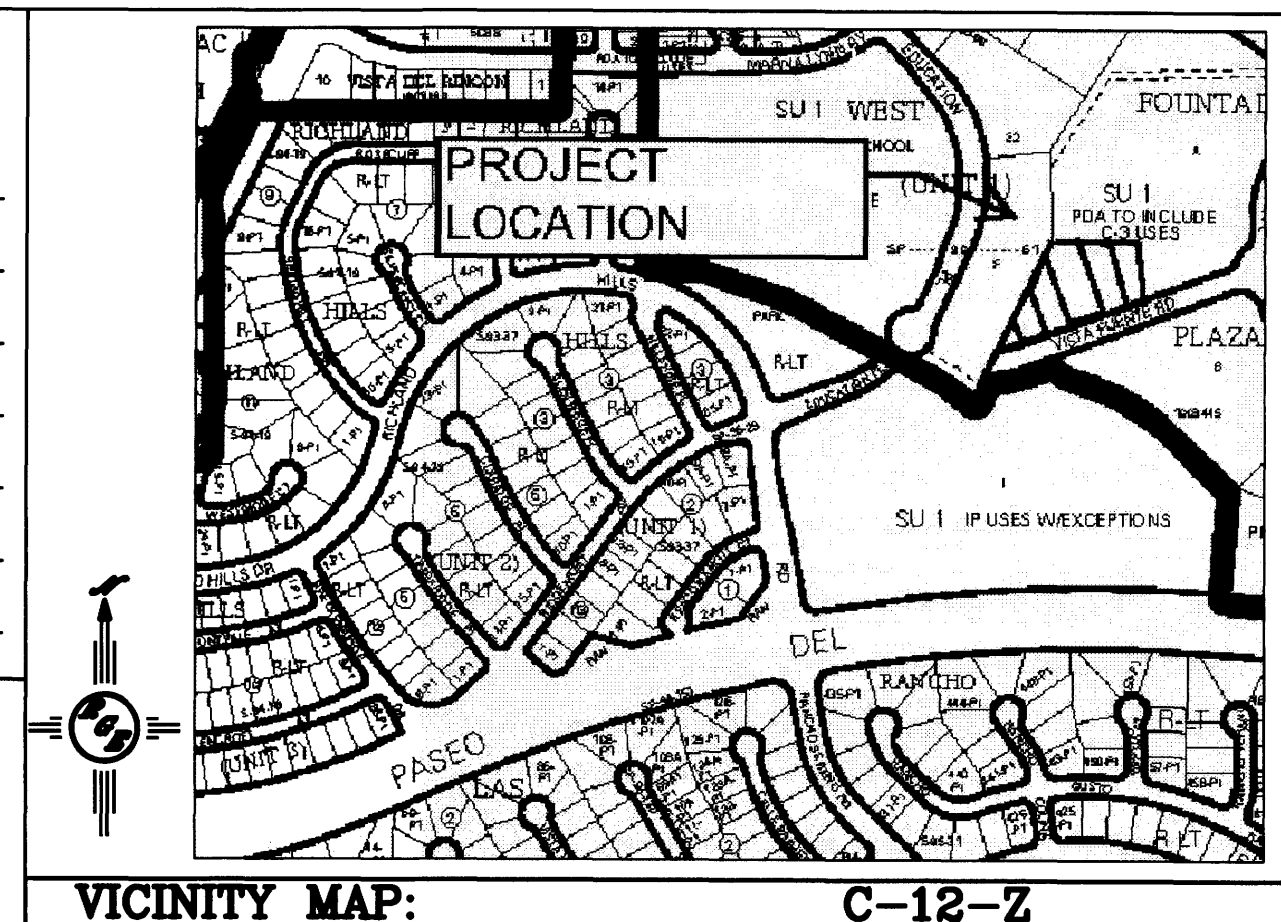


INDEX OF SHEETS

1. SITE PLAN FOR BUILDING PERMIT
2. SITE DETAIL SHEET
3. GRADING PLAN
4. UTILITY PLAN
5. BUILDING ELEVATIONS
6. BUILDING ELEVATIONS
7. LANDSCAPE PLAN

PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_  
 DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



VICINITY MAP: C-12-Z

LEGAL DESCRIPTION:

LOT 1A FOUNTAIN HILLS  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

GENERAL NOTES:

1. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG
2. ALL PRIVATE CURBS SHALL BE 6" TALL UNLESS OTHERWISE NOTED  
 SEE DETAIL SHEET. ALL COA ROW CURBS SHALL BE STD 8" PER COA STD DWG #2415A.
3. ALL HANDICAP RAMPS SHALL BE ADA COMPLIANT.
4. ALL DRIVABLE SURFACES SHALL BE 3" THICK ASPHALT PAVING.
6. ALL LANDSCAPING WITHIN THE COA ROW WILL BE GOVERNED BY APPROVED STREET TREE AGREEMENT.

SITE DATA:

ZONING: SU-1 PRD W/ C-3 USES  
 BUILDING SF: = 10,300 SF

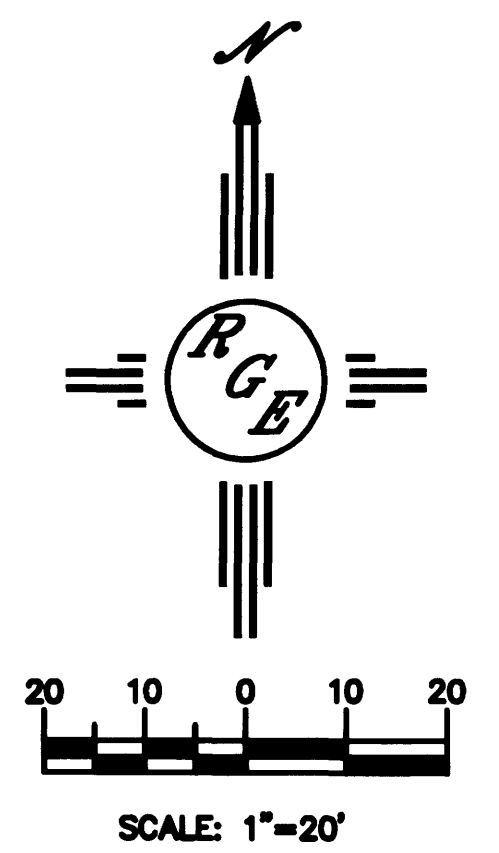
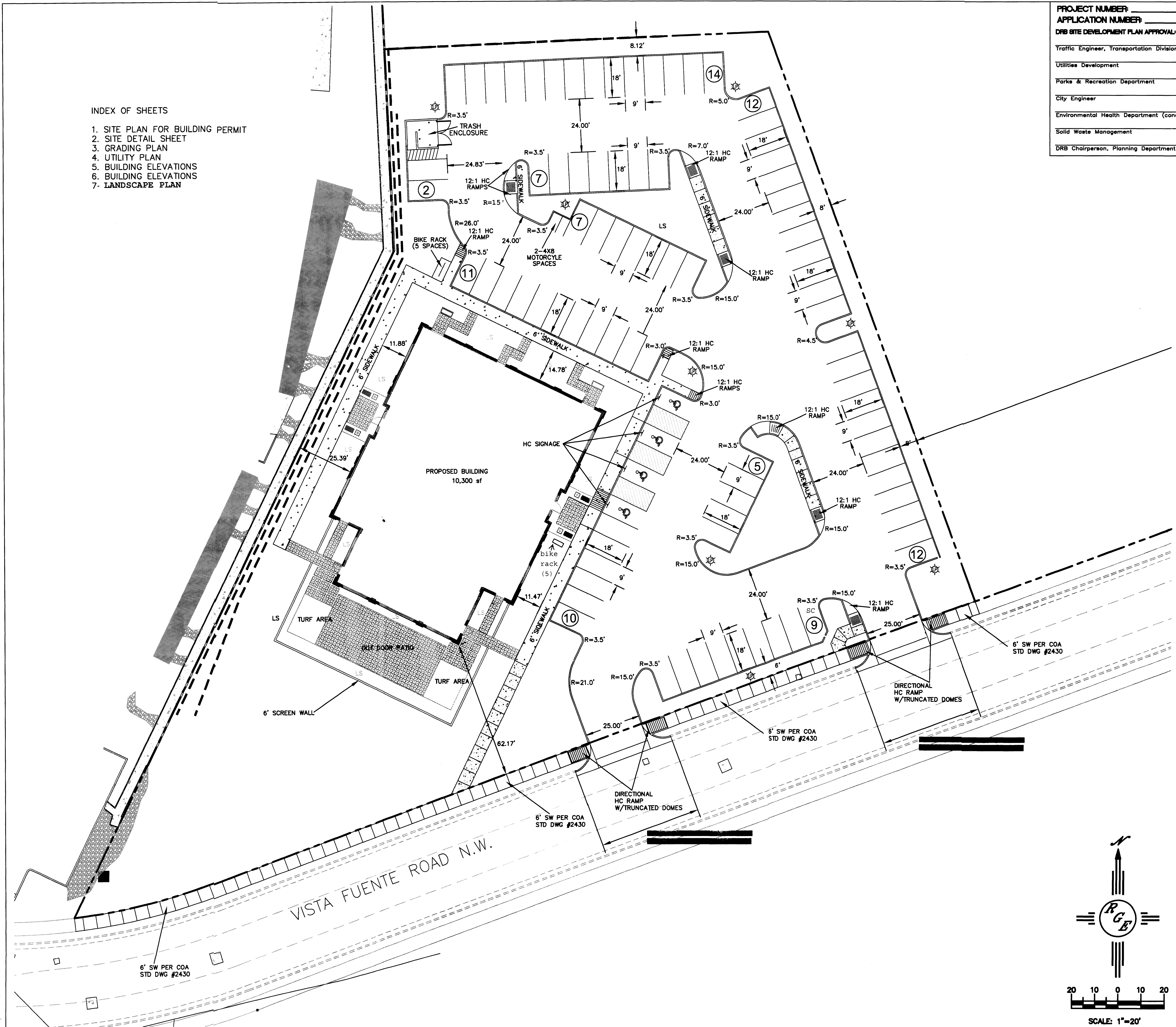
TOTAL LOT AREA: 2.00 AC ±  
 PARKING ANALYSIS:  
 EVENT AREA 247 SEATING CAPACITY:  
 1 SPACE/3 PERSON (OCCUPANCY LOAD)= 83

TOTAL	= 85
TOTAL REQUIRED	= 79
TOTAL PARKING PROVIDED	= 85
ACCESSIBLE PARKING ( 4 REQUIRED)	= 4 (PROVIDED)
MOTORCYCLE PARKING (2 REQUIRED)	= 2 (PROVIDED)
BICYCLE PARKING (5 REQUIRED)	= 5 (PROVIDED)

MAXIMUM BUILDING HEIGHT: 26 FEET

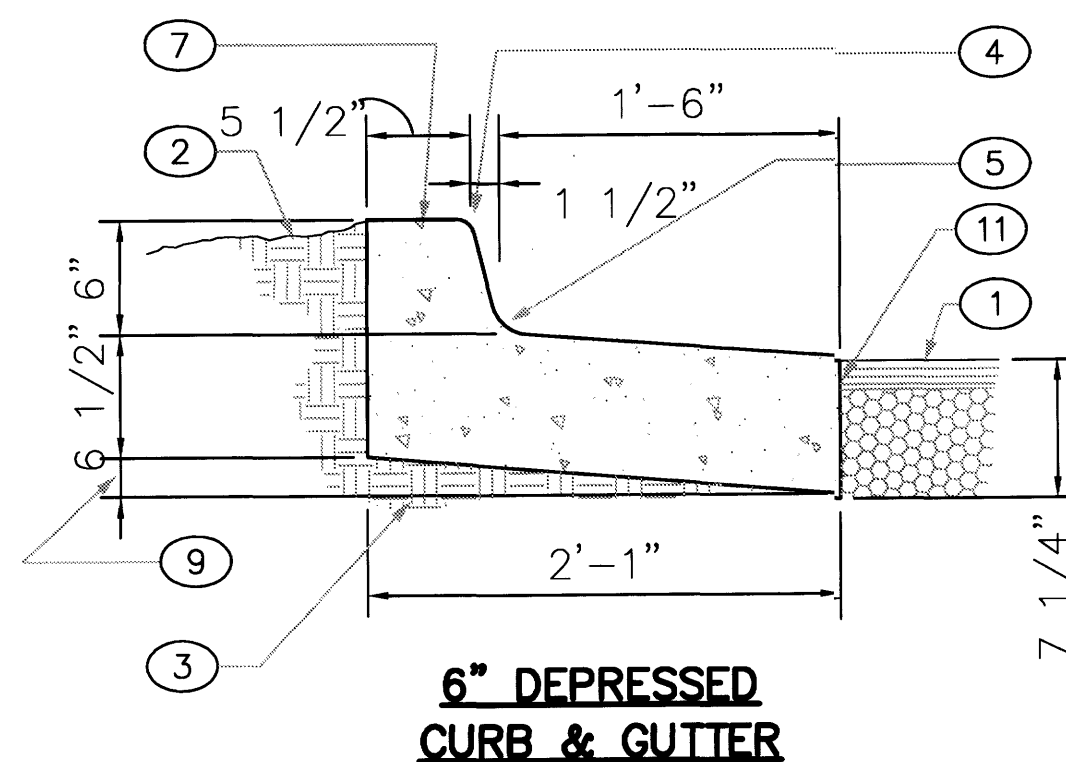
LEGEND

- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED 6" HEADER CURB
- PROPOSED 8" STD C&G
- 4" PAINTED STRIPE
- LOT LINE
- PROPOSED SIDEWALK
- PROPOSED 3" ASPHALT PAVING
- PROPOSED BUILDING
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED 6' CHAIN LINK FENCE
- PROPOSED CMU BLOCK WALL
- HC SIGNAGE
- PROPOSED RETAINING WALL
- PROPOSED LIGHT POLE

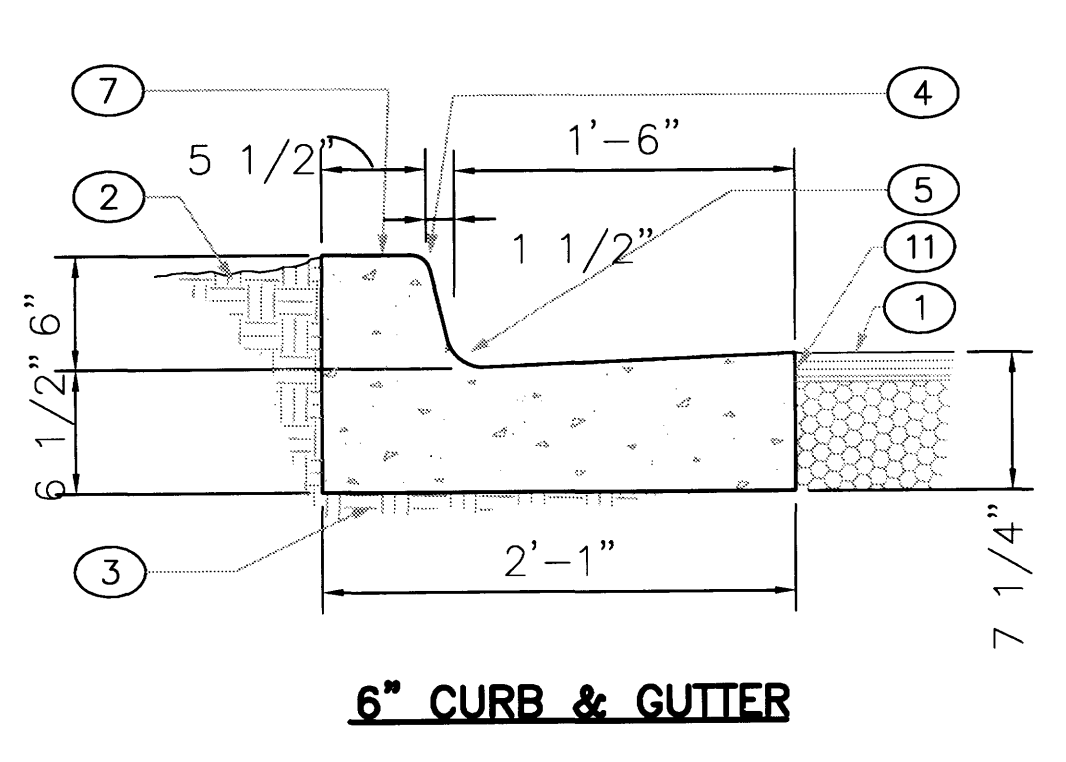


	<b>NOAH'S EVENT CENTER</b> <b>SITE PLAN FOR BUILDING PERMIT</b>	DRAWN BY DEM DATE 5-14
		SHEET # 1 of 6 JOB # XXXX





**6" DEPRESSED CURB & GUTTER**



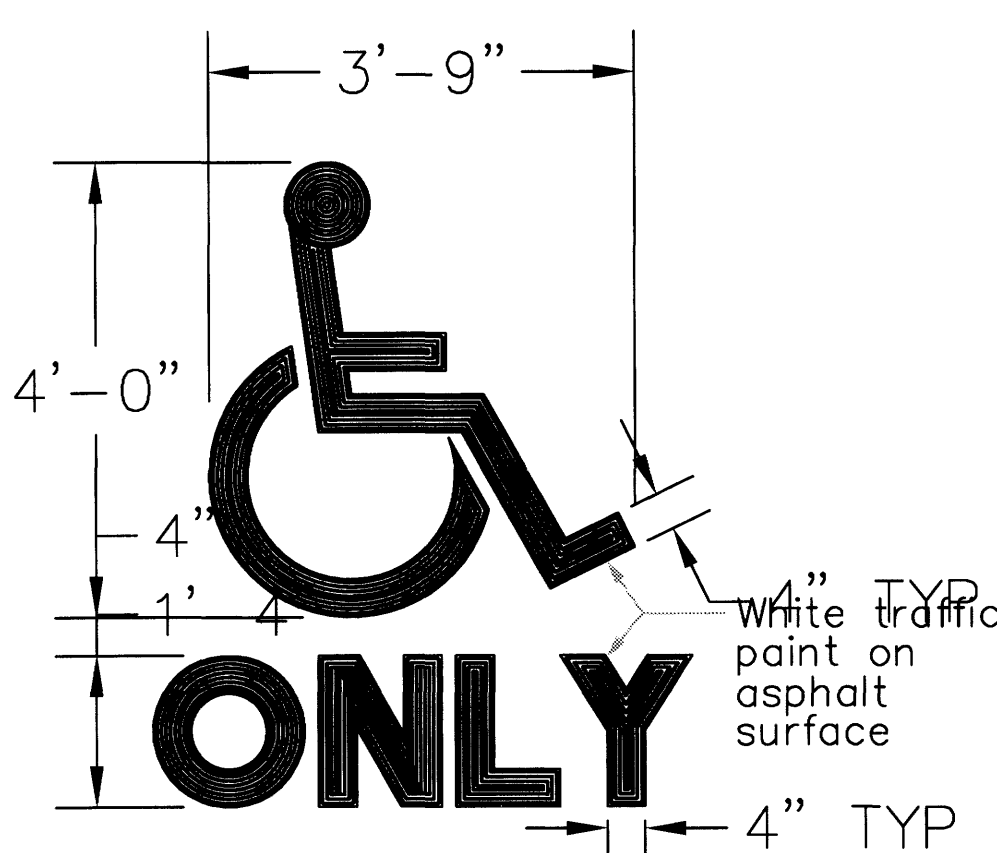
**6" CURB & GUTTER**

**KEYED NOTES:**

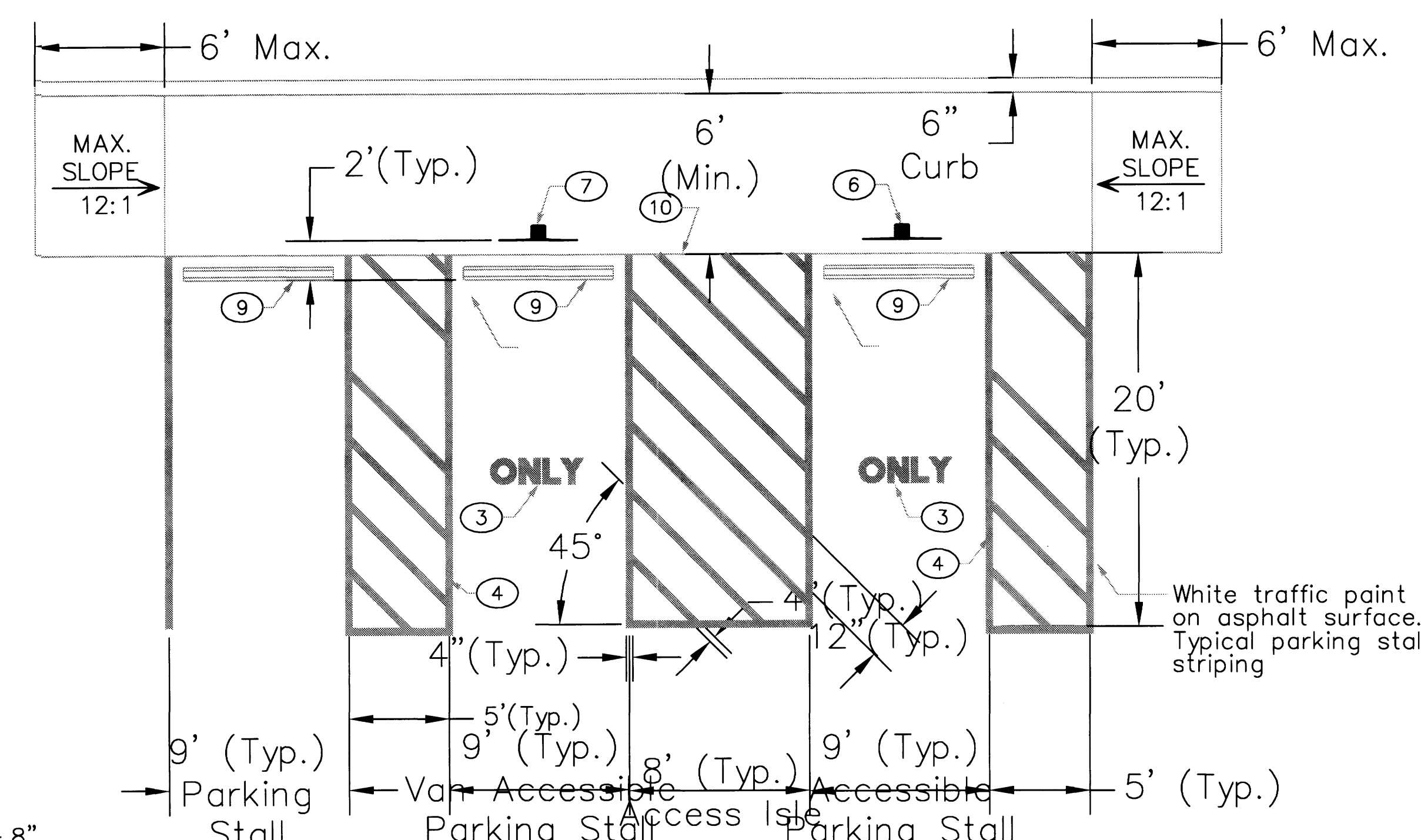
- 1. Pavement section per drawings and specs.
- 2. Finished grade.
- 3. Prepared subgrade.
- 4. 3/4" radius.
- 5. 1 1/2" radius.
- 6. Not used.
- 7. Concrete curb.
- 8. Not used.
- 9. Varies, depress as needed.
- 10. Not used.
- 11. Tack coat.

**CURB & GUTTER CONSTRUCTION NOTES:**

- A. Curbs, gutters & cut-off walls to be constructed of 3500 psi P.C.C unless otherwise noted.
- B. Edges not specifically dimensioned shall be edged with a 3/8" edging tool.
- C. Remove & replace 12" wide strip of pavement beyond lip of gutter when constructing curb & gutter adjacent to existing a.c. pavement.
- D. Dimensions at rounded corners measured to intersection of straight lines.
- E. For 6" curb & gutter provide control jts. @ 6' o.c. max, also provide 1/2" expansion jts. at 30' o.c. max, at curb returns, & at each side of driveways.
- F. For all other curbing provide control jts. @ 10' o.c., provide expansion jts. @ 50' o.c. & adjacent to buildings and walls.



**RESERVED PARKING SPACE SYMBOL**

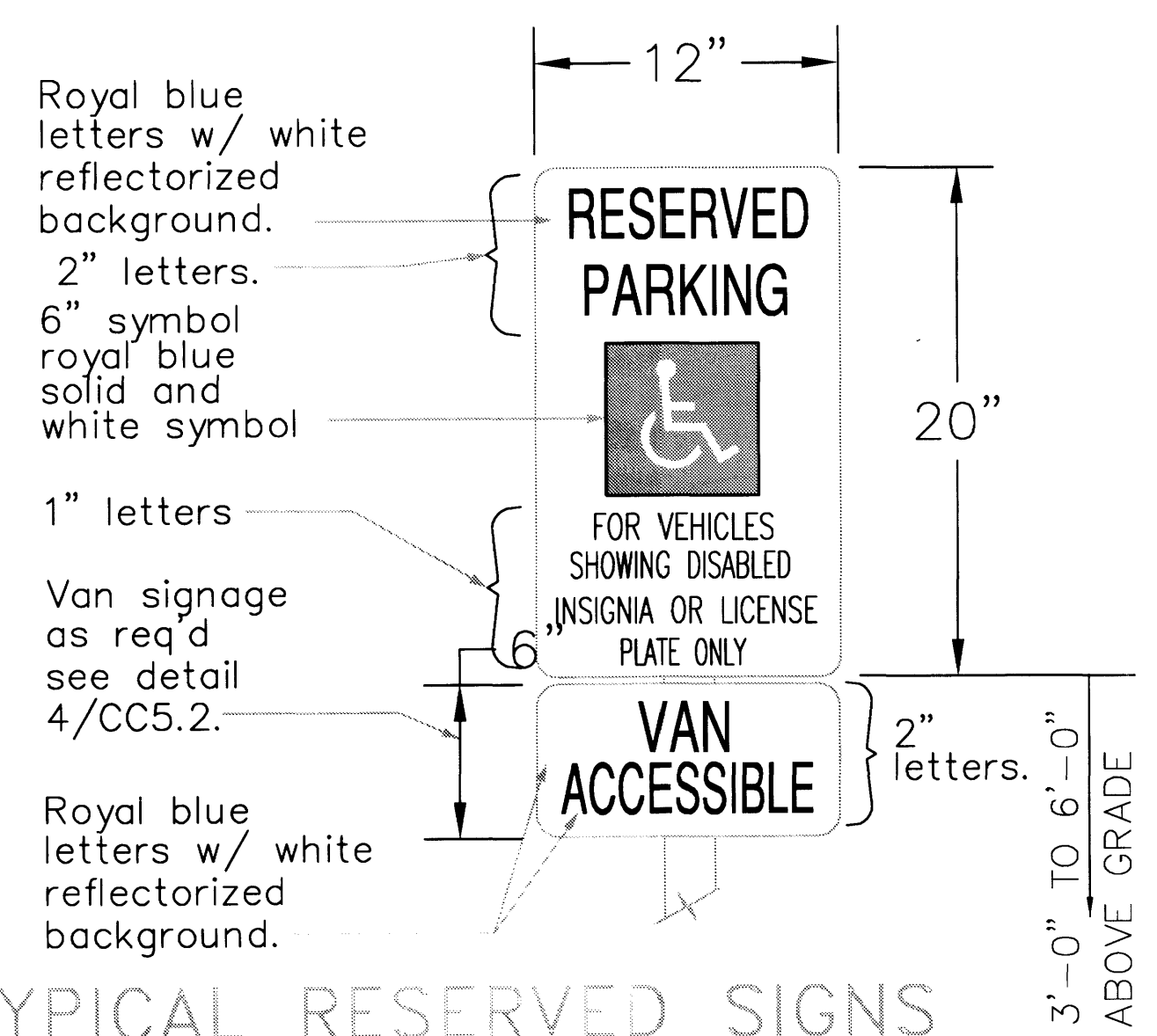


**TYPICAL 90° PARKING SPACE STRIPING**

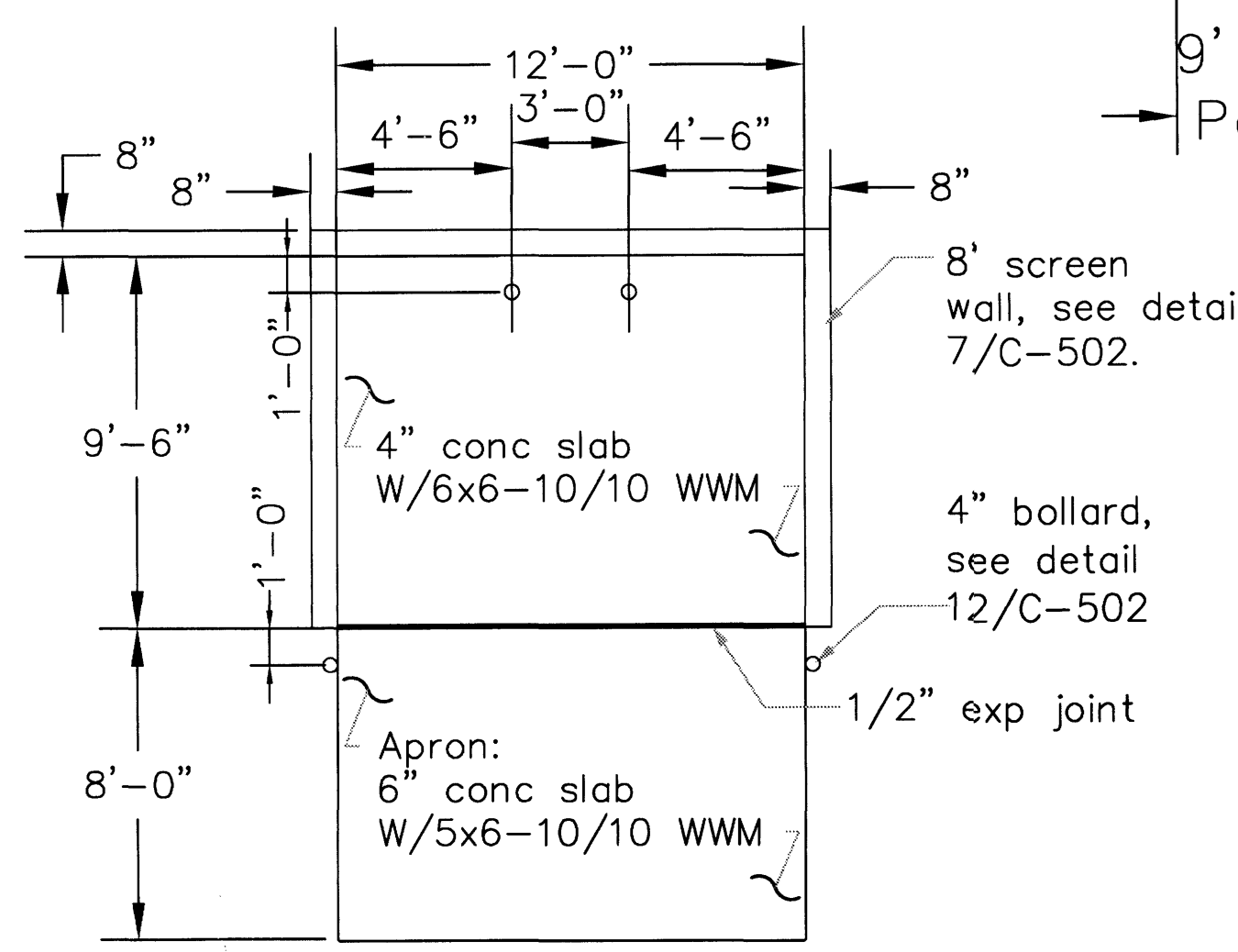
**KEYED NOTES:**

- 1. Van accessible space.
- 2. Standard accessible space.
- 3. Reserved parking symbol See detail 5/C-502.
- 4. 4" wide white striping (typ.).
- 5. Not used.
- 6. Reserved parking sign see detail 3/C-502.
- 7. Van accessible reserved parking sign see detail 3/C-502.
- 8. Not used.
- 9. Conc. parking barrier see detail 6/C-502.
- 10. Edge of asphalt pavement, see plans.

**PARKING LOT STRIPING DETAILS**

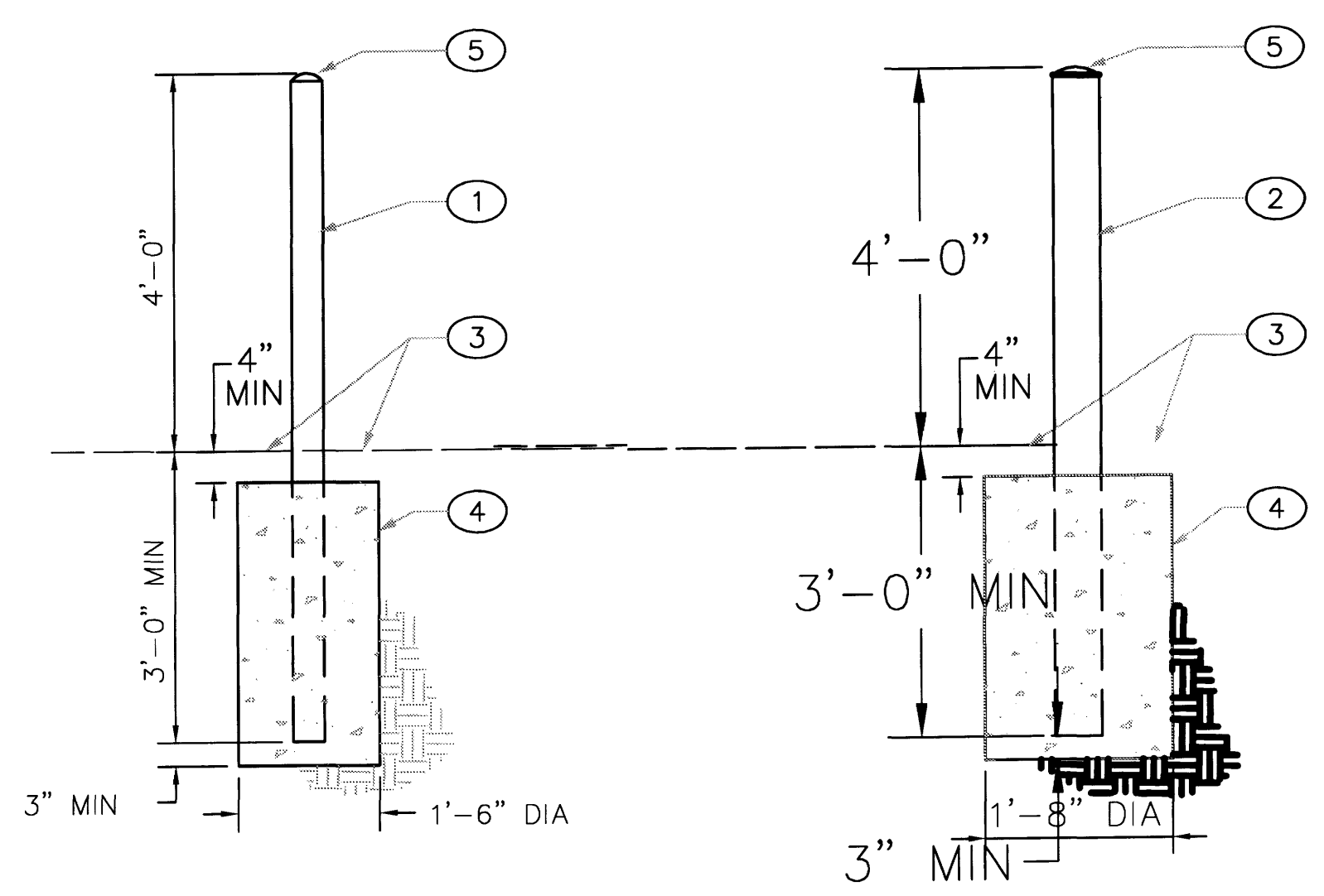


**TYPICAL RESERVED SIGNS**



**TRASH ENCLOSURE PLAN**

**CURB AND GUTTER DETAILS**



**4" BOLLARD**

**6" BOLLARD**

**KEYED NOTES:**

- 1. 4" dia. steel pipe w/ reflectorized red paint (conc. filled w/ smooth edges).
- 2. 6" dia. steel pipe w/ reflectorized red paint (conc. filled w/ smooth edges).
- 3. Finished grade or paving as per drawings & specs - see plans.
- 4. Concrete footing.
- 5. Rounded concrete.

**TYPICAL BOLLARDS**

**LITHONIA LIGHTING**

**FEATURES & SPECIFICATIONS**

**INTENDED USE** — Streets, walkways, parking lots and surrounding areas.

**CONSTRUCTION** — Rugged, die-cast, single-piece aluminum housing with nominal wall thickness of 1/8". Die-cast door frame has impact-resistant, tempered, glass lens (3/16" thick). Door frame is fully gasketed with one-piece tubular silicone. **US Patent No. D447,590. Canada Patent No. 94324.**

**FINISH** — Standard finish is dark bronze polyester powder finish. Additional architectural are available.

**OPTICAL SYSTEM** — Anodized segmented reflectors for superior uniformity and control. Reflectors attach with tool-less fasteners and are rotatable and interchangeable. Four full cut off distributions available: Type II (roadway), Type III (asymmetric), Type IV (forward throw) and Type V (symmetric square).

**ELECTRICAL SYSTEM** — Ballast: High reactance, high power factor for 50-150W. Constant wattage autotransformer for 175W. Metal halide 150W and below are standard with pulse-start ignit or technology. Ballasts are 100% factory-tested. All ballasts are mounted on a removable power tray with tool-less latch and have positive locking disconnect plugs. CSA, NOM or INTL required for probe start shipments outside of the US for 175W. Not available with 175W SCWA. Ceramic metal halide lamps are recommended for use in applications where superior color rendition, lumen maintenance and longer lamp life are desired.

Socket: Porcelain, horizontally-mounted medium base socket with copper alloy, nickel-plated screw shell and center contact.

**INSTALLATION** — Integral arm for pole or wall mounting. Optional mountings available.

**LISTING** — UL Listed (standard), CSA Certified (see Options), UL listed for 25 °C ambient and wet locations, IP65 Rated.

**WARRANTY** — 1-year limited warranty. Complete warranty terms located at [www.acuitybrands.com/CustomResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomResources/Terms_and_conditions.aspx)

Note: Specifications subject to change without notice.

**AERIS**  
Architectural Area & Roadway Luminaires

**AS1**

METAL HALIDE: 50W-175W  
HIGH PRESSURE SODIUM: 35W-150W  
10' to 20' Mounting

*Specifications*

EPd: 0.7 ft<sup>2</sup>

Length: 22-1/4 (56.4)

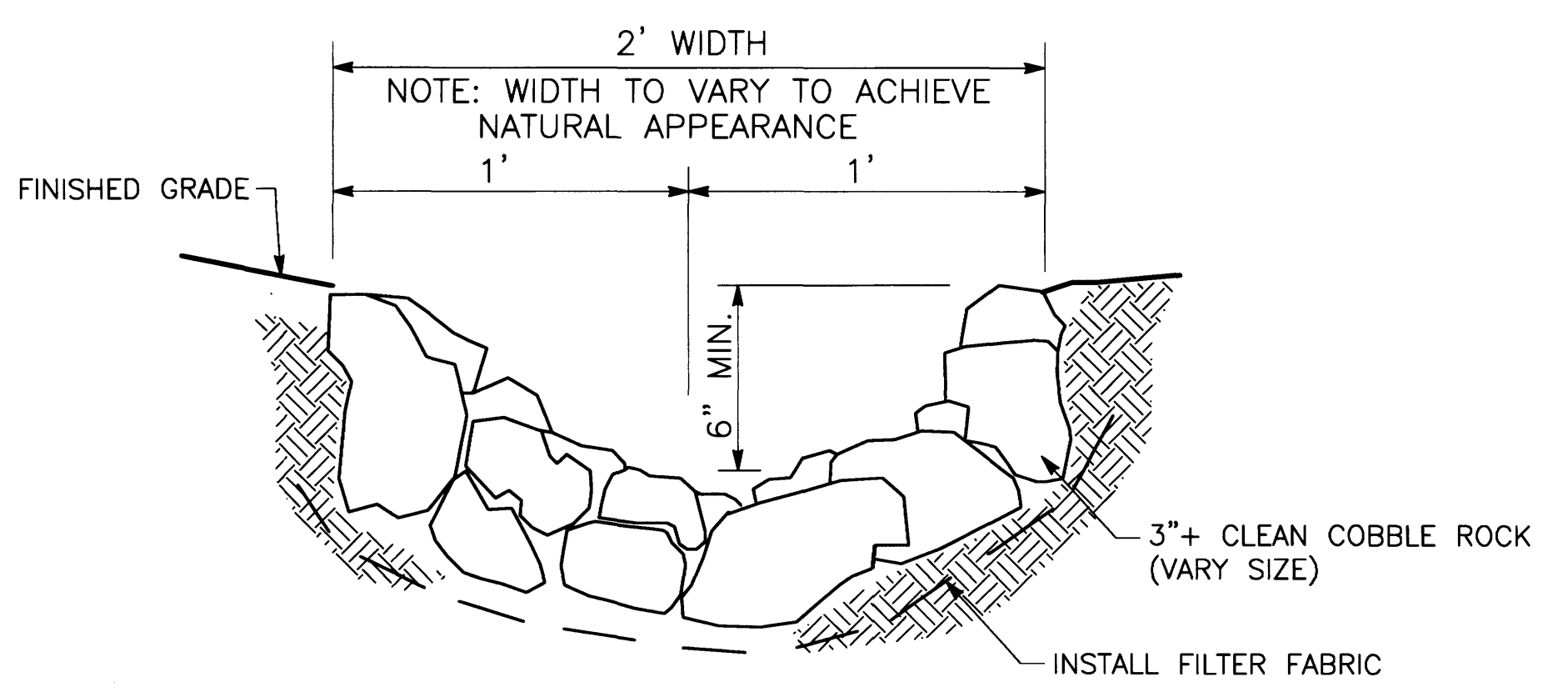
Width: 13 (33.0)

Depth: 6-3/8 (15.9)

\*Weight: 25.9 lbs (11.8 kg)

All dimensions are inches (centimeters) unless otherwise indicated.

\*Weight as configured in example below.



