
C10	60° 58' 44"	4.11'	21.42'	844.97'
C11	60° 50' 32"	1.51'	21.42'	844.97'
C12	60° 42' 20"		21.42'	844.97'
C13	60° 34' 08"		21.42'	844.97'
C14	60° 25' 56"		21.42'	844.97'
C15	60° 17' 44"		21.42'	844.97'
C16	60° 09' 32"		21.42'	844.97'
C17	59° 01' 20"		21.42'	844.97'
C18	58° 53' 08"		21.42'	844.97'
C19	58° 44' 56"		21.42'	844.97'
C20	58° 36' 44"		21.42'	844.97'
C21	58° 28' 32"		21.42'	844.97'
C22	58° 20' 20"		21.42'	844.97'
C23	58° 12' 08"		21.42'	844.97'
C24	58° 03' 56"		21.42'	844.97'
C25	57° 55' 44"		21.42'	844.97'
C26	57° 47' 32"		21.42'	844.97'
C27	57° 39' 20"		21.42'	844.97'
C28	57° 31' 08"		21.42'	844.97'
C29	57° 22' 56"		21.42'	844.97'
C30	57° 14' 44"		21.42'	844.97'
C31	57° 06' 32"		21.42'	844.97'
C32	56° 58' 20"		21.42'	844.97'
C33	56° 50' 08"		21.42'	844.97'
C34	56° 41' 56"		21.42'	844.97'
C35	56° 33' 44"		21.42'	844.97'
C36	56° 25' 32"		21.42'	844.97'
C37	56° 17' 20"		21.42'	844.97'
C38	56° 09' 08"		21.42'	844.97'
C39	56° 00' 56"		21.42'	844.97'
C40	55° 52' 44"		21.42'	844.97'
C41	55° 44' 32"		21.42'	844.97'
C42	55° 36' 20"		21.42'	844.97'
C43	55° 28' 08"		21.42'	844.97'
C44	55° 19' 56"		21.42'	844.97'
C45	55° 11' 44"		21.42'	844.97'
C46	55° 03' 32"		21.42'	844.97'
C47	54° 55' 20"		21.42'	844.97'
C48	54° 47' 08"		21.42'	844.97'
C49	54° 38' 56"		21.42'	844.97'
C50	54° 30' 44"		21.42'	844.97'
C51	54° 22' 32"		21.42'	844.97'
C52	54° 14' 20"		21.42'	844.97'
C53	54° 06' 08"		21.42'	844.97'
C54	53° 57' 56"		21.42'	844.97'
C55	53° 49' 44"		21.42'	844.97'
C56	53° 41' 32"		21.42'	844.97'
C57	53° 33' 20"		21.42'	844.97'
C58	53° 25' 08"		21.42'	844.97'
C59	53° 16' 56"		21.42'	844.97'
C60	53° 08' 44"		21.42'	844.97'
C61	53° 00' 32"		21.42'	844.97'
C62	52° 52' 20"		21.42'	844.97'
C63	52° 44' 08"		21.42'	844.97'
C64	52° 35' 56"		21.42'	844.97'
C65	52° 27' 44"		21.42'	844.97'
C66	52° 19' 32"		21.42'	844.97'
C67	52° 11' 20"		21.42'	844.97'
C68	52° 03' 08"		21.42'	844.97'
C69	51° 54' 56"		21.42'	844.97'
C70	51° 46' 44"		21.42'	844.97'
C71	51° 38' 32"		21.42'	844.97'
C72	51° 30' 20"		21.42'	844.97'
C73	51° 22' 08"		21.42'	844.97'
C74	51° 13' 56"		21.42'	844.97'
C75	51° 05' 44"		21.42'	844.97'
C76	50° 57' 32"		21.42'	844.97'
C77	50° 49' 20"		21.42'	844.97'
C78	50° 41' 08"		21.42'	844.97'
C79	50° 32' 56"		21.42'	844.97'
C80	50° 24' 44"		21.42'	844.97'
C81	50° 16' 32"		21.42'	844.97'
C82	50° 08' 20"		21.42'	844.97'
C83	50° 00' 08"		21.42'	844.97'
C84	49° 51' 56"		21.42'	844.97'
C85	49° 43' 44"		21.42'	844.97'
C86	49° 35' 32"		21.42'	844.97'
C87	49° 27' 20"		21.42'	844.97'
C88	49° 19' 08"		21.42'	844.97'
C89	49° 10' 56"		21.42'	844.97'
C90	49° 02' 44"		21.42'	844.97'
C91	48° 54' 32"		21.42'	844.97'
C92	48° 46' 20"		21.42'	844.97'
C93	48° 38' 08"		21.42'	844.97'
C94	48° 29' 56"		21.42'	844.97'
C95	48° 21' 44"		21.42'	844.97'
C96	48° 13' 32"		21.42'	844.97'
C97	48° 05' 20"		21.42'	844.97'
C98	47° 57' 08"		21.42'	844.97'
C99	47° 48' 56"		21.42'	844.97'
C100	47° 40' 44"		21.42'	844.97'

SIGHT CURVE DATA						
ID	BOLA	BEARING	ARC	CHORD	CHORD BEG	CHORD END
(C1)	(62° 12' 32")	(27.71')	(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C2)	(62° 04' 20")	(24.91')	(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C3)	(61° 56' 08")	(22.31')	(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C4)	(61° 47' 56")	(19.71')	(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C5)	(61° 39' 44")	(17.11')	(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C6)	(61° 31' 32")	(14.51')	(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C7)	(61° 23' 20")	(11.91')	(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C8)	(61° 15' 08")	(9.31')	(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C9)	(61° 06' 56")	(6.71')	(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C10)	(60° 58' 44")	(4.11')	(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C11)	(60° 50' 32")	(1.51')	(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C12)	(60° 42' 20")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C13)	(60° 34' 08")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C14)	(60° 25' 56")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C15)	(60° 17' 44")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C16)	(60° 09' 32")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C17)	(60° 01' 20")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C18)	(60° 53' 08")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C19)	(60° 44' 56")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C20)	(60° 36' 44")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C21)	(60° 28' 32")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C22)	(60° 20' 20")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C23)	(60° 12' 08")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C24)	(60° 03' 56")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C25)	(60° 55' 44")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C26)	(60° 47' 32")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C27)	(60° 39' 20")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C28)	(60° 31' 08")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C29)	(60° 22' 56")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C30)	(60° 14' 44")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C31)	(60° 06' 32")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C32)	(60° 58' 20")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C33)	(60° 50' 08")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C34)	(60° 41' 56")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C35)	(60° 33' 44")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C36)	(60° 25' 32")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C37)	(60° 17' 20")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C38)	(60° 09' 08")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C39)	(60° 00' 56")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C40)	(60° 52' 44")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C41)	(60° 44' 32")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C42)	(60° 36' 20")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C43)	(60° 28' 08")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C44)	(60° 19' 56")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C45)	(60° 11' 44")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C46)	(60° 03' 32")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C47)	(60° 55' 20")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C48)	(60° 47' 08")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C49)	(60° 38' 56")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C50)	(60° 30' 44")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C51)	(60° 22' 32")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C52)	(60° 14' 20")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C53)	(60° 06' 08")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C54)	(60° 57' 56")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C55)	(60° 49' 44")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C56)	(60° 41' 32")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C57)	(60° 33' 20")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C58)	(60° 25' 08")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C59)	(60° 16' 56")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C60)	(60° 08' 44")		(21.42')	(844.97')	(33° 37' 28")	(33° 37' 28")
(C61)	(60° 00' 32")		(21.42')	(844.97')	(33° 37' 28")	

Current DRC  
Project No. \_\_\_\_\_

**ORIGINAL**

Figure 12  
**INFRASTRUCTURE LIST**

EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST  
FOUNTAIN HILLS

Date Submitted: June 5, 2007  
Date Site Plan Approved: N/A  
Date Preliminary Plat Approved: 6-20-07  
Date Preliminary Plat Expires: 6-20-08

DNS Project No. 1003445  
APP # 07028-70054

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appropriate items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include these items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appropriate or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantee. All such revisions require approval by the DRC Chair, the User Department and sponsor. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Item	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
<b>PHASE I INFRASTRUCTURE IMPROVEMENTS</b>									
<b>PHASE 2 OFFSITE PUBLIC ROADWAY IMPROVEMENTS</b>									
B-1	584480	32' F-F 16' MEDIAN	ARTERIAL PAVEMENT W/ MEDIAN & STD. CURB & GUTTER W/ 6' SIDEWALK ON SOUTHSIDE	PARADISE BLVD	WEST PROPERTY BOUNDARY	EAST PROPERTY BOUNDARY	/	/	/
B-1	584480	30' WIDE	4" TEMPORARY ASPHALT	PARADISE BLVD EASTBOUND LANE	DAVENPORT ST	WEST PROPERTY BOUNDARY	/	/	/
B-1	584480	30' WIDE	4" TEMPORARY ASPHALT	PARADISE BLVD EASTBOUND LANE	EAST PROPERTY LINE	EXISTING MINI STORAGE UNIT WEST PROPERTY LINE	/	/	/
		NOTE:	STREET LIGHTS AS PER COA DPM						
		NOTE:	LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETSCAPE AGREEMENT. A FINANCIAL GUARANTEE IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY.						
<b>PHASE I ONSITE PUBLIC ROADWAY IMPROVEMENTS</b>									
B-1	584480	40' F-F	PAVEMENT W/ PCC CURB & GUTTER & PCC 6' WIDE SIDEWALK ON BOTH SIDES	NUNDO AVE	EAGLE RANCH RD	VISTA FUENTE ROAD	/	/	/
B-1	584480	VARIES 24' F-F MIN - 40' F-F MAX	PAVEMENT W/ PCC CURB & GUTTER & PCC 6' WIDE SIDEWALK ON EAST SIDE	NUNDO AVE EAST HALF OF ROADWAY	VISTA FUENTE ROAD	PARADISE BLVD	/	/	/
B-1	584480		ROUNDOUT	NUNDO AVE	VISTA FUENTE	NUNDO AVE	/	/	/
		NOTE:	STREET LIGHTS AS PER COA DPM						
		NOTE:	LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETSCAPE AGREEMENT. A FINANCIAL GUARANTEE IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY.						

SEA Description #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
<b>PHASE 1 PUBLIC SANITARY SEWER IMPROVEMENTS</b>									
		3" DIA	SANITARY SEWER LINE W/ NEC. MYS & SERVICES	MUNDO AVE	EAGLE RANCH RD	PARADISE BLVD	/	/	/
		8" DIA	SANITARY SEWER LINE W/ NEC. MYS & SERVICES	VISTA FUENTE ROAD	140' SOUTH-WEST OF INTERSECTION OF VISTA FUENTE ROAD & MUNDO AVE	MUNDO AVE	/	/	/
<b>PHASE 1 PUBLIC WATERLINE IMPROVEMENTS</b>									
		8" DIA	WATERLINE W/ NEC. VALVES FVS, MFS & RVS	MUNDO AVE	EAGLE RANCH RD	PARADISE BLVD	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FVS, MFS & RVS	VISTA FUENTE ROAD	EDUCATION PLACE	MUNDO AVE	/	/	/
<b>PHASE 1 PUBLIC STORM DRAIN IMPROVEMENTS</b>									
B-1 584480	584480	18"-42" DIA	RCP W/ NEC. MYS, LATERALS, & INLETS	MUNDO AVE	PARADISE BLVD	EDSTNS LOT 8-A-1	/	/	/
B-1 584480	584480	18"-30" DIA	RCP W/ NEC. MYS, LATERALS, & INLETS	VISTA FUENTE ROAD	EDUCATION PLACE	MUNDO AVE	/	/	/
B-1 584480	584480	24" DIA	RCP W/ NEC. MYS, LATERALS, & INLETS	TRACT 8-A-1	TRACT D	DETENTION POND	/	/	/
B-1 584480	584480	2.5 AC-FT	DETENTION POND	EDSTNS LOT 8-A-1			/	/	/
<b>PHASE 2 INFRASTRUCTURE IMPROVEMENTS</b>									
<b>PHASE 2 OFFSITE PUBLIC ROADWAY IMPROVEMENTS</b>									
MB-1 584480	584480		TRAFFIC SIGNAL	PARADISE BLVD/ FRICKLY PEAR ST			/	/	/
MB-1 584480	584480	12' WIDE	ADD 2ND LEFT TURN ARTERIAL PAVEMENT W/ FCC CURB & GUTTER	PASEO DEL NORTE EAST BOUND LANE		RICHLAND HILLS RD	/	/	/
MB-1 584480	584480	12' WIDE	ADD RIGHT TURN LANE ARTERIAL PAVEMENT W/ FCC CURB & GUTTER	RICHLAND HILLS RD SOUTHBOUND LANE		PASEO DEL NORTE	/	/	/
MB-1 584480	584480	12' WIDE	ADD RIGHT TURN LANE ARTERIAL PAVEMENT	PASEO DEL NORTE WESTBOUND LANE	RICHLAND HILLS RD	180' EAST OF RICHLAND HILLS EAST CURB & GUTTER	/	/	/
MB-1 584480	584480	10' WIDE	TRAIL	PASEO DEL NORTE	WEST PROPERTY LINE	EAGLE RANCH RD	/	/	/

*MMUJ*

*MMUJ*



MA Sequence #	COA DRG Project #	Site	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
MB-1	584480	12' WIDE	ADD 2ND LEFT TURN LANE ARTERIAL PAVEMENT W/ PCC CURB & GUTTER (ADD. WIDTH TO BE TAKEN FROM MEDIAN)	PASEO DEL NORTE EAST BOUND LANE		EAGLE RANCH RD	/	/	/
MB-1		11' WIDE	ADD THIRD THRU LANE - STRIPING MODIFICATION ONLY	PASEO DEL NORTE EAST BOUND LANE	WEST OF EAGLE RANCH	EAST OF EAGLE RANCH	/	/	/
		12' WIDE	ADD THIRD THRU LANE - STRIPING MODIFICATION ONLY	PASEO DEL NORTE WEST BOUND LANE	BEGINNING FREE RIGHT	EAGLE RANCH RD	/	/	/
		12' WIDE	ADD THIRD THRU LANE ARTERIAL PAVEMENT W/ PCC CURB & GUTTER & 6' SIDEWALK	PASEO DEL NORTE WEST BOUND LANE	EAGLE RANCH RD	<b>RONALD</b> PULMANHILLS WEST -BOUNDARY-	/	/	/
		12' WIDE	ADD LEFT TURN LANE (DONE W/ COSTCO) NO FINANCIAL GUARANTEE REQUIRED	COORS BLVD. NORTH-BOUND		EAGLE RANCH RD	/	/	/
		8' WIDE	BIKE LANE W/ PCC CURB & GUTTER W/ 6' SIDEWALK	EAGLE RANCH ROAD	SOUTH BOUNDARY TRACT 10-A-1	PASEO DEL NORTE	/	/	/

PHASE 2 ONITE PUBLIC ROADWAY IMPROVEMENTS

MB-1	584480	40' F-F	RESIDENTIAL PAVEMENT W/ PCC CURB & GUTTER & PCC 8' WIDE SIDEWALK ON BOTH SIDES	VISTA FUENTE ROAD	EDUCATION PLACE	MUNDO AVE	/	/	/
		VARIES 30' MIN	RESIDENTIAL PAVEMENT W/ PCC CURB & GUTTER & PCC 8' WIDE SIDEWALK ON WEST SIDE	MUNDO AVE WEST HALF OF ROADWAY	VISTA FUENTE ROAD	PARADISE BLVD	/	/	/
		NOTE:	STREET LIGHTS AS PER COA DPM						
		NOTE:	LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETSCAPE AGREEMENT. A FINANCIAL GUARANTY IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY						

BRUCE STODWORTHY, PE      06/20/07      *[Signature]*      6/20/07      *[Signature]*      6/20/07  
 PREPARED BY: PRINT NAME      DNS CHAIR      DATE      PARKS & GENERAL SERVICES      DATE

BOHANNAN HUSTON INC.      *[Signature]*      6-20-07      *[Signature]*      6/20/07      *[Signature]*      6/20/07  
 FIRM      TRANSPORTATION DEVELOPMENT      DATE      AMAPCA      DATE  
 SIGNATURE      DATE      UTILITY DEVELOPMENT      DATE      CITY ENGINEER      DATE

MAXIMUM TIME ALLOW TO CONSTRUCT  
 IMPROVEMENTS WITHOUT A DNS EXTENSION      *[Signature]*      6-19-07      DATE

DESIGN REVIEW COMMITTEE REVISIONS			
REVISION	DATE	DNS CHAIR	AGENT/OWNER



EXHIBIT "A"

**OFFICIAL NOTICE OF DECISION**

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD**

August 19, 2009

**Project# 1003445  
09DRB-70238 MAJOR - 1 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS  
AGREEMENT  
(2YR SIA)**

At the August 19, 2009 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by September 3, 2009, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, AICP, DRB Chair

Cc: Bohannon Huston, Inc. - 7500 Jefferson St. - Albuquerque, NM 87109  
Cc: Dwayne Pino - P.O. Box 56883 - Albuquerque, NM 87187  
Marilyn Maldonado  
File



**OFFICIAL NOTICE OF DECISION**

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

September 28, 2011

**Project# 1003445**  
11DRB-702 4 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT (2YR SIA)

BOHANNAN HOUSTON INC agent(s) for JASON SHAFFER request(s) the referenced/ above action(s) for all or a portion of **FOUNTAIN HILLS PLAZA SUBDIVISION** zoned SU-1/ PDA/ C- / IP, located on the north side of PASEO DEL NORTE NW between EAGLE RANCH RD NW and RICHLAND HILLS DR NW containing approximately 9.9074 acre(s). (C-12)

At the September 28, 2011 Development Review Board meeting, an extension of the Subdivision Improvements Agreement was approved through September 30<sup>th</sup>, 2012.

If you wish to appeal this decision, you must do so by October 13, 2011, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, DRB Chair

Cc: Bohannan Huston Inc – 7500 Jefferson St. – Albuquerque, NM 87109  
Cc: Jason Shaffer – P.O. Box 66897 – Albuquerque, NM 8719  
Marilyn Maldonado  
File



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

October 10, 2012

**Project# 1003445**  
12DRB-70289 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT (2YR SIA)

CUSTOM GRADING, INC. agent(s) for JASON SHAFFER request(s) the referenced/ above action(s) for all or a portion of **FOUNTAIN HILLS PLAZA SUBDIVISION** zoned SU-1/ PDA/ C-3/ IP, located on the north side of PASEO DEL NORTE NW between EAGLE RANCH RD NW and RICHLAND HILLS DR NW containing approximately 39.9074 acre(s). (C-12)

At the October 10, 2012 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by October 25, 2012, in the manner described below.

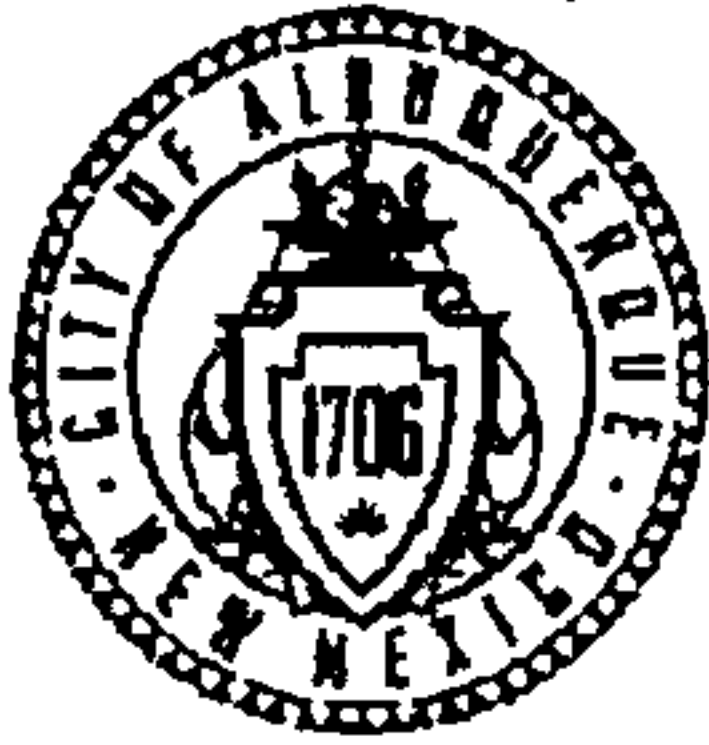
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, DRB Chair

Cc: Custom Grading Inc.  
Marilyn Maldonado  
file



# DEVELOPER INQUIRY SHEET

To obtain NA/HOA Contact Information for Application Submittal to the Planning Department.

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 -OR- you can e-mail the Zone Map and Developer Inquiry Sheet to: Stephani Winklepleck, e-mail: [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov). ONC will need the following information **BEFORE** NA/HOA Contact Information will be released to the Applicant/Agent on any Project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914.

**Zone Map and this Developer Inquiry Sheet MUST be provided with request.**

Please mark/hatch Zone Map where Property is located.

Your Developer Inquiry is for the following:

- Cell Tower Submittal:  Free-Standing Tower -OR-  Concealed Tower
- EPC Submittal  DRB Submittal  LUCC Submittal  Liquor Submittal
- Administrative Amendments (AA's) Submittal  City Project Submittal

CONTACT NAME: Jason Shaffer

COMPANY NAME: Fountain Hills Plaza LLC

ADDRESS/ZIP: P.O. Box 66897, Albuquerque, NM 87193

PHONE: 505-280-5771 FAX: 505-344-3992

## LEGAL DESCRIPTION INFORMATION

LEGAL DESCRIPTION OF THE SUBJECT SITE FOR THIS PROJECT SUBMITTAL IS DESCRIBED BELOW (i.e., Lot A, Block A, of the For Your Information Subdivision):

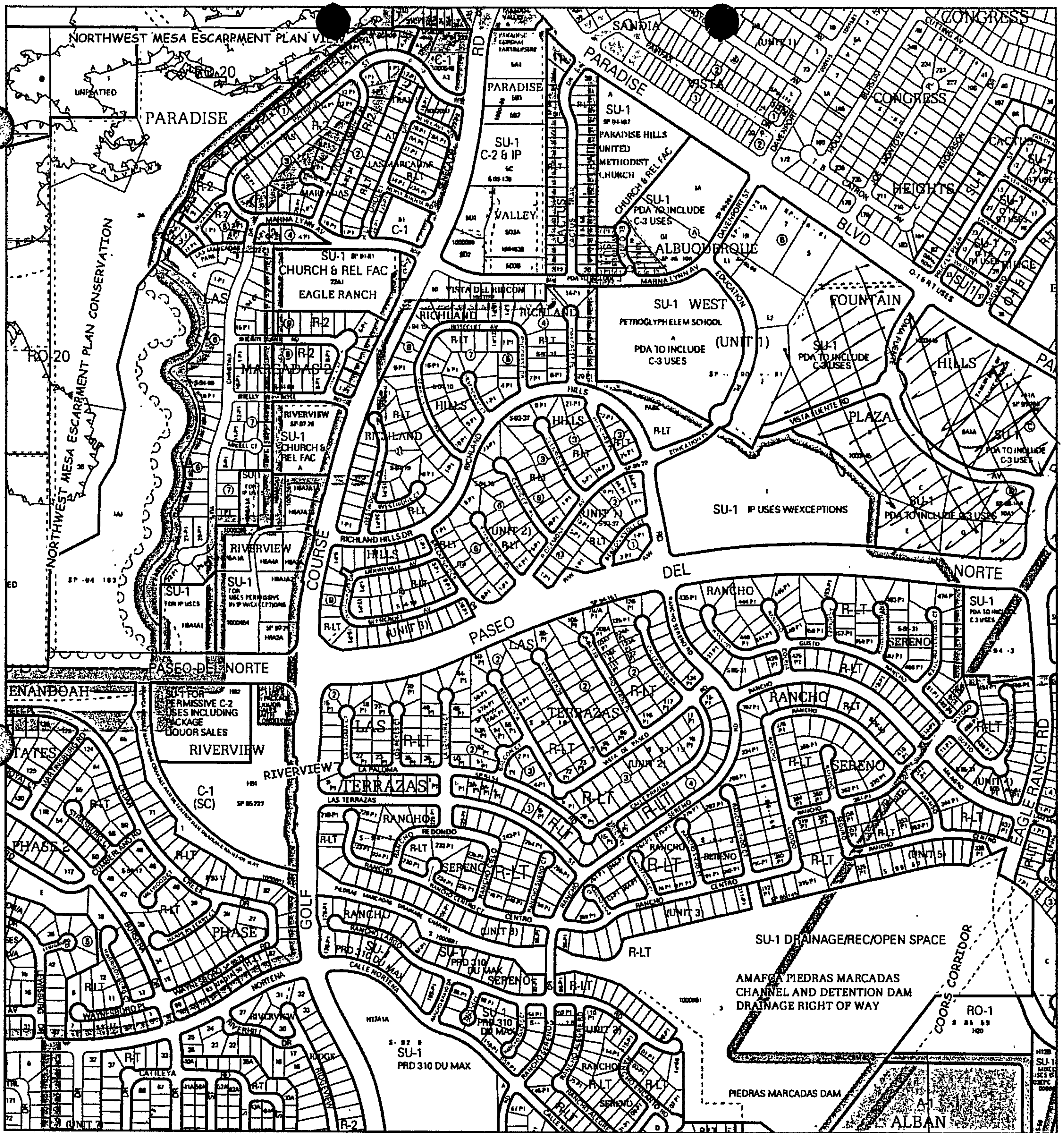
Lots A, B, C, D, E, F, G, H, I Fountain Hills Plaza Subdivision

LOCATED ON Paseo del Norte and Eagle Ranch Rd NW  
STREET NAME OR OTHER IDENTIFYING LANDMARK


BETWEEN \_\_\_\_\_ AND \_\_\_\_\_  
STREET NAME OR OTHER IDENTIFYING LANDMARK

\_\_\_\_\_ STREET NAME OR OTHER IDENTIFYING LANDMARK

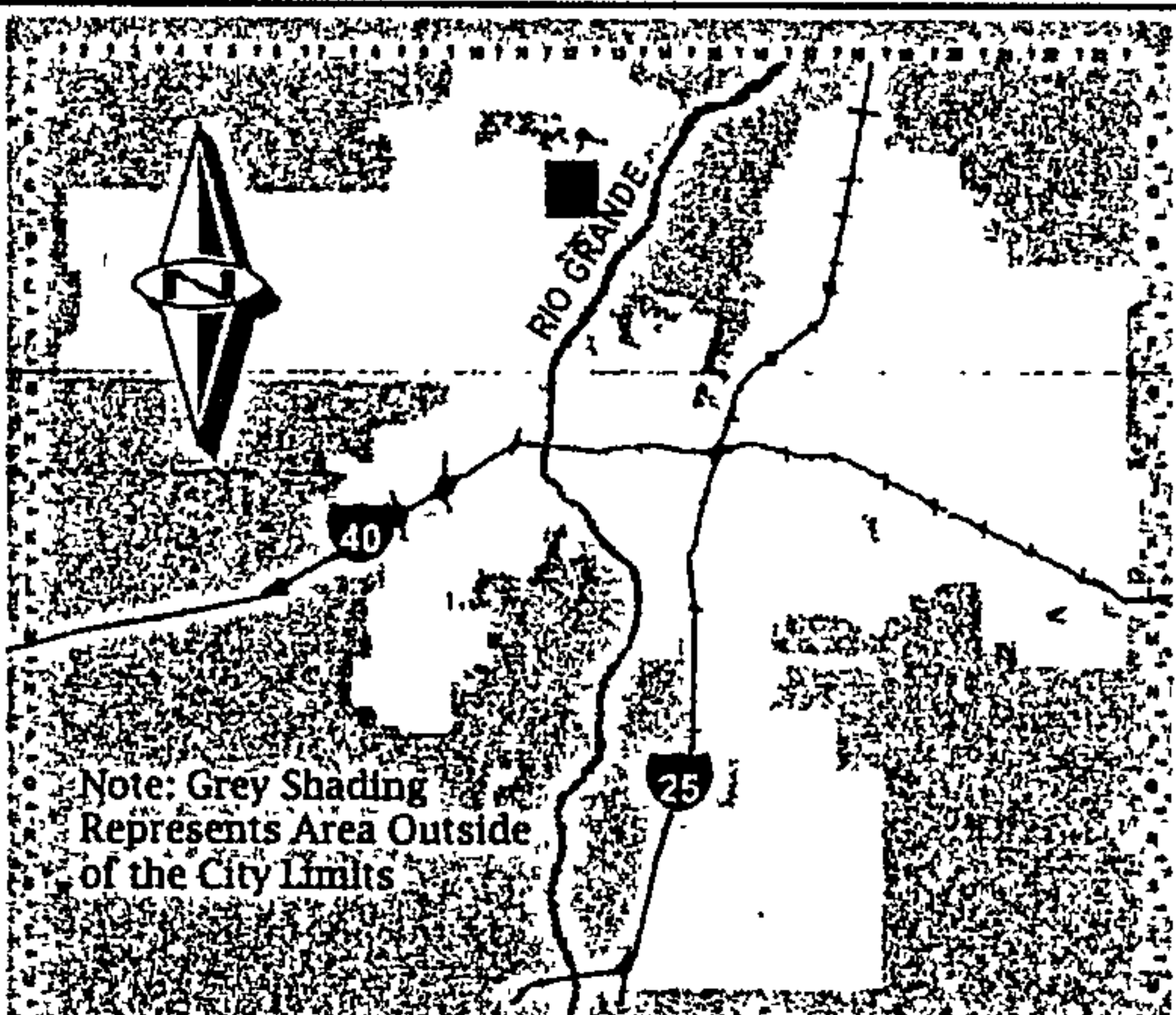
THE SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE (G-12).



For more current information and more details visit: <http://www.cabq.gov/gis>












Map amended through: 1/24/2011

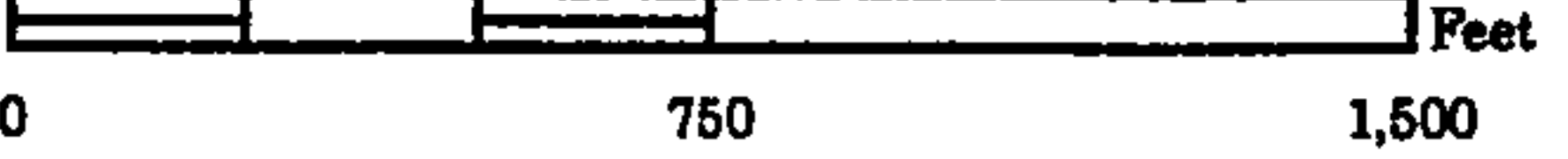


Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-12-Z**

Selected Symbols

 SECTOR PLANS	 Escarpment
 Design Overlay Zones	 2 Mile Airport Zone
 City Historic Zones	 Airport Noise Contours
 H-1 Buffer Zone	 Wall Overlay Zone
 Petroglyph Mon.	



0 750 1,500 Feet

August 19, 2014

City of Albuquerque  
Planning Department  
Design Review Board  
1 Civic Plaza NW  
Albuquerque, NM 87102

Re: Fountain Hills Plaza Subdivision, Phase/Unit #2

To Whom It May Concern:

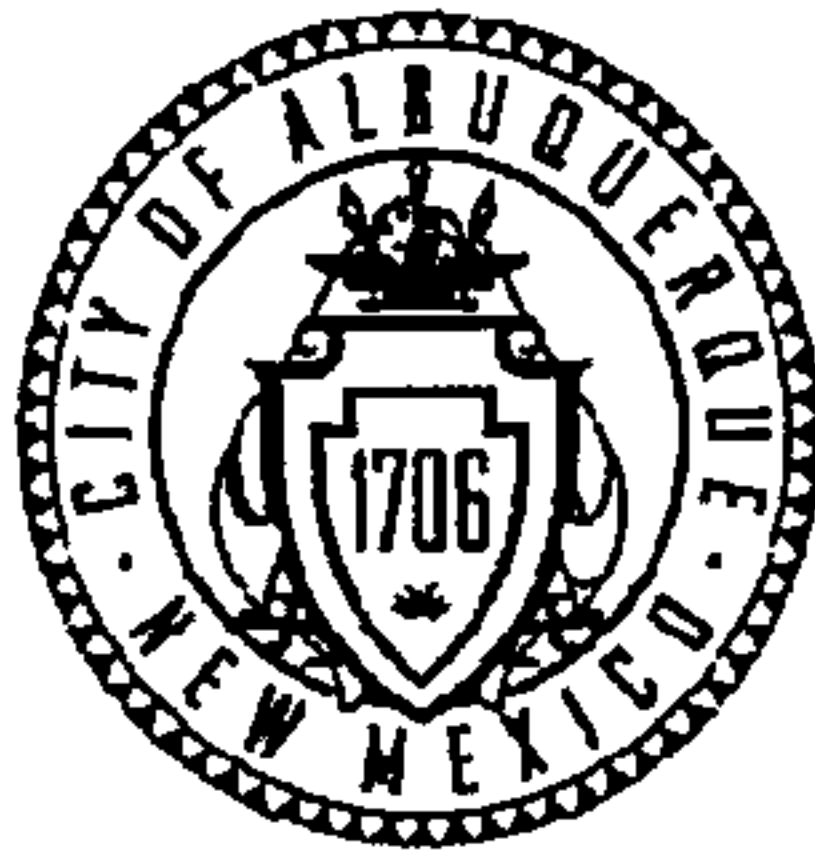
Phase 2 of Fountain Hills Plaza Subdivision has not yet been complete, or even begun as of this date. The items required are as follows, according to the Engineers Opinion of Probably Costs on record:

Traffic Signal at Loma Fuente Rd and Paradise Blvd NW  
On-site paving of Vista Fuente Rd  
Paseo del Norte//Eagle Ranch – Paving, striping, and signage and relocating traffic signal

We are requesting a two-year extension of the Subdivision Improvement Agreement, due to slow economic environment and lack of end users.

Sincerely,

Jason A. Shaffer  
Managing Member  
Fountain Hills Plaza LLC



**City of Albuquerque**  
P.O. Box 1293, Albuquerque, NM 87103

August 20, 2014

Jason Shaffer  
Fountain Hills Plaza LLC  
P.O. Box 66897/87193  
Phone: 505-280-5771 Fax: 505-344-3992

Dear Jason:

Thank you for your inquiry of August 20, 2014 requesting the names of ALL Neighborhood and/or Homeowners Associations who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) LOTS A, B, C, D, E, F, G, H, I, FOUNTAIN HILLS PLAZA SUBDIVISION LOCATED ON PASEO DEL NORTE AND EAGLE RANCH RD. NW zone map C-12.**

Our records indicate that the ALL Neighborhood and/or Homeowners Associations affected by this proposal and the contact names are as follows:

**SEE ATTACHMENT "A" FOR THE NAMES OF THE NA/HOA'S THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL – please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's.**

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3906 or via an e-mail message at [dcarmona@cabq.gov](mailto:dcarmona@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Dalaina Carmona*

Senior Administrative Assistant  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD ASSOCIATION.**



# !!! Notice to Applicants !!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-

The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.

Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Dalaina at 924-3906 or via an e-mail message at [dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov).

Thank you for your cooperation on this matter.

\*\*\*\*\*

(below this line for ONC use only)

Date of Inquiry: 8/20/14 Time Entered: 1:30 p.m. ONC Rep. Initials: DC

# ATTACHMENT "A"

August 20, 2014

Jason Shaffer  
Fountain Hills Plaza LLC  
P.O. Box 66897/87193  
Phone: 505-280-5771 Fax: 505-344-3992

## **PARADISE HILLS CIVIC ASSOC. (PHC) "R"**

**\*Tom Anderson**

10013 Plunkett Dr. NW/87114 897-2593 (h)

**Maria Warren**

5020 Russell NW/87114 440-2240 (h)

## **PIEDRAS MARCADAS N.A. (PMC) "R"**

**\*Tony Paiz**

4905 Sherry Ann NW/87114 480-5741 (c)

**Zora Gordley**

8615 Tia Christina NW/87114 897-6950 (h)

## **RANCHO SERENO N.A. (RSO) "R"**

**Debra Cox**

8209 Rancho Paraiso NW/87120 792-0448 (h) 238-8563 (c)

**Sander A. Rue**

7500 Rancho Solano Ct. NW/87120 301-0189 (c)

## **TAYLOR RANCH N.A. (TRN) "R"**

**\*Jolene Wolfley**

7216 Carson Trl. NW/87120 890-9414 (h)

**Rene Horvath**

5515 Palomino Dr. NW/87120 898-2114 (h)

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 22, 2014

Tom Anderson  
10013 Plunkett Dr. NW  
Albuquerque, NM 87114

7014 1200 0002 0261 9380

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Total Postage & Fees	\$	\$5.14	

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AUG 25 2014  
USPS

Sent To Tom Anderson  
Street, Apt. No.;  
or PO Box No. 10013 Plunkett Dr NW  
City, State, ZIP+4 Abq NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

RE: Subdivision Improvements Agreement Extension

Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

Dear Mr. Anderson:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Paradise Hills Civic Assoc (PHC).

We are requesting at two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 22, 2014

Maria Warren  
5020 Russell NW  
Albuquerque, NM 87114

70214 1200 0002 0261 9397

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Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.14

0109

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22 AUG 2014

ALBUQUERQUE NM 87114-9999 SPSN

Sent To: Marie Warren  
Street, Apt. No., or PO Box No.: 5020 Russell NW  
City, State, ZIP+4: Albuquerque NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

Dear Ms. Warren:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Paradise Hills Civic Assoc. (PHC).

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 22, 2014

Tony Paiz  
4905 Sherry Ann NW  
Albuquerque, NM 87114

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Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.14	

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ALBUQUERQUE, NM 87109-9998  
AUG 25 2014  
USPS

Sent To: Tony Paiz  
Street, Apt. No.; or PO Box No. 4905 Sherry Ann NW  
City, State, ZIP+4 Abq NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

7014 1200 0002 0261 9408

RE: Subdivision Improvements Agreement Extension

Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

Dear Tony:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Piedras Marcadas N.A. (PMC).

We are requesting at two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 22, 2014

Zora Gordley  
8615 Tia Christina NW  
Albuquerque, NM 87114

4546 1220 0002 0263 9434

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ALBUQUERQUE NM 87114

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Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$5.14

0109  
ALBUQUERQUE NM 87109-9998  
Postmark Here  
JG 2014  
08/22/14

Sent To: Zora Gordley  
Street, Apt. No., or PO Box No.: 8615 Tia Christina Nw  
City, State, ZIP+4: Abq Nm 87114

PS Form 3800, August 2006 See Reverse for Instructions

RE: Subdivision Improvements Agreement Extension

Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

Dear Zora:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Piedras Marcadsa N.A. (PMC).

We are requesting at two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 22, 2014

Debra Cox  
8209 Rancho Paraiso NW  
Albuquerque, NM 87120

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ALBUQUERQUE NM 87120

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Certified Fee		\$3.30	
Return Receipt Fee (Endorsement Required)		\$1.35	
Restricted Delivery Fee (Endorsement Required)		\$0.00	
Total Postage & Fees	\$	\$5.14	

Sent To: Debra Cox  
Street, Apt. No., or PO Box No.: 9209 Rancho Paraiso NW  
City, State, ZIP+4: Abq NM 87120

PS Form 3800, August 2006 See Reverse for Instructions

7014 1200 0002 0263 9441

RE: Subdivision Improvements Agreement Extension

Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

Dear Debra:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Rancho Sereno N.A. (RSO).

We are requesting at two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 22, 2014

Sander A. Rue  
7500 Rancho Solano Ct NW  
Albuquerque, NM 87120

9546 1920 2000 0021 4102

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Restricted Delivery Fee (Endorsement Required)		\$0.00	
Total Postage & Fees	\$	\$5.14	

Sent To Sander Rue  
Street, Apt. No.,  
or PO Box No. 7500 Rancho Solano Ct NW  
City, State, ZIP+4 Abq NM 87120

PS Form 3800, August 2006 See Reverse for Instructions

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

Dear Sander:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Rancho Sereno N.A. (RSO).

We are requesting at two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC



CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 22, 2014

Jolene Wolfley  
7216 Carson Trail NW  
Albuquerque, NM 87120

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

Dear Ms. Wolfley:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Taylor Ranch N. A. (TRN).

We are requesting at two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

5946 7920 0002 0261 9465  
7014 1200 0002 0027 4101

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Return Receipt Fee (Endorsement Required)	\$ 1.35
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 5.14

Postmark Here  
ALBUQUERQUE, NM 87109-9998  
08/25/2014

Sent To	Jolene Wolfley
Street, Apt. No., or PO Box No.	7216 Carson Trail NW
City, State, ZIP+4	Abq NM 87120

PS Form 3800, August 2006 See Reverse for Instructions

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 22, 2014

Rene Horvath  
5515 Palomino Dr NW  
Albuquerque, NM 87120

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

Dear Rene:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Taylor Ranch N. A. (TRN).

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

7014 1200 0002 0261 9373

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Certified Fee	\$3.30	
Return Receipt Fee (Endorsement Required)	\$1.35	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.14	

Postmark: ALBUQUERQUE NM 87120 08/25/2014 8666-89

Sent To: Rene Horvath  
Street, Apt. No., or PO Box No.: 5515 Palomino Dr NW  
City, State, ZIP+4: Abq Nm 87120

PS Form 3800, August 2006 See Reverse for Instructions

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from Sept. 16, 2014 to October 1, 2014

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] 8/25/2014  
(Applicant or Agent) (Date)

I issued 3 signs for this application, 9-2-14, [Signature]  
(Date) (Staff Member)

PROJECT NUMBER: 1003445

PROJECT #  
1003445

OCTOBER 1. 2014

SIA



Supplemental Form (SF)

<b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	<b>V</b>		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Subdivision			
<input type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	<b>D</b>		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>	<b>A</b>	<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE (Form D)</b>			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): RIO GRANDE ENGINEERING PHONE: 505.321.9099  
 ADDRESS: PO BOX 93924 FAX: \_\_\_\_\_  
 CITY: ALB STATE NM ZIP 87199 E-MAIL: david@riograndeengineering.com

APPLICANT: FOUNTAIN HILLS PLAZA LLC PHONE: \_\_\_\_\_  
 ADDRESS: PO BOX 920798 FAX: \_\_\_\_\_  
 CITY: EL PASO STATE TX ZIP 79902 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: minor subdiviion

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract A Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: FOUNTAIN HILLS  
 Existing Zoning: SU1-PDA W/C3 USES Proposed zoning: SU1-PDA W/C3 USES MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C12 UPC Code: 101206442237010607

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_  
PROJECT#1003445

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 1 No. of proposed lots: 2 Total site area (acres): 9

LOCATION OF PROPERTY BY STREETS: On or Near: VISTA FUENTE  
 Between: EDUCATION PLACE and LOMA FUENTE

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE [Signature] DATE 6/9/14  
 (Print Name) DAVID SOULE Applicant  Agent

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14DRB - 70213</u>	<u>P3F</u>		<u>\$ 285.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>June 18, 2014</u>			Total <u>\$ 305.00</u>

[Signature]  
 Staff signature & Date 6-10-14

Project # 1003445

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

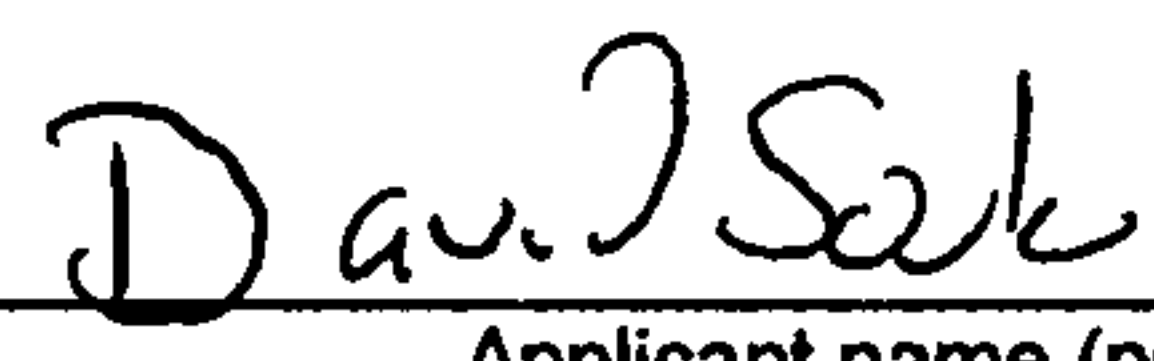

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only *(Commercial)*
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies *(Commercial - 20 walls)*
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies *(on Site Plan Plat)*
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

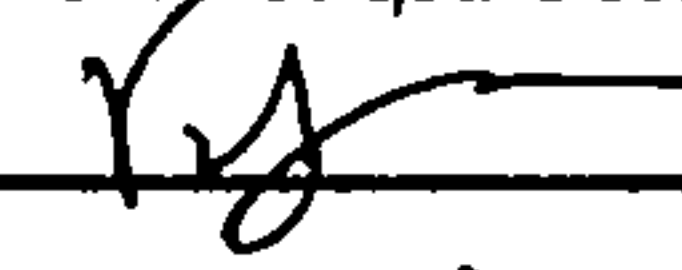
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

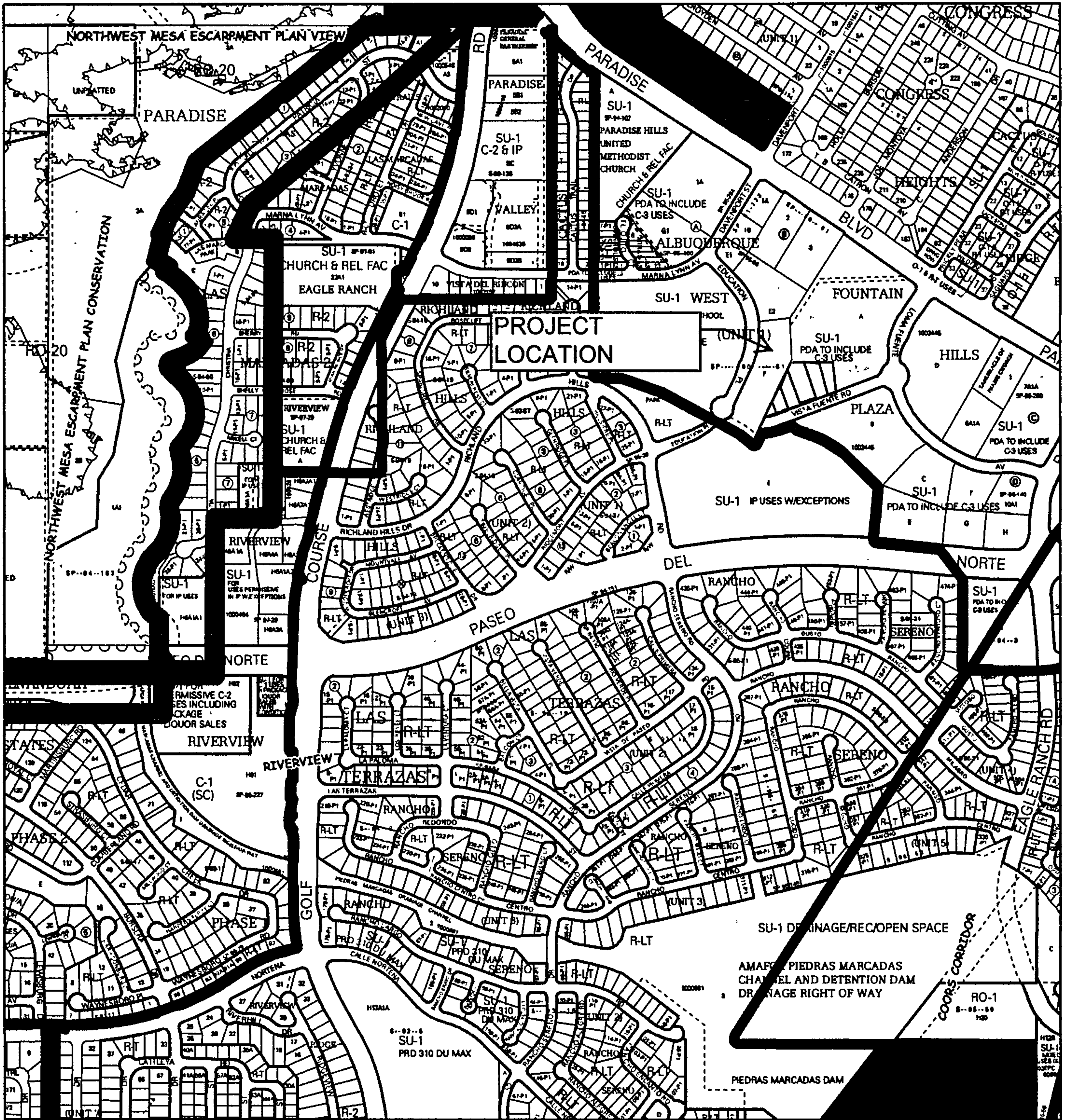
  
 Applicant name (print)  
 6/9/14  
 Applicant signature / date



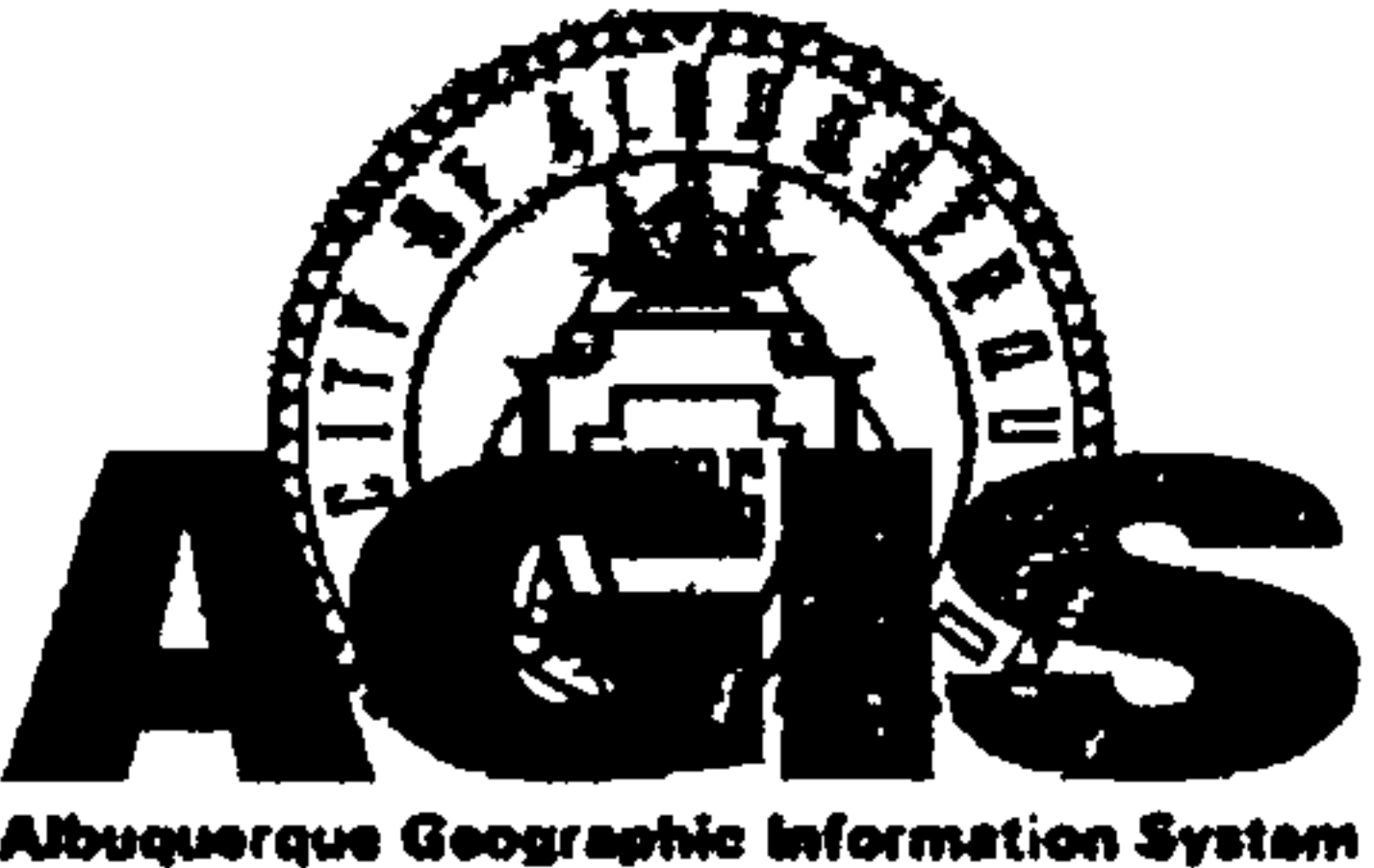
Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 1 DRB - 20213

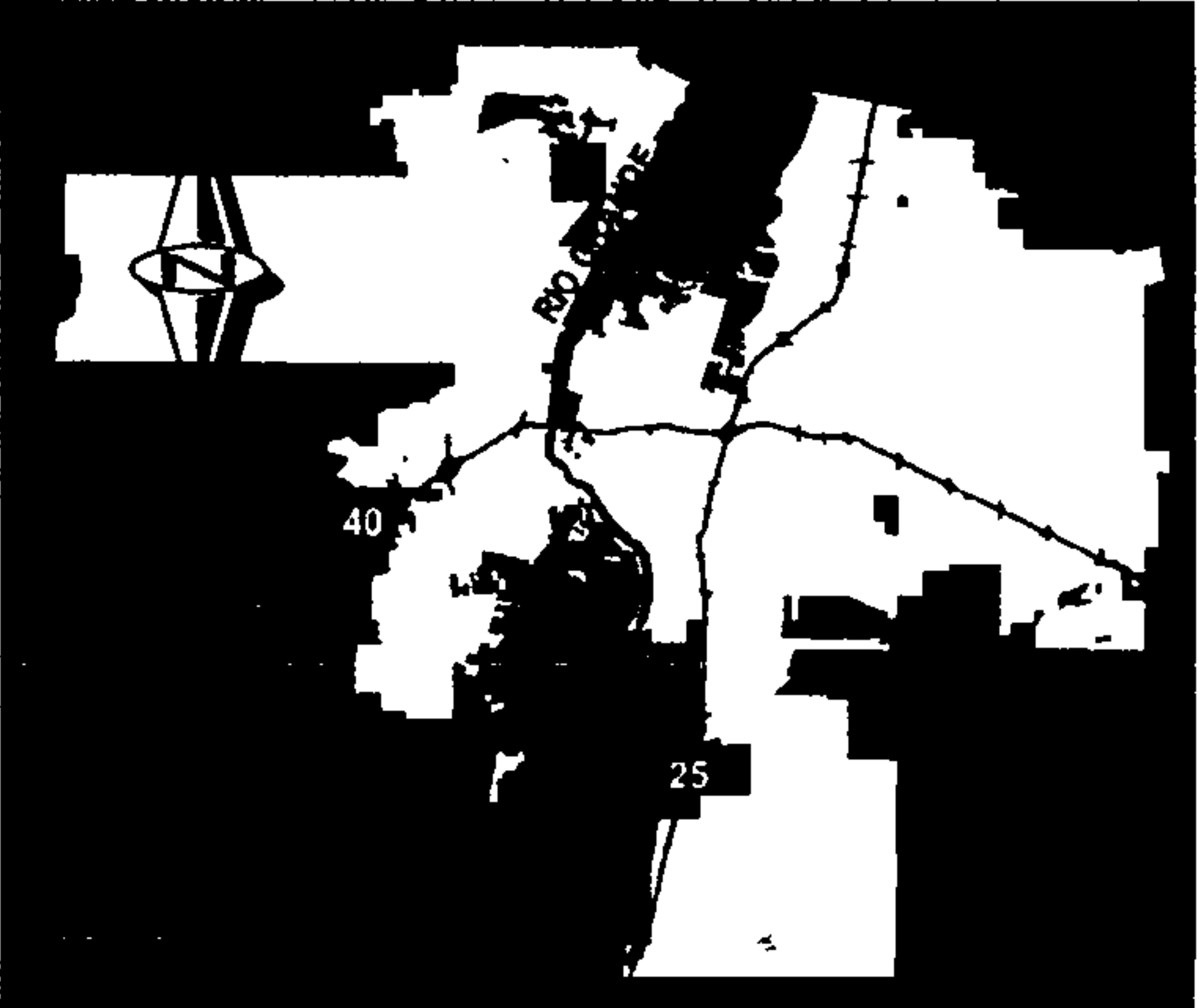
 6-10-14  
 Planner signature / date  
 Project # 1003445



For more current information and more details visit: <http://www.cabq.gov/gis>













Map amended through: 2/4/2010



Zone Atlas Page:  
**C-12-Z**

Selected Symbols

 SECTOR PLANS	 Escarpment
 Design Overlay Zones	 2 Mile Airport Zone
 City Historic Zones	 Airport Noise Contours
 H-1 Buffer Zone	 Wall Overlay Zone
 Petroglyph Mon.	



