

PROJECT: 1003478  
DATE: 6-17-15  
APP: 15-10228

**SITE DEVELOPMENT PLAN FOR SUBDIVISION:  
REQUIRED INFORMATION**

THE SITE: THE SITE CONSISTS OF 1 EXISTING LOT (TRACT 8, AVALON SUBDIVISION UNIT 5). THE SITE CONTAINS APPROXIMATELY 9.98 ACRES.

PROPOSED USE: THE ZONING FOR TRACT 8 SHALL BE SU-1 FOR R-2 USES.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS SHALL BE DETERMINED IN CONJUNCTION WITH THE SITE PLAN FOR BUILDING PERMIT. BLUEWATER ROAD HAS EXISTING BIKE LANES WHICH PROVIDE ACCESS TO THE SUBJECT PROPERTY.

INTERNAL CIRCULATION REQUIREMENTS: INTERNAL CIRCULATION SHALL BE DEVELOPED IN ACCORDANCE WITH THE EXISTING PLATTED RIGHTS-OF-WAY AND AS DEFINED BY THE SITE PLAN FOR BUILDING PERMIT. PRIMARY ACCESS SHALL BE ONTO 90TH STREET, WITH EMERGENCY EGRESS ONLY ONTO BLUEWATER ROAD. LOS VOLCANES ROAD, WEST OF 90TH STREET, HAS BEEN VACATED.

BUILDING HEIGHTS AND SETBACKS: PURSUANT TO THE R-2 ZONING REGULATIONS.

MAXIMUM F.A.R.: MAXIMUM FLOOR AREA RATIO SHALL BE .5.

LANDSCAPE PLAN: A CONCEPTUAL LANDSCAPE PLAN SHALL BE DEVELOPED IN ACCORDANCE WITH THE SITE PLAN FOR BUILDING PERMIT AND CONSISTENT WITH THESE LANDSCAPING AND SCREENING REQUIREMENTS (SHEET 2).

PROJECT NUMBER: 100 3478  
APPLICATION NUMBER: 14EPC-40067

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED DECEMBER 11, 2014, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

**The Village**  
At  
**Avalon**

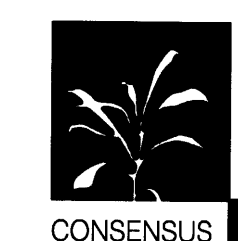
**SITE PLAN FOR SUBDIVISION**

Prepared for:  
Curb, Inc.

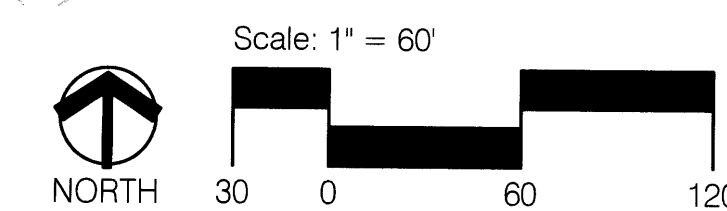
June 2015

Prepared by:  
Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102

Dekker Perich Sabatini  
7601 Jefferson Street NE  
Albuquerque, NM 87109



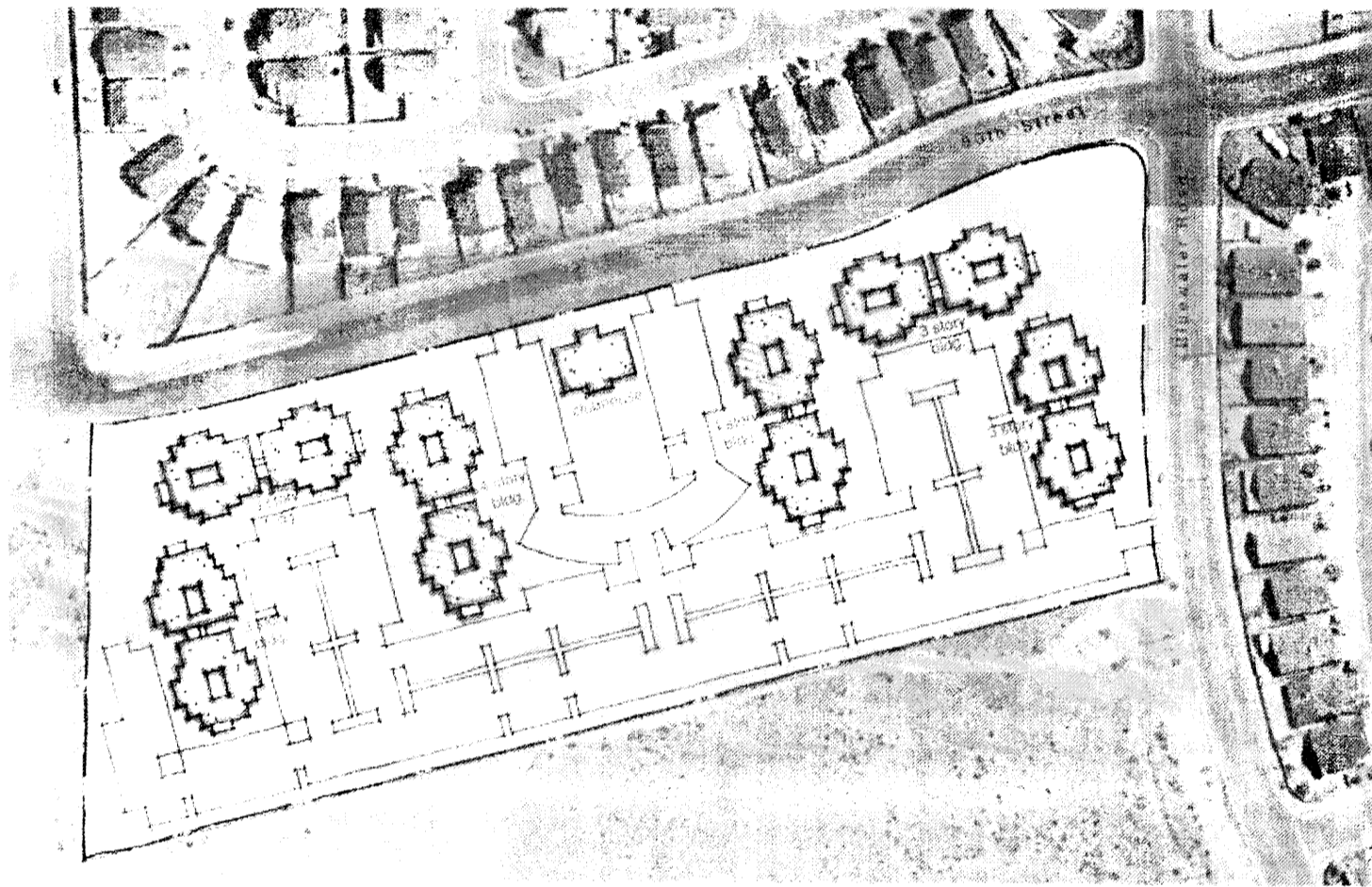
DEKKER  
PERICH  
SABATINI



## DESIGN STANDARDS

The purpose of these design standards is to establish a development framework for multi-family development known as The Village at Avalon. These design standards will ensure the creation of an attractive and innovative development that fosters a sense of community for residents and the surrounding neighborhood and allows for an appropriate transitional use between existing single family homes and the adjacent industrial zoned parcels. The new community respects the unique locale of the site and specifically the surrounding single family neighborhoods. It also allows for the privacy and well-being of the residents and other users. These standards are complementary to the existing neighborhoods and future non-residential development.

The overall theme of the project is a family oriented, pedestrian friendly and environmentally sustainable community. The development consists of rental apartments for families with associated active and passive outdoor spaces for the residents. Service-oriented spaces in the clubhouse will likely include fitness rooms, management leasing office, and other spaces for social functions. Green and sustainable building practices shall be incorporated: passive interception of surface water in parking lot landscape surfaces, xeric planting, directing roof water from downspouts to landscape areas to manage the first flush when feasible, Energy Star appliances, and some materials with recycled content. Semi-private spaces for the residents are shown in the inner areas of the site and residents have private patios, courtyards, balconies, decks or roof decks.



Illustrative Site Design

The Environmental Planning Commission retains authority for the review and approval of the future Site Development Plan for Building Permit. The Site Plan for Building Permit shall be reviewed and found to be consistent with this Site Development Plan for Subdivision, the Comprehensive Zoning Code, and the Development Process Manual. Any required public infrastructure shall be identified and required as part of the DRB's review of the site plan.

### 1. Off-Street Parking

Off-Street parking shall be in general compliance with other similar developments under the R-2 zoning. Considerations to reduce required parking by a maximum of 10% shall be allowed if such reductions result in greater landscape buffers on 90th street. Parking will be located primarily on the west side of the parcel to provide a significant buffer to the future industrial development. Alternative transportation sources are encouraged. Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided. Bicycle racks shall be constructed of metal and finished in colors harmonious with those of the buildings on site.

### 2. Landscape

The landscape design will strive to engage the users by providing a welcoming environment for the residents and public. Through the use of xeric plants outdoor spaces will have seasonal color, texture and scale and will compliment the architecture. Trees will be used to provide shade in pedestrian areas, highlight intersections and establish hierarchy of vehicular drives. Accent plants will be used to emphasize entries and provide sculptural interest. The remainder of the plant palette will be a mixture of shrubs, ornamental grasses and groundcovers. The landscape design will comply with the intent of the city of Albuquerque Water Conservation, Landscaping and Water Waste ordinance and 14-16-3-10 of the City of Albuquerque General Regulations. An emphasis shall be placed on the landscaping adjacent to 90th Street NW and Bluewater Road NW. All trees and shrubs on 90th Street and Bluewater Road NW will be designed to meet the Street Tree Ordinance §6-6-2-1.

### 3. Site Lighting

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance

of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".
- Site lighting will be designed to ensure that it does not shine onto the adjacent residential properties to the east and south.
- The height of street lights and parking area lights shall be kept to the minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- Perimeter parking: 25' high maximum pole with cutoff features.
- Other parking: 16' high maximum pole within 100 feet of the adjacent single family neighborhoods (provided that the lighting fixture does not directly shine on any residential premises).
- Buildings and adjacent pedestrian areas: Building mounted fixtures and bollards for security and pedestrian lighting.
- Site lighting to comply with the Area Lighting Regulations, 14-16-3-9 of the Zoning Code.

### 4. Placement of Mechanical Units

Care shall be made to hide the view of exposed mechanical units, riders, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used. Ground level units shall be screened from public view through free-standing dense evergreen foliage or on "green walls". Roof mounted units shall be screened from public view through the use of parapet walls or roof screens that are architecturally coordinated with the building they serve.

### 5. Signage

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and compliments the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations of the Zoning Code.
- Signs identifying the principal use of a building may be free-standing (monument style) or wall-mounted.
- The design of the interior directional signs shall be coordinated with the design of the site signage.
- No illuminated plastic panel signs are allowed.
- No illuminated signage shall face existing residential areas to the east and south.

### 6. Screen walls and fences

Site fencing will be designed to comply with section 14-16-3-19 in the Zoning Code to be harmonious with the development & adjacent properties. "Green walls" - 6' high open metal fencing (excluding chain link fencing) with plant material growing on or adjacent - will be used in all possible locations including the west and north site perimeter. The color will be neutral so as to harmonize with the plant materials. Similar material and colors will be used for building guardrails.

Patio walls shall reflect the same use of stucco finish to complement that of the buildings, or may contrast the building finish by use of metal fencing (rail or solid) to articulate semi-private patios and balconies. Patio walls shall not exceed 5'. Color shall be harmonious with the adjacent building. Refuse container walls will be a composite of CMU wall with stained cement board in a metal frame for operable gates. It will be stained and painted with colors used on the buildings.

### 7. Sidewalks and Pedestrian Connectivity

Public and private walks provide important connectivity within the project as well as in and out of the site. All sidewalks shall be concrete, with a minimum of 4'-0" width. The use of asphalt is not permitted. Concrete or compacted crusher fines with stabilizer are acceptable materials. All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this unfeasible. Pedestrian crossings of drive aisles shall be clearly demarcated with contrasting paving treatment. Buildings adjacent to 90th Street and Bluewater Roads shall have connective sidewalks leading from public sidewalks to the primary building entries or building portals. If fencing is proposed, these connective sidewalks shall have access gates through the fencing. Opportunities for future sidewalk connections shall be provided through the subject site to provide future pedestrian connections to the future development to the west, if appropriate.

### 8. Private Open Space

An important design of this community is the inclusion of open spaces for resident recreation: These open space areas provide opportunities for residents to meet their neighbors and visitors to the site. The project is designed with recreational swimming pool and fitness components for adults and various ages of children.

### 9. Exterior Wall Materials and Colors

Exterior style will reflect a "Contemporary Southwest" vernacular. Articulation of building massing is required. Long and flat building facades are not allowed without articulations at a maximum of 32 foot intervals. Building entry portals shall have contrasting material or color changes to identify and enrich these points of entry. They further promote pedestrian site access and a place for people to socialize. Stucco wall finish system (or synthetic version) reinforces the vernacular architectural expression as do crisp and contemporary materials and finishes such as metal railings, downspouts and parapet caps consistent with the style.

Exterior wall color shall reflect a consistent overall palette of earth and sky-based tones, both pale and saturated with color, as is the palette from nature. Color shall be used in conjunction with the grouping of the building's different masses. The apartment buildings shall be a stucco wall finish system and incorporate metal railings at the balconies and stairs. Complementary shading devices and metal detailing such as shade canopies and louvers, trellises and site railings shall be proposed throughout the complex; be consistently detailed, and complement the overall architecture. Reflective glass shall not be permitted.

### 10. Roof Materials

Roof materials and colors shall be reminiscent of the Contemporary Southwest style with the dominant design being low pitch roofs (heat reflective and light colored) concealed from view with building parapets.

### 11. Utilities

Developers shall contact PNM's New Service Delivery Department to coordinate electric service and options for the location of electric service connection. Any existing or proposed public utility distribution easements are to be indicated on subsequent Site Plan for Building Permit utility sheets. PNM's standard for public utility distribution easements is 10 feet in width to ensure adequate, safe clearances. All new electric distribution lines shall be placed underground.

Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers. Transformers, utility pads, and ground-mounted equipment screening shall allow for access to utility facilities. All screening and vegetation surrounding ground mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair purposes. Refer to the PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications.