**COBBLE SWALE**

	<b>NOAH'S EVENT CENTER</b>	<b>DRAWN BY DEM</b> DATE 5-14
	<b>DETAILS</b>  	<b>SHEET #</b> 2 of 6
6/20/14 <b>DAVID SOULE</b> P.E. #14322	<b>Rio Grande Engineering</b> 1008 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0888	<b>JOB #</b> XXXX

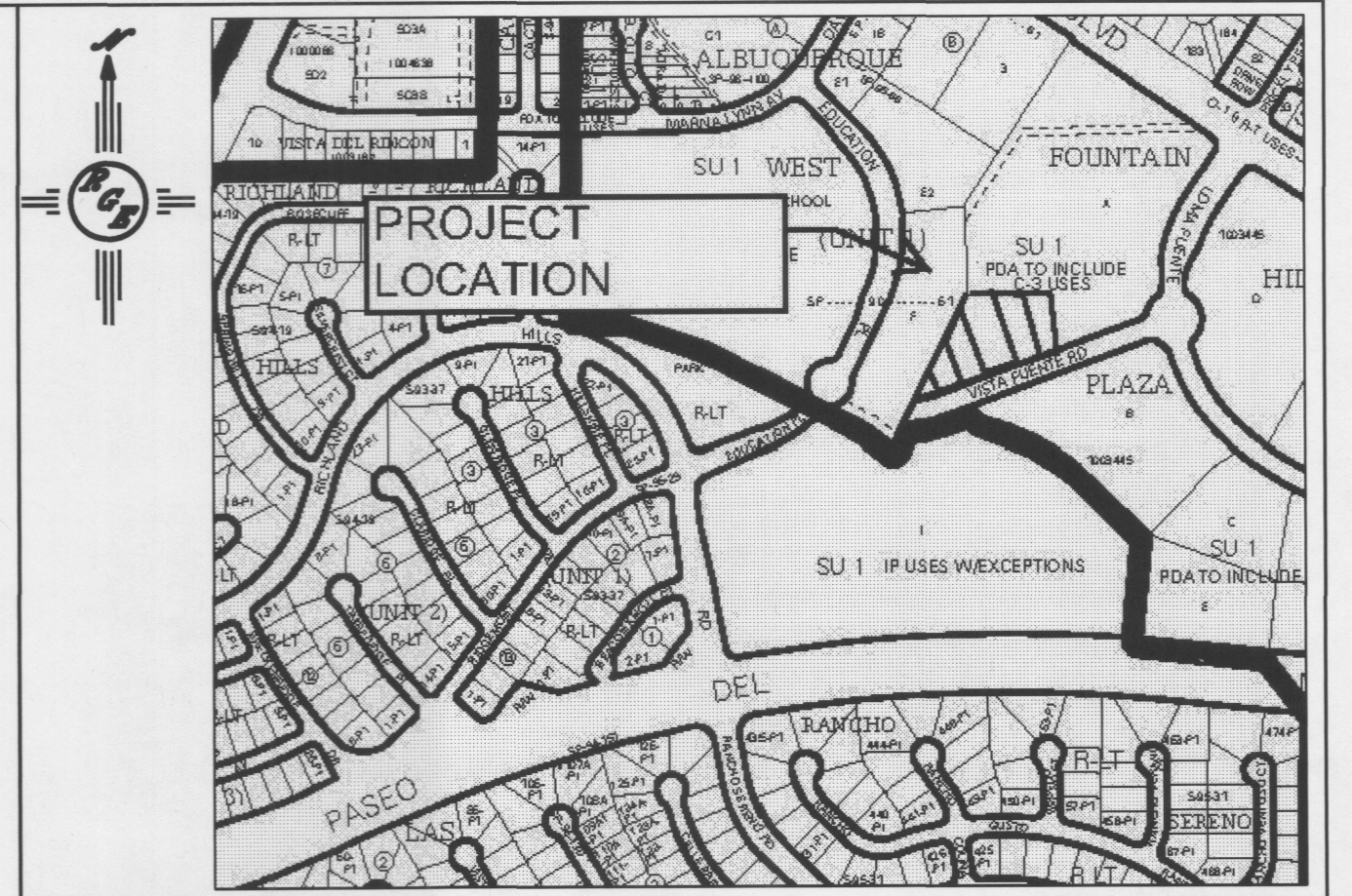


**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

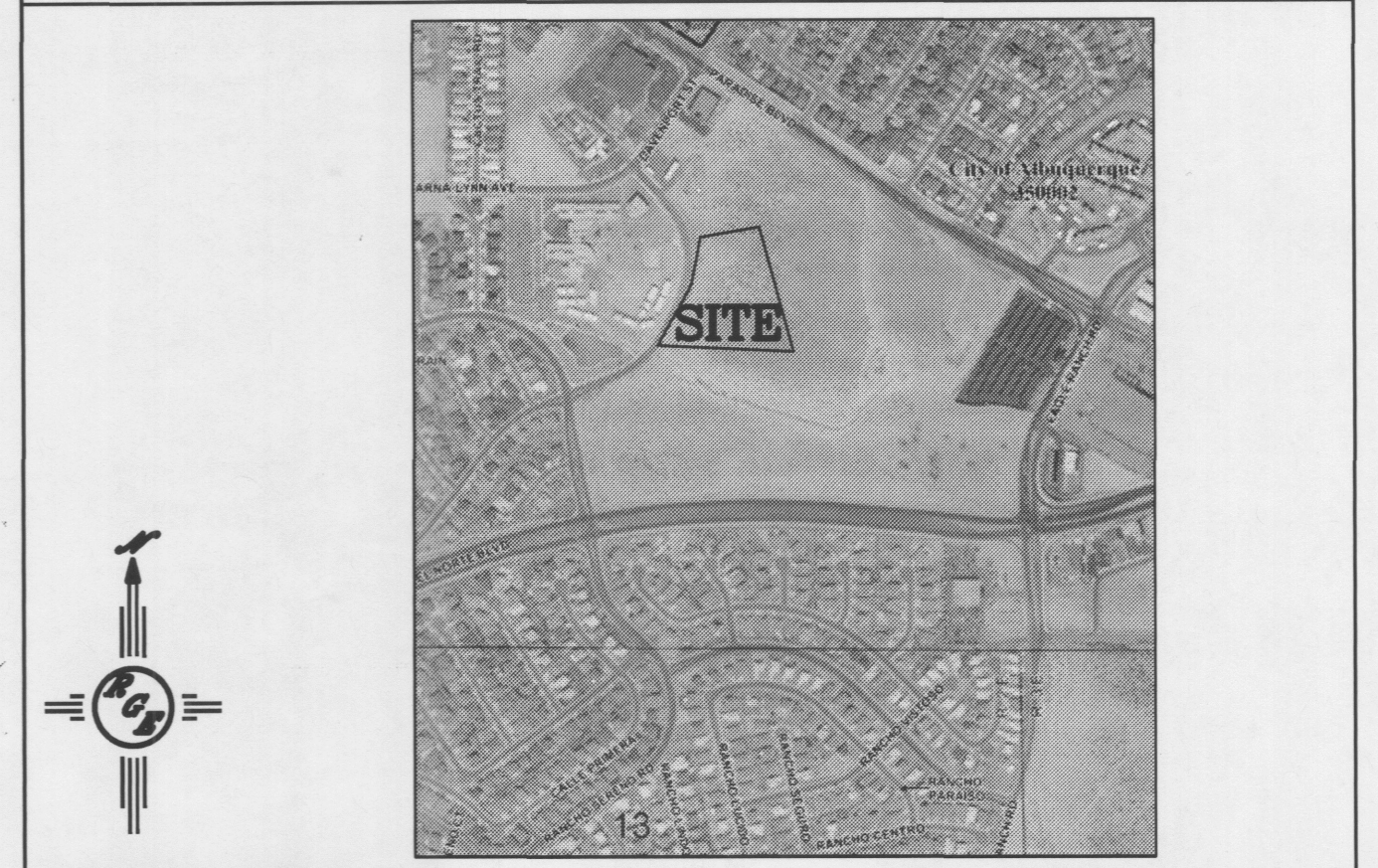
**DRAINAGE NARRATIVE:**  
THIS SITE IS PART OF THE FOUNTAIN HILLS DRAINAGE MASTER PLAN. THIS SITE IS ALLOWED FREE DISCHARGE TO THE ADJACENT ROADWAY. THE DESIGN OF THIS SITE WILL ACCOUNT FOR WATER QUALITY AS REQUIRED BY CITY ORDINANCE.

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: C-12-Z



FIRM MAP: 35001C0118G

**LEGAL DESCRIPTION:**

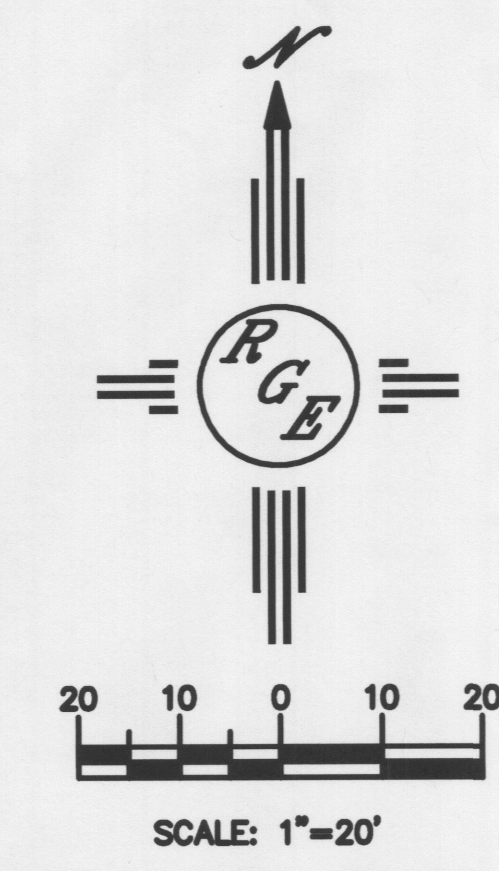
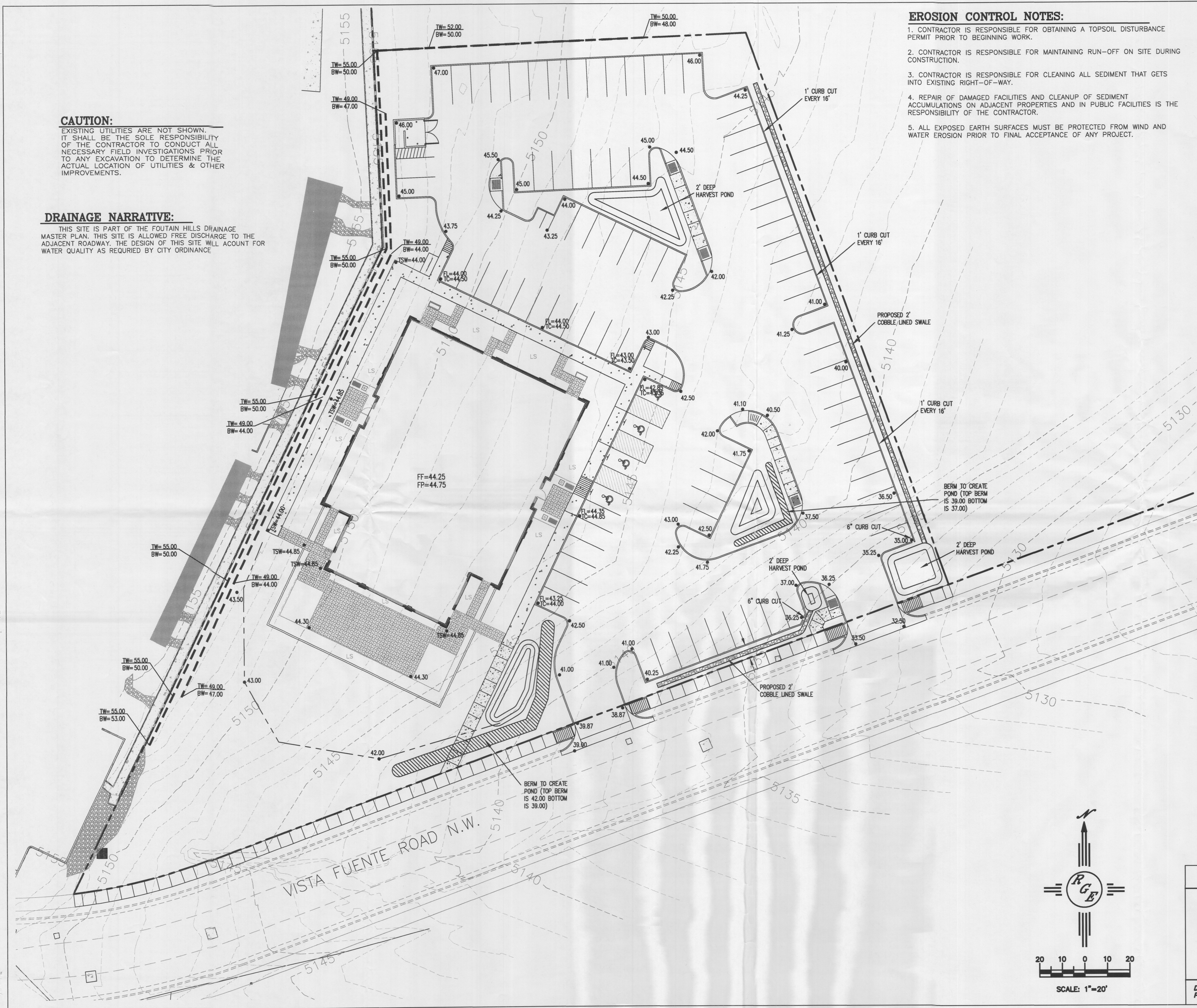
LOT 1A FOUNTAIN HILLS  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

**NOTES:**

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

**LEGEND**

46.00	PROPOSED SPOT ELEVATION
TW=44.00	TOP OF WALL ELEVATION
BW=39.00	BOTTOM OF WALL ELEVATION
-5601	EXISTING CONTOUR
-5600	EXISTING INDEX CONTOUR
-5601	PROPOSED CONTOUR
-5600	PROPOSED INDEX CONTOUR
---	LOT LINE
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED RETAINING WALL
---	PROPOSED ROCK FACE WALL
---	EXISTING CURB AND GUTTER
---	PROPOSED EDGE OF CONCRETE
---	PROPOSED FLOWLINE
---	EXISTING WALL
---	PROPOSED 22 WIDE COBBLE SWALE



<b>ENGINEER'S SEAL</b>  6/20/14 <b>DAVID SOULE</b> P.E. #14522	<b>NOAH'S EVENT CENTER</b>	<b>DRAWN BY</b> DEM
	<b>CONCEPTUAL GRADING AND DRAINAGE PLAN</b>	<b>DATE</b> 5-2014
 <b>Rio Grande Engineering</b> 1808 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0888	<b>SHEET #</b> 3 of 6	<b>JOB #</b> XXXXX



**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY EASEMENT. AN APPROVED COPY OF THESE PLANS MUST BE OBTAINED FROM THE CITY OF ALBUQUERQUE.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, UPDATE #8.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE CALL LINE LOCATING SERVICE, 280-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE ABCWUA.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE TO UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. EMS'S SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #8.
17. THE WATER AUTHORITY (857-8200) WILL BE NOTIFIED BY THE CONTRACTOR SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT THE EXISTING PUBLIC WATER FACILITIES, REFER TO SECTION 18 OF THE STANDARD SPECIFICATIONS. ONLY WATER AUTHORITY CREWS MAY OPERATE PUBLIC VALVES.
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6450 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.

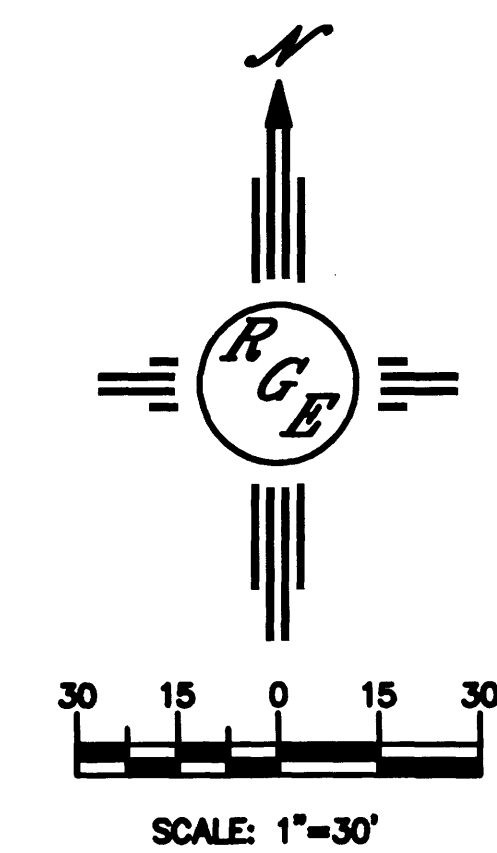
**LEGEND**

- EX. 12" SD — EXISTING STORM SEWER LINE
- EXISTING SAS MANHOLE
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- ⊗ EXISTING VALVE W/BOX
- EX. 6" WL — EXISTING WATER LINE
- ⊠ PROPOSED METER
- ⊙ PROPOSED FIRE HYDRANT
- - - - - EXISTING EDGE OF PAVEMENT
- — — — — PROPOSED CURB & GUTTER
- — — — — BOUNDARY LINE
- — — — — CENTERLINE
- — — — — RIGHT-OF-WAY
- — — — — LOT LINES
- ⊙ STREET LIGHTS
- ▨ CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR).

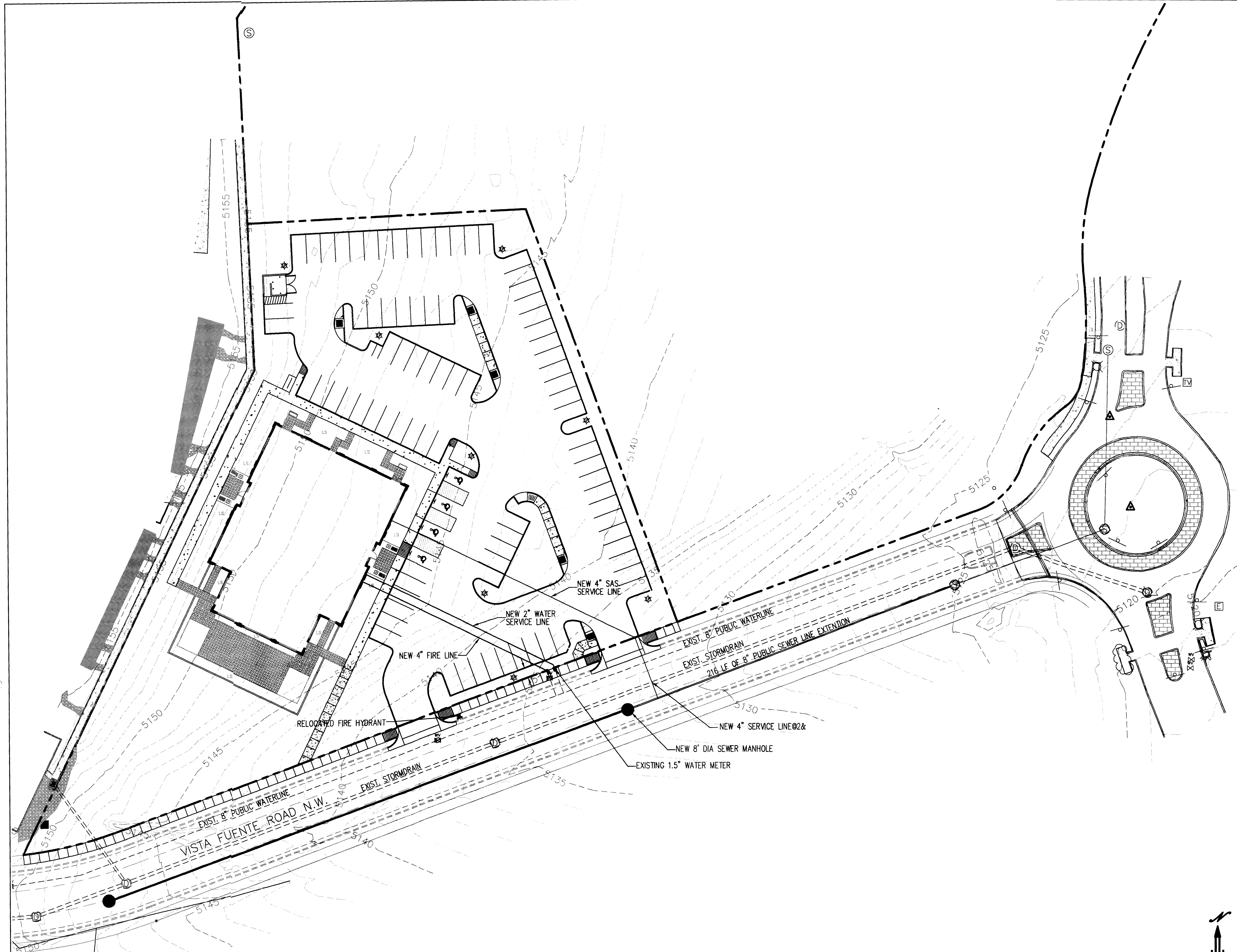
**GENERAL NOTES**

1. ALL NEW ELECTRIC DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
2. TRANSFORMERS, UTILITY PADS, AND TELEPHONE BOXES SHALL BE APPROPRIATELY SCREENED WITH WALLS AND VEGETATION WHEN VIEWED FROM PUBLIC RIGHT-OF-WAY.

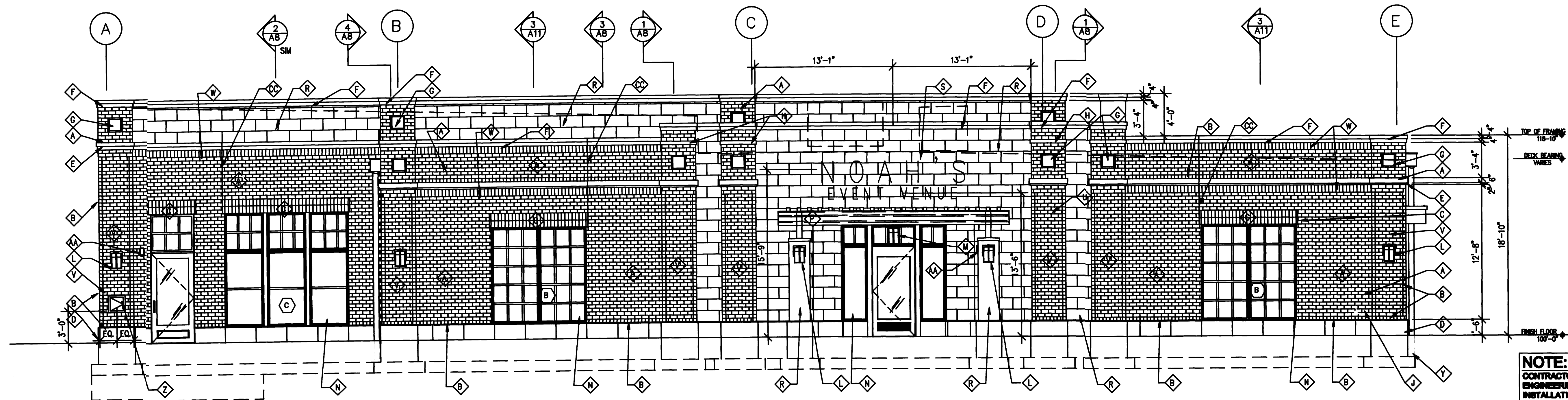
**WATER SHUTOFF NOTES:**  
 The contractor shall coordinate with the Water Authority seven (7) days in advance of performing work that will affect the public water or sanitary sewer infrastructure. Work requiring shutoff of facilities designated as Master Plan facilities must be coordinated with the Water Authority 14 days in advance of performing such work. Only Water Authority crews are authorized to operate public valves. Shutoff requests must be made online at <http://abcwua.org/content/view/463/729/>



	<b>NOAH'S EVENT CENTER</b> <b>MASTER UTILITY PLAN</b>	DRAWN BY DEM DATE 5-14
	<p>Rio Grande Engineering                  1000 CENTRAL AVENUE                  SUITE 301                  ALBUQUERQUE, NM 87108                  (505) 872-0888</p>	SHEET # <b>4 of 6</b>
6/20/14 DAVID SOULE P.E. #14522		JOB # XXXXX

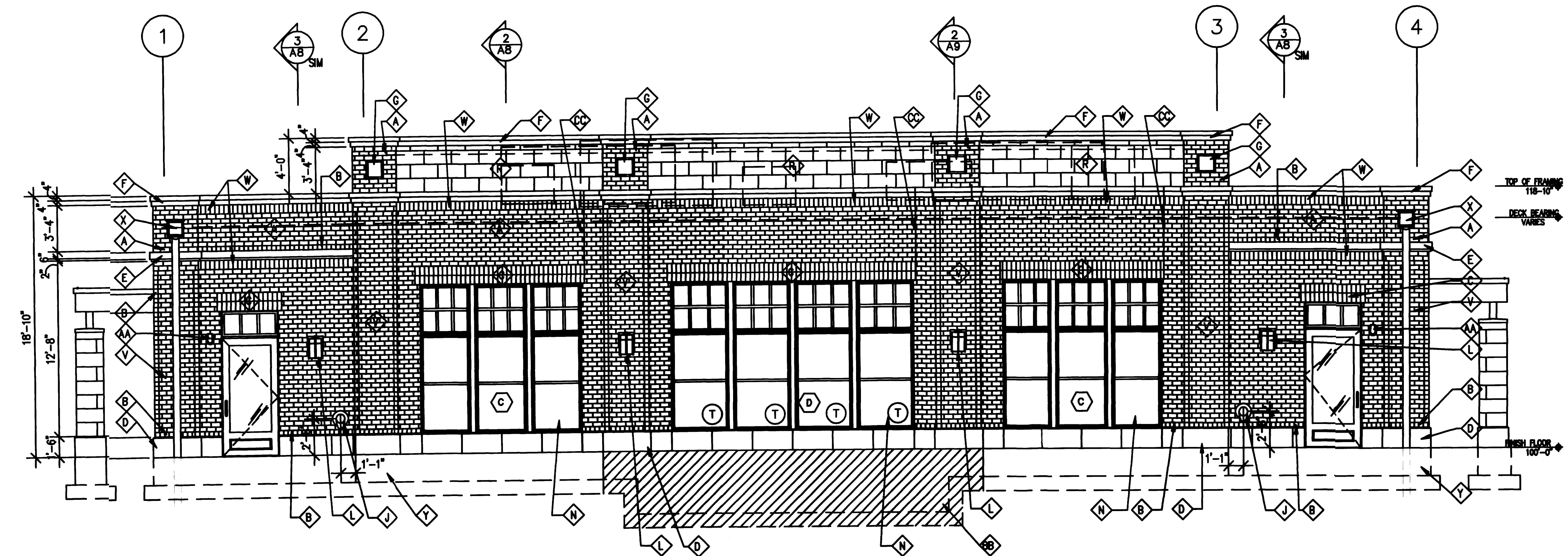






**NOTE:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL ANCHORS AND ENGINEERING NECESSARY TO INSURE A COMPLETE INSTALLATION OF ALL CAST STONE - INSTALL USING MANUF. RECOMMENDED DETAILS

**1** EXTERIOR ELEVATION  
A2 SCALE: 3/16" = 1'-0"



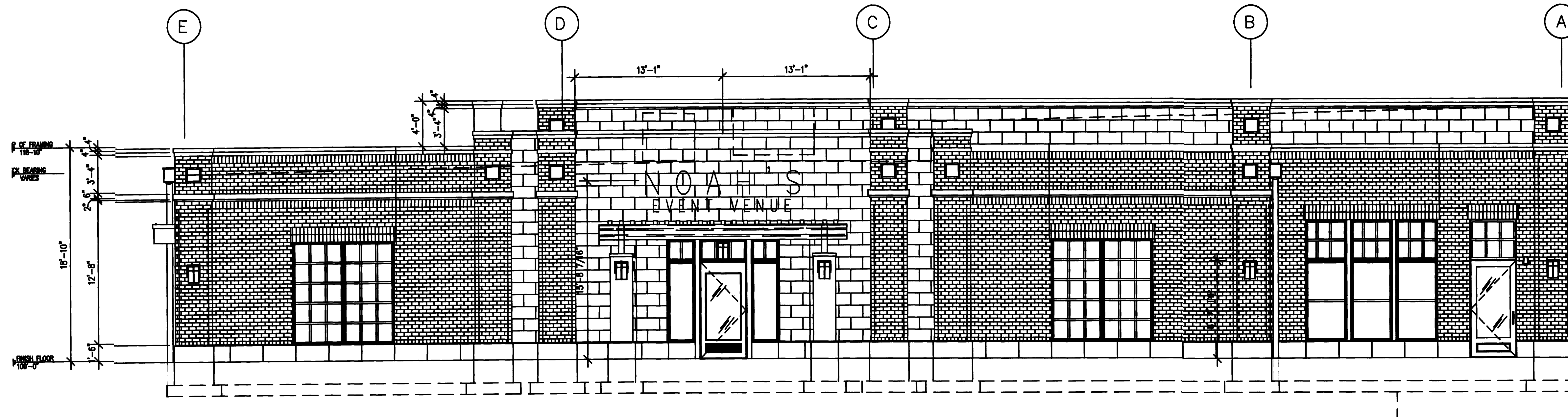
**2** EXTERIOR ELEVATION  
A2 SCALE: 3/16" = 1'-0"

**NOTE:** CONTRACTOR TO SEAL ALL JOINTS IN CAST STONE WITH COMPATIBLE ELASTOMERIC SEALANT COLOR TO MATCH CAST STONE. PROVIDE BACKER ROD AT ALL JOINTS LARGER THAN 3/8" IN WIDTH

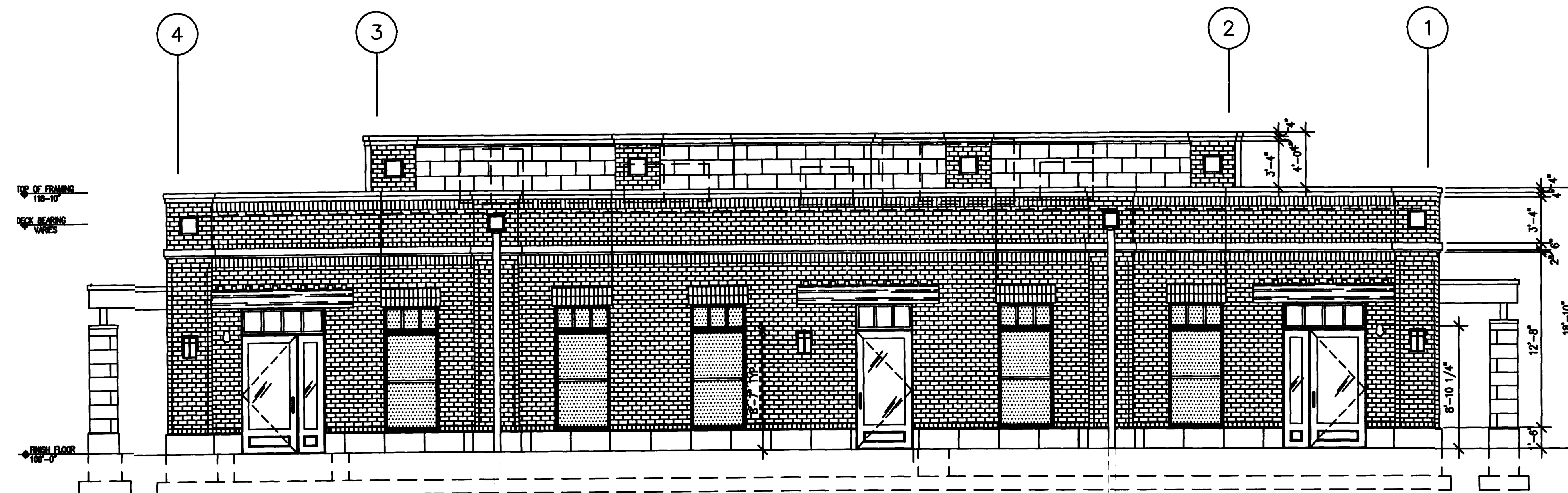
**NOTE:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL ANCHORS AND ENGINEERING NECESSARY TO INSURE A COMPLETE INSTALLATION OF ALL CAST STONE - INSTALL USING MANUF. RECOMMENDED DETAILS

FINISH NOTES/ SCHEDULE; EXTERIOR PACKAGE B		
SYMBOL	NOTE	COLOR
A	BRICK VENEER- RUNNING BOND	ACME BRICK "TEXAS HIGHLANDER" CUSTOM 4 x8 MODULAR
B	BRICK VENEER- HEADER COURSE	ACME BRICK "TEXAS HIGHLANDER" CUSTOM 4 x8 MODULAR
C	BRICK VENEER- DOUBLE BOLDER LINTEL	ACME BRICK "TEXAS HIGHLANDER" CUSTOM 4 x8 MODULAR
D	CAST STONE BASE	UNLIMITED DESIGNS N-7288
E	CAST STONE TRIM BAND	UNLIMITED DESIGNS N-7288
F	CAST STONE CORNICE	UNLIMITED DESIGNS N-7288
G	CAST STONE MEDALLION	UNLIMITED DESIGNS N-7288
H	CAST STONE TRIM BAND	UNLIMITED DESIGNS N-7288
I	THROUGH WALL SCUPPER	
J	DECORATIVE WALL MOUNTED EXTERIOR GRADE LIGHT FIXTURE #2	HINKLEY LIGHTING BOLLA OLDE BRONZE MEDIUM EXTERIOR SCORCE
K	DECORATIVE PENDANT HUNG EXTERIOR GRADE LIGHT FIXTURE #8	HINKLEY LIGHTING BOLLA OLDE BRONZE OUTDOOR PENDANT
L	METAL CLAD WOOD WINDOWS AND DOORS W/ 1" INSULATED GLASS LOW E GLASS	SIERRA PACIFIC: MOCHA #888
M	ROUGH BAWN CANOPY WITH SEALED FINISH	THOMPSONS WATER SEAL ADVANCED WOOD PROTECTOR (2) COATS
N	12"x24" GFRG TILES	UNLIMITED DESIGNS N-7288
O	BUILDING SIGNAGE- NOAH'S	
P	BUILDING SIGNAGE- FOR ALL LIFE'S EVENTS	
Q	BUILDING ADDRESS SIGNAGE- TBD	
R	SPANDREL GLAZING	
S	BRICK VENEER- SOLDIER COURSE	ACME BRICK "TEXAS HIGHLANDER" CUSTOM 4 x8 MODULAR
T	PRE FINISHED ALUMINUM CONDUCTOR HEAD W/ PRE FINISHED 8" DIAMETER DOWNSPOUT	COLOR TO MATCH SIERRA PACIFIC COLOR "MOCHA #888"
U	POURED IN PLACE CONCRETE FOOTING AND FOUNDATION SYSTEM- SEE STRUC. DWGS	
V	AV CLOSET DOOR AND TRIM- REFER TO AV CABINET SCHEDULE, SH. A10	COLOR TO MATCH SIERRA PACIFIC COLOR "MOCHA #888"
W	EMERGENCY EGRESS LIGHT FIXTURE- SEE ELECTRICAL DWGS.	
X	CARBLE CCW MIRADRI 880- 881 SELF ADHERING SHEET WATERPROOFING- PRIME FOUNDATION W/ CCW PRIMER- PROVIDE TERMINATION BARS AT BOTH ENDS	
Y	BRICK EXPANSION JOINT- REFER TO DETAIL 1A25	
Z	GARDEN PATIO WALL BRICK	ACME BRICK "TEXAS HIGHLANDER" 4 x8x16 MODULAR
AA	BRICK PAVERS	ENDICOTT "MEDIUM IRONSPOT #7" 2 1/2" x 4" x 8" CLAY PAVERS
AB	POLE MOUNTED SITE LIGHTING	LITHONIA LIGHTING: 20' AS1 SITE LIGHTING, BLACK FINISH





1 EXTERIOR ELEVATION  
A3 SCALE: 3/16" = 1'-0"



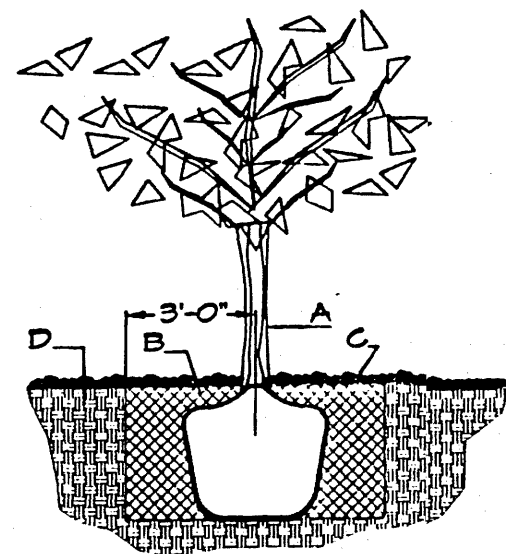
2 EXTERIOR ELEVATION  
A3 SCALE: 3/16" = 1'-0"

**NOTE:** CONTRACTOR TO SEAL ALL JOINTS IN CAST STONE WITH COMPATIBLE ELASTOMERIC SEALANT COLOR TO MATCH CAST STONE. PROVIDE BACKER ROD AT ALL JOINTS LARGER THAN 1/2" IN WIDTH

**NOTE:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL ANCHORS AND ENGINEERING NECESSARY TO INSURE A COMPLETE INSTALLATION OF ALL CAST STONE - INSTALL USING MANUF. RECOMMENDED DETAILS

FINISH NOTES/ SCHEDULE; EXTERIOR PACKAGE B		
SYMBOL	NOTE	COLOR
A	BRICK VENEER- RUNNING BOND	ACME BRICK "TEXAS HIGHLANDER" CUSTOM 4 x6x8 MODULAR
B	BRICK VENEER- HEADER COURSE	ACME BRICK "TEXAS HIGHLANDER" CUSTOM 4 x6x8 MODULAR
C	BRICK VENEER- DOUBLE SOLDIER LINTEL	ACME BRICK "TEXAS HIGHLANDER" CUSTOM 4 x6x8 MODULAR
D	CAST STONE BASE	UNLIMITED DESIGNS N-7285
E	CAST STONE TRIM BAND	UNLIMITED DESIGNS N-7285
F	CAST STONE CORNICE	UNLIMITED DESIGNS N-7285
G	CAST STONE MEDALLION	UNLIMITED DESIGNS N-7285
H	CAST STONE TRIM BAND	UNLIMITED DESIGNS N-7285
I	THROUGH WALL SCUPPER	
J	DECORATIVE WALL MOUNTED EXTERIOR GRADE LIGHT FIXTURE #2	HINKLEY LIGHTING BOLLA OLDE BRONZE MEDIUM EXTERIOR SCORCE
K	DECORATIVE PENDANT HUNG EXTERIOR GRADE LIGHT FIXTURE #3	HINKLEY LIGHTING BOLLA OLDE BRONZE OUTDOOR PENDANT
L	METAL GLAD WOOD WINDOWS AND DOORS W/1" INSULATED GLASS LOW E GLASS	SIERRA PACIFIC MOCHA #388
M	ROUGH BAWN CANOPY WITH SEALED FINISH	THOMPSONS WATER SEAL ADVANCED WOOD PROTECTOR (2) COATS
N	12"x24" GFRP TILES	UNLIMITED DESIGNS N-7285
O	BUILDING SIGNAGE- NOAHS	
P	BUILDING SIGNAGE- FOR ALL LIFE'S EVENTS	
Q	BUILDING ADDRESS SIGNAGE- TBD	
R	SPANDREL GLAZING	
S	BRICK VENEER-SOLDER COURSE	ACME BRICK "TEXAS HIGHLANDER" CUSTOM 4 x6x8 MODULAR
T	PRE FINISHED ALUMINUM CONDUCTOR HEAD W/ PRE FINISHED 1/2" DIAMETER DOWNPOUT	COLOR TO MATCH SIERRA PACIFIC COLOR "MOCHA #388"
U	POURED IN PLACE CONCRETE FOOTING AND FOUNDATION SYSTEM- SEE STRUC DWGS	
V	AV CLOSET DOOR AND TRIM-REFER TO AV CABINET SCHEDULE, INT. A18	COLOR TO MATCH SIERRA PACIFIC COLOR "MOCHA #388"
W	EMERGENCY EXPRESS LIGHT FIXTURE- SEE ELECTRICAL DWGS.	
X	CARLUBE COW MIRADRI 880-881 SELF ADHERING SHEET WATERPROOFING- PRIME FOUNDATION W/ COW PRIMER- PROVIDE TERMINATION BARS AT BOTH ENDS	
Y	BRICK EXPANSION JOINT-REFER TO DETAIL 1435	
Z	GARDEN/PATIO WALL BRICK	ACME BRICK "TEXAS HIGHLANDER" 4 x6x8 MODULAR
AA	BRICK PAVERS	SHEDDOTT "MEDIUM IRONPOT #79" 2 1/2" x 4" x 8" CLAY PAVERS
AB	POLE MOUNTED SITE LIGHTING	LITHONIA LIGHTING: 20' AB1 SITE LIGHTING, BLACK FINISH





**TREE PLANTING DETAIL**

- NTS  
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  3. PRIOR TO BACKFILLING TREE, ALL WIRE ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

- CONSTRUCTION NOTES:
- A. TREE
  - B. BACKFILL WITH EXISTING SOIL.
  - C. 3" DEPTH OF GRAVEL MULCH.
  - D. UNDISTURBED SOIL.

