

SEVILLE SUBDIVISION UNIT 3-A

(BEING A REPLAT OF TRACT B-2-A, SEVILLE)

WITHIN
THE TOWN OF ALAMEDA GRANT

IN
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2005

PROJECT NUMBER: 1003471

Application Number: 05DRB-00595 (FP)

PLAT APPROVAL

Utility Approvals

<u>Sean M. Munk</u> PNM Electric Services	<u>2-9-05</u> Date
<u>Sean M. Munk</u> PNM Gas Services	<u>2-9-05</u> Date
<u>Marshall Boyd</u> QWest Corporation	<u>3-10-05</u> Date
<u>Rita Siskin</u> Comcast	<u>2-17-05</u> Date
<u>[Signature]</u> New Mexico Utilities	<u>2-9-05</u> Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals

<u>[Signature]</u> City Surveyor	<u>2-10-05</u> Date
<u>N/A</u> Real Property Division	Date
<u>N/A</u> Environmental Health Department	Date
<u>[Signature]</u> Traffic Engineering, Transportation Division	<u>4-20-05</u> Date
<u>[Signature]</u> Utilities Development	<u>4/20/05</u> Date
<u>Christina Sandomal</u> Parks and Recreation Department	<u>4/20/05</u> Date
<u>Martin W. Siskin</u> AMAFCA	<u>4/22/05</u> Date
<u>[Signature]</u> City Engineer	<u>4-22-05</u> Date
<u>Andrew Garcia</u> DRB Chairperson, Planning Department	<u>4-20-05</u> Date

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMPS No. 9750
January 20, 2005

SHEET 1 OF 6

SURVOTEK, INC.

Consulting Surveyors
8864 Valley View Dr. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

1-016-066-310 270-40501

Westfolk Limited

[Signature] 04-22-05
Bernillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Communications for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.
- Curb West, Inc. for the installation, maintenance and service of such lines, cables, equipment and other related facilities reasonably necessary to provide electrical, telephone and television services including but not limited to ground pedestals and closures.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

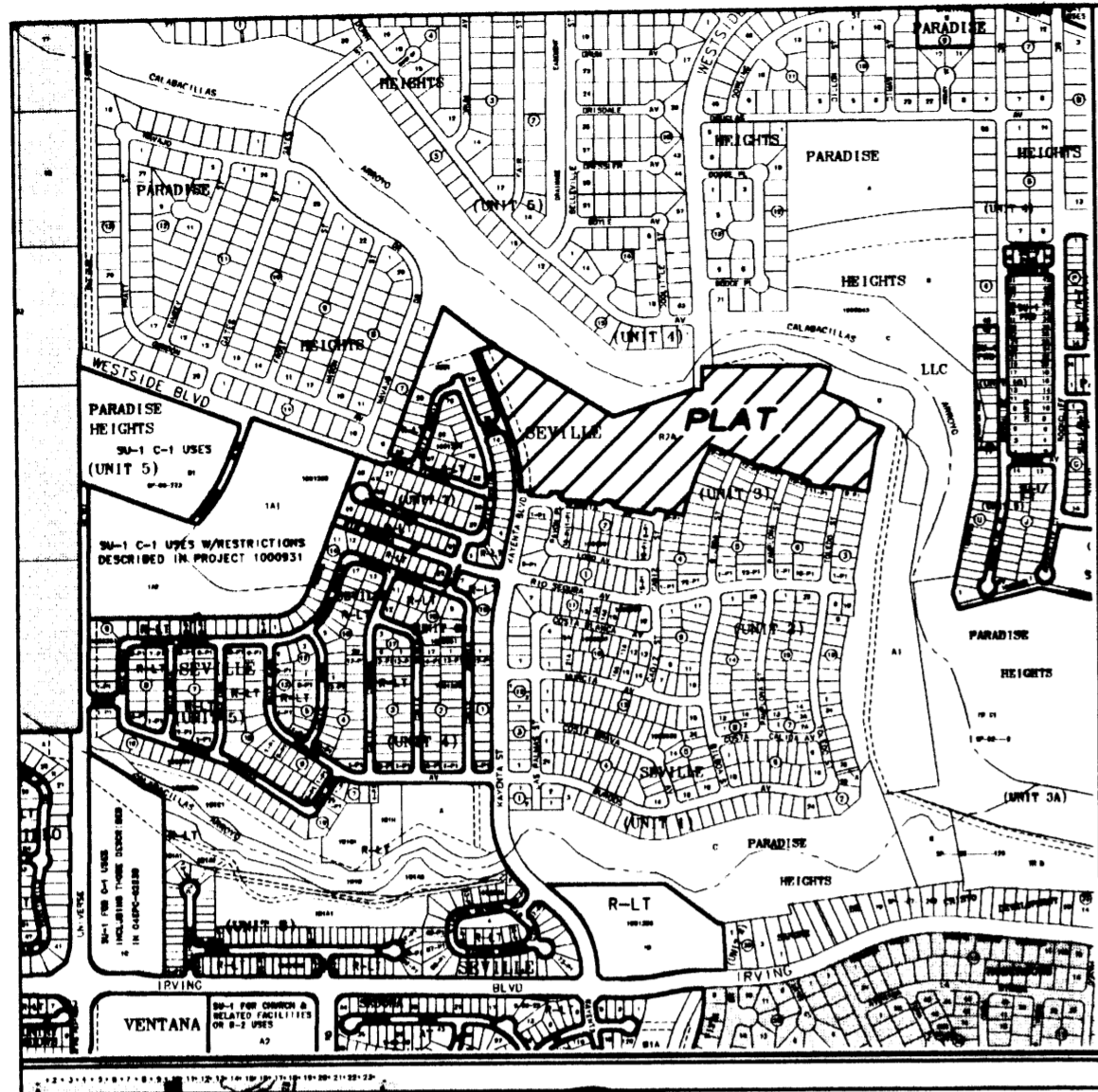
DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF PLAT

The Purpose of this plat is to:

- Create the 106 residential lots as shown hereon.
- Dedicate the additional new public street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants
- Grant the new public utility easements as shown hereon.
- Show the easements vacated by 05DRB-00083 and 05DRB-00084.



Vicinity Map
N.T.S.

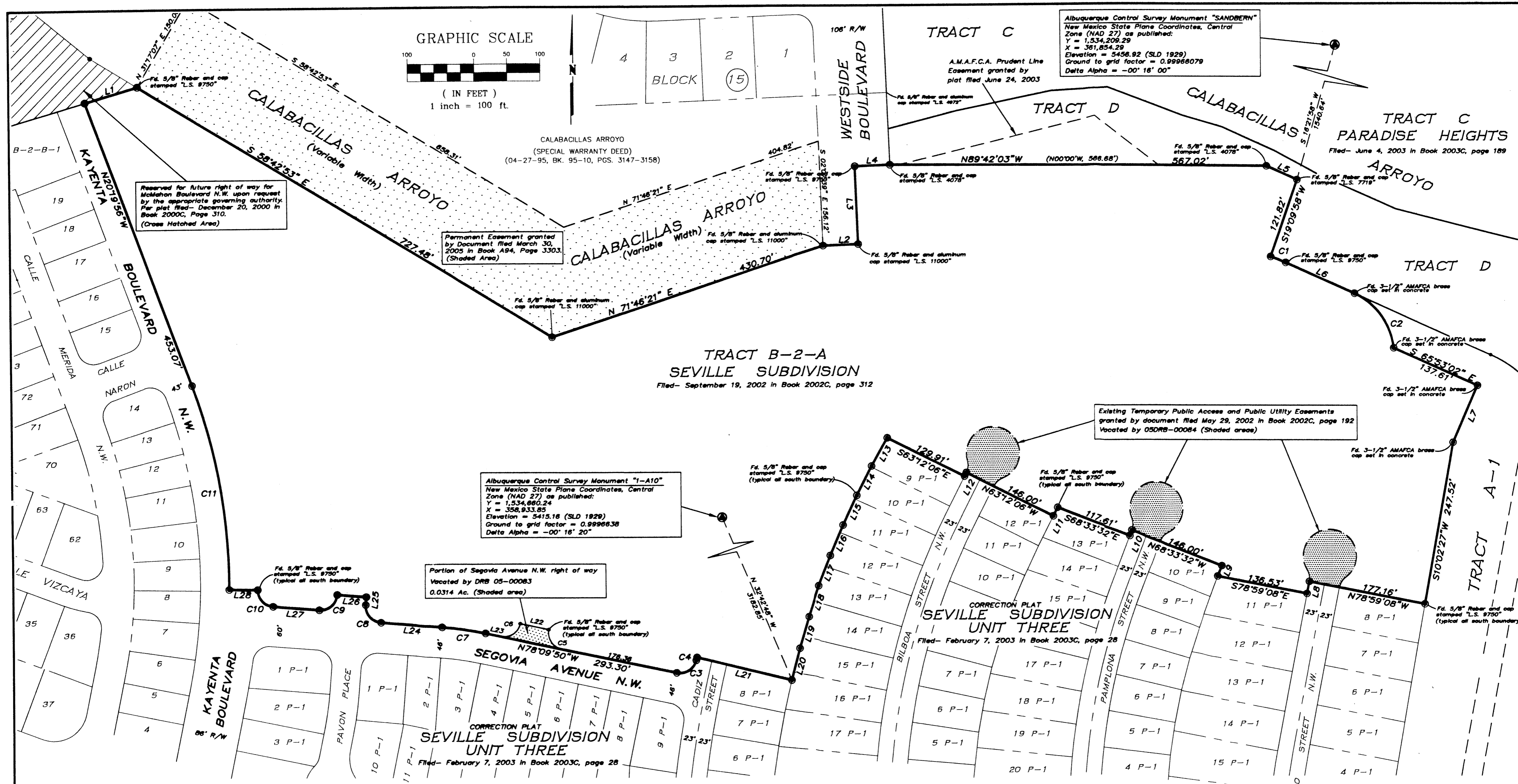
GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27) and rotated to grid at the Albuquerque Survey Control Monument "SANDBERN".
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page A-10.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus \odot . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Total number of existing Tracts: 1
- Total number of Lots created: 106
- Total number of Tracts created 3
- Gross Subdivision acreage: 23.5610 acres.
- Total mileage of full width streets created: 0.64 mile.
- Current Zoning is R-1.
- Minimum Lot size is 5,000 square feet.
- Minimum Lot width is 50' feet.
- U.C.L.S. Log Number 2004422459.

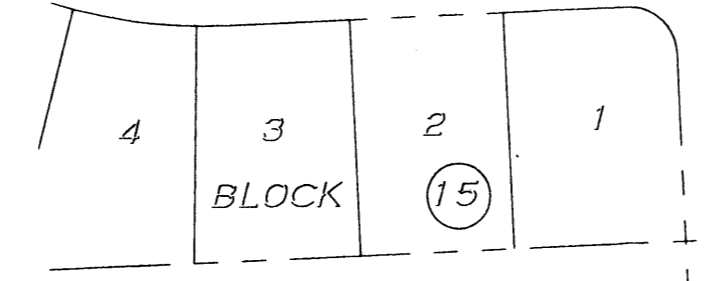
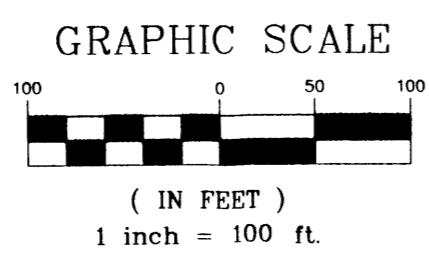
SHEET INDEX

- | | |
|----------------|---|
| SHEET 1 OF 6 - | Approvals, General Notes, Etc... |
| SHEET 2 OF 6 - | Legal Description, Free consent and dedication Overall Bulk Plat Boundary |
| SHEET 3 OF 6 - | West 1/3 of Unit 3-A Subdivision Plat |
| SHEET 4 OF 6 - | South 1/3 of Unit 3-A Subdivision Plat |
| SHEET 5 OF 6 - | East 1/3 of Unit 3-A Subdivision Plat |
| SHEET 6 OF 6 - | Curve and Line Tables |





Albuquerque Control Survey Monument "SANDBERN"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y = 1,534,206.29
 X = 361,854.29
 Elevation = 5456.92 (SLD 1929)
 Ground to grid factor = 0.99968079
 Delta Alpha = -00' 16" 00"



Reserved for future right of way for
 McMahon Boulevard N.W. upon request
 by the appropriate governing authority.
 Plat filed - December 20, 2000 in
 Book 2000C, Page 310.
 (Cross Hatched Area)

Permanent Easement granted
 by Document filed March 30,
 2005 in Book A94, Page 3303.
 (Shaded Area)

Existing Temporary Public Access and Public Utility Easements
 granted by document filed May 29, 2002 in Book 2002C, page 192
 Vacated by OSDRB-00084 (Shaded area)

Albuquerque Control Survey Monument "1-A10"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y = 1,534,680.24
 X = 356,933.85
 Elevation = 5415.16 (SLD 1929)
 Ground to grid factor = 0.9996638
 Delta Alpha = -00' 16" 20"

Portion of Segovia Avenue N.W. right of way
 Vacated by DRB 05-00083
 0.0314 Ac. (Shaded area)

CORRECTION PLAT
 SEVILLE SUBDIVISION
 UNIT THREE
 Filed - February 7, 2003 in Book 2003C, page 28

CORRECTION PLAT
 SEVILLE SUBDIVISION
 UNIT THREE
 Filed - February 7, 2003 in Book 2003C, page 28

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Alameda Grant in projected Section 3, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract B-2-A, SEVILLE as the same is shown and designated on the plat entitled, "BULK LAND PLAT OF TRACTS 1-A-1, 1-A-2, 1-B-1-A THRU 1-B-1-H, 1-B-2-A, B-2-A AND B-2-B, SEVILLE (BEING A REPLAT OF TRACTS 1-A, 1-B-1, 1-B-2, SEVILLE AND TRACT B-2, PARADISE HEIGHTS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 19, 2002 in Plat Book 2002C, Page 312.
 Said parcel contains 23.5610 acres, more or less.

FREE CONSENT AND DEDICATION

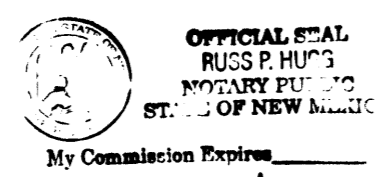
SURVEYED and REPLATED and now comprising, SEVILLE SUBDIVISION UNIT 3-A (BEING A REPLAT OF TRACT B-2-A, SEVILLE) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional and new street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby convey Tracts B-2-A-2 and B-2-A-3 as shown hereon to the City of Albuquerque Open Space in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

SEVILLE SUBDIVISION UNIT 3-A

(BEING A REPLAT OF TRACT B-2-A, SEVILLE)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2005

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS
 The foregoing instrument was acknowledged before me this 10TH
 day of FEBRUARY 2005, by Stan Strickman.
 Notary Public



Owner of Tract B-2-A
 Curb West, Inc.
 Stan Strickman, Vice President



040484P_SHT2_3-25-05.DWG

SURV TEK, INC.
 Consulting Surveyors
 9384 Valley View Dr. N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366
 Fax: 505-897-3377

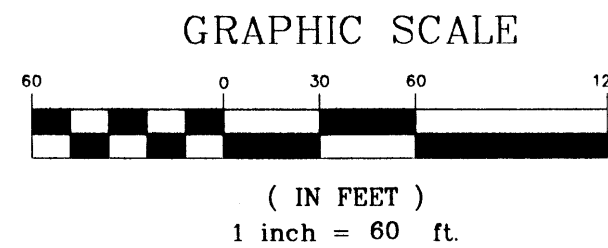
SEVILLE SUBDIVISION UNIT 3-A

(BEING A REPLAT OF TRACT B-2-A, SEVILLE)

WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2005

- NOTES:**
1. A 10' Public Utility Easement is hereby granted by this plat along the front of each lot as shown and designated hereon.
 2. All Public Street right of ways as shown hereon are hereby dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat.



Reserved for future right of way for McKelton Boulevard N.W. upon request by the appropriate governing authority. Per plat filed - December 20, 2000 in Book 2000C, Page 310. (Cross Hatched Area)

Permanent Easement granted by Document filed March 30, 2005 in Book A94, Page 3303.

20' Private Access Easement granted to New Mexico Utilities, Inc. by this plat. Maintenance of said easement to be the responsibility of NMU.

Permanent Easement granted by Document filed March 30, 2005 in Book A94, Page 3303.

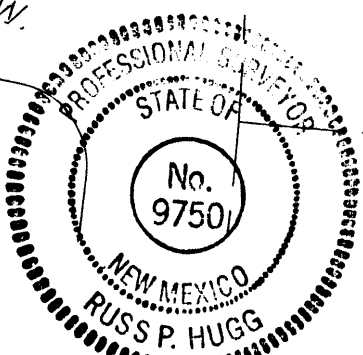
NOTE:
 Tracts B-2-A-2 and B-2-A-3 are hereby conveyed to the City of Albuquerque Open Space in Fee Simple with warranty covenants by this plat. (See free consent and dedication)

20' Public Sanitary Sewer Easement to be granted to New Mexico Utilities, Inc. by this plat.

Additional Public Street Right of way for Kayenta Boulevard to be dedicated to the City of Albuquerque in fee simple with warranty covenants by this Plat. (Cross hatched area - 0.7835 Ac.)

Existing 10'x20' Open Space Corporation Utility Easement granted by plat filed September 19, 2002.

Found Centerline Monument stamped "L.S. 9750" (typical)

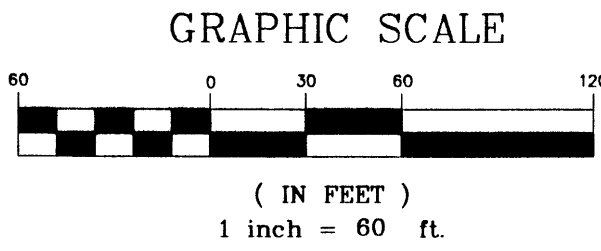


SEVILLE SUBDIVISION UNIT 3-A

(BEING A REPLAT OF TRACT B-2-A, SEVILLE)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2005 CALABACILLAS ARROYO
(SPECIAL WARRANTY DEED)
(04-27-95, BK. 95-10, PGS. 3147-3158)



CALABACILLAS

ARROYO

TRACT C

TRACT D

TRACT B-2-A-
0.3223 Ac.

AS

ARROYO

Permanent Easement granted by Document filed March 30, 2005 in Book A94, Page 3303.

NOTE:

Tracts B-2-A-2 and B-2-A-3 are hereby conveyed to the City of Albuquerque Open Space in Fee Simple with warranty covenants by this plat. (See free consent and dedication)

20' Public Sanitary Sewer Easement to be granted to New Mexico Utilities, Inc. by this plat.

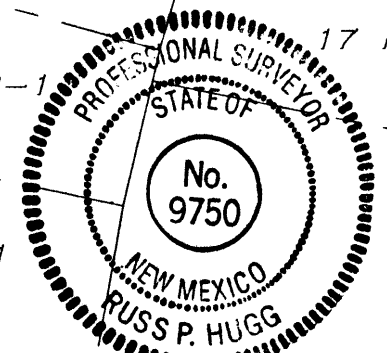
30' Public Sanitary Sewer Easement to be granted to New Mexico Utilities, Inc. by this plat.



CORRECTION PLAT SEVILLE SUBDIVISION UNIT THREE

Filed- February 7, 2003 in Book 2003C, page 28

- NOTES
1. A 10' Public Utility Easement is hereby granted by this plat along the front of each lot as shown and designated hereon.
 2. All Public Street right of ways as shown hereon are hereby dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat.



SURV TEK, INC.
Consulting Surveyors
8384 Valley View Dr. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3386 Fax: 505-897-3377

SEE SHEET 3

SEE SHEET 5

SEVILLE SUBDIVISION UNIT 3-A

(BEING A REPLAT OF TRACT B-2-A, SEVILLE)

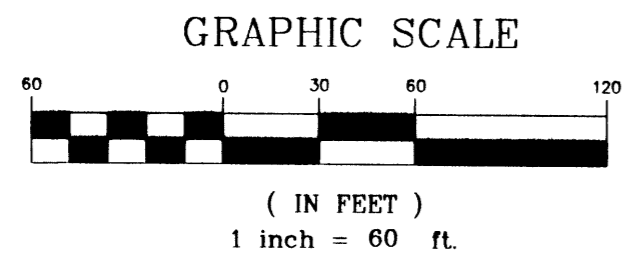
WITHIN
THE TOWN OF ALAMEDA GRANT
 IN
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2005

TRACT C
PARADISE HEIGHTS
 Filed- June 4, 2003 in Book 2003C, page 189

TRACT D
PARADISE HEIGHTS
 Filed- June 4, 2003 in Book 2003C, page 189

TRACT A-1
 (LANDS OF A.M.A.F.C.A.)
 Filed- Dec. 20, 2000
 in Book 2000C, Page 310



CALABACILLAS ARROYO

TRACT D

TRACT C

TRACT B-2-A-3

TRACT B-2-A-3

CORRECTION PLAT
SEVILLE SUBDIVISION
UNIT THREE

Filed- February 7, 2003 in Book 2003C, page 28



- NOTES**
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 2. All Public Street right of ways as shown hereon are hereby dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat.

NOTE:
 Tracts B-2-A-2 and B-2-A-3 are hereby conveyed to the City of Albuquerque Open Space in Fee Simple with warranty covenants by this plat. (See free consent and dedication)

Various survey notes and easement descriptions scattered throughout the plat, including:
 - Fd. 5/8" Rebar and cap stamped "L.S. 4078"
 - Fd. 5/8" Rebar and cap stamped "L.S. 9750"
 - Fd. 3-1/2" AMAFCA brass cap set in concrete
 - Found Centerline Monument stamped "L.S. 9750" (typical)
 - Found Centerline Monument stamped "L.S. 9750" (typical) (Typical all South boundary corners)

SHEET 5 OF 6

SURVOTEK, INC.
 Consulting Surveyors
 2864 Valley View Dr. N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377

SEVILLE SUBDIVISION UNIT 3-A

(BEING A REPLAT OF TRACT B-2-A, SEVILLE)

WITHIN THE TOWN OF ALAMEDA GRANT

PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2005

LINE TABLE

Table with columns: LINE, LENGTH, BEARING. Lists lines L1 through L72 with their respective lengths and bearings.

CURVE TABLE

Table with columns: CURVE, LENGTH, RADIUS, TANGENT, CHORD, CHORD BEARING, DELTA. Lists curves C1 through C99 with their geometric data.

CURVE TABLE

Table with columns: CURVE, LENGTH, RADIUS, TANGENT, CHORD, CHORD BEARING, DELTA. Lists curves C100 through C146 with their geometric data.

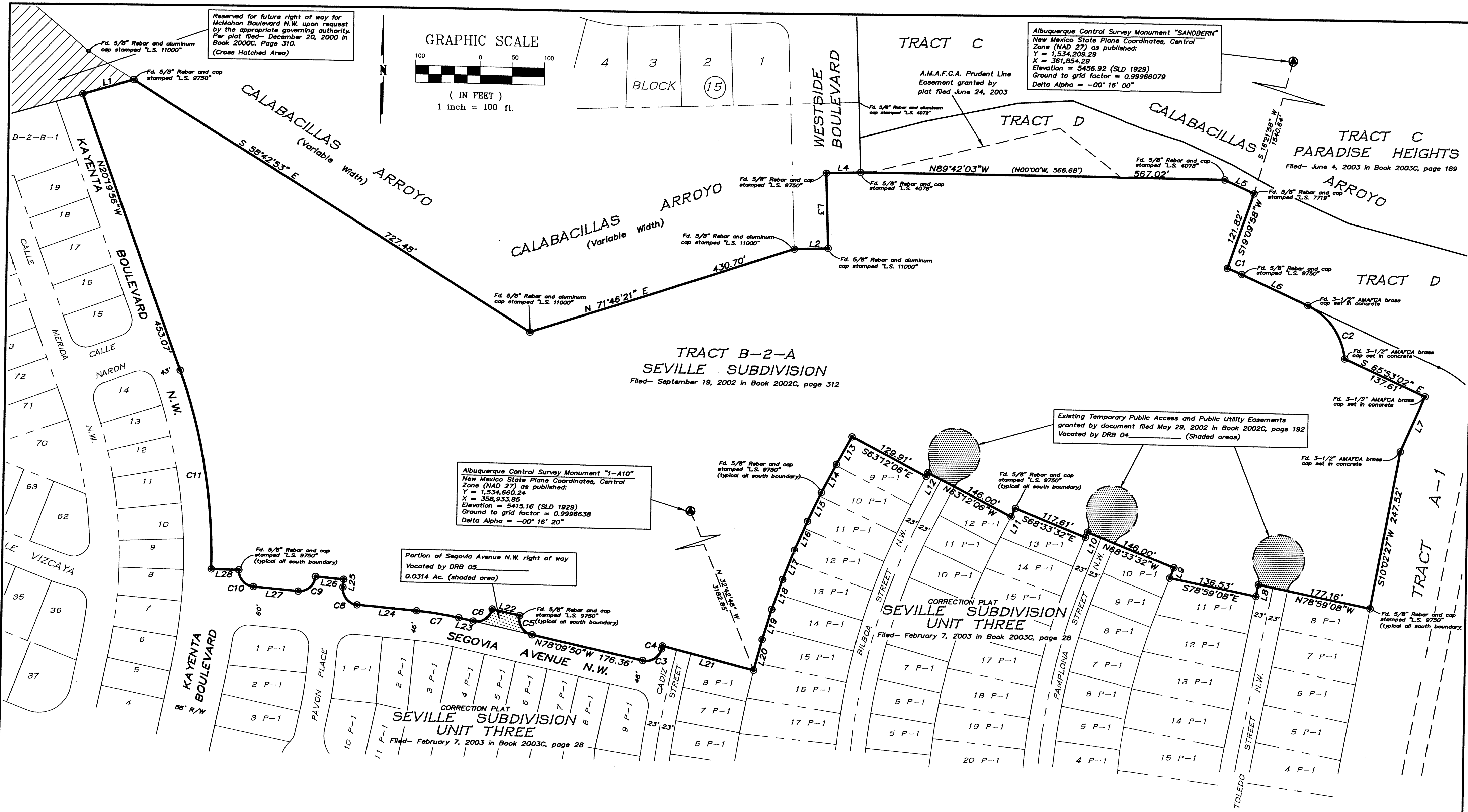
2665857484 626392 Page: 6 of 6 04/27/2005 10:14A BK-2085C Pg-128



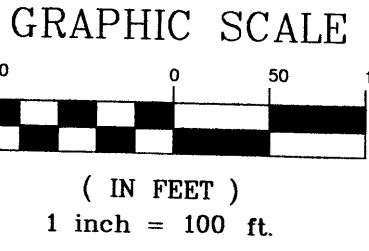
SHEET 6 OF 6

SURVOTEK, INC.

Consulting Surveyors Phone: 505-897-3366 6904 Valley View Dr. N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377



Reserved for future right of way for McMahon Boulevard N.W. upon request by the appropriate governing authority. For plat filed—December 20, 2000 in Book 2000C, Page 310. (Cross Hatched Area)



Albuquerque Control Survey Monument "SANDBERN"
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 Delta Alpha = -00° 16' 00"

Albuquerque Control Survey Monument "1-A10"
 New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:
 Y = 1,534,600.24
 X = 358,933.85
 Elevation = 5415.16 (SLD 1929)
 Ground to grid factor = 0.9996638
 Delta Alpha = -00° 16' 20"

Existing Temporary Public Access and Public Utility Easements granted by document filed May 29, 2002 in Book 2002C, page 192 Vacated by DRB 04 (Shaded areas)

Portion of Segovia Avenue N.W. right of way Vacated by DRB 05 0.0314 Ac. (shaded area)

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Alameda Grant in projected Section 3, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract B-2-A, SEVILLE as the same is shown and designated on the plat entitled, "BULK LAND PLAT OF TRACTS 1-A-1, 1-A-2, 1-B-1-A THRU 1-B-1-H, 1-B-2-A, B-2-A AND B-2-B, SEVILLE (BEING A REPLAT OF TRACTS 1-A, 1-B-1, 1-B-2, SEVILLE AND TRACT B-2, PARADISE HEIGHTS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 19, 2002 in Plat Book 2002C, Page 312.

Said parcel contains 23.5302 acres, more or less.

