

**PROJECT NUMBER:** 1003477  
**APPLICATION NUMBER:** \_\_\_\_\_

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN ADMINISTRATIVE APPROVAL**

TRAFFIC ENGINEERING/TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
* ENVIRONMENTAL HEALTH, IF NECESSARY	

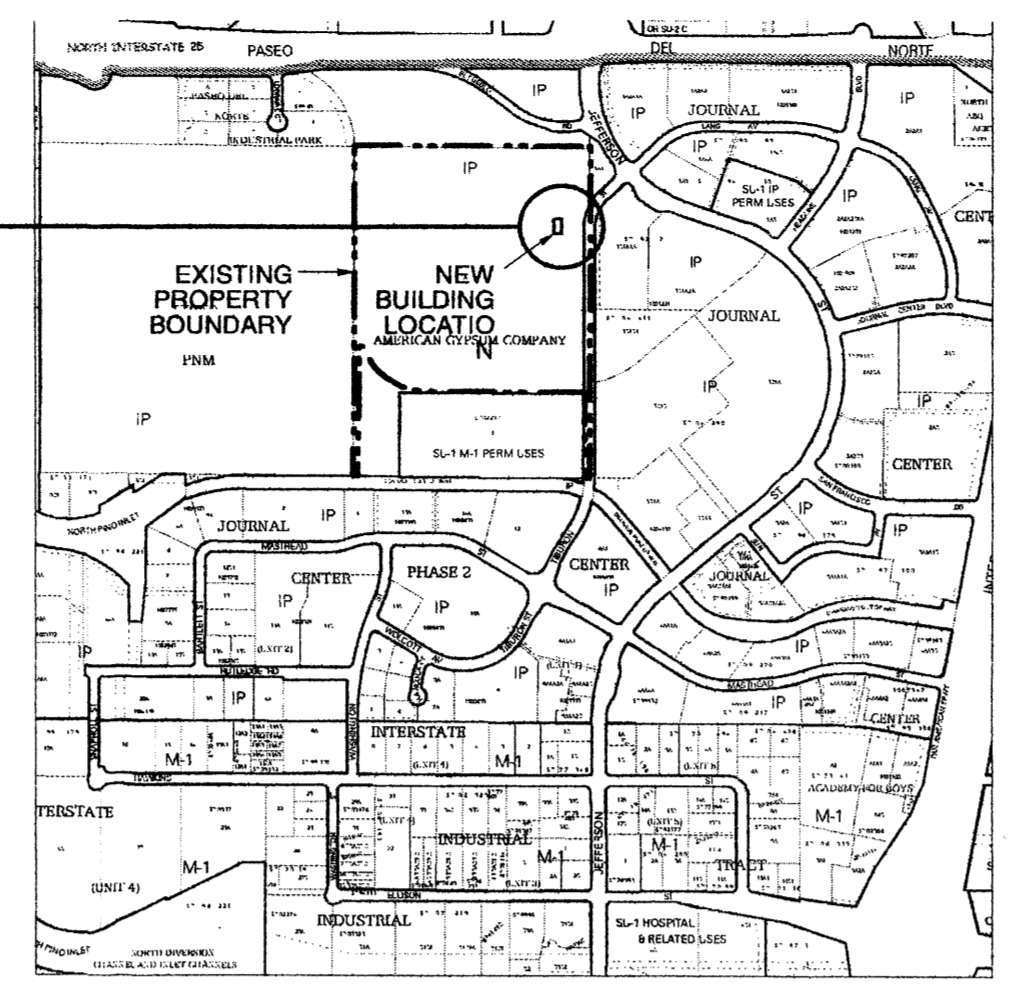
**PROJECT LOCATION**

**PROJECT SITE**  
 4600 Paseo Del Norte Blvd NE  
 Albuquerque, NM 87113  
 ZONE ATLAS D-17-Z  
 MRGGC MAP #28  
 Land Use Zone IP  
 Site Area 44.5739 acres

**LEGAL DESCRIPTION:**  
 Section 23, Township 11 North, Range 3 East, N.M.P.M., as projected into Elena Gallegos Land Grant

Subdivision: American Gypsum Company  
 Owner: American Gypsum Inc.  
 Upr #: 101706325338020199

Portions of Parcels A & B As described in Warranty Deed Filed 12/22/71 in Bk. D909, Pg. 161



**PROJECT DESCRIPTION**

The proposed amendments to the site plan are:

- Remove 2020sf mobile office structure.
- Delete 10 adjacent parking spaces. Parking requirements are adequate as shown in the Site Data.
- Add 3200 sf pre-engineered metal warehouse building.
- Modify immediately adjacent paving to accommodate positive drainage away from the new building, while maintaining historical site drainage to an existing storm drain.

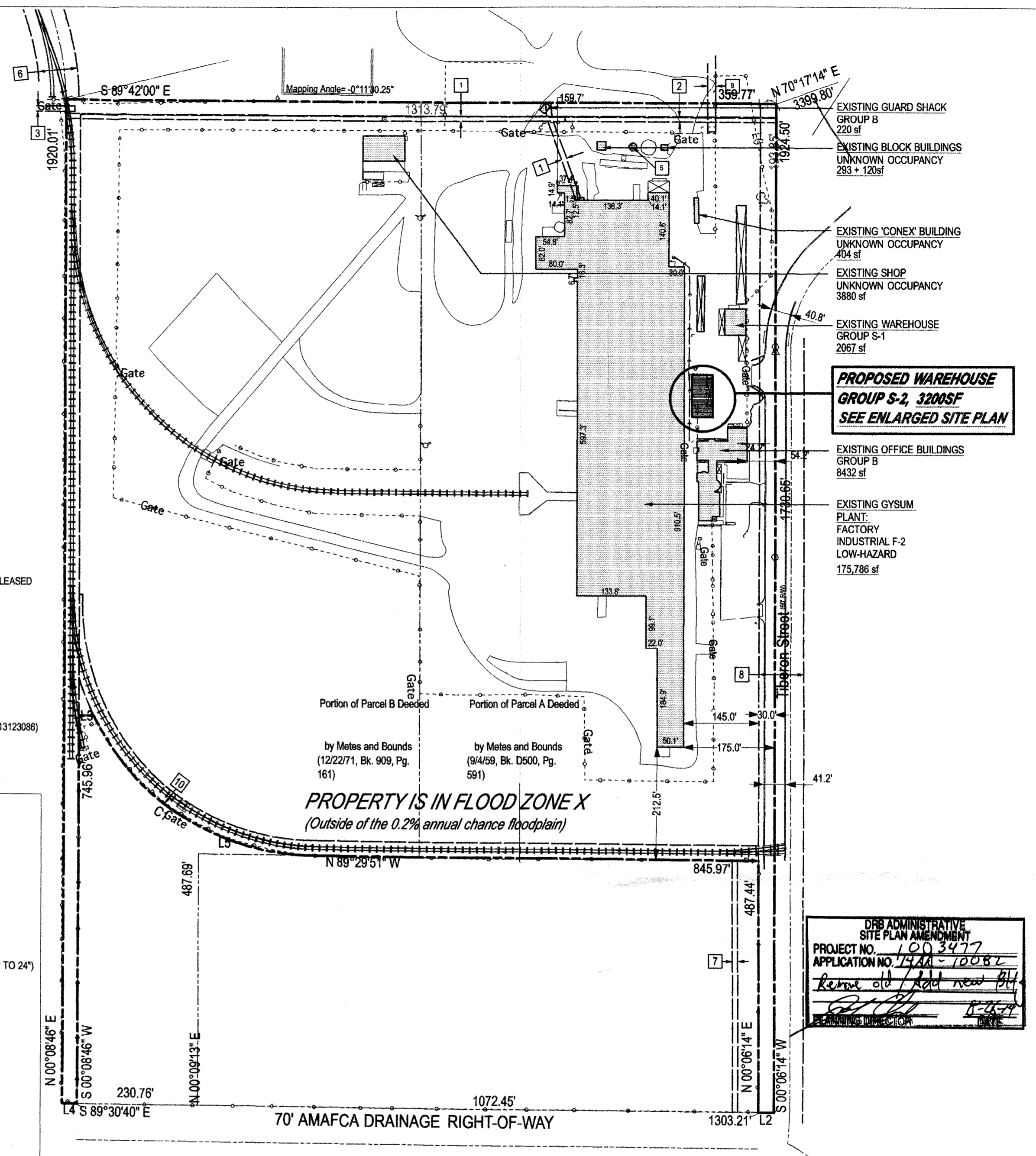
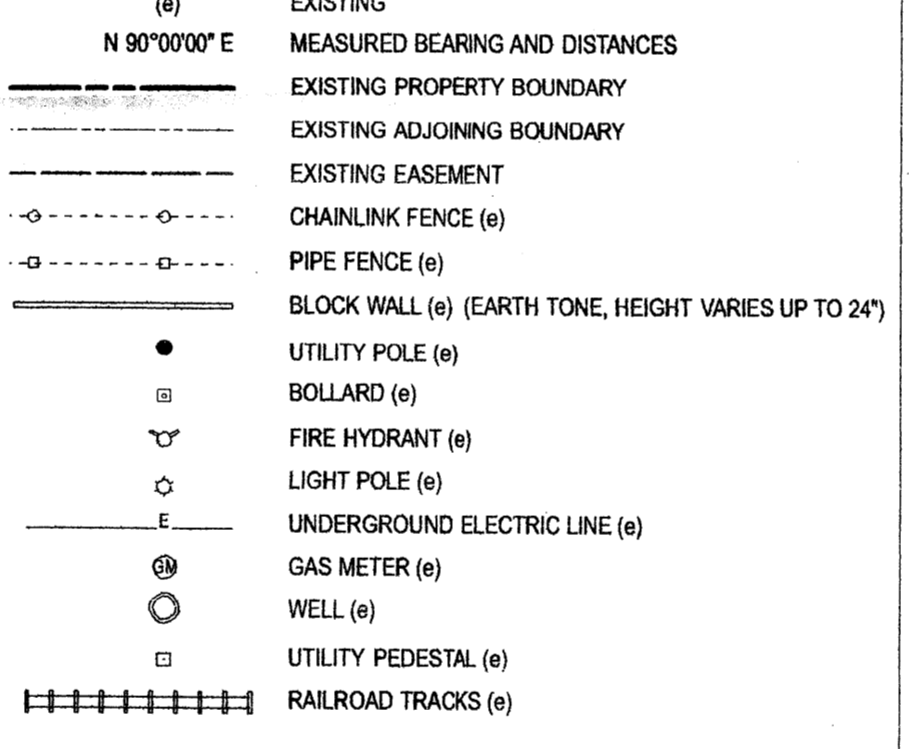
**GENERAL SITE PLAN NOTES:**

1. Property Boundaries and Easements shown are based on Boundary Survey performed July 2014.
2. There are no changes to the following items on the previously-approved Site Development Plan:
  - Landscaping
  - Easements
  - Walls, Fences or Screening
  - Loading Facilities
  - Site Lighting
  - Refuse Container / Enclosure.
  - Patios, Benches, Tables
  - Bicycle Racks, spaces, facilities
  - Pedestrian site Circulation
  - Vehicular Site Access & Circulation
3. Hydrology and Drainage  
 The project will use historical drainage means consisting of positive surface flow across existing pavement. Impermeable tributary drainage area (roofs and paving) will remain the same.
4. Parking  
 The project has a surplus of parking, according to a recalculation of the parking requirements. Therefore, the loss of the 10 parking spaces adjacent to the proposed buildings does not require relocating new spaces elsewhere.

**EASEMENT NOTES**

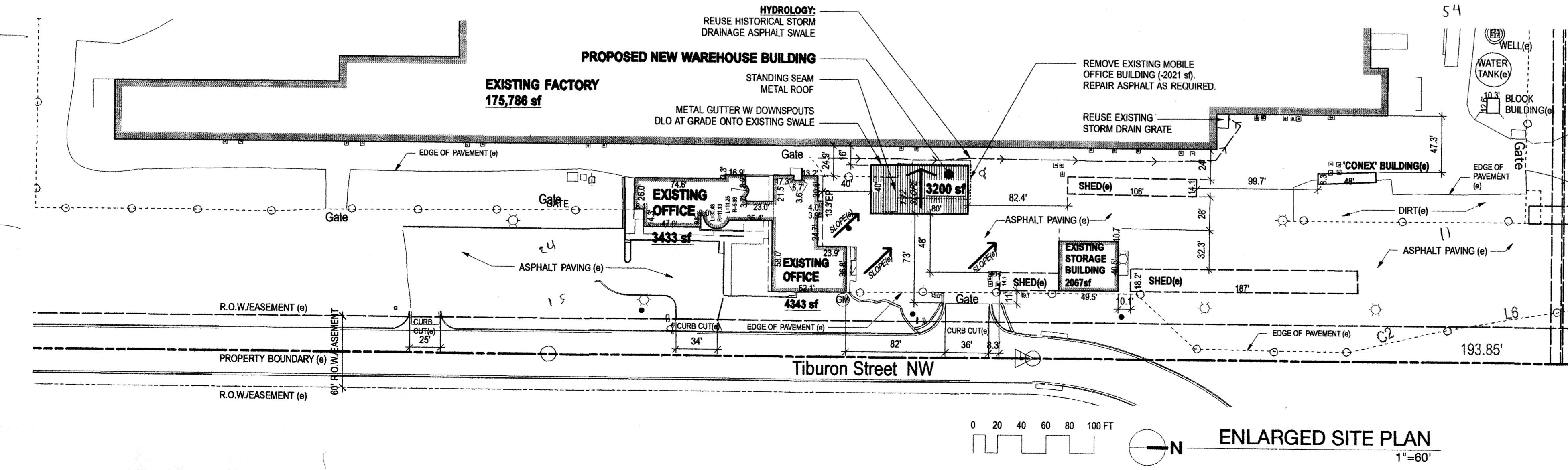
- 1 10' PNM AND MST&T CO. EASEMENT (4/22/80, D538-624)
- 2 10' PNM AND MST&T CO. EASEMENT (7/8/80, D550-574)
- 3 10' RIGHT OF WAY EASEMENT (10/8/80, D565-103)
- 4 10' RIGHT OF WAY EASEMENT (10/27/80, D568-513) NOT SHOWN HEREON RELEASED BY PNM WAIVER AND RELEASE DATED 7/9/2001, A21-7079
- 5 WELL LOCATION (4/14/85, BOOK MISC. 51, PAGE 183)
- 6 50' RIGHT OF WAY EASEMENT FOR RAILROAD SPUR (5/4/85, D775-122)
- 7 10' PNM AND MST&T CO. EASEMENT (6/5/72, BK. MISC. 263, PAGE 328)
- 8 HIGHWAY EASEMENT (1/8/74, BOOK MISC. 348, PAGE 158)
- 9 NOTICE OF LIS PENDENS FOR THE GAS CO. OF NM (11/12/2013, DOC. NO. 2013123086)
- 10 28' RAILROAD SPUR EASEMENT BY PRESCRIPTIVE RIGHTS

**LEGEND**



**PROPERTY IS IN FLOOD ZONE X**  
*(Outside of the 0.2% annual chance floodplain)*

**OVERALL SITE PLAN**  
 1"=150'



**ENLARGED SITE PLAN**  
 1"=60'

**SITE DATA**

**LEGAL DESCRIPTION:**  
 LOT A, LAND OF AMERICAN GYPSUM COMPANY

**AREA:**  
 APPROX. 44.5739 ACRES PER AMERICAN GYPSUM COMPANY RECORDS. (2014 BOUNDARY SURVEY)  
 APPROX. 1,890,068.4 SF / 43.39 ACRES PER ABQ GIS

**EXISTING BUILDINGS ON SITE OCCUPY 193,148 SF. TOTAL BUILDING AREA PROPOSED 194,740 SF.**

**NEW BUILDING:**  
 3200sf pre-engineered metal building warehouse. Occupancy S-2. Storage of gypsum and stucco products for Rio Grande Drywall Co.