LANDSCAPE NOTES:  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

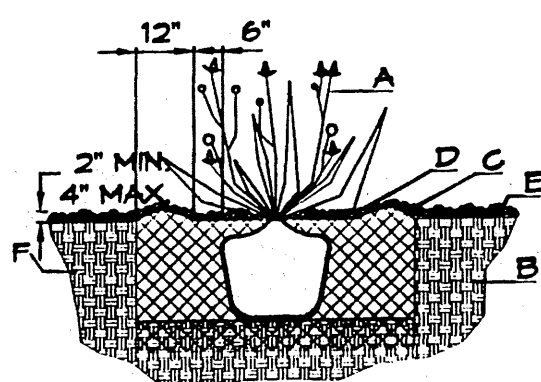
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

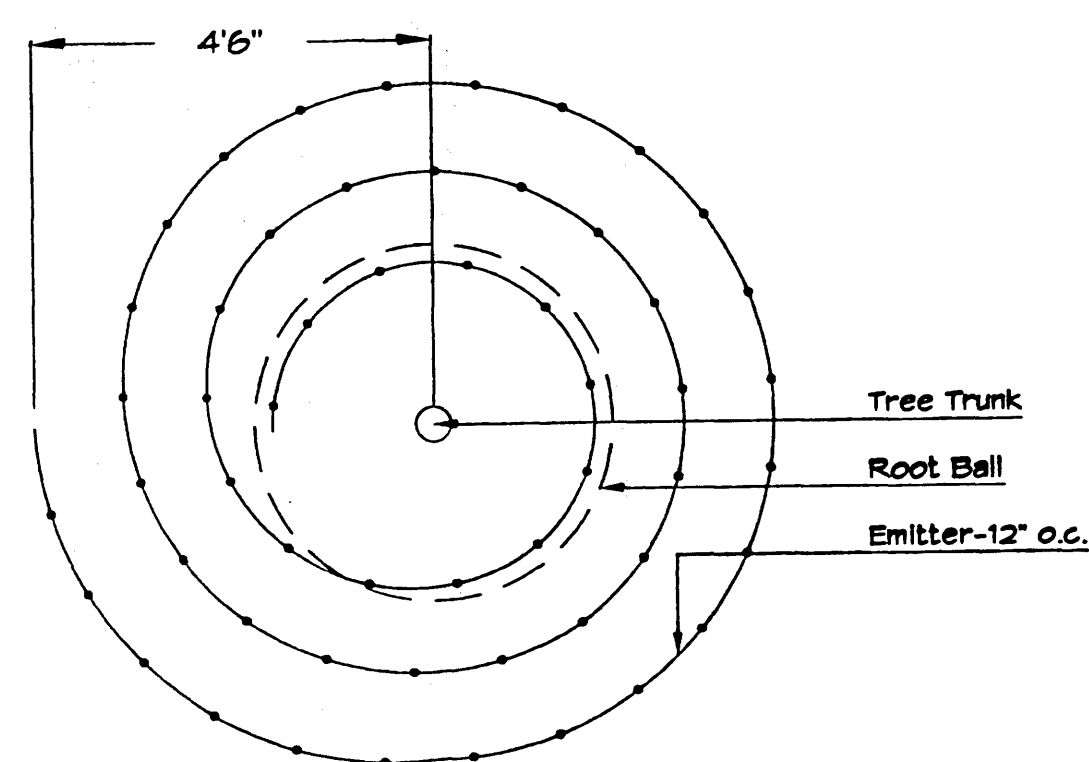
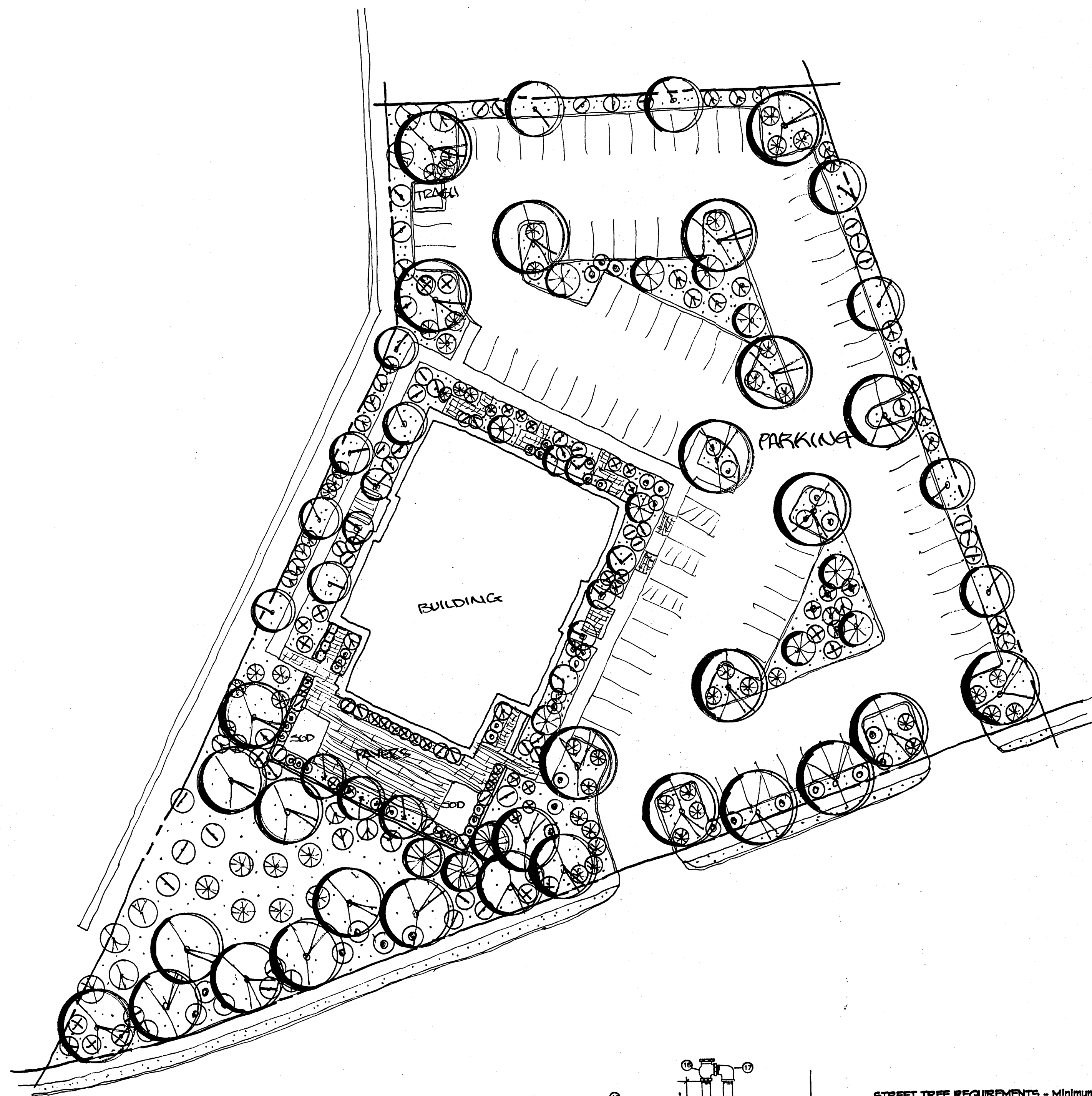
Water and Power source shall be the responsibility of the Developer/Builder.



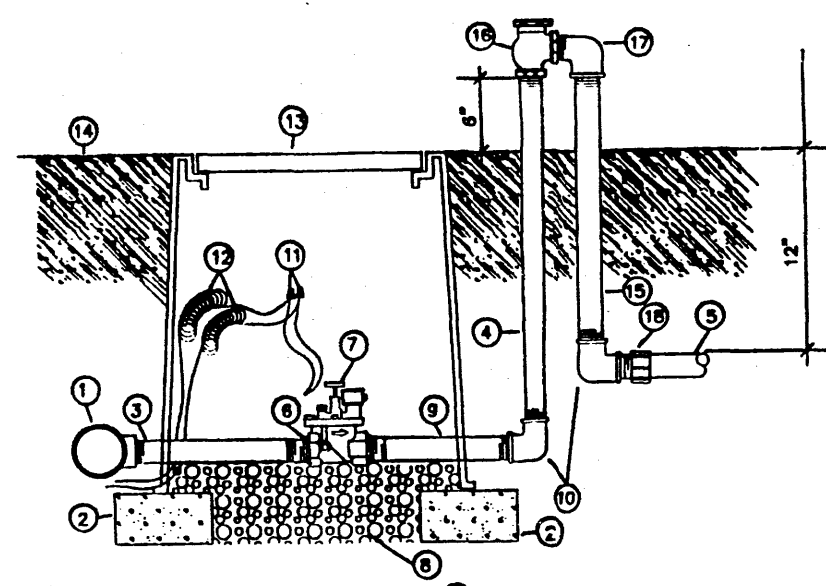
**SHRUB PLANTING DETAIL**

- NTS  
GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

- CONSTRUCTION NOTES:
- A. SHRUB.
  - B. BACKFILL WITH EXISTING SOIL.
  - C. EARTH BERM AROUND WATER RETENTION BASIN.
  - D. 3" DEPTH OF GRAVEL MULCH.
  - E. FINISH GRADE.
  - F. UNDISTURBED SOIL.



Netafim Spiral Detail



- ① MAINLINE FITTING
- ② CHW BLOCK
- ③ GALVANIZED NIPPLE
- ④ 24" TO 36" GALVANIZED NIPPLE
- ⑤ LATERAL PIPE
- ⑥ REDUCER BUSHING
- ⑦ AUTOMATIC VALVE (SEE LEGEND)
- ⑧ GRAVEL
- ⑨ GALVANIZED NIPPLE
- ⑩ GALVANIZED ELBOW
- ⑪ WATERPROOF WIRE CONNECTOR
- ⑫ WIRE EXPANSION LOOPS
- ⑬ VALVE BOX
- ⑭ FINISH GRADE
- ⑮ GALVANIZED NIPPLE - 18" TO 24" LENGTH
- ⑯ ATMOSPHERIC VACUUM BREAKER
- ⑰ GALVANIZED STREET ELL
- ⑱ TEE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER N.T.S.

**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street  
Required # 15 Provided # 15

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

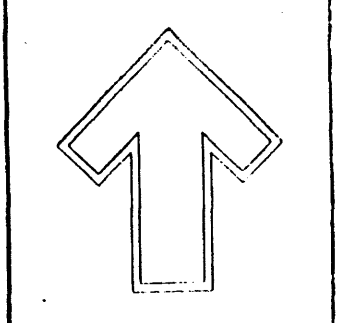
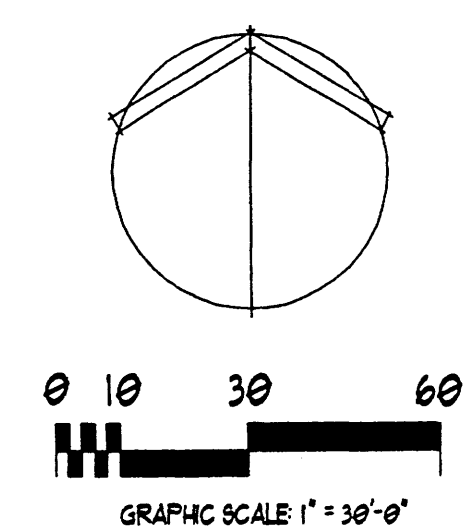
1 Shade tree per 10 spaces  
Required # 10 Provided # 11

**PLANT KEY:**

- 29 • 2" CALIPER SHADE TREES  
HACKBERRY, HONEYLOCUST
- 15 • 15 GAL. FLOWERING TREES  
REDBUD, CANTALPA, DESERT WILLOW
- 8 • 15 GAL. SPECIM N TREES  
VITEY, FORRESTIERIA
- 13 • 5 GAL. EVERGREEN TREES  
RTI JUNIPER, AUSTRALIAN PINE
- 40 • 5 GAL. LARGE EVERGREEN SHRUBS  
PHOTINIA, ELEAGNUS, COTONEASTER, FRAXINUS, NIT. PAMMIGIANI
- 62 • 5 GAL. LARGE DECIDUOUS SHRUBS  
DESERT WILLOW, LIAC, ALTHEA, FORSYTHIA
- 42 • 5 GAL. MEDIUM EVERGREEN SHRUBS  
GREY COTONEASTER, ARBORE VITIS, BEARGRASS YUCCA
- 47 • 5 GAL. MEDIUM DECIDUOUS SHRUBS  
COTONEASTER, FRAXINUS, ERUBRIFLORA, S. LEAF SUMAC
- 54 • 5 GAL. LOW EVERGREEN SHRUBS  
BUFFALO JUNIPER
- 1" GRAVEL MULCH / FILTER FABRIC

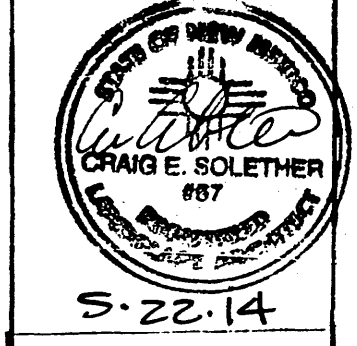
**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	87,120 sq ft	square feet
TOTAL BUILDINGS AREA	10,300 sq ft	square feet
NET LOT AREA	76,820 sq ft	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	11,523 sq ft	square feet
TOTAL BED PROVIDED	37,380 sq ft	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	28,035 sq ft	square feet
TOTAL GROUND COVER PROVIDED	34,280 sq ft	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	435 sq ft	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	34,715 sq ft	square feet



Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



5-22-14

NOAH'S OF ALBUQUERQUE N.M.  
LANDSCAPE PLAN

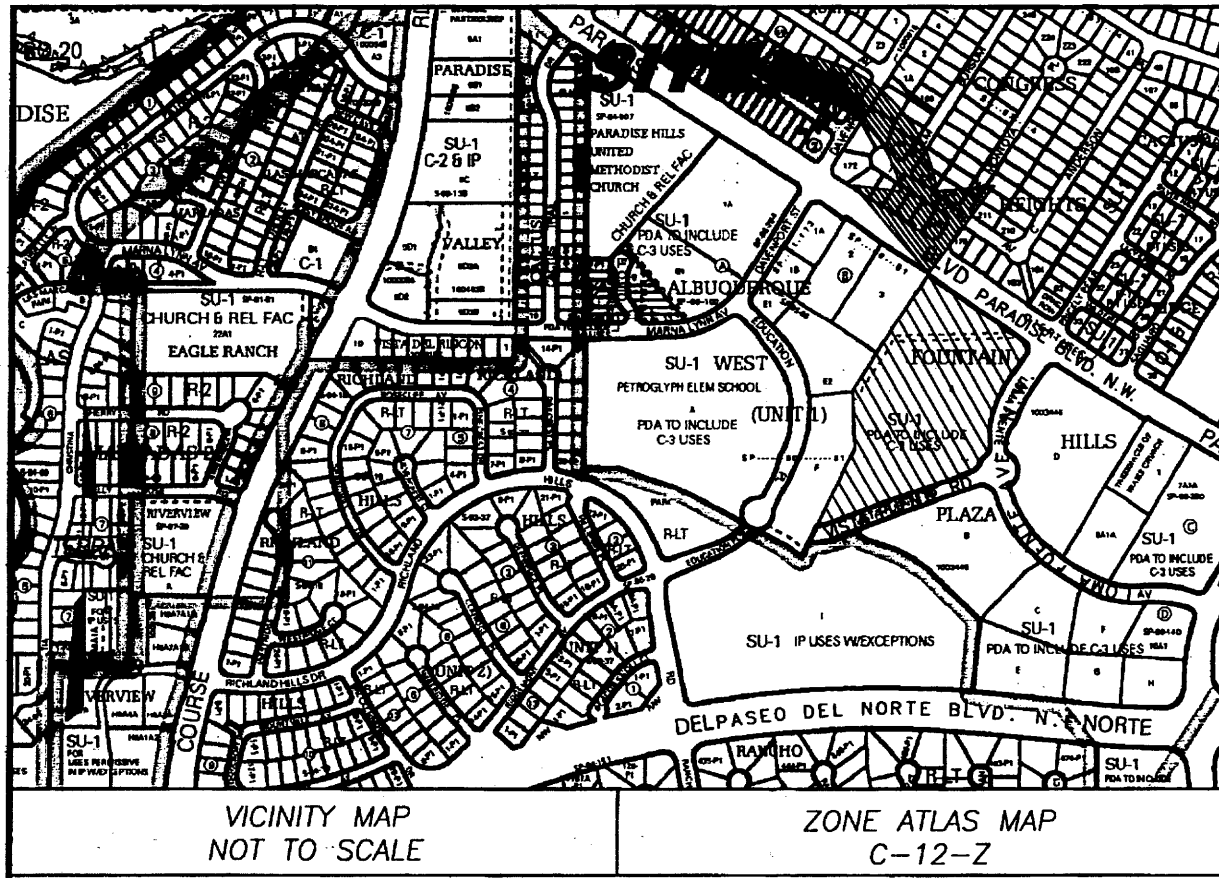
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DRAWN BY DAB  
REVISION #  
DATE 5-22-14

SHEET #  
L1 OF L1





**PURPOSE OF PLAT:**

THE PURPOSE OF THIS REPLAT IS TO SUBDIVIDE TRACT A, FOUNTAIN HILLS PLAZA SUBDIVISION INTO 2 SEPARATE TRACTS.

**SUBDIVISION DATA:**

CITY CASE NO. \_\_\_\_\_ GROSS SUBDIVISION ACREAGE 9.0027 ACRES  
 ZONE ATLAS INDEX NO. C-12-Z CURRENT ZONING SU-1  
 DATE OF SURVEY MARCH 2014  
 TOTAL NO. OF LOTS EXISTING 1  
 TOTAL NO. OF LOTS CREATED 2

TOTAL MILEAGE OF STREETS CREATED: 0 MILES  
 TOTAL MILEAGE OF 1/2 WIDTH STREETS CREATED: 0 MILES

**NOTES:**

- FIELD SURVEY PERFORMED IN MARCH 2014.
- ALL DISTANCES SHOWN ARE GROUND DISTANCES.
- ALBUQUERQUE CONTROL STATIONS USED:  
 ALBUQUERQUE CONTROL STATION "9-C12, 2003" DATA:  
 STANDARD CITY OF ALBUQUERQUE BRASS CAP (FOUND IN PLACE)  
 NAD 1983 NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)  
 X=1,512,571.253 FEET Y=1,521,648.218 FEET ELEV.=5,127.376 FEET (NAVD 1988)  
 GROUND TO GRID FACTOR = 0.999677378 DELTA ALPHA = (-)00'14'47.46"  
 ALBUQUERQUE CONTROL STATION "10-C12, 2003" DATA:  
 STANDARD CITY OF ALBUQUERQUE BRASS CAP (FOUND IN PLACE)  
 NAD 1983 NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)  
 X=1,513,445.483 FEET Y=1,521,461.733 FEET ELEV.=5,095.033 FEET (NAVD 1988)  
 GROUND TO GRID FACTOR = 0.999678664 DELTA ALPHA = (-)00'14'41.38"
- BASIS OF BEARING - NAD 83 STATE PLANE, NM CENTRAL ZONE GRID BEARINGS USING FOUND MONUMENTS REFERENCED ABOVE IN NOTE NO. 3. (S77°57'31"E).
- CORNERS IDENTIFIED AS "SET", ARE 1/2" REBAR WITH CAP STAMPED "PS 15702", AND DEPICTED AS, —(●)—, UNLESS OTHERWISE INDICATED.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ( ) ARE PER RECORDED PLAT REFERENCED IN DOCUMENTS USED.

**SOLAR COLLECTOR NOTE:**

NO PROPERTY WITHIN THE AREA OF THIS PLATTING SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT.

**SURVEYOR'S CERTIFICATE:**

I, CHRISTOPHER A. MEDINA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 15702, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Christopher A. Medina* **MA 23, 2014**  
 CHRISTOPHER A. MEDINA, NMPLS NO. 15702 DATE

**LEGAL DESCRIPTION:**

TRACT A OF FOUNTAIN HILLS PLAZA SUBDIVISION AS THE SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED "FOUNTAIN HILLS PLAZA SUBDIVISION", RECORDED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK'S OFFICE ON SEPTEMBER 19, 2007, IN BOOK 2007C, PAGE 270, AS DOCUMENT NUMBER 2007134047, SAID TRACT OF LAND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 2 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, STATE OF NEW MEXICO. SAID TRACT OF LAND HEREIN DESCRIBED CONTAINS 9.0027 ACRES (392,159.91 SQUARE FEET) MORE OR LESS.

**FREE CONSENT AND DEDICATION:**

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THAT CERTAIN TRACT OF LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACT A, FOUNTAIN HILLS PLAZA SUBDIVISION, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND DO HEREBY GRANT EASEMENTS AS SHOWN HEREON, AND DEDICATE TO THE CITY OF ALBUQUERQUE ADDITIONAL RIGHT-OF-WAY IN FEE SIMPLE WITH WARRANTY COVENANTS AS SHOWN HEREON, SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

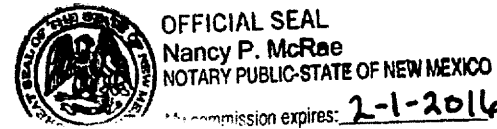
BY: *Michael Montoya*  
 MICHAEL MONTOYA, MEMBER, FOUNTAIN HILLS PLAZA, LLC  
 OWNER: TRACT A-1 & A-2

**ACKNOWLEDGMENT**

STATE OF New Mexico ) ) SS.  
 COUNTY OF Bernalillo )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 23 DAY OF May, 2014, BY MICHAEL MONTOYA, MEMBER, FOUNTAIN HILLS PLAZA, LLC

NOTARY PUBLIC: *Nancy P. McRae*  
 MY COMMISSION EXPIRES: 2-1-2016



**DOCUMENTS USED:**

- PLAT ENTITLED "FOUNTAIN HILLS PLAZA SUBDIVISION", FILED WITH THE BERNALILLO COUNTY CLERK'S OFFICE ON SEPTEMBER 19, 2007 IN BOOK 2007C, PAGE 0270, DOCUMENT NUMBER 2007134047.
- PLAT ENTITLED "ALBUQUERQUE WEST UNIT 1", FILED WITH THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 8, 1990, IN VOLUME 90C, FOLIO 67.
- PLAT ENTITLED "ALBUQUERQUE WEST", FILED WITH THE BERNALILLO COUNTY CLERK'S OFFICE ON NOVEMBER 21, 1984, IN VOLUME C25, FOLIO 138.

**PUBLIC UTILITY EASEMENTS** SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PUBLIC SERVICE COMPANY OF NEW MEXICO** ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND ANY OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- NEW MEXICO GAS COMPANY** FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- QWEST CORPORATION D/B/A CENTURYLINK** FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- COMCAST** FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), NEW MEXICO GAS COMPANY (NMGC) AND QWEST CORPORATION D/B/A CENTURYLINK DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, NMGC, AND QWEST CORPORATION D/B/A CENTURYLINK DO NOT WAIVE OR RELEASE ANY EASEMENTS OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

**INDEXING INFORMATION FOR THE COUNTY CLERK:**

OWNER: FOUNTAIN HILLS PLAZA, LLC  
 LEGAL: TRACT A-1 & A-2, FOUNTAIN HILLS PLAZA SUBDIVISION  
 LOCATION: PROJECTED SECTION 13, T.11N., R.2E., N.M.P.M., TOWN OF ALAMEDA GRANT

**PLAT OF  
 TRACTS A-1 & A-2  
 FOUNTAIN HILLS PLAZA SUBDIVISION  
 SITUATE WITHIN  
 PROJECTED SECTION 13, T. 11 N., R. 2 E., N.M.P.M.  
 TOWN OF ALAMEDA GRANT  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MAY 2014**

PROJECT #: 1003445  
 DATE: 6-18-14  
 APP#: 14-70213(RP)

PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

**UTILITY APPROVALS:**

PUBLIC SERVICE OF NEW MEXICO	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK	DATE
COMCAST	DATE

**CITY APPROVALS:**

<i>Dail P. Acosta</i> CITY OF ALBUQUERQUE SURVEYOR	5-23-14 DATE
N/A REAL PROPERTY DIVISION	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ALBUQUERQUE BERNALILLO COUNTY WATER MUNICIPALITY AUTHORITY	DATE
PARKS & RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPT.	DATE

**THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON**

UNIFORM PROPERTY CODE # 1-012-064-422370-1-06-07  
 PROPERTY OWNER OF RECORD: FOUNTAIN HILLS PLAZA, LLC

BERNALILLO COUNTY TREASURER'S OFFICE: \_\_\_\_\_



**TERRA LAND SURVEYS, LLC**  
 P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513



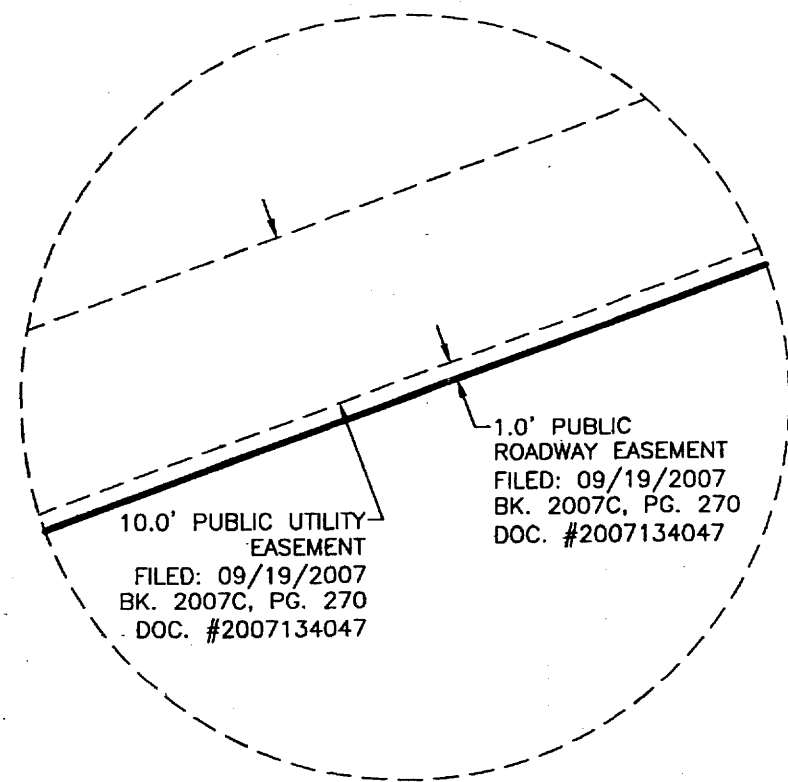
**PLAT OF  
TRACTS A-1 & A-2  
FOUNTAIN HILLS PLAZA SUBDIVISION  
SITUATE WITHIN  
PROJECTED SECTION 13, T. 11 N., R. 2 E., N.M.P.M.  
TOWN OF ALAMEDA GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MAY 2014**

**LEGEND**

- △ FOUND CONTROL MONUMENT (AS NOTED)
- FOUND REBAR (AS NOTED)
- SET 1/2" REBAR WITH CAP STAMPED "CA MEDINA PS 15702"

**EASEMENT NOTES:**

- Ⓐ 10.0' PUBLIC UTILITY EASEMENT  
FILED: 03/08/1990  
BK. 90C, PG. 67
- Ⓑ 20.0' SANITARY SEWER EASEMENT  
FILED: 02/02/1999  
BK. 9903, PG. 5221
- Ⓒ 10.0' DRAINAGE EASEMENT  
FILED: 03/08/1990  
BK. 90C, PG. 67
- Ⓓ 7.41' SANITARY SEWER EASEMENT  
FILED: 03/08/1990  
BK. 90C, PG. 67
- Ⓔ 20.0' UTILITY CONSTRUCTION EASEMENT  
FILED: 12/10/1973  
BK. 344, PG. 808
- Ⓕ 10.0' UTILITY MAINTENANCE EASEMENT  
FILED: 12/10/1973  
BK. 344, PG. 808

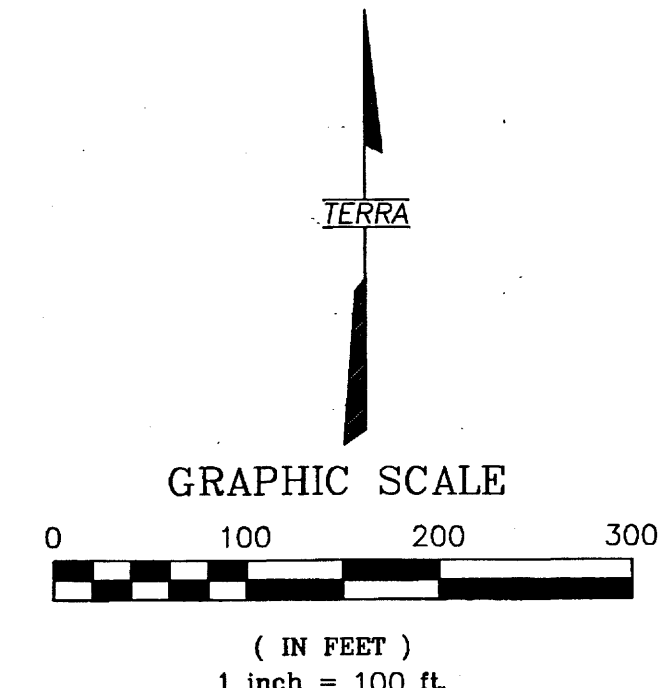
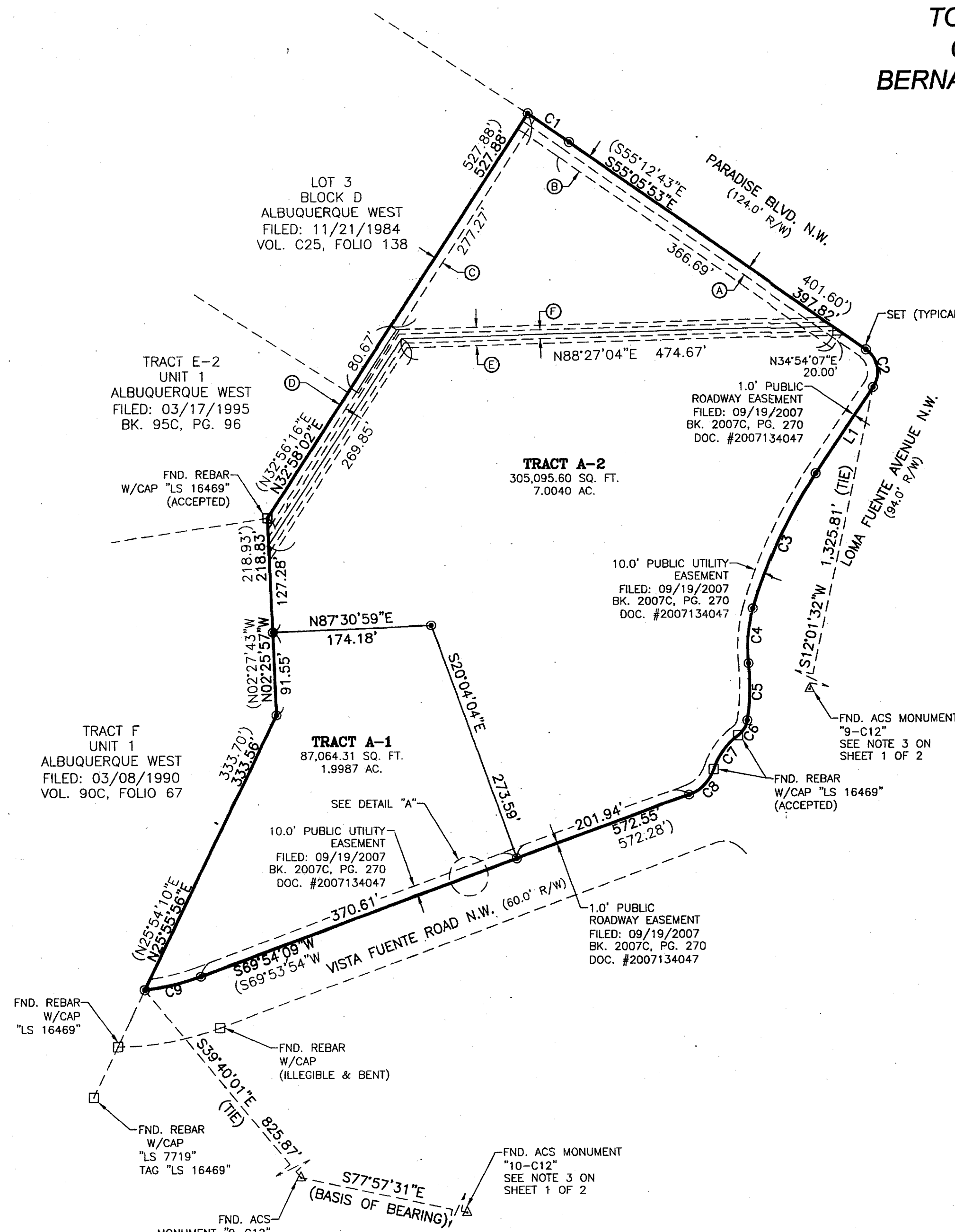


**LINE TABLE**

LINE	BEARING	DISTANCE
L1	S33°57'42"W	113.08'
	(S34°48'28"W)	(113.39')

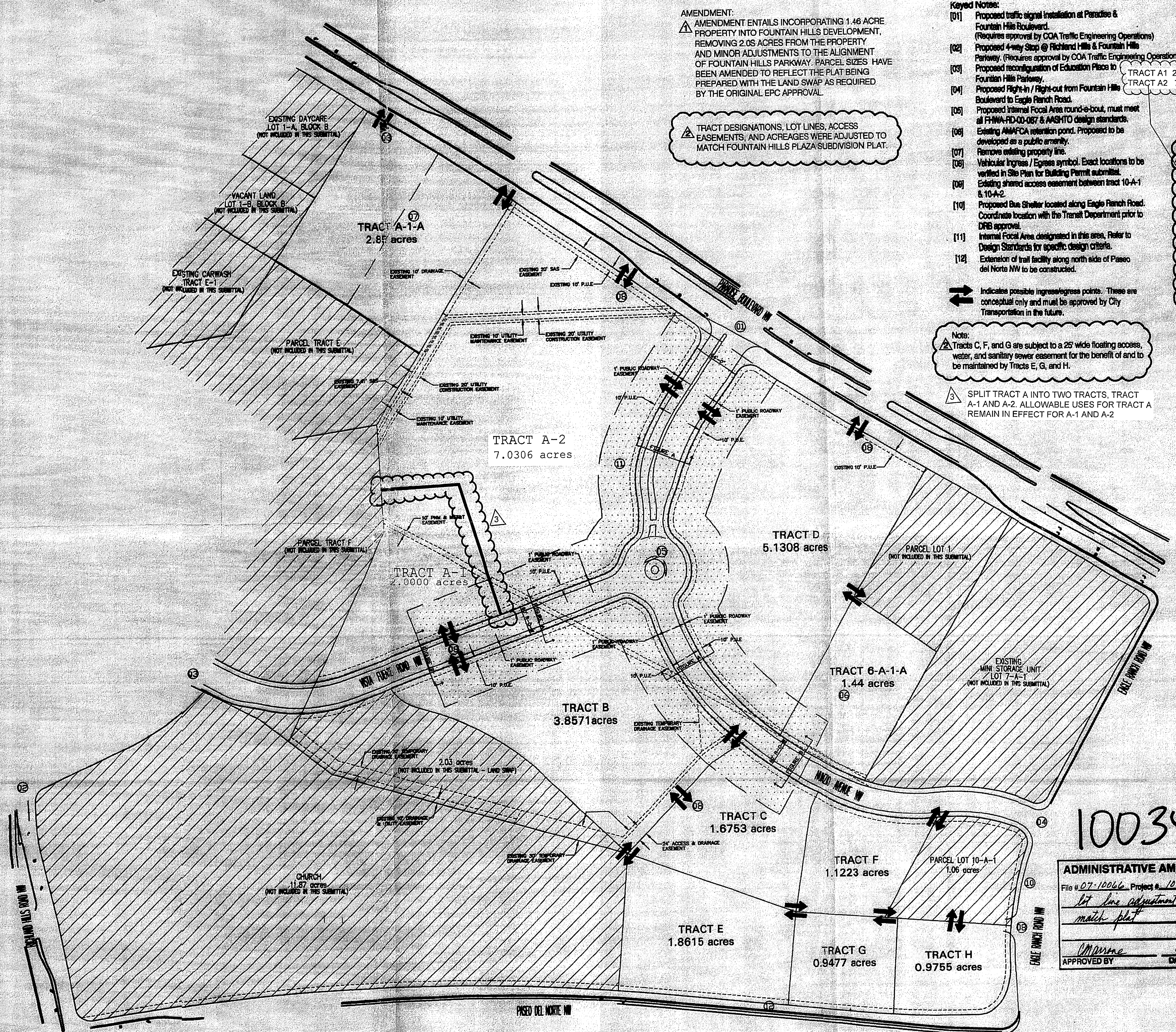
**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	TANGENT	DELTA ANGLE
C1	6486.09'	55.42'	55.42'	S55°20'34"E	27.71'	0°29'22"
	(6486.09')	(55.42')	(55.42')	(S55°29'26"E)	(27.71')	(0°29'23")
C2	30.00'	46.63'	42.08'	S10°34'08"E	29.51'	89°03'35"
	(30.00')	(47.13')	(42.43')	(S10°12'07"E)	(30.01')	(90°01'10")
C3	524.33'	166.59'	165.89'	S24°51'35"W	84.00'	18°12'14"
	(524.33')	(166.59')	(165.89')	(S24°11'14"W)	(84.00')	(18°12'14")
C4	160.00'	61.46'	61.08'	S04°45'15"W	31.11'	22°00'26"
	(160.00')	(61.46')	(61.08')	(S05°04'54"W)	(31.11')	(22°00'26")
C5	240.00'	63.38'	63.20'	S01°18'59"W	31.28'	15°07'55"
	(240.00')	(43.91')	(43.85')	(S00°47'40"E)	(22.02')	(10°29'01")
C6	25.00'	19.77'	19.26'	S31°32'05"W	10.43'	45°18'16"
	(25.00')	(19.59')	(19.09')	(S31°38'15"W)	(10.33')	(44°53'17")
C7	75.00'	46.59'	45.84'	S36°23'27"W	24.07'	35°35'32"
	(75.00')	(46.49')	(45.75')	(S36°20'22"W)	(24.02')	(35°31'04")
C8	45.00'	40.30'	38.96'	S44°14'55"W	21.81'	51°18'28"
	(45.00')	(40.30')	(38.97')	(S44°14'22"W)	(21.82')	(51°19'04")
C9	270.00'	63.69'	63.55'	S76°39'39"W	32.00'	13°30'59"
	(270.00')	(63.98')	(63.83')	(S76°41'14"W)	(32.14')	(13°34'40")



**TERRA LAND SURVEYS, LLC**  
P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513





AMENDMENT:  
 AMENDMENT ENTAILS INCORPORATING 1.46 ACRE PROPERTY INTO FOUNTAIN HILLS DEVELOPMENT, REMOVING 2.05 ACRES FROM THE PROPERTY AND MINOR ADJUSTMENTS TO THE ALIGNMENT OF FOUNTAIN HILLS PARKWAY. PARCEL SIZES HAVE BEEN AMENDED TO REFLECT THE PLAT BEING PREPARED WITH THE LAND SWAP AS REQUIRED BY THE ORIGINAL EPC APPROVAL.

TRACT DESIGNATIONS, LOT LINES, ACCESS EASEMENTS, AND ACREAGES WERE ADJUSTED TO MATCH FOUNTAIN HILLS PLAZA SUBDIVISION PLAT.

- Keyed Notes:
- [01] Proposed traffic signal installation at Paradise & Fountain Hills Boulevard. (Requires approval by COA Traffic Engineering Operations)
  - [02] Proposed 4-way Stop @ Richland Hills & Fountain Hills Parkway. (Requires approval by COA Traffic Engineering Operations)
  - [03] Proposed reconfiguration of Education Place to Fountain Hills Parkway.
  - [04] Proposed Right-in / Right-out from Fountain Hills Boulevard to Eagle Ranch Road.
  - [05] Proposed Internal Focal Area round-e-bout, must meet all FHWA-RD00-067 & AASHTO design standards.
  - [06] Existing AM/FCA retention pond. Proposed to be developed as a public amenity.
  - [07] Remove existing property line.
  - [08] Vehicular Ingress / Egress symbol. Exact locations to be verified in Site Plan for Building Permit submittal.
  - [09] Existing shared access easement between tract 10-A-1 & 10-A-2.
  - [10] Proposed Bus Shelter located along Eagle Ranch Road. Coordinate location with the Transit Department prior to DRB approval.
  - [11] Internal Focal Area designated in this area. Refer to Design Standards for specific design criteria.
  - [12] Extension of trail facility along north side of Paseo del Norte NW to be constructed.
- Indicates possible ingress/egress points. These are conceptual only and must be approved by City Transportation in the future.

Note:  
 Tracts C, F, and G are subject to a 25' wide floating access, water, and sanitary sewer easement for the benefit of and to be maintained by Tracts E, G, and H.

SPLIT TRACT A INTO TWO TRACTS, TRACT A-1 AND A-2. ALLOWABLE USES FOR TRACT A REMAIN IN EFFECT FOR A-1 AND A-2

Site Plan for Subdivision  
 Prepared for: Fountain Hills Plaza, LLC

Land Use Summary

Tract	Acres	Max. Bldg. Height	Max. Buldable	Allowable Uses
A-1-A	2.85	32'-0"	30 DU/Acre	Residential
A	6.9968	32'-0"	35 F.A.R.	Retail / Restaurant / Office
B	3.8571	32'-0"	35 F.A.R.	Retail / Restaurant / Office
C	1.6753	32'-0"	35 F.A.R.	Hotel / Retail
D	5.1308	32'-0"	35 F.A.R.	Retail / Restaurant / Office
E	1.8615	32'-0"	35 F.A.R.	Hotel / Retail
F	1.1223	32'-0"	35 F.A.R.	Restaurant / Retail
G	0.9477	32'-0"	35 F.A.R.	Restaurant / Retail
H	0.9755	32'-0"	25 F.A.R.	Restaurant / Retail
6-A-1-A	1.44	N/A	N/A	N/A

Note:  
 All buildings are limited to 35' in height as per Council Bill # F/S O-186, Enactment No. 33-1985, Exhibit A, City of Albuquerque Zoning and Special Use Parameters approved by City Council May 20th, 1985.

Existing Site Data  
 Legal Description:  
 Lots 2B & 3B, Lot 10-A-2 of Block D Albuquerque West, a portion of Lot B-1-A, Lot C-1-A, Lot D-1-A, Lot 6-A-1-A, Albuquerque West, Unit 1 and a portion of Tract B Richland Hills, Unit 1  
 Acreage: ± 30.3  
 Existing Land Use: Undeveloped.

Current Zoning:  
 SU-1 PDA to include C-4 Uses (Permissive & Conditions)  
 Council Bill # F/S O-186, Enactment No. 33-1985, Exhibit A' sets forth additional parameters.

Future Site Development Plans for Building Permit are delegated to the Development Review Board as specified in City Council Bill no. F/SD - 186, Enactment No. 33-1985. All future Site Development Plans for Building Permit shall indicate the Internal Focal Area, where applicable.

Project Number: 1003445  
 Application Number: 07DRB-70058

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 15, 2007, and the Findings and Conditions in the Official Notification of Decision are attached.