VACATION EXHIBIT
TRACT B-2-A
SEVILLE SUBDIVISION
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2005

SURVOTEK, INC.
 Consulting Surveyors
 5645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366
 Fax: 505-897-3377

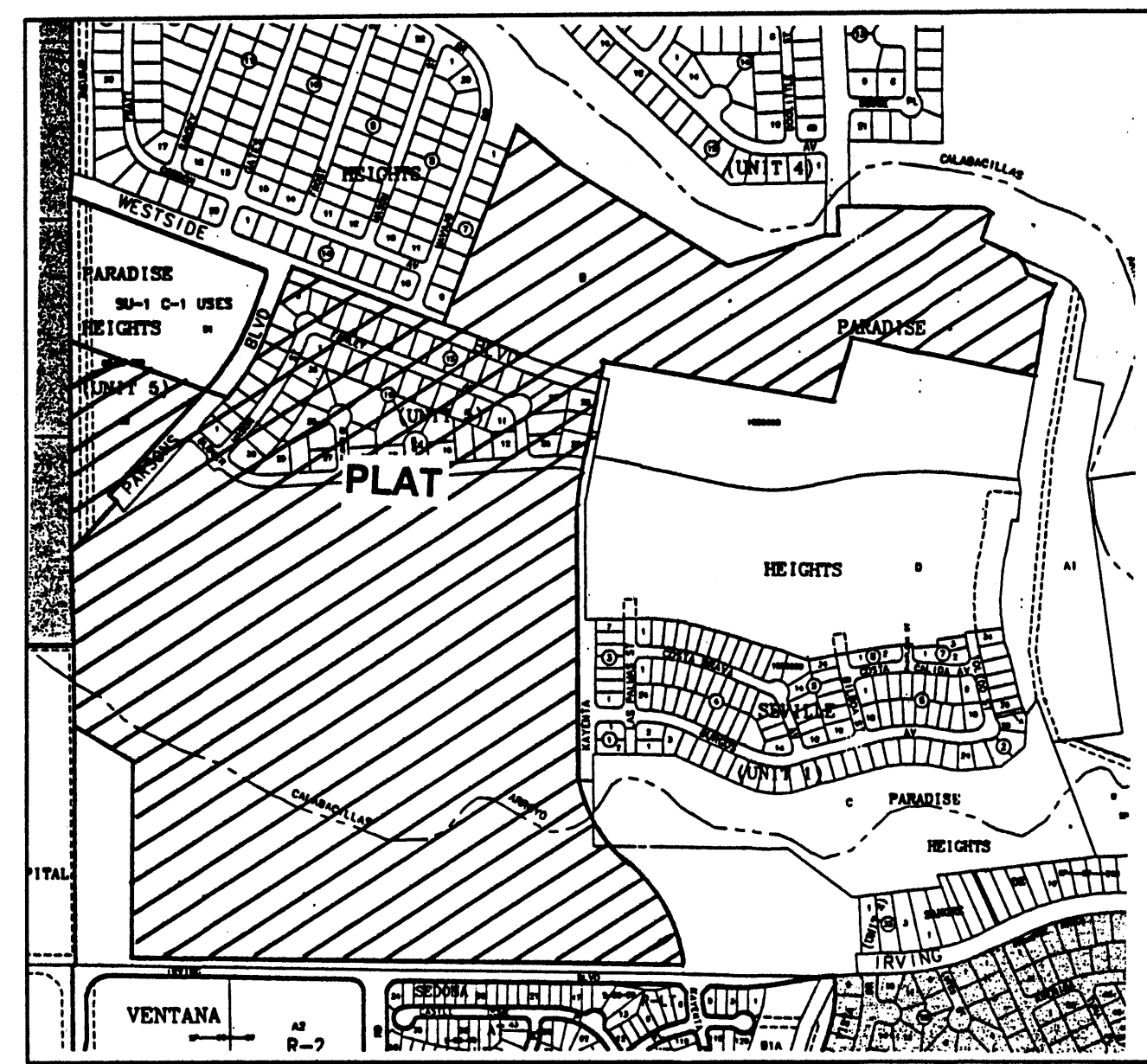
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Page: 1 of 7
09/19/2002 03:16P
Bk-2682C Pg-312
Mary Herrera Bern. Co. PLAT R 37.00

BULK LAND PLAT OF
TRACTS 1-A-1, 1-A-2, 1-B-1-A THRU 1-B-1-H,
1-B-2-A, B-2-A AND B-2-B
SEVILLE

(BEING A REPLAT OF TRACTS 1-A, 1-B-1, 1-B-2, SEVILLE
AND TRACT B-2, PARADISE HEIGHTS)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JULY, 2002



Vicinity Map
N.T.S.

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27) and related to grid at the Albuquerque Survey Control Monument "2-B10".
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 5823" or "HUGG L.S. 9750" or "HUGG L.S. 11808" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page A-10.
- Total number of Existing Tracts = 4
- Total number of New Tracts created = 13
- Gross Subdivision acreage: 155.3543 acres.
- U.C.L.S. Log Number 2002311788.

DISCLOSURE STATEMENT

The purpose of this Bulkland Plat is to:

- Amend the Southerly line of existing Tract 1-B-2 as shown hereon.
- Create the Thirteen (13) Bulk Parcels shown hereon to facilitate platting of future Seville Units.
- To create Tract 1-B-1B for future dedication to A.M.A.F.C.A as Drainage right of way. Dedication of said Tract will occur upon subsequent future platting actions. (See additional Note on Sheet 2)
- Grant the additional Public Utility Easements as shown hereon.
- Create Tracts 1-B-1-G and 1-B-1-H to satisfy that certain "Park Dedication and Real Estate Sale Agreement between the City of Albuquerque, as buyer and Curb West, Inc., as seller", effective date July 12, 2002.

SHEET INDEX

- SHEET 1 OF 7 - Approvals, General Notes, Ect...
- SHEET 2 OF 7 - Legal Description, Free consent and dedication
- SHEET 3 OF 7 - Curve and Line Tables
- SHEET 4 OF 7 - Overall Bulk Plat Boundary
- SHEET 5 OF 7 - Enlargement of Plat at the Southwest corner
- SHEET 6 OF 7 - Enlargement of Plat at the Northwest corner
- SHEET 7 OF 7 - Enlargement of Plat at the Northeast corner

MASTER_BULK.DWG

001232

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

1	010	066	075	211	301	03
1	010	066	067	126	301	01
1	010	066	168	119	301	04

Curb West Inc
Danny Vigil Sr 20 Sept 02
Bernalillo County Treasurer Date

APPROVALS

Paul Phill 8-27-02
PNM Electric Services Date

Paul Phill 8-27-02
PNM Gas Services Date

Dan R Muller 8-27-02
Qwest Date

Rita Eickes 8/13/02
Comcast Date

[Signature] 7-22-02
New Mexico Utilities, Inc. Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Communications for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service. Across said easement, but not parallel with.
- Curb West, Inc. for the installation, maintenance and service of such lines, cables, equipment and other related facilities reasonably necessary to provide electrical, telephone and television services including but not limited to ground pedestals and closures.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

APPROVALS

Paul Dunch 9-04-02
Traffic Engineer, City of Albuquerque
Public Works Department Date

[Signature] 8-7-02
City Surveyor, City of Albuquerque
Public Works Department Date

Roger J Sheen 9/4/02
Utility Development Division, City of
Albuquerque Public Works Department Date

Martin W. Eckert 9-12-02
Albuquerque Metropolitan Arroyo Flood
Control Authority Date

Brad L. Bingham 9/12/02
City Engineer, City of Albuquerque
Public Works Department Date

N/A
Property Management, City of Albuquerque Date

Christina Sandoval 9/4/02
Parks and Recreation, City of Albuquerque Date

APPROVAL as specified by the Albuquerque Subdivision Ordinance.
[Signature] 9/18/02
Chair, Albuquerque Development Review Board Date

PROJECT NO. 1001306

APPLICATION NO. 02DRB-01250
02DRB-01381 (P&F)

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMPS No. 9750
July 29, 2002



SHEET 1 OF 7

SURVOTEK, INC.

Consulting Surveyors
6645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377



BULK LAND PLAT OF TRACTS 1-A-1, 1-A-2, 1-B-1-A THRU 1-B-1-H, 1-B-2-A, B-2-A AND B-2-B SEVILLE

(BEING A REPLAT OF TRACTS 1-A, 1-B-1, 1-B-2, SEVILLE AND TRACT B-2, PARADISE HEIGHTS)

WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

JULY, 2002

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Alameda Grant in projected Section 3, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising the following: All of Tract 1-A, Seville as the same is shown and designated on the plat entitled "SECOND CORRECTION PLAT, BULKLAND PLAT OF TRACTS 1-A, 1-B, 1-C AND 1-D, SEVILLE (BEING A REPLAT OF PARCEL 1, LANDS OF F. OTTO AND DOROTHY W. HASS; TRACT B-2, BLOCKS 15 AND 16, VACATED PARSONS BLVD. N.W., FARLEY AVENUE N.W., MASON STREET N.W., GLOVER AVENUE N.W., GLOVER COURT N.W., GLOVER PL. N.W., VACATED PORTIONS OF IVY STREET N.W., PARSONS BLVD. N.W., AND WESTSIDE BLVD. N.W., ALL WITHIN PARADISE HEIGHTS, UNIT 5) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 8, 2002 in Plat Book 2002C, Page 109; All of Tracts 1-B-1 and 1-B-2, SEVILLE as the same are shown and designated on the plat entitled "CORRECTION PLAT, BULKLAND PLAT OF TRACTS 1-B-1 AND 1-B-2, SEVILLE (BEING A REPLAT OF TRACT 1-B, SEVILLE) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 8, 2002 in Plat Book 2002C, Page 108 and All of Tract B-2, Paradise Heights as the same is shown and designated on the plat entitled "BULKLAND PLAT OF TRACTS B-1 AND B-2, PARADISE HEIGHTS (BEING A REPLAT OF TRACT B, PARADISE HEIGHTS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 29, 2002 in Plat Book 2002C, Page 192

Said parcel contains 155.3543 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, "BULK LAND PLAT OF TRACTS 1-A-1, 1-A-2, 1-B-1A THRU 1-B-1F, 1-B-2A, B-2A AND B-2B, SEVILLE (BEING A REPLAT OF TRACTS 1-A-1, 1-B-1, 1-B-2, SEVILLE AND TRACT B-2, PARADISE HEIGHTS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER OF TRACTS 1-A-2, 1-B-1-A THRU 1-B-1-E, 1-B-1-G, 1-B-1-H 1-B-2-A, B-2-A AND B-2-B

WESTFORK, LIMITED

By Stan Strickman, Vice President Trails Management, Inc. General Partner

OWNER OF TRACT 1-A-1, 1-B-1-F AND 1-B-2-A

CURB WEST, INC.

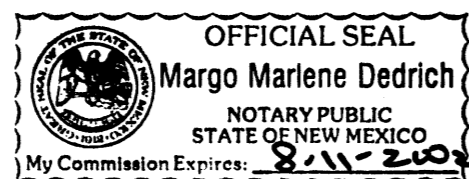
By Stan Strickman, Vice President

ACKNOWLEDGEMENT

STATE OF NEW MEXICO COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 7th day of August, 2002, by Stan Strickman as Vice President of Trails Management, Inc.

Margo Marlene Dedrich My commission expires 8-11-2002 Notary Public



STATE OF NEW MEXICO COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 7th day of August, 2002, by Stan Strickman as Vice President of Curb West, Inc.

Margo Marlene Dedrich My commission expires 8-11-2002 Notary Public

DISCLOSURE STATEMENT

The purpose of this Bulkland Plat is to:

To create Tract 1-B-1-B for future dedication to A.M.A.F.C.A as Drainage right of way, which will be dedicated to A.M.A.F.C.A. by subsequent platting actions and to grant a Prudent Line Easement to A.M.A.F.C.A. for the Prudent Line within Tracts 1-B-1-A, 1-B-1-B, 1-B-1-C, 1-B-1-G, 1-B-1-H and 1-B-2-A as shown and designated hereon.

A.M.A.F.C.A. EASEMENT DEDICATION

Dedication to the ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY, Grantee, its successors and assigns, of lands, rights of way, and easements designated herein as "Prudent Line Easement" or "Drainage Easement" is with the full and free consent and in accordance with the desire of the undersigned owner, Grantor. This dedication is for drainage, flood control, conveyance and storage of storm water, and the construction, operation, maintenance, reconstruction or replacement of, and access to, such facilities, and for subordinate recreational use and access on such facilities. Except by the written approval of Grantee, no fence, wall, building or other obstruction may be placed or maintained on any property dedicated to Grantee hereby, and there shall be no alteration of the grades or contours in such property, except for approved grading that is shown on an approved grading and drainage plan. This dedication shall not obligate Grantee to maintain natural arroyos, drainage channels or other facilities that do not meet the standards of the Grantee for design and construction, nor shall this granting require the protection of property lying outside of the area dedicated. Grantee shall only maintain property and/or improvements that it specifically agrees, in writing, to maintain. Absent a written maintenance agreement, such responsibility shall remain with the Grantor, its successors and assigns. Landscaping or maintenance work by the Grantor within the property hereby dedicated shall not alter the present flowline, capacity or permeability of the present flood way area except in an emergency. If emergency work is performed, Grantor shall notify Grantee as soon as practical thereafter. Grantee will then determine if the emergency work can remain or must be removed or modified. Safe locations for structures built on lands adjacent to the property dedicated hereby may be substantially outside of the area described. Grantor covenants and warrants that it is the owner in fee simple of the property and that it has a good and lawful right to dedicate the right of way or easements interests described herein. Any portion of any land, right of way or easements granted herein shall revert to the Grantor, its successors or assigns, as and to the extent said portion is declared unnecessary for flood control or drainage by the Board of Directors of the Albuquerque Metropolitan Arroyo Flood Control Authority. Any reversion shall be conveyed by quitclaim deed. Vacation approval consistent with the City of Albuquerque or Bernalillo County Subdivision Ordinances will also be required.

WESTFORK, LIMITED

By Stan Strickman, Vice President Trails Management, Inc. General Partner

CURB WEST, INC.

By Stan Strickman, Vice President

NOTICE OF SUBDIVISION PLAT CONDITIONS

TRACTS 1-A-1, 1-A-2, 1-B-1-A THRU 1-B-1-H, 1-B-2-A, B-2-A AND B-2-B SEVILLE

The plat of Tracts 1-A-1, 1-A-2, 1-B-1-A THRU 1-B-1-H, 1-B-2-A, B-2-A AND B-2-B, SEVILLE has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

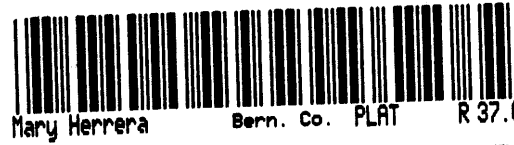
At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for Tracts 1-A-1, 1-A-2, 1-B-1-A THRU 1-B-1-H, 1-B-2-A, B-2-A AND B-2-B, SEVILLE filed in the office of the County Clerk of Bernalillo County, New Mexico on 7-19, 2002 in Book 2002C Page 302

942 56



SURV+TEK, INC. Consulting Surveyors 5645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3386 Fax: 505-897-3377



2002120396
5727569
Page: 3 of 7
09/19/2002 03:16P
BX-2602C Pg-312

**BULK LAND PLAT OF
TRACTS 1-A-1, 1-A-2, 1-B-1-A THRU 1-B-1-H,
1-B-2-A, B-2-A AND B-2-B
SEVILLE**

(BEING A REPLAT OF TRACTS 1-A, 1-B-1, 1-B-2, SEVILLE
AND TRACT B-2, PARADISE HEIGHTS)

**WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

JULY, 2002

LINE TABLE

Table with columns: LINE, LENGTH, BEARING. Lists 100 lines (L1 to L100) with their respective dimensions and bearings.

Table with columns: LINE, LENGTH, BEARING. Continues the list of lines from L101 to L201.

CURVE TABLE

Table with columns: CURVE, RADIUS, LENGTH, TANGENT, CHORD, BEARING, DELTA. Lists curves C1 through C70 with their geometric and directional properties.



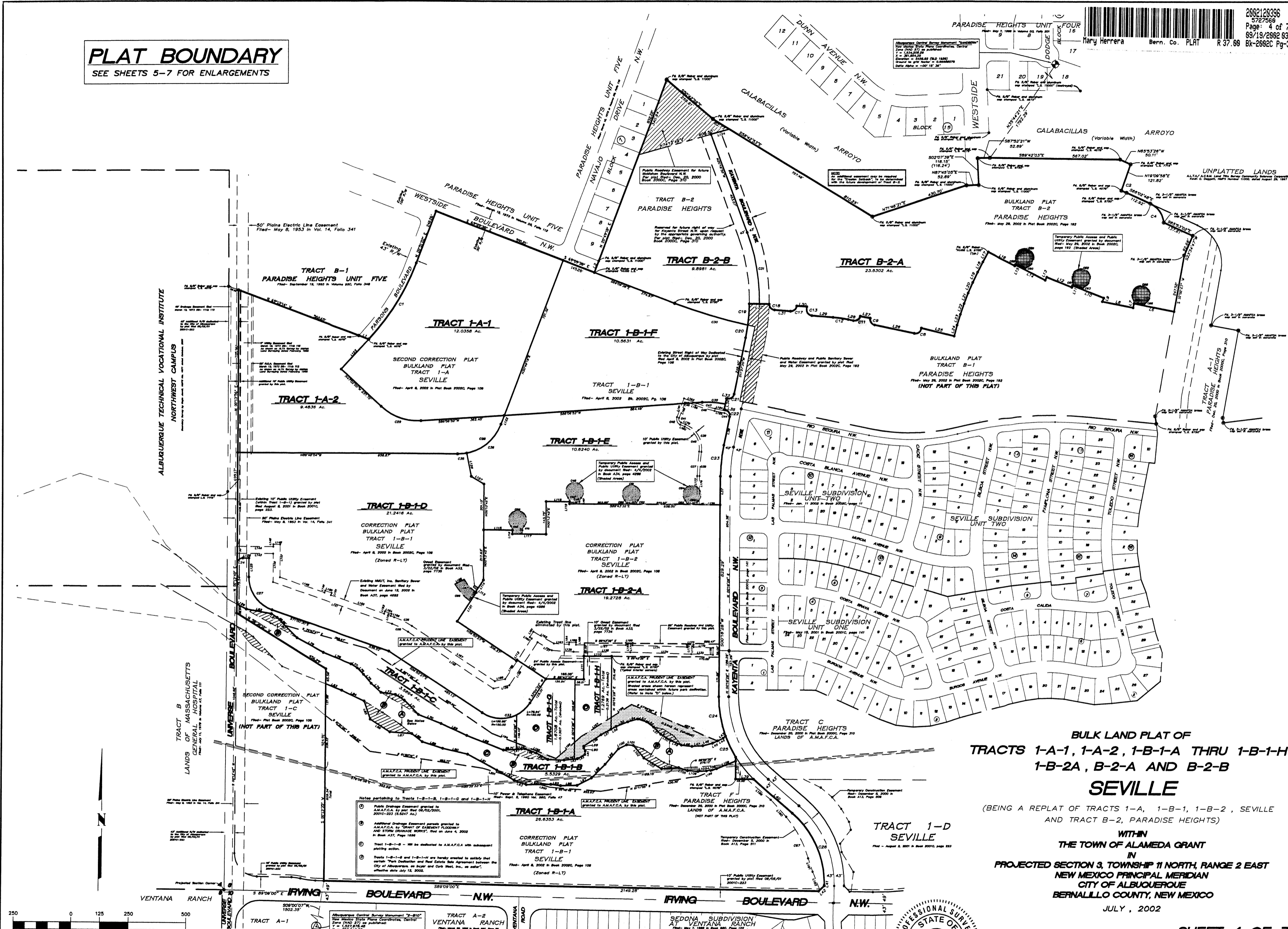
SURV TEK, INC.

Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114 Phone: 505-897-5366
Fax: 505-897-3377

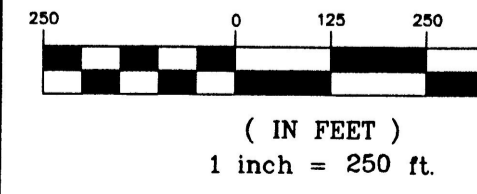
PLAT BOUNDARY

SEE SHEETS 5-7 FOR ENLARGEMENTS

2002120396
5727569
Page: 4 of 7
09/19/2002 03:16P
Mary Herrera Bern. Co. PLAT R 37.00 Bk-2682C Pg-312



BULK LAND PLAT OF
TRACTS 1-A-1, 1-A-2, 1-B-1-A THRU 1-B-1-H,
1-B-2A, B-2-A AND B-2-B
SEVILLE
(BEING A REPLAT OF TRACTS 1-A, 1-B-1, 1-B-2, SEVILLE
AND TRACT B-2, PARADISE HEIGHTS)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2002



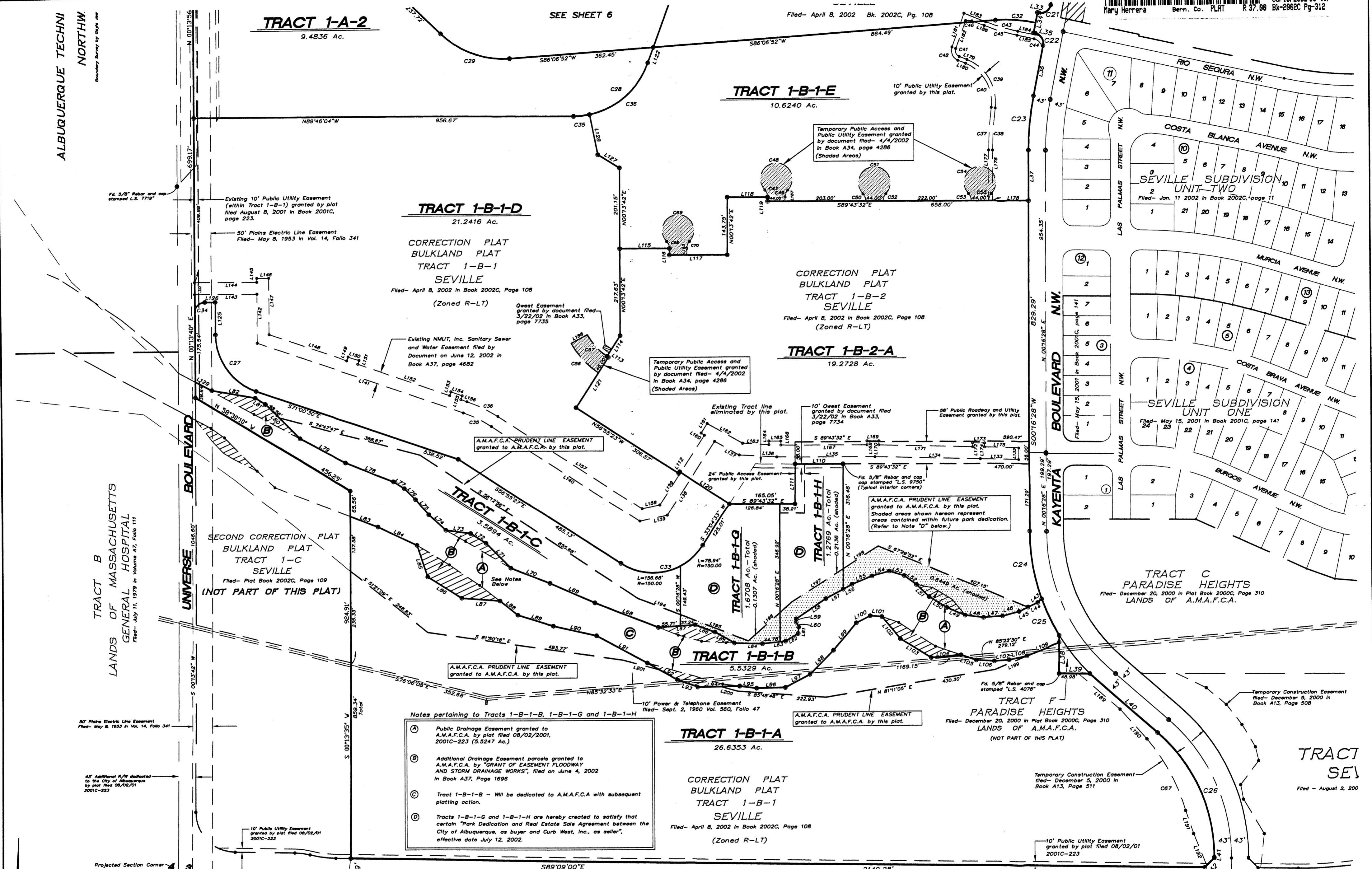
(IN FEET)
1 inch = 250 ft.

SEVILLEBULK_WEST.DWG



SURV TEK, INC.

Consulting Surveyors
6643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377



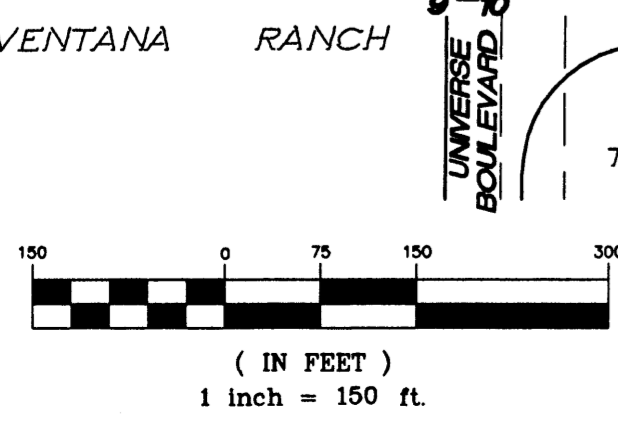
Notes pertaining to Tracts 1-B-1-B, 1-B-1-G and 1-B-1-H

(A) Public Drainage Easement granted to A.M.A.F.C.A. by plat filed 08/02/2001, 2001C-223 (5,524.7 Ac.)

(B) Additional Drainage Easement parcels granted to A.M.A.F.C.A. by "GRANT OF EASEMENT FLOODWAY AND STORM DRAINAGE WORKS", filed on June 4, 2002 in Book A37, Page 1696

(C) Tract 1-B-1-B - Will be dedicated to A.M.A.F.C.A. with subsequent platting action.

(D) Tracts 1-B-1-G and 1-B-1-H are hereby created to satisfy that certain "Park Dedication and Real Estate Sale Agreement between the City of Albuquerque, as buyer and Curb West, Inc., as seller", effective date July 12, 2002.



Albuquerque Control Survey Monument "2-B10"
New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:
Y = 1,527,976.48
X = 357,543.73
Elevation = 5429.35 (SLD 1929)
Ground to grid factor = 0.99966354
Delta Alpha = -00'16.30"



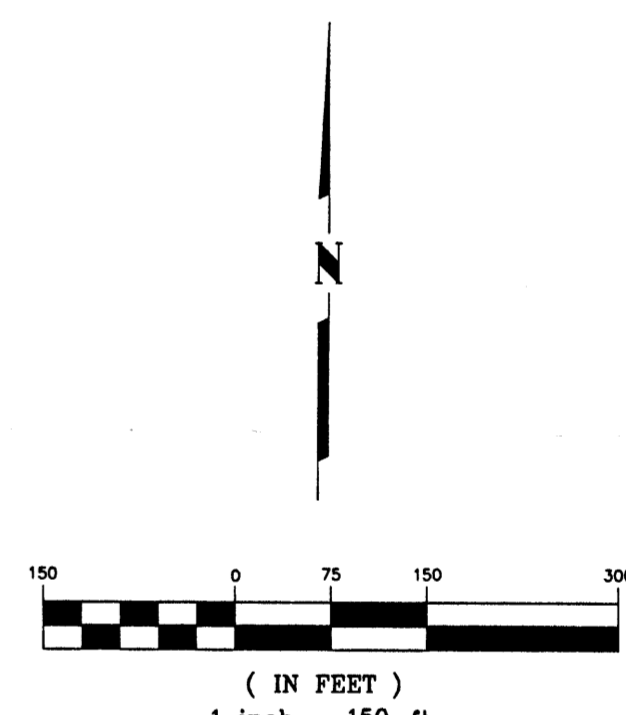
BULK LAND PLAT OF TRACTS 1-A-1, 1-A-2, 1-B-1-A THRU 1-B-1-H, 1-B-2A, B-2-A AND B-2-B SEVILLE

(BEING A REPLAT OF TRACTS 1-A, 1-B-1, 1-B-2, SEVILLE AND TRACT B-2, PARADISE HEIGHTS)

WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JULY, 2002

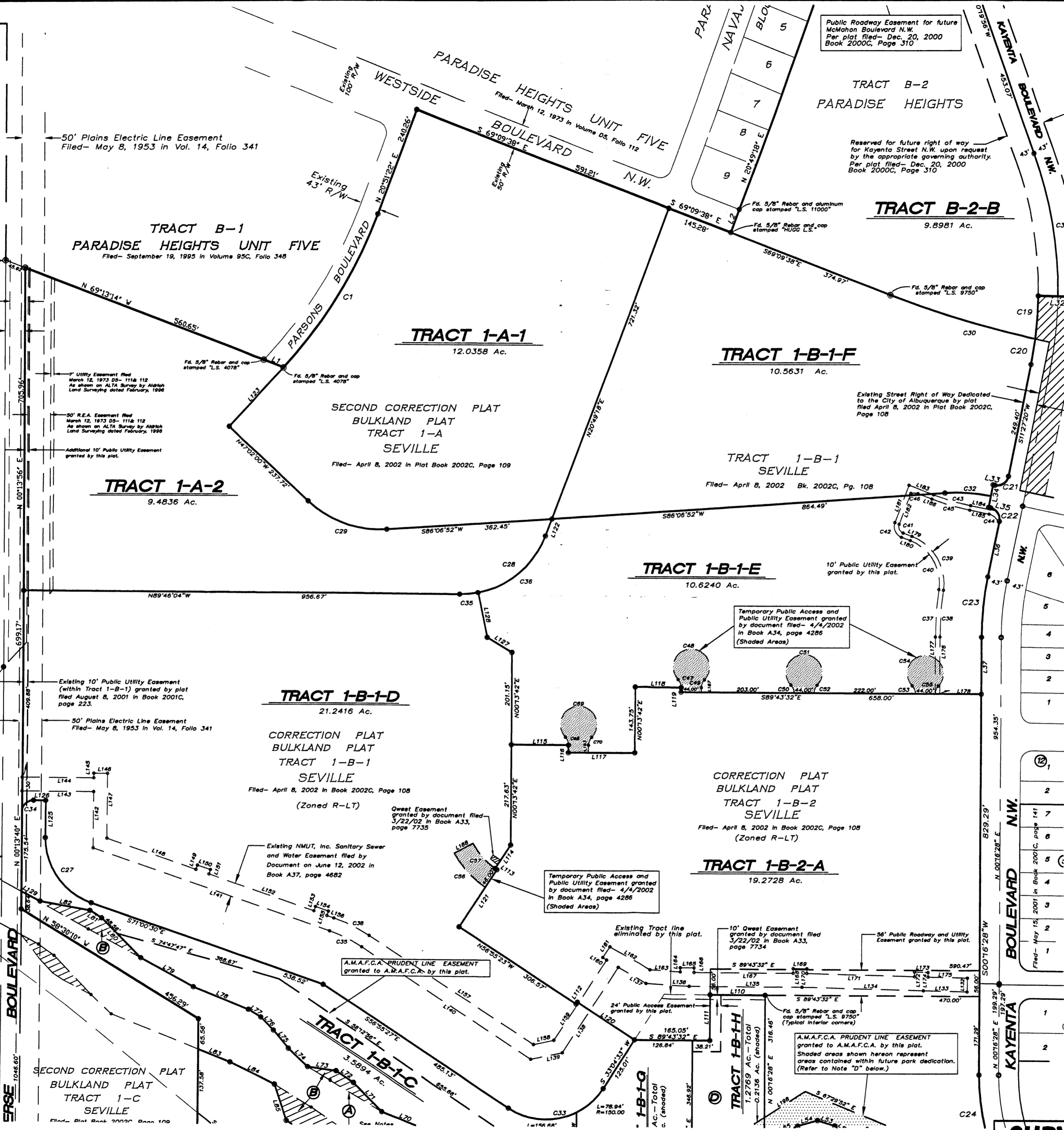
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Page: 6 of 7
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Mary Herrera Bern. Co. PLAT R 37.00 BK-2962C Pg-312

SEE SHEET 7



ALBUQUERQUE TECHNICAL VOCATIONAL INSTITUTE NORTHWEST CAMPUS

B MASSACHUSETTS HOSPITAL



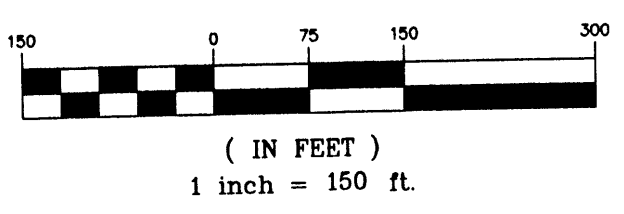
SEE SHEET 5

SHEET 6 OF 7

SURV TEK, INC.

Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3368
505-897-3377





BULK LAND PLAT OF TRACTS 1-A-1, 1-A-2, 1-B-1-A THRU 1-B-1-H, 1-B-2A, B-2-A AND B-2-B SEVILLE

(BEING A REPLAT OF TRACTS 1-A, 1-B-1, 1-B-2, SEVILLE AND TRACT B-2, PARADISE HEIGHTS)

WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JULY, 2002

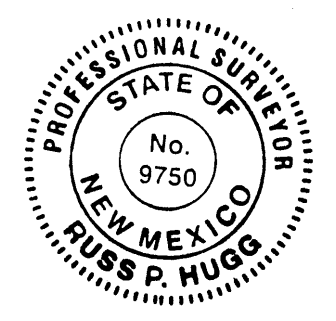
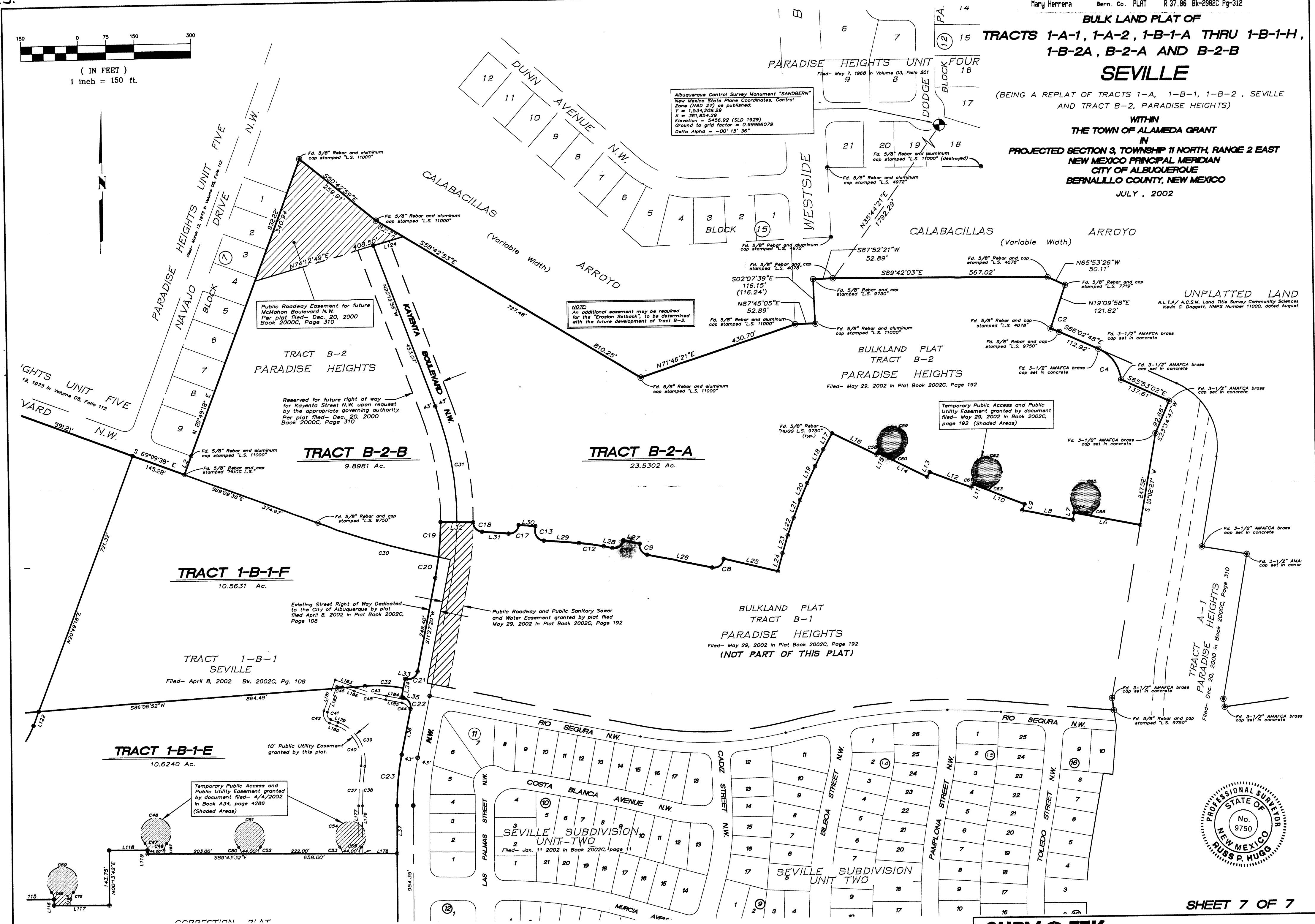
UNPLATTED LAND
A.L.T.A./A.C.S.M. Land Title Survey Community Sciences
Kevin C. Daggett, NMPS Number 11000, dated August

Albuquerque Control Survey Monument "SANDBERN"
New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:
Y = 1,534,209.29
Elevation = 3456.92 (SLO 1929)
Ground to grid factor = 0.99966079
Delta Alpha = -00° 15' 36"

NOTE:
An additional easement may be required for the "Erosion Setback", to be determined with the future development of Tract B-2.

Public Roadway Easement for future McMahon Boulevard N.W.
Per plat filed - Dec. 20, 2000 Book 2000C, Page 310

Temporary Public Access and Public Utility Easement granted by document filed - May 29, 2002 in Book 2002C, page 192 (Shaded Areas)



SURVTEK, INC.
Consulting Surveyors
6643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

SEE SHEET 6



RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
2-1	55.67	53.00	2.67	43.00
2-2	55.67/56.33	53.00	3.33	21.00
2-3	56.33/57.00	53.00/53.67	3.33-2.00	20.00
2-4	57.00	55.00		
3-1	51.67	50.33	1.33	43.00
3-2	51.67	50.33	1.33-4.00	33.00
3-2A	47.00	50.33/43.00	1.33-5.33	52.00
3-3	51.67/52.33	50.33/47.00	5.33-6.00	15.00
3-4	52.33	47.00/46.33	6.00	44.00
3-5	52.33	46.33/47.00	5.33	20.00
3-6	52.33	47.00	5.33	36.00
3-7	52.33	47.00/48.33	4.00	15.00
3-8	52.33	48.33	4.00	36.00
3-9	52.33	48.33/49.67	4.00-1.33	15.00
3-10	52.33	49.67		

5-1	42.67	39.33	3.33	50.00
5-2	42.67/43.33	39.33	4.00	28.00
5-3	43.33/44.00	39.33/38.00	6.00	72.00
5-4	44.00	38.00	6.00-2.67	48.00
5-5	44.00	41.33	2.67-1.33	50.00
5-6	44.00	42.67		
6-1	40.00	37.33	2.67	31.00
6-2	40.00/40.67	37.33/38.00	2.67	54.00
6-3	40.67	38.00		

AS-BUILT INFORMATION

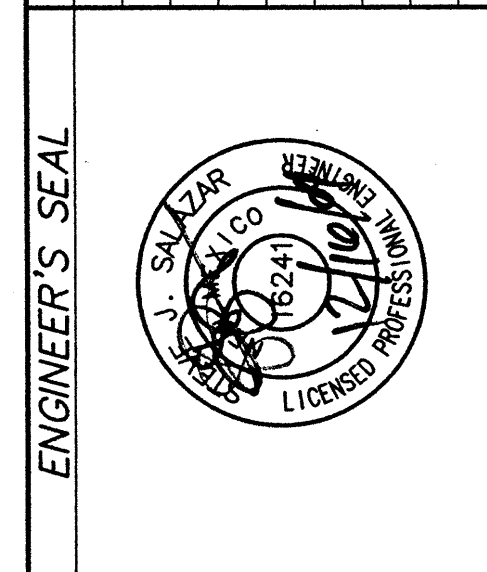
CONTRACTOR	DATE
WORKED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
DRAWING BY	DATE
RECORDING BY	DATE

BENCH MARKS

A.C.S. Survey Monument "SANDBERN"	
New Mexico State Plane Coord's, Central Zone (NAD 27) as published:	
Y = 1,534,209.29	
X = 361,854.29	
Elevation = 5456.92 (SLD 1929)	
Ground to grid factor = 0.99966079	

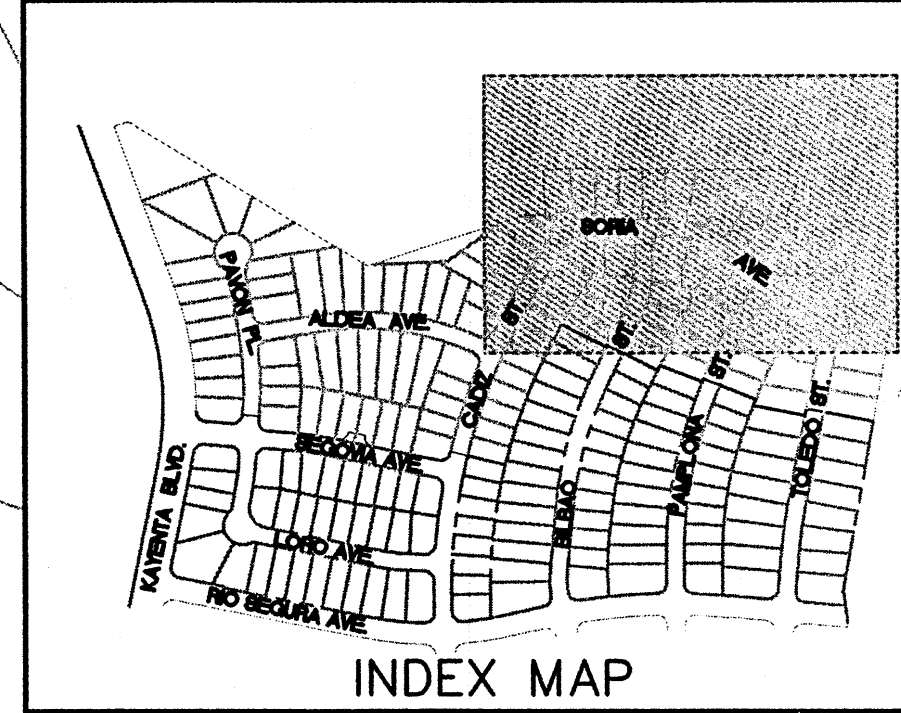
SURVEY INFORMATION

FIELD NOTES	DATE
PHOTOGRAMMETRY BY	3/22/99
T.R. MANN & ASSOC.	
FIELD SURVEYS BY	
SURV-TEK, INC.	



REVISIONS

NO.	DATE	REVISIONS	BY



WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021

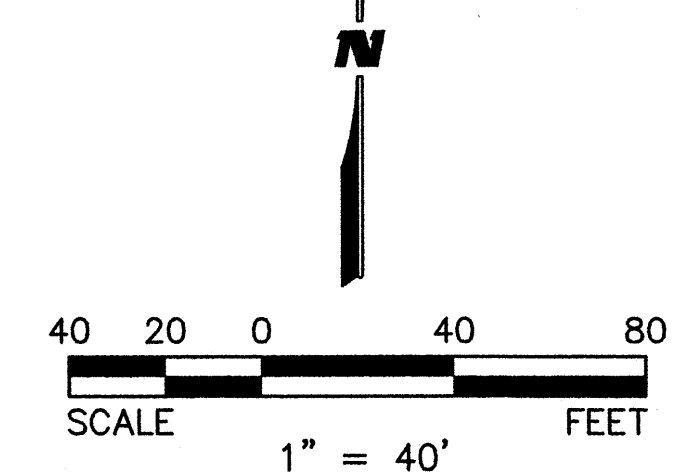
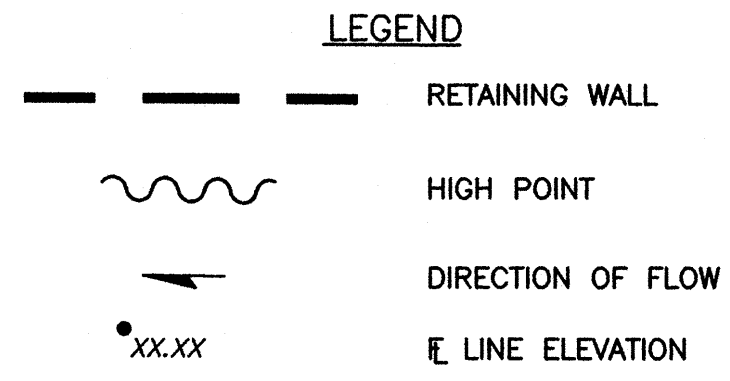
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

**SEVILLE SUBDIVISION - UNIT 3A
 GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **702082** Zone Map No. **A-10-Z** Sheet **9** Of **32**

NOTE:
 1. BACKYARD SLOPES ARE ALL 3:1 UNLESS OTHERWISE NOTED.
 2. LOTS SHOWN IN HATCHED AREA SHALL BE PLATTED ONCE PRUDENT LINE IS ELIMINATED.





RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
1-1	67.67	64.33	3.33	10.00
1-2	67.67	64.33	3.33	54.00
1-3	67.67	64.33	3.33	
2-1	55.67	53.00	2.67	43.00
2-2	55.67/56.33	53.00		
2-3	56.33/57.00	53.00/53.67	3.33-2.00	21.00
2-4	57.00	55.00		

BENCH MARKS

A.C.S. Survey Monument "SANDBERN"
 New Mexico State Plane Coord's, Central Zone (NAD 27) as published:
 X = 1,534,209.29
 Y = 361,854.29
 Elevation = 5456.92 (SLD 1929)
 Ground to grid factor = 0.99966079

SURVEY INFORMATION

FIELD NOTES

NO. BY DATE

PHOTOGRAMMETRY BY 11/2/99
 T.R. MANN & ASSOC.
 FIELD SURVEYS BY
 SURV-TEK, INC.

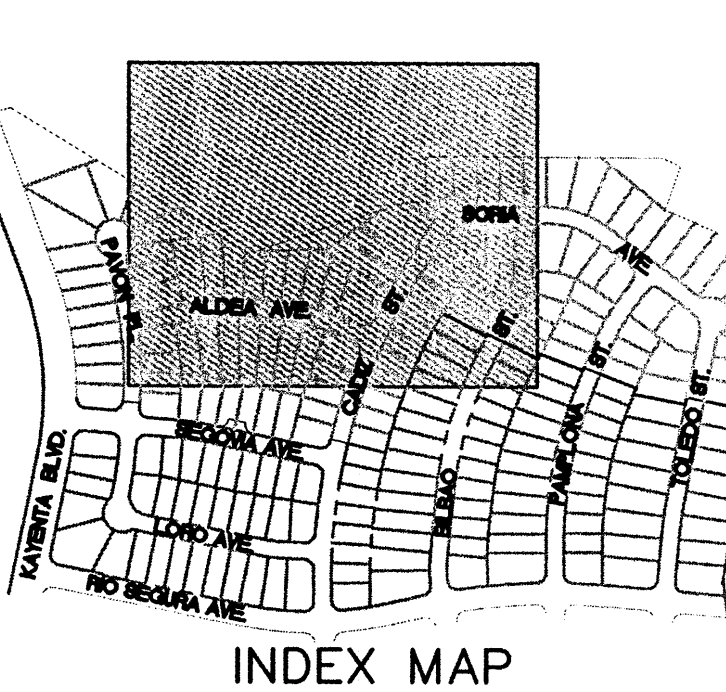
LEGEND

- RETAINING WALL
- ~ HIGH POINT
- DIRECTION OF FLOW
- xxx.xx E LINE ELEVATION

NOTE:

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40 20 0 40 80
 SCALE 1" = 40' FEET



WILSON & COMPANY 2600 THE AMERICAN ROAD S.E. SUITE 100
 RIO RANCHO, NEW MEXICO 87124
 (505) 898-8021

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

**SEVILLE SUBDIVISION - UNIT 3A
 GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **702082** Zone Map No. **A-10-Z** Sheet **10** Of **32**

AS-BUILT INFORMATION

CONTRACTOR: SANDBERN
 WORK: GRADING & DRAINAGE
 INSPECTOR'S ACCEPTANCE BY: [DATE]
 VERIFICATION BY: [DATE]
 DRAWN BY: [DATE]
 CHECKED BY: [DATE]

ENGINEER'S SEAL

SAUL J. WILSON
 16241
 LICENSED PROFESSIONAL ENGINEER

REVISIONS

NO.	DATE	REVISIONS	BY
	JDV	DATE SEPT. 04	
	SJS	DATE SEPT. 04	

WILSON & COMPANY, ENGINEERS & ARCHITECTS
 DESIGNED BY: [NAME] DATE: [DATE]
 DRAWN BY: [NAME] DATE: [DATE]
 CHECKED BY: [NAME] DATE: [DATE]



LEGEND

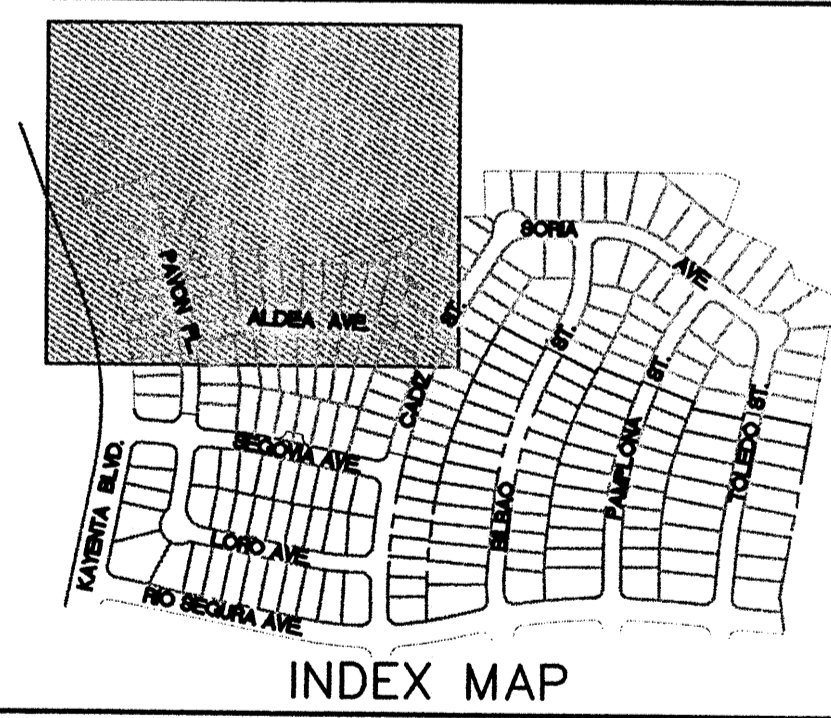
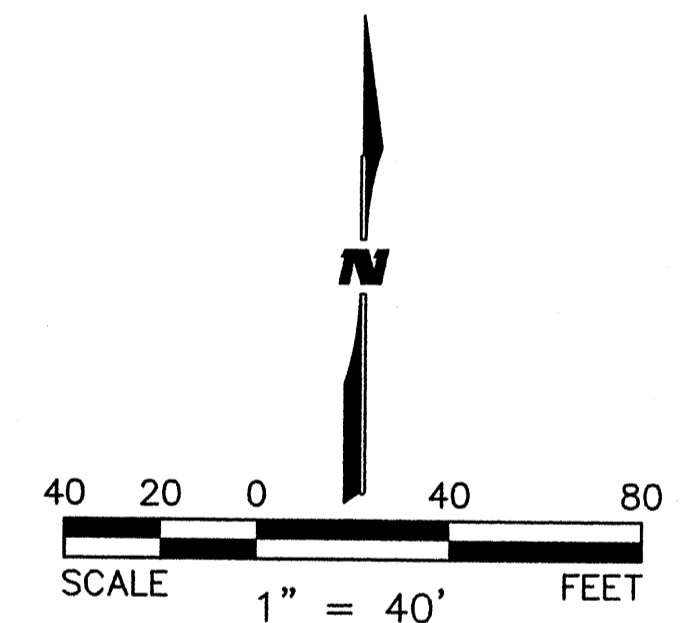
— RETAINING WALL

~ HIGH POINT

→ DIRECTION OF FLOW

xx.xx E LINE ELEVATION

- NOTE:
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WILSON & COMPANY 2600 THE AMERICAN ROAD S.E. SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021

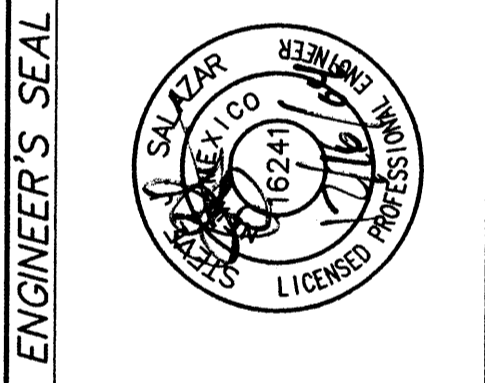
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

**SEVILLE SUBDIVISION – UNIT 3A
GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **702082** Zone Map No. **A-10-Z** Sheet **11** Of **32**

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	FIELD NOTES	A.C.S. Survey Monument "SANDBERN"	CONTRACTOR	WORKS BY	DATE
	PHOTOGRAMMETRY BY 3/22/08	New Mexico State Plane Coord's, Central Zone (NAD 27) as published:	INSPECTORS	ACCEPTANCE BY	DATE
	T.R. MANN & ASSOC.	Y = 1,534,209.29	VERIFICATION BY	DATE	
	FIELD SURVEYS BY	X = 361,854.29	DATE		
	SURV-TEK, INC.	Elevation = 5456.92 (SLD 1929)	RECORDED BY		
		Ground to grid factor = 0.99966079	NO.		

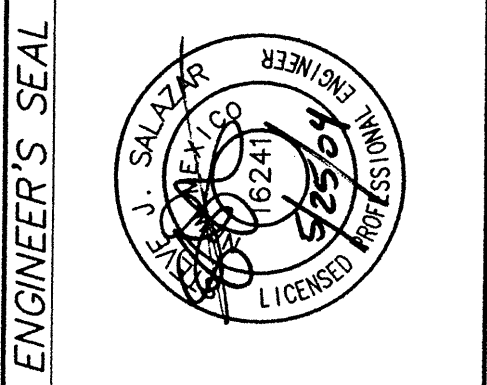




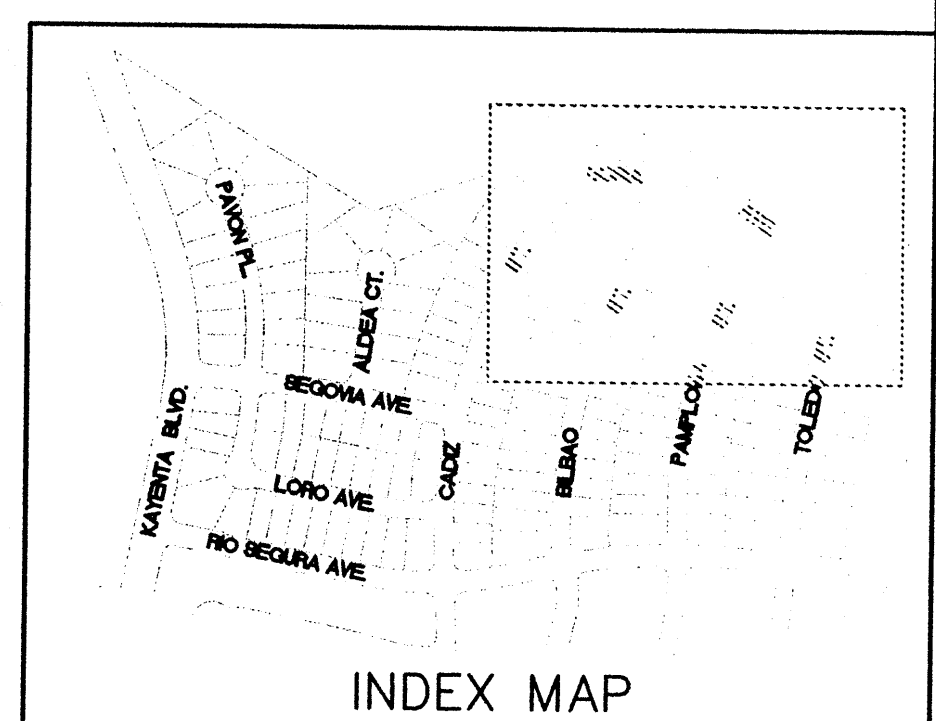
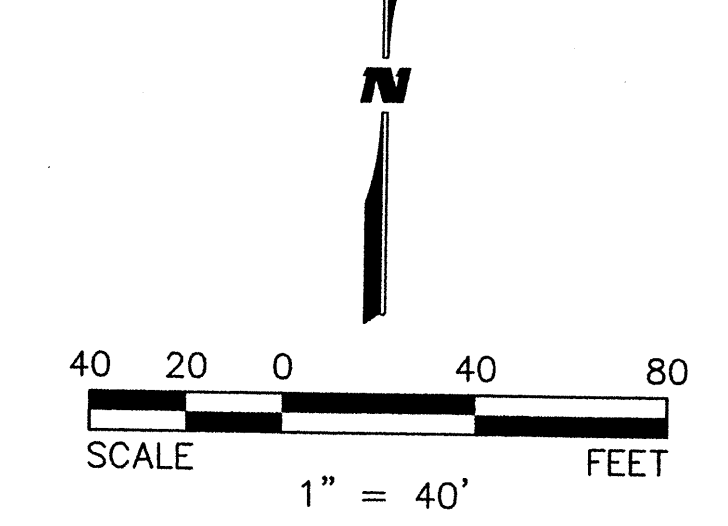
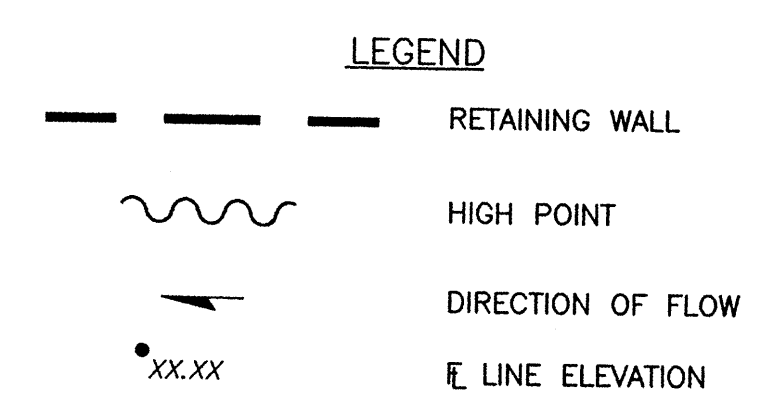
RETAINING WALL TABLE				
WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
2-1	55.67	53.00		
2-2	55.67/56.33	53.00	2.67	43.00
2-3	56.33/57.00	53.00/53.67	3.33	21.00
2-4	57.00	55.00	3.33-2.00	20.00
3-1	51.67	50.33		
3-2	51.67	50.33	1.33	43.00
3-2A	47.00	50.33/43.00	1.33-4.00	33.00
3-3	51.67/52.33	50.33/47.00	1.33-5.33	52.00
3-4	52.33	47.00/46.33	5.33-6.00	15.00
3-5	52.33	46.33/47.00	6.00	44.00
3-6	52.33	47.00	5.33	20.00
3-7	52.33	47.00/48.33	5.33	36.00
3-8	52.33	48.33	4.00	15.00
3-9	52.33	48.33/49.67	4.00	36.00
3-10	52.33	49.67	4.00-1.33	15.00
4-1	46.33	43.00		
4-2	46.33/47.00	43.00/43.67	3.33	31.00
4-3	47.00	43.67	3.33	54.00
5-1	42.67	39.33		
5-2	42.67/43.33	39.33	3.33	50.00
5-3	43.33/44.00	39.33/38.00	4.00	28.00
5-4	44.00	38.00	6.00	72.00
5-5	44.00	41.33	6.00-2.67	48.00
5-6	44.00	42.67	2.67-1.33	50.00
6-1	40.00	37.33		
6-2	40.00/40.67	37.33/38.00	2.67	31.00
6-3	40.67	38.00	2.67	54.00

AS-BUILT INFORMATION	
CONTRACTOR	A.C.S. Survey Monument "SANDBERN"
WORK DATE	New Mexico State Plane Coord's, Central Zone (NAD 27) as published:
ACCEPTANCE BY DATE	Y = 1,534,209.29
BY DATE	X = 361,854.29
DATE	Elevation = 5456.92 (SLD 1929)
DATE	Ground to grid factor = 0.99966079

SURVEY INFORMATION	
FIELD NOTES	NO.
BY	DATE
PHOTOGRAMMETRY BY	3/22/98
T.R. MANN & ASSOC.	
FIELD SURVEYS BY	
SURV-TEK, INC.	



NOTE:
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WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

**SEVILLE SUBDIVISION — UNIT 3A
 GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. XXXXX Zone Map No. A-10-Z Sheet 9 of 33



RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
1-1	67.67	64.33	3.33	10.00
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2-3	56.33/57.00	53.00/53.67	3.33-2.00	20.00
2-4	57.00	55.00		

BENCH MARKS

A.C.S. Survey Monument "SANDBERN"
 New Mexico State Plane Coord's, Central
 Zone (NAD 27) as published:
 Y = 1,534,209.29
 X = 361,854.29
 Elevation = 5456.92 (SLD 1929)
 Ground to grid factor = 0.99966079

SURVEY INFORMATION

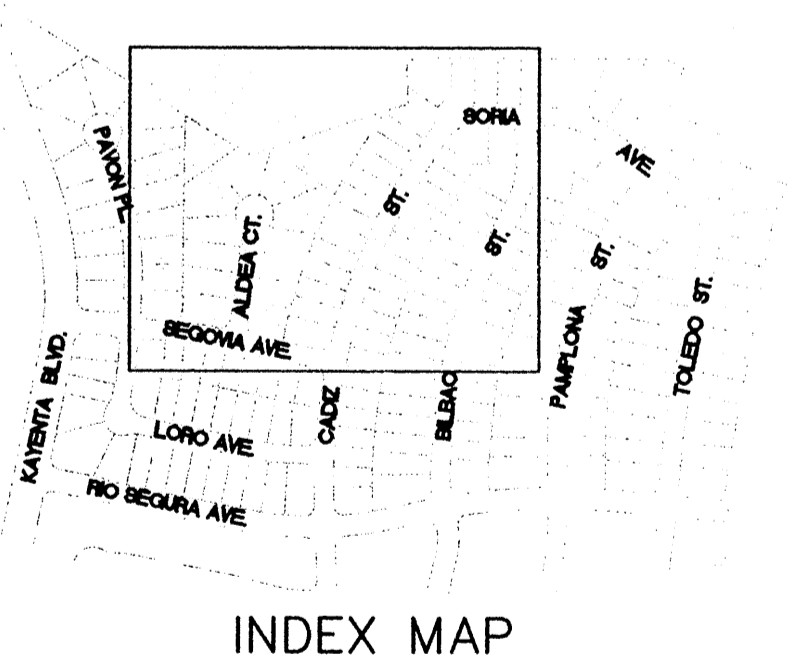
FIELD NOTES BY: T.R. MANN & ASSOC.
 PHOTOGRAMMETRY BY: 3/22/99
 FIELD SURVEYS BY: SURV-TEK, INC.

