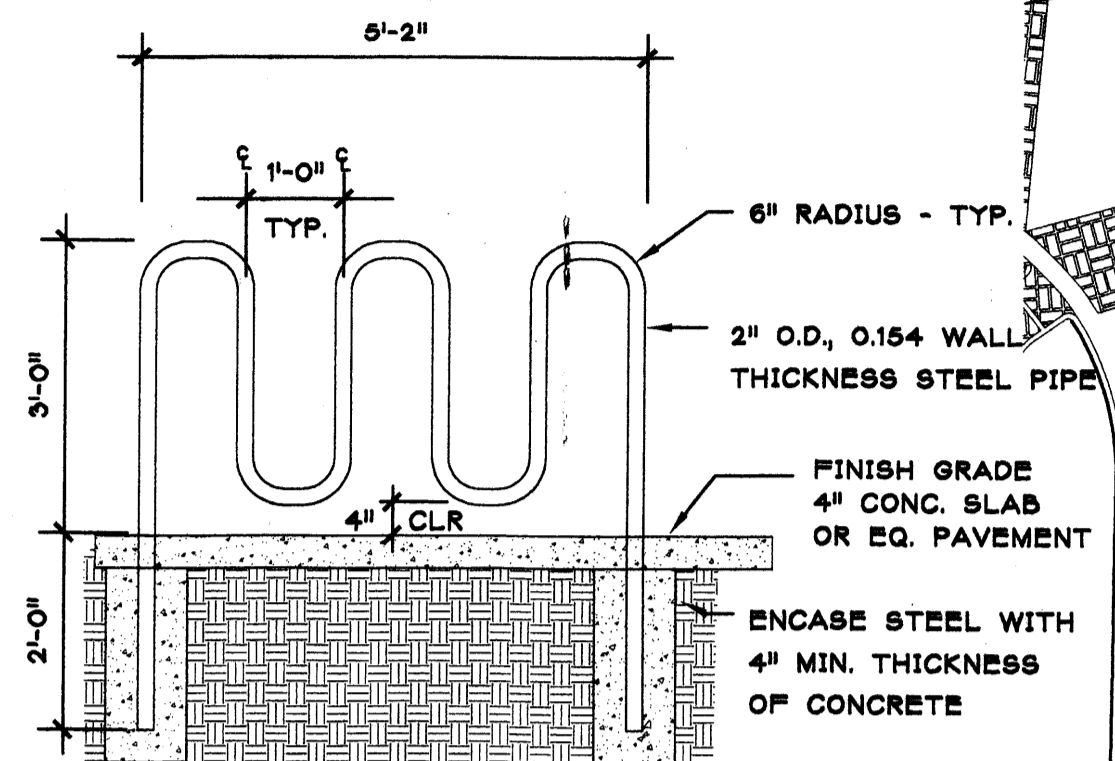
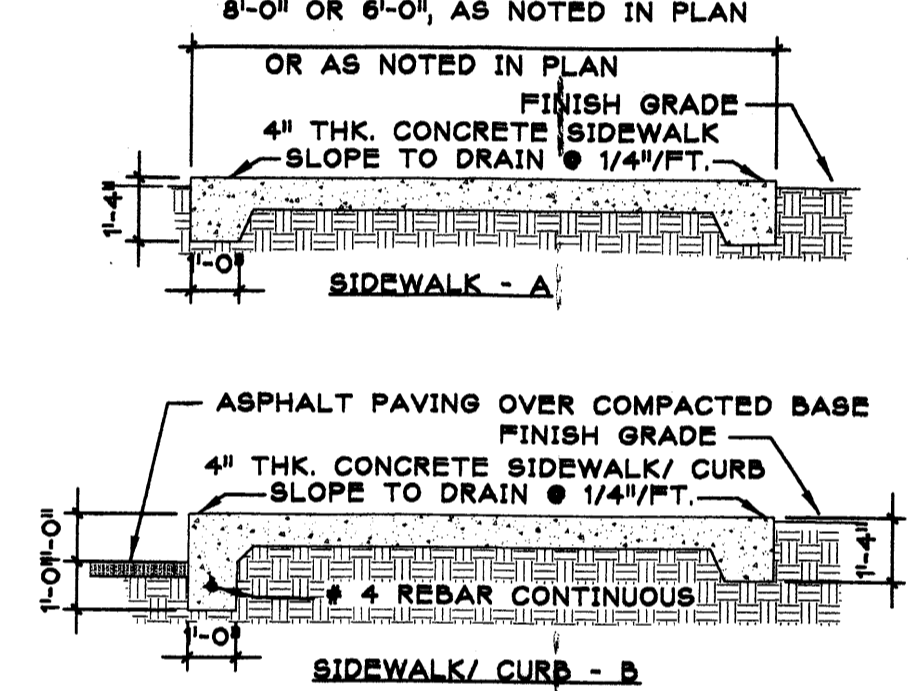


**D TYP. CONC. CURB**  
SCALE: 1/2" = 1'-0"



THIS RACK HAS A CAPACITY OF FIVE BICYCLES  
FINISH ALL STEEL PIPE W/ PRIMER & 2 COATS ENAMEL  
COLOR TO MATCH BUILDING

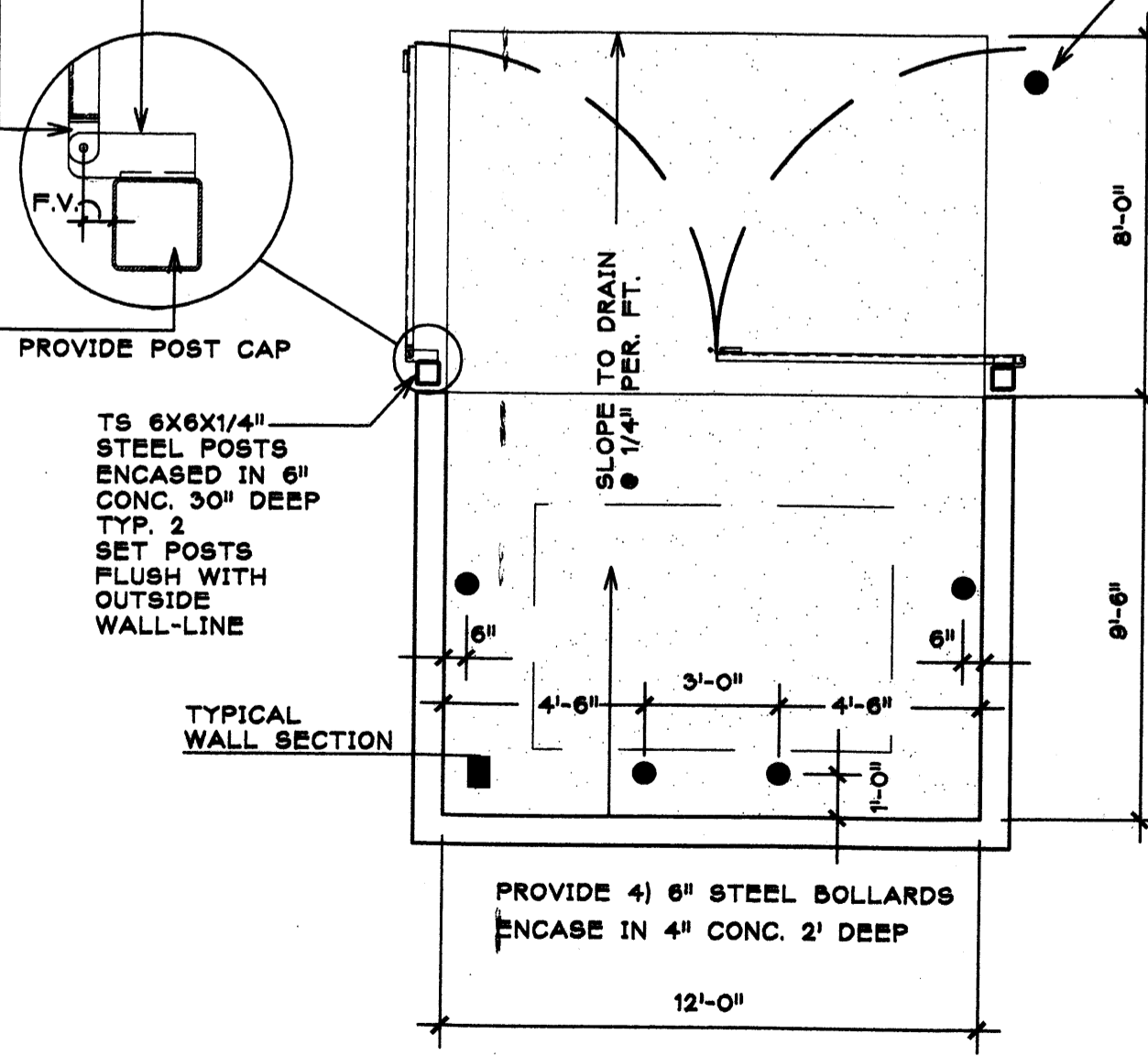
**C BIKE RACK**  
SCALE: 1/2" = 1'-0"



