

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet **must** accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project# 1003478 - 15DRB-70228 EPC APPROVED SDP FOR SUBDIVISION

NAME: AVALON SUBD Unit(s) 5,

AGENT: CONSENSUS PLANNING

Your request was approved on 6-17-15 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:

Transportation: address comment

ABCWUA:

City Engineer:

Parks and Recreation :

Planning: add Cartage maintenance note

PLATS:

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:**
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.



DEVELOPMENT REVIEW BOARD

Agenda

Plaza del Sol Building Basement Hearing Room

June 17, 2015

MEMBERS:

Jack Cloud..... DRB Chair
 Racquel Michel Transportation Development
 Kris Cadena ABCWUA
 Rita HarmonCity Engineer
 Carol Dumont..... Parks & Recreation

Angela Gomez ~ Administrative Assistant

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

- Project# 1003478**
 15DRB-70228 EPC APPROVED SDP
 FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for CURB, INC. request(s) the above action(s) for all or a portion of Tract(s) 8, **AVALON SUBD Unit(s) 5**, zoned SU-1 FOR IP, located on 90TH ST BETWEEN BLUEWATER AND LOS VOLCANES containing approximately 9.9 acre(s). **(K-9) THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS AND TO PLANNING FOR LANDSCAPING NOTE.**

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- Project# 1010484**
 15DRB-70204 MAJOR - SITE
 DEVELOPMENT PLAN FOR
 BUILDING PERMIT

RBA ARCHITECTS agent(s) for DREAM STYLE request the referenced/ above action for Lot 9A1B, **RENAISSANCE CENTER** zoned SU-1/ IP USES, located on the north side of N RENAISSANCE BLVD NE between CULTURE DR NE and CHAPPELL DR NE containing approximately 3.748 acres. **(F-16) DEFERRED TO 6/24/15.**



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: (505) 268-8828
 ADDRESS: 128 Monroe Street NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: fred@iacivil.com
 APPLICANT: Curb, Inc. PHONE: _____
 ADDRESS: 5160 San Francisco NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: dd_penners@yahoo.com
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Approval for Amended Infrastructure List

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 8 Block: _____ Unit: 5
 Subdiv/Addn/TBKA: Avalon Subdivision
 Existing Zoning: SU-1 IP Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): K-09 UPC Code: 100905724339520404

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): Project #s
1000984; 1009438; 15EPC-40040

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: _____ Total site area (acres): 9.98
 LOCATION OF PROPERTY BY STREETS: On or Near: 90th Street NW
 Between: Bluewater Road NW and Los Volcanes Road NW
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Fred C. Arfman DATE 01-29-16
 (Print Name) Fred C. Arfman Applicant: Agent:

FOR OFFICIAL USE ONLY

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>16DRB - 70044</u>	<u>APP</u>	_____	<u>\$ 50.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>February 10, 2016</u>			Total
			<u>\$ 70.00</u>

[Signature] 2-1-16
 Staff signature & Date

Project # 1003478

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
 - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
 - Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
 - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
 - 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (**verify with DRB Engineer**)
 - DXF file and hard copy of final plat data for AGIS is required.

INFRASTRUCTURE LIST


- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

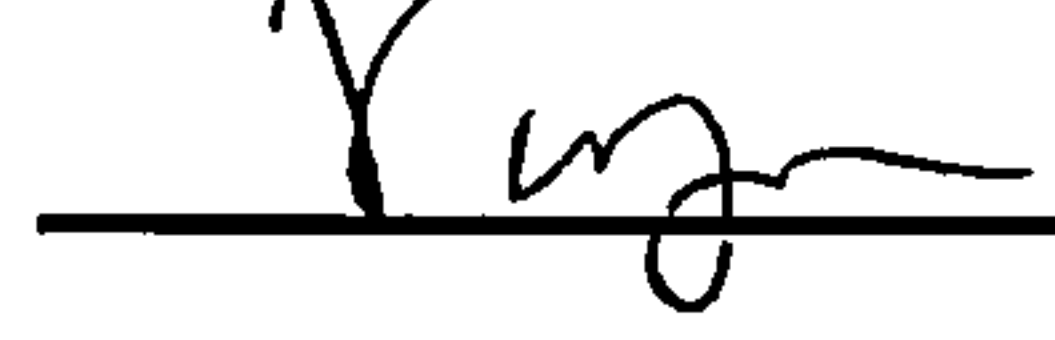
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

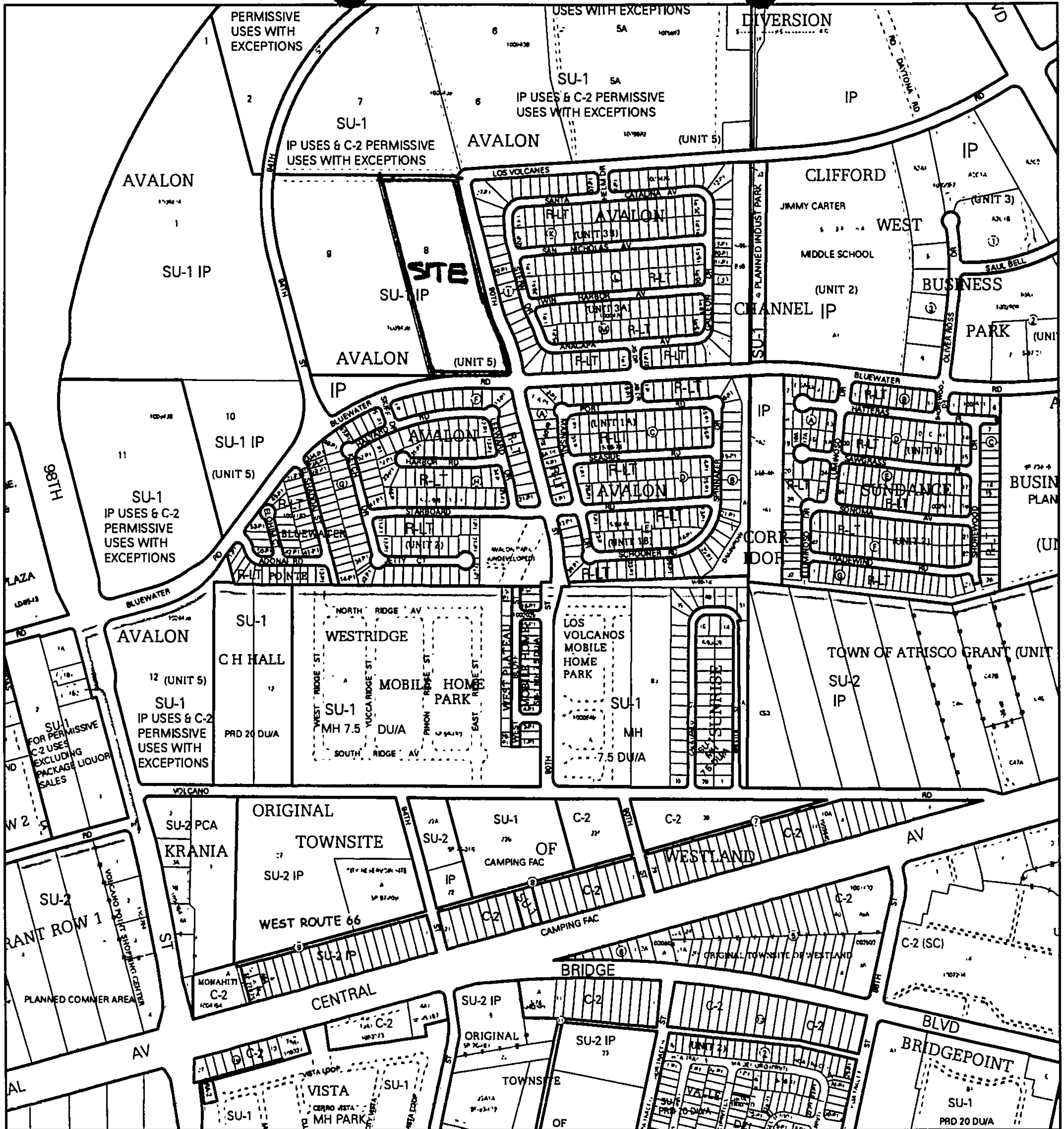
Fred C. Arfman
 Applicant name (print)

 Applicant signature / date



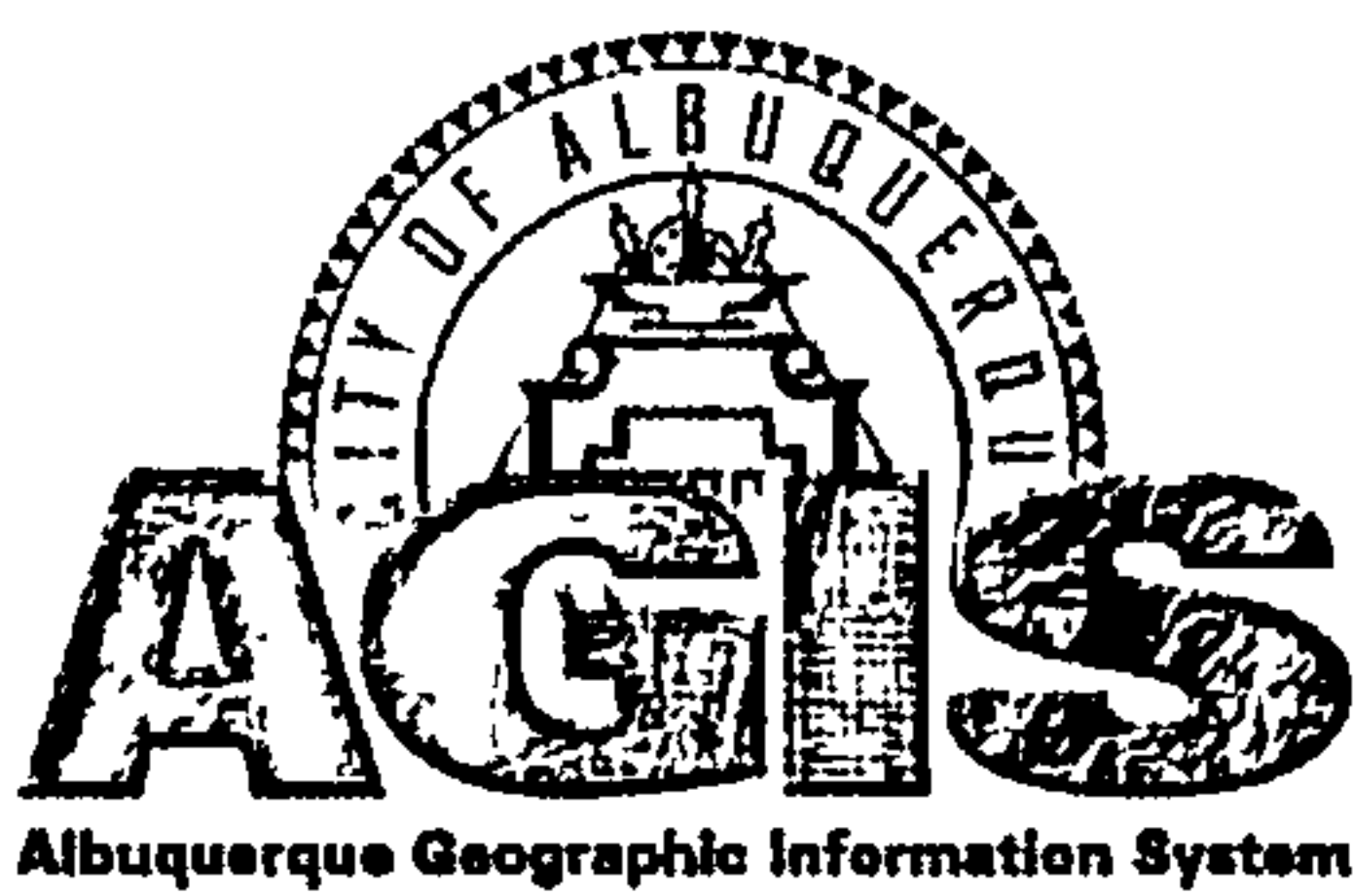
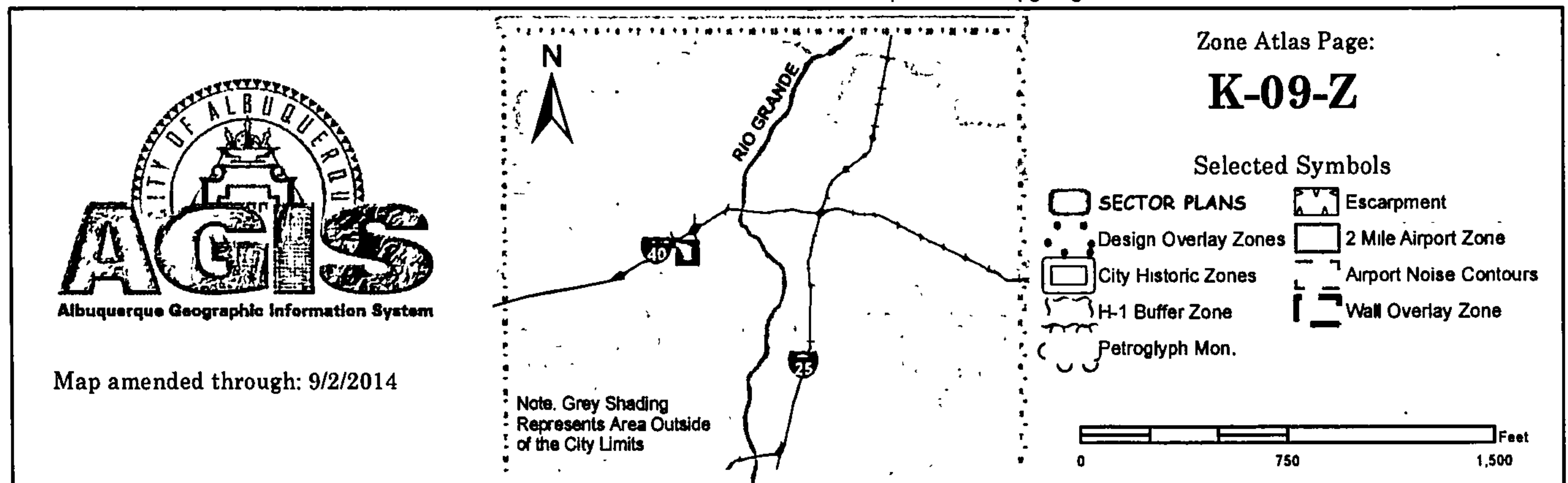
Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 16DRB - 70044

 2-1-16
 Planner signature / date
 Project # 1003478



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 9/2/2014

Note: Grey Shading Represents Area Outside of the City Limits

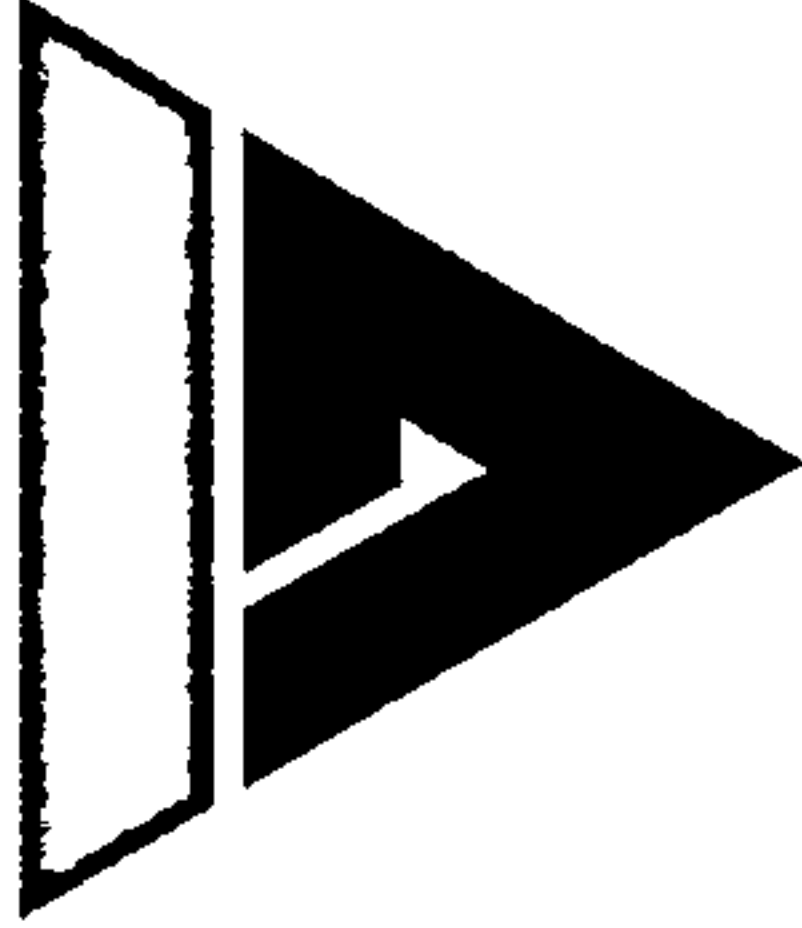
Zone Atlas Page:

K-09-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1500 Feet



Isaacson & Arfman, P.A. Consulting Engineering Associates

*Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Asa Nilsson-Weber, PE*

January 29, 2016

Mr. Jack Cloud, Chairman
Development Review Board
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Village at Avalon Center (K-9)

Subject: Amended Infrastructure List

Dear Mr. Cloud,

Isaacson & Arfman, PA acting as the agent for The Village at Avalon, LLP request that the Amended Infrastructure List (IL) be scheduled for the next available DRB hearing. The IL is being resubmitted with the 20" dia. Master Plan Water Line deleted based on the reduced Instantaneous Fire Flow Requirement issued by the Fire Marshal's Office and delivered to the ABC Water Utility Authority (WA). The WA was requested to reissue their Water & Sanitary Sewer Availability Statement that would address the reduced fire flow demands thereby eliminating the need for the 20" dia. water line as found on the original IL.

The new IL is required when petitioning the Design/Review Section for a new Financial Guarantee amount for the future surety to be attached to the SIA.

We are available to answer any questions on this submittal.

Sincerely,
ISAACSON & ARFMAN P.A.


Fred C. Arfman, PE

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

September 11, 2015

CURB INC.
5160 San Francisco NE
ABQ, NM 87109

Project# 1003478
15EPC-40040 Site Development Plan for Building Permit

LEGAL DESCRIPTION:

For all or a portion of Tract 8, (Previously Tract A), Unit 5, (previously Unit 4) Avalon Subdivision, zoned SU-1 for R-2 Uses, located on 90TH Street NW, between Bluewater Road NW and Los Volcanes Road NW, containing approximately 10 acres. (K-9)
Staff Planner: Maggie Gould

PO Box 1293 On September 10, 2015, the Environmental Planning Commission (EPC) voted to APPROVE Project #1003478/15EPC-40040 , a Site Development Plan for Building Permit, based on the following findings:

Albuquerque FINDINGS:

New Mexico 87103

www.cabq.gov

1. This is a request for a Site Development Plan for Building Permit for Tract 8 (previously Tract A) Unit 5 (previously unit 4), located 90th Street NW, between Bluewater Road NW and Los Volcanes Road NW and containing approximately 9.8 acres.
2. The Site Development Plan for Building Permit will allow the development of 240 unit apartment complex.
3. The subject was annexed into the City in 2001, SU-1 for I-P Uses zoning was established as part of the annexation process. The site was rezoned in 2014 from SU-1 for I-P Uses to SU-1 for R-2 Uses (1003478, 14 EPC 40068). This case was appealed by the Avalon Neighborhood Association and the appeal was ultimately denied.
4. The site is governed by a Site Development Plan for Subdivision with design standards, approved by the EPC in 2014 (1003478, 14 EPC 40067). The request is consistent with the Site Development Plan for Subdivision.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.

OFFICIAL NOTICE OF DECISION

Project #1003478

September 10, 2015

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identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.” Applicable policies include:

- A. Policy II.B.5.e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The site has access to existing services and infrastructure. The proposed project creates development that can act as buffer between the existing residential development and the allowed industrial development; thus preserving the integrity of the area. The applicant has consulted with the neighborhood regarding the design of the project so the style is complimentary to the existing residential development and the buildings are sited in a less intrusive manner. Policy II.B.5.e is furthered.

- B. Policy II.B.5h: Higher density housing is most appropriate in the following situations:

- In areas with excellent access to the major street network.
- In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available.
- In areas now predominantly zoned single-family only where it comprises a complete block face and faces onto similar or higher density development; up to 10 dwelling units per net acre.
- In areas where a transition is needed between single-family homes and much more intensive development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas.

The proposed project will allow development of higher density housing, up to 30 dwelling units per acre, in an area with excellent access to the major street network and will provide a buffer between the existing single family development to the south and east and the industrial and commercial development that is allowed to the north and west. Policy II.B.5.h is furthered.

Transportation and Transit

- A. Policy II.D.4c: In order to add to transit ridership, and where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets.

The subject site is .6 miles from Central Avenue, the City’s most heavily used transit corridor. There is an existing park and ride lot at the northwest corner of Unser Boulevard and Central Avenue that has access to 5 separate bus routes. Policy II.D.4c is furthered.

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- B. Policy II.D.4g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

The Site Development Plan for Building shows sidewalks along 90th street and Bluewater road, the area adjacent to the road is landscaped and will make the pedestrian experience more pleasant. This infrastructure may encourage non-motorized travel. Policy II.D.4g is furthered.

Housing

- A. Policy II.D.5a The supply of affordable housing, shall be preserved and increased and the opportunity to obtain standard housing for a reasonable proportion of income assured.

The proposed development will be multi-family housing, this housing product is often more affordable than a single family house. The proposed development will fill a need in the Albuquerque market for quality rental housing. Policy II.D.5.a is furthered.

Developed Landscape

- A. Policy II.B.8.d: Landscaping shall be encouraged within public and private rights-of-away to control water erosion and dust, and create a pleasing visual environment; native vegetation should be used where appropriate.

The landscaping plan shows a mixture of native and low to medium water use plants. The landscaped areas on the site and in the public right of way will help to control dust and erosion and will provide a pleasant visual environment along the public streets. The request further Policy II.B.8.d.

7. The West Side Strategic Plan (WSSP) was first adopted in 1997 and recently amended in 2011 to help promote development of Neighborhood and Community Activity Centers. The WSSP identifies 13 communities, each with a unique identity and comprised of smaller neighborhood clusters. The Atrisco Park Community is the triangular wedge of land located between I-40 and Central Avenue and west of Coors Boulevard. Relevant goals/policies include the following:

- A. WSSP Policy 2.5: When considering approval of subdivisions for residential development, the City Planning Department shall consider whether local public schools have sufficient capacity to support the increased number of homes.

The Planning Department is considering school capacity. The request will result in 240 new households. The apartments would be open to people with children and those without children. There is capacity at West Mesa High School, the Jimmy Carter middle school is slightly over capacity and Painted Sky Elementary is well over capacity. The proposed use could contribute the overcrowding. APS plans to build a new west side K-8(kindergarten through 8th grade) school in 2017 to reduce overcrowding, pending bond approval. Staff

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researched the approval of bond funding and found that over the past ten years, since the adoption of the Capital Master System, voters have approved the school bonds.

- B. Policy 3.33: It is appropriate for new development, both residential and non-residential, to occur in this community. Redevelopment efforts associated with the existing 5-acre tracts shall be encouraged.

The proposed development will add new residential use to the area. Policy 3.33 is furthered.

- C. Policy 4.6.c: Gated and/or walled communities and cul-de-sacs are strongly discouraged on the West Side. In rare instances when these design features are permitted, openings through perimeter walls and cul de-sacs shall be provided every 600 feet so that pedestrians and bicyclists are provided direct access to transit service and other destinations.

The proposed development will be gated, contrary to the intent of this policy. Three access points that will allow pedestrian and bicycle access into and out of the site will be provided to allow the pedestrian and bicycle access called for in this policy. The access along Bluewater road is approximately 320 feet from the corner of the site; the two access points along 90th street are approximately 450 feet from the corners of the site. The request partially furthers policy 4.6.c.

- D. Policy 4.18: Housing within the price range of citizens with low-to-moderate incomes is desirable on the West Side, and in other parts of the metropolitan area. Additional means to achieve value housing (in addition to those above) shall be studied by the City and County. Such a study shall also consider steps that can be taken to increase the availability of privately built value housing by reducing overly restrictive or costly housing standards where appropriate.

The proposed development will be multi-family housing, this housing product is often more affordable than a single family house. The proposed development will fill a need in the Albuquerque market for quality rental housing and may provide an affordable option for some residents. The request further Policy 4.18.

- E. Policy 6.25: All new developments shall include internal bicycle/pedestrian trails and bikeways which link to the adopted Trails and Bikeways Facility Plan primary trails network when feasible and subject to development impact fee requirements. All subdivisions, sector plans, planned communities, and other development plans must demonstrate connectivity of trails and bikeways to adjacent developments and destinations.

Bluewater Road contains a bike lane that connects to the transit routes and paved multi use trail along Unser Boulevard. The proposed development contains a pedestrian gate onto Bluewater Road. The request is consistent with Policy 6.25.

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F. Additional Plan intent discussion

Page 50. More high density development is appropriate on the West Side and desirable, especially near transit facilities and along transit corridors, in order to decrease sprawl and promote transit use. The higher densities, which could be 20 dus/acre or more, will occur close to the Community Centers and in proximity to transit corridors.

The proposed project will allow the development of higher density housing near transit facilities (bus lines and a park and ride lot) and jobs. The underlying zone allows a density of up to 30 dwelling units per acre; the proposed project shows 24 DU/acre.

G. Resource use

The per capita water use rate for multi-family development is generally lower than the use rate for single family development. Much of this difference is due to the lack of outdoor watering. According to the Albuquerque Bernalillo County Water Authority, single family residents used about 108 gallons of water per person per day and multi-family residents used about 54 gallons per person per day in 2012. Additional multi-family residential development could help the city meet water conservation goals.

8. The Avalon Neighborhood Association, South Valley Coalition of Neighborhood Associations and South West Alliance of Neighbors (SWAN) and the Westside Coalition of Neighborhood Associations were notified and offered a facilitated meeting. As of this writing a meeting has not been scheduled nor has the facilitator had any indication from any the affected neighborhood associations that a meeting is desirable.
9. Property owners with 100 feet of the site were also notified. Staff has not received any public comment as of this writing.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
4. Bicycle racks shall be labeled and the total number of spaces provided shall be noted.

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5. The applicant shall address the comments from transportation prior to the DRB hearing.
6. Clarify height on SDP-5.3 , A3.
7. Colors shall be as shown on the sheet marked "Colors Approved by Neighborhood Association 9/1/2015".
8. Boulders will be added to the northeastern area of the site at 90th Street and Bluewater Road to address traffic concerns.
9. An additional pedestrian access gate at the north end of the site will be added.
10. A note shall be added to the site plan that states "The plan reflects the potential for a pedestrian gate on the west side of the property that may be added with future development of the property to the west."

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **SEPTEMBER 25, 2015**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years

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Project #1003478

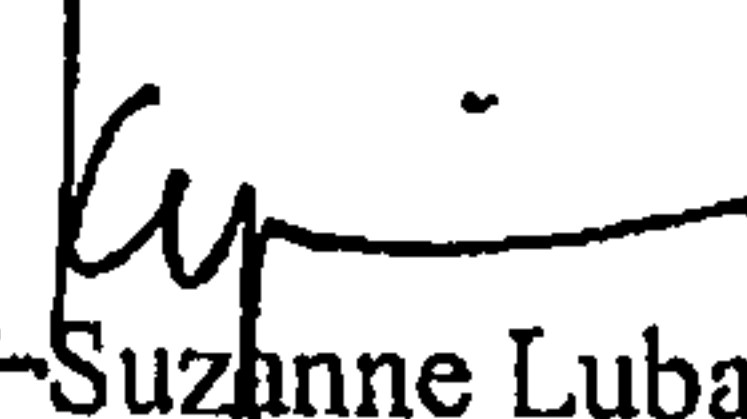
September 10, 2015

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after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,


for Suzanne Lubar
Planning Director

SL/MG

cc: CURB INC., 5160 San Francisco NE, ABQ, NM 87109
Dekker/Perich/Sabatini, 7601 Jefferson NE, Suite 100, ABQ, NM 87109
Billy DeHerrera, Avalon NA, 651 Stern Dr. NW, ABQ, NM 87121
Lucy Anchondo, Avalon NA, 601 Stern Dr. NW, ABQ, NM 87121
Rod Mahoney, Valley Coalition of NA's, 1838 Sadora Rd SW, ABQ, NM 87105
Marcia Fernandez, Valley Coalition of NA's, 2401 Violet SW, ABQ, NM 87105
Johnny Pena, SWAN, 6525 Sunset Gardens SW, ABQ, NM 87121
Jerry Gallegos, SWAN, 417 65th St. SW, ABQ, NM 87121
Gerald Worrall, Westside Coalition of NA's, 1039 Pinatubo Pl. NW, ABQ, NM 87120
Harry Hendriksen, Westside Coalition of NA's, 10592 Rio Del Sole Ct. NW, ABQ, NM 87114-2701
Samantha Pina, 423 Elohim Ct NW, ABQ, NM 87121



Ruth Lozano <ruthl@iacivil.com>

DRB # 1003478 - Application for Requested Approval for Amended Infrastructure List

1 message

Ruth Lozano <ruthl@iacivil.com>

Mon, Feb 1, 2016 at 8:16 AM

To: plndrs@cabq.gov

DRB #1003478 - See Attached Application Package.

