

GENERAL SHEET NOTES

1. THESE PLANS HAVE BEEN DEVELOPED BASED ON THE GUIDELINES ESTABLISHED IN THE SUBDIVISION PLAN FOR FOUNTAIN HILLS PLAZA DATED SEPT 4, 2007.
1. THIS SUBMITTAL ILLUSTRATES THE DESIGN INTENT FOR A NEW HOTEL TO BE CONSTRUCTED ON TRACT D OF THE SHERATON OLD TOWN INN COMPLEX (#1000318), ALONG WITH ASSOCIATED SITE, LANDSCAPE, GRADING, AND UTILITIES IMPROVEMENTS.
2. IN A SEPARATE EPC SUBMITTAL, TRACT D WILL BE REMOVED FROM THE OVERALL SITE DEVELOPMENT PLAN ASSOCIATED WITH THE EXISTING HOTEL ALBUQUERQUE. THE PRIMARY REASON FOR REMOVING TRACT D IS TO ESTABLISH SEPARATE ZONING THAT IS MORE ALIGNED WITH THE NEW HOTEL OBJECTIVES.
3. SEE SHEET SDP-1.2 FOR NEW DESIGN STANDARDS THAT WILL APPLY TO TRACT D.
4. IT IS ANTICIPATED THAT THERE WILL BE A SHARED PARKING AGREEMENT BETWEEN THE EXISTING HOTEL (TRACTS A & B) AND TRACT D TO SUPPORT PARKING DEMAND FOR THE NEW HOTEL BEYOND WHAT IS PROVIDED ON THE TRACT.
5. PHASES OF DEVELOPMENT: THE PROPOSED MODIFICATIONS TO THE POOL AREA WILL BE MADE IN A FUTURE PHASE. SEE PHASING DIAGRAM ON SDP-1.2.
6. COURTYARD WALL (KEYNOTE #33) MAY NOT BE ONE CONTINUOUS MATERIAL. BREAKS WITH OTHER MATERIALS OR ARTISTIC ELEMENTS MAY BE INCORPORATED.
7. SITE LIGHTING SHALL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED LIGHT FIXTURES. SEE PLAN FOR POLE LOCATIONS.
8. MECHANICAL AND ELECTRICAL EQUIPMENT WILL BE SCREENED FROM VIEW WITHIN THE ENCLOSED SERVICE YARD AREA. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF EQUIPMENT DOOR, AND 5'-0" OF CLEARANCE ON REMAINING THREE SIDES.

SHEET KEYED NOTES

1. NEW TURN LANE
2. LANDSCAPE AREA
3. PEDESTRIAN PATHWAY
4. NEW CURB CUT
5. BUILDING SETBACK MINIMUM
6. BUILDING SETBACK MAXIMUM
7. EXISTING RETENTION POND
8. PATIENT DROP-OFF
9. FREESTANDING MONUMENT SIGN
10. PARKING SETBACK
11. DUMPSTER ENCLOSURE
12. PROPERTY LINE
13. CROSSWALK
14. MOTORCYCLE PARKING
15. BIKE RACKS
16. DIRECTORY SIGN
17. SITE BENCH

LEGEND

- PROPERTY LINE
- - - EXISTING EASEMENT (ALL EASEMENTS ARE EXISTING)
- ▬ RETAINING WALL
- ▬ 36" PARKING SCREEN WALLS
- ▬ 72" PLAZA WALLS
- ▬ 42" GUARD RAILS
- ▬ 6'-0" WIDE CONCRETE CROSSWALK
- ▬ SIDEWALK RAMP (ARROW POINTS DOWN)
- 20'-0" POLE LIGHT, FULL CUT-OFF WITH (2) LED LIGHT ENGINES
- ▬ FIRE DEPARTMENT ACCESS PATH
- FIRE HYDRANT (2 NEW AND 4 EXISTING)

PROJECT NUMBER: 1000318

APPLICATION NUMBER: DRB Site Development Plan-Building Permit

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
FIRE MARSHALL	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

PROJECT DATA

BUILDING AREA
 PHASE 1: 25,762 SF (INCLUDING TRICORE AREA 3,505 SF)
 PHASE 2: 9,050 SF

FULL BUILD OUT AREA: 34,812 SF

CONSTRUCTION TYPE: IIB
 OCCUPANCY TYPE: B

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

PARKING CALCULATIONS

PARKING PROVIDED PER PROVIDER. CLINICAL PROVIDERS INCLUDE: DOCTORS OF MEDICINE, MEDICAL/PHYSICIAN ASSISTANTS, NURSE PRACTITIONERS, PHLEBOTOMISTS OR LAB TECHNICIANS, NUTRITIONISTS AND BEHAVIOR HEALTH PROFESSIONALS.

SPACE	ALL STAFF		EXAM ROOMS		PROVIDERS	
	PHASE 1	PHASE 2	PHASE 1	PHASE 2	PHASE 1	PHASE 2
PRIMARY CARE	34	55	26	49	15	25
URGENT CARE	10	12	15	15	8	8
TRICORE LABS	13	13	10	10	5	5
TOTAL	57	80	51	74	28	38

BASIC PARKING
 PHASE 1
 28 PROVIDERS AT 5 SPACES/ PROVIDER = 140 SPACES
 +10% = 154 SPACES
 TOTAL MAX PARKING PHASE 1 = 154 SPACES

FULL BUILD OUT
 38 PROVIDERS AT 5 SPACES/ PROVIDER = 190 SPACES
 +10% = 209 SPACES
 TOTAL MAX PARKING FULL BUILD OUT = 209 SPACES

ACCESSIBLE PARKING:
 PHASE 1: 154 SPACES, 10% (16) REQUIRED
 16 SPACES PROVIDED: 12 ACCESSIBLE SPACES / 4 VAN SPACES

FULL BUILD OUT = TOTAL 208 SPACES, 10% (21) REQUIRED
 21 SPACES PROVIDED: 17 ACCESSIBLE SPACES / 4 VAN SPACES

MOTORCYCLE SPACES
 5 REQUIRED FOR 151-300 SPACES (BOTH PHASE ONE AND FULL BUILD OUT)
 5 PROVIDED AT PHASE ONE

BICYCLE PARKING
 1 PER 20 PARKING SPACES REQUIRED FOR AUTOMOBILES.
 208 SPACES AT FULL BUILD OUT = 11 BICYCLE SPACES REQUIRED AT FULL BUILD OUT
 12 PROVIDED AT PHASE ONE



7601 JEFFERSON NE, SUITE 100
 ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

PROJECT: 1003445
 DATE: 7-22-15
 APP: 15-10235(SBP)

PRESBYTERIAN PARADISE CLINIC
 4588 PARADISE BLVD
 ALBUQUERQUE, NM

REVISIONS

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△	
△	

DRAWN BY
 REVIEWED BY
 DATE: 06/25/2015
 PROJECT NO.: 15-0028
 DRAWING NAME: SITE PLAN

SHEET NO.
SDP-1.1
 OF

SHEET KEYED NOTES

- 3'-0" TALL SCREEN WALL
- URBAN PLAZA PEDESTRIAN AMENITY
- PHASE TWO LIMITS
- CLEAR SITE TRIANGLE
- METAL SITE FURNISHINGS
- EXISTING EASEMENT
- EXISTING TREE TO BE REMOVED
- PROPOSED PONDING AREA, SEE CIVIL

PLANTING NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE INSTALLATION DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: GENERAL LANDSCAPE REGULATIONS SECTION 14-16-3-10: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS APPLICABLE TO NON-RESIDENTIAL DEVELOPMENT.
- EXISTING PLANT MATERIALS: THE PLANT MATERIAL ON THE MAJORITY OF THE PROPERTY WILL NOT BE AFFECTED BY THE PROPOSED CHANGES TO TRACT XX. A FEW TREES WILL NEED TO BE REMOVED TO ACCOMMODATE THE NEW DESIGN. THESE TREES WILL BE REPLACED BY NEW STREET TREES.
- STREET TREE PLAN: STREET TREES ARE PLANTED 25' ON CENTER OR LESS AS INDICATED ON THE PLANS. STREET TREES WILL BE PLANTED IN A CONTINUOUS TREE TRENCH IN ORDER TO MAXIMIZE THE AMOUNT OF SPACE AVAILABLE FOR TREE ROOT GROWTH. STREET TREE PLACEMENT HAS BEEN COORDINATED WITH ON-STREET PARKING STRIPING IN ORDER TO ALLOW EASY ACCESS TO THE SIDEWALK AND TO PROTECT THE TREES.
- TURF AREA: GRASS TURF AREAS ARE NOT INCLUDED IN THIS PLAN.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE BUILDING OCCUPANCY. LANDSCAPE IMPROVEMENTS WILL BE PHASED IN ASSOCIATION WITH THE PHASED SITE DEVELOPMENT INDICATED.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION, MULCH OR SEED.
- VEGETATION: A MINIMUM OF 40% OF INSTALLED SHRUBS, PLANT AND ORNAMENTAL GRASSES WILL BE EVERGREEN IN ORDER TO PROVIDE SIGNIFICANT WINTER INTEREST AND VISUAL IMPACT.
- WATER HARVESTING: PASSIVE AND ACTIVE WATER HARVESTING ZONES ARE INDICATED ON THE PLANS. SEE IRRIGATION NOTES.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 4' AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

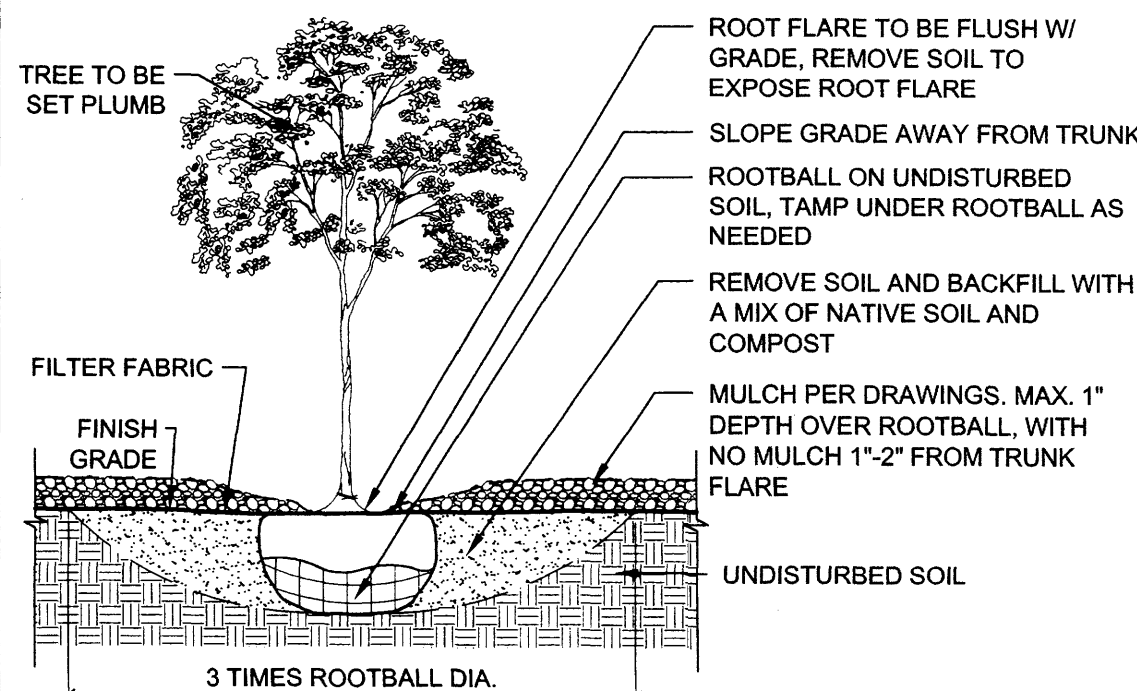
IRRIGATION NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE IRRIGATION INSTALLATION DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATE OF COMPLIANCE WITH WATER CONSERVATION REGULATIONS: THE IRRIGATION DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- IRRIGATION DESIGN DESCRIPTION: A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE PLANTS IN THE PROJECT AREA. IRRIGATION MAY BE DESIGNED IN PART OR IN TOTAL AS AN EXTENSION OF THE EXISTING IRRIGATION SYSTEM FOR THE EXISTING HOTEL. THE IRRIGATION SYSTEM WILL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO WATER REQUIREMENTS. ON AVERAGE, EACH TREE SHALL RECEIVE THREE (3) - TWO (2) GPH EMITTERS EACH AND ALL OTHER PLANT MATERIAL SHALL RECEIVE TWO (2) - ONE (1) GPH EMITTERS EACH.
- WATER SOURCE AND PROTECTION: THE WATER SOURCE FOR PROJECT IRRIGATION WILL BE CITY WATER. IF THE EXISTING IRRIGATION SYSTEM DESIGN IS INSUFFICIENT TO ACCOMMODATE THE LANDSCAPING FOR THE NEW HOTEL, IRRIGATION WATER SUPPLY WILL BE PROVIDED OFF OF THE HOTEL DOMESTIC SUPPLY LINE. A NEW BACKFLOW PREVENTER AND MASTER VALVE WILL BE PROVIDED PER COA STANDARD DETAIL 2701.
- WATER HARVESTING: PASSIVE AND ACTIVE WATER HARVESTING ZONES ARE INDICATED ON THE ENLARGEMENT PLANS PLANS (SEE SHEET SDP-2.2). THE NEW HOTEL WILL DIRECT ROOF STORMWATER TO CISTERNS IN ORDER TO MANAGE OFF-SITE STORMWATER FLOWS. THE WATER IN THE CISTERNS WILL BE USED FOR IRRIGATION PURPOSES IN ORDER TO REDUCE POTABLE WATER USE FOR IRRIGATION.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 5.13 AC = 223,496 SF
 AREA OF LOT COVERED BY BUILDING (AT FULL BUILD-OUT) = 34,812 SF
 NET LOT AREA = 188,684 SF
 REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 28,303 SF
 PROVIDED LANDSCAPE AREA (AT FULL BUILD-OUT) = 77,960 SF = 41.3%
 LANDSCAPE AREA CALCULATION DOES NOT INCLUDE R.O.W.
 THERE IS NO HIGH WATER USE TURF GRASS ON THIS PROJECT
 TREES PER PARKING SPACES - REQUIRED = 1 TREE / 10 PARKING SPACES
 NUMBER OF PARKING = 209 (AT FULL BUILD-OUT)
 REQUIRED NUMBER OF TREES = 21 TREES
 PROVIDED NUMBER OF TREES = 39 TREES

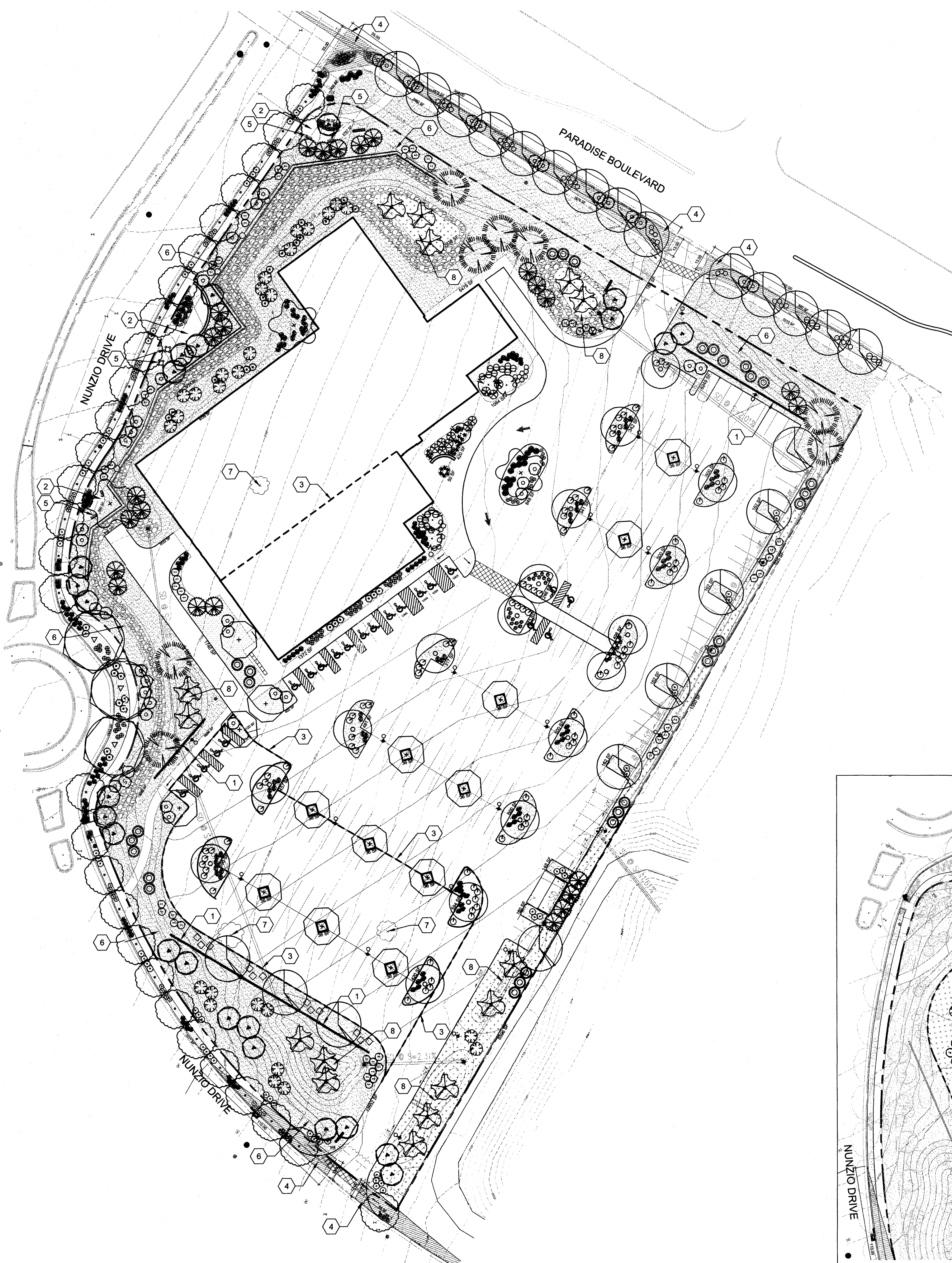
- NOTES:
- PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL.
 - BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING



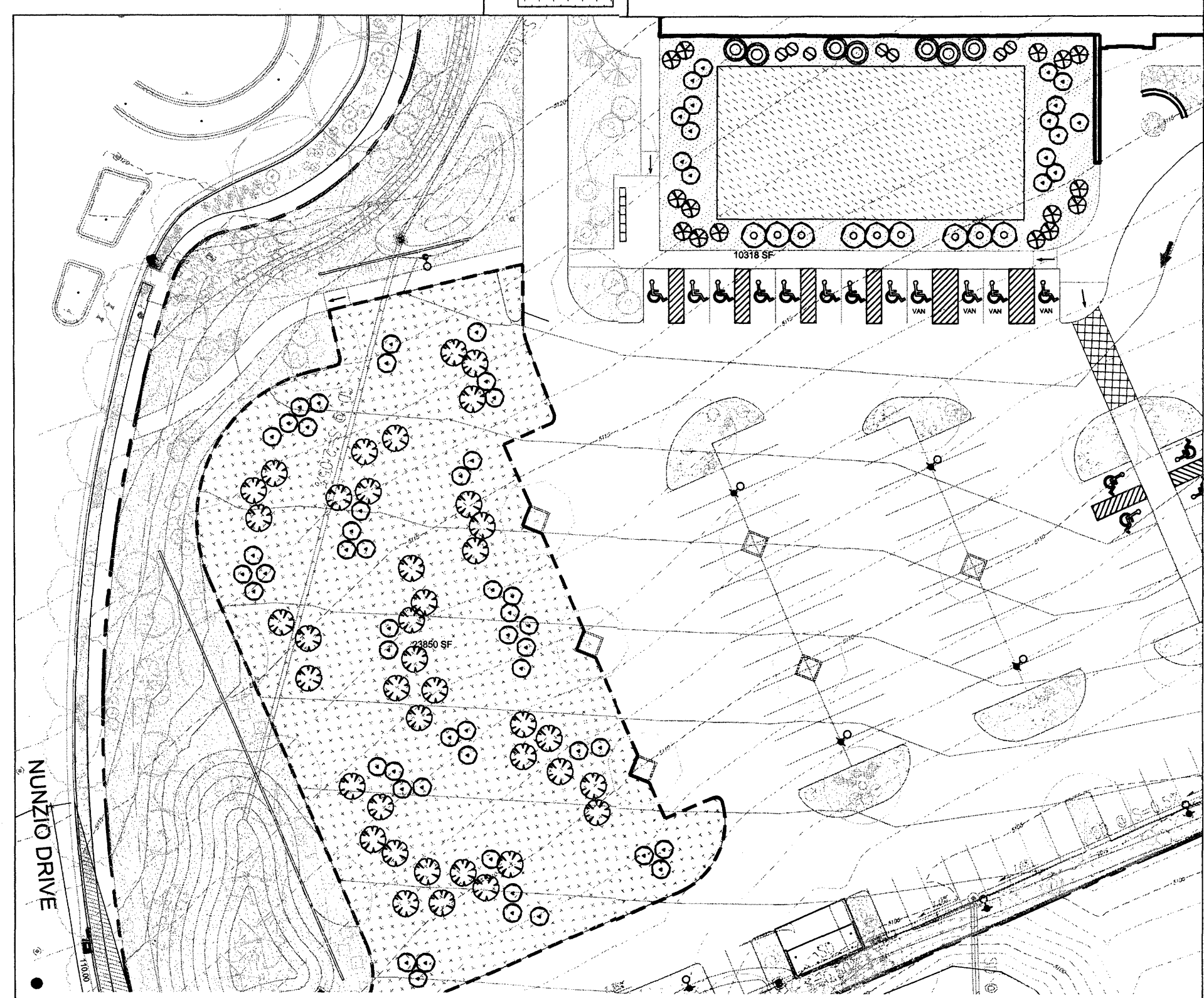
A5 TREE
3/4" = 1'-0"

PLANTING LEGEND

SYMBOL	COMMON NAME	SCIENTIFIC NAME
TREES - SEE A5/SDP 2.1		
	BUBBA DESERT WILLOW	Chilopsis linearis 'Bubba'
	LEYLAND CYPRESS	Cupressocyparis leylandii
	NEW MEXICO OLIVE	Forestiera neomexicana
	RAYWOOD ASH	Fraxinus oxycarpa 'Raywood'
	MODESTO ASH	Fraxinus velutina 'Modesto'
	GOLDENRAIN TREE	Koeleruteria paniculata
	AFGHAN PINE	Pinus eldarica
	ARISTOCRAT PEAR	Pyrus calleryana 'Aristocrat'
	ESCARPMENT LIVE OAK	Quercus fusiformis
	MEXICAN ELDER	Sambucus mexicana
	FRONTIER ELM	Ulmus 'Frontier'
SHRUB		
	THOMPSON BROOM	Baccharis hybrid 'Starn Thompson'
	BLUE MIST SPIRAEA	Caryopteris clandonensis 'Dark Knight'
	MOUNTAIN MAHOGANY	Cercocarpus montanus
	DAMIANITA	Chrysantha mexicana
	RED CLUSTERBERRY	Cotoneaster parneyi
	BAILEY'S REDTWIG DOGWOOD	Cornus sericea 'Bailey'
	PURPLE ROCK ROSE	Cistus x purpureus
	CHAMISA	Ericameria nauseosa
	APACHE PLUME	Fallugia paradoxa
	BUFFALO JUNIPER	Juniperus sabina 'Buffalo'
	DWARF FRAGRANT SUMAC	Rhus aromatica 'Gro-Low'
PERENNIALS		
	PINK CLOUD GAURA	Gaura lindheimeri 'Pink Cloud'
	WALKER'S LOW CATMINT	Nepeta 'Walker's Low'
	CHERRY SAGE	Salvia greggii
ACCENTS		
	TEXAN DESERT SPOON	Dasylixis texana
	RED YUCCA	Hesperaloe parviflora
	BEARGRASS	Nolina macrocarpa
	PALE LEAF YUCCA	Yucca pallida
GRASSES		
	KARL FOERSTER FEATHER REED GRASS	Calamagrostis acutiflora 'Karl Foerster'
	BLUE AVENA GRASS	Helictotrichon sempervirens
	DEER GRASS	Muhlenbergia rigens
	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hameln'
SEEDED AREA AND MULCH		
	CRUSHER FINES ROCK MULCH OVER FILTER FABRIC, COLOR: BROWN	
	7/8" ROCK MULCH OVER FILTER FABRIC, COLOR: GOLD	
	4" - 6" ANGULAR COBBLE OVER FILTER FABRIC, COLOR: GOLD	
	BUFFALO BLUE GRAMA SEED BLEND	
	NATIVE SEED BLEND	



A1 LANDSCAPE PLAN - PHASE TWO
1" = 40'-0"
0 40' 80'



A3 LANDSCAPE PLAN - PHASE ONE
1" = 40'-0"
0 40' 80'

KEYED NOTES

- 1. RETAINING WALL.
2. STORM DRAIN PIPE.
3. STORM DRAIN INLET.
4. STORM DRAIN MANHOLE.
5. RIP-RAP PAD.

LEGEND

- PROPERTY LINE
EXISTING CONTOURS
EXISTING GROUND SPOT ELEVATION
PROPOSED SPOT ELEVATION
PROPOSED DIRECTION OF FLOW
WATER BLOCK / RIDGE OR HIGH POINT
PROPOSED RETAINING WALL
PROPOSED INDEX CONTOURS
PROPOSED CURB & GUTTER
EASEMENT
PROPOSED STORM DRAIN LINE
PROPOSED STORM DRAIN MANHOLE
PROPOSED STORM DRAIN INLET

GENERAL NOTES

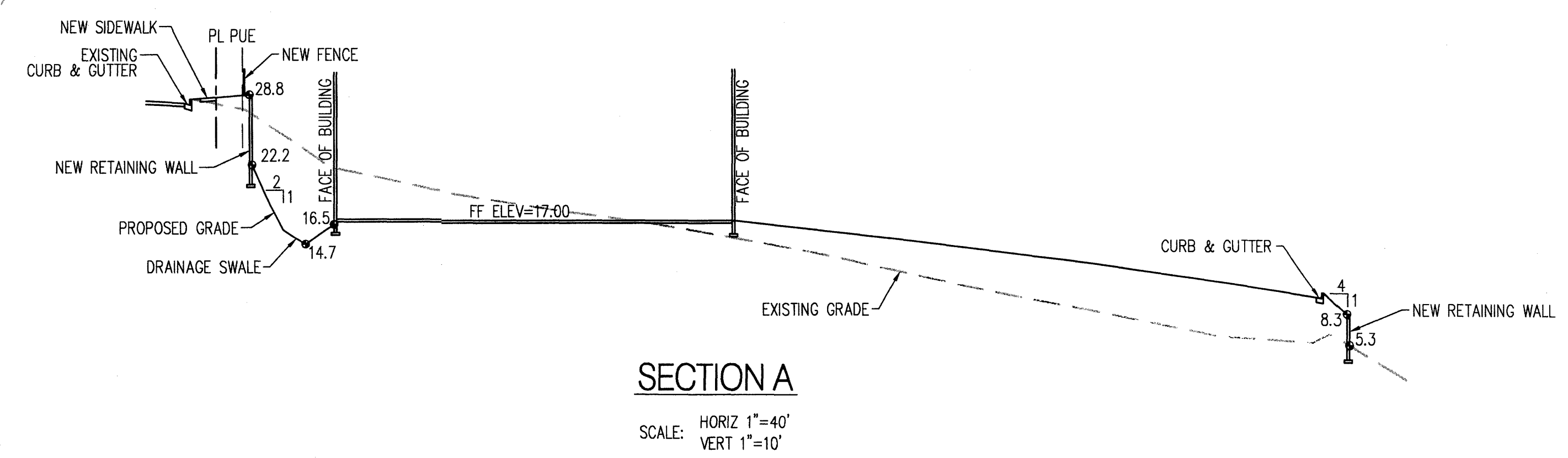
- 1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION.
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES' (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

- 1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 'GEOTECHNICAL INVESTIGATION'.
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS.
9. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

GRADING & DRAINAGE NARRATIVE

THE SITE IS LOCATED ON TRACT D OF FOUNTAIN HILLS PLAZA AND IS APPROXIMATELY 5.1 ACRES. THE SLOPES FROM WEST TO EAST AT AN AVERAGE SLOPE OF ROUGHLY 5%. ELEVATIONS RANGE FROM 5100 ON THE EAST PROPERTY LINE TO 5127 AT NUNZIO AVE. NEAR PARADISE BLVD. THE SITE CURRENTLY DRAINS TO AN AMAFCA DETENTION POND ADJACENT TO THE PROJECT SITE. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD PLAIN AS SHOWN ON FIRM PLAN NO. 01166, MAP NUMBER 35001C01166. FOR THE PROPOSED CONDITIONS THE BUILDING WILL BE LOCATED ADJACENT TO NUNZIO AVE. AS REQUIRED BY THE FOUNTAIN HILLS DESIGN STANDARDS. THE SITE WILL DRAIN TO THE EAST AS IT HISTORICALLY HAS. A STORM DRAIN SYSTEM WILL CONVEY SITE DRAINAGE TO THE AMAFCA DETENTION POND. RETAINING WALLS WILL BE REQUIRED ALONG THE EASTERN AND WESTERN SIDES OF THE SITE TO ENSURE THE REASONABLE GRADES CAN BE ACHIEVED IN THE PARKING LOT AND TO ACCOMMODATE PEDESTRIAN ACCESSIBILITY. THE MASTER DRAINAGE REPORT OF THE SUBDIVISION ALLOWS FOR THIS SITE TO FREE DISCHARGE TO THE RIGHT OF WAY OR AMAFCA DETENTION POND. NO ONSITE DETENTION PONDS ARE REQUIRED. WATER HARVESTING AREAS WILL BE INCORPORATED INTO THE LANDSCAPE DESIGN AND WILL BE SIZED TO MITIGATE THE 'FIRST FLUSH' RAIN FALL EVENT.



**DEKKER
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ARCHITECT

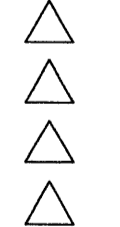
ENGINEER

PROJECT

PRESBYTERIAN PARADISE CLINIC

4588 PARADISE BLVD
ALBUQUERQUE, NM

REVISIONS



DRAWN BY BO

REVIEWED BY GSB

DATE 06/25/2015

PROJECT NO. 15-0028

DRAWING NAME

SITE UTILITY PLAN

SHEET NO.

C-200
OF

UTILITY NOTES

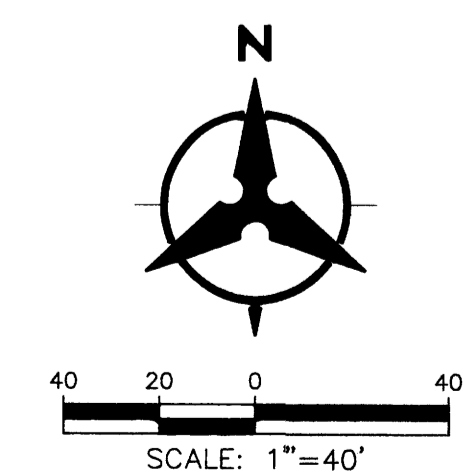
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

KEYED NOTES

1. 6" FIRE LINE.
2. 8" FIRE LINE.
3. 8" GATE VALVE WITH POST INDICATOR.
4. 8"x8"x8" TEE & 8" GATE VALVE WITH BOX & LID.
5. 8"x8"x6" TEE, 6" GATE VALVE WITH BOX & LID AND 1 FIRE HYDRANT.
6. 12"x12"x6" TEE, 6" GATE VALVE WITH BOX AND LID AND 1 FIRE HYDRANT.
7. 8"x6" REDUCER.
8. 6" FIRE PROTECTION REDUCED PRESSURE BACKFLOW PREVENTER AND 2" DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER IN SINGLE HEATED ENCLOSURE.
9. REMOTE FIRE DEPARTMENT CONNECTION (FDC) AND CHECK VALVE TO BE INSTALLED DOWNSTREAM OF 6" REDUCED PRESSURE BACKFLOW PREVENTER AND MOUNTED TO THE HEATED ENCLOSURE.
10. 6" SANITARY SEWER SERVICE LINE.
11. SANITARY SEWER CLEANOUT.
12. REMOVE & REPLACE EXISTING ASPHALT PAVEMENT AND CONCRETE CURB & GUTTER FOR UTILITY TRENCH. MATCH EXISTING.

LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
□	EXISTING WATER METER
+	EXISTING CAP
×	EXISTING VALVE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN MANHOLE
□	EXISTING INLET
---	PROPOSED EASEMENT
---	PROPOSED SANITARY SEWER LINE
●	PROPOSED SANITARY SEWER MANHOLE
●	PROPOSED CLEANOUT
---	PROPOSED WATER LINE
---	PROPOSED VALVE
---	PROPOSED FIRE LINE
●	PROPOSED HYDRANT
+	PROPOSED CAP
■	PROPOSED WATER METER



Bohannon & Huston
www.bhinc.com 800.877.5332

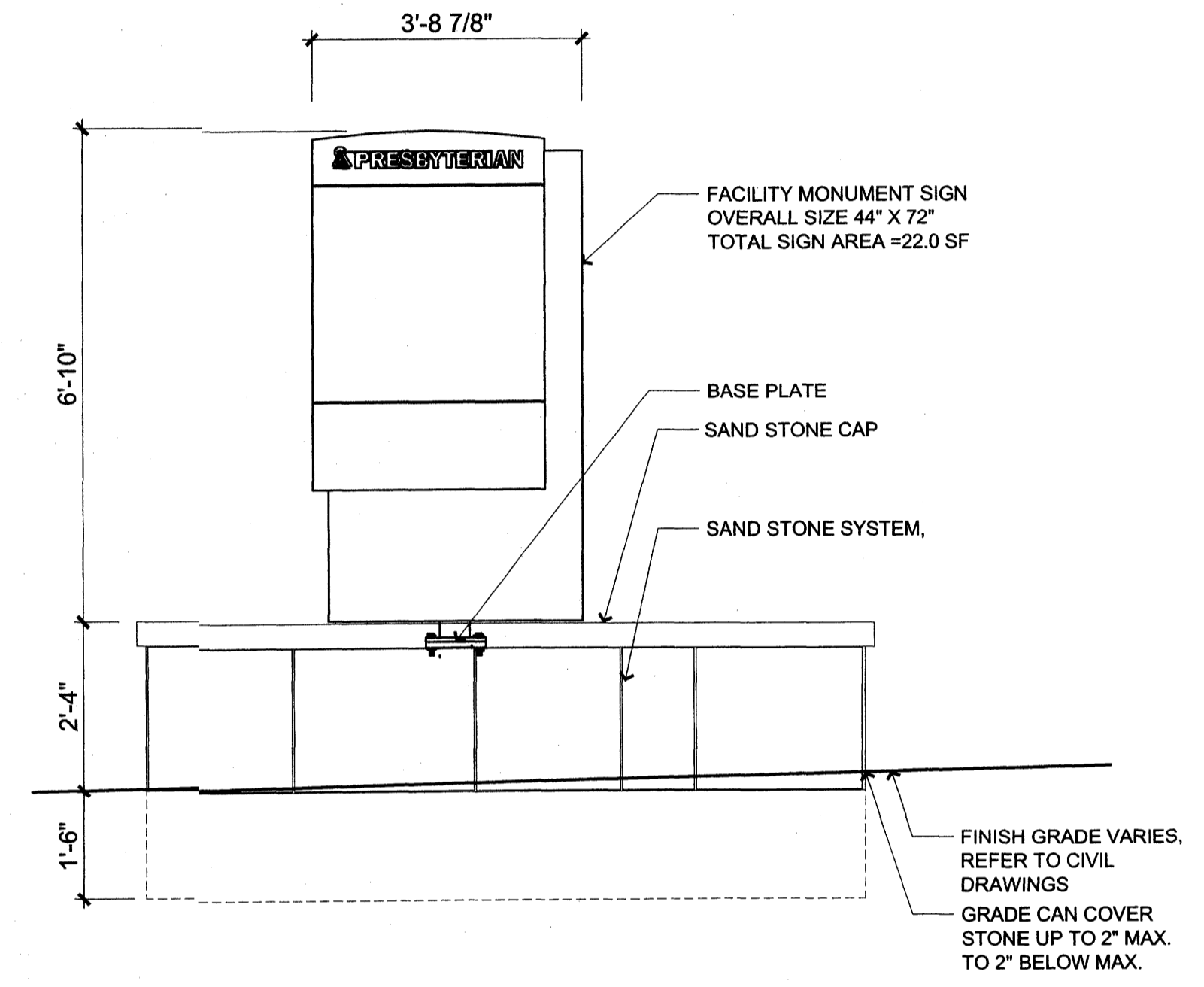
REVISIONS

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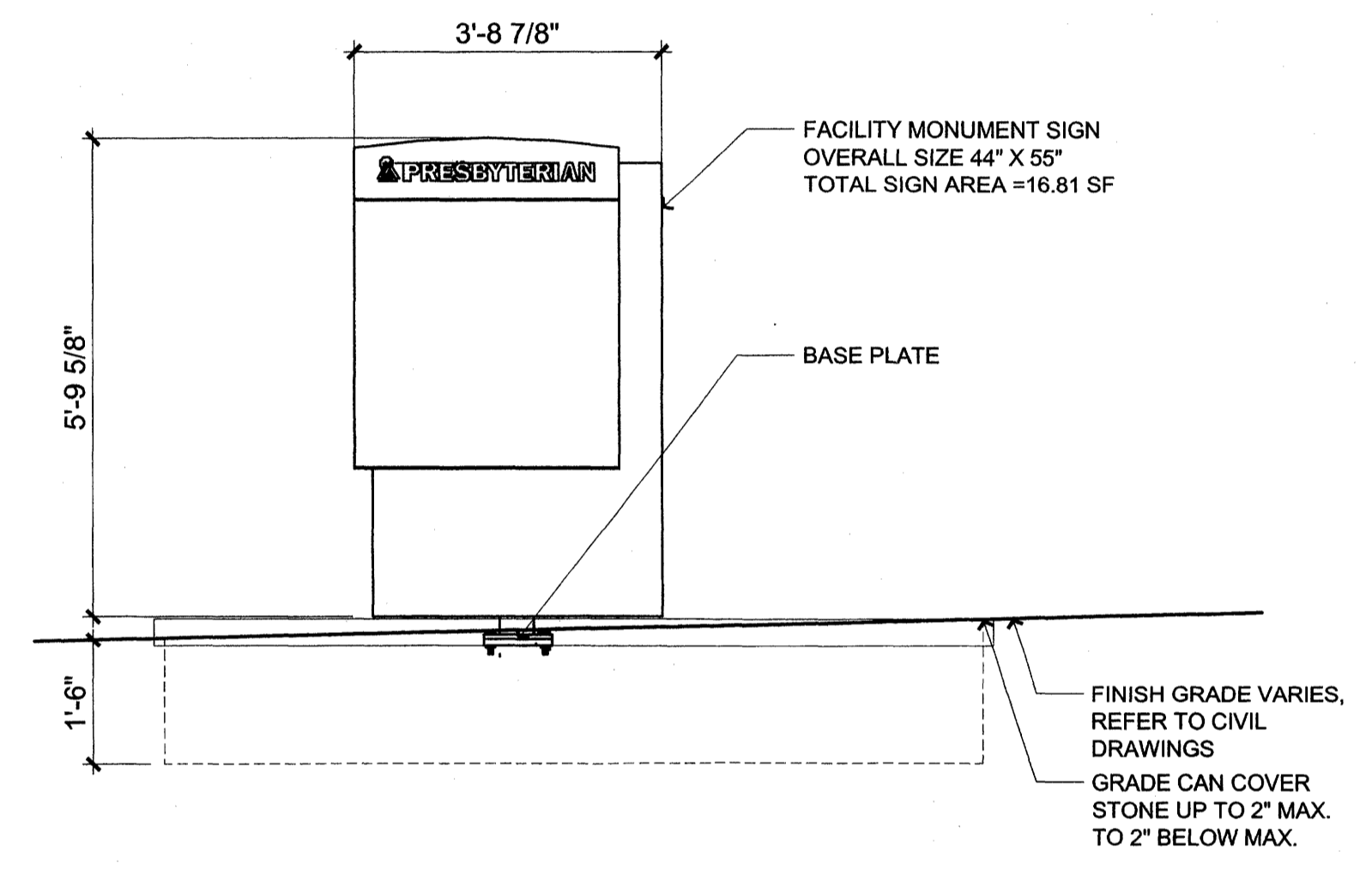
DRAWN BY	
REVIEWED BY	
DATE	06/25/2015
PROJECT NO.	15-0028
DRAWING NAME	