NOTE: PROVIDE TROWELED CONTROL JOINTS @ 5' O.C. MIN. \*\*  
PROVIDE TROWELED EXPANSION JOINTS @ 20' O.C. MIN.  
FILLLET ALL EDGES 1/2" RD. TYP.  
PROVIDE 6X6-10/10 WWM CONT. REINFORCEMENT.  
PROVIDE 4000 P.S.I. CONCRETE.  
\*\* SEE SITE PLAN FOR SPECIFIC JOINT LAYOUTS @ BUILDING

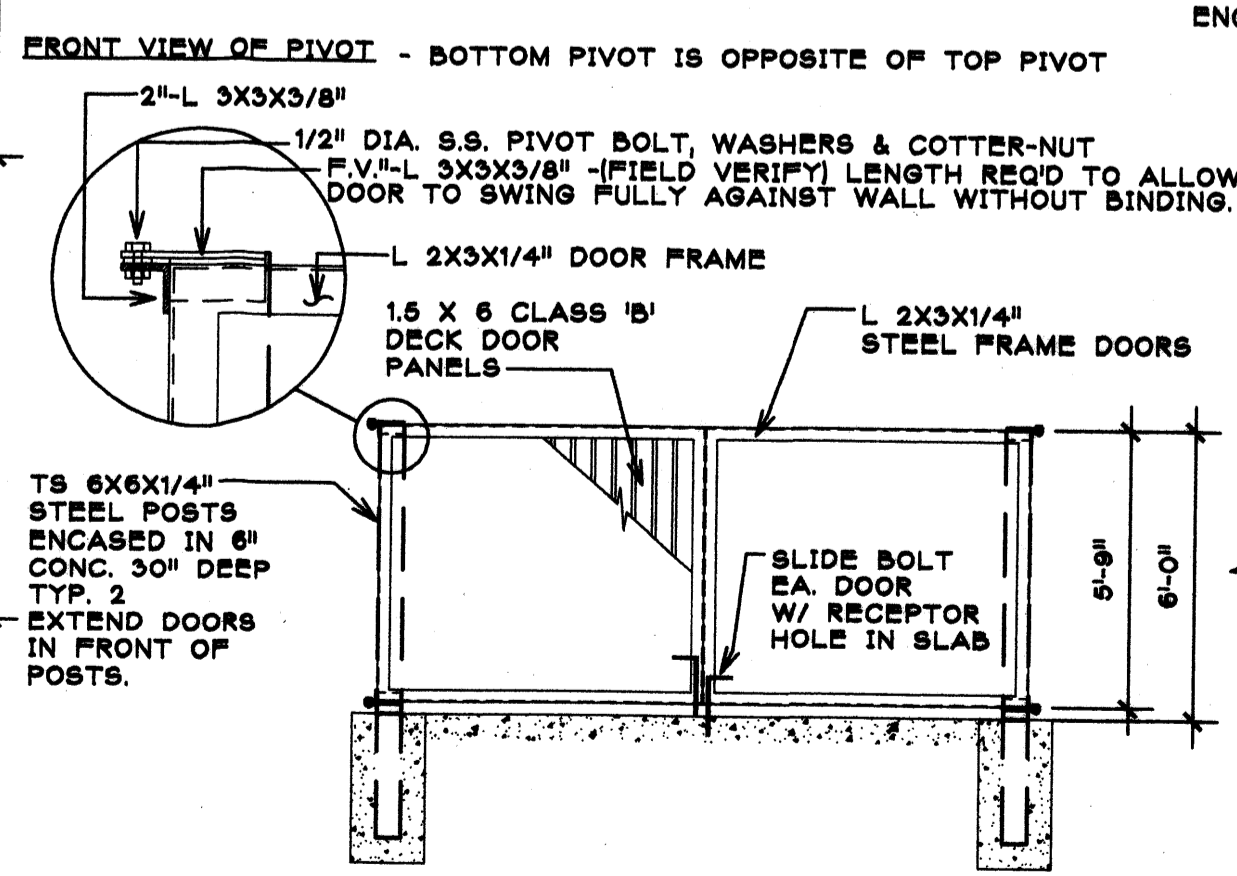
**B SIDEWALKS**  
SCALE: 1/2" = 1'-0"

TOP VIEW OF PIVOT PROVIDE 5TH BOLLARD TO PREVENT GATE FROM SWINGING  
INTO ADJACENT CAR PARKING STALL.  
F.V. = L 3X3X3/8" (FIELD VERIFY) LENGTH REQ'D TO ALLOW  
DOOR TO SWING FULLY AGAINST WALL WITHOUT BINDING.

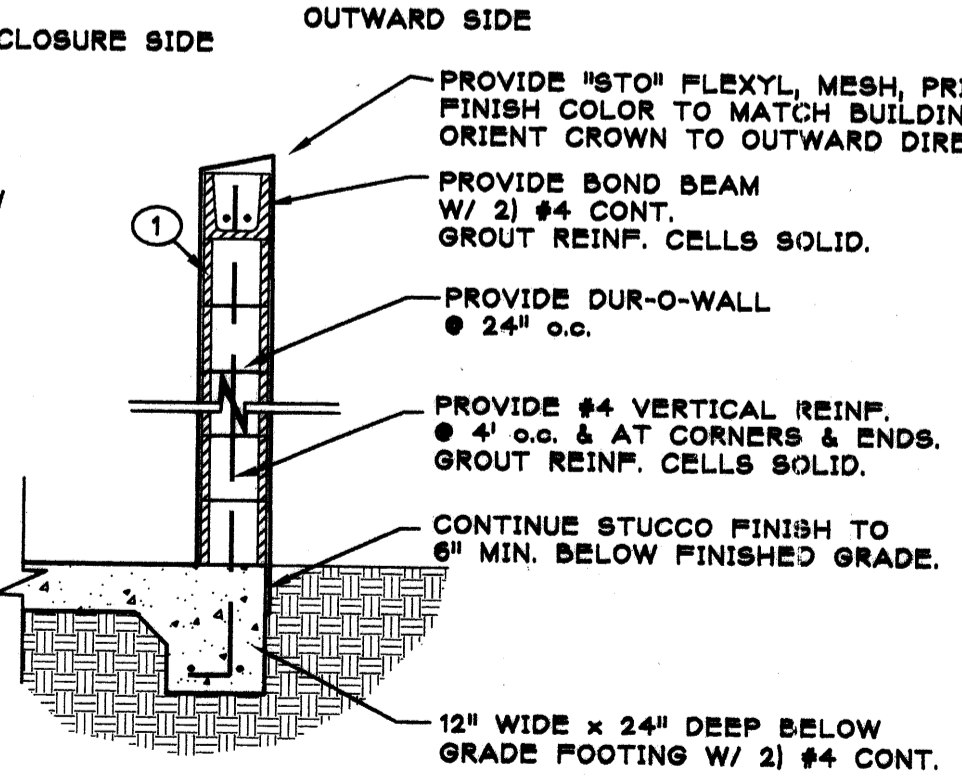


**PLAN VIEW**  
SCALE 1/4" = 1'-0"

CONCRETE SLAB IN ENCLOSURE: 6" THK. 4000 PSI, 3/4" AGG.  
W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MIN.  
CONCRETE APRON SLAB: 6" THK. X12' X 8'. 4,000 PSI, 3/4" AGG.  
W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MI  
CMU WALL: SEE DUMPSTER WALL SECTION