LEGEND

--- RETAINING WALL
 ~~~~~ HIGH POINT  
 ---> DIRECTION OF FLOW  
 xxx.xx E LINE ELEVATION

NOTE:  
 1. BACKYARD SLOPES ARE ALL 3:1 UNLESS OTHERWISE NOTED.  
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40 20 0 40 80  
 SCALE 1" = 40' FEET



**WILSON & COMPANY** 2600 THE AMERICAN ROAD S.E.  
 SUITE 100  
 RIO RANCHO, NEW MEXICO 87124  
 (505) 898-8021

CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING GROUP

**SEVILLE SUBDIVISION - UNIT 3A  
 GRADING & DRAINAGE PLAN**

|                         |                        |             |             |
|-------------------------|------------------------|-------------|-------------|
| Design Review Committee | City Engineer Approval | Mo./Day/Yr. | Mo./Day/Yr. |
|                         |                        |             |             |

City Project No. XXXXX Zone Map No. A-10-Z Sheet 10 of 33

**AS-BUILT INFORMATION**

CONTRACTOR: SANDBERN  
 WORK BY: SANDBERN  
 INSPECTOR'S ACCEPTANCE BY: SANDBERN  
 DATE: \_\_\_\_\_

**ENGINEER'S SEAL**

J. SALAZAR  
 P.E. 16241  
 LICENSED PROFESSIONAL ENGINEER

**REVISIONS**

| NO. | DATE | REVISIONS | BY |
|-----|------|-----------|----|
|     |      |           |    |

WILSON & COMPANY, ENGINEERS & ARCHITECTS  
 DESIGNED BY: JDV DATE: JUNE 04  
 DRAWN BY: JDV DATE: JUNE 04  
 CHECKED BY: SJS DATE: JUNE 04

**MICRO-FILM INFORMATION**

RECORDED BY: \_\_\_\_\_  
 NO. \_\_\_\_\_

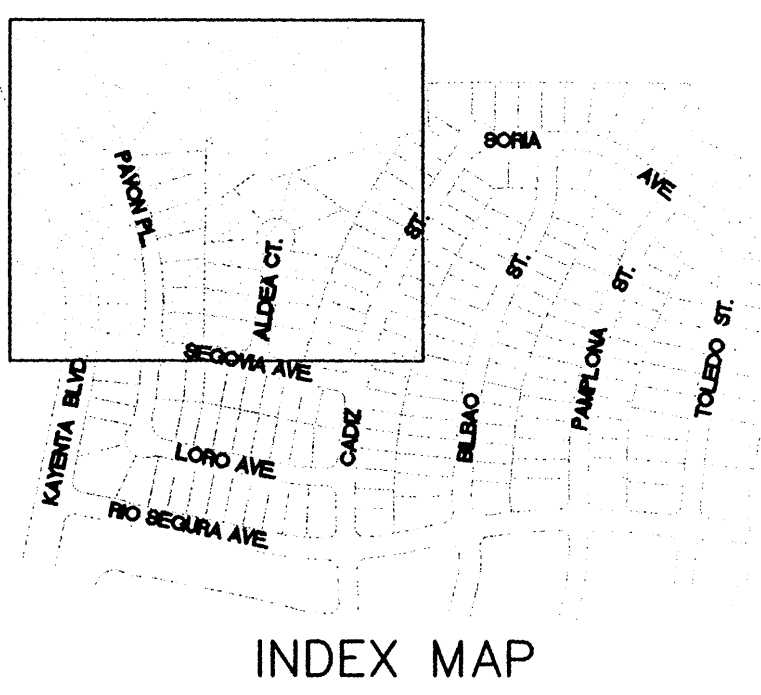
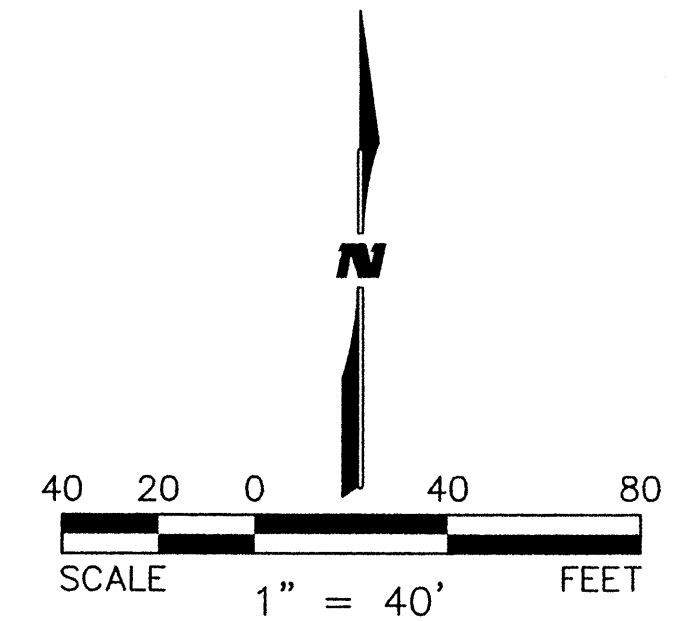


**LEGEND**

- — — — — RETAINING WALL
- ~ ~ ~ ~ ~ HIGH POINT
- DIRECTION OF FLOW
- E LINE ELEVATION

**NOTE:**

1. BACKYARD SLOPES ARE ALL 3:1 UNLESS OTHERWISE NOTED.
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**WILSON & COMPANY**  
 2600 THE AMERICAN ROAD S.E.  
 SUITE 100  
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 87124  
 (505) 898-8021

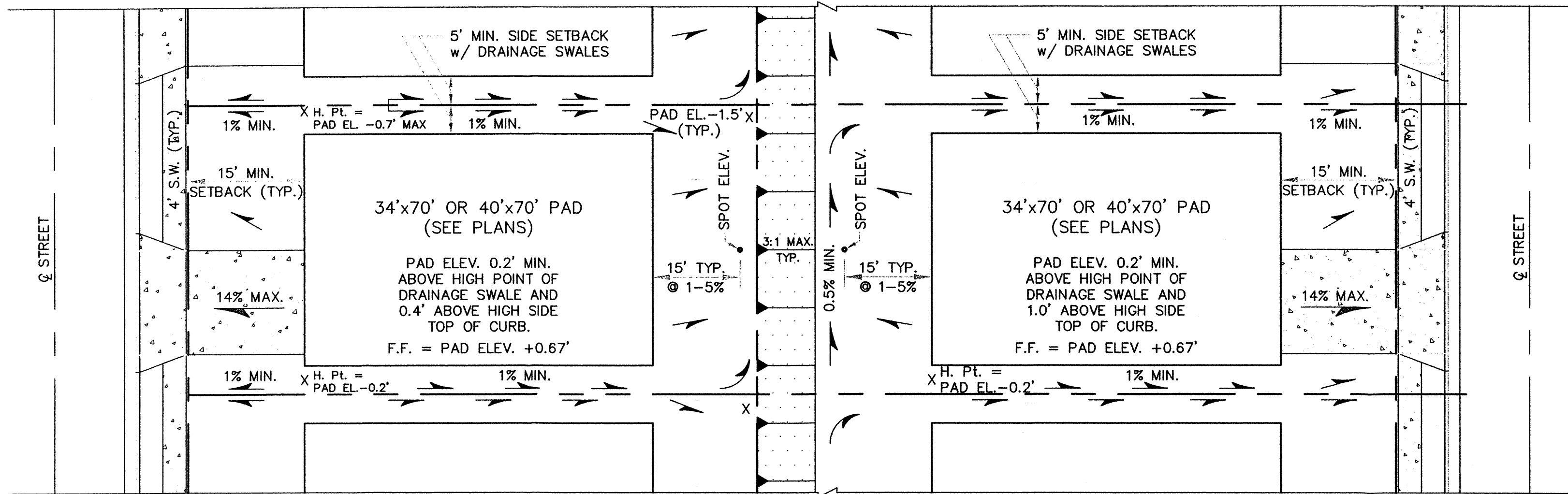
**CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING GROUP**

**SEVILLE SUBDIVISION — UNIT 3A  
 GRADING & DRAINAGE PLAN**

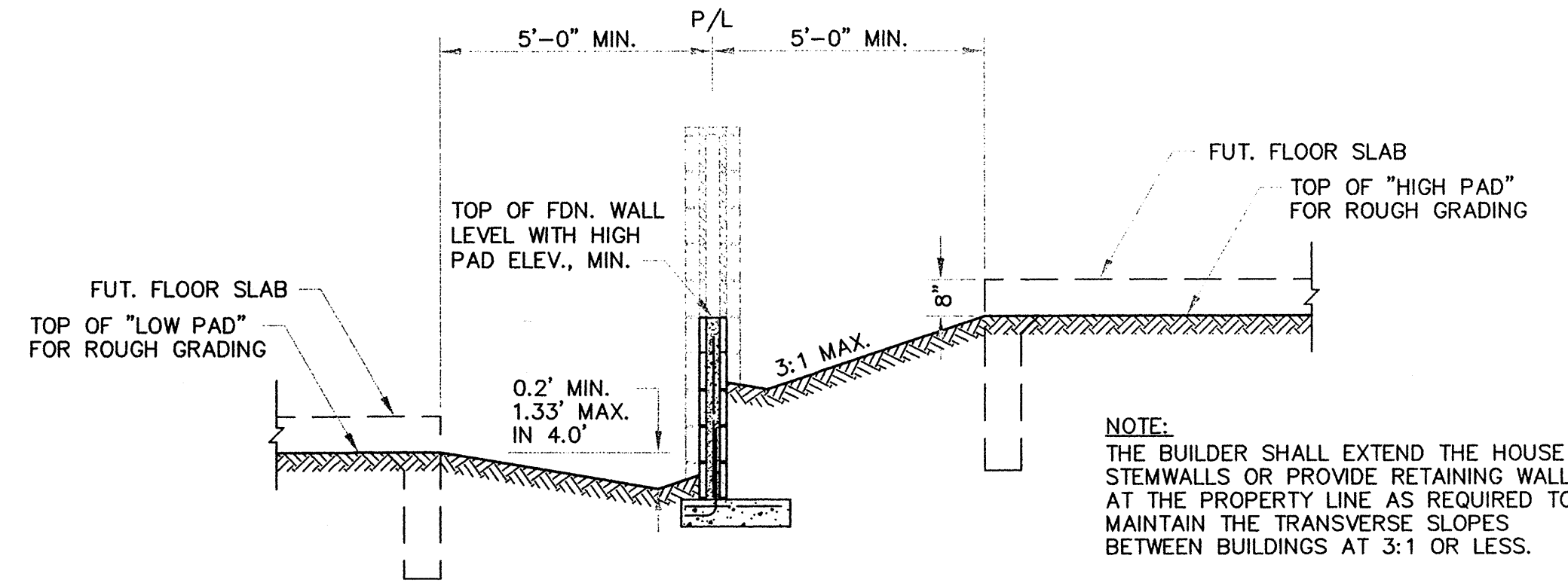
|                         |                        |                    |             |             |
|-------------------------|------------------------|--------------------|-------------|-------------|
| Design Review Committee | City Engineer Approval | Last Design Update | Mo./Day/Yr. | Mo./Day/Yr. |
|                         |                        |                    |             |             |

City Project No. XXXXX      Zone Map No. A-10-Z      Sheet 11 of 33

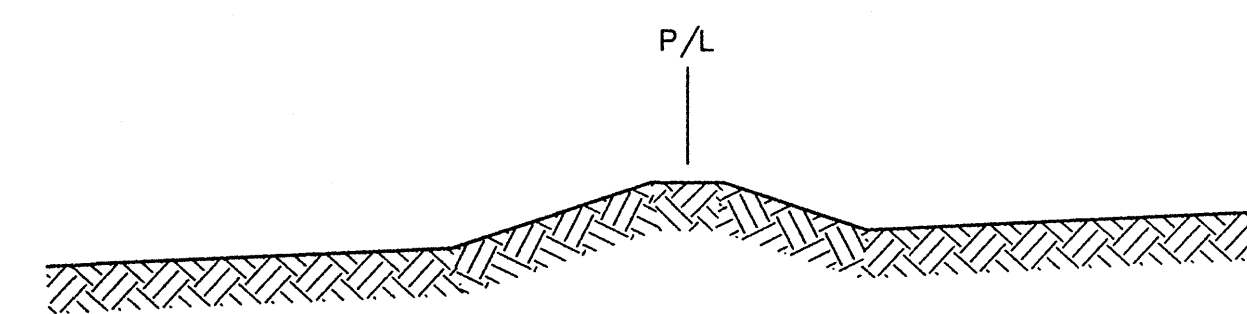
| ENGINEER'S SEAL |      | SURVEY INFORMATION |      | BENCH MARKS                                                          |                  | AS-BUILT INFORMATION   |      |
|-----------------|------|--------------------|------|----------------------------------------------------------------------|------------------|------------------------|------|
|                 |      | NO.                | DATE | A.C.S. Survey Monument "SANDBERN"                                    | CONTRACT NO.     | NO.                    | DATE |
|                 |      | BY                 | DATE | New Mexico State Plane Coord. s, Central Zone (NAD 27) as published: | STATED BY        | NO.                    | DATE |
|                 |      | PHOTOGRAMMETRY BY  | DATE | Y = 1,534,209.29                                                     | INSPECTOR'S BY   | NO.                    | DATE |
|                 |      | FIELD SURVEYS BY   | DATE | X = 361,854.29                                                       | FIELD CHECKED BY | NO.                    | DATE |
| REVISIONS       |      | SURV-TEK, INC.     |      | Elevation = 5456.92 (SLD 1929)                                       |                  | MICRO-FILM INFORMATION |      |
| NO. DATE        | BY   | SURV-TEK, INC.     |      | Ground to grid factor = 0.99966079                                   |                  | RECORDED BY            |      |
| DESIGNED BY     | DATE | SURV-TEK, INC.     |      | Ground to grid factor = 0.99966079                                   |                  | NO.                    |      |
| DRAWN BY        | DATE | SURV-TEK, INC.     |      | Ground to grid factor = 0.99966079                                   |                  | NO.                    |      |
| CHECKED BY      | DATE | SURV-TEK, INC.     |      | Ground to grid factor = 0.99966079                                   |                  | NO.                    |      |



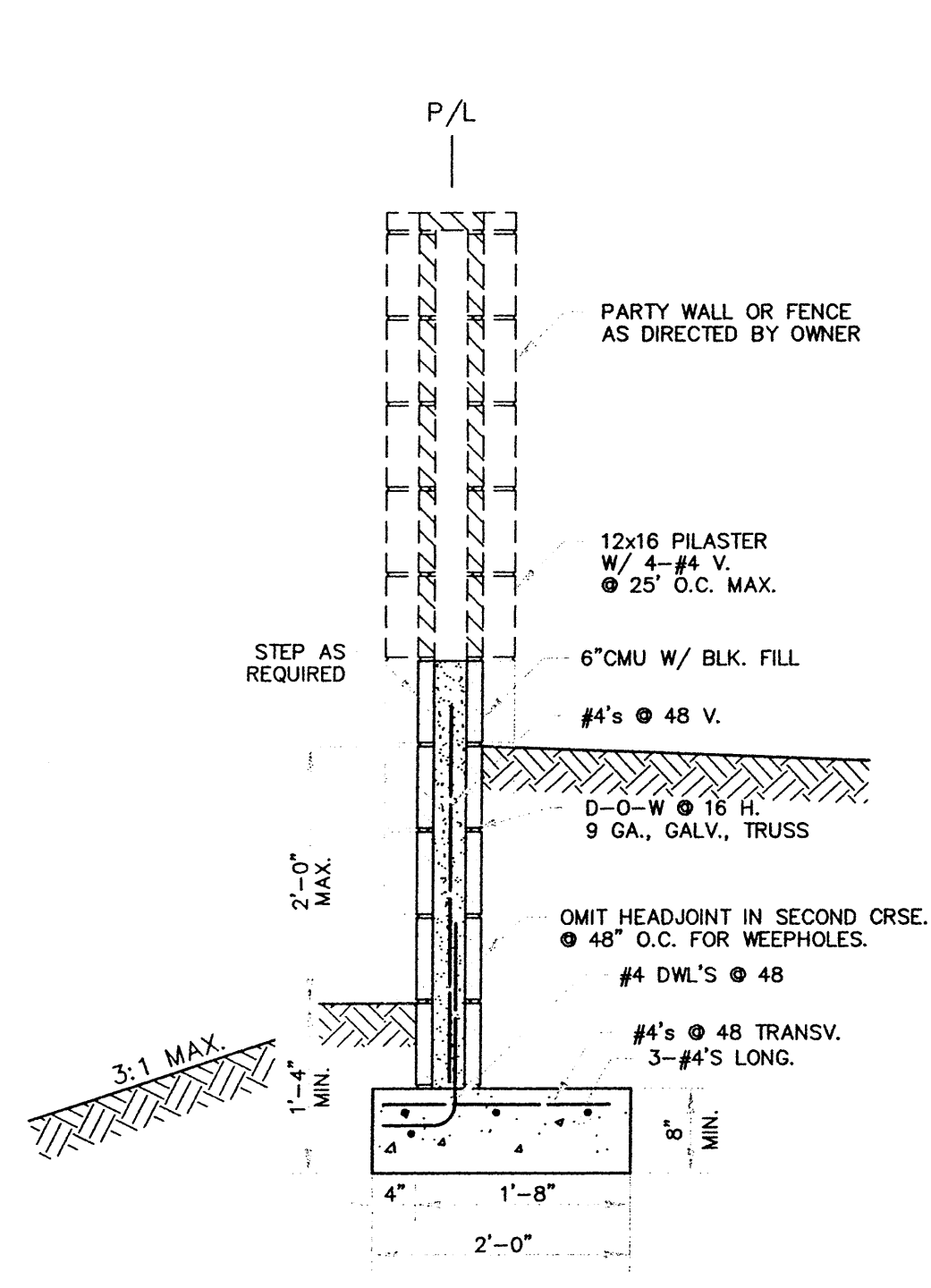
TYPICAL LOT GRADING  
NTS



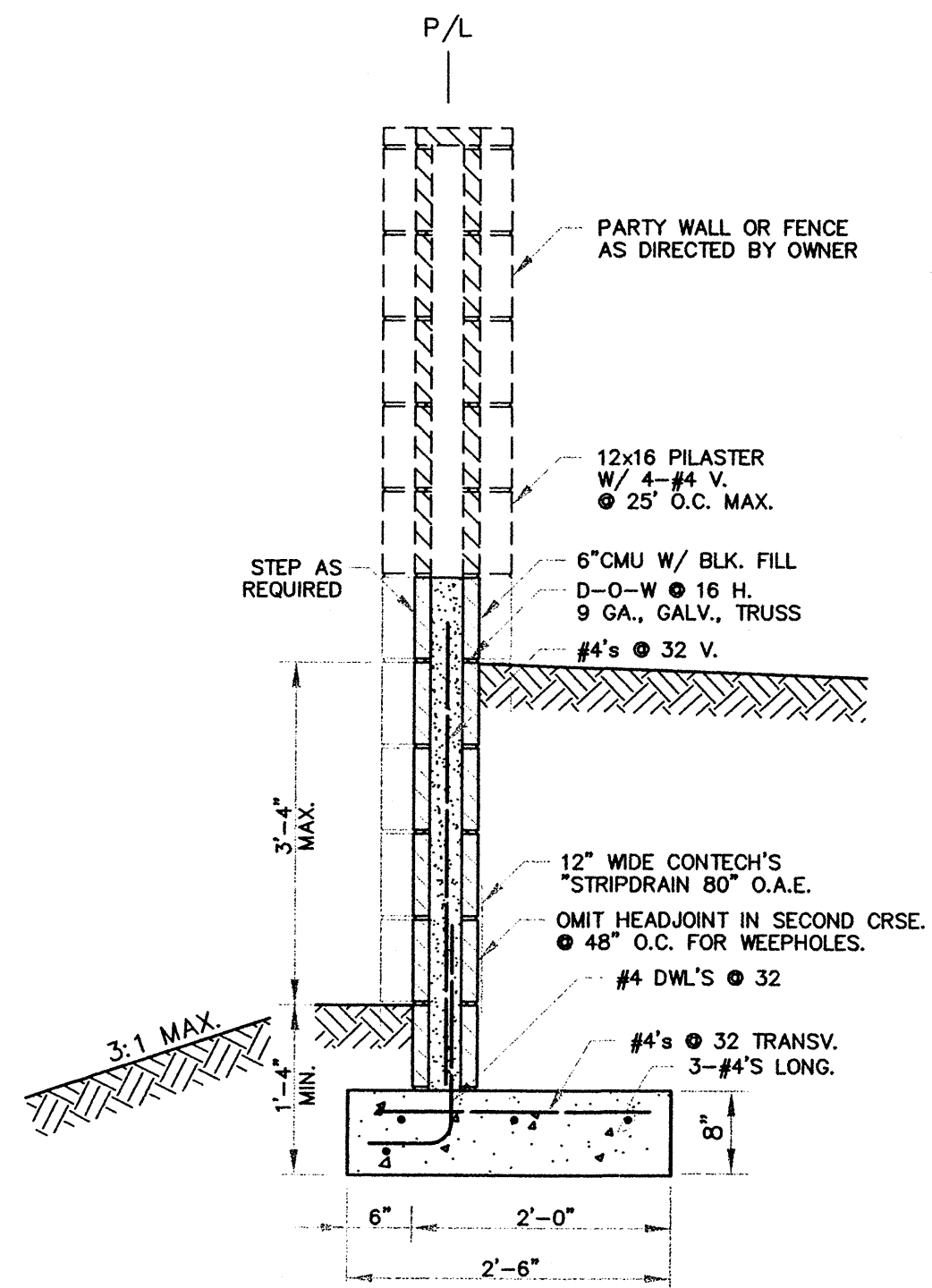
TYPICAL DETAIL @ SIDEYARD DRAINAGE SWALES  
3/8" = 1'-0"



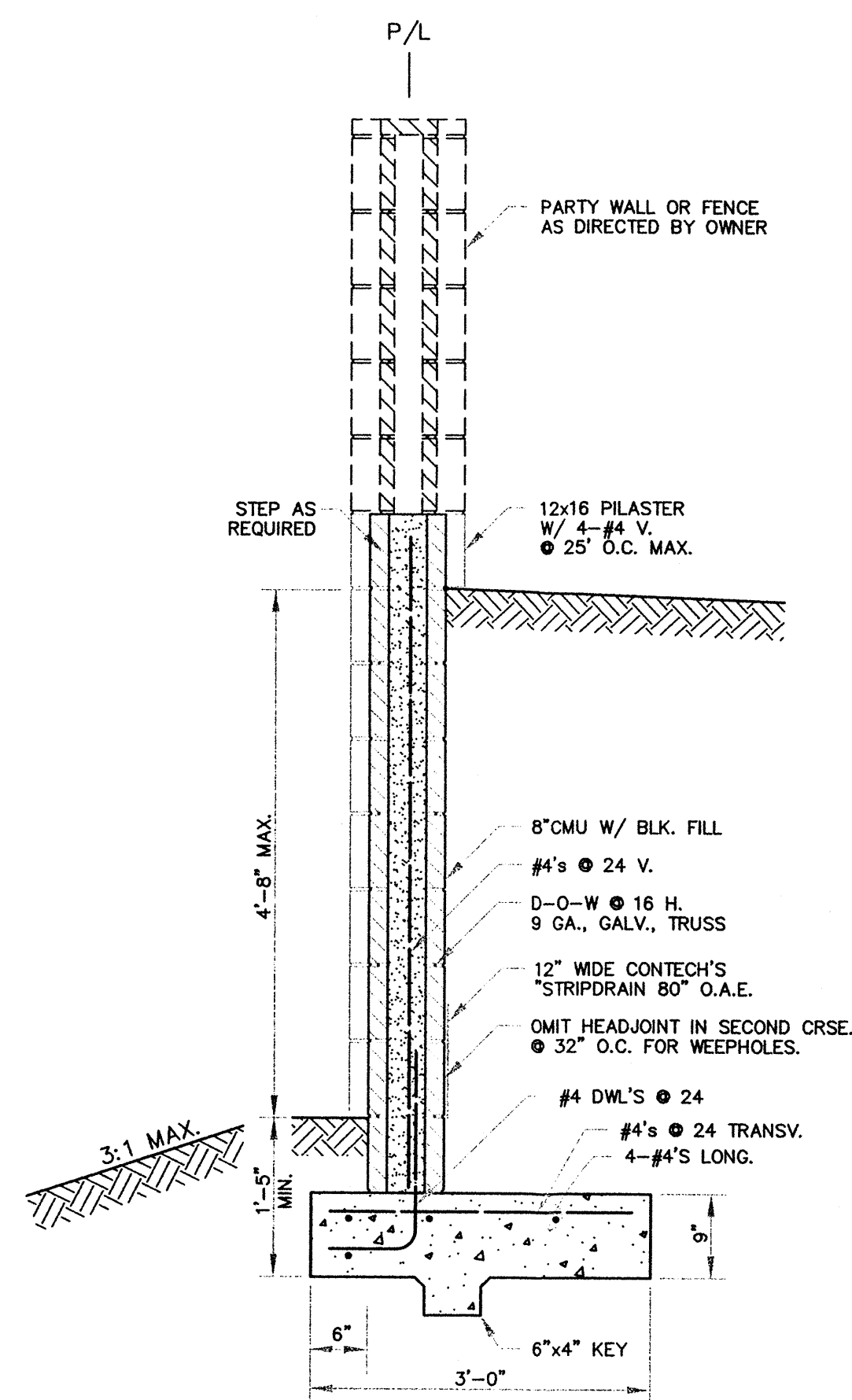
TYPICAL GRADING DETAIL  
@ PROPERTY LINES IN FRONT SETBACK  
NO SCALE



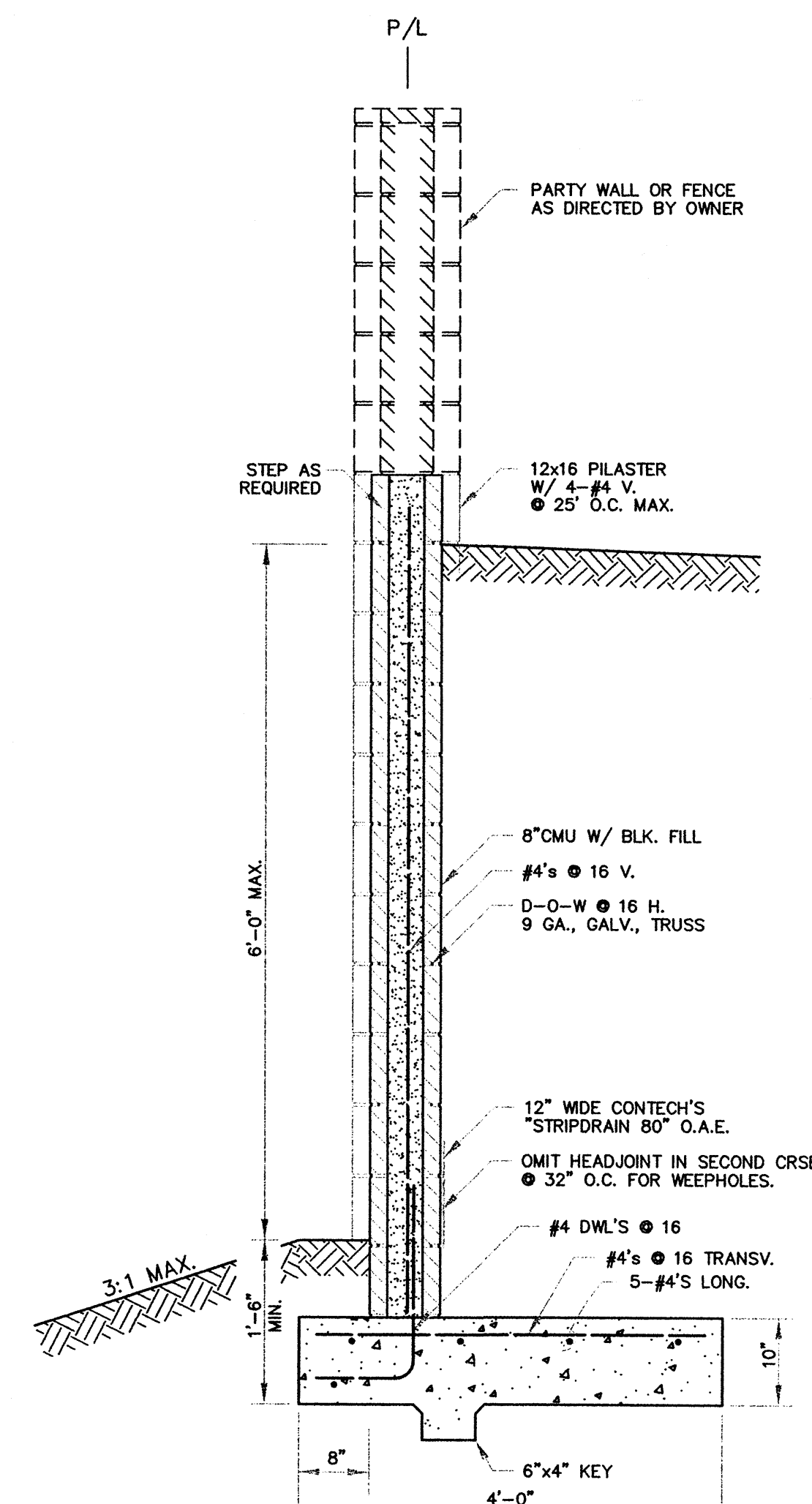
RETAINING WALL - TYPE A  
3/4" = 1'-0"



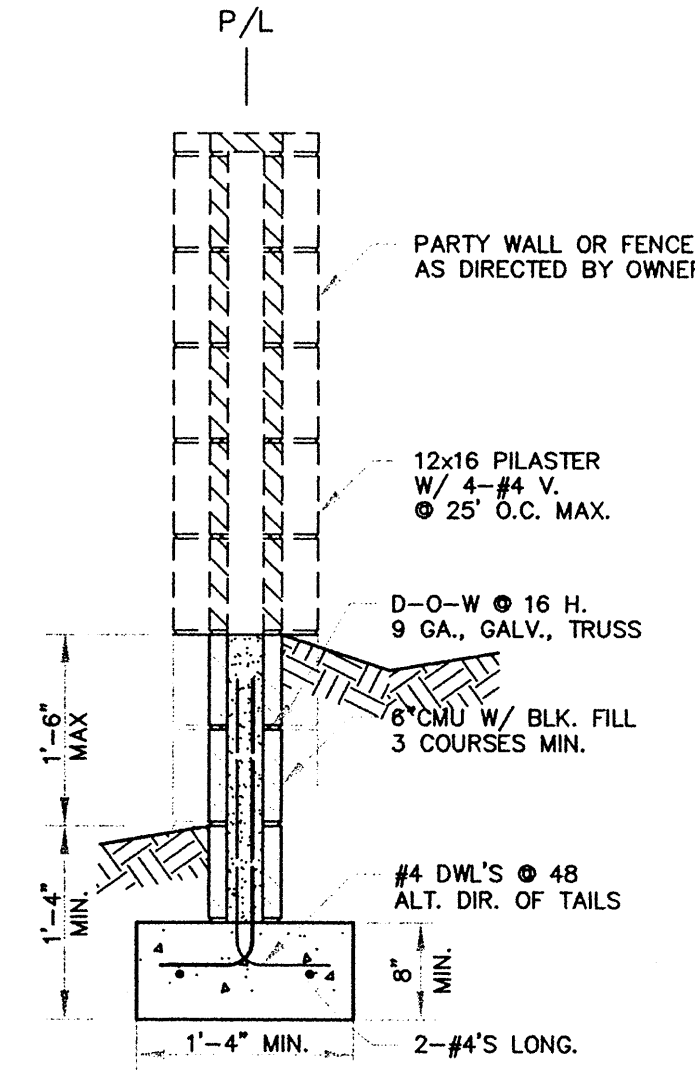
RETAINING WALL - TYPE B  
3/4" = 1'-0"



RETAINING WALL - TYPE C  
3/4" = 1'-0"



RETAINING WALL - TYPE D  
3/4" = 1'-0"

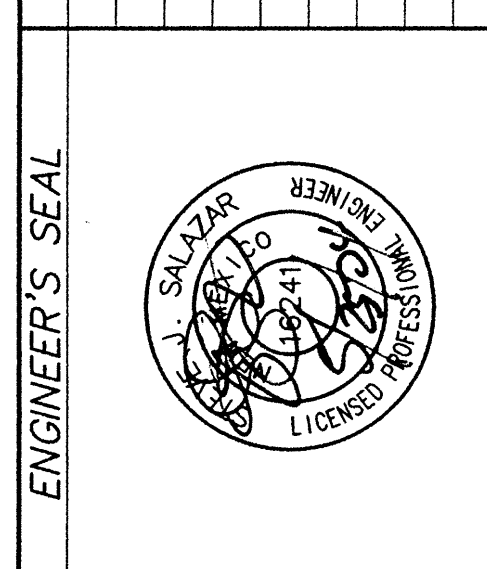


FENCE FOUNDATION WALL  
(ELEV. DIFF. < 1.5 FT.)  
3/4" = 1'-0"

**WILSON & COMPANY**  
2600 THE AMERICAN ROAD S.E.  
SUITE 100  
RIO RANCHO, NEW MEXICO  
87124  
(505) 898-8021

|                                                                     |                        |                                                                                        |                |
|---------------------------------------------------------------------|------------------------|----------------------------------------------------------------------------------------|----------------|
| CITY OF ALBUQUERQUE<br>PUBLIC WORKS DEPARTMENT<br>ENGINEERING GROUP |                        | SEVILLE SUBDIVISION - UNIT 3A<br>TYPICAL LOT GRADING<br>GRADING/RETAINING WALL DETAILS |                |
| Design Review Committee                                             | City Engineer Approval | Mo./Day/Yr.                                                                            | Mo./Day/Yr.    |
| City Project No. X                                                  |                        | Zone Map No. A-10-Z                                                                    | Sheet 12 Of 33 |

| SURVEY INFORMATION |                           | AS-BUILT INFORMATION                    |      |
|--------------------|---------------------------|-----------------------------------------|------|
| NO.                | FIELD NOTES               | CONTRACTOR                              | DATE |
| 1                  | PHOTOGRAMMETRY BY 3/22/08 | A.C.S. Survey Monument "SANDBERN"       | DATE |
| 2                  | T.R. MANN & ASSOC.        | New Mexico State Plane Coord's, Central | DATE |
| 3                  | FIELD SURVEYS BY          | Zone (NAD 27) as published:             | DATE |
| 4                  | SURV-TEK, INC.            | Y = 1,534,209.29                        | DATE |
|                    |                           | X = 361,854.29                          | DATE |
|                    |                           | Elevation = 5456.92 (SLD 1929)          | DATE |
|                    |                           | Ground to grid factor = 0.99966079      | DATE |



| NO. | DATE    | REVISIONS | BY      |
|-----|---------|-----------|---------|
| 1   | JUNE 04 | DESIGN    | SJS     |
| 2   | JUNE 04 | REVISIONS | YKL/DEC |
| 3   | JUNE 04 | REVISIONS | SJS     |

**PRELIMINARY PLAT**  
**SEVILLE SUBDIVISION UNIT 3-A**  
 (BEING A REPLAT OF TRACT B-2-A, SEVILLE)

WITHIN  
**THE TOWN OF ALAMEDA GRANT**  
 IN  
**PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
 CITY OF ALBUQUERQUE,  
 BERNALILLO COUNTY, NEW MEXICO

APPROVED BY DRB  
 MAY, 2004

**LINE TABLE**

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L1   | 82.13'  | N74°42'49"E |
| L2   | 52.89'  | N87°32'21"E |
| L3   | 118.15' | N02°07'39"W |
| L4   | 52.89'  | N87°32'21"E |
| L5   | 50.11'  | S85°33'28"E |
| L6   | 112.22' | S85°33'28"E |
| L7   | 92.68'  | S23°34'47"W |
| L8   | 18.58'  | N11°00'52"E |
| L9   | 17.12'  | N21°09'05"E |
| L10  | 8.84'   | N21°09'05"E |
| L11  | 14.42'  | N82°12'47"W |
| L12  | 6.78'   | N26°47'54"E |
| L13  | 48.65'  | N29°13'27"E |
| L14  | 48.44'  | N27°09'57"E |
| L15  | 48.44'  | N23°02'28"E |
| L16  | 48.44'  | N23°02'28"E |
| L17  | 48.44'  | N20°39'28"E |
| L18  | 48.44'  | N18°35'28"E |
| L19  | 48.44'  | N16°31'28"E |
| L20  | 48.44'  | N14°27'28"E |
| L21  | 148.70' | N28°12'47"W |
| L22  | 44.00'  | N78°09'50"W |
| L23  | 22.84'  | N78°09'50"W |
| L24  | 93.08'  | N85°24'28"W |
| L25  | 12.00'  | N04°35'34"E |
| L26  | 44.00'  | N85°24'28"W |
| L27  | 88.28'  | N85°24'28"W |
| L28  | 43.00'  | N89°08'17"W |

**GENERAL NOTES**

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27) and rotated to grid at the Albuquerque Survey Control Monument "SANDBERN".
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page A-10.
- All street centerline monumentation shall be installed at all centerline P.C.'s, P.T.'s, angle points and street intersections and shown with ( ). All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument—Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and at other angle points to allow use of centerline monumentation.
- Total number of existing Tracts: 1
- Total number of Lots created: 74
- Total number of Tracts created: 1
- Gross Subdivision acreage: 23.53 acres.
- Total mileage of full width streets created: 0.52 mile.
- Current Zoning is R-1.

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Alameda Grant in projected Section 3, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract B-2-A, SEVILLE as the same is shown and designated on the plat entitled, "BULK LAND PLAT OF TRACTS 1-A, 1-A-2, 1-B-1-A, 1-B-1-B, 1-B-2-A, B-2-A AND B-2-B, SEVILLE (BEING A REPLAT OF TRACTS 1-A, 1-B-1, 1-B-2, SEVILLE AND TRACT B-2, PARADISE HEIGHTS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 19, 2002 in Plat Book 2002C, Page 312.

**DISCLOSURE STATEMENT**

- The Purpose of this replat is to:
- Create the 74 residential lots and 1 Tract as shown hereon.
  - Dedicate the additional new public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants
  - Grant the new public utility easements as shown hereon.

**NOTE "A"**

Existing Temporary Public Access and Public Utility Easements granted by document filed May 29, 2002 in Book 2002C, page 192 to be vacated by vacation action and final plat.