SIGN ELEVATIONS

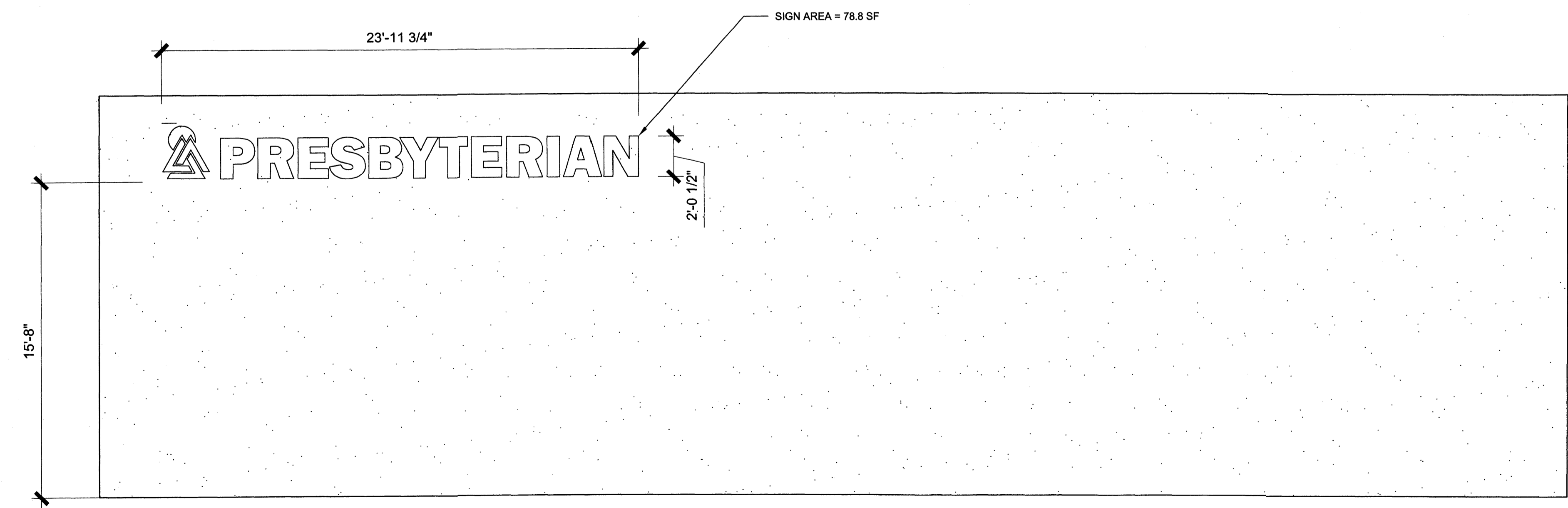
**FREE STANDING MONUMENT
SITE SIGNAGE**
MAX BASE SIZE ALLOWED= 40 SF
PROVIDED BASE SIZE= 26 SF
MAX SIGN SIZE ALLOWED= 40 SF
PROVIDED SIGN SIZE= 22 SF



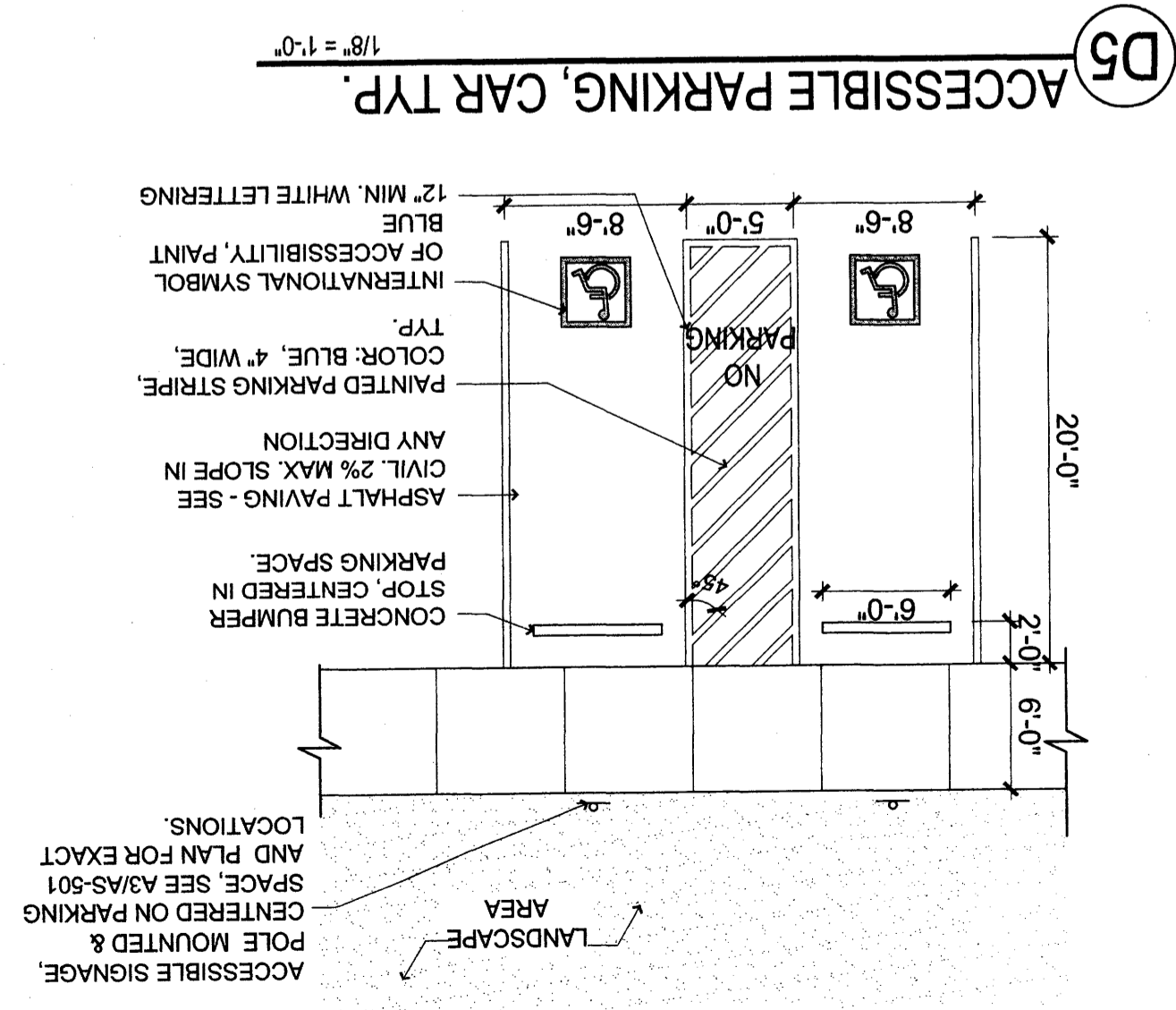
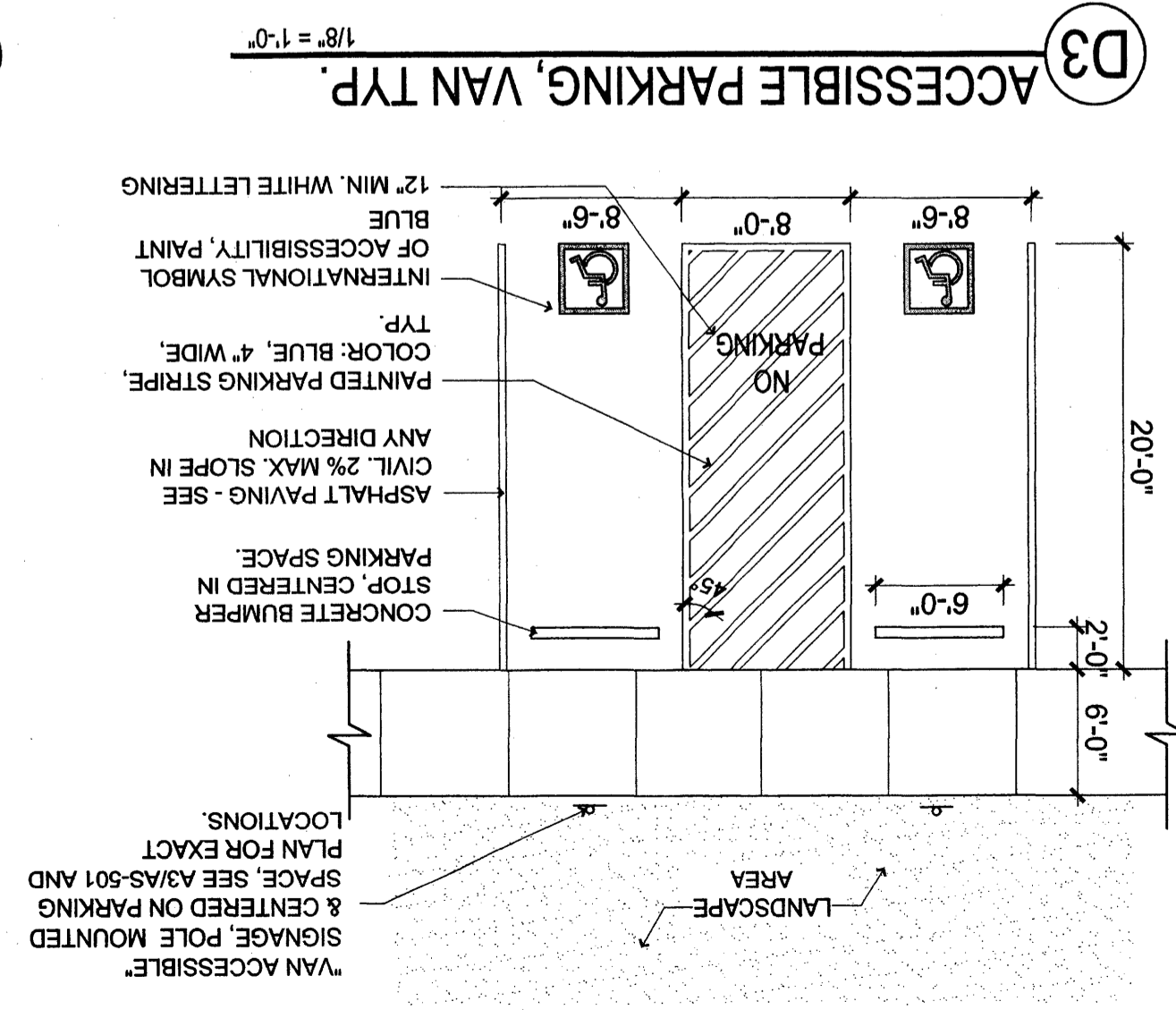
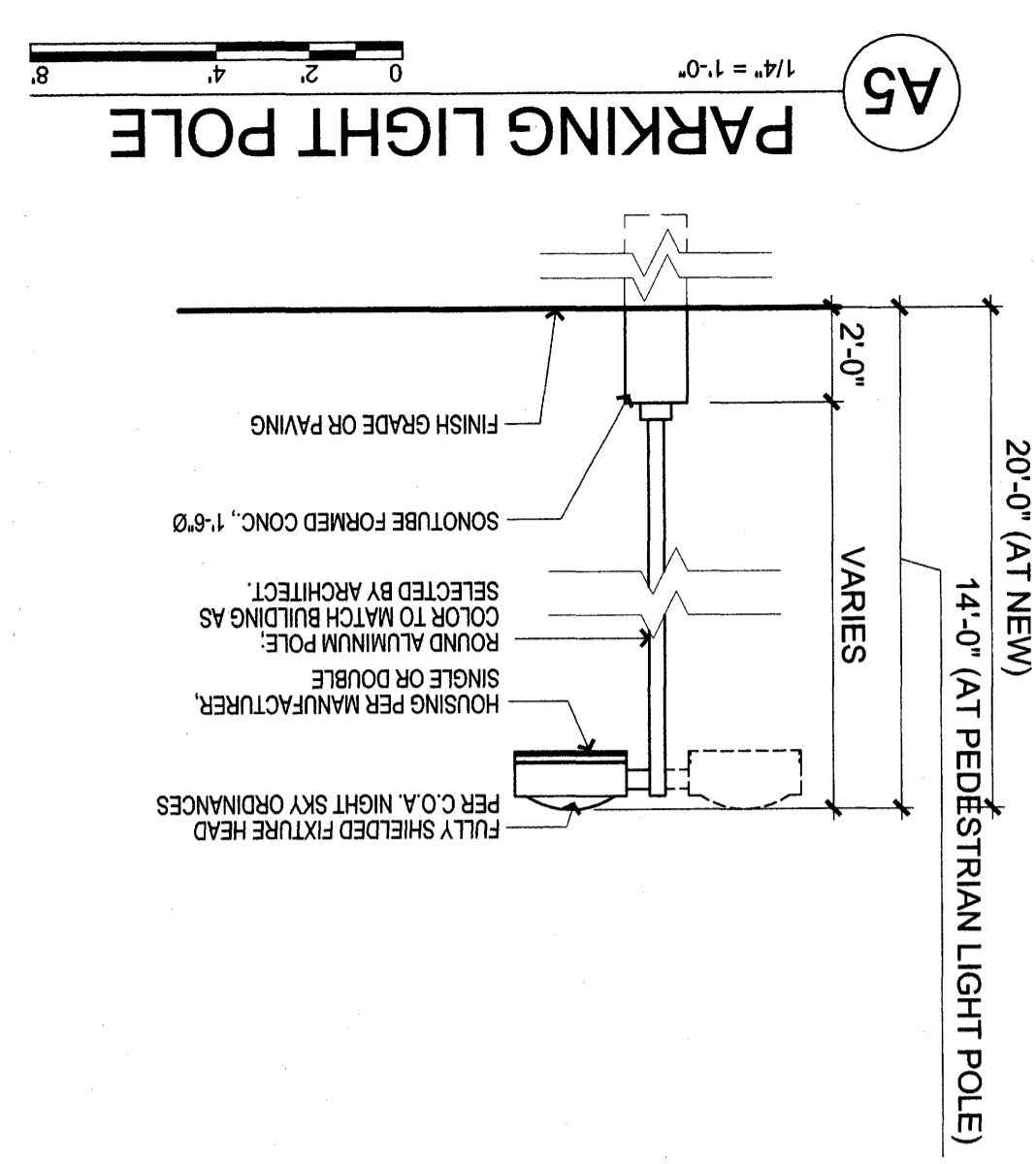
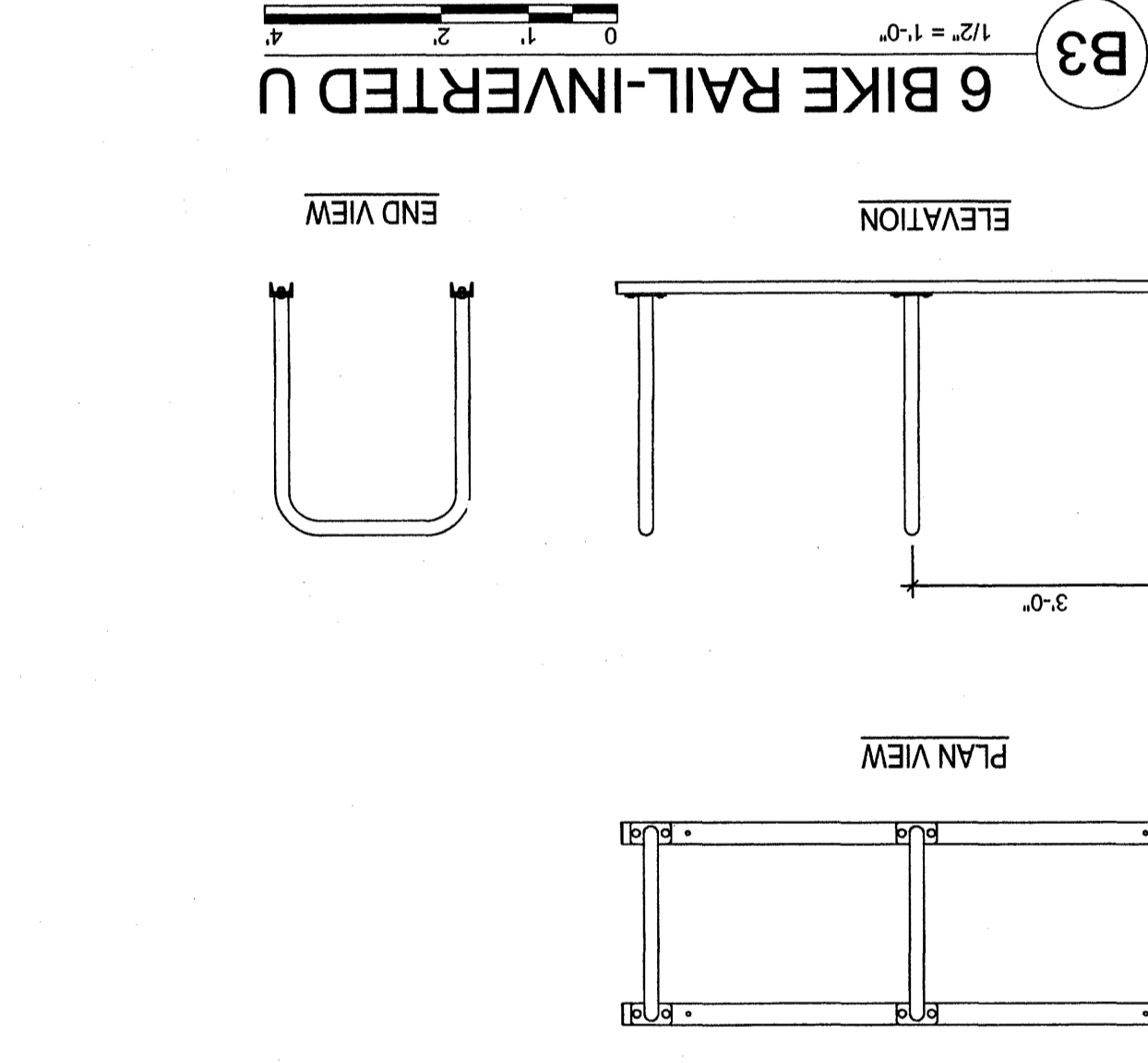
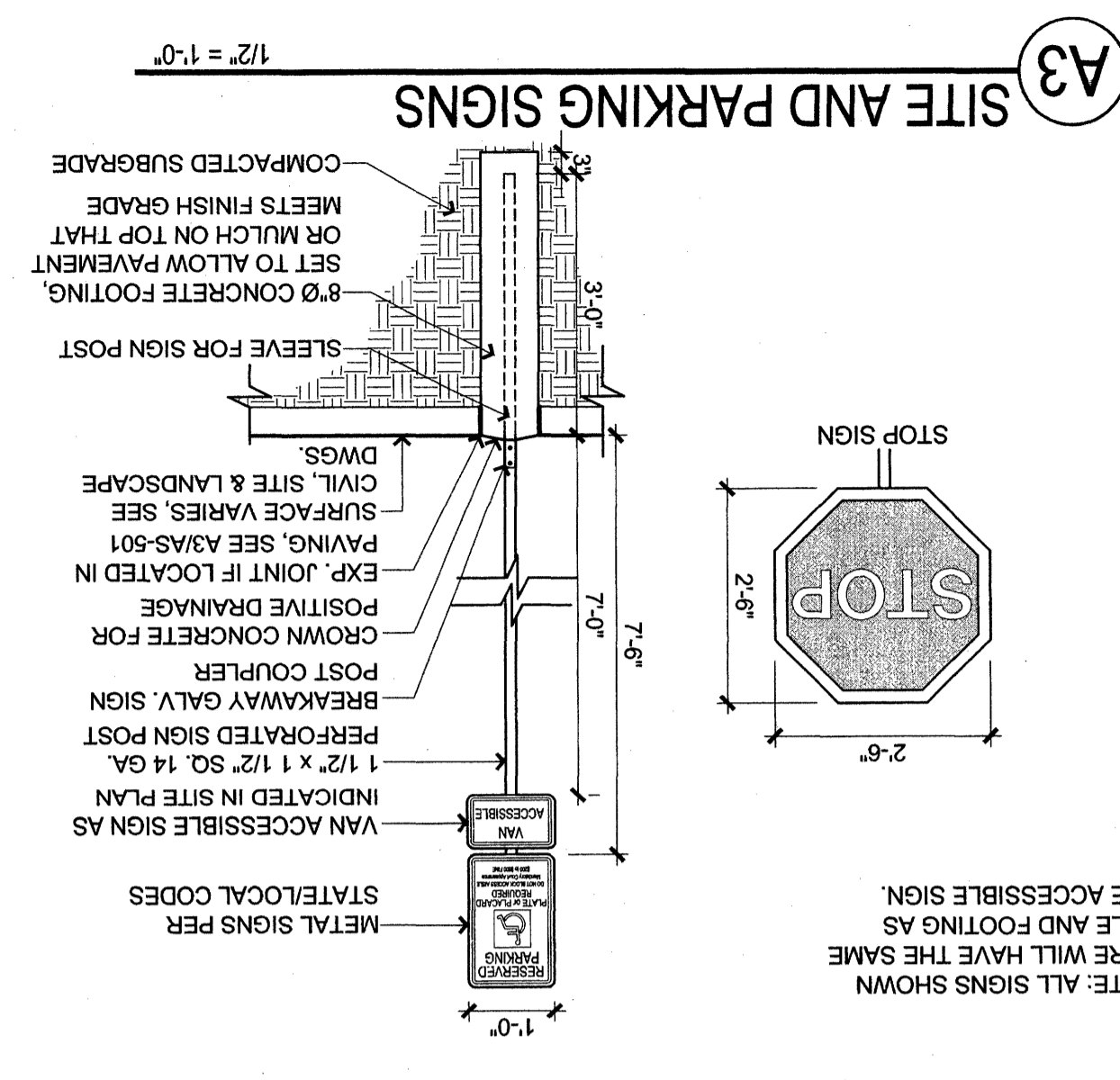
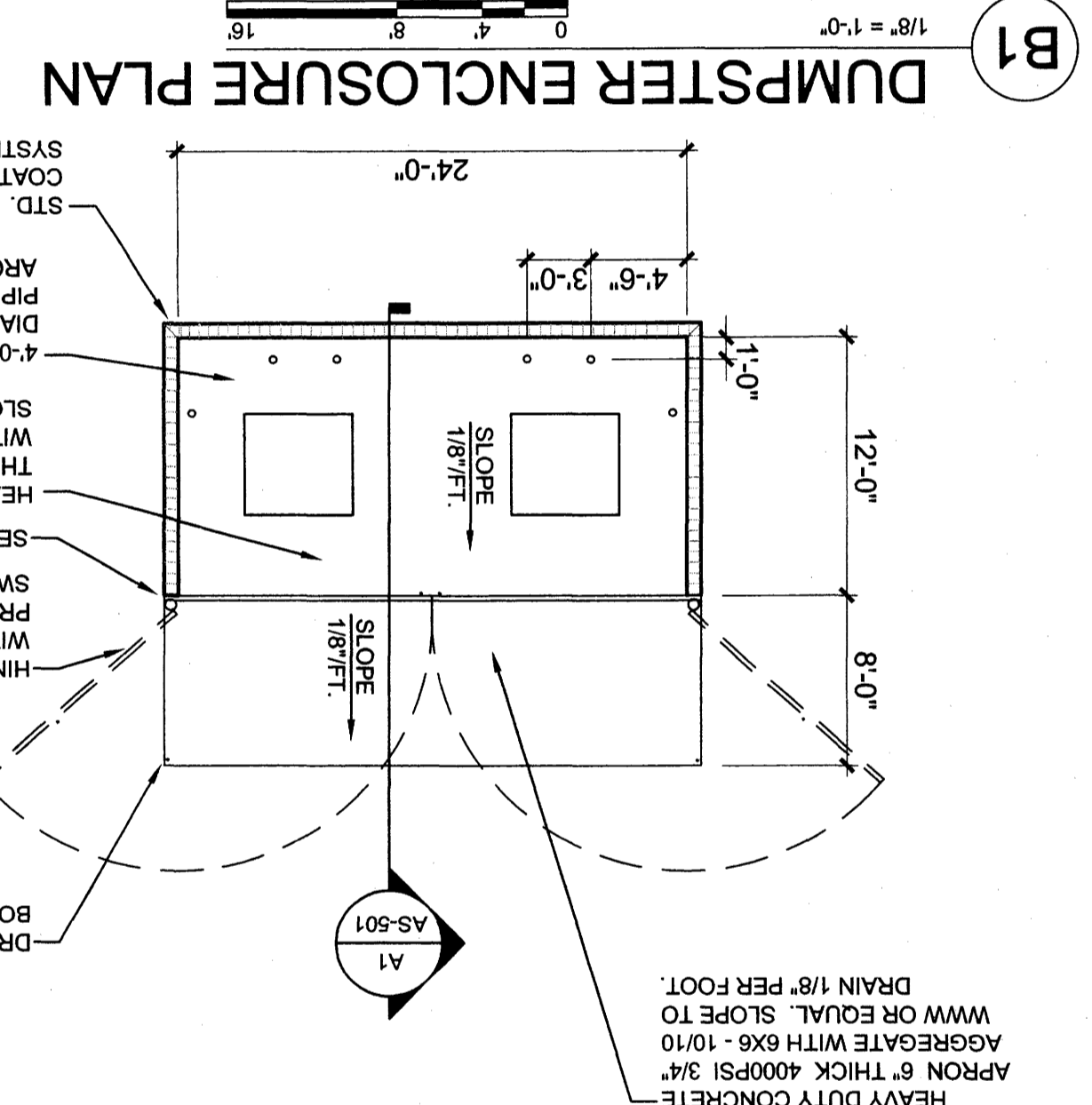
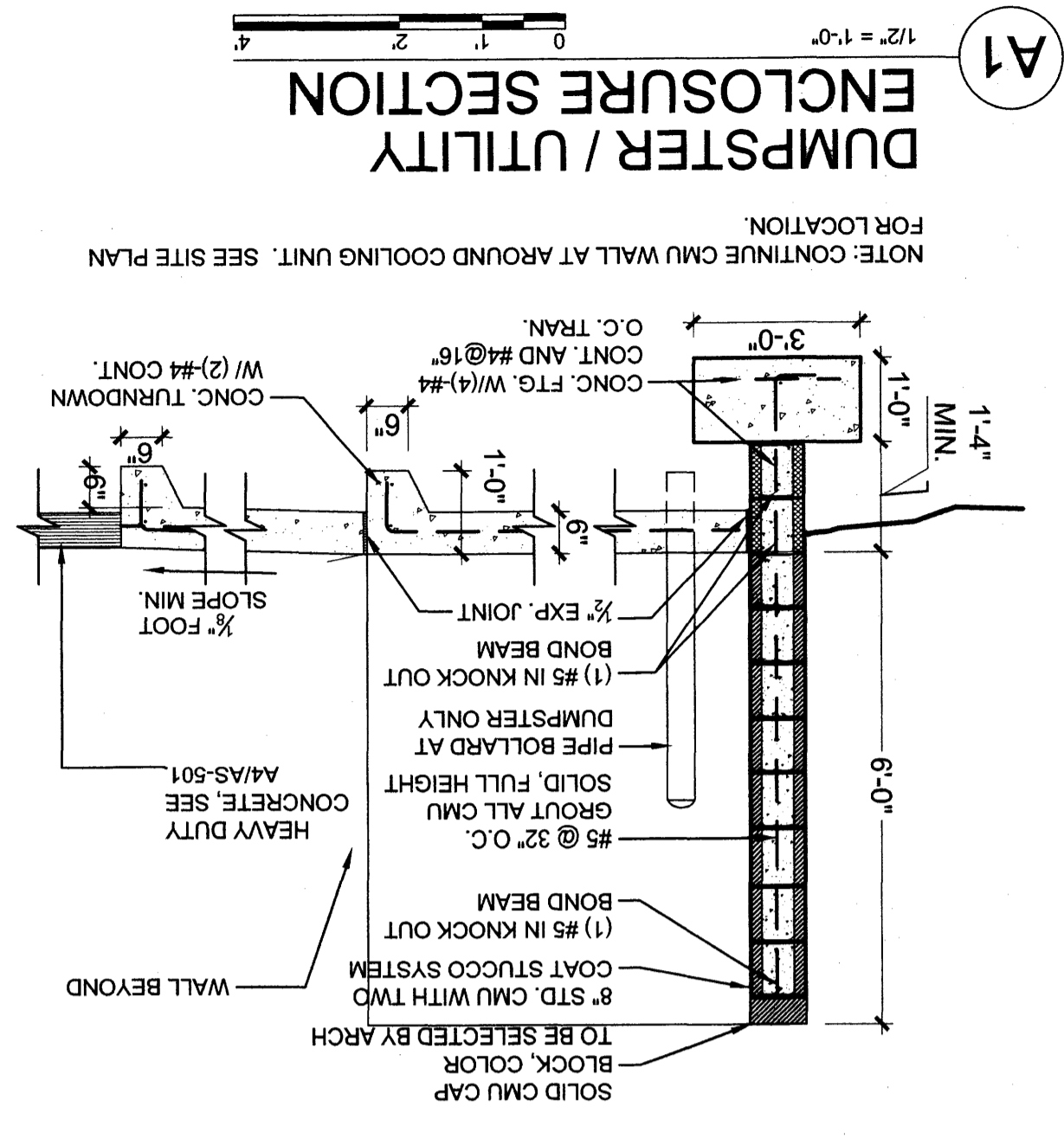
B1 FREESTANDING MONUMENT SIGN
ELEVATION
1/2" = 1'-0"