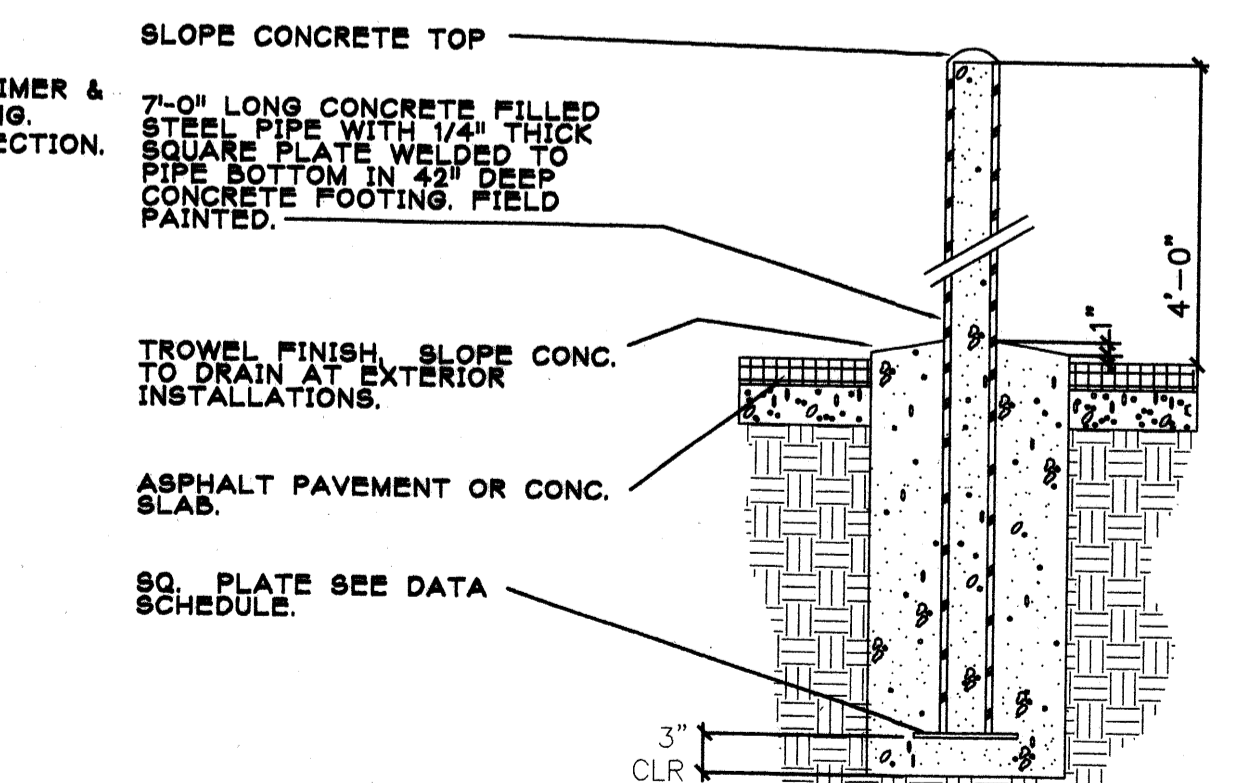


**FRONT VIEW OF GATES**  
SCALE 1/4" = 1'-0"



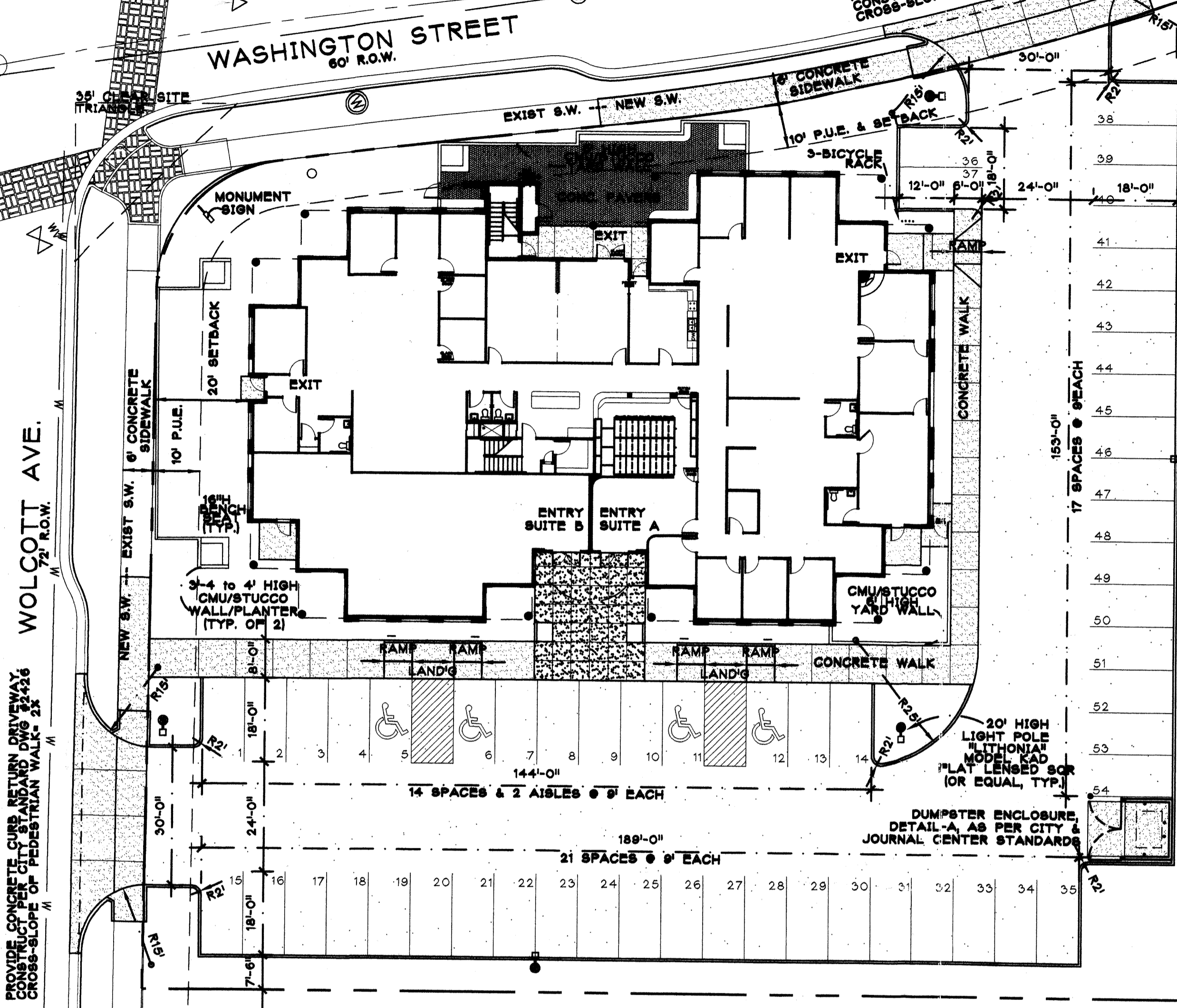
**DUMPSTER WALL SECTION**  
SCALE 1/2" = 1'-0"

**E TYP. CMU WALL**  
SCALE: 1/2" = 1'-0"



PIPE DIA	FTG. DIA.	SQ. PLATE
4"	18"	6" SQ.
6"	24"	8" SQ.
8"	30"	10" SQ.

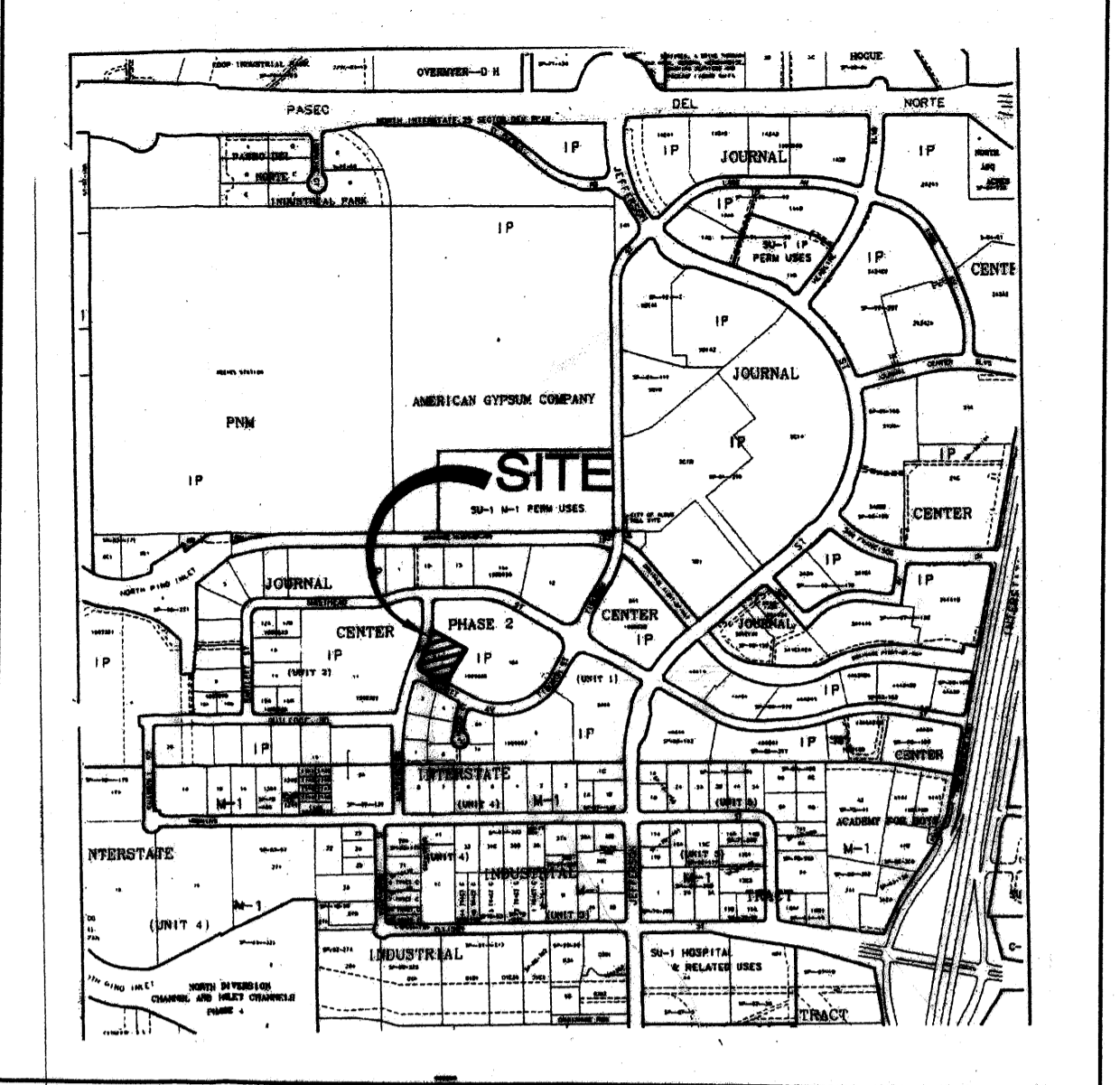
**TYPICAL BOLLARDS**  
SCALE: N.T.S.