June 9, 2014

Mr. Jack Cloud  
Chair- Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

**RE: Preliminary Plat Approval  
Tract A- Fountain Hills  
Project # 1003445  
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests approval of the enclosed minor subdivision. The purpose of this plat is to create a 2 acre and 7 acre parcel from the existing 9 acre parcel. The improvements that support the overall development have been financially guaranteed. The improvements identified as phase 2 onsite roadway improvements will be constructed with the development of the 2 acre parcel. We have attached the approved administrative amendment supporting this replat

Should you have any questions regarding this matter, please do not hesitate to call me.

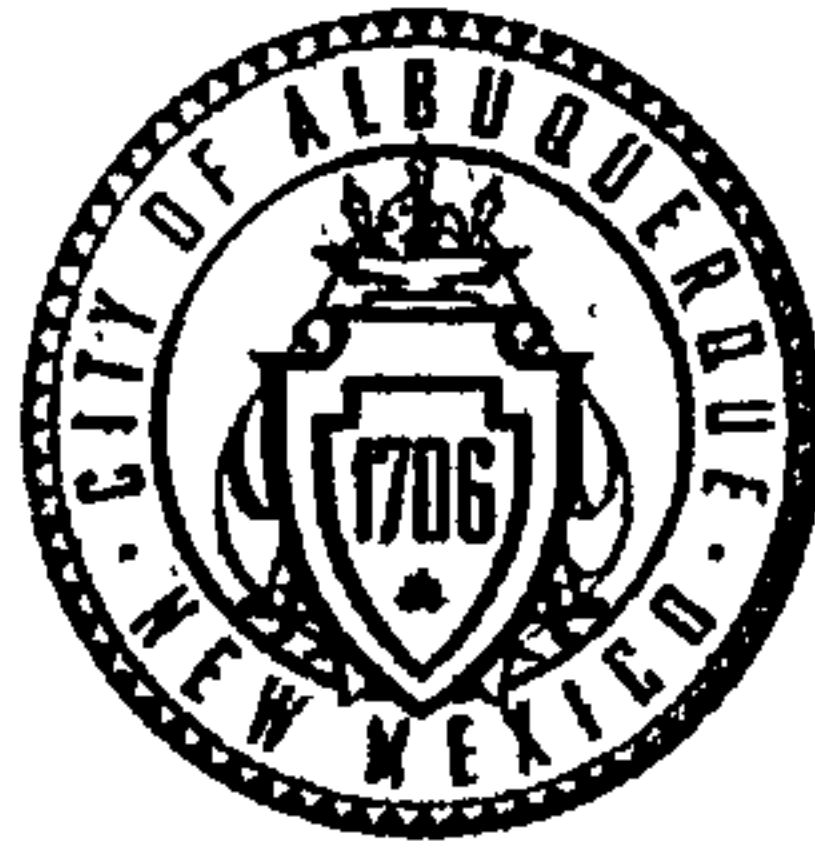
Sincerely,



David Soule, PE  
RIO GRANDE ENGINEERING  
PO Box 93924  
ALBUQUERQUE, NM 87199  
321-9099

Enclosures





INTER-OFFICE MEMORANDUM  
COMMENTING AGENCIES

TRANSPORTATION DEVELOPMENT .....*John MacKenzie*  
TRANSIT & PARKING DEPARTMENT .....*Shabih Rizvi*  
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*  
AMAFCA.....*Lynn Mazur*  
APD CRIME PREVENTION.....*Steve Sink*  
OPEN SPACE DIVISION.....*Kent Reed Swanson*  
FIRE DEPARTMENT.....*Antonio Chinchilla*  
ZONING ENFORCEMENT INSPECTOR.....*David Kilpatrick*  
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*  
PNM.....*Daniel Aragon*  
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*  
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*  
COMCAST CABLE..... *Mike Mortus*  
Mid.Rio Grande Conserv. Dist. (MRGCD)..... *Ray Gomez*  
ENVIRONMENTAL HEALTH.....*Paul Olson*

*Your comments on the following case(s) are requested. Board hearing date:*

PROJECT # 1003445

**WEDNESDAY, June 18, 2014**

Comments must be received by:

**Friday, June 13, 2014**

Supplemental Form (SF)

<b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	<b>V</b>		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Subdivision			
<input checked="" type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	<b>D</b>		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>	<b>A</b>	<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE (Form D)</b>			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): RIO GRANDE ENGINEERING PHONE: 505-321-9099  
 ADDRESS: PO BOX 93924 FAX: \_\_\_\_\_  
 CITY: ALB STATE NM ZIP 87199 E-MAIL: david@riograndeengineering.com

APPLICANT: FOUNTAIN HILLS, LLC PHONE: \_\_\_\_\_  
 ADDRESS: 7916 Ranchitos Loop FAX: \_\_\_\_\_  
 CITY: ALB STATE NM ZIP 87113 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: SOLE List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: SITE PLAN FOR BUILDING PERMINTARIANCE

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. PORTION OF LOT 1 Block: 28 Unit: B  
 Subdiv/Addn/TBKA: FOUNTAIN HILLS  
 Existing Zoning: SU1-PDA W/ C3 USES Proposed zoning: SU1-PDA W/ C3 USES MRGCD Map No. \_\_\_\_\_  
 Zone Atlas page(s): C18 UPC Code: 101206442237010607

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): 1003445

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 2.0

LOCATION OF PROPERTY BY STREETS: On or Near: VISTA FUENTE NW  
 Between: EDUCATION PLANCE NW and NUNZIO AVENUE NW

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE DAVID SOULE DATE 5/15/14 5/23/14  
 (Print Name) \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>140RB - 10182</u>	<u>SBP</u>		\$ <u>385.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #'s are assigned		<u>ADV</u>		\$ <u>75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #'s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>June 18, 2014</u>			Total <u>\$480.00</u>

5-23-14  
 Staff signature & Date

Project # 1003445

**FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING**

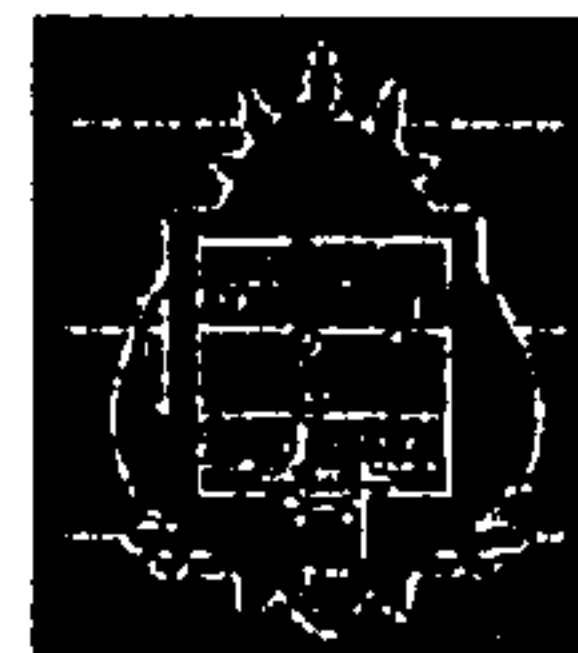
- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.  
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- <sup><5</sup> 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB **SITE PLAN FOR SUBDIVISION**
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.  
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. Bring the original to the meeting.  
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Sol  
Applicant name (print)  
DM 5/23/14  
Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
14 DRB - 10182

DM 5-23-14  
Planner signature / date  
Project # 1003445

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from June 3, 2014 to June 18, 2014

#### 5. REMOVAL

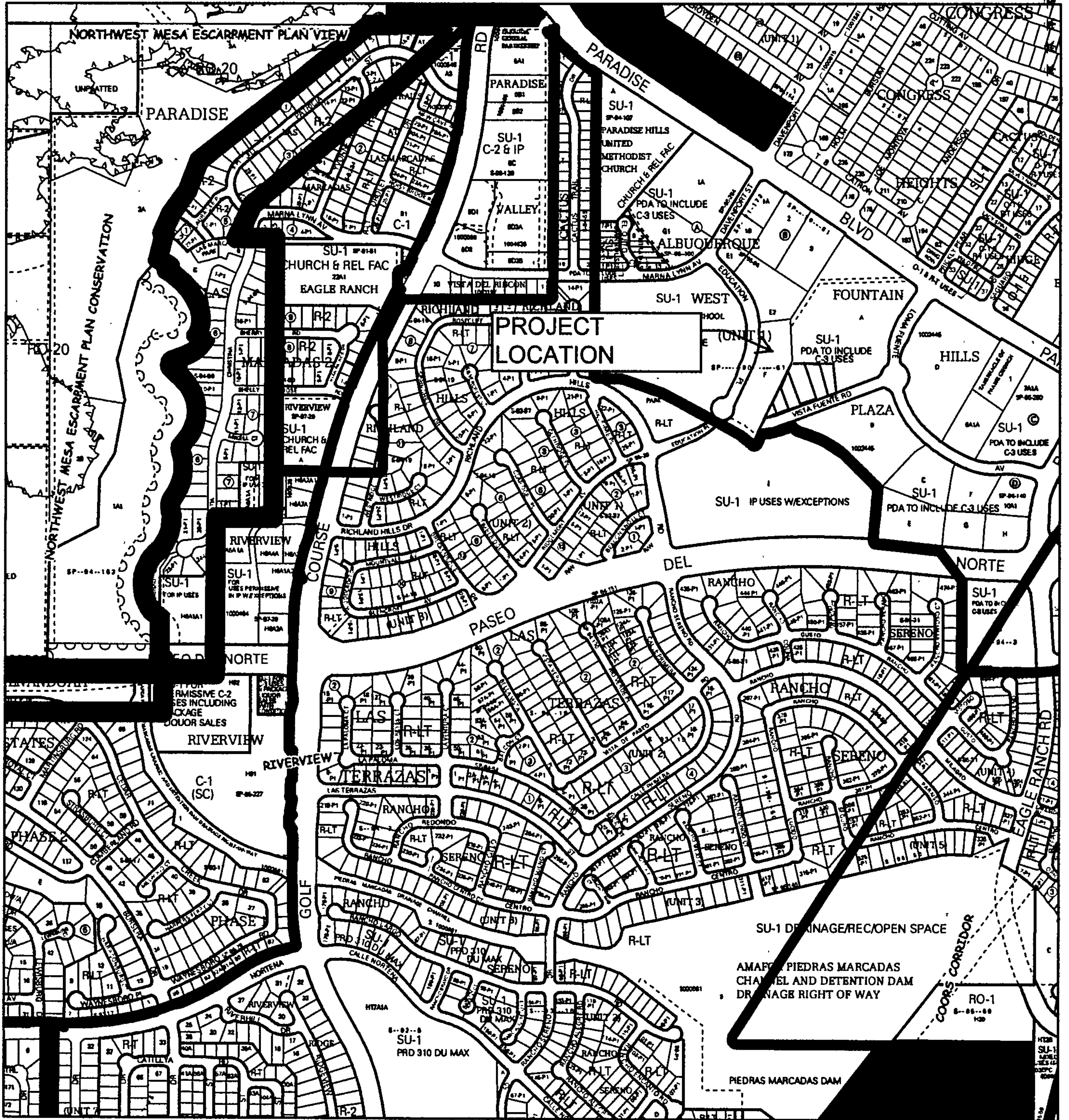
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.


[Signature] (Applicant or Agent) 5-23-14 (Date)

I issued 1 signs for this application, 5-23-14 (Date) [Signature] (Staff Member)

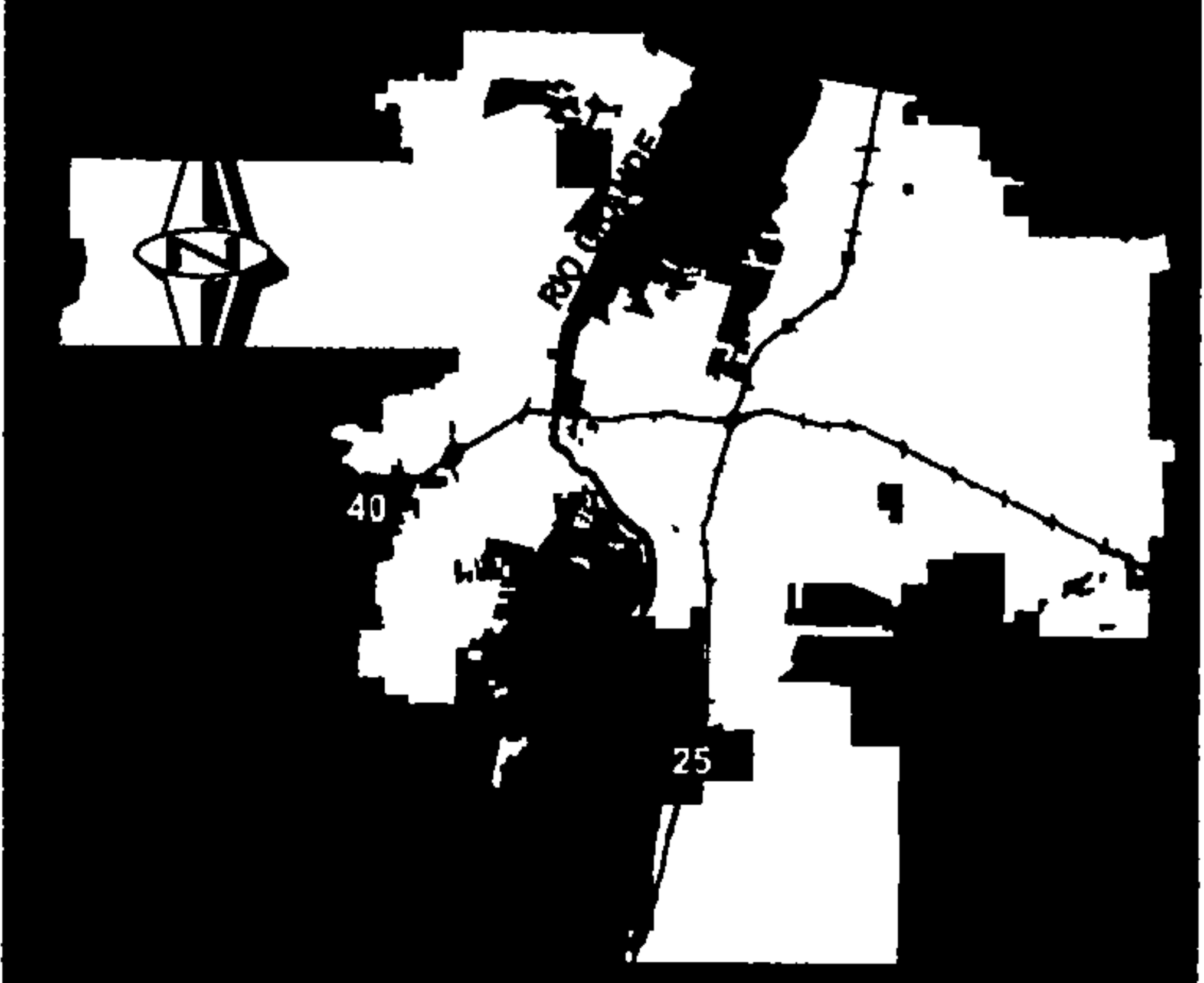
PROJECT NUMBER: 1003445



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 2/4/2010



Zone Atlas Page:  
**C-12-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Letter of Authorization

I, Jason Shaffer, Managing Member of Fountain Hills, LLC, owner of LOT 1, FOUNTAIN HILLS hereby authorize Rio Grande Engineering of New Mexico, LLC to act as our agent regarding the submittal and approval process for the site plan and platting actions required within City of Albuquerque NM for the subject property

Property Owners: Jason Shaffer Date 5/23/14

May 23, 2014

Mr. Jack Cloud  
Chair- Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

**RE: Preliminary Plat Approval  
Noahs at Fountain Hills  
Project # 1003445  
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests approval of the enclosed site plan for building permit. The proposed development is consistent with the site plan for subdivision submitted 6/20/07. The site plan for subdivision delegated approval to the DRB. The enclosed site plan was prepared to conform to the design regulations within the approved site plan. The site is currently a portion of a larger tract at the time of approval.

Noah is an event center that will be used for weddings, meeting and other related functions. The site is adjacent to a platted roadway that has not been completed, but is financially guaranteed. This roadway will be constructed by the overall developer in association with this project. This letter is also being sent the neighborhood associations with a copy of the proposed preliminary plat.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE  
RIO GRANDE ENGINEERING  
PO Box 93924  
ALBUQUERQUE, NM 87199  
321-9099

Enclosures

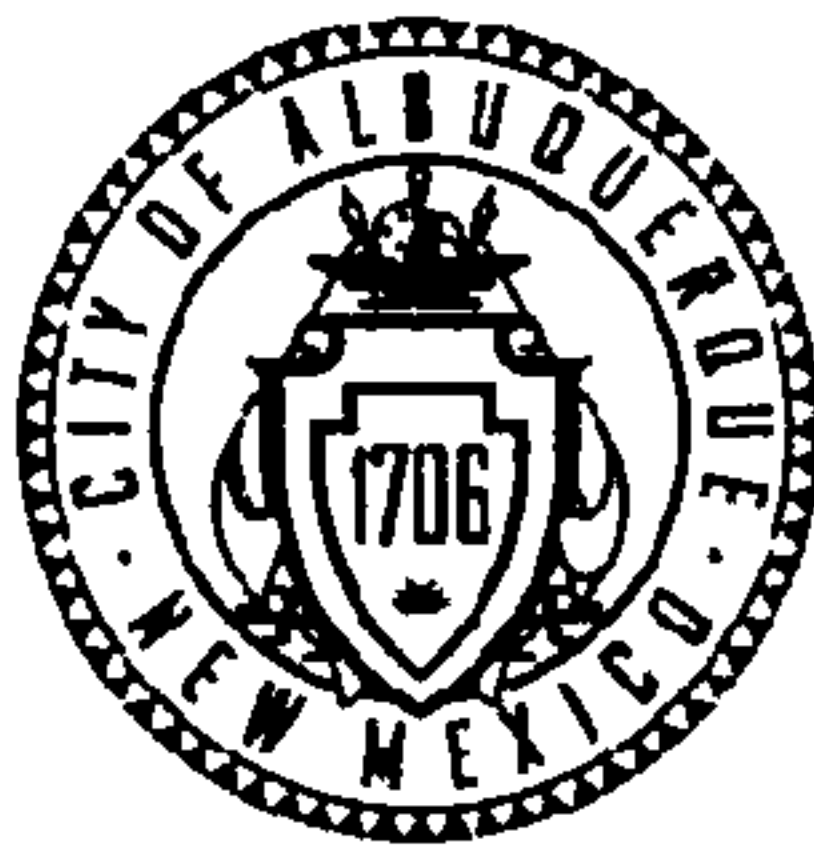
Cc;

**Tom Anderson**  
10013 Plunkett Dr. NW  
Albuquerque NM 87114

Maria Warren  
5020 Russell N  
Albuquerque NM 87114

**Tony Paiz**  
4905 Sherry Ann NW  
Albuquerque NM 87114

Zora Gordley  
8615 Tia Christina NW  
Albuquerque NM 87114



**City of Albuquerque**  
P.O. Box 1293, Albuquerque, NM 87103

May 22, 2014

David Soule  
Rio Grande Engineering  
P.O. Box 93924/87199  
Phone: 505-321-9099 Fax: 505-872-0999

Dear David:

Thank you for your inquiry of May 22, 2014 requesting the names of ALL Neighborhood and/or Homeowners Associations who would be affected under the provisions of O-92 by your proposed project at (DRB SUBMITTAL) PORTION OF TRACT A FOUNTAIN HILLS LOCATED ON VISTA FUENTES NW BETWEEN LOMA FUENTE NW AND EDUCATION PLACE NW zone map C-12.

Our records indicate that the ALL Neighborhood and/or Homeowners Associations affected by this proposal and the contact names are as follows:

**SEE ATTACHMENT "A" FOR THE NAMES OF THE NA/HOA'S THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL – please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's.**

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3906 or via an e-mail message at [dcarmona@cabq.gov](mailto:dcarmona@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Dalaina Carmona*

Senior Administrative Assistant  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD ASSOCIATION.**



# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.**

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Dalaina at 924-3906 or via an e-mail message at [dcarmona@cabq.gov](mailto:dcarmona@cabq.gov).

Thank you for your cooperation on this matter.

\*\*\*\*\*

(below this line for ONC use only)

Date of Inquiry: **5/22/14** Time Entered: **2:45 p.m.** ONC Rep. Initials: **DC**

# ATTACHMENT "A"

May 22, 2014

David Soule  
Rio Grande Engineering  
P.O. Box 93924/87199  
Phone: 505-321-9099 Fax: 505-872-0999

**PARADISE HILLS CIVIC ASSOC. (PHC) "R"**

**\*Tom Anderson**

10013 Plunkett Dr. NW/87114 897-2593 (h)

Maria Warren

5020 Russell NW/87114 440-2240 (h)

**PIEDRAS MARCADAS N.A. (PMC) "R"**

**\*Tony Paiz**

4905 Sherry Ann NW/87114 480-5741 (c)

Zora Gordley

8615 Tia Christina NW/87114 897-6950 (h)

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87114

**OFFICIAL USE**

Postage	\$ 0.70	0101 13 MAY 22 2014 Postmark Here 05/23/2014
Certified Fee	\$ 3.30	
Return Receipt Fee (Endorsement Required)	\$ 2.70	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 6.70	

Sent To: Zora Gardley  
 Street, Apt. No.; or PO Box No. 8615 Tina Christina  
 City, State, ZIP+4 Alb NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87114

**OFFICIAL USE**

Postage	\$ 0.70	0101 13 MAY 22 2014 Postmark Here 05/23/2014
Certified Fee	\$ 3.30	
Return Receipt Fee (Endorsement Required)	\$ 2.70	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 6.70	

Sent To: Tom Anderson  
 Street, Apt. No.; or PO Box No. 10013 Plunkett DR  
 City, State, ZIP+4 Alb NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87114

**OFFICIAL USE**

Postage	\$ 0.70	0101 13 MAY 22 2014 Postmark Here 05/23/2014
Certified Fee	\$ 3.30	
Return Receipt Fee (Endorsement Required)	\$ 2.70	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 6.70	

Sent To: Marin Walters  
 Street, Apt. No.; or PO Box No. 5020 Russell  
 City, State, ZIP+4 Alb NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87114

**OFFICIAL USE**

Postage	\$ 0.70	0101 13 MAY 22 2014 Postmark Here 05/23/2014
Certified Fee	\$ 3.30	
Return Receipt Fee (Endorsement Required)	\$ 2.70	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 6.70	

Sent To: Tony Paiz  
 Street, Apt. No.; or PO Box No. 4905 Shirley Ann  
 City, State, ZIP+4 Alb NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: FOUNTAIN HILLS LLC DATE OF REQUEST: 5/23/14 ZONE ATLAS PAGE(S): C12

**CURRENT:**

ZONING SU-1 PRD W/C3 USE  
PARCEL SIZE (AC/SQ. FT.) 2AC

**LEGAL DESCRIPTION:**

LOT OR TRACT # 1A BLOCK # \_\_\_\_\_  
SUBDIVISION NAME FOUNTAIN HILLS

**REQUESTED CITY ACTION(S):**

ANNEXATION [ ]  
ZONE CHANGE [ ]: From \_\_\_\_\_ To \_\_\_\_\_  
SECTOR, AREA, FAC, COMP PLAN [ ]  
AMENDMENT (Map/Text) [ ]

**SITE DEVELOPMENT PLAN:**

SUBDIVISION\* [ ] AMENDMENT [ ]  
BUILDING PERMIT [X] ACCESS PERMIT [ ]  
BUILDING PURPOSES [ ] OTHER [ ]

\*includes platting actions


**PROPOSED DEVELOPMENT:**

NO CONSTRUCTION/DEVELOPMENT [X]  
NEW CONSTRUCTION [ ]  
EXPANSION OF EXISTING DEVELOPMENT [ ]

**GENERAL DESCRIPTION OF ACTION:**

# OF UNITS: 1  
BUILDING SIZE: 10,300 (sq. ft.) EVENT CENTER

**Note:** changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE  DATE 5/23/14  
(To be signed upon completion of processing by the Traffic Engineer)

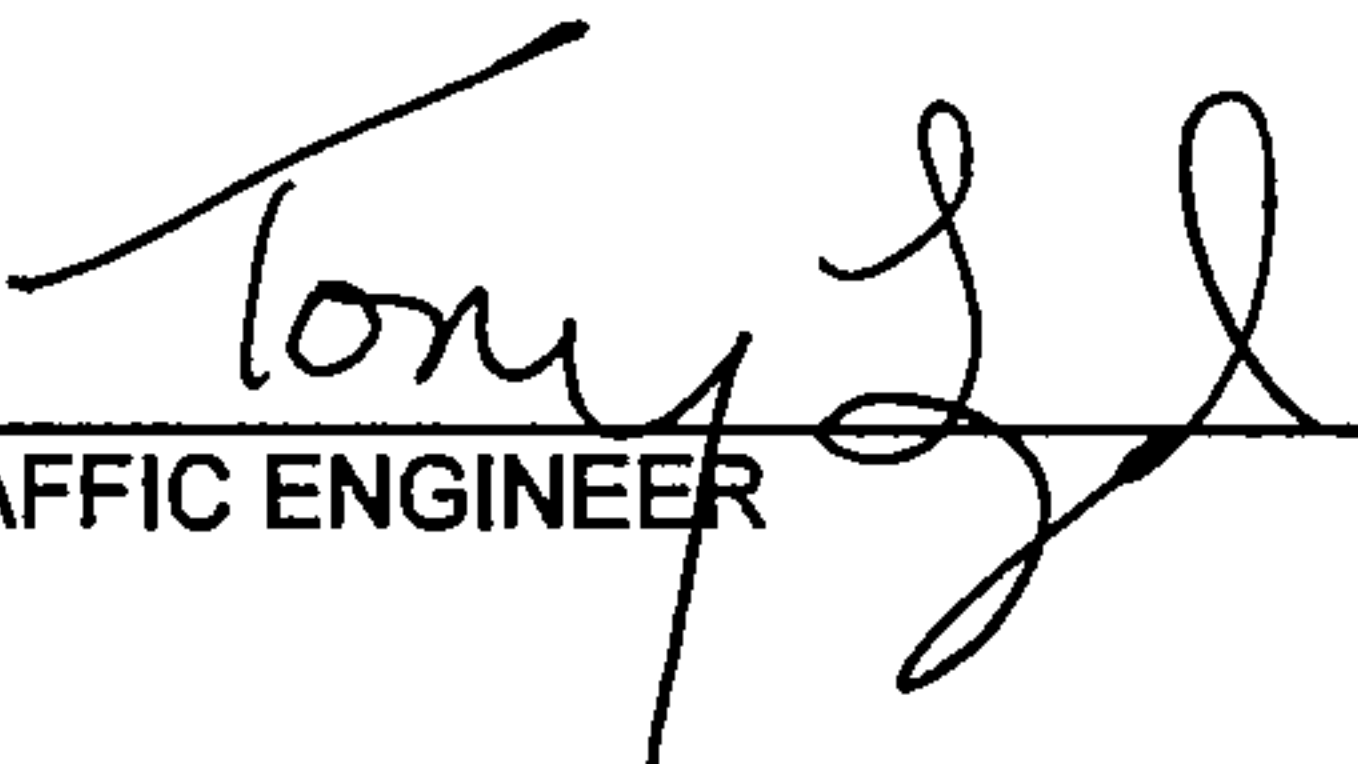
Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO [X] BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [X]

Notes: FOUNTAIN HILLS TIS

**If a TIS is required:** a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

  
TRAFFIC ENGINEER

5-23-14  
DATE


**Required TIS must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED    /   /    \_\_\_\_\_ DATE \_\_\_\_\_  
-FINALIZED    /   /    TRAFFIC ENGINEER

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.**


5/23/14

\_\_\_\_\_  
Applicant or Agent Signature / Date

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

**Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

### Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 – SITE PLAN

### A. General Information

1. Date of drawing and/or last revision
2. Scale:
 

1.0 acre or less	1" = 10'	Over 5 acres	1" = 50'
1.0 - 5.0 acres	1" = 20'	Over 20 acres	1" = 100'

 [other scales, if approved by staff]
3. Bar scale
4. North arrow
5. Vicinity map
6. Signature Block (for DRB site dev. plans)
7. Property lines (clearly identify)
8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
9. Phases of development including location and square footages of structures, circulation, parking and landscaping
10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## B. Proposed Development

### 1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

### 2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.

- 1. Location and typical dimensions, including handicapped spaces
- 2. Calculations: spaces required: 84 provided: 91

Handicapped spaces (included in required total) required: \_\_\_\_\_ provided: \_\_\_\_\_  
Motorcycle spaces (in addition to required total) required: \_\_\_\_\_ provided: \_\_\_\_\_

- B. Bicycle parking & facilities

- 1. Bicycle racks, spaces required: 5 provided: 5
- 2. Bikeways and other bicycle facilities, if applicable

- C. Public Transit

- 1. Bus facilities, including routes, bays and shelters existing or required

- D. Pedestrian Circulation

- 1. Location and dimensions of all sidewalks and pedestrian paths
- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk

- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)

- 1. Ingress and egress locations, including width and curve radii dimensions
- 2. Drive aisle locations, including width and curve radii dimensions
- 3. End aisle locations, including width and curve radii dimensions
- 4. Location & orientation of refuse enclosure, with dimensions
- 5. Curb cut locations and dimensions
- 6. Existing and proposed street widths, right-of-way widths and curve radii
- 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- 8. Location of traffic signs and signals related to the functioning of the proposal
- 9. Identify existing and proposed medians and median cuts

### 3. Phasing – This is required information if phasing of project is anticipated

- Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

1. Scale - must be same as scale on sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
9. Identify location and size (SF) of all landscaping areas, including:
  - A. Type, location and size of trees (common and/or botanical names)
  - B. Type and location of all ground cover material (organic/inorganic)
  - C. Existing vegetation, indicating whether it is to be preserved or removed
  - D. Ponding areas either for drainage or landscaping/recreational use
  - E. Turf area – only 20% of landscaped area can be high water-use turf
10. Landscape calculation table:
  - A. Required and Provided Landscape Area – square footage and percent
  - B. Required and Provided Trees (street, parking lot, screening, etc.)
11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
12. Verification of adequate sight distance
13. Provide a plant list of shrubs, grasses, and perennials

## SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

### A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Building footprints
6. Location of Retaining walls

### B. Grading Information

1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
3. Identify whether ponding is required
4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 5. Cross Sections *on grading Plan*  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- 6. In addition to the above, the following must be provided for DRB applications:
  - A. Conceptual onsite drainage system
  - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

### SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

### SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

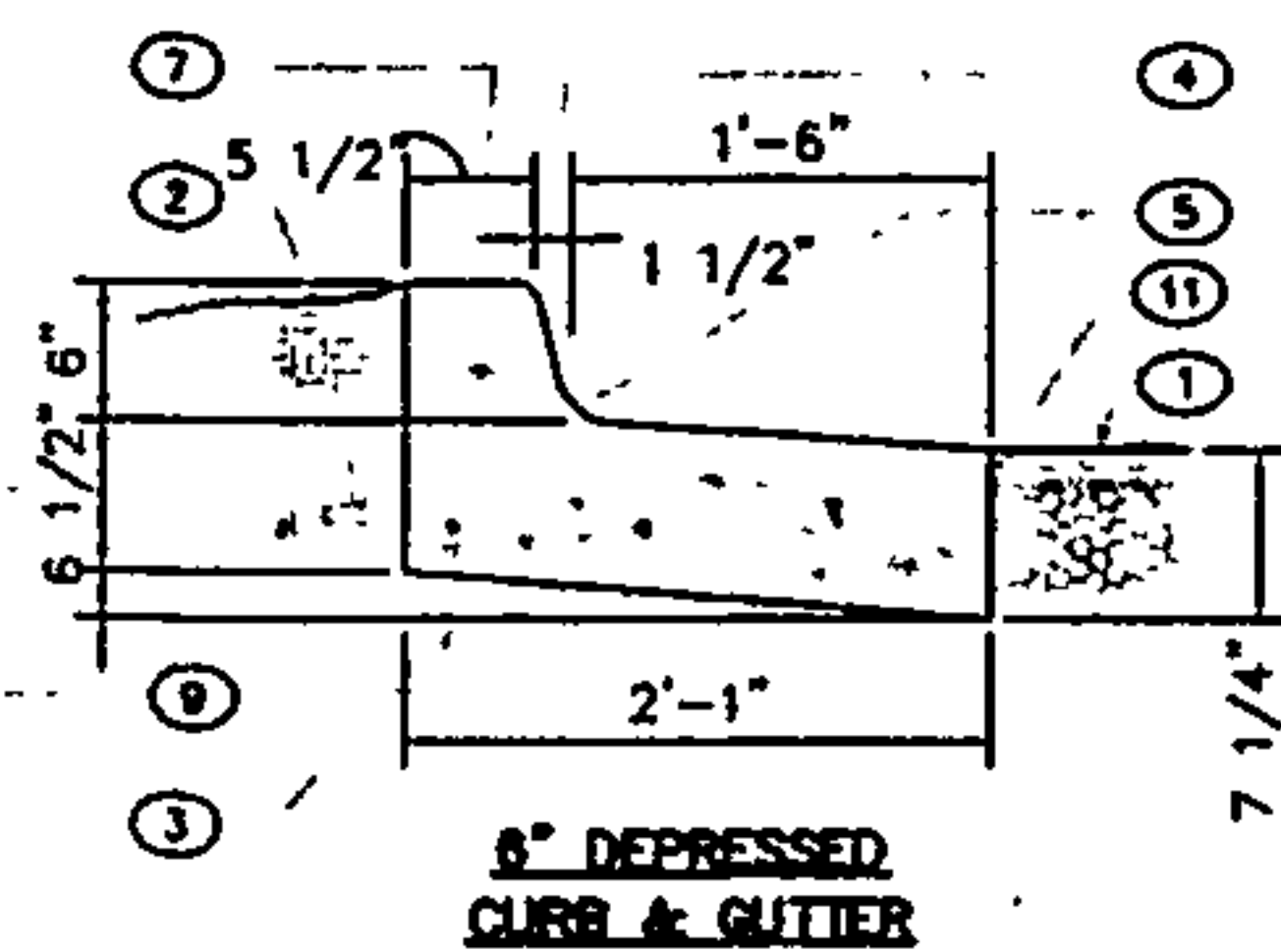
#### A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- 2. Bar Scale
- 3. Detailed Building Elevations for each facade
  - a. Identify facade orientation (north, south, east, & west)
  - b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
  - c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
  - d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- 4. Dimensions, colors and materials of Refuse Enclosure
- 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

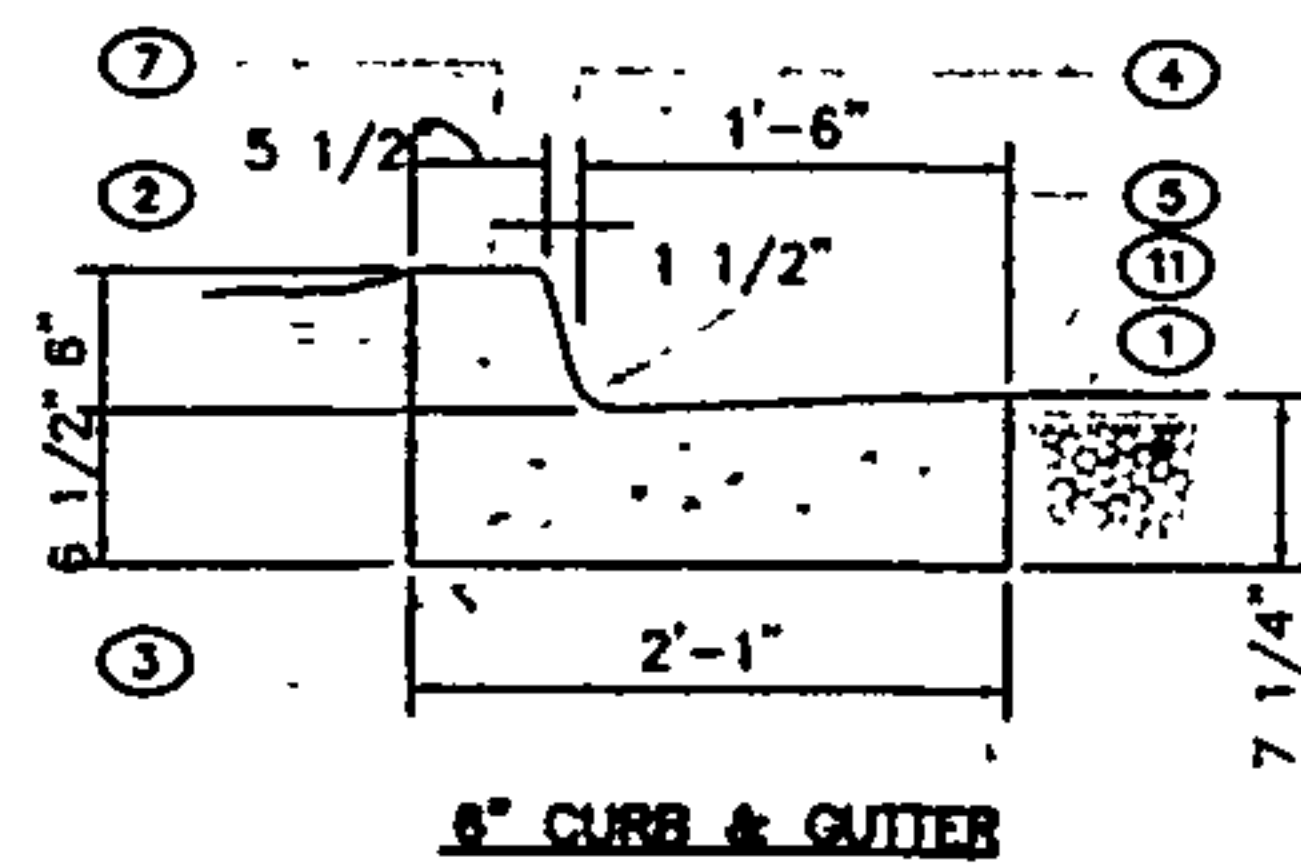
#### B. Signage - *on Buildings*

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements
- 7. Verification of adequate sight distance





**6" DEPRESSED CURB & GUTTER**



**6" CURB & GUTTER**

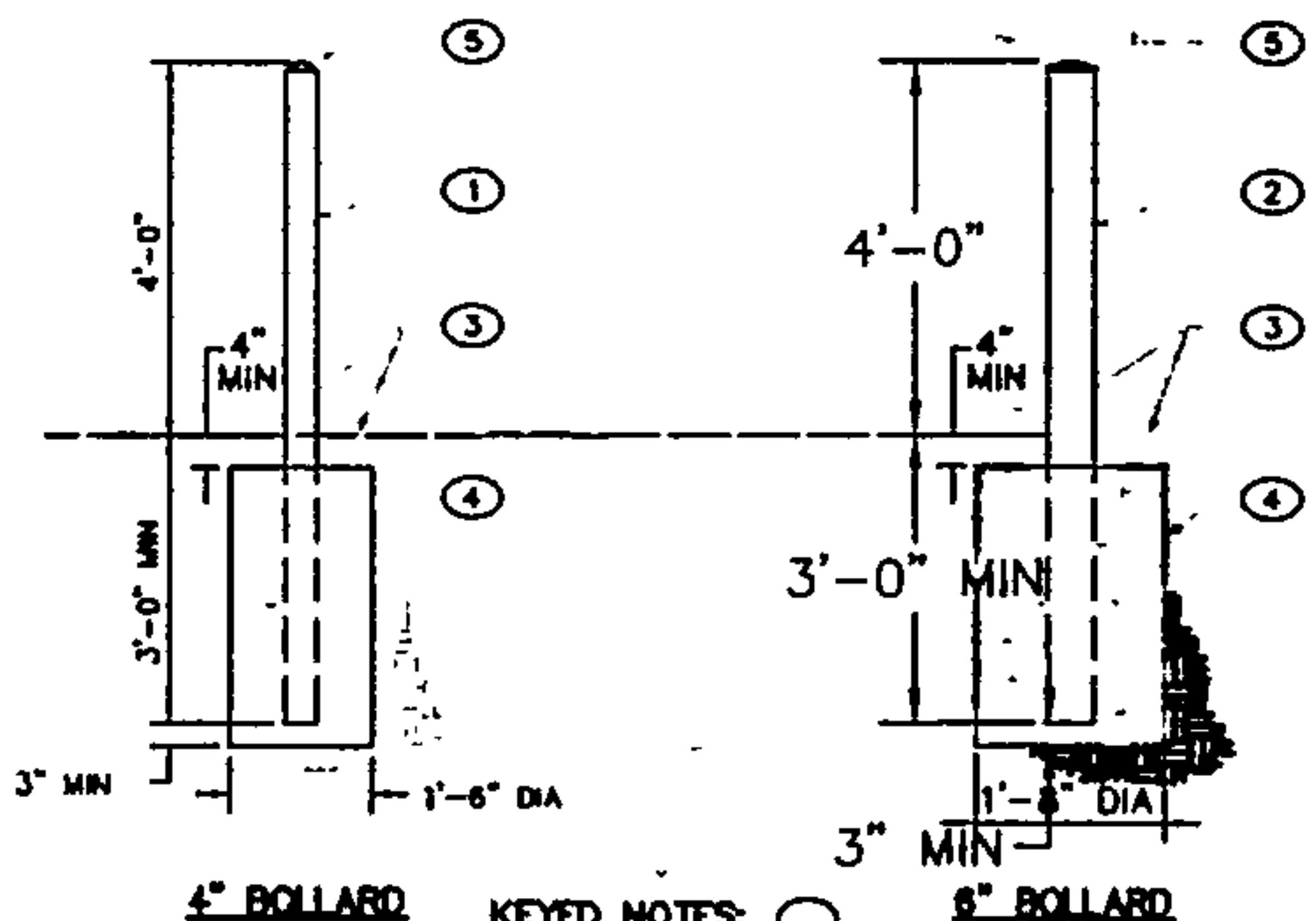
**KEYED NOTES:**

- 1. Pavement section per drawings and specs.
- 2. Finished grade.
- 3. Prepared subgrade.
- 4. 3/4" radius.
- 5. 1 1/2" radius.
- 6. Not used.
- 7. Concrete curb.
- 8. Not used.
- 9. Varies, depress as needed.
- 10. Not used.
- 11. Tack coat.

**CURB & GUTTER CONSTRUCTION NOTES:**

- A. Curbs, gutters & cut-off walls to be constructed of 3500 psi P.C.C. unless otherwise noted.
- B. Edges not specifically dimensioned shall be edged with a 3/8" edging tool.
- C. Remove & replace 12" wide strip of pavement beyond lip of gutter when constructing curb & gutter adjacent to existing a.c. pavement.
- D. Dimensions at rounded corners measured to intersection of straight lines.
- E. For 6" curb & gutter provide control jts. @ 6' o.c. max, also provide 1/2" expansion jts. at 30' o.c. max, at curb returns, & at each side of driveways.
- F. For all other curbing provide control jts. @ 10' o.c. provide expansion jts. @ 50' o.c. & adjacent to buildings and walls.

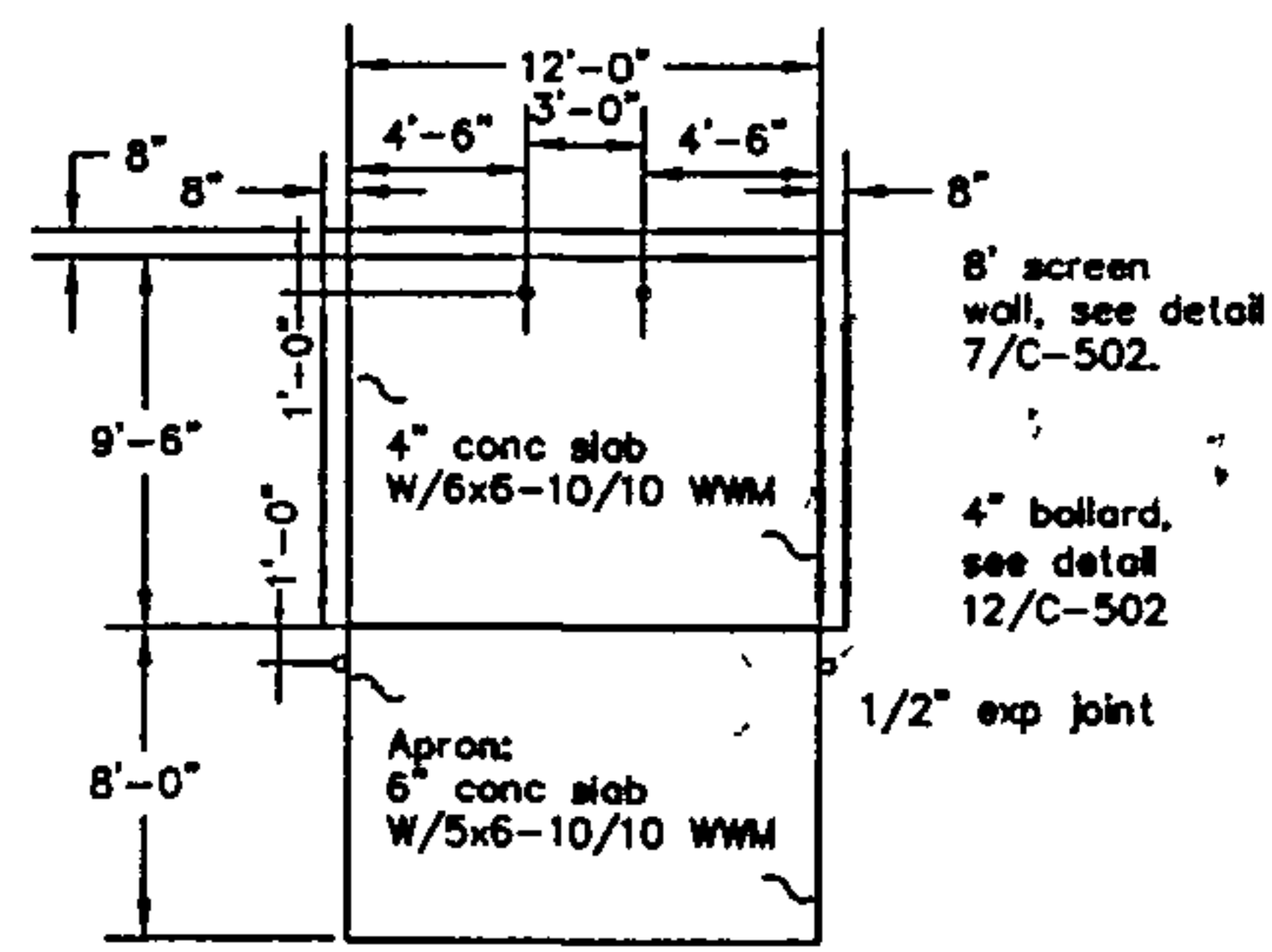
**CURB AND GUTTER DETAILS**



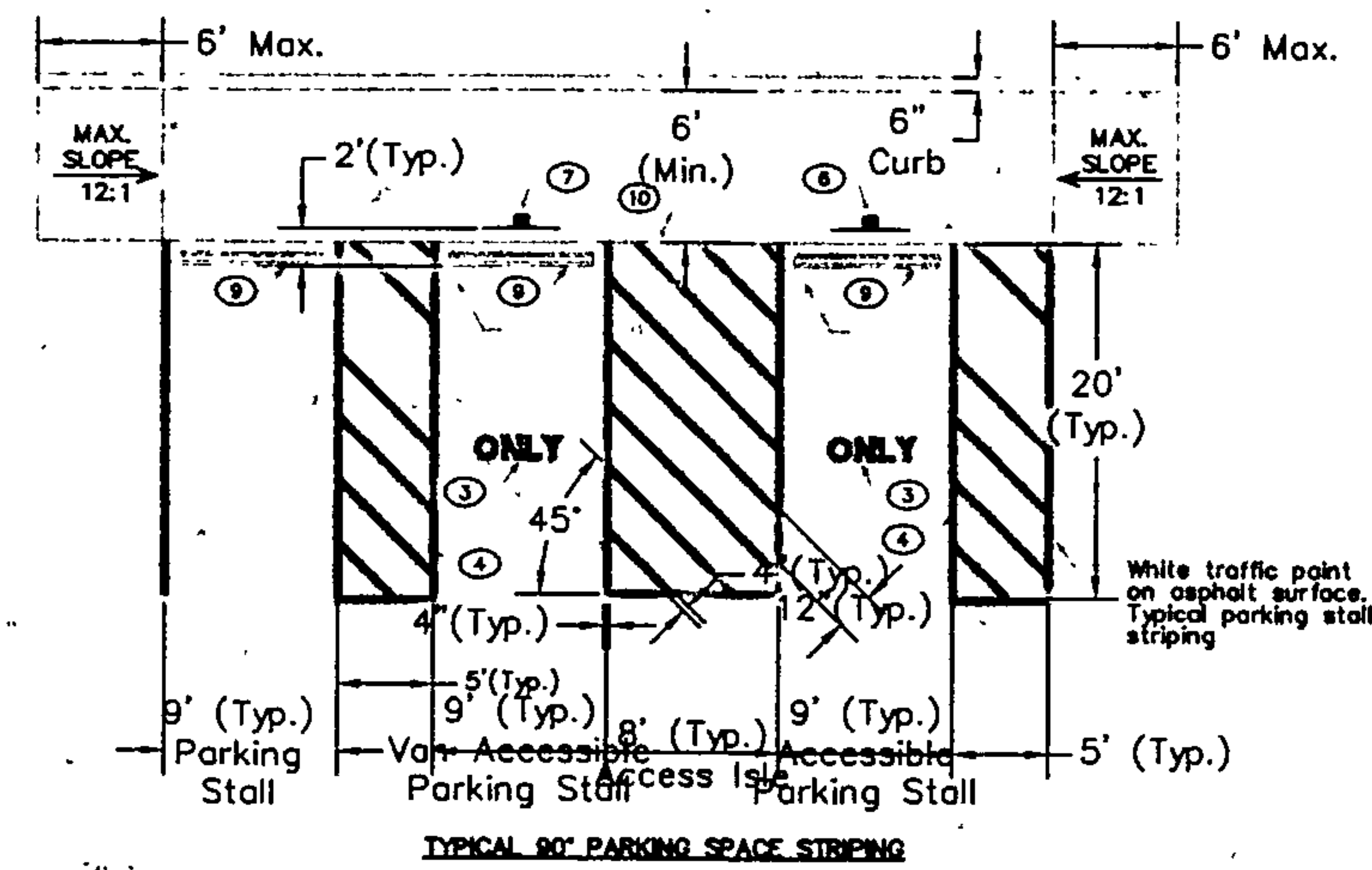
**KEYED NOTES:**

- 1. 4" dia. steel pipe w/ reflectorized red paint (conc. filled w/ smooth edges).
- 2. 6" dia. steel pipe w/ reflectorized red paint (conc. filled w/ smooth edges).
- 3. Finished grade or paving as per drawings & specs - see plans.
- 4. Concrete footing.
- 5. Rounded concrete.