B3 DIRECTORY SIGN
ELEVATION
1/2" = 1'-0"



A1 ILLUMINATED BUILDING SIGN
1/4" = 1'-0"



AS-501

SHEET NO. OF

DATE: 06/25/2015

PROJECT NO: 15-0028

DRAWING NAME: SITE DETAILS

DRAWN BY: [REDACTED]

REVIEWED BY: [REDACTED]

REVISIONS: [REDACTED]

PRESBYTERIAN PARADISE CLINIC

4588 PARADISE BLVD

ALBUQUERQUE, NM

PROJECT

ENGINEER

ARCHITECT

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DEKKER PERICH SABATINI

ARCHITECTURE / DESIGN / INSPIRATION



Site Plan for Subdivision
 Prepared for: **Fountain Hills Plaza, LLC**

Land Use Summary

Tract	Acres	Max. Bldg. Height	Max. Buildable	Allowable Uses
A-1-A	2.85	52'-0"	30 DUs/Acre	Residential
A	9.0308	32'-0"	.35 F.A.R.	Retail / Restaurant / Office
B	3.8571	32'-0"	.35 F.A.R.	Retail / Restaurant / Office
C	1.6753	52'-0"	.35 F.A.R.	Hotel / Retail
D	5.1308	32'-0"	.35 F.A.R.	Retail / Restaurant / Office
E	1.8615	52'-0"	.35 F.A.R.	Hotel / Retail
F	1.1223	32'-0"	.35 F.A.R.	Restaurant / Retail
G	0.9477	32'-0"	.35 F.A.R.	Restaurant / Retail
H	0.9755	32'-0"	.25 F.A.R.	Restaurant / Retail
6-A-1-A	1.44	N/A	N/A	N/A

Note:
 All buildings are limited to 3.5 stories as per Council Bill # FJS O-188, Enactment No. 33-1985, Exhibit A, City of Albuquerque Zoning and Special Use Parameters approved by City Counsel May 20th, 1985.

Existing Site Data
 Legal Description:
 Lots 2B & 3B, Lot 10-A-2 of Block D Albuquerque West, a portion of Lot B-1-A, Lot C-1-A, Lot D-1-A, Lot 6-A-1-A, Albuquerque West, Unit 1 and a portion of Tract B Richland Hills, Unit 1
 Acreage: ± 30.3
 Existing Land Use: Undeveloped.

Current Zoning:
 SU-1 PDA to include C-3 Uses (Permissive & Conditional)
 Council Bill # FJS O-188, Enactment No. 33-1985, Exhibit A' sets forth additional parameters.

Future Site Development Plans for Building Permit are delegated to the Development Review Board as specified in City Council Bill no. F/SO - 188, Enactment No. 33-1985. All future Site Development Plans for Building Permit shall indicate the Internal Focal Area, where applicable.

Project Number: 1003445
 Application Number: 07DRB-70053

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 18, 2007, and the Findings and Conditions in the Official Notification of Decision are satisfied.
 *This also incorporates the conditions from EPC's decision dated August 19, 2005, 05EPC-00022.
 Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	6-26-07
City Engineer	6-20-07
<i>[Signature]</i>	6/20/07
City Engineer	6/20/07
<i>[Signature]</i>	6-27-07
DRB Chairperson, Planning Department	6-27-07

THIS DRAWING IS THE PROPERTY OF CPA ARCHITECTURE AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESSED WRITTEN CONSENT.
 *THIS PLAN IS AN AMENDMENT TO THE EPC APPROVED SDPS ORIGINALLY PREPARED BY CANNADY PALACIOS ARCHITECTURE.

PROJECT: 1003445
 DATE: 7-22-15
 APP: 15-10235(SB2)

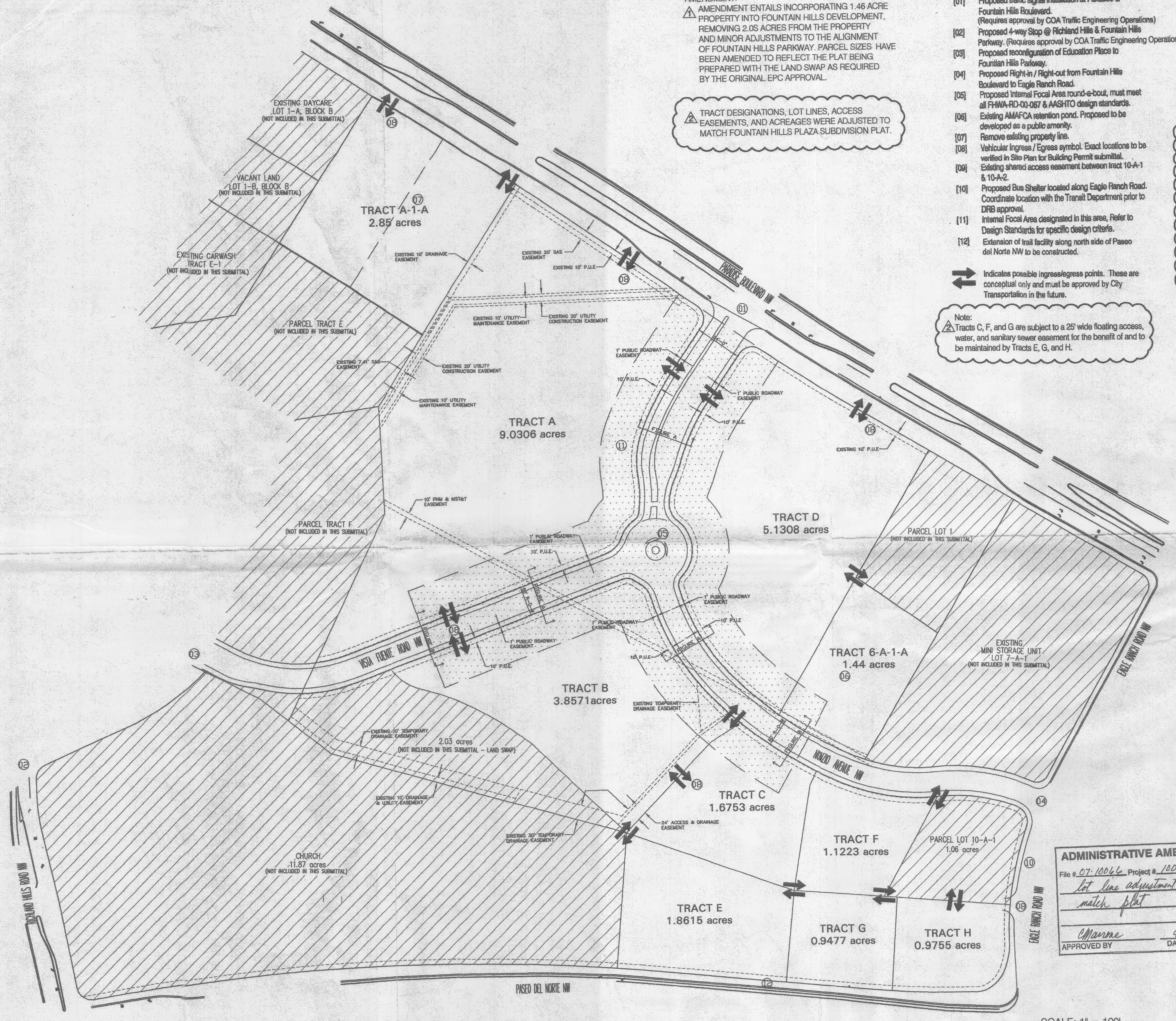
AMENDMENT:
 AMENDMENT ENTAILS INCORPORATING 1.46 ACRE PROPERTY INTO FOUNTAIN HILLS DEVELOPMENT, REMOVING 2.05 ACRES FROM THE PROPERTY AND MINOR ADJUSTMENTS TO THE ALIGNMENT OF FOUNTAIN HILLS PARKWAY. PARCEL SIZES HAVE BEEN AMENDED TO REFLECT THE PLAT BEING PREPARED WITH THE LAND SWAP AS REQUIRED BY THE ORIGINAL EPC APPROVAL.