 DRB Appl Pkg Amend IF.pdf
2020K

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: January 29, 2016
Date Site Plan Approved: December 2, 2015
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1003478
DRB Application No.: 15DRB-70379

INFRASTRUCTURE LIST

(Rev 01-28-16)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**VILLAGE AT AVALON APARTMENTS
PROPOSED NAME OF SITE DEVELOPMENT PLAN**

**TRACT 8, UNIT 5, AVALON SUBDIVISION
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		12"	Waterline & Water Services	20' WL Esm't. - Tract 8 (along west side of Tr.)	NW Corner Tr. 8	Bluewater Rd	/	/	/
		12"	Waterline Removal and Lowering	30' WL Esm't.-Tr. 8 & 9 (along north property line)	90th St	NW Corner Tr. 9	/	/	/
		6"	Fire Hyd WL & FHs (2 Ea.)	10' Fire Hyd. Esm'ts along future 20' WL Esm't: west side of Tr 8	NW Corner Tr. 8	Bluewater Rd	/	/	/
		12' F - EOP	Arterial Paving w/ Std. PCC C&G	90th St - West Half	Los Volcanes Rd	570' South	/	/	/
		12' - 20' Transition F- EOP	Arterial Paving w/ Std. PCC C&G	90th St - West Half	Bluewater Rd	340' North	/	/	/
		6'	PCC Sidewalk	90th St - West Half	Los Volcanes Rd	Bluewater Rd	/	/	/
		Double 'A'	Storm Inlet with connecting pipe	90th St	NW corner of Bluewater Rd intersection		/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____

- 2 _____

- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
---------------	---

Fred C. Arfman, PE
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Fred C. Arfman 01.28.16
SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & GENERAL RECREATION - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Current DRC
Project Number _____

FIGURE 12

Date Submitted: November 30, 2015
 Date Site Plan Approved: 12-2-15
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Project No.: 1003478
 DRB Application No.: 15DRB-70379

ORIGINAL

INFRASTRUCTURE LIST
 (Rev 9 20 05)
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

VILLAGE AT AVALON APARTMENTS
PROPOSED NAME OF SITE DEVELOPMENT PLAN

TRACT 8, UNIT 5, AVALON SUBDIVISION
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		20"	Waterline	30' WL Easement, North Extension of 90th St along east PL Tr. 7 or modified alignment	Los Volcanes Rd	Daytona Rd	/	/	/
		12"	Waterline & Water Services	20' WL Esm't - Tract 8 (along west side of Tr)	NW Corner Tr. 8	Bluewater Rd	/	/	/
		12"	Waterline Removal and Lowering	30' WL Esm't - Tr 8 & 9 (along north property line)	90th St	NW Corner Tr 9	/	/	/
		6"	Fire Hyd WL & FHs (2 Ea.)	10' Fire Hyd Esm'ts along futer 20' WL Esm't. west side of Tr 8	NW Corner Tr. 8	Bluewater Rd	/	/	/
		12' F - EOP	Arterial Paving w/ Std. PCC C&G	90th St - West Half	Los Volcanes Rd	570' South	/	/	/
		12' - 20' Transition F- EOP	Arterial Paving w/ Std. PCC C&G	90th St - West Half	Bluewater Rd	340' North	/	/	/
		6'	PCC Sidewalk	90th St - West Half	Los Volcanes Rd	Bluewater Rd	/	/	/
		Double 'A'	Storm Inlet with connecting pipe	90th St	NW corner of Bluewater Rd intersection		/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
Fred C. Arfman, PE NAME (print)	<i>[Signature]</i> 12-2-15 DRB CHAIR - date	<i>Carol S. Dumont</i> 12-2-15 PARKS & RECREATION - date
Isaacson & Arfman, P.A. FIRM	<i>Ragunath M. Muthu</i> 12/2/15 TRANSPORTATION DEVELOPMENT - date	_____ AMAFCA - date
<i>Fred C. Arfman</i> 12.02.15 SIGNATURE - date	<i>Michelle Cochran</i> 12/2/15 UTILITY DEVELOPMENT - date	_____ - date
	<i>Rete [Signature]</i> 12-2-15 CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

PROJECT #
1003478

February 10. 2016

APP***



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Subdivision			
<input checked="" type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment (AA)			
<input type="checkbox"/> Administrative Approval (DRT, URT, etc.)			
<input type="checkbox"/> IP Master Development Plan	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): DEKKER/PERICH/SABATINI PHONE: 505-761-9700
 ADDRESS: 7601 JEFFERSON NE SUITE 100 FAX: 505-761-4222
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: MIRIAMH@DPSDESIGN.ORG
 APPLICANT: CURB INC PHONE: _____
 ADDRESS: 5160 SAN FRANCISCO NE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: dd_penners@yahoo.com
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: PLAN REVIEW SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 8 (PREVIOUSLY TRACT A) Block: _____ Unit: 5 (PREVIOUSLY UNIT 4)
 Subdiv/Addn/TBKA: AVALON SUBDIVISION
 Existing Zoning: SU-1 FOR R2 USES Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): K-09-Z UPC Code: 100905724339520404

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____
PROJECT #'S 1000984; 1003478; 1009438

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: _____ Total site area (acres): 9.98
 LOCATION OF PROPERTY BY STREETS: On or Near: 90TH STREET NW
 Between: BLUEWATER ROAD NW and LOS VOLCANES ROAD NW
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 10/13/2015

SIGNATURE Miriam J. Hicks DATE 10/30/2015
 (Print Name) MIRIAM J. HICKS Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>150RB-70379</u>	<u>SBP</u>	_____	\$ <u>0</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CME</u>	_____	\$ <u>20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date			Total
	<u>Oct-21, 2015</u>			\$ <u>20.00</u>
	<u>10-13-15</u>	Project #	<u>1003478</u>	
	Staff signature & Date			

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Completed Site Plan for Subdivision Checklist
 ___ Infrastructure List, if relevant to the site plan
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 ___ Solid Waste Management Department signature on Site Plan
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Infrastructure List, if relevant to the site plan
 Completed Site Plan for Building Permit Checklist
 ___ Copy of Site Plan with Fire Marshal's stamp
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**
 ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
 FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)
 Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 Solid Waste Management Department signature on Site Plan for Building Permit
 Zone Atlas map with the entire property(ies) clearly outlined
 Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 Infrastructure List, if relevant to the site plan
 Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

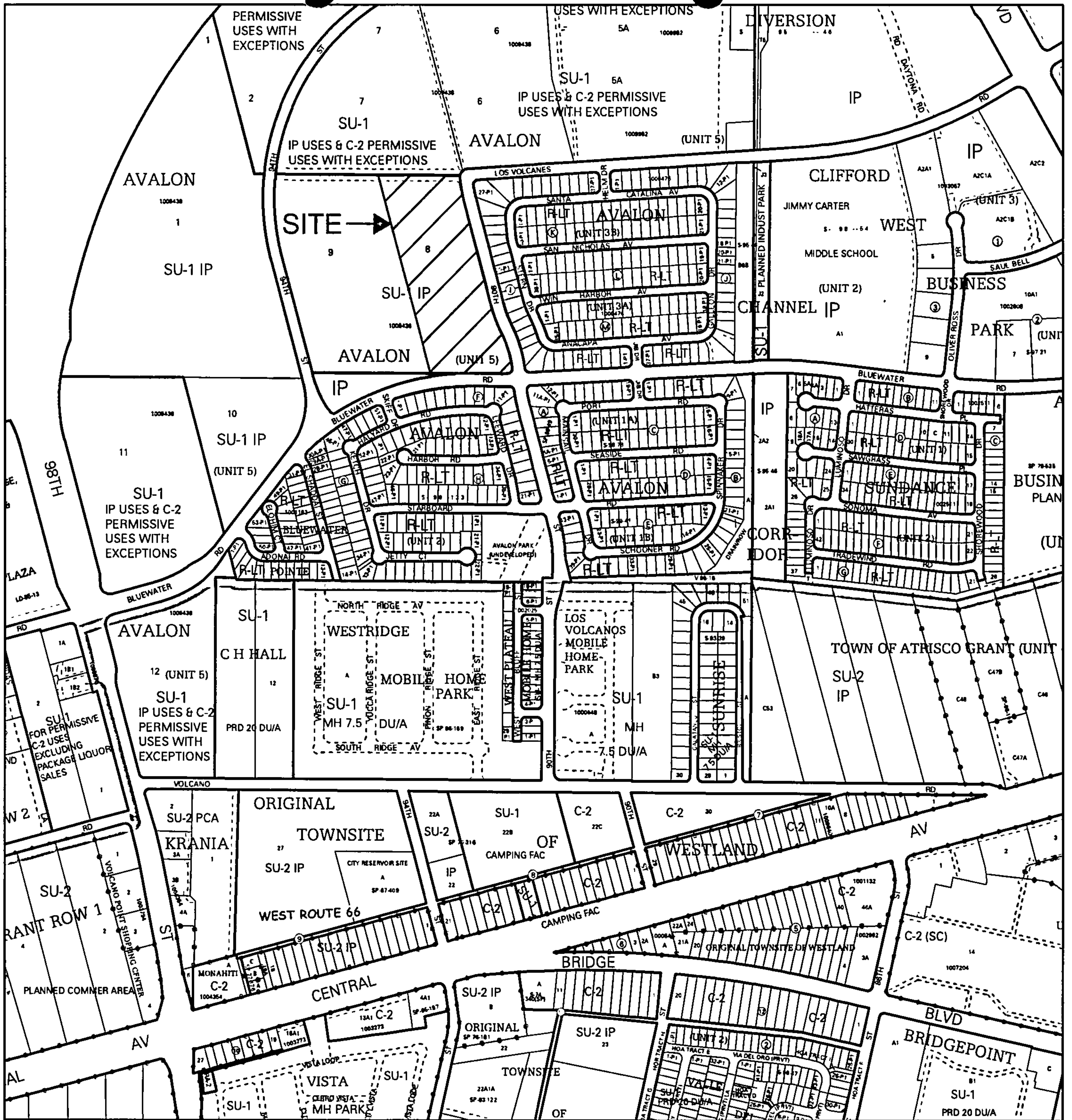
MIRIAM J. Hicks
 Applicant name (print)
[Signature] 10/13/15
 Applicant signature / date



Form revised October 2007

- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed
- Application case numbers
15 - DRB - 10379

[Signature] 10-13-15
 Planner signature / date
 Project # 1003478



For more current information and details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-09-Z

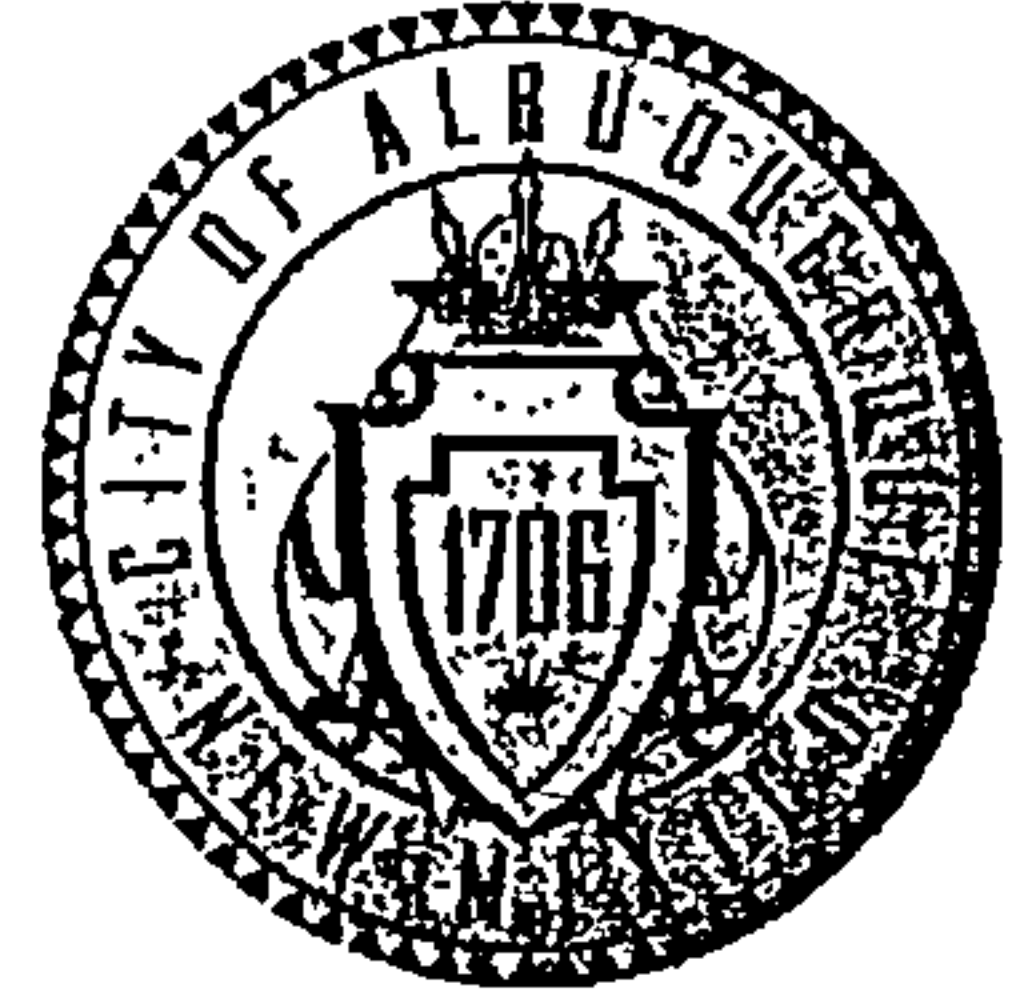
Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

Map amended through: 9/2/2014

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

September 11, 2015

CURB INC.
5160 San Francisco NE
ABQ, NM 87109

Project# 1003478
15EPC-40040 Site Development Plan for Building Permit

LEGAL DESCRIPTION:

For all or a portion of Tract 8, (Previously Tract A), Unit 5, (previously Unit 4) Avalon Subdivision, zoned SU-1 for R-2 Uses, located on 90TH Street NW, between Bluewater Road NW and Los Volcanes Road NW, containing approximately 10 acres. (K-9)
Staff Planner: Maggie Gould

PO Box 1293 On September 10, 2015, the Environmental Planning Commission (EPC) voted to APPROVE Project #1003478/15EPC-40040 , a Site Development Plan for Building Permit, based on the following findings:

Albuquerque FINDINGS:

New Mexico 87103

www.cabq.gov

1. This is a request for a Site Development Plan for Building Permit for Tract 8 (previously Tract A) Unit 5 (previously unit 4), located 90th Street NW, between Bluewater Road NW and Los Volcanes Road NW and containing approximately 9.8 acres.
2. The Site Development Plan for Building Permit will allow the development of 240 unit apartment complex.
3. The subject was annexed into the City in 2001, SU-1 for I-P Uses zoning was established as part of the annexation process. The site was rezoned in 2014 from SU-1 for I-P Uses to SU-1 for R-2 Uses (1003478, 14 EPC 40068). This case was appealed by the Avalon Neighborhood Association and the appeal was ultimately denied.
4. The site is governed by a Site Development Plan for Subdivision with design standards, approved by the EPC in 2014 (1003478, 14 EPC 40067). The request is consistent with the Site Development Plan for Subdivision.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.

OFFICIAL NOTICE OF DECISION

Project #1003478

September 10, 2015

Page 2 of 7

identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.” Applicable policies include:

- A. Policy II.B.5.e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The site has access to existing services and infrastructure. The proposed project creates development that can act as buffer between the existing residential development and the allowed industrial development; thus preserving the integrity of the area. The applicant has consulted with the neighborhood regarding the design of the project so the style is complimentary to the existing residential development and the buildings are sited in a less intrusive manner. Policy II.B.5.e is furthered.

- B. Policy II.B.5h: Higher density housing is most appropriate in the following situations:

- In areas with excellent access to the major street network.
- In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available.
- In areas now predominantly zoned single-family only where it comprises a complete block face and faces onto similar or higher density development; up to 10 dwelling units per net acre.
- In areas where a transition is needed between single-family homes and much more intensive development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas.

The proposed project will allow development of higher density housing, up to 30 dwelling units per acre, in an area with excellent access to the major street network and will provide a buffer between the existing single family development to the south and east and the industrial and commercial development that is allowed to the north and west. Policy II.B.5.h is furthered.

Transportation and Transit

- A. Policy II.D.4c: In order to add to transit ridership, and where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets.

The subject site is .6 miles from Central Avenue, the City’s most heavily used transit corridor. There is an existing park and ride lot at the northwest corner of Unser Boulevard and Central Avenue that has access to 5 separate bus routes. Policy II.D.4c is furthered.

OFFICIAL NOTICE OF DECISION

Project #1003478

September 10, 2015

Page 3 of 7

- B. Policy II.D.4g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

The Site Development Plan for Building shows sidewalks along 90th street and Bluewater road, the area adjacent to the road is landscaped and will make the pedestrian experience more pleasant. This infrastructure may encourage non-motorized travel. Policy II.D.4g is furthered.

Housing

- A. Policy II.D.5a The supply of affordable housing, shall be preserved and increased and the opportunity to obtain standard housing for a reasonable proportion of income assured.

The proposed development will be multi-family housing, this housing product is often more affordable than a single family house. The proposed development will fill a need in the Albuquerque market for quality rental housing. Policy II.D.5.a is furthered.

Developed Landscape

- A. Policy II.B.8.d: Landscaping shall be encouraged within public and private rights-of-away to control water erosion and dust, and create a pleasing visual environment; native vegetation should be used where appropriate.

The landscaping plan shows a mixture of native and low to medium water use plants. The landscaped areas on the site and in the public right of way will help to control dust and erosion and will provide a pleasant visual environment along the public streets. The request further Policy II.B.8.d.

7. The West Side Strategic Plan (WSSP) was first adopted in 1997 and recently amended in 2011 to help promote development of Neighborhood and Community Activity Centers. The WSSP identifies 13 communities, each with a unique identity and comprised of smaller neighborhood clusters. The Atrisco Park Community is the triangular wedge of land located between I-40 and Central Avenue and west of Coors Boulevard. Relevant goals/policies include the following:
- A. WSSP Policy 2.5: When considering approval of subdivisions for residential development, the City Planning Department shall consider whether local public schools have sufficient capacity to support the increased number of homes.

The Planning Department is considering school capacity. The request will result in 240 new households. The apartments would be open to people with children and those without children. There is capacity at West Mesa High School, the Jimmy Carter middle school is slightly over capacity and Painted Sky Elementary is well over capacity. The proposed use could contribute the overcrowding. APS plans to build a new west side K-8(kindergarten through 8th grade) school in 2017 to reduce overcrowding, pending bond approval. Staff

OFFICIAL NOTICE OF DECISION

Project #1003478

September 10, 2015

Page 4 of 7

researched the approval of bond funding and found that over the past ten years, since the adoption of the Capital Master System, voters have approved the school bonds.

- B. Policy 3.33: It is appropriate for new development, both residential and non-residential, to occur in this community. Redevelopment efforts associated with the existing 5-acre tracts shall be encouraged.

The proposed development will add new residential use to the area. Policy 3.33 is furthered.

- C. Policy 4.6.c: Gated and/or walled communities and cul-de-sacs are strongly discouraged on the West Side. In rare instances when these design features are permitted, openings through perimeter walls and cul de-sacs shall be provided every 600 feet so that pedestrians and bicyclists are provided direct access to transit service and other destinations.

The proposed development will be gated, contrary to the intent of this policy. Three access points that will allow pedestrian and bicycle access into and out of the site will be provided to allow the pedestrian and bicycle access called for in this policy. The access along Bluewater road is approximately 320 feet from the corner of the site; the two access points along 90th street are approximately 450 feet from the corners of the site. The request partially furthers policy 4.6.c.

- D. Policy 4.18: Housing within the price range of citizens with low-to-moderate incomes is desirable on the West Side, and in other parts of the metropolitan area. Additional means to achieve value housing (in addition to those above) shall be studied by the City and County. Such a study shall also consider steps that can be taken to increase the availability of privately built value housing by reducing overly restrictive or costly housing standards where appropriate.

The proposed development will be multi-family housing, this housing product is often more affordable than a single family house. The proposed development will fill a need in the Albuquerque market for quality rental housing and may provide an affordable option for some residents. The request further Policy 4.18.

- E. Policy 6.25: All new developments shall include internal bicycle/pedestrian trails and bikeways which link to the adopted Trails and Bikeways Facility Plan primary trails network when feasible and subject to development impact fee requirements. All subdivisions, sector plans, planned communities, and other development plans must demonstrate connectivity of trails and bikeways to adjacent developments and destinations.

Bluewater Road contains a bike lane that connects to the transit routes and paved multi use trail along Unser Boulevard. The proposed development contains a pedestrian gate onto Bluewater Road. The request is consistent with Policy 6.25.

OFFICIAL NOTICE OF DECISION

Project #1003478

September 10, 2015

Page 5 of 7

F. Additional Plan intent discussion

Page 50. More high density development is appropriate on the West Side and desirable, especially near transit facilities and along transit corridors, in order to decrease sprawl and promote transit use. The higher densities, which could be 20 dus/acre or more, will occur close to the Community Centers and in proximity to transit corridors.

The proposed project will allow the development of higher density housing near transit facilities (bus lines and a park and ride lot) and jobs. The underlying zone allows a density of up to 30 dwelling units per acre; the proposed project shows 24 DU/acre.

G. Resource use

The per capita water use rate for multi-family development is generally lower than the use rate for single family development. Much of this difference is due to the lack of outdoor watering. According to the Albuquerque Bernalillo County Water Authority, single family residents used about 108 gallons of water per person per day and multi-family residents used about 54 gallons per person per day in 2012. Additional multi-family residential development could help the city meet water conservation goals.

8. The Avalon Neighborhood Association, South Valley Coalition of Neighborhood Associations and South West Alliance of Neighbors (SWAN) and the Westside Coalition of Neighborhood Associations were notified and offered a facilitated meeting. As of this writing a meeting has not been scheduled nor has the facilitator had any indication from any the affected neighborhood associations that a meeting is desirable.
9. Property owners with 100 feet of the site were also notified. Staff has not received any public comment as of this writing.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
4. Bicycle racks shall be labeled and the total number of spaces provided shall be noted.

OFFICIAL NOTICE OF DECISION

Project #1003478

September 10, 2015

Page 6 of 7

5. The applicant shall address the comments from transportation prior to the DRB hearing.
6. Clarify height on SDP-5.3 , A3.
7. Colors shall be as shown on the sheet marked "Colors Approved by Neighborhood Association 9/1/2015".
8. Boulders will be added to the northeastern area of the site at 90th Street and Bluewater Road to address traffic concerns.
9. An additional pedestrian access gate at the north end of the site will be added.
10. A note shall be added to the site plan that states "The plan reflects the potential for a pedestrian gate on the west side of the property that may be added with future development of the property to the west."

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **SEPTEMBER 25, 2015**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years

OFFICIAL NOTICE OF DECISION

Project #1003478

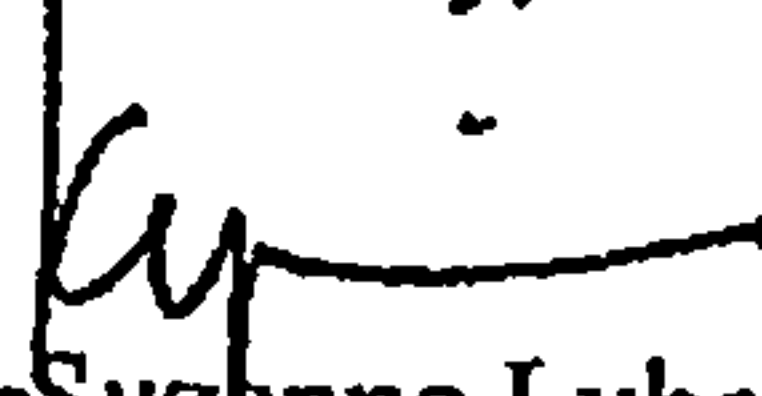
September 10, 2015

Page 7 of 7

after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,


For Suzanne Lubar
Planning Director

SL/MG

cc: CURB INC., 5160 San Francisco NE, ABQ, NM 87109
Dekker/Perich/Sabatini, 7601 Jefferson NE, Suite 100, ABQ, NM 87109
Billy DeHerrera, Avalon NA, 651 Stern Dr. NW, ABQ, NM 87121
Lucy Anchondo, Avalon NA, 601 Stern Dr. NW, ABQ, NM 87121
Rod Mahoney, Valley Coalition of NA's, 1838 Sadora Rd SW, ABQ, NM 87105
Marcia Fernandez, Valley Coalition of NA's, 2401 Violet SW, ABQ, NM 87105
Johnny Pena, SWAN, 6525 Sunset Gardens SW, ABQ, NM 87121
Jerry Gallegos, SWAN, 417 65th St. SW, ABQ, NM 87121
Gerald Worrall, Westside Coalition of NA's, 1039 Pinatubo Pl. NW, ABQ, NM 87120
Harry Hendriksen, Westside Coalition of NA's, 10592 Rio Del Sole Ct. NW, ABQ, NM 87114-2701
Samantha Pina, 423 Elohim Ct NW, ABQ, NM 87121

Maggie Gould
City of Albuquerque
Planning Department



Dear Maggie,

The following list identifies each of the changes marked with revision bubbles.

REVISED SDP-1.1

Each location of the bike racks on the site plan has been keyed noted with the capacity indicated at each rack for a total of 120 bike parking spaces. See modification to keyed note 17 and bubbled changes at each bike rack. One additional rack of 8 spaces and sidewalk were added at the community building to meet the total count required at 1 bike parking space per 2 du.

An additional gate has been added along the east property line, north of the mid-point and in line with building 1A.

Keyed note 51 has been modified to include the language for a future gate along the west property line.

The parking and arrangement of the trash compactor and maintenance building have been modified to meet the request of solid waste allowing greater maneuvering room to approach the compactor. Overall total parking has not been changed.

Notes for ingress/egress, access to public transportation and bike ways has been added per transportation comments

Dimensions and "No parking" notation has been added to the accessible parking areas. The accessible parking sign has been modified on sheet SDP-1.2

Locations of fire hydrants, PIV's, and fire department connections have been added to the site plan for fire marshal review and approval.

Construction type and allowable square footage has been added per fire marshal request.

REVISED SDP-1.2

Van accessible parking sign has been modified on detail B2/SDP-1.2 to add the language "Violators are subject to a fine and/or towing"

A note has been added to detail D1 for the monument sign referring to new detail D1/SDP-5.1 for the CMU wall pattern as selected by the Avalon Neighborhood Association on 9/22/2015.

REVISED SDP-2.1

Street trees have been modified to meet PNM tree height requirements.

Landscape plan has been updated for the modifications of the added gate and revised trash compactor layout.

Square footage calculations have been added to show more detail for hardscape, play areas, turf and gathering spaces.

Boulders have been added to the northeast corner of the site for wall protection

REVISED SDP-5.1 through 5.4

A general note has been added to all elevation sheets indicating neighborhood approval of the stucco colors and each stucco color has been modified to reflect the colors presented and approved by the neighborhood association.

Sheet SDP-5.1 has been modified to show a new wall elevation detail indicating the CMU wall pattern and color approved by the Avalon neighborhood association on 9/22/2015.

Sheet SDP-5.3 has elevation heights corrected and free floating notes indicated to be deleted.

Thank you,

Miriam

Current DRC
Project Number _____

FIGURE 12

Date Submitted October 13, 2105

INFRASTRUCTURE LIST

Date Site Plan Approved _____

(Rev 8-20-05)

Date Preliminary Plat Approved: _____

EXHIBIT "A"

Date Preliminary Plat Expires: _____

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DRB Project No.: _____

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

DRB Application No.: _____

VILLAGE AT AVALON APARTMENTS

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract 8, Unit 5, Avalon Subdivision

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		12"	Water Line	30' Public WL Easement	90th St	NW Corner Tr 9	/	/	/
		10"	Water Line	20' WL Esm't Tract 8	NW Corner Tr. 8	Bluewater RD	/	/	/
		12' - 20'	Collector Roadway (1/2 Section) w/ Sid C&G	90th St	Bluewater Rd	Los Volcanes Rd	/	/	/
		6'	PCC Sidewalk	"	"	"	/	/	/
		1' & 2"	Water Services	10' Water Meter Esm'ts along fut 20' WL Esm't west side of Tr 8	NW Corner Tr. 8	Bluewater Rd.	/	/	/
		6"	Fire Hyd WL & FHs (2 Ea)	"	"	"	/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Fred C. Arfman, PE
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Fred C. Arfman 10.13.15
SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & GENERAL RECREATION - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 1
ALBUQUERQUE, NM 87111
505.761.9700 / BPSDESIGN.COM
ARCHITECT

ENGINEER

**DRB
SUBMITAL**
OCTOBER 13, 2015

PROJECT

VILLAGE AT AVALON APARTMENTS
TH STREET & BLUEWATER ROAD SW
ALBUQUERQUE, NM

REVISIONS
△ EPC CONDITION OF APPROVAL
△
△
△

DRAWN BY MLI
REVIEWED BY RAY
DATE 10/13/2015
PROJECT NO 15-007
DRAWING NAME

PROJECT DATA
AND DETAILS

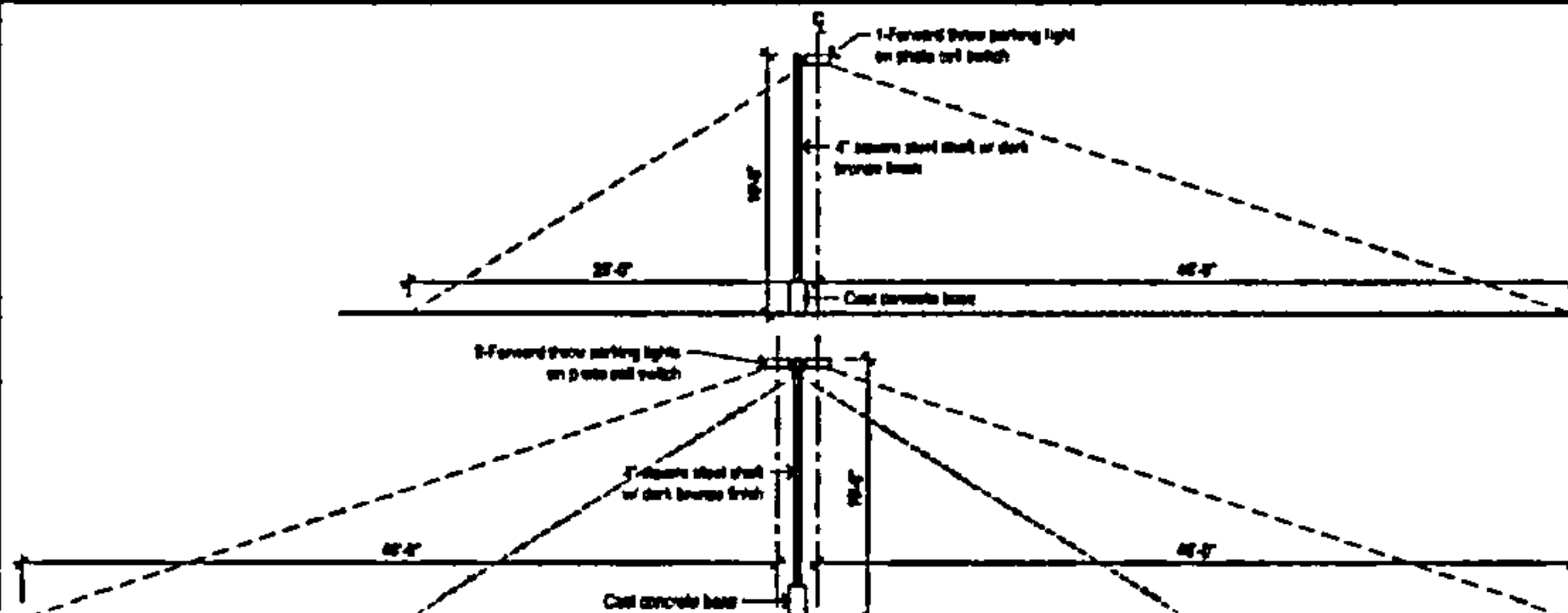
SHEET NO
SDP-1.2
2 OF 1

BUILDING DATA

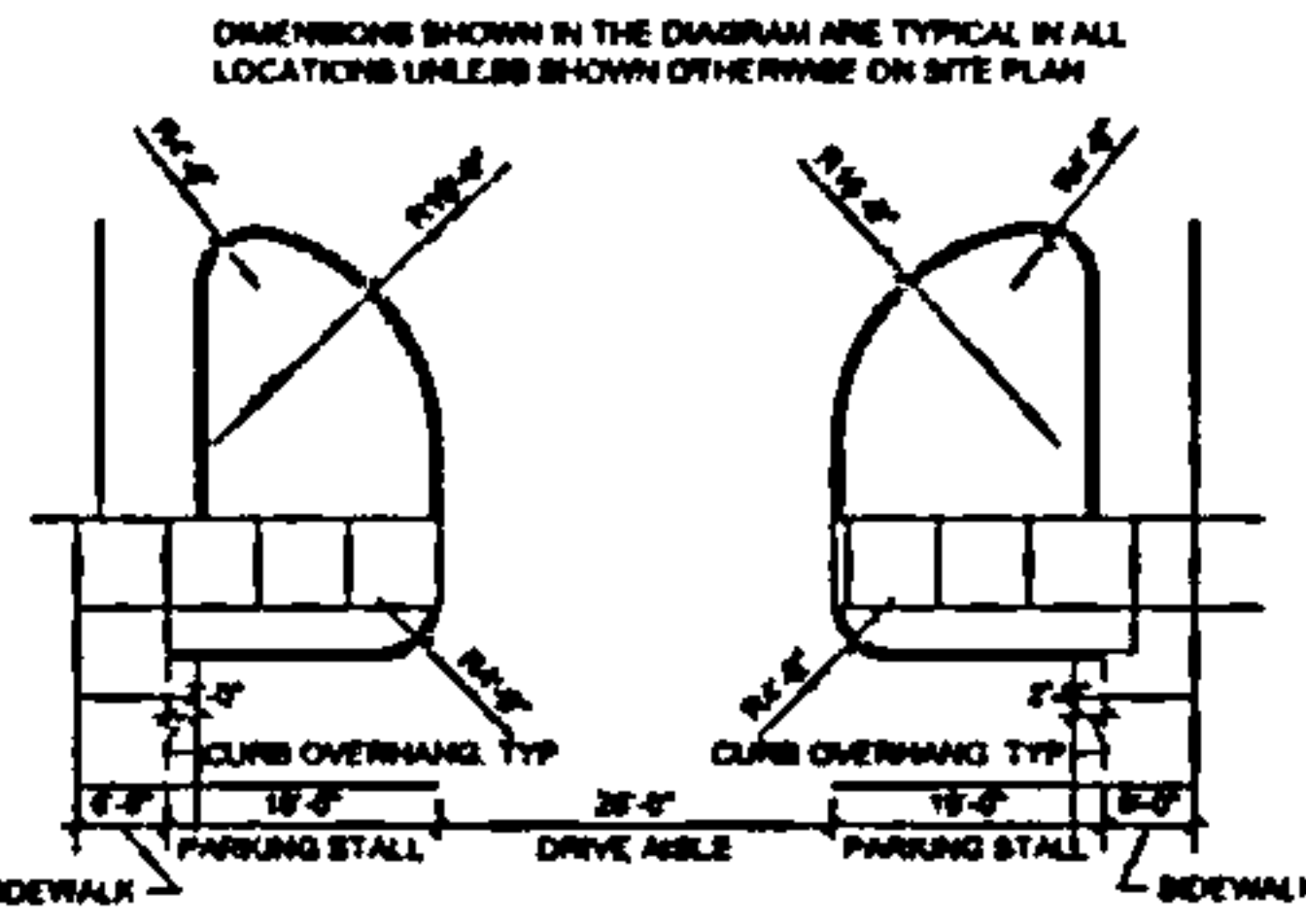
90th and Bluewater - BUILDING DATA				UNIT MIX		
Building	Level	Heated NSF	Gross SF	1 BD	2 BD	3 BD
Building 1	Level 1	10,537.6	13,844.6	4	4	4
	Level 2	10,537.6	13,844.6	4	4	4
	Level 3	9,461.6	12,386.5	4	4	4
	Total	30,536.8	40,075.7			
Quantity (2)	Total sf	61,073.6	80,151.4	Total 1 BD on site 64		
Building 2	Level 1	12,132.0	16,006.7	8	8	
	Level 2	12,016.0	16,006.7	8	8	
	Level 3	12,016.0	16,006.7	8	8	
	Level 4	9,791.7	13,890.0	8		
Quantity (2)	Total sf	51,914.4	123,820.2	Total 2 BD on site 112		
Building 3	Level 1	10,045.4	13,279.3	4	6	2
	Level 2	10,045.4	13,279.3	4	2	6
	Level 3	8,765.7	12,057.6	4	2	2
	Total	28,856.5	38,596.2			
Quantity (2)	Total sf	57,713.1	77,192.4	Total 3 BD on site 64		
Clubhouse	Total	3,278.0	4,417.0			
Total Bldg SF on site		213,978.08	285,581.00	Total units on site 240		