When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

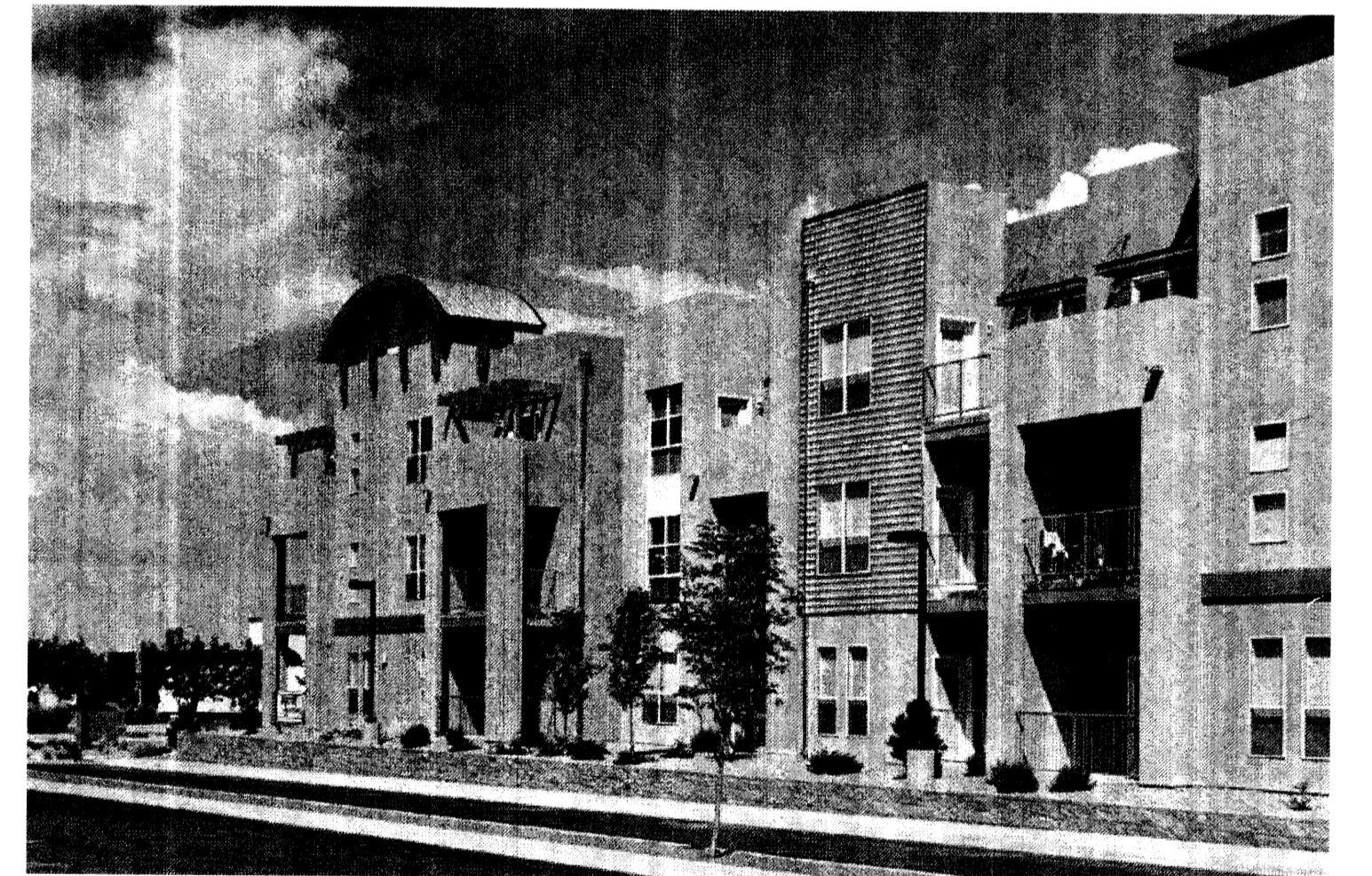
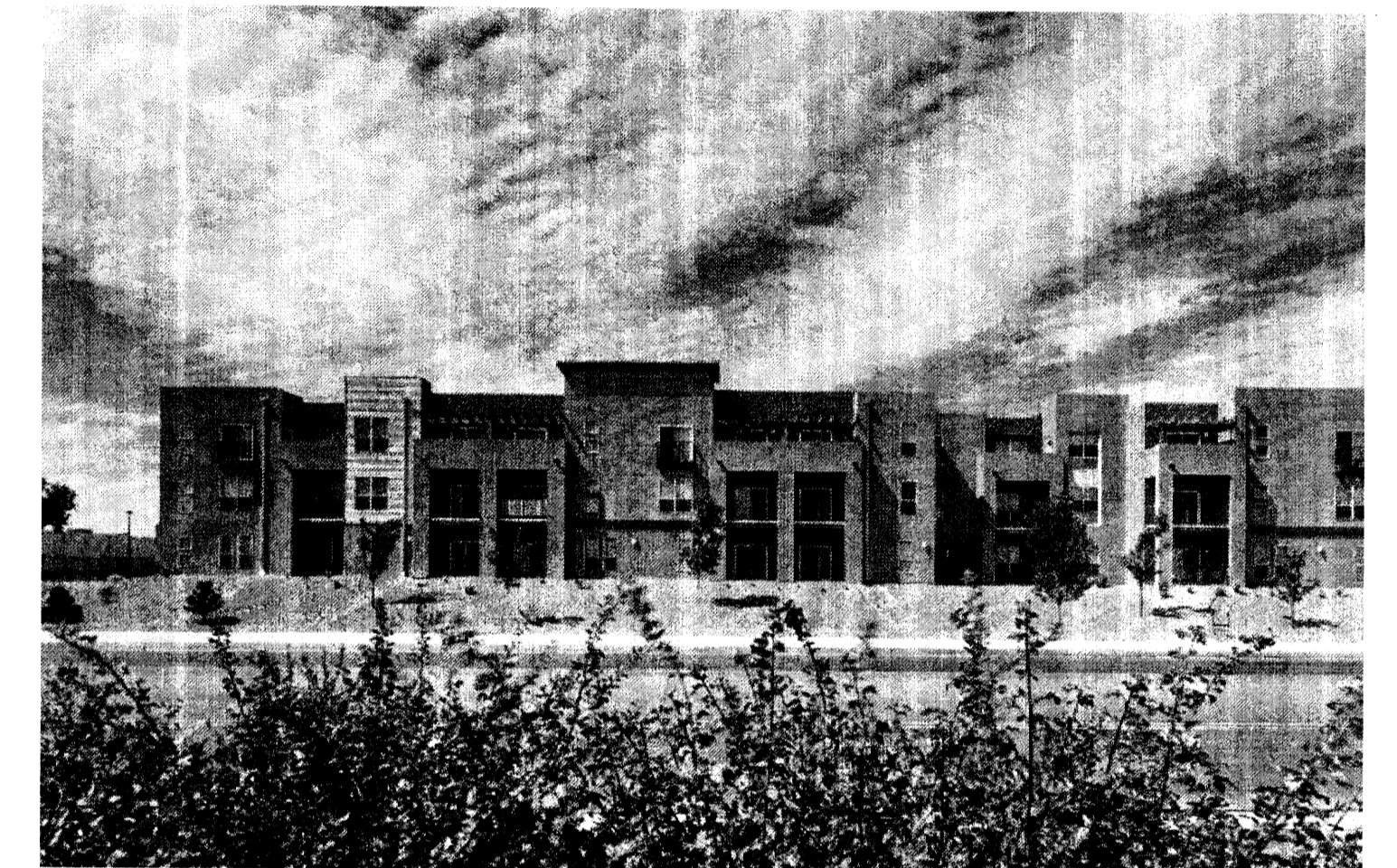
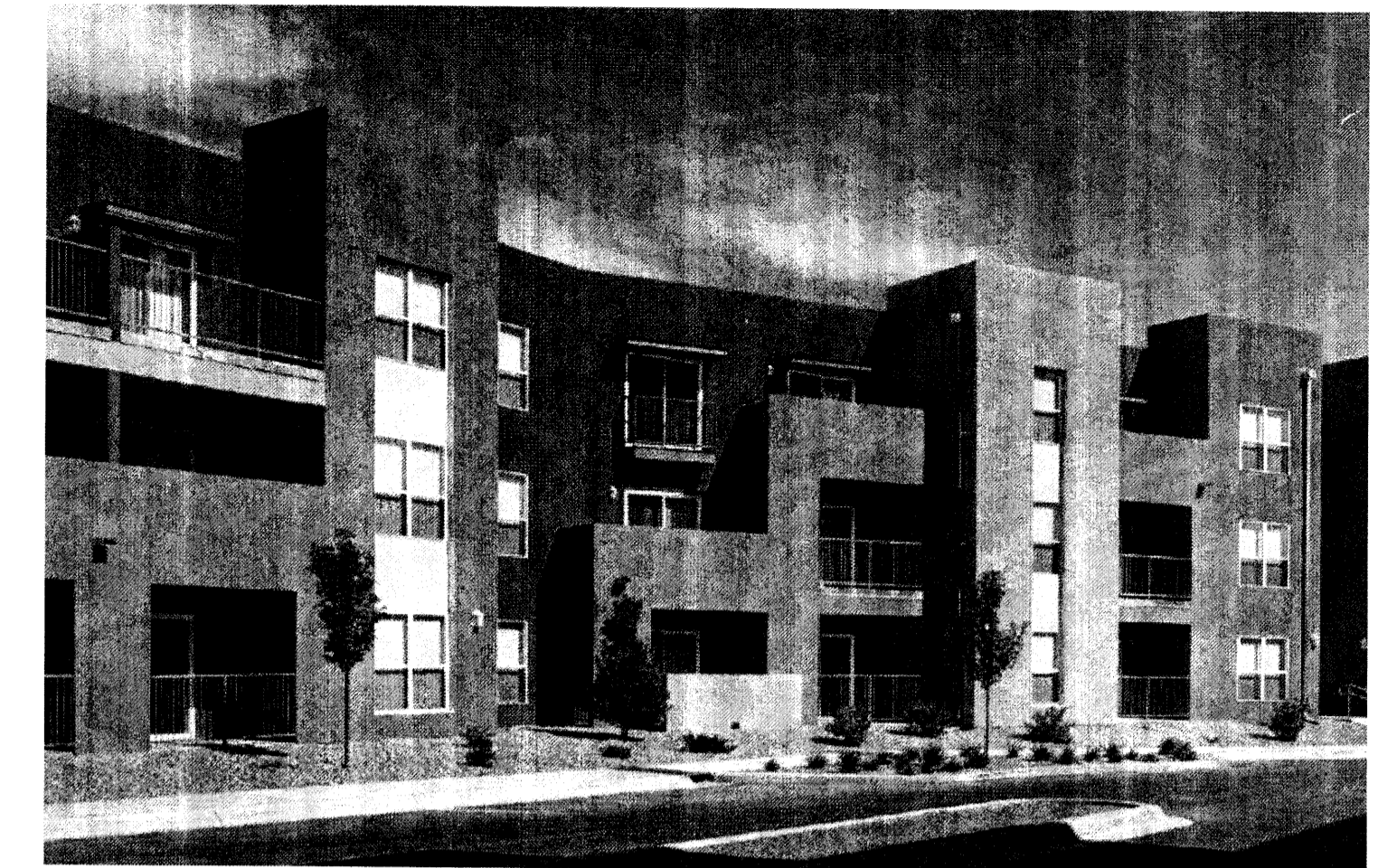
Any wireless communication facilities shall meet FAA regulations, and shall be concealed and architecturally integrated.

### 12. Neighborhood Context

In order to ensure that the future buildings are sensitive to the privacy and existing character of the adjacent single family neighborhood, the proposed multi-family development shall address the following:

- Street trees will be provided along 90th Street and Bluewater Road;
- A minimum of 10 evergreen trees will be included to provide additional screening along 90th Street and Bluewater Road;
- All buildings shall be flat roof;
- The minimum setback along 90th Street and Bluewater Roads shall be increased from 10 feet to 30 feet for any building more than single story;
- The landscape setback along both 90th Street and Bluewater shall include 2 to 3 foot tall berms where appropriate;
- The site plan and building designs shall take into consideration landscape and grading enhancements to maximum the privacy of the adjacent single-family homes whose back yards are adjacent to both 90th Street and Bluewater Road;
- Solid half walls (instead of open railings) shall be provided on all third story balconies facing the houses on 90th Street and Bluewater Road; and
- Four story buildings, if adjacent to either 90th Street or Bluewater Road, shall be sited so that the living areas do not face the adjacent single-family homes.

## 13. Character of Development: Elements of Contemporary Southwest Architecture



# The Village At Avalon

## DESIGN GUIDELINES

Prepared for:  
Curb, Inc.