TRACT DESIGNATIONS, LOT LINES, ACCESS EASEMENTS, AND ACREAGES WERE ADJUSTED TO MATCH FOUNTAIN HILLS PLAZA SUBDIVISION PLAT.

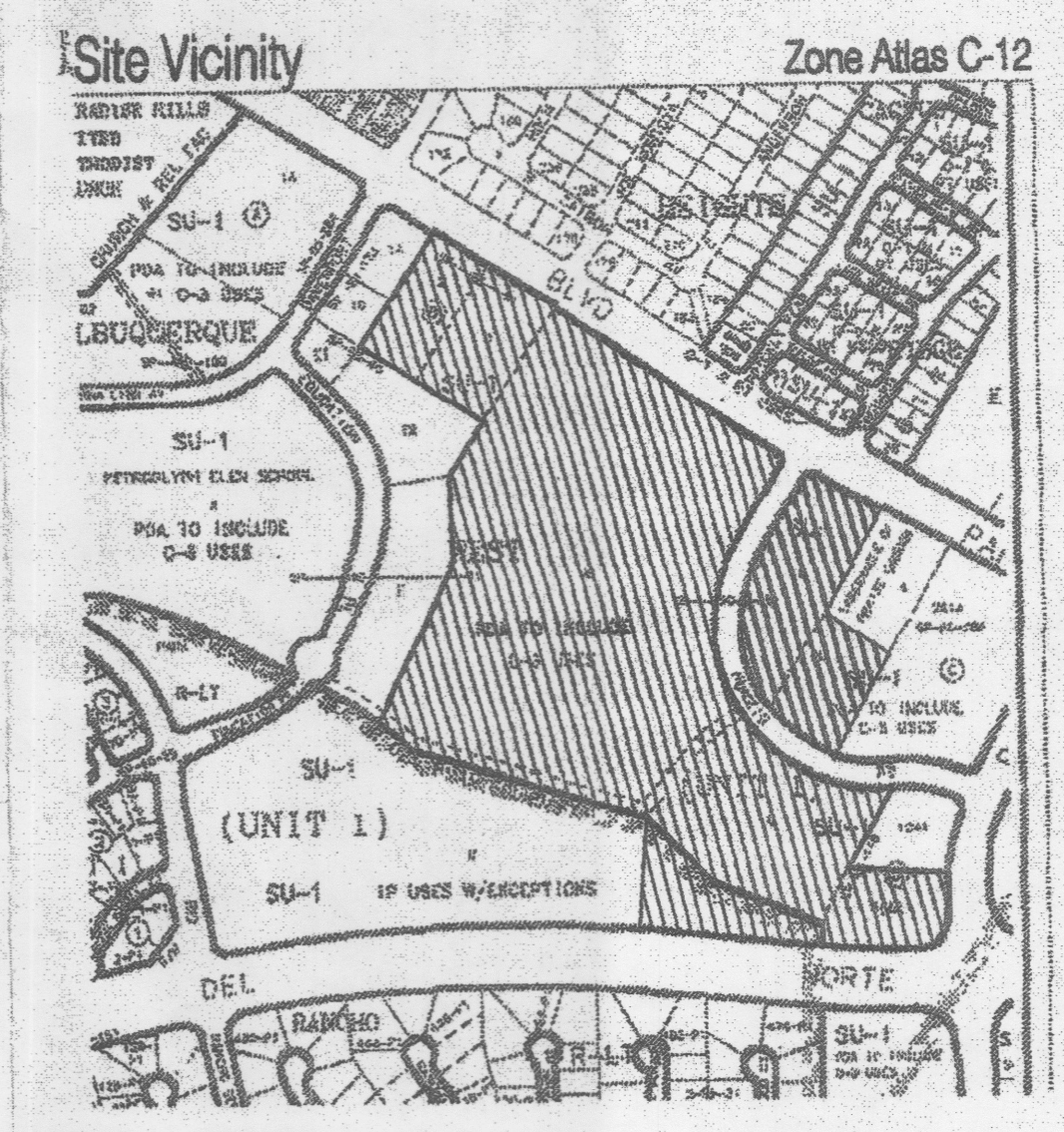
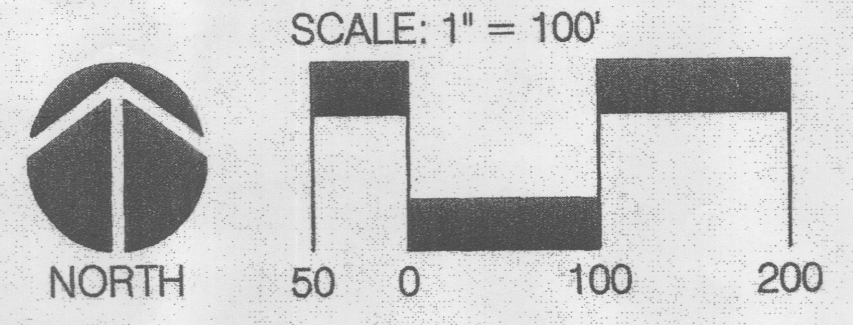
- Keyed Notes:**
- [01] Proposed traffic signal installation at Paradise & Fountain Hills Boulevard. (Requires approval by COA Traffic Engineering Operations)
 - [02] Proposed 4-way Stop @ Richland Hills & Fountain Hills Parkway. (Requires approval by COA Traffic Engineering Operations)
 - [03] Proposed reconfiguration of Education Place to Fountain Hills Parkway.
 - [04] Proposed Right-in / Right-out from Fountain Hills Boulevard to Eagle Ranch Road.
 - [05] Proposed Internal Focal Area round-a-bout, must meet all FHWA-RD-00-067 & AASHTO design standards.
 - [06] Existing AMAFCA retention pond. Proposed to be developed as a public amenity.
 - [07] Remove existing property line.
 - [08] Vehicular Ingress / Egress symbol. Exact locations to be verified in Site Plan for Building Permit submittal.
 - [09] Existing shared access easement between tract 10-A-1 & 10-A-2.
 - [10] Proposed Bus Shelter located along Eagle Ranch Road. Coordinate location with the Transit Department prior to DRB approval.
 - [11] Internal Focal Area designated in this area. Refer to Design Standards for specific design criteria.
 - [12] Extension of trail facility along north side of Paseo del Norte NW to be constructed.

Indicates possible ingress/egress points. These are conceptual only and must be approved by City Transportation in the future.

Note:
 Tracts C, F, and G are subject to a 25' wide floating access, water, and sanitary sewer easement for the benefit of and to be maintained by Tracts E, G, and H.



ADMINISTRATIVE AMENDMENT
 File # 07-10046, Project # 1003445
 lot line adjustment to match plat
 APPROVED BY *[Signature]* DATE 9/14/07



CONSENSUS PLANNING
 ADDRESS • 302 8th Street NW
 Albuquerque, NM 87102
 TELEPHONE • 505.784.9891
 FAX • 505.842.5495
 E-MAIL • cp@consensusplanning.com

DEVELOPER Fountain Hills Plaza LLC
 ADDRESS • PO Box 59893
 Albuquerque, NM 87197
 TELEPHONE • 505.239.0900
 FAX • 505.890.2278

DRB SUBMITTAL

SEPTEMBER 4, 2007
 DATE ISSUED • 9-17-07
 PROJECT ID • Fountain Hills
 Site Plan For Subdivision
A1

Design Guidelines & Standards

The purpose of these Design Guidelines is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Fountain Hills mixed-use development. These guidelines address the issues of streetscape, road design, pedestrian circulation, setbacks, parking, lighting, signage, site layout, architecture, landscape and transit opportunities. Each category is organized in terms of Standards (Items that are required), and Guidelines (Items that are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Guidelines & Standards, the more restrictive requirement shall be applicable.

The Design Standards shall be used to facilitate the design of buildings which respect the natural conditions of the site, maintain and highlight the spectacular views of the Sandia and Marzano Mountains and to provide a clustered building design that breaks up large parking areas into an integrated pedestrian center.

Site Plan Submittals:

Site Development Plans for Building Permit for all Tracts shall be reviewed and approved by the Development Review Board (DRB) in accordance with the provisions set forth in Council Bill # F/S O-186, Enactment No. 33-1985, Exhibit A, City of Albuquerque Zoning and Special Use Parameters approved by City Counsel May 20th, 1985.

Site:

The proposed site consists of approximately 31 acres of undeveloped land bounded by Paradise Blvd to the North, Eagle Ranch Rd to the East, Paseo Del Norte to the South & Education Pl to the West.

Land Use Concept:

The land use concept is an integrated, Mixed-use Office / Commercial / Retail & Service Center, adjacent to a Designated Community Activity Center per the City of Albuquerque Comprehensive Plan. The character developed within the center is a pedestrian friendly environment consisting of areas for displays & seating. The design criteria encourages the use of small and large scale plazas and patios to create outdoor public / private space. The street layout encourages this type of activity by providing an Internal Focal Area around which buildings are oriented, providing slower moving pedestrian friendly traffic conditions in high congestion areas. On-street parking, pedestrian nodes and an integrated internal street system will work toward creating a community identity.

Proposed Uses:

C-3 Permissive & Conditional uses including package liquor for off-site consumption, unless otherwise restricted below.

Prohibited Uses:

- Adult Amusement Establishment or Adult Store
- Bottling
- Mfg., assembling, treating, repairing, or rebuilding of products
- Printing, publishing, lithography, or blueprinting
- Sheet metal working
- Upholstering
- Contractor's yard
- Equipment rental, sales, display and repair
- Antenna (without height limitation)
- Operative contractor's equipment and heavy farm equipment sales
- Railroad right-of-way and incidental facilities
- Outdoor building material storage or sales unless incidental to retail sales and adequately screened
- Specific uses restricted by Council Bill # F/S O-186, Enactment No. 33-1985, annexation agreement
- Automotive Engine Mfg.
- Cold Storage Plant
- Welding
- Ice Plant
- Tire recapping or re-treading
- Warehousing
- Bulk Fuel Storage & Sales
- Kennel
- Auto Dismantling
- On-Site Dry Cleaning Plant

Adjacent Land Uses (Zoning):

- North - Single Family Residential (R-1, SU-1 & RT)
Multi-Family Residential Apartments (SU-1, C-2 & R-2)
- South - Undeveloped Land (SU-1 IP w/ Exceptions per the Riverview Sector Development Plan)
Single Family Residential (R-LT)
- East - Commercial (SU-1 PDA to include C-3 Uses)
Multi-Family Residential Apartments (SU-1)
- West - Petroglyph Elementary School (SU-1 PDA to include C-3 Uses)
Commercial (SU-1)

Site / Edge Design

Landscape buffers shall include trees spaced a minimum of 30 feet on center and include a minimum of 25% coniferous trees. Parking provided adjacent to Paradise Boulevard, Eagle Ranch, and Paseo Del Norte shall be screened by short walls and/or landscaping to a height of 3 feet. A 6 foot sidewalk shall be provided within these right-of-ways to provide pedestrian access.

Standards

- The Internal Focal Area shall be defined by a vehicular round-a-bout and parallel parking within the public right-of-way. The area immediately adjacent to the round-a-bout shall be constructed of materials that distinguish it from typical roadway materials, such as integrally colored and/or stamped concrete, brick forms or pavers of various sizes.
- Amenities that cater to pedestrians, bicyclists, transit users and motorists shall be provided within the Internal Focal Area. (i.e. seating, bicycle parking, outdoor display, newspaper kiosks, etc.)
- The project edge along Paradise Boulevard, Eagle Ranch Road & Paseo Del Norte shall include at least a 10 foot landscape setback from property line to provide a buffer to the adjacent properties.
- Street edges adjacent to Tract A-1-A shall utilize a combination of walls, decorative fencing, and landscaping to provide for a secure residential environment. The material treatments shall be compatible with adjacent buildings and consist of materials specified in the Perimeter Walls & Screening section provided in this document.

Public Right-of-Way

All Access Points provided on the site plan are for illustrative purposes only and are subject to change.

Standards

- The Site Plan shall comply and be designed per DPM Standards.
- The Internal Focal Area is proposed as a 60 foot public right-of-way as shown in Figure A & Figure D.
- The streets outside of the Internal Focal Area are proposed as a 60 foot public right-of-way as shown in Figure B.

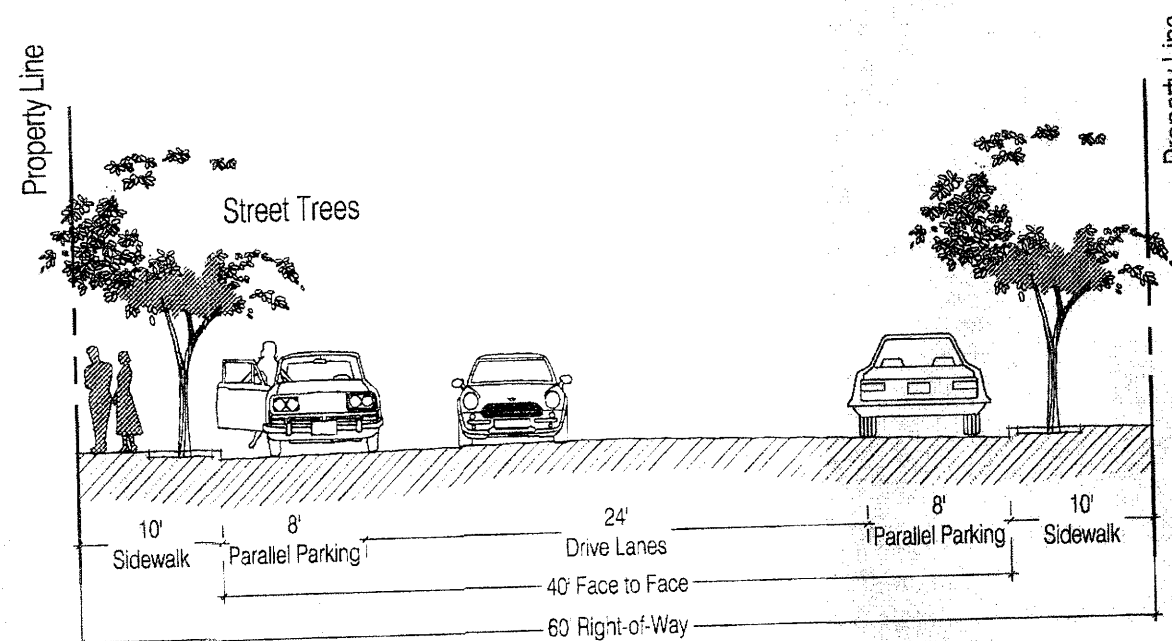


Figure A: Internal Focal Area Minimum Street Section

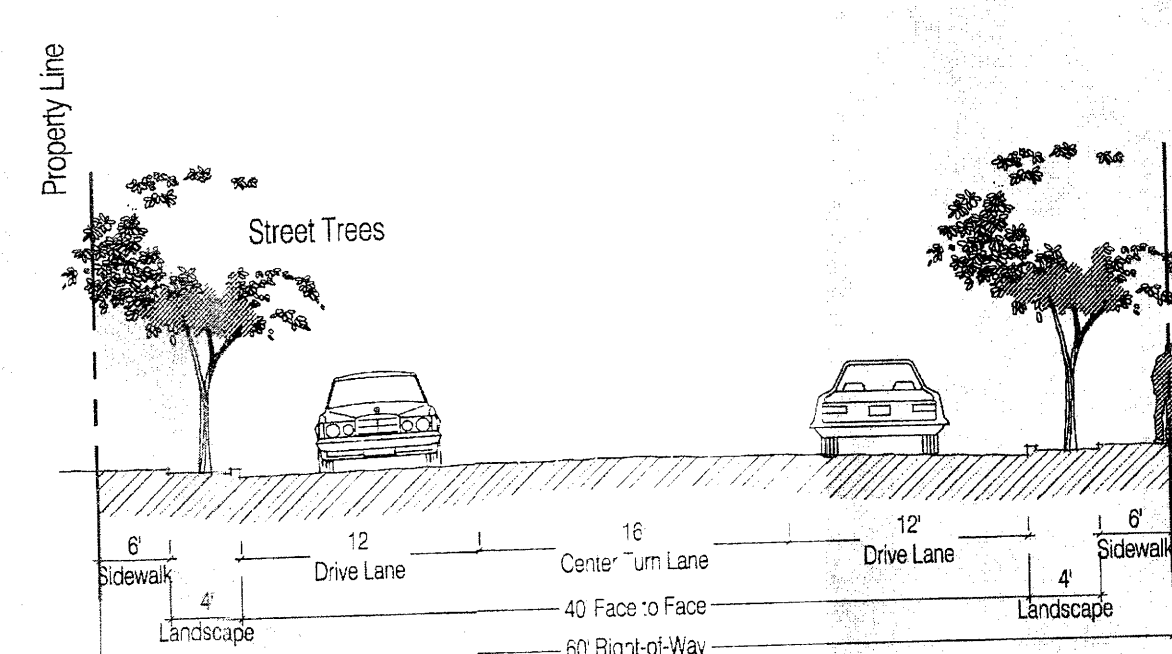


Figure B: Right-of-Way Minimum Street Section

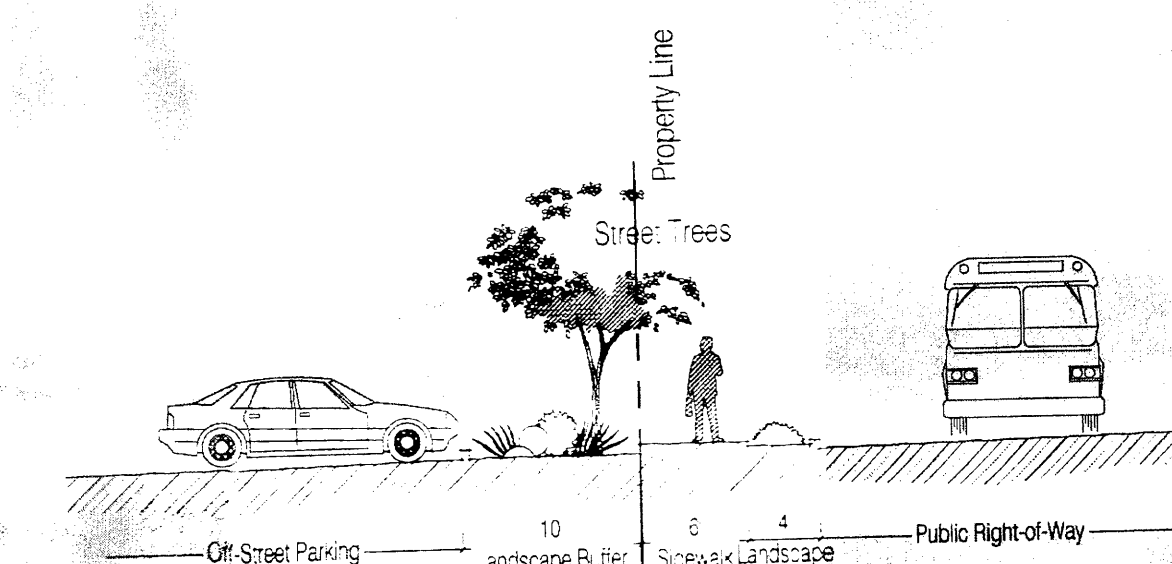


Figure C: Off-Street Parking Minimum Section

- All intersections shall have pedestrian crosswalks that are a minimum of 6 feet wide. These crosswalks shall be constructed of materials that distinguish it from the roadway materials, such materials shall consist of integrally colored and/or stamped concrete, brick forms or pavers of various sizes.
- Provide cross access to all properties adjacent to the proposed development.
- Fountain Hills Drive shall provide access from Fountain Hills Boulevard (Nunzio Avenue) to Parcel H-4.
- The round-a-bout shall be designed per FHWA & AASHTO Standards, including on-street parking in and around this area.
- Fountain Hills Boulevard (Nunzio Avenue) & Eagle Ranch shall be restricted to a Right-in Right-out intersection.