UNIT DATA

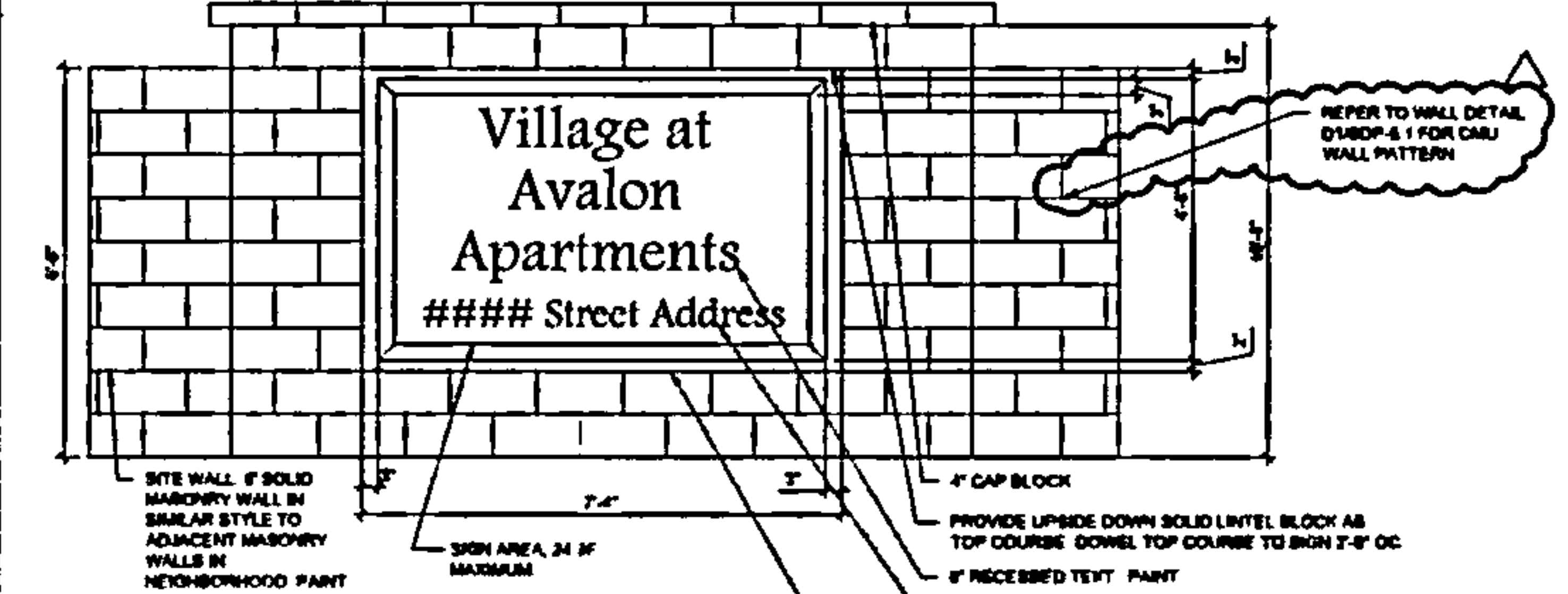
90th and Bluewater - UNIT DATA									
QUANTITY	UNIT TYPE	BD/BA QUANTITY	NSF	# ACCESSIBLE (TYPE A) 5%	# HEARING IMPAIRED 2%	# ADAPTABLE (TYPE B) 50%	# V/SITABLE 50%	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED
84	1-1A	1BD/1BA	575	3	1	81	48	400	33,600
25	1-1B-1	1BD/1BA	672	0	1	25	7	400	10,000
3	1-1B-2	1BD/1BA	672	3		0	1	400	1,200
3	2-1A	2BD/1BA	919	3		0	2	500	1,500
57	2-2A	2BD/2BA	919	0	1	57	42	500	28,500
36	3-2A	3BD/2BA	1152	3	1	33	12	600	21,600
32	3-2B	3BD/2BA	1186	0	1	32	8	600	19,200
240				12	5	228	120		115,600 SF REQUIRED 177,062 SF PROVIDED



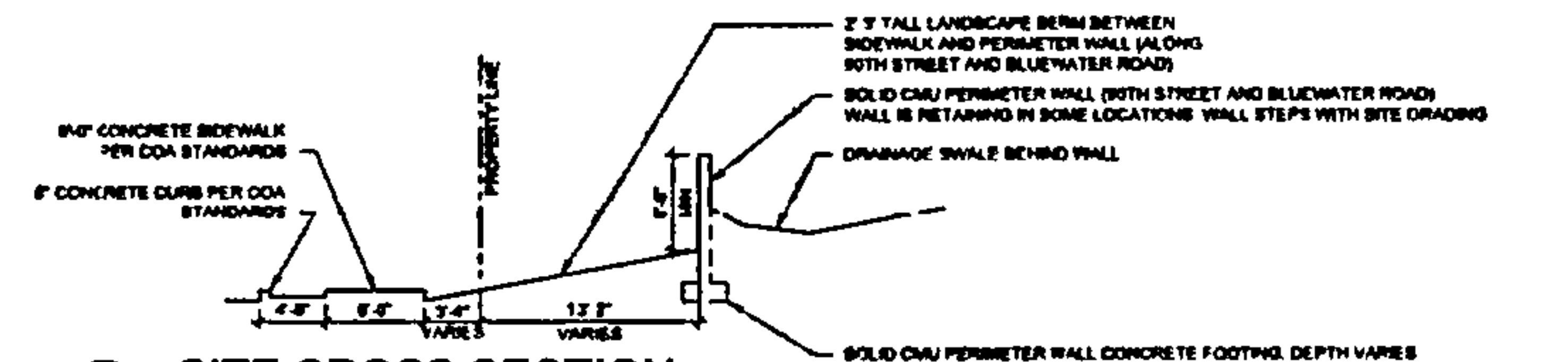
D1 LIGHT POLE
1/2" = 1'-0"



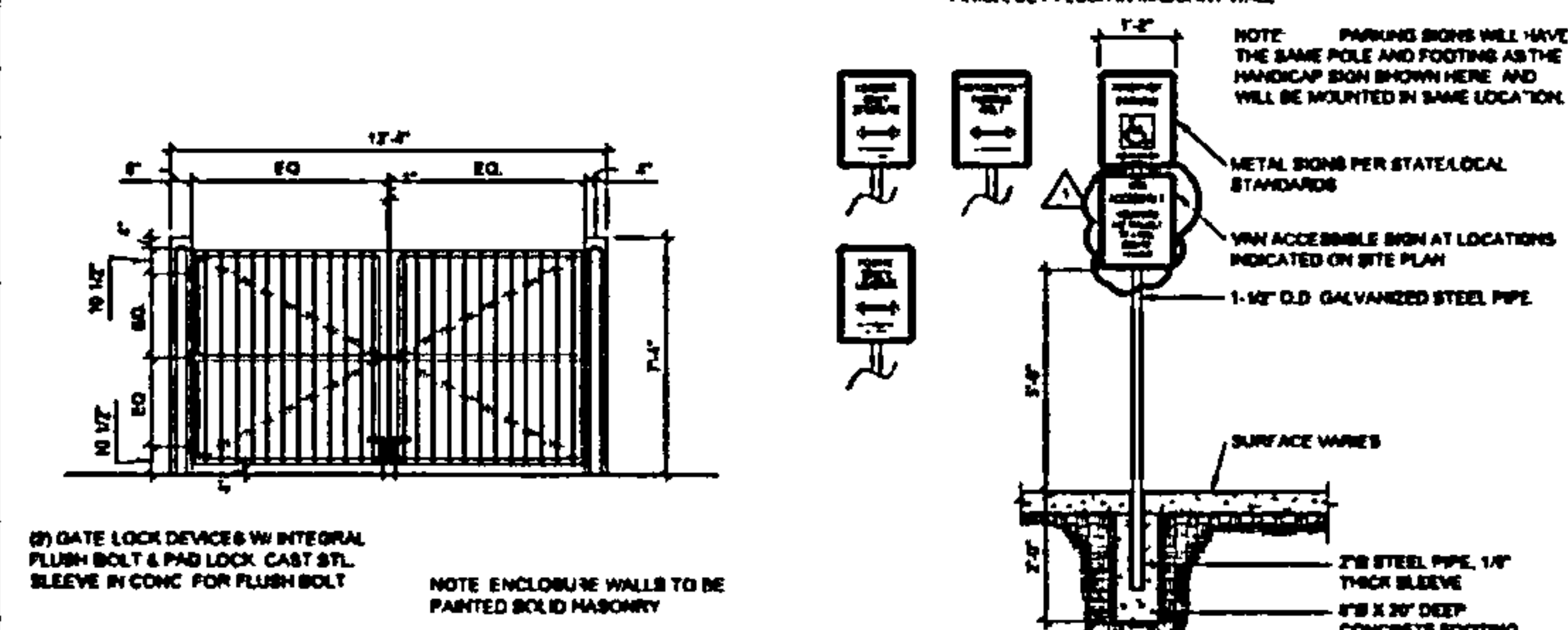
C3 TYP. PARKING DIMENSIONS
1/4" = 1'-0"



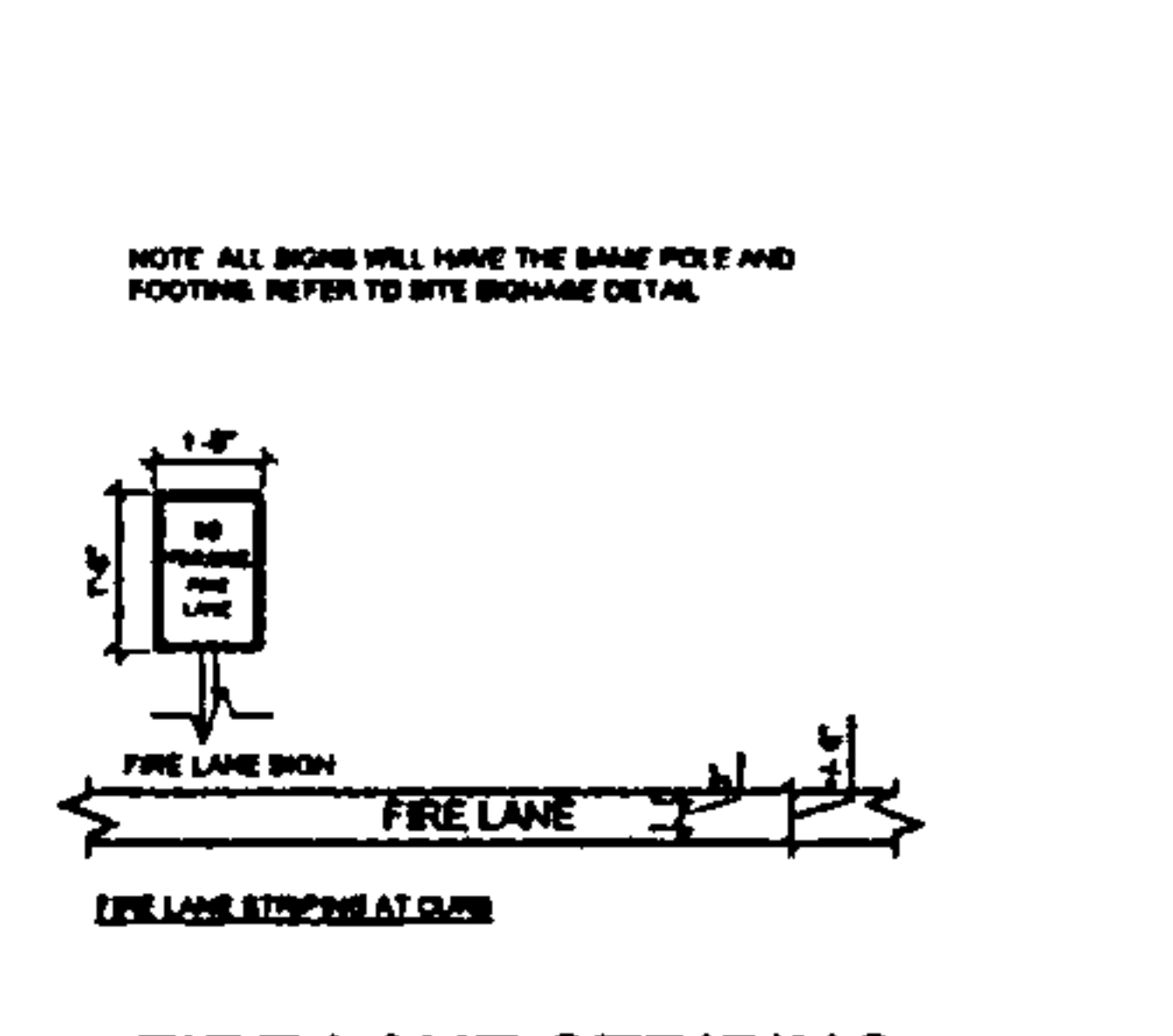
D1 MONUMENT SIGN
1/2" = 1'-0"



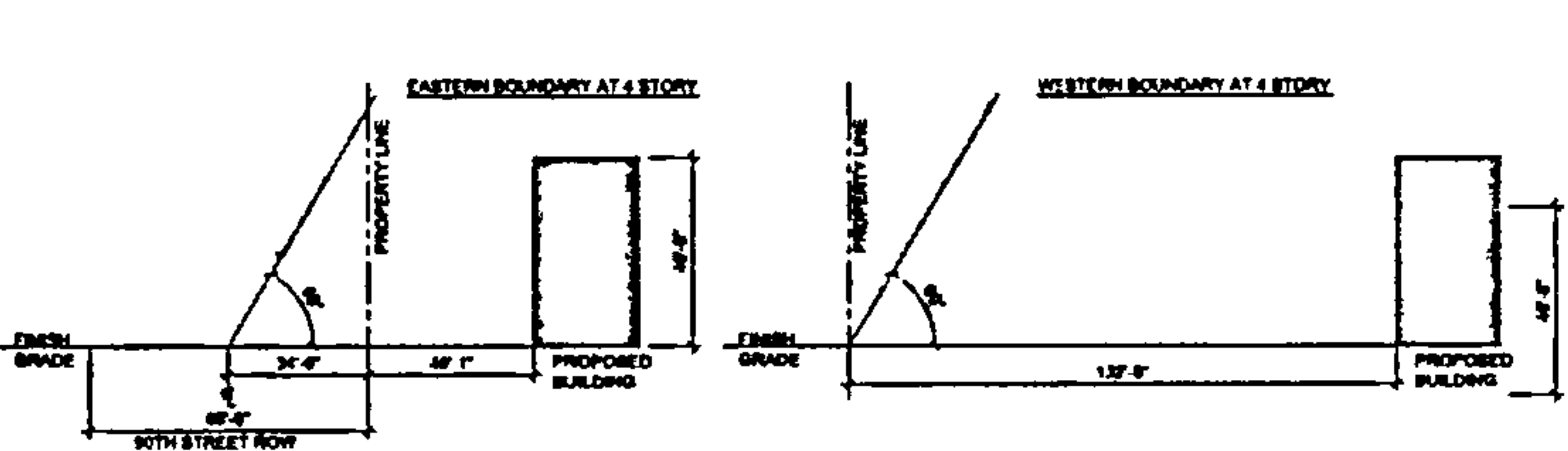
C4 SITE CROSS SECTION
1/4" = 1'-0"



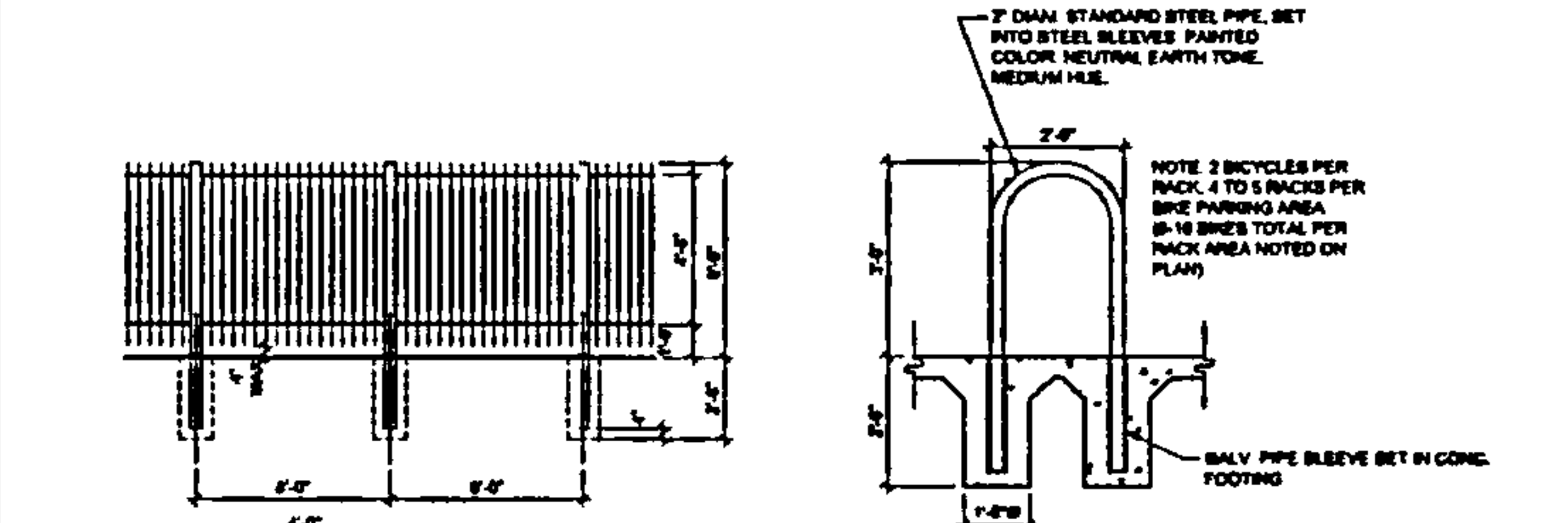
B1 GATE AT TRASH ENCLOSURE
1/4" = 1'-0"



B3 FIRE LANE STRIPING AND SIGNAGE
1/2" = 1'-0"

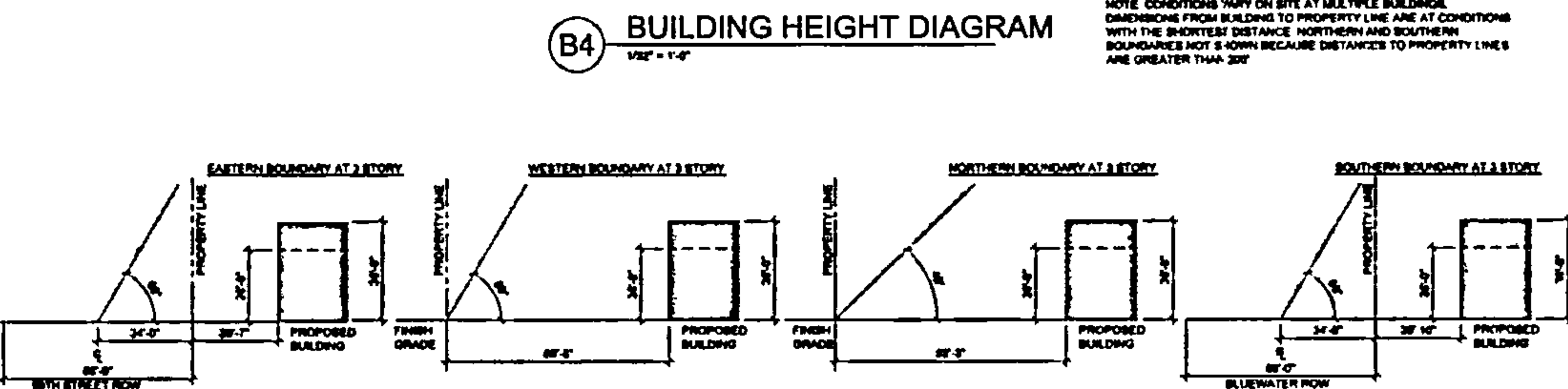


B4 BUILDING HEIGHT DIAGRAM
1/2" = 1'-0"



A1 STEEL PICKET FENCE
1/4" = 1'-0"

A2 BIKE RACK DETAIL
1/2" = 1'-0"



A3 BUILDING HEIGHT DIAGRAM
1/2" = 1'-0"

NOTE: CONDITIONS VARY ON SITE AT MULTIPLE BUILDINGS. DIMENSIONS FROM BUILDING TO PROPERTY LINE ARE AT CONDITIONS WITH THE SHORTEST DISTANCE. NORTHERN AND SOUTHERN BOUNDARIES NOT SHOWN BECAUSE DISTANCES TO PROPERTY LINE ARE GREATER THAN 20'

DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE ALBUQUERQUE NM 87117

505 761 9700 / DPS@SIGN1 ARCHITECT

ENGINEER

DRB SUBMITAL OCTOBER 13, 2015

PROJECT

VILLAGE AT AVALON APARTMENTS 30TH STREET & BLUEWATER ROAD SW ALBUQUERQUE, NM

REVISIONS
EPC CONDITION OF APPROVAL

DRAWN BY
REVIEWED BY
DATE 10/13/20
PROJECT NO. 15-00
DRAWING NAME PLANTING PLAN

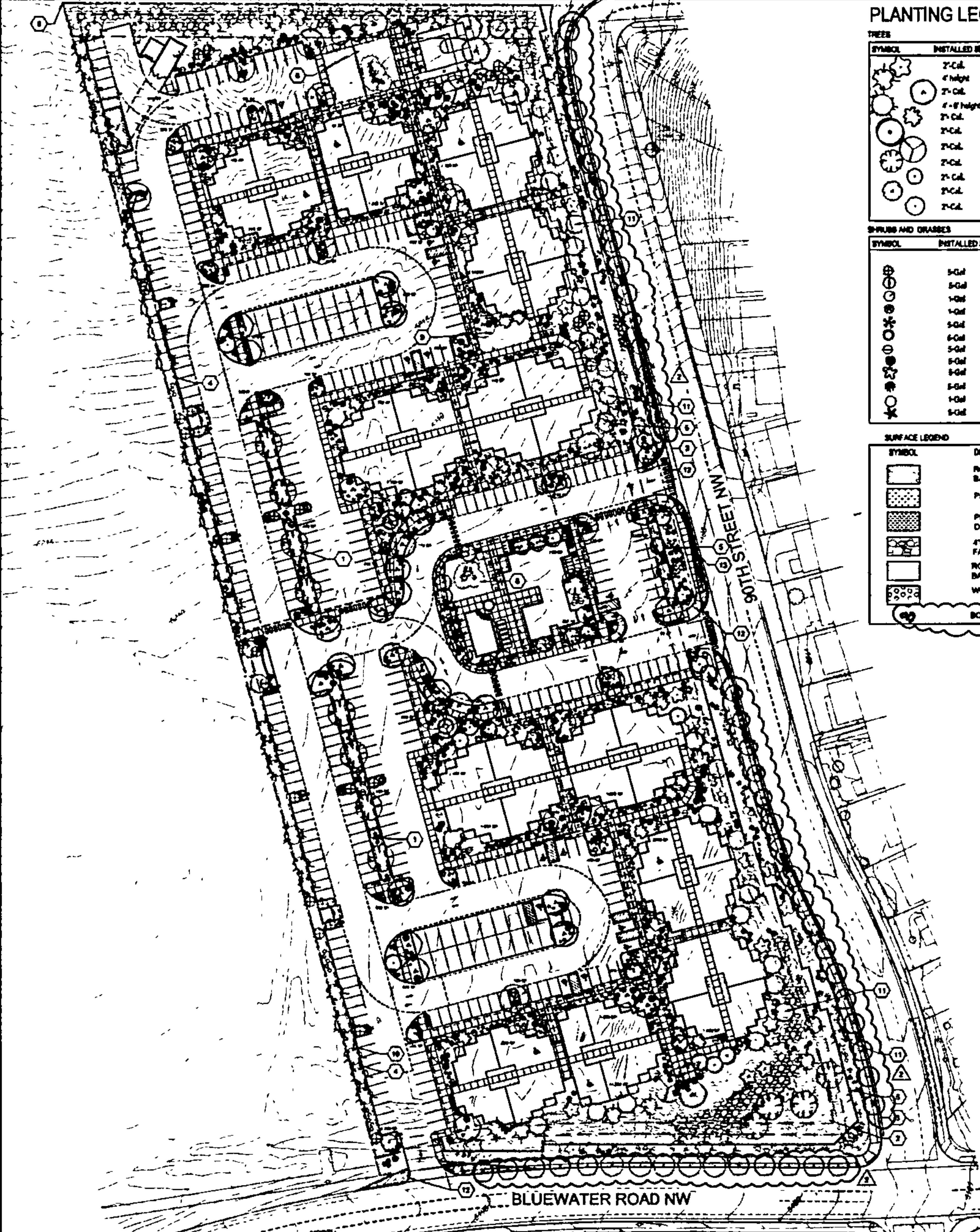
SHEET NO. SDP 2.1 3 OF 1

PLANTING LEGEND

Table with 5 columns: SYMBOL, INSTALLED SIZE, COMMON NAME, Botanical name, Water requirements. Lists various tree species like Desert Willow, One Seed Juniper, etc.

Table with 5 columns: SYMBOL, INSTALLED SIZE, COMMON NAME, Botanical name, Water requirements. Lists shrub and grass species like Alberta-Desert Holly, Dwarf Mountain Mahogany, etc.

Table with 2 columns: SYMBOL, DESCRIPTION. Lists surface materials like Rock Mulch 3" Depth, Park Blend Turf Grass, etc.



A1 PLANTING PLAN 1" = 80'-0"

GENERAL SHEET NOTES

- 1. RESPONSIBILITY FOR MAINTENANCE...
2. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE'S GENERAL LANDSCAPE REGULATIONS...
3. STREET TREE PLANTING...
4. TURF AREAS...
5. TIMING OF LANDSCAPE INSTALLATION...
6. SURFACE TREATMENT...
7. LANDSCAPING, FENCING AND SIGNING...
8. MINIMUM PLANT BEES ARE AS PER CITY OF ALBUQUERQUE STANDARDS...
9. ALL PLANT MATERIALS SHALL BE IRRIGATED BY Drip Emitters...
10. IRRIGATION POINT OF CONNECTION...
12. ALL VEGETATIVE SCREENS...
14. ALL VEGETATIVE SCREENS...

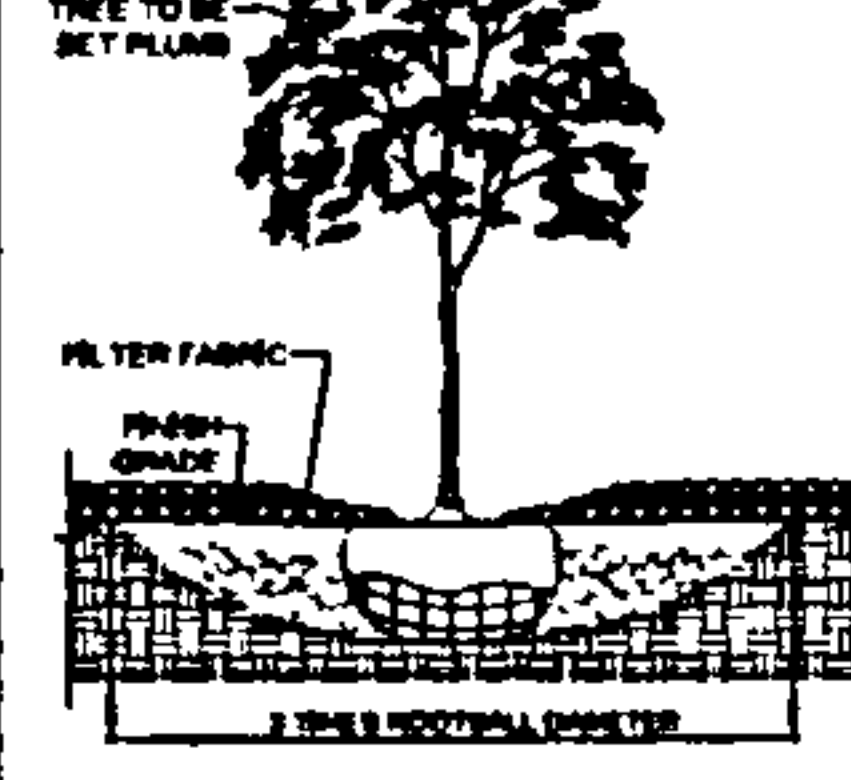
SHEET KEYED NOTES

- 1. WINTER HARVESTING SHALL BE IN PAVING LOT MEASUREMENTS...
2. STORM WATER PONDING AREA...
3. STREET TREES ALONG 30TH STREET...
4. LANDSCAPE LIGHTING...
5. CUI BLOCK WALL...
6. PLAYGROUND AREA AND EQUIPMENT...
7. HOV LINES...
8. PROPERTY LINE...
9. DOGS RUN WOOD CHIPS...
10. OVERHANGS PARKING AREA...
11. EVERGREEN TREES...
12. CLEAR SIGHT TRIANGLE...
13. NO STREET TREES FOR SIGNAGE VISIBILITY.