June 2015

Prepared by:  
Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102

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7601 Jefferson Street NE  
Albuquerque, NM 87109



**DEKKER  
PERICH  
SABATINI**

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

SEAL

PROJECT

**LOUISIANA LOTS**  
 Albuquerque, New Mexico  
 SITE PLAN FOR SUBDIVISION  
 DRB SUBMITTAL

REVISIONS

- △
- △
- △
- △
- △
- △

DRAWN BY	DKM
REVIEWED BY	AA
DATE	10/15/2015
PROJECT NO	14-0087

DRAWING NAME  
**SITE DEVELOPMENT PLAN FOR SUBVISION**

SHEET NO

1 of 2

**GENERAL SHEET NOTES**

- A. APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2013)
- B. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT, OFFICE AND HOUSING
- C. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN

**SHEET KEYED NOTES**

- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

**SITE DATA**

UPC: 101905903119330904 & 101905906316730907  
 SITE ADDRESS: 2440 LOUISIANA BLVD, ALBUQUERQUE, NM 87110  
 LEGAL DESCRIPTION: LOT 5-A-BLK C LOUISIANA SUBD (A REPL. OF LTS 2-7 BLK C) CONT'G 2.2997 AC AND LOT 6-A-1-C-1 BLK C PLAT OF LOTS 6-A-1-C-1 & 7-A-1-A-1-A-BLOCK C LOUISIANA SUBDIVISION COMPRISED OF LOTS 6-A-A-C & 7-A-1-A-A BLOCK C LOUISIANA SUBDIVISION CONT 2.5592 AC  
 ACRES: EXISTING 3.2997 & 2.5592  
 SECTOR DEVELOPMENT PLANS: UPTOWN SDP  
 COMPREHENSIVE PLAN DESIGNATION: ESTABLISHED URBAN  
 ZONE: SU-3 FOR MU-UPT

**BUILDING AREA:**

LOT 5-A-1:	RETAIL	14,067 SF
	RESIDENTIAL	9,709 SF (1 STORY ABOVE RETAIL)
	FAR	0.45
LOT 5-A-2:	EXISTING OFFICE	93,799 SF (7 STORY)
LOT 5-A-3:	NONE	
LOT 6-A-1-C-1-A:	RESIDENTIAL	54,000 SF (5 STORY)
	FAR	0.82
LOT 6-A-1-C-1-B:	OFFICE	5,015 SF (1 STORY)
	FAR	0.27

**DESIGN STANDARDS**

FUTURE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT SHALL ADHERE TO DESIGN STANDARDS AS DESCRIBED WITHIN THE UPTOWN SECTOR DEVELOPMENT PLAN:

**ZONING AND DESIGN REGULATIONS**

**STREET REALM / LANDSCAPING:**

OPEN SPACE	Chapter V Section D (pgs 51 - 53)
PLAZAS	Chapter V Section E (pgs 54 - 55)
LANDSCAPE	Chapter V Section F (pgs 55 - 57)
TREES	Chapter V Section G (pgs 57 - 60)
WALKWAYS	Chapter V Section I (pgs 60 - 61)
LANDSCAPE BUFFERS	Chapter V Section I (pgs 61 - 62)
LANDSCAPE PLAN	Chapter V Section K (pgs 65 - 66)

**BUILDING DESIGN:**

HEIGHT / SETBACK REGULATIONS	Chapter IV Sections G & H (pgs 46 - 47) Chapter V Section A (pgs 49 - 50)
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**SIGNAGE:**

REGULATIONS	Chapter V Section L (pgs 66 - 73)
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**SITE DESIGN:**

PARKING REGULATIONS	Chapter V Section J (pgs 62 - 65) Chapter V Section B (pg 50) Screening Chapter V Section C (pg 51) Fencing and Walls Chapter VI Section A - F (pgs 75 - 77) Connectivity
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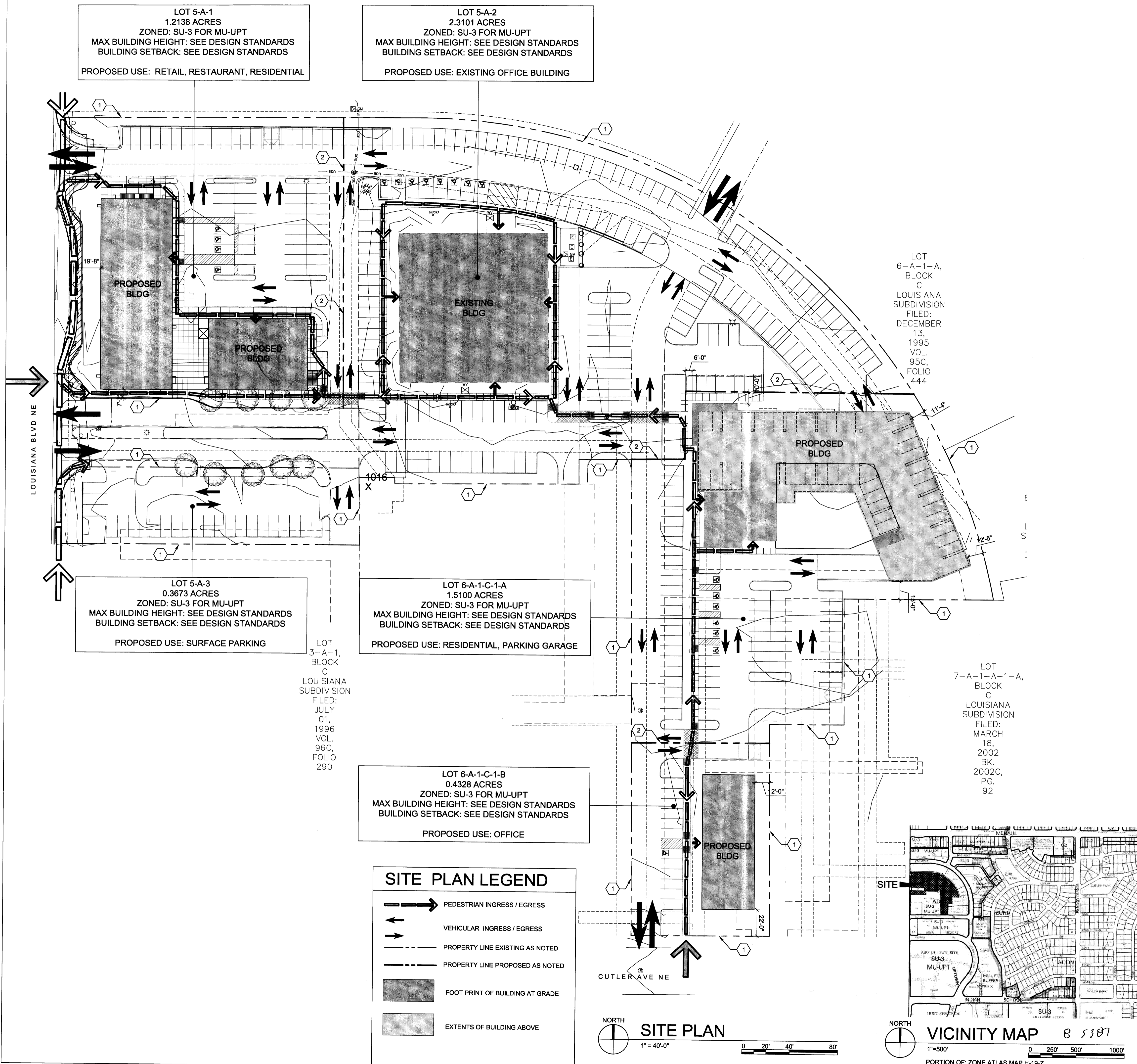
PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List Required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



LOT 5-A-1  
1.2138 ACRES  
ZONED: SU-3 FOR MU-UPT  
MAX BUILDING HEIGHT: SEE DESIGN STANDARDS  
BUILDING SETBACK: SEE DESIGN STANDARDS  
PROPOSED USE: RETAIL, RESTAURANT, RESIDENTIAL

LOT 5-A-2  
2.3101 ACRES  
ZONED: SU-3 FOR MU-UPT  
MAX BUILDING HEIGHT: SEE DESIGN STANDARDS  
BUILDING SETBACK: SEE DESIGN STANDARDS  
PROPOSED USE: EXISTING OFFICE BUILDING

LOT 6-A-1-A, BLOCK C  
LOUISIANA SUBDIVISION  
FILED: DECEMBER 13, 1995  
VOL. 95C, FOLIO 444

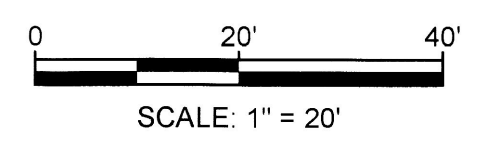
LOT 7-A-1-A-1-A, BLOCK C  
LOUISIANA SUBDIVISION  
FILED: MARCH 18, 2002  
BK. 2002C, PG. 92

LOT 5-A-3  
0.3673 ACRES  
ZONED: SU-3 FOR MU-UPT  
MAX BUILDING HEIGHT: SEE DESIGN STANDARDS  
BUILDING SETBACK: SEE DESIGN STANDARDS  
PROPOSED USE: SURFACE PARKING

LOT 6-A-1-C-1-A  
1.5100 ACRES  
ZONED: SU-3 FOR MU-UPT  
MAX BUILDING HEIGHT: SEE DESIGN STANDARDS  
BUILDING SETBACK: SEE DESIGN STANDARDS  
PROPOSED USE: RESIDENTIAL, PARKING GARAGE

LOT 6-A-1-C-1-B  
0.4328 ACRES  
ZONED: SU-3 FOR MU-UPT  
MAX BUILDING HEIGHT: SEE DESIGN STANDARDS  
BUILDING SETBACK: SEE DESIGN STANDARDS  
PROPOSED USE: OFFICE

LOT 3-A-1, BLOCK C  
LOUISIANA SUBDIVISION  
FILED: JULY 01, 1996  
VOL. 96C, FOLIO 290

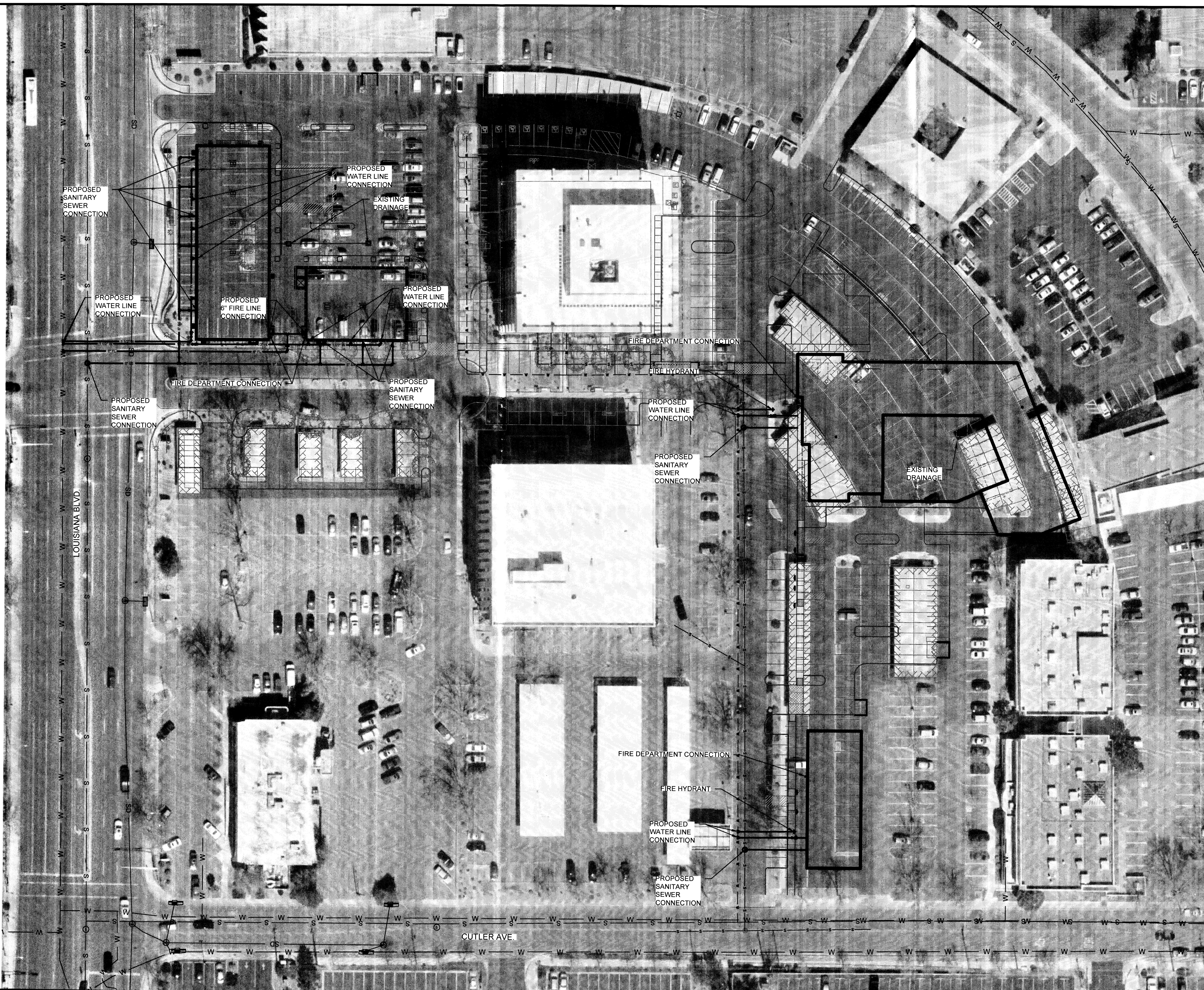


**LEGEND**

- 90° BEND
- CLEANOUT
- DOMESTIC WATER LINE
- EXISTING DOMESTIC WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING CLEANOUT
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN LINE
- EXISTING STORM DRAIN MANHOLE
- EXISTING VALVE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- FIRE WATER LINE
- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- TEE
- VALVE
- WATER METER

**ABBREVIATIONS**

- CO CLEANOUT
- FL FIRE LINE
- HYD HYDRANT
- S SANITARY
- SSCO SANITARY SEWER CLEANOUT
- SD STORM DRAIN
- W WATER
- WM WATER METER
- WV WATER VALVE



	By CHKD	
	Description	
	Rev # Date	
<p><b>SOUDEY, MILLER &amp; ASSOCIATES</b>          3451 Candelaria Road NE, Suite D          Albuquerque, NM 87107          Phone (505) 299-0942 Toll-Free (877) 299-0942 Fax (505) 293-3430          www.soudeymiller.com          Serving the Southwest &amp; Rocky Mountains          Albuquerque, NM • Phoenix, AZ • San Francisco, CA • Salt Lake City, UT • Las Vegas, NV</p>		
<p><b>AFCS LLC</b> SAN DIEGO, CALIFORNIA</p>		
<p><b>SKETCH PLAT OF LOTS 5-A-1 AND 5-A-2</b>  <b>LOUISIANA SUB., ALBUQUERQUE, NM</b>  <b>CONCEPTUAL UTILITY PLAN</b></p>		
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p>		
Designed SFG	Drawn SFG	Checked RJS
Date: October 2015		
Scale: Horiz: 1" = 20' - 0"		
Vert: -		
Project No: 2423032		
Sheet: -		