This also incorporates the conditions from EPC's decision dated August 19, 2006, 05EPC-00022, as an infrastructure item requested: (1) Yes; (2) No; (3) Yes; then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	6-26-07
<i>[Signature]</i>	6-26-07
<i>[Signature]</i>	6/26/07
<i>[Signature]</i>	6/26/07
<i>[Signature]</i>	6-27-07

CANNADY PALACIOS ARCHITECTURE  
 ADDRESS: 377 Brady Blvd  
 ALBUQUERQUE, NM 87102  
 TELEPHONE: 505.261.1111  
 FAX: 505.261.1111  
 WEBSITE: www.cannadypalacios.com  
 E-MAIL: info@cannadypalacios.com

ADMINISTRATIVE AMENDMENT  
 FILE # 1003445 PROJECT # 1003445  
 10023  
 LOT SPLIT OF TRACT A TO TRACT A-1 AND A-2  
 APPROVED BY: *[Signature]* DATE: 5.13.14

Previously Approved Administrative Amendment

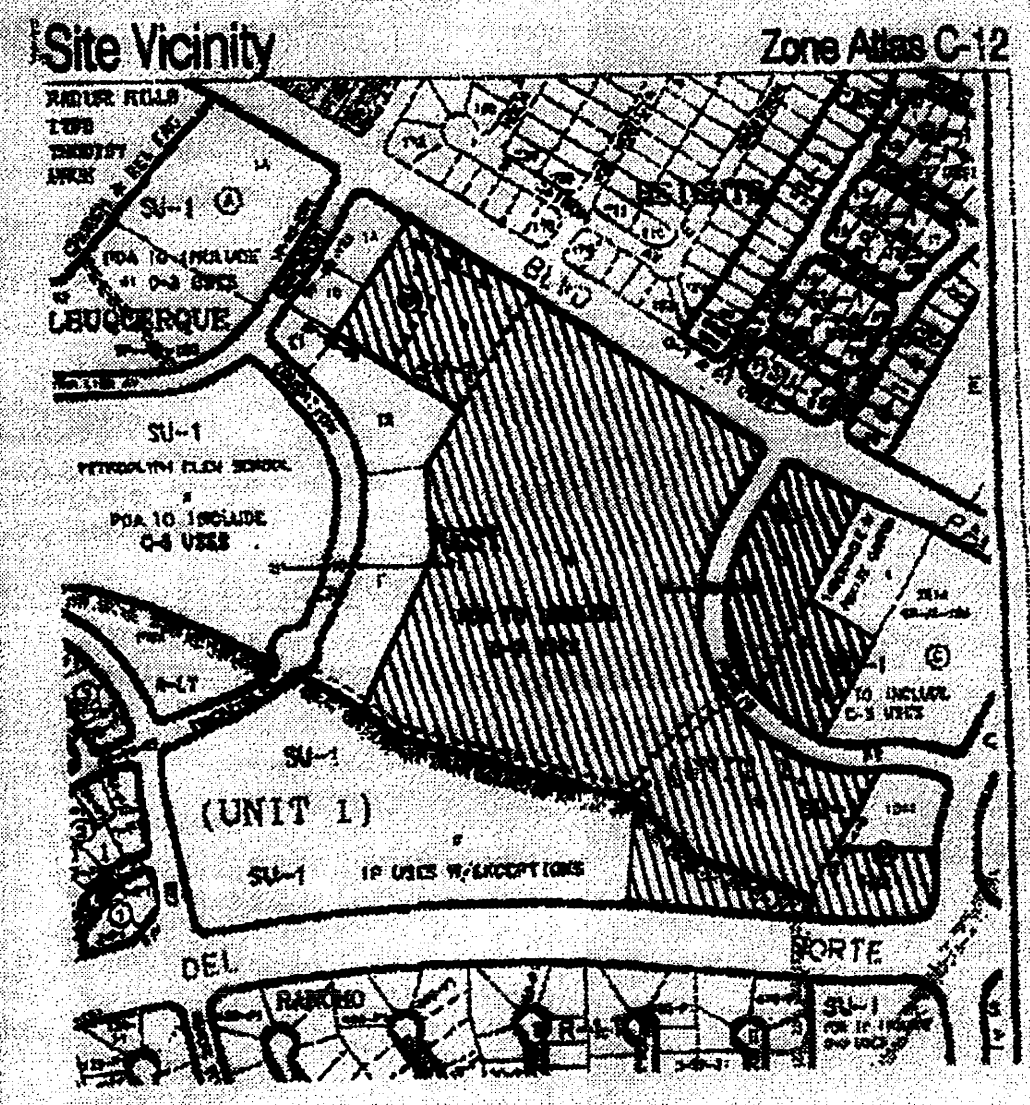


Consensus Planning  
 ADDRESS: 202 2nd Street NW  
 ALBUQUERQUE, NM 87102  
 TELEPHONE: 505.261.1111  
 FAX: 505.261.1111  
 E-MAIL: info@consensusplanning.com

Fountain Hills Plaza LLC

1003445

ADMINISTRATIVE AMENDMENT  
 File # 07-10066 Project # 1003445  
 lot line adjustment to match plat  
 APPROVED BY: *[Signature]* DATE: 9/14/07

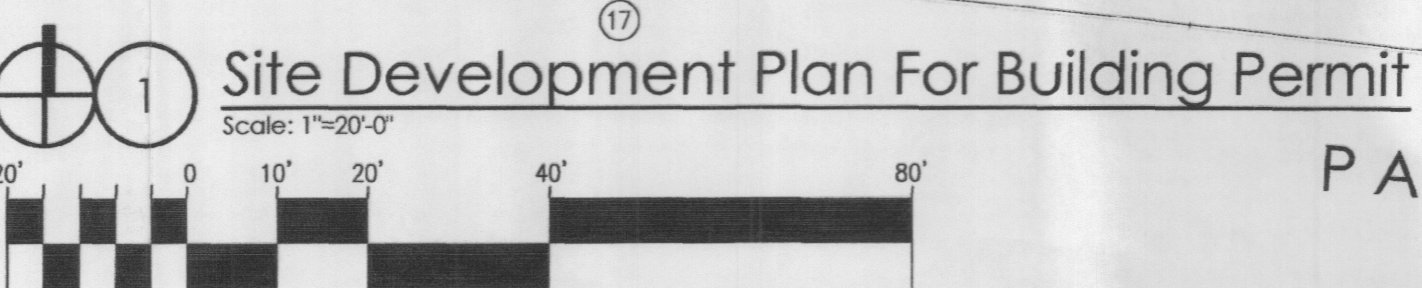
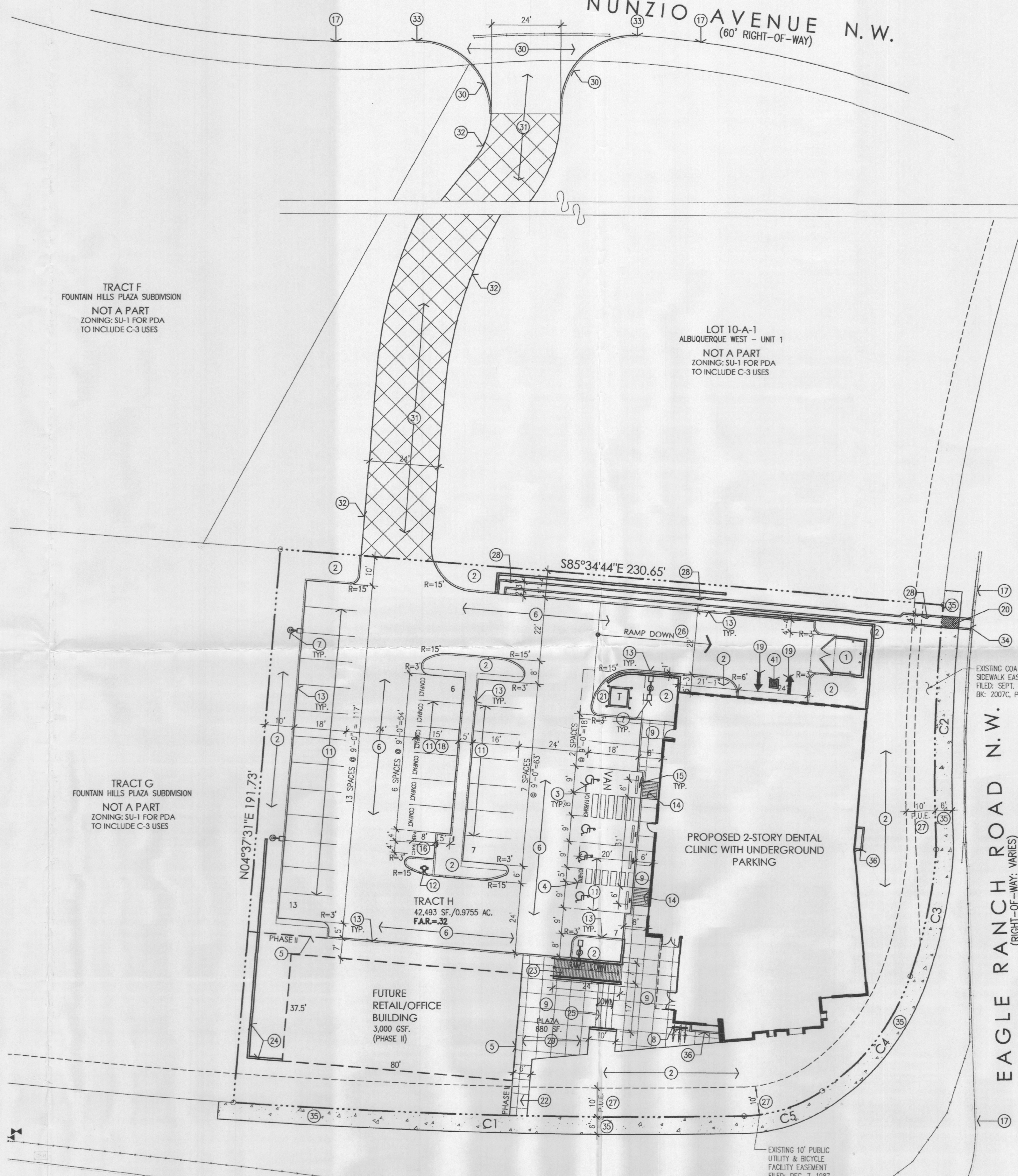
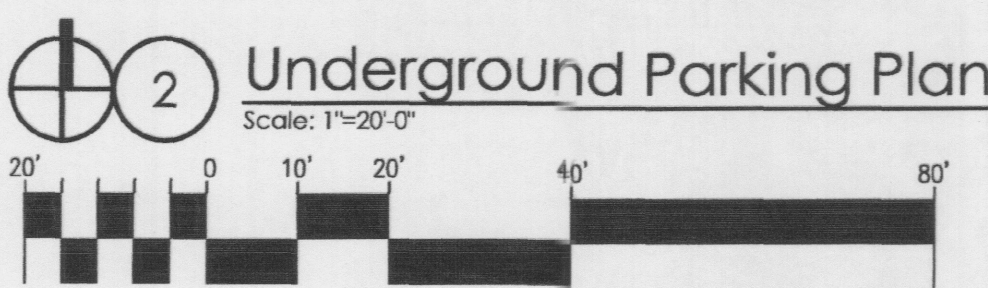
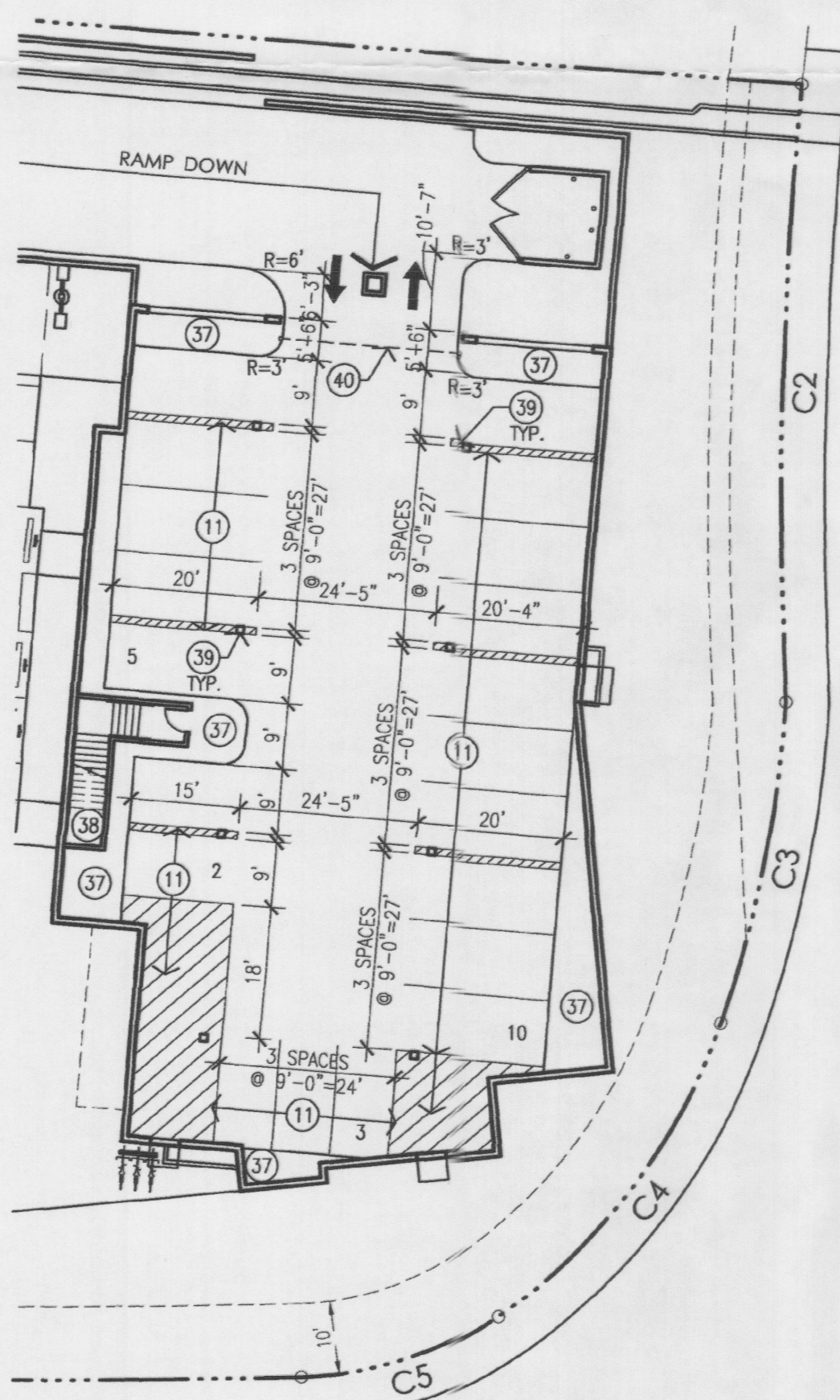
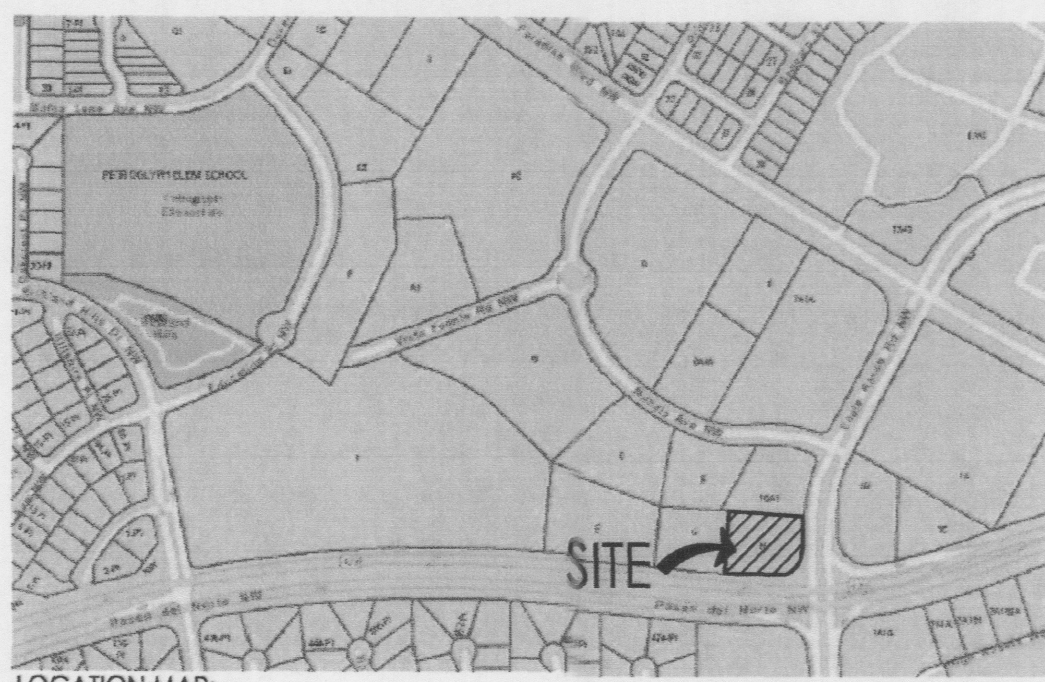


5.13.2014  
 SEPTEMBER 4, 2007  
 Site Plan for Subdivision  
 A1

Previously Approved Administrative Amendment



ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEG
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C5	32°59'26"	14.81'	28.79'	50.00'	28.39'	S71°48'41"W



**PARKING CALCULATIONS: (CONT'D)**

**COMPACT PARKING CALCULATION:**  
 59 REQ'D SPACES x 33% = 19 SPACES ALLOWED  
 TOTAL COMPACT SPACES = 6 SPACES PROVIDED

**DISABLED PARKING REQUIREMENTS:**  
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 TOTAL DISABLED SPACES PROVIDED = 4 SPACES

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 TOTAL MOTORCYCLE SPACES REQUIRED = 2 SPACE  
 TOTAL MOTORCYCLE SPACES PROVIDED = 2 SPACE

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**TOTAL BICYCLE SPACES REQUIRED: = 3 SPACES**  
**TOTAL BICYCLE SPACES PROVIDED: = 3 SPACES**

- KEYED NOTES:**
- PROPOSED REFUSE ENCLOSURE WITH STUCCO FINISH TO MATCH BUILDING COLOR.
  - PROPOSED LANDSCAPING AREA. REFER TO LANDSCAPING PLAN.
  - PROPOSED HANDICAP PAVEMENT SIGN.
  - PROPOSED STAMPED CONCRETE HANDICAP AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.9 NMSA 1978.
  - PHASE II AND LIMITS OF CONSTRUCTION LINE FROM BACK OF CURB/SIDEWALK.
  - PROPOSED ASPHALT PAVING.
  - PROPOSED SITE LIGHTING. HEIGHT NOT TO EXCEED 20' TALL.
  - PROPOSED BIKE RACK WITH 3 SPACES.
  - PROPOSED CONCRETE SIDEWALK.
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  - PROPOSED PAINTED PARKING STRIPING.
  - PROPOSED FIRE HYDRANT LOCATION. REFER TO UTILITY PLAN.
  - PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
  - PROPOSED HANDICAP RAMP. REFER TO DETAIL.
  - PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352-4C NMSA 1978. VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.
  - PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
  - EXISTING CITY CURB AND GUTTER TO REMAIN.
  - COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
  - PROPOSED PAINTED DIRECTION ARROW ON PAVEMENT.
  - PROPOSED SIDEWALK CULVERT WITH METAL GRATE TOP TO BE FLUSH WITH TOP OF CONCRETE SIDEWALK. REFER TO CIVIL AND COA STD. DWG. 2236.
  - PROPOSED ELECTRICAL TRANSFORMER LOCATION.
  - PROPOSED CONCRETE SIDEWALK CONNECTION TO EXISTING SIDEWALK. MAX SLOPE 1:12
  - PROPOSED CONCRETE RAMP WITH STEEL PIPE HANDRAILS, PAINTED.
  - PROPOSED CONCRETE RETAINING WALL. REFER TO GRADING AND DRAINAGE.
  - PROPOSED CONCRETE STAIR WITH STEEL PIPE HANDRAILS, PAINTED.
  - PROPOSED RAMP DOWN INTO PARKING GARAGE BELOW BUILDING.
  - EXISTING 10'-0" PUBLIC UTILITY & BICYCLE FACILITY EASEMENT.
  - PROPOSED CONCRETE DRAINAGE CHANNEL ALONG PROPERTY LINE OUT TO EAGLE RANCH ROAD. REFER TO GRADING AND DRAINAGE PLAN.
  - PROPOSED PLAZA (680 SF.) WITH BENCH SEATING.
  - PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2426) AND RAMPS (STD. DWG. 2426) TO BE CONSTRUCTED TO COA STANDARDS.
  - TEMPORARY ASPHALT PAVING TO NEW DRIVEWAY LOCATION ON NUNZIO AVENUE (SHOWN HATCHED).
  - TEMPORARY ASPHALT CURB ALONGSIDE TEMPORARY DRIVEWAY.
  - THE NEW DRIVEWAY CURB INTO EXISTING CURB AND GUTTER SYSTEM. REFER TO GRADING AND DRAINAGE PLAN.
  - PROPOSED OPENING IN EXISTING CURB AND GUTTER SYSTEM FOR DRAINAGE. REFER TO GRADING AND DRAINAGE PLAN.
  - PROPOSED 6'-0" WIDE ADA ACCESSIBLE CONCRETE SIDEWALK (STD. DWG. 2430).
  - PROPOSED CONCRETE VENT OPENING FROM UNDERGROUND PARKING TO GRADE ABOVE.
  - PROPOSED CONCRETE ISLAND.
  - PROPOSED STAIRWELL TO FIRST FLOOR.
  - PROPOSED BUILDING COLUMNS.
  - PROPOSED UNDERGROUND PARKING GATE.
  - SUMP PUMP PIT WITH GRATE COVER. REFER TO GRADING AND DRAINAGE.

**SITE DEVELOPMENT DATA:**

**LEGAL DESCRIPTION:**  
 TRACT H OF FOUNTAIN HILLS PLAZA SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**LAND AREA:**  
 0.9755 ACRES (42,493 SQ. FT.)

**CURRENT ZONING:**  
 SU-1 FOR PDA TO INCLUDE C-3 USES (PERMISSIVE AND CONDITIONAL)

**ZONE ATLAS PAGE:**  
 C-12-2

**BUILDING AREAS: (GROSS BUILDING AREAS)**

2-STORY DENTAL OFFICE:	10,674 CSF.
7,678 CSF. - 1ST FLOOR	
2,996 CSF. - 2ND FLOOR	
<b>FUTURE BUILDING (PHASE II):</b>	<b>3,000 SF.</b>
<b>TOTAL GROSS BUILDING AREA</b>	<b>13,674 SF.</b>

**SITE DEVELOPMENT PHASING:**

**PHASE I:**  
 PHASE I WILL INCLUDE THE CONSTRUCTION OF PROPOSED 2-STORY DENTAL CLINIC, UNDERGROUND PARKING BELOW BUILDING FOOTPRINT, TEMPORARY PAVING OF ACCESS DRIVE THRU ADJACENT LOT 10-A-1 TO THE NORTH ONTO NUNZIO AVENUE N.W. AND RELATED AT GRADE PARKING FOR PROPOSED USES.

**PHASE II:**  
 PHASE II WILL INCLUDE THE CONSTRUCTION OF THE FUTURE BUILDING ONLY. PHASE II SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT REVIEW BOARD (DRB) AND ADHERE TO THE DESIGN STANDARDS INCLUDED IN THE PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION.

**SITE DEVELOPMENT GENERAL NOTES:**

[A] THE DESIGN STANDARDS INCLUDED IN THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION-FOUNTAIN HILLS PLAZA (EPC APPROVAL: MAY 2007 & DRB APPROVAL: JUNE 2007) SHALL GOVERN ALL NEW BUILDINGS FOR TRACT H OF THIS DEVELOPMENT.

[B] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.

[C] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

[D] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.

[E] ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).

[F] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.

**SITE DEVELOPMENT SITE LIGHTING NOTES:**

[A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.

[B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20'-0" MAXIMUM.

[C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.

[D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED AT 12 FEET MAXIMUM.

**PARKING CALCULATIONS: (NET LEASABLE AREAS)**

<b>PROPOSED 2-STORY DENTAL CLINIC:</b>	7,178 NSF - 1ST FLOOR/200 = 36 SPACES
2,940 NSF - 2ND FLOOR/300 = 9 SPACES	
<b>REQUIRED SPACES</b>	<b>45 SPACES</b>
<b>FUTURE BUILDING (PHASE II)</b>	2,700 NSF/200 = 14 SPACES
<b>TOTAL REQUIRED SPACES</b>	<b>59 SPACES</b>
<b>TOTAL REQUIRED</b>	<b>59 SPACES</b>

**TRANSIT REDUCTIONS:**  
 59 SPACES REQ'D x 10% REDUCTION = (PROXIMITY TO BUS ROUTE 94)  
 59 x 10% = 5.9 TOTAL SPACES REQUIRED

**TOTAL PARKING SPACES REQUIRED: = 53 SPACES**  
**TOTAL PARKING SPACES PROVIDED: = 53 SPACES**

43 REGULAR SPACES
6 COMPACT SPACE
4 HANDICAP VAN PARKING SPACE

**PROJECT NUMBER:** APPLICATION NUMBER:

THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

**IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO** IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

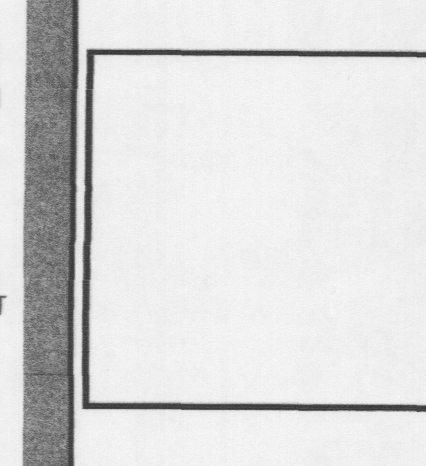
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
UTILITIES DEVELOPMENT	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT APPROVAL IS ATTACHED AS SEPARATE SHEET	Date
SOLID WASTE MANAGEMENT	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

revision  
 by  
 date  
 rev



924 Park Avenue SW  
 Suite B  
 Albuquerque 87102  
 505 268 4144 [p]  
 505 268 4244 [f]



job number  
 drawn by  
 project manager  
 date

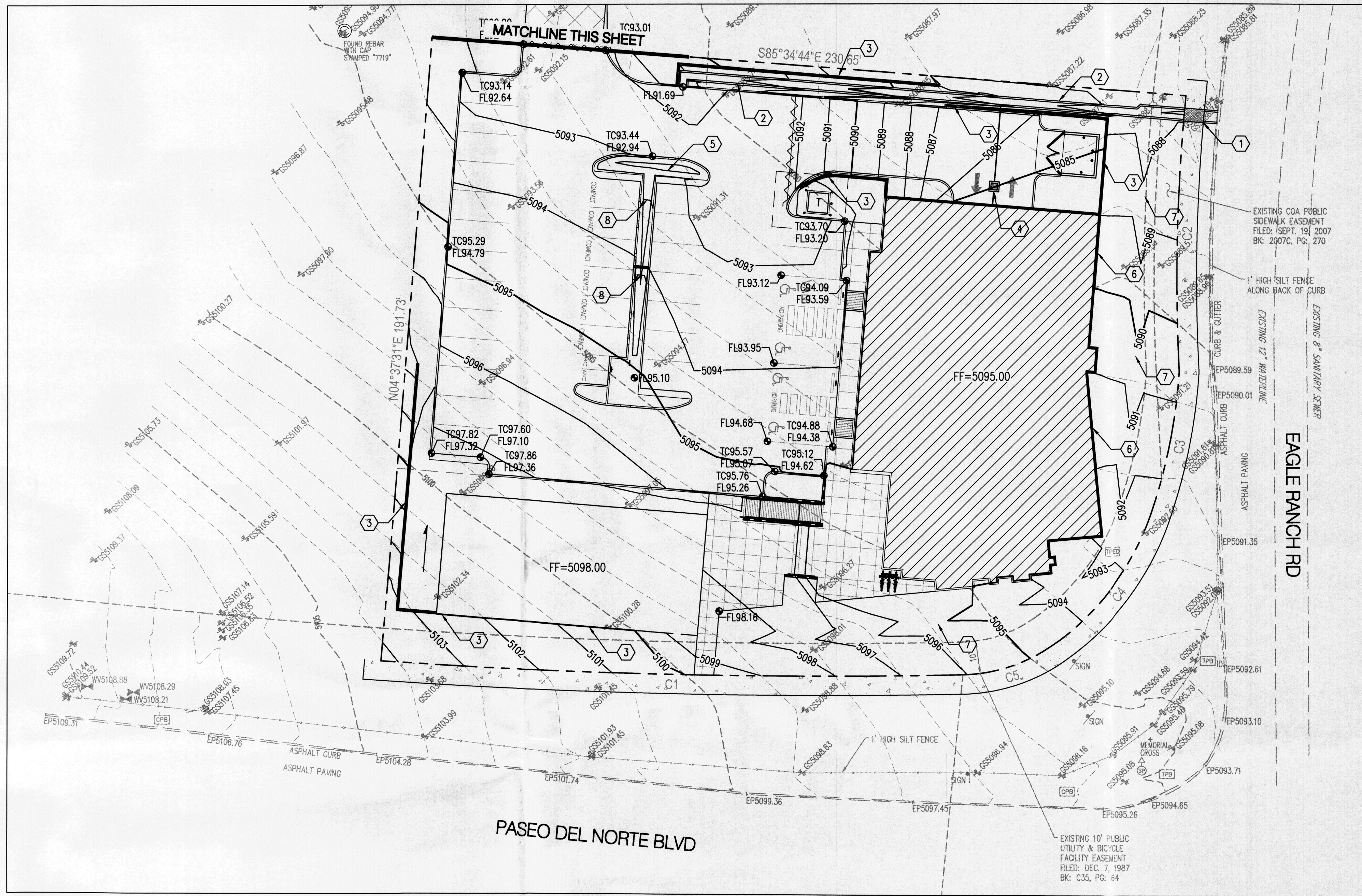
Smiles for Kids Dental Office  
 9201 Eagle Ranch Road, NW  
 Albuquerque, New Mexico 87114

Site Development Plan For Building Permit

sheet: SDPBP  
 SHEET 1 of 7

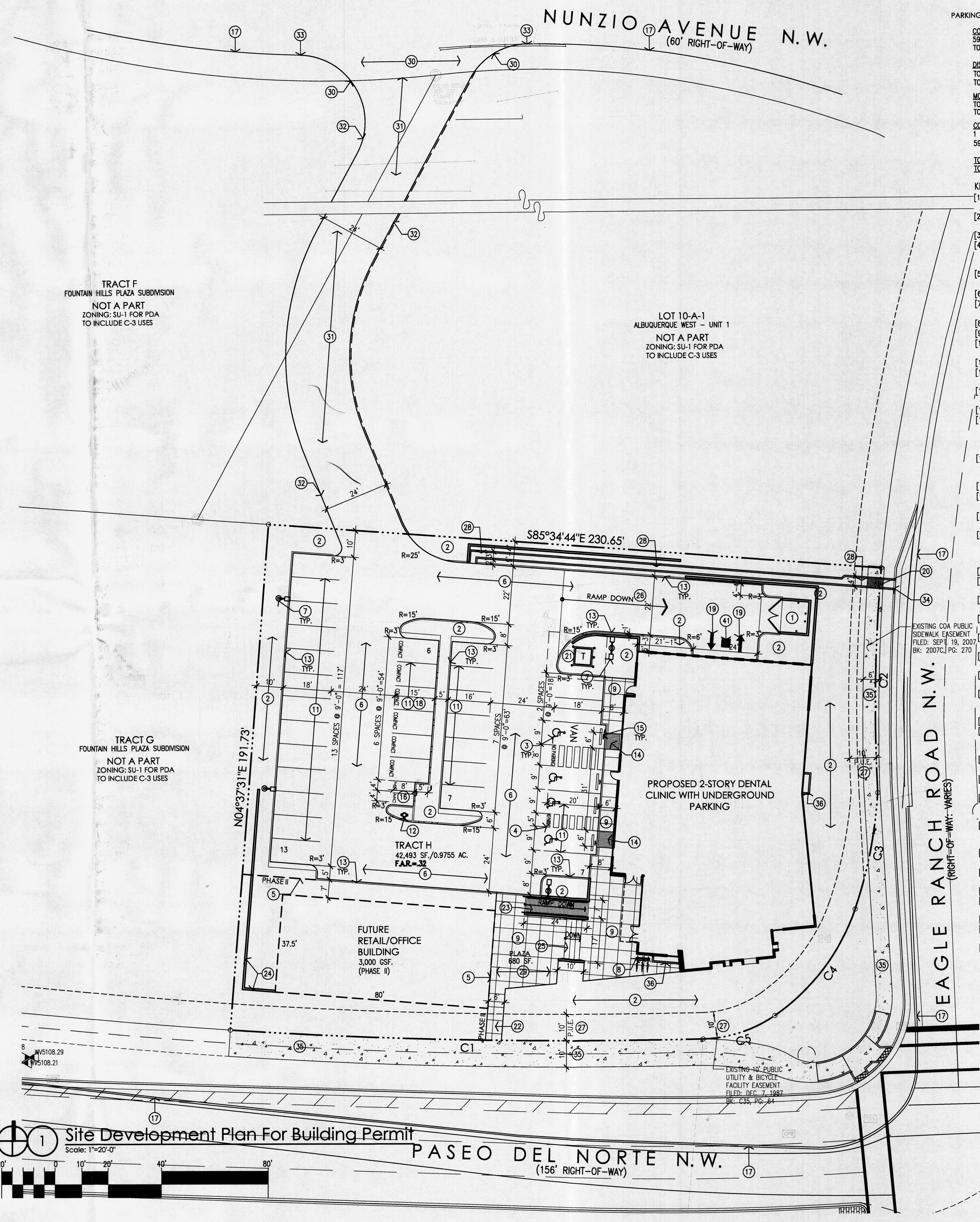
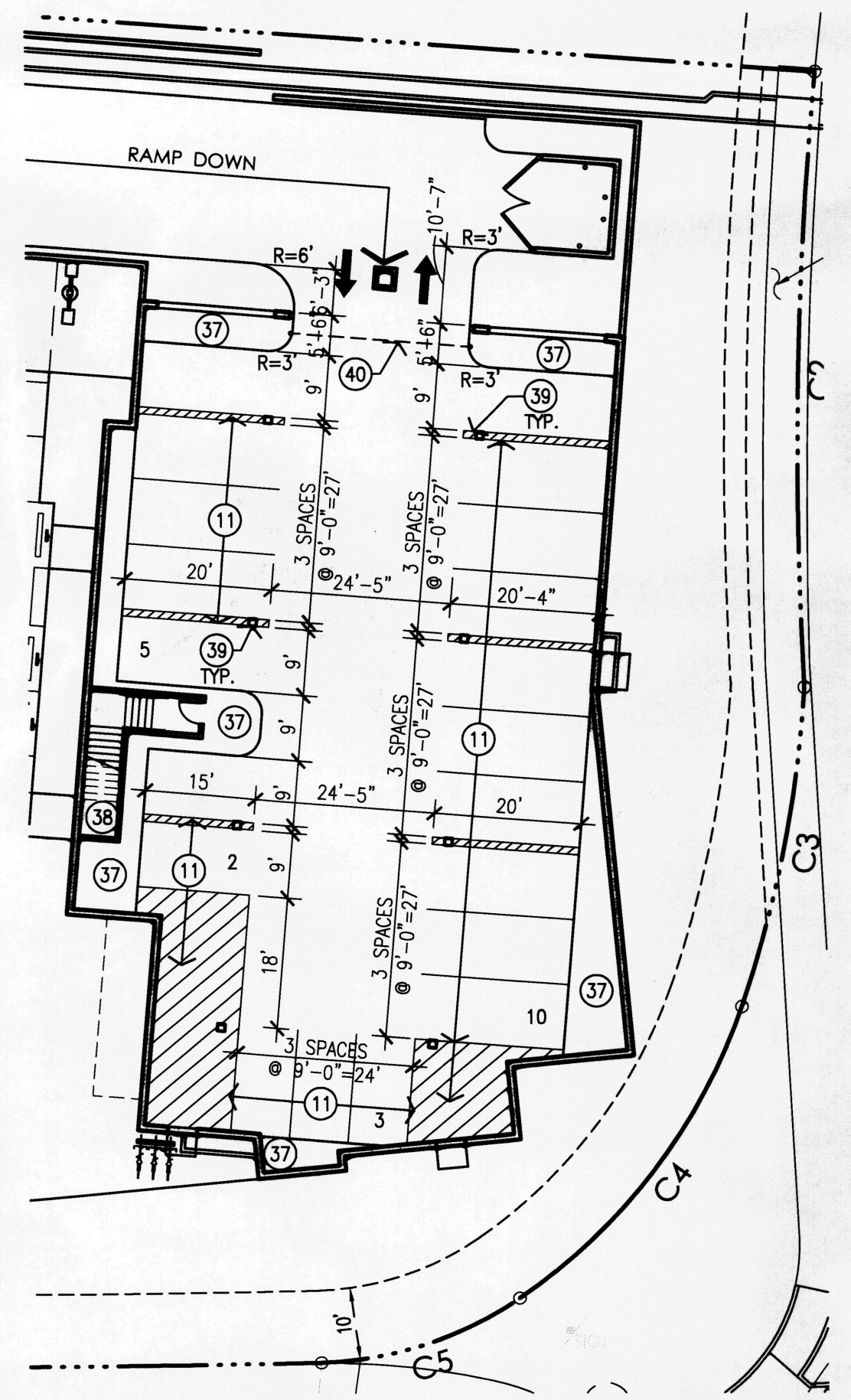
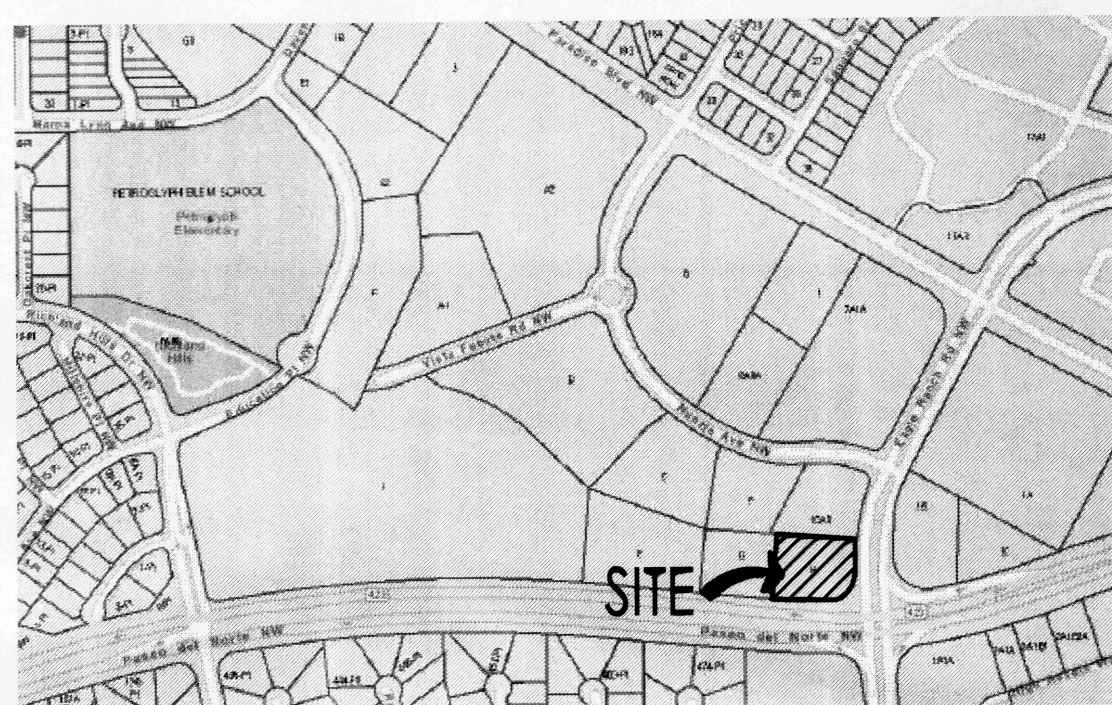
ZONING APPROVAL







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KEYED NOTES:

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- [17] COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
- [18] PROPOSED PAINTED DIRECTION ARROW ON PAVEMENT.
- [19] PROPOSED SIDEWALK CULVERT WITH METAL GRATE TOP TO BE FLUSH WITH TOP OF CONCRETE SIDEWALK. REFER TO CIVIL AND COA STD. DWG. 2236.
- [20] PROPOSED ELECTRICAL TRANSFORMER LOCATION.
- [21] PROPOSED CONCRETE SIDEWALK CONNECTION TO EXISTING SIDEWALK. MAX SLOPE 1:12.
- [22] PROPOSED CONCRETE RAMP WITH STEEL PIPE HANDRAILS, PAINTED.
- [23] PROPOSED CONCRETE RETAINING WALL. REFER TO GRADING AND DRAINAGE.
- [24] PROPOSED CONCRETE STAIR WITH STEEL PIPE HANDRAILS, PAINTED.
- [25] PROPOSED RAMP DOWN INTO PARKING GARAGE BELOW BUILDING.
- [26] EXISTING 10'-0" PUBLIC UTILITY & BICYCLE FACILITY EASEMENT.
- [27] PROPOSED CONCRETE DRAINAGE CHANNEL ALONG PROPERTY LINE OUT TO EAGLE RANCH ROAD. REFER TO GRADING AND DRAINAGE PLAN.
- [28] PROPOSED PLAZA (880 SF.) WITH BENCH SEATING AND RAMPS (STD. DWG. 2426) TO BE CONSTRUCTED TO COA STANDARDS.
- [29] TEMPORARY ASPHALT PAVING TO NEW DRIVEWAY LOCATION ON NUNZIO AVENUE (SHOWN HATCHED).
- [30] TEMPORARY ASPHALT CURB ALONGSIDE TEMPORARY DRIVEWAY.
- [31] TIE NEW DRIVEWAY CURB INTO EXISTING CURB AND GUTTER SYSTEM. REFER TO GRADING AND DRAINAGE PLAN.
- [32] PROPOSED OPENING IN EXISTING CURB AND GUTTER SYSTEM FOR DRAINAGE. REFER TO GRADING AND DRAINAGE PLAN.
- [33] PROPOSED ADA ACCESSIBLE CONCRETE SIDEWALK (STD. DWG. 2430).
- [34] PROPOSED CONCRETE VENT OPENING FROM UNDERGROUND PARKING TO GRADE ABOVE.
- [35] PROPOSED CONCRETE ISLAND.
- [36] PROPOSED STAIRWELL TO FIRST FLOOR.
- [37] PROPOSED BUILDING COLUMNS.
- [38] PROPOSED UNDERGROUND PARKING GATE.
- [39] SUMP PUMP PIT WITH GRATE COVER REFER TO GRADING AND DRAINAGE.