**APPROVALS**

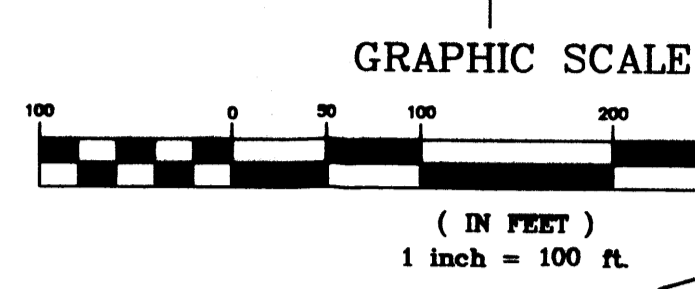
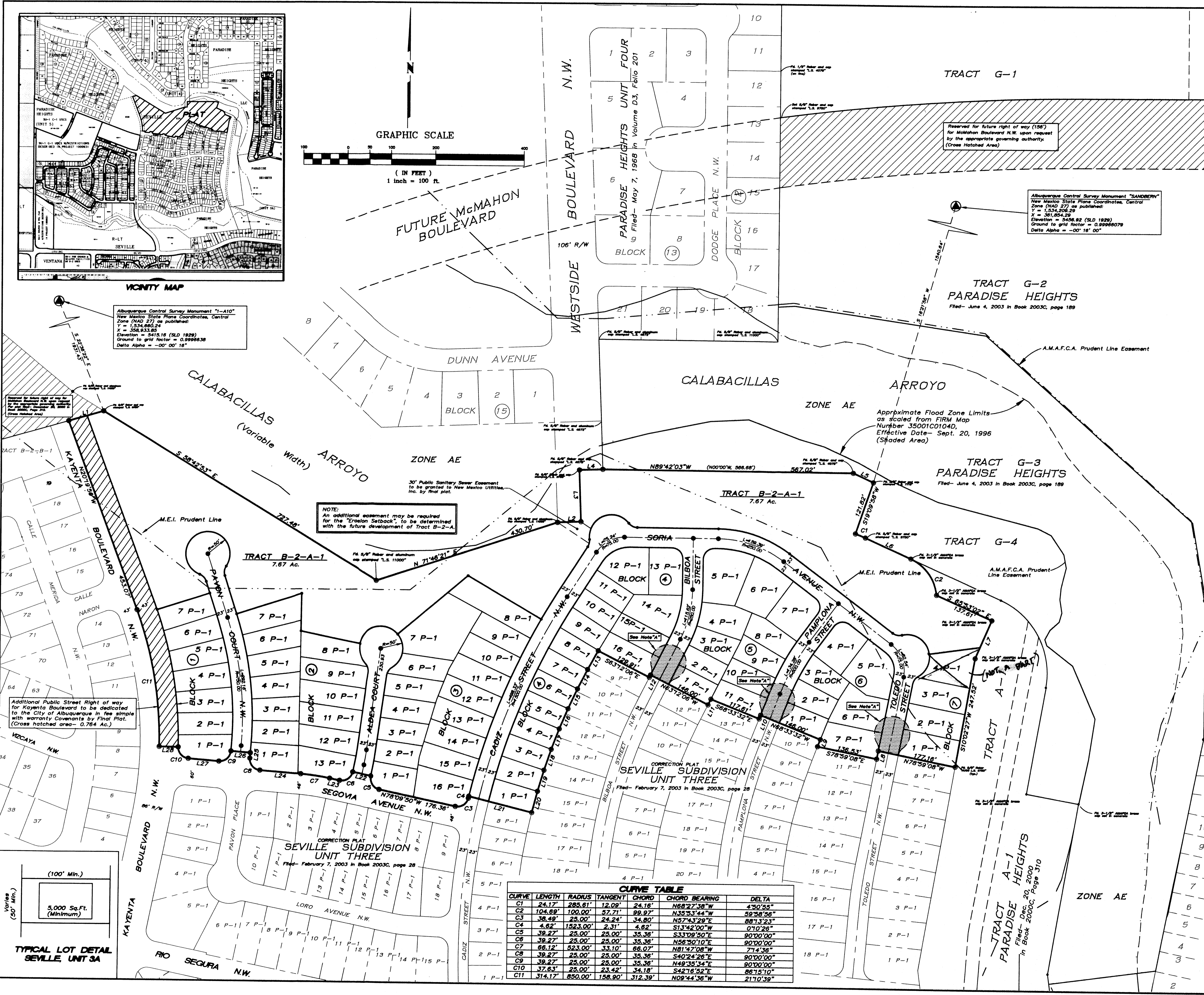
Owner of Tract B-2-B  
 Curb West, Inc.

*Stan Strickman*  
 Stan Strickman, Vice President

Approved for street names and monumentation

*Janet* 5-20-04  
 City Surveyor Date

**SURVOTEK, INC.**  
 Consulting Surveyors  
 6643 Paradise Blvd., N.E., Albuquerque, New Mexico 87114 Phone: 505-897-3398 Fax: 505-897-3377



Albuquerque Central Survey Monument "1-A10"  
 New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
 Y = 1,534,860.24  
 X = 358,933.61  
 Elevation = 5415.18 (SLD 1829)  
 Ground to grid factor = 0.9999538  
 Delta Alpha = -00° 00' 18"

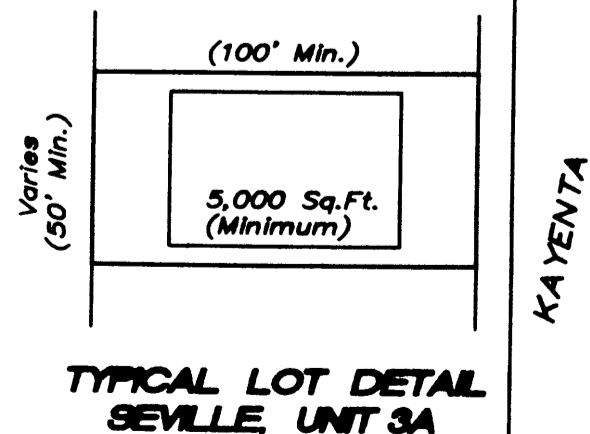
Albuquerque Central Survey Monument "SANDBERN"  
 New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
 Y = 1,534,860.29  
 X = 361,854.29  
 Elevation = 5456.82 (SLD 1829)  
 Ground to grid factor = 0.9999579  
 Delta Alpha = -00° 16' 00"

NOTE:  
 An additional easement may be required for the Erosion Setback, to be determined with the future development of Tract B-2-A.

Additional Public Street Right of way for Kayenta Boulevard to be dedicated to the City of Albuquerque in fee simple with warranty Covenants by Final Plat. (Cross hatched area—0.764 Ac.)

**CURVE TABLE**

| CURVE | LENGTH  | RADIUS   | TANGENT | CHORD   | CHORD BEARING | DELTA     |
|-------|---------|----------|---------|---------|---------------|-----------|
| C1    | 24.17'  | 285.61'  | 12.09'  | 24.16'  | N82°27'38"W   | 450°55'   |
| C2    | 104.69' | 100.00'  | 57.71'  | 99.97'  | N35°33'44"W   | 92°58'56" |
| C3    | 38.49'  | 25.00'   | 24.24'  | 34.80'  | N57°43'29"E   | 881°3'23" |
| C4    | 4.62'   | 1823.00' | 2.31'   | 4.62'   | S13°42'00"W   | 070°26"   |
| C5    | 39.27'  | 25.00'   | 25.00'  | 35.36'  | S33°09'50"E   | 90°00'00" |
| C6    | 39.27'  | 25.00'   | 25.00'  | 35.36'  | N56°50'10"E   | 90°00'00" |
| C7    | 56.12'  | 523.00'  | 33.10'  | 66.07'  | N81°42'08"W   | 774°36"   |
| C8    | 39.27'  | 25.00'   | 25.00'  | 35.36'  | S40°24'28"E   | 90°00'00" |
| C9    | 39.27'  | 25.00'   | 25.00'  | 35.36'  | N49°35'34"E   | 90°00'00" |
| C10   | 37.63'  | 25.00'   | 23.42'  | 34.18'  | S42°16'52"E   | 8615°10"  |
| C11   | 314.17' | 850.00'  | 158.90' | 312.39' | N09°44'36"W   | 21°10'39" |





| RETAINING WALL TABLE |                  |                     |                  |                          |
|----------------------|------------------|---------------------|------------------|--------------------------|
| WALL POINT           | TOP OF WALL ELEV | TOP OF FOOTING ELEV | WALL HEIGHT (FT) | APPROX. WALL LENGTH (FT) |
| 2-1                  | 55.67            | 53.00               | 2.67             | 43.00                    |
| 2-2                  | 55.67/56.33      | 53.00               | 3.33             | 21.00                    |
| 2-3                  | 56.33/57.00      | 53.00/53.67         | 3.33-2.00        | 20.00                    |
| 2-4                  | 57.00            | 55.00               |                  |                          |
| 3-1                  | 51.67            | 50.33               | 1.33             | 43.00                    |
| 3-2                  | 51.67            | 50.33               | 1.33-4.00        | 33.00                    |
| 3-2A                 | 47.00            | 50.33/43.00         | 1.33-5.33        | 52.00                    |
| 3-3                  | 51.67/52.33      | 50.33/47.00         | 5.33-6.00        | 15.00                    |
| 3-4                  | 52.33            | 47.00/46.33         | 6.00             | 44.00                    |
| 3-5                  | 52.33            | 46.33/47.00         | 5.33             | 20.00                    |
| 3-6                  | 52.33            | 47.00               | 5.33             | 36.00                    |
| 3-7                  | 52.33            | 47.00/48.33         | 4.00             | 15.00                    |
| 3-8                  | 52.33            | 48.33               | 4.00             | 36.00                    |
| 3-9                  | 52.33            | 48.33/49.67         | 4.00-1.33        | 15.00                    |
| 3-10                 | 52.33            | 49.67               |                  |                          |
| 4-1                  | 46.33            | 43.00               | 3.33             | 31.00                    |
| 4-2                  | 46.33/47.00      | 43.00/43.67         | 3.33             | 54.00                    |
| 4-3                  | 47.00            | 43.67               | 3.33             | 50.00                    |
| 5-1                  | 42.67            | 39.33               | 3.33             | 28.00                    |
| 5-2                  | 42.67/43.33      | 39.33               | 4.00             | 72.00                    |
| 5-3                  | 43.33/44.00      | 39.33/38.00         | 6.00             | 48.00                    |
| 5-4                  | 44.00            | 38.00               | 6.00-2.67        | 48.00                    |
| 5-5                  | 44.00            | 41.33               | 2.67-1.33        | 50.00                    |
| 5-6                  | 44.00            | 42.67               |                  |                          |
| 6-1                  | 40.00            | 37.33               | 2.67             | 31.00                    |
| 6-2                  | 40.00/40.67      | 37.33/38.00         | 2.67             | 54.00                    |
| 6-3                  | 40.67            | 38.00               |                  |                          |

| SURVEY INFORMATION |                   | BENCH MARKS                                                         |      | AS-BUILT INFORMATION |      |
|--------------------|-------------------|---------------------------------------------------------------------|------|----------------------|------|
| NO.                | DATE              | CONTRACTOR                                                          | DATE | NO.                  | DATE |
| BY                 | PHOTOGRAMMETRY BY | A.C.S. Survey Monument "SANDBERN"                                   |      |                      |      |
| T.R. MANN & ASSOC. | 3/22/08           | New Mexico State Plane Coord's, Central Zone (NAD 27) as published: |      |                      |      |
| FIELD SURVEYS BY   |                   | Y = 1,534,209.29                                                    |      |                      |      |
| SURV-TEK, INC.     |                   | X = 361,854.29                                                      |      |                      |      |
|                    |                   | Elevation = 5456.92 (SLD 1929)                                      |      |                      |      |
|                    |                   | Ground to grid factor = 0.99966079                                  |      |                      |      |

**ENGINEER'S SEAL**

NO. DATE BY

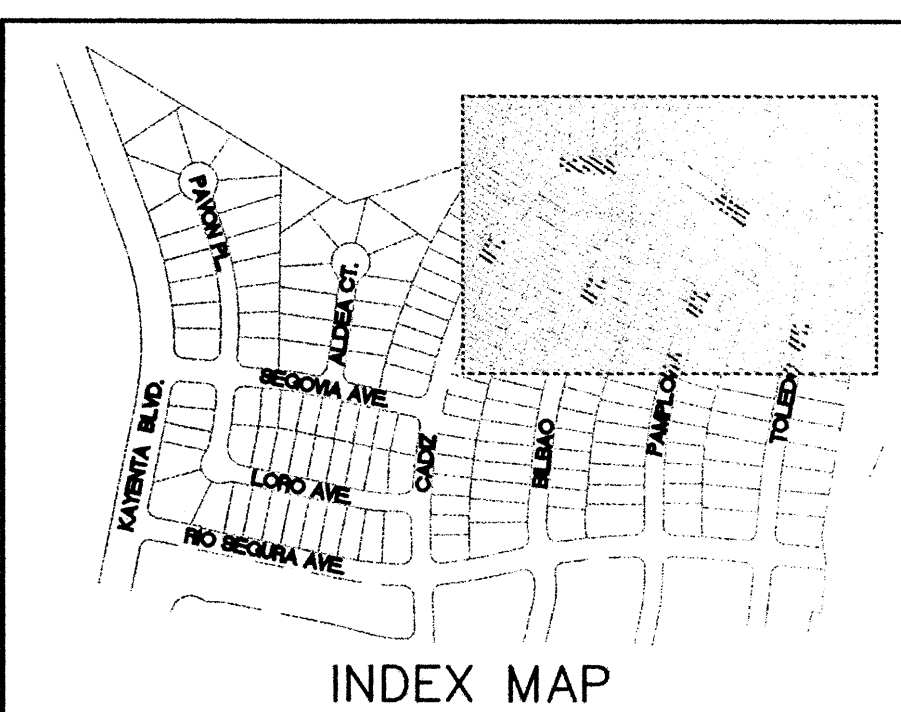
REVISIONS

WILSON & COMPANY, ENGINEERS & ARCHITECTS

DESIGNED BY: JOY DATE: JUNE 04

DRAWN BY: WLD/DEC DATE: JUNE 04

CHECKED BY: SJS DATE: JUNE 04



**WILSON & COMPANY** 2600 THE AMERICAN ROAD S.E. SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING GROUP

**SEVILLE SUBDIVISION - UNIT 3A  
GRADING & DRAINAGE PLAN**

Design Review Committee City Engineer Approval

City Project No. XXXXX Zone Map No. A-10-Z Sheet 9 of 33

NOTE:

1. BACKYARD SLOPES ARE ALL 3:1 UNLESS OTHERWISE NOTED.

2. LOTS SHOWN IN HATCHED AREA SHALL BE PLATTED ONCE PRUDENT LINE IS ELIMINATED.

**LEGEND**

--- RETAINING WALL

~ HIGH POINT

→ DIRECTION OF FLOW

•xx.xx E LINE ELEVATION

SCALE 1" = 40'

40 20 0 40 80 FEET



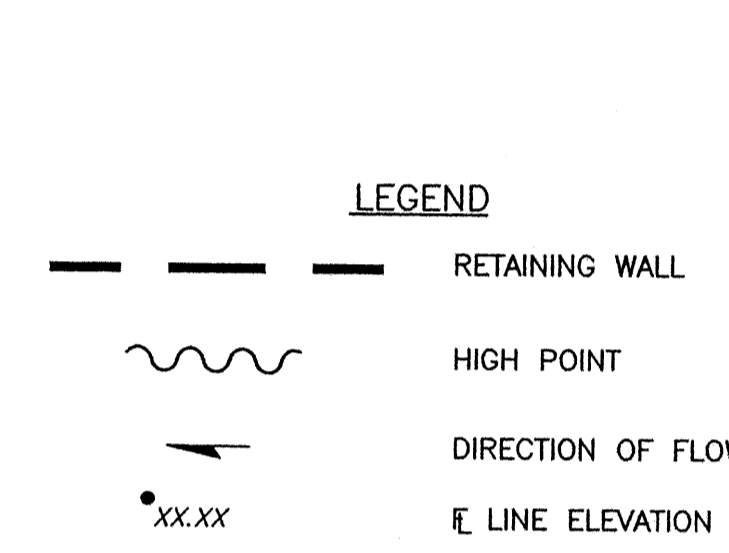
**RETAINING WALL TABLE**

| WALL POINT | TOP OF WALL ELEV | TOP OF FOOTING ELEV | WALL HEIGHT (FT) | APPROX WALL LENGTH (FT) |
|------------|------------------|---------------------|------------------|-------------------------|
| 1-1        | 67.67            | 64.33               | 3.33             | 10.00                   |
| 1-2        | 67.67            | 64.33               | 3.33             | 54.00                   |
| 1-3        | 67.67            | 64.33               | 3.33             | 54.00                   |
| 2-1        | 55.67            | 53.00               | 2.67             | 43.00                   |
| 2-2        | 55.67/56.33      | 53.00               | 3.33             | 21.00                   |
| 2-3        | 56.33/57.00      | 53.00/53.67         | 3.33-2.00        | 20.00                   |
| 2-4        | 57.00            | 55.00               | 2.00             | 20.00                   |

**LEGEND**

- RETAINING WALL
- ~ HIGH POINT
- DIRECTION OF FLOW
- xx.xx E LINE ELEVATION

NOTE:  
 1. BACKYARD SLOPES ARE ALL 3:1 UNLESS OTHERWISE NOTED.  
 2. LOTS SHOWN IN HATCHED AREA SHALL BE PLATTED ONCE PRUDENT LINE IS ELIMINATED.



**WILSON & COMPANY**  
 2600 THE AMERICAN ROAD S.E.  
 SUITE 100  
 RIO RANCHO, NEW MEXICO  
 87124  
 (505) 698-8021

CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING GROUP

**SEVILLE SUBDIVISION — UNIT 3A  
 GRADING & DRAINAGE PLAN**

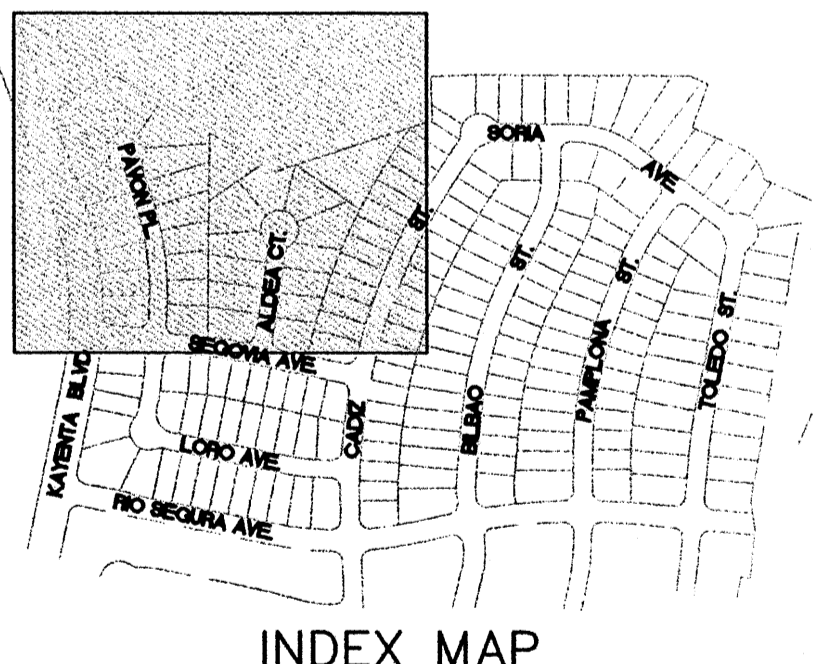
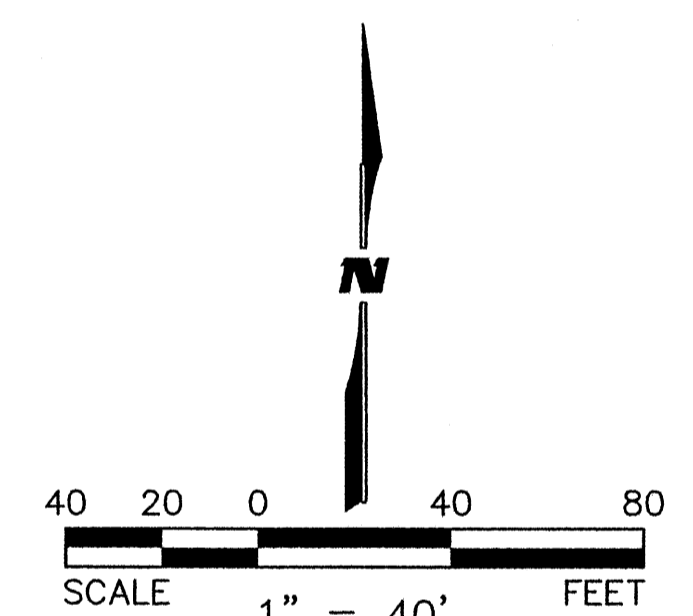
| SURVEY INFORMATION |                    | BENCH MARKS                                                         |      | AS-BUILT INFORMATION |      |
|--------------------|--------------------|---------------------------------------------------------------------|------|----------------------|------|
| NO.                | DATE               | CONTRACTOR                                                          | DATE | DATE                 | DATE |
|                    | PHOTOGRAMMETRY BY  | A.C.S. Survey Monument "SANDBERN"                                   |      |                      |      |
|                    | T.R. MANN & ASSOC. | New Mexico State Plane Coord's, Central Zone (NAD 27) as published: |      |                      |      |
|                    | FIELD SURVEYS BY   | Y = 1,534,209.29                                                    |      |                      |      |
|                    | SURV-TEK, INC.     | X = 367,854.29                                                      |      |                      |      |
|                    |                    | Elevation = 5456.92 (SLD 1929)                                      |      |                      |      |