DEKKER PERICH SABATINI

PROJECT: 1003-178  
DATE: 10-21-15  
APP: 15-70379  
REVISION: SRP

DRB SUBMITAL  
OCTOBER 13, 2015

VILLAGE AT AVALON APARTMENTS  
90TH STREET & BLUEWATER ROAD SW  
ALBUQUERQUE, NM

REVISIONS  
BROZON/DEPERO/DOBBS/ABR/ROVAL

DRAWN BY MJH  
REVIEWED BY RAW  
DATE 10/13/2015  
PROJECT NO. 15-0074  
DRAWING NAME

SITE PLAN

SHEET NO. SDP-1.1 OF

DRAWING INDEX

- 1 OF 12 SDP-1.1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
2 OF 12 SDP-1.2 PROJECT DETAILS
3 OF 12 SDP-2.1 LANDSCAPE PLAN
4 OF 12 SDP-3.1 GRADING AND DRAINAGE PLAN
5 OF 12 SDP-3.2 GRADING AND DRAINAGE PLAN
6 OF 12 SDP-4.1 UTILITY PLAN
7 OF 12 SDP-5.1 BUILDING ELEVATIONS
8 OF 12 SDP-5.2 BUILDING ELEVATIONS
9 OF 12 SDP-5.3 BUILDING ELEVATIONS
10 OF 12 SDP-5.4 BUILDING ELEVATIONS
11 OF 12 SDP-6.1 APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION DESIGN STANDARDS
12 OF 12 SD2

GENERAL SHEET NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS
B. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS
D. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-3-9 AREA LIGHTING REGULATIONS, RE: LIGHT POLE DETAIL SHEET SDP-1.2
E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE
F. SEE UNIT DATA TABLE SHEET SDP-1.2 AND LANDSCAPE SHEET SDP-3.1 FOR OPEN SPACE CALCULATIONS
G. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES
H. ALL PARKING SPACES AT 9'-0" X 18'-0" UNO, RE: SDP-1.2

SHEET KEYED NOTES

- 1. PROPERTY LINE
2. PROPERTY SETBACK
3. LEASING/CLUBHOUSE BUILDING
4. METAL FENCE SWING GATE, HEIGHT AND FINISH TO MATCH ADJACENT FENCE
5. 8'-6" X 20' ADA PARKING STALL, RE: C3/SDP-1.2
6. 8'-6" X 20' ADA ACCESS AISLE, RE: C3/SDP-1.2
7. 3'-6" X 20' ADA ACCESS AISLE, RE: C3/SDP-1.2
8. PAINTED ADA PAVEMENT SIGN
9. POLE MOUNTED ADA SIGN, RE: B2/SDP-1.2
10. TYPICAL MOTORCYCLE PARKING SPACE; 4'-0" X 8'-0", WITH POLE MOUNTED SIGNAGE, RE: B2/SDP-1.2
11. LANDSCAPED AREA; RE: LANDSCAPE PLAN SHEET SDP-2.1
12. 6' METAL FENCE, PAINTED NEUTRAL COLOR
13. 4' METAL FENCE, PAINTED NEUTRAL COLOR
14. ROLLING SECURITY GATE TO MATCH STYLE AND NEUTRAL TONE OF FENCE
15. GATE ENTRY PAD/POST
16. TRASH ENCLOSURE; RE: B1/SDP-1.2
17. METAL BIKE RACK; CONCRETE SIDEWALK, PAINTED NEUTRAL COLOR, CAPACITY AS NOTED AT EACH LOCATION "BR-4", RE: A2/SDP-1.2 TOTAL BIKE PARKING 120 SPACES
18. PAINTED PEDESTRIAN CROSSWALK
19. TRASH COMPACTOR ENCLOSURE (1115 SF), SOLID MASONRY WALLS, HEIGHT AS REQUIRED FOR EQUIPMENT CLEARANCES, MAX 16'-0", RE: B1/SDP-1.2 SIMILAR PRIMARY BUILDING ENTRY
20. ACCESSIBLE ROUTE
21. DRAINAGE AREA, RE: CIVIL GRADING AND DRAINAGE PLAN SHEET SDP-3.1
22. 6" CONCRETE CURB
23. CONCRETE SIDEWALK, WIDTH AS NOTED
24. SOLID MASONRY WALL, DESIGN TO COMPLIMENT EXISTING NEIGHBORHOOD WALLS AND MEET COA AND REGULATIONS
25. FIRE LANE, 26' WIDTH STANDARD, 28' WIDTH AROUND GARAGES
26. FIRE DEPARTMENT CONNECTION
27. PLAYGROUND AREA AND EQUIPMENT AGES 5-12 WITH WARNING SIGN
28. CONCRETE BASKETBALL HALF-COURT AND BASKETBALL STANDARD
29. STOP SIGN
30. CONCRETE WHEEL STOP
31. BENCH, BENCHES WILL BE ACCESSIBLE ALONG SIDEWALKS
32. SITE WALL
33. MONUMENT SIGN, RE: D1/SDP-1.2
34. GARAGE PARKING, 10' X 20' STALLS
35. GARAGE PARKING VAN ACCESSIBLE PARKING STALL
36. ACCESSIBLE GROUND FLOOR DWELLING UNIT
37. SWIMMING POOL
38. HOT TUB
39. CLUSTER MAILBOXES
40. SHADE STRUCTURE
41. BBO GILL AND PICNIC TABLES, FUTURE SHADE STRUCTURE
42. TURF AREA
43. MAINTENANCE SHED (320 SF)
44. MULTIFAMILY RESIDENTIAL BUILDING, RE: SHEET SDP-1.2 FOR BUILDING AND UNIT DATA
45. STEP IN BUILDING FINISHED FLOOR ELEVATION
46. CONCRETE ADA RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES PER COA STANDARD
47. PATIO FURNITURE
48. LOADING/UNLOADING SPACE WITH POLE MOUNTED SIGN, RE: B2/SDP-1.2
49. PAINTED AND PARKING CAPITAL LETTERS TO BE MIN 1'-0" TALL WITH 2" STROKE
50. THE PLAN REFLECTS THE POTENTIAL FOR A PEDESTRIAN GATE ON THE WEST SIDE OF THE PROPERTY THAT MAY BE ADDED WITH FUTURE DEVELOPMENT OF THE PROPERTY TO THE WEST

LEGEND

- LANDSCAPE BUFFER INCREASED ALONG 90TH TO OFFSET 10% OF PARKING - TOTAL INCREASE 10,541 SF
PARKING AREA REDUCED BY INCREASE IN LANDSCAPE BUFFER - TOTAL DECREASE 8,380 SF
PAINTED DIRECTIONAL ARROWS
PEDESTRIAN POLE LIGHTS, 12' HIGH MAX
PARKING LOT LIGHT, 25' HIGH MAX AT PERIMETER PARKING, 16' HIGH MAX WITH 100' OF SINGLE FAMILY RESIDENTIAL NEIGHBORHOOD
3 STORY BUILDING
4 STORY BUILDING
FIRE HYDRANT, RE: CONCEPTUAL UTILITY PLAN
POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
FIRE DEPARTMENT CONNECTION, RE: CONCEPTUAL UTILITY PLAN

PROJECT NUMBER:

APPLICATION NUMBER: Is an Infrastructure List Required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

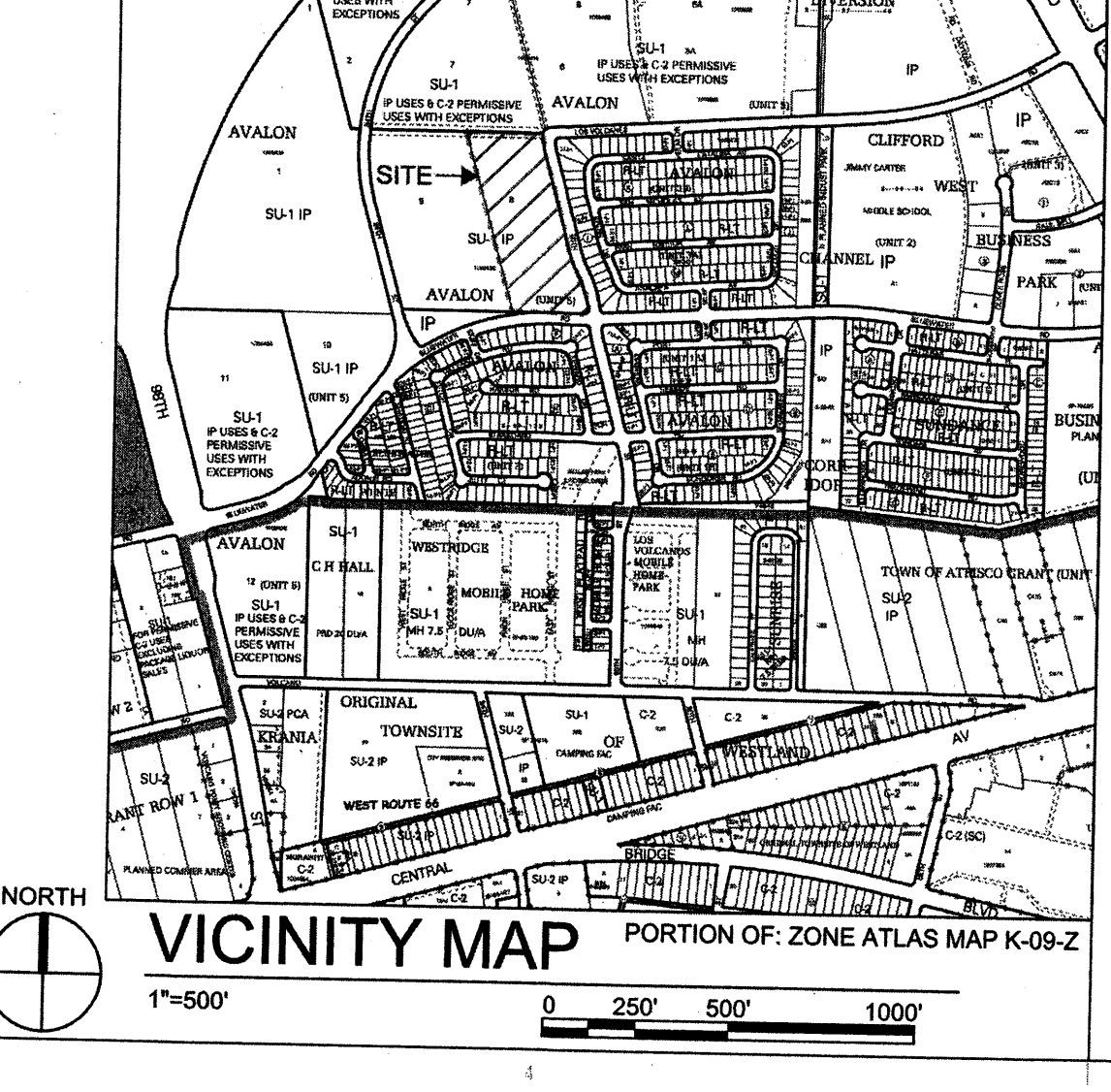
Table with columns for TRAFFIC ENGINEER, PARKS AND RECREATION DEPARTMENT, CITY ENGINEER, SOLID WASTE MANAGEMENT, and DRB CHAIRPERSON, with fields for DATE and SIGNATURE.

SITE DATA

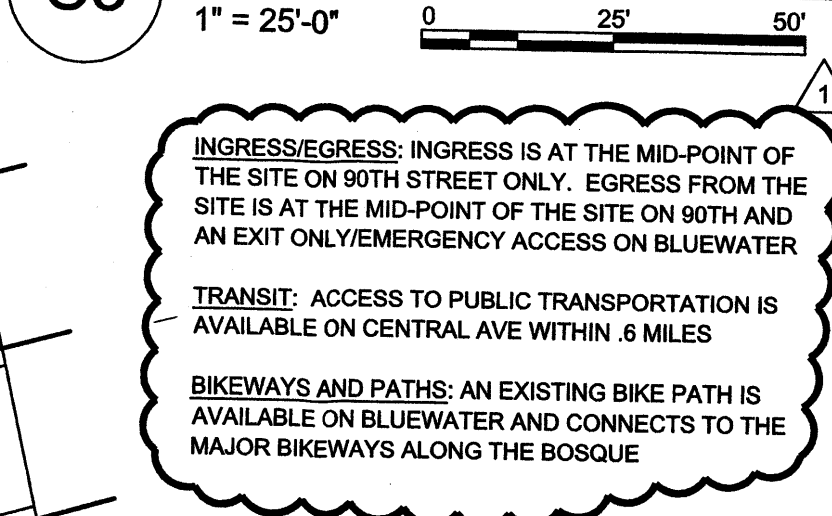
SITE ADDRESS: TBD
LEGAL DESCRIPTION: TRACT 8, AVALON SUBDIVISION UNIT 5, FILED 5/22/2014 IN BOOK 2014C, PAGE 46.
ACRES: 9.9828 AC (434,851 SF)
DEVELOPMENT PLANS: NO SECTOR PLAN
AREA PLAN: WESTSIDE STRATEGIC PLAN
DEVELOPING URBAN COMPREHENSIVE PLAN
ZONING SUMMARY: SU-1 FOR R2 APARTMENTS
CONSTRUCTION TYPE: VA, FULLY SPRINKLERED, NFPA 13R
ALLOWABLE SF = 12,000SF, 3 STORY + FRONTAGE INCREASE OF 7,200SF = 19,200 PER STORY
INCREASE FOR FIRE SPRINKLER = 1 ADDITIONAL STORY
DENSITY: PERMITTED 30 DU PER AC ACTUAL 24 DU PER AC, RE: UNIT DATA SHEET SDP-1.2
FLOOR AREA RATIO: FAR OF .5 PERMITTED FAR OF .47 ACTUAL, RE: BUILDING DATA SHEET SDP-1.2
BUILDING SETBACKS: 15' FRONT SETBACK 10' SIDE SETBACK AT STREET SIDE 5' SIDE SETBACK AT INTERNAL PROPERTY LINE 15' REAR SETBACK
DESIGN STANDARDS INCREASE SETBACK ON 90TH AND BLUEWATER TO 30'-0" - DESIGN TEAM TO WORK COLLABORATIVELY WITH NEIGHBORHOOD ASSOCIATION TO ACHIEVE BUFFERING AND PRIVACY OBJECTIVES
BUILDING HEIGHT: REFER TO BUILDING HEIGHT DIAGRAMS ON SHEET SDP-1.2
HEIGHT UP TO 28' PERMITTED AT ANY LEGAL LOCATION.
HEIGHT OVER 28' SHALL FALL WITHIN 60 DEGREE ANGLE - INTERNAL BOUNDARY
HEIGHT OVER 28' SHALL FALL WITHIN 60 DEGREE ANGLE - INTERNAL BOUNDARY
SOLAR ACCESS PROTECTION, NORTHERN BOUNDARY MUST.
HEIGHT OVER 28' SHALL FALL WITHIN 45 DEGREE ANGLE - INTERNAL BOUNDARY
HEIGHT SHALL NOT EXCEED 28' WITHIN 85' OF LOT ZONED FOR HOUSES