SITE DEVELOPMENT DATA:

**LEGAL DESCRIPTION:**  
 TRACT H OF FOUNTAIN HILLS PLAZA SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**LAND AREA:**  
 0.9755 ACRES (42,493 SQ. FT.)

**CURRENT ZONING:**  
 SU-1 FOR PDA TO INCLUDE C-3 USES (PERMISSIVE AND CONDITIONAL)

**ZONE ATLAS PAGE:**  
 C-12-Z

**BUILDING AREAS: (GROSS BUILDING AREAS)**  
 2-STORY DENTAL OFFICE: 10,674 GSF.  
 7,678 GSF.-1ST FLOOR  
 2,996 GSF.-2ND FLOOR  
**FUTURE BUILDING (PHASE II):** 3,000 SF.  
**TOTAL GROSS BUILDING AREA** 13,674 SF.

SITE DEVELOPMENT PHASING:

**PHASE I:**  
 PHASE I WILL INCLUDE THE CONSTRUCTION OF PROPOSED 2-STORY DENTAL CLINIC, UNDERGROUND PARKING BELOW BUILDING FOOTPRINT, TEMPORARY PAVING OF ACCESS DRIVE THRU ADJACENT LOT 10-A-1 TO THE NORTH ONTO NUNZIO AVENUE NW, AND RELATED AT GRADE PARKING FOR PROPOSED USES.

**PHASE II:**  
 PHASE II WILL INCLUDE THE CONSTRUCTION OF THE FUTURE BUILDING ONLY. PHASE II SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT REVIEW BOARD (DRB) AND ADHERE TO THE DESIGN STANDARDS INCLUDED IN THE PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION.

SITE DEVELOPMENT GENERAL NOTES:

- [A] THE DESIGN STANDARDS INCLUDED IN THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION-FOUNTAIN HILLS PLAZA (EPC APPROVAL: MAY 2007 & DRB APPROVAL: JUNE 2007) SHALL GOVERN ALL NEW BUILDINGS FOR TRACT H OF THIS DEVELOPMENT.
- [B] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [C] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [D] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [E] ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- [F] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.

SITE DEVELOPMENT SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS OUT-OF-ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20'-0" MAXIMUM.
- [C] LIGHTING TO BE MOUNTED ON COMMERCIAL BUILDING FACADES SHALL BE PROVIDED AT 12 FEET MAXIMUM.
- [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED AT 12 FEET MAXIMUM.

PARKING CALCULATIONS: (NET LEASABLE AREAS)

REQUIREMENTS	PROVIDED	REQUIRED
<b>PROPOSED 2-STORY DENTAL CLINIC:</b>		
7,178 NSF.-1ST FLOOR/200	36 SPACES	36 SPACES
2,840 NSF.-2ND FLOOR/300	9 SPACES	9 SPACES
<b>REQUIRED SPACES</b>	<b>45 SPACES</b>	
<b>FUTURE BUILDING (PHASE II)</b>		
2,700 NSF./200	14 SPACES	14 SPACES
<b>TOTAL REQUIRED SPACES</b>	<b>59 SPACES</b>	<b>59 SPACES</b>
<b>TRANSIT REDUCTIONS:</b>		
59 SPACES REQ'D x 10% REDUCTION = (PROXIMITY TO BUS ROUTE 94)	5.9 SPACES	
59 x 10% = 5.9 TOTAL SPACES REQUIRED		
<b>TOTAL PARKING SPACES REQUIRED = 53 SPACES</b>		
<b>TOTAL PARKING SPACES PROVIDED = 53 SPACES</b>		
43 REGULAR SPACES		
6 COMPACT SPACE		
4 HANDICAP VAN PARKING SPACE		

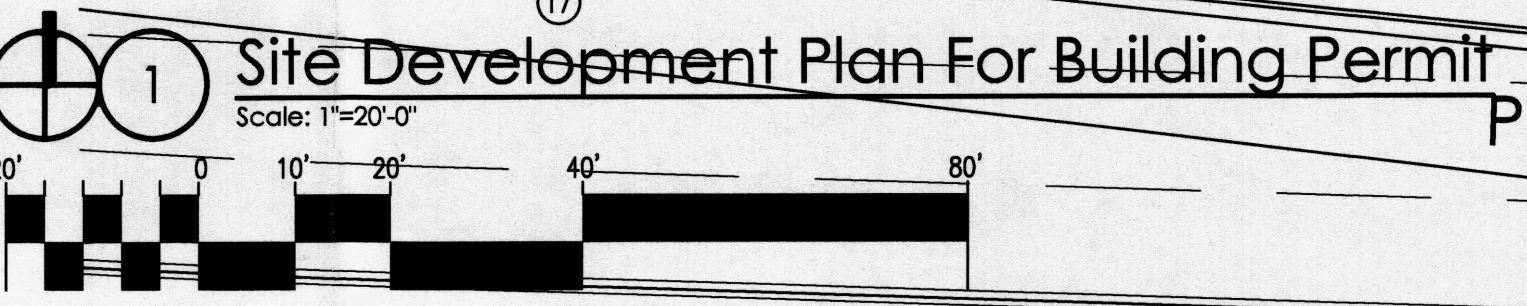
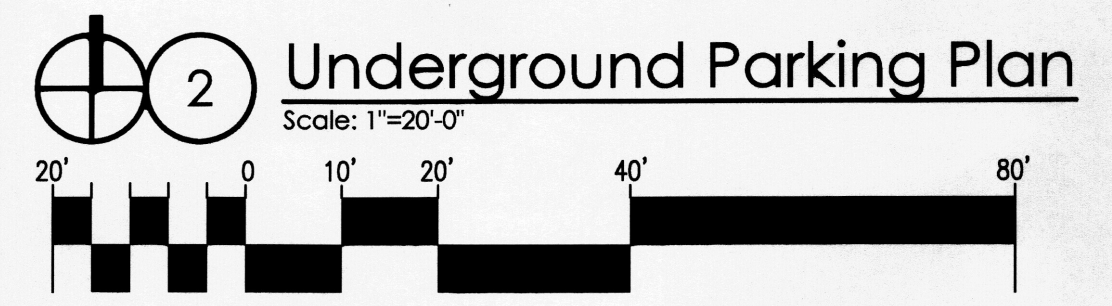
PROJECT NUMBER: 1003445 APPLICATION NUMBER: 05EPC-00022

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED AUGUST 18, 2005 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
UTILITIES DEVELOPMENT	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT APPROVAL IS ATTACHED AS SEPARATE SHEET	Date
SOLID WASTE MANAGEMENT	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date



revision  
by  
date  
rev

Per DRB Staff Comments  
Per COA Hydrology Dept.

3/13/15  
02/17/15

**MH**  
Mullen Heller  
Architecture P.C.

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Suite B  
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14-22  
av. mws  
Douglas Heller, AIA  
3/5/15

job number  
drawn by  
project manager  
date

project title  
Smiles for Kids Dental Office  
9201 Eagle Ranch Road, NW,  
Albuquerque, New Mexico 87114  
sheet title  
Site Development Plan For Building Permit

sheet  
**SDPBP**  
**SHEET 1 of 7**





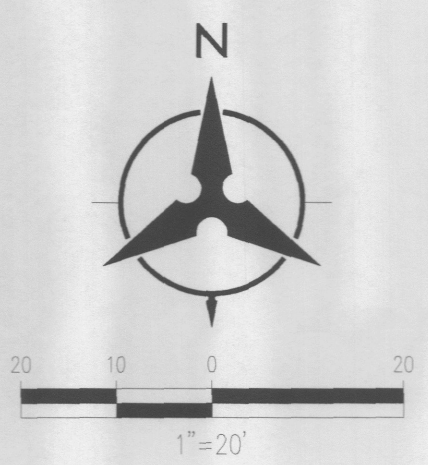
SITE CONCEPTUAL UTILITY PLAN

UTILITY KEYED NOTES

1. CONNECT TO EXISTING 12" WATERLINE
2. INSTALL 1-1/2" WATER METER
3. INSTALL NEW DOMESTIC SERVICE LINE
4. INSTALL NEW FIRE PROTECTION LINE
5. INSTALL NEW PRIVATE FIRE HYDRANT
6. INSTALL HEATED ENCLOSURE FOR DOMESTIC AND FIRE PROTECTION REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER
7. INSTALL POST INDICATOR VALVE
8. STUB TO WITHIN 5' OF BUILDING
9. CONNECT TO EXISTING 8" SAS LINE
10. INSTALL NEW SAS SERVICE LINE

LEGEND

---	PROPERTY LINE
- - - -	EXISTING EASEMENT
SAS	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
- - - -	PROPOSED EASEMENT
SAS	PROPOSED SANITARY SEWER LINE
●	PROPOSED SANITARY SEWER MAINHOLE
● <sub>CO</sub>	PROPOSED CLEANOUT
W	PROPOSED WATER LINE
⊕	PROPOSED VALVE
FL	PROPOSED FIRE LINE
●	PROPOSED HYDRANT
□	PROPOSED CAP
■	PROPOSED WATER METER
● <sub>PIV</sub>	PROPOSED POST INDICATOR VALVE



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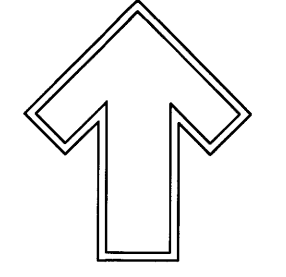
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505 268 4244 [f]

job number	20150304
drawn by	MHS
project manager	GSB
date	12.12.2014

project title  
**Smiles for Kids Dental Office**  
9201 Eagle Ranch Road, NW,  
Albuquerque, New Mexico 87114  
sheet title  
**Conceptual Utility Plan**

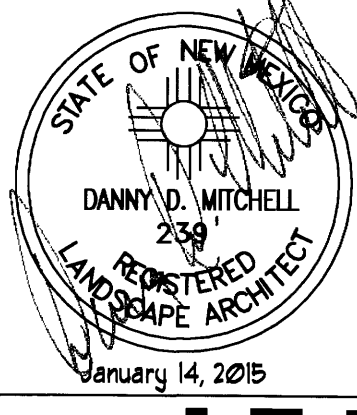
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505 268 4244 [f]

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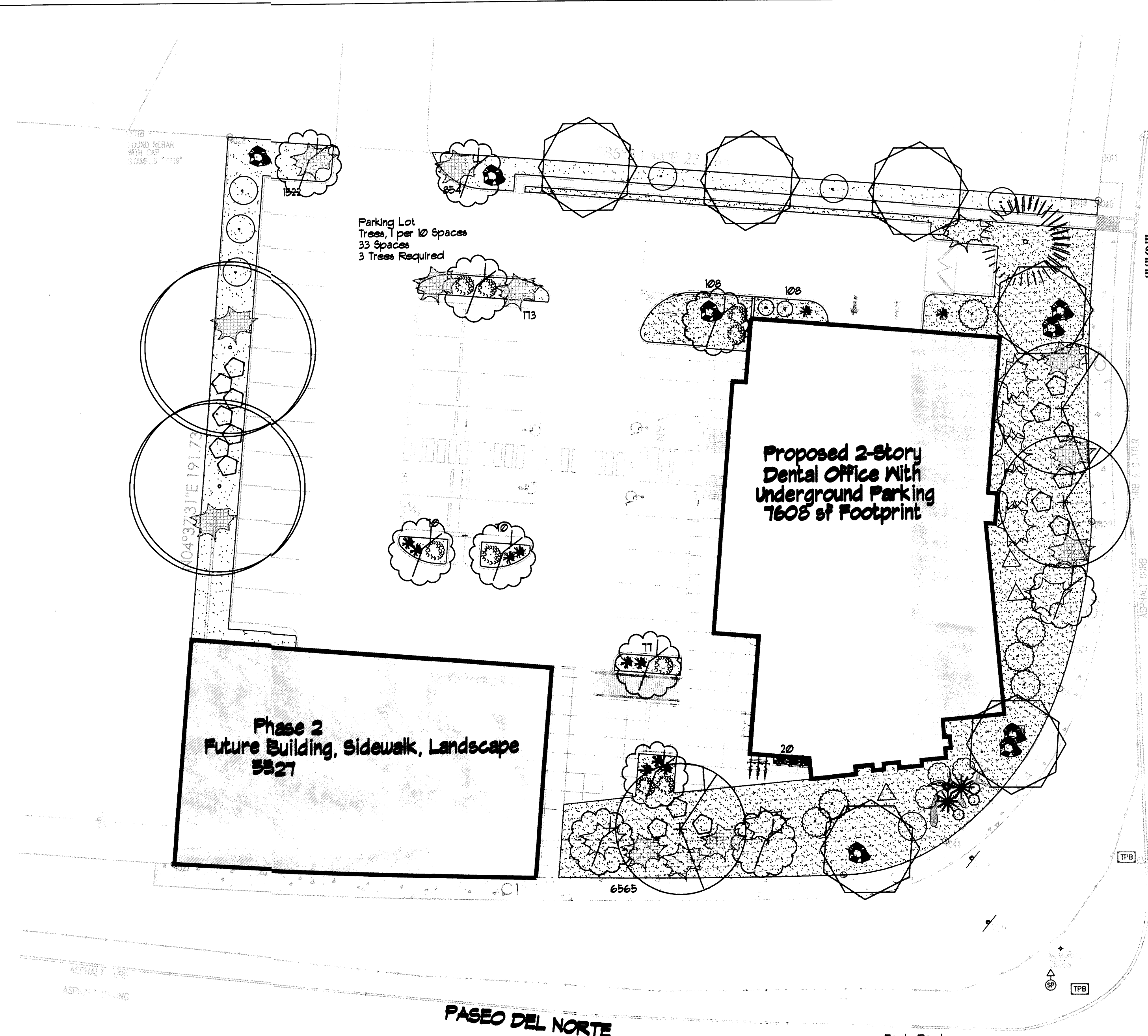
LANDSCAPE PLAN

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**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY  
DATE  
REVISION  
DATE

SHEET #  
LS-101



**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	H2O USE
<b>Trees</b>			
3	2" Cal.	Ash <i>Fraxinus sp.</i> 40x35	M+
2	2" cal	Honey Locust <i>Gleditsia triacanthos</i> 50x45	M
1	6 - 8'	Austrian Pine <i>Pinus nigra</i> 35x25	M
2	4 - 6'	Palm Yucca <i>Yucca faxoniana</i> 15x6	M
11	15 Gal.	Oklahoma Redbud <i>Cercis reniformis</i> 15x12	M
<b>Shrubs &amp; Groundcovers</b>			
6	15 Gal.	Desert Willow <i>Chilopsis linearis</i> 20x25	625 3750 M
9	5 Gal.	India Hawthorne <i>Raphiolepis indica</i> 3x5	25 225 M
14	5 Gal.	Feather Reed Grass <i>Calamagrostis arundinacea</i> 25x2	4 56 M
16	5 Gal.	Wintergreen Barberry <i>Berberis julianae</i> 5x5	25 400 M
3	5 Gal.	Butterfly Bush <i>Buddleia davidii</i> 5x5	25 75 M
9	5 Gal.	Winter Jasmine <i>Jasminum nudiflorum</i> 4x12	144 1296 M
12	5 Gal.	Buffalo Juniper <i>Juniperus sabina "Buffalo"</i> 1x12	144 1728 M
3	5 Gal.	Cherry Sage <i>Salvia greggii</i> 2x3	9 27 M
2	5 Gal.	Blue Mist <i>Coryopteris x clandonensis</i> 3x3	9 18 M
3	5 Gal.	Fern Bush <i>Chamaebotaria millefolium</i> 5x6	36 108 L
6	5 Gal.	Apache Plume <i>Fallugia paradoxa</i> 6x1	49 294 L
1	5 Gal.	Chamae <i>Chrysothamnus nauseosus</i> 5x5	25 175 L
8	2-3cf	Boulders	8152
To be placed at contractor discretion			
Landscape Gravel / Filter Fabric			
3/4" Crushed Grey / Filter Fabric			
Landscape Gravel / Filter Fabric			
7/8" Santa Fe Brown / Filter Fabric			
Oversize Landscape Gravel / Filter Fabric			
2-4" Adobe Rose			

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

No changes or substitutions shall be made to this plan without the express written consent of the Landscape Architect of record.

This plan is the exclusive property of the Hilltop and is provided to the client per a design build agreement. If the Hilltop is not the landscape installation contractor, a design fee equal to 5% of the contract shall be paid to The Hilltop by the owner, prior to release of plans.

The Landscape Architect of record reserves the right to inspect the installation and reject any and all irrigation, plant materials and gravel, and have replaced at the contractors expense, any item not in compliance with the intent of the plan.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45" from tree trunk placed in place. Netafim shall have emitters 12" o.c. with a flow of 4 gph. Shrubs to receive (2) 10' GFH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

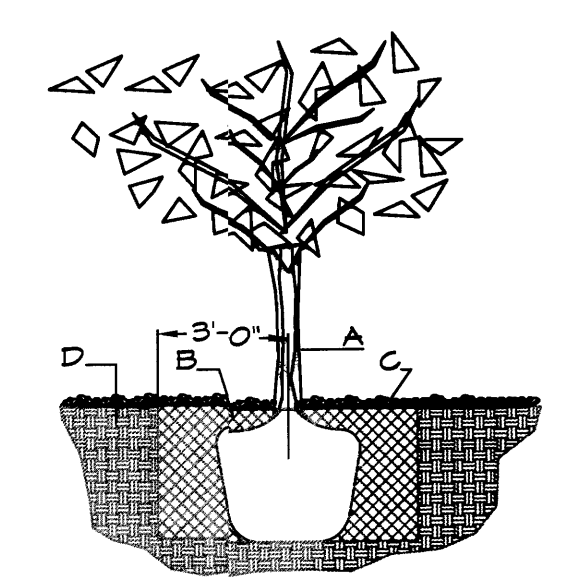
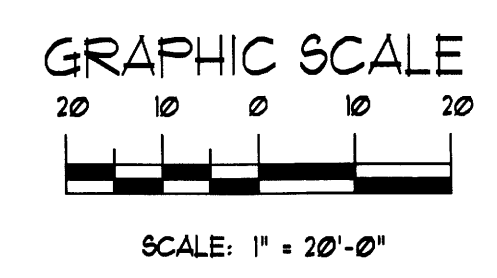
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

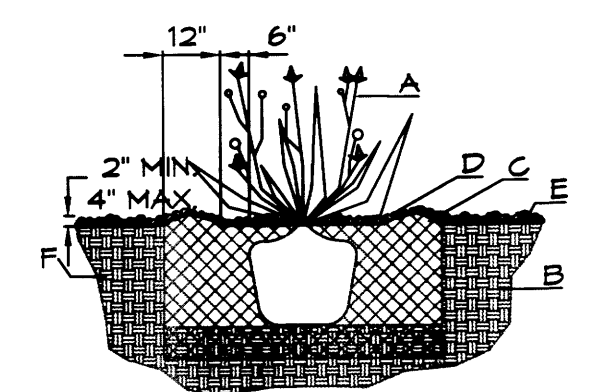
**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (sf)	42493
MINUS TOTAL BUILDING AREA (sf)	-7605
MINUS PHASE TWO	-5521
TOTAL LOT AREA OF PHASE ONE (sf)	29358
LANDSCAPE REQUIREMENT	x .20
TOTAL LANDSCAPE REQUIRED ( 20% )	5872
LANDSCAPE PROVIDED ( 32.58% )	9567
TOTAL LIVE GROUND COVER REQUIRED ( 75% )	7175
TOTAL LIVE GROUND COVER PROVIDED ( 85% )	8152



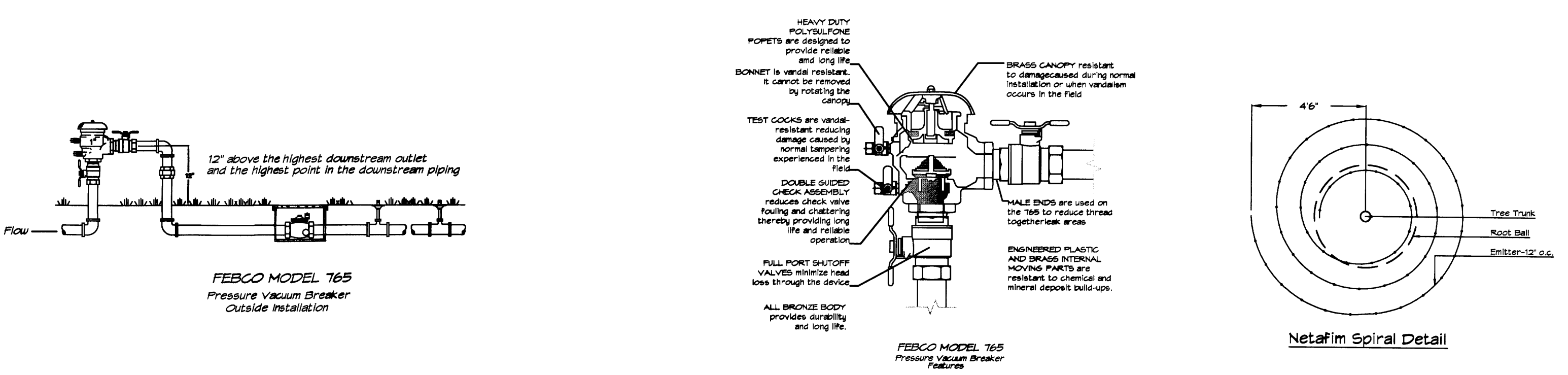
**TREE PLANTING DETAIL**

- NTS
- GENERAL NOTES:**
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- A. TREE
  - B. BACKFILL WITH EXISTING SOIL.
  - C. 3" DEPTH OF GRAVEL MULCH.
  - D. UNDISTURBED SOIL.

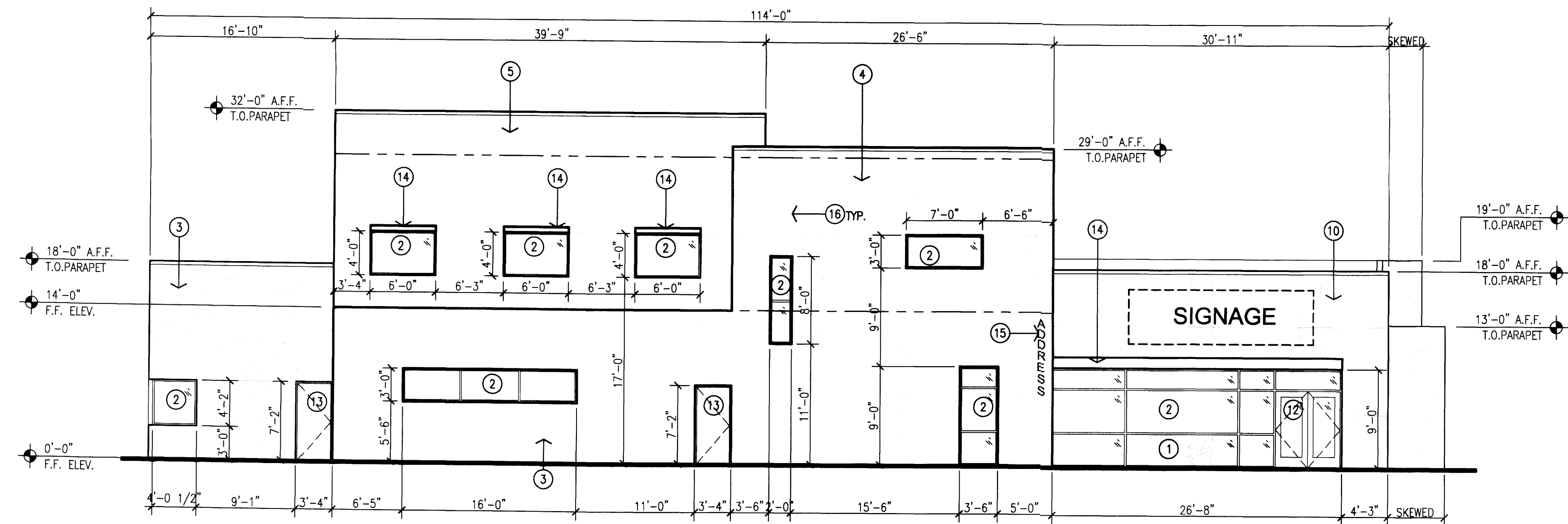


**SHRUB PLANTING DETAIL**

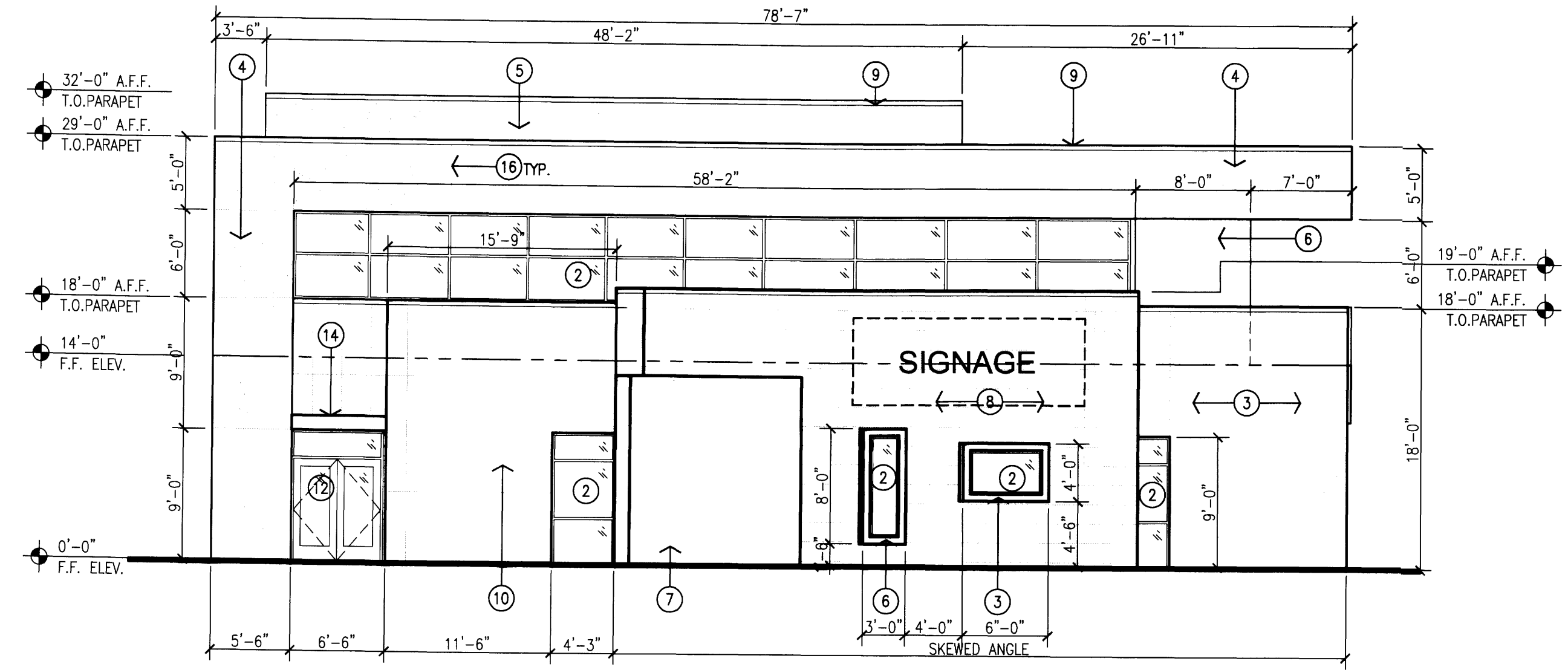
- NTS
- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- A. SHRUB.
  - B. BACKFILL WITH EXISTING SOIL.
  - C. EARTH BERM AROUND WATER RETENTION BASIN.
  - D. 3" DEPTH OF GRAVEL MULCH.
  - E. FINISH GRADE.
  - F. UNDISTURBED SOIL.



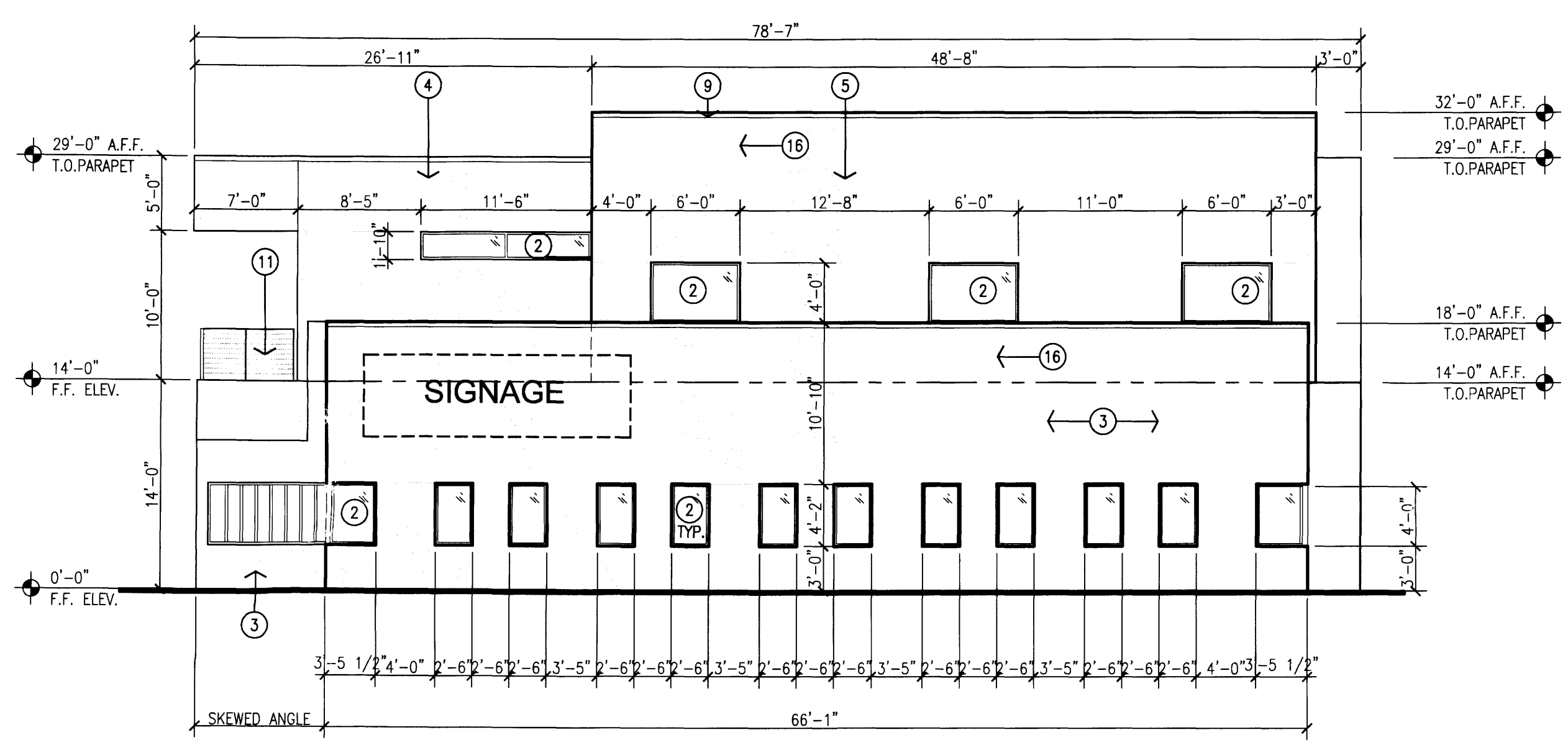




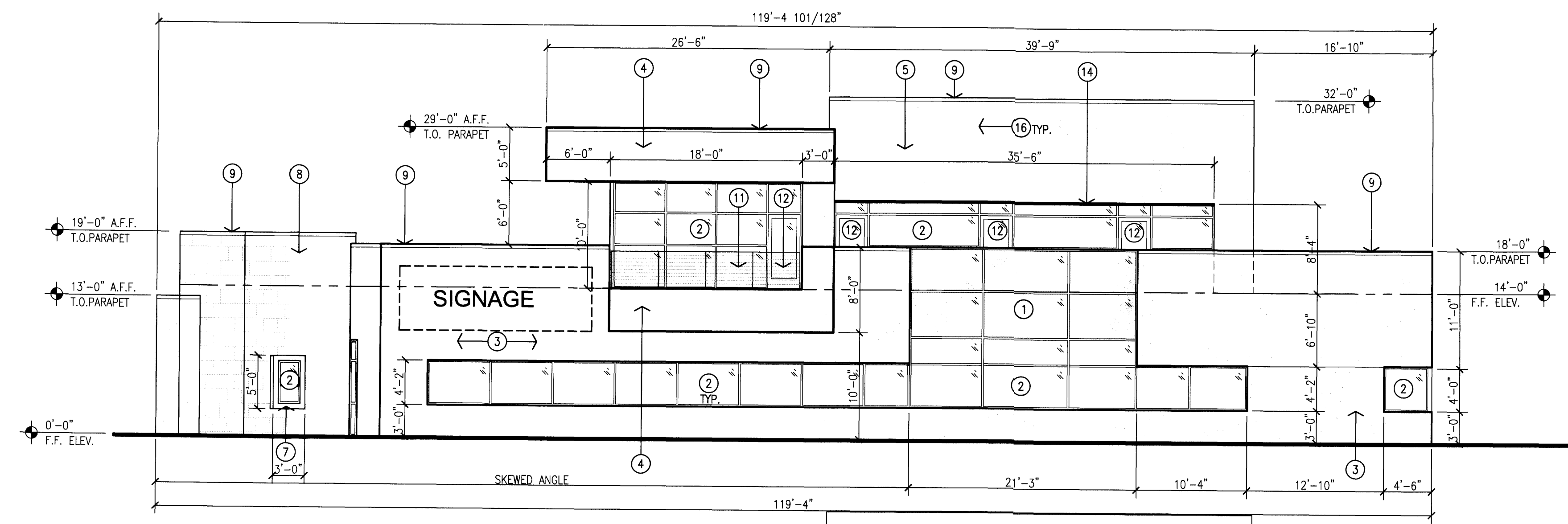
1 West Elevation  
Scale: 1/8" = 1'-0"



2 South Elevation  
Scale: 1/8" = 1'-0"



3 North Elevation  
Scale: 1/8" = 1'-0"



4 East Elevation  
Scale: 1/8" = 1'-0"

GENERAL NOTES:  
 [A] ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.  
 [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.  
 [C] CONTRACTOR TO VERIFY SIZES OF ALL OWNER PROVIDED EQUIPMENT PRIOR TO INSTALLATION.  
 [D] ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, MODEL CODES, LOCAL CODES, LAWS AND ORDINANCES.

KEYED NOTES:  
 [1] ALUMINUM STOREFRONT SYSTEM, CLEAR ANNOZIZED FRAME WITH SPANDREL GLAZING.  
 [2] ALUMINUM STOREFRONT SYSTEM, CLEAR ANNOZIZED FRAME WITH TINTED GLAZING.  
 [3] FIELD-1: 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: LIGHT TAN  
 [4] FIELD-2: 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: TAN  
 [5] FIELD-3: 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: LIGHT BROWN  
 [6] ACCENT 1: 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: ORANGE (EARTH TONE)  
 [7] ACCENT 2: 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: GREEN (EARTH TONE)  
 [8] NATURAL STONE VENEER FINISH.  
 [9] METAL PARAPET CAP TO MATCH ADJACENT FINISH COLOR.  
 [10] METAL WALL PANEL SYSTEM (NON CORRUGATED), LIGHT TAN OR GRAY.  
 [11] METAL RAILING, PAINTED DARK EARTH TONE.  
 [12] ALUMINUM STOREFRONT DOOR, CLEAR ANNOZIZED FRAME WITH SPANDREL LIGHT.  
 [13] HOLLOW METAL DOOR PAINTED TO MATCH STUCCO.  
 [14] METAL CANOPY TO MATCH STOREFRONT FINISH.  
 [15] 12" HIGH ADDRESS CHANNEL LETTERS.  
 [16] STUCCO CONTROL JOINT.

EXISTING BUILDING C  
 SIGNAGE CALCULATIONS:  
 BUILDING MOUNTED:  
 WEST ELEVATION - 2900 SF X 9%  
 234 SF ALLOWED  
 85 SF ILLUMINATED PROVIDED  
 SOUTH ELEVATION - 1194 SF X 9%  
 126 SF ALLOWED  
 120 SF ILLUMINATED PROVIDED  
 EAST ELEVATION - 2900 SF X 9%  
 107 SF ALLOWED  
 96 SF ILLUMINATED PROVIDED  
 NORTH ELEVATION - 1189 SF X 9%  
 107 SF ALLOWED  
 99 SF ILLUMINATED PROVIDED

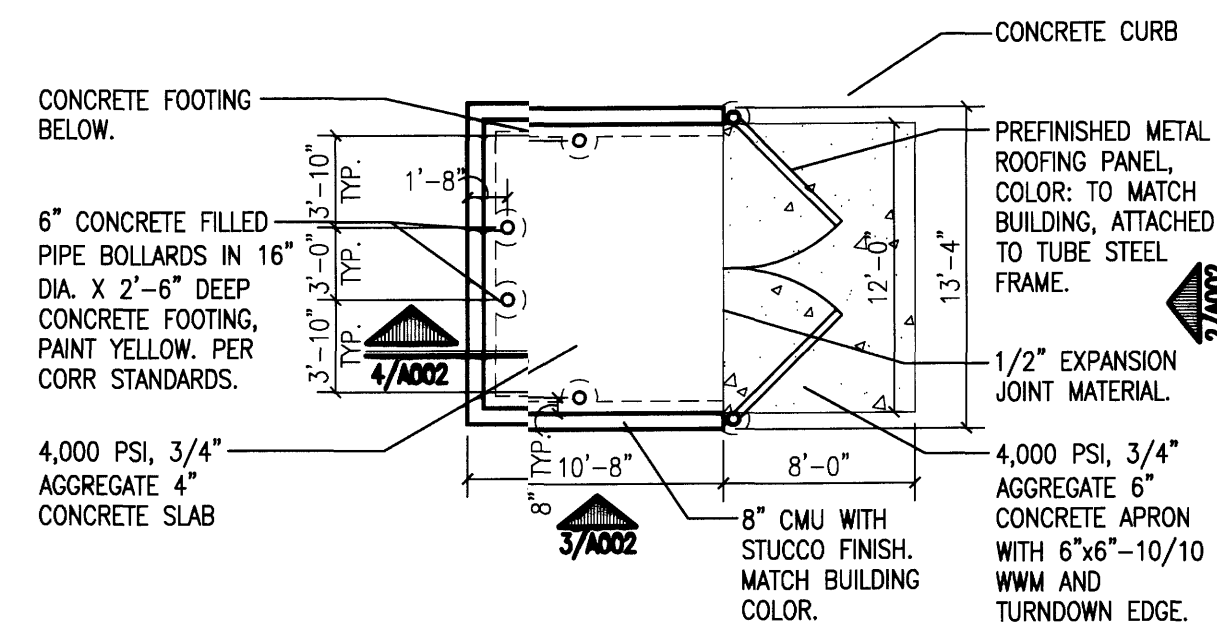
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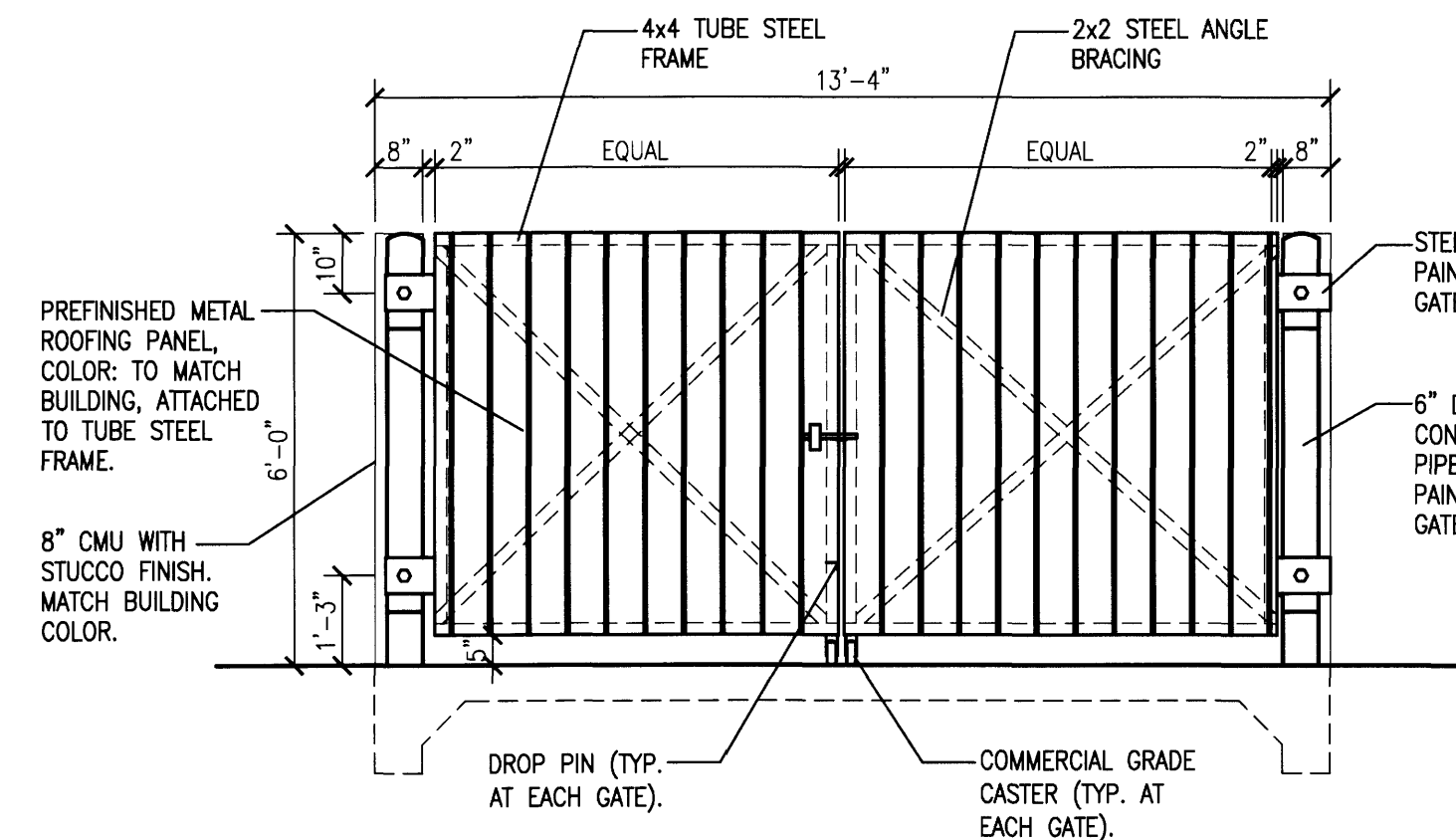
job number 14-22  
 drawn by  
 project manager Douglas Heller, AIA  
 date 12.12.2014

project title  
**Smiles for Kids Dental Office**  
 9201 Eagle Ranch Road, NW,  
 Albuquerque, New Mexico 87114  
 sheet title  
**Exterior Elevations**