**TYPICAL BOLLARDS**



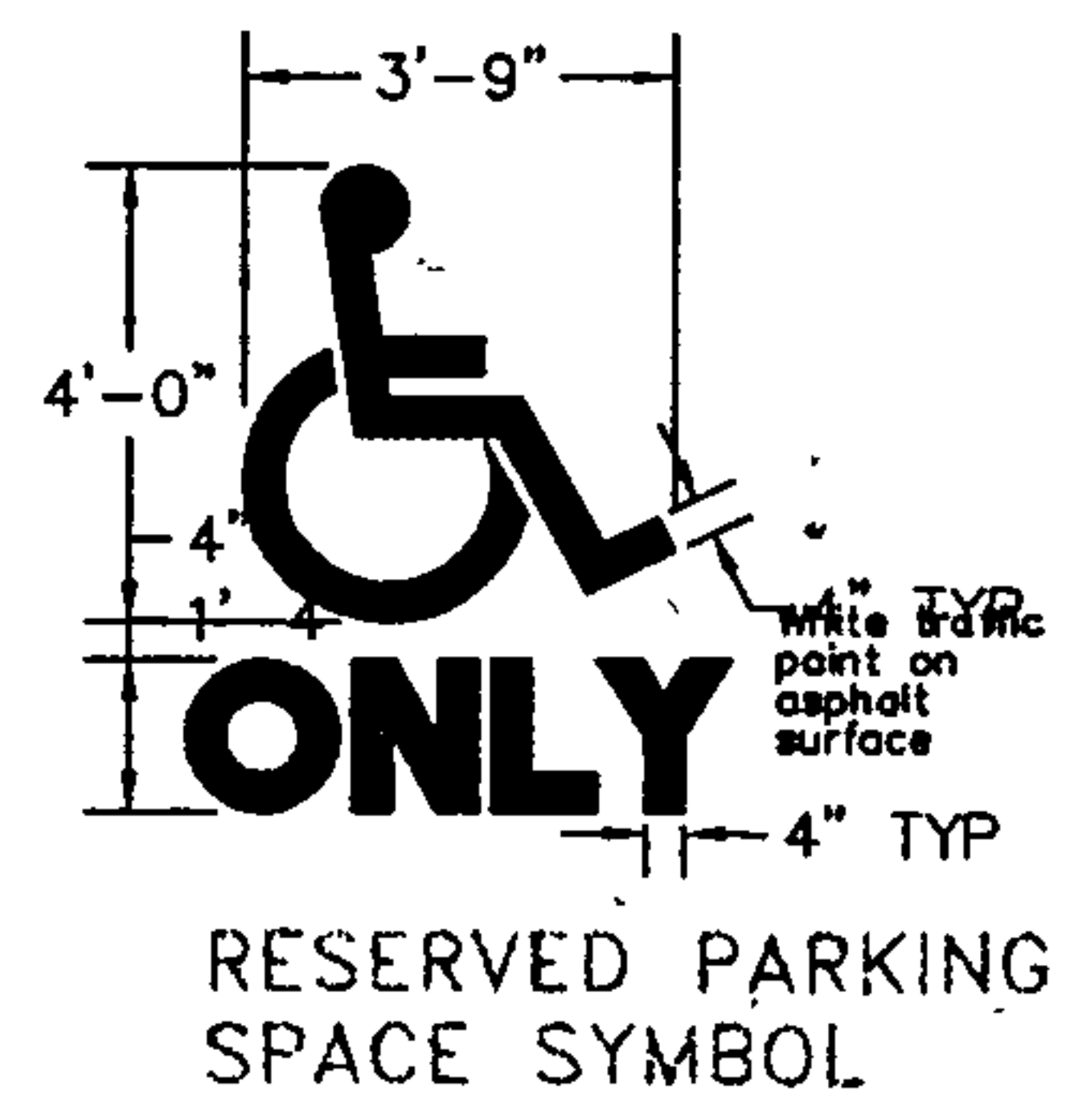
**TRASH ENCLOSURE PLAN**



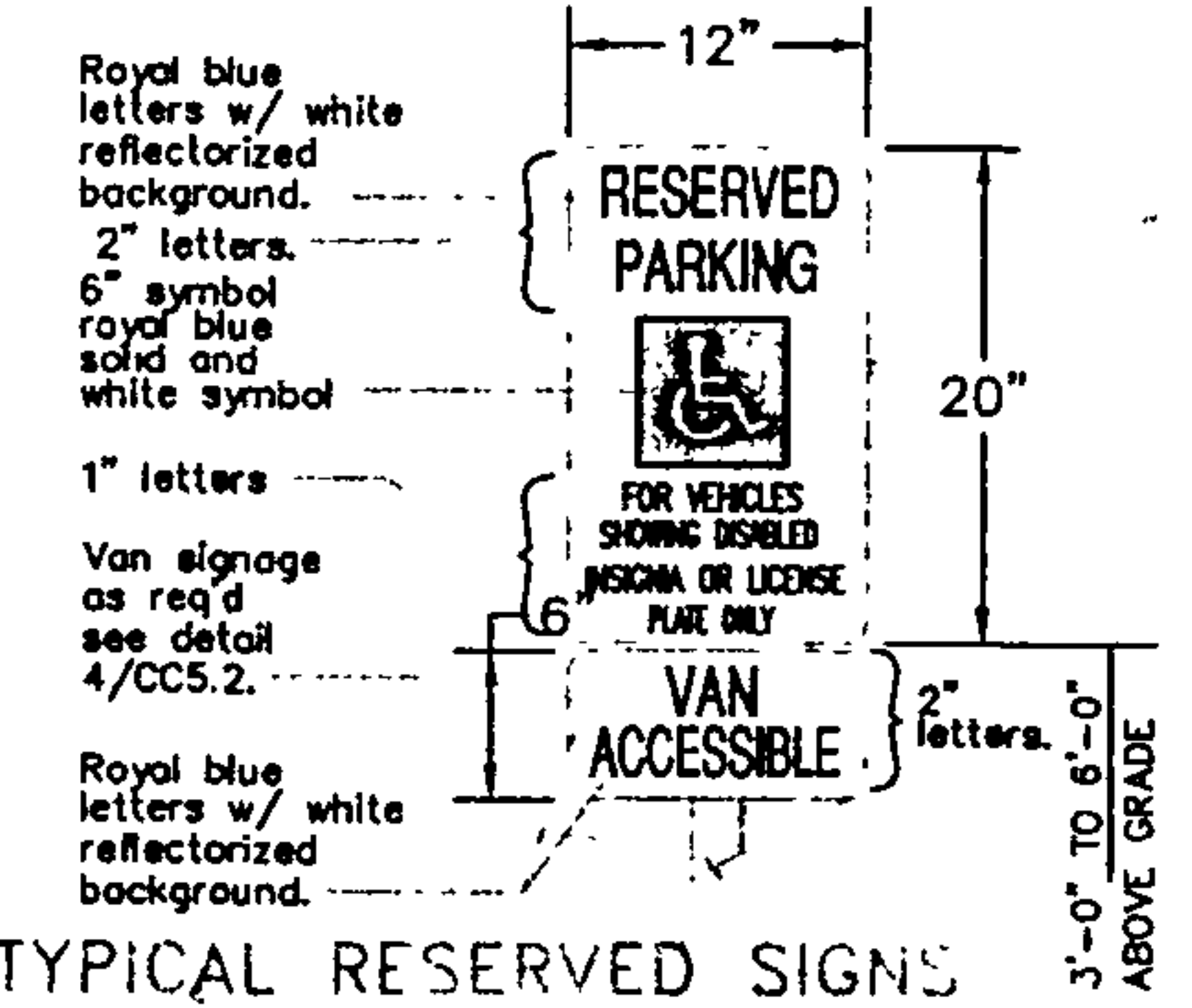
**KEYED NOTES:**

- 1. Van accessible space.
- 2. Standard accessible space.
- 3. Reserved parking symbol. See detail 5/C-502.
- 4. 4" wide white striping (typ.).
- 5. Not used.
- 6. Reserved parking sign see detail 3/C-502.
- 7. Van accessible reserved parking sign see detail 3/C-502.
- 8. Not used.
- 9. Conc. parking barrier see detail 6/C-502.
- 10. Edge of asphalt pavement, see plans.

**PARKING LOT STRIPING DETAILS**



**RESERVED PARKING SPACE SYMBOL**



**TYPICAL RESERVED SIGNS**

OWNER'S SEAL	NOAH'S EVENT CENTER	ISSUED BY DATE
		6-14
DRAWN BY	DETAILS	PROJECT NUMBER
	<i>Pic Grande Engineering</i>	SHEET #
DATE SCALE P.E. #14822		2 of 6
		JOB # 1001

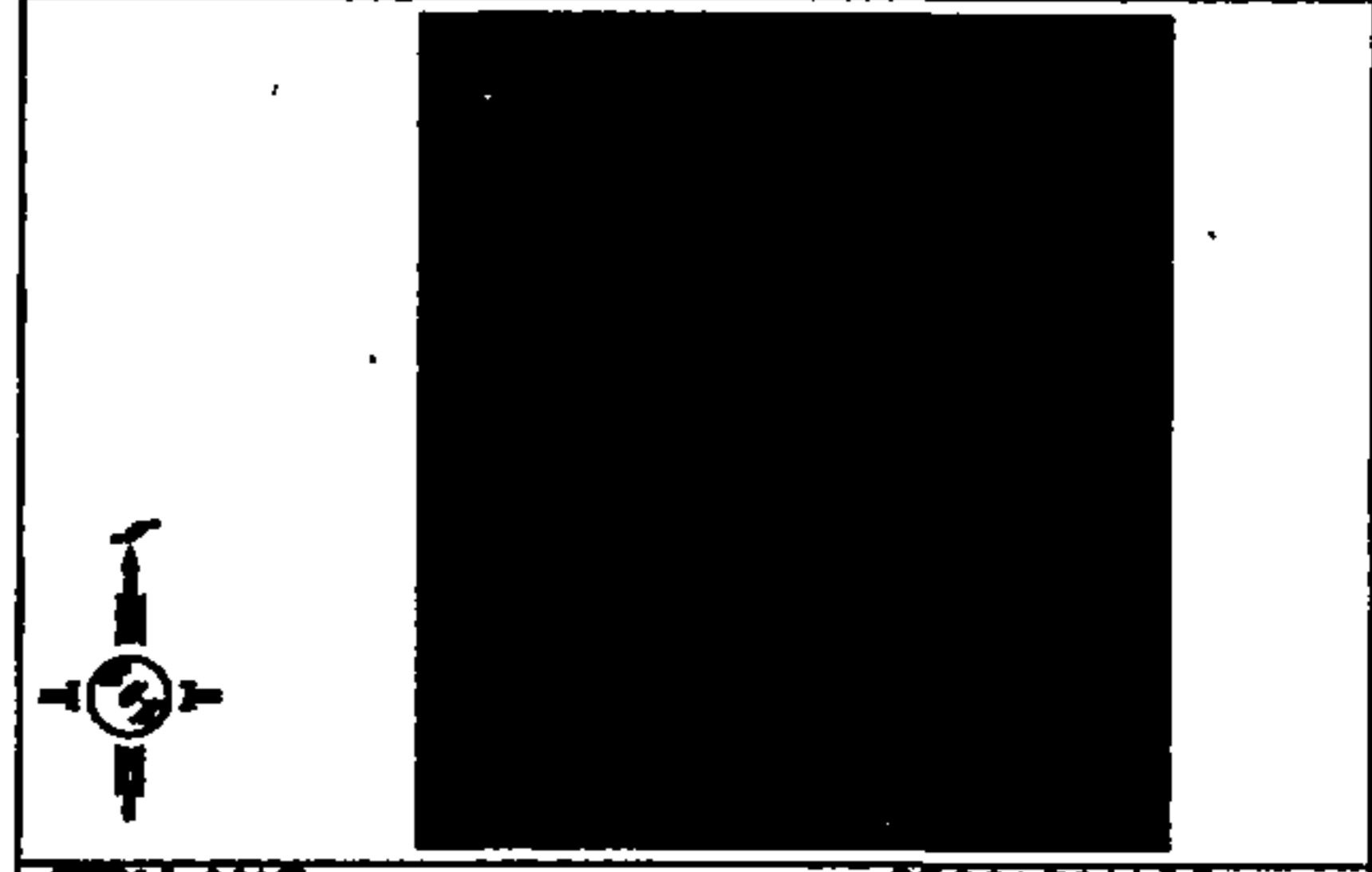
**CAUTION:**  
 EXISTING UTILITIES ARE NOT SHOWN.  
 IT SHALL BE THE SOLE RESPONSIBILITY  
 OF THE CONTRACTOR TO CONDUCT ALL  
 NECESSARY FIELD INVESTIGATIONS PRIOR  
 TO ANY EXCAVATION TO DETERMINE THE  
 ACTUAL LOCATION OF UTILITIES & OTHER  
 IMPROVEMENTS.

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: C-12-2



FIRM MAP: 35001C0116G

**LEGAL DESCRIPTION:**

LOT 1A FOUNTAIN HILLS  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

**NOTES:**

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

**LEGEND**

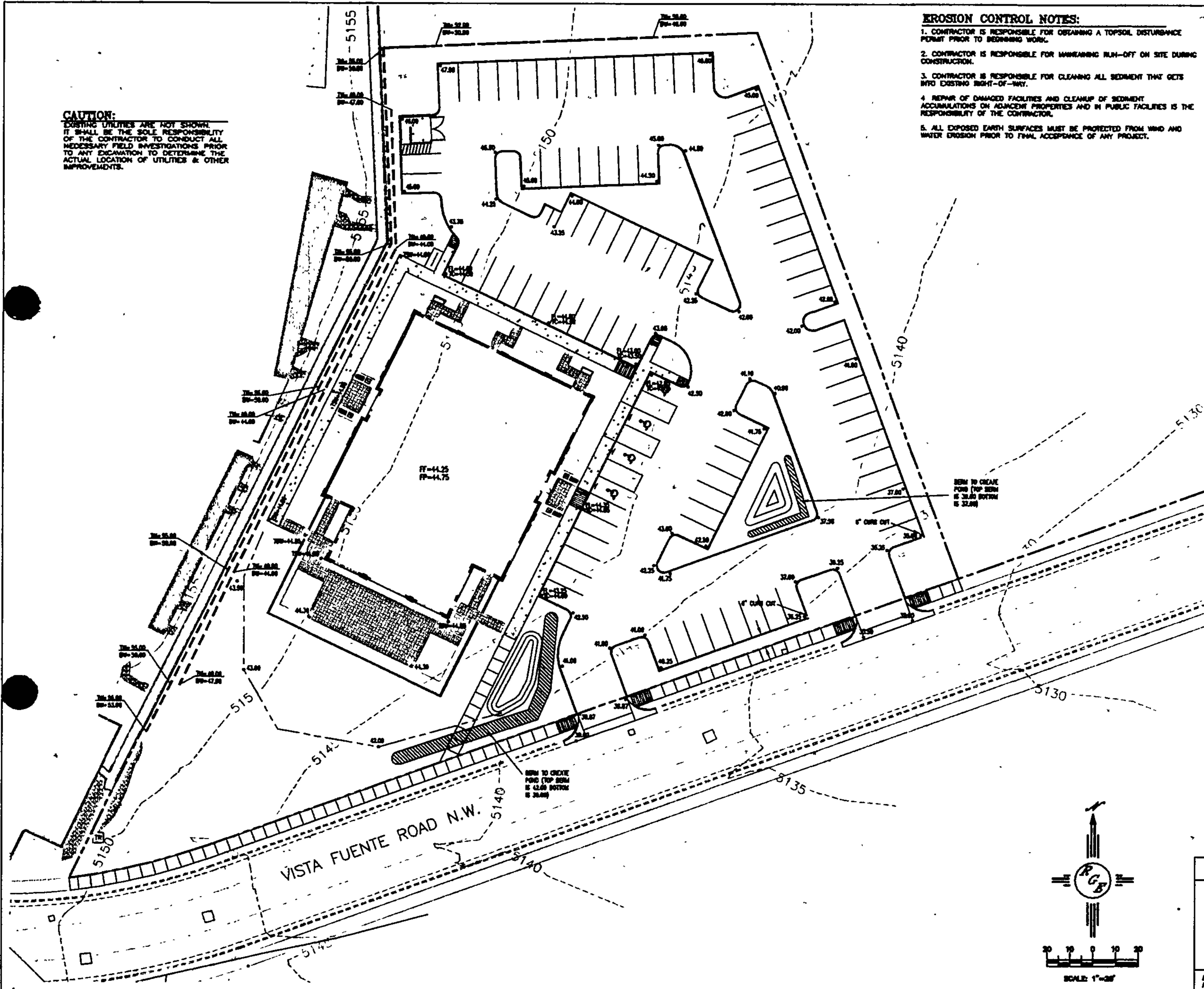
	PROPOSED SPOT ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	LOT LINE
	CENTERLINE
	RIGHT-OF-WAY
	PROPOSED RETAINING WALL
	PROPOSED ROCK FACE WALL
	EXISTING CURB AND GUTTER
	PROPOSED EDGE OF CONCRETE
	PROPOSED FLOWLINE
	EXISTING WALL

I, DAVID SOULE, HAVE PERSONALLY INSPECTED THE PROPERTY ON X-106-13. NO EARTHWORK HAS BEEN PERFORMED AND THE SITE IS CONSISTENT WITH THE TOPO SHOWN.

DAVID SOULE P.E. #14622 DATE



DRAWN BY DATE 5-2014	<b>NOAH'S EVENT CENTER</b>	SHEET # <b>3 of 6</b>
	<b>CONCEPTUAL GRADING AND DRAINAGE PLAN</b>	
DAVID SOULE P.E. #14622		JOB # 10000K



**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY JURISDICTION. AN APPROVED COPY OF THESE PLANS MUST BE OBTAINED FROM THE COUNTY ENGINEER'S OFFICE.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE SPECIFIED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1998 EDITION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE ONE-CALL LINE LOCATING SERVICE, 280-1000, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMAL AMOUNT OF DELAY.
5. BACKFILL COMPANION SHALL BE ACCORDING TO AERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE AERIAL.
7. WORK ON AERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 82-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE TO UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 82-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN BETWEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATION EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLOOSED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 82, ARTICLE 14 NMSA 1978, OR PRECISE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 82, ARTICLE 11 NMSA 1978.
16. BMS'S SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS 1998 EDITION AS REVISED THROUGH UPDATES.
17. THE WATER AUTHORITY (287-2300) WILL BE NOTIFIED BY THE CONTRACTOR SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT THE EXISTING PUBLIC WATER FACILITIES. REFER TO SECTION 18 OF THE STANDARD SPECIFICATIONS. ONLY WATER AUTHORITY CROWNS MAY OPERATE PUBLIC VALVES.
18. ALL EXCAVATION, WEDGING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.840 SUBPART P.
19. ALL IMPACTED SWEEPING SHALL BE REPLACED BY CONTRACTOR.

**LEGEND**

- EXISTING STORM SEWER LINE
- EXISTING GAS MANHOLE
- 6" DIA — EXISTING SANITARY SEWER LINE
- V — EXISTING VALVE V/BOX
- W — EXISTING WATER LINE
- M — PROPOSED METER
- W — PROPOSED FIRE HYDRANT
- - - - - EXISTING EDGE OF PAVEMENT
- — — — — PROPOSED CURB & GUTTER
- — — — — BOUNDARY LINE
- — — — — CENTERLINE
- — — — — RIGHT-OF-WAY
- — — — — LOT LINES
- ☆ STREET LIGHTS
- — — — — CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD Dwg #2486 (COLLECTOR).

**GENERAL NOTES**

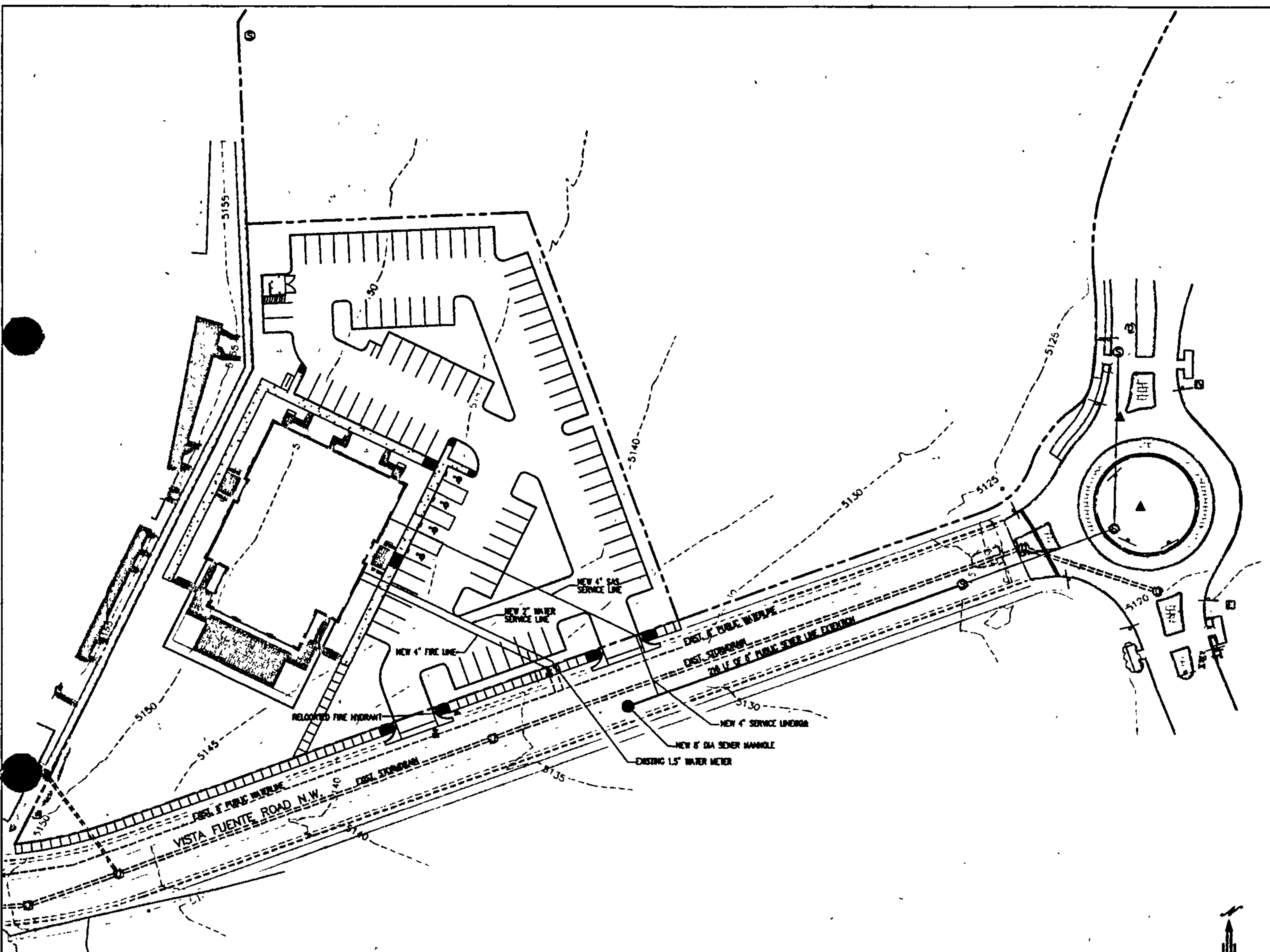
1. ALL NEW ELECTRIC DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
2. TRANSFORMERS, UTILITY PADS, AND TELEPHONE BOXES SHALL BE APPROPRIATELY SCREENED WITH WALLS AND VEGETATION WHICH VIEWED FROM PUBLIC RIGHT-OF-WAY.

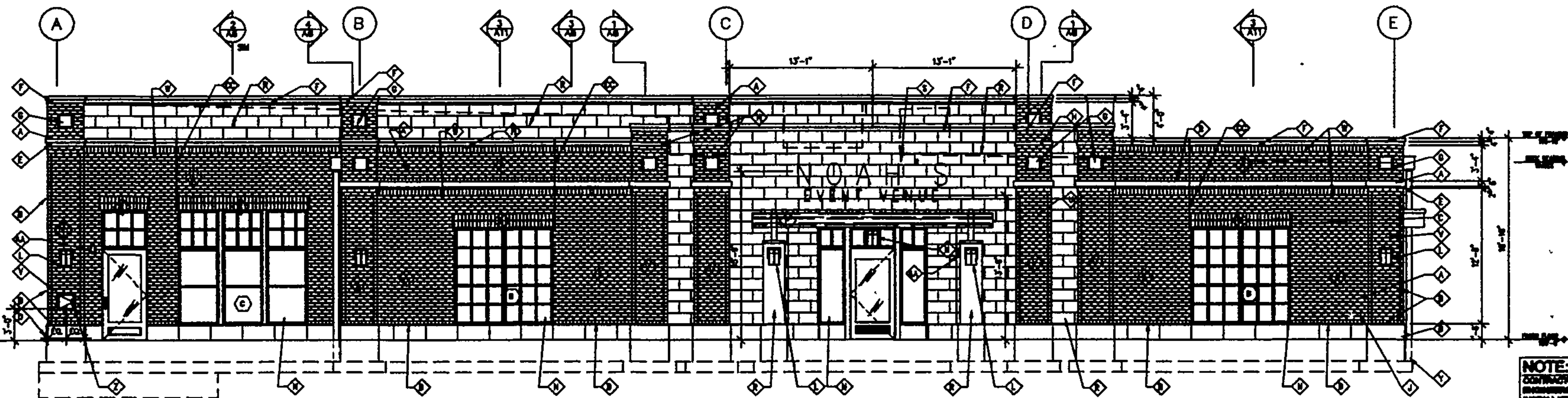
**WATER SHUTOFF NOTES:**

The contractor shall coordinate with the Water Authority seven (7) days in advance of performing work that will affect the public water or sanitary sewer infrastructure. Work requiring shutoff of facilities designated as Master Plan facilities must be coordinated with the Water Authority 14 days in advance of performing such work. Only Water Authority crews are authorized to operate public valves. Shutoff requests must be made online at <http://www.albqwa.org> contact: 505.461.7252.



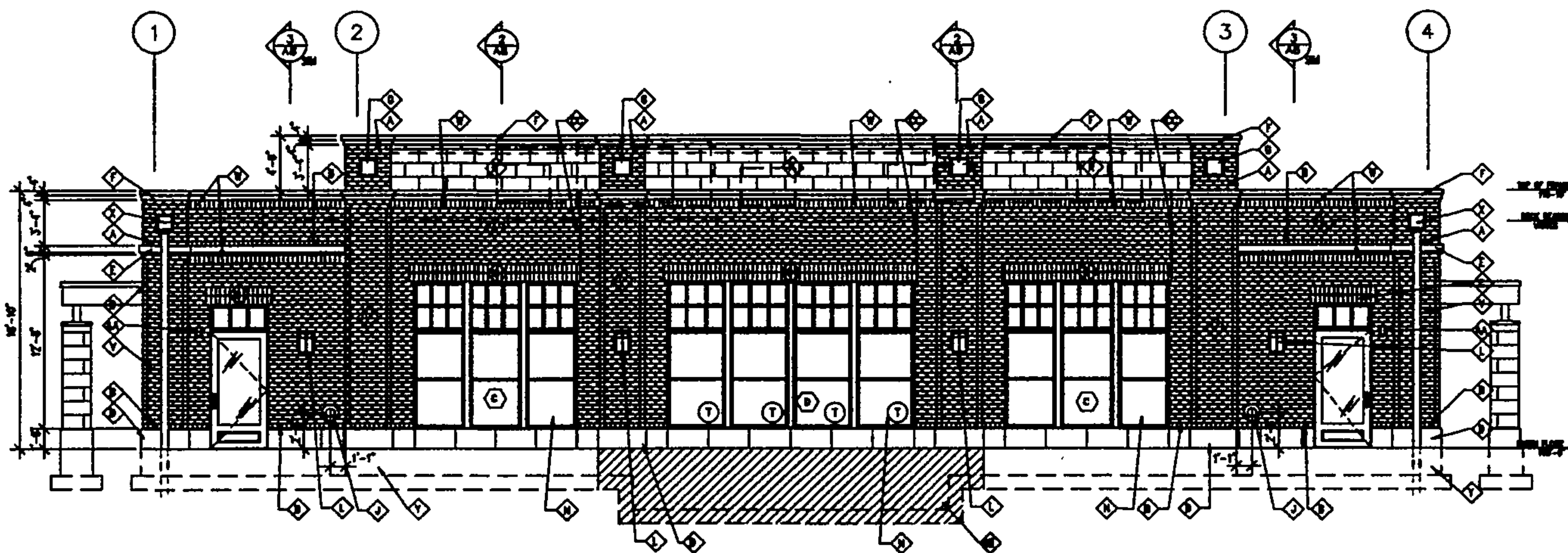
ENGINEER'S SEAL	<b>NOAH'S EVENT CENTER</b> <b>MASTER UTILITY PLAN</b>	DRAWN BY
		DATE
		SHEET #
		4 of 6
DRW SOLE P.L. #14822		JOB #
		NOOK





**NOTE:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL ANCHORS AND BRACKETS NECESSARY TO INSURE A COMPLETE INSTALLATION OF ALL CAST STONE - METALLURGY MANUFACTURED DETAILS

1 EXTERIOR ELEVATION  
A2 SCALE 3/16" = 1'-0"

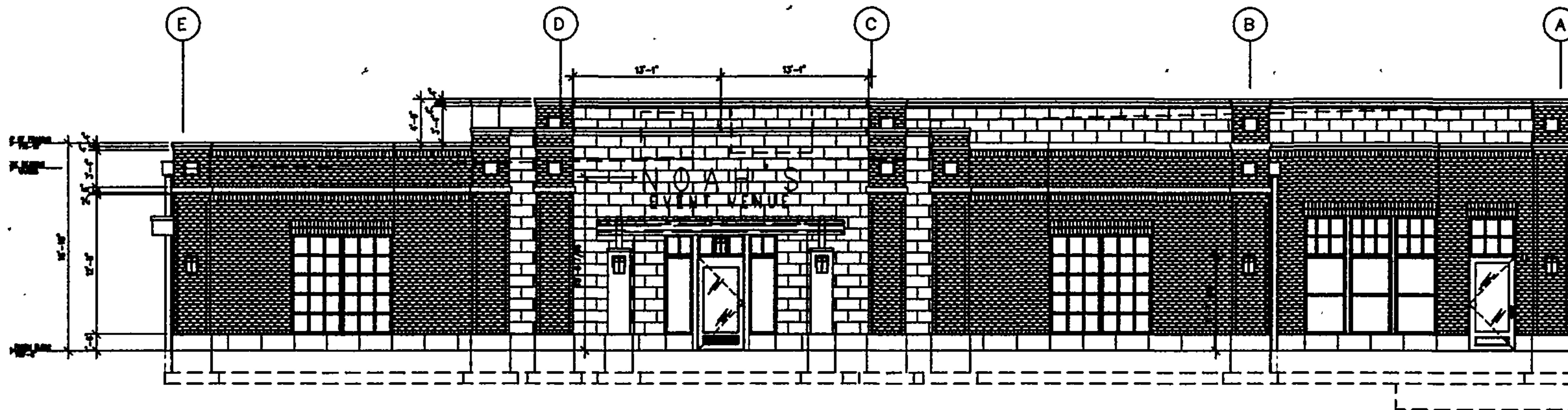


2 EXTERIOR ELEVATION  
A2 SCALE 3/16" = 1'-0"

**NOTE:** CONTRACTOR TO SEAL ALL JOINTS IN CAST STONE WITH COMPATIBLE ELASTOMERIC SEALANT COLOR TO MATCH CAST STONE. PROVIDE BACKER ROD AT ALL JOINTS LARGER THAN 3/4" IN WIDTH

**NOTE:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL ANCHORS AND BRACKETS NECESSARY TO INSURE A COMPLETE INSTALLATION OF ALL CAST STONE - METALLURGY MANUFACTURED DETAILS

FINISH NOTES/ SCHEDULE; EXTERIOR PACKAGE B	
NOTE	COLOR
BRICK VENEER - FLESHING BAND	ACME BRICK "REGULAR HORIZONTAL" COURSE 4 inch MODULAR
BRICK VENEER - HENCHER COURSE	ACME BRICK "REGULAR HORIZONTAL" COURSE 4 inch MODULAR
BRICK VENEER - DOUBLE SOLDIER LINTEL	ACME BRICK "REGULAR HORIZONTAL" COURSE 4 inch MODULAR
CAST STONE BASE	UNLIMITED DIMENSION-TBS
CAST STONE TRIM BAND	UNLIMITED DIMENSION-TBS
CAST STONE CORNICE	UNLIMITED DIMENSION-TBS
CAST STONE MEDALLION	UNLIMITED DIMENSION-TBS
CAST STONE TRIM BAND	UNLIMITED DIMENSION-TBS
THROUGH WALL SCUPPER	
RECREATIVE WALL MOUNTED SCUPPER BRACE LIGHT FIXTURE (E)	HAWLEY LIGHTING BOLLA CLUE BRICK MEDIUM EXTERIOR SCUPPER
RECREATIVE PERMANENT PLUMB SCUPPER BRACE LIGHT FIXTURE (E)	HAWLEY LIGHTING BOLLA CLUE BRICK OUTDOOR PENDANT
METAL CLAD WOOD WINDOWS AND DOORS W/7" INSULATED GLASS LOW E GLASS	BERNA PACIFIC MOCHA-ABS
ROUGH BRICK CANOPY WITH SEALED FINISH	THOMPSON WATER SEAL ANCHORS WOOD PROTECTOR (E) COOKS
12"x12" SPFC TILE	UNLIMITED DIMENSION-TBS
BUILDING SIGNAGE - NONE	
BUILDING SIGNAGE - FOR ALL LIFE EVENTS	
BUILDING ACCESS SIGNAGE - TBD	
SPANDREL GLASS	
BRICK VENEER - SOLDIER COURSE	ACME BRICK "REGULAR HORIZONTAL" COURSE 4 inch MODULAR
PRE-FABRICATED ALUMINUM CONDUIT FOR WIRE W/ PRE-FABRICATED 4" CONCRETE DOWNPOST	COLOR TO MATCH BERNA PACIFIC COLOR "MOCHA-ABS"
POURED IN PLACE CONCRETE FOOTING AND FOUNDATION SYSTEMS - SEE STRUCT. DRAW	
ANY CLOSET DOOR AND TRIM REFER TO AV CABINET SYSTEMS, BUT, AV	COLOR TO MATCH BERNA PACIFIC COLOR "MOCHA-ABS"
EMERGENCY EXIT LIGHT FIXTURES - SEE ELECTRICAL DRAW	
CAPABLE COW BRACE END OR SELF-ANCHERING BRACE WITH PROTECTIVE FRAME FOUNDATION W/ COW FINISH - PROVIDE TENSION RODS AT BOTH ENDS	
BRICK EXPANSION JOINT - REFER TO DETAIL 1008	
SPANDREL TO WALL BRICK	ACME BRICK "REGULAR HORIZONTAL" 4 inch MODULAR
BRICK PATTERN	BRIDGOTT "MEDIUM RECTANGULAR" 2 1/2" x 4" x 8" CLAY PATTERN
POLE MOUNTED SITE LIGHTING	LITONIA LIGHTING: SP 401 ONE LIGHTING, BLACK FINISH



1 EXTERIOR ELEVATION  
SCALE: 3/8" = 1'-0"

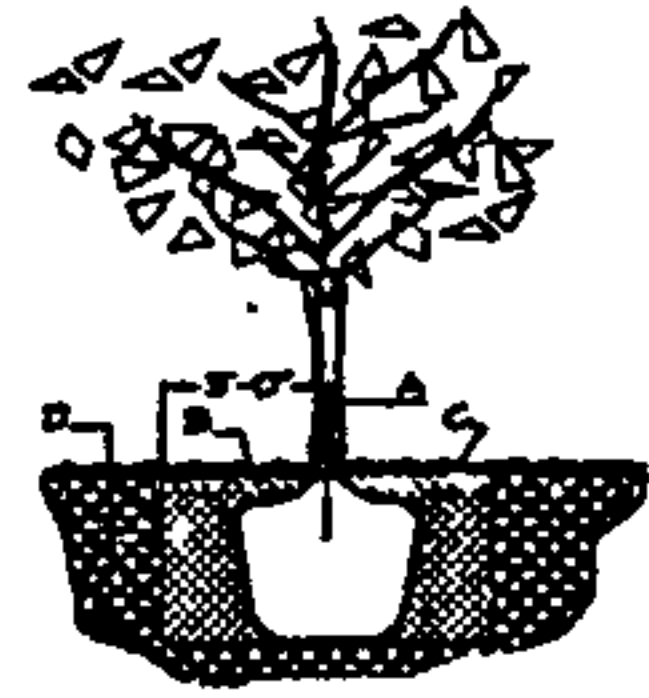


2 EXTERIOR ELEVATION  
SCALE: 3/8" = 1'-0"

**NOTE:** CONTRACTOR TO SEAL ALL JOINTS IN GAST STONE WITH COMPATIBLE ELASTOMERIC SEALANT COLOR TO MATCH GAST STONE. PROVIDE BACKER ROD AT ALL JOINTS LATER THAN 2" MINIMUM

**NOTE:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL ANCHORS AND BRACKETS NECESSARY TO INSURE A COMPLETE INSTALLATION OF ALL GAST STONE - INSTALL USING MANUFACTURER'S RECOMMENDED DETAILS

FINISH NOTES/ SCHEDULE; EXTERIOR PACKAGE B	
NOTE	COLOR
BRICK VENEER- FLUSHED BOND	ACME BRICK "MICHIGAN TERRAZZO" COURSE 4 1/2" MODULAR
BRICK VENEER- REPAIR COURSE	ACME BRICK "MICHIGAN TERRAZZO" COURSE 4 1/2" MODULAR
BRICK VENEER- DOUBLE GOLDEN LEAF	ACME BRICK "MICHIGAN TERRAZZO" COURSE 4 1/2" MODULAR
GAST STONE BASE	UNLIMITED DESIGN H-FORM
GAST STONE TRIM BAND	UNLIMITED DESIGN H-FORM
GAST STONE COURSE	UNLIMITED DESIGN H-FORM
GAST STONE MEDALLION	UNLIMITED DESIGN H-FORM
GAST STONE TRIM BAND	UNLIMITED DESIGN H-FORM
TURCKISH WALL SCOOPER	
METAL CLAD WOOD WINDOWS AND DOORS	BERNA PACIFIC MOON 888
WOODEN BUSH CANOPY WITH SEPIA FINISH	TRICKLEWOOD WATER SEAL ADVANCED WOOD PROTECTOR 6-0000
SEPIA FINISH TILE	UNLIMITED DESIGN H-FORM
BUILDING SHIMMER- H-PANE	
BUILDING SHIMMER- FOR ALL LEAF SHIMMER	
BUILDING ADDRESS SHIMMER- 100	
SPANDREL GLASS	
BRICK VENEER- GOLDEN COURSE	ACME BRICK "MICHIGAN TERRAZZO" COURSE 4 1/2" MODULAR
PRE-FINISHED ALUMINUM OPERATOR HANDS W/ PRE-PAINTED 1/2" BRASS TRIM (POWER-POW)	COLOR TO MATCH BERNA PACIFIC COLOR "MOON 888"
POURED IN PLACE CONCRETE FLOORING AND RESILIENT SYSTEM- SEE FINISH NOTES	
AV CLIMATE BUSH AND TRIM REFER TO AV GARNET SCHEDULE, SEE AIA	COLOR TO MATCH BERNA PACIFIC COLOR "MOON 888"
EMERGENCY EXIT LIGHT FIXTURES SEE ELECTRICAL NOTES	
CAPABLE OF WITHSTANDING SELF-ADVERTISING SIGNAGE/PROFILES- FRAME FABRICATED BY GUY FERRER- PROVIDE TRANSPARENT BUSH AT BUSH END	
BRICK REPAIR WORK REFER TO DETAIL 1001	
BARBERSHOP WALL BRICK	ACME BRICK "MICHIGAN TERRAZZO" 4 1/2" MODULAR
BRICK PAVING	BRICK "MICHIGAN TERRAZZO" 4 1/2" x 4 1/2" x 4 1/2" GLAZED PAVED
PALE MOUNTED EYE LIGHTING	LITONIA LIGHTING 37 1/2" x 12" LENS, BLACK FINISH



**TREE PLANTING DETAIL**

- GENERAL NOTES:**
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE HAS GROWN AND END; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

- CONSTRUCTION NOTES:**
- A. TREE
  - B. BACKFILL WITH EXISTING SOIL
  - C. 3" DEPTH OF GRAVEL MULCH
  - D. UNDISTURBED SOIL

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from other waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel mulch over Fiber Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (30" length) with 8 drips at a final radius of 4.5" from tree trunk, placed in place. Netafim shall have emitters 12" o.d. with a flow of 4 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and emitter systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

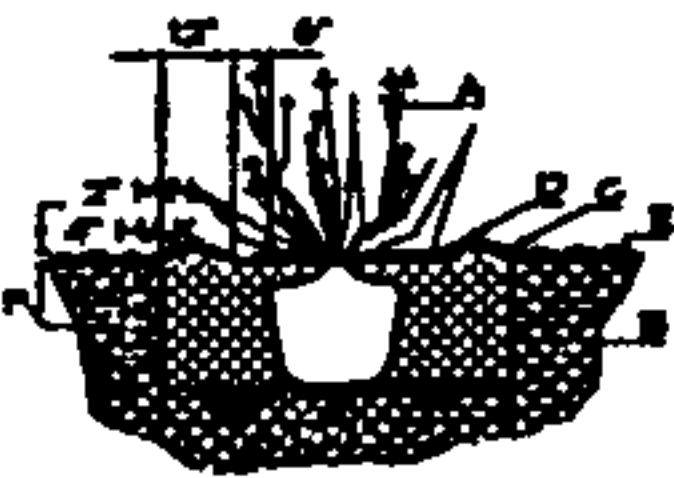
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be completed in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

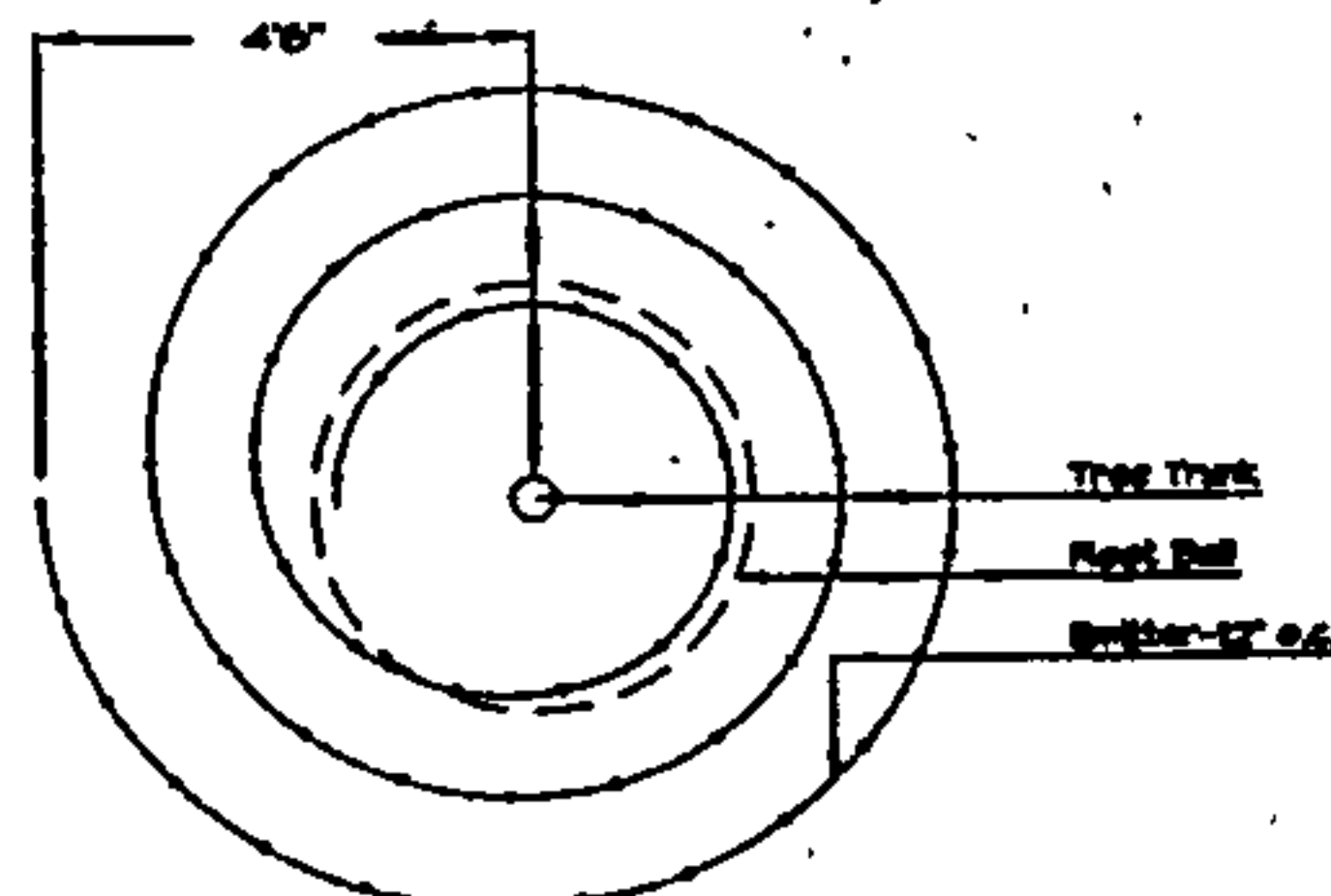
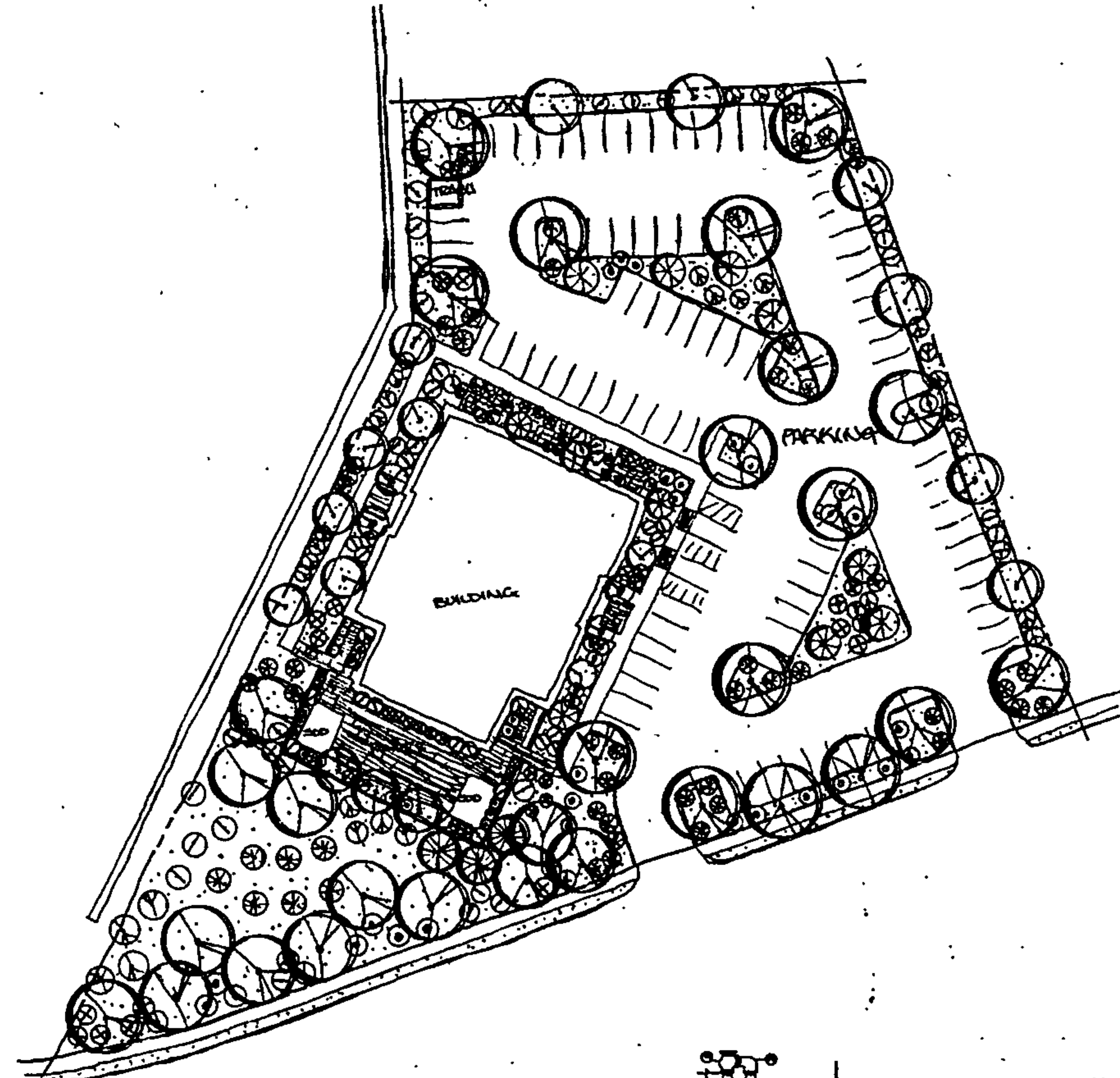
Water and Power source shall be the responsibility of the Developer/Builder.



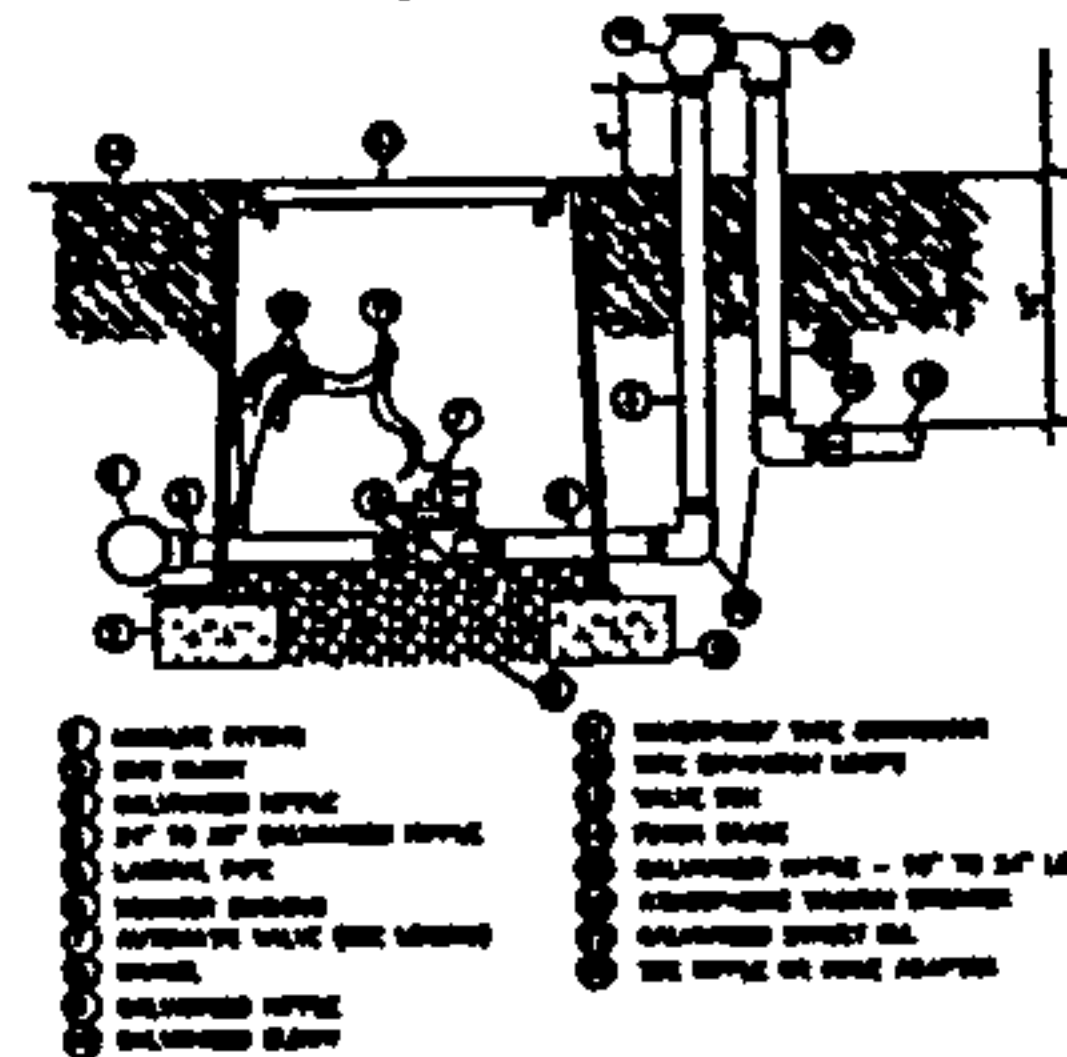
**SHRUB PLANTING DETAIL**

- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASKIN SHALL BE THREE TIMES THE DIAMETER OF THE SHRUB PLANTING PIT.