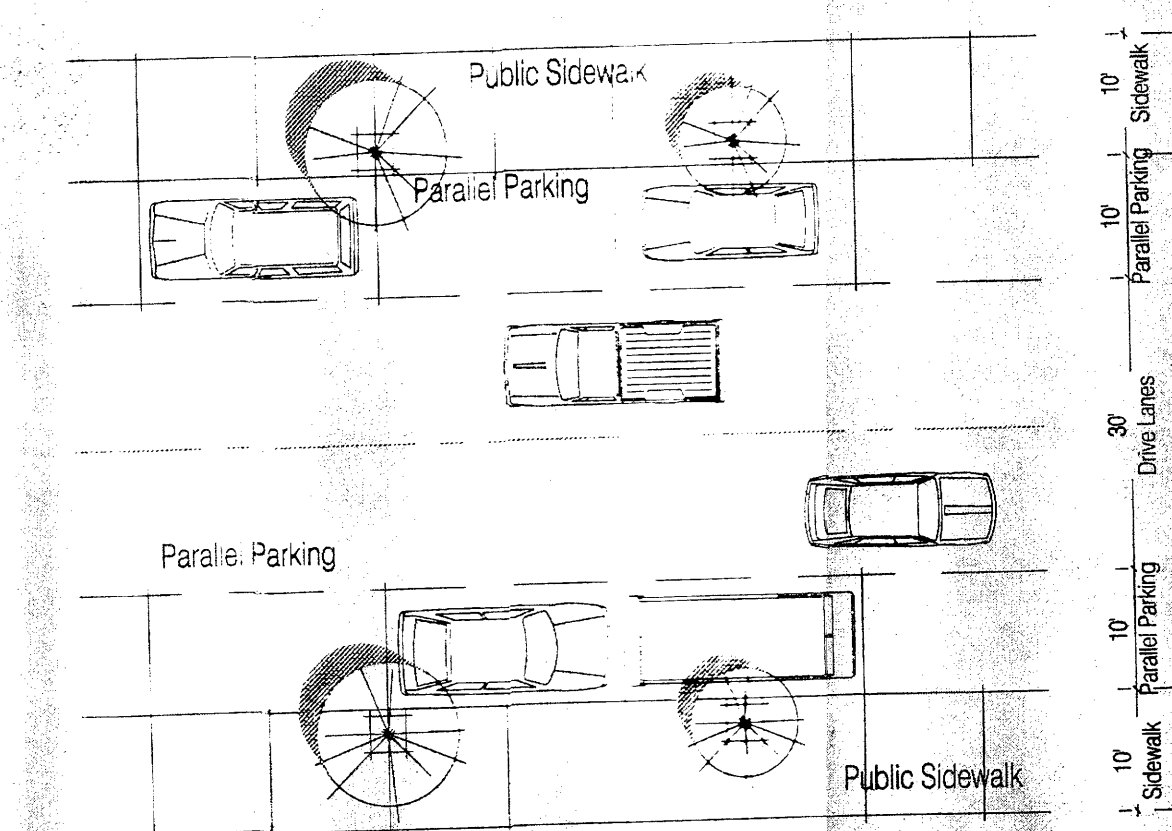


Figure D: Internal Focal Area Street Plan

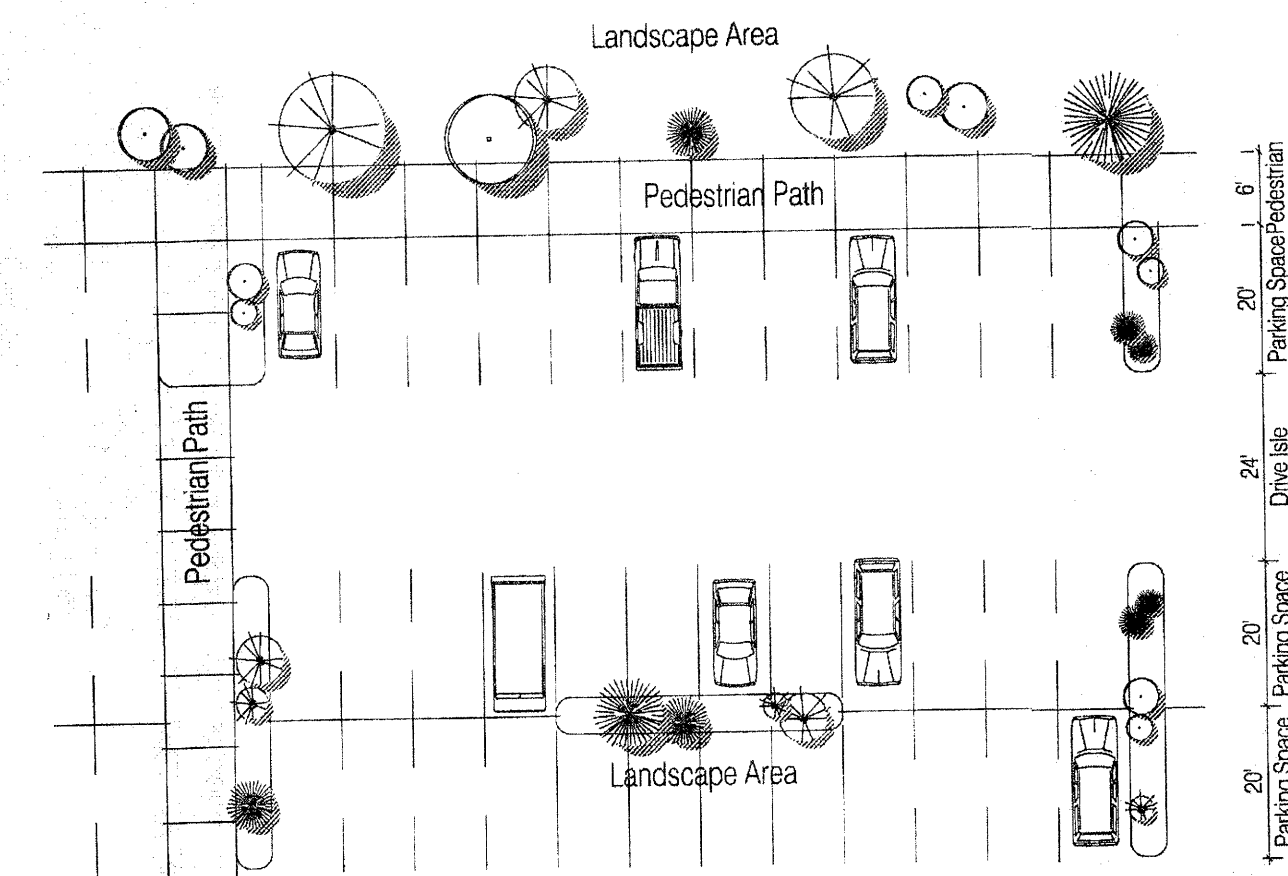


Figure E: Off-Street Parking Plan

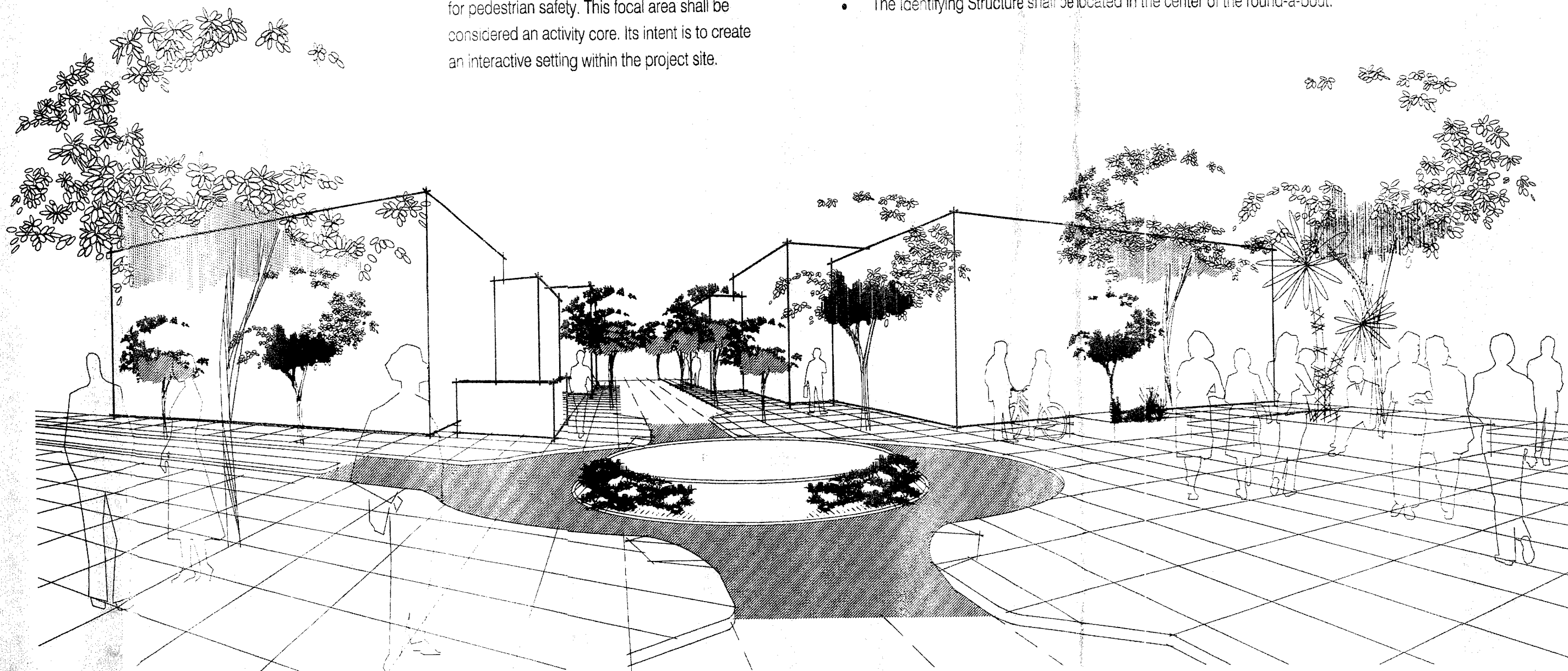
Off-Street Parking

In order to support the goals for the property regarding pedestrian accessibility, careful attention shall be paid to the parking design. An effort shall be made to lessen the impact of parking facilities on the land through landscaping, site location and arrangement. In order to lessen the visual impact of parking areas, parking facilities shall be broken up into a series of smaller areas.

Standards

- All Off-Street parking shall comply with Section 14-16-3-1 of the Comprehensive Zoning Code.
- The maximum amount of parking provided shall meet parking requirements in the City Zoning Code, plus 10 percent.
- Parking areas shall be designed to include a 6 foot wide pedestrian link to buildings. This linkage shall be constructed of materials that distinguish it from the roadway materials, such materials shall consist of integrally colored and/or stamped concrete, brick forms or pavers of various sizes.
- Parking areas shall be setback a minimum of 10 feet from adjacent property lines and/or private drive easements.
- Barrier curbs shall be provided around all parking areas in order to protect landscaping from vehicles. These barriers shall provide wiper runoff openings to allow surface drainage into the landscaped areas.
- Parking shall be distributed among several parking areas on each site to limit large expanses of parking lots. Parking shall be placed behind buildings or be screened from surrounding neighborhoods by means of walls and/or landscaping. Walls shall be architecturally compatible with the surrounding buildings.
- Bicycle parking shall be provided pursuant to City Zoning Code. To encourage non-vehicular travel, provisions for convenient on-site bicycle lockers and/or secure bicycle storage areas shall be provided adjacent to building entrances.
- Off-street parking areas shall not be permitted adjacent to Fountain Hills Boulevard (Nunzio Avenue) or Fountain Hills Parkway within the Internal Focal Area.
- Motorcycle parking shall be provided at 2 spaces per building. The motorcycle parking is not required to be located next to the building.

The Internal Focal Area shall be designed for the pedestrian. Vehicular circulation shall be slowed for pedestrian safety. This focal area shall be considered an activity core. Its intent is to create an interactive setting within the project site.



Note

The Internal Focal Area is intended to provide a pedestrian friendly environment in which vehicular traffic could be dispersed to alternative routes.

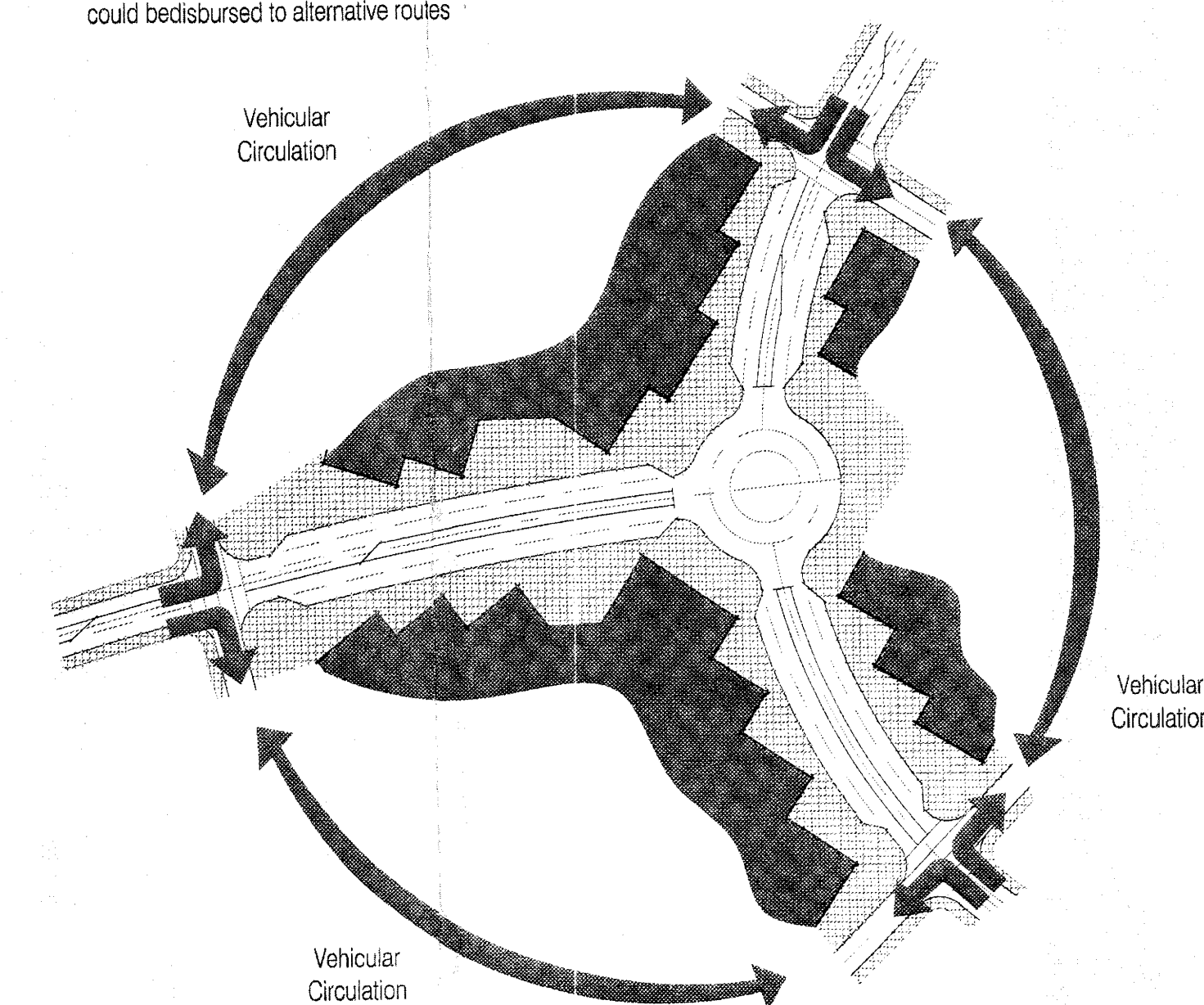


Figure F: Alternative Traffic Circulation

Building Setbacks

The following setback requirements serve to create a variety of pedestrian experiences: an urban formal experience throughout the Commercial / Retail tracts, and an informal experience throughout the Office / Multi-family Residential tracts.

Standards

General

- All building setbacks shall be compliant with the C-3 zoning requirements provided in the City of Albuquerque Comprehensive City Zoning Code and the following:
- Building setbacks adjacent to Fountain Hills Boulevard (Nunzio Avenue) and Fountain Hills Parkway within the Internal Focal Area shall be a minimum of 15 feet and a maximum of 20 feet from the property line to produce an urban streetscape. Building overhangs, patio walls, and patios / plazas and other private amenities intended for use by patrons shall be permitted within this setback to allow for public and/or private uses for building tenants.
- Building setbacks adjacent to Paradise Boulevard shall be a maximum of 85 feet from the property line. The intent is to provide limited off-street parking within this setback, while avoiding large expanses of off-street parking adjacent to the street. Building overhangs, patio walls and patios / plazas shall be permitted within this setback to allow for private and/or public areas.

Public Art

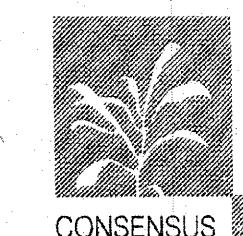
The center of the Internal Focal Area shall provide an identifying structure that enhances the design of the development. This structure shall be Public Art, or a Fountain Element to provide an ambiance within the Internal Focal Area.

Standards

- The Identifying Structure shall comply with the City's Zoning Regulations and any applicable City Ordinances.
- The Identifying Structure shall be maintained by the building Owner's (Commercial Owner's Association).
- The Identifying Structure shall be located in the center of the round-a-bout.