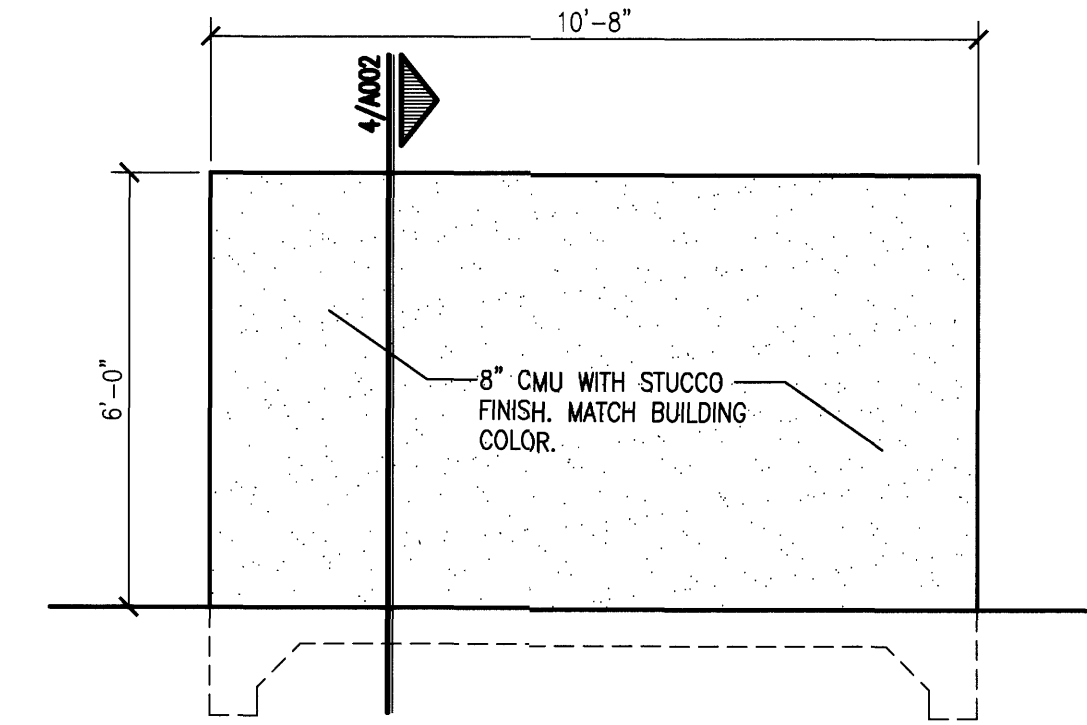




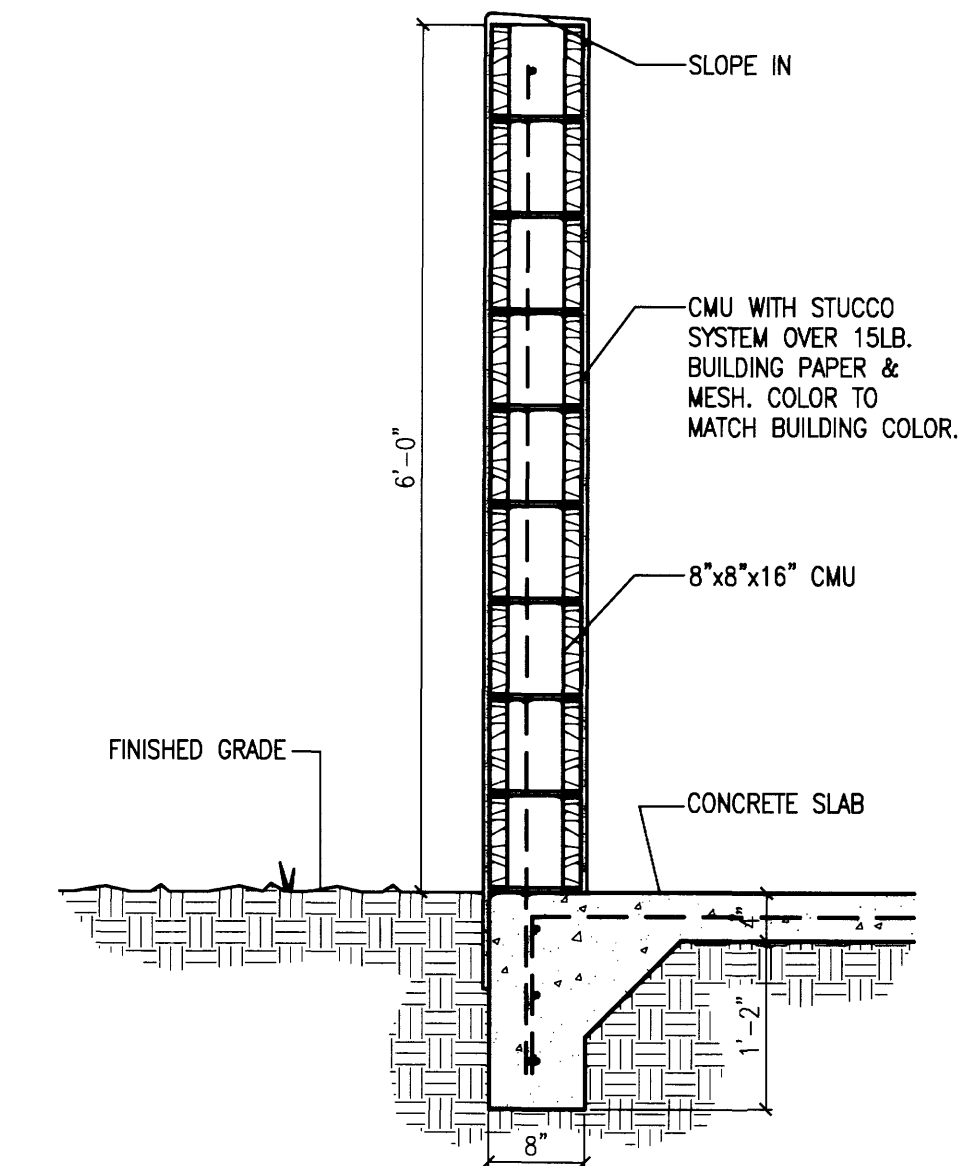
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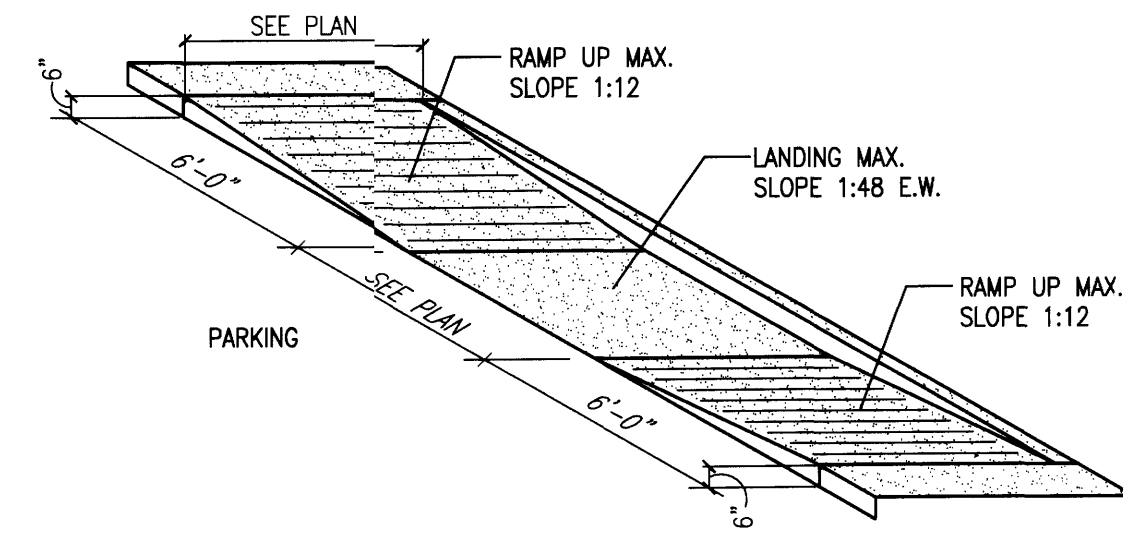
2 Dumpster Enclosure Front Elevation  
 Scale: 3/8"=1'-0"



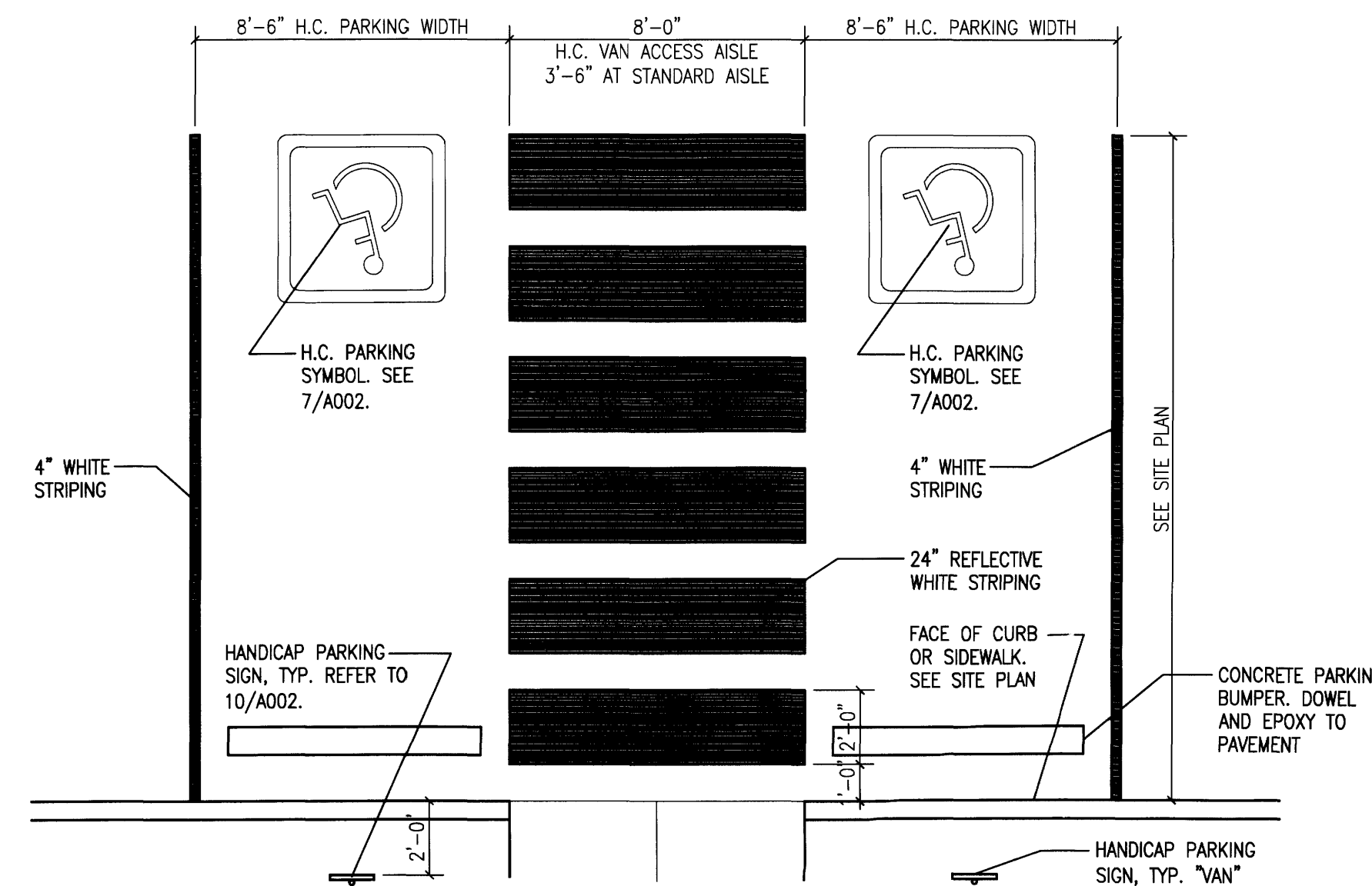
3 Dumpster Enclosure Side Elevation  
 Scale: 3/8"=1'-0"



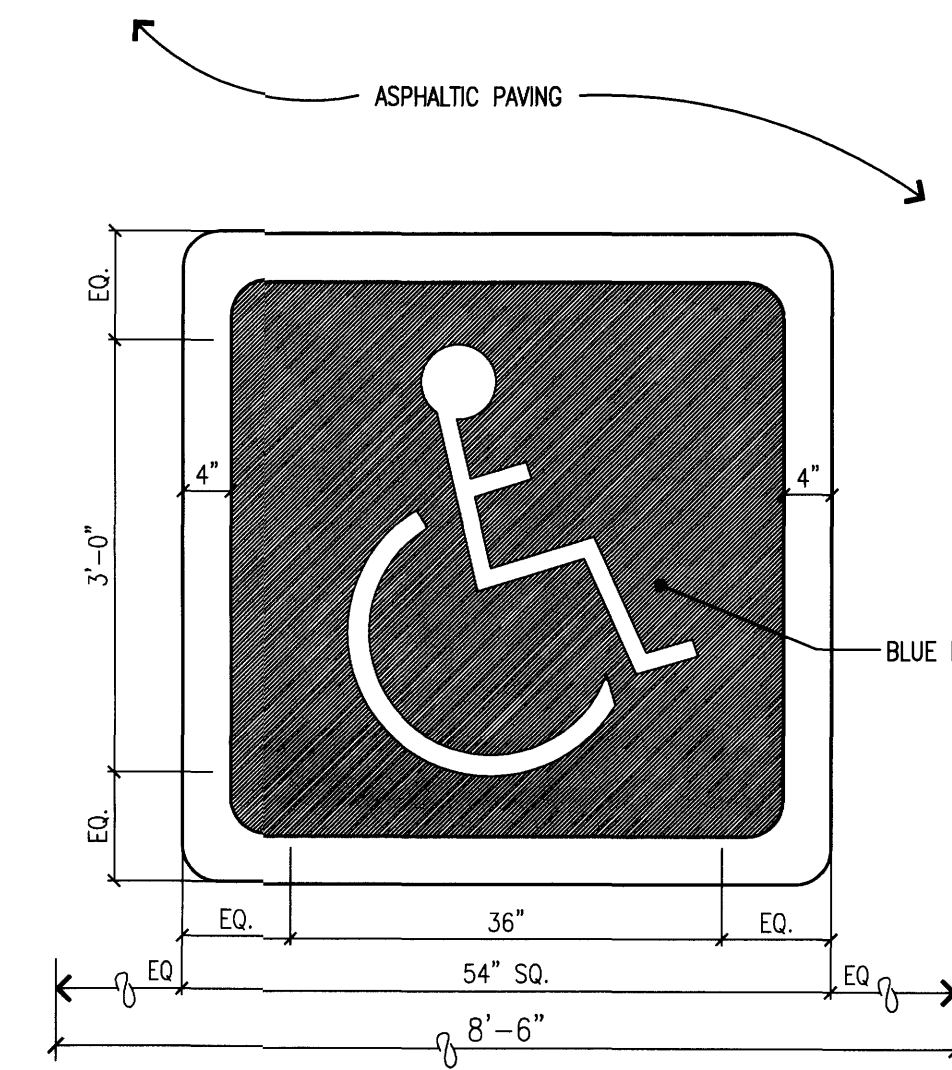
4 Refuse Enclosure Wall Section  
 Scale: 1"=1'-0"



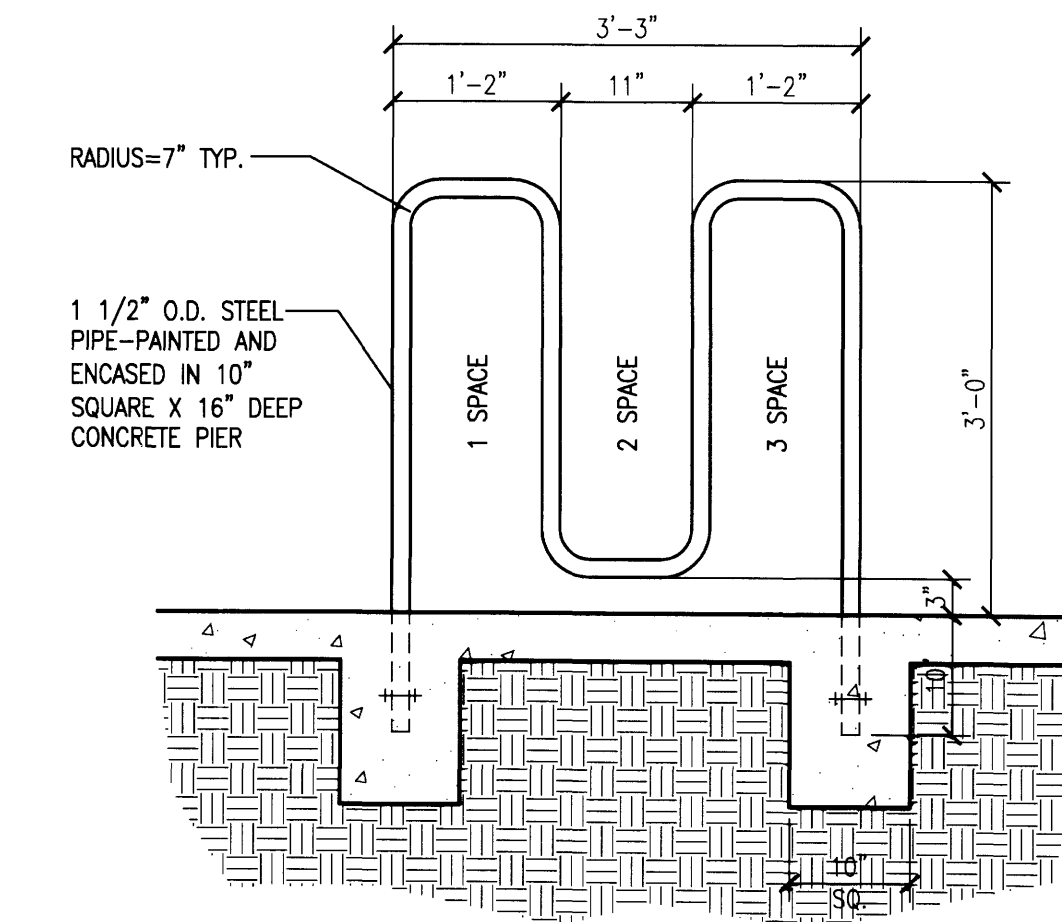
5 H.C. Ramp Detail  
 Scale: Not To Scale (Isometric)



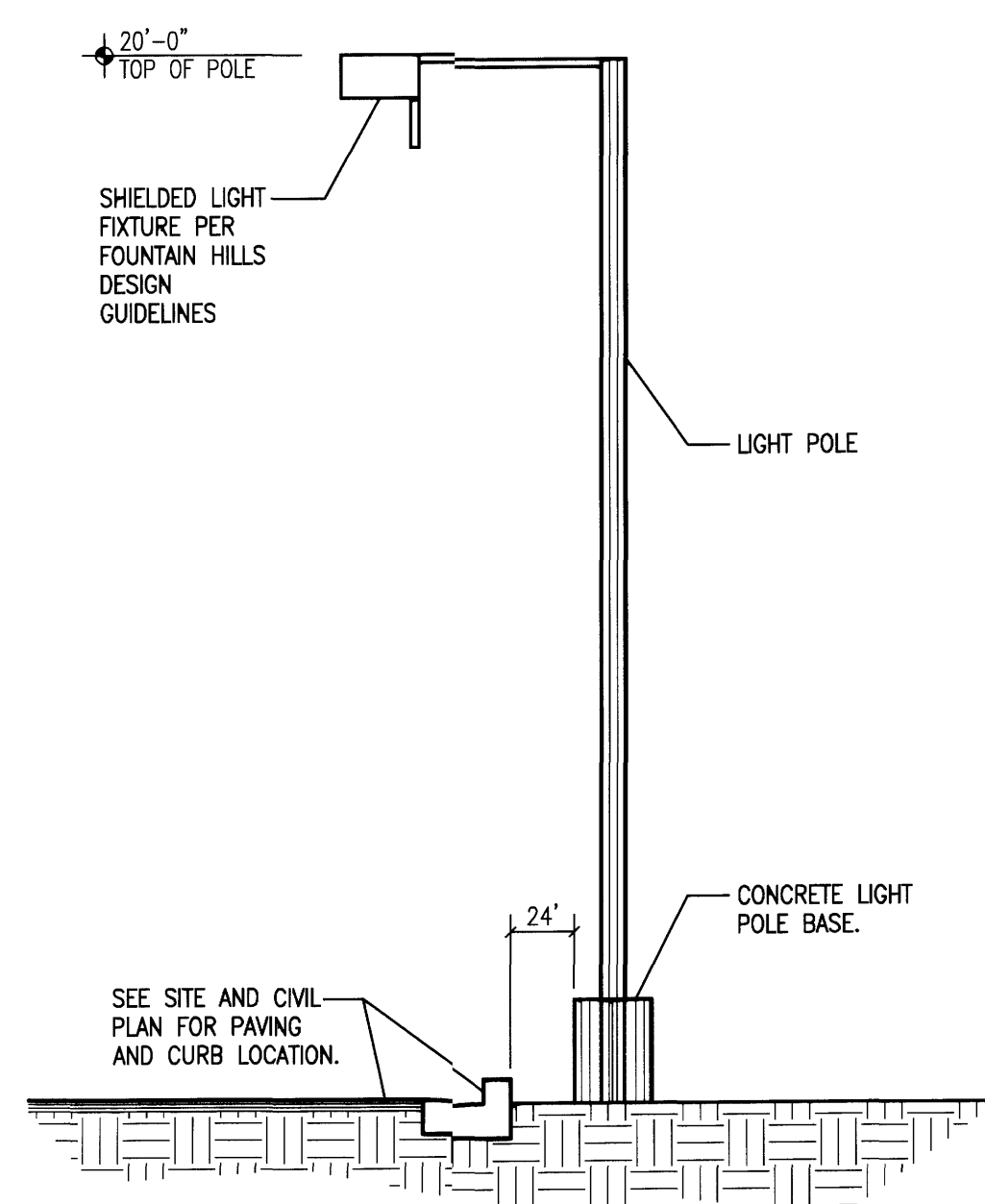
6 HC Parking Striping Detail  
 Scale: 1/4"=1'-0"



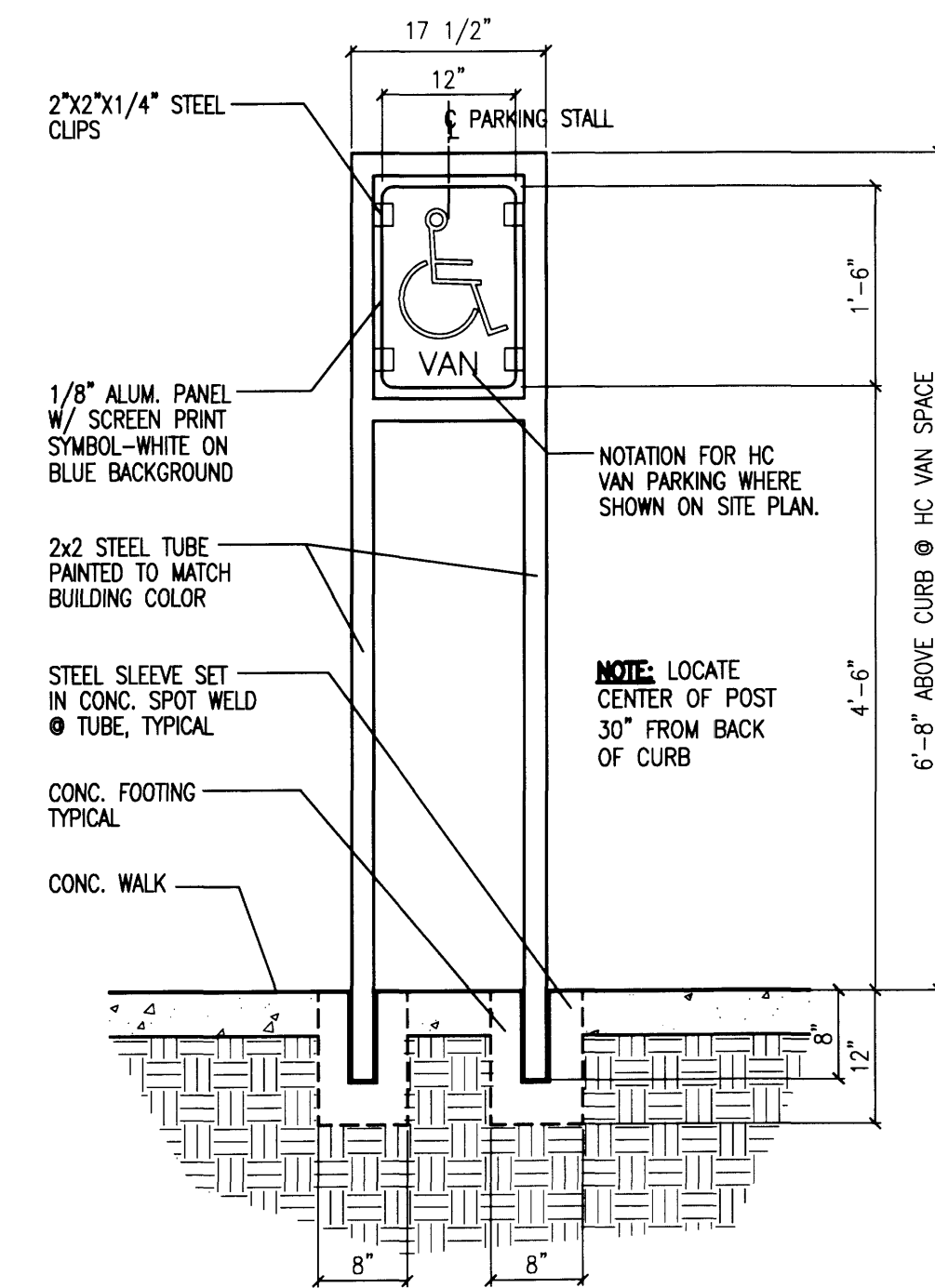
7 HC Pavement Sign Detail  
 Scale: 3/4"=1'-0"



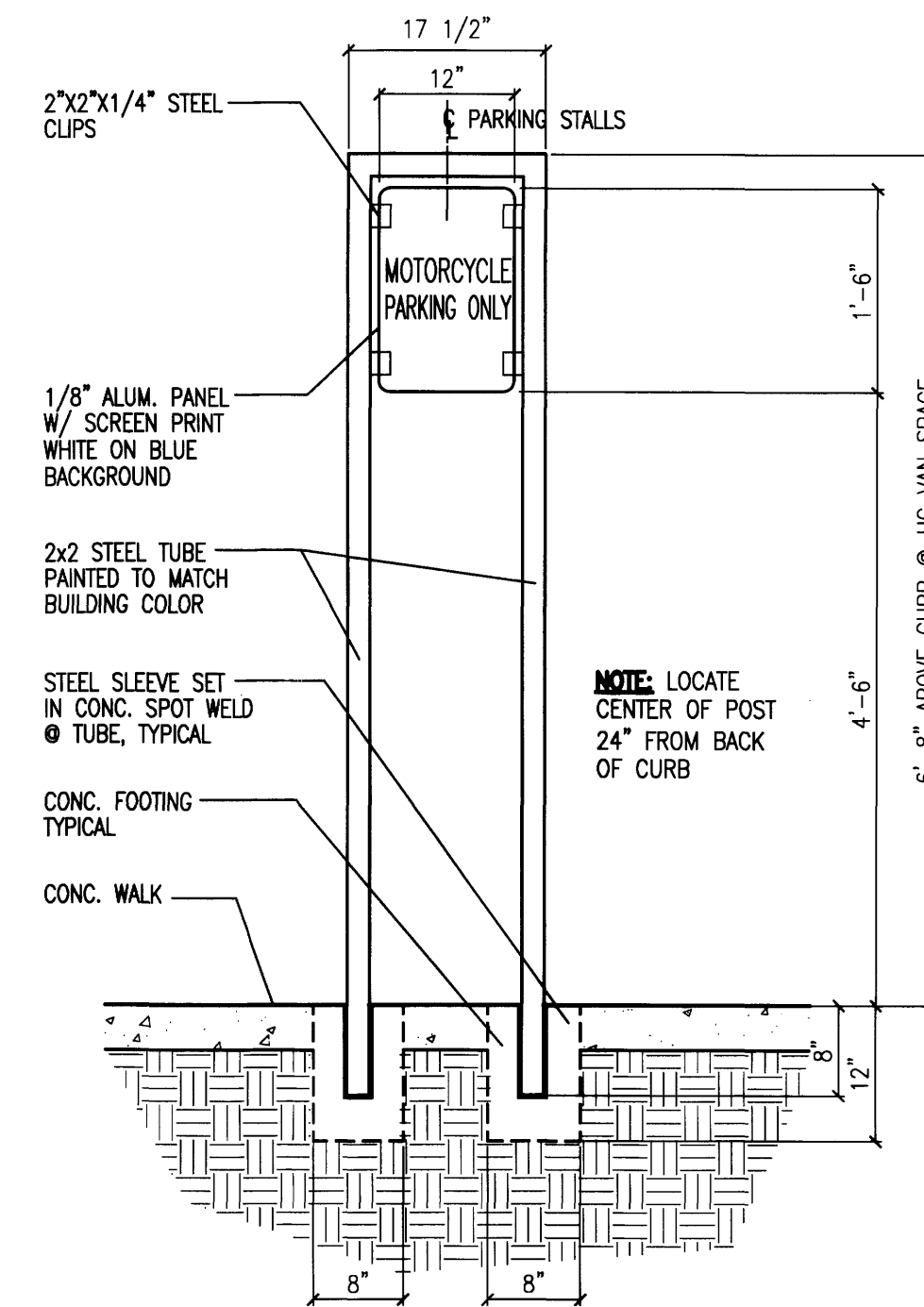
8 Bicycle Rack Detail  
 Scale: 3/4"=1'-0"



9 Light Pole Elevation Detail  
 Scale: 1"=1'-0"



10 HC Parking Sign Detail  
 Scale: 3/4"=1'-0"



11 MC Parking Sign Detail  
 Scale: 3/4"=1'-0"

revision

by

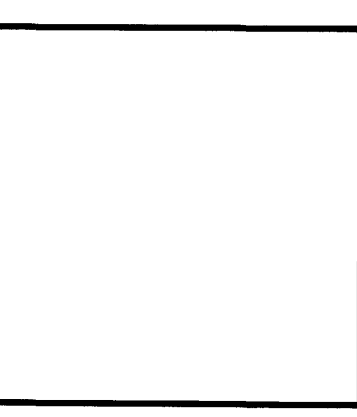
date

rev



Mullen Heller Architecture P.C.

924 Park Avenue SW Suite B  
 Albuquerque 87102  
 505 268 4144 [p]  
 505 268 4244 [f]



job number 14-22  
 drawn by ay  
 project manager Douglas Heller, AIA  
 date 12.12.2014

project title Smiles for Kids Dental Office  
 9201 Eagle Ranch Road, NW, Albuquerque, New Mexico 87114  
 sheet title Site Details



AMENDMENT:  
 AMENDMENT ENTAILS INCORPORATING 1.46 ACRE PROPERTY INTO FOUNTAIN HILLS DEVELOPMENT, REMOVING 2.05 ACRES FROM THE PROPERTY AND MINOR ADJUSTMENTS TO THE ALIGNMENT OF FOUNTAIN HILLS PARKWAY. PARCEL SIZES HAVE BEEN AMENDED TO REFLECT THE PLAT BEING PREPARED WITH THE LAND SWAP AS REQUIRED BY THE ORIGINAL EPC APPROVAL.

TRACT DESIGNATIONS, LOT LINES, ACCESS EASEMENTS, AND ACREAGES WERE ADJUSTED TO MATCH FOUNTAIN HILLS PLAZA SUBDIVISION PLAT.

- Keyed Notes:
- [01] Proposed traffic signal installation at Paradise & Fountain Hills Boulevard. (Requires approval by COA Traffic Engineering Operations)
  - [02] Proposed 4-way Stop @ Richland Hills & Fountain Hills Parkway. (Requires approval by COA Traffic Engineering Operations)
  - [03] Proposed reconfiguration of Education Place to Fountain Hills Parkway.
  - [04] Proposed Right-in / Right-out from Fountain Hills Boulevard to Eagle Ranch Road.
  - [05] Proposed Internal Focal Area round-a-bout, must meet all FHWA-RD-00-067 & AASHTO design standards.
  - [06] Existing AMAFCA retention pond. Proposed to be developed as a public amenity.
  - [07] Remove existing property line.
  - [08] Vehicular Ingress / Egress symbol. Exact locations to be verified in Site Plan for Building Permit submittal.
  - [09] Existing shared access easement between tract 10-A-1 & 10-A-2.
  - [10] Proposed Bus Shelter located along Eagle Ranch Road. Coordinate location with the Transit Department prior to DRB approval.
  - [11] Internal Focal Area designated in this area. Refer to Design Standards for specific design criteria.
  - [12] Extension of trail facility along north side of Paseo del Norte NW to be constructed.

Indicates possible ingress/egress points. These are conceptual only and must be approved by City Transportation in the future.

Note:  
 Tracts C, F, and G are subject to a 25' wide floating access, water, and sanitary sewer easement for the benefit of and to be maintained by Tracts E, G, and H.

SPLIT TRACT A INTO TWO TRACTS, TRACT A-1 AND A-2. ALLOWABLE USES FOR TRACT A REMAIN IN EFFECT FOR A-1 AND A-2

Site Plan for Subdivision  
 Prepared for: Fountain Hills Plaza, LLC

Land Use Summary

Tract	Acres	Max. Bldg. Height	Max. Buildable	Allowable Uses
A-1-A	2.85	32'-0"	30 DU/Acre	Residential
A	0.0006	32'-0"	35 F.A.R.	Retail / Restaurant / Office
B	3.8571	32'-0"	35 F.A.R.	Retail / Restaurant / Office
C	1.6753	32'-0"	35 F.A.R.	Hotel / Retail
D	5.1308	32'-0"	35 F.A.R.	Retail / Restaurant / Office
E	1.8615	32'-0"	35 F.A.R.	Hotel / Retail
F	1.1223	32'-0"	35 F.A.R.	Restaurant / Retail
G	0.9477	32'-0"	35 F.A.R.	Restaurant / Retail
H	0.9755	32'-0"	25 F.A.R.	Restaurant / Retail
6-A-1-A	1.44	N/A	N/A	N/A

Note:  
 All buildings are limited to 3.5 stories as per Council Bill # F/S O-186, Enactment No. 33-1985, Exhibit 'A', City of Albuquerque Zoning and Special Use Parameters approved by City Council May 20th, 1985.

Existing Site Data  
 Legal Description:  
 Lots 2B & 3B, Lot 10-A-2 of Block D Albuquerque West, a portion of Lot B-1-A, Lot C-1-A, Lot D-1-A, Lot 6-A-1-A, Albuquerque West, Unit 1 and a portion of Tract B Richland Hills, Unit 1  
 Acreage: ± 30.3  
 Existing Land Use: Undeveloped.

Current Zoning:  
 SU-1 FDA to include C-3 Uses (Permissive & Conditional)  
 Council Bill # F/S O-186, Enactment No. 33-1985, Exhibit 'A' sets forth additional parameters.

Future Site Development Plans for Building Permit are delegated to the Development Review Board as specified in City Council Bill no. F/SO - 186, Enactment No. 33-1985. All future Site Development Plans for Building Permit shall indicate the Internal Focal Area, where applicable.

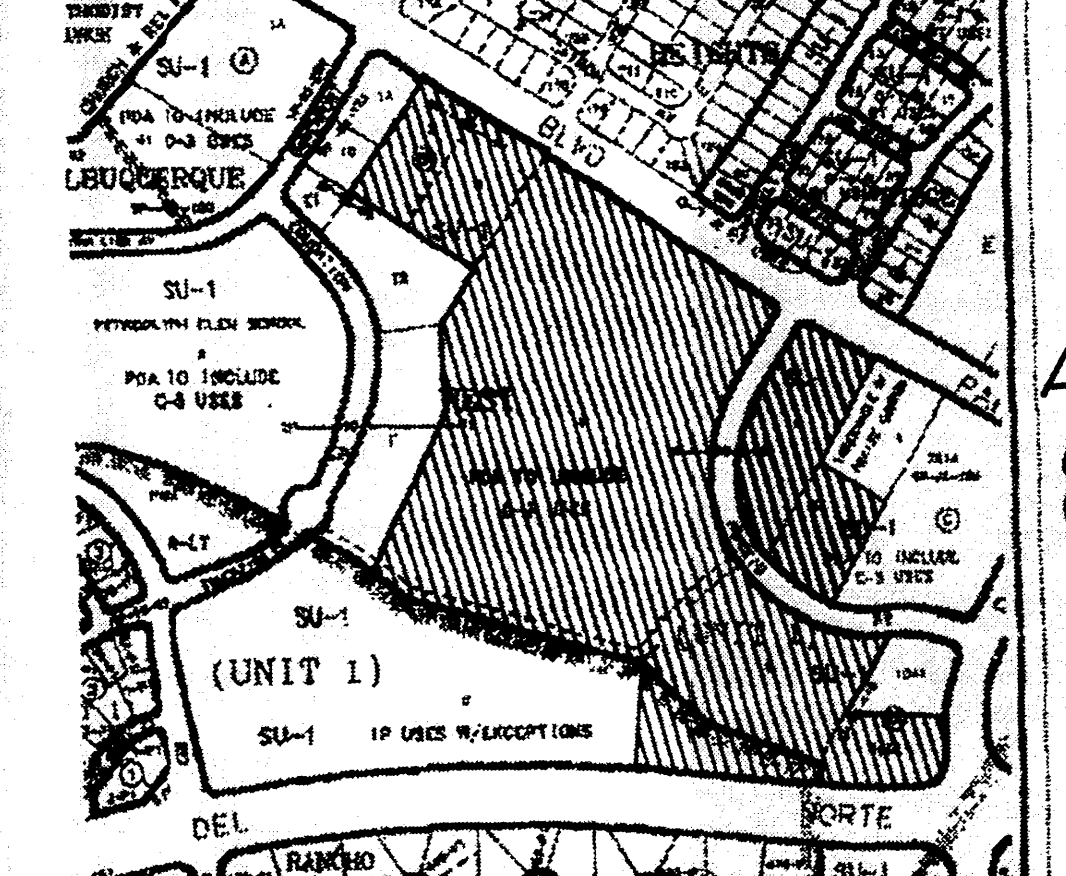
Project Number: 1003445  
 Application Number: 07DRB-70053

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 18, 2007, and the Findings and Conditions in the Official Notification of Decision are met.  
 This also incorporates the conditions from EPC's decision dated August 19, 2006, 05EPC-00022. Is an Infrastructure List required? (X) Yes ( ) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

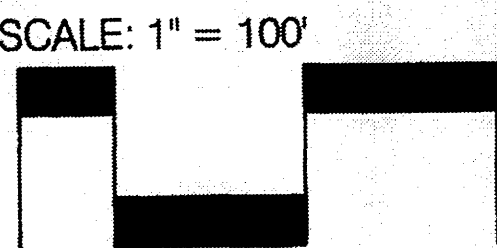
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	6-26-07
<i>[Signature]</i>	6-20-07
<i>[Signature]</i>	6/20/07
<i>[Signature]</i>	6/20/07
<i>[Signature]</i>	6-27-07

Site Vicinity  
 Zone Atlas C-12



1003445  
 ADMINISTRATIVE AMENDMENT  
 File # 07-10066 Project # 1003445  
 lot line adjustment to match plat  
 APPROVED BY *[Signature]* DATE 9/14/07



CANNADY PALACIOS ARCHITECTURE  
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THIS DRAWING IS THE PROPERTY OF CPA ARCHITECTURE AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESS WRITTEN CONSENT.

ADMINISTRATIVE AMENDMENT  
 FILE # 19AA PROJECT # 1003445  
 10023  
 LOT SPLIT OF TRACT A TO TRACT A-1 AND A-2  
 DATE 5-13-14  
 APPROVED BY *[Signature]*

PROJECT #: 1003445  
 DATE: 6-18-14  
 APP #: 14-1023(C/P/F)

CONSENSUS PLANNING  
 ADDRESS • 302 1/2 Street NW  
 Albuquerque, NM 87102  
 TELEPHONE • 505.764.0801  
 FAX • 505.842.5485  
 E-MAIL • cp@consensusplanning.com

DEVELOPER Fountain Hills Plaza LLC  
 ADDRESS • PO Box 5993  
 Albuquerque, NM 87107  
 TELEPHONE • 505.229.0500  
 FAX • 505.860.7276

DRB SUBMITTAL

5-13-2014

SEPTEMBER 4, 2007

DRB BOARD • 6-11-07  
 PROJECT ID • Fountain Hills

Site Plan For Subdivision

A1



**Design Guidelines & Standards**

The purpose of these Design Guidelines is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Fountain Hills mixed-use development. These guidelines address the issues of streetscape, road design, pedestrian circulation, setbacks, parking, lighting, signage, site layout, architecture, landscape and transit opportunities. Each category is organized in terms of Standards (items that are required), and Guidelines (items that are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Guidelines & Standards, the more restrictive requirement shall be applicable.

The Design Standards shall be used to facilitate the design of buildings which respect the natural conditions of the site, maintain and highlight the spectacular views of the Sandia and Marzano Mountains and to provide a clustered building design that breaks up large parking areas into an integrated pedestrian center.

**Site Plan Submittals:**

Site Development Plans for Building Permit for all Tracts shall be reviewed and approved by the Development Review Board (DRB) in accordance with the provisions set forth in Council Bill # F/S O-186, Enactment No. 33-1985, Exhibit A; City of Albuquerque Zoning and Special Use Parameters approved by City Counsel May 20th, 1985.

**Site:**

The proposed site consists of approximately 31 acres of undeveloped land bounded by Paradise Blvd to the North, Eagle Ranch Rd to the East, Paseo Del Norte to the South & Education Pl to the West.