**SITE PLAN**  
SCALE: 1" = 20'

- UTILITY LEGEND**
- UTILITY PEDESTAL
  - SANITARY SEWER MANHOLE
  - CENTERLINE MONUMENT
  - WATER METER
  - WATER VALVE
  - FIRE HYDRANT
  - TELEPHONE MANHOLE
  - POLE MOUNTED LIGHT FIXTURE  
20' HIGH, "LITHONIA" OR EQUAL,  
MODEL KAD, FLAT LENSED SQUARE.

- PAVEMENT LEGEND**
- CONCRETE
  - COLORED CONCRETE
  - CONCRETE PAVERS
  - ASPHALT PAVEMENT
  - LANDSCAPE PLANTER  
AREAS (NO HATCH)



**SITE LOCATION** 1" = 1000'

**PROJECT DATA**

**LEGAL DESCRIPTION:**  
LOT 11A, JOURNAL CENTER 2, - UNIT 1  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**ZONE ATLAS:** D-17-Z  
**ZONE CLASSIFICATION:** 1P

**LAND USE DATA**  
LOT AREA: 1.0 AC (43,585 SQ.FT.)  
BUILDING 1ST FLOOR GROSS AREA: 12,911 SQ.FT.  
COURTYARD AREAS W/ 6" WALLS = 1,756 SQ.FT.  
NET LOT AREA: 28,878 SQ.FT.  
LANDSCAPE AREA PROVIDED = 9,005 SQ.FT. = 31% OF N.L.A.

**OFFSTREET PARKING REQUIREMENTS-**  
NET LEASEABLE AREA = 12,004 SQ.FT.  
OFFICE AREA REQUIRED PARKING STALLS  
10,365 SQ.FT. 52 STALLS REQ'D @ 1:200 SQ.FT.  
BASEMENT WAREHOUSE AREA  
1,339 SQ.FT. 1 STALL REQ'D @ 1:2000 SQ.FT.

**PARKING STALLS PROVIDED = 54 STALLS,**  
INCLUDES 1 REQ'D VAN ACCESSIBLE STALL & 3 HC STALLS

**REQUIRED & PROVIDED BICYCLE PARKING = 3 SPACES**

**SITE LIGHTING:** SHALL BE PROVIDED BY BUILDING MOUNTED WALL  
FIXTURES AND ONE-TO-FIVE POLE MOUNTED PARKING LOT LIGHT  
FIXTURES.

**SIGNAGE:** SHALL BE PROVIDED BY ONE MONUMENT SIGN AS PER  
JOURNAL CENTER 2 STANDARDS AND SUITE IDENTIFICATION  
SIGNAGE ON BUILDING ENTRANCE STOREFRONT GLASS.

PROJECT NO. 1003447

APPLICATION NO. 04DRB-00756

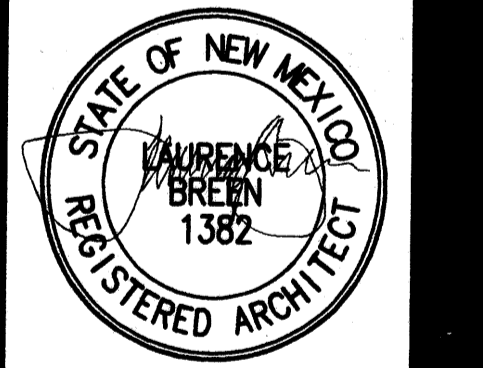
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?  
[ ] YES [X] NO. IF YES, THEN A SET OF APPROVED  
DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY  
CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR  
CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT APPROVAL:**

TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE: 6-9-04
UTILITY DEVELOPMENT DIVISION	DATE: 6-9-04
PARKS RECREATION	DATE: 6/9/04
CITY ENGINEER	DATE: 6/9/04
ENVIRONMENTAL HEALTH (CONDITIONAL) DATE:	
SOLID WASTE MANAGEMENT	DATE: 6-9-04
DRB CHAIRPERSON, PLANNING DEPT.	DATE: 6/9/04

**DORMAN and BREEN**  
LAURENCE BREEN A.I.A.  
RICHARD DORMAN F.A.I.A.  
ALBUQUERQUE, NM 505-299-5940  
SANTA FE, NM 505-982-9196

**Little & Drantel Office Building**  
Journal Center 2, Lot 11a  
7430 Washington St. NE  
ALBUQUERQUE, NM 87109



SHEET TITLE: SITE PLAN

JOB NUMBER: 0348

DATE: 6/9/04

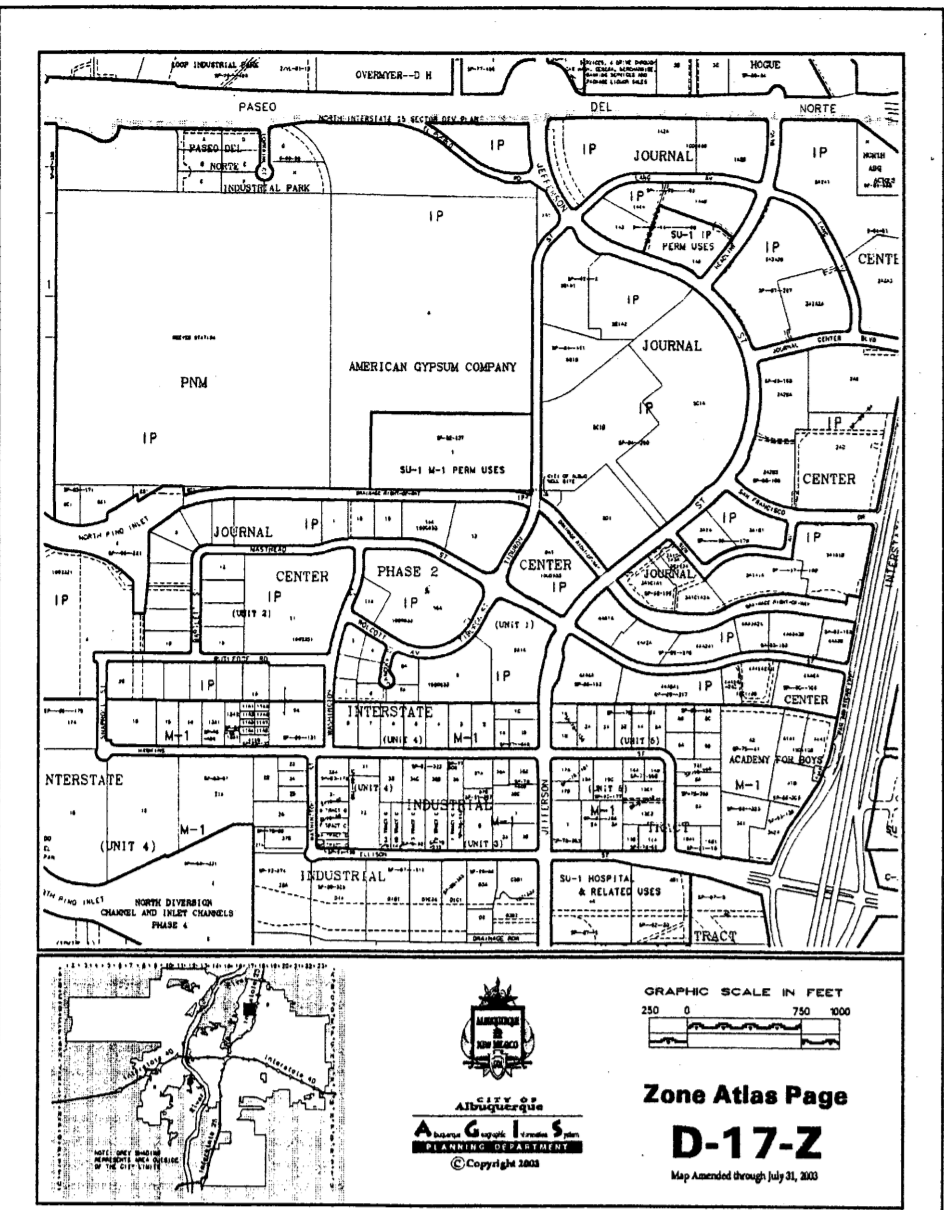
REVISIONS:

REVISIONS:	DATE:
A.R.C. PHASE 1	3/28/04
A.R.C. PHASE 2	4/28/04
DRB	5/12/04

SHEET: C-1.1  
2 OF 30

PLANNING

# 1003447



**CURVE DATA**

- C-1  
 R=30.00'  
 L=42.51'  
 Δ=81°11'17"  
 T=25.71'  
 CH=N 18°24'48" W 39.04'
- C-2  
 R=1638.66'  
 L=68.57'  
 Δ=02°23'52"  
 T=34.29'  
 CH=N 23°22'46" E 68.57'
- C-3  
 R=530.00'  
 L=137.63'  
 Δ=14°52'44"  
 T=69.21'  
 CH=S 17°08'20" W 137.25'