PARKING

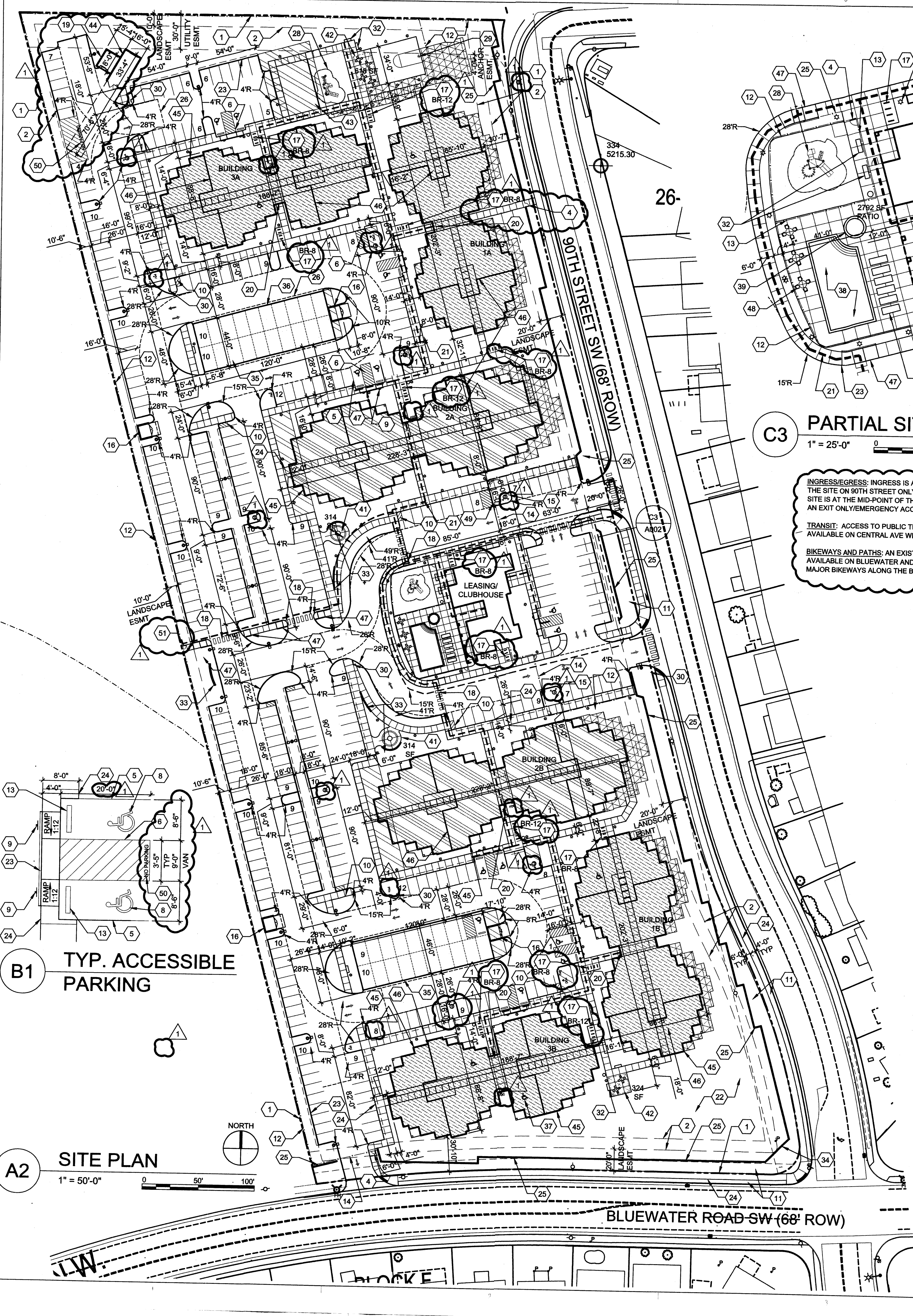
Table with columns: SPACES PER UNIT, QUANTITY OF UNITS < 1000SF, UNITS > 1000SF, PARKING SPACES REQUIRED. Includes summary: 10% PARKING REDUCTION PER DESIGN STANDARDS FOR INCREASED LANDSCAPE BUFFER. LANDSCAPE BUFFER INCREASE = 10,541 SF, PARKING AREA DECREASE 8,380 SF, 42 SPACES AT 9'X20' = 7,560 SF. ACCESSIBLE SPACES REQUIRED = 12, PROVIDED 6 CAR AND 7 VAN. MOTORCYCLE SPACES REQUIRED = 6. 40 GARAGE SPACES ARE INCLUDED WITH 1 VAN ACCESSIBLE.



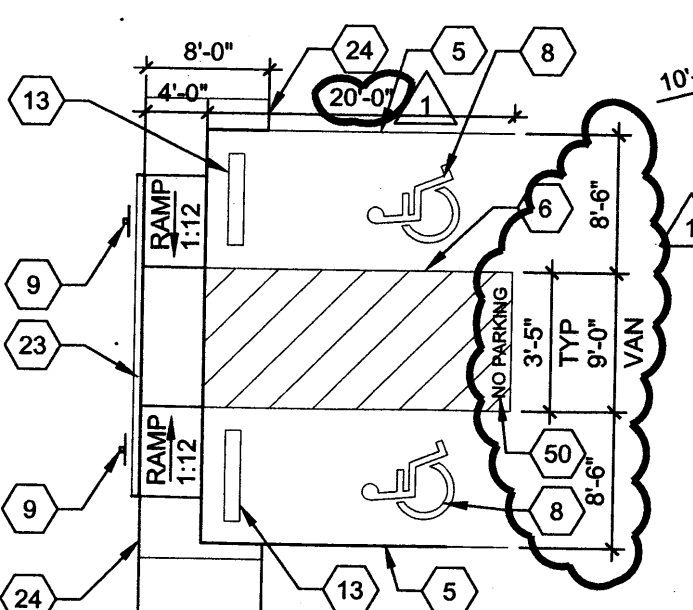
C3 PARTIAL SITE PLAN



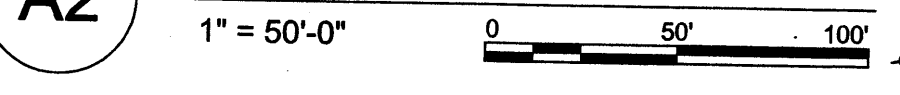
INGRESS/EGRESS: INGRESS IS AT THE MID-POINT OF THE SITE ON 90TH STREET ONLY. EGRESS FROM THE SITE IS AT THE MID-POINT OF THE SITE ON 90TH AND AN EXIT ONLY/EMERGENCY ACCESS ON BLUEWATER
TRANSIT: ACCESS TO PUBLIC TRANSPORTATION IS AVAILABLE ON CENTRAL AVE WITHIN .6 MILES
BIKEWAYS AND PATHS: AN EXISTING BIKE PATH IS AVAILABLE ON BLUEWATER AND CONNECTS TO THE MAJOR BIKEWAYS ALONG THE BOSQUE



B1 TYP. ACCESSIBLE PARKING



A2 SITE PLAN



**DEKKER  
PERICH  
SABATINI**

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

**DRB  
SUBMITAL**  
OCTOBER 13, 2015

PROJECT

**VILLAGE AT AVALON APARTMENTS**  
90TH STREET & BLUEWATER ROAD SW  
ALBUQUERQUE, NM

REVISIONS  
 ▲ EPC CONDITION OF APPROVAL  
 ▲  
 ▲  
 ▲

DRAWN BY MJH  
 REVIEWED BY RAW  
 DATE 10/13/2015  
 PROJECT NO. 15-0074  
 DRAWING NAME  
**PROJECT DATA  
AND DETAILS**

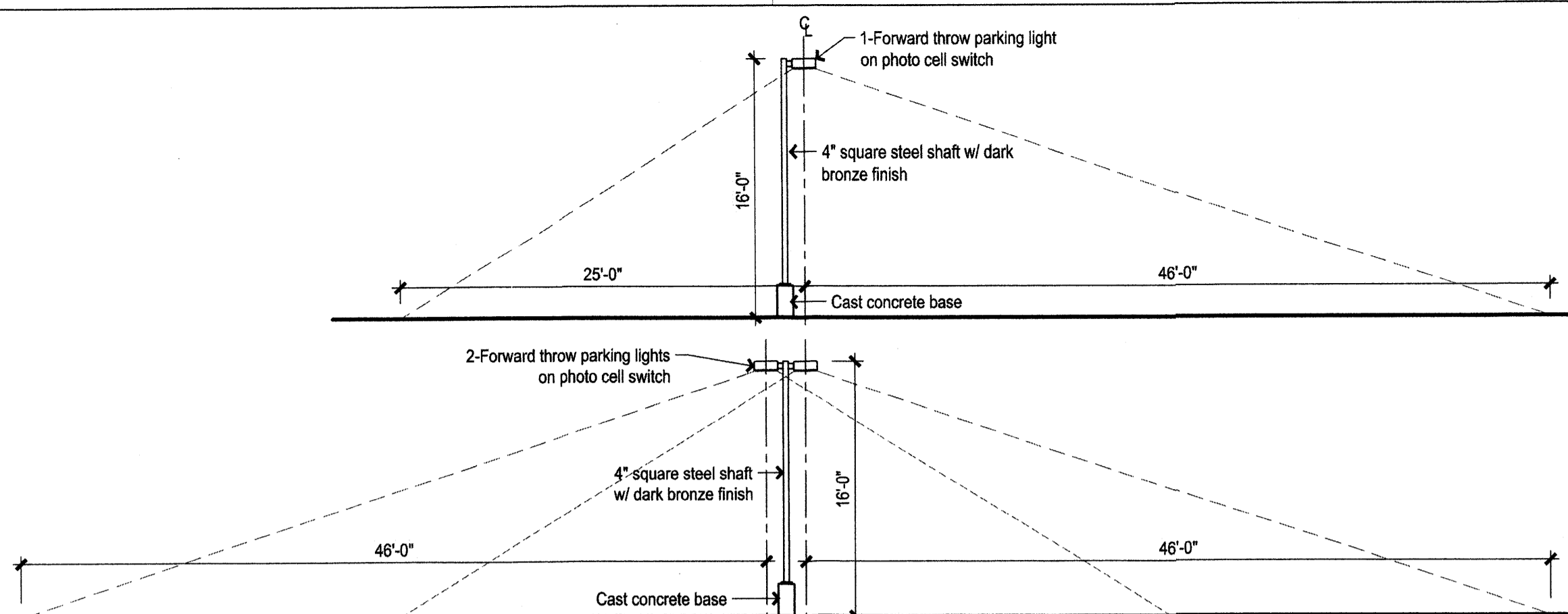
SHEET NO.  
**SDP-1.2**  
 OF

**BUILDING DATA**

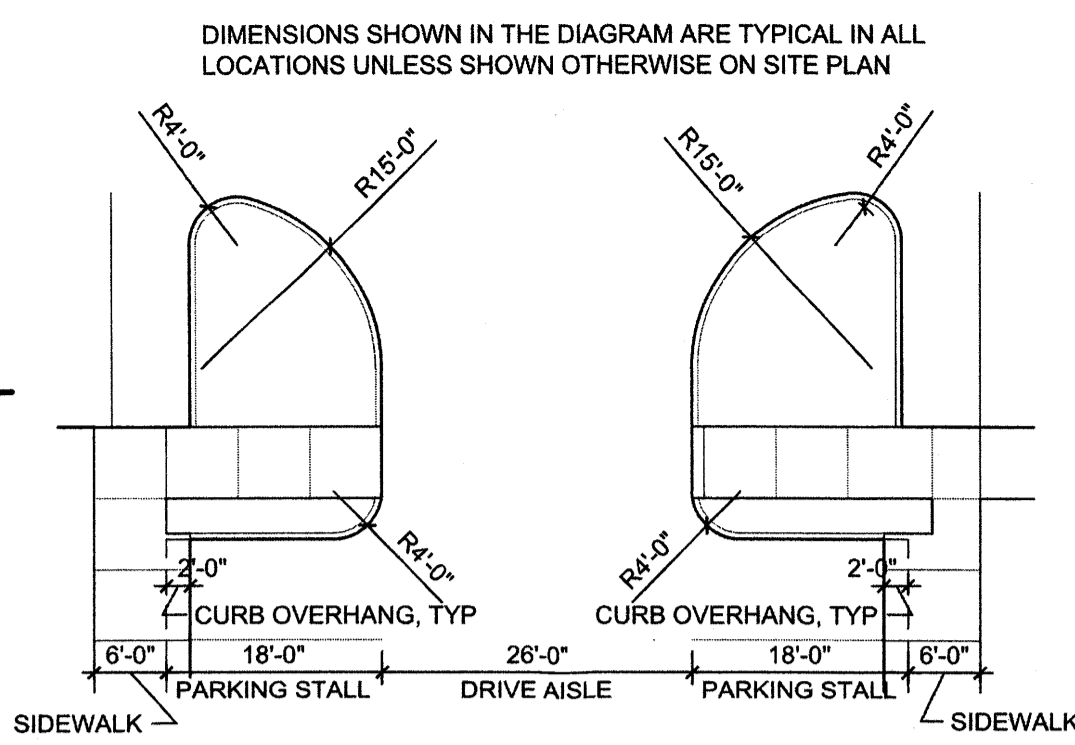
90th and Bluewater - BUILDING DATA				UNIT MIX		
Building 1	Level 1	Heated NSF	Gross SF	1 BD	2 BD	3 BD
	Level 2	10,537.6	13,844.6	4	4	4
	Level 3	10,537.6	13,844.6	4		8
	Total	30,536.8	40,075.7	TOTAL UNITS 32		
Building 2	Level 1	Heated NSF	Gross SF	Total 1 BD on site		
	Level 2	12,132.0	16,006.7	8	8	
	Level 3	12,016.0	16,006.7	8	8	8
	Level 4	12,016.0	16,006.7	8		
Total	45,955.7	61,910.1	TOTAL UNITS 56			
Building 3	Level 1	Heated NSF	Gross SF	Total 2 BD on site		
	Level 2	10,045.4	13,279.3	4	6	2
	Level 3	10,045.4	13,279.3	4	2	6
	Level 4	8,765.7	12,037.6	4	2	2
Total	28,856.5	38,596.2	TOTAL UNITS 32			
Clubhouse	Total sf	57,713.1	77,192.4	Total 3 BD on site 64		
Total Bldg SF on site	Total	3,278.0	4,417.0			
		213,976.08	285,581.00	Total units on site 240		