|                    |                    | Ground to grid factor = 0.999966079                                 |      |                      |      |
| REVISIONS          |                    | REVISIONS                                                           |      | REVISIONS            |      |
| NO.                | DATE               | BY                                                                  | NO.  | DATE                 | BY   |
|                    |                    |                                                                     |      |                      |      |
| DESIGNED BY        |                    | DESIGNED BY                                                         |      | DESIGNED BY          |      |
| DRAWN BY           |                    | DRAWN BY                                                            |      | DRAWN BY             |      |
| CHECKED BY         |                    | CHECKED BY                                                          |      | CHECKED BY           |      |
| City Project No.   |                    | Zone Map No.                                                        |      | Sheet Of             |      |
| XXXXXX             |                    | A-10-Z                                                              |      | 10 33                |      |





- LEGEND**
- RETAINING WALL
  - HIGH POINT
  - DIRECTION OF FLOW
  - E LINE ELEVATION

- NOTE:**
1. BACKYARD SLOPES ARE ALL 3:1 UNLESS OTHERWISE NOTED.
  2. LOTS SHOWN IN HATCHED AREA SHALL BE PLATTED ONCE PRUDENT LINE IS ELIMINATED.



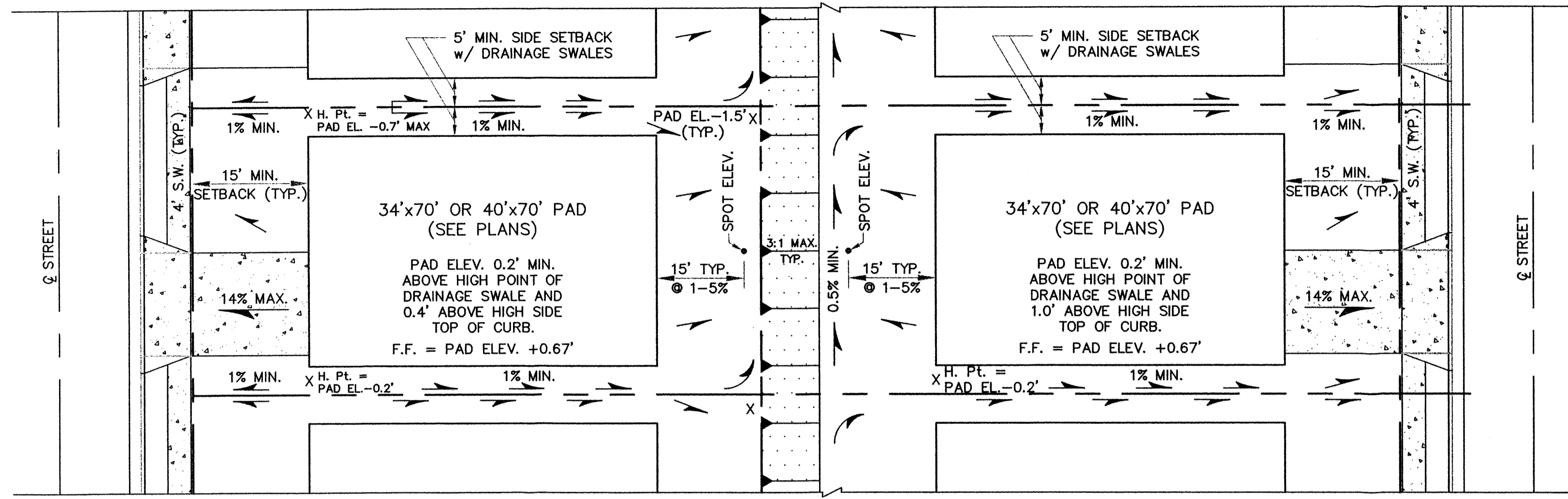
**WILSON & COMPANY** 2600 THE AMERICAN ROAD S.E.  
 SUITE 100  
 RIO RANCHO, NEW MEXICO  
 87124  
 (505) 898-8021

**CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING GROUP**

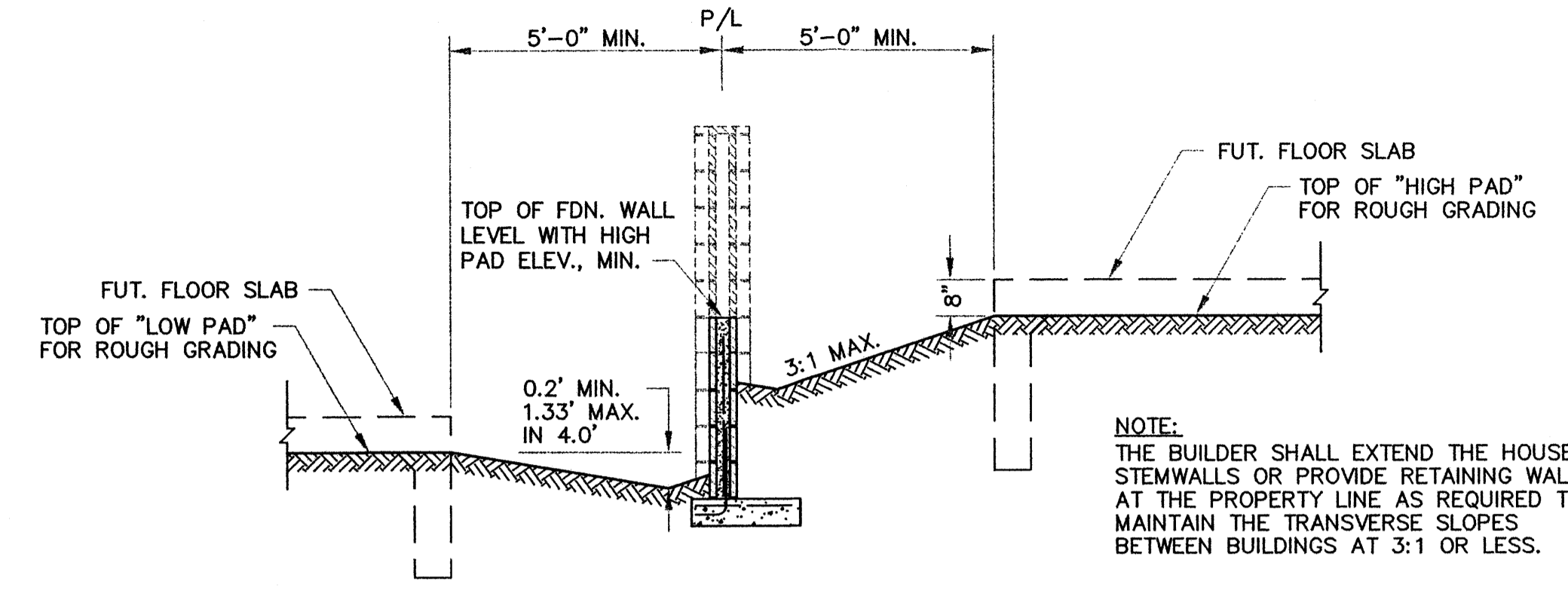
**SEVILLE SUBDIVISION - UNIT 3A  
 GRADING & DRAINAGE PLAN**

|                         |                        |                    |             |             |
|-------------------------|------------------------|--------------------|-------------|-------------|
| Design Review Committee | City Engineer Approval | Last Design Update | Mo./Day/Yr. | Mo./Day/Yr. |
|                         |                        |                    |             |             |
| City Project No.        | Zone Map No.           | Sheet              | Of          |             |
| XXXXX                   | A-10-Z                 | 11                 | 33          |             |

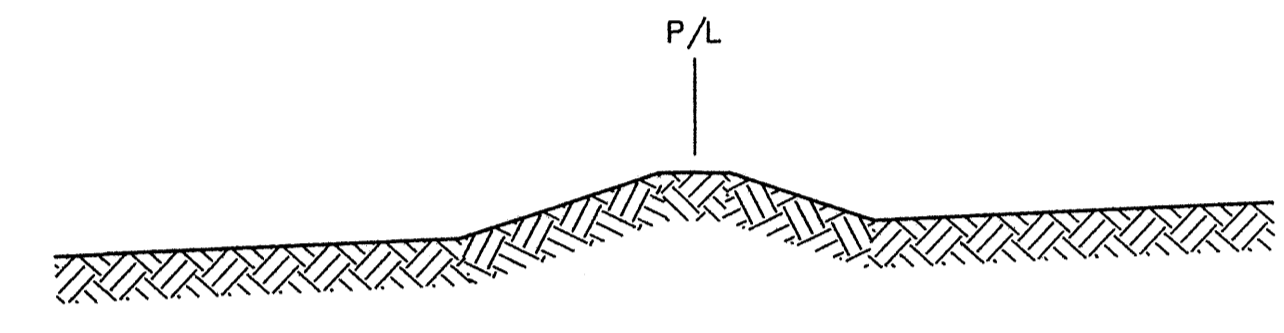
|                 |                                                                                                                                                                                                 |                    |      |                                                                     |                  |      |
|-----------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|------|---------------------------------------------------------------------|------------------|------|
| ENGINEER'S SEAL |                                                                                                                                                                                                 | SURVEY INFORMATION |      | AS-BUILT INFORMATION                                                |                  |      |
|                 |                                                                                                                                                                                                 | NO.                | BY   | DATE                                                                | CONTRACTOR       | DATE |
| REVISIONS       | NO. DATE BY<br>1. JUNE 04 J.V. WILSON & COMPANY, ENGINEERS & ARCHITECTS<br>2. JUNE 04 J.V. WILSON & COMPANY, ENGINEERS & ARCHITECTS<br>3. JUNE 04 J.V. WILSON & COMPANY, ENGINEERS & ARCHITECTS | FIELD NOTES        |      | BENCH MARKS                                                         |                  |      |
|                 |                                                                                                                                                                                                 | PHOTOGRAMMETRY BY  | DATE | A.C.S. Survey Monument "SANDBERN"                                   | CONTRACTOR       | DATE |
|                 |                                                                                                                                                                                                 | FIELD SURVEYS BY   | DATE | New Mexico State Plane Coord's, Central Zone (NAD 27) as published: | INSPECTOR'S NAME | DATE |
| REMARKS         |                                                                                                                                                                                                 | DESIGNED BY        | DATE | Y = 1,534,209.29                                                    | DATE             |      |
| DRAWN BY        |                                                                                                                                                                                                 | CHECKED BY         | DATE | X = 361,854.29                                                      | DATE             |      |
| CHECKED BY      |                                                                                                                                                                                                 | DATE               | DATE | Elevation = 5456.92 (SLD 1929)                                      | DATE             |      |
|                 |                                                                                                                                                                                                 | DATE               | DATE | Ground to grid factor = 0.99966079                                  | DATE             |      |



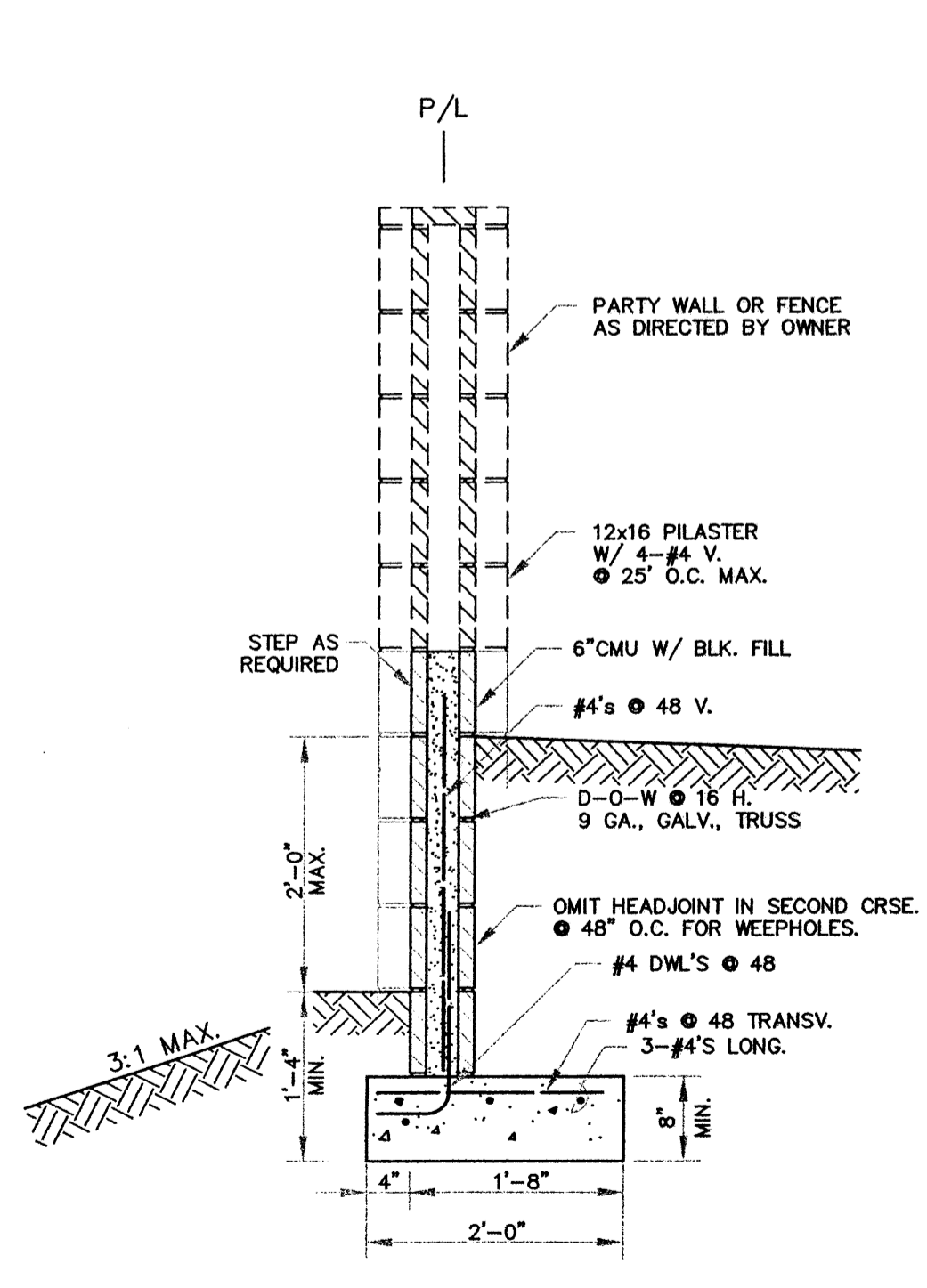
TYPICAL LOT GRADING  
NTS



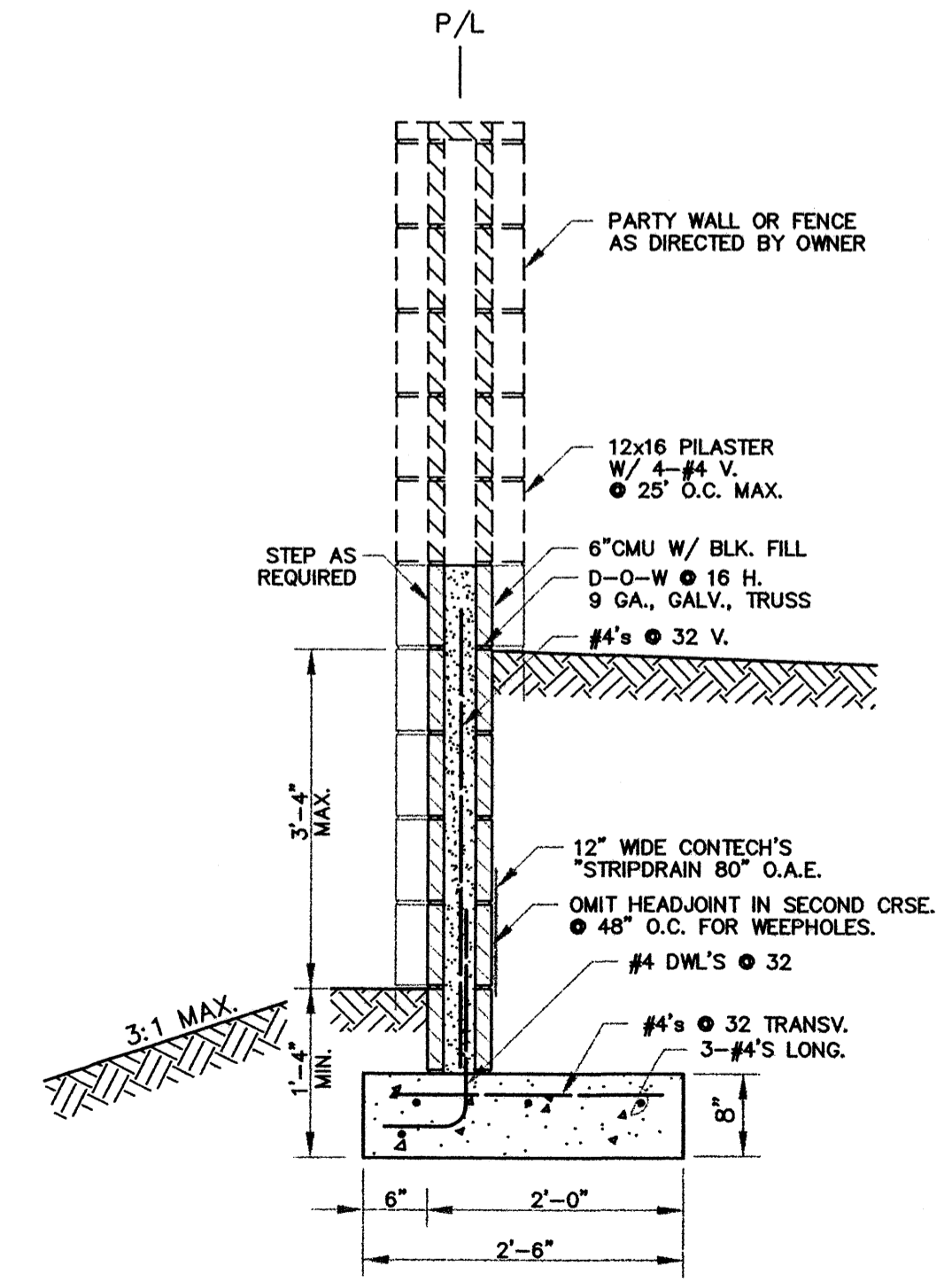
TYPICAL DETAIL @ SIDEYARD DRAINAGE SWALES  
3/8" = 1'-0"



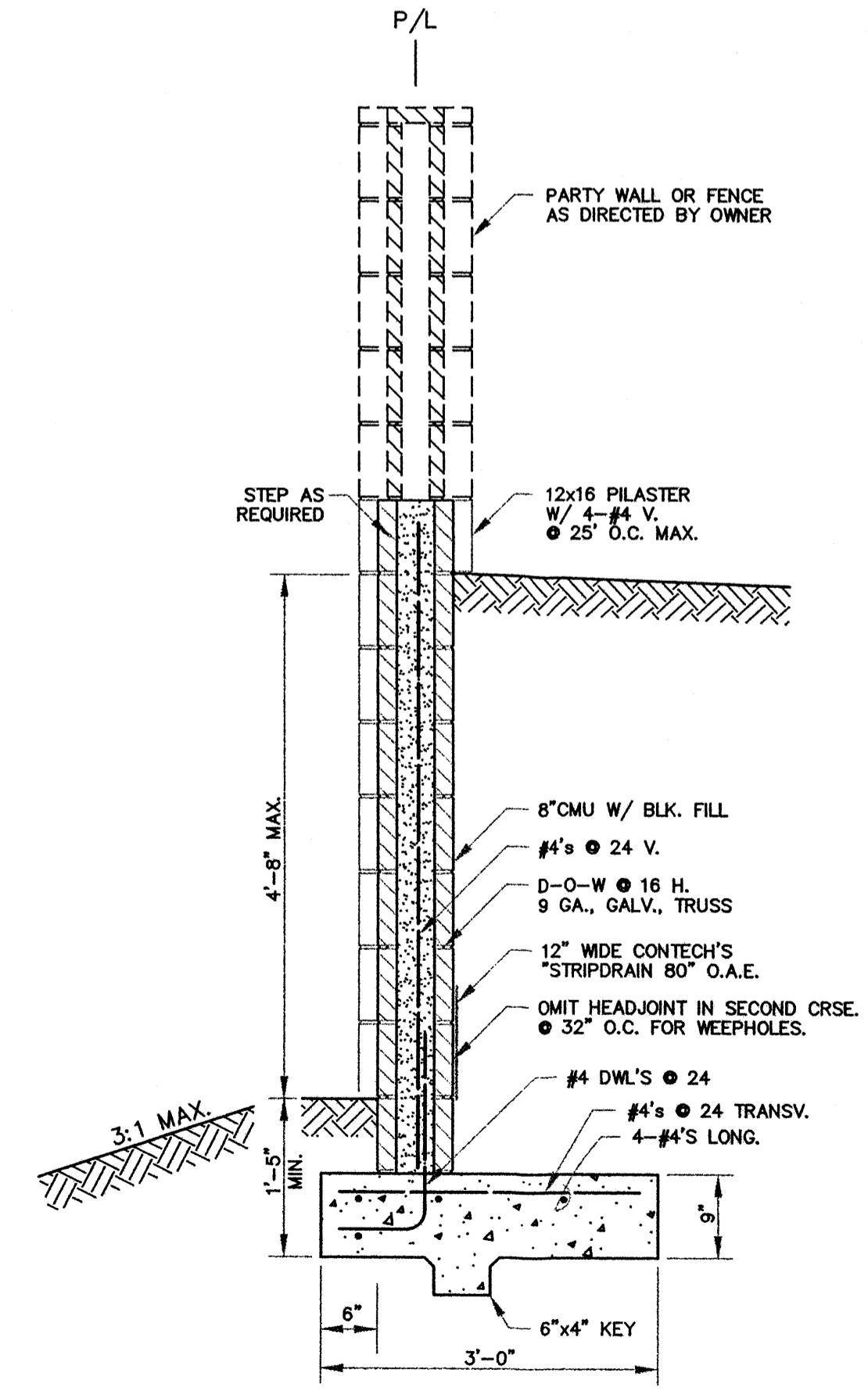
TYPICAL GRADING DETAIL  
@ PROPERTY LINES IN FRONT SETBACK  
NO SCALE



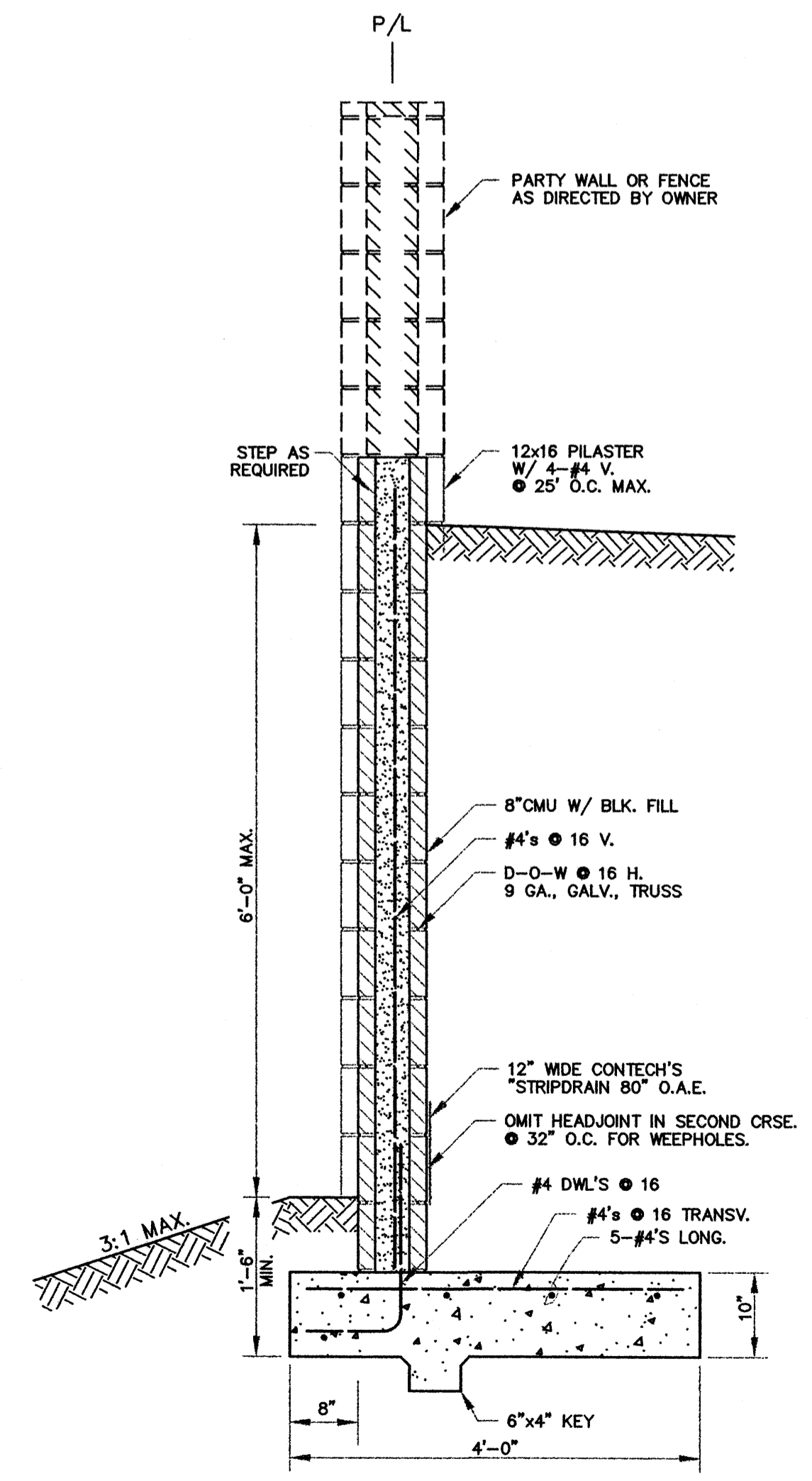
RETAINING WALL - TYPE A  
3/4" = 1'-0"



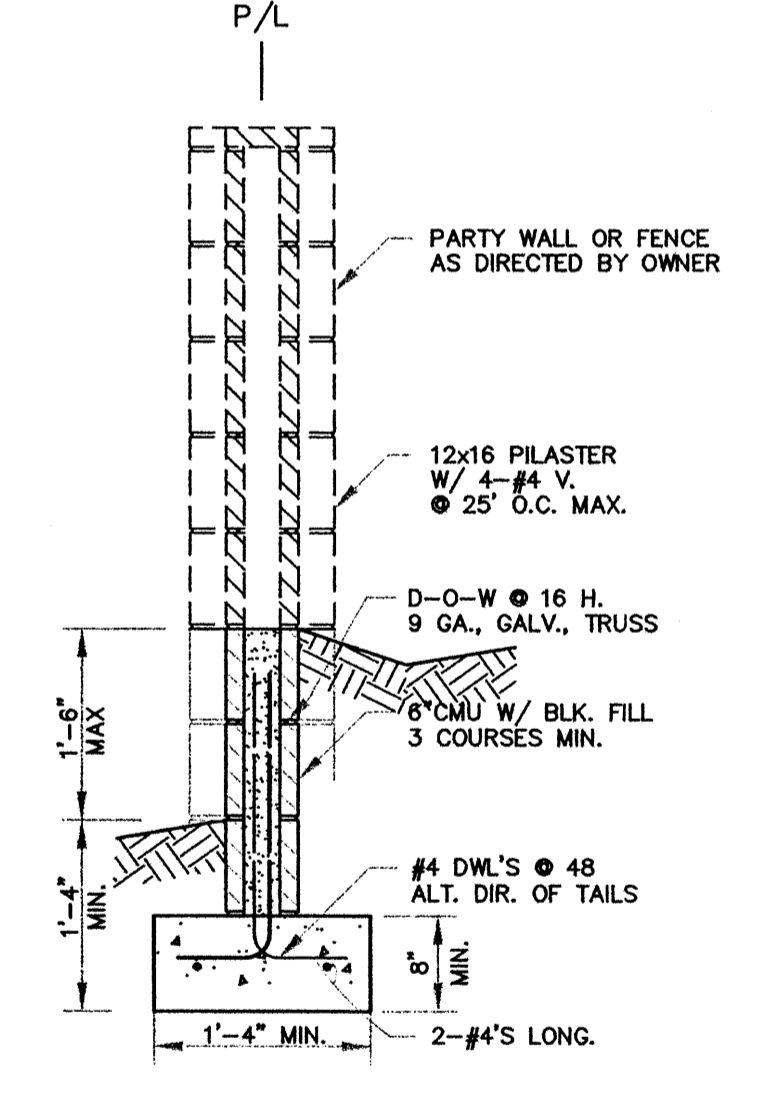
RETAINING WALL - TYPE B  
3/4" = 1'-0"



RETAINING WALL - TYPE C  
3/4" = 1'-0"



RETAINING WALL - TYPE D  
3/4" = 1'-0"



FENCE FOUNDATION WALL  
(ELEV. DIFF. < 1.5 FT.)  
3/4" = 1'-0"

**WILSON & COMPANY**  
2600 THE AMERICAN ROAD S.E.  
SUITE 100  
RIO RANCHO, NEW MEXICO  
87124  
(505) 898-8021

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING GROUP

SEVILLE SUBDIVISION - UNIT 3A  
TYPICAL LOT GRADING  
GRADING/RETAINING WALL DETAILS

|                         |                        |             |             |
|-------------------------|------------------------|-------------|-------------|
| Design Review Committee | City Engineer Approval | Mo./Day/Yr. | Mo./Day/Yr. |
| City Project No. X      | Zone Map No. A-10-Z    | Sheet 12    | Of 33       |

| SURVEY INFORMATION |                                         | AS-BUILT INFORMATION      |      |
|--------------------|-----------------------------------------|---------------------------|------|
| NO.                | BY                                      | NO.                       | DATE |
| PHOTOGRAMMETRY BY  | A.C.S. Survey Monument "SANDBERN"       | CONTRACTOR                | DATE |
| FIELD SURVEYS BY   | New Mexico State Plane Coord's, Central | INSPECTOR'S ACCEPTANCE BY | DATE |
|                    | Zone (NAD 27) as published:             | DRAWN BY                  | DATE |
|                    | Y = 1,534,209.29                        | VERIFIED BY               | DATE |
|                    | X = 361,854.29                          | DATE                      | DATE |
|                    | Elevation = 5456.92 (SLD 1929)          | MICRO-FILM INFORMATION    |      |
|                    | Ground to grid factor = 0.99866079      | NO.                       | DATE |



| NO. | DATE    | REVISIONS                                | BY |
|-----|---------|------------------------------------------|----|
|     | JUNE 04 | WILSON & COMPANY, ENGINEERS & ARCHITECTS |    |
|     | JUNE 04 | DESIGNED BY SJS                          |    |
|     | JUNE 04 | DRAWN BY WKL/DEC                         |    |
|     | JUNE 04 | CHECKED BY SJS                           |    |

AMENDED PRELIMINARY PLAT  
**SEVILLE SUBDIVISION UNIT 3-A**  
 (BEING A REPLAT OF TRACT B-2-A, SEVILLE)

WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

AMENDED MAY 2004  
 REVISED AUGUST 2004  
**PRELIMINARY PLAT**  
**APPROVED BY DRB**  
 ON 8/1/04

**LEGAL DESCRIPTION**  
 That certain parcel of land situate within the Town of Alameda Grant in projected Section 3, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract B-2-A, SEVILLE as the same is shown and designated on the plat entitled, "BULK LAND PLAT OF TRACTS 1-A-1, 1-A-2, 1-B-1, 1-B-2, 1-C-1, 1-C-2, 1-D-1, 1-D-2, 1-E-1, 1-E-2, SEVILLE AND TRACT B-2, PARADISE HEIGHTS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 19, 2002 in Plat Book 2002C, Page 312.

- GENERAL NOTES**
- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27) and rotated to grid at the Albuquerque Survey Control Monument "SANDBERN".
  - Distances are ground.
  - Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
  - All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
  - Albuquerque City Zone Atlas page A-10.
  - All street centerline monumentation shall be installed at all centerline P.C.'s, P.T.'s, angle points and street intersections and shown thus ( ). All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument - Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
  - Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
  - Total number of existing Tracts: 1
  - Total number of Lots created: 107
  - Total number of Tracts created: 2
  - Gross Subdivision acreage: 23.53 acres.
  - Total mileage of full width streets created: 0.52 mile.
  - Current Zoning is R-1.

- DISCLOSURE STATEMENT**
- The Purpose of this replat is to:
- Create the 107 residential lots and 2 Tracts as shown hereon.