**GRADING/DRAINAGE PLAN**

THE FOLLOWING ITEMS CONCERNING LOT 11A, JOURNAL CENTER PHASE 2, UNIT 1 (7500 WOCOTT AVENUE N.E.) ARE CONTAINED HEREON:

**EXISTING CONDITIONS**

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 1.0005 ACRES AND IS LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF WOLCOTT AVENUE N.E. AND WASHINGTON STREET N.E. THE SITE IN ITS EXISTING CONDITION IS A VACANT PARCEL WITH THE TERRAIN SLOPING FROM SOUTHEAST TO NORTHWEST. AS SHOWN BY THE FLOOD INSURANCE RATE MAP, PANEL 0136D, DATED SEPTEMBER 20, 1996, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

**PROPOSED CONDITIONS**

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF AN 11,500 + SQ. FT. OFFICE BUILDING ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. DEVELOPED FLOWS WILL BE ROUTED TOWARDS THE PROPOSED DRIVEPAD LOCATED AT THE NORTHWEST CORNER OF THE SITE AND OUT ONTO WASHINGTON STREET N.E. FROM THAT POINT THE RUNOFF WILL TRAVEL NORTH TOWARDS AN EXISTING STORM DRAIN INLET LOCATED SOUTH OF MASTHEAD STREET N.E. ON THE EAST SIDE OF WASHINGTON STREET N.E., WHICH IS THEN CONVEYED TO THE NORTH PINO INLET TO THE NORTH DIVERSION CHANNEL. NO OFF-SITE FLOWS ENTER THE SITE FROM ANY DIRECTION. THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 WAS USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 1.0005 ac.  
 LOT 11-A JOURNAL CENTER  
 ZONE 2  
 PRECIPITATION: 360 = 2.35 in.  
 1440 = 2.75 in.  
 10day = 3.95 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 in.	1.56 cfs/ac.
TREATMENT B 0.78 in.	2.28 cfs/ac.
TREATMENT C 1.13 in.	3.14 cfs/ac.
TREATMENT D 2.12 in.	4.70 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A AREA 0 ac.	0 ac.
TREATMENT B AREA 0 ac.	0.2017 ac.
TREATMENT C AREA 1.0005 ac.	0 ac.
TREATMENT D AREA 0 ac.	0.7988 ac.

**EXISTING EXCESS PRECIPITATION:**

Weighted E = (0.53)(0.00) + (0.78)(0.00) + (1.13)(1.00) + (2.12)(0.00) / 1.00 ac. = 1.13 in.  
 V100-360 = (1.13)(1.00) / 12 = 0.094214 ac-ft = 4104 CF

**EXISTING PEAK DISCHARGE:**

Q100 = (1.56)(0.00) + (2.28)(0.00) + (3.14)(1.00) + (4.70)(0.00) = 3.14 CFS

**PROPOSED EXCESS PRECIPITATION:**

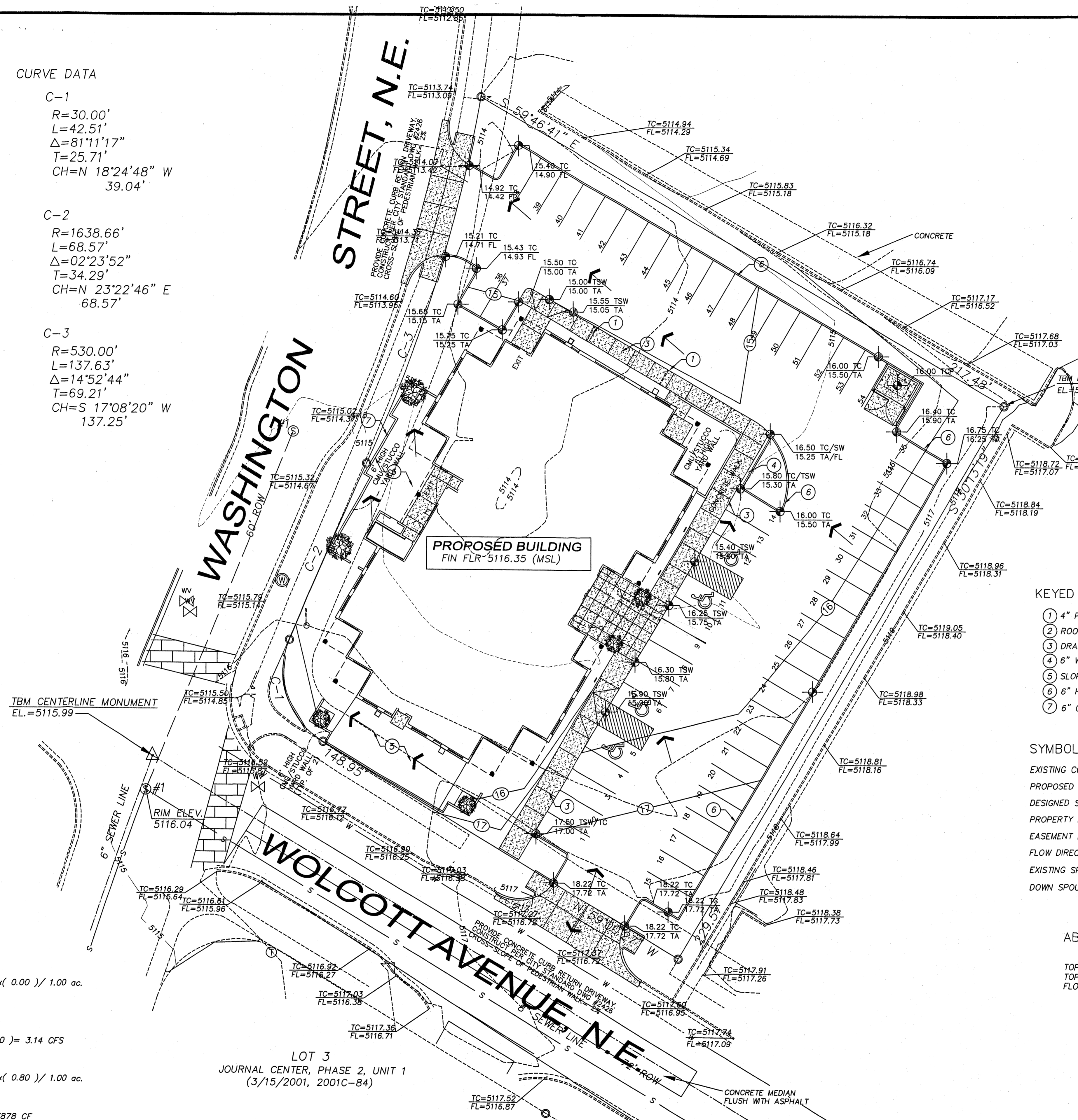
Weighted E = (0.53)(0.00) + (0.78)(0.20) + (1.13)(0.00) + (2.12)(0.80) / 1.00 ac. = 1.85 in.  
 V100-360 = (1.85)(1.00) / 12.0 = 0.154232 ac-ft = 6718 CF

V100-1440 = (0.15)(0.80)(2.75 - 2.35) / 12 = 0.180859 ac-ft = 7878 CF

V100-10day = (0.15)(0.80)(3.95 - 2.35) / 12 = 0.260739 ac-ft = 11358 CF

**PROPOSED PEAK DISCHARGE:**

Q100 = (1.56)(0.00) + (2.28)(0.20) + (3.14)(0.00) + (4.70)(0.80) = 3.75 CFS  
 INCREASE 3.75 CFS - 3.14 CFS = 0.61 CFS



**EROSION CONTROL MEASURES:**

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:  
 - ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF TO LEAVE THE SITE AND ENTERING ADJACENT PROPERTY.  
 - ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.  
 - THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

**NOTE TO CONTRACTOR**

- An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
- All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Interim Standard Specification for Public Works Construction 1985.
- Two workings prior to any excavation, contractor must contact line locating Services at (505) 260-1990 for locating existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to residential street use.
- Maintenance of asphalt swale shall be the responsibility of the Owner of property served.