**EXISTING BUILDINGS:**  
 1. 3433sf EXISTING OFFICE  
 2. 2067sf EXISTING STORAGE BUILDING  
 3. 404sf EXISTING 'CONEX' BUILDING

**REMOVED:**  
 2020sf mobile office structure

**TOTAL SPACES PROVIDED = 189**  
 Note: 10 Spaces deleted from the previously approved Site Development Plan.

**REVISED SITE DATA**

1,949,831 sf / 44.5739 acres per July 2014 Boundary Survey

1,890,068.4 sf / 43.39 acres per ABQ GIS

Existing buildings on site occupy 193,148sf. Total building area proposed 194,740sf.

**NEW BUILDING**

3200sf pre-engineered metal building warehouse. Occupancy S-2. Storage of gypsum and stucco products for Rio Grande Drywall Co.

**EXISTING BUILDINGS**

1 per 3 employees on largest shift = 48 / 3 = 16 spaces  
 OFFICE 16,342 / 200sf = 82  
 WAREHOUSE 89,912 / 2000sf = 45  
 TOTAL SPACES = 143  
 -14 SPACES

TOTAL SPACES REQUIRED = 129  
 TOTAL SPACES PROVIDED = 189

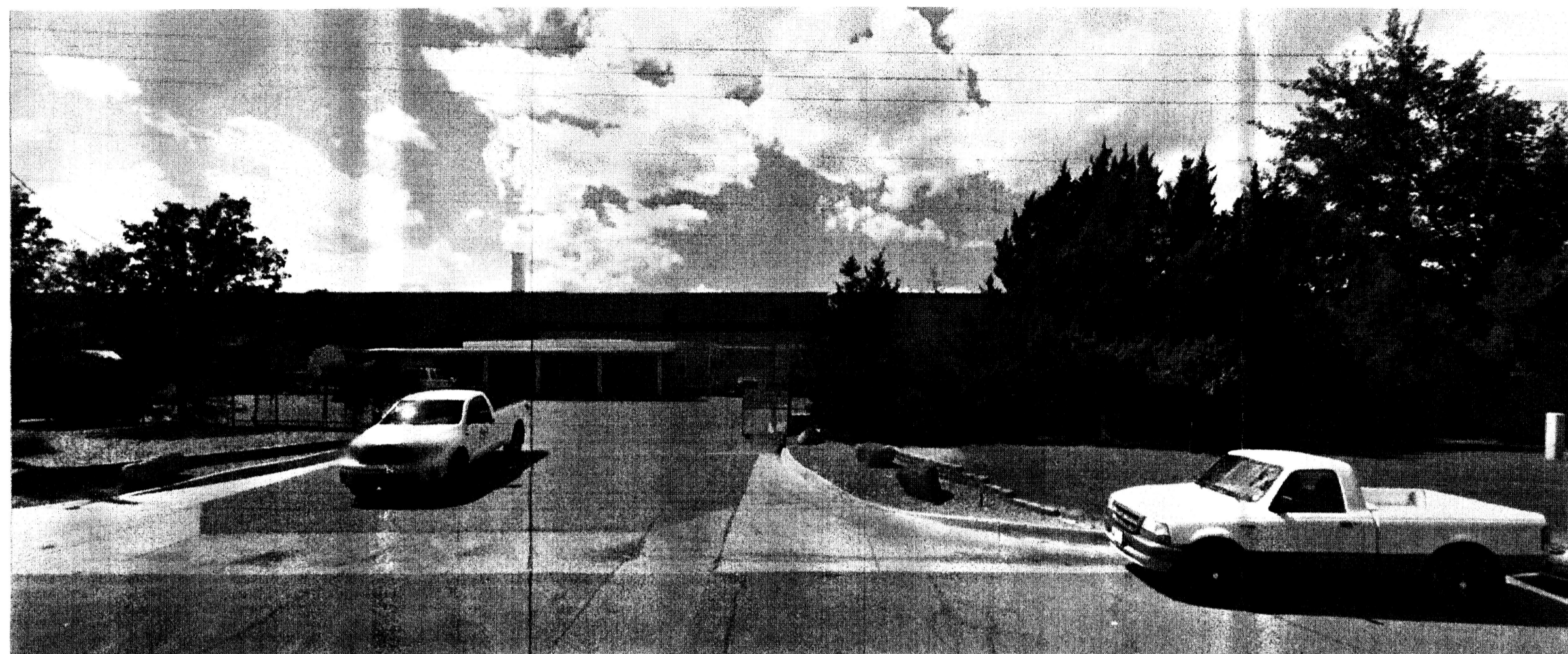
SHIMAS TOWER STUDIO 850  
 400 GOLD AVENUE SW  
 ALBUQUERQUE, NEW MEXICO 87102  
 TEL. 505.243.8110

**G. DONALD DUDLEY AIA**

ARCHITECTURE, INTERIORS, PLANNING  
 AIA NCARB LEED AP

A New Warehouse for:  
**RIO GRANDE DRYWALL SUPPLY**  
 4600 Paseo Del Norte Blvd NE  
 Albuquerque, NM 87109

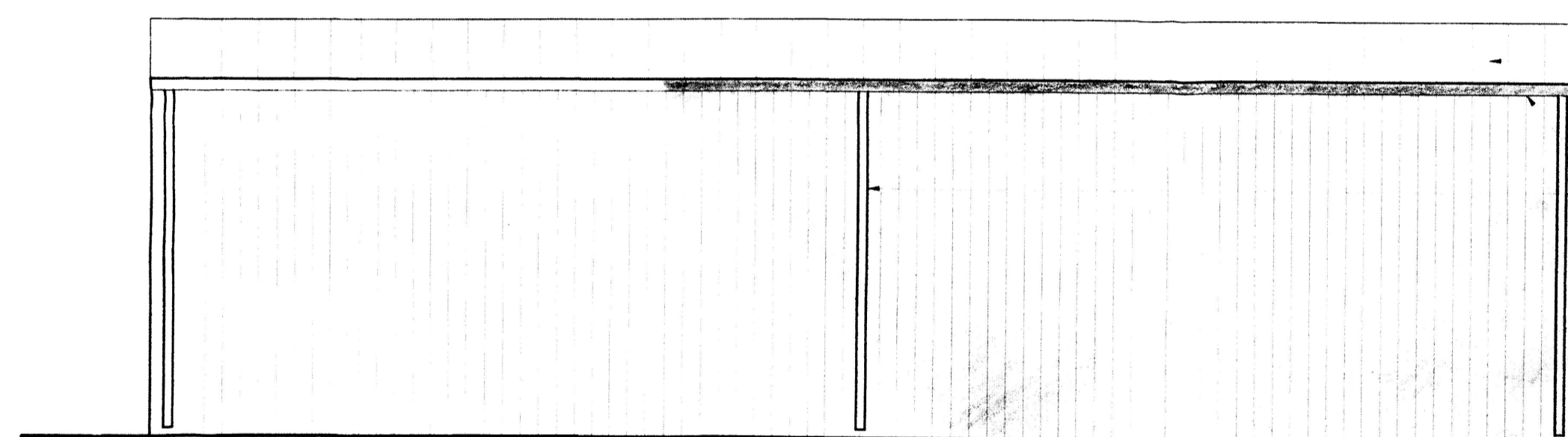
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DATE:	8/6/2014
DRAWN BY:	cg/dd
CHECKED BY:	
SET NO:	
SHEET TITLE:	
CABQ FILING INFO:	
DRB PROJ #:	1003477