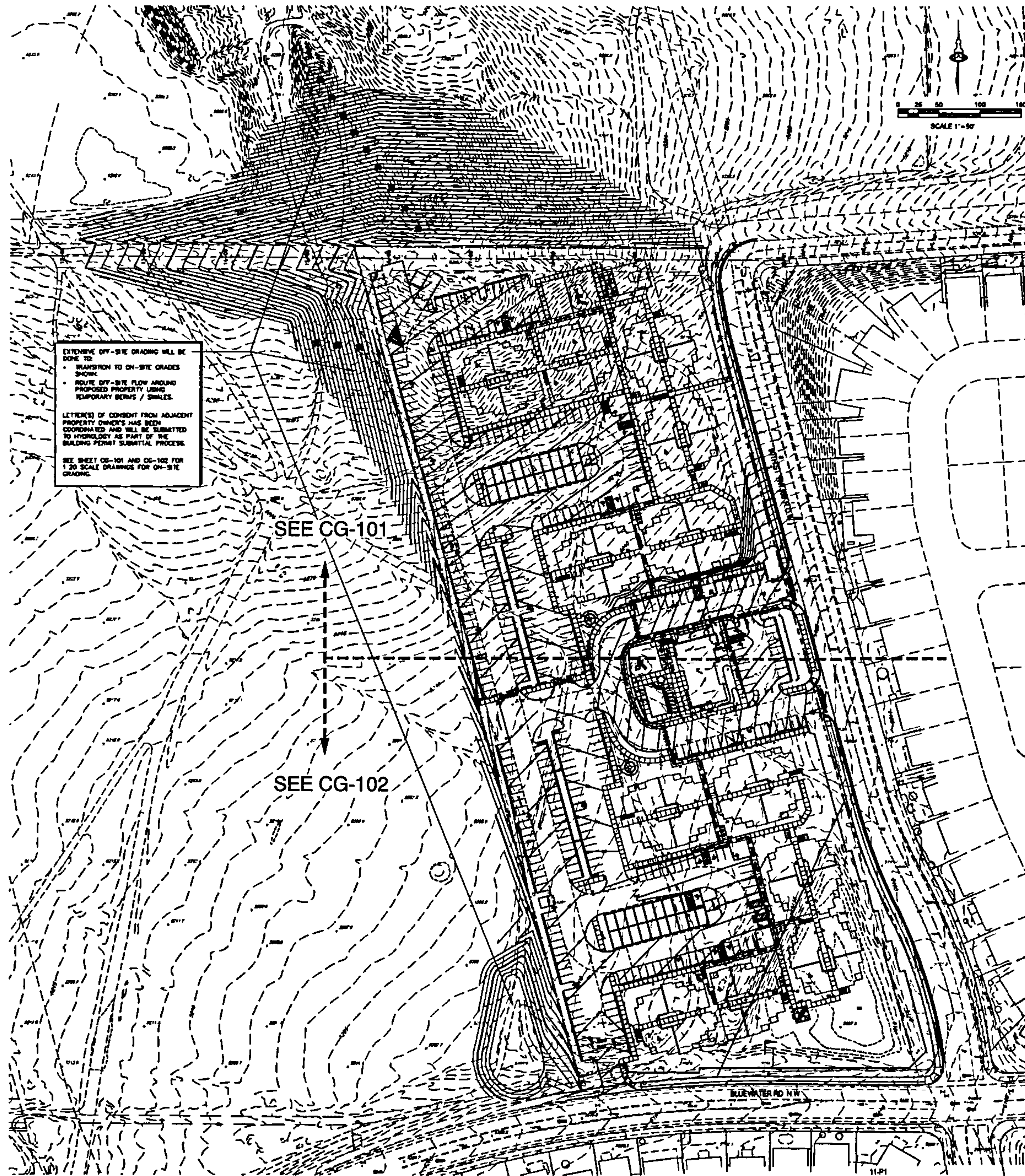
LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 6,320 AC @ 44,881 SF
AREA OF LOT COVERED BY BLM 30'00" = 94,000 SF
NET LOT AREA = 348,881 SF
REQUIRED LANDSCAPE AREA (1% OF NET LOT AREA) = 3,488 SF
PROVIDED LANDSCAPE AREA = 32,200 SF = 41%
PUBLIC PLAZA (8,000 SF)
DIVERSIFIED PARKING AREAS (2,800 SF)
LANDSCAPE WALKWAYS, HARDSCAPE GATHERING SPACES (8,000 SF)
HIGH WATER USE TURF GRASS @ 2,240 SF = 1.6% OF PROVIDED LANDSCAPE PLAY AREAS = 2,800 SF

NOTE:
1. PRIOR TO BACKFILLING ALL EXTERNAL SUCH AS CONTAINERS, HOLE, BURLAP AND ROPES SHALL BE REMOVED...
2. BOTTOMS OF TREE PIT'S TO BE COMPACTED TO PREVENT SETTLING



A5 TREE NTS



EXTENSIVE OFF-SITE GRADING WILL BE DONE TO:
 • TRANSFER TO ON-SITE GRADES SHOWN
 • ROUTE OFF-SITE FLOW AROUND PROPOSED PROPERTY USING TEMPORARY BERMS / SWALES
 LETTERS OF CONSENT FROM ADJACENT PROPERTY OWNERS HAS BEEN COORDINATED AND WILL BE SUBMITTED TO HYDROLOGY AS PART OF THE BUILDING PERMIT SUBMITTAL PROCESS
 SEE SHEET CG-101 AND CG-102 FOR 1:20 SCALE DRAININGS FOR ON-SITE GRADING.

DRAINAGE CONCEPT

PROPERTY: THE SITE IS AN UNDEVELOPED PROPERTY LOCATED WITHIN C.D.A. VICTORY MAP E-9. THE SITE IS BOUND TO THE EAST BY 80TH ST. N.W., TO THE SOUTH BY BLUEWATER ROAD N.W. AND TO THE NORTH AND WEST BY UNDEVELOPED PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APARTMENT COMPLEX WITH TWO GARAGE PARKING BUILDINGS, CLUBHOUSE, ASSOCIATED ASPHALT PAVED DRIVE, PARKING, PLAYGROUND, PEDESTRIAN WALKS AND LANDSCAPING.

PER THE APPROVED AMOLE-HUBBELL DRAINAGE MASTER PLAN UPDATE BY NELSON & CO. (2013 REPORT), THE PROPERTY IS LOCATED WITHIN DRAINAGE BASIN 202.2. THIS BASIN DISCHARGE IS RESTRICTED TO 2.5 CFS PER ACRE. A PERMANENT STORMWATER DETENTION POND(S).

THE PROPOSED ON-SITE PRIVATE STORM DRAIN SYSTEM WILL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT SUBMITTAL.

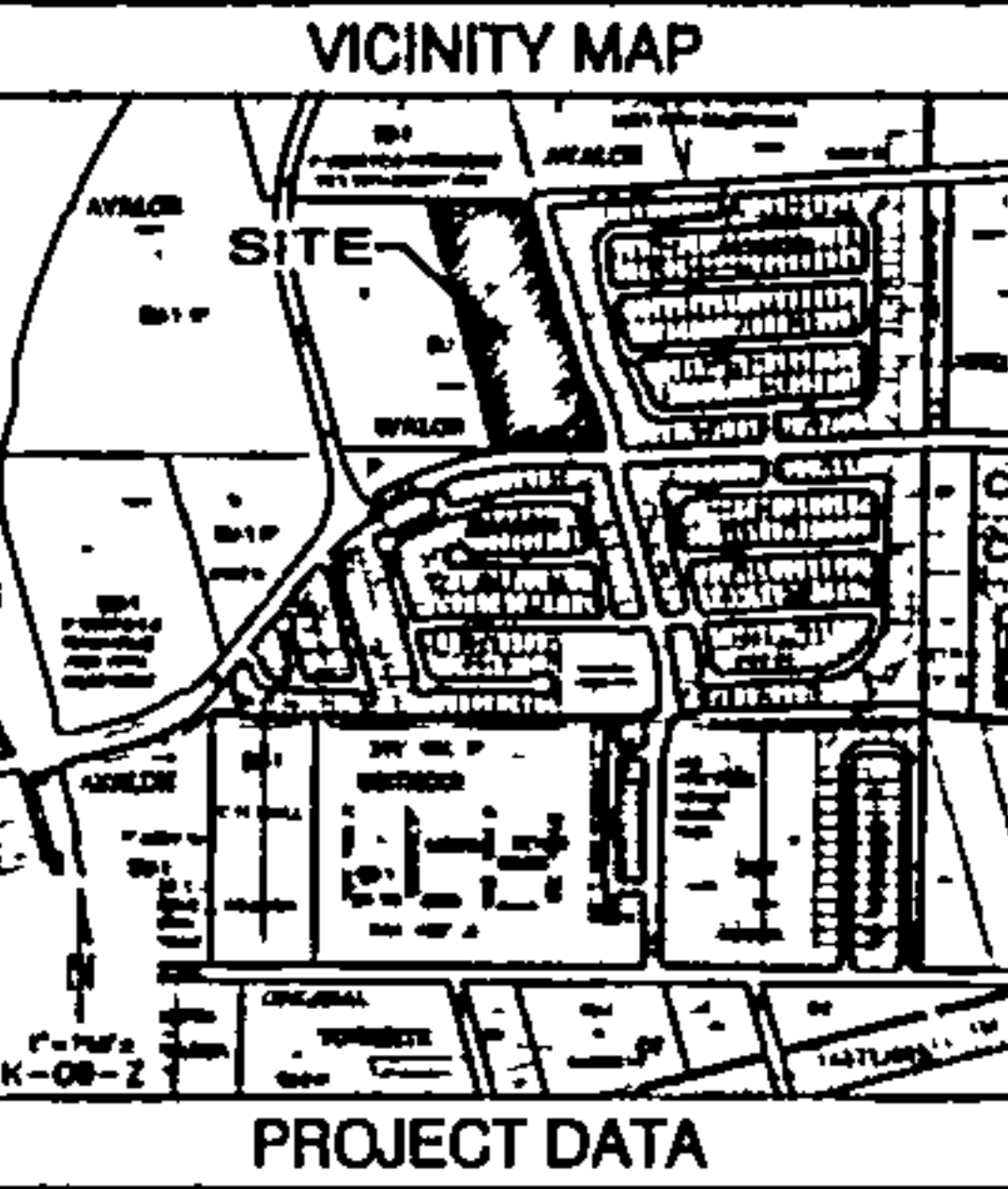
OFF-SITE FLOW FROM THE ADJACENT PROPERTIES TO THE NORTH AND WEST WILL BE ROUTED AROUND THE PROPERTY USING TEMPORARY BERMS AND SWALES. TEMPORARY SEPARMENT CONTROL PONDS WILL BE CONSTRUCTED AT THE NORTHEAST AND SOUTHWEST CORNERS OF THE PROPERTY.

RETAINING WALLS AND RETAINING STRUCTURES WILL BE REQUIRED THROUGHOUT THE DEVELOPMENT TO ACHIEVE THE NECESSARY GRADE TRANSITIONS BETWEEN BUILDINGS. RETAINING WALL DESIGN (WALL LOCATIONS, TOP OF WALL / BOTTOM OF WALL ELEVATIONS) WILL BE INCLUDED AS PART OF THE BUILDING PERMIT SUBMITTAL.

THIS SITE WILL DISCHARGE NO MORE THAN 2.5 CFS/ACRE TO THE ADJACENT STREETS WITH THE MAJORITY EXITING THE SITE AT THE EXISTING DISCHARGE POINT AND THE INTERSECTION OF 80TH ST AND BLUEWATER RD.

THE EXISTING PUBLIC STORM DRAIN SYSTEM WITHIN BLUEWATER ROAD INCLUDES AN EXISTING 30" STUB INTO THE PROPERTY.

ON-SITE PONDING WILL BE PROVIDED FOR 100% RETENTION OF THE REQUIRED FIRST FLUSH VOLUME AND DETENTION AS NEEDED TO LIMIT THE DISCHARGE TO THE ALLOWABLE RATE.



PROJECT DATA

LEGAL DESCRIPTION: TRACT 6, UPST. 8, AVALON SUBDIVISION, ALBUQUERQUE, NEW MEXICO

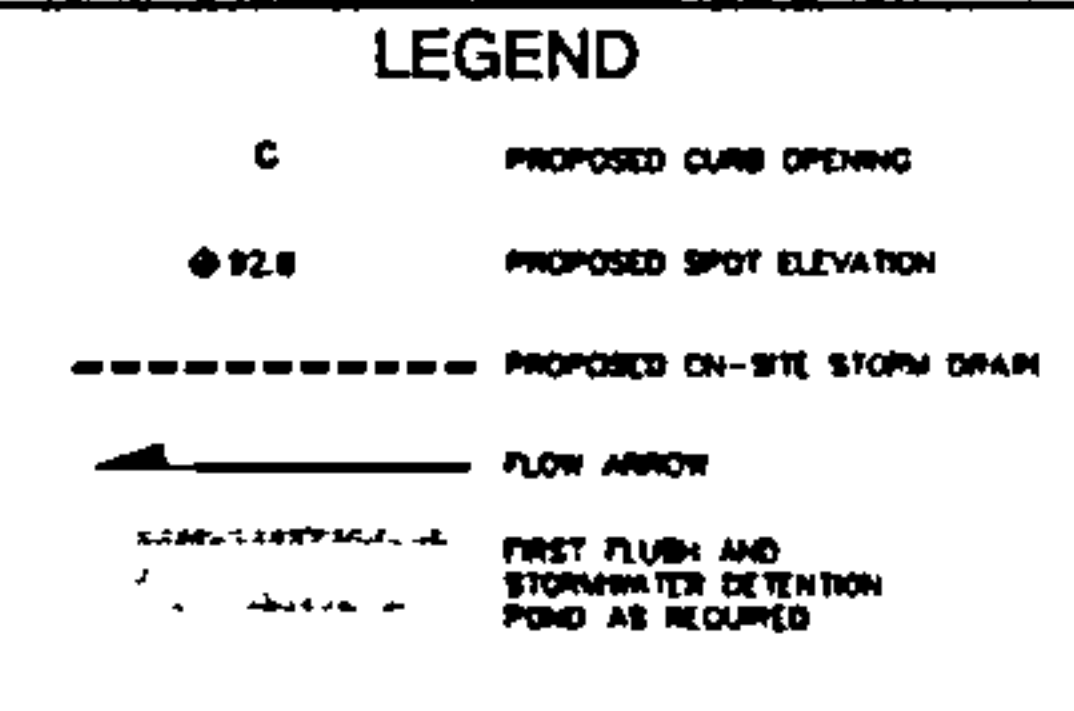
SITE AREA: 8.98 AC

FLOOD ZONE: PER BERNALILLO COUNTY FIRM MAP 33000203201, DATED AUGUST 14, 2012, THE SITE IS LOCATED WITHIN FLOODZONE 'F' (UNDESIGNED) DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN

ENGINEER: FRED C. ARFMAN
 ISAACSON & ARFMAN, P.A.
 179 MONROE ST. N.E., APO. NM 87109
 PHONE: (505) 258-8828

SURVEYOR: VLADIMIR JANK
 ALBUQUERQUE SURVEYING CO.
 2110 MONROE BLVD. N.E., APO. NM 87107
 PHONE: (505) 964-2036

BENCHMARK: CDA SURVEY MONUMENT 7.7K, A 3 1/4 INCH ALUMINUM DISC INVERTED TO A PIPE 0.2 FEET ABOVE GROUND, STAMPED 7-19-1987 ELEVATION = 5140.062 (NAVD 1988).



DRAINAGE CALCULATIONS

Calculations for 6.34 AC WITH UNDEVELOPED SURFACE

Area #	Area (Ac)	Runoff Coef. (C)	Runoff Rate (CFS/Ac)
Area 1	2.50	0.70	1.75
Area 2	3.84	0.75	2.88
Total Area	6.34	0.72	4.63

Runoff Volume of Basin: V₂₄ = 4.63 CFS

First Flush Requirement: Q₁₅ = 1.27 CFS

FIRST FLUSH REQUIREMENT

Area	Volume (cu ft)	Volume (cu yd)
Area 1	100	1.2
Area 2	150	1.8
Total	250	3.0

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF FIRST FLUSH DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" (9.64" LESS 9.1") FOR INITIAL ABSTRACTION OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM.

THE PONDING VOLUME REQUIRED IS 0.34" x 6.34 AC = 2157 CF (0.045 MG)

THERE ARE FIRST FLUSH RETENTION BASIN AREAS THROUGHOUT THE SITE (HATCHED PER LEGEND). STORMWATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE BASINS VIA CURB OPENINGS AND ON-SITE STORM DRAINS. FLOW IN EXCESS OF FIRST FLUSH POND CAPACITY WILL OVERFLOW TO ADJACENT STREETS TO CONTINUE ALONG EXISTING FLOWPATHS. INLETS THAT ARE PLACED IN FIRST FLUSH RETENTION BASINS SHALL BE RAISED AND HAVE THE TOP OF GRATE LOCATED AT THE FIRST FLUSH WATER SURFACE ELEVATION.

THE FIRST FLUSH BASIN VOLUMES SHALL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT SUBMITTAL. CURB OPENING LOCATIONS ARE SHOWN CONCEPTUALLY AND SHALL BE LOCATED AND SIZED WITH FINAL DESIGN.

THE CUMULATIVE AREA SHOWN HATCHED [REDACTED] FOR FIRST FLUSH PONDING IS APPROXIMATELY 30,000 SF SO THE AVERAGE DEPTH WILL BE 0'

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 123 Monroe Street N.E.
 Albuquerque, New Mexico 87106
 P.O. Box 246 8622 www.isaacson.com 505-258-8828

REGISTERED PROFESSIONAL ENGINEER / SURVEYOR

DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100
 ALBUQUERQUE, NM 87119
 505.761.9700 / DRDESIGN10@GMAIL.COM

DRB SUBMITTAL
 OCTOBER 13, 2015

VILLAGE AT AVALON APARTMENTS
 80TH STREET & BLUEWATER ROAD SW
 ALBUQUERQUE, NM

REVISIONS

DRAWN BY

CHECKED BY

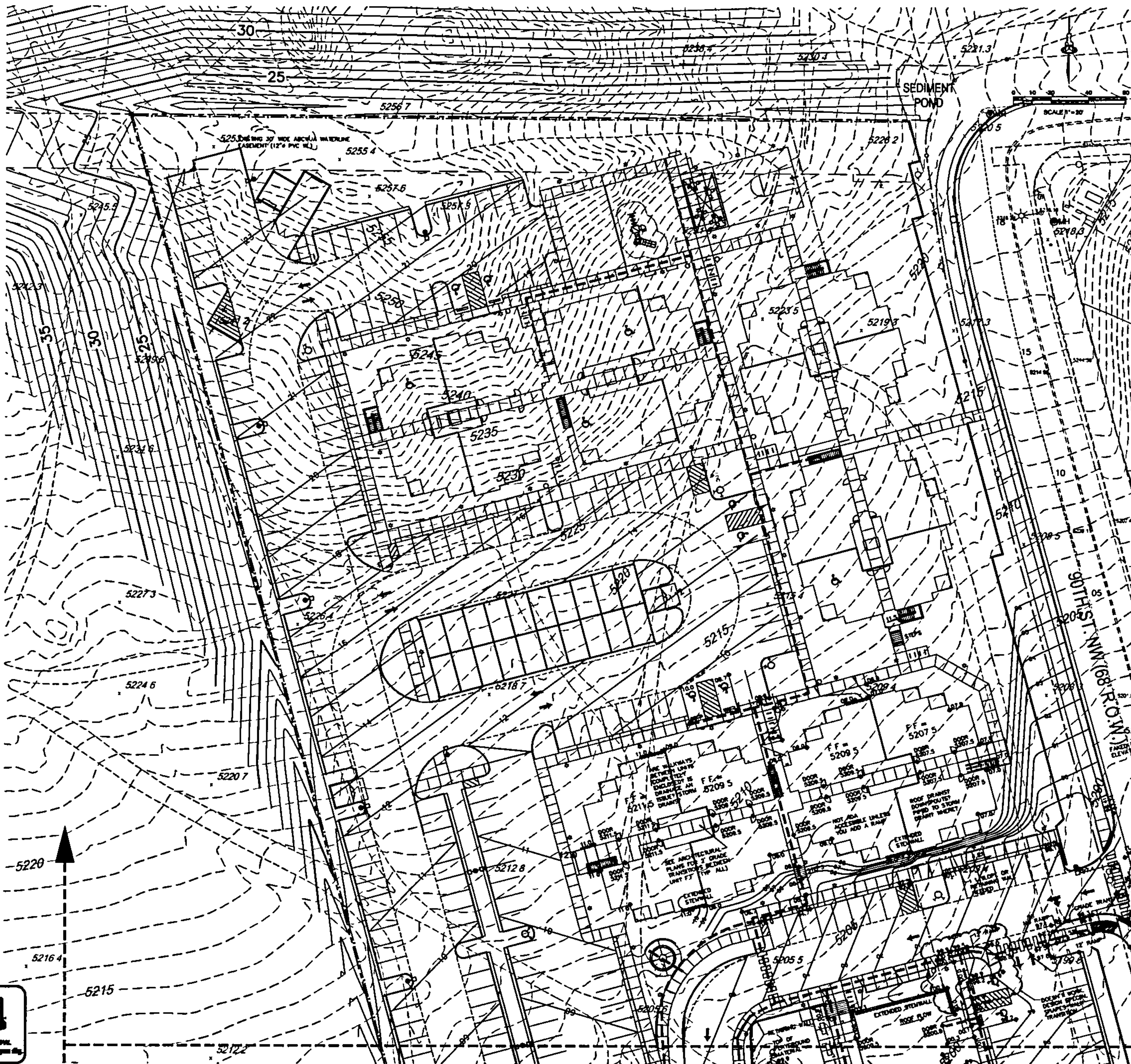
DATE: 10-13-2015

DRAWING NO: 15-8074

DRAWING NAME: OVERALL GRADING AND DRAINAGE PLAN

SHEET NO: SDP-3.1
 4 OF 13

PRODUCTION: 10/13/2015 10:58:11 AM / USER: [REDACTED] / JOB: 10/13/2015 / 10:00:18 AM



KEYED NOTES

PROPERTY: THE SITE IS AN UNDEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICTORY MAP K-8. THE SITE IS BOUND TO THE EAST BY 90TH ST. N.W. TO THE SOUTH BY BLUEWATER ROAD N.W. AND TO THE NORTH AND WEST BY UNDEVELOPED PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APARTMENT COMPLEX WITH TWO GARAGE PARKING BUILDINGS, CLUBHOUSE, ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PLAYGROUND, PEDESTRIAN WALKS AND LANDSCAPING.

PER THE APPROVED AMOLE-HUBBELL DRAINAGE MASTER PLAN UPDATE BY WILSON & CO. (2013 REPORT), THE PROPERTY IS LOCATED WITHIN DRAINAGE BASIN 202.2 THIS BASIN DISCHARGE IS RESTRICTED TO 2.5 CFS PER ACRE. A PERMANENT STORMWATER DETENTION POND(S).

THE PROPOSED ON-SITE PRIVATE STORM DRAIN SYSTEM WILL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL.

OFF-SITE FLOW FROM THE ADJACENT PROPERTIES TO THE NORTH AND WEST WILL BE ROUTED AROUND THE PROPERTY USING TEMPORARY BORDERS AND SHOALS. TEMPORARY SEDIMENT CONTROL PONDS WILL BE CONSTRUCTED AT THE NORTHEAST AND SOUTHWEST CORNERS OF THE PROPERTY.

RETAINING WALLS AND RETAINING STEPS WILL BE REQUIRED THROUGHOUT THE DEVELOPMENT TO ACHIEVE THE NECESSARY GRADE TRANSITIONS BETWEEN BUILDINGS. RETAINING WALL DESIGN (WALL LOCATIONS, TOP OF WALL / BOTTOM OF WALL ELEVATIONS) WILL BE INCLUDED AS PART OF THE BUILDING PERMIT SUBMITTAL.

THIS SITE WILL DISCHARGE NO MORE THAN 2.5 CFS/ACRE TO THE ADJACENT STREETS WITH THE MAJORITY EXITING THE SITE AT THE HISTORIC DISCHARGE POINT AND THE INTERSECTION OF 90TH ST AND BLUEWATER RD.

THE EXISTING PUBLIC STORM DRAIN SYSTEM WITHIN BLUEWATER ROAD INCLUDES AN EXISTING 30" STUB IN TO THE PROPERTY.

ON-SITE PONDING WILL BE PROVIDED FOR 100% RETENTION OF THE REQUIRED FIRST FLUSH VOLUME AND DETENTION AS NEEDED TO LIMIT THE DISCHARGE TO THE ALLOWABLE RATE.

ARCHITECTURE / DESIGN / IMPROVEMENT

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON BL, SUITE 100
ALBUQUERQUE, NM 87109
505.741.9700 / DPSDESIGN.ORG



ENVELOPE
**DRB
SUBMITAL**
OCTOBER 13, 2015

PROJECT
VILLAGE AT AVALON APARTMENTS
90TH STREET & BLUEWATER ROAD SW
ALBUQUERQUE, NM

REVISIONS
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△
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DRAWN BY
REVIEWED BY
DATE 10-13-2015
PROJECT NO 15-0074
DRAWING NAME

**GRADING AND
DRAINAGE PLAN**
1 OF 2

SHEET NO
SDP-3.2
5 OF 13



DATE PLOTTED: 10/13/2015 11:00:00 AM

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OCTOBER 13, 2015

PROJECT
VILLAGE AT AVALON APARTMENTS
90TH STREET & BLUEWATER ROAD SW
ALBUQUERQUE, NM

REVISIONS	
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DRAWN BY	
REVIEWED BY	
DATE	10-13-2015
PROJECT NO.	15-0074
DRAWING NAME	

GRADING AND
DRAINAGE PLAN
2 OF 2



SHEET NO.
SDP-3.3
7 OF 13

APP'D: [Signature] 10/13/15 10:15 AM



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PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505 761 9700 / DPSDESIGN.ORG
ARCHITECT

ENGINEER

**DRB
SUBMITTAL**
10/13/2015

PROJECT

VILLAGE AT AVALON APARTMENTS
90TH STREET & BLUEWATER ROAD SW
ALBUQUERQUE, NM

REVISIONS

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DRAWN BY

REVIEWED BY

DATE 7/30/2015

PROJECT NO. 15-0074

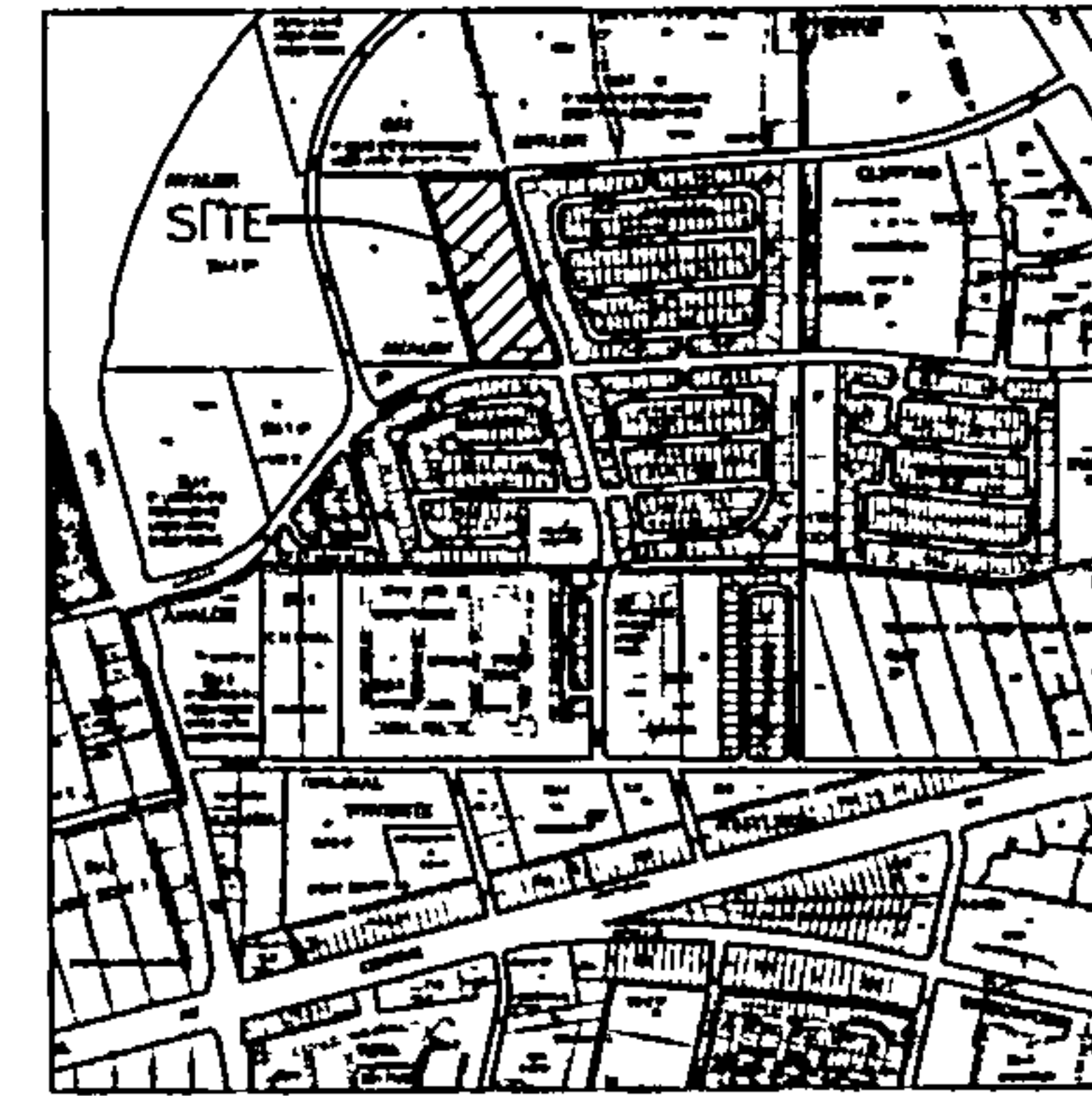
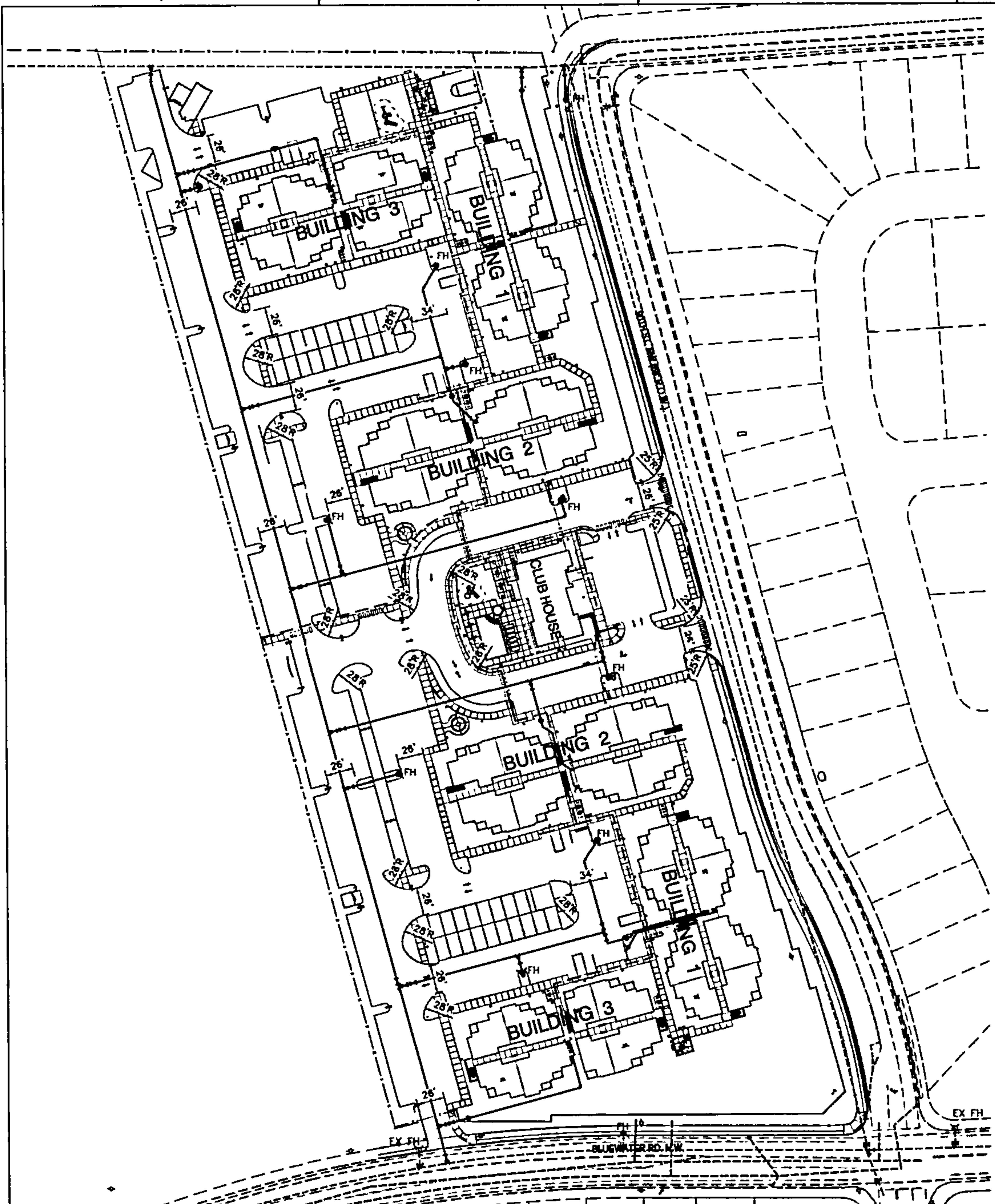
DRAWING NAME

**FIRE HYDRANT
LOCATION AND
ACCESS PLAN &
CONCEPTUAL
UTILITY PLAN**

SHEET NO.