**UNIT DATA**

90th and Bluewater - UNIT DATA									
QUANTITY	UNIT TYPE	BD/BA QUANTITY	NSF	# ACCESSIBLE (TYPE A) 5%	# HEARING IMPAIRED 2%	# ADAPTABLE (TYPE B) 50%	# VISITABLE 50%	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED
84	1-1A	1BD/1BA	575	3	1	81	48	400	33,600
25	1-1B-1	1BD/1BA	672	0	1	25	7	400	10,000
3	1-1B-2	1BD/1BA	672	3		0	1	400	1,200
3	2-1A	2BD/1BA	919	3		0	2	500	1,500
57	2-2A	2BD/2BA	919	0	1	57	42	500	28,500
36	3-2A	3BD/2BA	1152	3	1	33	12	600	21,600
32	3-2B	3BD/2BA	1186	0	1	32	8	600	19,200
240				12	5	228	120	115,600	177,062



**D1 LIGHT POLE**  
1/8" = 1'-0"

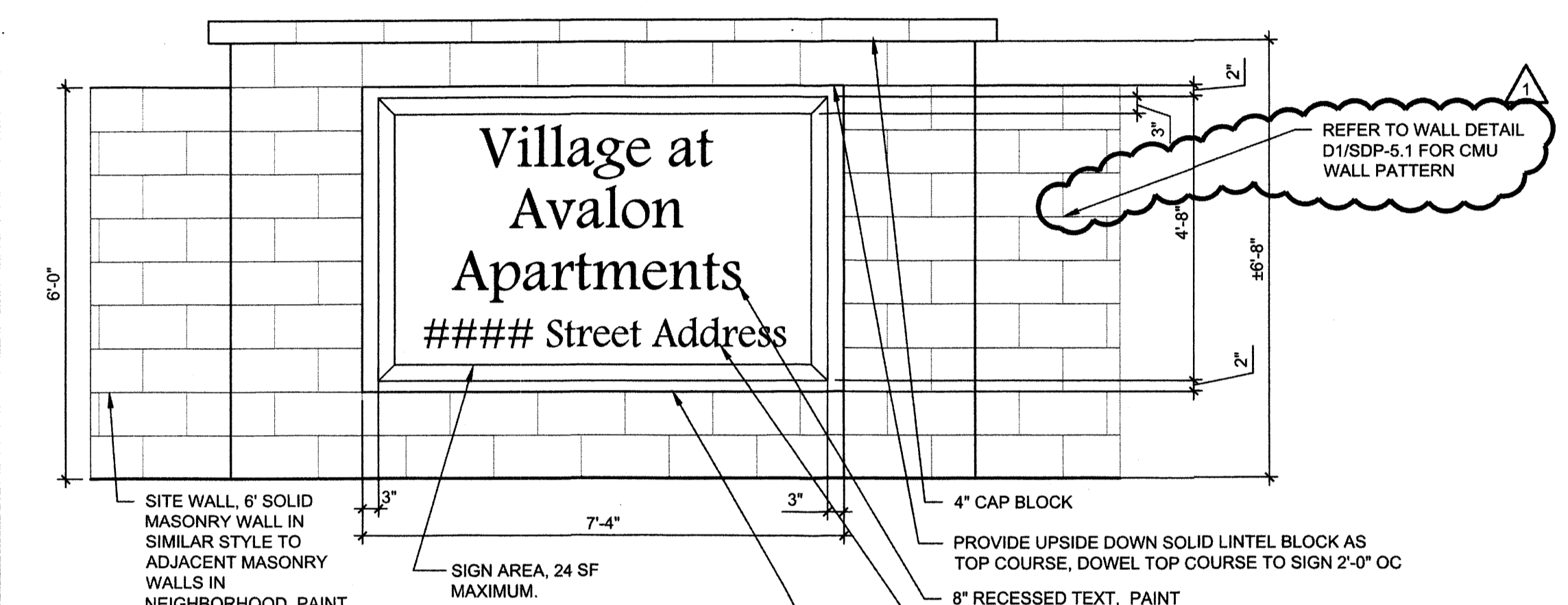


**C3 TYP. PARKING DIMENSIONS**  
1/4" = 1'-0"

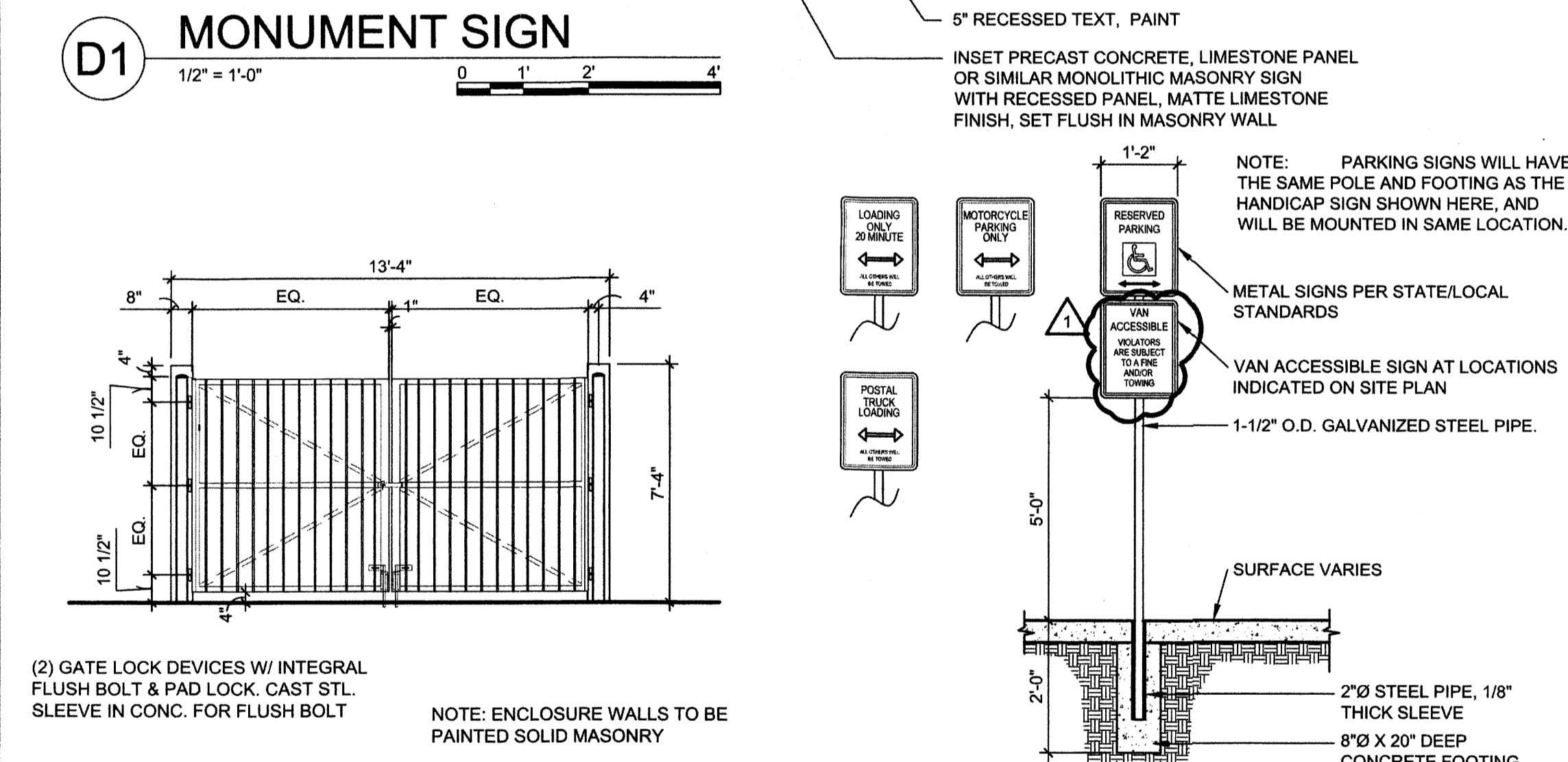
CAR ACCESSIBLE PARKING SPACE  
5'-0" ACCESS AISLE; WHITE HC SYMBOL; 4" SOLID SPACES STRIPING SPACED AT 45°; SLOPED 2%; MAXIMUM, POLE MOUNTED SIGN PER B2/SDP-01.

VAN ACCESSIBLE PARKING SPACE  
8'-0" ACCESS AISLE; WHITE HC SYMBOL; 4" SOLID SPACES STRIPING SPACED AT 45°; SLOPED 2%; MAXIMUM, POLE MOUNTED SIGN FOR B2/SDP-01.

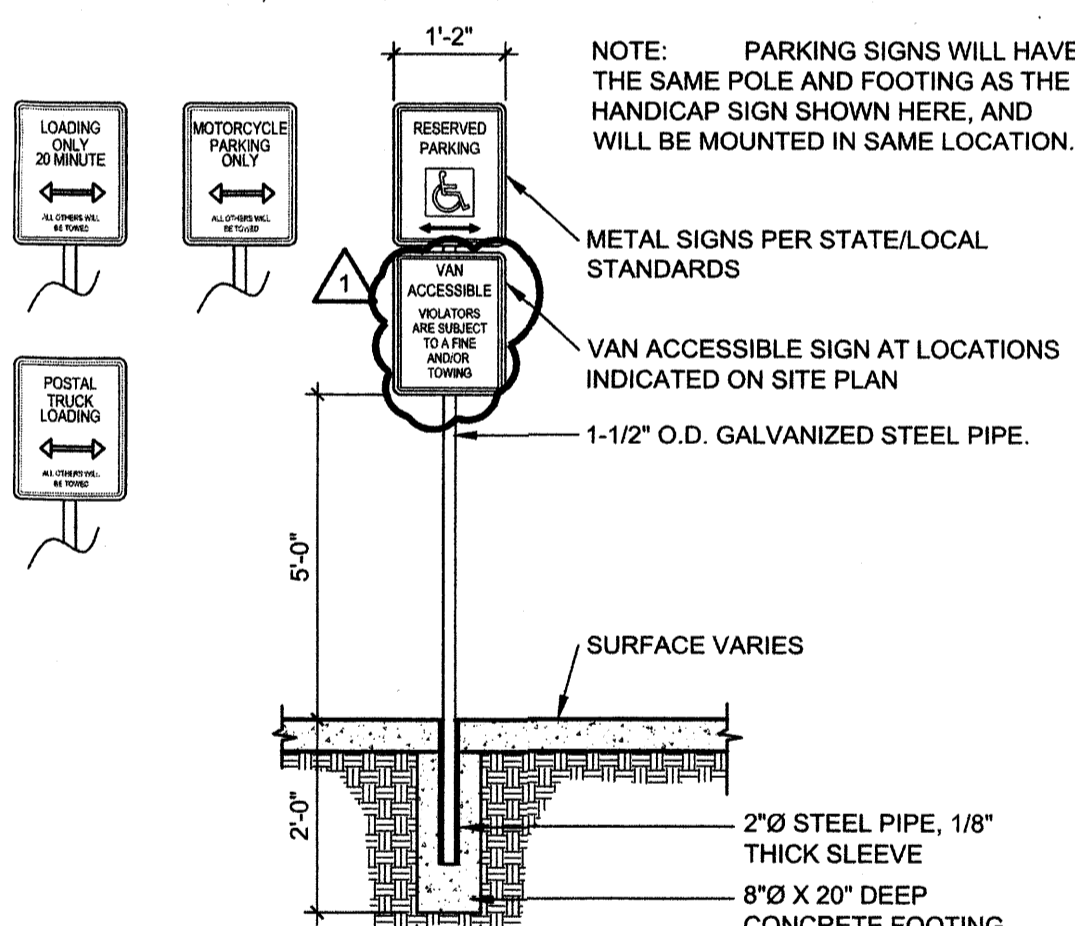
TYPICAL PARKING SPACE  
NUMBER OF SPACES TALLIED PER AISLE.