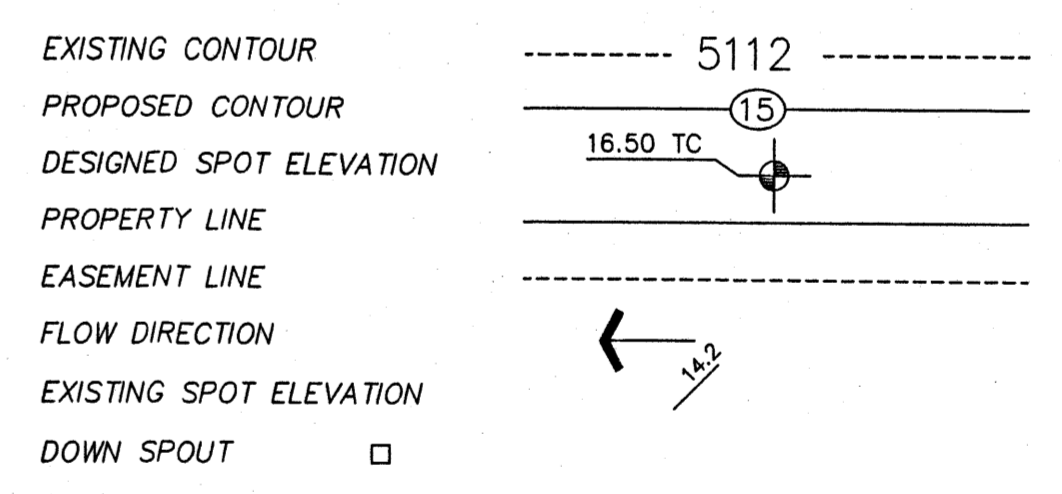
**LEGAL DESCRIPTION**

LOT 11-A JOURNAL CENTER, PHASE 2, UNIT 1  
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
**BENCHMARK LOCATION**  
 C.O.A. \*ACS 9-D17 ELEVATION: 5124.40  
 T.B.M. CENTER LINE MONUMENTATION (SEE PLAN DRAWING)  
 ON WASHINGTON STREET N.E. ELEVATION: 5115.99

**KEYED NOTES**

- 4" PVC DRAIN PIPE THRU SIDEWALK
- ROOF DRAIN DAYLIGHTS TO PAVEMENT(SEE BUILDING PLANS)
- DRAIN SIDEWALK TOWARD ASPHALT AREA
- 6" WIDE CONCRETE GUTTER
- SLOPE CONCRETE PAD OR LANDSCAPE AREA
- 6" HEADER CURB
- 6" CUT IN BLOCK WALL TO ALLOW FLOW

**SYMBOL LEGEND**



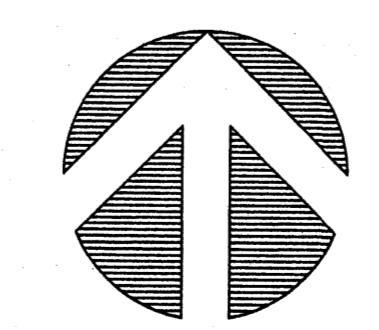
**ABBREVIATION LEGEND**

TOP OF CURB - TC  
 TOP OF ASPHALT - TA  
 FLOWLINE - FL

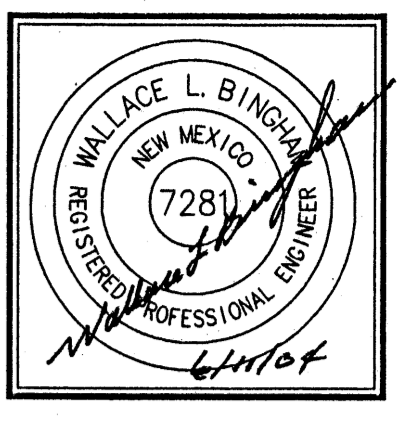
**Legend**

N 90°00'00" E MEASURED BEARING AND DISTANCES	
○	FOUND AND USED MONUMENT AS DESIGNATED
□	UTILITY PEDESTAL
⊙	SANITARY SEWER MANHOLE
⊕	CENTERLINE MONUMENT
⊗	WATER METER
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	TELEPHONE MANHOLE

**GRADING & DRAINAGE PLAN**

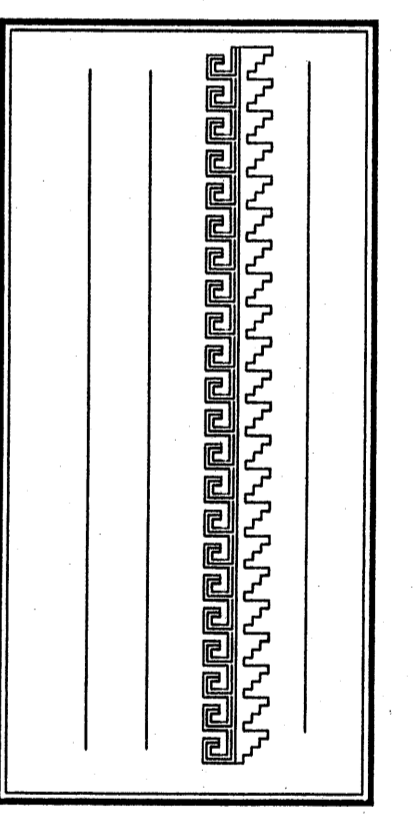


0' 5' 10' 20' 40'  
 SCALE: 1"=20.0'

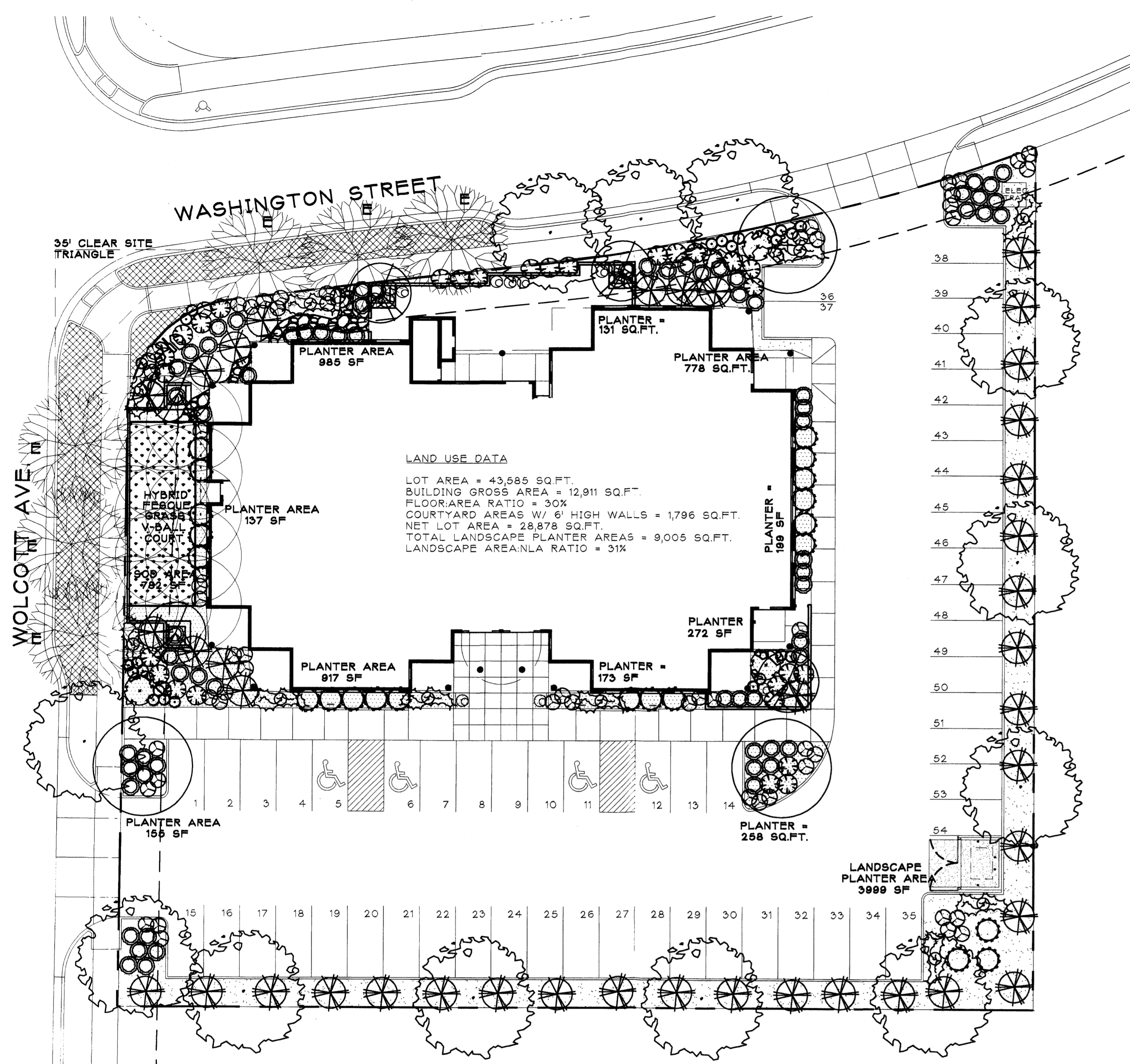


JOB NO:	XXXXXX
DATE:	JUNE 2004
REVISIONS:	

Sheet Title  
**GRADING & DRAINAGE PLAN**  
 Drawn By: H Hood/BJM Checked By: WB



Project Name  
**LITTLE/DRANTELL  
 OFFICE COMPLEX**  
 3020 WOLCOTT AVENUE N.E.  
 ALBUQUERQUE, NEW MEXICO



**LAND USE DATA**  
 LOT AREA = 43,585 SQ.FT.  
 BUILDING GROSS AREA = 12,911 SQ.FT.  
 FLOOR AREA RATIO = 30%  
 COURTYARD AREAS W/ 6' HIGH WALLS = 1,796 SQ.FT.  
 NET LOT AREA = 28,878 SQ.FT.  
 TOTAL LANDSCAPE PLANTER AREAS = 9,005 SQ.FT.  
 LANDSCAPE AREA: NLA RATIO = 31%