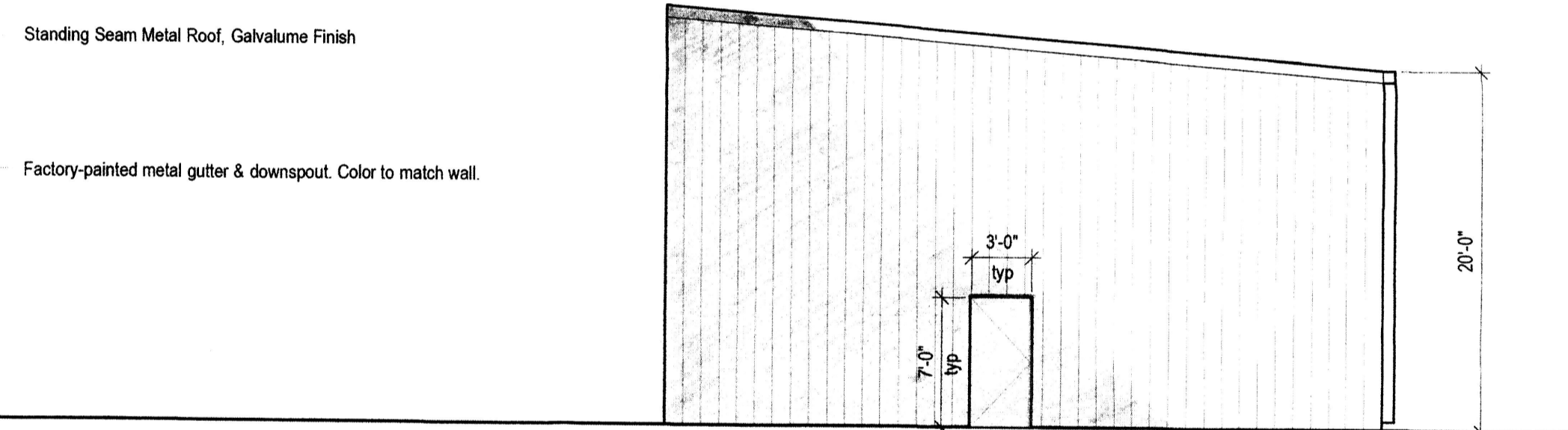
View From East - Existing 6



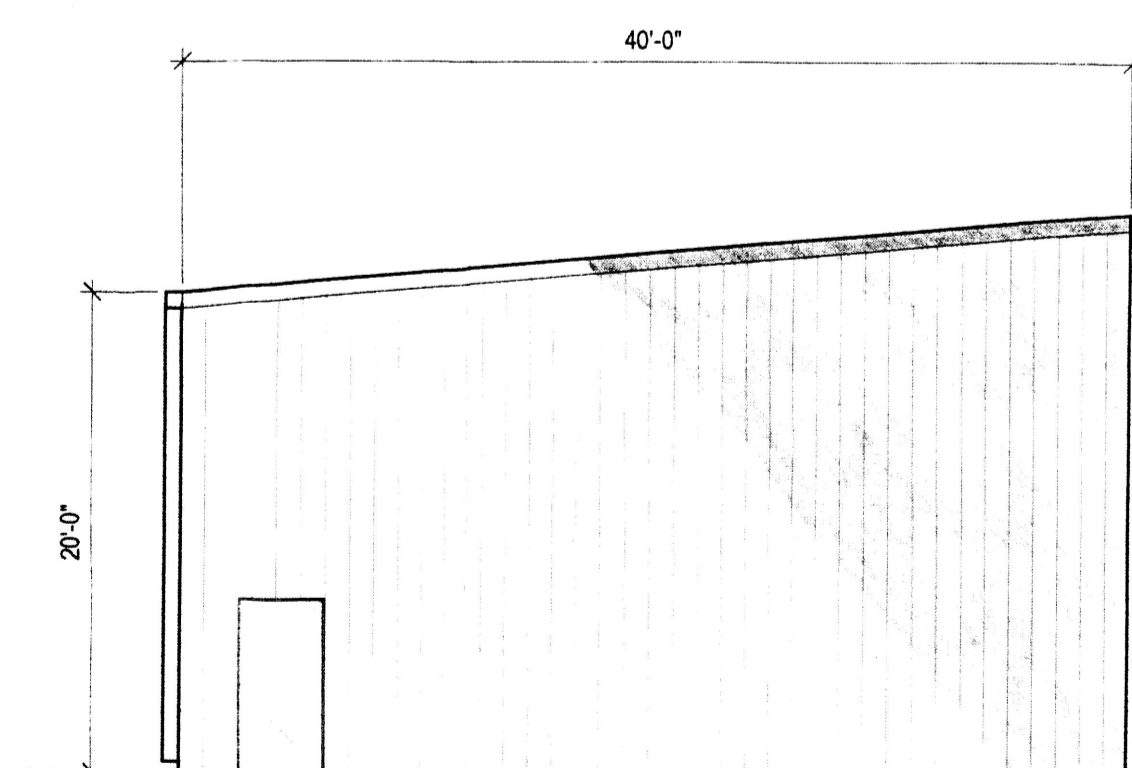
View From East - Proposed 5



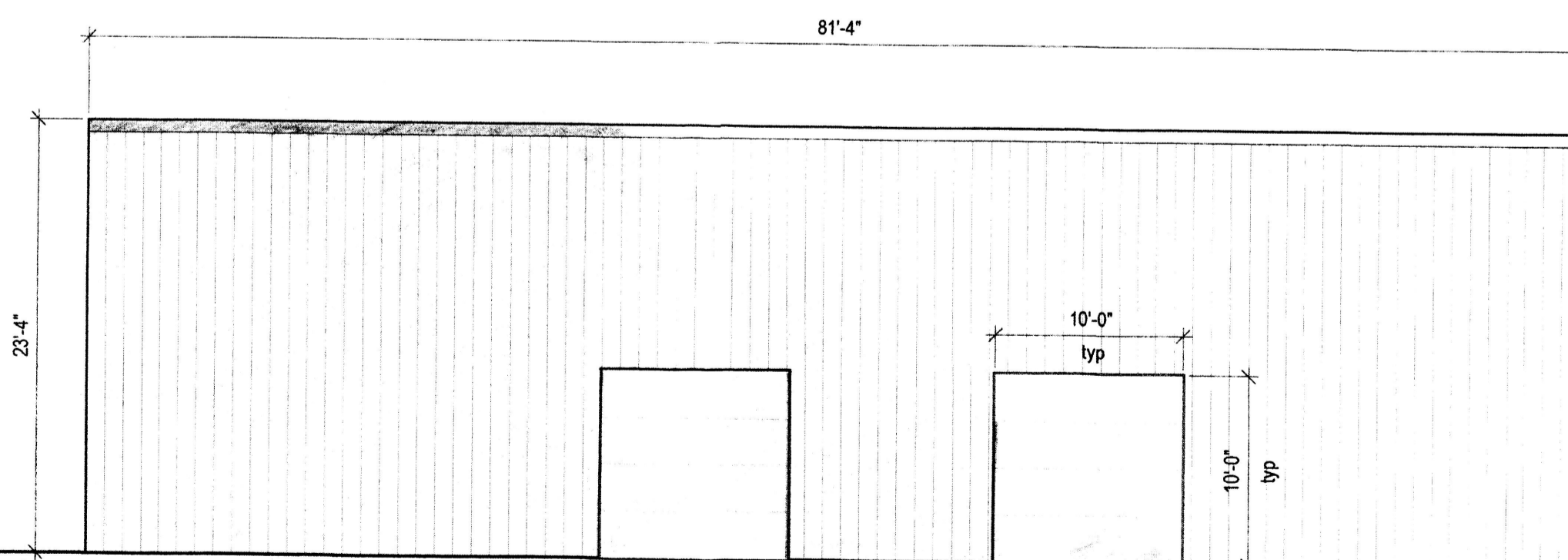
West Elevation  
Scale: 1/8" = 1'-0" 4



North Elevation  
Scale: 1/8" = 1'-0" 3



South Elevation  
Scale: 1/8" = 1'-0" 2



East Elevation  
Scale: 1/8" = 1'-0" 1

**EXTERIOR FINISHES**

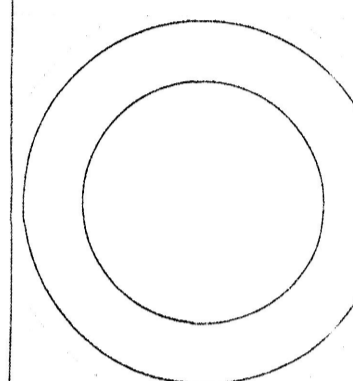
- WALLS: Factory-painted metal panels with 12" ribs.  
COLOR: LIGHT TAN
- TRIM: Factory-painted metal. COLOR: MEDIUM BLUE
- ROOF: Standing Seam Metal. FINISH: GALVALUME
- WALK-IN DOORS: Factory-painted metal (final locations subject to change)
- ROLL-UP DOORS: Factory-painted metal (final locations subject to change)

0 5 10 15 20 25 FT

SIMMS TOWER STUDIO B50  
400 GOLD AVENUE SW  
ALBUQUERQUE, NEW MEXICO  
8 7 1 0 2  
TEL 505.243.8100

G. DONALD DUDLEY AIA

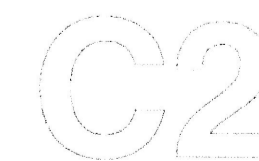
ARCHITECTURE INTERIORS PLANNING  
AIA NCARB LEED AP



A New Warehouse for:  
**RIO GRANDE DRYWALL SUPPLY**  
4600 Paseo Del Norte Blvd NE  
Albuquerque, NM 87109

MARK DATE DESCRIPTION

GDDA PROJECT NO: 14-105  
DATE: 8/6/2014  
DRAWN BY: cg/dd  
CHECKED BY: cg/dd  
SET NO:  
SHEET TITLE:



CABQ FILING INFO:  
DRB PROJ #: 1003477

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE \_\_\_\_\_

UTILITIES DEVELOPMENT DATE \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT DATE \_\_\_\_\_

CITY ENGINEER DATE \_\_\_\_\_

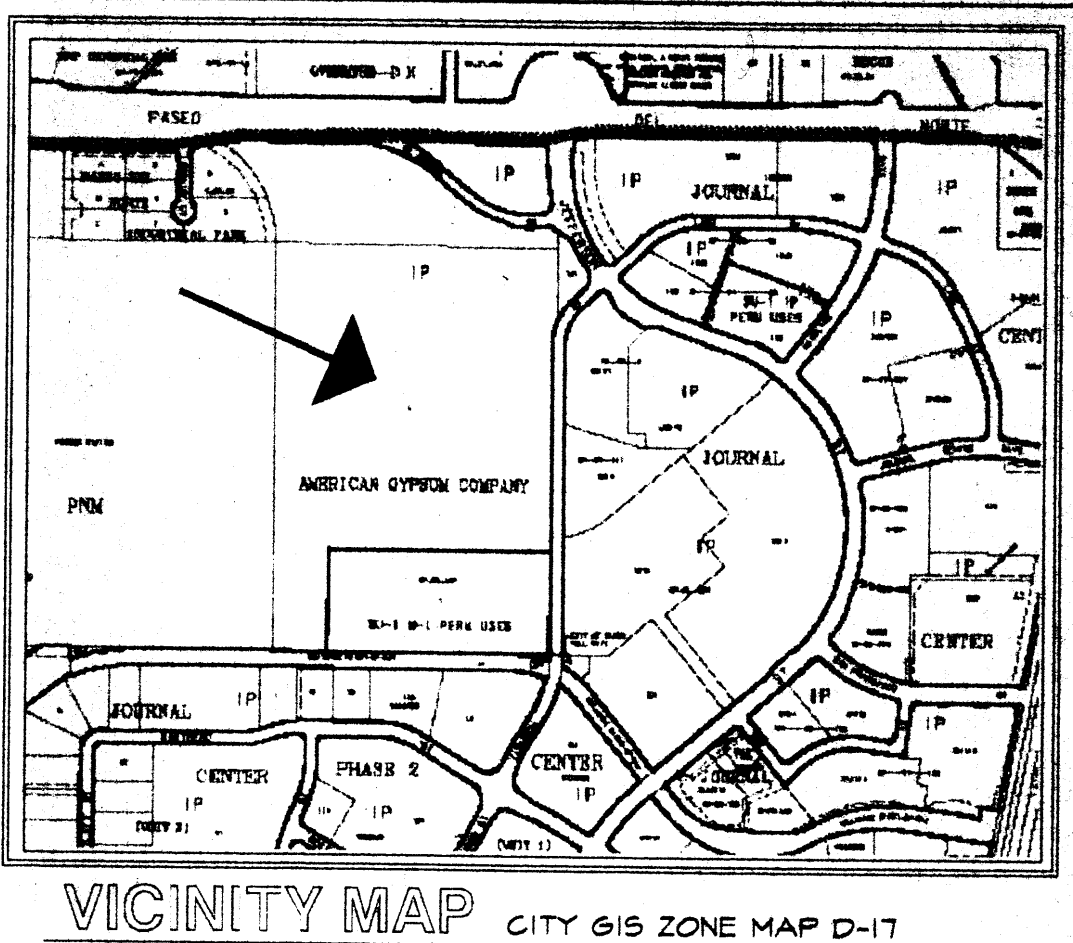
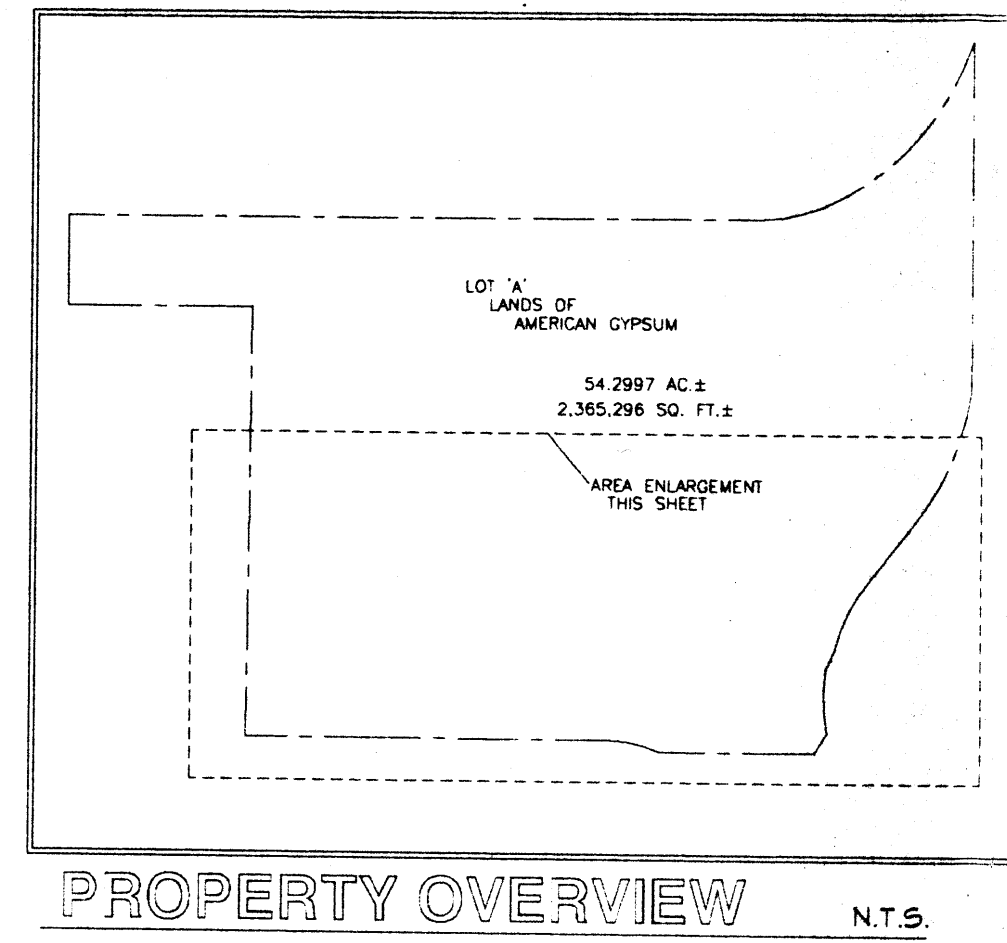
ENVIRONMENTAL HEALTH DEPARTMENT (conditional) DATE \_\_\_\_\_

*Michael Holton* 6-2-04  
SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE \_\_\_\_\_

ENVIRONMENTAL HEALTH DEPARTMENT (conditional) 4-10-03

- SYMBOLS LEGEND**
- ⊙ STORM SEWER MAN HOLE (SSMH)
  - ⊕ GAS METER (GM)
  - ⊛ LIGHT POLE (LP)
  - ⊖ POWER POLE (PP)
  - ⊙ ANCHOR (A)
  - ⊞ ELEC. PANEL BOX (EB)
  - ⊞ SEWER MAN HOLE (SMH)
  - ⊞ IRRIGATION CONTROL BOX (ICB)
  - ⊞ FIREHYDRANT (FH)
  - PROPERTY LINE
  - CHAINLINK FENCE
  - BARBEDWIRE FENCE