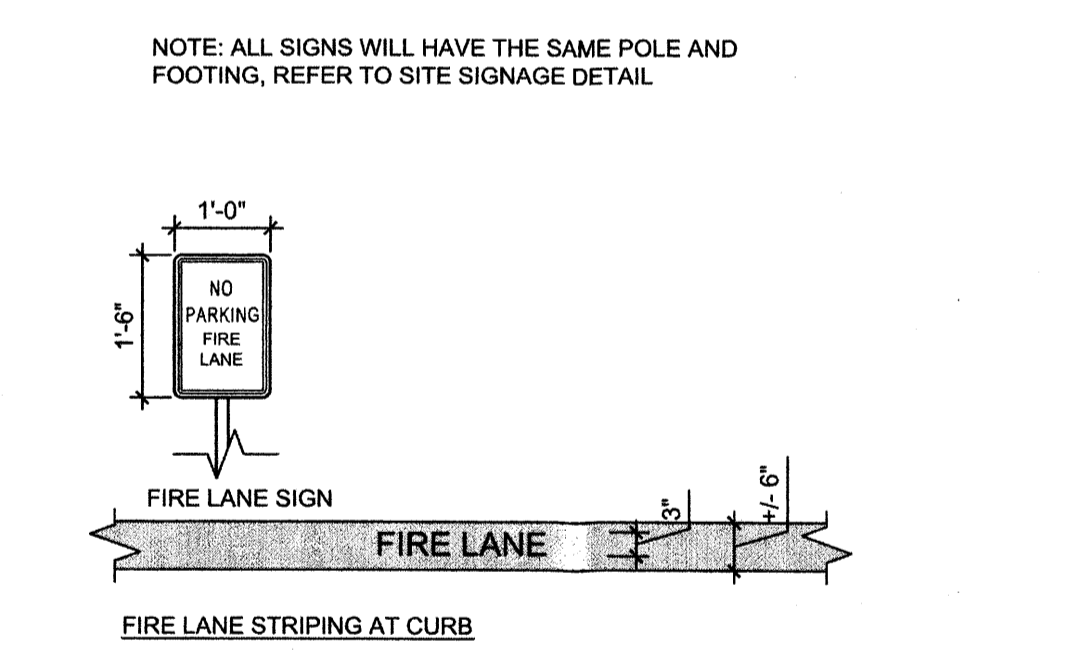
**D1 MONUMENT SIGN**  
1/2" = 1'-0"



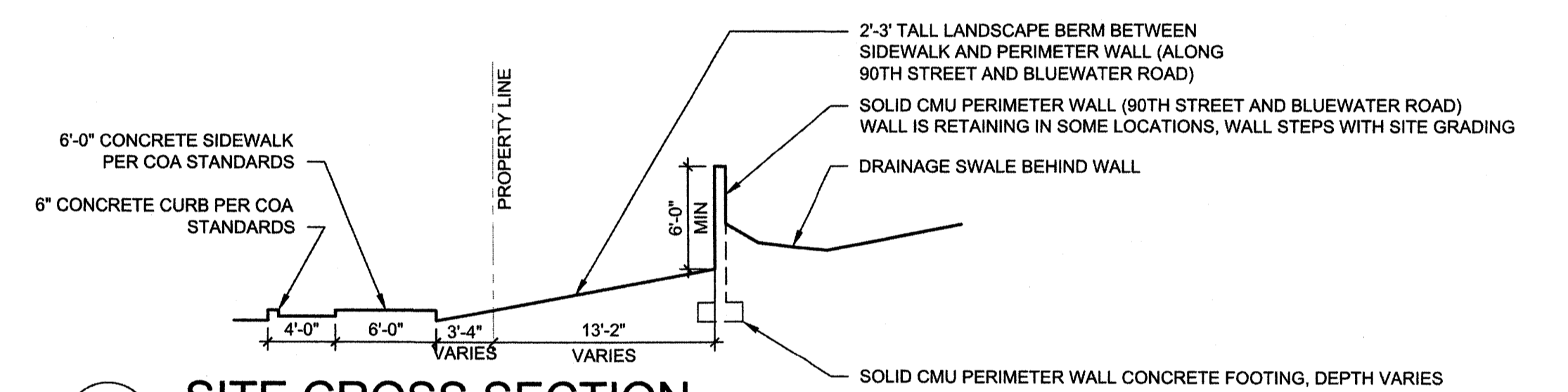
**B1 GATE AT TRASH ENCLOSURE**  
1/4" = 1'-0"



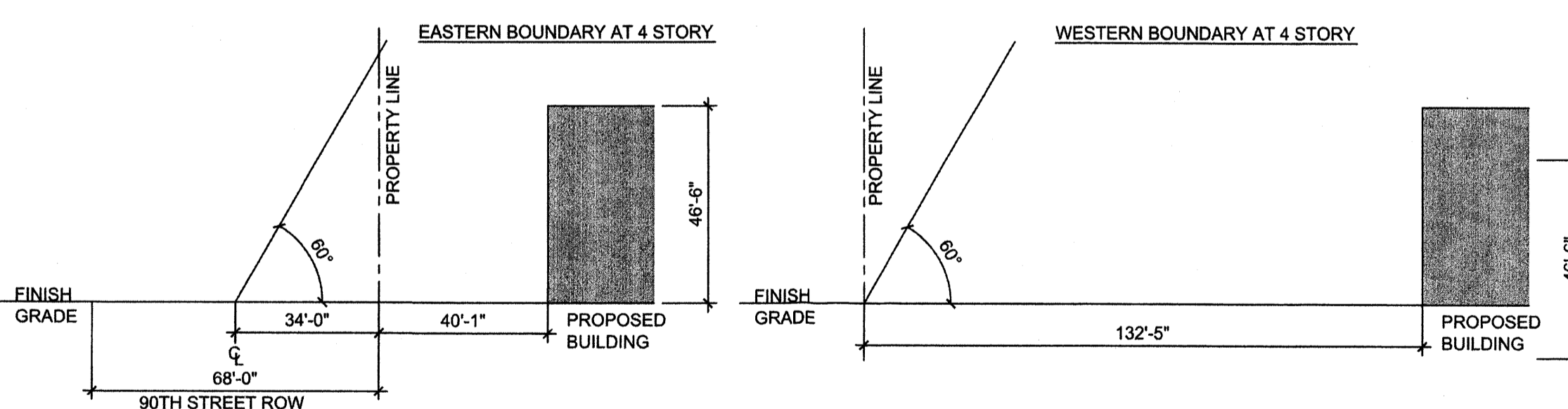
**B2 PARKING SIGNS**  
1/2" = 1'-0"



**B3 FIRE LANE STRIPING AND SIGNAGE**  
1/2" = 1'-0"

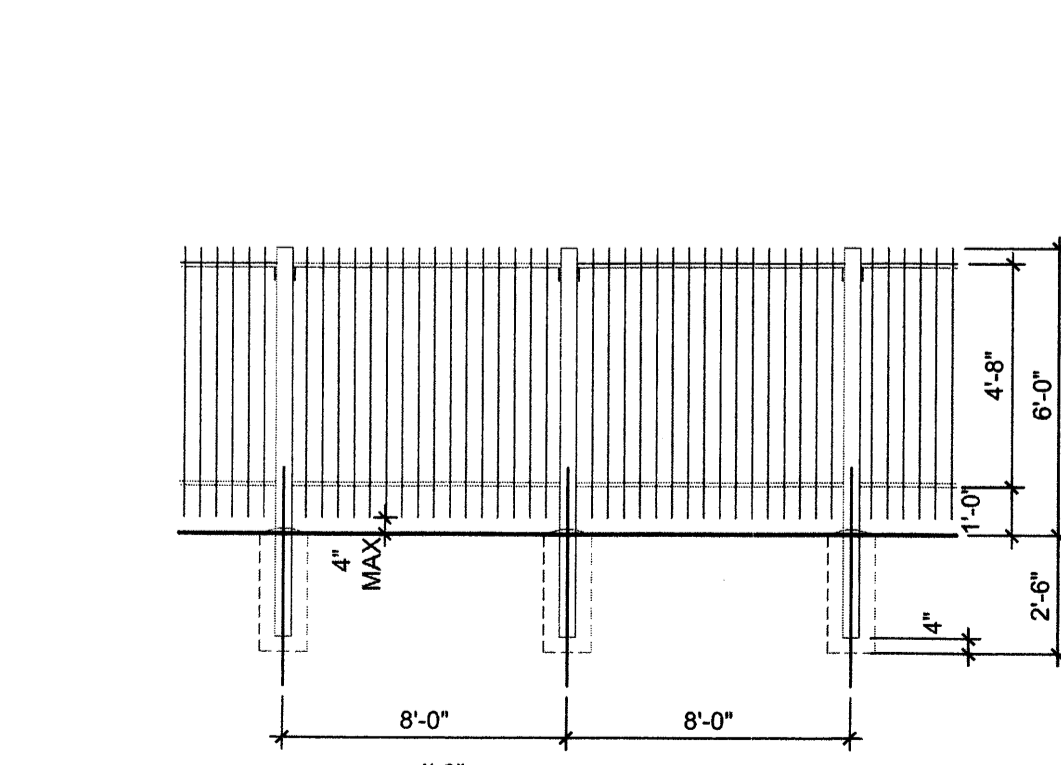


**C4 SITE CROSS SECTION**  
1/8" = 1'-0"

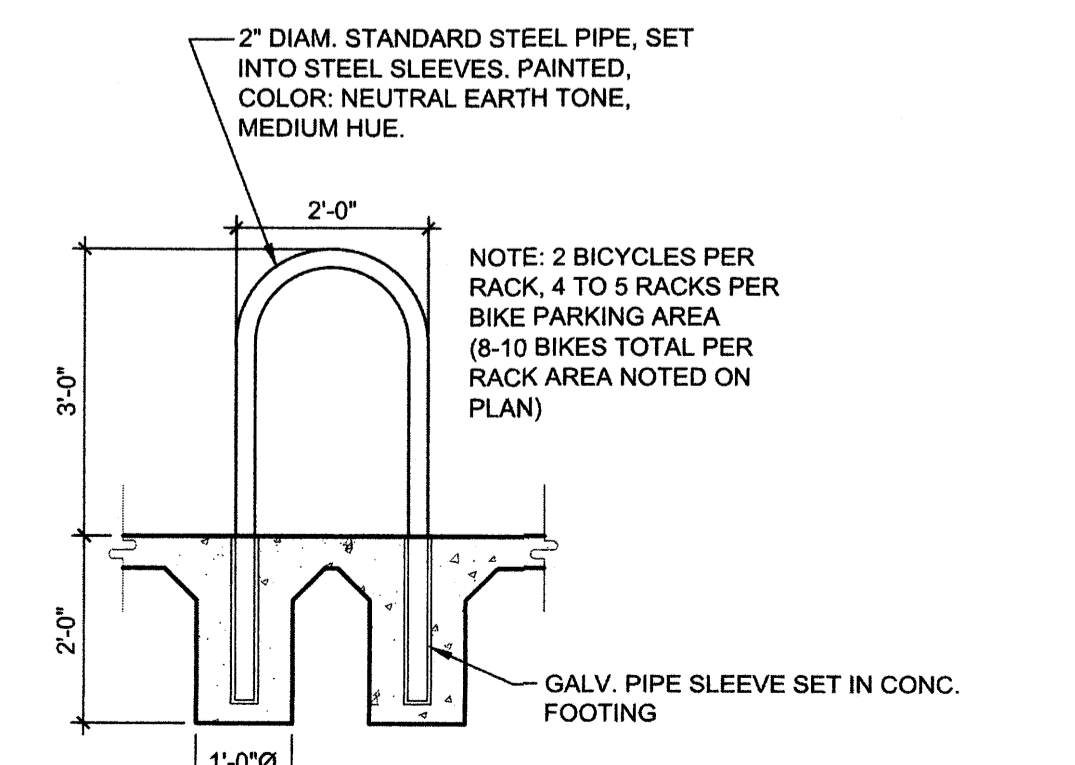


**B4 BUILDING HEIGHT DIAGRAM**  
1/32" = 1'-0"

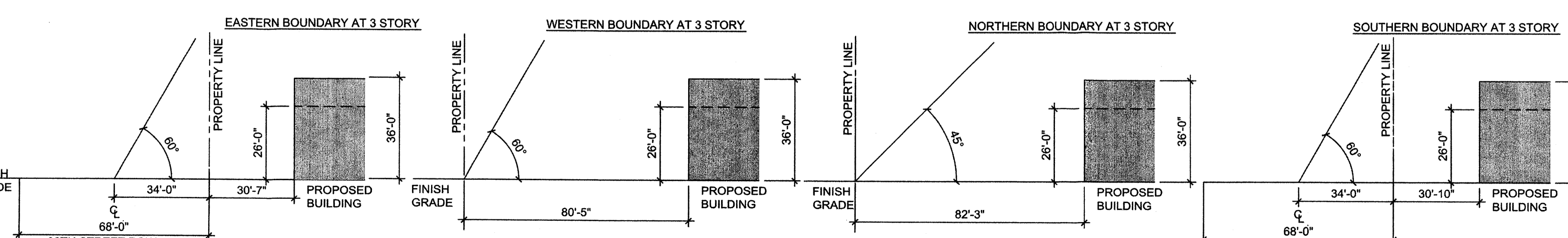
NOTE: CONDITIONS VARY ON SITE AT MULTIPLE BUILDINGS. DIMENSIONS FROM BUILDING TO PROPERTY LINE ARE AT CONDITIONS WITH THE SHORTEST DISTANCE. NORTHERN AND SOUTHERN BOUNDARIES NOT SHOWN BECAUSE DISTANCES TO PROPERTY LINES ARE GREATER THAN 200'



**A1 STEEL PICKET FENCE**  
1/4" = 1'-0"



**A2 BIKE RACK DETAIL**  
1/2" = 1'-0"



**A3 BUILDING HEIGHT DIAGRAM**  
1/32" = 1'-0"

NOTE: CONDITIONS VARY ON SITE AT MULTIPLE BUILDINGS. DIMENSIONS FROM BUILDING TO PROPERTY LINE ARE AT CONDITIONS WITH THE SHORTEST DISTANCE.

**GENERAL SHEET NOTES**

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE INSTALLATION DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: GENERAL LANDSCAPE REGULATIONS SECTION 14-16-3-10; THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS APPLICABLE TO NON-RESIDENTIAL DEVELOPMENT AND WATER CONSERVATION ORDINANCE. ALL TREES AND SHRUBS ON 90TH STREET AND BLUEWATER ROAD NW WILL BE DESIGNED TO MEET THE STREET TREE ORDINANCE 6-6-2-1.
- STREET TREE PLAN: STREET TREES ARE PLANTED 30' ON CENTER OR LESS AS INDICATED ON THE PLANS.
- TURF AREA: THERE ARE MINIMAL TURF AREAS ON THIS PROJECT THAT ARE DEDICATED TO RESIDENT PLAY AND RECREATION AREAS.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION, MULCH OR SEED.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- ALL AREAS DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS.
- THE IRRIGATION SYSTEM SHALL BE FULLY AUTOMATED WITH IRRIGATION CONTROLLER AND RAIN SENSOR. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND ESTABLISHMENT. RUN TIMES SHALL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- ALL PLANT MATERIALS SHALL BE IRRIGATED BY DRIP EMITTERS. USE SIX 2-GAL EMITTERS PER EACH TREE AND TWO 2-GAL EMITTERS PER EACH SHRUB. TURF GRASS SHALL BE IRRIGATED BY SPRAY HEADS DESIGNED TO AVOID OVERSPRAY ON ADJACENT AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED ON THE PROPERTY. THE IRRIGATION POINT OF CONNECTION SHALL COMPLY WITH THE CITY OF ALBUQUERQUE BACKFLOW PREVENTER STANDARDS.
- ALL VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW TEN FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND FIVE TO SIX FEET OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.