**LANDSCAPE PLAN**

SCALE: 1" = 20'

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	43179	square feet
TOTAL BUILDINGS AREA	11465	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	31714	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4757	square feet
TOTAL BED PROVIDED	8004	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	6003	square feet
TOTAL GROUND COVER PROVIDED	8004	square feet
TOTAL SOD PROVIDED	782	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet
TOTAL LANDSCAPE PROVIDED	8786	square feet

**PLANT LEGEND**

- EXISTING STREET TREE
- BERINDA ASH (H) 12  
Fraxinus spp.  
2" Cal.
- CHINESE PISTACHE 3  
Pistacia chinensis  
15 Gal.
- OAKLAHOMA REDBUD (H) 6  
Cercia reniformis  
2" Cal.
- DWARF MUGO PINE 3  
Pinus mugo  
5 Gal. 16sf
- SILVERBERRY (M) 40  
Elaeagnus pungens  
5 Gal. 100sf
- THREE-LEAF SUMAC (L) 22  
Rhus trilobata  
5 Gal. 36sf
- UPRIGHT ROSEMARY 68  
Rosmarinus officinalis  
5 Gal. 36sf
- ENGLISH / SPANISH LAVENDER (M) 20  
Lavandula angustifolia/  
Lavandula stoechas  
1 Gal. 16sf
- THREADGRASS 23  
Stipa tenuissima  
1 Gal. 4sf
- WILDFLOWER 62  
1 Gal. 4sf  
Including but not limited to:  
California Fuchsia  
Indian Blanketflower  
Purple Coneflower  
Torch Lily  
Mexican Evening Primrose  
Penstemon  
Lamb's Ear
- GREY COTONEASTER (M) 30  
Cotoneaster buxifolius  
5 Gal. 36sf  
Symbol indicates 3 plants
- POT WITH ANNUAL COLOR -POT BY OWNER- 8
- BOULDERS 12
- STEEL EDGE
- SANTA ANNA TAN GRAVEL WITH FILTER FABRIC
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- FLAGSTONE IN MORTAR
- SOD
- EXISTING LANDSCAPING IN SIDEWALK PLANTER INSTALLED BY JOURNAL CENTER WITH ORIGINAL LOT DEVELOPMENT

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

**LANDSCAPE NOTES:**  
 Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

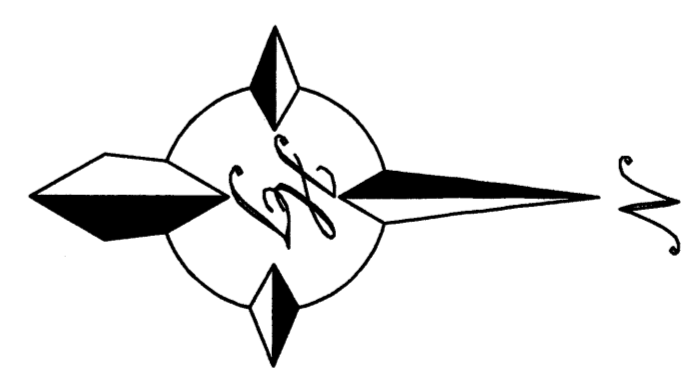
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

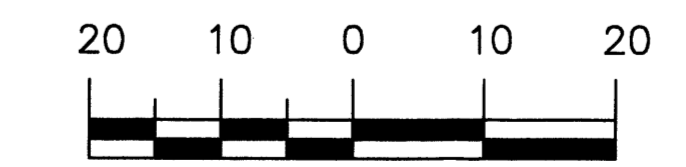
Irrigation to New Street Trees shall be tied in to existing Irrigation System for Existing Street Trees.

**CONTRACTOR NOTE:**

At the time irrigation is connected to the Journal Center 2 common area irrigation system, contractor must contact the developer, Tiburon Investment LLC, 13000 Academy Road NE, Alb., NM 87111 (505) 823-9360



**GRAPHIC SCALE**



SCALE: 1"=20'



LANDSCAPE ARCHITECTS & CONTRACTORS  
 Cont. Lic. #26458  
 7909 Edith N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7737  
 cmd@hilltoplandscaping.com

All creative ideas contained herein remains the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

**DORMAN and BREEN**  
 LAURENCE BREEN F.A.I.A.  
 SANTA FE, NM 505-982-9196  
 RICHARD DORMAN F.A.I.A.  
 ALBUQUERQUE, NM 505-299-5940

**Little & Drantel Office Building**  
 Journal Center 2, Lot 11a  
 7430 Washington St. NE  
 ALBUQUERQUE, NM 87109



SHEET TITLE: LANDSCAPE PLAN

JOB NUMBER: 0348

DATE: 5/12/04

REVISIONS:	DATE:
A.R.C. PHASE 1	3/26/04
A.R.C. PHASE 2	4/28/04
DRB	5/12/04
PERMIT PLAN REVIEW	7/18/04

**GENERAL NOTES**

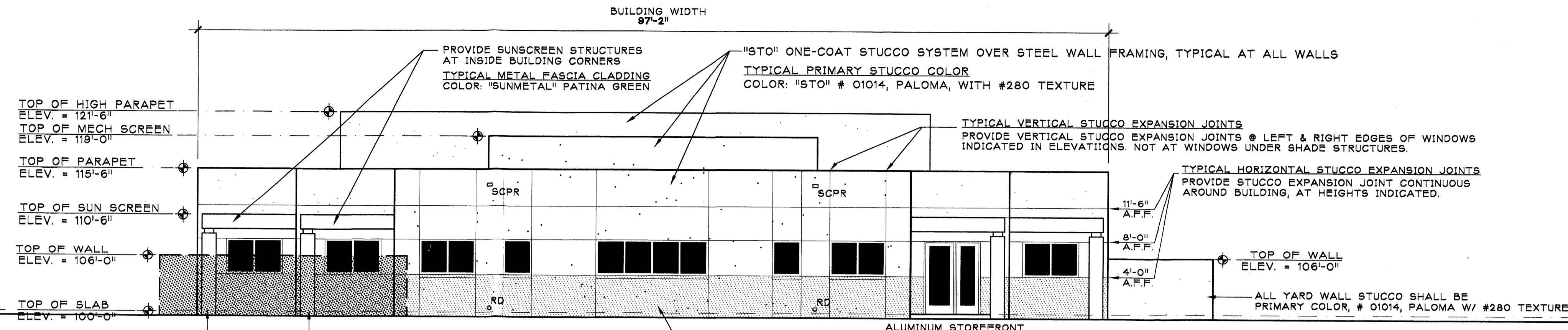
TYPICAL BUILDING MATERIALS & COLORS ARE AS FOLLOWS:

[A] PRIMARY STUCCO COLOR: "STO" PALOMA, # 01014, W/ #280 TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING WALLS, EXCEPT BELOW 4' HIGH CONTINUOUS HORIZONTAL EXPANSION JOINT. ALL COLUMNS & YARD WALLS SHALL BE PRIMARY STUCCO COLOR.

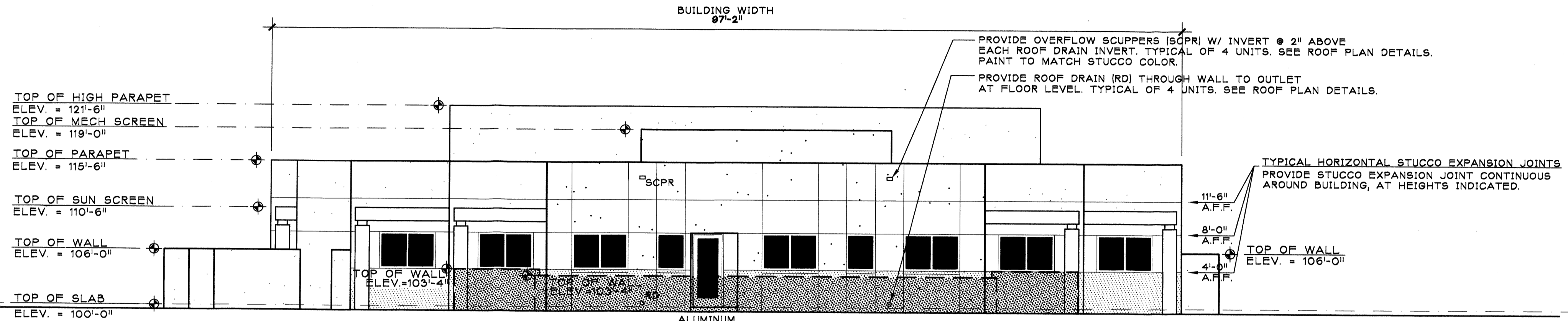
[B] SECONDARY STUCCO COLOR: "STO" SEDONA, # 01013, W/ #R3-COURSE TEXTURE. PROVIDE THIS COLOR ON ALL BUILDING WALLS BELOW THE 4' HIGH CONTINUOUS HORIZONTAL EXPANSION JOINT.