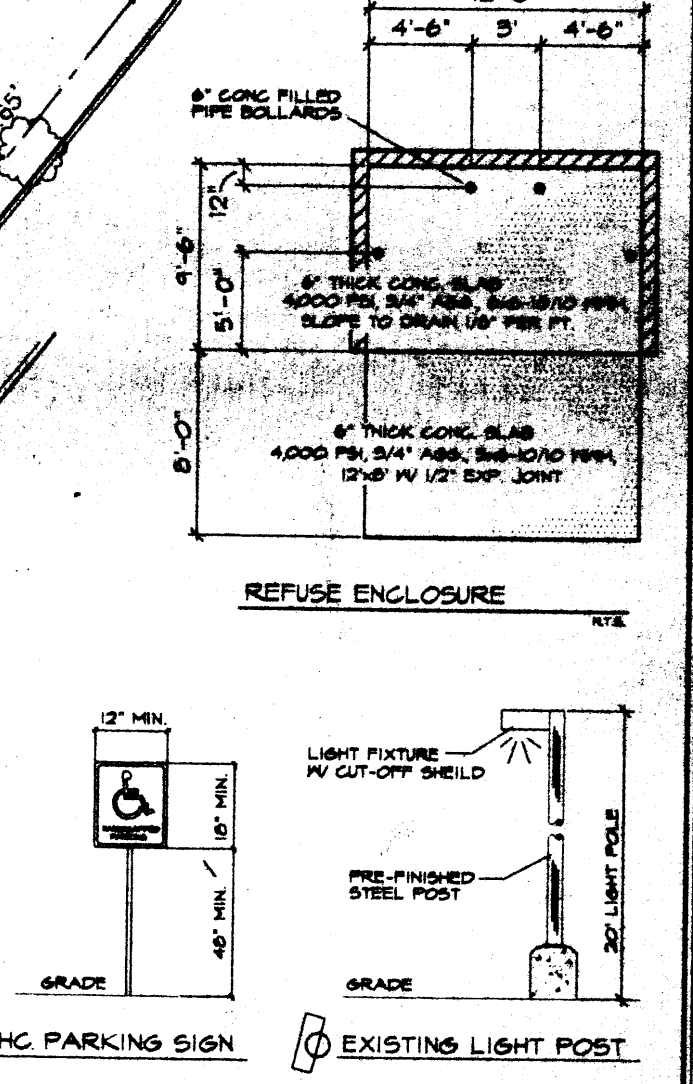
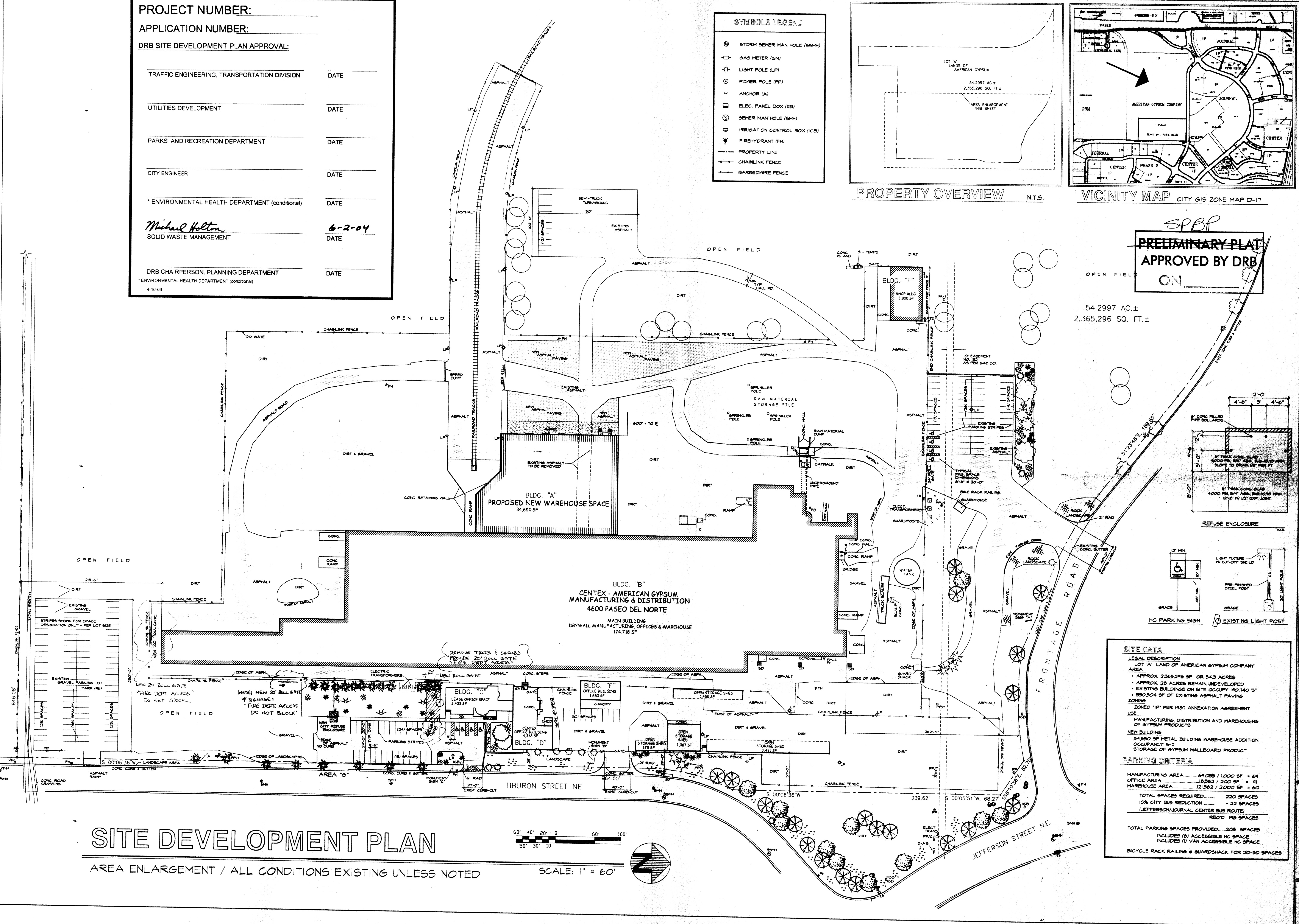
REVISION

SHIVER CONSTRUCTION CO.  
DESIGN/BUILD

ALBUQUERQUE, NEW MEXICO 87102 PHONE (505) 344-3461 FAX (505) 764-8198  
WWW.ShiverConstructionCompany.com

SPBP  
**PRELIMINARY PLAN**  
APPROVED BY DRB  
ON \_\_\_\_\_

54.2997 AC. ±  
2,365,296 SQ. FT. ±



**SITE DATA**

**LEGAL DESCRIPTION**  
LOT 'A' LAND OF AMERICAN GYPSUM COMPANY

**AREA**  
• APPROX. 2,365,296 SF OR 54.3 ACRES  
• APPROX. 26 ACRES REMAIN UNDEVELOPED  
• EXISTING BUILDINGS ON SITE OCCUPY 140,140 SF  
• 590,504 SF OF EXISTING ASPHALT PAVING

**ZONING**  
ZONE 'IP' PER 1987 ANNEXATION AGREEMENT

**USE**  
• MANUFACTURING, DISTRIBUTION AND WAREHOUSING OF GYPSUM PRODUCTS

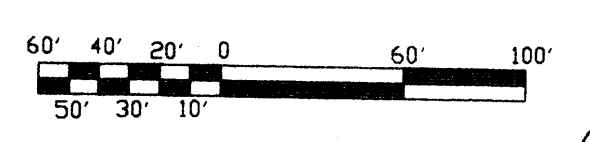
**NEW BUILDING**  
34,650 SF METAL BUILDING WAREHOUSE ADDITION  
OCCUPANCY 5-3  
STORAGE OF GYPSUM WALLBOARD PRODUCT

**PARKING CRITERIA**

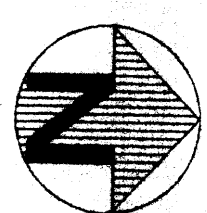
MANUFACTURING AREA	6400 SF / 1000 SF = 64
OFFICE AREA	18,262 / 2000 SF = 91
WAREHOUSE AREA	12,182 / 2000 SF = 60
TOTAL SPACES REQUIRED	320 SPACES
10% CITY BUS REDUCTION	- 22 SPACES
(JEFFERSON/JOURNAL CENTER BUS ROUTE)	REG'D 148 SPACES
TOTAL PARKING SPACES PROVIDED	308 SPACES
INCLUDES (2) ACCESSIBLE HC SPACE	
INCLUDES (1) VAN ACCESSIBLE HC SPACE	
BICYCLE RACK RAILINGS & GUARDSHACK FOR 20-30 SPACES	

# SITE DEVELOPMENT PLAN

AREA ENLARGEMENT / ALL CONDITIONS EXISTING UNLESS NOTED



SCALE: 1" = 60'

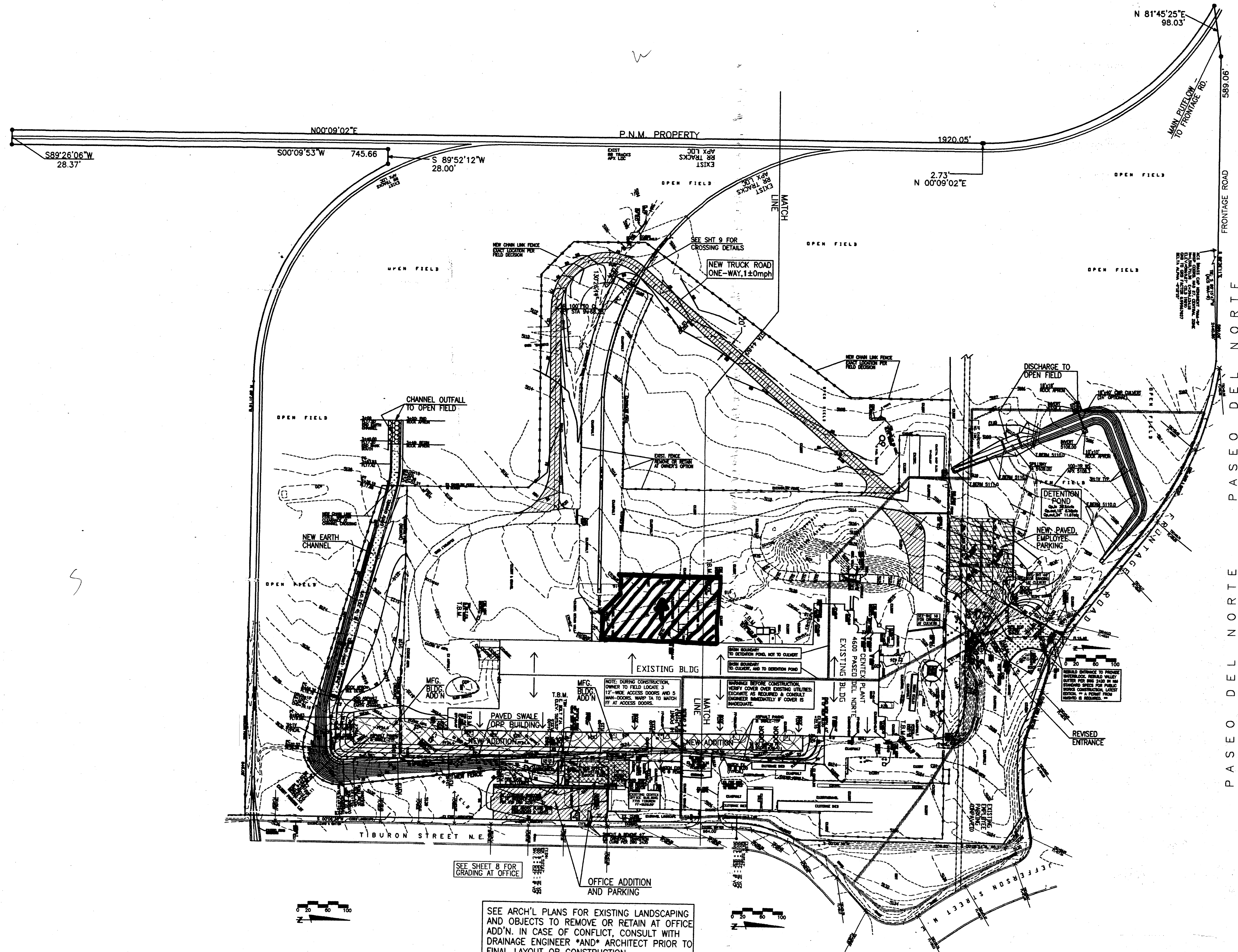


A NEW WAREHOUSE ADDITION FOR:  
**AMERICAN GYPSUM PLANT**  
4600 PASEO DEL NORTE  
ALBUQUERQUE, NEW MEXICO

SHEET  
**C1**  
OF  
**4**  
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DATE

P-04-01  
PROJECT NO.



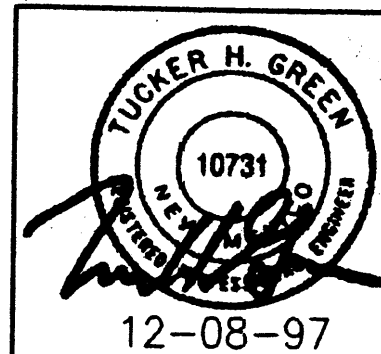
SEE ARCH'L PLANS FOR EXISTING LANDSCAPING AND OBJECTS TO REMOVE OR RETAIN AT OFFICE ADD'N. IN CASE OF CONFLICT, CONSULT WITH DRAINAGE ENGINEER \*AND\* ARCHITECT PRIOR TO FINAL LAYOUT OR CONSTRUCTION.

WARNING!! NUMEROUS UTILITIES EXIST ONSITE, PARTICULARLY BETWEEN THE EXISTING MANUFACTURING BUILDING AND THE EXISTING FENCE LINE WEST OF THE EXISTING OFFICE BUILDING (& AS EXTENDED NORTH). CONTRACTOR MUST INFORM HIMSELF OF ALL UTILITY LOCATIONS AND NOTIFY THE ENGINEER IN CASE OF CONFLICT. SEE GENERAL NOTES. SEE SHEET 3 FOR SURVEYOR'S ESTIMATED UTILITY LOCATIONS. A LARGER SCALE PRINT OF SHEET 3 IS AVAILABLE TO BIDDERS OR AWARDED CONTRACTOR ON REQUEST.