- CONSTRUCTION NOTES:**
- A. SHRUB
  - B. BACKFILL WITH EXISTING SOIL
  - C. EARTH BERM AROUND WATER RETENTION BASKIN
  - D. 3" DEPTH OF GRAVEL MULCH
  - E. FINISH GRADE
  - F. UNDISTURBED SOIL



Netafim Spiral Detail



**STREET TREE REQUIREMENTS - Minimum 2' Caliper**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Required = 10 Provided = 15

**PARKING LOT TREE REQUIREMENTS - Minimum 2' Caliper**

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

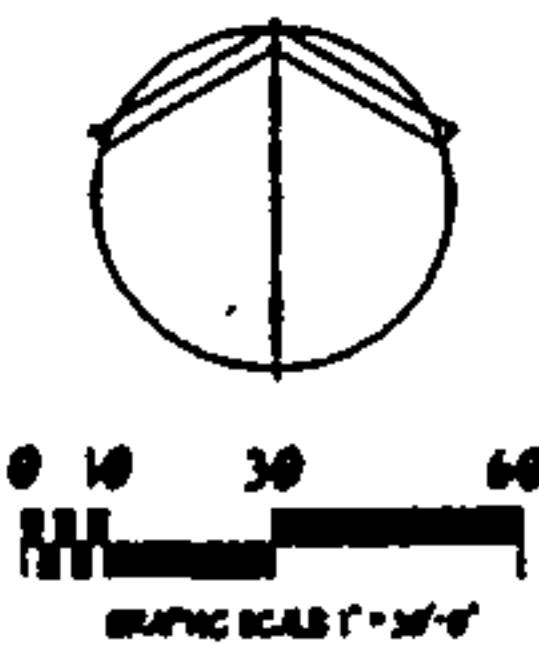
1 Shade tree per 10 spaces  
Required = 10 Provided = 11

**PLANT KEY:**

- 29 - 2" CALIPER SHADE TREES  
MACROCARPA, HOBBELOCUS
- 15 - 15 GAL. FLOWERING TREES  
REDWOOD, CATALPA, PERSIC WILLOW
- 8 - 15 GAL. SPECIM. N TREES  
VIREA, PICEA, CEDAR
- 13 - 3 GAL. EVERGREEN TREES  
PI. QUINQUEF. JUNIPER, PINE
- 40 - 3 GAL. LARGE EVERGREEN SHRUBS  
NORFOLK, BURNING, OREGON, TAMARISK, HYDRANGEA
- 62 - 3 GAL. LARGE DECIDUOUS SHRUBS  
DESERT WILLOW, LILAC, ALBIB, FORSYTHIA
- 42 - 3 GAL. MEDIUM EVERGREEN SHRUBS  
OCHRICOCAEAE, ARBORE PINE, BURNING WILLOW
- 47 - 3 GAL. MEDIUM DECIDUOUS SHRUBS  
CORONILLA, BURNING, BURNING
- 54 - 3 GAL. LOW EVERGREEN SHRUBS  
BURFLO JUNIPER
- 1" GRAVEL MULCH / FILTER FABRIC

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	87,120 sq	square feet
TOTAL BUILDING AREA	10,300 sq	square feet
NET LOT AREA	76,820 sq	square feet
LANDSCAPE REQUIREMENT	8%	
TOTAL LANDSCAPE REQUIREMENT	11,523 sq	square feet
TOTAL BED PROVIDED	37,300 sq	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	28,035 sq	square feet
TOTAL GROUNDCOVER PROVIDED	54,280 sq	square feet
TOTAL PAVING AREA	0	square feet
TOTAL SOIL AREA (Min. 30% of landscape required)	485 sq	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	34,715 sq	square feet



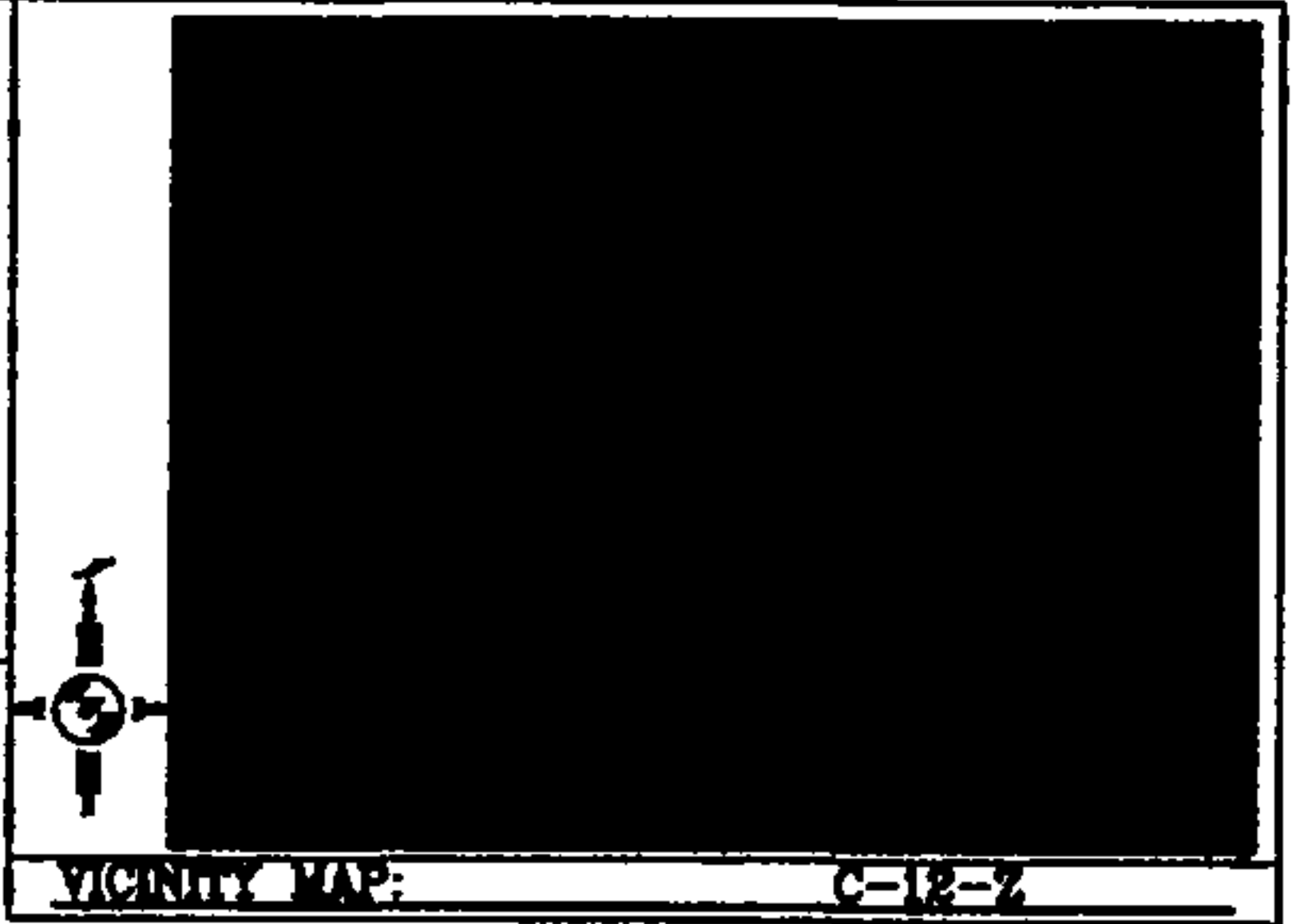
NOAH'S OF ALBUQUERQUE N.M.  
LANDSCAPE PLAN

DATE: 05-22-14  
SHEET: 1  
L1 of L1

**INDEX OF SHEETS**

- 1. SITE PLAN FOR BUILDING PERMIT
- 2. SITE DETAIL SHEET
- 3. GRADING PLAN
- 4. UTILITY PLAN
- 5. BUILDING ELEVATIONS
- 6. BUILDING ELEVATIONS
- 7-13 APPROVED SITE PLAN FOR SUBDIVISION

PROJECT NUMBER	
APPLICATION NUMBER	
ISSUE DEVELOPMENT PLAN APPROVAL	
WATER HEIGHT, VERTICAL CURVES	500'
TRUCK WEIGHTS	500'
TRUCK A HEIGHT, TRUCK B	500'
TRUCK C	500'
TRUCK D	500'
TRUCK E	500'
TRUCK F	500'
TRUCK G	500'
TRUCK H	500'
TRUCK I	500'
TRUCK J	500'
TRUCK K	500'
TRUCK L	500'
TRUCK M	500'
TRUCK N	500'
TRUCK O	500'
TRUCK P	500'
TRUCK Q	500'
TRUCK R	500'
TRUCK S	500'
TRUCK T	500'
TRUCK U	500'
TRUCK V	500'
TRUCK W	500'
TRUCK X	500'
TRUCK Y	500'
TRUCK Z	500'



**LEGAL DESCRIPTION:**

LOT 1A FOUNTAIN HILLS  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

**GENERAL NOTES:**

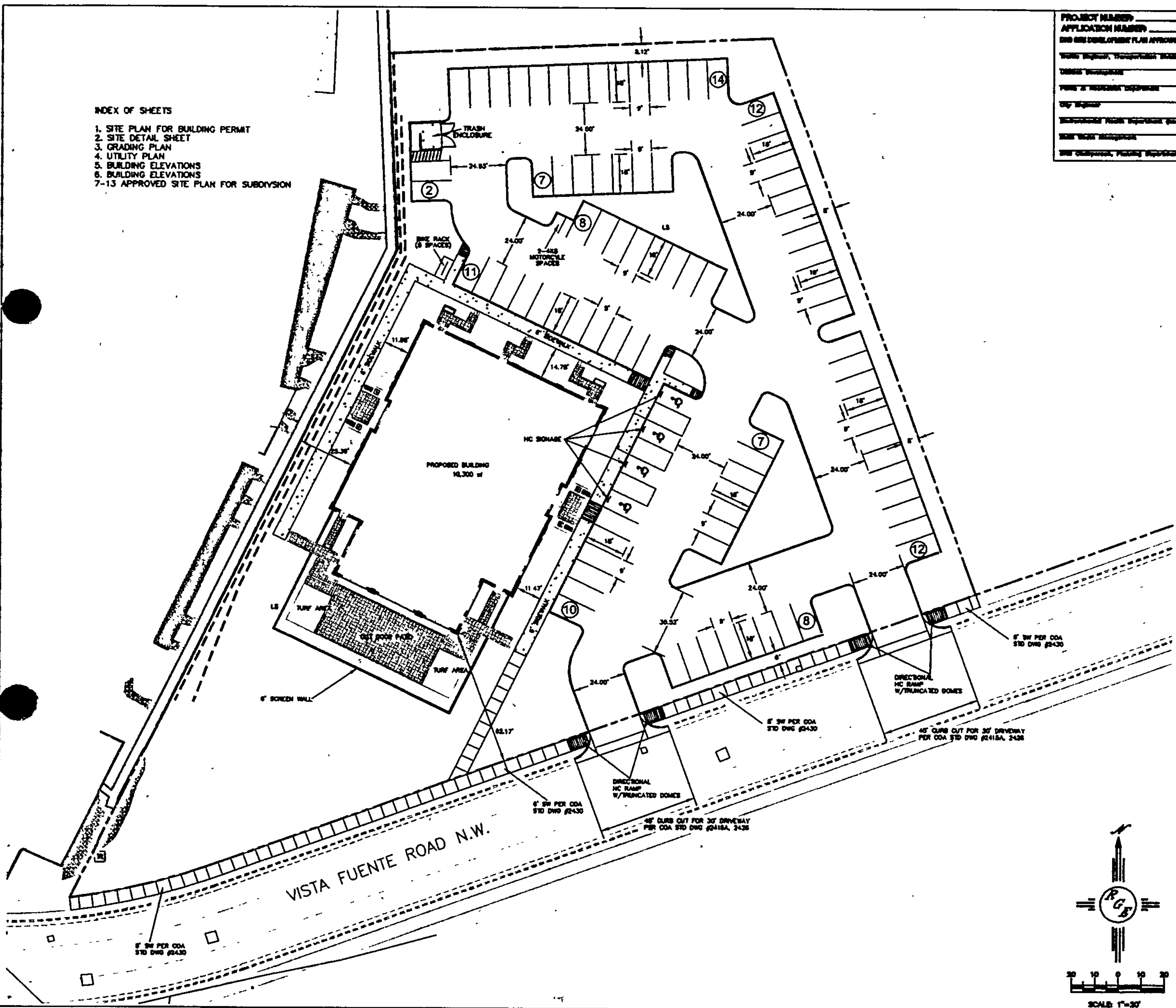
- 1. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG
- 2. ALL PRIVATE CURBS SHALL BE 6" TALL UNLESS OTHERWISE NOTED. SEE DETAIL SHEET. ALL COA ROW CURBS SHALL BE STD 6" PER COA STD DWG #2415A.
- 3. ALL HANDICAP RAMPS SHALL BE ADA COMPLIANT.
- 4. ALL DRIVABLE SURFACES SHALL BE 3" THICK ASPHALT PAVING.
- 5. ALL LANDSCAPING WITHIN THE COA ROW WILL BE GOVERNED BY APPROVED STREET TREE AGREEMENT.

**SITE DATA:**

ZONING: SU-1 PRD W/ C-3 USES  
 BUILDING SF: = 10,300 SF  
 TOTAL LOT AREA: 2.00 AC ±  
 PARKING ANALYSIS:  
 EVENT AREA 247 SEATING CAPACITY:  
 1 SPACE/3 PERSON (OCCUPANCY LOAD)= 83  
 TOTAL = 83  
 TOTAL REQUIRED = 79  
 TOTAL PARKING PROVIDED = 83  
 ACCESSIBLE PARKING ( 4 REQUIRED) = 4 (PROVIDED)  
 MOTORCYCLE PARKING (2 REQUIRED) = 2 (PROVIDED)  
 BICYCLE PARKING (5 REQUIRED) = 5 (PROVIDED)  
 MAXIMUM BUILDING HEIGHT: 26 FEET

**LEGEND**

- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED 6" HEADER CURB
- PROPOSED 6" STD CURB
- 4" PAINTED STRIPE
- LOT LINE
- PROPOSED SIDEWALK
- PROPOSED 3" ASPHALT PAVING
- PROPOSED BUILDING
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED 6" CHAIN LINK FENCE
- PROPOSED CMU BLOCK WALL
- HC SIGNAGE
- PROPOSED RETAINING WALL



ENGINEER'S SEAL	NOAH'S EVENT CENTER	DATE
	SITE PLAN FOR BUILDING PERMIT	8-14
DRAWN SCALE P.E. #14822		SHEET #
		1 of 8
		JOB #
		10001

June 20, 2014

Mr. Jack Cloud  
Chair- Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

**RE: Site Plan for Building Permit  
Lot 1A Fountain Hills  
Project # 1003445  
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering submits revised plan for review by DRB. The plans have been revised to address the comments provided on June 18, 2014. The following is a summary of the comments and an explanation as to how they were addressed

**Transportation**

1. Provided detail for sidewalk and back of curb.  
**This is found on sheet A2- section B**
2. Correct build note for driveway  
**We have corrected the note to show 25'**
3. Provide details for ramps and call out  
**We have labeled all ramps and show detail on sheet 2**
4. Revise map  
**We increased size of map to clarify**
5. Add Note regarding landscaping and clear site triangle  
**We have added note to the landscape plan, the copies submitted herein do not have the note, it was added after printing**
6. Provide information on Vista Fuente Road  
**It is included on the infrastructure list provide for entire center**

**ABCWUA**

Sewer Extension required being on an infrastructure list  
**We have enclosed infrastructure list for this improvement.**

**Planning**

1. Provide 6' pedestrian link from all parking field to building and public sidewalk  
**We have added the additional sidewalks, such that all areas have access to walk directed towards building and public sidewalks**
2. Need site lighting, signage and building mounted signage  
**The site will not have monument signage, the note regarding signage was added to the plans after copies made, so original has the language "Signage shall conform to fountain hills signage regulations specified within the site plan for subdivision. Signage area shall be 60 sf." The site lighting has been shown on the site plan and included in the detail sheet. The building mounted signage is located on the elevations. They are identified by key note L and M**

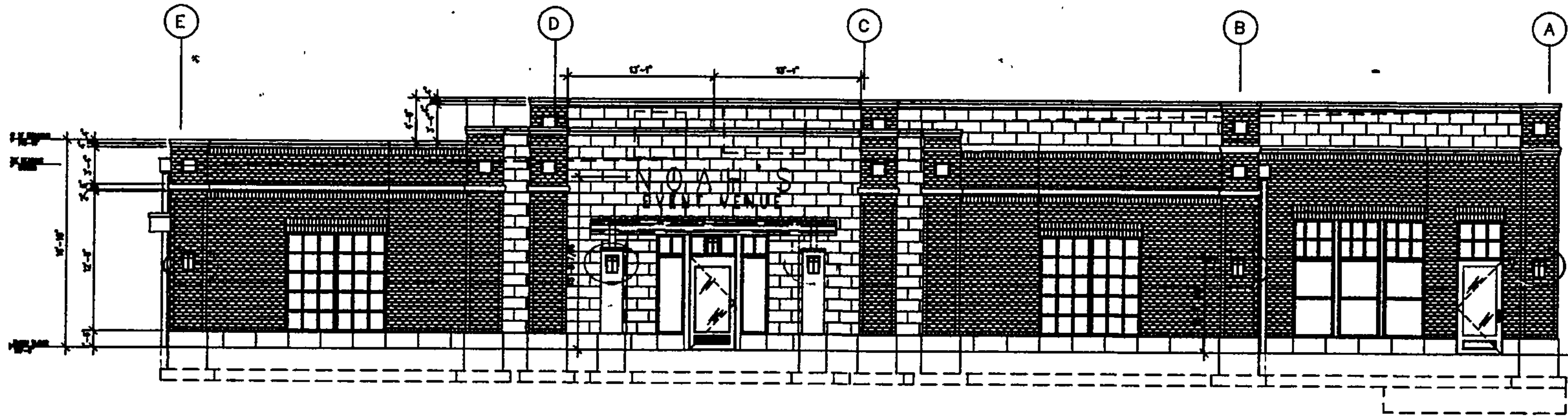
Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

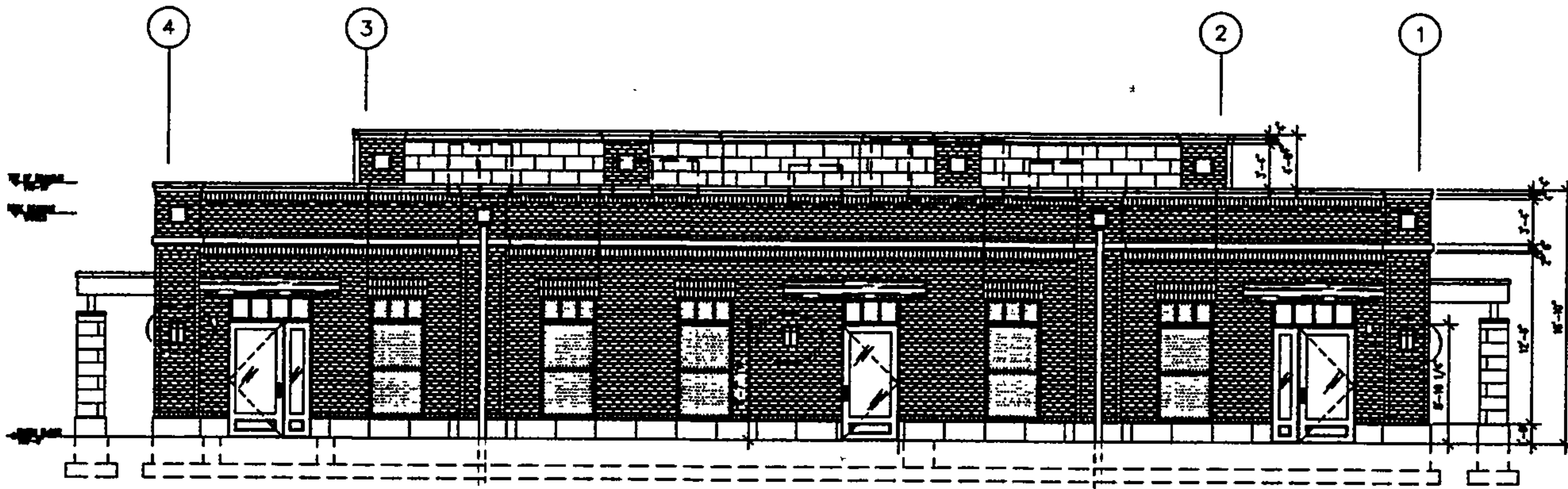


David Soule, PE  
RIO GRANDE ENGINEERING  
PO Box 93924  
ALBUQUERQUE, NM 87199  
321-9099





1 EXTERIOR ELEVATION  
SCALE 3/8" = 1'-0"



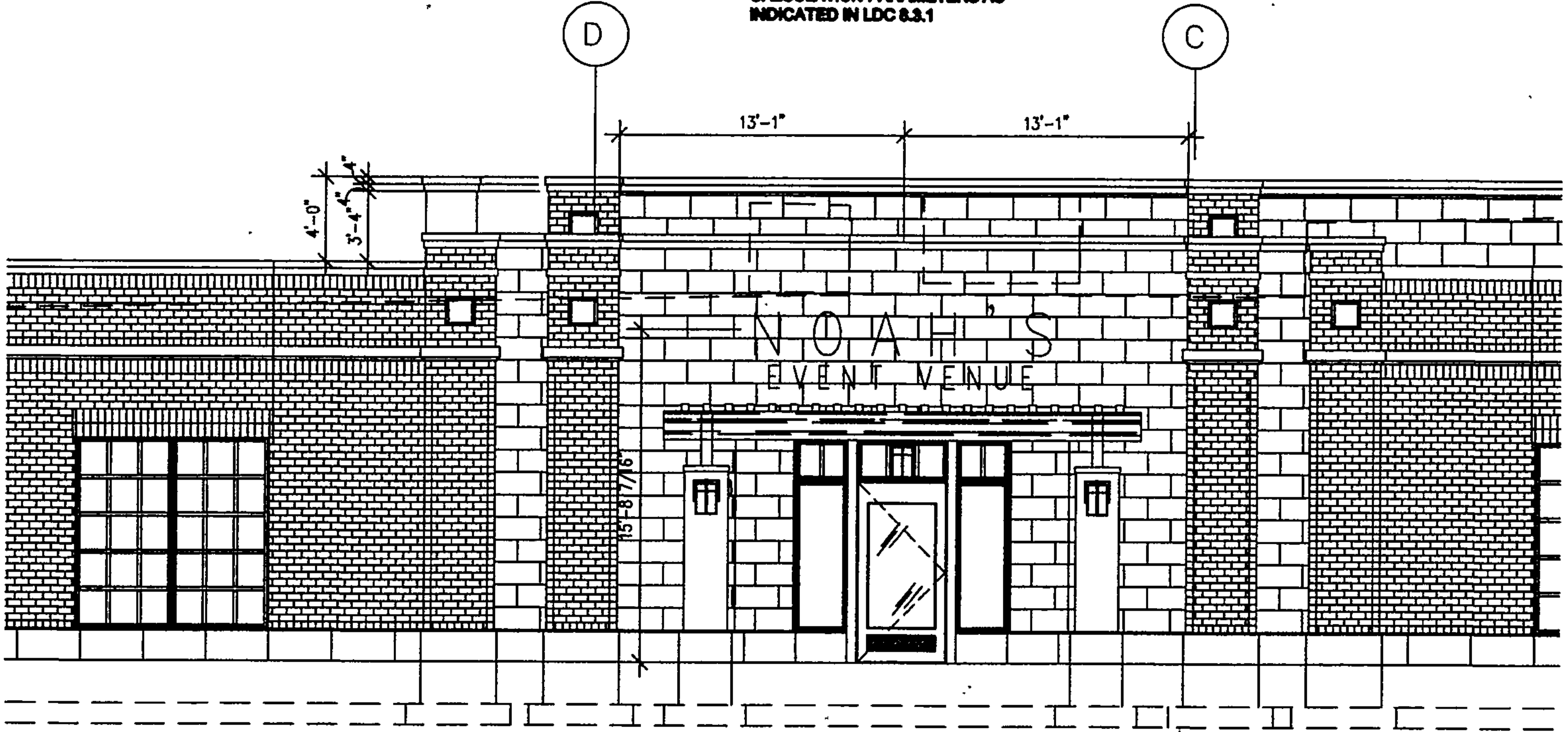
2 EXTERIOR ELEVATION  
SCALE 3/8" = 1'-0"

**NOTE:** CONCRETE TO SEAL ALL JOINTS IN CAST STONE WITH COMPATIBLE ELASTOMERIC SEALANT COLOR TO MATCH CAST STONE. PROVIDE SAGGER JOBS AT ALL JOINTS LAUNDER TRAYS BY OTHER

**NOTE:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL ANCHORS AND BRACKETS NECESSARY TO SECURE A COMPLETE INSTALLATION OF ALL CAST STONE - INSTALL ANCHOR HOOKS, RECOMMENDED DETAILS

FINISH NOTES/ SCHEDULE; EXTERIOR PACKAGE B	
NOTE	COLOR
BRICK VENEER- PENNING BOND	ACME BRICK "TRUSS WALL" 4.00 MODULAR
BRICK VENEER- HEADER COURSE	ACME BRICK "TRUSS WALL" 4.00 MODULAR
BRICK VENEER- DOUBLE SOLIDER LEVEL	ACME BRICK "TRUSS WALL" 4.00 MODULAR
CAST STONE BASE	WILMINGTON BRICKS N-FIB
CAST STONE TRUSS BOND	WILMINGTON BRICKS N-FIB
CAST STONE COURSE	WILMINGTON BRICKS N-FIB
CAST STONE MEDALLION	WILMINGTON BRICKS N-FIB
CAST STONE TRUSS BOND	WILMINGTON BRICKS N-FIB
TERRAZZO WALL SCOFFER	
RECESSED WALL MOUNTED EXTERIOR GRADE LIGHT FIXTURES	HOBLEY LIGHTING BULLA GLE BRONZE MIRROR INTERIOR BRONZE
RECESSED WALL MOUNTED EXTERIOR GRADE LIGHT FIXTURES	HOBLEY LIGHTING BULLA GLE BRONZE OUTDOOR FIXTURES
TEMP. GLASS WOOD FINISHING AND SOUND W/7' SOLIDATED-GLASS LOW E GLASS	SIERRA PACIFIC MODNA-888
ROUNDER CORNER GRADY WITH SEALED FINISH	TERRAZZO WATER BELL REPAIRED WOOD FINISH BY OTHER
1/2" x 1/2" CAST TILE	WILMINGTON BRICKS N-FIB
BUILDING BRICKS- BOARD	
BUILDING BRICKS- FOR ALL LIVES BRICKS	
BUILDING BRICKS- BRICKS- 7/8"	
SPECIAL GLASS	
BRICK VENEER- SOLIDER COURSE	ACME BRICK "TRUSS WALL" 4.00 MODULAR
PRE FINISHED ALUMINUM CONDENSOR HANG-W/7'VE FINISH- 1/2" BRONZE BRONZE/COY	COLOR TO MATCH SIERRA PACIFIC COLOR "MODNA-888"
FORMED IN PLACE CONCRETE FOOTING AND FOUNDATION SYSTEM- SEE FOUND. SHEET	
ANY GLAZED DOOR AND TRUSS REFER TO 3/4" SHEET BRONZE 1/2" x 1/2"	COLOR TO MATCH SIERRA PACIFIC COLOR "MODNA-888"
BRICKS/ CAST STONE LIGHT FIXTURES- SEE ELECTRICAL SHEET	
CONCRETE COW SERVICE 888-888 SELF ASSEMBLING BRICKS/ PROTECT- FRAME FOUNDATION W/ COW FRAME- PROVIDE TERRAZZO BOARD BY OTHER	
BRICK BRICKS/ REFER TO DETAIL SHEET	
BRICK BRICKS/ WALL BRICK	ACME BRICK "TRUSS WALL" 4.00 MODULAR
BRICK FINISH	BRICKS/ TERRAZZO BRICKS/ 1/2" x 1/2" x 1/2" GLAZED FINISH
POLE MOUNTED- GWS LIGHTING	LITRONA LIGHTING/ 1/2" x 1/2" LIGHTING, BLACK FINISH

SIGNAGE AREA EQUALS 60 SF PER SIGNAGE  
CALCULATION PARAMETERS AS  
INDICATED IN LDC 8.3.1



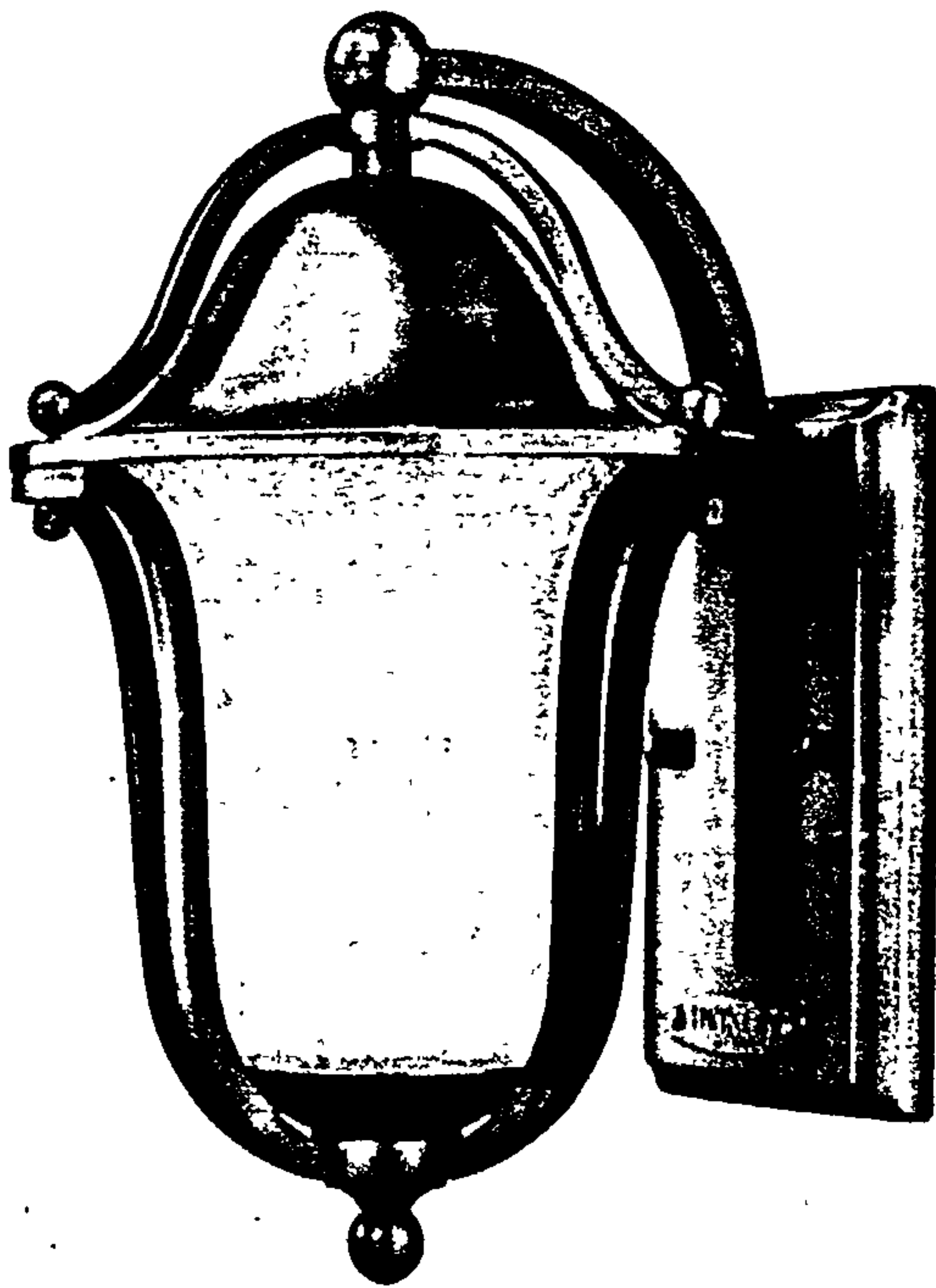
HINKLEY LIGHTING  
A LIGHTING NEW YORK STORE

Customer Service Quick Search

Home	Shop by Category	Shop by Collection	Best Sellers	Sales	No Tax*   Free Shipping*   Free Returns*
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Home » Bolla » Outdoor Wall Lights » Hinkley Lighting 2630OB-GU24

## Hinkley Lighting Bolla 1 Light GU24 CFL Outdoor Wall in Olde Bronze 2630OB-GU24



0

Please allow 2-3 weeks for GU24 conversion.

**\$229.00** per each

List Price ~~\$343.50~~  
You Save \$114.50 (33%)

Select from multiple options

- 1. Finish
- 2. Glass
- 3. System

Show All Options

Quantity  I want more than 100

**Add To Cart**

Add to List or Make an Offer

Zoom Image Watch Video

### Hinkley Lighting Bolla 1 Light GU24 CFL Outdoor Wall in Olde Bronze 2630OB-GU24

[General Information](#) | [Manufacturer's Catalog\(s\)](#) | [Questions](#)

#### Hinkley Lighting Bolla 1 Light GU24 CFL Outdoor Wall in Olde Bronze 2630OB-GU24

The graceful lines of Bolla create a soft elegance, while heavy cast ball transitions add to its innovative style.

#### Brand Information

- Brand: Hinkley Lighting
- Collection: Bolla
- SKU: 2630OB-GU24
- UPC: 640665263077

#### Design Information

- Category: Outdoor Wall Lights
- Finish: Olde Bronze
- Glass: Light Amber Seedy Glass
- Material: Solid Brass

#### Dimensions and Weight


- Width: 7.25 in.
- Height: 12.25 in.
- Extension/Depth: 9.00 in.
- Backplate/Canopy Width: 4.50 in.


#### Bulb Information


- Bulbs Included: No
- Primary Bulb(s): 1 x 26 watts GU24


#### Product Rating


#### Related Product

- 

[Hinkley Lighting 4667OB](#)  
Bolla 1 Light Mini-Pendant in Olde Bronze  
\$99.00
- 

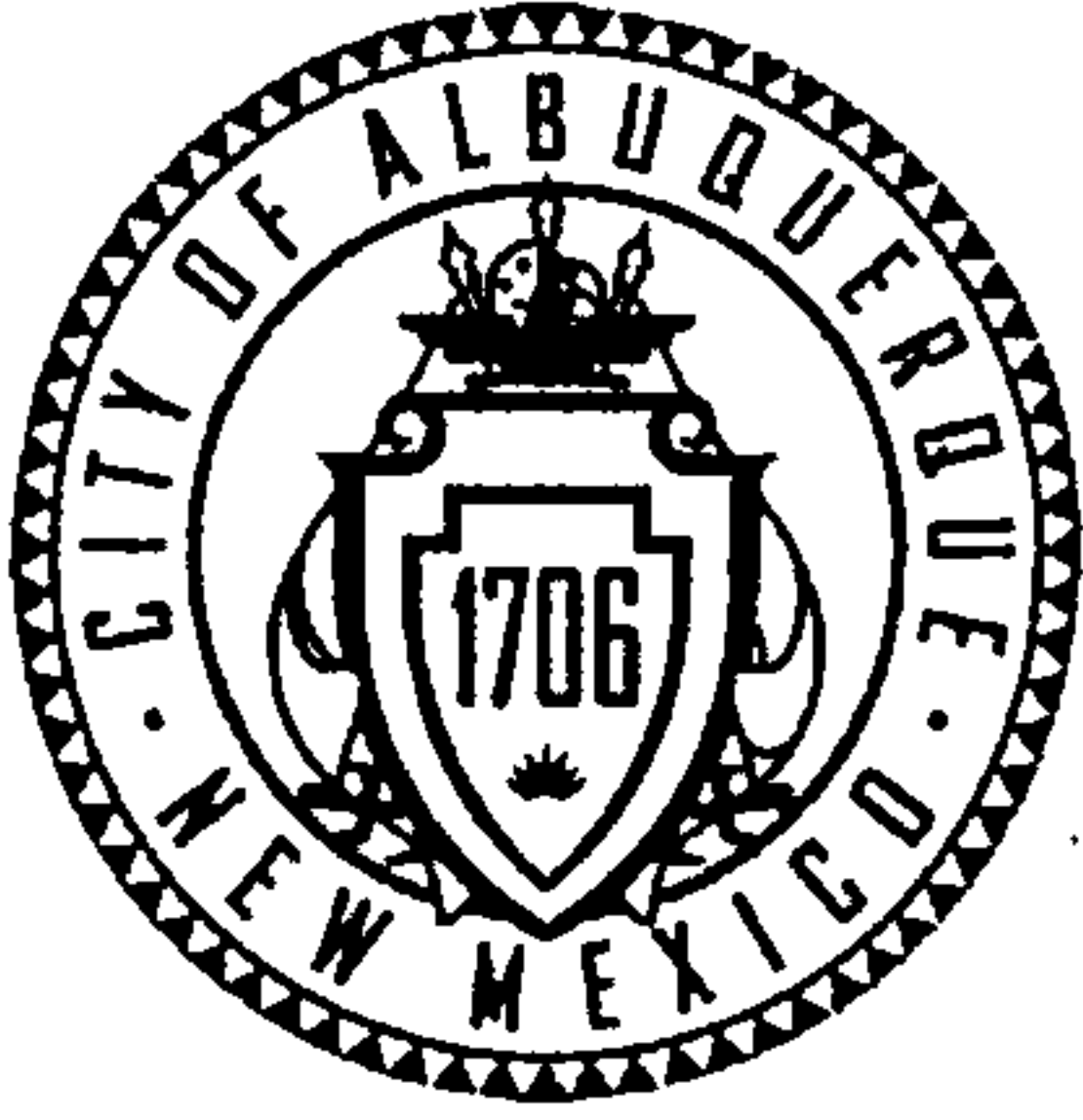
[Hinkley Lighting 4656OB](#)  
Bolla 6 Light Chandelier in Olde Bronze  
\$579.00
- 

[Hinkley Lighting 4655OB](#)  
Bolla 5 Light Chandelier in Olde Bronze  
\$449.00
- 

[Hinkley Lighting 4653OB](#)  
Bolla 3 Light Chandelier in Olde Bronze  
\$299.00
- 

[Hinkley Lighting 4661OB](#)  
Bolla 1 Light Mid-Pendant in Olde Bronze  
\$179.00

See the entire Bolla Collection



City of Albuquerque  
P.O. Box 1293 Albuquerque, New Mexico 87103  
**Planning Department**  
Suzanne Lubar, Director

**Richard J. Berry, Mayor**  
**Perry, CAO**  
June 9, 2014

**Robert J.**

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**SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation**

**Project Number(s):**

**Case Number(s):**

**Agent: RIO GRANDE ENGINEERING**

**Applicant: FOUNTAIN HILLS, LLC**

**Legal Description: TRACT A, FOUNTAIN HILLS SUBDIVISION**

**Zoning : SU-1 PRD WITH C3 USES**

**Acreage: 9 acres**

**Zone Atlas Page: C-12**

**PROVISIONAL CERTIFICATE OF NO EFFECT: Yes  No**

**CERTIFICATE OF APPROVAL: Yes  No**

**TREATMENT PLAN REVIEW:**

**DISCOVERY:**

**SUPPORTING DOCUMENTATION:**

**SITE VISIT: n/a**

**RECOMMENDATION(S):**

***PROVISIONAL CERTIFICATE OF NO EFFECT issued to allow for platting submittal.***

**Property has had archaeological survey and final report is pending.**

**Final Certificate of No Effect will be issued upon receipt of report, depending on results.**

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(1)-- no significant sites in project area)***
- ***(ref O-07-72 Section 4B(2)—extensive previous land disturbance) .***
- ***(ref O-07-72 Section 4B(3), information potential exhausted for LA ).***
- ***CERTIFICATE OF APPROVAL IS ISSUED (ref O-07-72 Section 4C(1), preservation plan required).***

**SUBMITTED:**

Matthew Schmader, PhD

**ORIGINAL**

Figure 12

**INFRASTRUCTURE LIST**

**EXHIBIT 'A'  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**FOUNTAIN HILLS**

Date Submitted: June 5, 2007  
 Date Site Plan Approved: N/A  
 Date Preliminary Plat Approved: 6-20-07  
 Date Preliminary Plat Expires: 6-20-08

DRB Project No. 1003445  
 APT # 07 DRB - 70054  
 1 5-2-08  
 2 01-20-09

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
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**PHASE 1 INFRASTRUCTURE IMPROVEMENTS**

**PHASE 1 OFFSITE PUBLIC ROADWAY IMPROVEMENTS**


30' F-F 16' MEDIAN	ARTERIAL PAVEMENT W/ MEDIAN & STD. CURB & GUTTER W/ 5' SIDEWALK ON SOUTHSIDE	PARADISE BLVD	WEST PROPERTY BOUNDARY	EAST PROPERTY BOUNDARY
30' WIDE	4' TEMPORARY ASPHALT	PARADISE BLVD EASTBOUND LANE	DAVENPORT ST	WEST PROPERTY BOUNDARY
30' WIDE	4' TEMPORARY ASPHALT	PARADISE BLVD EASTBOUND LANE	EAST PROPERTY LINE	EXISTING MINI STORAGE UNIT WEST PROPERTY LINE
NOTE:	STREET LIGHTS AS PER COA DPM			
NOTE:	LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETScape AGREEMENT. A FINANCIAL GUARANTY IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY.			


**PHASE 1 ONSITE PUBLIC ROADWAY IMPROVEMENTS**


40' F-F	PAVEMENT W/ PCC CURB & GUTTER & 8'-0" WIDE SIDEWALK ON BOTH SIDES	NUMBO AVE	EAGLE RANCH RD	VISTA FUENTE ROAD
VARIES 24' F-F MIN - 48' F-F MAX	PAVEMENT W/ PCC CURB & GUTTER & 8'-0" WIDE SIDEWALK ON EAST SIDE	NUMBO AVE	VISTA FUENTE ROAD	PARADISE BLVD
	ROUNDBOUT	NUMBO AVE	VISTA FUENTE	LOMA FUENTE NUMBO AVE
NOTE:	STREET LIGHTS AS PER COA DPM			
NOTE:	LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETScape AGREEMENT. A FINANCIAL GUARANTY IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY.			


SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PHASE 1 PUBLIC SANITARY SEWER IMPROVEMENTS</b>									
		8" DIA	SANITARY SEWER LINE W/ NEC. MH'S & SERVICES	LOMA FUENTE NUNZIO AVE	EAGLE RANCH RD	PARADISE BLVD	/	/	/
		8" DIA	SANITARY SEWER LINE W/ NEC. MH'S & SERVICES	VISTA FUENTE ROAD	140' SOUTHWEST OF INTERSECTION OF VISTA FUENTE ROAD & NUNZIO AVE	LOMA FUENTE NUNZIO AVE	/	/	/

<b>PHASE 1 PUBLIC WATERLINE IMPROVEMENTS</b>									
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	LOMA FUENTE NUNZIO AVE	EAGLE RANCH RD	PARADISE BLVD	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	VISTA FUENTE ROAD	EDUCATION PLACE	LOMA FUENTE NUNZIO AVE	/	/	/

<b>PHASE 1 PUBLIC STORM DRAIN IMPROVEMENTS</b>									
		18"-42" DIA	RCP W/ NEC. MH'S, LATERALS, & INLETS	LOMA FUENTE NUNZIO AVE	PARADISE BLVD	EXISTING LOT 6-A-1	/	/	/
		18"-30" DIA	RCP W/ NEC. MH'S, LATERALS, & INLETS	VISTA FUENTE ROAD	EDUCATION PLACE	LOMA FUENTE NUNZIO AVE	/	/	/
		24" DIA	RCP W/ NEC. MH'S, LATERALS, & INLETS	TRACT 6-A-1	TRACT D	DETENTION POND	/	/	/
		2.5 AC-FT	DETENTION POND	EXISTING LOT 6-A-1			/	/	/

**PHASE 2 INFRASTRUCTURE IMPROVEMENTS**

<b>PHASE 2 OFFSITE PUBLIC ROADWAY IMPROVEMENTS</b>									
			TRAFFIC SIGNAL	PARADISE BLVD/ PRICKLY PEAR ST			/	/	/
		12' WIDE	ADD 2ND LEFT TURN ARTERIAL PAVEMENT W/ POC CURB & GUTTER	PASEO DEL NORTE EAST BOUND LANE		RICHLAND HILLS RD	/	/	/
		12' WIDE	ADD RIGHT TURN LANE ARTERIAL PAVEMENT W/ POC CURB & GUTTER	RICHLAND HILLS RD SOUTHBOUND LANE		PASEO DEL NORTE	/	/	/
		12' WIDE	ADD RIGHT TURN LANE ARTERIAL PAVEMENT	PASEO DEL NORTE WESTBOUND LANE	RICHLAND HILLS RD	150' EAST OF RICHLAND HILLS EAST CURB & GUTTER	/	/	/
		10' WIDE	TRAIL	PASEO DEL NORTE	WEST PROPERTY LINE	EAGLE RANCH RD	/	/	/

SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
12' WIDE	ADD 2ND LEFT TURN LANE ARTERIAL PAVEMENT W/ PCC CURB & GUTTER (ADD'L WIDTH TO BE TAKEN FROM MEDIAN)	PASEO DEL NORTE EAST BOUND LANE		EAGLE RANCH RD
<del>14' WIDE</del>	<del>ADD THIRD THRU LANE STRIPING MODIFICATION ONLY</del>	<del>PASEO DEL NORTE EAST BOUND LANE</del>	<del>WEST OF EAGLE RANCH</del>	<del>EAST OF EAGLE RANCH</del>
12' WIDE	ADD THIRD THRU LANE - STRIPING MODIFICATION ONLY	PASEO DEL NORTE WEST BOUND LANE	BEGINNING FREE RIGHT	EAGLE RANCH RD
12' WIDE	ADD THIRD THRU LANE ARTERIAL PAVEMENT W/ PCC CURB & GUTTER <b>6' BIKE LANE</b>	PASEO DEL NORTE WEST BOUND LANE	EAGLE RANCH RD	<b>RICHLAND FOUNTAIN HILLS WEST BOUNDARY</b>
12' WIDE	ADD LEFT TURN LANE (DONE W/ COSTCO) NO FINANCIAL GUARANTEE REQUIRED	COORS BLVD. NORTH BOUND		EAGLE RANCH RD
6' WIDE	<b>BIKE LANE w/ PCC CURB &amp; GUTTER w/ 6' SIDEWALK</b>	EAGLE RANCH ROAD	SOUTH BOUNDARY TRACT 10-A-1	PASEO DEL NORTE

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/

**PHASE 2 ONSITE PUBLIC ROADWAY IMPROVEMENTS**


40' F-F	RESIDENTIAL PAVEMENT W/ PCC CURB & GUTTER & PCC 6' WIDE SIDEWALK ON BOTH SIDES	VISTA FUENTE ROAD	EDUCATION PLACE	<b>LOMA FUENTE NUNDO AVE</b>
VARIES 20' MIN	RESIDENTIAL PAVEMENT W/ PCC CURB & GUTTER & PCC 6' WIDE SIDEWALK ON WEST SIDE	<b>LOMA FUENTE NUNDO AVE</b>	VISTA FUENTE ROAD	PARADISE BLVD
NOTE:	STREET LIGHTS AS PER COA DPM			
<b>6' WIDE</b>	<b>PCC SIDEWALK (BOTH SIDES)</b>	<b>LOMA FUENTE</b>	<b>EAGLE RANCH</b>	<b>PARADISE (INCLUDES RNDABOUT)</b>
NOTE:	LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETScape AGREEMENT. A FINANCIAL GUARANTY IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY. D			

/	/	/
/	/	/
/	/	/
/	/	/
/	/	/

BRUCE STIDWORTHY, PE 06/06/07  
 PREPARED BY: PRINT NAME  
 DRB CHAIR: *[Signature]* 6/20/07  
 DATE: 6/20/07  
 PARKS & GENERAL SERVICES: *[Signature]* 6/20/07  
 DATE: 6/20/07

BOHANNAN HUSTON INC  
 FIRM: *[Signature]* 6-20-07  
 TRANSPORTATION DEVELOPMENT  
 DATE: 6-20-07  
 SIGNATURE: *[Signature]* 6/20/07  
 DATE: 6/20/07  
 UTILITY DEVELOPMENT: *[Signature]* 6/20/07  
 DATE: 6/20/07  
 CITY ENGINEER: *[Signature]* 6/20/07  
 DATE: 6/20/07

MAXIMUM TIME ALLOW TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION  
 DATE: 6-19-07

DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT/OWNER
1	5-2-08	<i>[Signature]</i>	<i>[Signature]</i>	Yolanda Morjan
2	01-20-09	<i>[Signature]</i>	<i>[Signature]</i>	Yolanda Morjan

PROJECT #  
1003445

June 18. 2014

P&F\*\*\*\*\*





## INTER-OFFICE MEMORANDUM

### COMMENTING AGENCIES

DEBBIE BAUMAN, Transportation Development  
SHABIH RIZVI, Transit & Parking Department  
STEVE MONTIEL, Council of Governments  
LYNN MAZUR, AMAFCA  
STEVE SINK, APD Crime Prevention  
JAY LEE EVANS, Open Space Division  
RAY SANCHEZ, Fire Department  
DAVID KILPATRICK, Zoning Enforcement Inspector  
STEPHANI WINKLEPLECK, Neighborhood Coordination  
DANIEL ARAGON, Public Service Company of New Mexico  
PATRICK SANCHEZ, New Mexico Gas Company  
APRIL WINTERS, Albuquerque Public Schools  
MICHELE RAMIREZ, CenturyLink  
MIKE MORTUS, Comcast Cable  
RAY GOMEZ, Middle Rio Grande Conservancy District (MRGCD)  
SUZANNE BUSCH, Environmental Health

Your comments on the following case(s) are requested. Board hearing date:

PROJECT # 1003445

**Wednesday, October 10, 2012**

Comments must be received by:

**Friday, October 5, 2012**

If comments are not received by this date, "no comments" will be listed on the staff report. Attached are copies of the requests.