[C] METAL FASCIA CLADDING: PROVIDE 24 GA. "SUNMETAL", COLOR: PATINA GREEN, AT ALL FASCIA CLADDING. ALL PANEL JOINTS SHALL BE FLUSH.

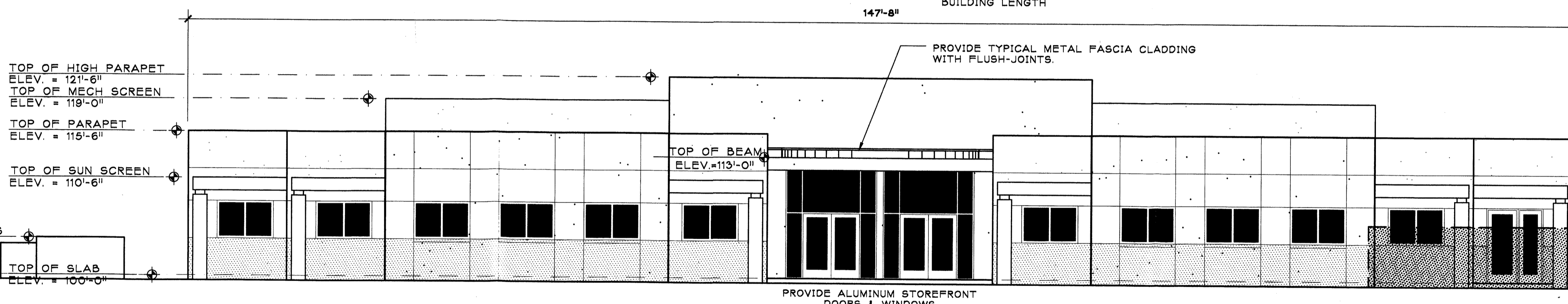
[D] ALUMINUM STOREFRONT SYSTEMS: PROVIDE "KAWNEER" TRIFAB VG451 INSULATED GLASS SYSTEM AT ALL EXTERIOR DOORS & WINDOWS. ALUMINUM FRAME COLOR SHALL BE SEA WOLF FLUROPON FINISH. ALL GLAZING SHALL BE "LOF" JADE ICE, GREEN REFLECTIVE GLASS. REFLECTIVE SURFACE SHALL BE INSTALLED TO INTERIOR SIDE OF GLASS.



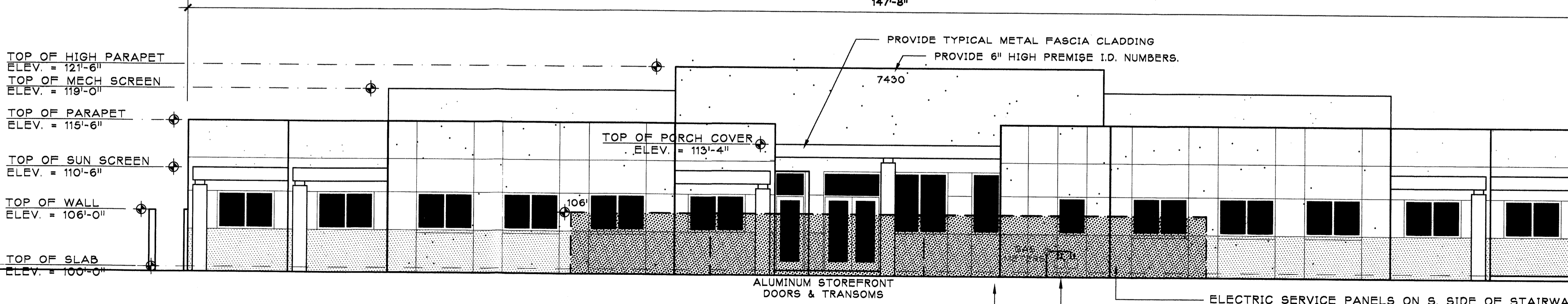
**NORTH ELEVATION**  
SCALE: 1/8" = 1'



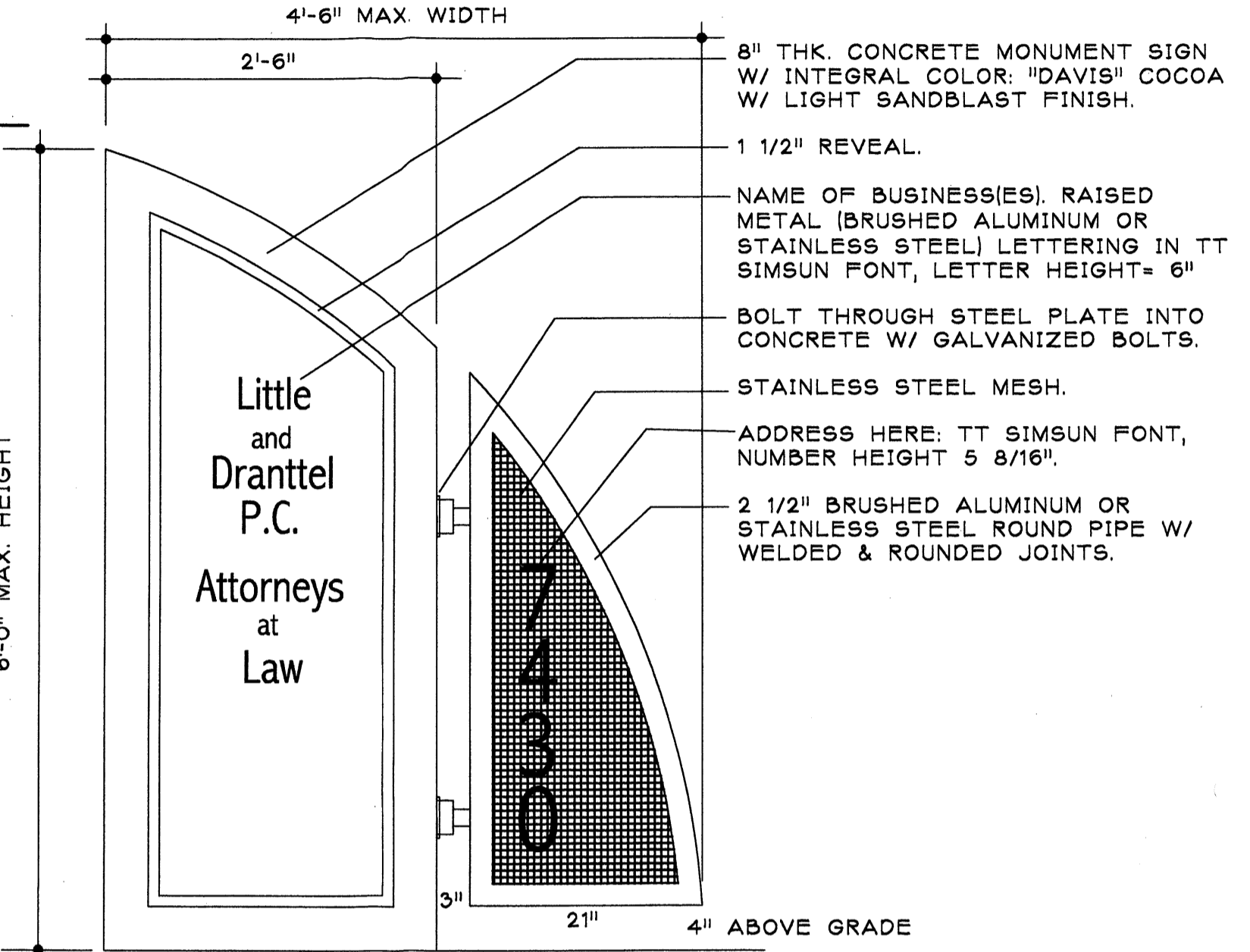
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'



**EAST ELEVATION**  
SCALE: 1/8" = 1'



**WEST ELEVATION**  
SCALE: 1/8" = 1'



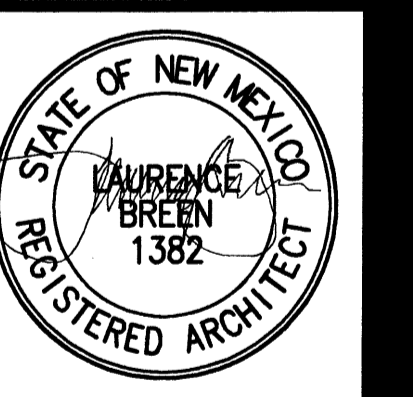
**TYPICAL MONUMENT SIGN**  
6' HIGH X 4'6" WIDE

**SIGNAGE NOTES**

[ ] REFERENCE JOURNAL CENTER 2 SIGNAGE STANDARDS & REQUIREMENTS. ALL MONUMENT SIGNS SHALL COMPLY WITH THE JC-2 STANDARDS. PROVIDE ONE MONUMENT SIGN, LOCATE AS NOTED IN SITE PLAN.

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SHEET TITLE: BUILDING ELEVATIONS	
JOB NUMBER: 0348	DATE: 7/16/04
REVISIONS:	DATE:
A.R.C. PHASE 1	3/28/04
A.R.C. PHASE 2	4/28/04
DRB	5/12/04
PERMIT PLAN REVIEW	7/16/04
SHEET: <b>A-2.1</b> 12 OF 37	