THIS GRADING & DRAINAGE PLAN  
 WAS APPROVED FOR A 1997-98 BP.  
 A NEW PLAN WILL BE SUBMITTED FOR THIS BP.  
 THIS SHEET IS FOR CONCEPTUAL G&D ONLY

FOR 2004 DRB  
 SNIVER

ALBUQUERQUE  
 CODE ADMIN.  
 JAN 23 1998  
 PERMITS  
 SECTION



CENTEX AMERICAN GYPSUM: ADDITIONS & MODIFICATIONS 4600 PASEO DEL NORTE NE ALBUQUERQUE NM	
GRADING, DRAINAGE, ONSITE TRUCK ROAD PLAN OVERVIEW	
PER SE ENGINEERING Drainage, Utilities, and Site Design 9109 La Barranca NE Albuquerque NM 87111 (505) 275-0451 239-7855 mobile	SHEET 2 OF 10

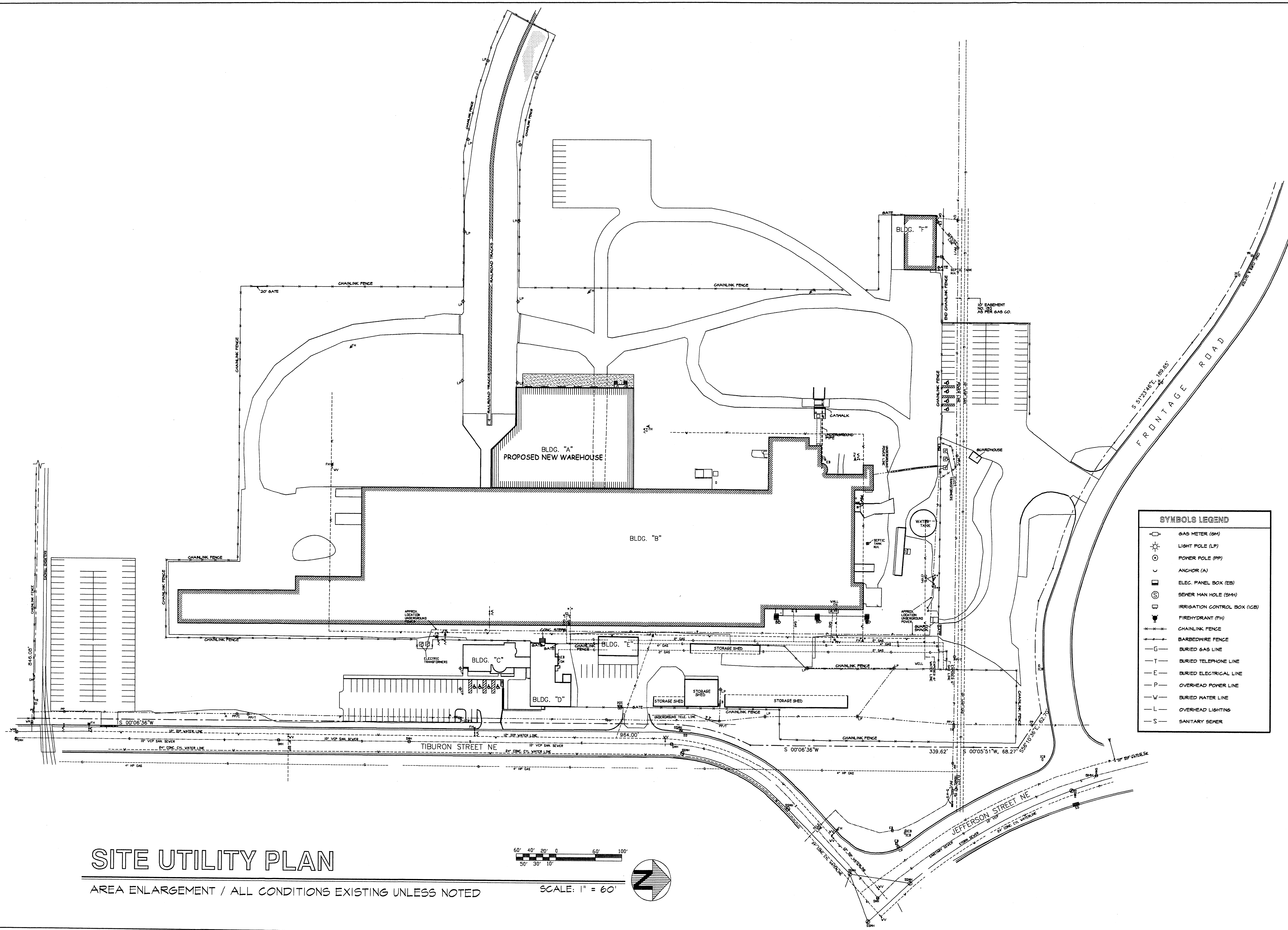
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**SHIVER CONSTRUCTION CO.**  
**DESIGN/BUILD**  
 ALBUQUERQUE, NEW MEXICO 87102  
 1412 BROADWAY BLVD. NE  
 PHONE (505) 344-3461 FAX (505) 764-8198  
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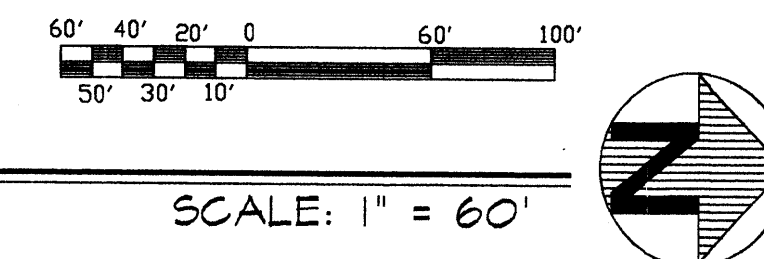
A NEW WAREHOUSE ADDITION FOR:  
**AMERICAN GYPSUM PLANT**  
 ALBUQUERQUE, NEW MEXICO  
 4600 PASEO DEL NORTE

SHEET  
**C3**  
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**4**  
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 PAGES

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 DATE  
 P-04-09  
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**SITE UTILITY PLAN**  
 AREA ENLARGEMENT / ALL CONDITIONS EXISTING UNLESS NOTED



**LANDSCAPE LEGEND**

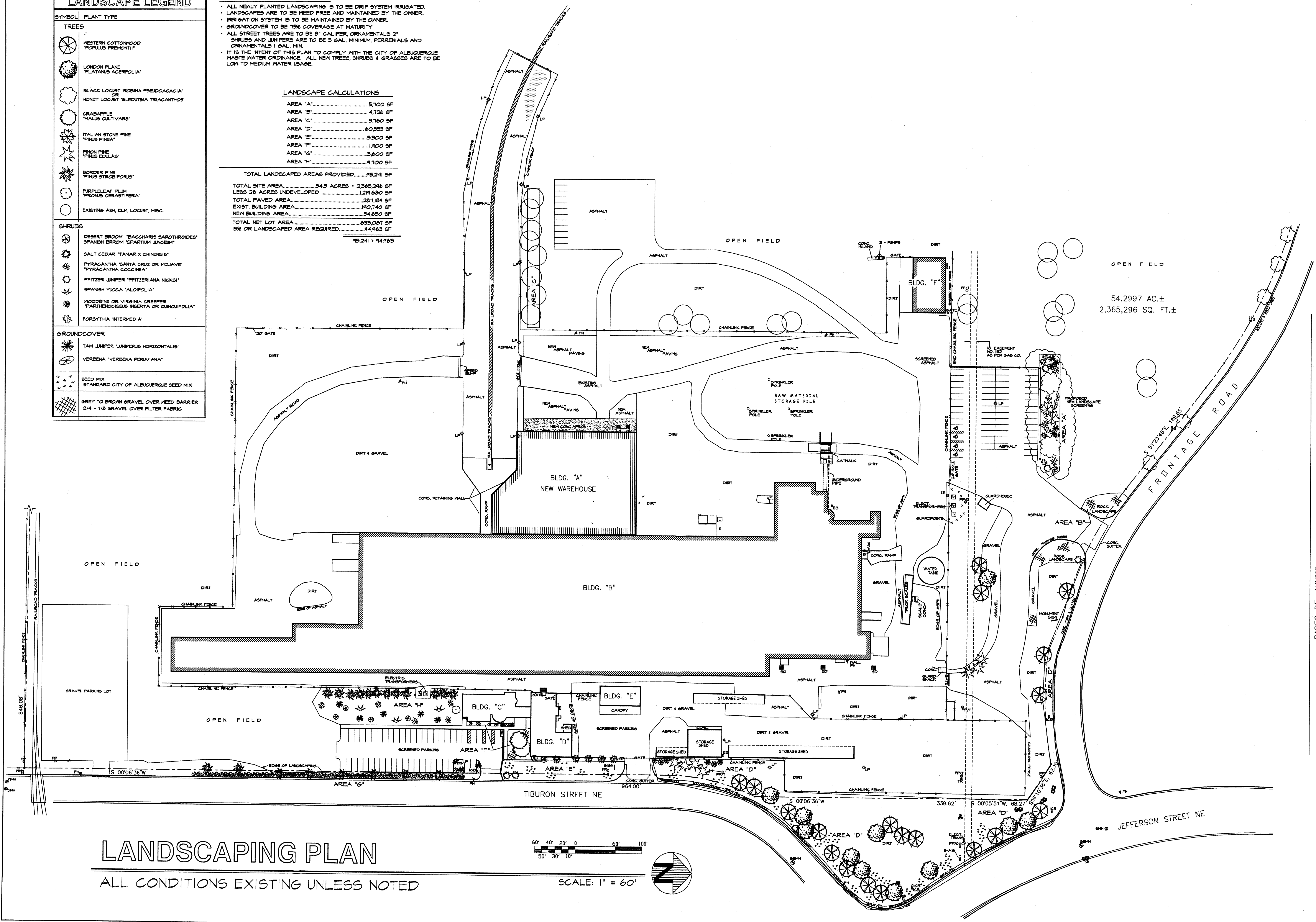
SYMBOL	PLANT TYPE
<b>TREES</b>	
	WESTERN COTTONWOOD "POPULUS FREMOHII"
	LONDON PLANE "PLATANUS ACERIFOLIA"
	BLACK LOCUST "ROBINA PSEUDACACIA" OR HONEY LOCUST "GLEDTUSIA TRIACANTHOS"
	CRABAPPLE "MALUS CULTIVARS"
	ITALIAN STONE PINE "PINUS PINEA"
	PISON PINE "PINUS EDULAS"
	BORDER PINE "PINUS STROBILIFORUS"
	PURPLELEAF PLUM "PRUNUS CERASIFERA"
	EXISTING ASH, ELM, LOCUST, MISC.
<b>SHRUBS</b>	
	DESERT BROOM "BACCHARIS SAROTHOIDES" OR SPANISH BROOM "SPARTIUM JUNCEUM"
	SALT CEDAR "TAMARIX CHINENSIS"
	PYRACANTHA "SANTA CRUZ OR MOJAVE" "PYRACANTHA COCCINEA"
	PFITZER JUNIPER "PFITZERIANA NICKSI"
	SPANISH YUCCA "ALOIFOLIA"
	WOODBINE OR VIRGINIA CREEPER "PARthenocissus INBERTA OR QUINQUEFOLIA"
	FORSYTHIA "INTERMEDIA"
<b>GROUND COVER</b>	
	TAM JUNIPER "JUNIPERUS HORIZONTALIS"
	VERBENA "VERBENA PERUVIANA"
	SEED MIX STANDARD CITY OF ALBUQUERQUE SEED MIX
	GRAY TO BROWN GRAVEL OVER WEED BARRIER 3/4" - 1 1/2" GRAVEL OVER FILTER FABRIC

**LANDSCAPE NOTES**

- ALL NEWLY PLANTED LANDSCAPING IS TO BE DRIP SYSTEM IRRIGATED.
- LANDSCAPES ARE TO BE WEED FREE AND MAINTAINED BY THE OWNER.
- IRRIGATION SYSTEM IS TO BE MAINTAINED BY THE OWNER.
- GROUND COVER TO BE 15% COVERAGE AT MATURITY
- ALL STREET TREES ARE TO BE 3" CALIPER, ORNAMENTALS 2"
- SHRUBS AND JUNIPERS ARE TO BE 5 GAL. MINIMUM, PERENNIALS AND ORNAMENTALS 1 GAL. MIN.
- IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER ORDINANCE. ALL NEW TREES, SHRUBS & GRASSES ARE TO BE LOW TO MEDIUM WATER USAGE.

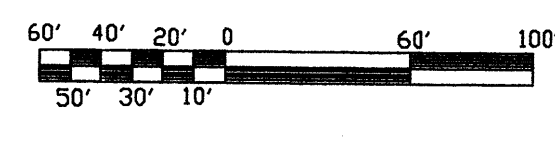
**LANDSCAPE CALCULATIONS**

AREA "A".....	5,700 SF
AREA "B".....	4,726 SF
AREA "C".....	3,760 SF
AREA "D".....	60,355 SF
AREA "E".....	5,300 SF
AREA "F".....	1,900 SF
AREA "G".....	3,600 SF
AREA "H".....	9,700 SF
<b>TOTAL LANDSCAPED AREAS PROVIDED.....</b>	<b>95,241 SF</b>
<b>TOTAL SITE AREA.....</b>	<b>54.3 ACRES = 2,365,296 SF</b>
<b>LESS 28 ACRES UNDEVELOPED.....</b>	<b>1,219,680 SF</b>
<b>TOTAL PAVED AREA.....</b>	<b>287,134 SF</b>
<b>EXIST. BUILDING AREA.....</b>	<b>190,740 SF</b>
<b>NEW BUILDING AREA.....</b>	<b>34,650 SF</b>
<b>TOTAL NET LOT AREA.....</b>	<b>635,024 SF</b>
<b>15% OR LANDSCAPED AREA REQUIRED.....</b>	<b>94,463 SF</b>
	<b>95,241 &gt; 94,463</b>

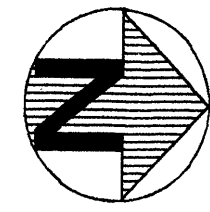


**LANDSCAPING PLAN**

ALL CONDITIONS EXISTING UNLESS NOTED



SCALE: 1" = 60'