  - Dedicate the additional new public street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants.
  - Grant the new public utility easements as shown hereon.
  - Tracts B-2-A-1 and B-2-A-2 will be conveyed to the City of Albuquerque and/or A.M.A.F.C.A. as Open Space by final plat.
  - Minimum Lot size shall be 5,000 sq. ft. with ~~50' lot width~~ minimum.

**NOTE 'A'**  
 Existing Temporary Public Access and Public Utility Easements granted by document filed May 29, 2002 in Book 2002C, page 192 to be vacated by vacation action and final plat.

**APPROVALS**  
 Owner of Tract B-2-A  
 Curb West, Inc.  
 Stan Strickman, Vice President

Approved for street names and monumentation  
 City Surveyor  
 Date 8-4-04

**SURV TEK, INC.**  
 Consulting Surveyors  
 6645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
 Phone: 505-697-3366 Fax: 505-697-3377

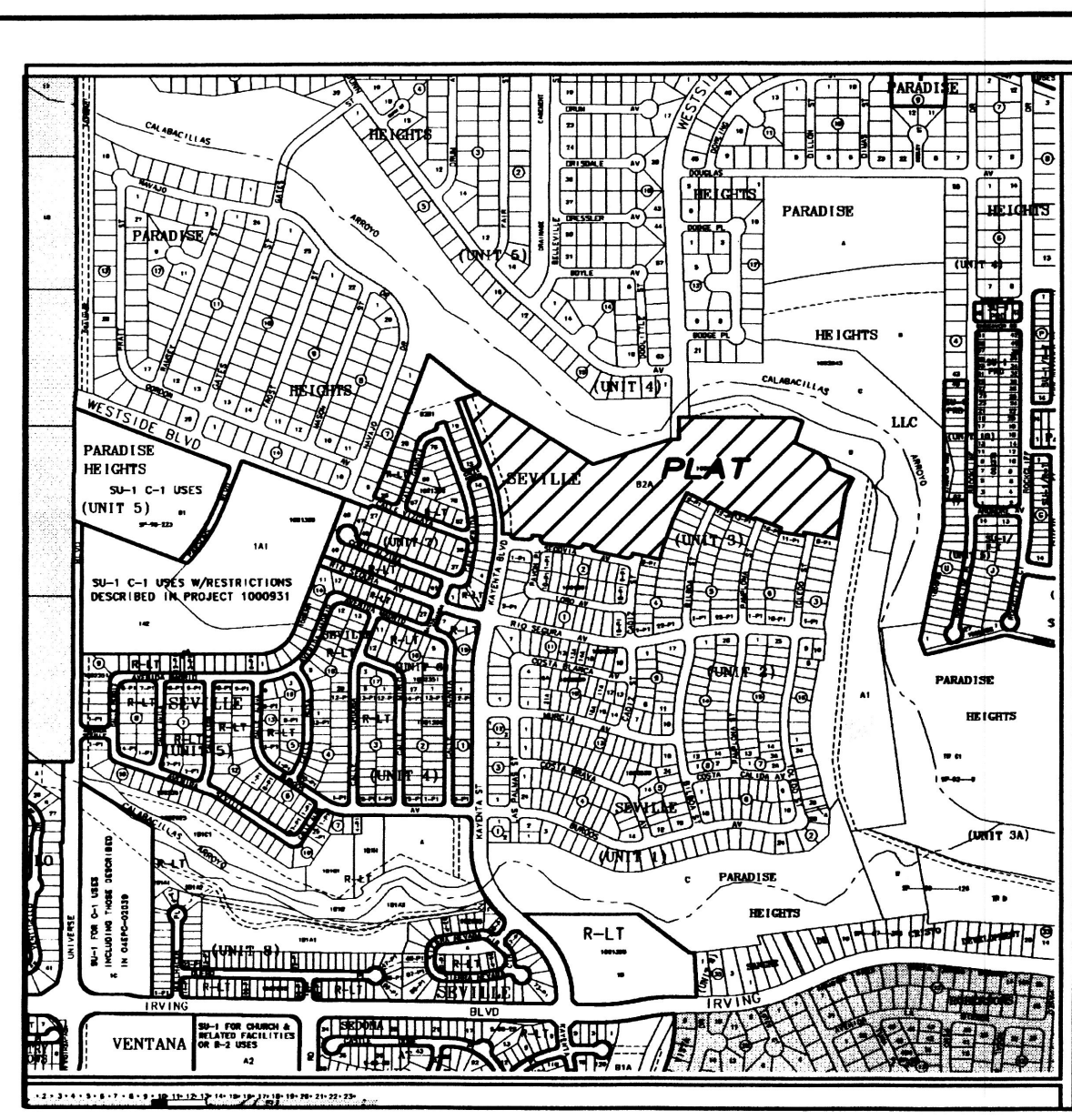
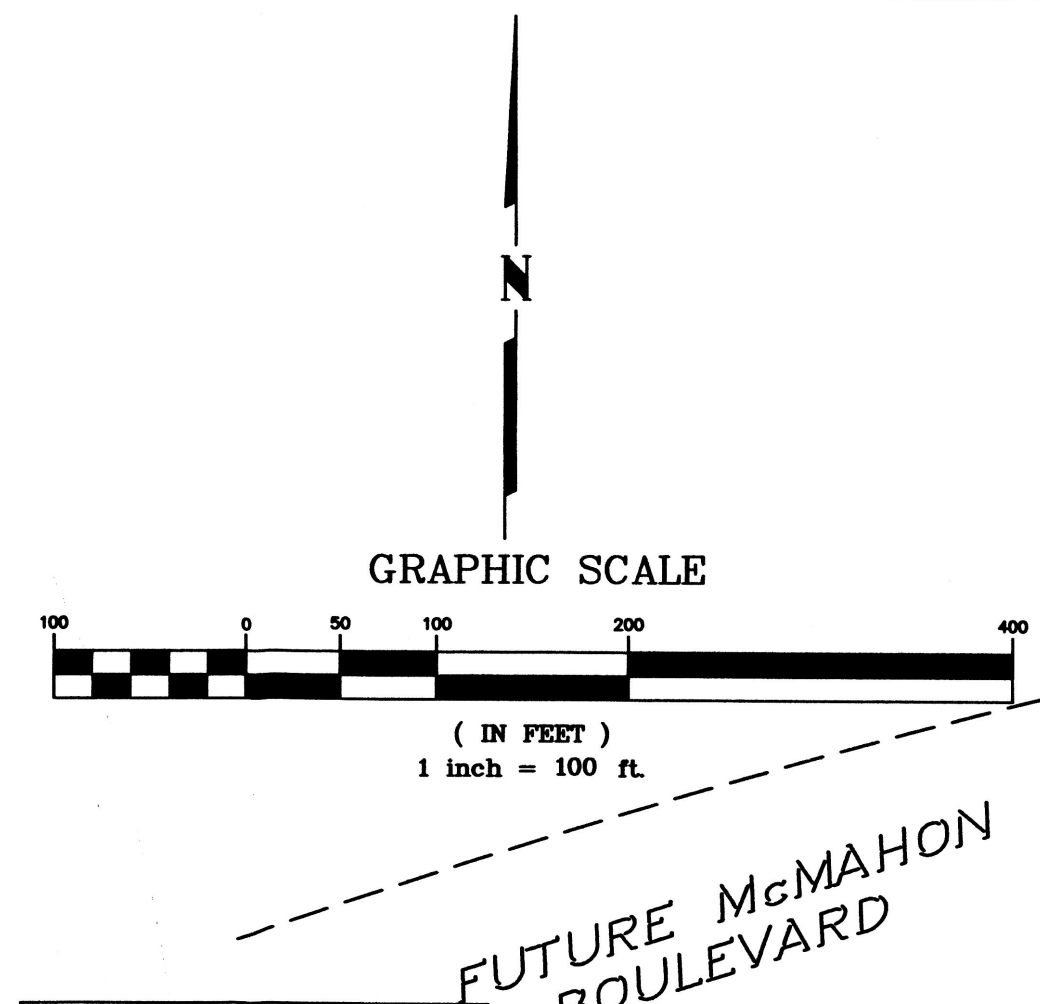
**LINE TABLE**

| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L1   | 82.13'  | N74°12'49"E |
| L2   | 52.89'  | N87°45'05"E |
| L3   | 116.15' | N02°07'39"W |
| L4   | 52.89'  | N82°52'21"E |
| L5   | 50.11'  | S85°53'26"E |
| L6   | 112.92' | S86°02'48"E |
| L7   | 92.66'  | S23°34'47"W |
| L8   | 18.56'  | N11°00'52"E |
| L9   | 17.12'  | N21°09'05"E |
| L10  | 8.84'   | N21°26'28"E |
| L11  | 14.47'  | N26°47'54"E |
| L12  | 8.72'   | N26°47'54"E |
| L13  | 48.65'  | N29°13'27"E |
| L14  | 49.44'  | N27°08'52"E |
| L15  | 49.44'  | N25°06'28"E |
| L16  | 49.44'  | N23°02'58"E |
| L17  | 49.44'  | N20°59'28"E |
| L18  | 49.44'  | N18°55'58"E |
| L19  | 49.44'  | N16°52'28"E |
| L20  | 49.44'  | N14°48'58"E |
| L21  | 148.70' | N73°12'47"W |
| L22  | 44.00'  | N78°09'50"W |
| L23  | 22.94'  | N78°09'50"W |
| L24  | 93.06'  | N85°24'26"W |
| L25  | 12.00'  | N04°35'34"E |
| L26  | 44.00'  | N85°24'26"W |
| L27  | 69.76'  | N85°24'26"W |
| L28  | 43.00'  | N89°09'17"W |

**NOTE:**  
 An additional easement may be required for the "Erosion Setback", to be determined with the future development of Tract B-2-A.

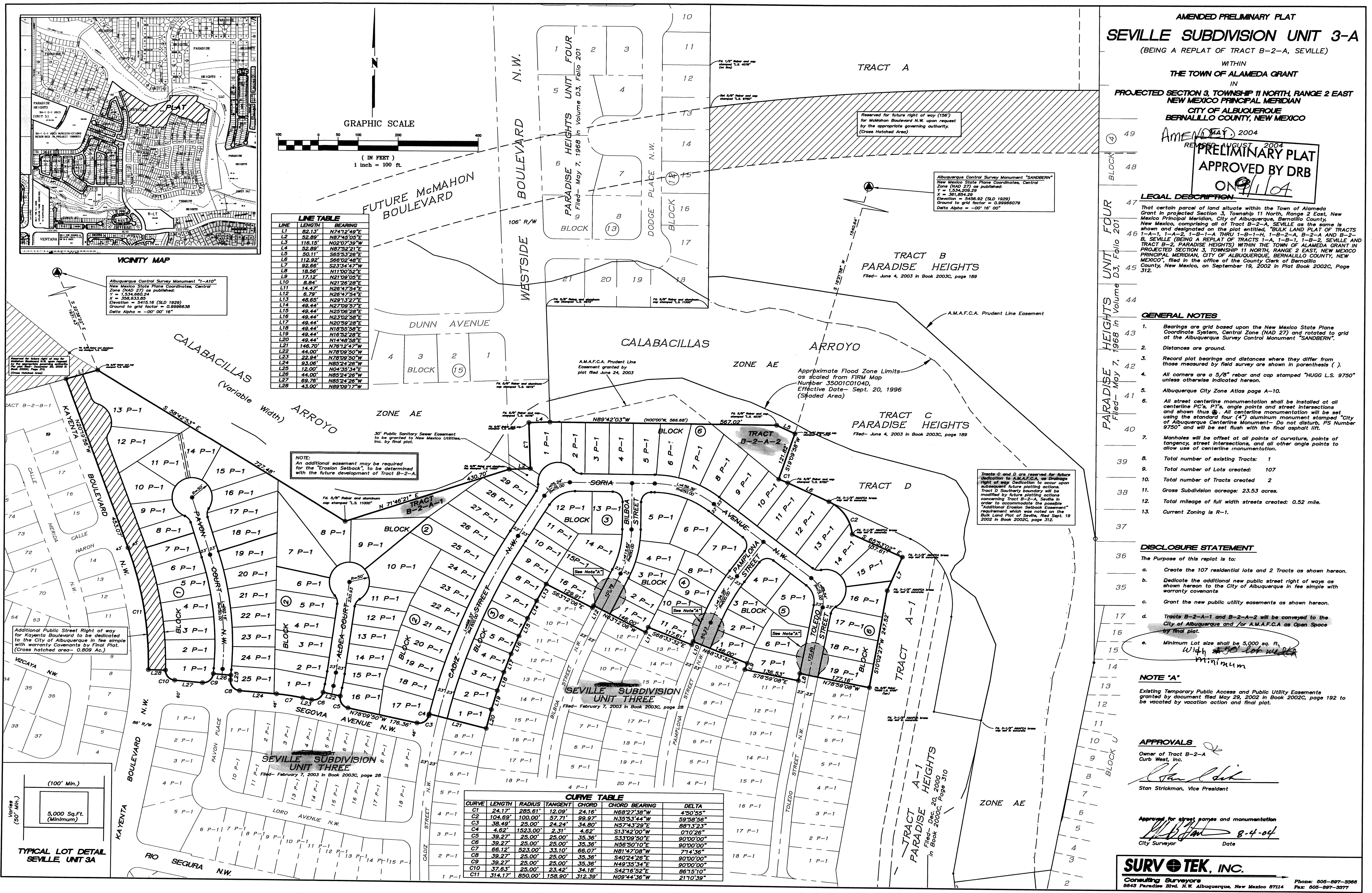
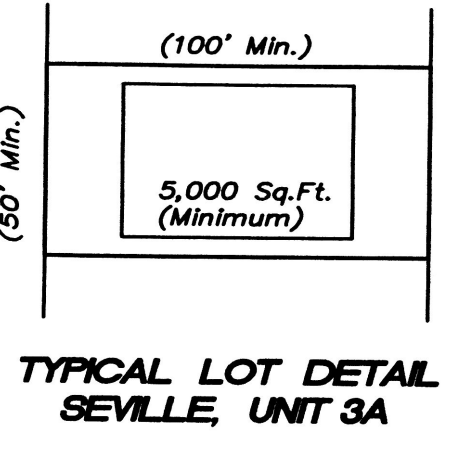
**CURVE TABLE**

| CURVE | LENGTH  | RADIUS   | TANGENT | CHORD   | CHORD BEARING | DELTA     |
|-------|---------|----------|---------|---------|---------------|-----------|
| C1    | 24.17'  | 285.61'  | 12.09'  | 24.16'  | N88°27'38"W   | 4°50'55"  |
| C2    | 104.69' | 100.00'  | 57.71'  | 99.97'  | N35°53'44"W   | 59°58'56" |
| C3    | 38.49'  | 25.00'   | 24.24'  | 34.80'  | N87°43'29"E   | 88°13'23" |
| C4    | 4.62'   | 1523.00' | 2.31'   | 4.62'   | S13°42'00"W   | 01°02'26" |
| C5    | 39.27'  | 25.00'   | 25.00'  | 35.36'  | S33°09'50"E   | 90°00'00" |
| C6    | 66.12'  | 523.00'  | 33.10'  | 66.07'  | N68°50'10"E   | 90°00'00" |
| C7    | 39.27'  | 25.00'   | 25.00'  | 35.36'  | N81°47'08"W   | 71°43'36" |
| C8    | 39.27'  | 25.00'   | 25.00'  | 35.36'  | S40°24'26"E   | 90°00'00" |
| C9    | 39.27'  | 25.00'   | 25.00'  | 35.36'  | N49°35'34"E   | 90°00'00" |
| C10   | 37.63'  | 25.00'   | 23.42'  | 34.18'  | S42°16'52"E   | 86°15'10" |
| C11   | 314.17' | 850.00'  | 158.90' | 312.39' | N09°44'36"W   | 21°10'39" |



Albuquerque Control Survey Monument "1-A10"  
 New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
 X = 358,933.65  
 Y = 1,534,208.29  
 Elevation = 5415.16 (SLD 1939)  
 Ground to grid factor = 0.9999638  
 Delta Alpha = -00° 00' 16"

Additional Public Street Right of way for Kayenta Boulevard to be dedicated to the City of Albuquerque in fee simple with warranty covenants by Final Plat. (Cross hatched area - 0.609 Ac.)



**SECOND AMENDED PRELIMINARY PLAT**  
**SEVILLE SUBDIVISION UNIT 3-A**  
 (BEING A REPLAT OF TRACT B-2-A, SEVILLE)

WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

MAY, 2004  
 REVISED DECEMBER, 2004

APPROVED BY DRB  
 ON \_\_\_\_\_

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Alameda Grant in projected Section 3, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract B-2-A, SEVILLE as the same is shown and designated on the plat entitled, "BULK LAND PLAT OF TRACTS B-2-A-1, B-2-A-2, B-2-A-3, B-2-A-4, B-2-A-5, B-2-A-6, B-2-A-7 AND B-2-A-8, SEVILLE (BEING A REPLAT OF TRACTS 1-A, 1-B-1, 1-B-2, SEVILLE AND TRACT B-2, PARADISE HEIGHTS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 19, 2002 in Plat Book 2002C, Page 312.

**GENERAL NOTES**

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27) and related to grid at the Albuquerque Survey Control Monument "SANDBERN".
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page A-10.
- All street centerline monumentation shall be installed at all centerline P.C.'s, P.T.'s, grade points and street intersections and shown thus  $\odot$ . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument - Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Total number of existing Tracts: 1
- Total number of Lots created: 106
- Total number of Tracts created: 3
- Gross Subdivision acreage: 23.53 acres.
- Total mileage of full width streets created: 0.52 mile.
- Current Zoning is R-1.


**DISCLOSURE STATEMENT**

- The Purpose of this replat is to:
- Create the 106 residential lots and 3 Tracts as shown hereon.
  - Dedicate the additional new public street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants.
  - Grant the new public utility easements as shown hereon.
  - Tracts B-2-A-2 and B-2-A-3 will be conveyed to the City of Albuquerque and for A.M.A.F.C.A. as Open Space by final plat.
  - Tract B-2-A-1 will be conveyed to New Mexico Utilities Inc. for a future well site by final plat.
  - Minimum Lot size shall be 5,000 sq. ft. 50' FOOT LOT WIDTH

**NOTE 'A'**

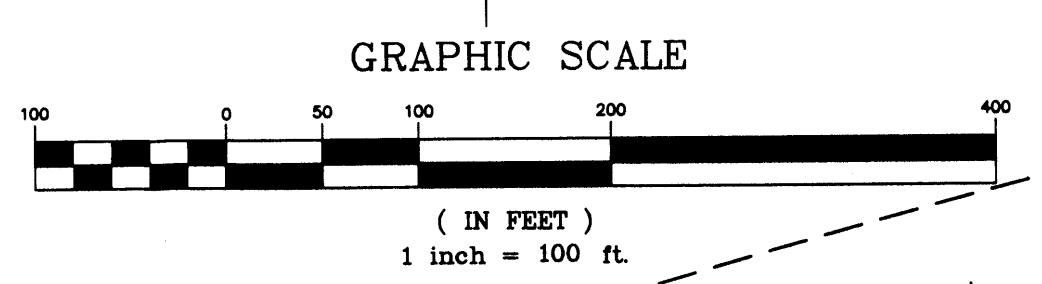
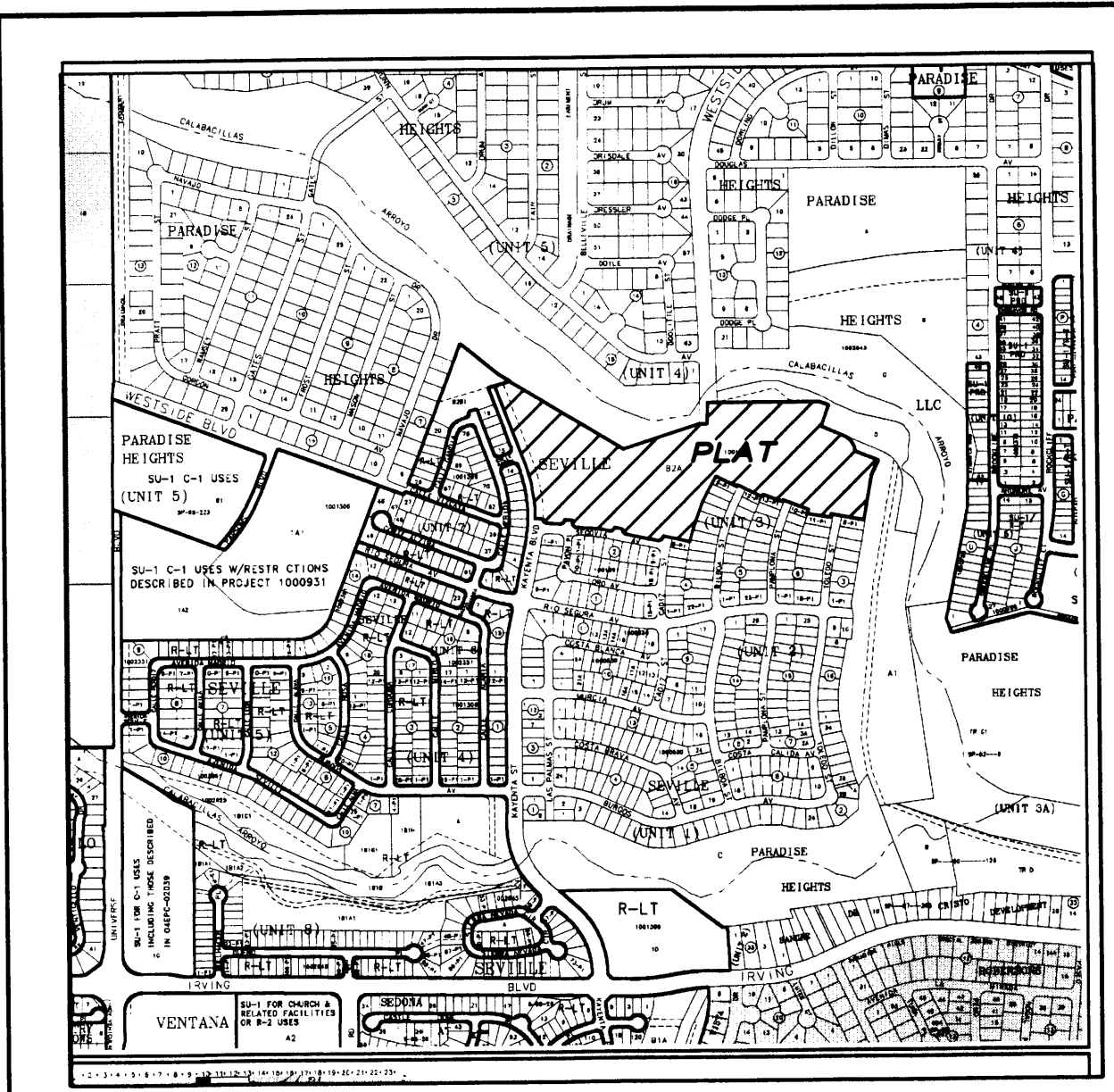
Existing Temporary Public Access and Public Utility Easements granted by document filed May 29, 2002 in Book 2002C, page 192 to be vacated by vacation action and final plat.

**APPROVALS**

Owner of Tract B-2-A  
 Curb West, Inc.  
  
 Stan Strickman, Vice President

Approved   
 City Surveyor Date 12-15-04

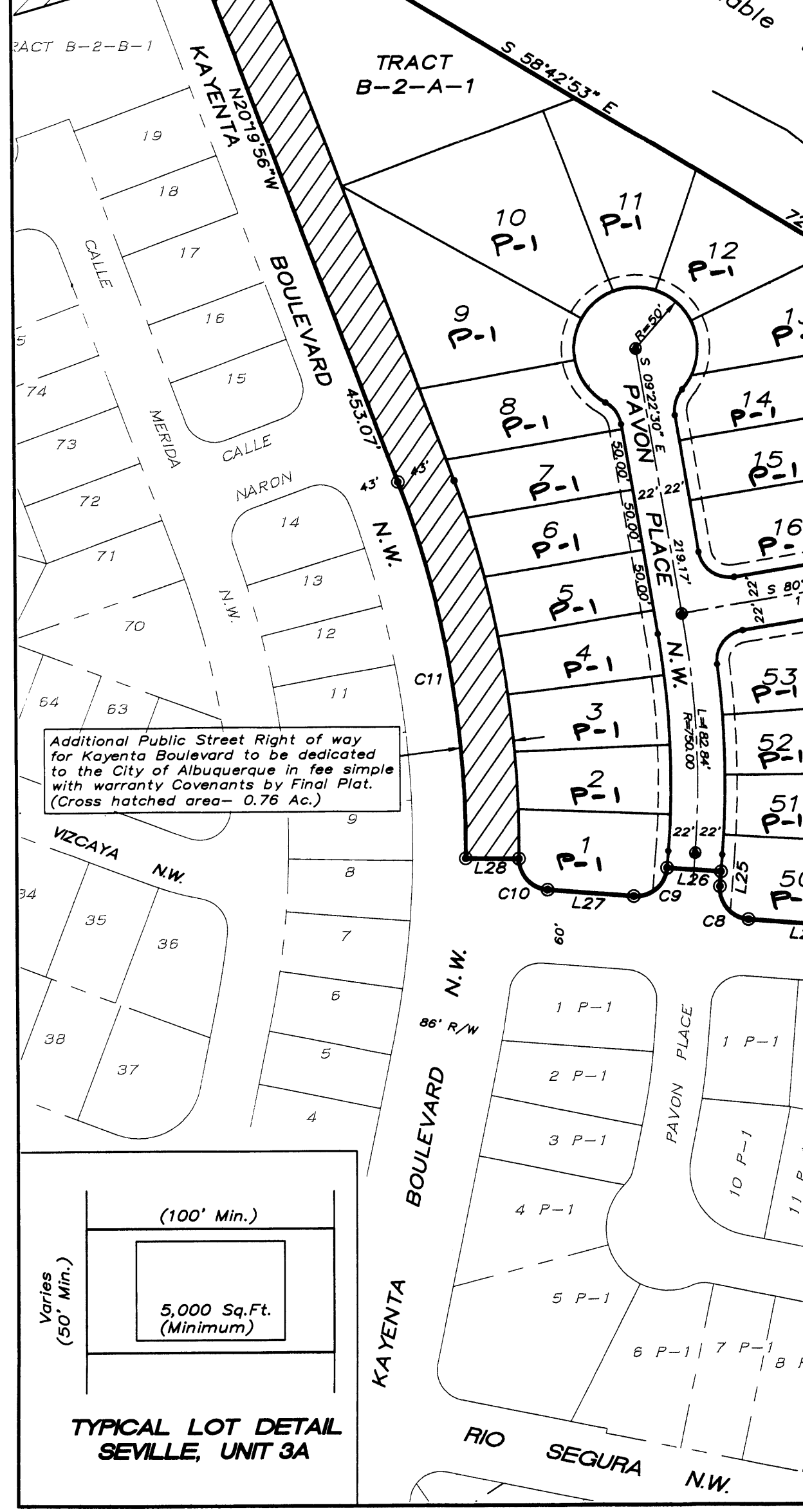
**SURVOTEK, INC.**  
 Consulting Surveyors  
 6643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3566  
 Fax: 505-897-3377



**LINE TABLE**

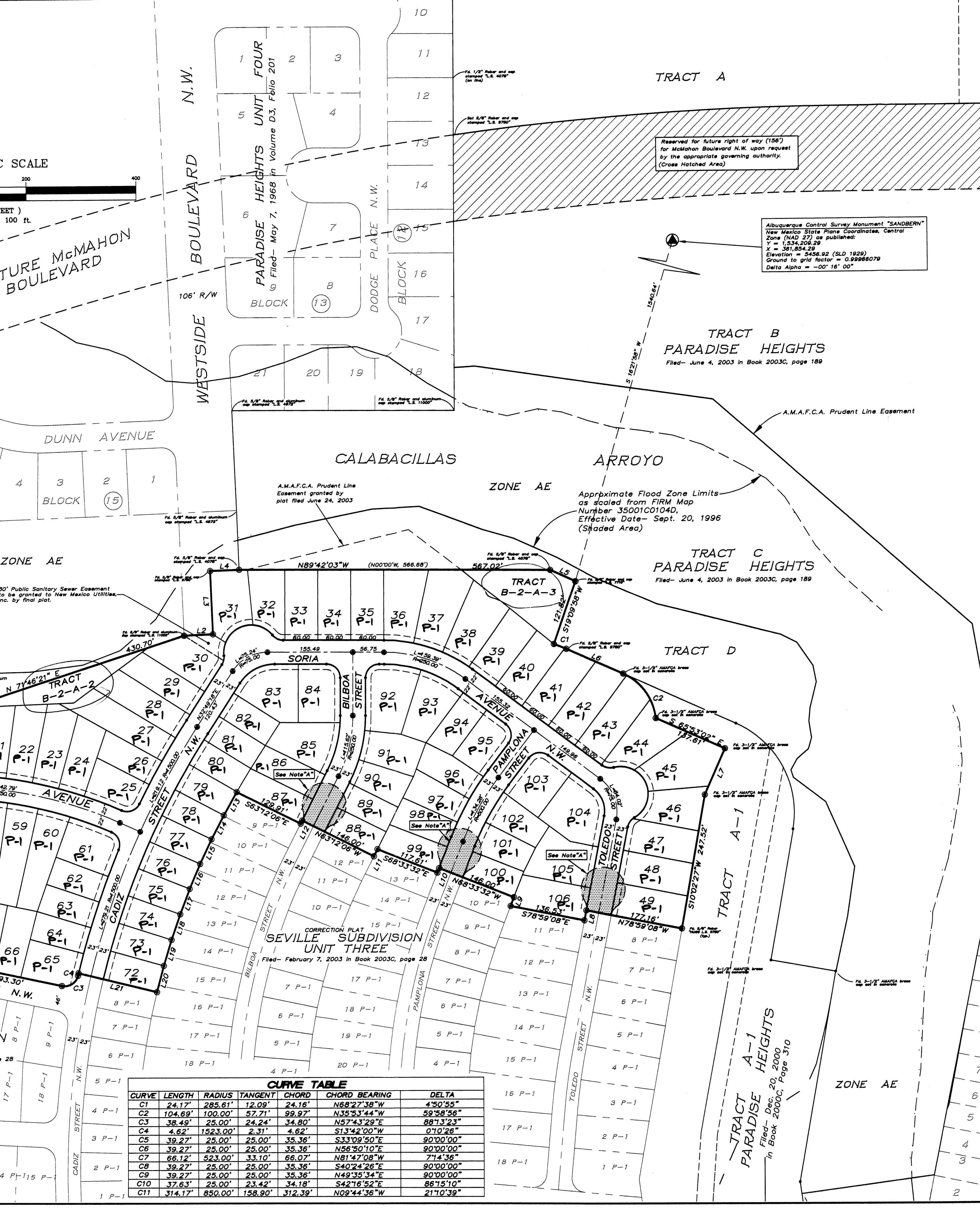
| LINE | LENGTH  | BEARING     |
|------|---------|-------------|
| L1   | 82.13'  | N74°12'42"E |
| L2   | 52.89'  | N87°45'05"E |
| L3   | 116.15' | N02°07'59"W |
| L4   | 52.89'  | N87°52'21"E |
| L5   | 50.11'  | S65°33'26"E |
| L6   | 112.92' | S66°02'48"E |
| L7   | 92.66'  | S23°34'27"W |
| L8   | 18.56'  | N11°00'52"E |
| L9   | 17.12'  | N21°09'05"E |
| L10  | 8.84'   | N21°26'28"E |
| L11  | 14.43'  | N26°47'54"E |
| L12  | 6.79'   | N26°47'54"E |
| L13  | 48.65'  | N29°13'27"E |
| L14  | 49.44'  | N27°08'57"E |
| L15  | 49.44'  | N23°02'28"E |
| L16  | 49.44'  | N23°02'28"E |
| L17  | 49.44'  | N20°38'28"E |
| L18  | 49.44'  | N18°55'58"E |
| L19  | 49.44'  | N16°32'28"E |
| L20  | 49.44'  | N14°48'58"E |
| L21  | 146.70' | N76°12'47"W |
| L22  | 44.00'  | N76°12'47"W |
| L23  | 22.94'  | N76°12'47"W |
| L24  | 93.06'  | N82°24'28"W |
| L25  | 12.00'  | N04°35'34"E |
| L26  | 44.00'  | N82°24'28"W |
| L27  | 69.76'  | N82°24'28"W |
| L28  | 43.00'  | N69°09'17"W |

**VICINITY MAP**  
 Albuquerque Control Survey Monument "A-10"  
 New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
 X = 358,933.65  
 Y = 1,534,206.29  
 Elevation = 5416.16 (SLD 1929)  
 Ground to grid factor = 0.9996638  
 Delta Alpha = -00° 00' 16"



**CURVE TABLE**

| CURVE | LENGTH  | RADIUS   | TANGENT | CHORD   | CHORD BEARING | DELTA     |
|-------|---------|----------|---------|---------|---------------|-----------|
| C1    | 24.17'  | 285.61'  | 12.09'  | 24.18'  | N68°27'38"W   | 4°50'55"  |
| C2    | 104.69' | 100.00'  | 57.71'  | 99.97'  | N35°53'44"W   | 59°58'56" |
| C3    | 38.49'  | 25.00'   | 24.24'  | 34.80'  | N57°43'29"E   | 88°13'23" |
| C4    | 4.62'   | 1523.00' | 2.31'   | 4.62'   | S13°42'00"W   | 0°10'26"  |
| C5    | 39.27'  | 25.00'   | 25.00'  | 35.36'  | S33°09'50"E   | 90°00'00" |
| C6    | 39.27'  | 25.00'   | 25.00'  | 35.36'  | N56°30'10"E   | 90°00'00" |
| C7    | 66.12'  | 523.00'  | 33.10'  | 66.07'  | N81°47'08"W   | 7°14'36"  |
| C8    | 39.27'  | 25.00'   | 25.00'  | 35.36'  | S42°24'28"E   | 90°00'00" |
| C9    | 39.27'  | 25.00'   | 25.00'  | 35.36'  | N49°35'34"E   | 90°00'00" |
| C10   | 37.63'  | 25.00'   | 23.42'  | 34.18'  | S42°16'52"E   | 86°15'10" |
| C11   | 31.47'  | 850.00'  | 158.90' | 312.39' | N09°44'36"W   | 21°10'39" |



BLOCK 49  
 BLOCK 48  
 BLOCK 47  
 BLOCK 46  
 BLOCK 45  
 BLOCK 44  
 BLOCK 43  
 BLOCK 42  
 BLOCK 41  
 BLOCK 40  
 BLOCK 39  
 BLOCK 38  
 BLOCK 37  
 BLOCK 36  
 BLOCK 35  
 BLOCK 17  
 BLOCK 16  
 BLOCK 15  
 BLOCK 14  
 BLOCK 13  
 BLOCK 12  
 BLOCK 11  
 BLOCK 10

# SEVILLE SUBDIVISION UNIT 3-A

(BEING A REPLAT OF TRACT B-2-A, SEVILLE)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN

PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2005

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

## TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Bernalillo County Treasurer

## PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Communications for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.
- Curb West, Inc. for the installation, maintenance and service of such lines, cables, equipment and other related facilities reasonably necessary to provide electrical, telephone and television services including but not limited to ground pedestals and closures.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

### DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

## PURPOSE OF PLAT

The Purpose of this plat is to:

- Create the 106 residential lots as shown hereon.
- Dedicate the additional new public street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants
- Grant the new public utility easements as shown hereon.
- Show the easements vacated by 05DRB-00083 and 05DRB-00084.

## PLAT APPROVAL

Utility Approvals:

|                       |         |
|-----------------------|---------|
| <u>Sean M. Munk</u>   | 2-9-05  |
| PNM Electric Services | Date    |
| <u>Sean M. Munk</u>   | 2-9-05  |
| PNM Gas Services      | Date    |
| <u>Marshall Goy</u>   | 3-10-05 |
| QWest Corporation     | Date    |
| <u>Rita Eick</u>      | 2-17-05 |
| Comcast               | Date    |
| <u>[Signature]</u>    | 2-9-05  |