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TELEPHONE • 505.821.5600
FAX • 505.821.0977

EPC SUBMITTAL

DATE ISSUED • 08.08.2005
PROJECT ID • Fountain Hills

Site Plan
For Subdivision

A2

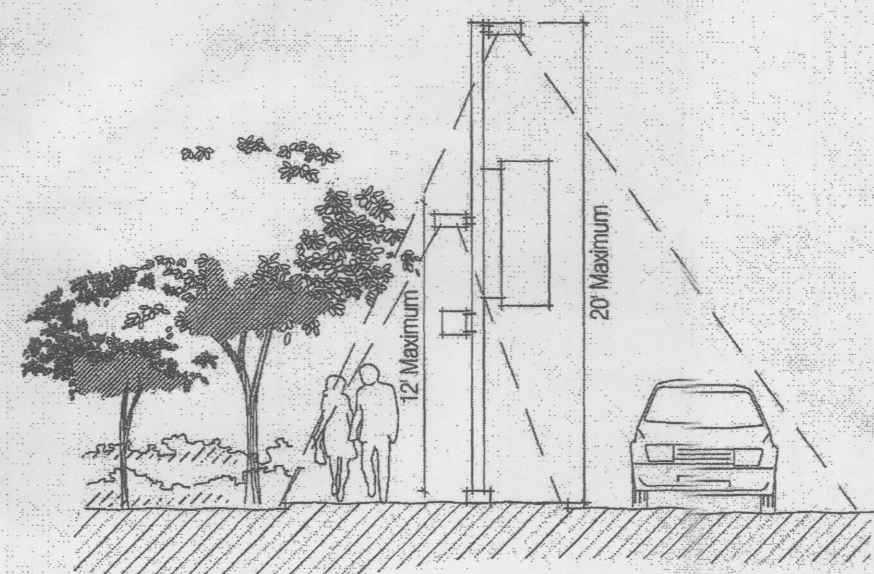


Figure H: Public Right-of-Way Lighting

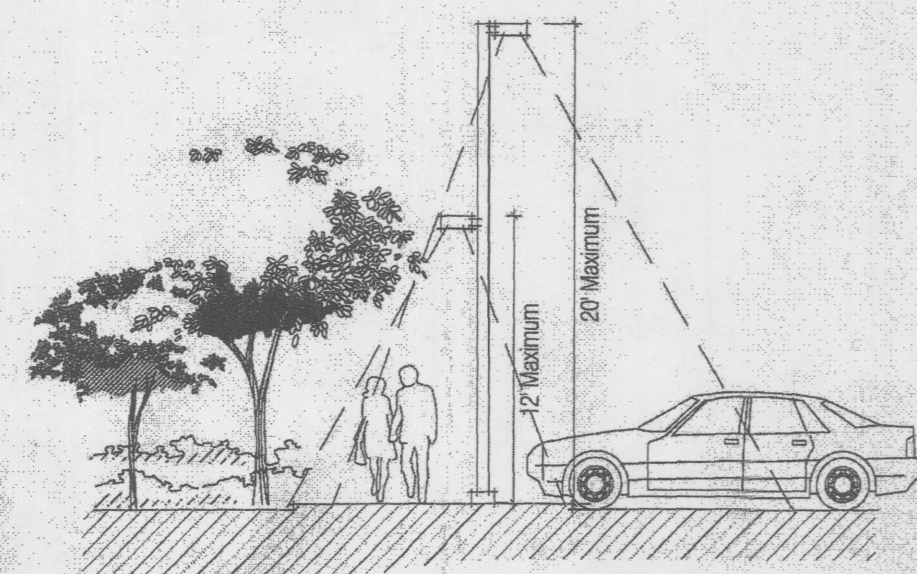


Figure I: Parking / Pedestrian Lighting

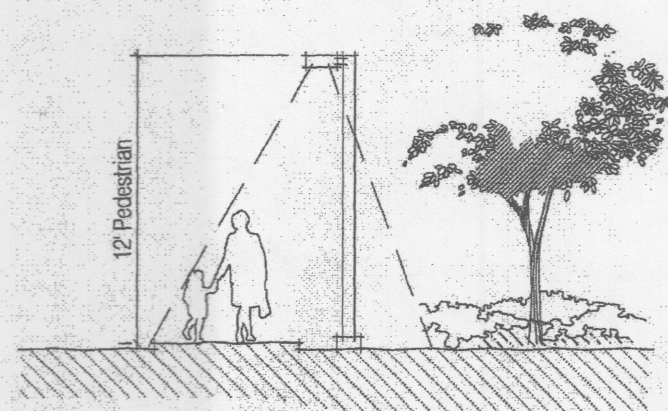


Figure J: Pedestrian Lighting

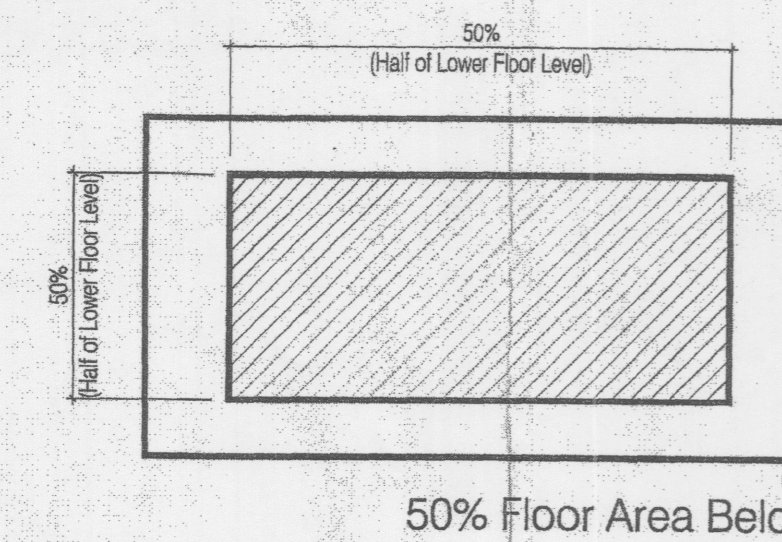
Pedestrian Connections & Trails

Pedestrian pathways will depend on creative site design and will be a primary design objective. Objectives to achieve this goal include maintaining a high quality and consistency in style for site amenities including benches, plazas, walkways, lighting, etc.; providing shaded walkways; and creating separate vehicular and pedestrian circulation systems throughout the project.

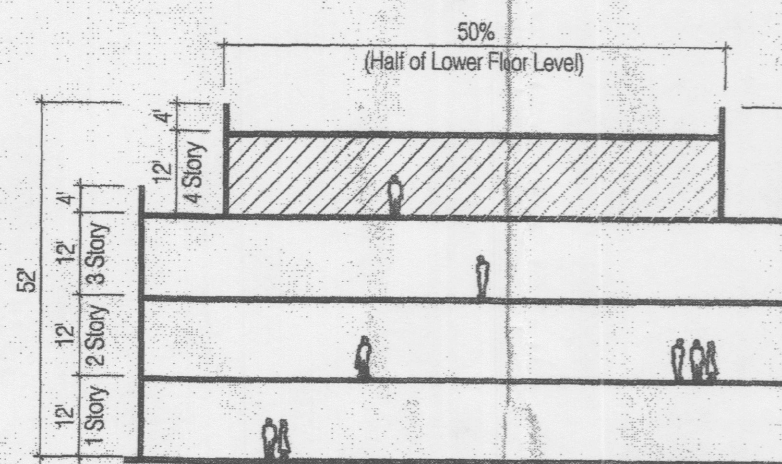
Pedestrian Connections provide direct access between land uses within the development and to the surrounding neighborhoods. The following criteria serves to create a pedestrian friendly environment and promote alternative modes of travel.

Standards

- All pedestrian paths shall be built to City Standards, per the City's Trail & Bikeways facility plan, as well as in accordance with Section 14-16-3-1(G) of the Zoning Code.
- Pedestrian linkages shall be provided between all tracts affected by this development pursuant to Section 14-16-3-1(G)(3) of the City Zoning Code.
- All soft-surface shall be of a consistent design throughout the entire site, color shall be compatible with the building materials. Material shall be of crusher fines or similar.
- All hard-surface pedestrian sidewalks shall be of a consistent design throughout the entire site, color shall be compatible with the building materials.
- All pedestrian paths shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-free Design), except where topography makes this unfeasible.
- The use of asphalt paving for pedestrian trails is prohibited. Concrete or compacted decomposed granite with stabilizer are acceptable materials.
- Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross vehicular entrances and drive aisles and where City trails cross streets. Such materials shall consist of integrally colored and/or stamped concrete, brick forms or pavers of various sizes.
- Pedestrian connections shall be provided to the required bus shelter at Eagle Ranch Road.
- Minimum 6 foot sidewalks shall be provided along public right-of-ways around the perimeter of the development.



50% Floor Area Below



50% Half-Story

Note:
The diagrams are for illustrative purposes only. The upper floor mass shall be located anywhere within the lower floor footprint.

Height Summary:
Maximum building height is 3.5 stories per Council Bill F/S 0-186, Enactment 33-1985. Allowable building height shall equate to 52 feet (13' + 13' + 13' + 13' of which the top floor is 50% floor area of the floor below).

Proposed Vertical Building Height Restrictions:

The City of Albuquerque Comprehensive Zoning Code states that SU-1 height requirements shall be regulated by the R-2 zone unless modified by the Planning Commission (14-16-2-22 (D)). The R-2 zone states "the height and width of the structure over 26 feet shall fall within 45° angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises...."

In defining a Half-Story, the definition from the Dictionary of Architecture & Construction is used, which describes a half-story as "A story within a sloping roof, usually having dormer windows and occupying about half the area of the floor or floors below". Through this definition, the top floor area is limited to this ratio of 50% of the floor area below. This massing enhances the Architectural Expression and minimizes the massing of the highest floor.

The City Zoning Code does not establish a physical height for a "story" within a building. The City's Zoning Code does establish a 26 foot height limitation in various zones. Common architectural practice can design 2 stories within this 26 foot height. Therefore, 1 story is interpreted as being 13 feet in height. 4 stories is interpreted as 52 feet measured from Finished Floor elevation to the Highest point of the building.

Site / Building Lighting

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and night-time appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

Standards

- All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to the State of New Mexico Night Sky Protection Act.
- All free-standing lights shall be of a consistent design throughout the site.
- All free-standing lights shall adhere to the detail drawings submitted by this plan.
- Sodium & Cobra lighting shall not be permitted.
- The location of light fixtures shall be identified on subsequent Site Plans for Building Permits.

Site Lighting Standards

- The height of Street lights and Off-Street Parking area lights shall not exceed 20 feet.
- All lights shall be a shielded source to prevent spillage onto adjoining properties or public right-of-way.

Pedestrian Lighting Standards

- The height of Pedestrian lighting shall not exceed 12 feet.
- Pedestrian lighting shall conform to all State & Local safety & illumination levels.

Guidelines

- Tree Canopy lighting is encouraged to accent & enhance the pedestrian corridor and the streetscape.
- The use of spread lighting fixtures are encouraged to accent landscape and walkways.

Building Lighting Standards

- Exterior elevations of any building fronting a street are encouraged to be feature lighted to enhance the identity of the building and accentuate pedestrian circulation.

Signage & Graphics

The following signage and graphic criteria creates a sense of arrival to the development and establishes a quality visual impact. Subdivision signage for this development shall be consistent with Section 14-16-3-5 (C) of the Comprehensive City Zoning Code. Where there is a conflict between these guidelines and the City Regulations, the more restrictive shall apply.

Site Signage Standards

- All signage shall comply with Section 14-16-3-5, General Sign Regulations of the Comprehensive City Zoning Code.
- Free standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- Signs shall not overhang into the public right-of-way or extend above the building roof line.
- Off-premise signs and portable signs are prohibited.
- Four Monument Signs shall be provided for the entire development.
- Multi-tenant directory signs shall be provided at access / Ingress locations as shown on the site plan. This sign shall be coordinated to have the same appearance (height, size, color, material, text height, style, etc.) at all locations.

Guidelines

- Signs which are directly spotlighted may be used provided there is no glare on the street or upon adjacent property or that the light does not distract motorists.

Building Mounted Signage Standards

- The colors, materials, size of letters & lighting shall be specified for building mounted signs throughout the project prior to CRB approval.
- Building-mounted signage shall identify the name and business of the occupant or of those offering the premises for sale or lease.
- Building-mounted signs shall have a significant contrast between the background and the text in order to ensure readability.
- No building-mounted sign shall intrude upon any architectural features, including windows, columns, moldings or any decorative features.

Landmark Standards

- One "landmark" shall be permitted identifying the Commercial Center. This landmark may be a sculpture, tower, etc. and shall not exceed a height of 32 feet.

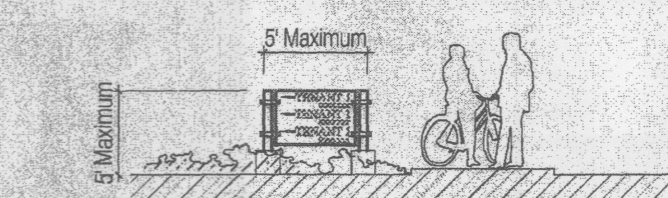


Figure K: Multi-Tenant Directory Sign

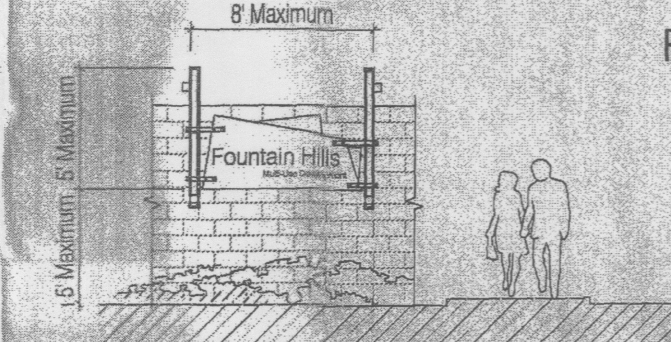


Figure L: Freestanding Monument Sign

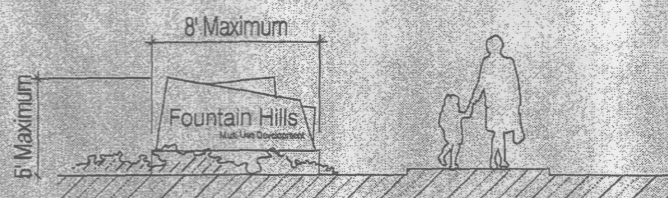


Figure M: Freestanding Monument Sign

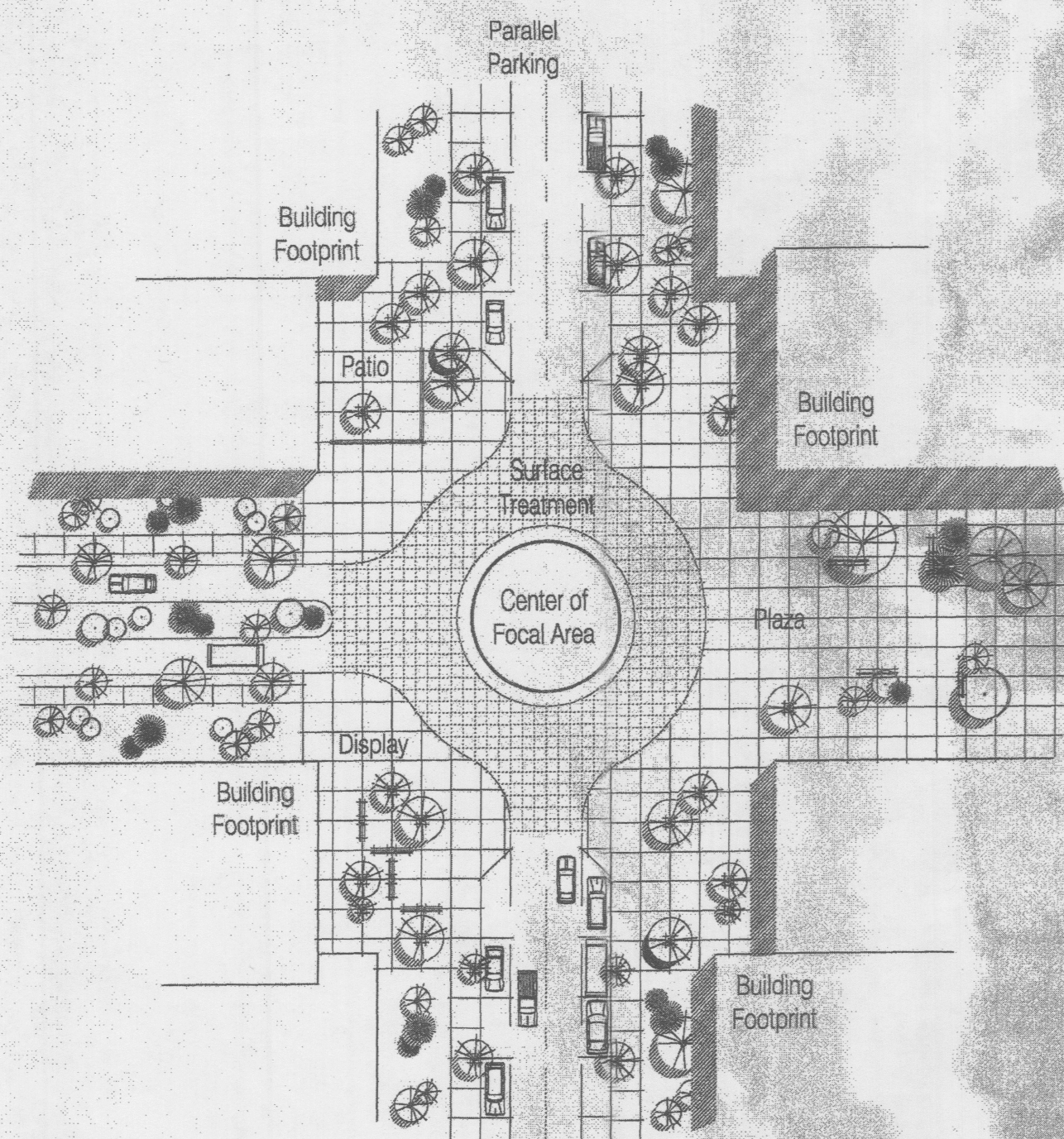


Figure G: Internal Focal Area

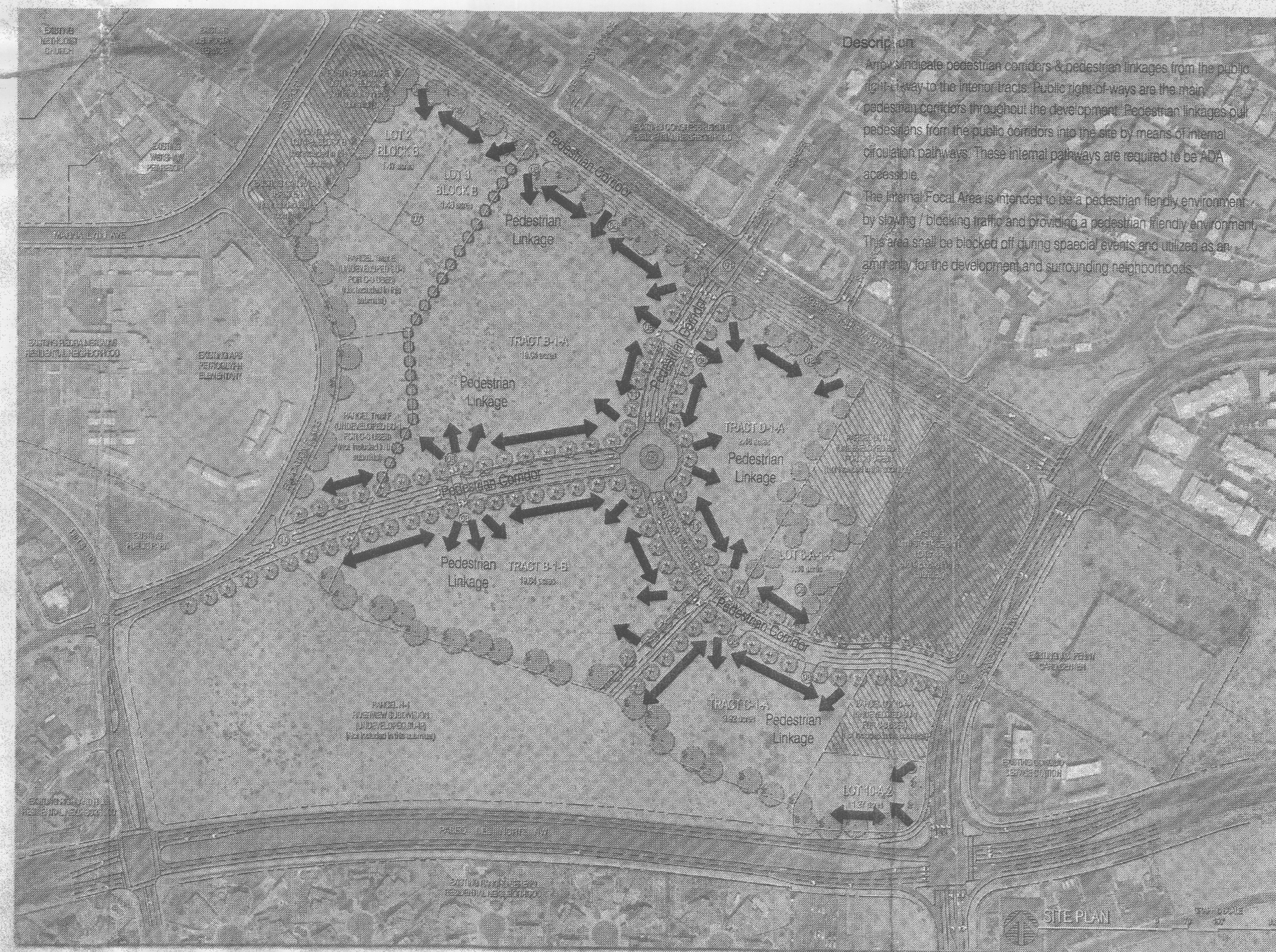


Figure H: Pedestrian Corridor Plan

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EPC SUBMITTAL

DATE ISSUED • 08.08.2005
 PROJECT ID • Fountain Hills

Site Plan
 For Subdivision

A3

Architectural Expression

Standards

- All development shall comply with General Building & Site Regulations of the City Zoning Code (14-16-3-18).