**If you have any questions, please contact me at 924-3946 or [agomez@cabq.gov](mailto:agomez@cabq.gov)**



Supplemental Form (SF)

<b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
<input checked="" type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	<b>V</b>		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>		<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<input type="checkbox"/> for Subdivision			<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	<b>D</b>		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)			
<b>STORM DRAINAGE (Form D)</b>	<b>L</b>	<b>A</b>	<b>APPEAL / PROTEST of...</b>
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Custom Grading, Inc PHONE: 897-4225  
 ADDRESS: P.O. Box 94088 FAX: 792-2399  
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: truc@cgim.com

APPLICANT: Jason Shaffer PHONE: 505-280-5771  
 ADDRESS: P.O. Box 66897 FAX: 505-344-3992  
 CITY: Albuquerque STATE NM ZIP 87193 E-MAIL: jshaffer3@comcast.net  
 Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: SIA Extension

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A, B, C, D, E, F, G, H, I Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: Fountain Hills Plaza Subdivision  
 Existing Zoning: SU-1 Proposed zoning: No Change MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C-12-2 UPC Code: \_\_\_\_\_

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): 1003445,  
584480

CASE INFORMATION:

Within city limits?  Yes Within 1000FT of a landfill? No  
 No. of existing lots: 9 No. of proposed lots: 9 Total site area (acres): 39.9074

LOCATION OF PROPERTY BY STREETS: On or Near: Eagle Ranch Rd  
 Between: Paseo del Norte and Paradise Blvd

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE Tula M Howe DATE 9/13/2012  
 (Print Name) Tula M Howe Applicant:  Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12 DRB - 70289</u>	<u>ESIA</u>		\$ <u>50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>ADV</u>		\$ <u>75.00</u>
<input type="checkbox"/> AGIS copy has been sent				\$ _____
<input type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>Oct. 10, 2012</u>			Total
	<u>9-14-12</u>			\$ <u>145.00</u>

Staff signature & Date: [Signature] Project # 1003445

**FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

**Preliminary plat approval expires after one year.**

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)**

**PLEASE NOTE:** There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

**Amended preliminary plat approval expires after one year.**

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)**

**(Temporary sidewalk deferral extension use FORM-V)**

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Trula M. Houng  
Applicant name (print)  
[Signature] 9/13/12  
Applicant signature / date



Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
12 - DRB - 70289

[Signature] 9-14-12  
Planner signature / date  
Project # 1003445

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from Sept. 25, 2012 To Oct. 10, 2012

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

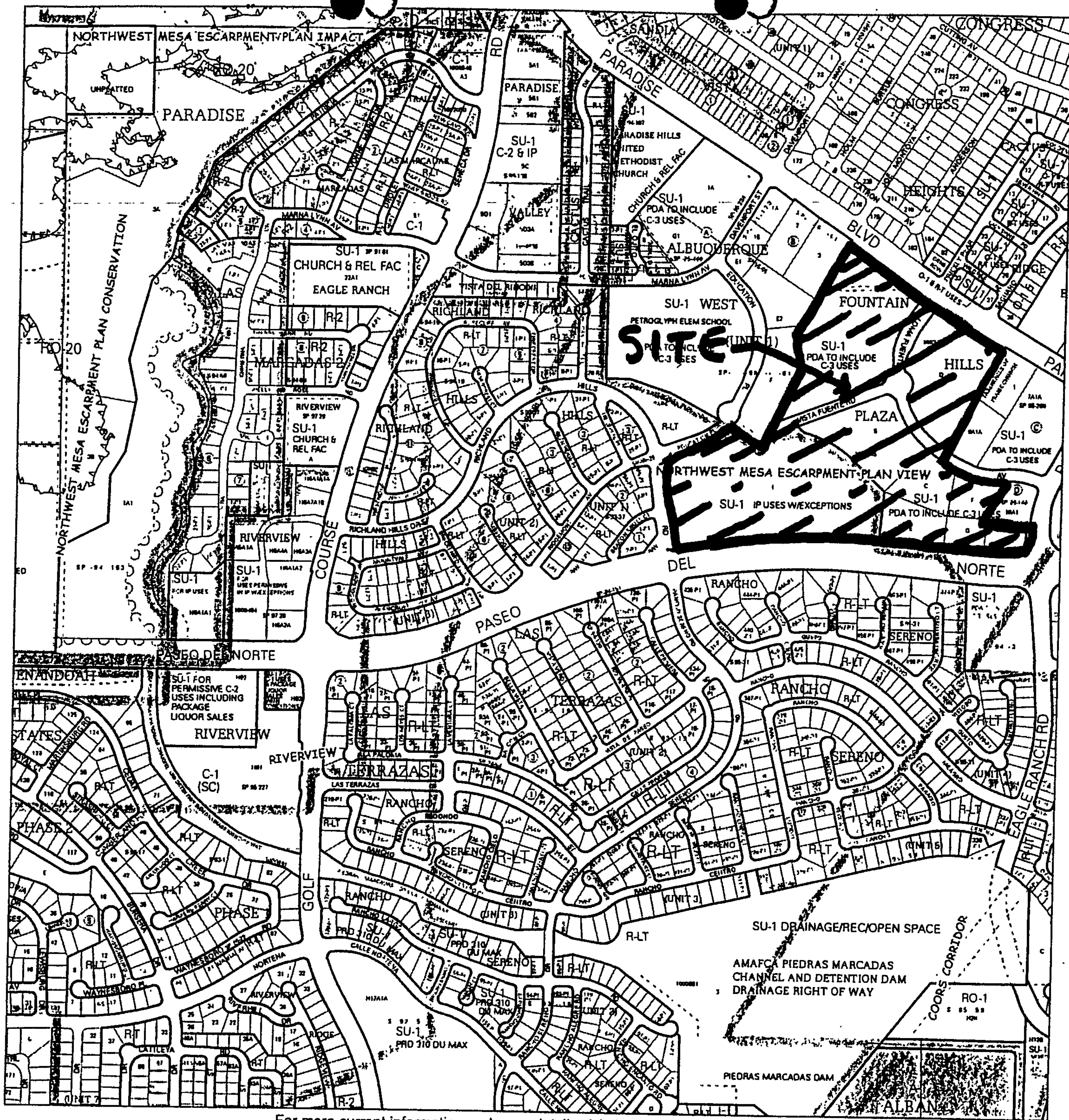
[Signature]  
(Applicant or Agent)

9/19/2012  
(Date)


I issued 3 signs for this application, 9-14-12  
(Date)

[Signature]  
(Staff Member)

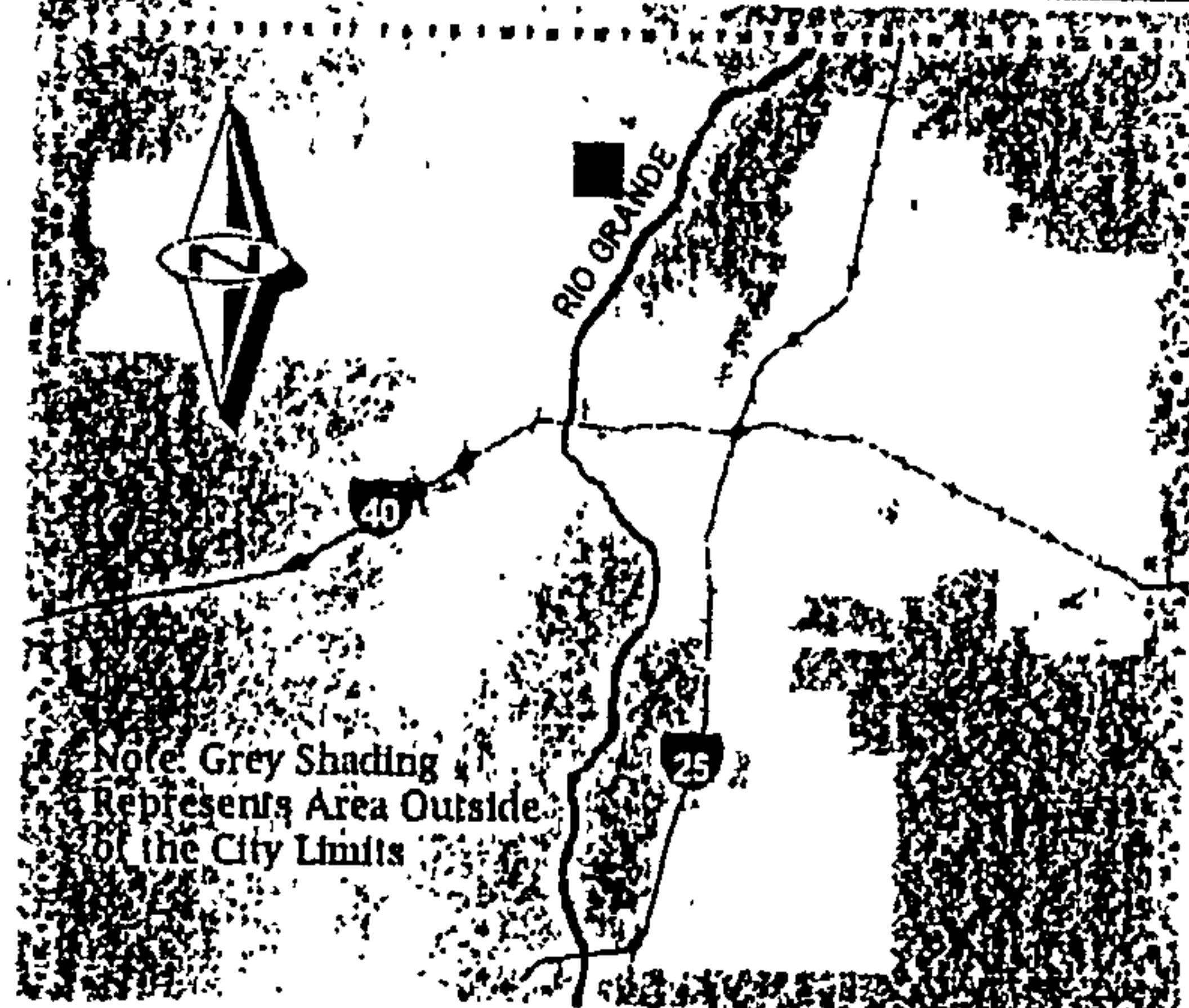
DRB PROJECT NUMBER: 1003445



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 3/10/2009



Note: Grey Shading Represents Area Outside the City Limits

Zone Atlas Page:  
**C-12-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0      .750      1,500 Feet

September 13, 2012

City of Albuquerque  
Planning Department  
Design Review Board  
1 Civic Plaza NW  
Albuquerque, NM 87102

Re: Fountain Hills Plaza Subdivision, Phase/Unit #2

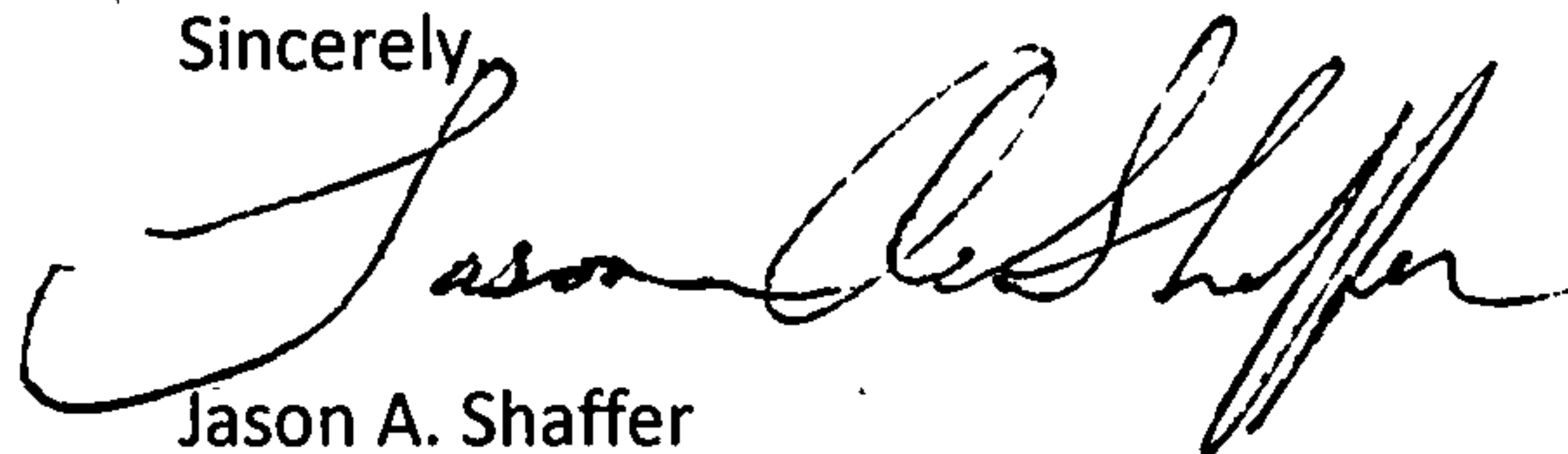
To Whom It May Concern:

Phase 2 of Fountain Hills Plaza Subdivision has not yet been complete, or even begun as of this date. The items required are as follows, according to the Engineers Opinion of Probably Costs on record:

Traffic Signal at Loma Fuente Rd and Paradise Blvd NW  
On-site paving of Vista Fuente Rd  
Paseo del Norte/Richland Hills/Eagle Ranch – Paving, striping, and signage and relocating traffic signal

We are requesting a two-year extension of the Subdivision Improvement Agreement, due to slow economic environment and lack of end users.

Sincerely,



Jason A. Shaffer  
Managing Member  
Fountain Hills Plaza LLC

SP-2007-222877



LOCATION MAP  
ZONE ATLAS INDEX MAP No. C12  
NOT TO SCALE

SUBDIVISION DATA

- 1. DMS No.
2. Zone Atlas Index No. C12
3. Gross Plat Acreage: 38.9074
4. Total Number of Lots/Tracts created: (8) Tracts
5. Total Mileage of streets created: Full width=0.1573 Half width=0.1714
6. Date of Survey: April 2007
7. Plat is located within Section 13, Township 11 North, Range 2 East, New Mexico Principal Meridian, Albuquerque, Bernalillo County, New Mexico.

DISCLOSURE STATEMENT

The purpose of this plat is to subdivide all of Tracts B-1-A, C-1-A, & D-1-A Albuquerque West, Unit One, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 24, 2006 in Book 2006C page 218 as Document 200606028, and Tract 10-A-2 Block D, Albuquerque West, Albuquerque, Bernalillo County, New Mexico on June 13, 1994, Volume 94C Folio 259 and Tract B, Richland Hills Unit 1, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 08, 1994, Volume 94C, Folio 148, into nine (9) Tracts, dedicate right-of-way, grant easements and vacate easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers and transformers, as installed shall extend ten feet (10') in front of transformer enclosures and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, City of Albuquerque, Bernalillo County, New Mexico within projected Section 13, Township 11 North, Range 2 East, New Mexico Principal Meridian, being and comprising all of Tracts B-1-A, C-1-A, & D-1-A of the Plat of Albuquerque West, Unit One, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 24, 2006 in Book 2006C page 218 as Document 200606028, and Tract 10-A-2 Block D, of the Plat of Albuquerque West, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated of the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 13, 1994, Volume 94C Folio 259 and Tract B of Richland Hills Unit 1, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 08, 1994, Volume 94C Folio 148.

Containing 38.9704 acres more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, City of Albuquerque, Bernalillo County, New Mexico within projected Section 13, Township 11 North, Range 2 East, New Mexico Principal Meridian, being and comprising of Tracts B-1-A, C-1-A, & D-1-A of the Plat of Albuquerque West, Unit One, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 24, 2006 in Book 2006C page 218 as Document 200606028, Tract 10-A-2 Block D, of the Plat of Albuquerque West, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 13, 1994, Volume 94C, Folio 259 and Tract B of the Plat of Richland Hills Unit 1, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 08, 1994, Volume 94C, Folio 148, is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate public street rights-of-way shown hereon to the City of Albuquerque in fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities thereon; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, conducts any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

THE FIRST BAPTIST CHURCH OF ALBUQUERQUE - owner of Tract B, Richland Hills

BY: MICHAEL M. COOK, Pastor/President

State of New Mexico )
County of Bernalillo )

This instrument was acknowledged before me on 11 day of June 2007 by MICHAEL M. COOK, Pastor/President

My Commission Expires 10-24-2011 Stephanie D. Walton Notary Public

FOUNTAIN HILLS PLAZA LLC - Owner of Tracts B-1-A, C-1-A, & D-1-A Albuquerque West, Unit One and lot 10-A-2, Block D Albuquerque West

BY: Dwayne Pino, Managing Member

State of New Mexico )
County of Bernalillo )

This instrument was acknowledged before me on 11 day of June 2007 by Dwayne Pino, Managing Member, Fountain Hills Plaza LLC

My Commission Expires 10-24-2011 Stephanie D. Walton Notary Public

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone)
2. Distances are ground distances.
3. All easements of record are shown that I am aware of.
4. Record bearings and distances are shown in parenthesis.
5. Tracts C, F, & G are subject to a Twenty Five Foot wide Easement access, water, drainage, and sanitary sewer easement for the benefit of and to be maintained by Tracts E, G & H granted with this plat. This easement will be continued and defined with future platting.
6. Centerline (for of RVV monumentation) to be installed at centerline of C-1, PTs, and centerline of street intersections prior to acceptance of street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE, "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 18469"
7. Easement information shown on this survey was taken from TITLE COMMITMENT No. 622000866, effective January 02, 2007 issued by LandAmerica Albuquerque Title.
8. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
9. Public drainage enters the vacated drainage easent. Maintenance of these tracts with respect to drainage is the responsibility of the private property owners.
SURVEYOR'S CERTIFICATION

I, Robert Gromastky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromastky, New Mexico Professional Surveyor 16488

Date: 6-11-07

JURISDICTIONAL AFFIDAVIT

I, Robert Gromastky, a registered Professional New Mexico Surveyor, hereby affirm that the property described does lie within the platting and subdivision jurisdiction of the City of Albuquerque, New Mexico.

Robert Gromastky, New Mexico Professional Surveyor 16488

Date: 6-11-07



DOCN 2007134647
PLAT OF FOUNTAIN HILLS PLAZA SUBDIVISION

PLAT OF FOUNTAIN HILLS PLAZA SUBDIVISION
(A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A, ALBUQUERQUE WEST, UNIT ONE, LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST & TRACT B, RICHLAND HILLS UNIT 1)
WITHIN PROJECTED SECTION 13, T 11 N, R 2 E, N.M.P.M. TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO
JUNE, 2007

PROJECT NUMBER 1003445
APPLICATION NUMBER 07 DRB-70054

PLAT APPROVAL

Table with columns for Utility Approvals (QWEST, PNM Electric, PNM Gas, City, Traffic Engineering, Parks & Recreation, Planning, Environmental Health, NMU) and dates.

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC 1
1-012-064-204297-119-01
PROPERTY OWNER OF RECORD First Baptist Church
Date 9-19-2007

Bohannon & Huston logo and address: Courtyard I 7500 Jefferson St NE Albuquerque, NM 87109-1335

**LEGEND**

- BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - LOT LINE ELIMINATED WITH THIS PLAT
- - - RIGHT OF WAY LINE
- 10' PUE 10' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- ⊕ USGS BRASS DISK CONTROL MONUMENT
- ▲ SET CENTERLINE MONUMENT TO BE INSTALLED
- #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 1848B"
- ⊙ FOUND 5/8" REBAR W/CAP STAMPED "LS 10484" UNLESS NOTED
- ⊙ FOUND 5/8" REBAR W/CAP STAMPED "LS 11184"
- ⊙ FOUND 5/8" REBAR NO CAP

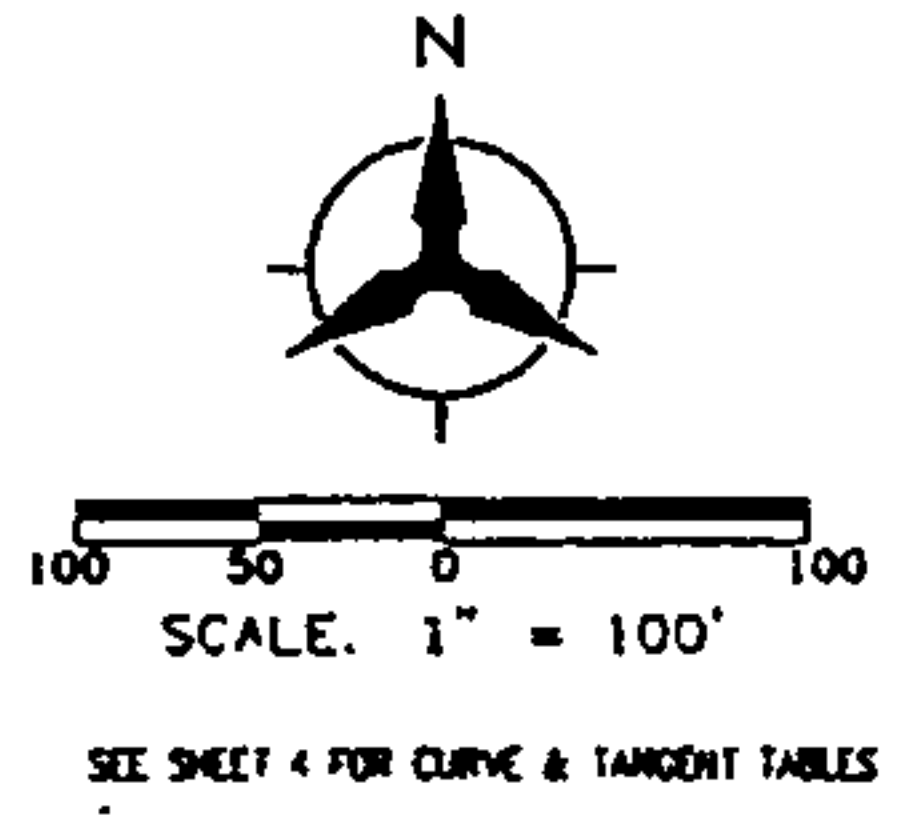
DOC# 2007134847

PLAT # 222 88 27 200709 2290 A Tolson Bernalillo County

**PLAT OF  
FOUNTAIN HILLS PLAZA  
SUBDIVISION**

(A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A,  
ALBUQUERQUE WEST, UNIT ONE,  
LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST &  
TRACT B, RICHLAND HILLS UNIT 1)

WITHIN PROJECTED SECTION 13, T 11 N, R 2 E, N.M.P.M.  
TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2007



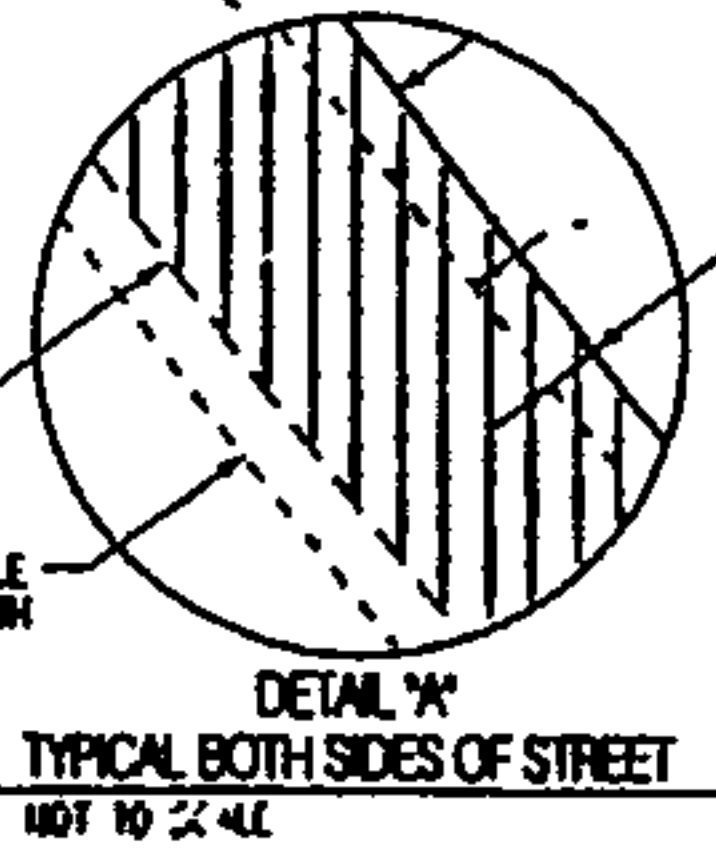
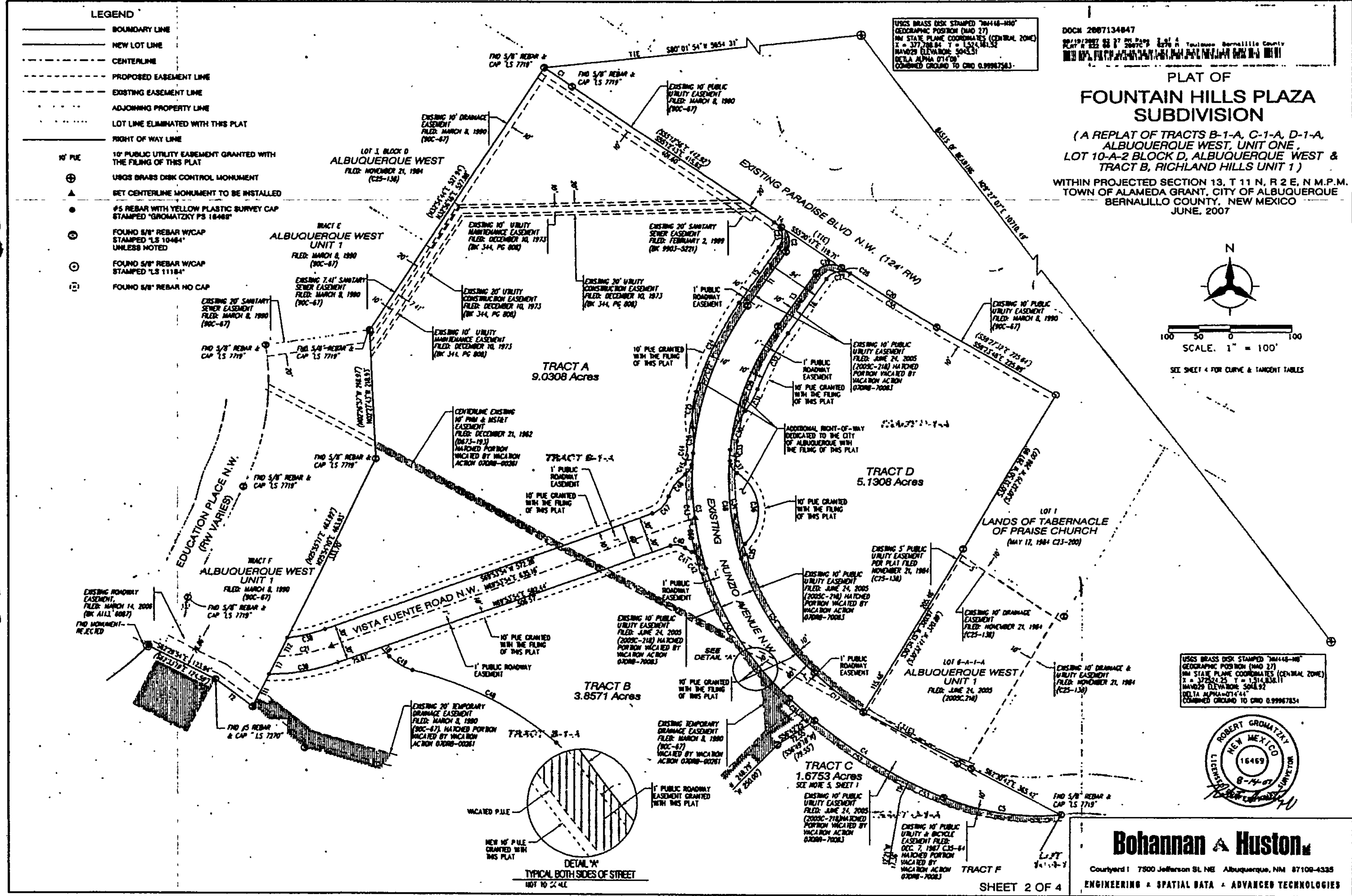
USGS BRASS DISK STAMPED "10448-110"  
GEOGRAPHIC POSITION (NAD 27)  
NAD STATE PLANE COORDINATES (CENTRAL ZONE)  
X = 377,708.84 Y = 1,574,043.52  
NAD2003 ELEVATION: 5045.31  
DELTA ALPHA 0.1440  
COMBINED GROUP TO GRID 0.99967843

USGS BRASS DISK STAMPED "10448-110"  
GEOGRAPHIC POSITION (NAD 27)  
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**Bohannon & Huston**

Courtyard I 7500 Jefferson St NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES







DOCH 2007134847  
 02/19/2007 08:27:20 PM 4 of 4 Tolson Bernalillo County  
 02/19/2007 08:27:20 PM 4 of 4 Tolson Bernalillo County  
 02/19/2007 08:27:20 PM 4 of 4 Tolson Bernalillo County

PLAT OF  
**FOUNTAIN HILLS PLAZA  
 SUBDIVISION**

(A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A,  
 ALBUQUERQUE WEST, UNIT ONE,  
 LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST &  
 TRACT B, RICHLAND HILLS UNIT 1)  
 WITHIN PROJECTED SECTION 13, T 11 N, R 2 E, N.M.P.M.  
 TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JUNE, 2007

Curve Data					
ID	DELTA	TANGENT	ARC	RADIUS	CHORD
C1	00°29'23"	27.71	35.42	6486.09	53.42
C2	00°49'30"	28.91	47.04	30.00	42.36
C3	01°10'21"	437.16	722.90	510.31	664.02
C4	21°37'48"	133.78	363.80	805.00	302.09
C5	27°10'25"	99.70	185.64	412.50	193.81
C6	00°32'05"	42.33	84.90	867.24	84.42
C7	15°07'30"	22.57	44.88	170.00	44.75
C8	30°33'48"	28.43	51.05	90.00	30.19
C9	32°59'28"	14.81	28.79	50.00	28.30
C10	06°55'34"	116.31	232.34	1822.00	232.30
C11	15°15'42"	565.34	1123.90	4218.65	1120.86
C12	00°57'31"	20.46	40.92	30.00	42.04
C13	12°41'28"	38.73	77.15	348.30	76.99
C14	02°53'46"	11.80	23.71	468.02	23.70
C15	09°10'28"	20.80	36.22	30.00	34.06
C16	24°57'37"	105.40	207.38	476.50	205.84
C17	06°01'08"	52.22	104.27	745.00	104.16
C18	01°10'05"	265.75	531.94	450.31	585.91
C19	09°38'53"	29.82	46.84	30.00	42.30
C20	03°37'16"	92.52	184.96	2926.84	184.95
C21	17°06'57"	45.23	89.79	300.00	89.46
C22	30°10'16"	132.56	264.72	510.31	265.63
C23	00°01'10"	30.01	47.13	30.00	42.43
C24	18°12'14"	84.00	168.00	524.33	163.89
C25	22°00'26"	31.11	61.46	180.00	61.08
C26	10°29'01"	22.02	43.91	240.00	43.85
C27	04°50'30"	27.42	44.42	30.00	40.48
C28	00°20'40"	8.80	17.59	2926.84	17.59
C29	20°48'23"	115.65	230.40	450.31	224.03
C30	20°25'17"	36.70	71.89	140.00	71.10
C31	14°56'50"	20.80	41.74	180.00	41.62
C32	14°21'33"	54.21	107.84	430.31	107.58
C33	07°32'09"	8.22	16.41	140.00	18.40
C34	23°11'18"	82.39	164.24	450.31	161.00
C35	02°05'43"	13.05	27.09	25.00	25.79
C36	102°30'53"	93.47	134.19	75.00	116.99
C37	36°04'17"	13.31	24.47	25.00	23.50
C38	13°34'40"	32.14	63.88	270.00	63.83
C39	19°58'54"	58.13	115.09	330.00	114.50
C40	50°37'59"	13.47	24.71	25.00	23.72
C41	00°54'10"	6.50	12.97	75.00	12.95
C42	48°18'12"	18.24	36.37	45.00	35.36
C43	12°01'45"	53.77	107.14	510.31	106.94
C44	04°38'54"	8.74	16.47	240.00	18.47
C45	44°53'17"	10.33	19.50	25.00	19.09
C46	35°31'04"	24.02	46.49	75.00	65.75
C47	51°19'04"	21.62	40.30	45.00	38.97
C48	20°01'27"	136.34	272.68	500.00	265.65
C49	30°22'27"	23.07	45.00	85.00	44.54
C50	20°22'11"	133.73	267.50	510.31	258.73
C51	03°59'44"	28.08	56.14	805.00	56.12
C52	17°07'55"	82.88	164.90	805.00	164.10
C53	04°30'07"	31.84	63.25	805.00	63.24
C54	20°10'26"	117.19	234.29	450.31	228.82
C55	03°16'30"	83.72	167.39	2926.84	167.38
C56	00°42'02"	25.80	51.59	4218.65	51.59
C57	01°37'46"	27.33	54.66	1822.00	54.66
C58	05°17'48"	86.90	173.80	1822.00	177.82
C59	14°33'40"	538.10	1076.39	4218.65	1068.51
C60	09°36'11"	42.87	85.53	510.31	85.43
C61	00°10'36"	10.00	20.01	6486.09	20.01
C62	00°37'32"	24.00	48.00	330.00	48.63
C63	00°31'16"	42.78	85.40	574.24	85.32

RECORD Curve Data					
ID	DELTA	TANGENT	ARC	RADIUS	CHORD
(C1)	(00°29'23")	(27.88')	(35.76')	(6486.09')	(53.76')
(C2)	(01°15'00')	(432.51')	(723.22')	(510.00')	(664.13')
(C3)	(17°37'52')	(124.85')	(347.72')	(805.00')	(296.74')
(C4)	(27°18'51')	(98.62')	(196.48')	(410.00')	(193.61')
(C5)	(00°31'10')	(42.25')	(84.34')	(507.24')	(84.27')
(C6)	(15°08'00')	(22.95')	(44.90')	(170.00')	(44.87')
(C7)	(30°33'28')	(28.45')	(51.06')	(90.00')	(30.23')
(C8)	(32°59'28')	(14.82')	(28.98')	(50.00')	(28.99')
(C9)	(06°55'17')	(116.23')	(232.18')	(1822.00')	(232.04')
(C10)	(15°15'42')	(565.34')	(1123.97')	(4218.68')	(1120.86')
(C11)	(00°57'31')	(20.46')	(40.92')	(30.00')	(42.04')
(C12)	(12°41'28')	(38.76')	(77.18')	(348.30')	(77.03')
(C13)	(02°53'46')	(11.80')	(23.70')	(468.02')	(23.70')
(C14)	(09°10'28')	(20.80')	(36.22')	(30.00')	(34.06')
(C15)	(24°57'37')	(105.40')	(207.38')	(476.50')	(205.84')
(C16)	(06°01'08')	(52.22')	(104.27')	(745.00')	(104.16')
(C17)	(01°10'05')	(265.75')	(531.94')	(450.31')	(585.91')
(C18)	(09°38'53')	(29.82')	(46.84')	(30.00')	(42.30')
(C19)	(03°37'16')	(92.52')	(184.96')	(2926.84')	(184.95')
(C20)	(17°06'57')	(45.23')	(89.46')	(300.00')	(89.46')
(C21)	(30°10'16')	(132.56')	(264.72')	(510.31')	(265.63')
(C22)	(00°01'10')	(30.01')	(47.13')	(30.00')	(42.43')
(C23)	(18°12'14')	(84.00')	(168.00')	(524.33')	(163.89')
(C24)	(22°00'26')	(31.11')	(61.46')	(180.00')	(61.08')
(C25)	(10°29'01')	(22.02')	(43.91')	(240.00')	(43.85')
(C26)	(04°50'30')	(27.42')	(44.42')	(30.00')	(40.48')
(C27)	(00°20'40')	(8.80')	(17.59')	(2926.84')	(17.59')
(C28)	(20°48'23')	(115.65')	(230.40')	(450.31')	(224.03')
(C29)	(20°25'17')	(36.70')	(71.89')	(140.00')	(71.10')
(C30)	(14°56'50')	(20.80')	(41.74')	(180.00')	(41.62')
(C31)	(14°21'33')	(54.21')	(107.84')	(430.31')	(107.58')
(C32)	(07°32'09')	(8.22')	(16.41')	(140.00')	(18.40')
(C33)	(23°11'18')	(82.39')	(164.24')	(450.31')	(161.00')
(C34)	(02°05'43')	(13.05')	(27.09')	(25.00')	(25.79')
(C35)	(102°30'53')	(93.47')	(134.19')	(75.00')	(116.99')
(C36)	(36°04'17')	(13.31')	(24.47')	(25.00')	(23.50')
(C37)	(13°34'40')	(32.14')	(63.88')	(270.00')	(63.83')
(C38)	(19°58'54')	(58.13')	(115.09')	(330.00')	(114.50')
(C39)	(50°37'59')	(13.47')	(24.71')	(25.00')	(23.72')
(C40)	(00°54'10')	(6.50')	(12.97')	(75.00')	(12.95')
(C41)	(48°18'12')	(18.24')	(36.37')	(45.00')	(35.36')
(C42)	(12°01'45')	(53.77')	(107.14')	(510.31')	(106.94')
(C43)	(04°38'54')	(8.74')	(16.47')	(240.00')	(18.47')
(C44)	(44°53'17')	(10.33')	(19.50')	(25.00')	(19.09')
(C45)	(35°31'04')	(24.02')	(46.49')	(75.00')	(65.75')
(C46)	(51°19'04')	(21.62')	(40.30')	(45.00')	(38.97')
(C47)	(20°01'27')	(136.34')	(272.68')	(500.00')	(265.65')
(C48)	(30°22'27')	(23.07')	(45.00')	(85.00')	(44.54')
(C49)	(20°22'11')	(133.73')	(267.50')	(510.31')	(258.73')
(C50)	(03°59'44')	(28.08')	(56.14')	(805.00')	(56.12')
(C51)	(17°07'55')	(82.88')	(164.90')	(805.00')	(164.10')
(C52)	(04°30'07')	(31.84')	(63.25')	(805.00')	(63.24')
(C53)	(20°10'26')	(117.19')	(234.29')	(450.31')	(228.82')
(C54)	(03°16'30')	(83.72')	(167.39')	(2926.84')	(167.38')
(C55)	(00°42'02')	(25.80')	(51.59')	(4218.65')	(51.59')
(C56)	(01°37'46')	(27.33')	(54.66')	(1822.00')	(54.66')
(C57)	(05°17'48')	(86.90')	(173.80')	(1822.00')	(177.82')
(C58)	(14°33'40')	(538.10')	(1076.39')	(4218.65')	(1068.51')
(C59)	(09°36'11')	(42.87')	(85.53')	(510.31')	(85.43')
(C60)	(00°10'36')	(10.00')	(20.01')	(6486.09')	(20.01')
(C61)	(00°37'32')	(24.00')	(48.00')	(330.00')	(48.63')
(C62)	(00°31'16')	(42.78')	(85.40')	(574.24')	(85.32')

Tangent Data		
ID	BEARING	DISTANCE
T1	S34°48'28"E	108.40
T2	S51°43'41"E	75.94
T3	N34°48'28"E	108.50
T4	N55°12'43"W	14.02
T5	S34°48'28"W	112.39
T6	N34°48'28"E	108.53
T7	S25°54'10"W	33.79
T8	N42°50'43"W	28.29
T9	S20°25'04"W	28.58
T10	N85°34'44"W	26.77
T11	S25°54'10"E	61.59
T12	N25°54'10"E	34.85
T13	S20°08'11"E	22.84
T14	S30°04'26"W	92.88
T15	N51°43'41"W	28.88
T16	S85°34'44"E	7.00
T17	N02°58'47"W	32.38

RECORD Tangent Data		
ID	BEARING	DISTANCE
(T1)	(S31°54'58"E)	(111.85')
(T2)	(S51°44'43"E)	(75.77')
(T3)	(N31°51'40"E)	(108.83')



**Bohannon & Huston**

Courtyard I 7500 Jefferson St NE Albuquerque, NM 87109-4336  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

PLAT OF FOUNTAIN HILLS PLAZA SUBDIVISION  
 SHEET 4 OF 4  
 02/19/2007

Current DRC Project No. \_\_\_\_\_

**ORIGINAL**

Figure 12  
**INFRASTRUCTURE LIST**

EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST  
FOUNTAIN HILLS

Date Submitted: June 5, 2007  
Date Site Plan Approved: N/A  
Date Preliminary Plat Approved: 6-20-07  
Date Preliminary Plat Expires: 6-20-08

DRC Project No. 1003445  
ADP # 07DRB-70054

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantee. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and done out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
<b>PHASE 1 INFRASTRUCTURE IMPROVEMENTS</b>									
<b>PHASE 1 OFFSITE PUBLIC ROADWAY IMPROVEMENTS</b>									
B-1	584480	30' F-F 18' MEDIAN	ARTERIAL PAVEMENT W/ MEDIAN & STD. CURB & GUTTER W/ 6' SIDEWALK ON SOUTHSIDE	PARADISE BLVD	WEST PROPERTY BOUNDARY	EAST PROPERTY BOUNDARY	/	/	/
B-1	584480	30' WIDE	4' TEMPORARY ASPHALT	PARADISE BLVD EASTBOUND LANE	DAVENPORT ST	WEST PROPERTY BOUNDARY	/	/	/
B-1	584480	30' WIDE	4' TEMPORARY ASPHALT	PARADISE BLVD EASTBOUND LANE	EAST PROPERTY LINE	EXISTING MINI STORAGE UNIT WEST PROPERTY LINE	/	/	/
			NOTE: STREET LIGHTS AS PER COA DPM				/	/	/
			NOTE: LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETScape AGREEMENT. A FINANCIAL GUARANTY IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY.				/	/	/
<b>PHASE 1 ONSITE PUBLIC ROADWAY IMPROVEMENTS</b>									
B-1	584480	40' F-F	PAVEMENT W/ PCC CURB & GUTTER & PCC 6' WIDE SIDEWALK ON BOTH SIDES	NUNZO AVE	EAGLE RANCH RD	VISTA FUENTE ROAD	/	/	/
B-1	584480	VARIES 24' F-F MIN - 48' F-F MAX	PAVEMENT W/ PCC CURB & GUTTER & PCC 6' WIDE SIDEWALK ON EAST SIDE	NUNZO AVE EAST HALF OF ROADWAY	VISTA FUENTE ROAD	PARADISE BLVD	/	/	/
B-1	584480		ROUNDAABOUT	NUNZO AVE	VISTA FUENTE	NUNZO AVE	/	/	/
			NOTE: STREET LIGHTS AS PER COA DPM				/	/	/
			NOTE: LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETScape AGREEMENT. A FINANCIAL GUARANTY IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY.				/	/	/

BA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
<b>PHASE 1 PUBLIC SANITARY SEWER IMPROVEMENTS</b> <i>NMUI</i>									
		8" DIA	SANITARY SEWER LINE W/ NEC. MYS & SERVICES	MUNZO AVE	EAGLE RANCH RD	PARADISE BLVD	/	/	/
		8" DIA	SANITARY SEWER LINE W/ NEC. MYS & SERVICES	VISTA FUENTE ROAD	140' SOUTHWEST OF INTERSECTION OF VISTA FUENTE ROAD & MUNZO AVE	MUNZO AVE	/	/	/
<b>PHASE 1 PUBLIC WATERLINE IMPROVEMENTS</b> <i>NMUI</i>									
		8" DIA	WATERLINE W/ NEC. VALVES FTS, MYS & RJS	MUNZO AVE	EAGLE RANCH RD	PARADISE BLVD	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FTS, MYS & RJS	VISTA FUENTE ROAD	EDUCATION PLACE	MUNZO AVE	/	/	/
<b>PHASE 1 PUBLIC STORM DRAIN IMPROVEMENTS</b>									
<i>B-1</i>	<i>584480</i>	18"-42" DIA	RCP W/ NEC. MYS, LATERALS, & INLETS	MUNZO AVE	PARADISE BLVD	EXISTING LOT 6-A-1	/	/	/
<i>B-1</i>	<i>584480</i>	18"-30" DIA	RCP W/ NEC. MYS, LATERALS, & INLETS	VISTA FUENTE ROAD	EDUCATION PLACE	MUNZO AVE	/	/	/
<i>B-1</i>	<i>584480</i>	24" DIA	RCP W/ NEC. MYS, LATERALS, & INLETS	TRACT 6-A-1	TRACT D	DETENTION POND	/	/	/
<i>B-1</i>	<i>584480</i>	2.5 AC-FT	DETENTION POND	EXISTING LOT 6-A-1			/	/	/
<b>PHASE 2 INFRASTRUCTURE IMPROVEMENTS</b>									
<b>PHASE 2 OFFSITE PUBLIC ROADWAY IMPROVEMENTS</b>									
<i>MB-1</i>	<i>584480</i>		TRAFFIC SIGNAL	PARADISE BLVD / PRICKLY PEAR ST			/	/	/
<i>MB-1</i>	<i>584480</i>	12' WIDE	ADD 2ND LEFT TURN ARTERIAL PAVEMENT W/ PCC CURB & GUTTER	PASEO DEL NORTE EAST BOUND LANE		RICHLAND HILLS RD	/	/	/
<i>MB-1</i>	<i>584480</i>	12' WIDE	ADD RIGHT TURN LANE ARTERIAL PAVEMENT W/ PCC CURB & GUTTER	RICHLAND HILLS RD SOUTHBOUND LANE		PASEO DEL NORTE	/	/	/
<i>MB-1</i>	<i>584480</i>	12' WIDE	ADD RIGHT TURN LANE ARTERIAL PAVEMENT	PASEO DEL NORTE WESTBOUND LANE	RICHLAND HILLS RD	150' EAST OF RICHLAND HILLS EAST CURB & GUTTER	/	/	/
<i>MB-1</i>	<i>584480</i>	10' WIDE	TRAIL	PASEO DEL NORTE	WEST PROPERTY LINE	EAGLE RANCH RD	/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
MB-1	584480	12' WIDE	ADD 2ND LEFT TURN LANE ARTERIAL PAVEMENT W/ PCC CURB & GUTTER (ADOL WIDTH TO BE TAKEN FROM MEDIAN)	PASEO DEL NORTE EAST BOUND LANE		EAGLE RANCH RD	/	/	/
MB-1		11' WIDE	ADD THIRD THRU LANE - STRIPING MODIFICATION ONLY	PASEO DEL NORTE EAST BOUND LANE	WEST OF EAGLE RANCH	EAST OF EAGLE RANCH	/	/	/
		12' WIDE	ADD THIRD THRU LANE - STRIPING MODIFICATION ONLY	PASEO DEL NORTE WEST BOUND LANE	BEGINNING FREE RIGHT	EAGLE RANCH RD	/	/	/
		12' WIDE	ADD THIRD THRU LANE ARTERIAL PAVEMENT W/ PCC CURB & GUTTER & 6' BIKE LANE	PASEO DEL NORTE WEST BOUND LANE	EAGLE RANCH RD	<b>RELAND FOURMOUNTAINS WEST BOUNDARY</b>	/	/	/
		12' WIDE	ADD LEFT TURN LANE (DONE W/ COSTCO) NO FINANCIAL GUARANTEE REQUIRED	COORS BLVD NORTHBOUND		EAGLE RANCH RD	/	/	/
		8' WIDE	BIKE LANE W/ PCC CURB & GUTTER W/ 6' SIDEWALK	EAGLE RANCH ROAD	SOUTH BOUNDARY TRACT 10-A-1	PASEO DEL NORTE	/	/	/

PHASE 2 ON-SITE PUBLIC ROADWAY IMPROVEMENTS

MB-1	584480	40' F-F	RESIDENTIAL PAVEMENT W/ PCC CURB & GUTTER & PCC 8' WIDE SIDEWALK ON BOTH SIDES	VISTA FUENTE ROAD	EDUCATION PLACE	NUNZIO AVE	/	/	/
		VARIES 20' MIN	RESIDENTIAL PAVEMENT W/ PCC CURB & GUTTER & PCC 8' WIDE SIDEWALK ON WEST SIDE	NUNZIO AVE WEST HALF OF ROADWAY	VISTA FUENTE ROAD	PARADISE BLVD	/	/	/
		NOTE:	STREET LIGHTS AS PER COA DPM				/	/	/
		NOTE:	LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETSCAPE AGREEMENT A FINANCIAL GUARANTY IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY				/	/	/

BRUCE STODWORTHY, PE 08/06/07 *[Signature]* 6/20/07 *[Signature]* CHRISTINE SANDORAL 6/20/07  
 PREPARED BY, PRINT NAME DATE DRB CHAIR DATE PARKS & GENERAL SERVICES DATE  
 BOHANNAN HUSTON INC 6-20-07 AMAFCA DATE  
 FIRM TRANSPORTATION DEVELOPMENT DATE  
*[Signature]* 6/20/07 *[Signature]* 6/20/07  
 SIGNATURE DATE UTILITY DEVELOPMENT DATE CITY ENGINEER DATE  
 MAXIMUM TIME ALLOW TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION  
*[Signature]* 6-19-07 DATE DATE

DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT/OWNER



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

September 28, 2011

**Project# 1003445**

11DRB-702 4 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION  
IMPROVEMENTS AGREEMENT (2YR SIA)

BOHANNAN HOUSTON INC agent(s) for JASON SHAFFER request(s) the referenced/ above action(s) for all or a portion of **FOUNTAIN HILLS PLAZA SUBDIVISION** zoned SU-1/ PDA/ C- / IP, located on the north side of PASEO DEL NORTE NW between EAGLE RANCH RD NW and RICHLAND HILLS DR NW containing approximately 9.9074 acre(s). (C-12)

At the September 28, 2011 Development Review Board meeting, an extension of the Subdivision Improvements Agreement was approved through September 30<sup>th</sup>, 2012.

If you wish to appeal this decision, you must do so by October 13, 2011, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, DRB Chair

Cc: Bohannan Huston Inc – 7500 Jefferson St. – Albuquerque, NM 87109

Cc: Jason Shaffer – P.O. Box 66897 – Albuquerque, NM 8719

Marilyn Maldonado

File



EXHIBIT "A"

**OFFICIAL NOTICE OF DECISION**

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD**

August 19, 2009

**Project# 1003445  
09DRB-70238 MAJOR - 1 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS  
AGREEMENT  
(2YR SLA)**

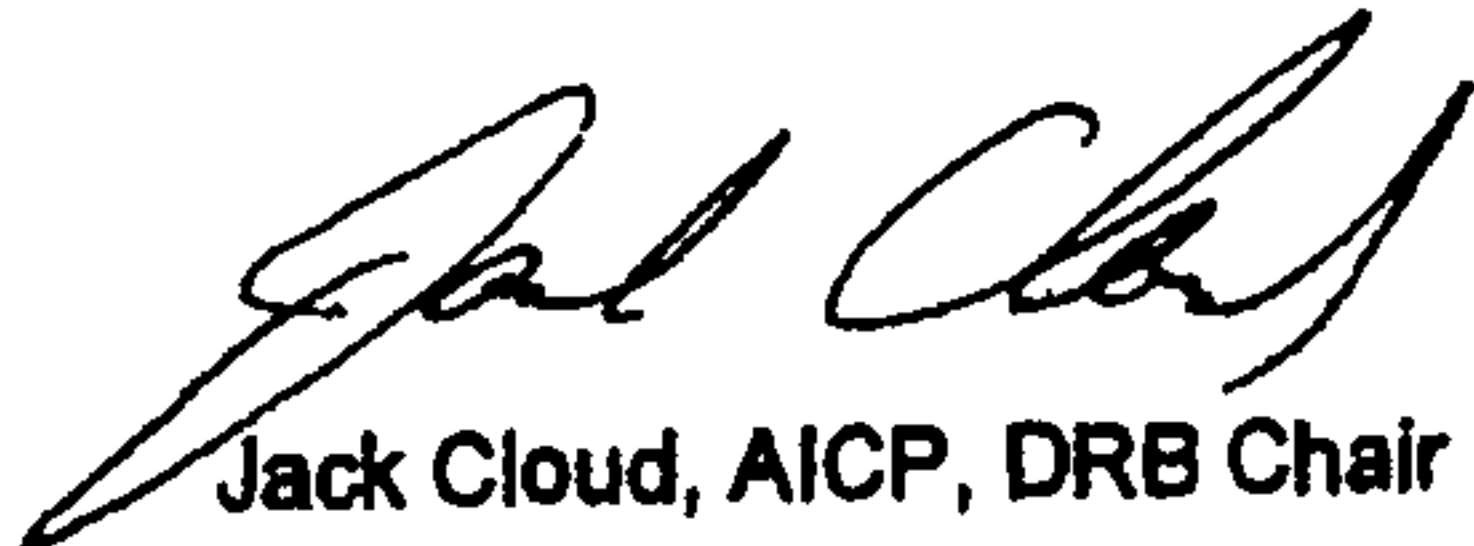
At the August 19, 2009 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by September 3, 2009, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, AICP, DRB Chair

Cc: Bohannon Huston, Inc. - 7500 Jefferson St. - Albuquerque, NM 87109  
Cc: Dwayne Pino - P.O. Box 56883 - Albuquerque, NM 87187  
Marilyn Maldonado  
File

7<sup>th</sup> **EXTENSION AGREEMENT**  
**Procedure B-Modified Non-Work Order**

**PROJECT NO. 584480**

This Agreement made this 19<sup>th</sup> day of March, 2012 by and between the City of Albuquerque, New Mexico, a municipal corporation ("City") and (name of developer/subdivider:) Fountain Hills Plaza, LLC ("Subdivider"), whose address is P.O. Box 66897, Albuquerque, NM 87193 and whose telephone number is 505-280-5771 is made in Albuquerque, New Mexico and is entered into as of the date of final execution of this Agreement.

WHEREAS, the City and the Subdivider entered into an Agreement on the 7<sup>th</sup> day of August, 2007, which was recorded in the office of the Clerk of Bernalillo County, New Mexico on August 9, 2007, pages 1 through 4, as Document No. 2007115546 ("Earlier Agreement"), by which the Subdivider agreed to complete the construction of certain infrastructure improvements on or before the 12<sup>th</sup> day of May, 2008; and

WHEREAS, the Earlier Agreement was amended by a 1st Extension Agreement dated July 31, 2008 recorded August 4<sup>th</sup>, 2008, in pages 1 through 3, as Document No. 2008087799, records of Bernalillo County, New Mexico, extending the construction deadline to November 12, 2008; and

WHEREAS, the Earlier Agreement was amended by a 2nd Extension Agreement dated January 20, 2009 recorded January 21, 2009, in pages 1 through 3, as Document No. 2009005499, records of Bernalillo County, New Mexico, extending the construction deadline to February 12, 2009; and

WHEREAS, the Earlier Agreement was amended by a 3<sup>rd</sup> Extension Agreement dated April 13, 2009 recorded April 13, 2009, in pages 1 through 3, Document No. 2009039295 records of Bernalillo County, New Mexico, extending the construction deadline to May 12, 2009; and

WHEREAS, the Earlier Agreement was amended by a 4th Extension Agreement dated October 15, 2009 recorded October 15, 2009, in pages 1 through 4, Document No. 2009115212 records of Bernalillo County, New Mexico, extending the construction deadline to August 12, 2010; and

WHEREAS, the Earlier Agreement was amended by a 5th Extension Agreement dated October 25, 2010 recorded October 26, 2010, in pages 1 through 4, Document No. 2010109018 records of Bernalillo County, New Mexico, extending the construction deadline to August 12, 2011; and

WHEREAS, the Earlier Agreement was amended by a 6th Extension Agreement dated October 13, 2011 recorded October 19, 2011, in pages 1 through 5, Document No. 2011094496 records of Bernalillo County, New Mexico, extending the construction deadline to February 12, 2012; and

Doc# 2012028476

03/21/2012 02:59 PM Page 1 of 4  
 AGRE R \$25.00 M Toulouse Oliver, Bernalillo County





WHEREAS, it appears that the Subdivider will be unable to complete construction of the improvements by the deadline specified in the Agreement; and

WHEREAS, the City is willing to grant Subdivider an extension of time in which to complete construction of all or part of the improvements, provided the Subdivider posts an acceptable financial guaranty, as required by the City's Subdivision Ordinance and the Development Process Manual; and

WHEREAS, the Subdivider is able to provide the required financial guaranty;

NOW THEREFORE in consideration of the above and the mutual promises contained herein, the parties agree:

1. The required completion date for construction of the improvements, as set forth in the attached **Exhibit A**, is extended (Complete either A or B:)

A. For all improvements, the 30th day of September, 2012.

B. On portions of the improvements as follows:

<u>IMPROVEMENTS</u>	<u>COMPLETION DATE</u>
_____	_____
_____	_____
_____	_____

2. With this Extension Agreement, Subdivider has provided the City with the following financial guaranty:

Type of Financial Guaranty: Amendment #8 to Irrevocable Letter Of Credit **Nº. 167**

Amount: \$1,130,591.90

Name of Financial Institution or Surety providing Guaranty: New Mexico Bank and Trust

Date City first able to call Guaranty (Construction Completion Deadline): September 30, 2012

If Guaranty other than a Bond, last day City able to call Guaranty is: November 30, 2012

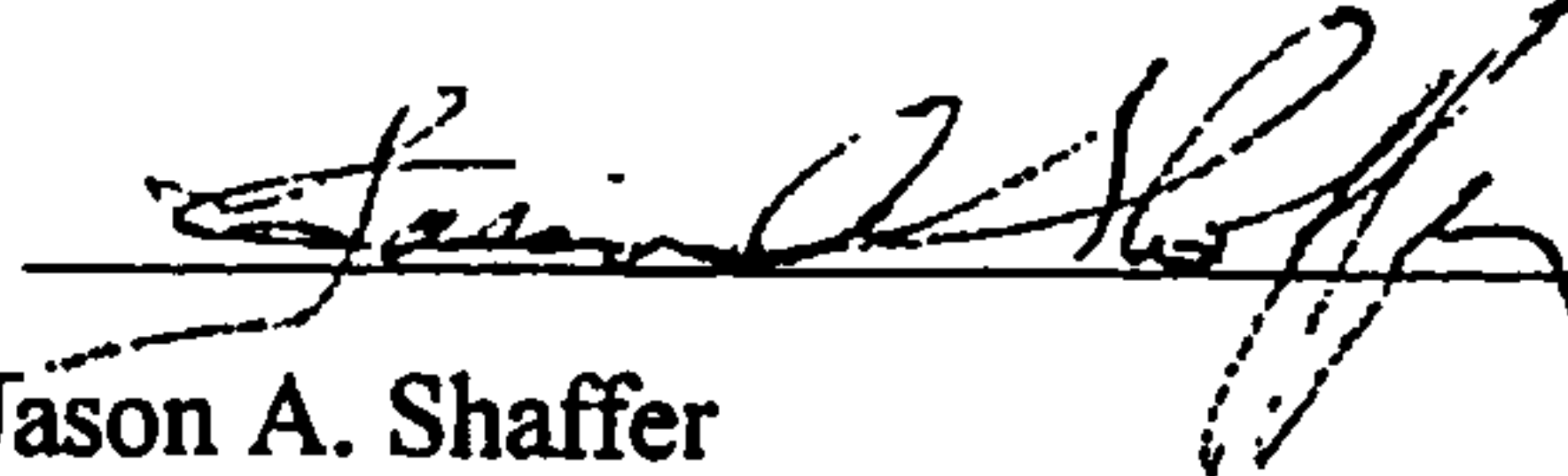
Additional information: \_\_\_\_\_

3. The parties agree that all terms and conditions of the Earlier Agreement not in conflict with this Extension Agreement shall remain valid, in force, and binding upon the parties. By executing this Agreement, the parties only intention is to extend the construction completion deadline established in the Earlier Agreement and establish a revised financial guaranty for the benefit of the City.