**Land Use Concept:**

The land use concept is an Integrated, Mixed-use Office / Commercial / Retail & Service Center, adjacent to a Designated Community Activity Center per the City of Albuquerque Comprehensive Plan. The character developed within the center is a pedestrian friendly environment consisting of areas for displays & seating. The design criteria encourages the use of small and large scale plazas and patios to create outdoor public / private space. The street layout encourages the type of activity by providing an Internal Focal Area around which buildings are oriented, providing slower moving pedestrian friendly traffic conditions in high congestion areas. On-street parking, pedestrian nodes and an integrated internal street system will work toward creating a community identity.

**Proposed Uses:**

C-3 Permissive & Conditional uses including package liquor for off-site consumption, unless otherwise restricted below.

**Prohibited Uses:**

- Adult Amusement Establishment or Adult Store
- Bottling
- Mfg., assembling, treating, repairing, or rebuilding of products
- Printing, publishing, lithography, or blueprinting
- Sheet metal working
- Upholstering
- Contractor's yard
- Equipment rental, sales, display and repair
- Antenna (without height limitation)
- Operative contractor's equipment and heavy farm equipment sales
- Railroad right-of-way and incidental facilities
- Outdoor building material storage or sales unless incidental to retail sales and adequately screened
- Specific uses restricted by Council Bill # F/S O-186, Enactment No. 33-1985, annexation agreement
- Automotive Engine Mfg.
- Cold Storage Plant
- Welding
- Ice Plant
- Tire recapping or re-treading
- Warehousing
- Bulk Fuel Storage & Sales
- Kennel
- Auto Dismantling
- On-Site Dry Cleaning Plant

**Adjacent Land Uses (Zoning):**

- North - Single Family Residential (R-1, SU-1 & RT)
- Multi-Family Residential Apartments (SU-1, C-2 & R-2)
- South - Undeveloped Land (SU-1 P w/ Exceptions per the Riverview Sector Development Plan)
- Single Family Residential (R-1)
- East - Commercial (SU-1 PDA to include C-3 Uses)
- Multi-Family Residential Apartments (SU-1)
- West - Petroglyph Elementary School (SU-1 PDA to include C-3 Uses)
- Commercial (SU-1)

**Site/Edge Design**

**Standards**

- Parking provided adjacent to Paradise Boulevard, Eagle Ranch, and Paseo Del Norte shall be screened by short walls and/or landscaping to a height of 3 feet.
- A 6 foot sidewalk shall be provided within these right-of-ways to provide pedestrian access.
- Landscape buffers shall include trees spaced a minimum of 30 feet on center and include a minimum of 25% coniferous trees.
- The Internal Focal Area (Figure G) shall be defined by a vehicular round-e-bout and parallel parking within the public right-of-way. The area immediately adjacent to the round-e-bout shall be constructed of materials that distinguish it from typical roadway materials, such as integrally colored and/or stamped concrete, brick forms or pavers of various sizes (to be approved through DRC and Street Maintenance).
- A centrally located round-about shall be designed to create an urban space where interaction can occur. (Figure G) Provide amenities to cater to pedestrians, bicyclists, transit users and motorists. (i.e. seating, bicycle parking, outdoor display, newspaper kiosks, etc.
- The Project edge along Paradise Boulevard shall include at least a 10 foot landscape setback from property line to provide a buffer to the adjacent residential neighborhoods.
- Street edges adjacent to Tract A-1-A shall utilize a combination of walls, decorative fencing, and landscaping to provide for a secure residential environment. The material treatments shall be compatible with adjacent buildings and consist of materials specified in the Perimeter Walls & Screening section provided in this document.

**Public Right-of-Way**

All Access Points provided on the site plan are for illustrative purposes only and are subject to change.

**Standards**

- The Site Plan shall comply and be designed per DPM Standards.
- The Internal Focal Area is proposed as a 62 foot public right-of-way as shown in Figure A & Figure D.

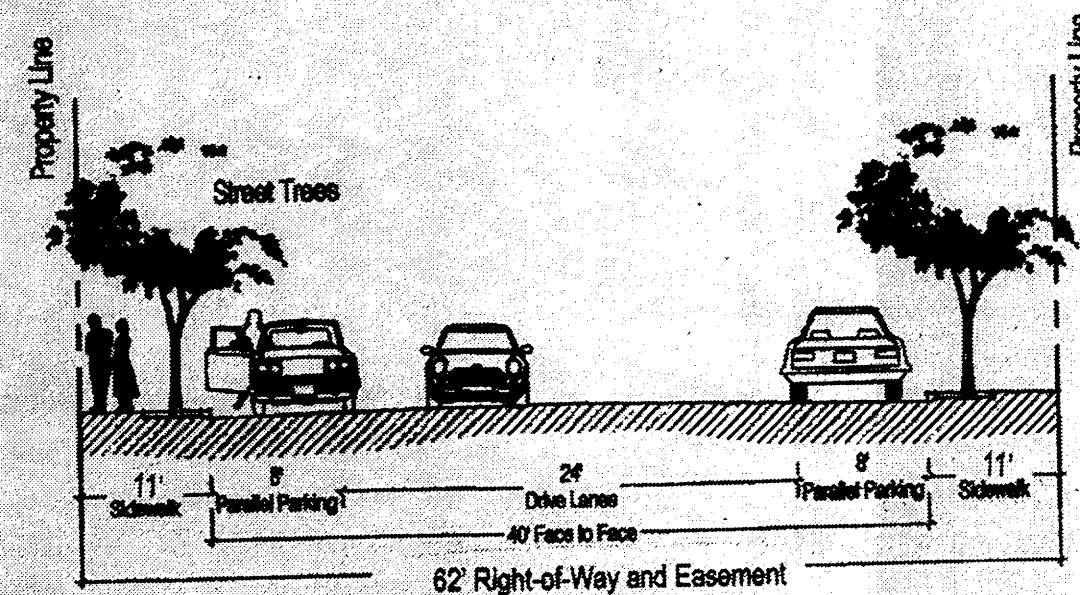


Figure A: Internal Focal Area Minimum Street Section

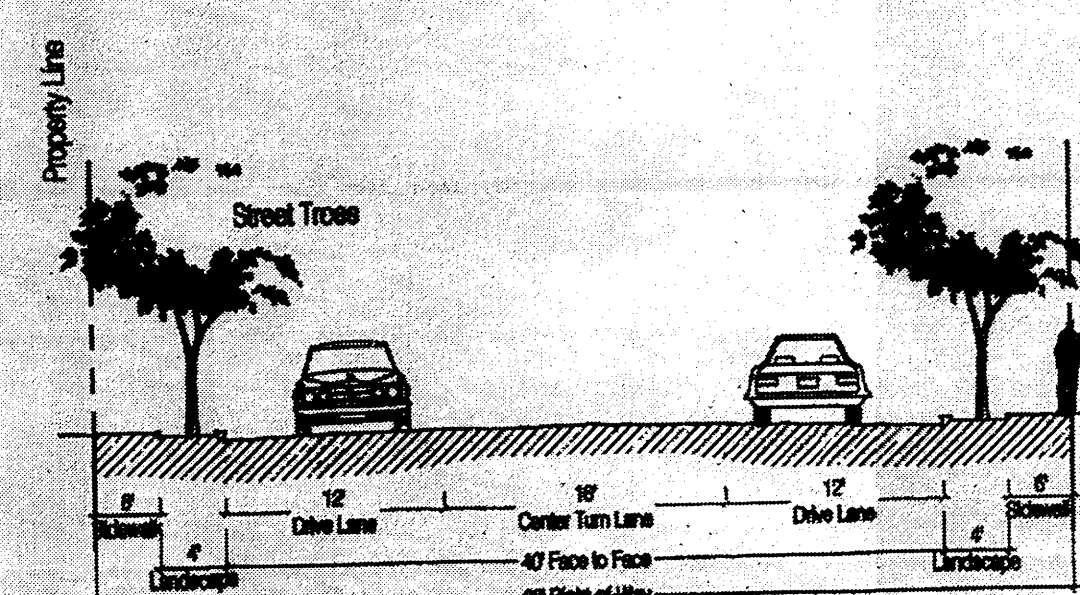


Figure B: Right-of-Way Minimum Street Section

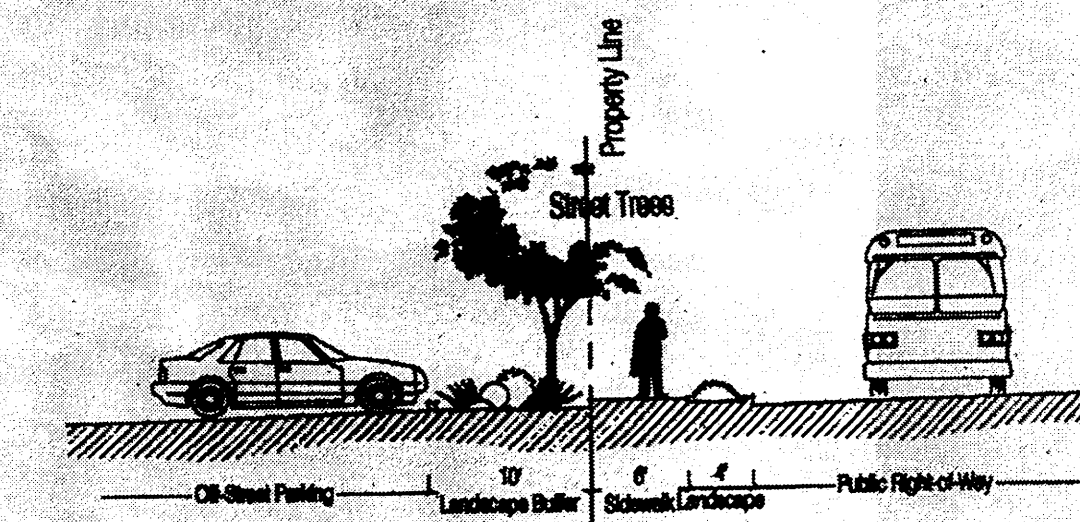


Figure C: Off-Street Parking Minimum Section

- All intersections shall have pedestrian crosswalks that are a minimum of 6 feet wide. These crosswalks shall be constructed of materials that distinguish it from the roadway materials, such materials shall consist of integrally colored and/or stamped concrete, brick forms or pavers of various sizes.
- Provide cross access to all properties adjacent to the proposed development.
- Fountain Hills Drive shall provide access from Fountain Hills Boulevard (Nunzio Avenue) to Parcel H-4.
- The round-e-bout shall be designed per FHWA & AASHTO Standards, including on-street parking in and around this area.
- Fountain Hills Boulevard (Nunzio Avenue) & Eagle Ranch shall be restricted to a Right-in Right-out Intersection.

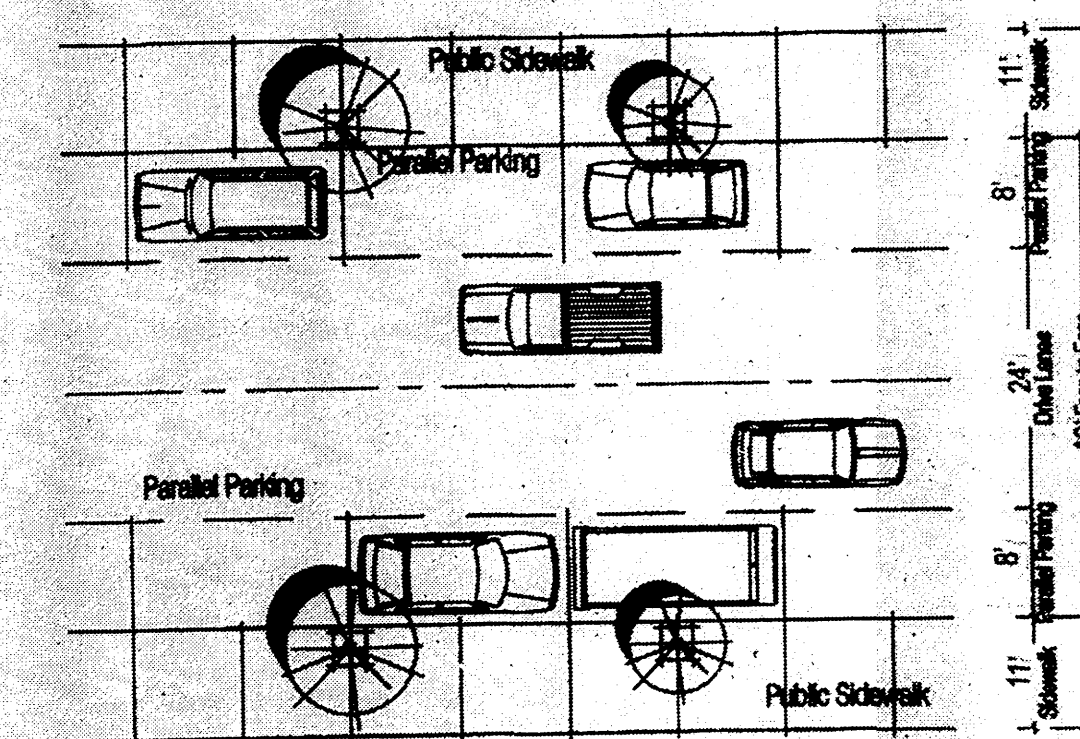


Figure D: Internal Focal Area Street Plan

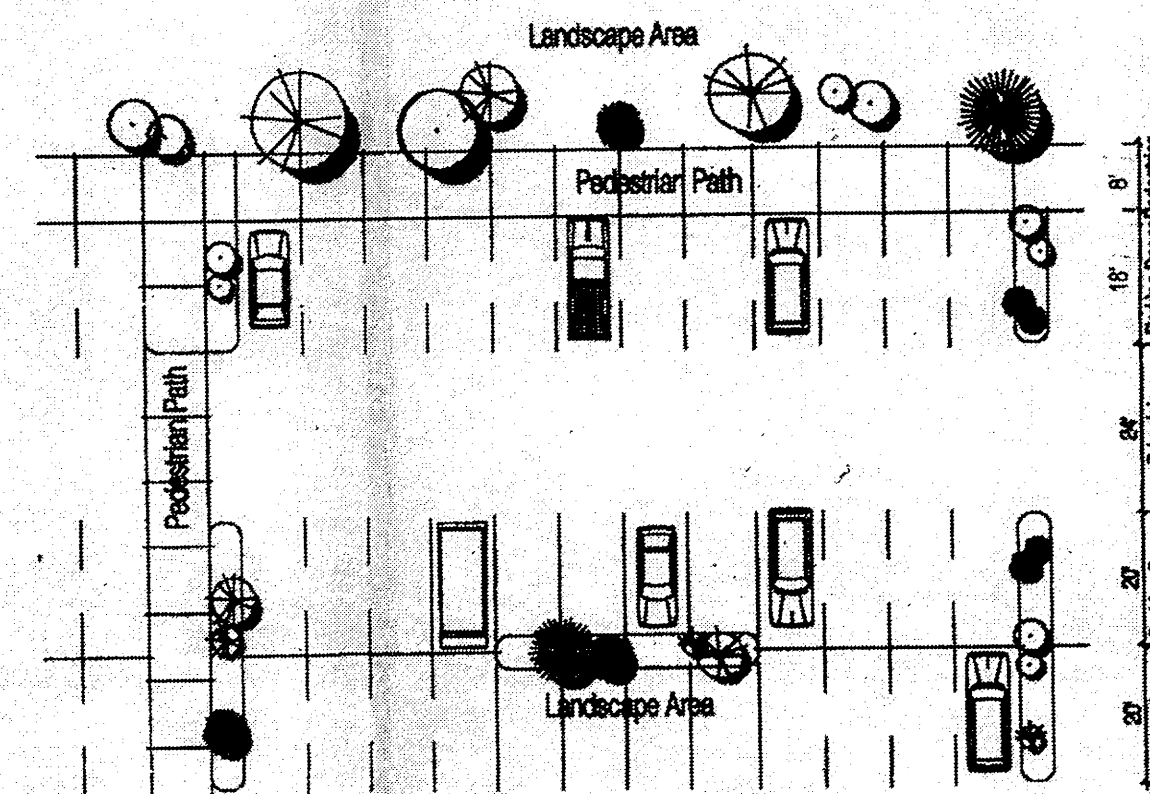


Figure E: Off-Street Parking Plan

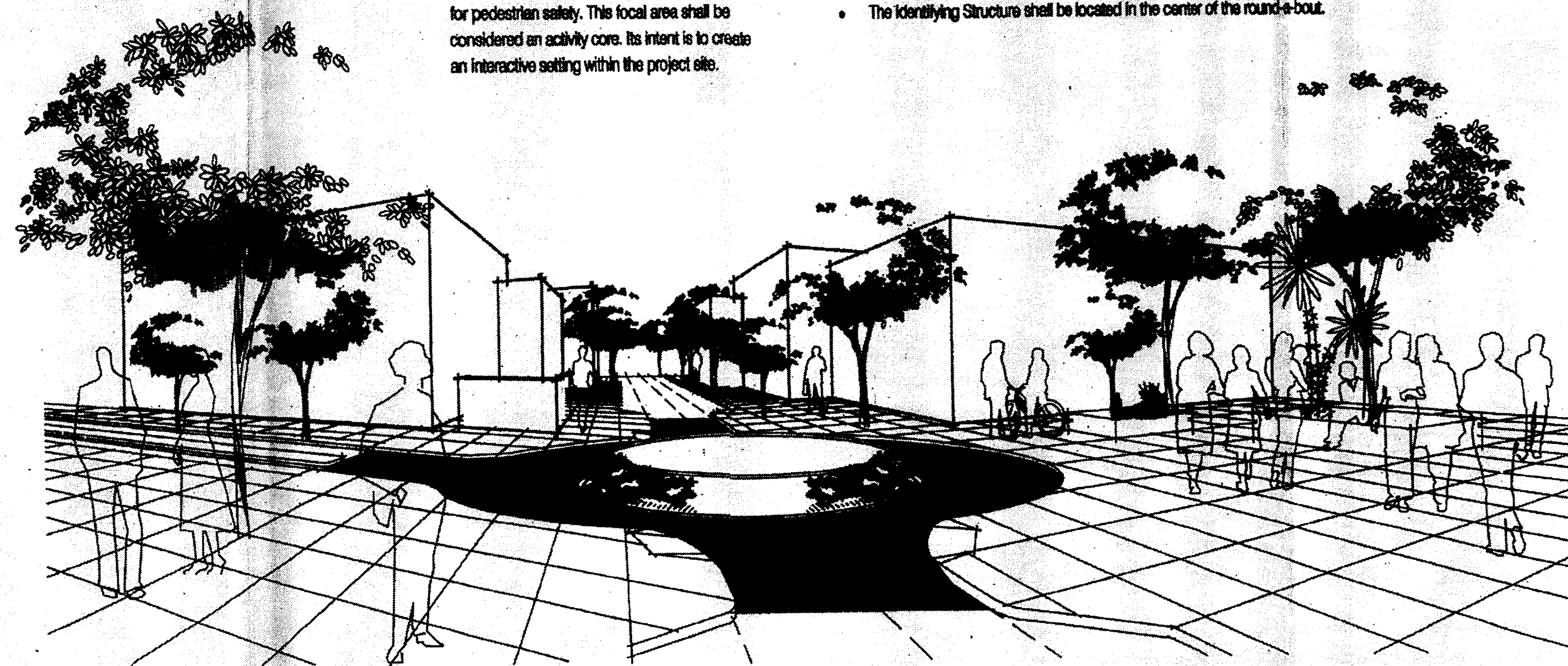
**Off-Street Parking**

In order to support the goals for the property regarding pedestrian accessibility, careful attention shall be paid to the parking design. An effort shall be made to lessen the impact of parking facilities on the land through landscaping, site location and arrangement. In order to lessen the visual impact of parking areas, parking facilities shall be broken up into a series of smaller areas.

**Standards**

- All Off-Street parking shall comply with Section 14-16-3-1 of the Comprehensive Zoning Code.
- The maximum amount of parking provided shall meet parking requirements in the City Zoning Code, plus 10 percent.
- Parking areas shall be designed to include a 6 foot wide pedestrian link to buildings. This linkage shall be constructed of materials that distinguish it from the roadway materials, such materials shall consist of integrally colored and/or stamped concrete, brick forms or pavers of various sizes.
- Parking areas shall be setback a minimum of 10 feet from adjacent property lines and/or private drive easements.
- Barrier curbs shall be provided around all parking areas in order to protect landscaping from vehicles. These barriers shall provide water runoff openings to allow surface drainage into the landscaped areas.
- Parking shall be distributed among several parking areas on each site to limit large expanses of parking lots. Parking shall be placed behind buildings or be screened from surrounding neighborhoods by means of walls and/or landscaping. Walls shall be architecturally compatible with the surrounding buildings.
- Bicycle parking shall be provided pursuant to City Zoning Code. To encourage non-vehicular travel, provisions for convenient on-site bicycle lockers and/or secure bicycle storage areas shall be provided adjacent to building entrances.
- Off-street parking areas shall not be permitted adjacent to Fountain Hills Boulevard (Nunzio Avenue) or Fountain Hills Parkway within the Internal Focal Area.
- Motorcycle parking shall be provided at 2 spaces per building. The motorcycle parking is not required to be located next to the building.

The Internal Focal Area shall be designed for the pedestrian. Vehicular circulation shall be slowed for pedestrian safety. This focal area shall be considered an activity core. Its intent is to create an interactive setting within the project site.



**Note**

The Internal Focal Area is intended to provide a pedestrian friendly environment in which vehicular traffic could be dispersed to alternative routes.

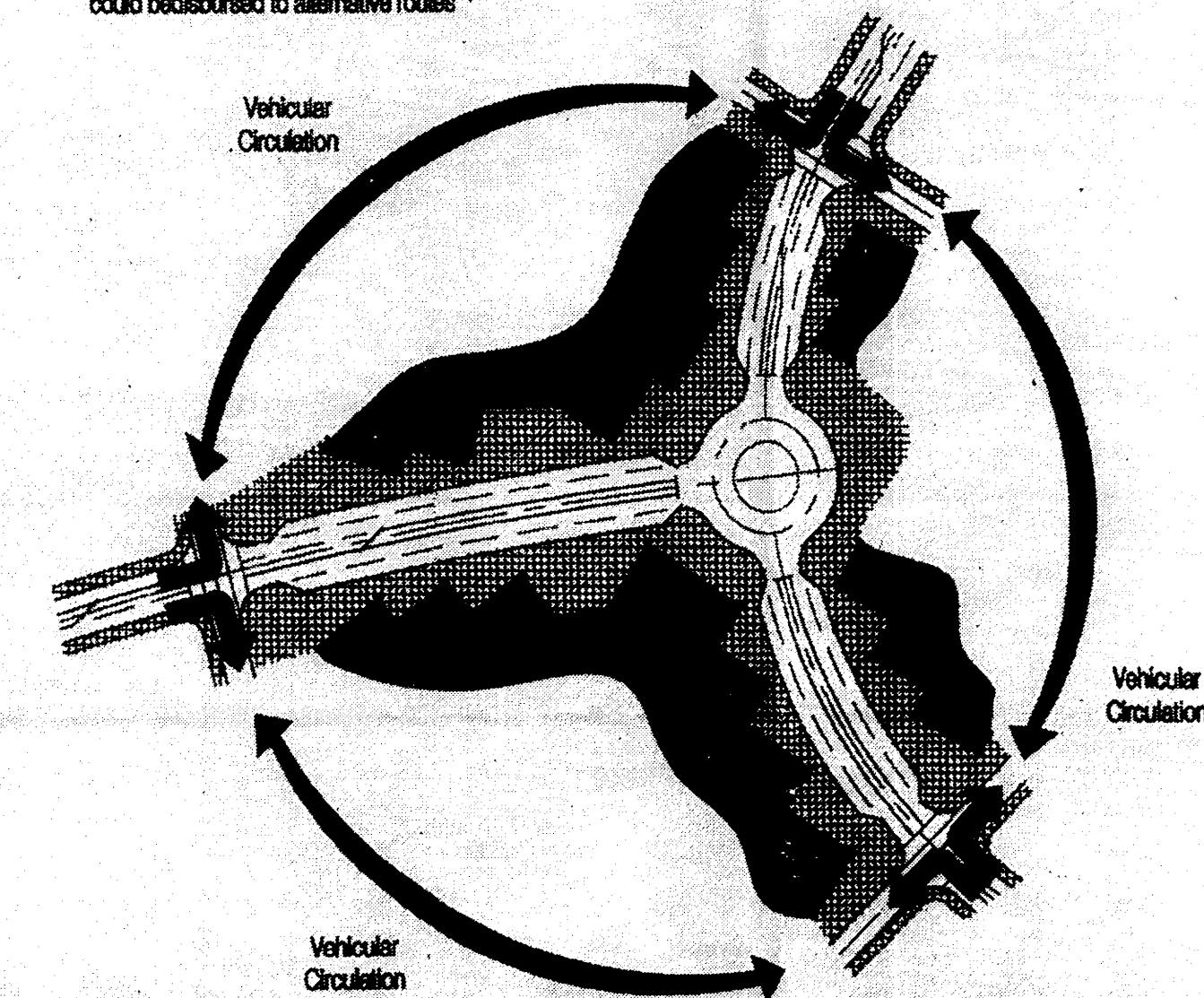


Figure F: Alternative Traffic Circulation

**Building Setbacks**

The following setback requirements serve to create a variety of pedestrian experiences: an urban formal experience throughout the Commercial / Retail tracts; and an informal experience throughout the Office / Multi-Family Residential tracts.

**Standards**

**General**

- All building setbacks shall be compliant with the C-3 zoning requirements provided in the City of Albuquerque Comprehensive City Zoning Code and the following:

- Building setbacks adjacent to Fountain Hills Boulevard (Nunzio Avenue) and Fountain Hills Parkway within the Internal Focal Area shall be a minimum of 15 feet and a maximum of 20 feet from the property line to produce an urban streetscape. Building overhangs, patio walls, and patios / plazas and other private amenities intended for use by patrons shall be permitted within this setback to allow for public and/or private nodes for building tenants.

- Building setbacks adjacent to Paradise Boulevard and Fountain Hills Boulevard outside the Internal Focal Area shall be a maximum of 85 feet. The intent is to provide limited off-street parking within this setback, while avoiding large expanses of off-street parking adjacent to the street. Building overhangs, patio walls, and patios/plaza shall be permitted within this setback to allow for private and/or public areas.

**Public Art**

The center of the Internal Focal Area shall provide an identifying structure that enhances the design of the development. This structure shall be Public Art, or a Fountain Element to provide an ambience within the Internal Focal Area.

**Standards**

- The Identifying Structure shall comply with the City's Zoning Regulations and any applicable City Ordinances.
- The Identifying Structure shall be maintained by the building Owner's (Commercial Owner's Association).
- The Identifying Structure shall be located in the center of the round-e-bout.

**CANNADY PALACIOS ARCHITECTURE**

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DRB SUBMITTAL

DATE ISSUED • 6-11-07  
PROJECT ID • Fountain Hills

Site Plan  
For Subdivision

**A2**



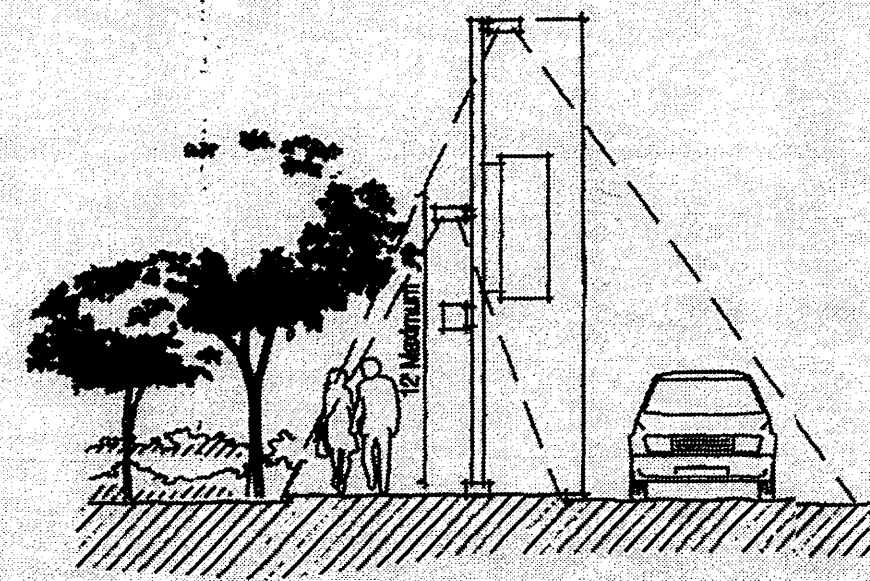


Figure H: Public Right-of-Way Lighting  
(All street lights shall comply with the City of Albuquerque requirements.)

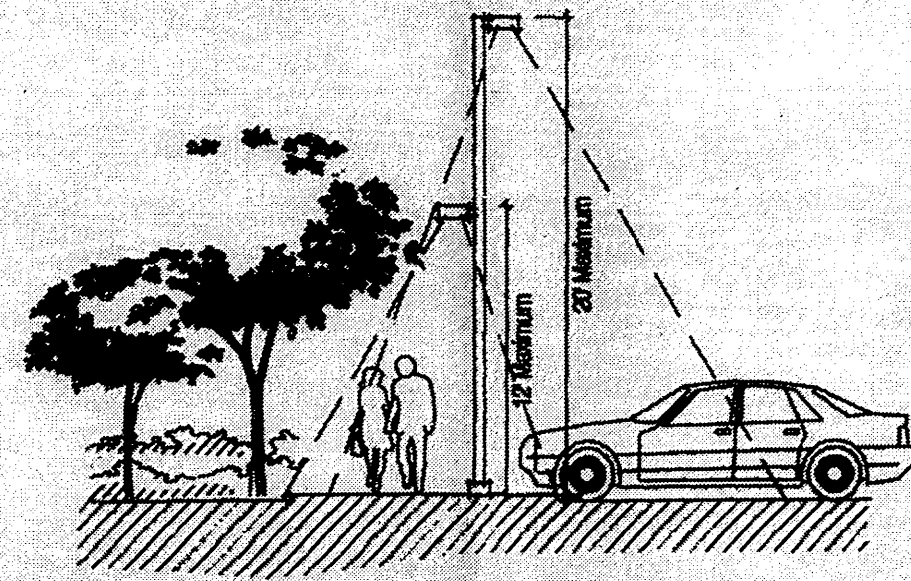


Figure I: Parking / Pedestrian Lighting

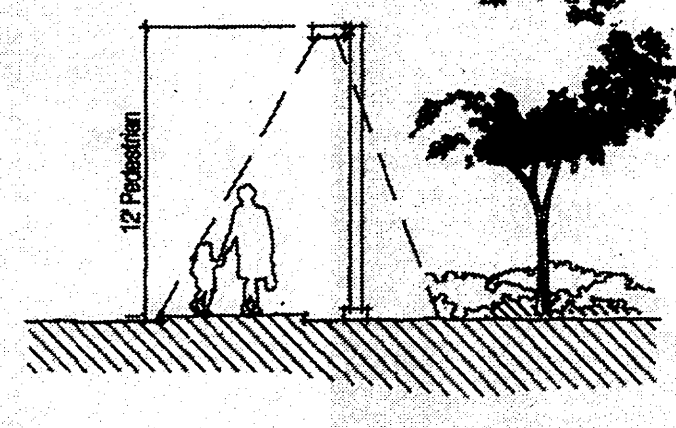


Figure J: Pedestrian Lighting

**Site / Building Lighting**

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and night-time appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. Figures H, I, and J should be reference when applying site/building lighting.

**Standards**

- All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to the State of New Mexico Night Sky Protection Act.
- All free-standing lights shall be of a consistent design throughout the site.
- All free-standing lights shall adhere to the detail drawings submitted by this plan.
- Sodium & Cobra lighting shall not be permitted (except publicly maintained street lights).
- The location of light fixtures shall be identified on subsequent Site Plans for Building Permits.

**Site Lighting Standards**

- All street lights shall comply with the City of Albuquerque requirements.
- The height of off-street parking area lights shall not exceed 20 feet.
- All lights shall be a shielded source to prevent spillage onto adjoining properties or public right-of-way.

**Pedestrian Lighting Standards**

- The height of Pedestrian lighting shall not exceed 12 feet.
- Pedestrian lighting shall conform to all State & Local safety & illumination levels.

**Guidelines**

- Tree Canopy lighting is encouraged to accent & enhance the pedestrian corridor and the streetscape.
- The use of spread lighting fixtures are encouraged to accent landscape and walkways.

**Building Lighting Guidelines**

- Exterior elevations of any building fronting a street are encouraged to be feature lighted to enhance the identity of the building and accentuate pedestrian circulation.

**Signage & Graphics**

The following signage and graphic criteria creates a sense of arrival to the development and establishes a quality visual impact. Subdivision signage for this development shall be consistent with Section 14-16-3-5 (C) of the Comprehensive City Zoning Code. Where there is a conflict between these guidelines and the City Regulations, the more restrictive shall apply.

**Site Signage Standards**

- All signage shall comply with Section 14-16-3-5, General Sign Regulations of the Comprehensive City Zoning Code.
- Free standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- Logos shall not constitute more than 50% of the sign face area for any use.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- Franchise logos are allowable but shall not dominate in terms of area of the signage for any use.
- Signs shall not overhang into the public right-of-way or extend above the building roof line.
- Off-premise signs and portable signs are prohibited.
- Building mounted signage shall compliment architectural elements and shall ensure consistency in terms of signage materials, color range and sign type.
- Four Monument Signs shall be provided for the entire development.
- Multi-tenant directory signs shall be provided at access / ingress locations as shown on the site plan. This sign shall be coordinated to have the same appearance (height, size, color, material, text height, style, etc.) at all locations.

**Guidelines**

- Signs which are directly spotlighted may be used provided there is no glare on the street or upon adjacent property or that the light does not distract motorists.

**Building Mounted Signage Standards**

- The colors, materials, size of letters & lighting shall be specified for building mounted signs throughout the project prior to DRB approval.
- Building-mounted signage shall identify the name and business of the occupant or of those offering the premises for sale or lease.
- Building-mounted signs shall have a significant contrast between the background and the text in order to ensure readability.
- No building-mounted sign shall intrude upon any architectural features, including windows, columns, moldings or any decorative features.

**Landmark Standards**

- One "landmark" shall be permitted identifying the Commercial Center. This landmark may be a sculpture, tower, etc. and shall not exceed a height of 32 feet.

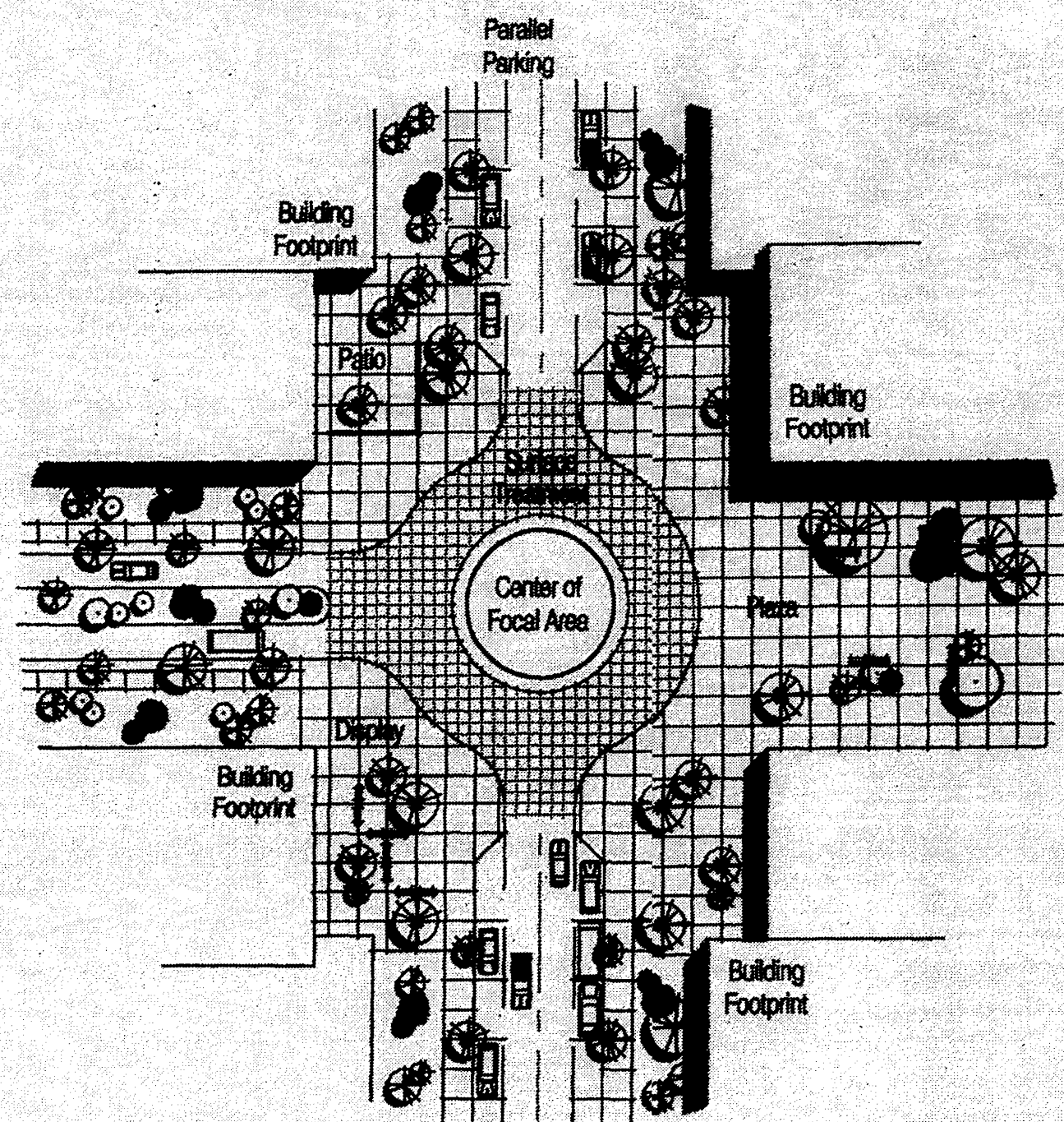


Figure G: Internal Focal Area

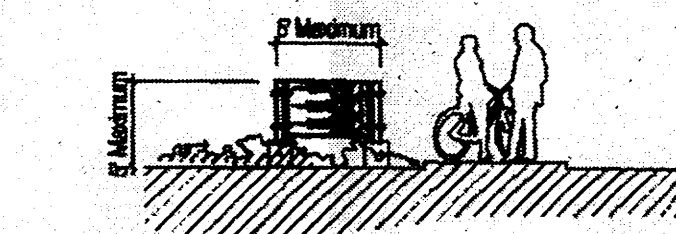


Figure K: Multi-Tenant Directory Sign

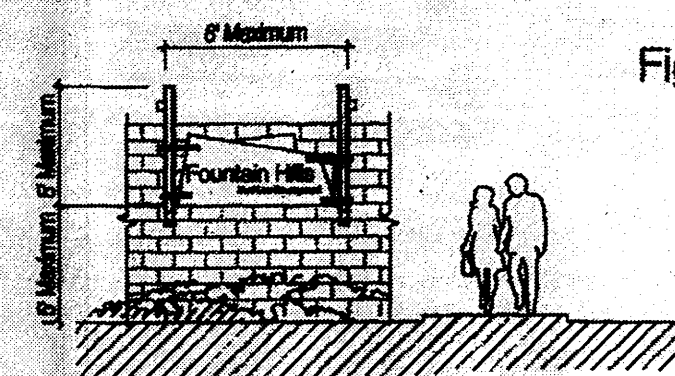


Figure L: Freestanding Monument Sign

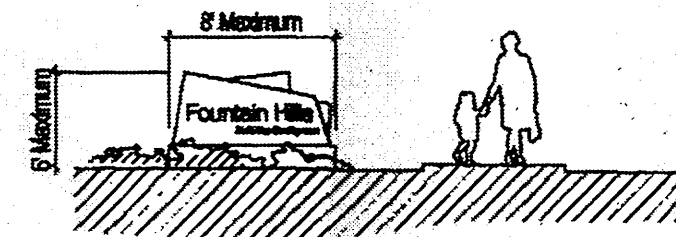


Figure M: Freestanding Monument Sign

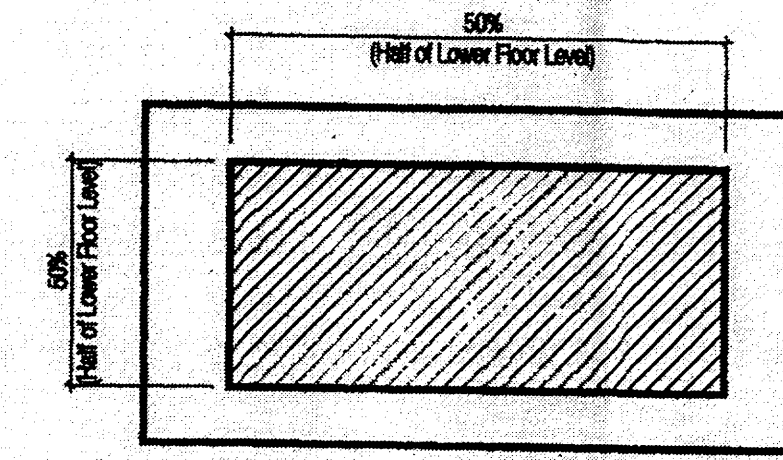
**Pedestrian Connections & Trails**

Pedestrian pathways will depend on creative site design and will be a primary design objective. Objectives to achieve this goal include maintaining a high quality and consistency in style for site amenities including benches, plazas, walkways, lighting, etc: providing shaded walkways; and creating separate vehicular and pedestrian circulation systems throughout the project.

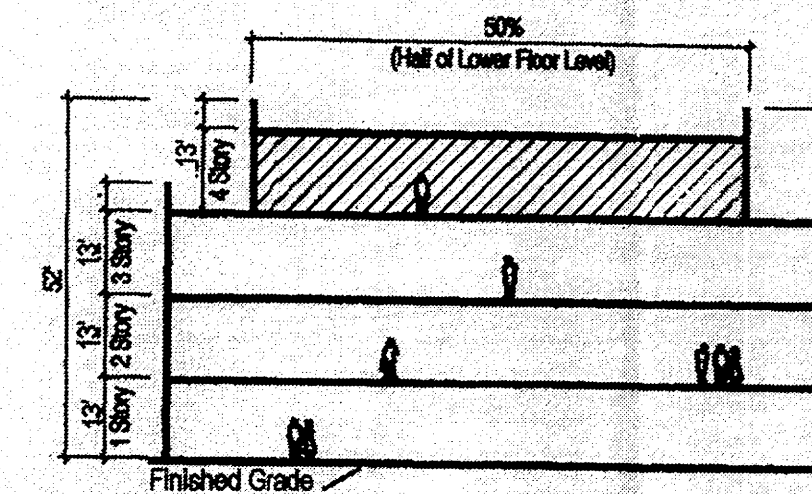
Pedestrian Connections provide direct access between land uses within the development and to the surrounding neighborhoods. The following criteria serves to create a pedestrian friendly environment and promote alternative modes of travel.