Architectural Style

The Architectural Expression is to incorporate traditional Southwestern Characteristics with a Contemporary Southwestern Expression. In order to achieve this effect, the following concepts shall be expressed:

- Massing of building facades shall be varied in height, width & depth.
- All buildings shall consist of flat roofs with perimeter parapets.
- Main Entrances & Glass Display Areas adjacent to the public right-of-way shall be recessed a minimum of 12" to create a sense of depth and mass.
- Soft rounded corners and tapered parapets shall be prohibited.

Building Form

Standards

- Building elements within the commercial tracts such as glazing, displays and entries shall be oriented both externally to the streetscape and internally towards public parking in order to promote an urban pedestrian experience.
- Buildings shall employ a variety of structural forms to create visual character and interest. Long, unarticulated facades shall be avoided. Facades shall have varied front setbacks, with wall planes not running in one continuous direction without a change in architectural treatment (i.e. offset, fenestration, material change, etc.).
- Restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with the buildings theme. These spaces shall be a minimum of 100 square feet.

Guidelines

- It is encouraged to produce sloped/pitched roofs that overhang entry points, fenestration, and patios/plazas in order to provide shelter for the users.
- Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways and soffits shall be carefully dimensioned and detailed to provide a human scale and visual interest.
- It is encouraged to include trellis, awnings, etc. over pedestrian circulation to enhance the urban environment.
- Public areas from Multi-Family Residential & Service uses, such as balconies and patios, shall be oriented and relate to pedestrian streets and pathways.
- It is encouraged to articulate Residential entryways with low walls, gateways and garden courts.

Building Materials

Standards

- The predominant Building Material shall be stucco. Reveals shall be incorporated to be functional as well as aesthetic enhancements.
- Materials used to enhance the predominant building materials shall be: Integrally Colored Concrete, Stacked Stone, Architectural Finished CMU, or similar. These materials will enhance entry points and add character to the building facades.
- Materials prohibited as the main architectural feature include the following: Exposed Grey Concrete, Natural Grey Cmu Block, Traditional Red Brick, Corrugated Metal Siding.
- All Glazing shall be of the same material & color on all buildings to create a cohesive theme. Reflective & Patterned glazing shall be prohibited.
- The predominant Portal Material shall be clay tile and/or Metal Roofing. Awnings & Portals shall utilize Metal Roofing, Fabric, etc.
- Trellis shall consist of Painted Metal, Sealed / Stained Wood, etc. and shall be consistent with the character of the building facades.

Building Colors

Standards

- Predominant building field colors shall be of Natural Earth tones unique to the desert landscape, and shall include light to medium tones.
- Accent colors shall enhance building functions and articulate entry points and/or points of interest. These colors shall be deeper shades of color. No more than 3 accent colors shall be used on any building.

Guidelines

- The use of contrasting colors between roofs and walls is encouraged to further differentiate the planes of building masses.
- It is encouraged to differentiate building masses by color variations or texture changes. Recesses and punch-outs may be differentiated by tone, as well as change in material.
- Accented colors should bring out detailing to better articulate or give scale to a building mass. Accent colors at stairs, balconies and perimeter walls should be compatible with building materials.

Accessory Materials

Standards

- Railings defining Patio / Plaza space shall be of Lightweight Railing Systems. These are intended to define the semi-public space from the public space.
- Walls defining Patio / Plaza space shall be consistent with building materials.

Perimeter Walls / Fencing

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery / storage areas is essential to limit their adverse visual impact on the property. The site orientation of these elements shall be away from any street or pedestrian area. The standards established in the landscape and setback sections will provide the main objective to screening unattractive elements and activities.

Standards

- All walls including screen walls, perimeter walls and retaining walls shall be similar in materials and color of building elements, to create a cohesive theme.
- Materials acceptable for screen walls, perimeter walls and retaining walls are integrally colored concrete or concrete masonry and shall be finished to match adjacent exterior buildings.
- The maximum height of perimeter walls and retaining walls is 8 feet. Areas requiring greater retainage are required to be terraced and landscaped.
- Unfinished block walls and barbed wire, chain link, concertina wire, and plastic / vinyl fencing are prohibited.

Screening

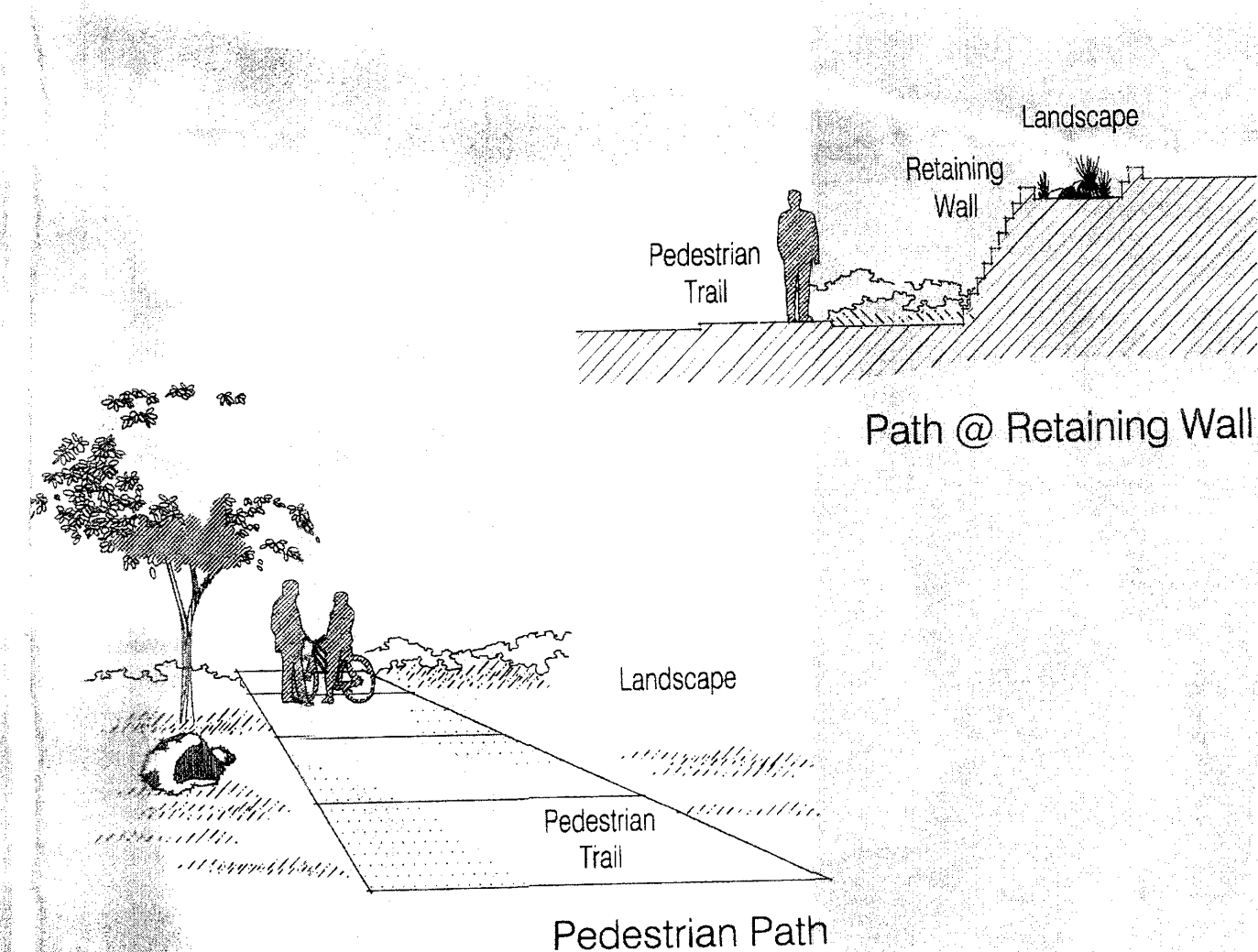
Standards

- Parking areas shall be screened with landscaping and/or walls. The screen walls for parking areas shall be of the same material & color as the perimeter & retaining walls for the entire site. Such screening shall have a minimum height of 3 feet.
- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections. Trash enclosures shall be consistent with the architectural theme and materials of adjacent buildings.
- All mechanical equipment shall meet the screening requirements of Section 14-16-3-18(C)(5) of the Comprehensive City Zoning Code. All mechanical equipment shall be screened from public view by materials of the same nature as the adjacent buildings.
- All roof-mounted mechanical equipment shall be screened on all sides by a screen wall. The screen wall shall be placed immediately adjacent to the mechanical equipment.

Walls / Fencing

Standards

- Walls and fences shall comply with Section 14-16-3-19, General Height & Design Regulations for Walls, Fences, and Retaining Walls.
- Perimeter walls shall include pedestrian openings at key locations within the development to ensure convenient access to other tracts within the development.
- Private Secure areas shall have a fence not less than 6 feet high for privacy and security. The material and finish shall be similar in materials and color to create a cohesive theme. Wrought Iron and/or Steel Framed elements are acceptable provided they are similar in materials and color of building elements, to create a cohesive theme.



Landscaping

The landscape environment serves to enhance the visual dynamic of the development and aid in reinforcing the street edge and the pedestrian environment. The intent is to provide year-round color and interest, and reflect the natural beauty of New Mexico. Landscape elements, such as street furniture, lighting, bollards, and graphic pylons shall be used to reinforce the street edge. The intent is to provide a clear theme and image for the development, by suggesting consistent paving materials, plantings, signage, etc.

Standards

- Landscape plans must comply with the City's Water Conservation Ordinance and Pollen Ordinance.
- A minimum of 20% of the site area (minus building square footage) shall be devoted to landscape materials.
- A mixture of drought tolerant species and lawn areas shall be used at landscape areas. Live plant materials shall cover a minimum of 75% of all landscaped areas.
- Landscape headers shall be used to separate turf and planting beds. Headers may be concrete, brick, or other similar material.

- Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for landscape areas, however, they are not to be considered a focal landscape element. Gravel shall be 1-1/2" maximum, the color is to be compatible with the Soft-Surface paths selection.

- An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying onto walks, buildings, fences, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.

- All plant material shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds.

- Minimum plant material sizes at the time of installation shall be as follows:

Canopy Trees	-	2' Caliper balled & burlapped
Evergreen Trees	-	10' Minimum Height
Accent Trees	-	1-1/2' Caliper balled & burlapped
Shrubs & Groundcovers	-	1 Gallon Minimum

- Low water use turf shall be provided at a maximum of 40% of the landscape area. High water use turf, if used, shall be limited to no greater than 20% of the provided landscape area.

- Street trees shall be provided as per the Street Tree Ordinance (6-6-2-1 et seq., Street Trees)

- Fountain Hills Boulevard (Nunzio Avenue) & Fountain Hills Parkway are proposed pedestrian corridors, providing circulation throughout the various tracts. These street trees shall be regularly placed to enhance the streetscape and provide a sense of the urban environment and shall include the following or similar trees:
 - Chilopsis linearis 'Lucretia Hamilton' / Desert Willow
 - Chitalpa tashkentensis 'Pink Dawn' / Chitalpa
 - Fraxinus oxycarpa 'Raywood' / Raywood Ash

- The perimeter of the site shall consist of randomly placed street trees providing a buffer to surrounding neighborhoods. These street trees shall consist of the following or similar trees:
 - Pyrus calleryana 'Cleveland' / Flowering Pear
 - Rubia ambigua / Purple Robe Locust
 - Crataegus crus-galli / Cockspur Hawthorn
 - Fraxinus velutina 'Modesto' / Modesto Ash

- 75% of the required parking areas trees shall be deciduous and have a mature height and canopy of at least 25 feet.

Internal Focal Area

- Landscaping shall not be provided as a continuous buffer strip for the sides of lots immediately adjacent to Fountain Hills Boulevard & Fountain Hills Parkway within the Internal Focal Area. This standard does not preclude the provision of landscaping within the Internal Focal Area.

- Landscaping shall be provided randomly to accent the pedestrian corridor and provide a buffer between public / private areas.

Street trees shall be provided within tree wells at regularly spaced intervals to reinforce the street edge and the pedestrian corridor. The tree well shall be a minimum of 36 square feet. Trees shall be spaced 20-25 feet on center.

- In addition to Paradise Boulevard, Eagle Ranch Road & Paseo Del Norte, street trees shall also be required along the entire length of the proposed local public streets (Fountain Hills Boulevard & Fountain Hills Parkway) in accordance with the provisions of the City of Albuquerque Street Tree Ordinance (6-6-2-1).

- Accent plants shall be provided to enhance the environment within this node. The palette in the Internal Focal Area shall consist of the following or similar plants:

Shrubs / Groundcovers

- Artemisia 'Powis Castle' / Powis Castle Sage
- Caryopteris clandonensis / Blue Mist
- Cytisus x lena / Lena's Broom
- Lagerstromia indica / Crape Myrtle
- Liatris punctata / Gayfeather
- Potentilla fruticosa / Shrubby Cinquefoil
- Salvia greggii / Cherry Sage
- Zauschneria arizonica / Hummingbird Trumpet

Ornamental Grasses

- Nassella tenuissima / Threadgrass
- Nolina microcarpa / Bear Grass
- Agave hardiana / Harvard's Century Plant
- Dasylirotrichia wheeleri / Sotol
- Hesperaloe parviflora / Red/Yellow Flowering Yucca

Irrigation System

The irrigation system serving the streetscape and other common areas shall be a fully automated systems with a centralized computer controls. Irrigation components shall be selected for use with non-potable water sources to allow for future connection to potential treated water systems. Backflow prevention shall be provided per local codes to protect the potable water system from the irrigation system.

Turf areas shall be irrigated with pop-up rotary sprinklers with high efficiency nozzles. Trees, shrubs and groundcovers shall be irrigated with a combination of hard pipe and poly pipe feeding single and multi-outlet drip emitters. The entire irrigation system shall be designed to maximize water efficiency.

Landscape Maintenance

The landscape for the streetscape and common areas shall be designed to require minimal levels of maintenance. Plant materials shall be native or adapted to the region, requiring minimal water and maintenance. All plantings and landscape elements maintenance, such as benches, litter receptacles, signs, etc., within these areas shall be responsibility of the building Owners.

Site Topography

The existing topography consists of approximately 80 feet of vertical drop from West to East. Retaining walls shall be required in several locations to provide acceptable pad sites & parking. The intent for clustering of buildings as well as parking nodes will help mediate the retainage required and allow for a stepping of the overall site.

Standards

- Avoid long unarticulated expanses of retaining wall. Walls shall have varied setbacks with planes not running in one continuous direction without a change in height and setback.

- Retaining walls that are not screened by buildings or landscaping shall employ a variety of patterns and colors to create visual character and interest.

- Trails and paths shall be integrated into retaining wall locations where applicable to allow for pedestrians access to both elevations adjacent to the retaining wall.

Grading & Drainage

The existing site topography slopes from the West to the East at approx. 3% - 5% slope. There is a steep embankment from Education's Place as well as a steep drop to Eagle Ranch Road. The site takes on 2 off-site drainage flows from natural swales. Drainage from Paradise Boulevard is transported to an existing AMAFCA retention pond located within the site boundaries. Off-site drainage from Education Boulevard is transported through a drainage channel that runs along the southern property line of the project site and outfalls into the same AMAFCA pond.

The AMAFCA pond site currently houses a standpipe that allows for discharge of drainage into the existing storm drainage system located in Paradise Boulevard / Eagle Ranch. This discharge is controlled at a rate of 56 cubic feet per second. Discharge shall be restricted to the existing 30" storm drain system and the existing standpipe located in the pond.

Standards

- Site ponding shall be integral with the landscape plan.
- All measures shall be taken to provide public safety at the pond location.
- Grading & Drainage plans must comply with the City of Albuquerque regulations and ordinances.
- The AMAFCA pond shall be considered an opportunity to provide a public amenity when not in use for drainage concerns.

Site Utilities

To ensure the overall aesthetic quality of the property and the natural environment the visual impact of utilities and equipment shall be minimized by the following:

- All new electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from public right-of-way.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main element of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- Alleys shall be used for dry utilities and sewer, whenever possible.
- Utility easements shall be a minimum of 7.5 feet in width and may be spot easements instead of continuous easements for above ground structures.

Existing Conditions:

- There are no utilities currently located in Fountain Hills Boulevard (Nunzio Avenue) due to street being unbuilt.
- There is a regional electrical service easement down the center of Tract B-1-A that will need to be addressed. Developers shall be required to work with PNM on this issue.
- Fire flows and hydrant locations shall be reviewed and approved at the site plan for building permit stage.