SDP-4.1

8 OF 13



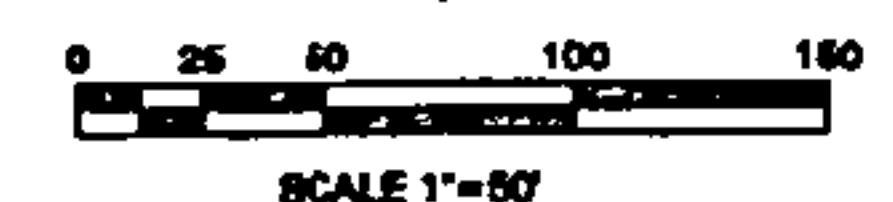
VICINITY MAP K-9

APARTMENT BUILDINGS = 6
CLUB HOUSE = 1

TYPE V-A CONSTRUCTION
SPRINKLERED

BUILDING 1 = 30,537 SF (4718 GPM)
 BUILDING 2 = 45,956 SF (5788 GPM)
 BUILDING 3 = 28,857 SF (4532 GPM)

HYDRANT AND FIRE ACCESS
 ALBUQUERQUE FIRE MARSHAL'S OFFICE
 PLANS CHECKING DIVISION
 807 250-2200 - COMPLIANCE TYPE 200
 and PERMITS DIVISION OF INSPECTION
 APPROVED / DISAPPROVED



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Menace Street N.E.
 Albuquerque, New Mexico 87108
 Ph 505-264-0628 www.isaarf.com
 3024 PH LSC-ACR108.dwg 04/13/2015

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SABATINI**

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ALBUQUERQUE, NM 87111

506.761.9700 / DPSDESIGN 01

ARCHITECT

ENGINEER

**DRB
SUBMITAL**
OCTOBER 13, 2015

PROJECT

VILLAGE AT AVALON APARTMENTS
5TH STREET & BLUEWATER ROAD SW
ALBUQUERQUE, NM

REVISIONS
 ▲ EPC EDITION OF APPROVAL
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DRAWN BY
 REVIEWED BY
 DATE 10/13/2015
 PROJECT NO 15-007
 DRAWING NAME

BUILDING TYPE I
 ELEVATIONS

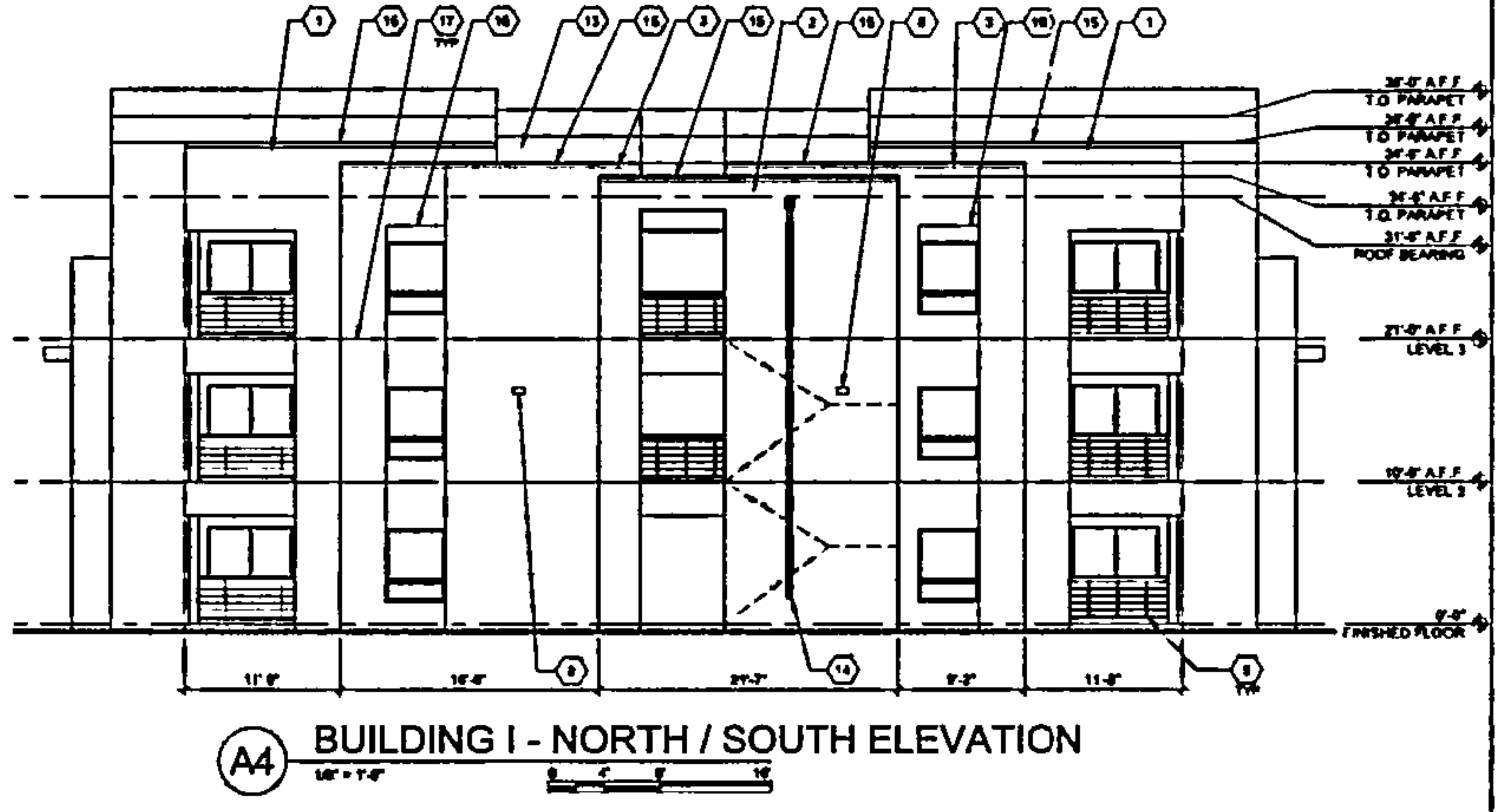
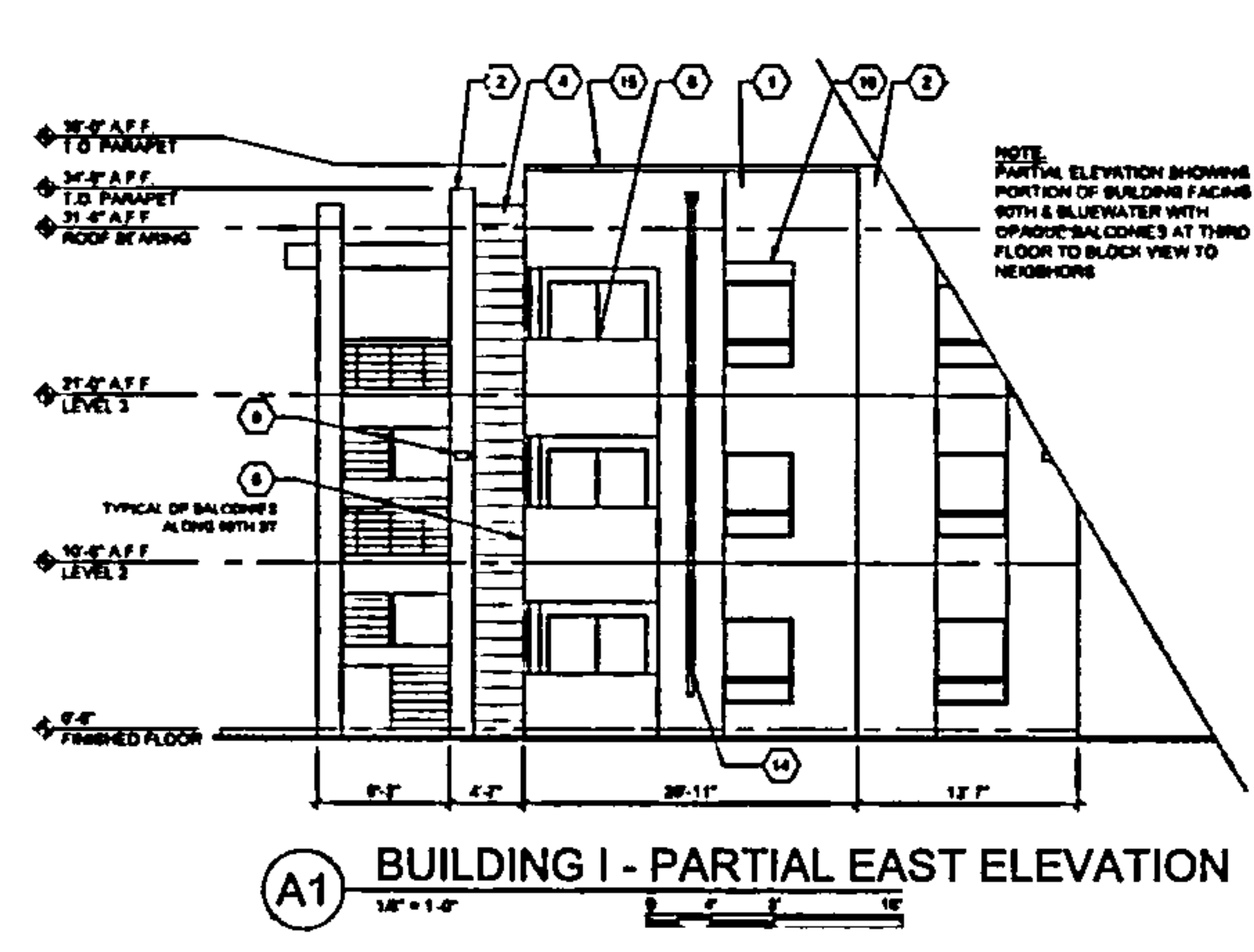
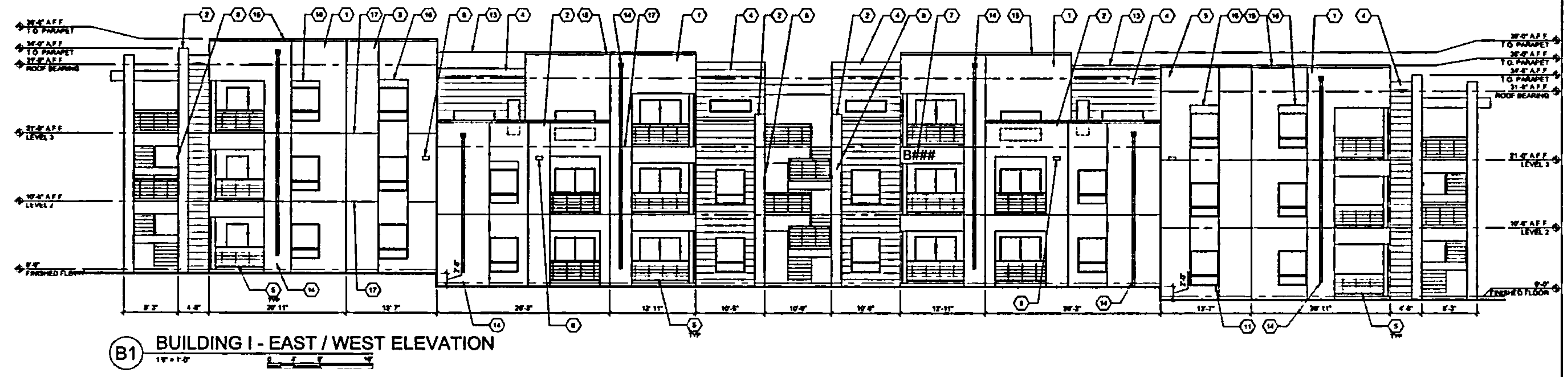
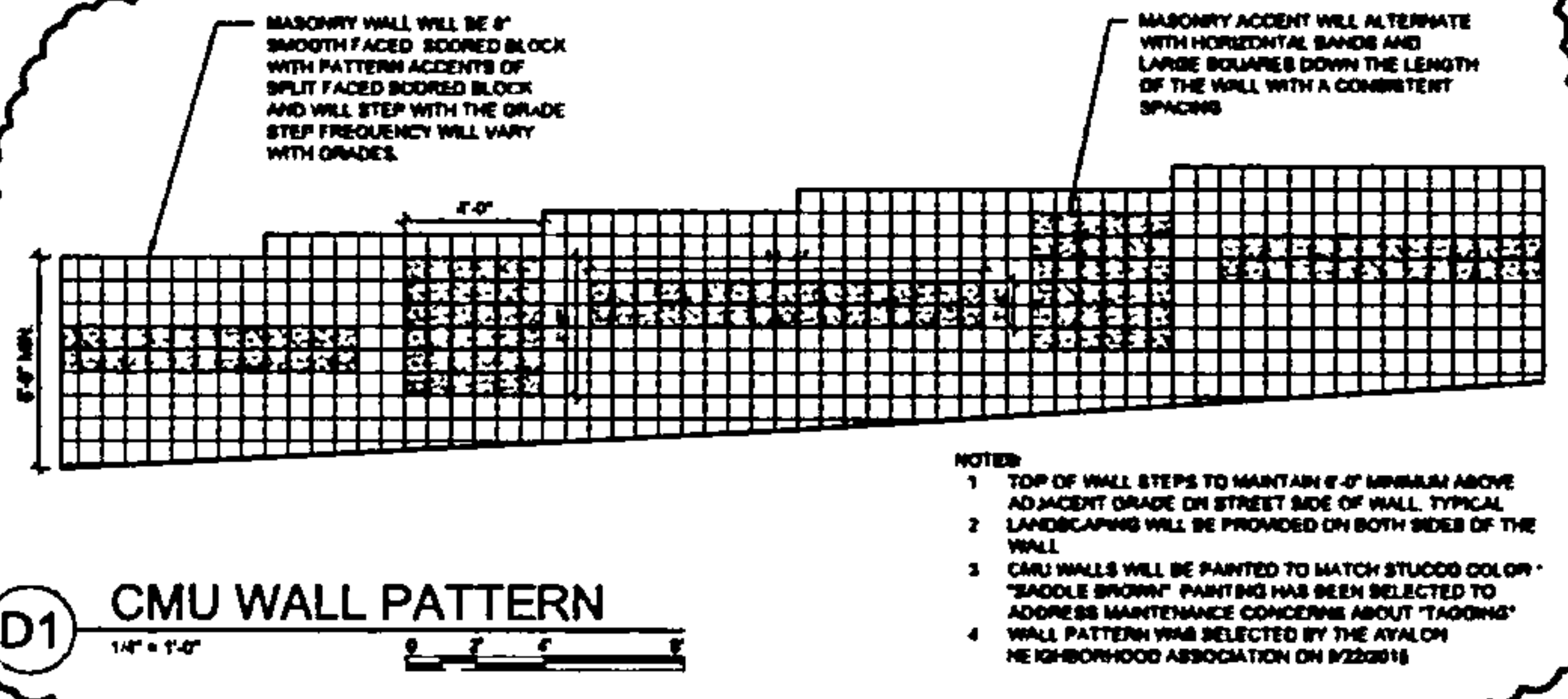
SHEET NO
SDP-5.1
 9 OF 12

GENERAL NOTES

STUCCO COLORS INDICATED ARE AS APPROVED BY THE AVALON NEIGHBORHOOD ASSOCIATION ON 9/11/2015

KEYNOTES

- 1 STUCCO COLOR 4, CREAM, BASED ON DUNN EDWARDS "IVORY OATS"
- 2 STUCCO COLOR 3, TAN, BASED ON DUNN EDWARDS "CROSSROADS"
- 3 STUCCO COLOR 2, GOLD BROWN, BASED ON DUNN EDWARDS "ROOT BEER FLOAT"
- 4 STUCCO COLOR 1, RUST BROWN, BASED ON DUNN EDWARDS "SADDLE BROWN"
- 5 PAINTED TUBE STEEL RAILING, NEUTRAL COLOR
- 6 SOLID STUCCO WALL AT BALCONIES ON EAST ELEVATIONS TO ADDRESS NEIGHBORHOOD PRIVACY CONCERNS
- 7 BUILDING NUMBER - SIZE AND PLACEMENT TO MEET CURRENT FIRE DEPARTMENT REQUIREMENTS LIT FROM DUSK THRU DAWN
- 8 EXTERIOR LIGHTING W/ PHOTO SENSOR TO MAINTAIN FROM DUSK THRU DAWN PER MFA REQUIREMENTS
- 9 GLAZED SLIDING DOOR
- 10 HOLLOW METAL DOOR
- 11 WINDOW
- 12 HIGH WINDOW
- 13 ROOF OVER LIGHT WELLS
- 14 METAL DOWNSPOUT, PREFINISHED GALVALUME
- 15 METAL COPING, PREFINISHED GALVALUME
- 16 OPTIONAL METAL SUNSHADE, PREFINISHED GALVALUME
- 17 STUCCO CONTROL JOINT



GENERAL NOTES

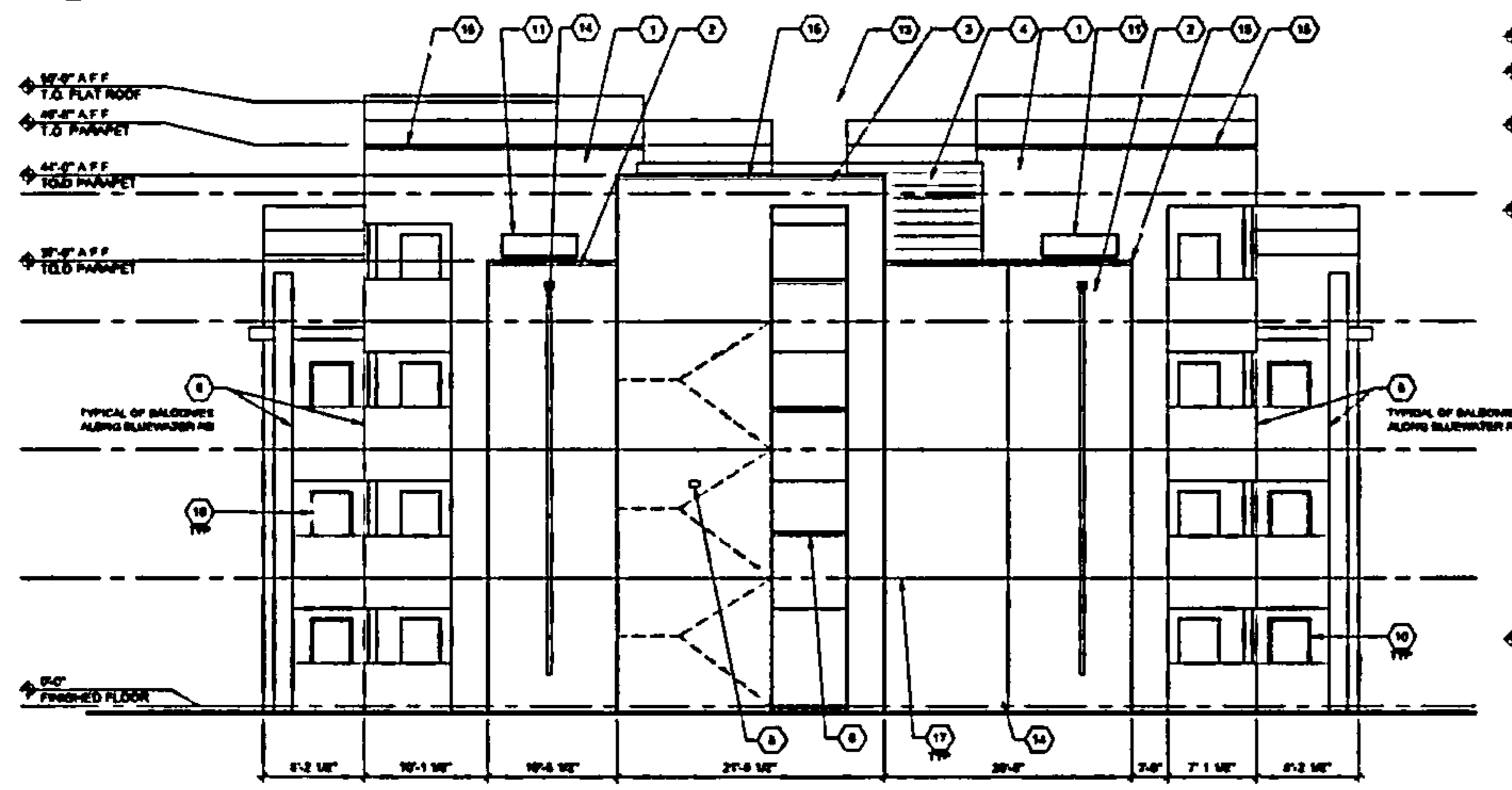
STUCCO COLORS INDICATED ARE AS APPROVED BY THE AVALON NEIGHBORHOOD ASSOCIATION ON 8/1/2015

- KEYNOTES**
- 1 STUCCO COLOR 4 CREAM, BASED ON DUNN EDWARDS "IVORY OATS" AS APPROVED BY NEIGHBORHOOD ASSOC
 - 2 STUCCO COLOR 3 TAN, BASED ON DUNN EDWARDS "CROSSROADS"
 - 3 STUCCO COLOR 2 GOLD BROWN, BASED ON DUNN EDWARDS "ROOT BEER FLOAT"
 - 4 STUCCO COLOR 1, RUST BROWN, BASED ON DUNN EDWARDS "SADDLE BROWN"
 - 5 PAINTED TUBE STEEL RAILING, NEUTRAL COLOR
 - 6 SOLID STUCCO WALL AT BALCONIES ON EAST ELEVATIONS TO ADDRESS NEIGHBORHOOD PRIVACY CONCERNS
 - 7 BUILDING NUMBER - SIZE AND PLACEMENT TO MEET CURRENT FIRE DEPARTMENT REQUIREMENTS. LIT FROM DUSK THRU DAWN

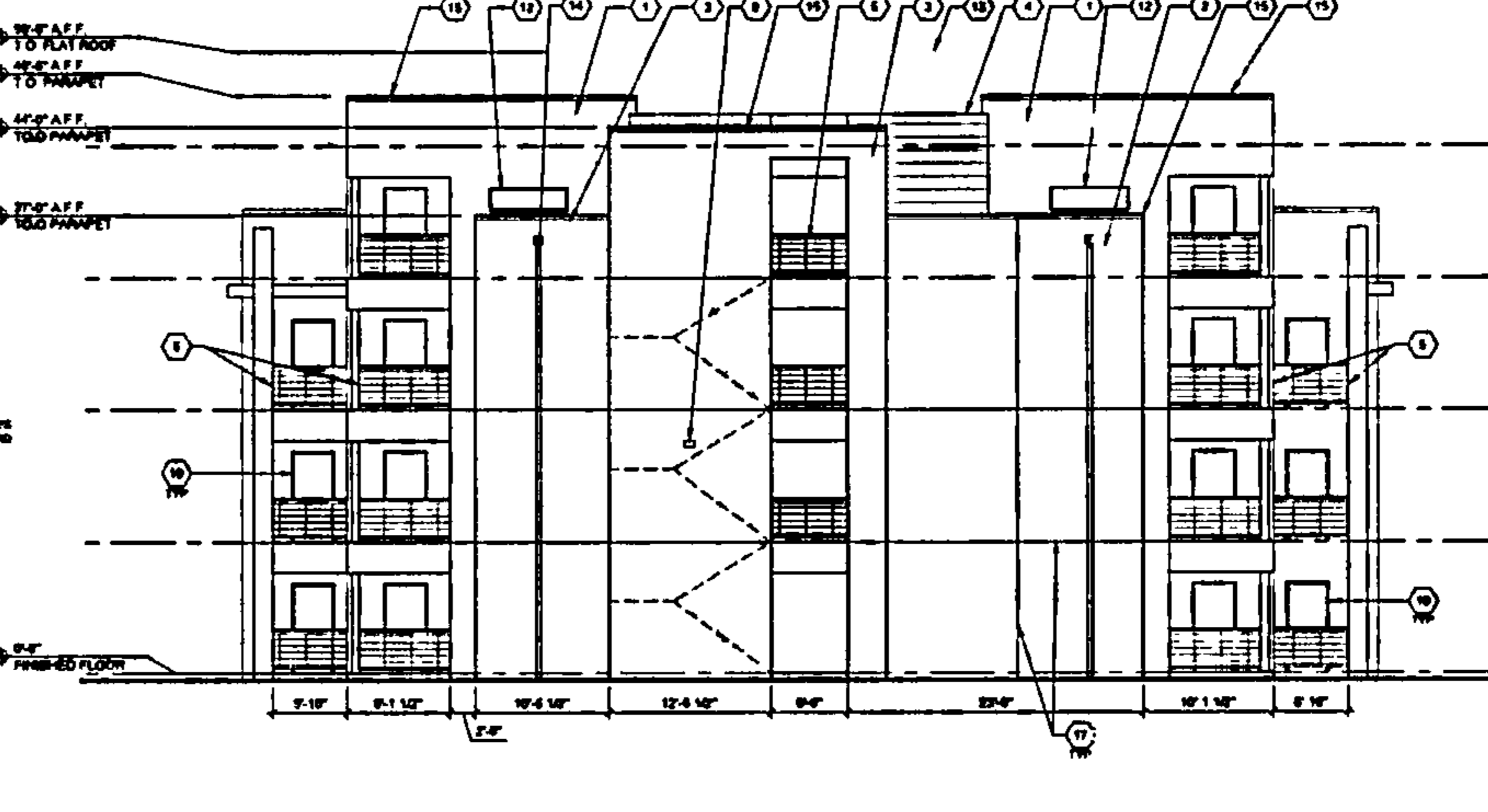
- 8 EXTERIOR LIGHTING W/ PHOTO SENSOR TO MAINTAIN FROM DUSK THRU DAWN PER MFA REQUIREMENTS
- 9 GLAZED SLIDING DOOR
- 10 HOLLOW METAL DOOR
- 11 WINDOW
- 12 HIGH WINDOW
- 13 ROOF OVER LIGHT WELLS
- 14 METAL DOWNSPOUT, PREFINISHED GALVALUME
- 15 METAL COPING, PREFINISHED GALVALUME
- 16 OPTIONAL METAL SUNSHADE, PREFINISHED GALVALUME
- 17 STUCCO CONTROL JOINT



B1 BUILDING II - NORTH / SOUTH
 30' = 1" = 18'



A1 BUILDING II - EAST
 30' = 1" = 18'

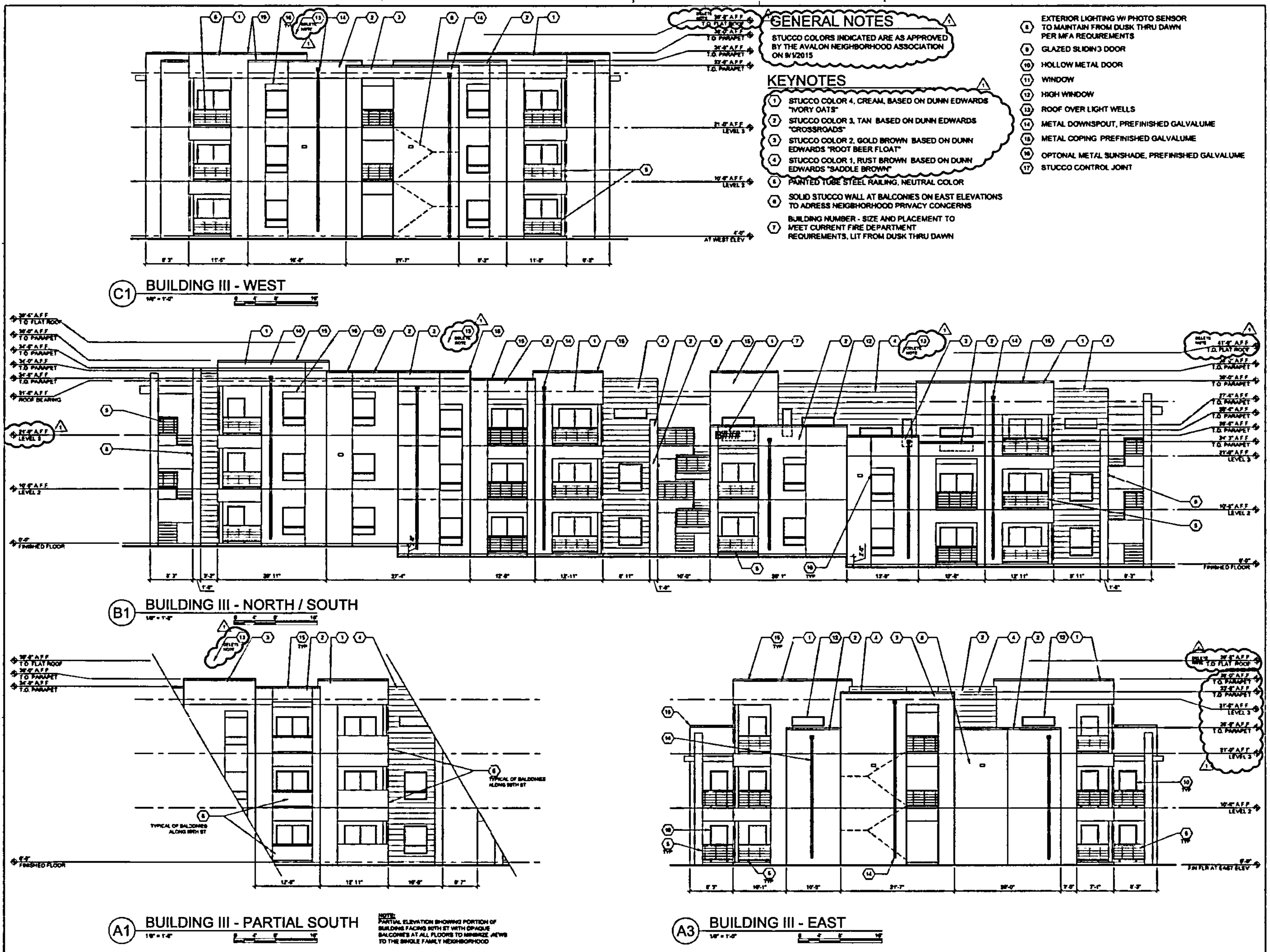


A4 BUILDING II - WEST
 30' = 1" = 18'

REVISIONS

△	EPC CONDITION OF APPROVAL
△	
△	
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DRAWN BY: WWM, MJH, ZJ
REVIEWED BY:
DATE: 10/13/2015
PROJECT NO: 15-007
DRAWING NAME: BUILDING TYPE III ELEVATIONS