**Standards**

- All pedestrian paths shall be built to City Standards, per the City's Trail & Bikeways facility plan, as well as in accordance with Section 14-16-3-1(G) of the Zoning Code.
- Pedestrian linkages shall be provided between all tracts affected by this development pursuant to Section 14-16-3-1(G)(3) of the City Zoning Code.
- All soft-surface paths shall be of a consistent design throughout the entire site, color shall be compatible with the building materials. Material shall be of crusher fines or similar.
- All hard-surface pedestrian sidewalks shall be of a consistent design throughout the entire site, color shall be compatible with the building materials.
- All pedestrian paths shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-free Design), except where topography makes this unfeasible.
- The use of asphalt paving for pedestrian trails is prohibited. Concrete or compacted decomposed granite with stabilizer are acceptable materials.
- Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross vehicular entrances and drive aisles and where City trails cross streets. Such materials shall consist of integrally colored and/or stamped concrete, brick forms or pavers of various sizes.
- Pedestrian connections shall be provided to the required bus shelter at Eagle Ranch Road.
- Minimum 6 foot sidewalks shall be provided along public right-of-ways around the perimeter of the development.



50% Floor Area Below



50% Half-Story

Note:  
The diagrams are for illustrative purposes only. The upper floor mass shall be located anywhere within the lower floor footprint.

Height Summary:  
Maximum building height is 3.5 stories per Council Bill F/S 0-186, Enactment 33-1995. Allowable building height shall equate to 52 feet (13' + 13' + 13' + 13' of which the top floor is 50% floor area of the floor below).

**Proposed Vertical Building Height Restrictions:**

The City of Albuquerque Comprehensive Zoning Code states that SU-1 height requirements shall be regulated by the R-2 zone unless modified by the Planning Commission (14-16-2-22 (D)). The R-2 zone states "the height and width of the structure over 26 feet shall fall within 45° angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises...."

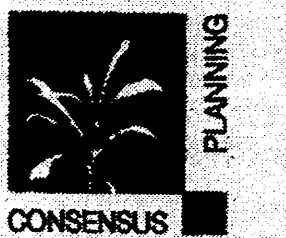
In defining a Half-Story, the definition from the Dictionary of Architecture & Construction is used, which describes a half-story as "a story within a sloping roof; usually having dormer windows and occupying about half the area of the floor or floors below". Through this definition, the top floor area is limited to this ratio of 50% of the floor area below. This messaging enhances the Architectural Expression and minimizes the massing of the highest floor.

The City Zoning Code does not establish a physical height for a "story" within a building. The City's Zoning Code does establish a 26 foot height limitation in various zones. Common architectural practice can design 2 stories within this 26 foot height. Therefore, 1 story is interpreted as being 13 feet in height. 4 stories is interpreted as 52 feet measured from Finished Floor elevation to the Highest point of the building.

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DRB  
SUBMITTAL

DATE ISSUED • 6-11-07  
PROJECT ID • Fountain Plaza

Site Plan  
For Subdivision

A3



## Architectural Expression

### Standards

- All development shall comply with General Building & Site Regulations of the City Zoning Code (14-16-3-18).

### Architectural Style

The Architectural Expression is to incorporate traditional Southwestern Characteristics with a Contemporary Southwestern Expression. In order to achieve this effect, the following concepts shall be expressed:

- Massing of building facades shall be varied in height, width & depth.
- All buildings shall consist primarily of flat roofs with perimeter parapets.
- Main Entrances & Glass Display Areas adjacent to the public right-of-way shall be recessed a minimum of 12' to create a sense of depth and mass.
- Soft rounded corners and tapered parapets shall be prohibited.

### Building Form

#### Standards

- Building elements within the commercial tracts such as glazing, displays and entries shall be oriented both externally to the streetscape and internally towards public parking in order to promote an urban pedestrian experience.
- Buildings shall employ a variety of structural forms to create visual character and interest. Long, unarticulated facades shall be avoided. Facades shall have varied front setbacks, with wall planes not running in one continuous direction without a change in architectural treatment (i.e. offset, fenestration, material change, etc.).
- Restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with the buildings theme. These spaces shall be a minimum of 100 square feet.

### Guidelines

- It is encouraged to produce sloped/pitched roofs that overhang entry points, fenestration, and patios/plazas in order to provide shelter for the users.
- Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways and soffits shall be carefully dimensioned and detailed to provide a human scale and visual interest.
- It is encouraged to include trellis, awnings, etc. over pedestrian circulation areas to enhance the urban environment.
- Balconies and patios should be oriented and relate to pedestrian streets and pathways.
- It is encouraged to articulate Residential entryways with low walls, gateways and garden courts.
- Outdoor cafes or restaurant seasonal seating that fronts the Internal Focal Area is encouraged.

### Building Materials

#### Standards

- The predominant Building Material shall be stucco. Reveals shall be incorporated to be functional as well as aesthetic enhancements.
- Materials used to enhance the predominant building materials shall be: Integrally Colored Concrete, Stacked Stone, Architectural Finished CMU, or similar. These materials will enhance entry points and add character to the building facades.
- Materials prohibited as the main architectural feature include the following: Exposed Grey Concrete, Smooth-face Cmu Block, Traditional Red Brick, Corrugated Metal Siding.
- All Glazing shall be of the same material & color on all buildings to create a cohesive theme. Reflective & Patterned glazing shall be prohibited.
- The predominant Portal Material shall be clay tile and/or Metal Roofing. Awnings & Portals shall utilize Metal Roofing, Fabric, etc.
- Trellis shall consist of Painted Metal, Sealed / Stained Wood, etc. and shall be consistent with the character of the building facades.
- All portals and awnings shall compliment the predominant building materials.

### Building Colors

#### Standards

- Predominant building field colors shall be of Natural Earthtones unique to the desert landscape, and shall include light to medium tones.
- The use of high reflecting, metallic or fluorescent colors is prohibited.
- Accent colors shall enhance building functions and articulate entry points and/or points of interest. These colors shall be deeper shades of color. No more than 3 accent colors shall be used on any building.
- Metal roofing shall be restricted to galvanized or cortan (matte, non-reflective finishes only).

### Guidelines

- The use of contrasting colors between roofs and walls is encouraged to further differentiate the planes of building masses.
- It is encouraged to differentiate building masses by color variations or texture changes. Recesses and punch-outs may be differentiated by tone, as well as change in material.
- Accented colors should bring out detailing to better articulate or give scale to a building mass. Accent colors at stairs, balconies and perimeter walls should be compatible with building materials.

### Accessory Materials

#### Standards

- Railings defining Patio / Plaza space shall be of Lightweight Railing Systems. These are intended to define the semi-public space from the public space.
- Walls defining Patio / Plaza space shall be consistent with building materials.

## Perimeter Walls / Fencing

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery / storage areas is essential to limit their adverse visual impact on the property. The site orientation of these elements shall be away from any street or pedestrian area. The standards established in the landscape and setback sections will provide the main objective to screening unattractive elements and activities.

### Standards

- All walls including screen walls, perimeter walls and retaining walls shall be similar in materials and color of building elements, to create a cohesive theme.
- Materials acceptable for screen walls, perimeter walls and retaining walls are integrally colored concrete or concrete masonry and shall be finished to match adjacent exterior buildings.
- The maximum height of perimeter walls and retaining walls is 6 feet. Areas requiring greater retainage are required to be terraced and landscaped.
- Unfinished block walls and barbed wire, chain link, concertina wire, and plastic / vinyl fencing are prohibited.

### Screening

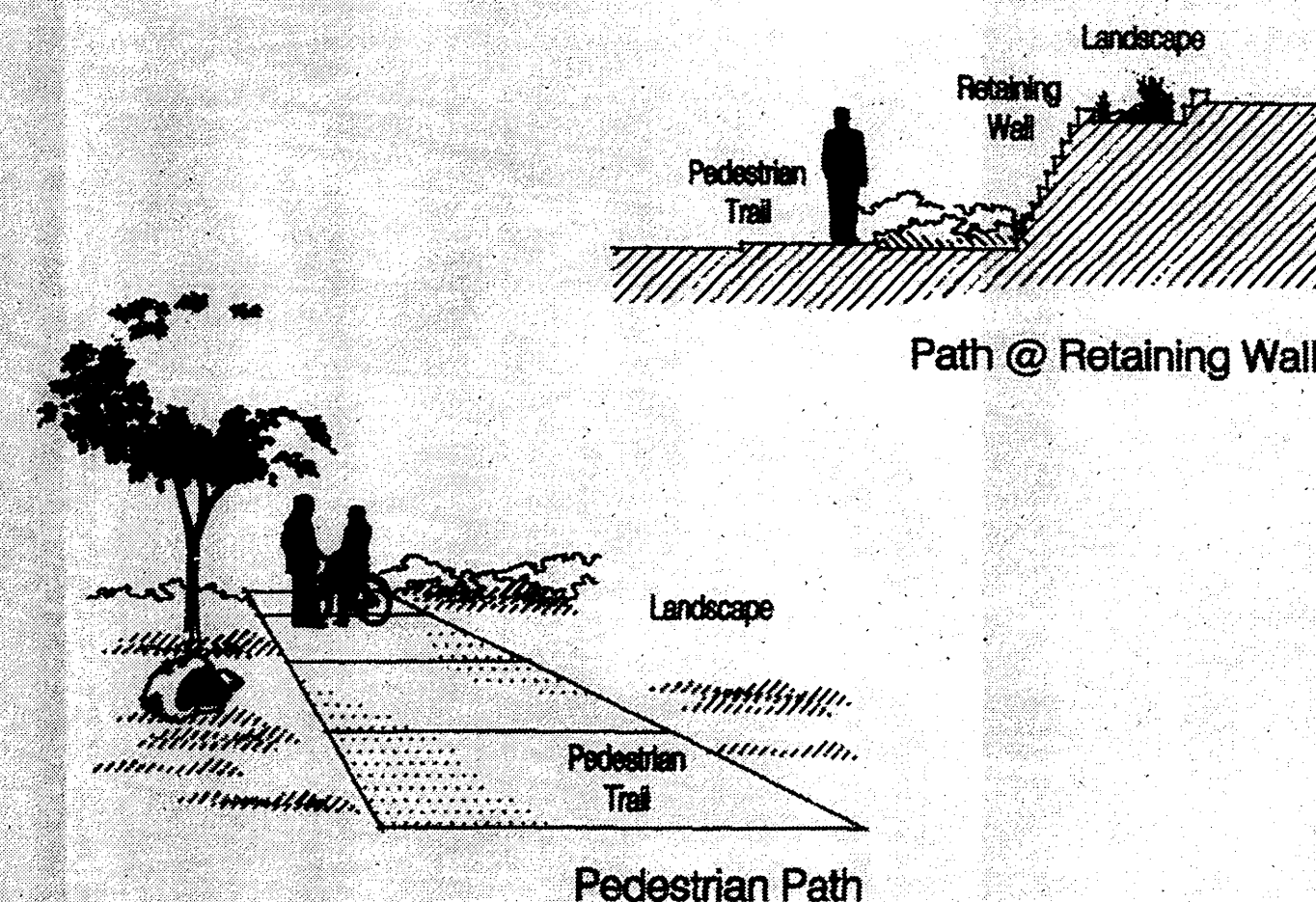
#### Standards

- Parking areas shall be screened with landscaping and/or walls. The screen walls for parking areas shall be of the same material & color as the perimeter & retaining walls for the entire site. Such screening shall have a minimum height of 3 feet.
- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections. Trash enclosures shall be consistent with the architectural theme and materials of adjacent buildings.
- All mechanical equipment shall meet the screening requirements of Section 14-16-3-18(C)(6) of the Comprehensive City Zoning Code. All mechanical equipment shall be screened from public view by materials of the same nature as the adjacent buildings.
- All roof-mounted mechanical equipment shall be screened on all sides by a screen wall. The screen wall shall be placed immediately adjacent to the mechanical equipment.

### Walls / Fencing

#### Standards

- Walls and fences shall comply with Section 14-16-3-19, General Height & Design Regulations for Walls, Fences, and Retaining Walls.
- Perimeter walls shall include pedestrian openings at key locations within the development to ensure convenient access to other tracts within the development.
- Private Secure areas shall have a fence not less than 6 feet high for privacy and security. The material and finish shall be similar in materials and color to create a cohesive theme. Wrought Iron and/or Steel Framed elements are acceptable provided they are similar in materials and color of building elements, to create a cohesive theme.



## Landscaping

The landscape environment serves to enhance the visual dynamic of the development and aid in reinforcing the street edge and the pedestrian environment. The intent is to provide for year-round color and interest, and reflect the natural beauty of New Mexico. Landscape elements, such as street furniture, lighting, bollards, and graphic pylons shall be used to reinforce the street edge. The intent is to provide a clear theme and image for the development, by suggesting consistent paving materials, plantings, signage, etc.

### Standards

- Landscape plans must comply with the City's Water Conservation Ordinance and Pollen Ordinance.
- A minimum of 20% of the site area (minus building square footage) shall be devoted to landscape materials.
- A mixture of drought tolerant species and lawn areas shall be used at landscape areas. Live plant materials shall cover a minimum of 75% of all landscaped areas.
- Landscape headers shall be used to separate turf and planting beds. Headers may be concrete, brick, or other similar material.

- Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for landscape areas, however, they are not to be considered a focal landscape element. Gravel shall be 1-1/2" maximum, the color is to be compatible with the Soft-Surface paths selection.

- An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying onto walks, buildings, fences, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.

- All plant material shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds.

- Minimum plant material sizes at the time of installation shall be as follows:
 

Canopy Trees	-	2" Caliper balled & burlapped
Evergreen Trees	-	10' Minimum Height
Accent Trees	-	1-1/2" Caliper balled & burlapped
Shrubs & Groundcovers	-	1 Gallon Minimum

- Low water use turf shall be provided at a maximum of 40% of the landscape area. High water use turf, if used, shall be limited to no greater than 20% of the provided landscape area.

- Street trees shall be provided as per the Street Tree Ordinance (6-6-2-1 et seq., Street Trees)

- Fountain Hills Boulevard (Nunzio Avenue) & Fountain Hills Parkway are proposed pedestrian corridors, providing circulation throughout the various tracts. These street trees shall be regularly placed to enhance the streetscape and provide a sense of the urban environment and shall include the following or similar trees:
  - Chilopsis linearis 'Lucretia Hamilton' / Desert Willow
  - Chitalpa tashkentensis 'Pink Dawn' / Chitalpa
  - Fraxinus ovycarpa 'Raywood' / Raywood Ash

- The perimeter of the site shall consist of randomly placed street trees providing a buffer to surrounding neighborhoods. These street trees shall consist of the following or similar trees:
  - Pyrus calleryana 'Cleveland' / Flowering Pear
  - Robinia ambigua / Purple Robe Locust
  - Crataegus crus-galli / Cockspur Hawthorn
  - Fraxinus velutina 'Modesto' / Modesto Ash

- 75% of the required parking areas trees shall be deciduous and have a mature height and canopy of at least 25 feet.

### Internal Focal Area

- Landscaping shall not be provided as a continuous buffer strip for the sides of lots immediately adjacent to Fountain Hills Boulevard & Fountain Hills Parkway within the Internal Focal Area. This standard does not preclude the provision of landscaping within the Internal Focal Area.

- Landscaping shall be provided randomly to accent the pedestrian corridor and provide a buffer between public / private areas.

- Street trees shall be provided within tree wells at regularly spaced intervals to reinforce the street edge and the pedestrian corridor. The tree well shall be a minimum of 36 square feet. Trees shall be spaced 20-25 feet on center.

- In addition to Paradise Boulevard, Eagle Ranch Road & Paseo Del Norte, street trees shall also be required along the entire length of the proposed local public streets (Fountain Hills Boulevard & Fountain Hills Parkway) in accordance with the provisions of the City of Albuquerque Street Tree Ordinance (6-6-2-1).

- Accent plants shall be provided to enhance the environment within this node. The palette in the Internal Focal Area shall consist of the following or similar plants:

- Shrubs / Groundcovers**
  - Artemisia Powis Castle / Powis Castle Sage
  - Caryopteris clandronensis / Blue Mist
  - Cytisus x Lenz / Lenz's Broom
  - Lagerstroemia indica / Crape Myrtle
  - Liatris punctata / Gayfeather
  - Potential fruticosus / Shrubby Cinquefoil
  - Salvia greggii / Cherry Sage
  - Zauschneria arizonica / Hummingbird Trumpet

- Ornamental Grasses**
  - Nassella tenuiseta / Threadgrass
  - Nolina microcarpa / Bear Grass
  - Agave havardiana / Harvard's Century Plant
  - Dasylirion wheeleri / Sotol
  - Hesperaloe parviflora / Red/Yellow Flowering Yucca

### Irrigation System

The irrigation system serving the streetscape and other common areas shall be a fully automated systems with a centralized computer controls. Irrigation components shall be selected for use with non-potable water sources to allow for future connection to potential treated water systems. Backflow prevention shall be provided per local codes to protect the potable water system from the irrigation system.

Turf areas shall be irrigated with pop-up rotary sprinklers with high efficiency nozzles. Trees, shrubs and groundcovers shall be irrigated with a combination of hard pipe and poly pipe feeding single and multi-outlet drip emitters. The entire irrigation system shall be designed to maximize water efficiency.

### Landscape Maintenance

The landscape for the streetscape and common areas shall be designed to require minimal levels of maintenance. Plant materials shall be native or adapted to the region, requiring minimal water and maintenance. All plantings and landscape elements maintenance, such as benches, litter receptacles, signs, etc., within these areas shall be responsibility of the

## Site Topography

The existing topography consists of approximately 80 feet of vertical drop from West to East. Retaining walls shall be required in several locations to provide acceptable pad sites & parking. The intent for clustering of buildings as well as parking nodes will help mediate the retainage required and allow for a stepping of the overall site.

### Standards

- Avoid long unarticulated expanses of retaining wall. Walls shall have varied setbacks with planes not running in one continuous direction without a change in height and setback.

- Retaining walls that are not screened by buildings or landscaping shall employ a variety of patterns and colors to create visual character and interest.

- Trails and paths shall be integrated into retaining wall locations where applicable to allow for pedestrians access to both elevations adjacent to the retaining wall.

## Grading & Drainage

The existing site topography slopes from the West to the East at approx. 3% - 5% slope. There is a steep embankment from Education's Place as well as a steep drop to Eagle Ranch Road. The site takes on 2 off-site drainage flows from natural swales. Drainage from Paradise Boulevard is transported to an existing AMAFCA retention pond located within the site boundaries. Off-site drainage from Education Boulevard is transported through a drainage channel that runs along the southern property line of the project site and outfalls into the same AMAFCA pond.

The AMAFCA pond site currently houses a standpipe that allows for discharge of drainage into the existing storm drainage system located in Paradise Boulevard / Eagle Ranch. This discharge is controlled at a rate of 56 cubic feet per second. Discharge shall be restricted to the existing 30" storm drain system and the existing standpipe located in the pond.

### Standards

- Site ponding shall be integral with the landscape plan.
- All measures shall be taken to provide public safety at the pond location.
- Grading & Drainage plans must comply with the City of Albuquerque regulations and ordinances.
- The AMAFCA pond shall be considered an opportunity to provide a public amenity when not in use for drainage concerns.

### Site Utilities

To ensure the overall aesthetic quality of the property and the natural environment the visual impact of utilities and equipment shall be minimized by the following:

- All new electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from public right-of-way.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main element of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- Alleys shall be used for city utilities and sewer, whenever possible.
- Utility easements shall be a minimum of 7.5 feet in width and may be spot easements instead of continuous easements for above ground structures.

### Existing Conditions:

- There are no utilities currently located in Fountain Hills Boulevard (Nunzio Avenue) due to street being unutil.
- There is a regional electrical service easement down the center of Tract B-1-A that will need to be addressed. Developers shall be required to work with PNM on this issue.
- Fire flows and hydrant locations shall be reviewed and approved at the site plan for building permit stage.

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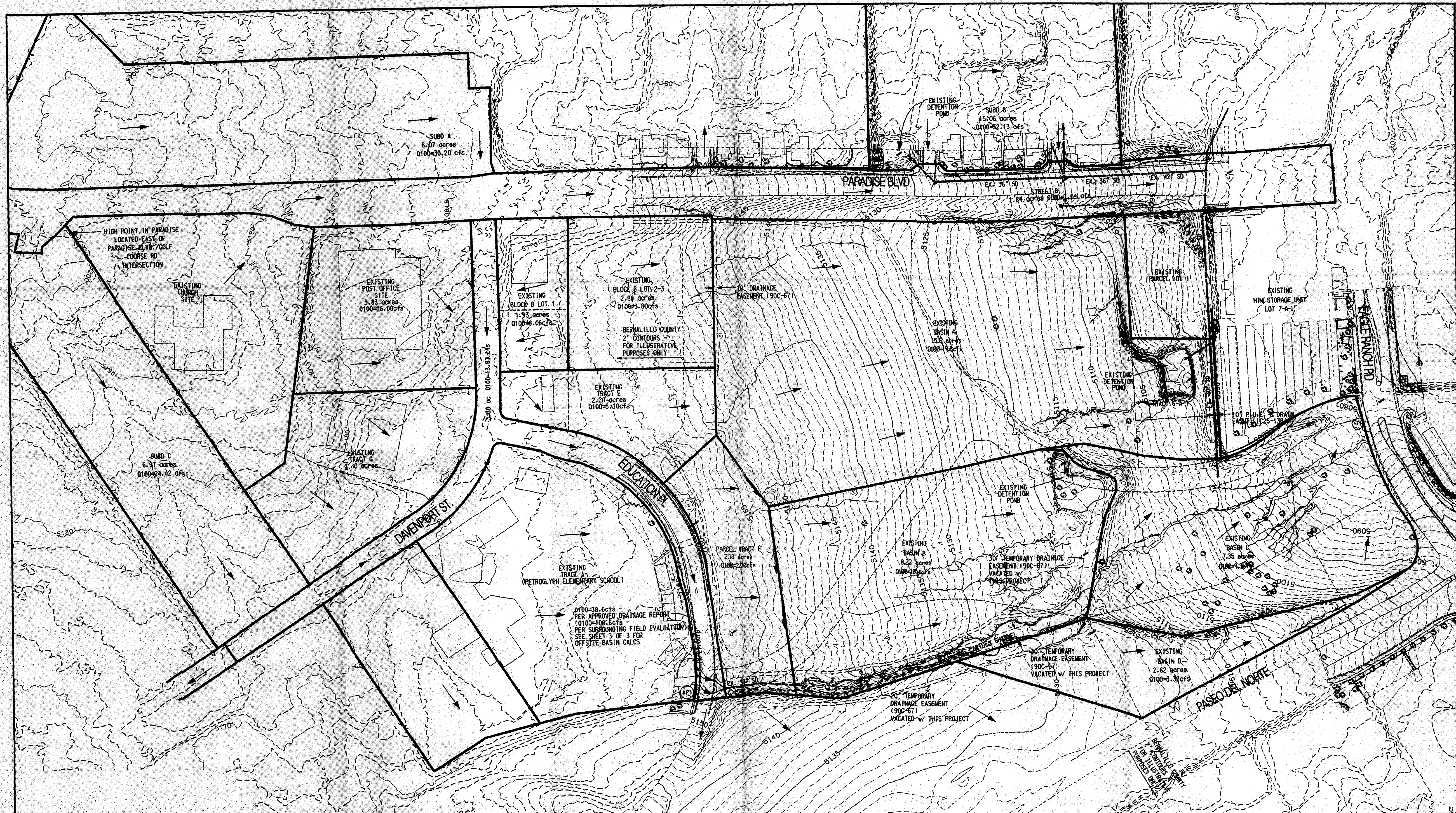
DRB  
 SUBMITTAL

DATE ISSUED • 6-11-07  
 PROJECT ID • Fountain Hills

Site Plan  
 For Subdivision

A4



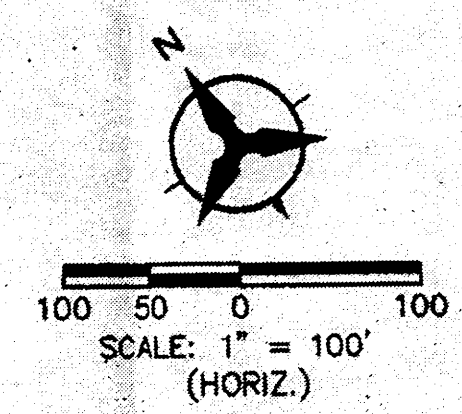
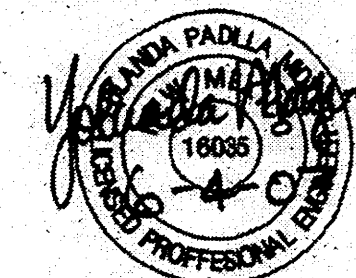


**LEGEND**

- EXISTING CONTOUR
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- POND CONTOUR

EXISTING CONDITIONS FOR INLETS IN FOUNTAIN HILLS								
	INLET	CONDITION	TYPE	CONTRIBUTING BASIN AND RESIDUAL INLET	FLOW TO INLET 100-YR	STREET DEPTH (FE)	GRATE CAP. (CB)	RESIDUAL FLOW (CFS)
API	1	ON 4.00% GRADE	2" A" Double Grate	EDUCATION PLACE	100.60	0.63	14.10	86.50
	2	ON 4.00% GRADE	2" A" Double Grate	EDUCATION PLACE	86.30	0.60	13.50	79.00

**FOUNTAIN HILLS**  
**GRADING & DRAINAGE MANAGEMENT PLAN**  
**EXISTING BASINS MAP**  
 ALBUQUERQUE, NEW MEXICO  
 JUNE, 2007



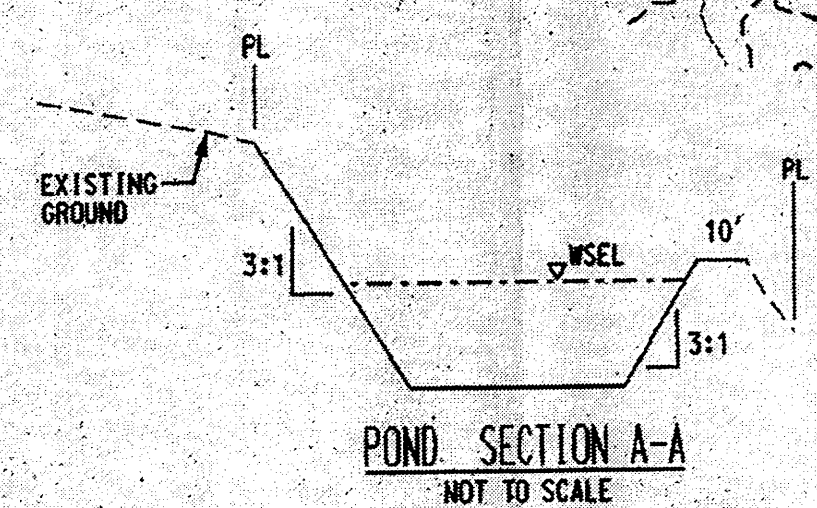
**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES  
**SHEET 5 OF 7**



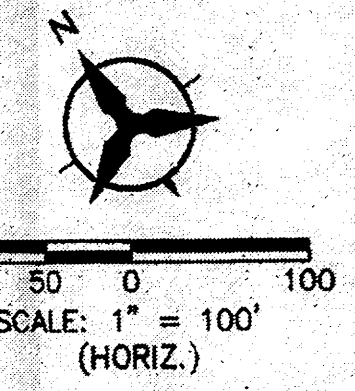
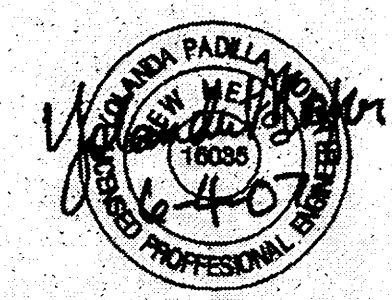


**LEGEND**

- EXISTING CONTOUR
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- POND CONTOUR



**FOUNTAIN HILLS  
GRADING & DRAINAGE MANAGEMENT PLAN  
PROPOSED BASIN MAP  
ALBUQUERQUE, NEW MEXICO  
JUNE, 2007**



**Bohannon & Huston**  
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 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**SHEET 6 OF 7**

PL 10/07/07 10:00 AM 10/10/07 10:00 AM  
 001234



SUMMARY OF ROADWAY CAPACITY ANALYSIS FOR FOUNTAIN HILLS										
Fountain Hills Parkway										
Location	Roadway Grade (%)	Roadway Cross-slope (%)	Q (100 YR) in roadway (cfs)	Curb Type	Depth of water in roadway (ft.)	Velocity of storm water in roadway (ft/s)	V <sup>2</sup> /2g	BCL	ROW Elevation (ft.)	Comments
AP1	3.74	2.00	6.38	STD	0.27	3.39	0.20	0.47	0.85	OK
Fountain Hills Blvd										
AP2	0.60	2.00	6.74	STD	0.35	1.78	0.05	0.4	0.85	OK
AP3	2.63	2.00	19.99	STD	0.40	4.15	0.27	0.65	0.85	OK
AP4	5.35	2.00	25.53	STD	0.38	5.67	0.50	0.85	0.85	OK
AP5	5.35	2.00	15.39	STD	0.33	5.06	0.40	0.73	0.85	OK
Paradise Blvd										
AP6	*north half of road - Q10yr=7.8cfs provides a depth=0.31' < 0.45 for one free lane of traffic									
AP6**	5.00	2.00	11.99	STD	0.35	4.93	0.38	0.73	0.85	OK
**south half of road - Q10yr=10.23cfs provides a depth=0.32' < 0.45 for one free lane of traffic										
AP7	*north half of road - Q10yr=19.0cfs provides a depth=0.38' < 0.45 for one free lane of traffic									
AP7**	6.66	2.00	15.79	STD	0.36	5.80	0.52	0.88	0.85	OK
**south half of road - Q10yr=10.23cfs provides a depth=0.32' < 0.45 for one free lane of traffic										
Note: By observation, the product of the depth times the velocity is below 6.5 for the 100-year design storm, therefore for the 10-year design storm the product of the depth times the velocity will be well below the recommended value of 6.5										

DEVELOPED CONDITIONS FOR INLETS IN FOUNTAIN HILLS								
INLET	CONDITION	TYPE	CONTRIBUTING BASIN AND RESIDUAL INLET	FLOW TO INLET 100-YR	STREET DEPTH (FT.)	GRATE CAP. (CFS)	RESIDUAL FLOW (CFS)	
AP4	1	ON 5.35% GRADE	*A* Double Grate	FOUNTAIN HILLS BLVD	12.76	0.38	7.90	4.86
	2	ON 5.35% GRADE	*A* Double Grate	FOUNTAIN HILLS BLVD	12.76	0.38	7.90	4.86
	3	ON 5.35% GRADE	*A* Double Grate	FOUNTAIN HILLS BLVD	7.70	0.33	5.90	1.80
AP5	4	ON 5.35% GRADE	*A* Double Grate	FOUNTAIN HILLS BLVD	7.70	0.33	5.90	1.80

STORM DRAIN ANALYSIS FOR FOUNTAIN HILLS						
PIPE NO.	PIPE LOCATION	SIZE/TYPE	LENGTH (ft.)	SLOPE (%)	PROPOSED Q (100-YR, cfs)	PIPE CAPACITY (100-YR, CFS)
SD1	EXISTING	30" RCP	228.00	1.10	27.60	43.02
SD2	TRACT F	18" RCP	38.00	1.00	7.12	10.50
SD3	TRUNKLINE 1	30" RCP	688.00	3.74	34.72	79.32
SD4	TRACT B-1-A	30" RCP	478.00	1.00	29.91	41.02
SD5	TRUNKLINE 2	30" RCP	386.00	2.63	64.63	66.51
SD6	TRACT B-1-B	30" RCP	57.00	1.00	19.99	41.02
SD7	TRUNKLINE 3	30" RCP	158.00	5.35	84.62	96.87
SD8	INLETS	18" RCP	32.00	1.00	7.50	10.50
SD9	TRUNKLINE 4	36" RCP	134.00	5.35	100.42	154.27
SD10	TRACT C-1-A	18" RCP	59.00	1.00	11.82	10.50
SD11	TRUNKLINE 5	36" RCP	101.00	5.35	112.25	154.27
SD12	TRACT C-1-B1	18" RCP	55.00	1.00	5.77	10.50
SD13	INLETS	18" RCP	84.00	1.00	5.90	10.50
SD14	TRUNKLINE 6	42" RCP	204.00	2.20	129.82	149.23
SD15	TRACT D-1-A	24" RCP	27.74	1.50	21.73	27.72

DRAINAGE BASIN CALCULATIONS FOR FOUNTAIN HILLS									
BASIN I.D.	AREA (AC)	UNITS #	% LAND TREATMENT				DISCHARGE (CFS)		
			A	B	C	D	10 YR	100 YR	
HYDROLOGICAL VOLUMETRIC & DISCHARGE DATA (EXISTING CALCULATED)									
BASIN A	15.80		100.0%	0.0%	0.0%	0.0%	3.9	19.79	
BASIN B	8.22		100.0%	0.0%	0.0%	0.0%	2.1	10.43	
BASIN C	7.35		100.0%	0.0%	0.0%	0.0%	1.8	8.32	
BASIN D	2.62		100.0%	0.0%	0.0%	0.0%	0.7	3.32	
BLOCK B LOT 2	2.99		100.0%	0.0%	0.0%	0.0%	0.7	3.78	
TRACT E	2.20		80.0%	5.0%	5.0%	80.0%	2.5	5.10	
TRACT F	2.13		100.0%	0.0%	0.0%	0.0%	0.5	2.70	
TOTAL	41.10						12.3	64.46	
HYDROLOGICAL VOLUMETRIC & DISCHARGE DATA (DEVELOPED)									
ON SITE									
B-1-A	9.03		0.0%	5.0%	5.0%	90.0%	24.5	37.73	
B-1-B	5.98		0.0%	5.0%	5.0%	90.0%	16.2	24.98	
C-1-A	3.54		0.0%	5.0%	5.0%	90.0%	9.8	14.78	
C-1-B1	1.73		0.0%	5.0%	5.0%	90.0%	4.7	7.21	
C-1-B2	0.34		0.0%	5.0%	5.0%	90.0%	0.9	1.42	
D-1-A	5.13		0.0%	5.0%	5.0%	90.0%	13.9	21.43	
E-A-1	1.44		0.0%	5.0%	5.0%	90.0%	3.8	6.02	
E	2.20		0.0%	5.0%	5.0%	90.0%	8.0	9.19	
F	2.13		0.0%	5.0%	5.0%	90.0%	5.8	8.90	
10-A-1	1.06		0.0%	5.0%	5.0%	90.0%	2.9	4.43	
10-A-2	0.98		0.0%	5.0%	5.0%	90.0%	2.6	4.08	
ROAD A	3.07		0.0%	5.0%	5.0%	90.0%	8.3	12.88	
ROAD B	0.12		0.0%	5.0%	5.0%	90.0%	0.3	0.48	
ROAD C	0.48		0.0%	5.0%	5.0%	90.0%	1.3	2.05	
SUBTOTAL	37.23	0.00					100.94	165.5	
OFF SITE									
TRACT A	6.91	0	0.0%	25.0%	25.0%	50.0%	13.8	23.55	
BLOCK B LOT 1	1.93	0	0.0%	5.0%	5.0%	90.0%	5.2	8.86	
TRACT G	3.80	11	0.0%	12.5%	12.5%	75.0%	9.3	14.78	
POST OFFICE	3.83	0	0.0%	5.0%	5.0%	90.0%	10.4	16.00	
SUBD C	6.97	40	0.0%	22.6%	22.6%	55.0%	14.8	24.42	
EDUCATION PL	3.30	0	0.0%	5.0%	5.0%	90.0%	9.0	13.81	
SUBTOTAL	28.74	51					62.3	100.6	
PARADISE BLVD.									
STREET A	5.70	0	0.0%	5.0%	5.0%	90.0%	15.5	23.82	
STREET B	1.84	0	0.0%	5.0%	5.0%	90.0%	5.0	7.69	
SUBD A	5.70	48	0.0%	23.4%	23.4%	53.3%	17.9	30.20	
SUBD B	15.06	82	0.0%	23.6%	23.6%	52.6%	30.9	52.13	
SUBTOTAL	31.30	130					69.3	113.8	

\*10 AND 0100 CALCULATED BY RATIONAL METHOD, SECTION 22-2 OF THE DPM

AHYMO PROGRAM SUMMARY TABLE (AHYMO-37)										
PROJECT NAME: FOUNTAIN HILLS					VERSION: 1997.02					
DATE: MARCH 30, 2007					RUN DATE (MONDAY) = 03/30/2007					
INPUT FILE NAME: PHILLHYM					USER NO. = AHYMO-5-9702a1B00aHG-AH					
OUTPUT FILE NAME: PHILL OUT										
PROJECT NUMBER: 070312										
COMMENTS: 100 YEAR-8 HOUR STORM										
COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ.M)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1
START RAINFALL TYPE=1										TIME= .00 RAINF= 2.200
COMPUTE NM HYD	BASIN A		10	.06950	158.83	5.878	1.85238	1.500	4.111	PER IMP= 90.00
ROUTE RESERVOIR	POND		10	.05950	51.7	5.878	1.85238	1.850	1.960	AC-FT= 2.562

## DRAINAGE MANAGEMENT PLAN

### I. PURPOSE

The purpose of this submittal is to present the grading and drainage management plan for Fountain Hills Development. The project consists of approximately 38 acres of land to be developed for commercial use.

### II. SITE LOCATION AND CHARACTERISTICS

The project is south of Paradise Blvd and north of Paseo Del Norte and bordered to the west by Education Place and to the east by Eagle Ranch Road. The site is currently undeveloped tracts, with native shrubs and grasses.

### III. EXISTING HYDRAULIC AND HYDROLOGIC CONDITIONS

In the existing conditions, the site drains across relatively steep terrain towards the east. Currently offsite flow from the west flows through Education Pl and is captured by an existing storm drain system (Q100=27.6cfs) and conveyed to the drainage easement bordering the southern edge of the property, which directs the flow to a detention pond through an earthen channel with a series of check dams. Existing Tracts E and F drain to the east, into ponds on the west side of Tract B-1-A, contrary to the Drainage Report for Albuquerque West Unit 1 Improvements, Oct. 1990; however these tracts are not part of this submittal. The existing northern basin (Basin A - 15.6 ac, Q100=19.8cfs), along with offsite basin flow (Block B Lot 2-3 - 2.98 acres, Q100=3.80cfs), currently drains across the site to a detention pond in existing Tract 6-A-1. The southwestern basin (Basin B - 8.22 ac, Q100=10.4cfs) presently drains to a detention pond at the northeastern corner of the basin. The remaining portion of the site (Basin C - 7.35ac, Q100=9.3cfs and Basin D - 2.62 ac, Q100=3.32cfs), located in the southeast corner of the site, drains to the east and directly into Eagle Ranch Road.

### IV. PROPOSED HYDRAULIC AND HYDROLOGIC CONDITIONS

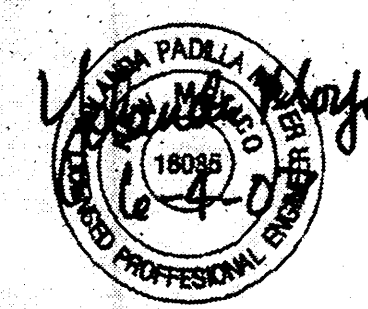
In the proposed improvements, the west portion of the site (Basins B-1-A, B-1-B, C-1-A, C-1-B1, D-1-A, E and F) will drain through the proposed roadways or storm drains and ultimately to a permanent detention pond located in existing Tract 6-A-1. The existing earthen channel with check dams and the detention pond in Tract B-1-B will be removed and replaced with a storm drain in Fountain Hills Parkway and Fountain Hills Blvd. The developed tracts west of the proposed detention pond (Basins B-1-A, B-1-B, C-1-A, C-1-B1, D-1-A, E and F) will be assumed to discharge 20% of developed flows directly into the adjacent roadways, where it will be collected by proposed inlets in Fountain Hills Boulevard. The remaining 80% will be captured by proposed storm drain stubs. Runoff from Fountain Hills Boulevard and Fountain Hills Parkway will flow through the streets to inlets, which will tie to the proposed storm drain; see Summary of Roadway Capacities for Fountain Hills and Developed Conditions for Inlets in Fountain Hills. The proposed storm drain will outlet to the proposed detention pond in existing Tract 6-A-1; see Storm Drain Analysis for Fountain Hills. The proposed detention pond will be sized to accept a developed flow of 156.53cfs, based on AHYMO methodology, with a controlled outlet of 55cfs, in accordance with the approved grading and drainage plan, COA Hydrology File C12-D3B mentioned above. The minimum required volume is 2.50 ac-ft with the actual volume being 3.14 ac-ft; see AHYMO Program Summary Table. The east side of the site (Basins 10-A-1 and 10-A-2 and C-1-B2), along with the remaining portion of Fountain Hills Boulevard (0.49ac, Q100=2.05cfs) and the residual from the inlets (Q=3.59cfs), will flow through the street and directly into Eagle Ranch Rd (Q100=15.57cfs).

The south half of Paradise Blvd., fronting the Fountain Hills site, has been analyzed for the 100-yr and 10-yr storm capacities, assuming proposed street width of 30' F-F minimum (south side of road will be widened to include new curb and gutter, as well as new median curb and gutter, as part of this development); see Summary of Roadway Capacities for Fountain Hills. The north half of the street has been analyzed for the 10-yr storm capacities, one lane free. The proposed roadway is adequate to handle these conditions.

### V. CONCLUSION

This plan provides hydrologic and hydraulic considerations of Fountain Hills Development. These flows can be safely conveyed by the improvements proposed in this plan to the existing storm systems, which have adequate capacity to accept such runoff. With the exception of existing Tracts E and F which drain to the east, to ponds on the west side of Tract B-1-A, contrary to the approved Drainage Report for Albuquerque West Unit 1 Improvements, Oct. 1990; this submittal is in compliance with existing approved grading and drainage plans. Tracts E and F are not part of this submittal. This information provides adequate supporting documentation and guidance for approval of this plan.

**FOUNTAIN HILLS**  
**GRADING & DRAINAGE MANAGEMENT PLAN**  
 ALBUQUERQUE, NEW MEXICO  
 JUNE, 2007



**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87100-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SHEET 7 OF 7