Executed on the date stated in the first paragraph of this Agreement.

Vertical stamp or mark on the right edge of the page.

SUBDIVIDER: Fountain Hills Plaza, LLC

By [signature]: 

Name [print]: Jason A. Shaffer

Title: Managing Member

Dated: 3/1/12

CITY OF ALBUQUERQUE:

By: 

Richard Dourte, City Engineer

Dated: 3-19-12

ye 3/19/12

3-12-2012





Post Office Box 1048  
Albuquerque, New Mexico 87103-1048

**AMENDMENT NO. 8  
TO NEW MEXICO BANK & TRUST  
IRREVOCABLE LETTER OF CREDIT AND AGREEMENT NO. 167**

March 1, 2012

Acting Chief Administrative Officer  
City of Albuquerque  
One Civic Plaza NW/City County Building  
Albuquerque, New Mexico 87102

Re: Letter of Credit for Fountain Hills Plaza, LLC  
City of Albuquerque Project No. 584480  
Project Name: Fountain Hills Subdivision, Phase/Unit #1

Dear Acting Chief Administrative Officer:

Please be advised that the above referenced Irrevocable Letter of Credit and Agreement No. 167 has been amended as follows.

Expiration: Extended from April 12, 2012 to November 30, 2012.

All other terms and conditions shall remain as set forth in the original Letter of Credit.

This Agreement will be governed by federal law applicable to Lender and, to the extent not preempted by federal law, the laws of the State of New Mexico without regard to its conflicts of law provisions, and except to the extent such laws are inconsistent with the 2007 Revision of the Uniform Customs and Practice for Documentary Credits of the International Chamber of Commerce, ICC Publication No. 600. This Agreement has been accepted by Lender in the State of New Mexico.

Very truly yours,

NEW MEXICO BANK & TRUST

Mark M. Rudolph  
Vice President



Post Office Box 1048  
Albuquerque, New Mexico 87103-1048

**AMENDMENT NO. 8  
TO NEW MEXICO BANK & TRUST  
IRREVOCABLE LETTER OF CREDIT AND AGREEMENT NO. 167**

March 1, 2012

Acting Chief Administrative Officer  
City of Albuquerque  
One Civic Plaza NW/City County Building  
Albuquerque, New Mexico 87102

Re: Letter of Credit for Fountain Hills Plaza, LLC  
City of Albuquerque Project No. 584480  
Project Name: Fountain Hills Subdivision, Phase/Unit #1

Dear Acting Chief Administrative Officer:

Please be advised that the above referenced Irrevocable Letter of Credit and Agreement No. 167 has been amended as follows.

Expiration: Extended from April 12, 2012 to November 30, 2012.

All other terms and conditions shall remain as set forth in the original Letter of Credit.

This Agreement will be governed by federal law applicable to Lender and, to the extent not preempted by federal law, the laws of the State of New Mexico without regard to its conflicts of law provisions, and except to the extent such laws are inconsistent with the 2007 Revision of the Uniform Customs and Practice for Documentary Credits of the International Chamber of Commerce, ICC Publication No. 600. This Agreement has been accepted by Lender in the State of New Mexico.

Very truly yours,

NEW MEXICO BANK & TRUST

Mark M. Rudolph  
Vice President

FIGURE 12

SUBDIVISION IMPROVEMENTS  
AGREEMENT-PUBLIC AND/OR PRIVATE  
(Procedure B Modified Non-Work Order)  
Project No. 5844.80

AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 7<sup>th</sup> day of August, 2007,  
by and between the City of Albuquerque, New Mexico ("City"), a municipal  
corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New  
Mexico 87103, and Fountain Hills Plaza LLC.  
("Subdivider"), a [state the type of business entity, for instance, "New  
Mexico corporation," "general partnership," "joint venture," "individual," etc.:]  
Limited Liability Corporation, whose address is PO Box 56883 ABQ, NM 87187  
and whose telephone number is 239-0920,  
is made in Albuquerque, New Mexico, and is entered into as of the date of  
final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City  
of Albuquerque, Bernalillo County, New Mexico, known as  
[describe:] Tracts B-1-A,C-1-A,D-1-A Albuquerque West Unit One and Tracts 10-A-D, Block I

Albuquerque West\*\*, recorded on June 24, 2005  
in the records of the Bernalillo County Clerk at Book 2005C  
pages 218 through XXXXXXX (the "Subdivision"). The Subdivider certifies  
that the Subdivision is owned by [state the name of the present real property  
owner exactly as shown on the real estate document conveying title in the  
Subdivision to the present owner:] Fountain Hills Plaza, LLC

("Owner").

The Subdivider has submitted and the City has approved a preliminary plat  
or Site Development Plan identified as Fountain Hills Plaza Subdivision  
describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision  
Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the  
Subdivider, at no cost to the City, to install certain public and/or private  
Improvements, which are reasonably related to the development of the Subdivision,  
or to financially guarantee the construction of the public and/or private  
Improvements as a prerequisite to approval of the final plat of, or  
the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to  
install and complete the public and/or private improvements described in  
Exhibit A, the required infrastructure listing ("Improvements"), to the  
satisfaction of the City, on or before the 12 day of May 2008,  
20 ("Construction Completion Deadline"), at no cost to the City.

Note: To compute the Construction Completion Deadline: the Construction  
Completion Deadline can be no later than two years after execution of this  
Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with  
any amendments does not utilize the maximum time allowed for completion  
of construction, the Subdivider may obtain an extension of the Construction  
Completion Deadline if Subdivider shows adequate reason for the extension.



3. Financial Guaranty. The Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Irrevocable Letter of Credit and Agreement No. 167  
Amount: \$ 1,130,591.90 Name of Financial Institution or Surety  
providing Guaranty: New Mexico Bank and Trust  
Date City first able to call Guaranty:  
[Construction Completion Deadline]: May 12, 2008, 20  
If Guarantee other than a Bond, last day City able to call on Guaranty  
is: July 12, 2008, 20  
Additional information:

4. Completion, Acceptance and Termination. Upon completion of the required infrastructure, the Subdivider shall notify the City Engineer and the Design Review Section of Planning Department. After the City Engineer approves the construction, the City will promptly release this Agreement and the Financial Guaranty.

5. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officers, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

6. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

7. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has posted a suitable financial guaranty and entered into a Subdivision Improvements Agreement with the City. Thereafter, when the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

8. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

9. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

10. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

11. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

12. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

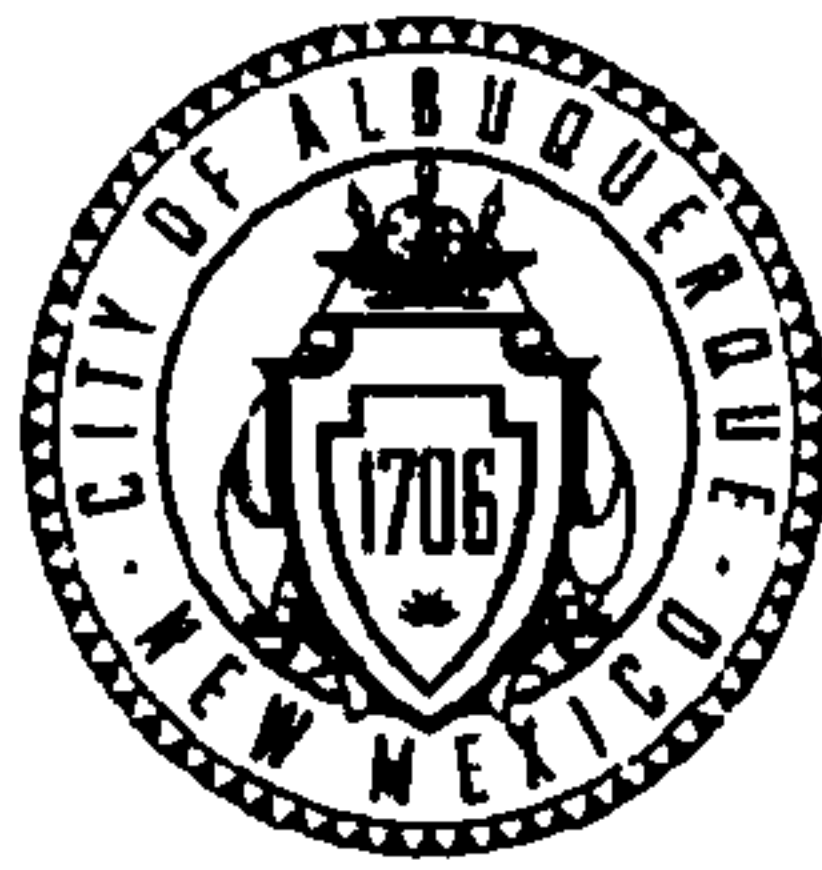
13. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

14. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

15. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the Subdivider and signed by the City's Legal Department on this form.

16. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.





## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

September 13, 2012

Tru (Trula) Howe  
Custom Grading, Inc. for  
Jason Shaffer  
Fountain Hills Plaza, LLC  
P.O. Box 66897/87193  
Phone: 505-280-5771/Fax: 505-344-3992  
E-mail: [tru@cginm.com](mailto:tru@cginm.com)

Dear Tru:

Thank you for your inquiry of **September 13, 2012** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – LOTS A,B,C,D,E,F,G,H,I, FOUNTAIN HILLS PLAZA SUBDIVISION, LOCATED ON PASEO DEL NORTE NW AND EAGLE RANCH ROAD NW BETWEEN EAGLE RANCH ROAD NW AND RICHLAND HILLS NW** zone map **C-12**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

**SEE "ATTACHMENT A" FOR THE NAMES OF THE NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS THAT NEED TO BE CONTACTED IN REGARDS TO THIS DRB SUBMITTAL – please attach this letter and Attachment A to your application packet – siw.**

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Stephani Winklepleck*

Stephani Winklepleck  
Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**PLEASE NOTE:** The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

**LETTERS MUST BE  
SENT TO BOTH  
CONTACTS OF EACH  
NA/HOA FOR THIS  
PLANNING SUBMITTAL.**

# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Thank you for your cooperation on this matter.

\*\*\*\*\*

(below this line for ONC use only)

Date of Inquiry: **09/13/12** Time Entered: **12:45 p.m.** ONC Rep. Initials: **siw**

# "ATTACHMENT A"

\*\*\*\*\*

Tru (Trula) Howe  
Custom Grading, Inc. for  
Jason Shaffer  
Fountain Hills Plaza, LLC  
P.O. Box 66897/87193  
Phone: 505-280-5771/Fax: 505-344-3992  
E-mail: [tru@cginm.com](mailto:tru@cginm.com)  
Zone Map: C-12

## LAS TERRAZAS N.A. (LTZ) "R"

~~Jeff M. Heisel~~

8324 Calle Primera NW/87120 890-4550 (h)

~~DeKlinetobe~~

4339 Balcon Ct. NW/87120 850-5060 (h)

## PARADISE HILLS CIVIC ASSOC. (PHC)

~~Tom Anderson~~

10013 Plunkett Dr. NW/87114 897-2593 (h)

## PIEDRAS MARCADAS N.A. (PMC) "R"

~~John Foley~~

8619 Tia Christina Dr. NW/87114 890-8533 (h)

~~Tony Paiz~~

4905 Sherry Ann NW/87114 897-2006 (h)

## RANCHO SERENO N.A. (RSO) "R"

~~Debra Cox~~

8209 Rancho Paraiso NW/87120 792-0448 (h)

~~Sander A. Rue~~

7500 Rancho Solano Ct. NW/87120 301-0189 (c)

## RICHLAND HILLS H.O.A. (RHH)

~~Chris Roth~~

8701 Silvercrest NW/87114 792-2816 (h)

~~Sally Lupton~~

8600 Glenridge NW/87114 897-5094 (h)

## TAYLOR RANCH N.A. (TRN) "R"

~~Ray Shortridge~~

4800 College Heights Dr. NW/87120 604-3908 (c)

~~Rene Horvath~~

5515 Palomino Dr. NW/87120 898-2114 (h)

\* President of neighborhood and/or homeowner association

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

September 13, 2012

Jeff M. Heisel  
8324 Calle Primera NW  
Albuquerque, NM 87120

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

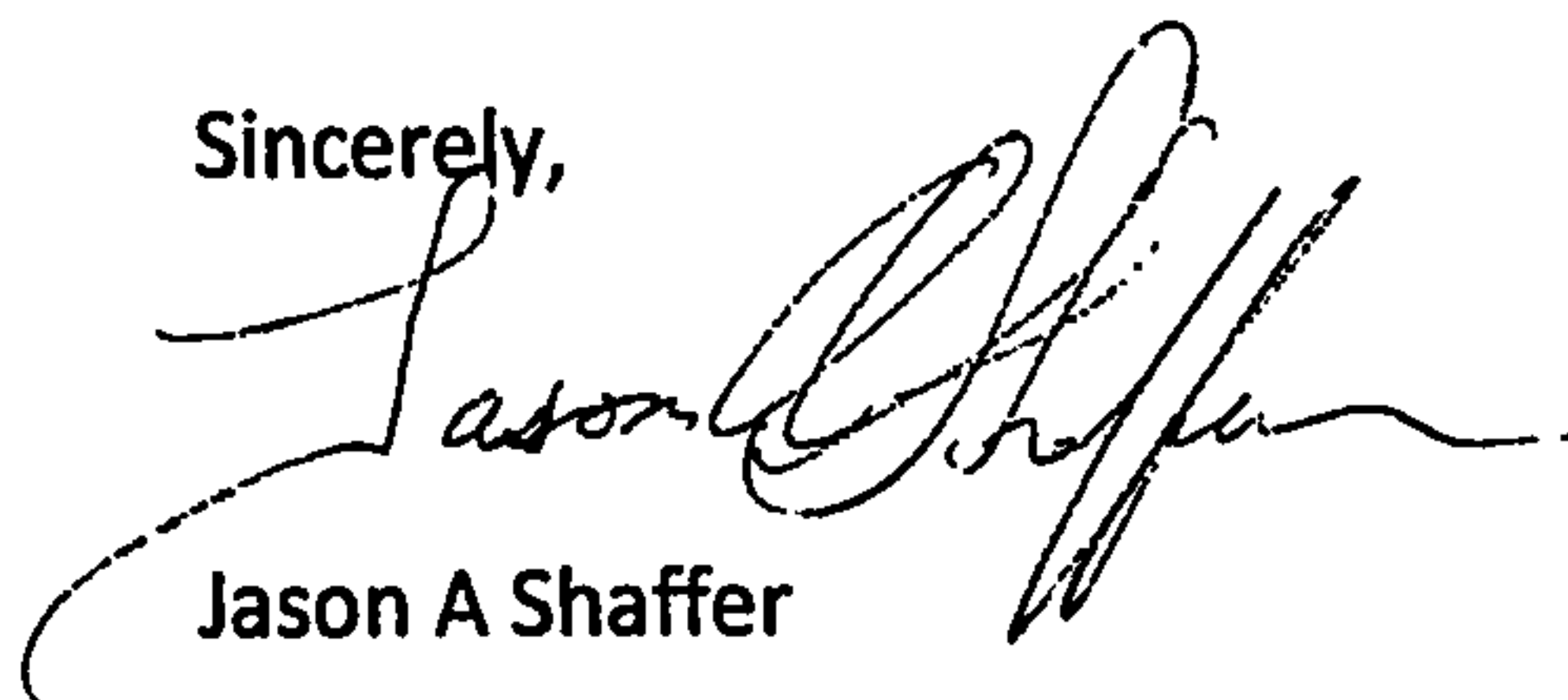
Dear Mr. Heisel:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Las Terrazas N.A. (Neighborhood Association).

We are requesting at two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

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ALBUQUERQUE, NM 87120

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Restricted Delivery Fee (Endorsement Required)	\$0.00	Postmark Here
Total Postage & Fees	\$ 3.40	09/13/2012

Sent To: Jeff Heisel  
Street, Apt. No., or PO Box No.: 8324 Calle Primera NW  
City, State, ZIP+4: Albuquerque, NM 87120

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7011 3500 0000 2734 6561

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

September 13, 2012

Del Klinetobe  
4339 Balcon Ct NW  
Albuquerque, NM 87120

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

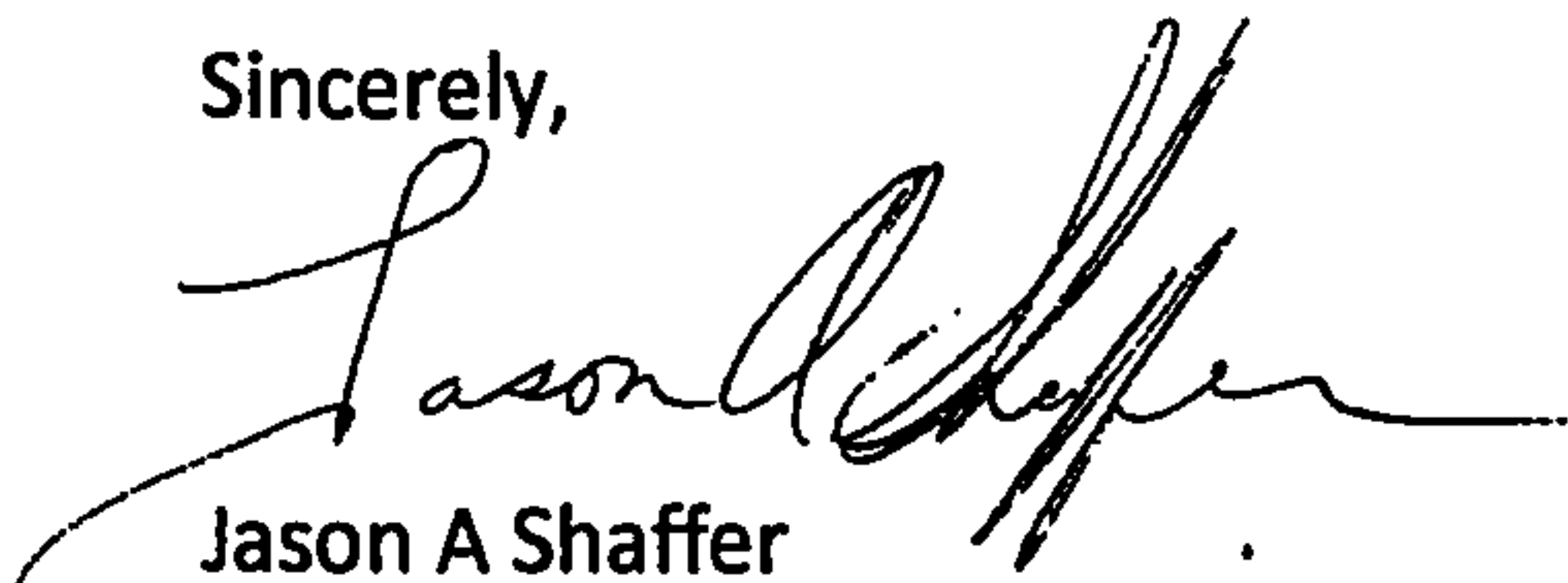
Dear Mr. Klinetobe:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Las Terrazas N.A. (Neighborhood Association).

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

8259 4E22 2734 6578

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Total Postage & Fees	\$ 3.40

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SEP 13 2012  
09/13/2012

ALBUQUERQUE NM 87120

Sent To: Del Klinetobe  
Street, Apt. No., or PO Box No.: 4339 Balcon Ct NW  
City, State, ZIP+4: Albuquerque, NM 87120

PS Form 3800, August 2006 See Reverse for Instructions

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

September 13, 2012

Tom Anderson  
10013 Plunkett Dr NW  
Albuquerque, NM 87114

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

Dear Mr. Anderson:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Paradise Hills Civic Assoc. (PHC)

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

5859 4E22 2734 6595  
3500 0000 005E  
TT02

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ALBUQUERQUE, NM 87114  
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Postmark Here  
SEP 13 2012  
09/13/2012

Sent To: Tom Anderson  
Street, Apt. No., or PO Box No.: 10013 Plunkett Dr NW  
City, State, ZIP+4: Albuquerque, NM 87114

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September 13, 2012

John Foley  
8619 Tia Christina Dr NW  
Albuquerque, NM 87114

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

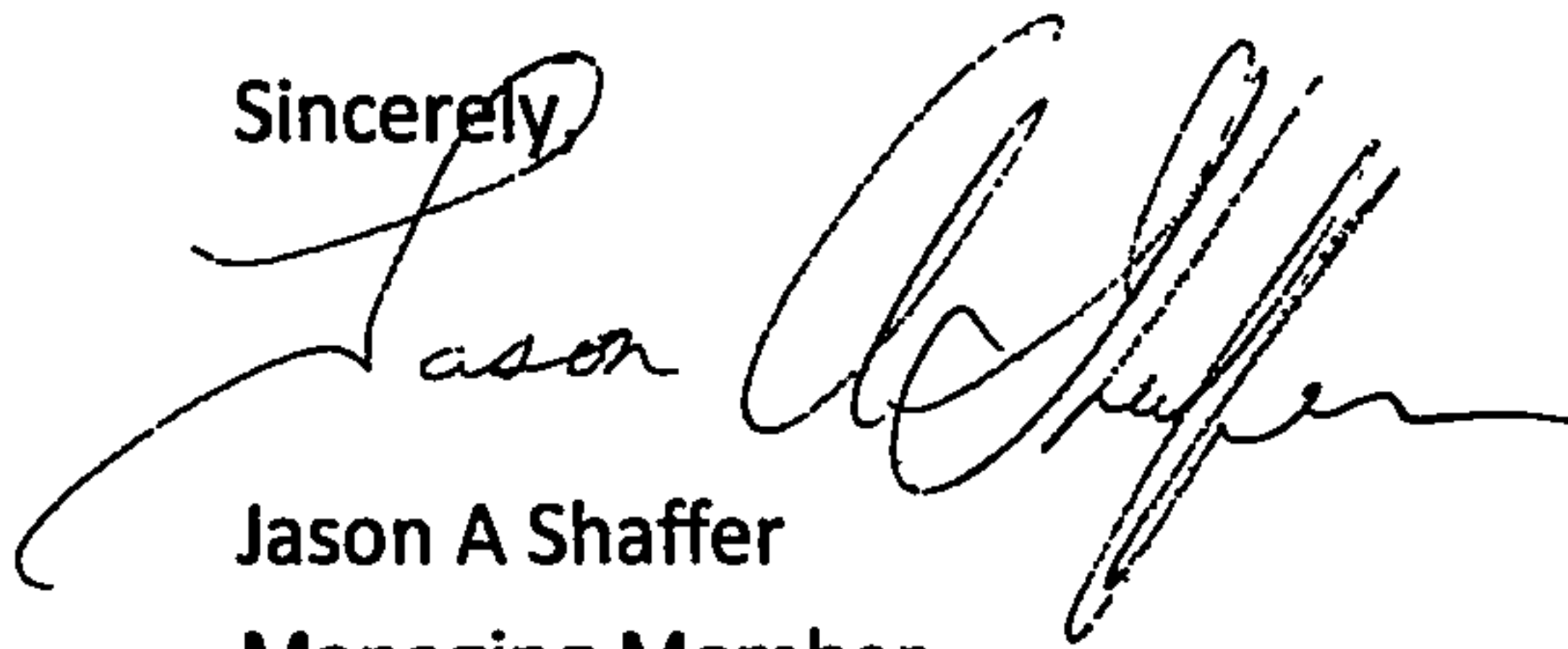
Dear Mr. Foley:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Piedras Marcadas N.A. (PMC)

We are requesting at two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

2659 4E22 E000 005E 7107

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Return Receipt Fee (Endorsement Required)	\$0.00	
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Total Postage & Fees	\$ 3.40	

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Sent To: John Foley (SPS)

Street, Apt. No.;  
or PO Box No. 8619 Tia Christina Dr NW

City, State, ZIP+4 Albuquerque, NM 87114

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CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

September 13, 2012

Tom Anderson  
10013 Plunkett Dr NW  
Albuquerque, NM 87114

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

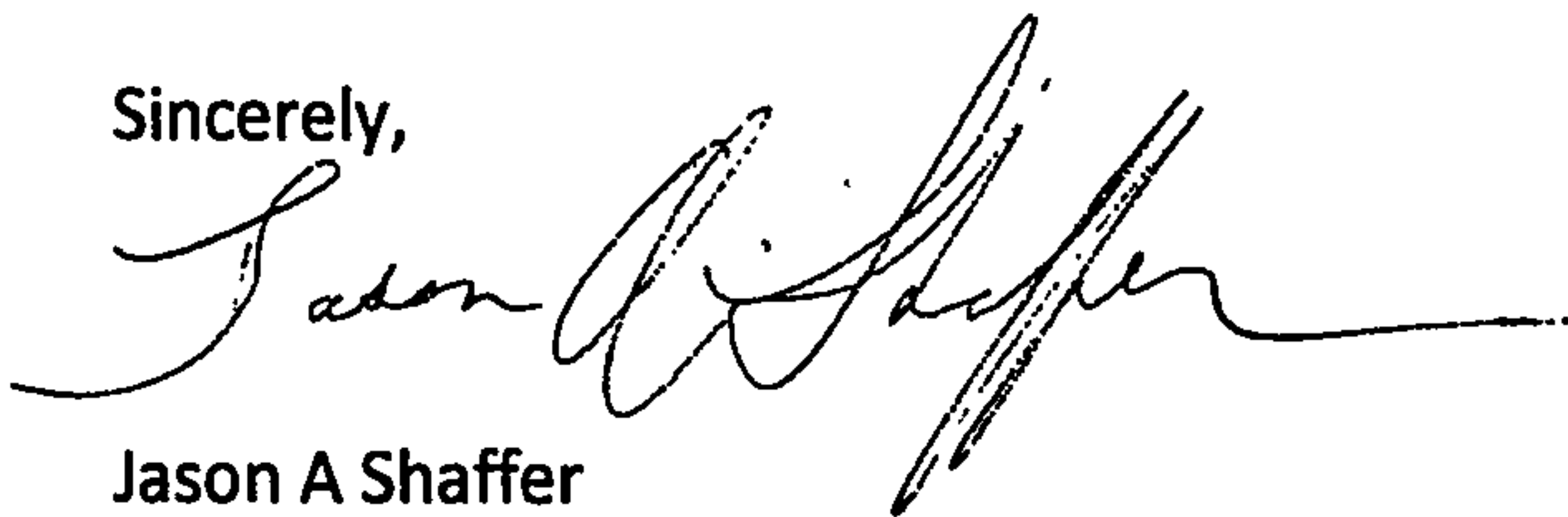
Dear Mr. Anderson:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Paradise Hills Civic Assoc. (PHC)

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

5959 4E2Z 2734 6585  
3500 0003 E000 005E  
7011

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Restricted Delivery Fee (Endorsement Required)	\$ 0.00
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ALBUQUERQUE, NM 87114  
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SEP 13 2012  
09/13/2012

Sent To: Tom Anderson  
Street, Apt. No., or PO Box No.: 10013 Plunkett Dr NW  
City, State, ZIP+4: Albuquerque, NM 87114

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September 13, 2012

Debra Cox  
8209 Rancho Paraiso NW  
Albuquerque, NM 87120

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

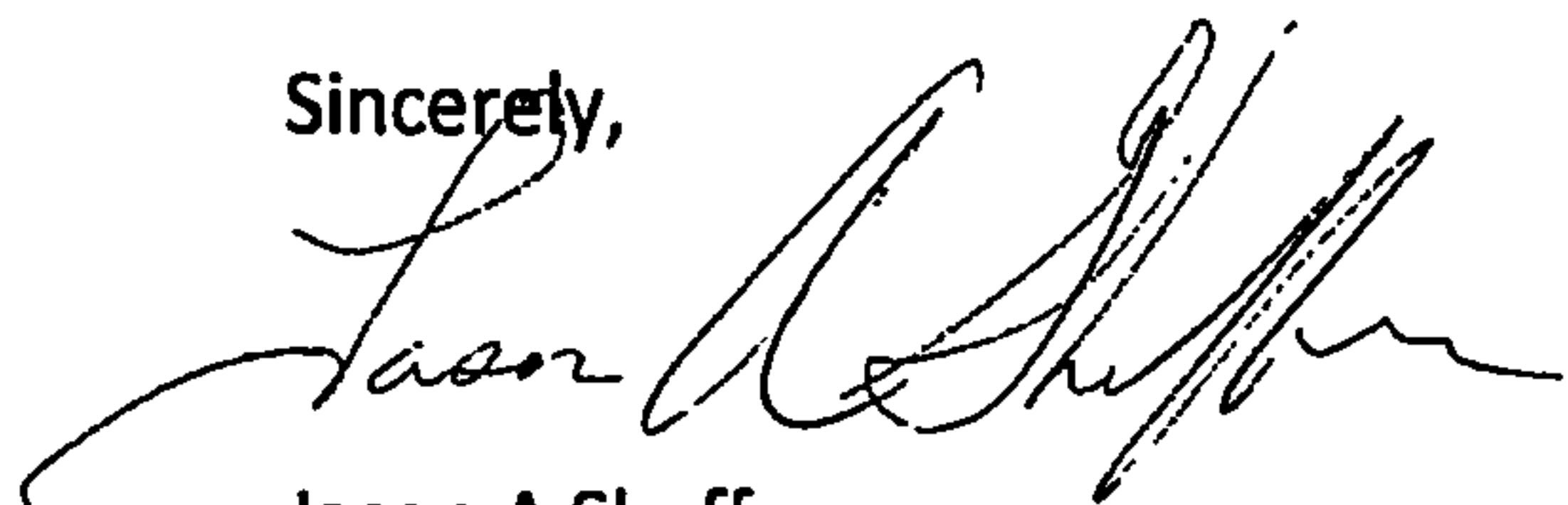
Dear Ms. Cox:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Rancho Sereno N.A. (RSO).

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

5799 4E22 2734 6615  
7102

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ALBUQUERQUE, NM 06  
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Sent To: Debra Cox  
Street, Apt. No., or PO Box No.: 8209 Rancho Paraiso NW  
City, State, ZIP+4: Albuquerque, NM 87120

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CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

September 13, 2012

Sander A. Rue  
7500 Rancho Solano Ct NW  
Albuquerque, NM 87120

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

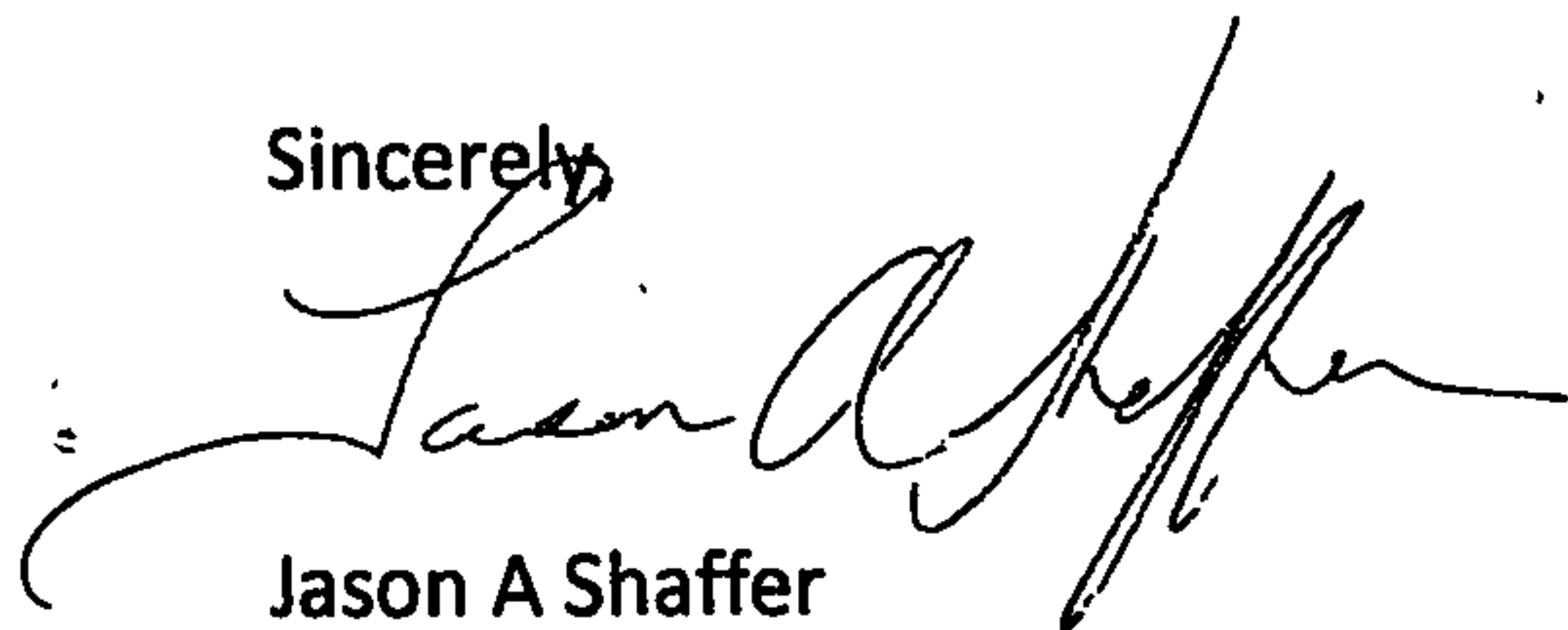
Dear Mr. Rue:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Rancho Sereno N.A. (RSO).

We are requesting at two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

2299 4E22 E000 005E T101

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Restricted Delivery Fee (Endorsement Required)	\$ 0.00	Postmark Here
Total Postage & Fees	\$ 3.40	09/13/2012

**OFFICIAL USE**

Sent To: Sander Rue  
Street, Apt. No., or PO Box No.: 7500 Rancho Solano Ct NW  
City, State, ZIP+4: Albuquerque, NM 87120

PS Form 3800, August 2006 See Reverse for Instructions

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

September 13, 2012

Chris Roth  
8701 Silvercrest NW  
Albuquerque, NM 87114

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

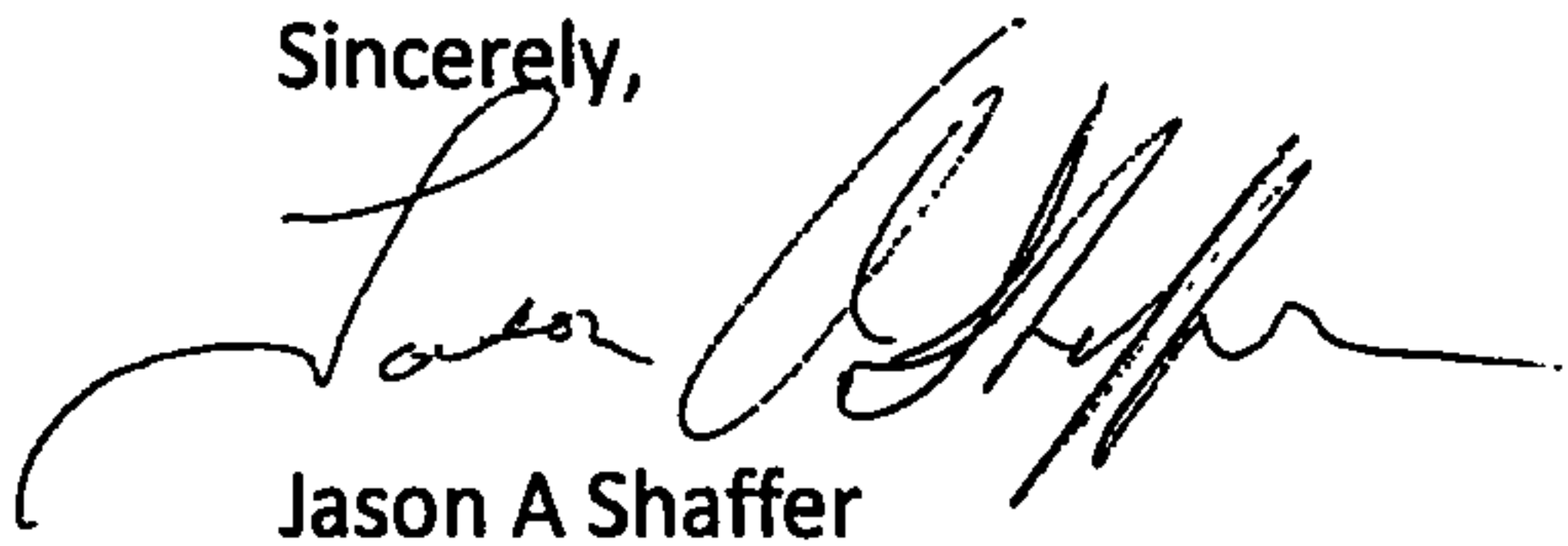
Dear Mr. Roth:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Richland Hills H.O.A (RHH).

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

9499 4E22 E000 005E 7702

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Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 3.40

0109  
06  
Postmark Here  
SEP 13 2012  
09/13/2012

Sent To	Chris Roth
Street, Apt. No., or PO Box No.	8701 Silvercrest NW
City, State, ZIP+4	Albuquerque, NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

September 13, 2012

Sally Lupton  
8600 Glendridge NW  
Albuquerque, NM 87114

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

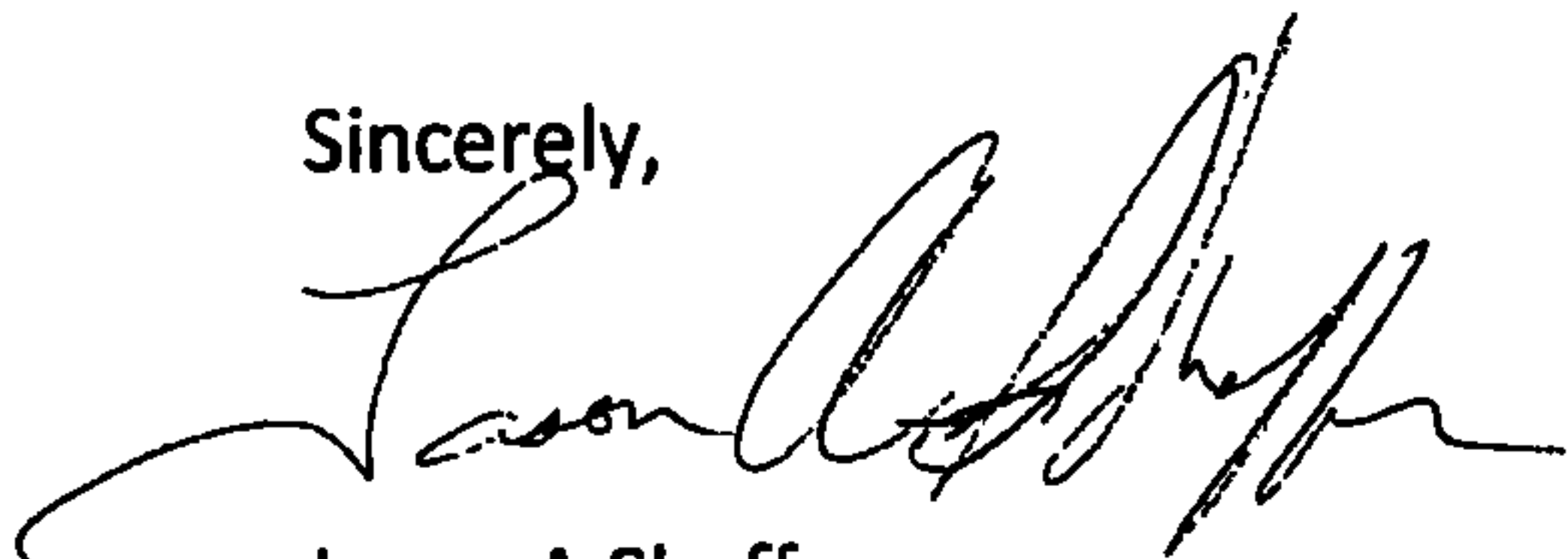
Dear Ms. Lupton:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Richland Hills H.O.A (RHH).

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

U.S. Postal Service  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$ 0.45
Certified Fee	\$ 2.95
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 3.40

Postmark Here  
SEP 13 2012  
09/13/2012

ALBUQUERQUE NM 87114

Sent To: Sally Lupton  
Street, Apt. No., or PO Box No.: 8600 Glendridge NW  
City, State, ZIP+4: Albuquerque, NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

September 13, 2012

Ray Shortridge  
4800 College Heights Dr NW  
Albuquerque, NM 87120

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

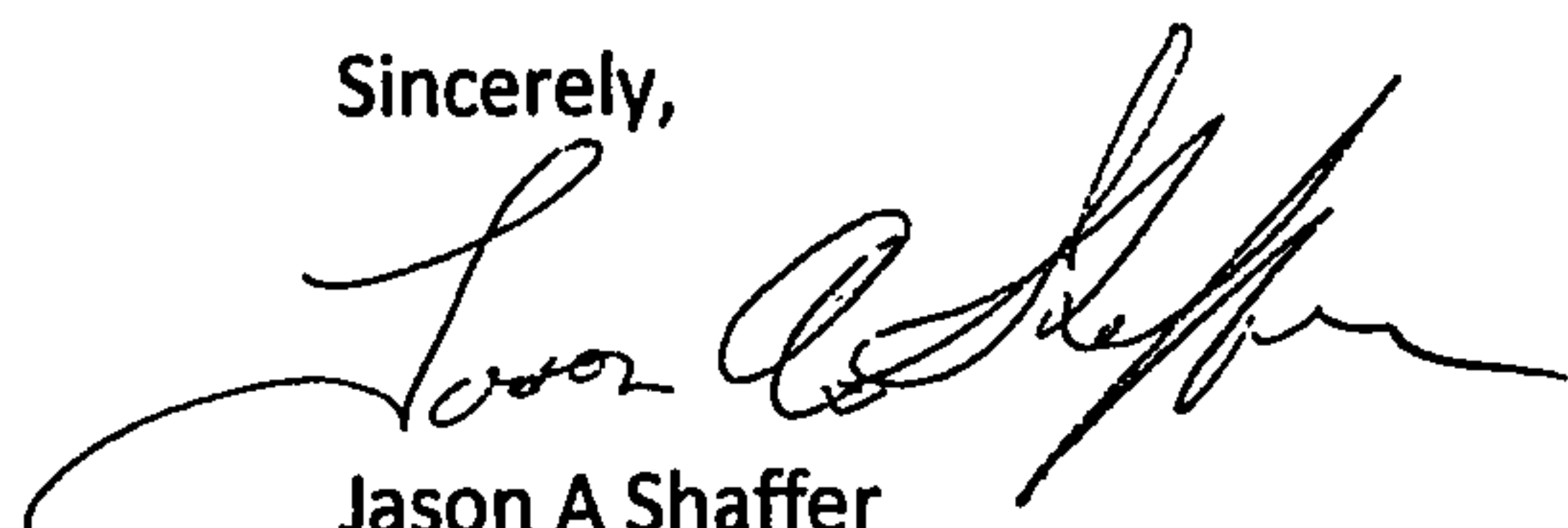
Dear Mr. Shortridge:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Taylor Ranch N. A. (TRN).

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

6599 4E22 2734 6659  
7101 3500 0000 005E

U.S. Postal Service™  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$ 0.45	0109
Certified Fee	\$2.95	06
Return Receipt Fee (Endorsement Required)	\$0.00	SEP 13 2012
Restricted Delivery Fee (Endorsement Required)	\$0.00	Postmark Here
Total Postage & Fees	\$ 3.40	09/13/2012

Sent To: Ray Shortridge  
Street, Apt. No.,  
or PO Box No. 4800 College Heights Dr NW  
City, State, ZIP+4 Albuquerque, NM 87120

PS Form 3800, August 2006 See Reverse for Instructions

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

September 13, 2012

Rene Horvath  
5515 Palomino Dr NW  
Albuquerque, NM 87120

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480, DRB Project #1003445

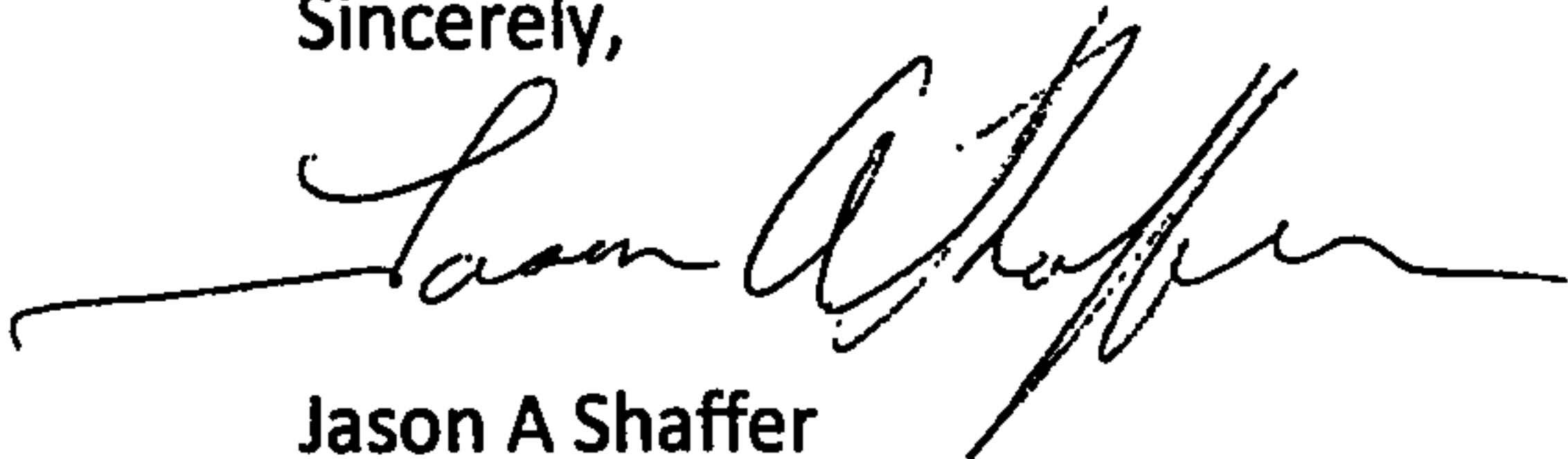
Dear Ms. Horvath:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Taylor Ranch N. A. (TRN).

We are requesting at two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above-referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A Shaffer  
Managing Member  
Fountain Hills Plaza LLC

0999 4E22 E000 005E FT02

U.S. Postal Service™	
CERTIFIED MAIL™ RECEIPT	
(Domestic Mail Only; No Insurance Coverage Provided)	
For delivery information visit our website at www.usps.com®	
OFFICIAL USE	
Postage	\$ 0.45
Certified Fee	\$ 2.95
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 3.40

0109  
SEP 13 2012  
Postmark Here  
NM 87109  
09/13/2012  
SPS

Sent To: Rene Horvath  
Street, Apt. No., or PO Box No.: 5515 Palomino Dr. NW  
City, State, ZIP+4: Albuquerque, NM 87120

PS Form 3800, August 2006 See Reverse for Instructions

October 10. 2012

\*\*\*\*\*

## AGREEMENT

This Agreement is entered into this 27TH day of September, 2011 by and between Fountain Hills Plaza, LLC, a New Mexico limited liability company (hereinafter "Fountain Hills") and First Baptist Church of Albuquerque, New Mexico, a New Mexico non-profit corporation (hereinafter "FBC"), which recite and agree as follows:

### RECITALS

1. Both of the parties own property near Paseo Del Norte and Richland Hills Road in Albuquerque, New Mexico.
2. The City of Albuquerque requires that a deceleration lane be constructed on westbound Paseo Del Norte at Richland Hills Road and related work which is included in City Project No. 584482.
3. City Project No. 584482 includes a Richland Hills project that is the obligation of FBC and the remainder of City Project No. 584482 is the deceleration land and work related to the construction of the deceleration land which is the joint obligation of Fountain Hills and FBC.
4. City Project No. 584482 excluding the Richland Hills portion that is the obligation of FBC is herein referred to as "the Project".
5. Fountain Hills and FBC enter this Agreement to jointly construct the Project.
6. A good faith estimate of the cost of the Project is \$120,000 but the parties understand the actual cost could be more or less.

### FOR GOOD AND VALUABLE CONSIDERATION, THE PARTIES AGREE:

1. The parties will jointly complete the Project with each party paying one-half (1/2) of the actual cost.



2. Within 90 days of the date of this Agreement, the parties will enter into a contract with a mutually agreed upon builder to construct the Project.

3. Prior to signing the contract with the builder, Fountain Hills and FBC will each pay one-half (1/2) of the total contract price into an escrow account with an agent acceptable to both parties. Payments to the builder will be paid from the account when due.

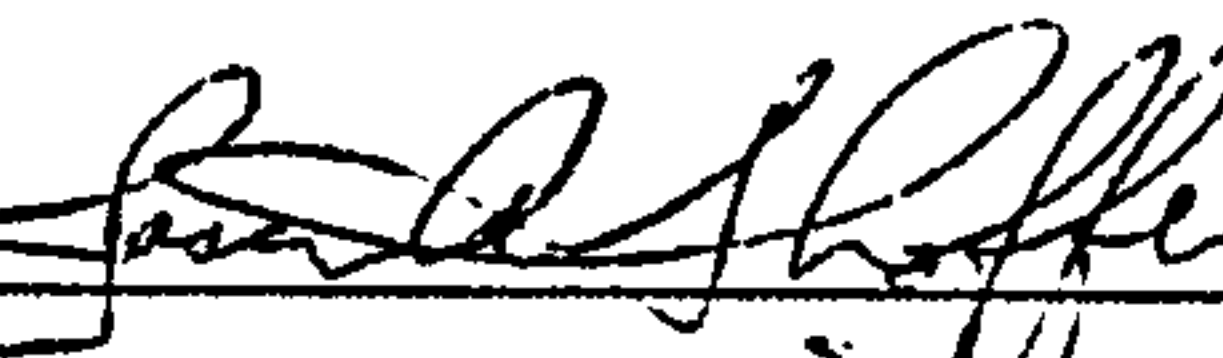
4. The parties agree that if additional funds are required to complete the Project, each party will pay one-half (1/2) of all amounts when due.

5. The parties agree that the Project will be completed within 180 days of the date of this Agreement unless circumstances beyond their control arise in which case the Project will be completed as soon as possible thereafter.