**REVISION**

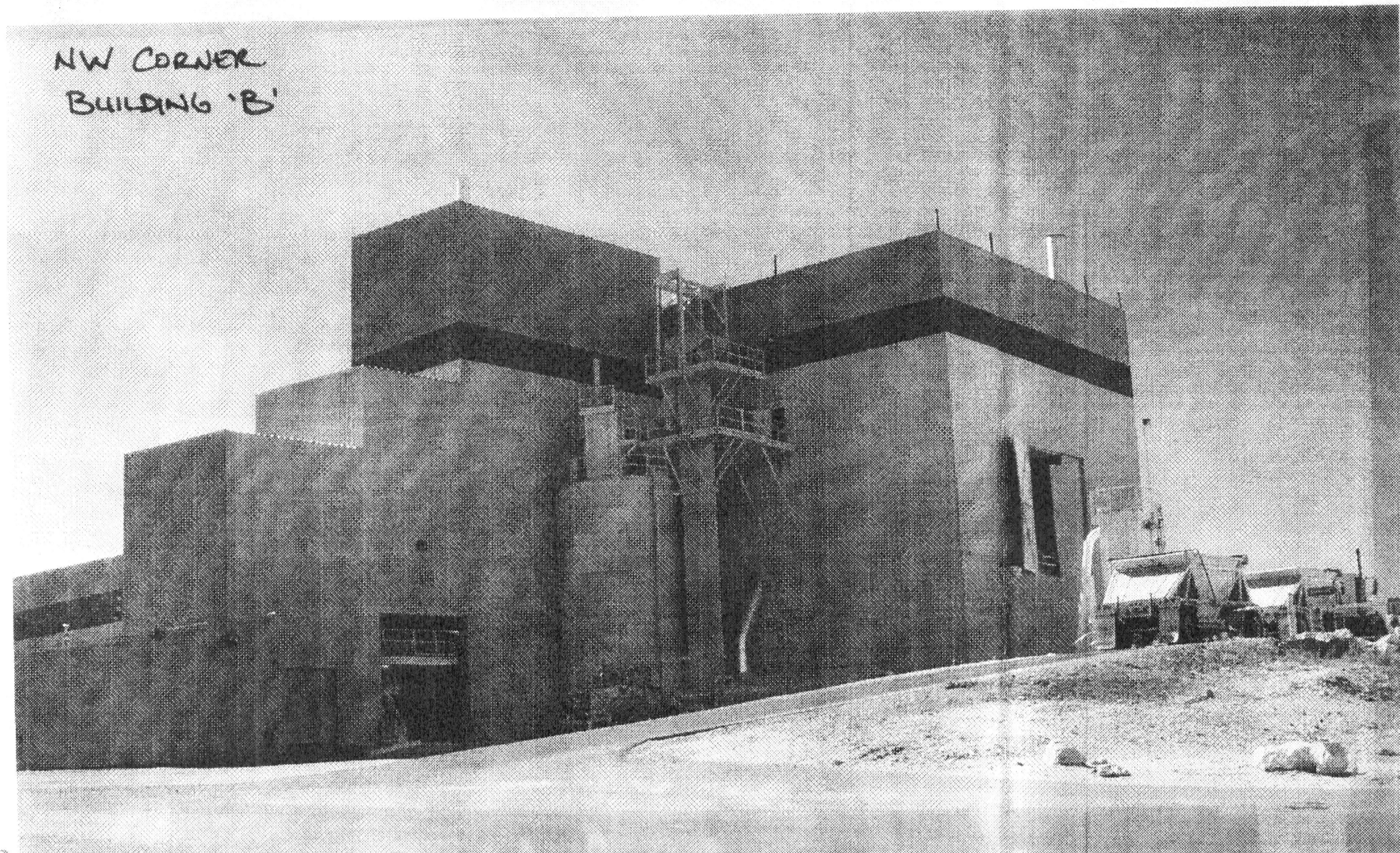
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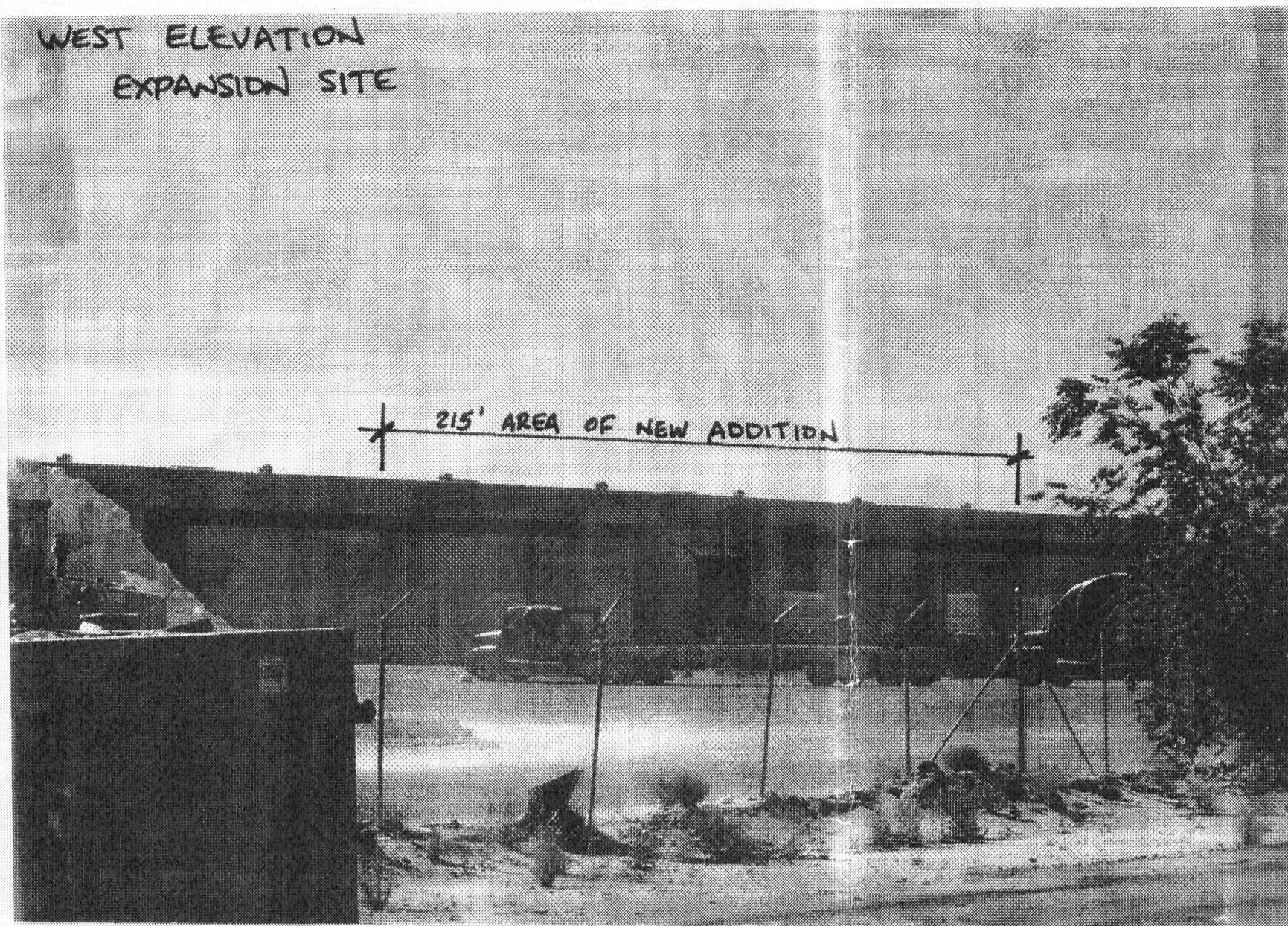
**A NEW WAREHOUSE ADDITION FOR:**  
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**SHEET C4 OF 4 TOTAL PAGES**

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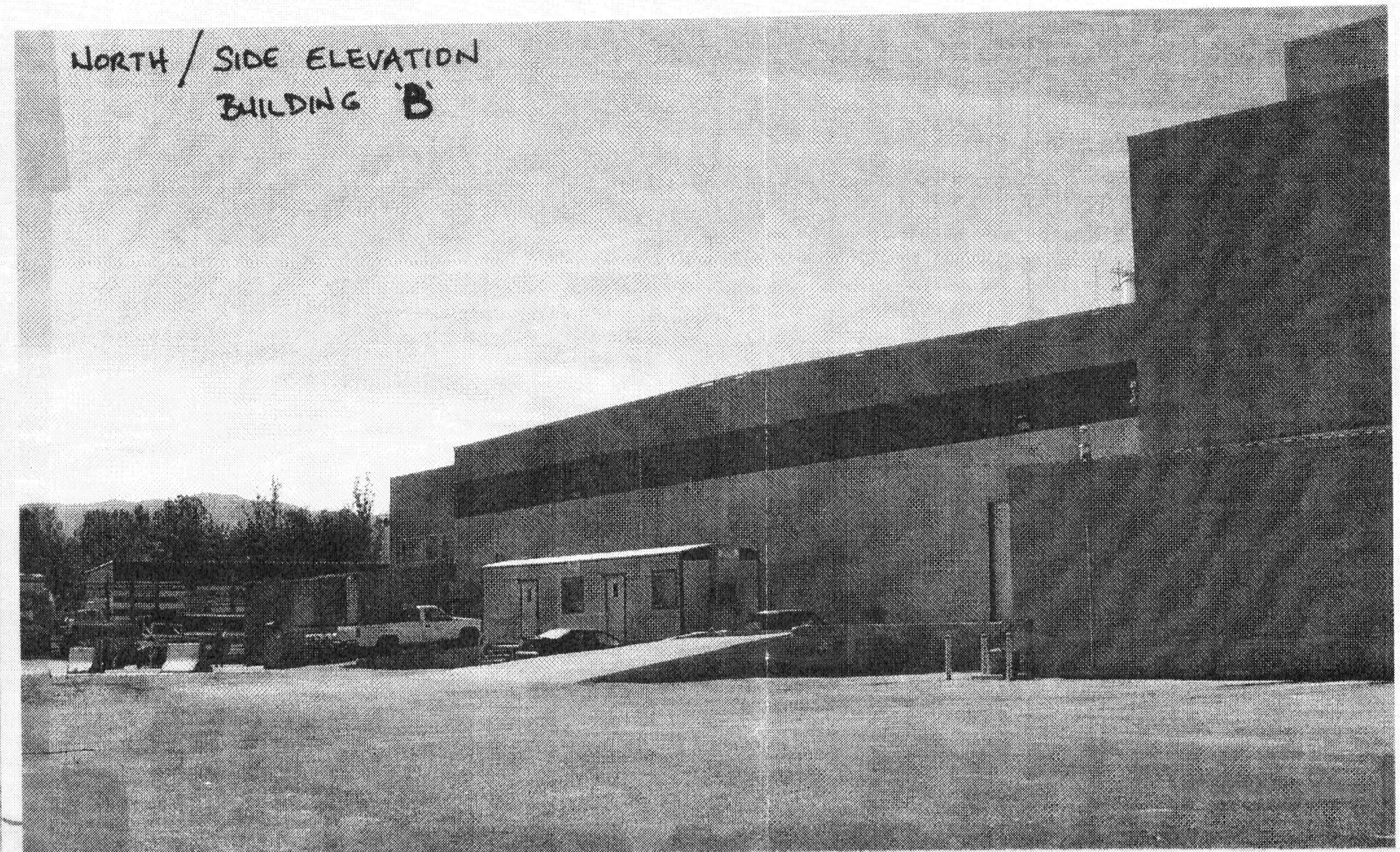


NW CORNER BUILDING 'B'