| New Mexico Utilities  | Date    |

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

|                                              |         |
|----------------------------------------------|---------|
| <u>[Signature]</u>                           | 2-10-05 |
| City Surveyor                                | Date    |
| _____                                        | _____   |
| Real Property Division                       | Date    |
| _____                                        | _____   |
| Environmental Health Department              | Date    |
| _____                                        | _____   |
| Traffic Engineering, Transportation Division | Date    |
| _____                                        | _____   |
| Utilities Development                        | Date    |
| _____                                        | _____   |
| Parks and Recreation Department              | Date    |
| _____                                        | _____   |
| AMAFCA                                       | Date    |
| _____                                        | _____   |
| City Engineer                                | Date    |
| _____                                        | _____   |
| DRB Chairperson, Planning Department         | Date    |

## SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

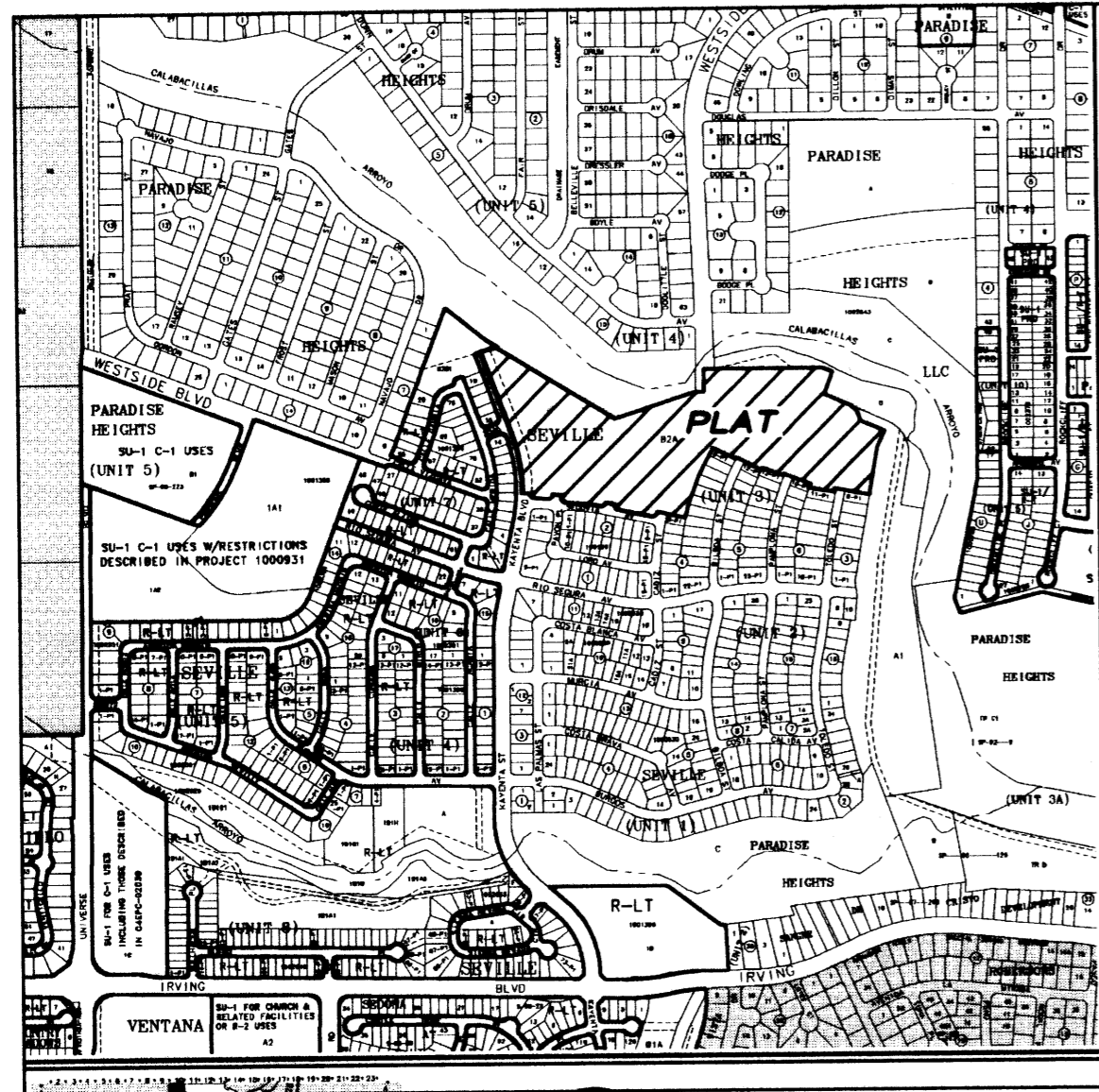
[Signature]  
Russ P. Hugg  
NMPS No. 9750  
January 20, 2005

SHEET 1 OF 6



**SURVOTEK, INC.**

Consulting Surveyors  
8384 Valley View Dr. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366 Fax: 505-897-3377



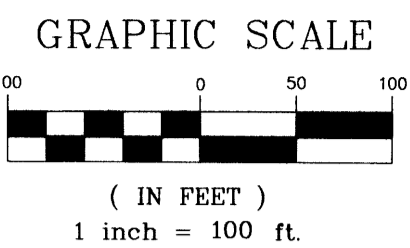
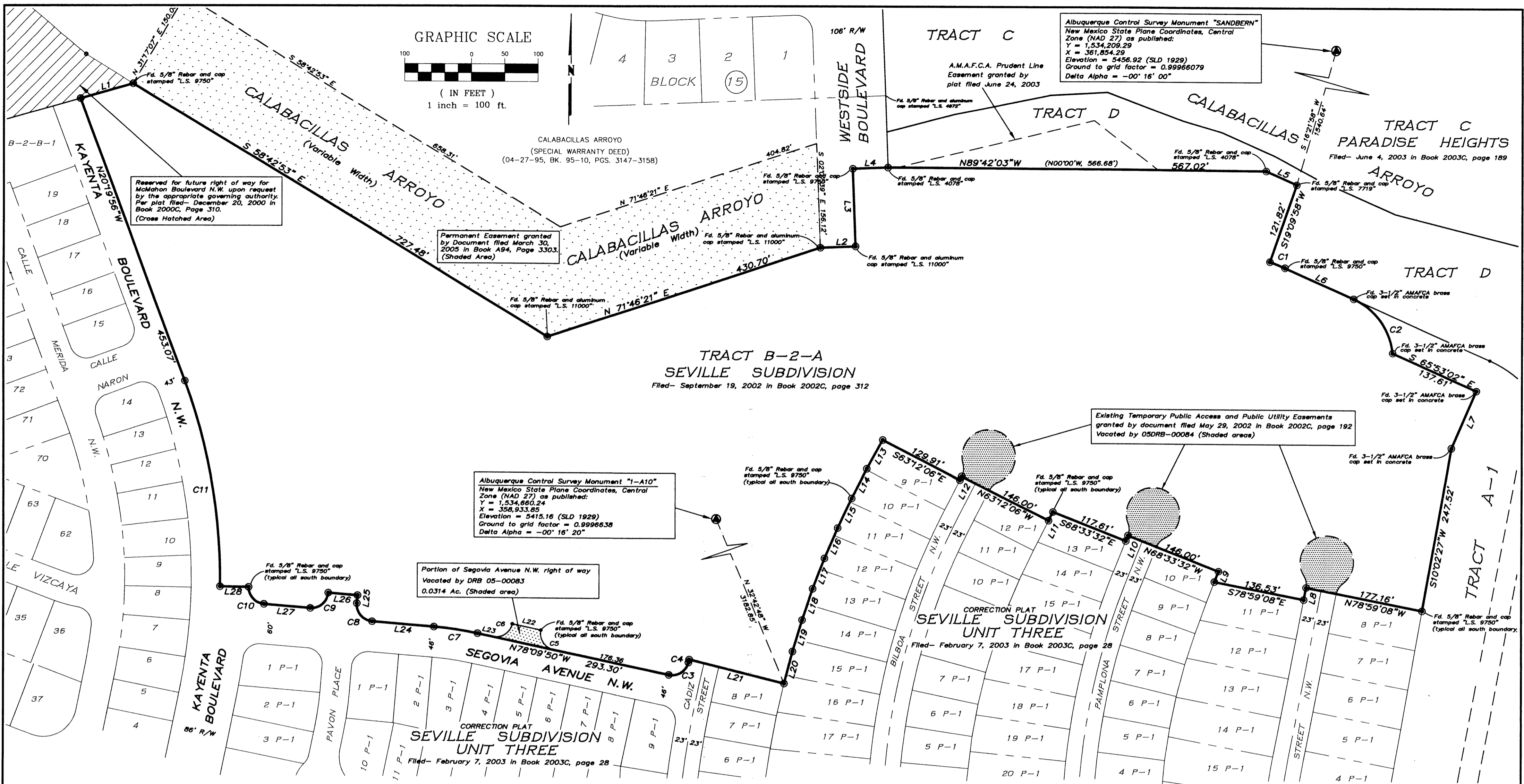
Vicinity Map  
N. T. S.

## GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27) and rotated to grid at the Albuquerque Survey Control Monument "SANDBERN".
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page A-10.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus  $\odot$ . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Total number of existing Tracts: 1
- Total number of Lots created: 106
- Total number of Tracts created 3
- Gross Subdivision acreage: 23.5610 acres.
- Total mileage of full width streets created: 0.64 mile.
- Current Zoning is R-1.
- Minimum Lot size is 5,000 square feet.
- Minimum Lot width is 50' feet.
- U.C.L.S. Log Number 2004422459.

## SHEET INDEX

- |                |                                                                           |
|----------------|---------------------------------------------------------------------------|
| SHEET 1 OF 6 - | Approvals, General Notes, Etc...                                          |
| SHEET 2 OF 6 - | Legal Description, Free consent and dedication Overall Bulk Plat Boundary |
| SHEET 3 OF 6 - | West 1/3 of Unit 3-A Subdivision Plat                                     |
| SHEET 4 OF 6 - | South 1/3 of Unit 3-A Subdivision Plat                                    |
| SHEET 5 OF 6 - | East 1/3 of Unit 3-A Subdivision Plat                                     |
| SHEET 6 OF 6 - | Curve and Line Tables                                                     |



Albuquerque Control Survey Monument "SANDBERN"  
 New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
 Y = 1,534,209.29  
 X = 361,854.29  
 Elevation = 5456.92 (SLD 1929)  
 Ground to grid factor = 0.99966079  
 Delta Alpha = -00° 16' 00"

Albuquerque Control Survey Monument "1-A10"  
 New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
 Y = 1,534,660.24  
 X = 358,933.65  
 Elevation = 5415.16 (SLD 1929)  
 Ground to grid factor = 0.9996638  
 Delta Alpha = -00° 16' 20"

Existing Temporary Public Access and Public Utility Easements granted by document filed May 29, 2002 in Book 2002C, page 192 Vacated by OSDRB-00084 (Shaded areas)

Portion of Segovia Avenue N.W. right of way Vacated by DRB 05-00083 0.0314 Ac. (Shaded area)

**LEGAL DESCRIPTION**

That certain parcel of land situate within the Town of Alameda Grant in projected Section 3, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract B-2-A, SEVILLE as the same is shown and designated on the plat entitled, "BULK LAND PLAT OF TRACTS 1-A-1, 1-A-2, 1-B-1-A THRU 1-B-1-H, 1-B-2-A, B-2-A AND B-2-B, SEVILLE (BEING A REPLAT OF TRACTS 1-A, 1-B-1, 1-B-2, SEVILLE AND TRACT B-2, PARADISE HEIGHTS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 19, 2002 in Plat Book 2002C, Page 312.

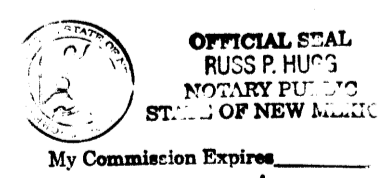
Said parcel contains 23.5610 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising, SEVILLE SUBDIVISION UNIT 3-A (BEING A REPLAT OF TRACT B-2-A, SEVILLE) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional and new street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby convey Tracts B-2-A-2 and B-2-A-3 as shown hereon to the City of Albuquerque Open Space in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

**ACKNOWLEDGEMENT**

STATE OF NEW MEXICO  
 COUNTY OF BERNALILLO SS



The foregoing instrument was acknowledged before me this 10TH day of FEBRUARY, 2005, by Stan Strickman.

Notary Public My commission expires 2/24/09

Owner of Tract B-2-A  
 Curb West, Inc.

*Stan Strickman*  
 Stan Strickman, Vice President



**SEVILLE SUBDIVISION UNIT 3-A**

(BEING A REPLAT OF TRACT B-2-A, SEVILLE)

WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2005

SHEET 2 OF 6

**SURVOTEK, INC.**

Consulting Surveyors  
 9384 Valley View Dr. N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366 Fax: 505-897-3377

# SEVILLE SUBDIVISION UNIT 3-A

(BEING A REPLAT OF TRACT B-2-A, SEVILLE)

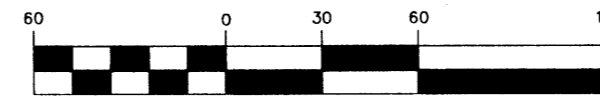
WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2005

### NOTES:

1. A 10' Public Utility Easement is hereby granted by this plat along the front of each lot as shown and designated hereon.
2. All Public Street right of ways as shown hereon are hereby dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat.

GRAPHIC SCALE



( IN FEET )  
 1 inch = 60 ft.

CALABACILLAS ARROYO  
 (SPECIAL WARRANTY DEED)  
 (04-27-95, BK. 95-10, PGS. 3147-3158)

Permanent Easement granted by Document filed March 30, 2005 in Book A94, Page 3303.

### NOTE:

Tracts B-2-A-2 and B-2-A-3 are hereby conveyed to the City of Albuquerque Open Space in Fee Simple with warranty covenants by this plat. (See free consent and dedication)

20' Public Sanitary Sewer Easement to be granted to New Mexico Utilities, Inc. by this plat.

Additional Public Street Right of way for Kayenta Boulevard to be dedicated to the City of Albuquerque in fee simple with warranty covenants by this Plat. (Cross hatched area - 0.7635 Ac.)

Permanent Easement granted by Document filed March 30, 2005 in Book A94, Page 3303.

TRACT B-2-A-1  
 0.5692 Ac.

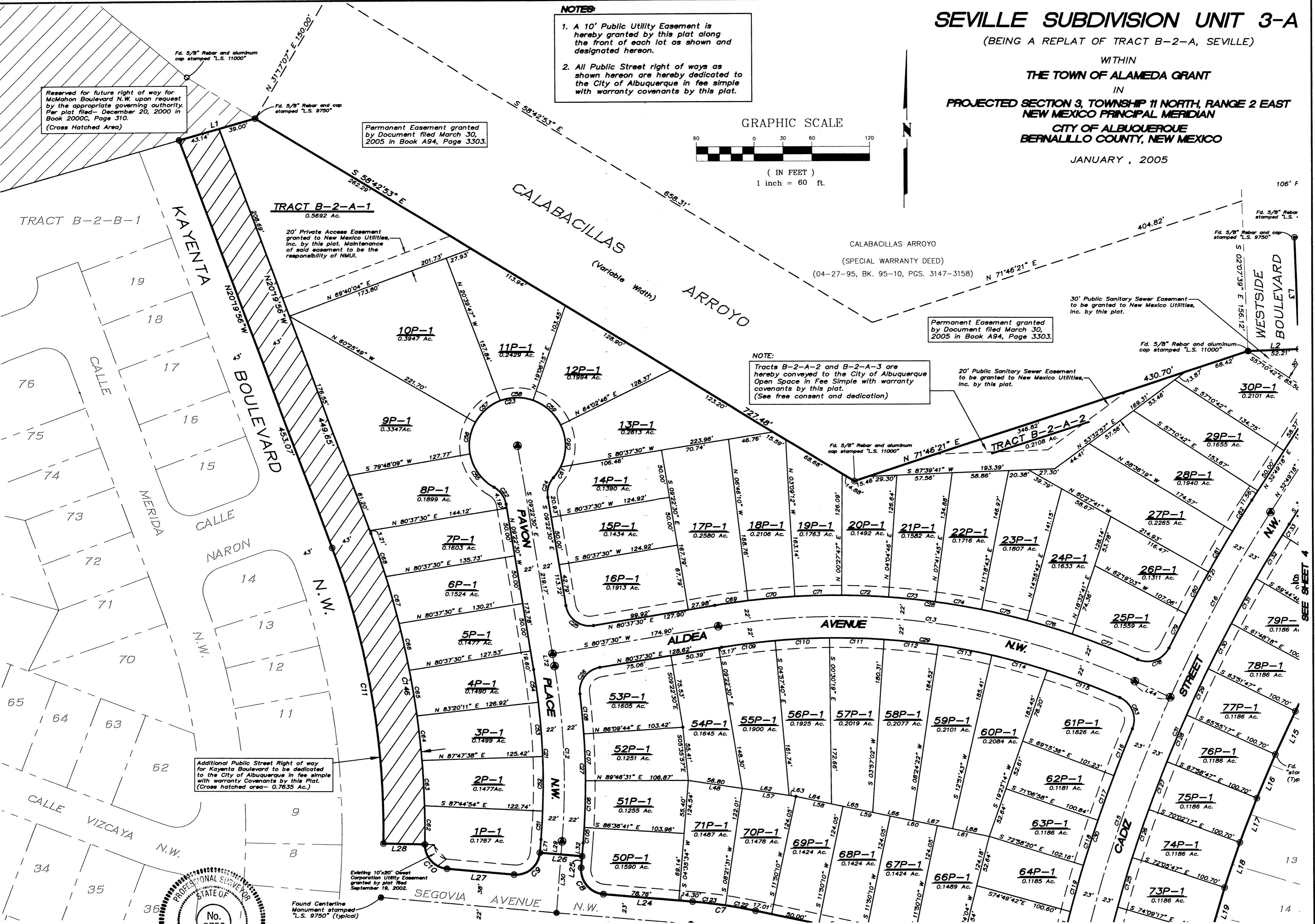
20' Private Access Easement granted to New Mexico Utilities, Inc. by this plat. Maintenance of said easement to be the responsibility of NMUI.



Found Centerline Monument stamped "L.S. 9750" (typical)

Existing 10'x20' Overhead Corporation Utility Easement granted by plat filed September 19, 2002.

Reserved for future right of way for McMahon Boulevard N.W. upon request by the appropriate governing authority. Per plat filed - December 20, 2000 in Book 2000C, Page 310. (Cross Hatched Area)



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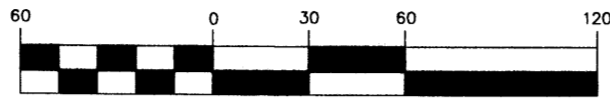
# SEVILLE SUBDIVISION UNIT 3-A

(BEING A REPLAT OF TRACT B-2-A, SEVILLE)

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NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
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JANUARY, 2005 CALABACILLAS ARROYO  
(SPECIAL WARRANTY DEED)  
(04-27-95, BK. 95-10, PGS. 3147-3158)

GRAPHIC SCALE



( IN FEET )  
1 inch = 60 ft.

CALABACILLAS

ARROYO

TRACT C

TRACT D

TRACT B-2-A  
0.3223 Ac.

Permanent Easement granted by Document filed March 30, 2005 in Book A94, Page 3303.

NOTE:

Tracts B-2-A-2 and B-2-A-3 are hereby conveyed to the City of Albuquerque Open Space in Fee Simple with warranty covenants by this plat. (See free consent and dedication)

20' Public Sanitary Sewer Easement to be granted to New Mexico Utilities, Inc. by this plat.

30' Public Sanitary Sewer Easement to be granted to New Mexico Utilities, Inc. by this plat.

A.M.A.F.C.A. Prudent Line Easement granted by plat filed June 24, 2003

AS  
Variable Width)  
ARROYO



CORRECTION PLAT  
SEVILLE SUBDIVISION  
UNIT THREE

Filed- February 7, 2003 in Book 2003C, page 28

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SEE SHEET 3

SEE SHEET 5



# SEVILLE SUBDIVISION UNIT 3-A

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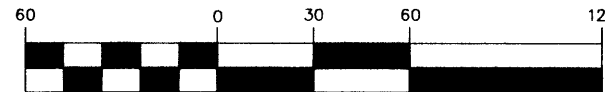
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CITY OF ALBUQUERQUE  
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JANUARY, 2005

TRACT C  
PARADISE HEIGHTS  
Filed- June 4, 2003 in Book 2003C, page 189

TRACT D  
PARADISE HEIGHTS  
Filed- June 4, 2003 in Book 2003C, page 189

GRAPHIC SCALE



( IN FEET )  
1 inch = 60 ft.

CALABACILLAS

ARROYO

TRACT C

TRACT D

TRACT B-2-A-3

TRACT C  
PARADISE HEIGHTS  
Filed- June 4, 2003 in Book 2003C, page 189

TRACT D  
PARADISE HEIGHTS  
Filed- June 4, 2003 in Book 2003C, page 189

NOTE:  
Tracts B-2-A-2 and B-2-A-3 are hereby conveyed to the City of Albuquerque Open Space in Fee Simple with warranty covenants by this plat. (See free consent and dedication)

30' Public Sanitary Sewer Easement to be granted to New Mexico Utilities, Inc. by this plat.

Assessment co Utilities,

Fd. 5/8" Rebar and cap stamped "L.S. 9750"

Fd. 3-1/2" AMAFCA brass cap set in concrete

TRACT A-1  
(LANDS OF A.M.A.F.C.A.)  
Filed- Dec. 20, 2000  
in Book 2000C, Page 310

Fd. 3-1/2" AMAFCA brass cap set in concrete

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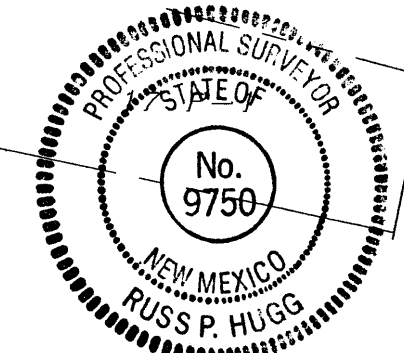
Fd. 3-1/2" AMAFCA brass cap set in concrete

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## CORRECTION PLAT SEVILLE SUBDIVISION UNIT THREE

Filed- February 7, 2003 in Book 2003C, page 28



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CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2005

CURVE TABLE

Table with columns: CURVE, LENGTH, RADIUS, TANGENT, CHORD, CHORD BEARING, DELTA. Contains 100 rows of curve data (C1-C100).

CURVE TABLE

Table with columns: CURVE, LENGTH, RADIUS, TANGENT, CHORD, CHORD BEARING, DELTA. Contains 100 rows of curve data (C100-C199).

LINE TABLE

Table with columns: LINE, LENGTH, BEARING. Contains 72 rows of line data (L1-L72).