GENERAL NOTES

STUCCO COLORS INDICATED ARE AS APPROVED BY THE AVALON NEIGHBORHOOD ASSOCIATION ON 9/11/2015

KEYNOTES

- ① ST. JCCO COLOR 4, CREAM, BASED ON DUNN EDWARDS "IVORY OATS" AS APPROVED BY NEIGHBORHOOD ASSOC
- ② ST. JCCO COLOR 3, TAN, BASED ON DUNN EDWARDS "CROSSROADS"
- ③ ST. JCCO COLOR 2, GOLD BROWN, BASED ON DUNN EDWARDS "ROOT BEER FLOAT"
- ④ ST. JCCO COLOR 1, RUST BROWN, BASED ON DUNN EDWARDS "SADDLE BROWN"
- ⑤ PAINTED TUBE STEEL RAILING, NEUTRAL COLOR
- ⑥ SOLID STUCCO WALL AT BALCONIES ON EAST ELEVATIONS TO ADDRESS NEIGHBORHOOD PRIVACY CONCERNS
- ⑦ BUILDING NUMBER - SIZE AND PLACEMENT TO MEET CURRENT FIRE DEPARTMENT REQUIREMENTS LIT FROM DUSK THRU DAWN
- ⑧ EXTERIOR LIGHTING W/ PHOTO SENSOR TO MAINTAIN FROM DUSK THRU DAWN PER MFA REQUIREMENTS
- ⑨ GLAZED ENTRY DOOR
- ⑩ HOLLOW META. DOOR
- ⑪ WINDOW
- ⑫ HIGH WINDOW
- ⑬ METAL FASCIA, PREFINISHED GALVALUME
- ⑭ METAL DOWNSPOUT, PREFINISHED GALVALUME
- ⑮ METAL COPING, PREFINISHED GALVALUME
- ⑯ OPTIONAL METAL SUNSHADE, PREFINISHED GALVALUME
- ⑰ STUCCO CONTROL JOINT

**DEKKER
PERICH
SABATINI**

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ALBUQUERQUE, NM 87111
506 761.9700 / DPSDESIGN.COM
ARCHITECT

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SUBMITAL
OCTOBER 13, 2015

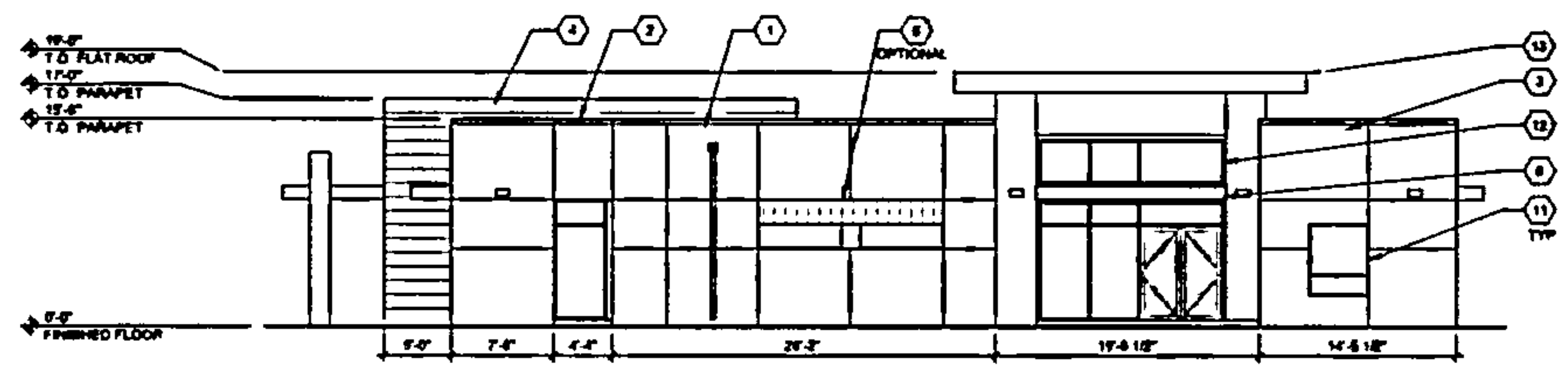
PROJECT

VILLAGE AT AVALON APARTMENTS
11 STREET & BLUEWATER ROAD SW
ALBUQUERQUE, NM

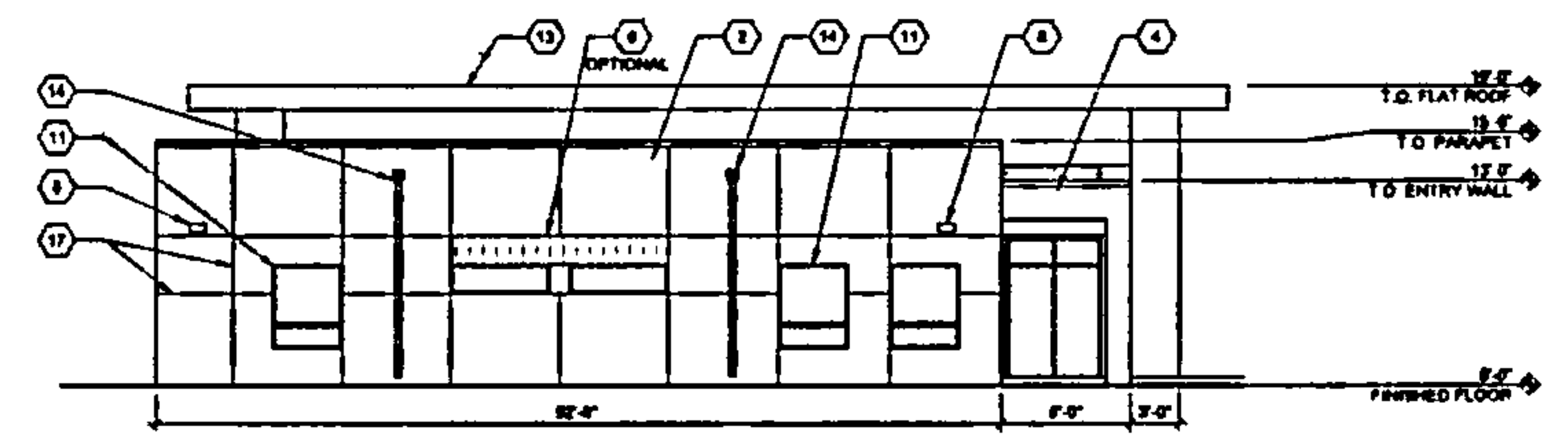
REVISIONS
 ▲ EPC CONDITION OF APPROVAL
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DRAWN BY WWM MJH ZI
 REVIEWED BY
 DATE 10/13/2015
 PROJECT NO 15-007
 DRAWING NAME
 COMMUNITY CENT ELEVATIONS

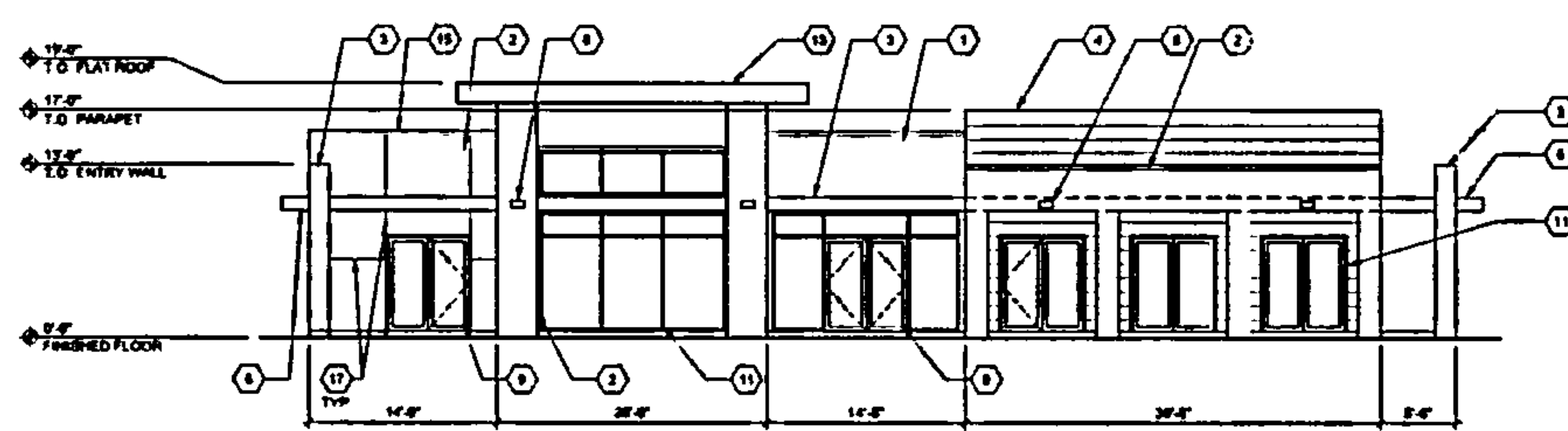
SHEET NO
SDP-5.4
 12 OF 1



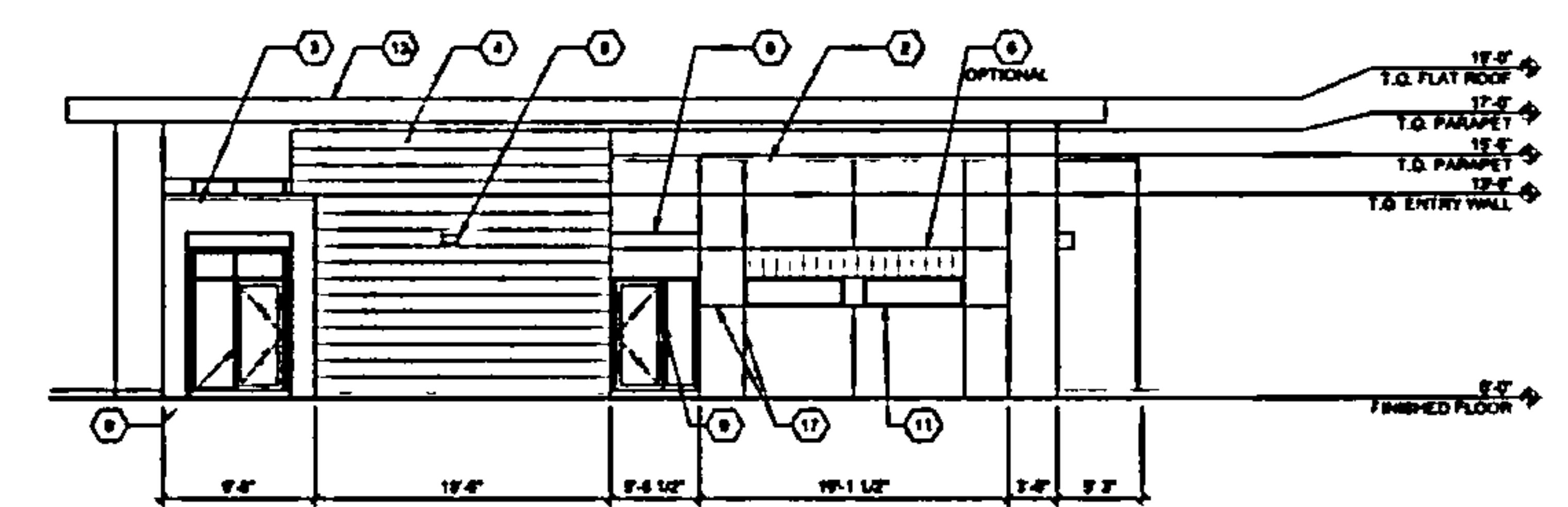
B1
EAST BUILDING ELEVATION
COMMUNITY CENTER
1/8" = 1'-0"



B3
NORTH BUILDING ELEVATION
COMMUNITY CENTER
1/8" = 1'-0"



A1
WEST BUILDING ELEVATION
COMMUNITY CENTER
1/8" = 1'-0"



A3
SOUTH BUILDING ELEVATION
COMMUNITY CENTER
1/8" = 1'-0"

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ALBUQUERQUE, NM 87111
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ARCHITECT

ENGINEER

EPC
SUBMITAL
JULY 30, 2015

PROJECT

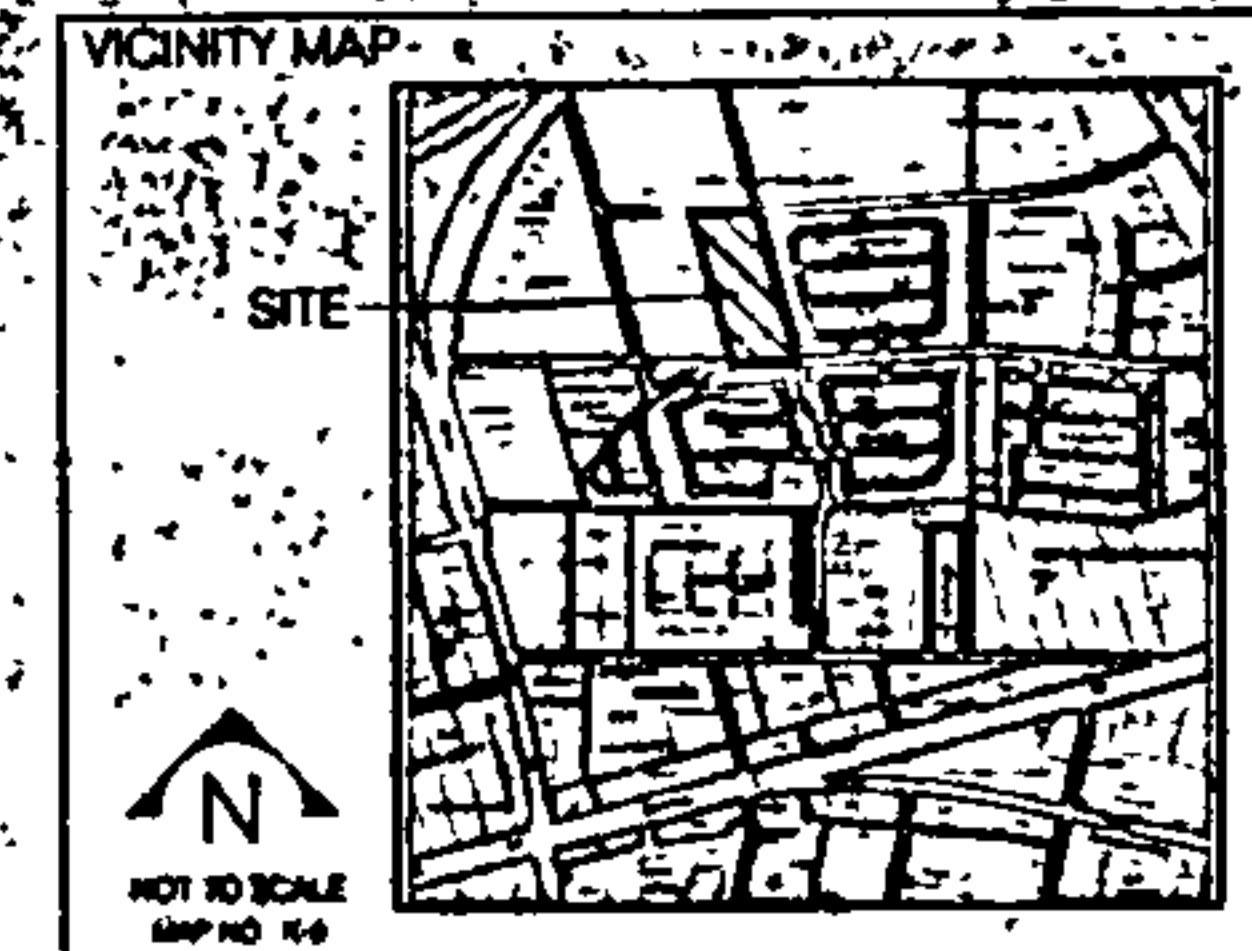
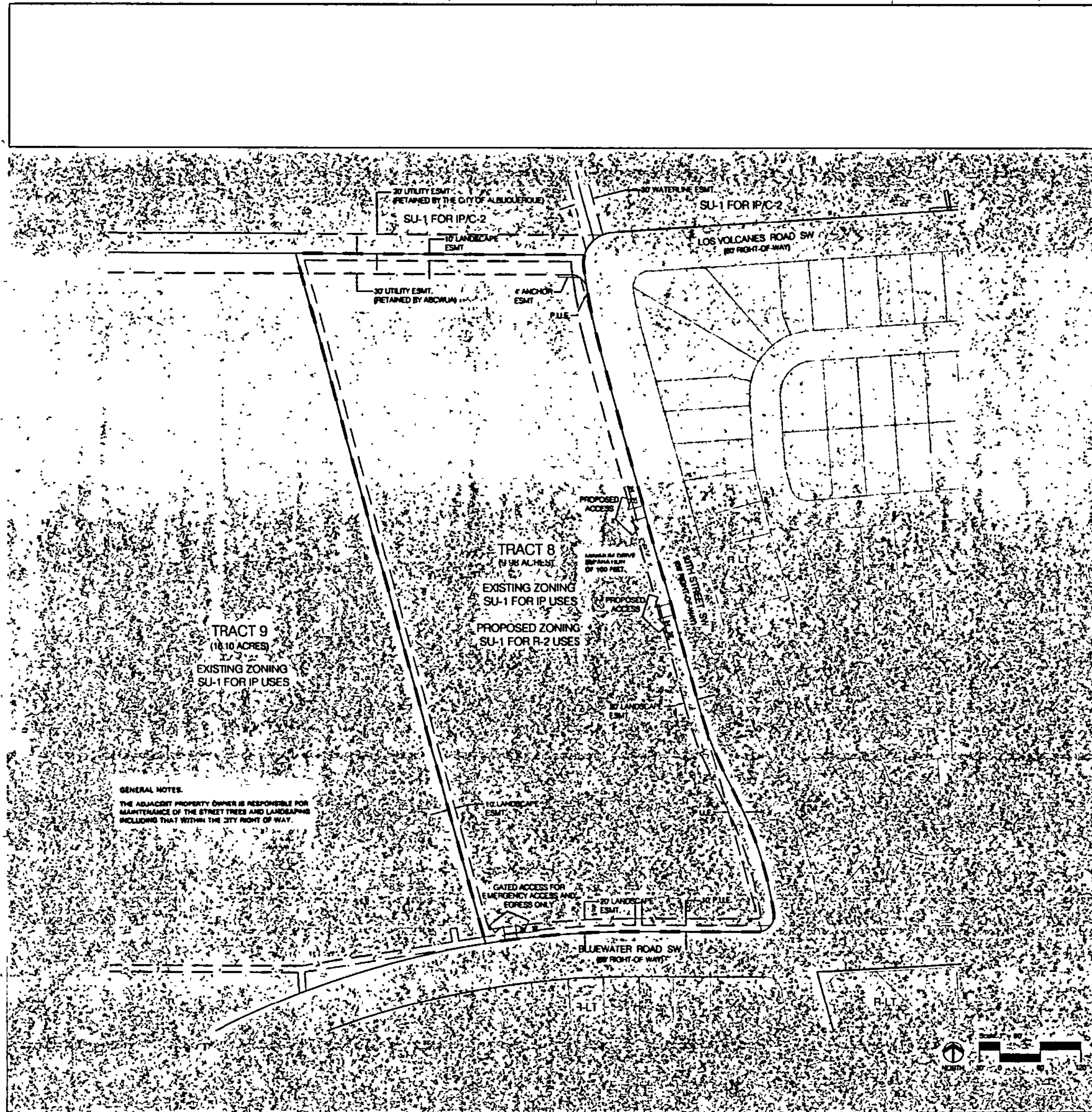
VILLAGE AT AVALON APARTMENTS
17TH STREET & BLUEWATER ROAD SW
ALBUQUERQUE, NM

REVISIONS
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DRAWN BY
REVIEWED BY
DATE 7/30/2015
PROJECT NO. 15-007
DRAWING NAME

SITE PLAN FOR
SUBDIVISION

SHEET NO.
SDP-6
11 OF 1



**SITE DEVELOPMENT PLAN FOR SUBDIVISION
REQUIRED INFORMATION**
THE SITE, THE SITE CONSISTS OF 1 EXISTING LOT (TRACT 8, ANCHOR SUBDIVISION UNIT 8), THE SITE
CONTAINS APPROXIMATELY 8.88 ACRES.

PROPOSED USE: THE ZONING FOR TRACT 8 SHALL BE SU-1 FOR R-2 USES.

PEDESTRIAN AND VEHICULAR ACCESS AND EGRESS, PEDESTRIAN AND VEHICULAR ACCESS AND EGRESS SHALL BE DETERMINED IN CONJUNCTION WITH THE SITE PLAN FOR BUILDING PERMIT. BLUEWATER ROAD HAS EXISTING BICYCLE LANES WHICH PROVIDE ACCESS TO THE SUBJECT PROPERTY.

INTERNAL CIRCULATION REQUIREMENTS: INTERNAL CIRCULATION SHALL BE DEVELOPED IN ACCORDANCE WITH THE EXISTING PLATTED RIGHTS-OF-WAY AND AS DEFINED BY THE SITE PLAN FOR BUILDING PERMIT. PRIMARY ACCESS SHALL BE ON LOS VOLCANES ROAD. WEST OF 80TH STREET, HAS BEEN VACATED. ONLY BLUEWATER ROAD, LOS VOLCANES ROAD, WEST OF 80TH STREET, HAS BEEN VACATED.

BUILDING HEIGHTS AND SETBACKS: SUBJECT TO THE R-2 ZONING REGULATIONS.

MAXIMUM F.A.R. / MAXIMUM FLOOR AREA RATIO SHALL BE 5.

LANDSCAPE PLAN: A CONCEPTUAL LANDSCAPE PLAN SHALL BE DEVELOPED IN ACCORDANCE WITH THE SITE PLAN FOR BUILDING PERMIT AND CONSISTENT WITH THESE LANDSCAPING AND SCREENING REQUIREMENTS (SHEET 2).

PROJECT NUMBER - 150 2478
APPLICATION NUMBER - 14EPC-0007

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED DECEMBER 11, 2014, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? YES NO YES THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRG SITE DEVELOPMENT PLAN SECTORY APPROVAL

Traffic Engineering / Transportation Division	Date
<i>Carl S. Davis</i>	6-7-15
Public and Regulatory Department	Date
<i>Robert J....</i>	6-7-15
Site/Neighborhood Management	Date
DRG Classification / Planning Department	Date

**The Village
at Avalon**

SITE PLAN FOR SUBDIVISION

Prepared for:
Curb, Inc. June 2015

Prepared by:
Consensus Planning, Inc. Dekker Perich Sabatini
302 8th Street NW 7601 Jefferson Street NE
Albuquerque, NM 87102 Albuquerque, NM 87106



SHEET 1 OF 2

PROJECT #

1003478

OCTOBER 21. 2015

SBP

PROJECT #
1003478

June 17. 2015

SPS



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision **DRB**
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus Planning, Inc. PHONE: 505-764-9801
 ADDRESS: 302 Eighth Street NW FAX: 505-842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

APPLICANT: Curb, Inc. PHONE: _____
 ADDRESS: 5160 San Francisco NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: dd_penners@yahoo.com
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Zone Map Amendment and Site Plan for Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 8 (previously Tract A) Block: _____ Unit: 5 (previously unit 4)
 Subdiv/Addn/TBKA: Avalon Subdivision
 Existing Zoning: SU-1 for IP Proposed zoning: SU-1 for R-2 MRGCD Map No _____
 Zone Atlas page(s): K-09-Z UPC Code: 100905724339520404

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): Project #s: 1000984; 1003478; 1009438; 1003478, 14EPC-40067 and 14EPC-40068

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 9.9

LOCATION OF PROPERTY BY STREETS: On or Near: 90th Street NW
 Between: Bluewater Road NW and Los Volcanes Road NW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: September 2, 2014 and met with Staff Planner prior to DRB Application on June 8, 2014

SIGNATURE [Signature] DATE June 9, 2015
 (Print Name) James K. Strozier Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>15DRB-70228</u>	<u>SRS</u>		<u>\$ 0</u>
	<u>CMF</u>		<u>\$ 20.00</u>
			\$
			\$
			\$
			\$
Hearing date <u>June 17, 2015</u>			Total <u>\$ 20.00</u>

[Signature]
6-9-15
 Staff signature & Date

Project # 1003478

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

(DRB17)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)

Maximum Size: 24" x 36"

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)

Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Stozier, AICP
Applicant name (print)
[Signature] 6/9/15
Applicant signature / date

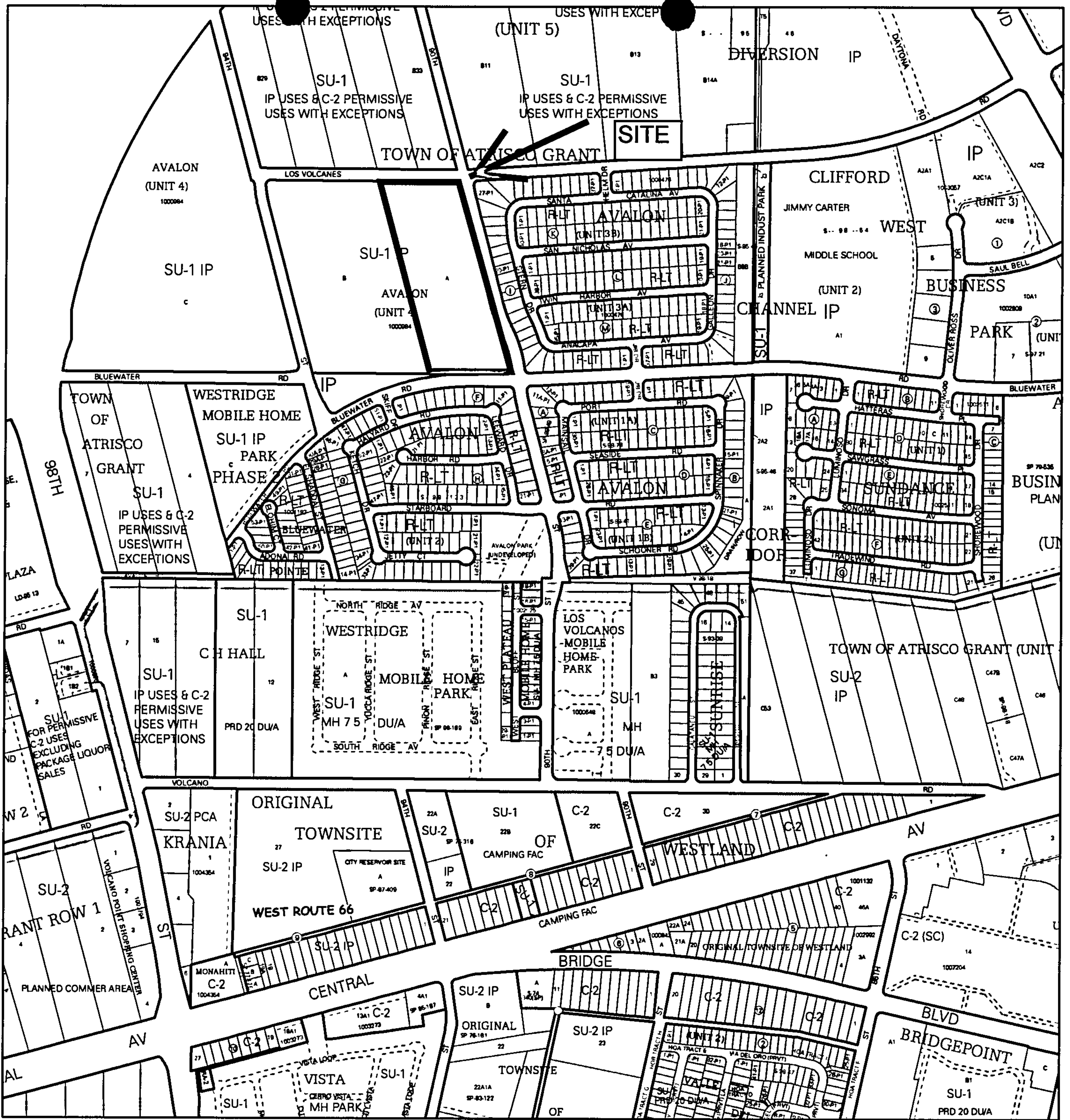


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
15-DRB-70228

[Signature] 6-9-15
Planner signature / date
Project # 1003478



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 6/7/2013

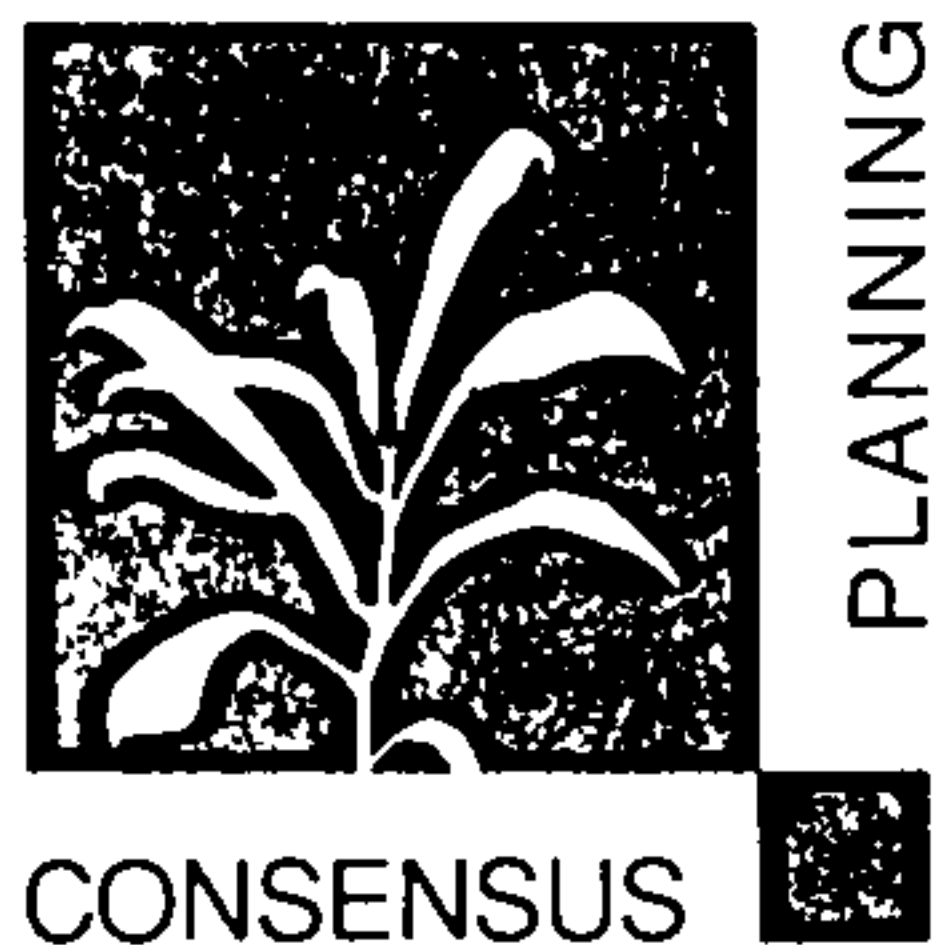
Zone Atlas Page:
K-09-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

Note: Grey Shading Represents Area Outside of the City Limits

0 750 1,500 Feet



June 9, 2015

Jack Cloud, Chairman
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

RE: Project 1003478, 14EPC-40067 and 14EPC-40068

Dear Mr. Chairman:

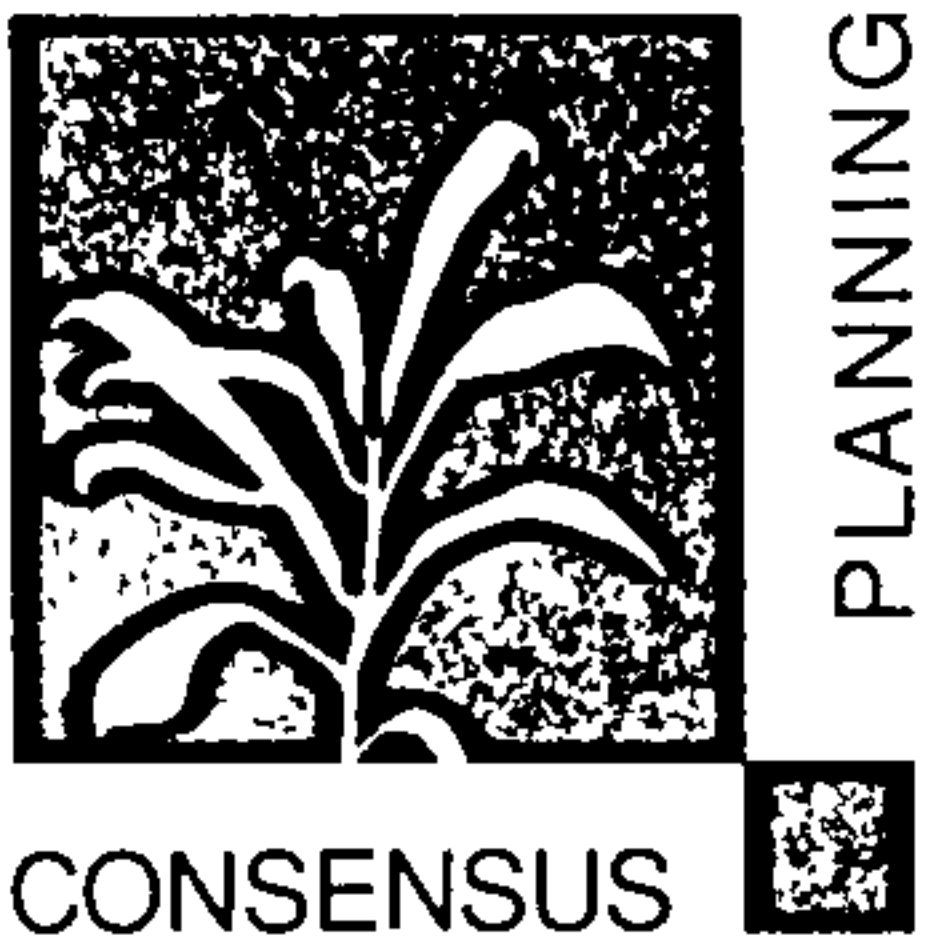
The purpose of this letter is to explain how we have addressed the Environmental Planning Commission's (EPC) conditions of approval for Project #1003478, Case Numbers 14EPC-40067 and 40068, a Site Development Plan for Subdivision and Zone Map Amendment which were approved on December 11, 2014.