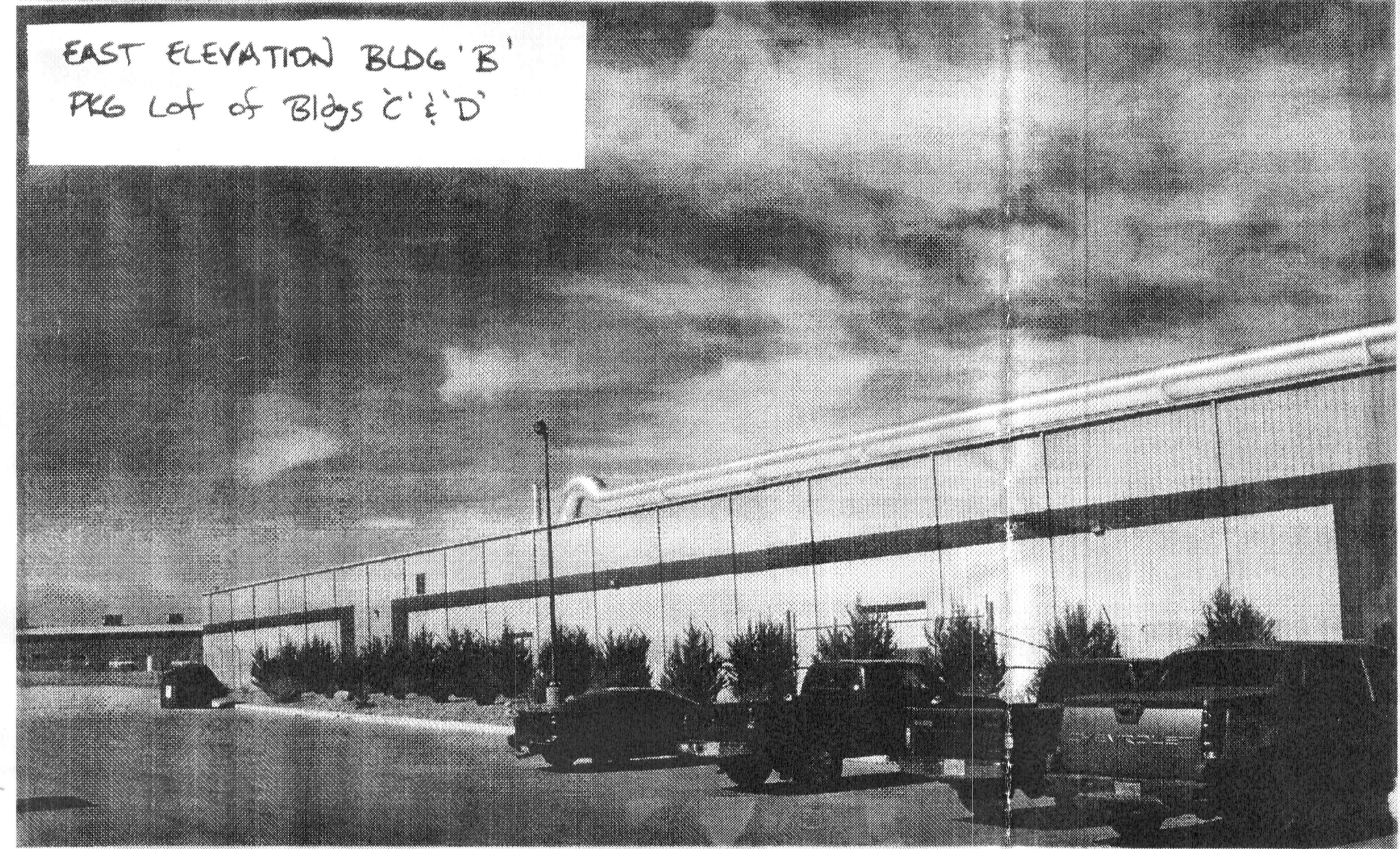


WEST ELEVATION EXPANSION SITE

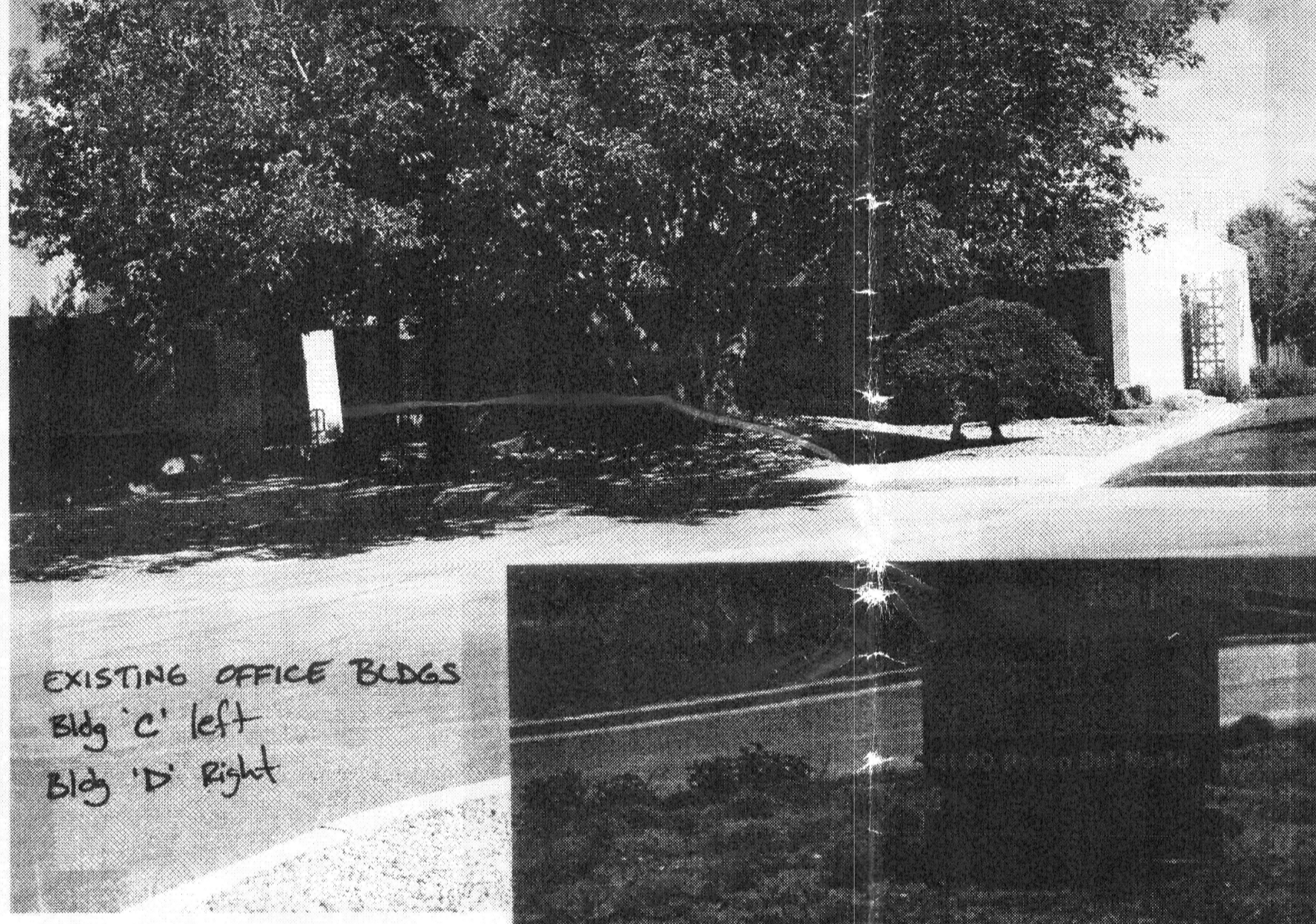
215' AREA OF NEW ADDITION



NORTH / SIDE ELEVATION BUILDING 'B'

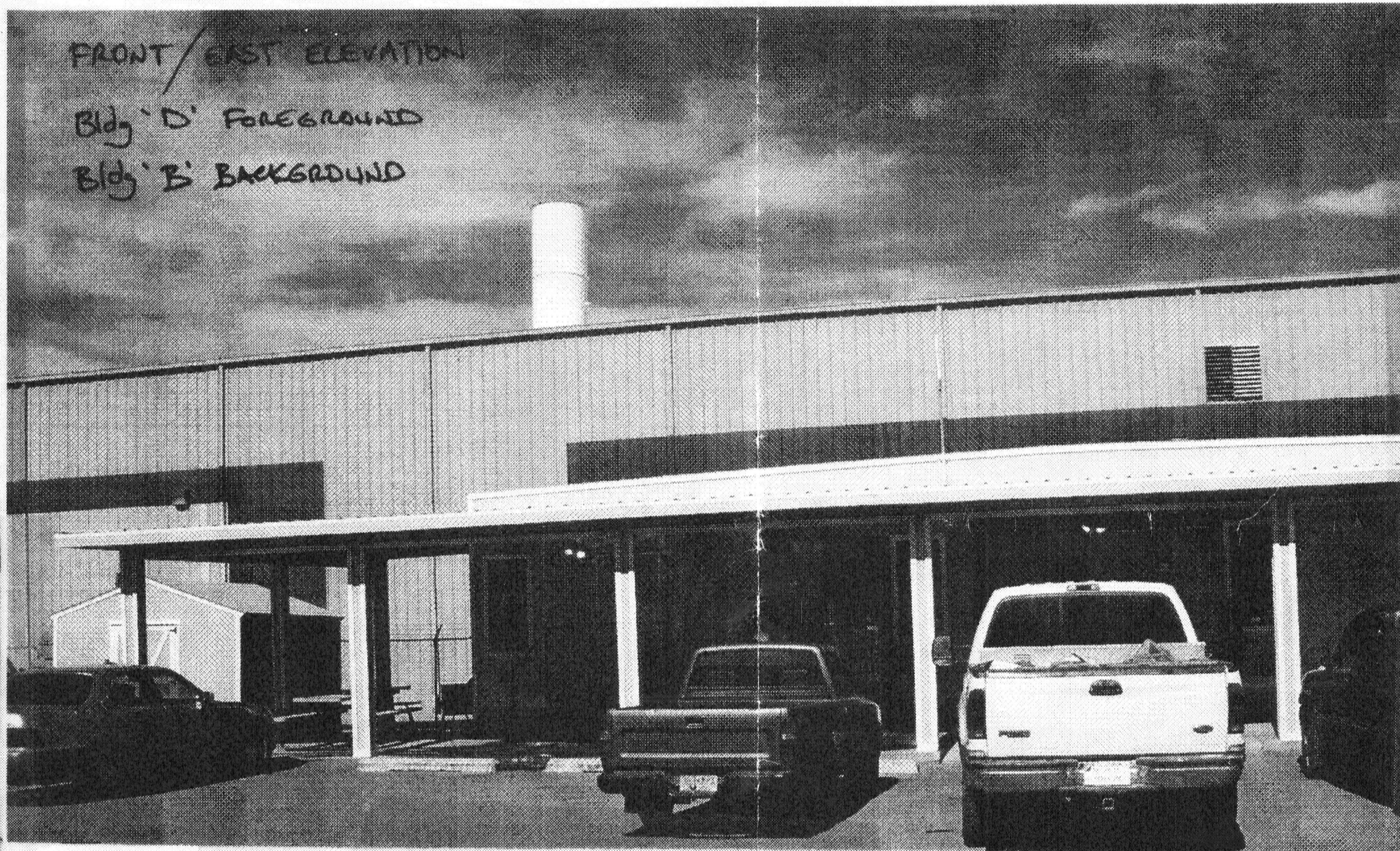


EAST ELEVATION BLDG 'B'  
FRG Lot of Bldgs C' & 'D'



EXISTING OFFICE BLDGS  
Bldg 'C' left  
Bldg 'D' right

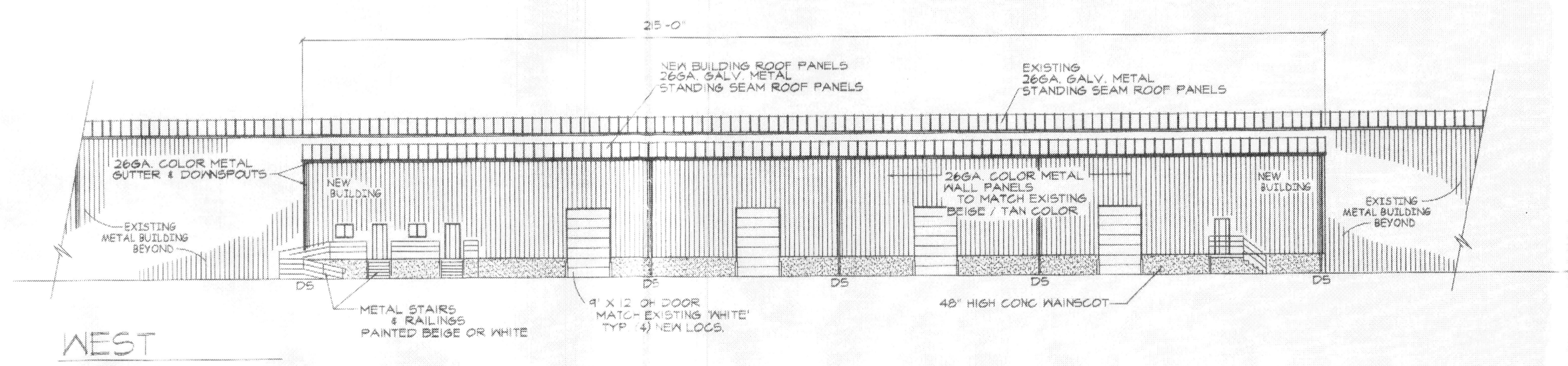
Monument Sign 'A'  
72" HIGH X 72" WIDE  
BRUSHED ALUMINUM  
1/4" COLOR LETTERS



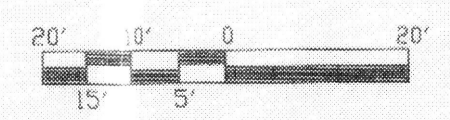
FRONT / EAST ELEVATION  
Bldg 'D' FOREGROUND  
Bldg 'B' BACKGROUND

EXISTING BUILDING INFORMATION

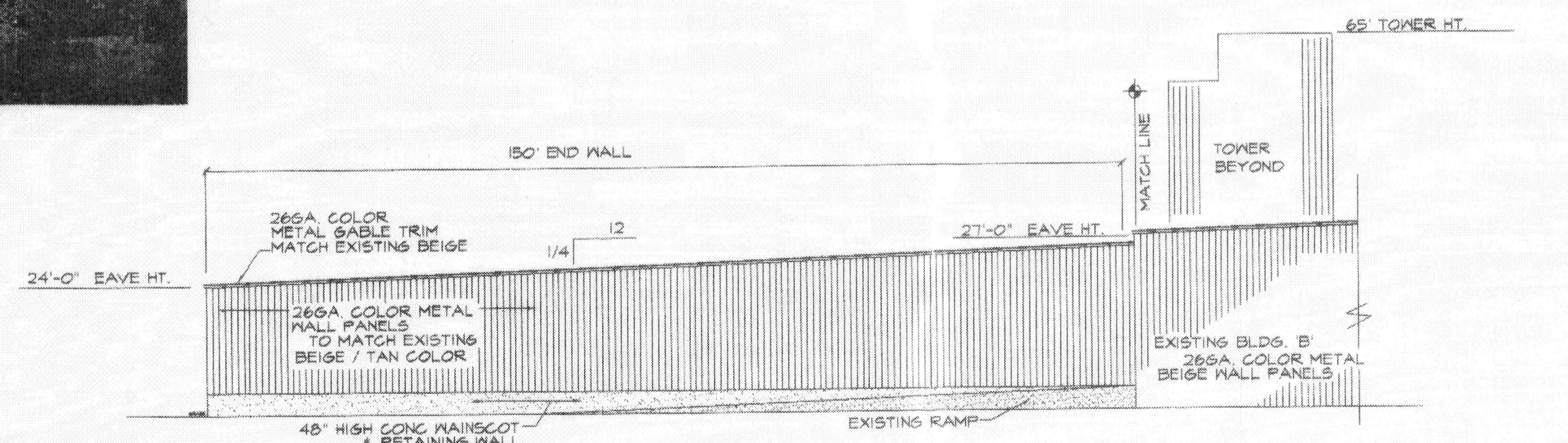
PHOTOS NOT TO SCALE



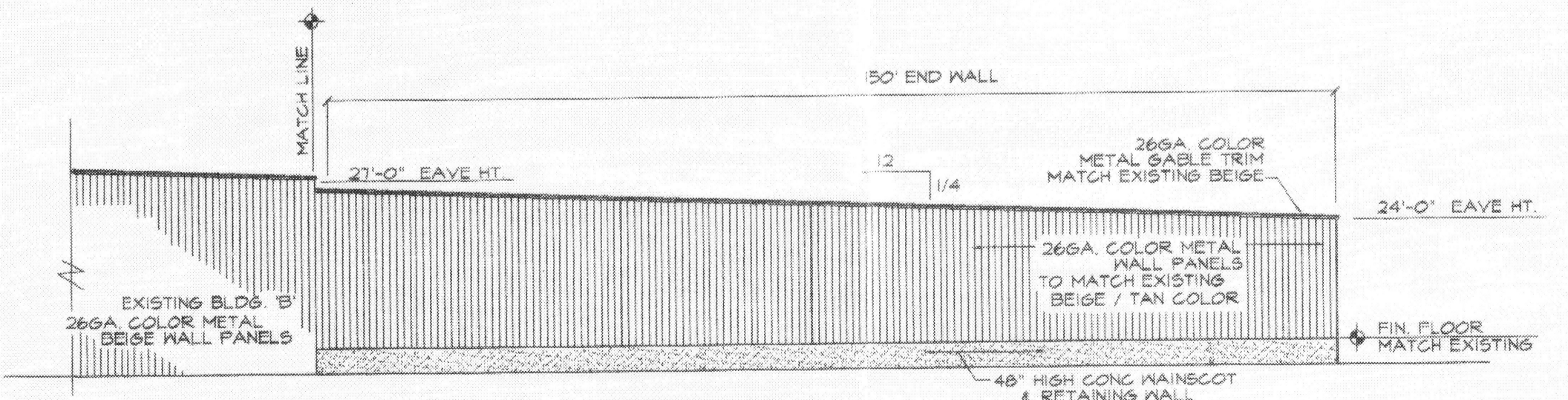
NEW BUILDING ELEVATIONS



SCALE: 1" = 20'-0"



SOUTH



NORTH

REVISION

SHIVER CONSTRUCTION CO.  
DESIGN/BUILD

1412 BROADWAY BLVD. NE ALBUQUERQUE, NEW MEXICO 87102 PHONE (505) 344-3461 FAX (505) 764-8198  
WWW.ShiverConstructionCompany.com

A NEW WAREHOUSE ADDITION FOR:  
AMERICAN GYPSUM PLANT  
4600 PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO

SHEET  
A1  
OF  
4  
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PAGES

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DATE

P-04-09  
PROJECT NO.