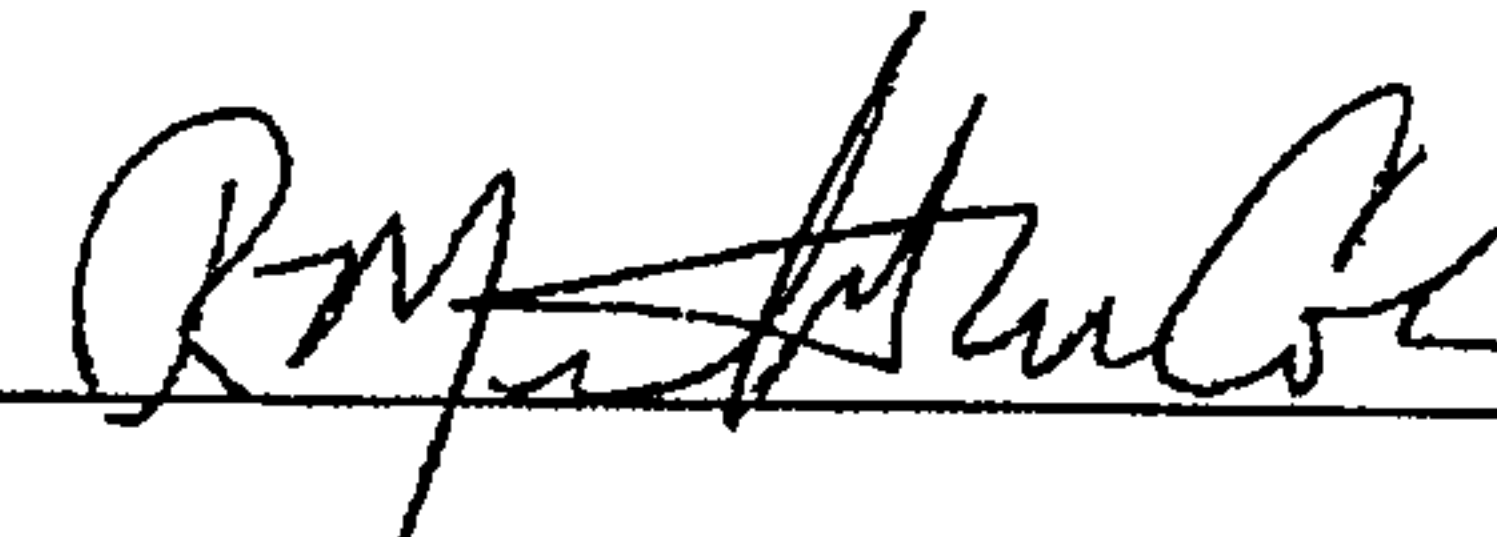
FOUNTAIN HILLS PLAZA, LLC

FIRST BAPTIST CHURCH OF ALBUQUERQUE,  
NEW MEXICO

By

  
\_\_\_\_\_  
Managing Member

By

  
\_\_\_\_\_  
9.27.11



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

**L A APPEAL / PROTEST of...**

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): BOHANNAN HUSTON INC PHONE: 823-1000  
 ADDRESS: 7500 JEFFERSON ST. FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: KPATTON@BHINC.COM

APPLICANT: JASON SHAFER PHONE: 505-280-5771  
 ADDRESS: PO Box 66897 FAX: 505-344-3992  
 CITY: ALBUQUERQUE STATE NM ZIP 87193 E-MAIL: JSHAFER3@COMCAST.NET

Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: S.I.A. EXTENSION

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. A, B, C, D, E, F, G, H, I Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: FOUNTAIN HILLS PLAZA SUBDIVISION  
 Existing Zoning: SU-1 Proposed zoning: NO CHANGE MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C-12-B UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): 1003445, 584480

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 9 No. of proposed lots: 9 Total site area (acres): 39.9074  
 LOCATION OF PROPERTY BY STREETS: On or Near: EAGLE RANCH RD.  
 Between: PASEO DEL NORTE and PARADISE BLVD

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE Jason A. Shaffer DATE 8/25/11  
 (Print Name) JASON A. SHAFER Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 6/2011

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>DRB 2011 0702341</u>	<u>SIA</u>	_____	\$ _____
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADV</u>	_____	\$ <u>75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	\$ <u>50.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>9-21-11</u>				Total
				\$ _____

Project # 1003445

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
Proposed Infrastructure List
Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
Design elevations & cross sections of perimeter walls 3 copies (11" x 17" maximum)
Zone Atlas map with the entire property(ies) clearly outlined
Letter briefly describing, explaining, and justifying the request
Property owner's and City Surveyor's signature on the proposed plat
FORM DRWS Drainage Report, Water & Sewer availability statement filing information
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
Signed Pre-Annexation Agreement if Annexation required.
TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
Fee (see schedule)
List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
Zone Atlas map with the entire property(ies) clearly outlined
Letter briefly describing, explaining, and justifying the request
Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
Letter briefly describing, explaining, and justifying the request
Plat or plan reduced to 8.5" x 11"
Official D.R.B. Notice of the original approval
Approved Infrastructure List. If not applicable, please initial.
Previous SIA extension notice, if one has been issued. If not applicable, please initial.
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
List any original and/or related file numbers on the cover application
Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JASON SHAFFER

Applicant name (print)

Jason Shaffer 8/26/11
Applicant signature / date



Form revised October 2007

- Checklists complete
Fees collected
Case #s assigned
Related #s listed

Table with 2 columns: Application case numbers, values: DRB -2011 -670234

Planner signature / date
Project # 106 3445

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 9-6-11 To 9-21-11

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] 8/26/11  
(Applicant or Agent) (Date)

I issued 3 signs for this application, 8/26/11 [Signature]  
(Date) (Staff Member)

DRB PROJECT NUMBER: 1003445

August 18, 2011

Mr. Russ Hugg  
Surv-Tek, Inc.  
9384 Valley View Drive NW  
Albuquerque, New Mexico 87114

Re: Tract A, Hunt-Spectrum Development Site, City of Albuquerque,  
Bernalillo County, New Mexico. City Zone Atlas Page J-19.

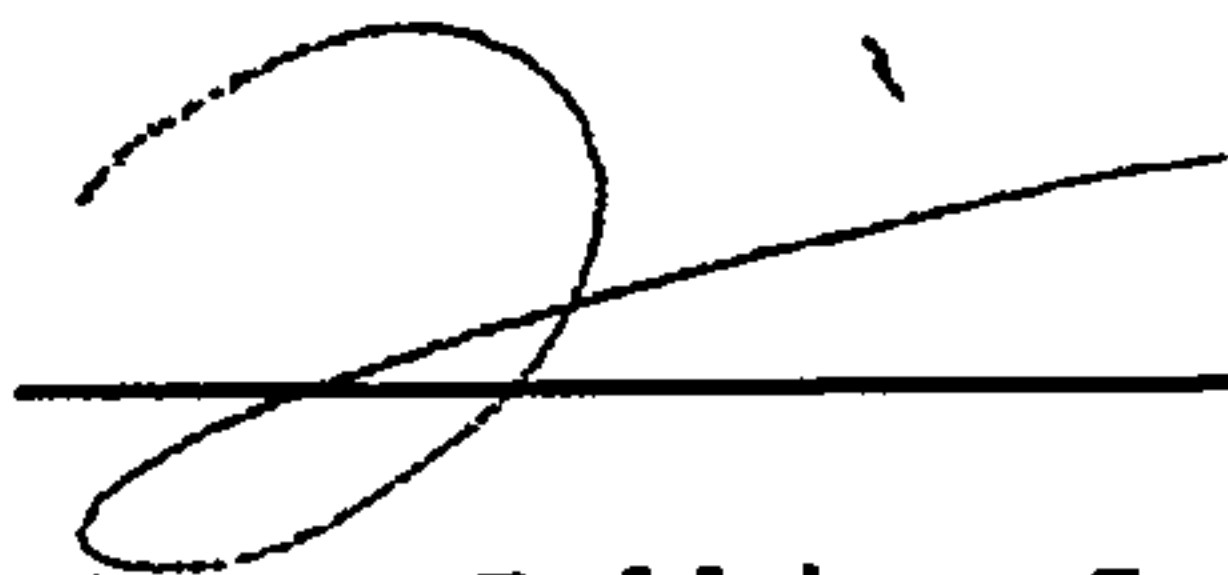
Dear Russ:

By this letter, I hereby authorize you to act as agent on behalf of  
Hunt Uptown II, LLC, for the purpose of Vacation of a public drainage  
easement and subsequent replatting the above referenced tract.

Please call me if you have any further questions.

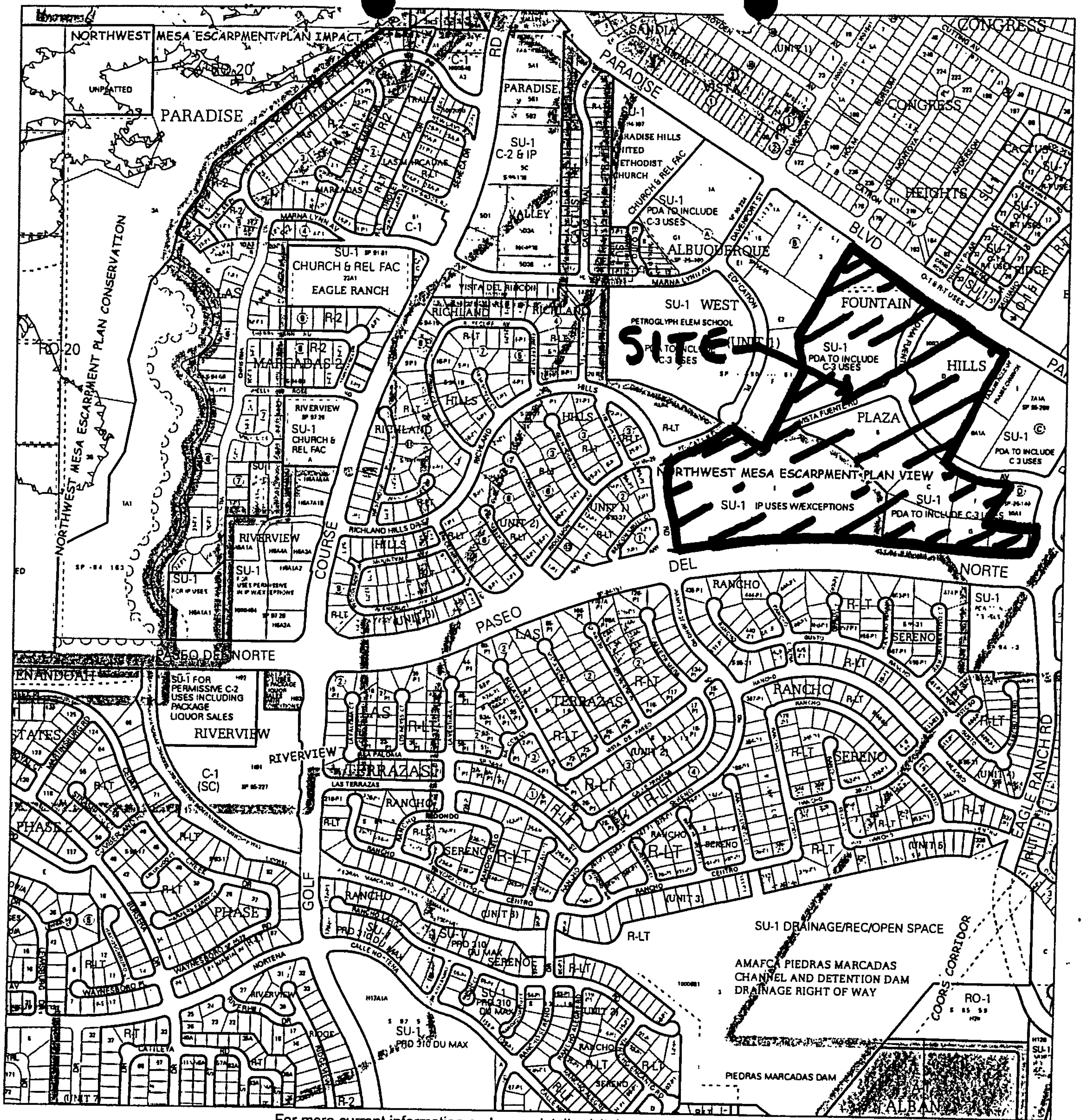
Sincerely,

Hunt Uptown II, LLC




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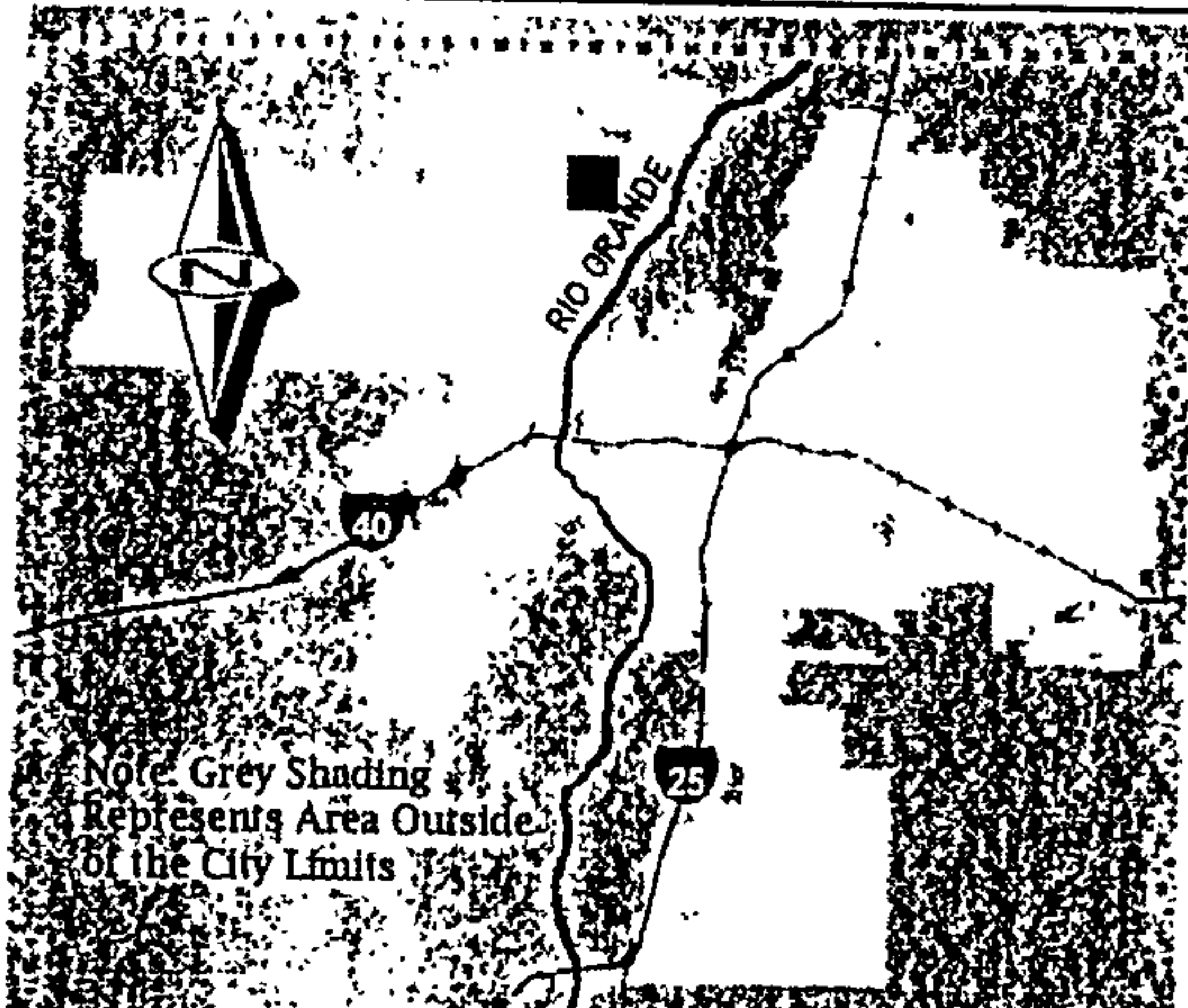
James Dobbie, Senior Vice President



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 3/10/2009



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-12-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0      .750      1,500 Feet

August 25, 2011

Design Review Board  
City of Albuquerque  
One Civic Plaza NW/City County Building  
Albuquerque, NM 87102

RE: Fountain Hills Plaza Subdivision, Phase/Unit #2

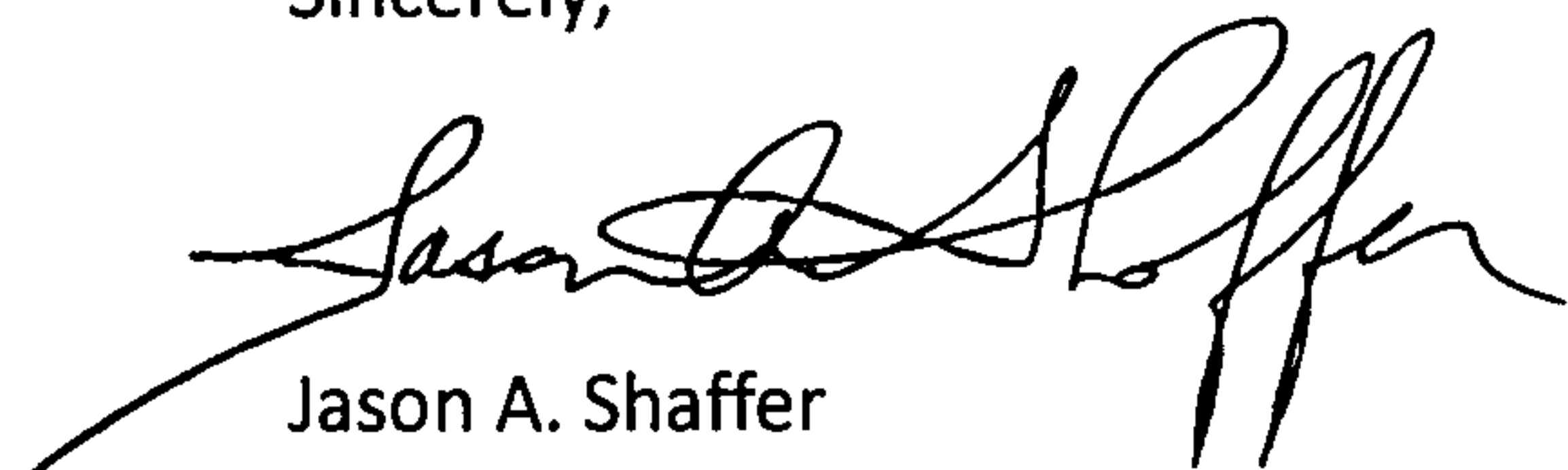
Gentlemen:

Phase 2 of the Fountain Hills Plaza Subdivision has not been started or completed as of this date. The items required are detailed in the attached Engineers Opinion of Probable Costs and include:

Traffic Signal at Loma Fuente Rd and Paradise Blvd., NW  
On-site paving of Vista Fuente Rd  
Paseo Del Norte/Richland Hills/Eagle Ranch, Paving, Striping and Signage and relocating traffic signal.

We are requesting a two year extension of or Subdivision Improvement Agreement, due to the slow economic environment and lack of end users.

Sincerely,

A handwritten signature in black ink, appearing to read "Jason A. Shaffer". The signature is fluid and cursive, with a long horizontal stroke extending to the left.

Jason A. Shaffer  
Managing Member  
Fountain Hills Plaza LLC



LOCATION MAP  
ZONE ATLAS INDEX MAP No. C-12  
NOT TO SCALE

DESCRIPTION

A certain tract of land situated within the Town of Alameda Grant, City of Albuquerque, Bernalillo County, New Mexico within projected Section 13, Township 11 North, Range 2 East, New Mexico Principal Meridian, being and comprising all of Tracts B-1-A, C-1-A, & D-1-A of the Plat of Albuquerque West, Unit One, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 24, 2005 in Book 2005C page 218 as Document 2005000828, and Tract 10-A-2 Block D, of the Plat of Albuquerque West, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 13, 1996, Volume 99C Folio 299 and Tract B of Richland Hills Unit 1, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 08, 1994, Volume 94C Folio 148.

Containing 28,5704 acres more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situated within the Town of Alameda Grant, City of Albuquerque, Bernalillo County, New Mexico within projected Section 13, Township 11 North, Range 2 East, New Mexico Principal Meridian, being and comprising of Tracts B-1-A, C-1-A, & D-1-A of the Plat of Albuquerque West, Unit One, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 24, 2005 in Book 2005C page 218 as Document 2005000828, Tract 10-A-2 Block D, of the Plat of Albuquerque West, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 13, 1996, Volume 99C, Folio 299 and Tract B of the Plat of Richland Hills Unit 1, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 08, 1994, Volume 94C, Folio 148, is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein, and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

DOC# 2887134847  
06/19/2007 08:27 AM Page: 1 of 1  
PLAT # 222877  
TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PLAT OF  
**FOUNTAIN HILLS PLAZA  
SUBDIVISION**  
(A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A,  
ALBUQUERQUE WEST, UNIT ONE,  
LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST &  
TRACT B, RICHLAND HILLS UNIT 1)  
WITHIN PROJECTED SECTION 13, T 11 N, R 2 E, N.M.P.M.  
TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2007

SUBDIVISION DATA

- 1. DFB No.
- 2. Zone Atlas Index No. C12
- 3. Gross Plat Acreage: 28,5704
- 4. Total Number of Lots/Tracts created: (9) Tracts
- 5. Total Mileage of streets created: Full width=0.1573 Half width=0.1714
- 6. Date of Survey: April 2007
- 7. Plat is located within Section 13, Township 11 North, Range 2 East, New Mexico Principal Meridian, Albuquerque, Bernalillo County, New Mexico.

DISCLOSURE STATEMENT

The purpose of this plat is to subdivide all of Tracts B-1-A, C-1-A, & D-1-A Albuquerque West, Unit One, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 24, 2005 in Book 2005C page 218 as Document 2005000828, and Tract 10-A-2 Block D, Albuquerque West, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 13, 1996, Volume 99C Folio 299 and Tract B of Richland Hills Unit 1, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 08, 1994, Volume 94C, Folio 148, into nine (9) Tracts, dedicate right-of-way, grant easements and vacate easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone)
- 2. Distances are ground distances.
- 3. All easements of record are shown that I am aware of
- 4. Record bearings and distances are shown in parenthesis.
- 5. Tracts C, F & G are subject to a Twenty Five foot wide spacing access, water, drainage, and sanitary sewer easement for the benefit of land to be maintained by Tracts E, G & H granted with this plat. This easement will be confined and defined with future platting.
- 6. Centerline in (Row of RW monumentation) to be installed at centerline FCs, PTs, angle points and street intersections prior to acceptance of street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "M.S. 1949"
- 7. Easement information shown on this survey was taken from TITLE COMMITMENT No. 8220000868, effective January 02, 2007 issued by LandAmerica Albuquerque Title.
- 8. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. facilities, not the City of Albuquerque.

Public drainage enters the vacated drainage easment. Maintenance of these tracts with respect to drainage is the responsibility of the private property owners. SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky  
New Mexico Professional Surveyor 16480

Date: 6-11-07

THE FIRST BAPTIST CHURCH OF ALBUQUERQUE - owner of Tract B, Richland Hills

BY: Michael M. Cook  
Pastor/President

State of New Mexico )  
County of Bernalillo )

This instrument was acknowledged before me on 11 day of June, 2007 by MICHAEL M. COOK, Pastor/President

My Commission Expires 6-24-2011 Stephanie L. Walton  
Notary Public



FOUNTAIN HILLS PLAZA LLC - Owner of Tracts B-1-A, C-1-A, & D-1-A Albuquerque West, Unit One and Lot 10-A-2 Block D Albuquerque West

BY: Dwayne Piro  
Managing Member

State of New Mexico )  
County of Bernalillo )

This instrument was acknowledged before me on 11 day of June 2007 by Dwayne Piro, Managing Member, Fountain Hills Plaza LLC

My Commission Expires 6-24-2011 Stephanie L. Walton  
Notary Public



JURISDICTIONAL AFFIDAVIT

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, hereby affirm that the property described does lie within the platting and subdivision jurisdiction of the City of Albuquerque, New Mexico.

Robert Gromatzky  
New Mexico Professional Surveyor 16480

Date: 6-11-07



PROJECT NUMBER	1003445
APPLICATION NUMBER	07 DEB-72054
PLAT APPROVAL	
UTILITY APPROVALS	
QWEST TELECOMMUNICATIONS	6/21/07
CONCAST CABLE	6-20-07
PNM ELECTRIC SERVICES	6-19-07
PNM GAS SERVICES	6-19-07
CITY APPROVALS	
CITY SURVEYOR	6-12-07
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	6-22-07
PARKS & RECREATION DEPARTMENT	8/22/07
A.P.D. C.A.	6-20-07
ST. ARCHDEACON	8/22/07
URB. COMMISSION, PLANNING DEPARTMENT	9/17/07
REAL PROPERTY	
ENVIRONMENTAL HEALTH DEPARTMENT	
NMI	6-19-07

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON MPC 1

1-017-064-264327-119-01

PROPERTY OWNER OF RECORD: First Baptist Church  
Bernalillo County Treasurer's Office  
DATE: 6-19-2007

**Bohannon & Huston**  
Courtyard I 7500 Jefferson BL NE Albuquerque, NM 87109-1J36  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

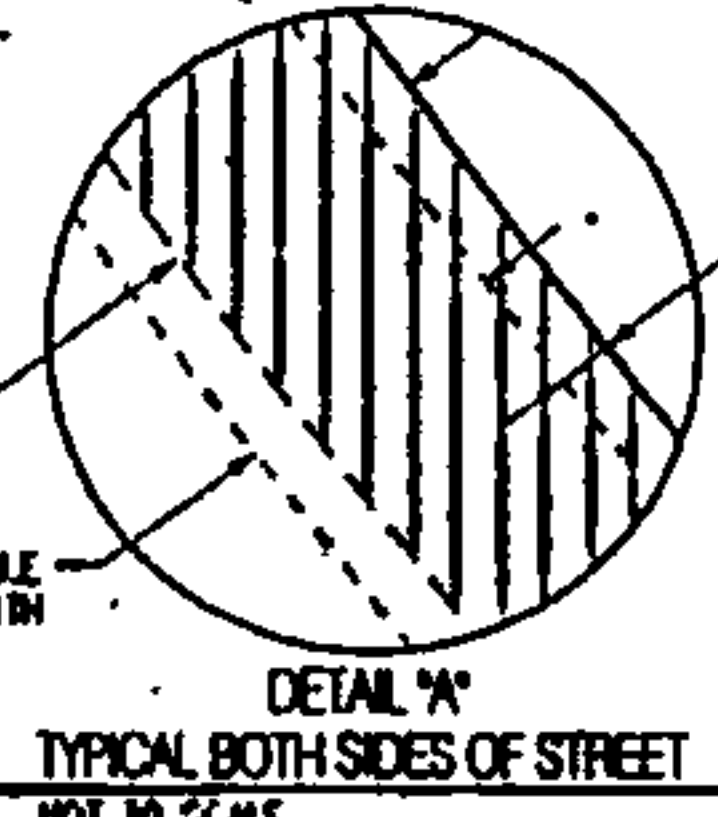
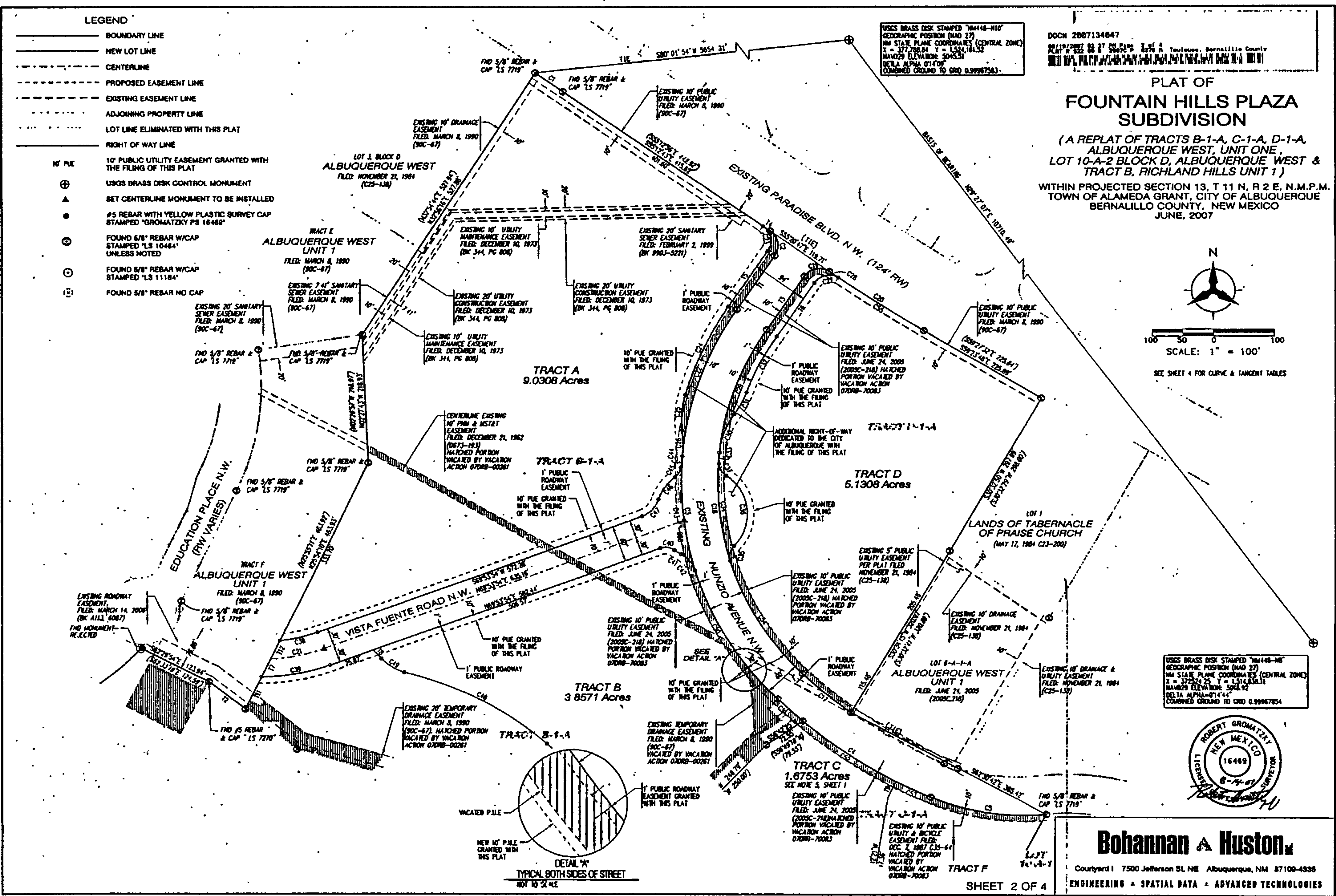
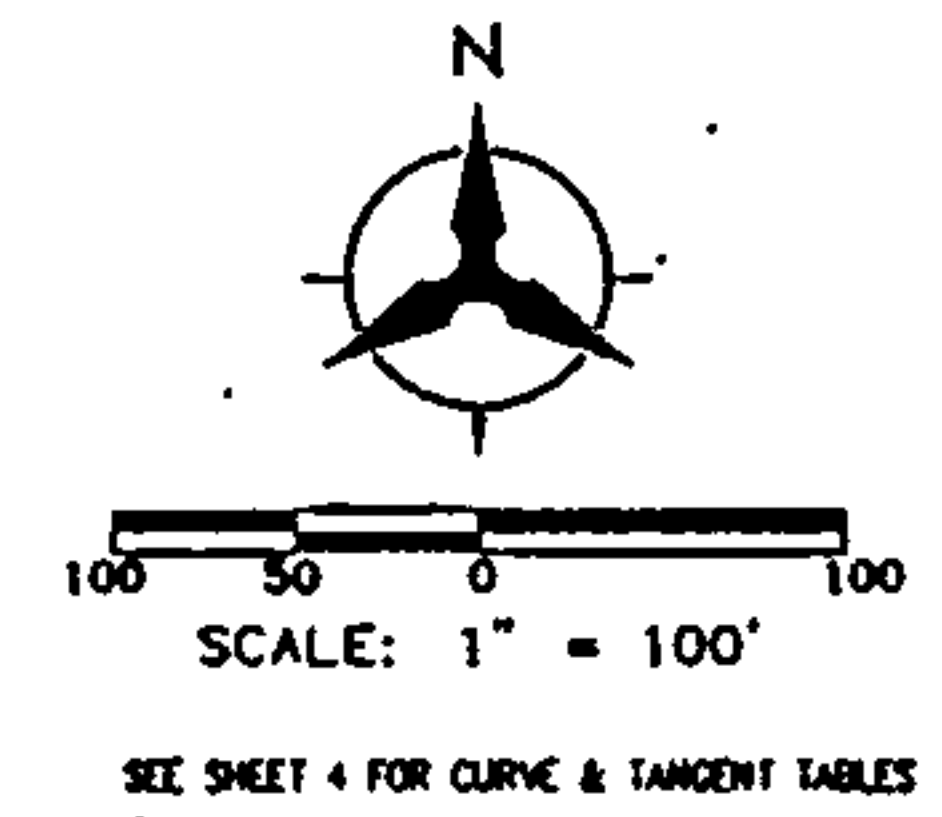


**LEGEND**

- BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - LOT LINE ELIMINATED WITH THIS PLAT
- - - RIGHT OF WAY LINE
- 10' PUE  
10' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- ⊕  
USGS BRASS DISK CONTROL MONUMENT
- ▲  
SET CENTERLINE MONUMENT TO BE INSTALLED
- #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
- ⊙  
FOUND 5/8" REBAR W/CAP STAMPED "LS 10484" UNLESS NOTED
- ⊙  
FOUND 5/8" REBAR W/CAP STAMPED "LS 11184"
- ⊙  
FOUND 5/8" REBAR NO CAP

DOCN 2887134847  
 06/19/2007 08:27:50  
 PLAT # 2887134847  
 BOHANNAN & HUSTON, BERNALILLO COUNTY  
 1000 N. UNIVERSITY BLVD., SUITE 100, ALBUQUERQUE, NM 87102

**PLAT OF  
 FOUNTAIN HILLS PLAZA  
 SUBDIVISION**  
 (A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A,  
 ALBUQUERQUE WEST, UNIT ONE,  
 LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST &  
 TRACT B, RICHLAND HILLS UNIT 1)  
 WITHIN PROJECTED SECTION 13, T 11 N, R 2 E, N.M.P.M.  
 TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JUNE, 2007



USGS BRASS DISK STAMPED "M4448-110"  
 GEOGRAPHIC POSITION (NAD 27)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 377,288.84 Y = 1,524,181.32  
 HAZARD ELEVATION: 5045.51  
 DELTA ALPHA=01441  
 COMBINED GROUND TO GRID 0.99987563

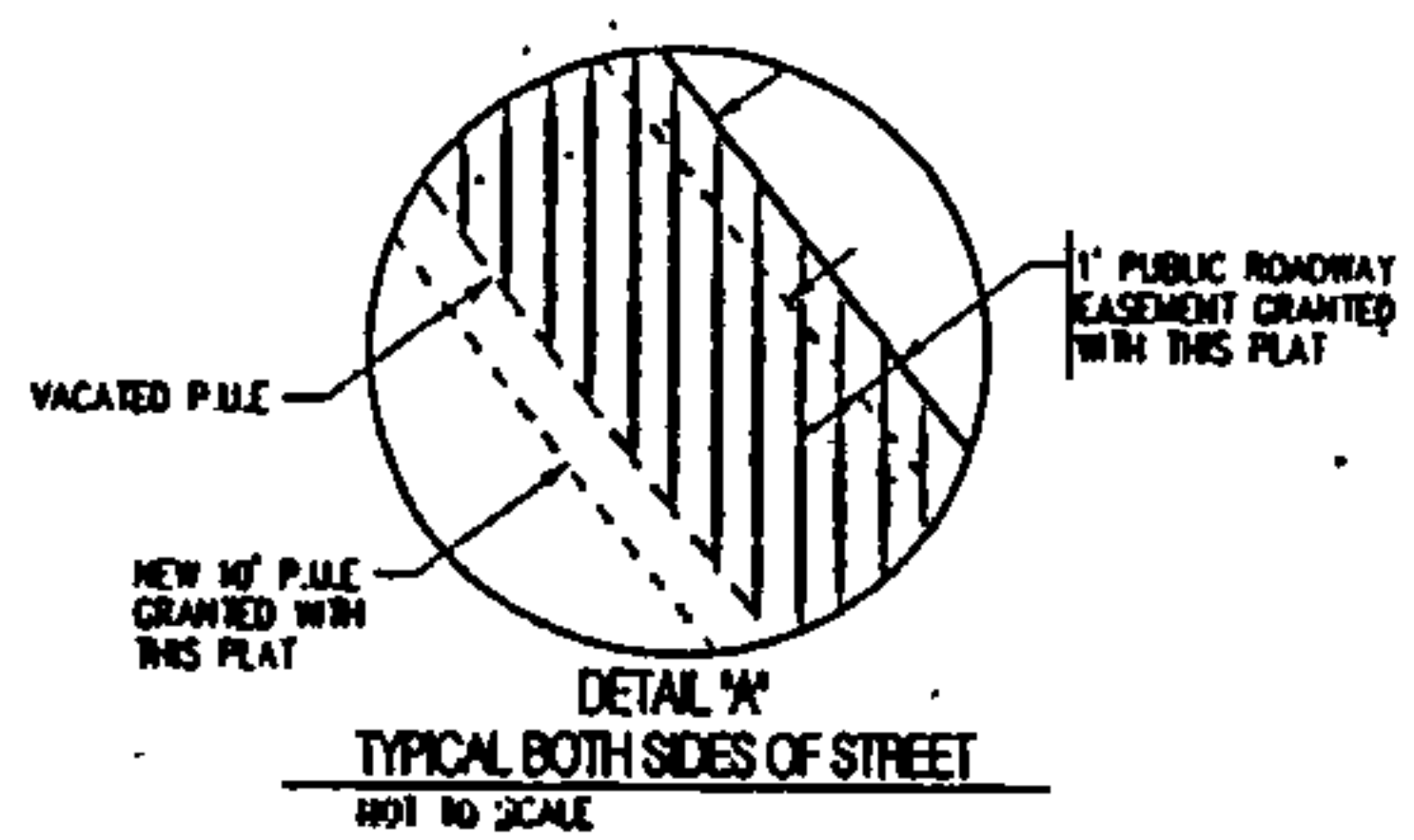
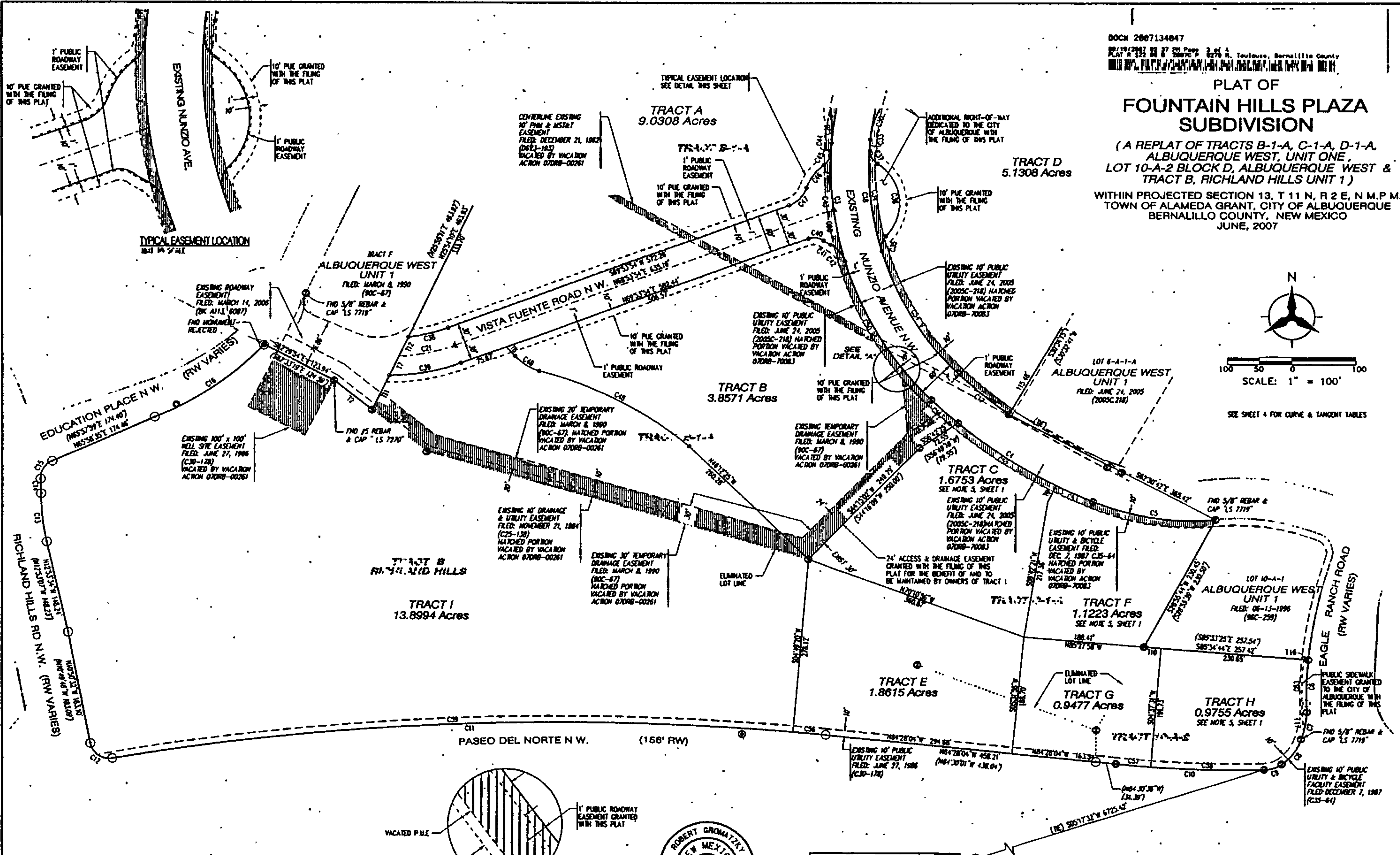
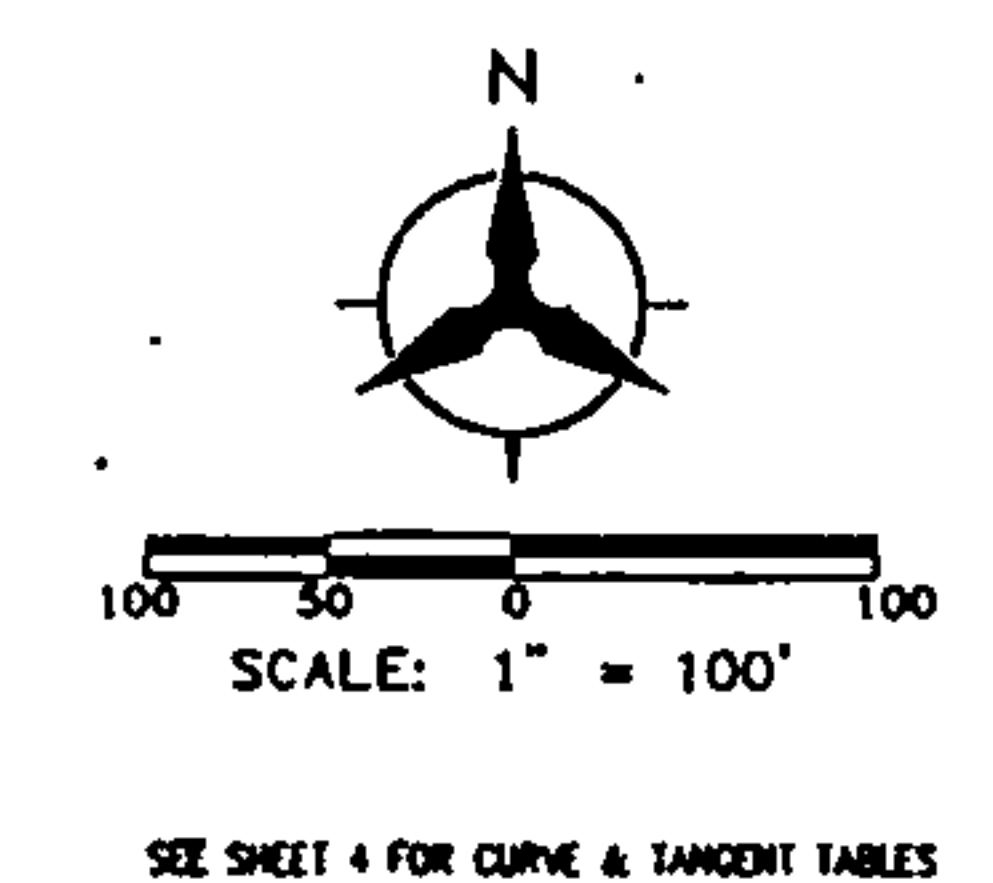


**Bohannon & Huston**

Courtyard I 7500 Jefferson BL NE Albuquerque, NM 87109-4536  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

DOC# 2867134847  
 00/19/2007 02:37 PM Page 3 of 4  
 PLAT # 232 08 0 2007C P. 0276 N. Toluosa, Bernalillo County  
 FILED: JUNE 24, 2005

**PLAT OF  
 FOUNTAIN HILLS PLAZA  
 SUBDIVISION**  
 (A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A,  
 ALBUQUERQUE WEST, UNIT ONE,  
 LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST &  
 TRACT B, RICHLAND HILLS UNIT 1)  
 WITHIN PROJECTED SECTION 13, T 11 N, R 2 E, N.M.P.M.  
 TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JUNE, 2007



USGS BRASS DISK STAMPED "M1448-10"  
 GEOGRAPHIC POSITION (NAD 27)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 15284.25 Y = 1514.03611  
 HANGOVER ELEVATION: 5068.92  
 DELTA ALPHA=0.1444"  
 COMBINED GROUND TO GRID 0.99967854

**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

DOCH 2887134847  
 PLAT # 2887134847, SHEET # 4 OF 4, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO

PLAT OF  
**FOUNTAIN HILLS PLAZA  
 SUBDIVISION**

(A REPLAT OF TRACTS B-1-A, C-1-A, D-1-A,  
 ALBUQUERQUE WEST, UNIT ONE,  
 LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST &  
 TRACT B, RICHLAND HILLS UNIT 1)  
 WITHIN PROJECTED SECTION 13, T 11 N, R 2 E, N.M.P.M.  
 TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JUNE, 2007

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEG
C1	00°29'23"	27.71'	55.42'	6486.09'	55.42'	S55°29'26"E
C2	89°49'50"	28.91'	47.04'	30.00'	42.36'	S10°15'58"E
C3	81°10'24"	437.18'	722.98'	510.31'	664.02'	S05°51'12"E
C4	21°37'46"	151.78'	303.89'	805.00'	302.99'	S57°15'17"E
C5	27°10'28"	98.70'	195.64'	412.50'	183.81'	S81°38'24"E
C6	06°32'05"	42.33'	84.50'	547.24'	84.42'	S01°17'15"W
C7	15°07'36"	22.57'	44.88'	170.00'	44.75'	S11°11'34"W
C8	36°33'40"	26.43'	51.05'	90.00'	90.18'	S37°07'26"W
C9	52°58'26"	14.81'	28.79'	50.00'	28.39'	S71°48'41"W
C10	08°55'34"	116.31'	232.34'	1822.00'	232.20'	N87°56'37"W
C11	15°15'32"	565.34'	1121.98'	4219.85'	1120.86'	S87°51'34"W
C12	08°57'31"	26.46'	46.58'	30.00'	42.04'	N55°15'49"W
C13	12°41'28"	36.73'	77.15'	348.30'	76.99'	N08°32'18"W
C14	02°53'46"	11.86'	23.71'	488.02'	23.70'	N01°48'21"W
C15	69°10'28"	26.60'	36.22'	30.00'	34.06'	N31°30'42"E
C16	24°57'37"	105.46'	207.58'	478.50'	205.94'	N55°28'06"E
C17	08°01'08"	52.22'	104.27'	745.00'	104.18'	N50°28'58"W
C18	81°10'05"	385.75'	637.94'	450.31'	585.91'	N05°51'21"W
C19	89°38'53"	29.82'	48.84'	30.00'	42.30'	N79°26'28"E
C20	03°37'18"	92.52'	184.98'	2926.84'	184.95'	S57°40'59"E
C21	17°08'57"	45.23'	89.79'	300.00'	88.46'	N78°28'22"E
C22	30°10'16"	137.56'	268.72'	510.31'	265.63'	N19°36'51"E
C23	90°01'10"	30.01'	47.13'	30.00'	42.43'	S10°12'07"E
C24	18°12'14"	84.00'	168.50'	524.33'	165.89'	S25°11'14"W
C25	22°00'26"	31.11'	61.46'	180.00'	61.08'	S05°04'54"W
C26	10°29'01"	22.02'	43.91'	240.00'	43.85'	S00°40'47"E
C27	84°58'38"	27.42'	44.42'	30.00'	40.48'	N77°13'48"E
C28	00°20'40"	8.00'	17.50'	2926.84'	17.59'	N56°02'41"W
C29	28°48'23"	115.65'	228.40'	450.31'	224.03'	S20°19'30"W
C30	20°23'17"	36.78'	71.89'	140.00'	71.10'	N20°37'57"E
C31	14°56'58"	26.89'	41.74'	160.00'	41.62'	N27°52'10"E
C32	14°21'33"	54.21'	107.84'	430.31'	107.56'	N27°33'08"E
C33	07°32'09"	9.22'	18.41'	140.00'	18.40'	N02°09'14"E
C34	23°11'16"	82.39'	162.24'	450.31'	161.00'	S05°40'20"E
C35	62°05'43"	15.05'	27.09'	25.00'	25.79'	N13°48'54"E
C36	102°30'53"	93.47'	134.19'	75.00'	116.99'	N06°25'41"W
C37	56°04'17"	13.31'	24.47'	25.00'	23.50'	N29°38'59"W
C38	13°34'40"	32.14'	63.98'	270.00'	63.83'	S76°41'14"W
C39	19°58'54"	56.13'	115.09'	330.00'	114.50'	N79°53'21"E
C40	56°37'59"	13.47'	24.71'	25.00'	23.72'	S81°47'07"E
C41	08°54'18"	8.50'	12.97'	75.00'	12.85'	S58°25'16"E
C42	48°18'12"	18.24'	36.37'	45.00'	35.38'	S40°13'19"E
C43	12°01'45"	53.77'	107.14'	510.31'	106.94'	S01°27'09"E
C44	04°38'54"	8.74'	16.47'	240.00'	18.47'	S06°53'10"W
C45	44°53'17"	16.33'	18.59'	25.00'	19.09'	S31°39'15"W
C46	35°31'04"	24.02'	46.49'	75.00'	45.75'	S36°20'22"W
C47	51°19'04"	21.82'	40.30'	45.00'	38.97'	S44°14'22"W
C48	28°01'27"	136.34'	267.98'	580.00'	265.88'	N83°00'11"W
C49	30°22'27"	21.07'	45.06'	85.00'	44.54'	N58°09'57"W
C50	29°22'11"	133.73'	261.56'	510.31'	258.77'	S31°45'19"E
C51	03°58'44"	28.08'	56.14'	805.00'	56.12'	S48°28'16"E
C52	13°07'55"	82.86'	164.50'	805.00'	164.10'	S57°00'05"E
C53	04°30'07"	31.64'	63.25'	805.00'	63.24'	N85°49'07"W
C54	29°10'28"	117.19'	229.29'	450.31'	228.82'	N31°51'11"W
C55	03°18'38"	83.72'	167.39'	2926.84'	167.36'	S57°51'19"E
C56	06°42'02"	25.80'	51.59'	4219.85'	51.59'	S84°51'38"E
C57	01°37'46"	27.33'	54.66'	1822.00'	54.66'	S85°17'43"E
C58	05°17'48"	88.90'	177.88'	1822.00'	177.82'	S88°45'30"E
C59	14°33'40"	538.10'	1072.39'	4219.85'	1069.51'	S87°30'33"W
C60	09°38'11"	42.87'	85.53'	510.31'	85.43'	S12°16'08"E
C61	00°10'36"	10.00'	20.01'	6486.09'	20.01'	N55°34'53"W
C62	06°37'32"	24.89'	49.68'	330.00'	49.63'	N85°34'63"E
C63	06°31'16"	42.78'	85.40'	574.24'	85.32'	N01°16'51"E

RECORD Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEG
(C1)	(00°29'23")	(27.76')	(55.78')	(6486.09')	(55.78')	(S55°27'42"E)
(C3)	(81°15'00")	(432.51')	(723.22')	(510.00')	(664.13')	(S05°50'25"E)
(C4)	(17°37'32")	(124.85')	(247.72')	(805.00')	(248.74')	(S59°18'47"E)
(C5)	(27°18'51")	(98.82')	(195.48')	(418.00')	(183.81')	(S81°45'22"E)
(C6)	(06°31'10")	(42.25')	(84.34')	(587.24')	(84.27')	(S01°23'24"W)
(C7)	(15°08'00")	(22.85')	(44.50')	(170.00')	(44.67')	(S11°12'22"W)
(C8)	(36°35'28")	(26.45')	(51.08')	(90.00')	(90.25')	(S37°03'08"W)
(C9)	(52°57'11")	(14.82')	(28.98')	(50.00')	(28.99')	(S71°57'28"W)
(C10)	(04°55'17")	(116.23')	(232.18')	(1822.00')	(232.04')	(N87°58'14"W)
(C11)	(15°15'42")	(565.34')	(1123.97')	(4219.85')	(1120.86')	(S87°51'34"W)
(C12)	(88°00'57")	(26.48')	(46.51')	(30.00')	(42.08')	(N55°15'49"W)
(C13)	(12°41'54")	(36.78')	(77.19')	(348.30')	(77.03')	(N08°32'18"W)
(C14)	(02°53'23")	(11.85')	(23.70')	(488.02')	(23.70')	(N01°37'55"W)
(C15)	(69°08'35")	(26.64')	(36.15')	(30.00')	(34.00')	(N31°28'41"E)
(C16)	(24°51'43")	(105.04')	(205.76')	(478.50')	(205.15')	(N55°28'40"E)
(C17)	(08°01'07")	(52.22')	(104.26')	(745.00')	(104.18')	(N50°28'58"W)
(C18)	(81°13'47")	(385.85')	(637.90')	(450.95')	(585.81')	(N05°51'10"W)
(C20)	(03°37'23")	(92.57')	(184.08')	(2926.84')	(184.08')	(S57°39'31"E)

Tangent Data		
ID	BEARING	DISTANCE
T1	S31°48'28"W	109.40'
T2	S51°43'41"E	75.94'
T3	N31°48'28"E	109.50'
T4	N65°12'43"W	14.02'
T5	S31°48'28"W	113.39'
T6	N31°48'28"E	109.93'
T7	S29°54'10"W	33.79'
T8	N42°58'43"W	20.29'
T9	S25°25'54"W	28.68'
T10	N85°34'44"W	28.77'
T11	S25°54'10"W	61.59'
T12	N25°54'10"E	34.85'
T13	S29°08'11"E	22.64'
T14	S36°04'28"W	83.89'
T15	N51°43'41"W	28.88'
T16	S85°34'44"E	7.00'
T17	N02°58'47"W	32.38'

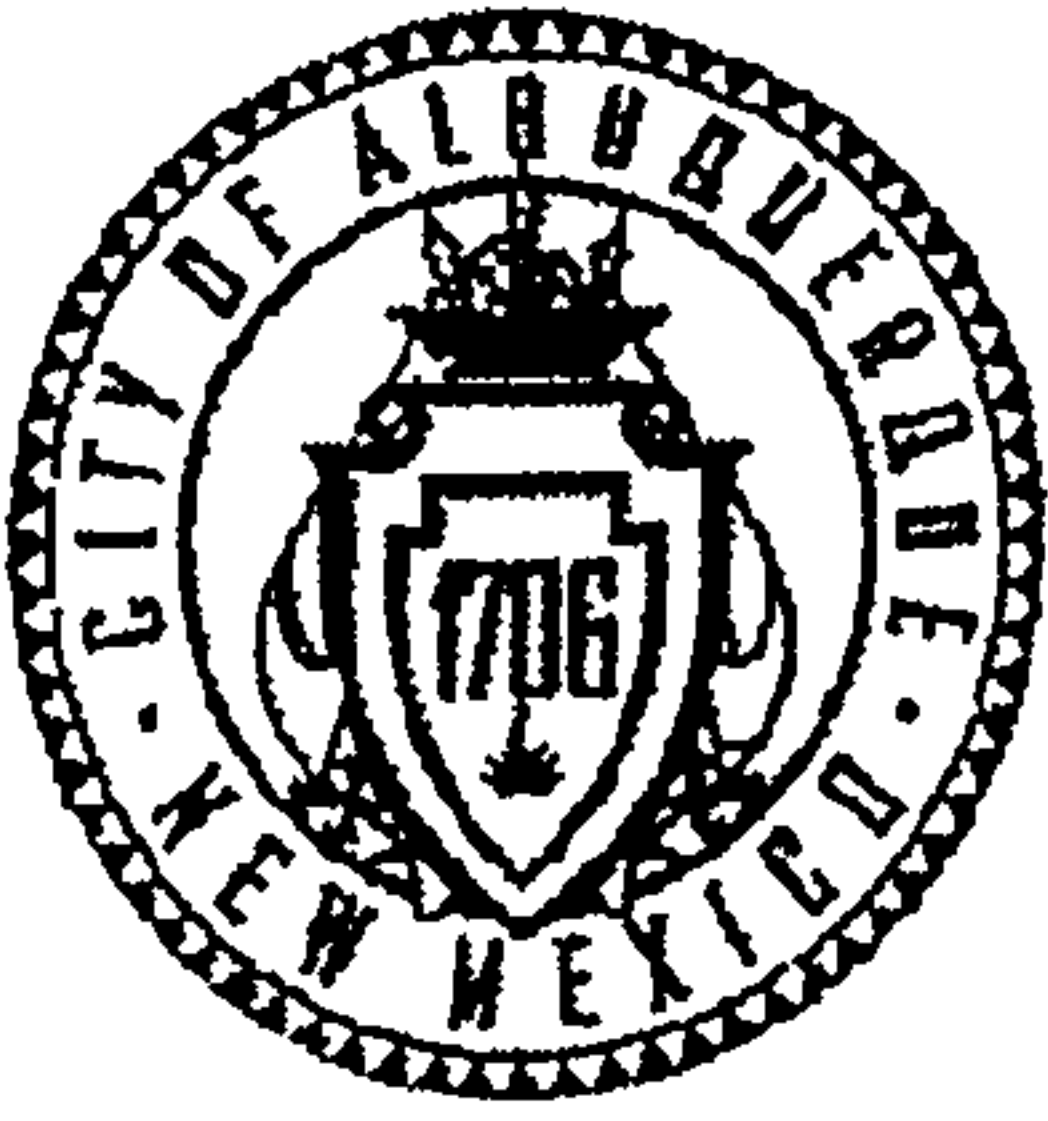
RECORD Tangent Data		
ID	BEARING	DISTANCE
(T1)	(S31°48'28"W)	(111.85')
(T2)	(S51°44'42"E)	(75.77')
(T3)	(N31°54'40"E)	(106.87')



**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



# DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 – will need the following information **BEFORE** neighborhood and/or homeowner association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at (505) 924-3914. **Your Developer Inquiry is for the following:**

Cell Tower & Type:  Free-Standing Tower -OR-  Concealed Tower

Private Development  EPC  DRB  LUCC  Liquor Submittal  
 Administrative Amendments (AA's)

City Project  Special Exception Application (ZHE)

CONTACT NAME: JASON SHAIFFER

COMPANY NAME: FOUNTAIN HILLS PLAZA LLC

ADDRESS/ZIP: PO Box 66897, ALBUQ., NM 87193

PHONE: 505-280-5771 FAX: 505-344-3992

### LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:

LOT A, B, C, E, F, G, H, I FOUNTAIN HILLS PLAZA SUBDIVISION

LEGAL DESCRIPTION

LOCATED ON PASEO DEL NORTE AND EAGLE RANCH RD NW  
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN \_\_\_\_\_ AND \_\_\_\_\_  
STREET NAME OR OTHER IDENTIFYING LANDMARK

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (C-12).  
**(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)**  
**(Zone Map MUST be provided with request)**



3. Financial Guaranty. The Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Irrevocable Letter of Credit and Agreement No. 167  
Amount: \$ 1,130,591.90 Name of Financial Institution or Surety  
providing Guaranty: New Mexico Bank and Trust  
Date City first able to call Guaranty:  
[Construction Completion Deadline]: May 12, 2008, 20  
If Guarantee other than a Bond, last day City able to call on Guaranty  
is: July 12, 2008, 20  
Additional information:

4. Completion, Acceptance and Termination. Upon completion of the required infrastructure, the Subdivider shall notify the City Engineer and the Design Review Section of Planning Department. After the City Engineer approves the construction, the City will promptly release this Agreement and the Financial Guaranty.

5. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officers, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

6. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

7. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has posted a suitable financial guaranty and entered into a Subdivision Improvements Agreement with the City. Thereafter, when the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

8. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

9. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

10. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

11. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

12. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

13. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

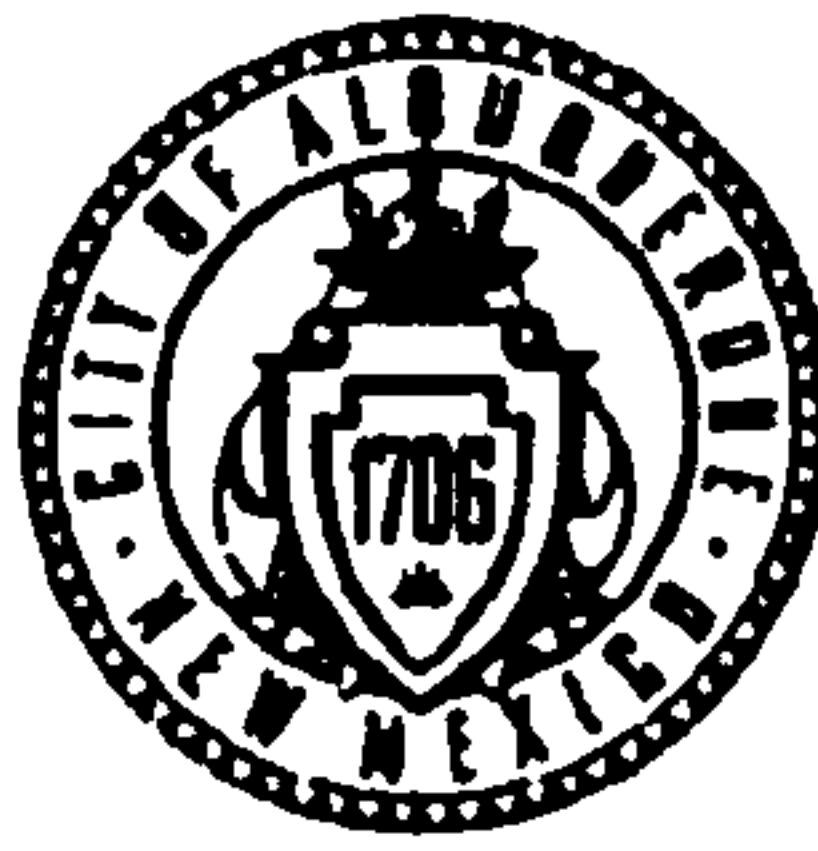
14. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

15. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the Subdivider and signed by the City's Legal Department on this form.

16. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.







City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: August 25, 2011

TO CONTACT NAME: Jason Shaffer
COMPANY/AGENCY: Fountain Hills Plaza LLC
ADDRESS/ZIP: PO Box 66897 871935
PHONE/FAX #: 280-5771 / 344-3992

Thank you for your inquiry of 8-25-11 (date) requesting the names of ALL Affected

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at lot A, B, C, E, F, G, H, I Fountain Hills Plaza Subdivision located between Paseo Del zone map page(s) C-12 Norte and Eagle Ranch Rd NW.

Our records indicate that the Affected Neighborhood and/or Homeowner Associations affected by this proposal and the contact names are as follows:

Table with 2 columns: Neighborhood or Homeowner Association, Contacts. Handwritten entry: All Attachment 'A'

See reverse side for additional Neighborhood and/or Homeowner Associations Information:

YES { } NO [X]

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely, Dalaina A. Carmona OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

# ATTACHMENT "A"

## DRB 8/25/11

## C-12

### **LAS TERRAZAS N.A. (LTZ) "R"**

**\*Jeffrey M. Heisel** e-mail: jheisel1@comcast.net  
8324 Calle Primera NW/87120 890-4550 (h)

**Website:** www.ltnaabq.org

**NA E-mail:** lasterrazasna@yahoo.com

**Council District:** 5  
**County District:** 1  
**Police Beat:** 621/NW  
**Zone Map #:** C-12

### **PARADISE HILLS CIVIC ASSOC. (PHC) "R"**

Tom Anderson e-mail: ta\_a@msn.com  
10013 Plunkett Dr. NW/87114 897-2593 (h)

**NA E-mail:** phcassoc@gmail.com

**Council District:** 5&County  
**County District:** 1  
**Police Beat:** 618/NW  
**Zone Map #:** A-C-9-13

### **PIEDRAS MARCADAS N.A. (PMC) "R"**

**\*Milt J. Davis** e-mail: furnreptoo@msn.com  
8623 Tia Christina NW/87114 400-7360 (c)  
Tony Paiz e-mail: lapaiz@comcast.net  
4905 Sherry Ann NW/87114 897-2006 (h)

**Website:** www.pmna.org

**Council District:** 5  
**County District:** 1  
**Police Beat:** 619/NW  
**Zone Map #:** B-12,C-12-13

### **RANCHO SERENO N.A. (RSO) "R"**

Debra Cox e-mail: debracox62@comcast.net  
8209 Rancho Paraiso NW/87120 792-0448 (h)  
Sander A. Rue e-mail: sanderrue@comcast.net  
7500 Rancho Solano Ct. NW/87120 301-0189 (c)

**Website:** www.abqrsna.com

**Council District:** 5  
**County District:** 1  
**Police Beat:** 621/NW  
**Zone Map #:** C-D-12-13

### **RICHLAND HILLS H.O.A. (RHH)**

**\*Sean Hellmann** e-mail: sean@nmelite.com  
8616 Hillshire NW/87114 453-3002 (h)  
Chris Roth e-mail: ceroth64@q.com  
8701 Silvercrest NW/87114 792-2816 (h)

**Council District:** 5  
**County District:** 1  
**Police Beat:** 619/NW  
**Zone Map #:** C-12

### **TAYLOR RANCH N.A. (TRN) "R"**

**\*David Waters** e-mail: barracuda@msn.com  
5601 La Colonia Dr. NW/87120 897-5771 (h)  
Rene Horvath e-mail: aboard10@juno.com  
5515 Palomino Dr. NW/87120 898-2114 (h)

**Website:** www.trna.org

**NA E-mail:** president@trna.org

**Council District:** 5  
**County District:** 1  
**Police Beat:** 626/NW  
**Zone Map:** C-F-11-14

**NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR  
NEIGHBORHOOD NOTIFICATION LETTERS**

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS** PRIOR TO FILING THE APPLICATION TO THE **PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

**WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:**

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.

**INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION**

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

\*\*\*\*\*

*(Below this line for ONC use only)*

Date of Inquiry: 8-25-11 Time Entered: 3:20pm ONC Rep. Initials: DE

7002 0990 0000 042E 8969

U.S. Postal Service  
CERTIFIED MAIL RECEIPT  
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$ CRU FG		
Certified Fee	2.85		
Return Receipt Fee (Endorsement Required)	AUG 26 2011		Postmark Here
Restricted Delivery Fee (Endorsement Required)			
Total Postage & Fees	\$ 5.80		

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 25, 2011

Jeffrey M. Heisel  
8324 Calle Primera NW  
Albuquerque, NM 87120

Sent To	JEFFREY M. HEISEL
Street, Apt. No.; or PO Box No.	8324 CALLE PRIMERA, NW
City, State, ZIP+4	ALBUQ., NM 87120

PS Form 3800, April 2002 See Reverse for Instructions

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480 and 1003445

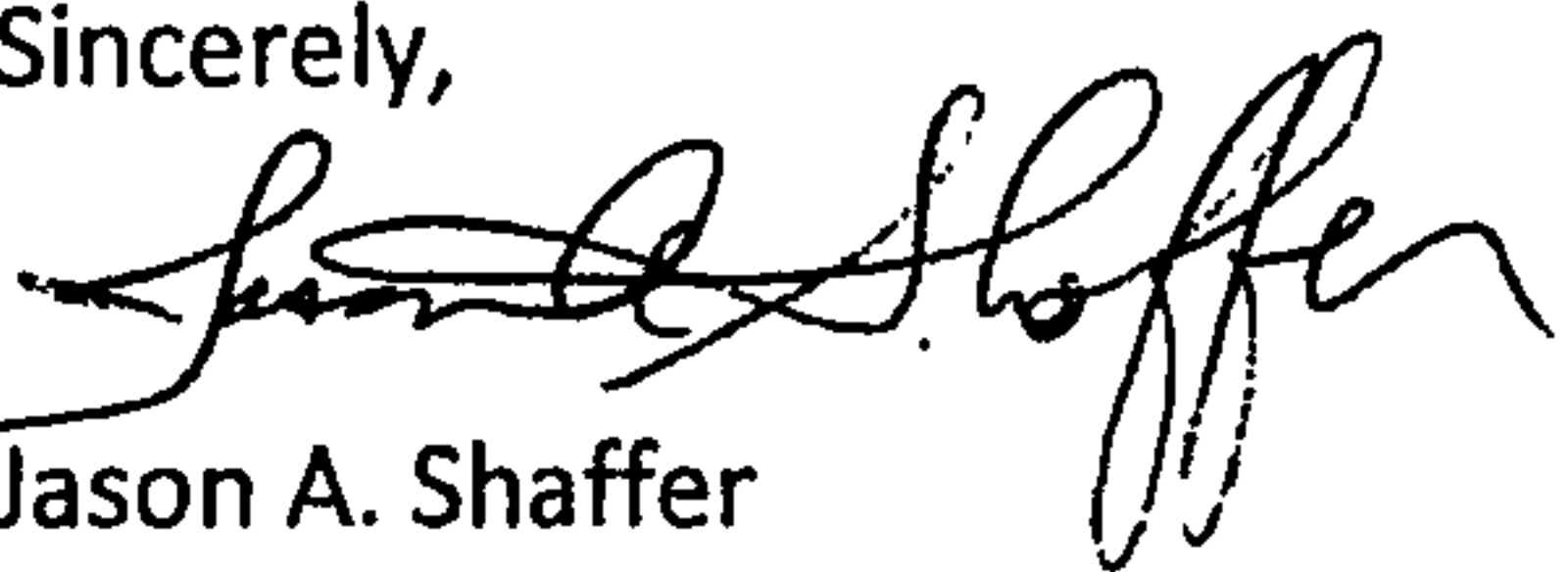
Dear Mr. Heisel:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Las Terrazas N.A. Neighborhood Association.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

  
 Jason A. Shaffer  
 Managing Member  
 Fountain Hills Plaza, LLC

enclosures

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
 (Domestic Mail Only, No Insurance Coverage Provided)

**OFFICIAL USE**

460E ESTE E000 0990 2002

Postage	PERFECTLY LEG	Postmark Here
Certified Fee	SPU 2-83	
Return Receipt Fee (Endorsement Required)	ALB 2.8011	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 5.50	

ALBUQUERQUE, NM 87109

Sent To: TOM ANDERSON

Street, Apt. No.; or PO Box No. 10013 PLUNKETT RD., NW

City, State, ZIP+4 ALBUQ., NM 87114

PS Form 3800, April 2002 See Reverse for Instructions

CERTIFIED MAIL  
 RETURN RECEIPT REQUESTED

August 25, 2011

Tom Anderson  
 10013 Plunkett Dr. NW  
 Albuquerque, NM 87114

RE: Subdivision Improvements Agreement Extension  
 Fountain Hills Plaza – COA Project #584480 and 1003445

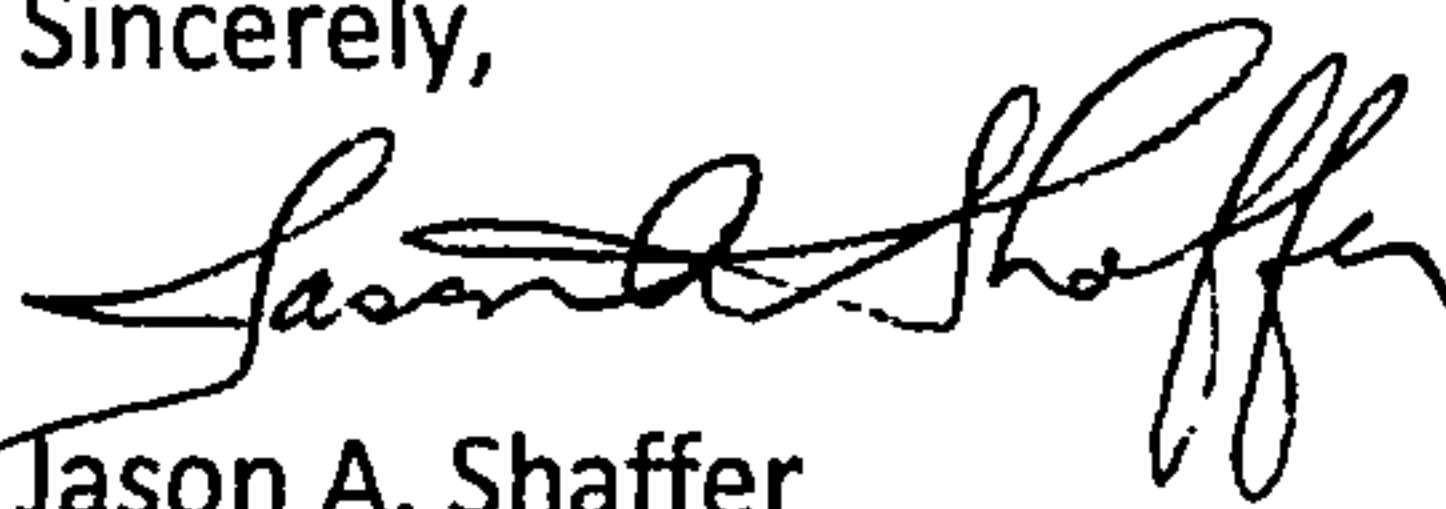
Dear Mr. Anderson:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Paradise Hills Civic Association.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

  
 Jason A. Shaffer  
 Managing Member  
 Fountain Hills Plaza, LLC

enclosures

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

**OFFICIAL USE**

Postage  
 Certified Fee  
 Return Receipt Fee (Endorsement Required)  
 Restricted Delivery Fee (Endorsement Required)  
 Total Postage & Fees

PERFECTLY LEGAL  
 AUG 28 2011  
 ALBUQUERQUE NM 87114

Postmark Here

Sent To  
 MILT DAVIS

Street, Apt. No.; or PO Box No.  
 8623 TIA CHRISTINA NW

City, State, ZIP+ 4  
 ALBUQ., NM 87114

PS Form 3800, April 2002 See Reverse for Instructions

CERTIFIED MAIL  
 RETURN RECEIPT REQUESTED

August 25, 2011

Milt J. Davis  
 8623 Tia Christina NW  
 Albuquerque, NM 87114

RE: Subdivision Improvements Agreement Extension  
 Fountain Hills Plaza – COA Project #584480 and 1003445

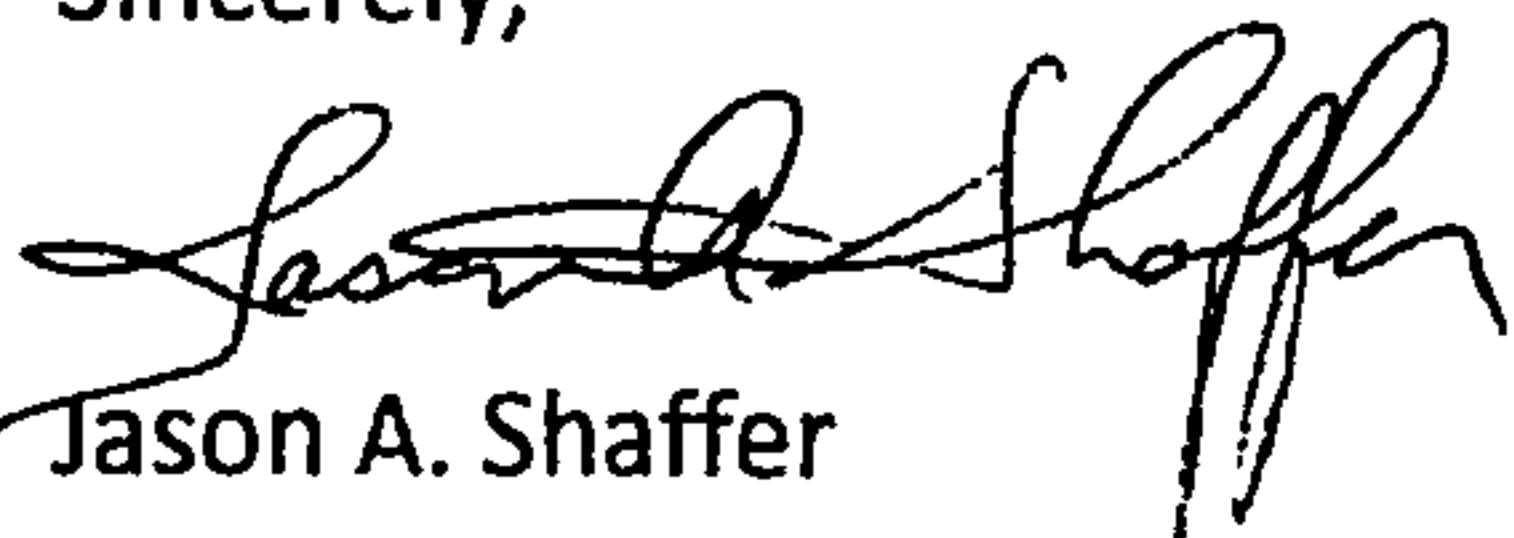
Dear Mr. Davis:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Piedras Marcadas N.A.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A. Shaffer  
 Managing Member  
 Fountain Hills Plaza, LLC

enclosures

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 25, 2011

Tony Paiz  
4905 Sherry Ann NW  
Albuquerque, NM 87114

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480 and 1003445

Dear Mr. Paiz:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Piedras Marcadas N.A.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A. Shaffer  
Managing Member  
Fountain Hills Plaza, LLC

enclosures

950E 305E 315E 325E 335E 345E 355E 365E 375E 385E 395E 405E 415E 425E 435E 445E 455E 465E 475E 485E 495E 505E 515E 525E 535E 545E 555E 565E 575E 585E 595E 605E 615E 625E 635E 645E 655E 665E 675E 685E 695E 705E 715E 725E 735E 745E 755E 765E 775E 785E 795E 805E 815E 825E 835E 845E 855E 865E 875E 885E 895E 905E 915E 925E 935E 945E 955E 965E 975E 985E 995E

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

**OFFICIAL USE**

Postage	\$		
Certified Fee			
Return Receipt Fee (Endorsement Required)			
Restricted Delivery Fee (Endorsement Required)			
Total Postage & Fees			

Postmark: AUG 26 2011

PERFECTLY LEGAL

ALBUQUERQUE, NM 87114

Sent To: TONY PAIZ

Street, Apt. No.; or PO Box No.: 4905 SHERRY ANN, NW

City, State, ZIP+4: ALBUQ., NM 87114

PS Form 3800, April 2002 See Reverse for Instructions

U.S. Postal Service  
CERTIFIED MAIL<sup>®</sup> RECEIPT  
(Domestic Mail Only, No Insurance Coverage Provided)

OFFICIAL USE

702 2002 0990 0000 ESTE 3063 E90E

Postage	\$ .44	Postmark Here	
Certified Fee			
Return Receipt Fee (Endorsement Required)	2.30		
Restricted Delivery Fee (Endorsement Required)			
Total Postage & Fees	\$ 3.54		

PERFECTLY LEGAL  
AUG 26 2011  
ALBUQUERQUE, NM 87120

Sent To: DEBRA COX  
Street, Apt. No.; or PO Box No.: 8209 RANCHO PARAISO, NW  
City, State, ZIP+4: ALBUQ., NM 87120

PS Form 3800, April 2002 See Reverse for Instructions

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 25, 2011

Debra Cox  
8209 Rancho Paraiso NW  
Albuquerque, NM 87120

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480 and 1003445

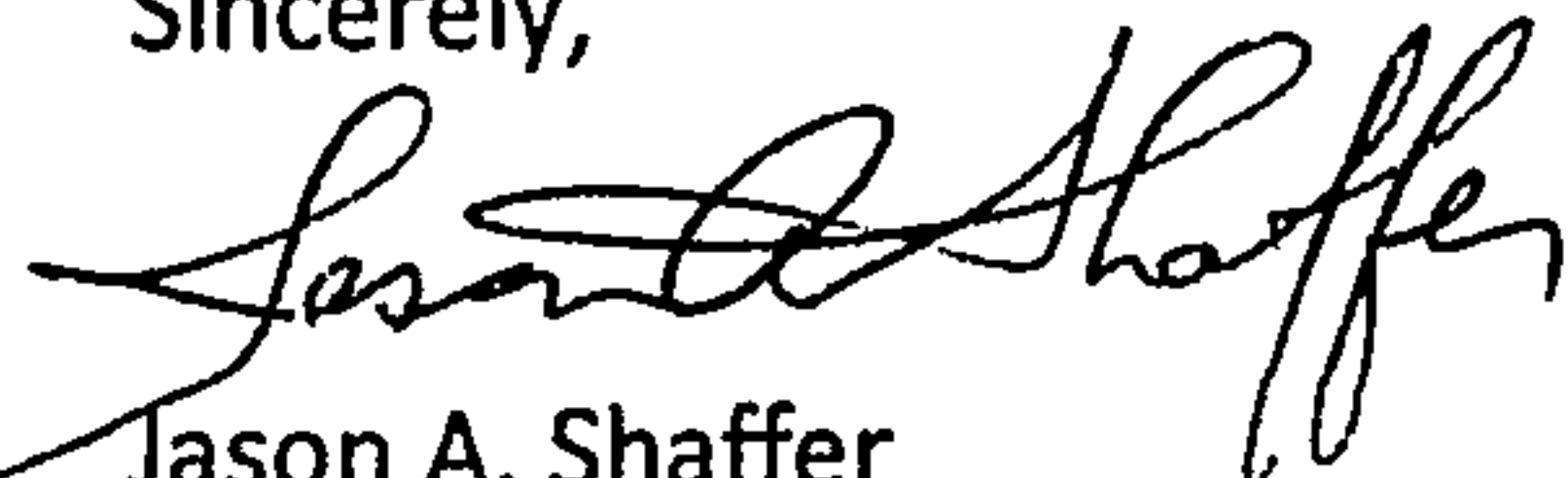
Dear Ms. Cox:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Rancho Sereno N.A.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A. Shaffer  
Managing Member  
Fountain Hills Plaza, LLC

enclosures



U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
 (Domestic Mail Only - No Insurance Coverage Provided)

**OFFICIAL USE**

Postage	2.85	
Certified Fee		
Return Receipt Fee (Endorsement Required)	AUG 30 2011	Mark Here
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees		

PERFECTLY ACCEPTED  
 ALBUQUERQUE, NM 87120

Sent To: SANDER A. RUE  
 Street, Apt. No., or PO Box No. 7500 RANCHO SOLANO, CT. NW  
 City, State, ZIP+4 ALBUQ. NM 87120

PS Form 3800, April 2002 See Reverse for Instructions

CERTIFIED MAIL  
 RETURN RECEIPT REQUESTED

August 25, 2011

Sander A. Rue  
 7500 Rancho Solano Ct. NW  
 Albuquerque, NM 87120

RE: Subdivision Improvements Agreement Extension  
 Fountain Hills Plaza – COA Project #584480 and 1003445

Dear Ms. Rue:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Rancho Sereno N.A.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

*Jason A. Shaffer*  
 Jason A. Shaffer  
 Managing Member  
 Fountain Hills Plaza, LLC

enclosures

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 25, 2011

Sean Hellmann  
8616 Hillshire NW  
Albuquerque, NM 87114

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480 and 1003445

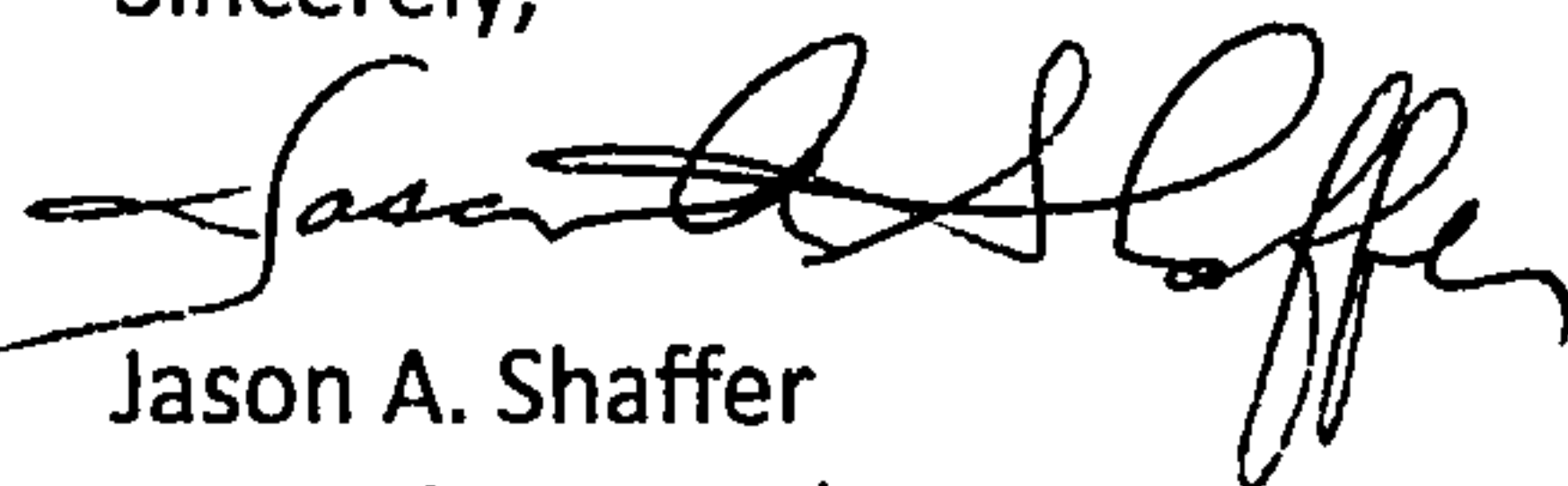
Dear Mr. Hellmann:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Richland Hills H.O.A.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A. Shaffer  
Managing Member  
Fountain Hills Plaza, LLC

enclosures

2906 ESTE E000 0990 2002

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

**OFFICIAL USE**

Postage	\$ 0.41	
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 5.59	

Postmark Here

PERFECTLY LEGAL  
AUG 26 '11

Sent To: SEAN HELLMANN  
ANN  
Street, Apt. No.; or PO Box No. 8616 HILLSHIRE, NW  
City, State, ZIP+ 4 ALBUQ., NM 87114

PS Form 3800, April 2002 See Reverse for Instructions

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 25, 2011

Chris Roth  
8701 Silvercrest NW  
Albuquerque, NM 87114

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480 and 1003445

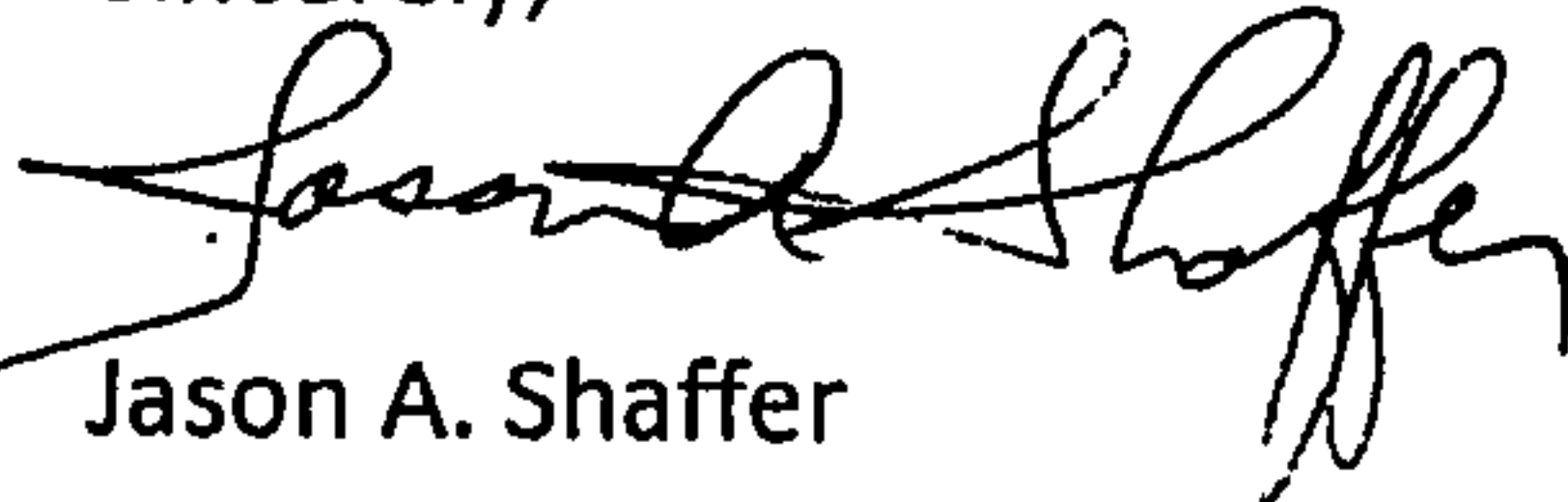
Dear Mr. Roth:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Richland Hills H.O.A.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A. Shaffer  
Managing Member  
Fountain Hills Plaza, LLC

enclosures

0001  
ESTR  
E000  
0990  
2002

U.S. Postal Ser  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

**OFFICIAL USE**

Postage	\$ .44	Postmark Here	
Certified Fee	PERFECTLY 2.38		
Return Receipt Fee (Endorsement Required)	AUG 26 2011		
Restricted Delivery Fee (Endorsement Required)	\$ 3.59		
<b>Total Postage &amp; Fees</b>			
<b>Sent To</b> CH ALBUQUERQUE, NM 87114			
<b>Street, Apt. No.; or PO Box No.</b> 8701 SILVERCREST, NW			
<b>City, State, ZIP+4</b> ALBUQ., NM 87114			
PS Form 3800, April 2002		See Reverse for Instructions	

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 25, 2011

David Waters  
5601 La Colonia Dr. NW  
Albuquerque, NM 87120

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480 and 1003445

Dear Mr. Waters:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Taylor Ranch N.A.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jason A. Shaffer  
Managing Member  
Fountain Hills Plaza, LLC

enclosures

7002 0860 0003 3153 3117

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

**OFFICIAL USE**

Postage	\$ 2.40	Postmark Here
Certified Fee	APR 28 2011	
Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 5.00	

PERFECTLY LEGAL

ALBUQUERQUE, NM 87120

Sent To **DAVID WATERS**

Street, Apt. No.; or PO Box No. **5601 LA COLONIA DR. NW**

City, State, ZIP+4 **ALBUQ., NM 87120**

PS Form 3800, April 2002 See Reverse for Instructions

09EE ESTE E000 0980 2002

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only) (No Insurance Coverage Provided)

**OFFICIAL USE**

Postage	\$ 2.30	Postmark	
Certified Fee	3.29		
Return Receipt Fee (Endorsement Required)			
Restricted Delivery Fee (Endorsement Required)			
Total Postage & Fees	\$ 5.59		

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

August 25, 2011

Rene Horvath  
5515 Palomino Dr. NW  
Albuquerque, NM 87120

Sent To **RENE HORVATH**

Street, Apt. No.;  
or PO Box No. **5515 PALOMINO DR, NW**

City, State, ZIP+ 4 **ALBUQ., NM 87120**

PS Form 3800, April 2002 See Reverse for Instructions

RE: Subdivision Improvements Agreement Extension  
Fountain Hills Plaza – COA Project #584480 and 1003445

Dear Ms. Horvath:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Taylor Ranch N.A.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the infrastructure improvements for the above referenced project. Phase I has been completed and accepted by the City of Albuquerque. Phase 2 Infrastructure has not yet been installed, due to the slow economic conditions and the resulting lack of end users in the development. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

Jason A. Shaffer  
Managing Member  
Fountain Hills Plaza, LLC

enclosures



## OFFICIAL NOTICE OF DECISION

### 3. Project # 1003445

05DRB-00724 Major-Vacation of Pub Right-of-Way

05DRB-00725 Major-Vacation of Public Easements

05DRB-00726 Minor-Prelim&Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for AMERICAN EAGLE L.P., c/o R. J. 3CHAEFER REALTY request(s) the above action(s) for all or a portion of Tract(s) B-1, C-1 & D-1, Lot(s) 6-A-1, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 PDA TO INCLUDE C-3 USES, located on NUNZIO AVE NW, between PARADISE BLVD NW and EAGLE RANCH RD NW containing approximately 27 acre(s). [REF: DRB-94-132, DRB-94-512, Z-83-89, 04DRB00751, 04DRB00752, 04DRB00753] (C-12)

At the May 25, 2005, Development Review Board meeting, the vacations were approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

#### FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

#### CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

The preliminary and final plat was approved with final sign off delegated to Planning for Property Management's signature and 15-day appeal period.

If you wish to appeal this decision, you must do so by June 9, 2005, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



**OFFICIAL NOTICE OF DECISION  
PAGE 2**

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Sheran Matson, AICP, DRB Chair

Cc: American Eagle L.P., c/o R.J. Schaefer Realty & Investments, P.O. Box 14708, 87191

Isaacson & Arfman PA, 128 Monroe St NE, 87108

Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.

Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg  
File

11-11-11

**ENGINEER'S OPINION OF PROBABLE COSTS  
FOUNTAIN HILLS  
Financial Guarantee**

Item No.	Short Description	Estimate Unit Price	Estimate Quantity	Estimate Amount
<b>PHASE 2 OFFSITE IMPROVEMENTS</b>				
<b>PARADISE BLVD/PRICKLY PEAR ST.</b>				
	TRAFFIC SIGNAL	\$150,000.00	1 EA	\$150,000.00
<b>SUBTOTAL FOR PARADISE BLVD/PRICKLY PEAR ST</b>				<b>\$150,000.00</b>
<b>PASEO DEL NORTE/RICHLAND HILLS/EAGLE RANCH</b>				
<b>PAVING</b>				
301.020	SUBGRADE PREP, 12"	\$1.69	3225 SY	\$5,450.25
302.xxx	8"ABS	\$13.63	3025 SY	\$41,230.75
336.024	RES ASP CONC, TYPE B, 2", M	\$9.87	400 SY	\$3,948.00
336.0xx	ART ASP CONC, TYPE A, 2", M	\$7.85	9075 SY	\$71,238.75
336.038	ART ASP CONC, TYPE A, 3", M	\$13.40	3025 SY	\$40,535.00
338.120	TK CT	\$0.29	6250 SY	\$1,812.50
340.025	WLCHR ACC RAMP, 4" PCC	\$1,508.70	2 EA	\$3,013.40
340.050	C & G, STD, PCC	\$16.77	1865 LF	\$31,276.05
340.060	C & G, MDN, PCC	\$18.62	500 LF	\$8,310.00
343.040	CONC PVMT, < 4", SAW, R&D	\$8.15	324 SY	\$1,992.60
343.080	CURB & GUT, PCC, R&D (MEDIAN)	\$7.53	520 LF	\$3,915.60
343.080	CURB, PCC, REM & DIS	\$4.90	1865 LF	\$9,138.50
Subtotal for Paving				\$221,861.40
<b>STRIPING AND SIGNAGE</b>				
441.001	REF PLAS MRK 4"	\$0.54	3302 LF	\$1,783.08
441.004	REF PLAS MRK 12"	\$4.03	205 LF	\$826.15
441.008	REF PLAS MRK 24"	\$6.86	92 LF	\$631.12
	ALM PNL SGN	\$20.98	23 SF	\$482.54
450.010	SQ TB POST ("ORNAMENTAL")	\$11.33	39 LF	\$441.87
440.011	REF PNT ARW LT	\$181.86	8 EA	\$1,454.88
441.xxx	REF PNT ARW TH	\$181.86	3 EA	\$545.58
440.010	REF PNT ARW RT	\$181.86	2 EA	\$363.72
441.013	REF PNT ARW TH & R	\$197.79	1 EA	\$197.79
440.020	REF PLAS WD ONLY	\$235.00	7 EA	\$1,645.00
443.101	REM PAV STRP	\$1.06	1975 LF	\$2,093.50
443.102	REM PAV ARR, SYM, WD	\$109.00	7 EA	\$763.00
Subtotal for Striping and Signage				\$11,228.23
<b>TRAFFIC SIGNAL</b>				
	RELOCATE TRAFFIC SIGNAL	\$40,000.00	1 LS	\$40,000.00
Subtotal for Traffic Signal				\$40,000.00
<b>GRADING</b>				
	GRADING (INCLUDES ANY NECESSARY IMPORT)	\$11,000.00	1 LS	\$11,000.00
Subtotal for Grading				\$11,000.00
<b>MISC.</b>				



Current DRC  
Project No. \_\_\_\_\_

**ORIGINAL**

Figure 12  
**INFRASTRUCTURE LIST**

EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST  
FOUNTAIN HILLS

Date Submitted: June 5, 2007  
Date Site Plan Approved: N/A  
Date Preliminary Plat Approved: 6-20-07  
Date Preliminary Plat Expires: 6-20-08

DRC Project No. 1003445  
APY # 07DRB-70054

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantee. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
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PHASE 1 INFRASTRUCTURE IMPROVEMENTS

PHASE 1 OFFSITE PUBLIC ROADWAY IMPROVEMENTS

B-1	584480	30' F-F 18' MEDIAN	ARTERIAL PAVEMENT W/ MEDIAN & STD. CURB & GUTTER W/ 6' SIDEWALK ON SOUTHSIDE	PARADISE BLVD	WEST PROPERTY BOUNDARY	EAST PROPERTY BOUNDARY	/	/	/
B-1	584480	30' WIDE	4' TEMPORARY ASPHALT	PARADISE BLVD EASTBOUND LANE	DAVENPORT ST	WEST PROPERTY BOUNDARY	/	/	/
B-1	584480	30' WIDE	4' TEMPORARY ASPHALT	PARADISE BLVD EASTBOUND LANE	EAST PROPERTY LINE	EXISTING MINI STORAGE UNIT WEST PROPERTY LINE	/	/	/
		NOTE:	STREET LIGHTS AS PER COA DPM						
		NOTE:	LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETScape AGREEMENT. A FINANCIAL GUARANTY IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY						

PHASE 1 ONSITE PUBLIC ROADWAY IMPROVEMENTS

B-1	584480	40' F-F	PAVEMENT W/ PCC CURB & GUTTER & PCC 6' WIDE SIDEWALK ON BOTH SIDES	NUNZIO AVE	EAGLE RANCH RD	VISTA FUENTE ROAD	/	/	/
B-1	584480	VARIES 24' F-F MIN - 48' F-F MAX	PAVEMENT W/ PCC CURB & GUTTER & PCC 6' WIDE SIDEWALK ON EAST SIDE	NUNZIO AVE EAST HALF OF ROADWAY	VISTA FUENTE ROAD	PARADISE BLVD	/	/	/
B-1	584480		ROUNDAABOUT	NUNZIO AVE	VISTA FUENTE	NUNZIO AVE	/	/	/
		NOTE:	STREET LIGHTS AS PER COA DPM						
		NOTE:	LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETScape AGREEMENT. A FINANCIAL GUARANTY IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY						

SEA Sequence #	CGA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
<b>PHASE 1 PUBLIC SANITARY SEWER IMPROVEMENTS</b> <i>NMUI</i>									
		8" DIA	SANITARY SEWER LINE W/ NEC. MYS & SERVICES	NUNZO AVE	EAGLE RANCH RD	PARADISE BLVD	/	/	/
		8" DIA	SANITARY SEWER LINE W/ NEC. MYS & SERVICES	VISTA FUENTE ROAD	140' SOUTHWEST OF INTERSECTION OF VISTA FUENTE ROAD & NUNZO AVE	NUNZO AVE	/	/	/
<b>PHASE 1 PUBLIC WATERLINE IMPROVEMENTS</b> <i>NMUI</i>									
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MYS & RJS	NUNZO AVE	EAGLE RANCH RD	PARADISE BLVD	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FHS, MYS & RJS	VISTA FUENTE ROAD	EDUCATION PLACE	NUNZO AVE	/	/	/
<b>PHASE 1 PUBLIC STORM DRAIN IMPROVEMENTS</b>									
<i>B-1</i>	<i>584480</i>	18"-42" DIA	RCP W/ NEC. MYS, LATERALS, & INLETS	NUNZO AVE	PARADISE BLVD	EXISTING LOT 8-A-1	/	/	/
<i>B-1</i>	<i>584480</i>	18"-30" DIA	RCP W/ NEC. MYS, LATERALS, & INLETS	VISTA FUENTE ROAD	EDUCATION PLACE	NUNZO AVE	/	/	/
<i>B-1</i>	<i>584480</i>	24" DIA	RCP W/ NEC. MYS, LATERALS, & INLETS	TRACT 8-A-1	TRACT D	DETENTION POND	/	/	/
<i>B-1</i>	<i>584480</i>	2.5 AC-FT	DETENTION POND	EXISTING LOT 8-A-1			/	/	/
<b>PHASE 2 INFRASTRUCTURE IMPROVEMENTS</b>									
<b>PHASE 2 OFFITE PUBLIC ROADWAY IMPROVEMENTS</b>									
<i>MB-1</i>	<i>584480</i>		TRAFFIC SIGNAL	PARADISE BLVD/ PRICKLY PEAR ST			/	/	/
<i>MB-1</i>	<i>584480</i>	12' WIDE	ADD 2ND LEFT TURN ARTERIAL PAVEMENT W/ PCC CURB & GUTTER	PASEO DEL NORTE EAST BOUND LANE		RICHLAND HILLS RD	/	/	/
<i>MB-1</i>	<i>584480</i>	12' WIDE	ADD RIGHT TURN LANE ARTERIAL PAVEMENT W/ PCC CURB & GUTTER	RICHLAND HILLS RD SOUTHBOUND LANE		PASEO DEL NORTE	/	/	/
<i>MB-1</i>	<i>584480</i>	12' WIDE	ADD RIGHT TURN LANE ARTERIAL PAVEMENT	PASEO DEL NORTE WESTBOUND LANE	RICHLAND HILLS RD	150' EAST OF RICHLAND HILLS EAST CURB & GUTTER	/	/	/
<i>MB-1</i>	<i>584480</i>	10' WIDE	TRAIL	PASEO DEL NORTE	WEST PROPERTY LINE	EAGLE RANCH RD	/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
MB-1	584480	12' WIDE	ADD 2ND LEFT TURN LANE ARTERIAL PAVEMENT W/ PCC CURB & GUTTER (ADD'L WIDTH TO BE TAKEN FROM MEDIAN)	PASEO DEL NORTE EAST BOUND LANE		EAGLE RANCH RD	/	/	/
MB-1		11' WIDE	ADD THIRD THRU LANE - STRIPING MODIFICATION ONLY	PASEO DEL NORTE EAST BOUND LANE	WEST OF EAGLE RANCH	EAST OF EAGLE RANCH	/	/	/
		12' WIDE	ADD THIRD THRU LANE - STRIPING MODIFICATION ONLY	PASEO DEL NORTE WEST BOUND LANE	BEGINNING FREE RIGHT	EAGLE RANCH RD	/	/	/
		12' WIDE	ADD THIRD THRU LANE ARTERIAL PAVEMENT W/ PCC CURB & GUTTER & 6' BIKE LANE	PASEO DEL NORTE WEST BOUND LANE	EAGLE RANCH RD	<b>RICHARD FOUNTAIN HILLS WEST BOUNDARY</b>	/	/	/
		12' WIDE	ADD LEFT TURN LANE (DONE W/ COSTCO) NO FINANCIAL GUARANTEE REQUIRED	COORS BLVD NORTHBOUND		EAGLE RANCH RD	/	/	/
		8' WIDE	BIKE LANE W/ PCC CURB & GUTTER W/ 6' SIDEWALK	EAGLE RANCH ROAD	SOUTH BOUNDARY TRACT 10-A-1	PASEO DEL NORTE	/	/	/

**PHASE 2 ON-SITE PUBLIC ROADWAY IMPROVEMENTS**

MB-1	584480	40' F-F	RESIDENTIAL PAVEMENT W/ PCC CURB & GUTTER & PCC 8' WIDE SIDEWALK ON BOTH SIDES	VISTA FUENTE ROAD	EDUCATION PLACE	MUNDO AVE	/	/	/
		VARIES 20' MIN	RESIDENTIAL PAVEMENT W/ PCC CURB & GUTTER & PCC 8' WIDE SIDEWALK ON WEST SIDE	MUNDO AVE WEST HALF OF ROADWAY	VISTA FUENTE ROAD	PARADISE BLVD	/	/	/
		NOTE:	STREET LIGHTS AS PER COA DPM						
		NOTE:	LANDSCAPING WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED IN ACCORDANCE WITH AN APPROVED STREETSCAPE AGREEMENT. A FINANCIAL GUARANTY IS NOT REQUIRED FOR LANDSCAPING WITHIN PUBLIC RIGHT OF WAY.						

BRUCE STIDWORTHY, PE 08/06/07 *[Signature]* 6/20/07 *[Signature]* Christina Sandoval 6/20/07  
 PREPARED BY, PRINT NAME DATE DRB CHAIR DATE PARKS & GENERAL SERVICES DATE

BOHANNAN HUSTON INC 6-20-07 AMAFCA DATE  
 FIRM TRANSPORTATION DEVELOPMENT DATE

*[Signature]* 6/20/07 *[Signature]* 6/20/07 *[Signature]* 6/20/07  
 SIGNATURE DATE UTILITY DEVELOPMENT DATE CITY ENGINEER DATE

MAXIMUM TIME ALLOW TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION *[Signature]* 6-19-07 DATE

DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT/OWNER



EXHIBIT "A"

**OFFICIAL NOTICE OF DECISION**

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD**

August 19, 2009

**Project# 1003445  
09DRB-70238 MAJOR - 1 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS  
AGREEMENT  
(2YR SIA)**

At the August 19, 2009 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by September 3, 2009, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, AICP, DRB Chair

Cc: Bohannon Huston, Inc. - 7500 Jefferson St. - Albuquerque, NM 87109  
Cc: Dwayne Pino - P.O. Box 56883 - Albuquerque, NM 87187  
Marilyn Maldonado  
File

11/11/07

**ENGINEER'S OPINION OF PROBABLE COSTS  
FOUNTAIN HILLS  
Financial Guarantee**

Item No.	Short Description	Estimate Unit Price	Estimate Quantity	Estimate Amount
6.				
201.160	EROSION CONTROL (SWPPP IMPLEMENTATION)	\$3,000.00	1 LS	\$3,000.00
	TRAFFIC CONTROL	\$15,000.00	1 LS	\$15,000.00
	Subtotal for Misc.			\$18,000.00
<b>SUBTOTAL FOR PASEO DEL NORTE/RICHLAND HILLS/EAGLE RANCH</b>				<b>\$302,089.63</b>
<b>SUBTOTAL FOR PHASE 2 OFFSITE IMPROVEMENTS</b>				<b>\$152,089.63</b>
<b>PHASE 2 ONSITE IMPROVEMENTS</b>				
<b>PAVING</b>				
301.020	SUBGRADE PREP, 12"	\$1.69	5117 SY	\$8,647.73
302.010	6" ABS	\$6.69	5117 SY	\$34,232.73
336.036	ART ASP CONC, TYPE A, 2-1/2", M	\$10.37	10234 SY	\$106,126.58
336.120	TK CT	\$0.29	5117 SY	\$1,483.93
340.010	SDWK, 4", PCC	\$33.62	1444 SY	\$48,547.28
340.025	WLCHR ACC RAMP, 4" PCC	\$1,506.70	4 EA	\$8,028.80
340.030	VLY GUT & CURB, PCC	\$60.67	67 SY	\$4,064.89
340.050	C & G, STD, PCC	\$16.77	2166 LF	\$36,323.82
340.060	C & G, MDN, PCC	\$16.62	530 LF	\$8,808.60
346.100	TXT PVMT, 4", CLOR, PCC	\$11.42	182 SY	\$2,078.44
	Subtotal for Paving			\$256,340.80
<b>SUBTOTAL FOR PHASE 2 ONSITE IMPROVEMENTS</b>				<b>\$256,340.80</b>
<b>PHASE 2 TOTAL</b>				<b>\$708,430.43</b>

**ASSUMPTIONS:**

1. UNIT PRICES ARE AN AVERAGE OF CONTRACTOR UNIT PRICES COLLECTED BY BHI. IF A UNIT PRICE IS UNAVAILABLE, THE 1998 COA UNIT PRICE + 40% IS USED

2. THE ASSUMED PAVEMENT SECTION IS:

<u>PASEO DEL NORTE</u>	<u>RICHLAND HILLS</u>	<u>FOUNTAIN HILLS BLVD/ PARKWAY</u>
12" SUBGRADE PREP	12" SUBGRADE PREP	12" SUBGRADE PREP
8" AGGREGATE BASE COURSE	2-2" LIFTS OF RESIDENTIAL ASPHALT	6" AGGREGATE BASE COARSE
1-2" LIFTS OF ARTERIAL ASPHALT		2-2 1/2" LIFTS OF ARTERIAL ASPHALT
1-3" LIFTS OF ARTERIAL ASPHALT		
1-4" LIFTS OF ARTERIAL ASPHALT		

3. GRADING BASED ON NEW AREA OF PAVEMENT AT 1' CUT

4. THIS IS A PRELIMINARY ESTIMATE COMPLETED WITHOUT A FINAL DESIGN, ESTIMATE IS BASED ON RECCOMENDATIONS OF THE TRAFFIC STUDY

5. THIS ESTIMATE WAS PREPARED TO ESTIMATE THE FINANCIAL GUARANTEE AMOUNT. NO SOFT COST OR CONTINGENCIES ARE INCLUDED.

**This estimate of construction cost is only an opinion. BHI cannot and does not guarantee that proposals, bids, or actual Construction Costs will not vary from this opinion**