On December 23, 2014 the Planning Department received an appeal to the EPC's recommendation for approval of the Zone Map Amendment and Site Development Plan for Subdivision from the Avalon Neighborhood Association. The appeal was first heard by the Land Use Hearing Officer (LUHO) on February 10, 2015. On February 20, 2015, the LUHO recommended denial of the appeal. Following rejection of the LUHO's recommendation, a full hearing on the appeal by City Council was held on March 16, 2015 where City Council voted to approve the Neighborhood Association's appeal. On March 17, the Planning Department discovered that an incorrect and outdated policy (2.5) in the Westside Strategic Plan (WSSP) was the Council's basis approval of the appeal. The Planning Department requested that the City Council reopen the appeal to consider the correct policy. On April 6, 2015 City Council voted to remand the appeal back to the LUHO. The appeal was reheard by the LUHO, and the LUHO reconfirmed his original recommendation that the City Council uphold the EPC's original decision. City Council again voted to have a full hearing on the appeal and a full hearing was held June 1, 2015. The City Council voted to deny the Avalon Neighborhood Association's appeal and uphold the EPC's original recommendation for approval.

CONDITIONS OF APPROVAL FOR THE ZONE MAP AMENDMENT

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB, pursuant to §14-16-4-1(C)(16) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months.

Due to the appeal of the EPC's recommendation for approval by the Avalon Neighborhood Association, the date of EPC approval has been put on hold until the City Council officially denied the appeal on June 1, 2015.



CONDITIONS OF APPROVAL FOR THE SITE PLAN FOR SUBDIVISION

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

This letter satisfies this condition.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

The applicant met with Staff Planner Maggie Gould on June 8, 2015 to review the conditions and she is aware of this submittal.

3. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan as required by the Development Review Board (DRB).

The applicant agrees to this condition. These improvements will be addressed with the future Site Development Plan for Building Permit.

4. The subdivision of the site shall comply with the purpose, intent, and regulations of the Subdivision Ordinance (14-14-1-3).

The Site Plan for Subdivision complies with the Subdivision Ordinance. There is no subdivision proposed at this time since Tract B exists.

5. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

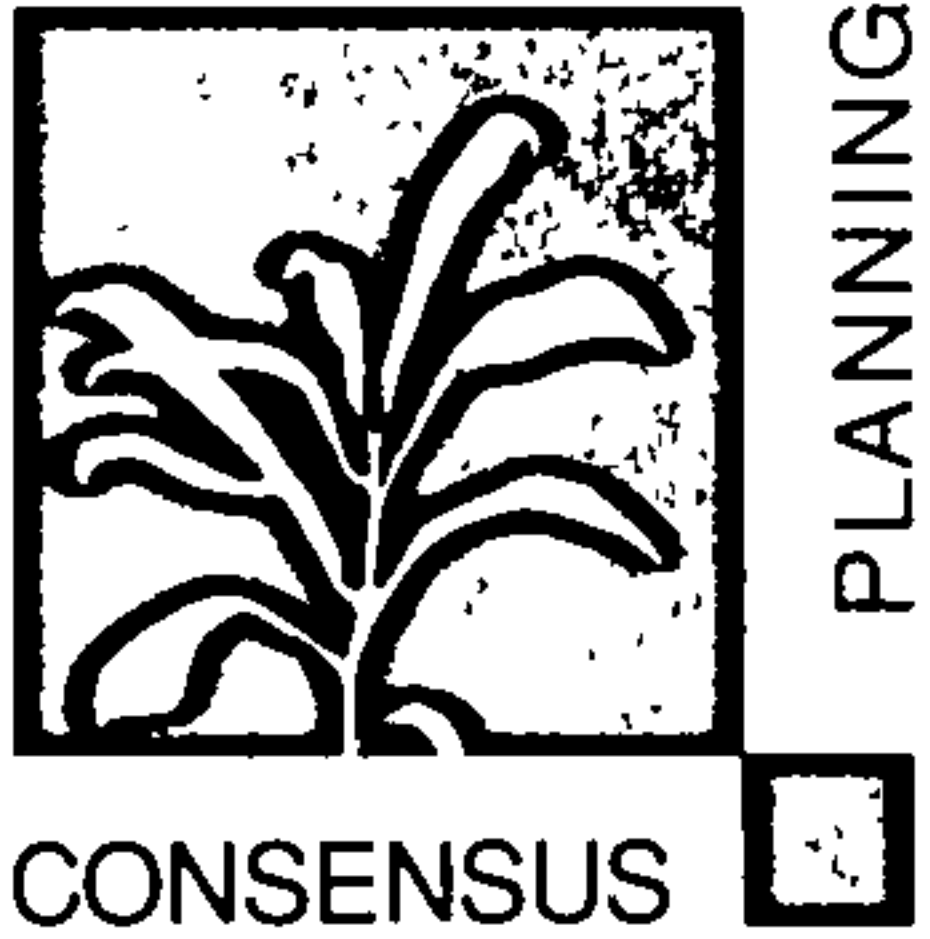
We agree. The Site Development Plan for Subdivision complies with this condition of approval.

6. The applicant shall coordinate with the Hydrology Department at the building permit stage in order to determine the placement of the proposed pond, per the 2013 Amole-Hubbell Drainage Master Plan Update.

We agree. The applicant will coordinate with the Hydrology Department at the building permit stage.

7. The Site Development Plan for Building Permit will be reviewed by the EPC.

We agree. The Site Development Plan for Subdivision has been amended, see revised paragraph 3, Sheet 2, Design Standards.



8. In addition to the proposed street trees along 90th Street and Bluewater Road, the developer shall provide a minimum of 10 evergreen trees to provide additional screening.

We are in agreement with this condition, and it has been included on the Site Plan for Subdivision Design Standards, sheet 2 of 2 under "12. Neighborhood Context".

9. The landscape setback along both 90th Street and Bluewater Road shall include 2 to 3 foot tall berms where appropriate.

We are in agreement with this condition, and it has been included on the Site Plan for Subdivision Design Standards, sheet 2 of 2 under "12. Neighborhood Context".

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102
(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Please do not hesitate to contact me at 764-9801 with any questions or additional information you may need.

Sincerely,


James K. Strozier, AICP
Principal

PRINCIPALS

James K. Strozier, AICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP
Laurie Firor, PLA, ASLA

URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

December 11, 2014

Curb Inc.
5160 San Francisco NE
Albuquerque, NM 87102

Project# 1003478
14EPC-40067 Site Development Plan for
Subdivision
14EPC-40068 Zone Map Amendment (Zone
Change)

LEGAL DESCRIPTION:

For all or a portion of Tract 8 (Previously Tract A),
Avalon Subdivision Unit 5 (Previously Unit 4),
zoned SU-1 for IP to SU-1 for R-2 Uses, located on
90th Street between Bluewater and Los Volcanes,
containing approximately 10 acres. (K-9)
Staff Planner: Maggie Gould

PO Box 1293

Albuquerque

On December 11, 2014, the Environmental Planning Commission (EPC), voted to **APPROVE** Project# 1003478, 14EPC-40067, a Site Development Plan for Subdivision and 14EPC-40068 Zone Map Amendment (Zone Change), based on the following Findings:

FINDINGS: 14 EPC 40068 ZONE MAP AMENDMENT

www.cabq.gov

1. This is a request for a Zone Map Amendment from SU-1 for I-P uses to SU-1 for R-2 uses for Tract 8, Avalon Subdivision Unit 5 located on 90th street between Bluewater Road NW and Los Volcanes Road NW and containing approximately 9.9 acres
2. The applicant would like to change the current zoning to allow the development of apartments on the site.
3. The subject was annexed into the City in 2001 and the SU-1 for I-P Uses zoning was

4. The 2014 realignment of Daytona road was designed to route heavy truck traffic away from the residential areas; this realignment of Daytona road removed the truck access from the site.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site is within the Developing Urban Area of the Comprehensive Plan. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:
 - A. Policy II.B.5.d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The proposed zone contains design standards that will create quality development and help integrate future development into the area. The proposed zone will allow the development of residential uses near existing residential uses. The proposed zone may allow development that adds to overcrowding in the area elementary school. Policy II.B.5.d is partially furthered.
 - B. Policy II.B.5.e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The site has access to existing services and infrastructure. The proposed zone will allow development can act as buffer between the existing residential development and the allowed industrial development; thus preserving the integrity of the area. Policy II.B.5.e is furthered.
 - C. Policy II.B.5h: Higher density housing is most appropriate in the following situations:
 - In designated Activity Centers
 - In areas with excellent access to the major street network.
 - In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available.
 - In areas now predominantly zoned single-family only where it comprises a complete block face and faces onto similar or higher density development; up to 10 dwelling units per net acre.
 - In areas where a transition is needed between single-family homes and much more

The proposed zone will allow the development of higher density housing, up to 30 dwelling units per acre, in an area with excellent access to the major street network and will provide a buffer between the existing single family development to the south and east and the industrial and commercial development that is allowed the north and west. Policy II.B.5.h is furthered.

Transportation and Transit

- D. Policy II.D.4c: In order to add to transit ridership, and where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets.

The subject site is .6 miles from Central Avenue, the City's most heavily used transit corridor. There is an existing park and ride lot at the northwest corner of Unser and Central that has access to 5 separate bus routes. Policy II.D.4c is furthered.

- E. Policy II.D.4g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

The Site Development Plan for Subdivision contains design standards that will require the development of sidewalks connecting to the public sidewalks adjacent to the site.

Housing

- F. Policy II.D.5a The supply of affordable housing, shall be preserved and increased and the opportunity to obtain standard housing for a reasonable proportion of income assured.

The proposed zoning will allow the development of multi-family housing, this housing product is often more affordable than a single family house. The product allowed under the proposed zoning will fill a need in the Albuquerque market for quality rental housing. Policy II.D.5.a is furthered.

7. The subject site is within the boundaries of the Westside Strategic Plan. The following policies are applicable to the request:

- A. Plan Objective 4: Preserve a sense of community and quality of life for all residents based on wise, long-term decision-making.

The proposed zone will allow the development of housing that can act as a buffer from more intense uses and preserve the residential character of the existing neighborhoods. The additional household may also help to support commercial uses in the area, increasing the choices available for area residents. Plan Objective 4 is furthered.

- B. Policy 1.6: Large areas dedicated to employment uses shall be preserved on the West Side at Seven Bar Ranch, Atrisco Business Park, and Double Eagle II Airport. Additional employment center development is also encouraged. The City of Albuquerque and Bernalillo County economic development programs shall actively encourage employers to locate in these employment centers

commercial development along Central Avenue and in the Central/Unser area. Policy 1.6 is not furthered.

- C. WSSP Policy 2.5: When considering approval of subdivisions for residential development, the City Planning Department shall consider whether local public schools have sufficient capacity to support the increased number of homes.

The Planning Department is considering school capacity. The request could result in about 300 new households. The apartments would be open to people with children and those without children. There is capacity at West Mesa High School, the Jimmy Carter middle school is slightly over capacity and Painted Sky Elementary is well over capacity. The proposed use could contribute the overcrowding. APS plans to build a new west side K-8(kindergarten through 8th grade) school in 2017 to reduce overcrowding.

- D. Policy 3.33: It is appropriate for new development, both residential and non-residential, to occur in this community. Redevelopment efforts associated with the existing 5-acre tracts shall be encouraged.

The proposed zone would allow the construction of new higher density residential development. Policy 3.33 is furthered.

- E. Additional Plan intent discussion-Page 50.

More high density development is appropriate on the West Side and desirable, especially near transit facilities and along transit corridors, in order to decrease sprawl and promote transit use. The higher densities, which could be 20 dus/acre or more, will occur close to the Community Centers and in proximity to transit corridors. The proposed zoning will allow the development of higher density housing near transit facilities (bus lines and a park and ride lot) and jobs. The proposed zone allows a density of up to 30 dwelling units per acre.

8. The applicant has justified the zone change request pursuant to *R-270-1980* as follows:

- A. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the city.

The request is consistent with the health, safety, morals and general welfare of the City because it will create a buffer between a less intense and more intense use, allow the development of a needed housing product on the west side and provide an additional housing opportunity. The allowed uses are compatible with the surrounding uses.

- B. Stability of land use and zoning is desirable; therefore the applicant must provide a

The proposed zone has an SU-1 designation; this will require a public hearing at the DRB or EPC for any major development. The design standards give adjacent property owners some security in knowing what will be developed on the site. The current zone offers a very broad set of uses, some of which are not compatible with single family residential use.

C. A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other city master plans and amendments thereto, including privately developed area plans which have been adopted by the city. Policy Analysis summarized:

The request furthers several goals and policies of the Comprehensive Plan, especially those relating to housing, transit and new growth. The applicant cites Comprehensive Policies II.B.5d, II.B.5e, II.B.5h, II.B.5l, II.B.5m and WSSP policy 3.33, and Plan objective 4.

Staff believes that policy II.B.5l, quality and innovation in design does not apply because without a Site Development Plan for Building Permit it is difficult to fully judge this. WSSP policy 1.6 is not furthered by this request.

Staff believes that policies II.B.4c and II.B.4g, regarding Transit and Transportation, and policy II.B.5a regarding housing are furthered by this request.

D. The applicant must demonstrate that the existing zoning is inappropriate because:
There was an error when the existing zone map pattern was created; or
Changed neighborhood or community conditions justify the change; or
A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan, even though (D)(1) or (D)(2) above do not apply.

The realignment of Daytona was meant to move heavy truck traffic away from the existing residential neighborhoods, while still allowing the development of uses that require truck access. The new alignment cuts off the subject site from this access. Staff agrees that this is a changed condition. A commercial zone on the site could have the same potential conflict with the residential area that the existing zone has. The zoning on the more recently annexed sites allows a more limited range of uses in order to protect the residential use. This zone change would be in line with the intent to protect the existing residential uses.

E. A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood, or the community.

The allowed uses in the proposed zone are not harmful to the adjacent properties and will provide a transition from the less intense residential use to the more intense industrial uses allowed to the west.

... through land development requires major

The site is privately owned, all future development and infrastructure will be funded by the developer.

G. The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.

The request is justified because it furthers several goals and policies of the applicable plans; the cost of land is not part of the justification.

H. Location on a collector or major street is not in itself sufficient justification for apartment, office, or commercial zoning.

The location in itself is not justification; however the reroute of Daytona does constitute a changed condition. The request is justified because it furthers several goals and policies of the applicable plans.

I. A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when:

1. The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan; or
2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.

The proposed zone could result in development that will act as a transition from the more intense industrially zoned properties to the less intense single family development.

J. A zone change request, which would give a zone different from surrounding zoning to a strip of land along a street is generally called "strip zoning." Strip commercial zoning will be approved only where:

1. The change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area development plan; and
2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.

The zone could be considered a strip zone, but a justified strip zone because it could

9. Albuquerque Public Schools is opposed to the request because of concerns regarding overcrowding. There is excess capacity at West Mesa High School by 241 students, Jimmy Carter Middle School is over capacity by 42 students and Painted Sky Elementary is over capacity by 507 students. APS plans to build a new Kindergarten through 8th grade school in 2017, provided that funding is available.
10. A Site Development Plan for Subdivision with design standards (14 EPC-40067) is heard concurrently with the request.
11. The affected neighborhood associations were offered a facilitated meeting. They declined. The Avalon Neighborhood has met with the applicant outside of the facilitated meeting process. The applicant added additional design standards to address neighborhood concerns.
12. The Avalon Neighborhood Association, South Valley Coalition of Neighborhood Associations, Southwest Alliance of Neighborhoods (SWAN) and the Westside Coalition of Neighborhoods were all notified of this request by certified mail. Property owners within 100 feet of the site were notified by regular first class mail.
13. This case was continued from the November 13th EPC hearing to allow the applicant and staff to meet with Albuquerque Public Schools regarding the school capacity issue and to allow time for a facilitated meeting with surrounding neighborhoods.
14. City staff and the applicant meet with representatives of Albuquerque Public Schools on November 19th. The representatives affirmed the previous comments regarding the heavy overcrowding at Painted Sky Elementary School and said that additional classrooms are also needed at Jimmy Carter Middle School.
15. A facilitated meet occurred on November 25th. Neighbors were opposed to apartments on the site and had concerns about traffic, school capacity, property values and crime.

CONDITIONS of APPROVAL 14 EPC 40068

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB, pursuant to §14-16-4-1(C)(16) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six

FINDINGS 14 EPC 40067 SITE DEVELOPMENT PLAN for SUBDIVISION

1. This is a request for a Site Development Plan for Subdivision for Tract 8, Avalon Subdivision Unit 5 located on 90th street between Bluewater Road NW and Los Volcanes Road NW and containing approximately 9.9 acres.
2. The subject was annexed into the City in 2001 and the SU-1 for I-P Uses zoning was established as part of the annexation process.
3. A request for a zone map amendment to change the zoning from SU-1 for I-P uses to SU-1 for R-2 Uses (14EPC- 40068) is heard concurrently with this request.
4. The 2014 realignment of Daytona road was designed to route heavy truck traffic away from the residential areas; this realignment of Daytona road removed the truck access from the site.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site is within the Developing Urban Area of the Comprehensive Plan. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:
 - A. Policy II.B.5.d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The proposed zone contains design standards that will create quality development and help integrate future development into the area. The proposed zone will allow the development of residential uses near existing residential uses. The proposed zone may allow development that adds to overcrowding in the area elementary school. Policy II.B.5.d is partially furthered.
 - B. Policy II.B.5.e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The site has access to existing services and infrastructure. The proposed zone will allow

- In designated Activity Centers
- In areas with excellent access to the major street network.
- In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available.
- In areas now predominantly zoned single-family only where it comprises a complete block face and faces onto similar or higher density development; up to 10 dwelling units per net acre.
- In areas where a transition is needed between single-family homes and much more intensive development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas.

The proposed zone will allow the development of higher density housing, up to 30 dwelling units per acre, in an area with excellent access to the major street network and will provide a buffer between the existing single family development to the south and east and the industrial and commercial development that is allowed the north and west. Policy II.B.5.h is furthered.

Transportation and Transit

- D. Policy II.D.4c: In order to add to transit ridership, and where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets.

The subject site is .6 miles from Central Avenue, the City's most heavily used transit corridor. There is an existing park and ride lot at the northwest corner of Unser and Central that has access to 5 separate bus routes. Policy II.D.4c is furthered.

- E. Policy II.D.4g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

The Site Development Plan for Subdivision contains design standards that will require the development of sidewalks connecting to the public sidewalks adjacent to the site.

Housing

- F. Policy II.D.5a The supply of affordable housing, shall be preserved and increased and the opportunity to obtain standard housing for a reasonable proportion of income assured.

The proposed zoning will allow the development of multi-family housing, this housing product is often more affordable than a single family house. The product allowed under the proposed zoning will fill a need in the Albuquerque market for quality rental housing. Policy II.D.5.a is furthered.

7. The subject site is within the boundaries of the Westside Strategic Plan. The following policies are applicable to the request:

The proposed zone will allow the development of housing that can act as a buffer from more intense uses and preserve the residential character of the existing neighborhoods. The additional household may also help to support commercial uses in the area, increasing the choices available for area residents. Plan Objective 4 is furthered.

- B. Policy 1.6: Large areas dedicated to employment uses shall be preserved on the West Side at Seven Bar Ranch, Atrisco Business Park, and Double Eagle II Airport. Additional employment center development is also encouraged. The City of Albuquerque and Bernalillo County economic development programs shall actively encourage employers to locate in these employment centers.

The proposed development is outside of the boundaries of the master planned Atrisco Business Park. The request would remove a portion of land from the existing stock of land zoned for uses that will create jobs; however the additional households may support commercial development along Central Avenue and in the Central/Unser area. Policy 1.6 is not furthered.

- C. WSSP Policy 2.5: When considering approval of subdivisions for residential development, the City Planning Department shall consider whether local public schools have sufficient capacity to support the increased number of homes.

The Planning Department is considering school capacity. The request could result in about 300 new households. The apartments would be open to people with children and those without children. There is capacity at West Mesa High School, the Jimmy Carter middle school is slightly over capacity and Painted Sky Elementary is well over capacity. The proposed use could contribute the overcrowding. APS plans to build a new west side K-8(kindergarten through 8th grade) school in 2017 to reduce overcrowding.

- D. Policy 3.33: It is appropriate for new development, both residential and non-residential, to occur in this community. Redevelopment efforts associated with the existing 5-acre tracts shall be encouraged.

The proposed zone would allow the construction of new higher density residential development. Policy 3.33 is furthered.

- E. Additional Plan intent discussion-Page 50.

More high density development is appropriate on the West Side and desirable, especially near transit facilities and along transit corridors, in order to decrease sprawl and promote transit use. The higher densities, which could be 20 dus/acre or more, will occur close to the Community Centers and in proximity to transit corridors. The proposed zoning will allow the development of higher density housing near transit facilities (bus lines and a park
density of up to 30 dwelling units per

8. Albuquerque Public Schools is opposed to the request because of concerns regarding overcrowding. There is excess capacity at West Mesa High School by 241 students, Jimmy Carter Middle School is over capacity by 42 students and Painted Sky Elementary is over capacity by 507 students. APS plans to build a new Kindergarten through 8th grade school in 2017, provided that funding is available.
9. A Site Development Plan for Subdivision with design standards (14 EPC-40067) is heard concurrently with the request.
10. The affected neighborhood associations were offered a facilitated meeting. They declined. The Avalon Neighborhood has met with the applicant outside of the facilitated meeting process. The applicant added additional design standards to address neighborhood concerns.
11. The Avalon Neighborhood Association, South Valley Coalition of Neighborhood Associations, Southwest Alliance of Neighborhoods (SWAN) and the Westside Coalition of Neighborhoods were all notified of this request by certified mail. Property owners within 100 feet of the site were notified by regular first class mail.
12. This case was continued from the November 13th EPC hearing to allow the applicant and staff to meet with Albuquerque Public Schools regarding the school capacity issue and to allow time for a facilitated meeting with surrounding neighborhoods.
13. City staff and the applicant meet with representatives of Albuquerque Public Schools on November 19th. The representatives affirmed the previous comments regarding the heavy overcrowding at Painted Sky Elementary School and said that additional classrooms are also needed at Jimmy Carter Middle School.
14. A facilitated meet occurred on November 25th. Neighbors were opposed to apartments on the site and had concerns about traffic, school capacity, property values and crime.

**CONDITIONS OF APPROVAL - 14 EPC-40067- SITE DEVELOPMENT PLAN for
SUBDIVISION**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall

conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
4. The subdivision of the site shall comply with the purpose, intent, and regulations of the Subdivision Ordinance (14-14-1-3)."
5. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
6. The applicant shall coordinate with the Hydrology Department at the building permit stage in order to determine the placement of the proposed pond, per the 2013 Amole-Hubbell Drainage Master Plan Update.
7. The Site Development Plan for Building Permit will be reviewed by the EPC.
8. In addition to the proposed street trees along 90th Street and Bluewater Road, the developer shall provide a minimum of 10 evergreen trees to provide additional screening.
9. The landscape setback along both 90th Street and Bluewater Road shall include 2 to 3 foot tall berms where appropriate.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **December 26, 2014**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

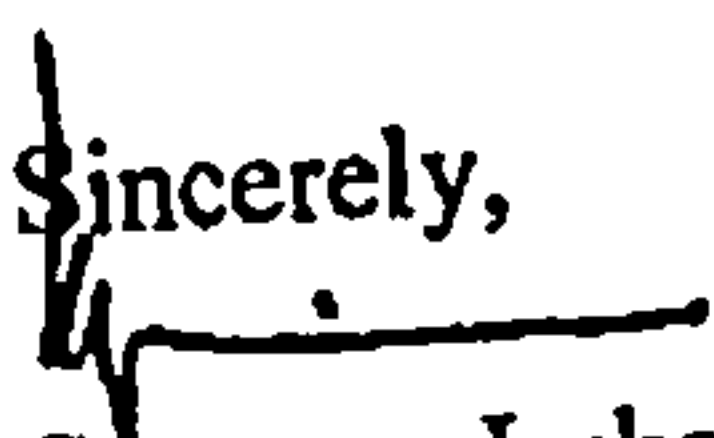
Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,

Suzanne Lubar
Pop Planning Director

SL/MG

cc:	302 8 th Street NW	ABQ, NM	87102
Consensus Planning	5160 San Francisco NE	ABQ, NM	87109
Curb INC	9135 Santa Catalina NW	ABQ, NM	87121
Mickell Chappelle	601 Stern Dr. NW	ABQ, NM	87121
T. Archondo		ABQ, NM	87121



City of Albuquerque

Albuquerque/Bernalillo
County
Government Center
One Civic Plaza
Albuquerque, NM 87102

Action Summary

City Council

Council President, Rey Garduño, District 6

Vice-President, Brad Winter, District 4

Ken Sanchez, District 1; Isaac Benton, District 2

Klarissa J. Peña, District 3; Dan Lewis, District 5

Diane G. Gibson, District 7; Trudy E. Jones, District 8

Don Harris, District 9

Monday, June 1, 2015

5:00 PM

Vincent E. Griego Chambers

One Civic Plaza NW

Albuquerque/Bernalillo County Government Center

TWENTY-FIRST COUNCIL - FORTY-SECOND MEETING

1. ROLL CALL

Present 9 - Rey Garduño, Brad Winter, Ken Sanchez, Isaac Benton, Klarissa Peña, Dan Lewis, Diane Gibson, Trudy Jones, and Don Harris

2. MOMENT OF SILENCE

Pledge of Allegiance - Brad Winter, Vice-President, District 4

3. PROCLAMATIONS & PRESENTATIONS

4. ECONOMIC DEVELOPMENT DISCUSSION

5. ADMINISTRATION QUESTION & ANSWER PERIOD

6. APPROVAL OF JOURNAL

May 27, 2015

7. COMMUNICATIONS AND INTRODUCTIONS

Deferrals/Withdrawals

- a. R-15-171 F/S Establishing Procedures For Implementing Improvements And Expending Funds Within The Rio Grande Valley State Park By The City Of Albuquerque (Benton, Sanchez)

A motion was made by Councilor Benton that this matter be Postponed to June 15, 2015. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

8. REPORTS OF COMMITTEES

9. GENERAL PUBLIC COMMENTS

10. ANNOUNCEMENTS

11. CONSENT AGENDA: {Items may be removed at the request of any Councilor}

- a. EC-15-292 Second Supplemental Agreement with VCA Veterinary Care Animal Hospital for Overnight Emergency Care of Animals
- A motion was made by President Garduño that this matter be Approved. The motion carried by the following vote:**
- For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris
- b. EC-15-293 Building Lease and Agreement with McCune Solar Works, LLC
- A motion was made by President Garduño that this matter be Approved. The motion carried by the following vote:**
- For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris
- c. EC-15-294 Recommendation of Award to Federal Engineering to Provide "Land Mobile Radio Consulting"
- A motion was made by President Garduño that this matter be Approved. The motion carried by the following vote:**
- For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris
- d. EC-15-295 2014 Semi-Annual Report for the Independent Review Office/Civilian Police Oversight Agency
- A motion was made by President Garduño that this matter be Receipt Be Noted. The motion carried by the following vote:**
- For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris
- e. EC-15-296 2014 Annual Report for the Independent Review Office/Civilian Police Oversight Agency
- A motion was made by President Garduño that this matter be Receipt Be Noted. The motion carried by the following vote:**

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

f. EC-15-306

Approval of a Supplemental Contract with Public Safety Psychology Group, LLC

A motion was made by President Garduño that this matter be Approved. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

g. EC-15-325

Caretaker Lease Agreement for Balloon Fiesta Park

A motion was made by President Garduño that this matter be Approved. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

h. EC-15-326

Request For FY 2016 Substance Abuse Treatment Voucher Contractors To Exceed \$75,000 Funding Aggregate

A motion was made by President Garduño that this matter be Approved. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

j. EC-15-338

Mayor's Reappointment of Ms. Monet Silva-Caldwell to the ABQ Volunteers Advisory Board

A motion was made by President Garduño that this matter be Confirmed. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

k. EC-15-343

Mayor's Recommendation of Morrow Reardon Wilkinson Miller, Ltd. For On Call Landscape Architectural Services for Parks and Recreation Department

A motion was made by President Garduño that this matter be Approved. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

l. EC-15-344

Mayor's Recommendation of Dekker/Perich/Sabatini, Ltd. For Landscape Architectural Consultants for Citywide On-Call Landscape Architectural Services

A motion was made by President Garduño that this matter be Approved. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

- m. R-15-192 Directing That The Police Oversight Board Prioritize Training And Development Of Certain Rules And Regulations At Its Initial Meetings (Winter, Garduño)

A motion was made by President Garduño that this matter be Withdrawn by Sponsors. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

- n. R-15-196 Approving And Authorizing The Filing Of Grant Application For A PM2.5-Fine Monitoring Grant With The Environmental Protection Agency (Garduño, by request)

A motion was made by President Garduño that this matter be Passed. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

13. APPROVALS

- i. EC-15-329 Quarterly reporting of expenditures by the Albuquerque Police Department related to the implementation of the US Department of Justice Settlement Agreement

A motion was made by Councilor Gibson that this matter be Postponed to June 15, 2015. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

12. PUBLIC HEARINGS: {Appeals, SAD Protest Hearings}

- a. AC-15-2 (Project# 1003478/14EPC-40067/14EPC-40068) Lucy Anchondo Secretary, on behalf of the Avalon Neighborhood Association, appeals the Environmental Planning Commission's (EPC's) Approval of a Zone Map Amendment (zone change), for Tract 8, Avalon Subdivision Unit 5, located on 90th street between Bluewater Road NW and Los Volcanes Road NW

A motion was made by Councilor Harris that this matter be Denied. The motion carried by the following vote:

For: 6 - Sanchez, Benton, Peña, Lewis, Jones, and Harris

Against: 2 - Garduño, and Gibson

Abstain: 1 - Winter

13. APPROVALS: {Contracts, Agreements, and Appointments}

- a. EC-15-288 Approval of the Second Supplemental to add monies for Outside Counsel Legal Services between Scott T. Greenwood, Attorney at Law

and the City of Albuquerque

A motion was made by Councilor Gibson that this matter be Postponed to June 15, 2015. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

b. EC-15-322

Mayor's Appointment of Ms. Marie Q. Julienne to the Personnel Board

A motion was made by Councilor Jones that this matter be Postponed to June 15, 2015. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

14. FINAL ACTIONS

b. R-15-184

Calling For A Feasibility Study Of The Disposition Of Land Held For Sale In The Permanent Fund For Acquisition And Management Of Open Space (Harris, Lewis, Sanchez)

A motion was made by Councilor Benton that this matter be Amended. Councilor Benton moved Amendment No. 1. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

A motion was made by Councilor Lewis that this matter be Amended. Councilor Lewis moved Amendment No. 2. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

A motion was made by Councilor Lewis that this matter be Passed as Amended. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

f. R-15-195

F/S Making Findings In Connection With The Resolution Of Winrock Town Center Tax Increment Development District 1 Authorizing The Issuance And Sale Of Senior Lien Tax Increment Revenue Bonds; Ratifying And Approving The Issuance And Sale Of The Winrock Town Center Tax Increment Development District 1 Senior Lien Gross Receipts Tax Increment Bonds, Series 2015 (Gibson)

A motion was made by Councilor Gibson that this matter be Substituted. The motion carried by the following vote:

For: 8 - Garduño, Winter, Sanchez, Peña, Lewis, Gibson, Jones, and Harris

Excused: 1 - Benton

A motion was made by Councilor Gibson that this matter be Passed as Substituted. The motion carried by the following vote:

For: 8 - Garduño, Winter, Sanchez, Peña, Lewis, Gibson, Jones, and Harris

Excused: 1 - Benton

- e. R-15-194 A Nuisance Dwelling Or Structure In Need Of Abatement At 11308 Bellamah Ave NE 87112 Within The City Limits Of Albuquerque, New Mexico Is So Ruined, Damaged And Dilapidated As To Be A Menace To The Public Comfort, Health, Peace Or Safety And That It Is To Be Required To Be Removed (Harris)

A motion was made by Councilor Harris that this matter be Passed. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

- c. R-15-186 A Nuisance Dwelling Or Structure In Need Of Abatement At 3005 Sioux St NW 87107 Within The City Limits Of Albuquerque, New Mexico Is So Ruined, Damaged And Dilapidated As To Be A Menace To The Public Comfort, Health, Peace Or Safety And That It Is To Be Required To Be Removed (Benton, by request)

A motion was made by Councilor Benton that this matter be Postponed to June 22, 2015. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

- d. R-15-187 A Nuisance Dwelling Or Structure In Need Of Abatement At 705 3rd St. SW 87102 Within The City Limits Of Albuquerque, New Mexico Is So Ruined, Damaged And Dilapidated As To Be A Menace To The Public Comfort, Health, Peace Or Safety And That It Is To Be Required To Be Removed (Benton, by request)

A motion was made by Councilor Benton that this matter be Passed. The motion carried by the following vote:

For: 7 - Garduño, Winter, Sanchez, Benton, Gibson, Jones, and Harris

Against: 1 - Peña

Excused: 1 - Lewis

- g. R-15-197 Adjusting Fiscal Year 2015 Appropriations For City Of Albuquerque Employee Wage Increases (Peña)

A motion was made by Councilor Peña that this matter be Passed. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

- h. P-15-8 To Be Submitted To The Voters On The City Of Albuquerque Municipal Election Ballot Of October 6, 2015, Amending Article V, Section 4 Of The Charter Of The City Of Albuquerque, Concerning

The Duties Of The Mayor; Specifying That The Appointment Of The Chief Of Police And Fire Chief Will Require The Advice And Consent Of The City Council (Sanchez, Benton)

A motion was made by Councilor Sanchez that this matter be Amended. Councilor Sanchez moved Amendment No. 3. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

A motion was made by Councilor Sanchez that this matter be Postponed as Amended to June 15, 2015. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

- i. P-15-9 Adopting A Proposition To Be Submitted To The Voters At The October 6, 2015 City Of Albuquerque Municipal Election Ballot That Amends Article III, Section 3 Of The Charter Of The City Of Albuquerque, Concerning Direct Legislation By Voter Initiative So That Proposed Measures Shall Be Submitted To The City's Electors Only At General Elections Or Regular Municipal Elections; And That Amends The Calculation For The Minimum Number Of Petition Signatures (Sanchez)

A motion was made by Councilor Sanchez that this matter be Passed. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

- j. P-15-10 Adopting A Proposition To Be Submitted To The Voters At The October 6, 2015 City Of Albuquerque Municipal Election That Amends Article VI Of The Charter Of The City Of Albuquerque Concerning Charter Amendments (Sanchez)

A motion was made by Councilor Sanchez that this matter be Passed. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

- k. P-15-11 To Be Submitted To The Voters On The Municipal Election Ballot Of October 6, 2015, Adding A New Article "XX" To The City Charter To Provide For The Election Of The Chief Of Police And To Amend Articles II, III, XII, XIII, XVI, AND XVIII To Provide A Process For Electing The Chief Of Police And Determining A Salary For That Position (Garduño)

A motion was made by President Garduño that this matter be Postponed to June 15, 2015. The motion carried by the following vote:

For: 5 - Garduño, Winter, Sanchez, Benton, and Peña

Against: 3 - Lewis, Jones, and Harris

Excused: 1 - Gibson

15. OTHER BUSINESS: {Reports, Presentations, and Other Items}

- a. OC-15-20 Non-Audit Service No. 15-306 - Albuquerque Police Department 2015 Officer Retention Program

A motion was made by President Garduño that this matter be Receipt Be Noted. The motion carried by the following vote:

For: 8 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Jones, and Harris

Excused: 1 - Gibson

- c. Executive Session to discuss litigation in the matters of Albuquerque Hotel Investments Capital LLC, et al. v. City of Albuquerque (D-202-CV-2013-07823), and Albuquerque Plaza Office Investments LLC v. City of Albuquerque and Downtown Action Team (D-202-CV-2011-03005)

A motion was made by President Garduño to go into Executive Session pursuant to Section 10-15-1(H)(7) of the Open Meetings Act, to discuss litigation in the matters of Albuquerque Hotel Investments Capital LLC, et al. v. City of Albuquerque, and Albuquerque Plaza Office Investments LLC v. City of Albuquerque and Downtown Action Team. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

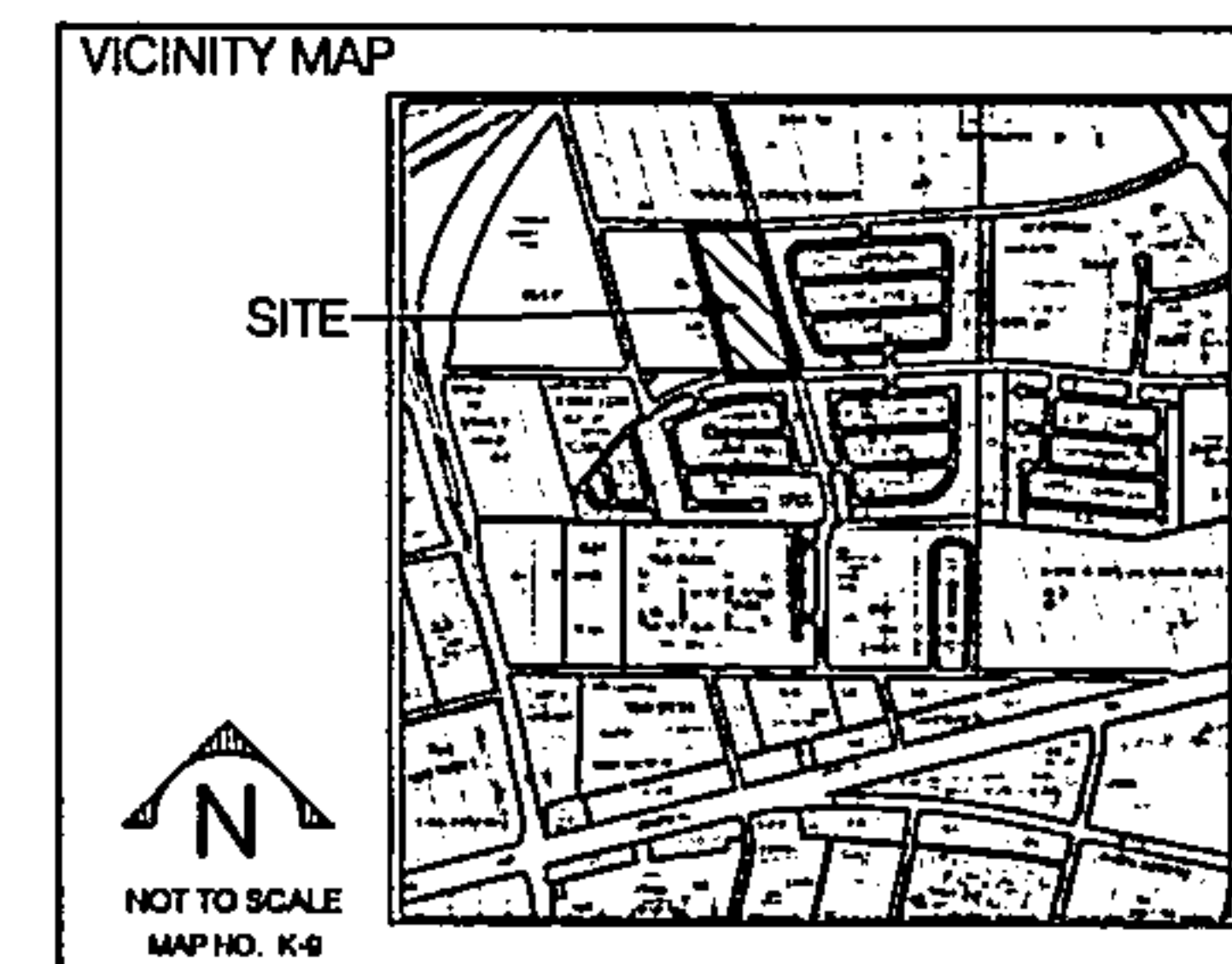
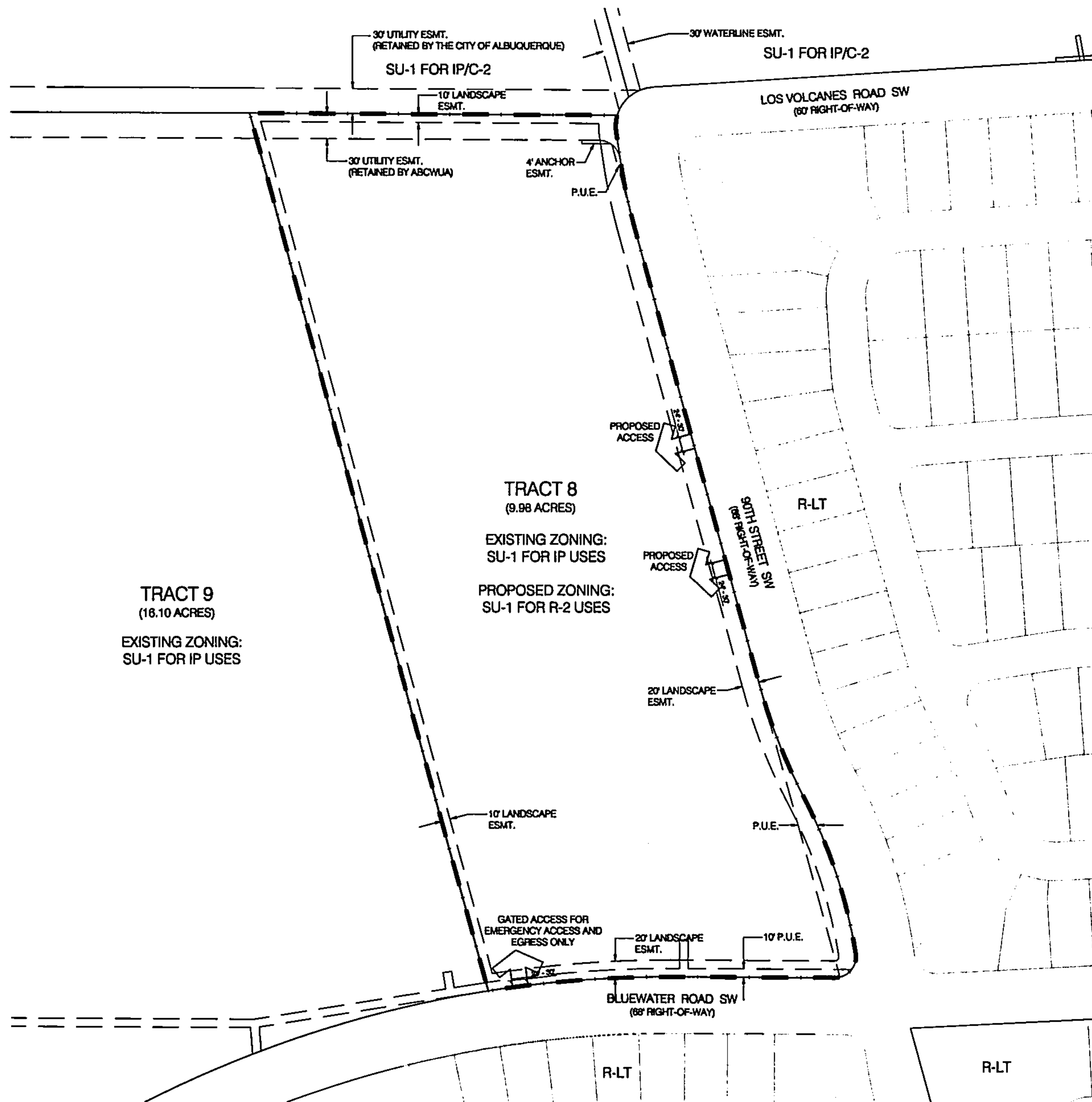
President Garduño affirmed that matters discussed in Executive Session were limited to those specified in the motion for closure.

- *b. OC-15-21 Amended Settlement Offer for litigation in the matters of Albuquerque Hotel Investments Capital LLC, et al. v. City of Albuquerque (D-202-CV-2013-07823), and Albuquerque Plaza Office Investments LLC v. City of Albuquerque and Downtown Action Team (D-202-CV-2011-03005)

A motion was made by Vice-President Winter that this matter be Approved. The motion carried by the following vote:

For: 9 - Garduño, Winter, Sanchez, Benton, Peña, Lewis, Gibson, Jones, and Harris

There being no further business, the meeting adjourned at 10:40 p.m.



**SITE DEVELOPMENT PLAN FOR SUBDIVISION:
REQUIRED INFORMATION**

THE SITE: THE SITE CONSISTS OF 1 EXISTING LOT (TRACT 8, AVALON SUBDIVISION UNIT 5). THE SITE CONTAINS APPROXIMATELY 9.98 ACRES.

PROPOSED USE: THE ZONING FOR TRACT 8 SHALL BE SU-1 FOR R-2 USES.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS SHALL BE DETERMINED IN CONJUNCTION WITH THE SITE PLAN FOR BUILDING PERMIT. BLUEWATER ROAD HAS EXISTING BIKE LANES WHICH PROVIDE ACCESS TO THE SUBJECT PROPERTY.

INTERNAL CIRCULATION REQUIREMENTS: INTERNAL CIRCULATION SHALL BE DEVELOPED IN ACCORDANCE WITH THE EXISTING PLATTED RIGHTS-OF-WAY AND AS DEFINED BY THE SITE PLAN FOR BUILDING PERMIT. PRIMARY ACCESS SHALL BE ONTO 90TH STREET, WITH EMERGENCY EGRESS ONLY ONTO BLUEWATER ROAD. LOS VOLCANES ROAD, WEST OF 90TH STREET, HAS BEEN VACATED.

BUILDING HEIGHTS AND SETBACKS: PURSUANT TO THE R-2 ZONING REGULATIONS.

MAXIMUM F.A.R. MAXIMUM FLOOR AREA RATIO SHALL BE .5.

LANDSCAPE PLAN: A CONCEPTUAL LANDSCAPE PLAN SHALL BE DEVELOPED IN ACCORDANCE WITH THE SITE PLAN FOR BUILDING PERMIT AND CONSISTENT WITH THESE LANDSCAPING AND SCREENING REQUIREMENTS (SHEET 2).

PROJECT NUMBER: 100 3478
APPLICATION NUMBER: 14EPC-40067

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED DECEMBER 11, 2014, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

The Village At Avalon

SITE PLAN FOR SUBDIVISION

Prepared for:
Curb, Inc.

June 2015

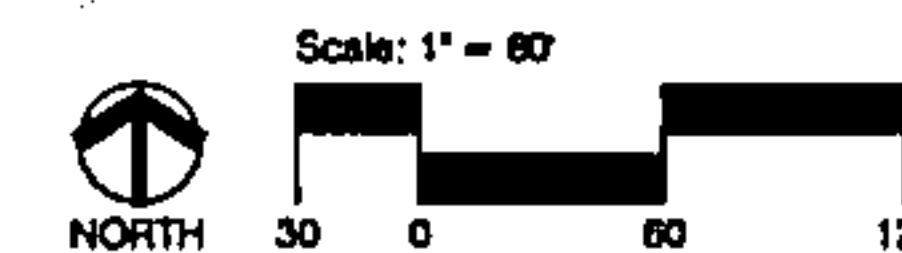
Prepared by:
Consensus Planning, Inc.
302 5th Street NW
Albuquerque, NM 87102

Dekker Perich Sabatini
7601 Jefferson Street NE
Albuquerque, NM 87109



DEKKER
PERICH
SABATINI

SHEET 1 OF 2





DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1003478

TO: Application No. 15-DRB-70379

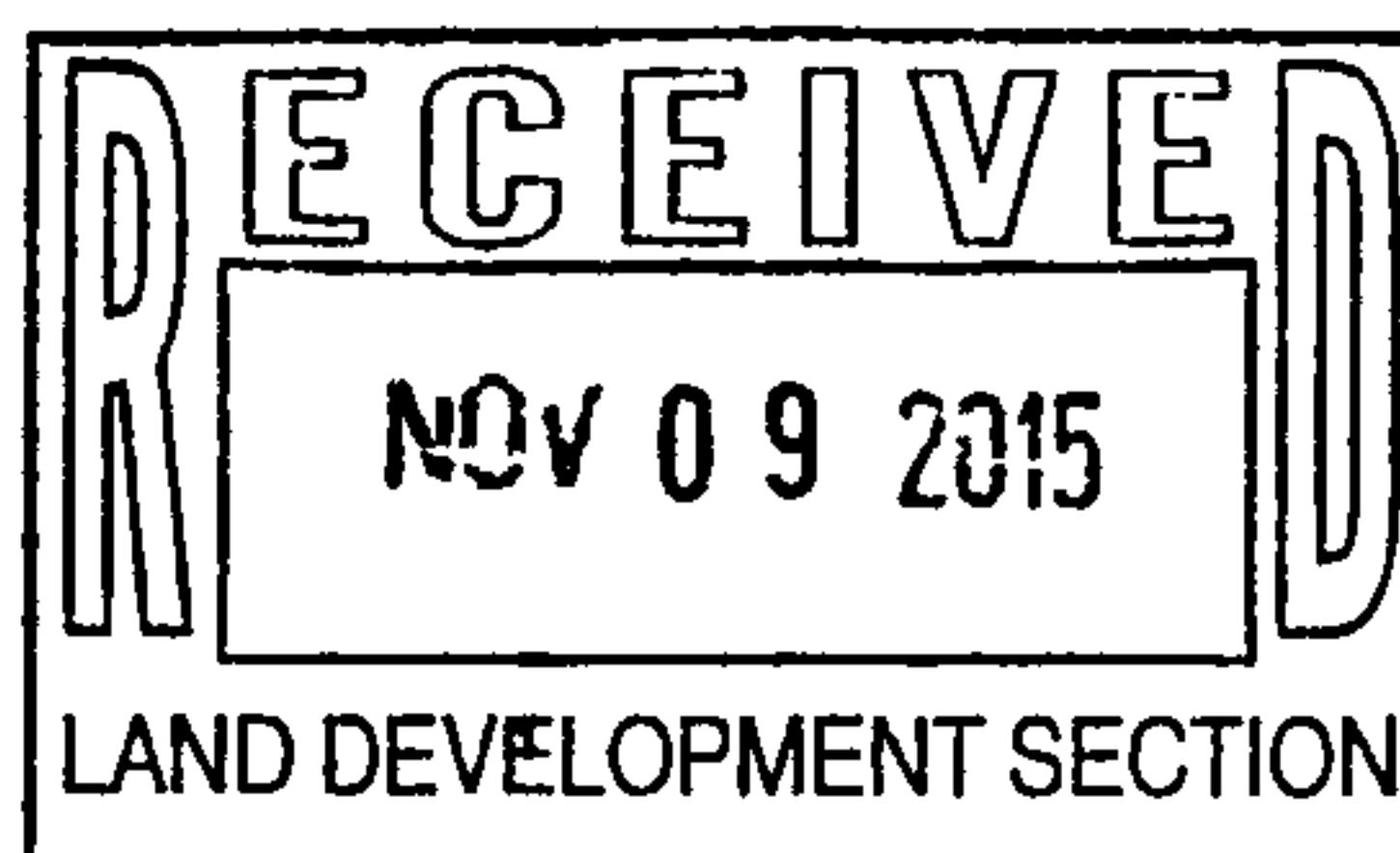
ALL MEMBERS

- Jack Cloud, DRB Chairman, Planning Department
- Racquel Michel (Alt.), Transportation Development
- Kris Cadena (Alt.), ABCWUA
- Rita Harmon (Alt.), City Engineer
- Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: November 10, 2015

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Revised Infrastructure List



CONTACT NAME: Fred C. Arfman DATE: November 9, 2015

TELEPHONE: 268-8828 EMAIL: freda@iacivil.com

INFRASTRUCTURE LIST

(Rev 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

VILLAGE AT AVALON APARTMENTS

PROPOSED NAME OF SITE DEVELOPMENT PLAN

TRACT 8, UNIT 5, AVALON SUBDIVISION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		12"	Waterline - Rem. & Repl. (Lowering)	30' Public WL Easement along North PL	90th St	NW Corner Tr. 9 (approx. 330' west of Tr. 8 - NW Corner	/	/	/
		10"	Waterline & Water Services	20' WL Esm't. - Tract 8 (along west side of Tract)	NW Corner Tr. 8	Bluewater Rd	/	/	/
		6"	Fire Hyd WL & FHs (2 Ea)	10' Fire Hyd. Esm'ts along futer 20' WL Esm't: west side of Tr 8	NW Corner Tr. 8	Bluewater Rd	/	/	/
		12' F - EOP	Arterial Paving w/ Std PCC C&G	90th St - West Half	Los Volcanes Rd	570' South	/	/	/
		12' - 20' Transition F- EOP	Arterial Paving w/ Std PCC C&G	90th St - West Half	Bluewater Rd	340' North	/	/	/
		6'	PCC Sidewalk	90th St - West Half	Los Volcanes Rd	Bluewater Rd	/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 Water Lines shall include all water valves and boxes, fittings, and joint restraints,
- 2 _____
- 3 _____

AGENT / OWNER

Fred C. Arfman, PE
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Fred C. Arfman 11-09-15
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & GENERAL RECREATION - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

DESIGN STANDARDS

The purpose of these design standards is to establish a development framework for multi-family development known as The Village at Avalon. These design standards will ensure the creation of an attractive and innovative development that fosters a sense of community for residents and the surrounding neighborhood and allows for an appropriate transitional use between existing single family homes and the adjacent industrial zoned parcels. The new community respects the unique locale of the site and specifically the surrounding single family neighborhoods. It also allows for the privacy and well-being of the residents and other users. These standards are complementary to the existing neighborhoods and future non-residential development.

The overall theme of the project is a family oriented, pedestrian friendly and environmentally sustainable community. The development consists of rental apartments for families with associated active and passive outdoor spaces for the residents. Service-oriented spaces in the clubhouse will likely include fitness rooms, management leasing office, and other spaces for social functions. Green and sustainable building practices shall be incorporated: passive interception of surface water in parking lot landscape surfaces, xeric planting, directing roof water from downspouts to landscape areas to manage the first flush when feasible, Energy Star appliances, and some materials with recycled content. Semi-private spaces for the residents are shown in the inner areas of the site and residents have private patios, courtyards, balconies, decks or roof decks.



Illustrative Site Design

The Environmental Planning Commission retains authority for the review and approval of the future Site Development Plan for Building Permit. The Site Plan for Building Permit shall be reviewed and found to be consistent with this Site Development Plan for Subdivision, the Comprehensive Zoning Code, and the Development Process Manual. Any required public infrastructure shall be identified and required as part of the DRB's review of the site plan.

1. Off-Street Parking

Off-Street parking shall be in general compliance with other similar developments under the R-2 zoning. Considerations to reduce required parking by a maximum of 10% shall be allowed if such reductions result in greater landscape buffers on 90th street. Parking will be located primarily on the west side of the parcel to provide a significant buffer to the future industrial development. Alternative transportation sources are encouraged. Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided. Bicycle racks shall be constructed of metal and finished in colors harmonious with those of the buildings on site.

2. Landscape

The landscape design will strive to engage the users by providing a welcoming environment for the residents and public. Through the use of xeric plants outdoor spaces will have seasonal color, texture and scale and will compliment the architecture. Trees will be used to provide shade in pedestrian areas, highlight intersections and establish hierarchy of vehicular drives. Accent plants will be used to emphasize entries and provide sculptural interest. The remainder of the plant palette will be a mixture of shrubs, ornamental grasses and groundcovers. The landscape design will comply with the intent of the city of Albuquerque Water Conservation, Landscaping and Water Waste ordinance and 14-16-3-10 of the City of Albuquerque General Regulations. An emphasis shall be placed on the landscaping adjacent to 90th Street NW and Bluewater Road NW. All trees and shrubs on 90th Street and Bluewater Road NW will be designed to meet the Street Tree Ordinance §6-6-2-1.

3. Site Lighting

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance

of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".
- Site lighting will be designed to ensure that it does not shine onto the adjacent residential properties to the east and south.
- The height of street lights and parking area lights shall be kept to the minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- Perimeter parking: 25' high maximum pole with cutoff features.
- Other parking: 16' high maximum pole within 100 feet of the adjacent single family neighborhoods (provided that the lighting fixture does not directly shine on any residential premises).
- Buildings and adjacent pedestrian areas: Building mounted fixtures and bollards for security and pedestrian lighting.
- Site lighting to comply with the Area Lighting Regulations, 14-16-3-9 of the Zoning Code.

4. Placement of Mechanical Units

Care shall be made to hide the view of exposed mechanical units, riders, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used. Ground level units shall be screened from public view through free-standing dense evergreen foliage or on "green walls". Roof mounted units shall be screened from public view through the use of parapet walls or roof screens that are architecturally coordinated with the building they serve.

5. Signage

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and compliments the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations of the Zoning Code.
- Signs identifying the principal use of a building may be free-standing (monument style) or wall-mounted.
- The design of the interior directional signs shall be coordinated with the design of the site signage.
- No illuminated plastic panel signs are allowed.
- No illuminated signage shall face existing residential areas to the east and south.

6. Screen walls and fences

Site fencing will be designed to comply with section 14-16-3-19 in the Zoning Code to be harmonious with the development & adjacent properties. "Green walls" - 6' high open metal fencing (excluding chain link fencing) with plant material growing on or adjacent - will be used in all possible locations including the west and north site perimeter. The color will be neutral so as to harmonize with the plant materials. Similar material and colors will be used for building guardrails.

Patio walls shall reflect the same use of stucco finish to complement that of the buildings, or may contrast the building finish by use of metal fencing (rail or solid) to articulate semi-private patios and balconies. Patio walls shall not exceed 5'. Color shall be harmonious with the adjacent building. Refuse container walls will be a composite of CMU wall with stained cement board in a metal frame for operable gates. It will be stained and painted with colors used on the buildings.

7. Sidewalks and Pedestrian Connectivity

Public and private walks provide important connectivity within the project as well as in and out of the site. All sidewalks shall be concrete, with a minimum of 4'-0" width. The use of asphalt is not permitted. Concrete or compacted crusher fines with stabilizer are acceptable materials. All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this unfeasible. Pedestrian crossings of drive aisles shall be clearly demarcated with contrasting paving treatment. Buildings adjacent to 90th Street and Bluewater Roads shall have connective sidewalks leading from public sidewalks to the primary building entries or building portals. If fencing is proposed, these connective sidewalks shall have access gates through the fencing. Opportunities for future sidewalk connections shall be provided through the subject site to provide future pedestrian connections to the future development to the west, if appropriate.

8. Private Open Space

An important design of this community is the inclusion of open spaces for resident recreation. These open space areas provide opportunities for residents to meet their neighbors and visitors to the site. The project is designed with recreational swimming pool and fitness components for adults and various ages of children.

9. Exterior Wall Materials and Colors

Exterior style will reflect a "Contemporary Southwest" vernacular. Articulation of building massing is required. Long and flat building facades are not allowed without articulations at a maximum of 32 foot intervals. Building entry portals shall have contrasting material or color changes to identify and enrich these points of entry. They further promote pedestrian site access and a place for people to socialize. Stucco wall finish system (or synthetic version) reinforces the vernacular architectural expression as do crisp and contemporary materials and finishes such as metal railings, downspouts and parapet caps consistent with the style.

Exterior wall color shall reflect a consistent overall palette of earth and sky-based tones, both pale and saturated with color, as is the palette from nature. Color shall be used in conjunction with the grouping of the building's different masses. The apartment buildings shall be a stucco wall finish system and incorporate metal railings at the balconies and stairs. Complementary shading devices and metal detailing such as shade canopies and louvers, trellises and site railings shall be proposed throughout the complex; be consistently detailed, and complement the overall architecture. Reflective glass shall not be permitted.

10. Roof Materials

Roof materials and colors shall be reminiscent of the Contemporary Southwest style with the dominant design being low pitch roofs (heat reflective and light colored) concealed from view with building parapets.

11. Utilities

Developers shall contact PNM's New Service Delivery Department to coordinate electric service and options for the location of electric service connection. Any existing or proposed public utility distribution easements are to be indicated on subsequent Site Plan for Building Permit utility sheets. PNM's standard for public utility distribution easements is 10 feet in width to ensure adequate, safe clearances. All new electric distribution lines shall be placed underground.

Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers. Transformers, utility pads, and ground-mounted equipment screening shall allow for access to utility facilities. All screening and vegetation surrounding ground mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

Any wireless communication facilities shall meet FAA regulations, and shall be concealed and architecturally integrated.

12. Neighborhood Context

In order to ensure that the future buildings are sensitive to the privacy and existing character of the adjacent single family neighborhood, the proposed multi-family development shall address the following:

- Street trees will be provided along 90th Street and Bluewater Road;
- A minimum of 10 evergreen trees will be included to provide additional screening along 90th Street and Bluewater Road;
- All buildings shall be flat roof;
- The minimum setback along 90th Street and Bluewater Roads shall be increased from 10 feet to 30 feet for any building more than single story;
- The landscape setback along both 90th Street and Bluewater shall include 2 to 3 foot tall berms where appropriate;
- The site plan and building designs shall take into consideration landscape and grading enhancements to maximum the privacy of the adjacent single-family homes whose back yards are adjacent to both 90th Street and Bluewater Road;
- Solid half walls (instead of open railings) shall be provided on all third story balconies facing the houses on 90th Street and Bluewater Road; and
- Four story buildings, if adjacent to either 90th Street or Bluewater Road, shall be sited so that the living areas do not face the adjacent single-family homes.

13. Character of Development: Elements of Contemporary Southwest Architecture



The Village At Avalon

DESIGN GUIDELINES

Prepared for:
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June 2015

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