PROJECT NUMBER: 1003477  
 APPLICATION NUMBER: 04-00263

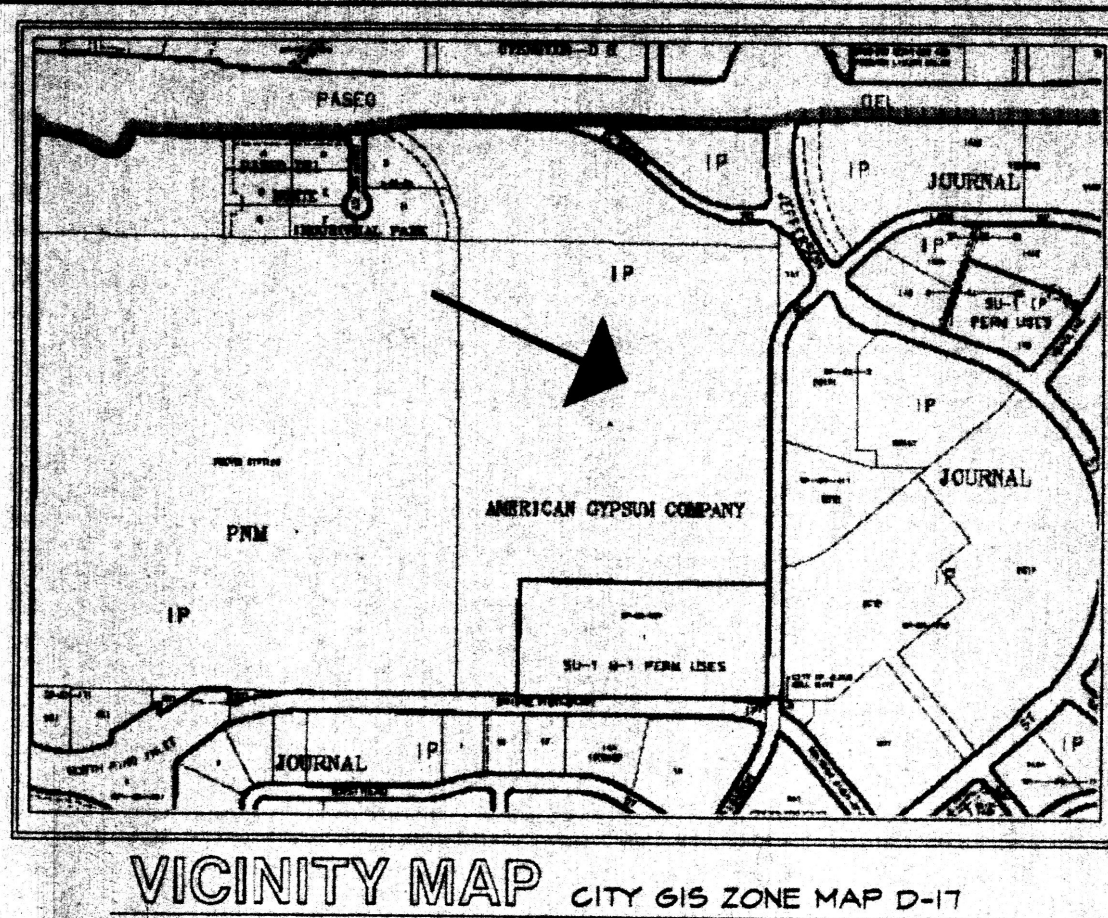
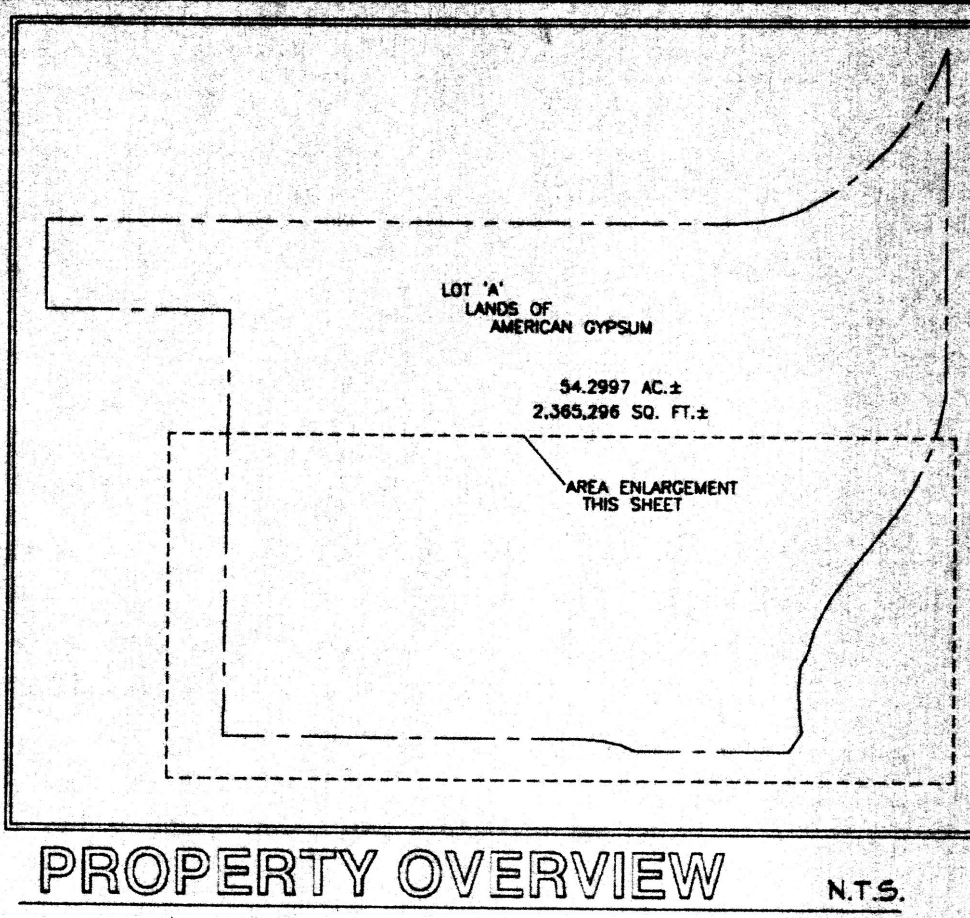
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES (X) NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> TRAFFIC ENGINEERING TRANSPORTATION DIVISION	6-30-04 DATE
<i>[Signature]</i> UTILITIES DEVELOPMENT	6-30-04 DATE
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	6/30/04 DATE
<i>[Signature]</i> CITY ENGINEER	6/30/04 DATE
NA * ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
<i>[Signature]</i> (Access) SOLID WASTE MANAGEMENT	6-30-04 DATE
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	6/30/04 DATE

12-18-03

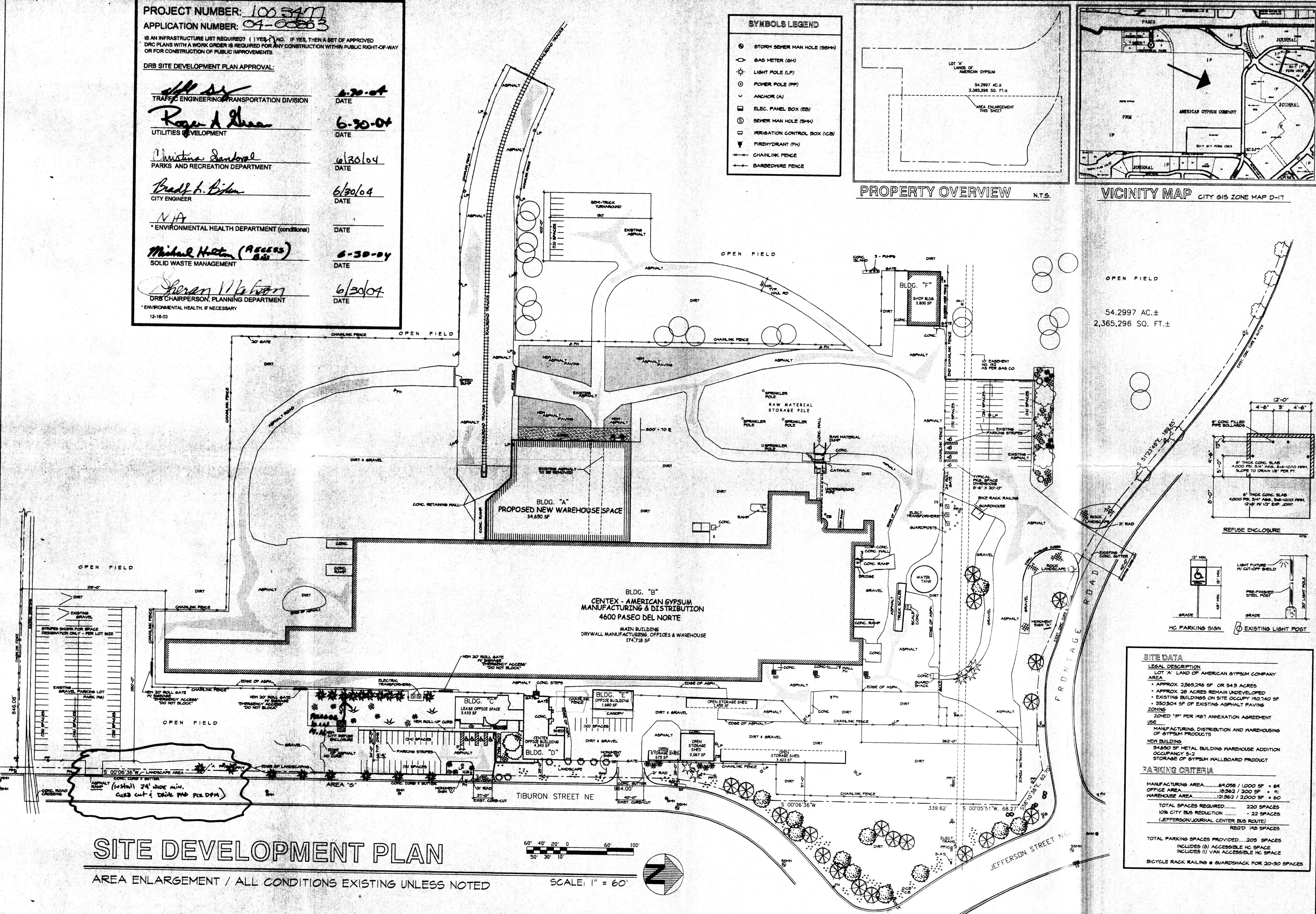
- SYMBOLS LEGEND**
- ⊙ STORM SEWER MAN HOLE (SSMH)
  - ⊙ GAS METER (GM)
  - ⊙ LIGHT POLE (LP)
  - ⊙ POWER POLE (PP)
  - ⊙ ANCHOR (A)
  - ⊙ ELEC. PANEL BOX (EB)
  - ⊙ SEWER MAN HOLE (SMH)
  - ⊙ IRRIGATION CONTROL BOX (ICB)
  - ⊙ FIREHYDRANT (FH)
  - CHAINLINK FENCE
  - BARBEDWIRE FENCE



REVISION

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**SITE DATA**

**LEGAL DESCRIPTION**  
 LOT 'A' LAND OF AMERICAN GYPSUM COMPANY AREA  
 • APPROX 2,365,296 SF OR 54.3 ACRES  
 • APPROX 28 ACRES REMAIN UNDEVELOPED  
 • EXISTING BUILDINGS ON SITE OCCUPY 190,140 SF  
 • 350,504 SF OF EXISTING ASPHALT PAVING

**ZONING**  
 ZONED "I" PER 1987 ANNEXATION AGREEMENT

**USE**  
 MANUFACTURING, DISTRIBUTION AND WAREHOUSING OF GYPSUM PRODUCTS

**NEW BUILDING**  
 34,650 SF METAL BUILDING WAREHOUSE ADDITION OCCUPANCY S-2  
 STORAGE OF GYPSUM WALLBOARD PRODUCT

**PARKING CRITERIA**

MANUFACTURING AREA	64,058 / 1,000 SF = 64
OFFICE AREA	10,562 / 200 SF = 53
WAREHOUSE AREA	121,562 / 2,000 SF = 61

TOTAL SPACES REQUIRED ..... 220 SPACES  
 10% CITY BUS REDUCTION ..... - 22 SPACES  
 (JEFFERSON JOURNAL CENTER BUS ROUTE)  
 REQ'D 198 SPACES

TOTAL PARKING SPACES PROVIDED ..... 205 SPACES  
 INCLUDES (5) ACCESSIBLE HC SPACE  
 INCLUDES (1) VAN ACCESSIBLE HC SPACE  
 BICYCLE RACK RAILING @ GUARDSHACK FOR 20-30 SPACES

**SITE DEVELOPMENT PLAN**

AREA ENLARGEMENT / ALL CONDITIONS EXISTING UNLESS NOTED

SCALE: 1" = 60'

A NEW WAREHOUSE ADDITION FOR:  
 AMERICAN GYPSUM PLANT  
 4600 PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

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