**SHEET KEYED NOTES**

- WATER HARVESTING SWALE IN PARKING LOT MEDIANS. SEE CIVIL DRAWINGS FOR PLACEMENT FOR CURB CUTS.
- STORM WATER PONDING AREA. SEE CIVIL DRAWINGS FOR SIZING.
- STREET TREES ALONG 90TH STREET NW TO PROVIDE VISUAL BUFFER.
- LANDSCAPE EASEMENT 10' WIDTH WITH LANDSCAPE BUFFER PLANTINGS.
- CMU BLOCK WALL 6' HEIGHT.
- PLAYGROUND AREA AND EQUIPMENT.
- NOT USED.
- PROPERTY LINE.
- DOG RUN: WOOD CHIPS ON SURFACE, 4' TALL FENCE, DOG POT STATION WITH TRASH RECEPTACLE AND FROST FREE WATER HYDRANT.
- OVERHANG PARKING AREA.
- EVERGREEN TREES PLACEMENT FOR A MAXIMUM PRIVACY OF ADJACENT SINGLE-FAMILY HOMES.
- CLEAR SIGHT TRIANGLE.
- NO STREET TREES FOR SIGNAGE VISIBILITY.

**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA = 9,9628 AC = 434,851 SF  
AREA OF LOT COVERED BY BUILDINGS = 89,000 SF  
NET LOT AREA = 345,851 SF

REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 51,878 SF  
PROVIDED LANDSCAPE AREA = 142,280 SF = 41%  
LANDSCAPE AREA CALCULATION DOES NOT INCLUDE:  
PUBLIC R.O.W. (6,860 SF)  
OVERHANG PARKING AREAS (2,510 SF)  
LANDSCAPE WALKWAYS, HARDSCAPE GATHERING SPACES (35,870 SF)  
HIGH WATER USE TURF GRASS = 2,240 SF = 1.6% OF PROVIDED LANDSCAPE PLAY AREAS = 2,900 SF

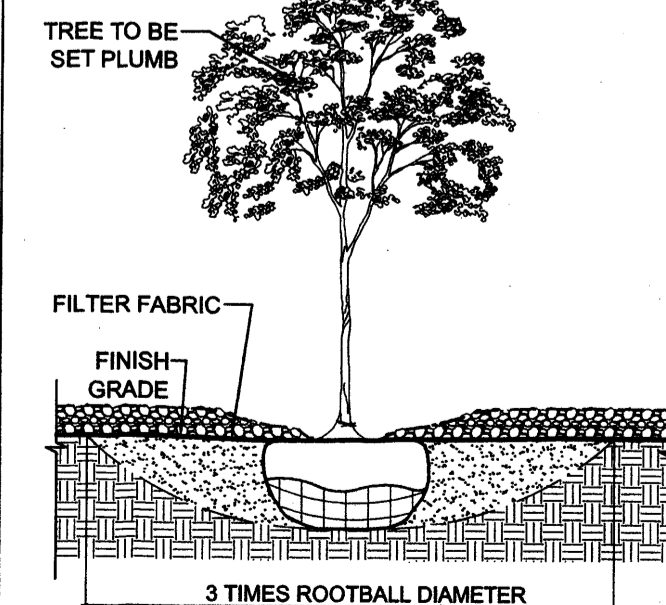
TREES PER PARKING SPACES - REQUIRED = 1 TREE / 10 PARKING SPACES  
TOTAL NUMBER OF PARKING = 293 SPACES  
REQUIRED NUMBER OF TREES = 29 TREES  
PROVIDED NUMBER OF TREES = 50 TREES  
NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK  
REQUIRED STREET TREES = 38  
PROVIDED STREET TREES = 48 placed at 30' on center  
10 extra street trees provided to satisfy Avalon Neighborhood Association request  
REQUIRED GROUND COVERAGE = 38,909 SF = 75%  
PROVIDED GROUND COVERAGE = 39,390 SF = 76%

THE LANDSCAPE PLAN MEETS THE 75% LIVE GROUND COVERAGE REQUIREMENT AS STATED IN THE ZONING CODE

NOTES:

- PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL
- BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING

TREE TO BE SET PLUMB



**A5 TREE**  
NTS

**PLANTING LEGEND**

TREES

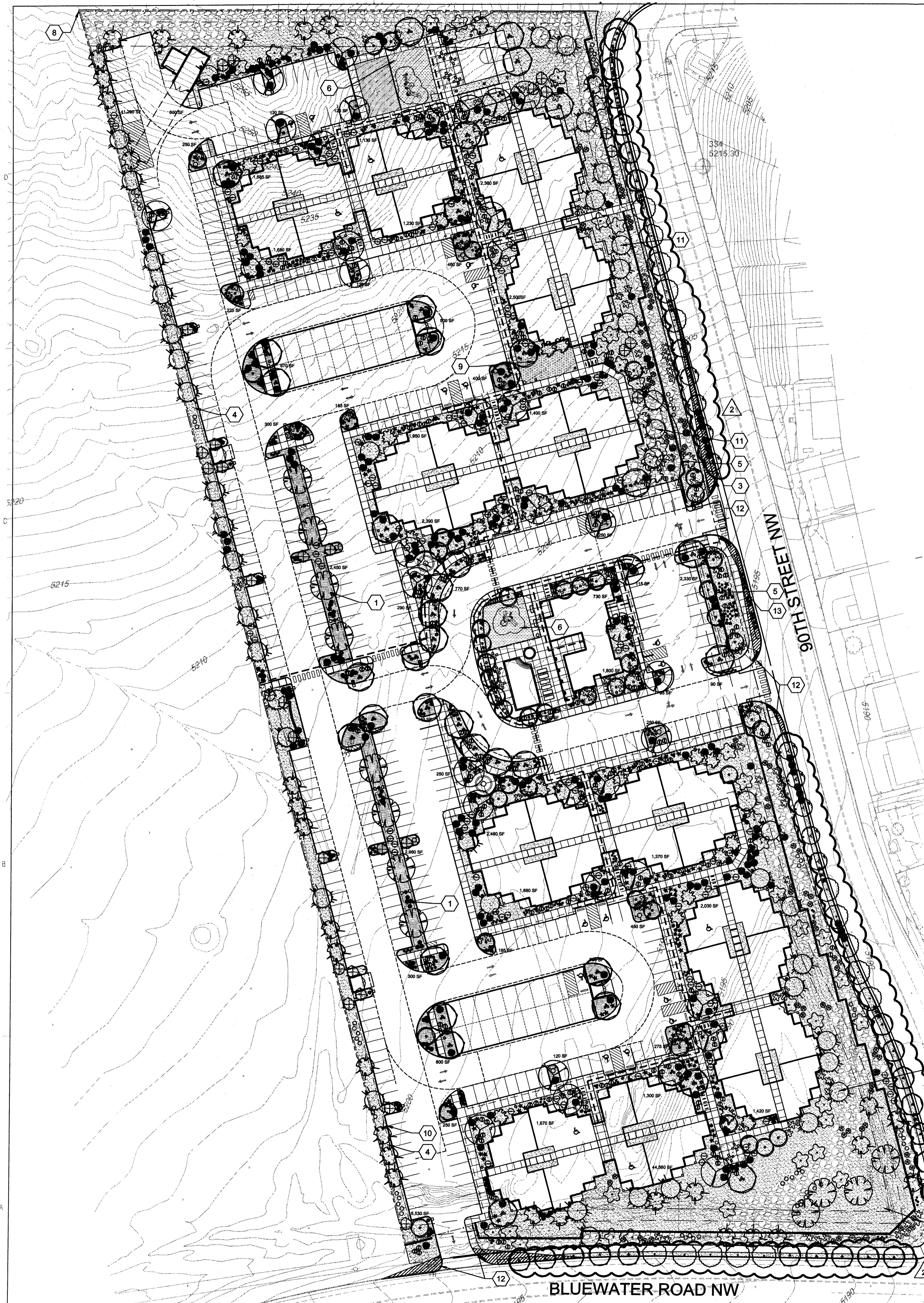
SYMBOL	INSTALLED SIZE	COMMON NAME	Botanical name	Water requirements
	2"-Cal.	DESERT WILLOW	Chilopsis linearis	Low Water Use
	4' height	ONE SEED JUNIPER	Juniperus monosperma	Low Water Use
	2"-Cal.	THORNLESS HONEY-LOCUST	Gleditsia triacanthos inermis	Medium Water Use
	4'-6' height	AFGHAN PINE	Pinus eldarica	Low Water Use
	2"-Cal.	NEW MEXICO OLIVE	Foresteria neomexicana	Medium Water Use
	2"-Cal.	CHINKAPIN OAK	Quercus muhlenbergii	Medium Water Use
	2"-Cal.	RAYWOOD ASH	Fraxinus oxycarpa	Medium Water Use
	2"-Cal.	ELM TREE 'Frontier'	Ulmus sp. 'Frontier'	Medium Water Use
	2"-Cal.	THORNLESS HAWTHORN	Crataegus crus galli inermis	Medium Water Use
	2"-Cal.	GOLDEN RAIN TREE	Koeleruteria paniculata	Medium Water Use
	2"-Cal.	CANYON HACKBERRY	Celtis reticulata	Low Water Use

SHRUBS AND GRASSES

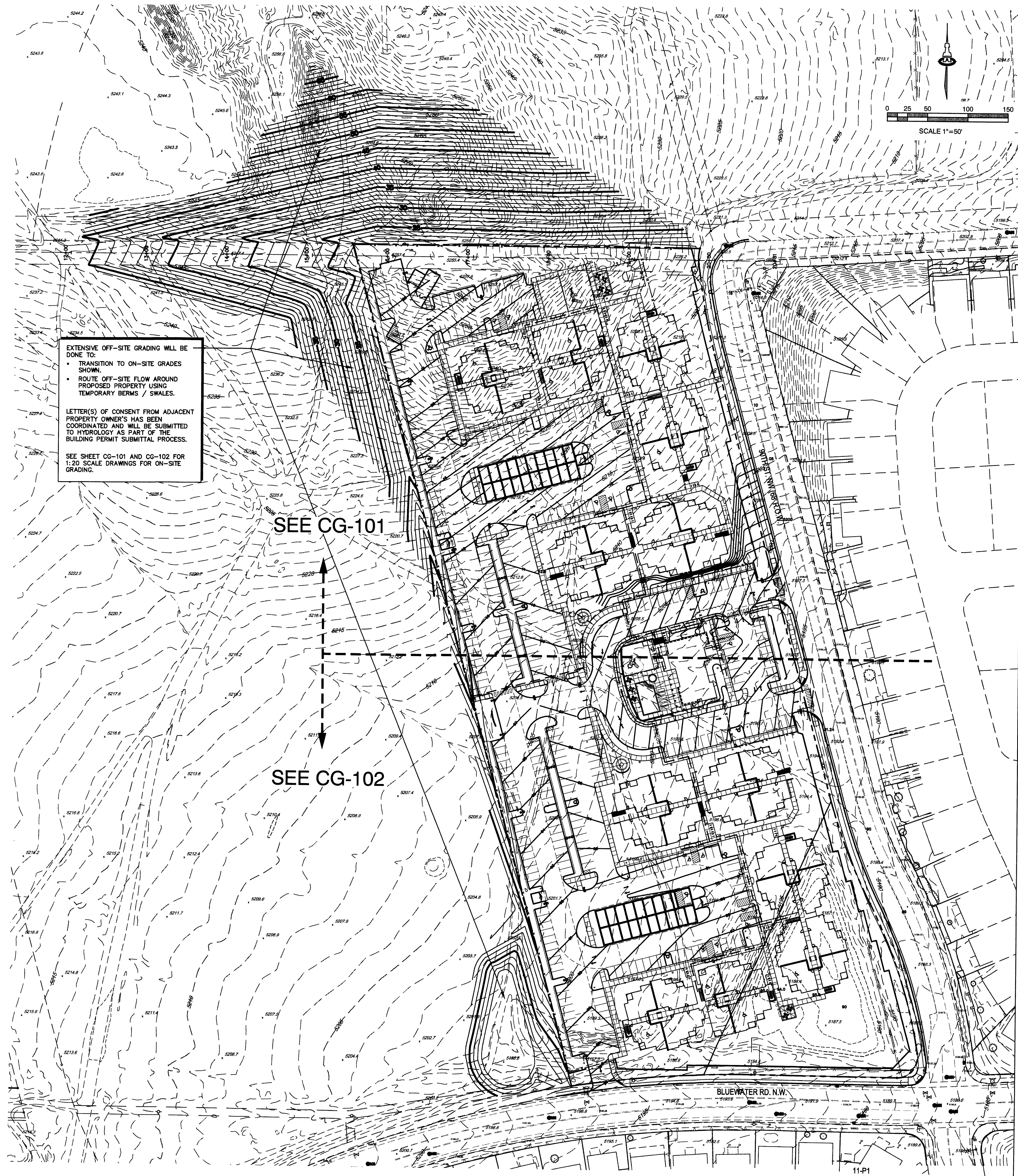
SYMBOL	INSTALLED SIZE	COMMON NAME	Botanical name	Water requirements
	5-Gal	ALGERITA-DESERT HOLLY	Mahonia haematacarpa	Drought tolerant
	5-Gal	DWARF MOUNTAIN MAHOGANY	Cercocarpus intricatus	Drought tolerant
	1-Gal	SULPHUR BUCKWHEAT	Eriogonum umbellatum	Drought tolerant
	1-Gal	APACHE PLUME	Fallugia paradoxa	Drought tolerant
	5-Gal	POTENTILLA	Potentilla sp.	Drought tolerant
	5-Gal	SWITCHGRASS 'SHENANDOAH'	Panicum virgatum 'Shenandoah'	Low Water Use
	5-Gal	WOOLLY BUTTERFLY BUSH	Buddleia murrubifolia	Low Water Use
	5-Gal	WESTERN SAND CHERRY	Prunus besseyi 'Pawnee Bittles'	Drought Tolerant
	5-Gal	'GRO-LOW' SUMAC	Rhus aromatica 'Gro-Low'	Drought Tolerant
	5-Gal	DEER GRASS	Muhlenbergia rigens	Low Water Use
	1-Gal	CHAMISA	Eriocameria nausoea	Drought tolerant
	5-Gal	RED YUCCA	Hesperaloe parviflora	Drought tolerant

SURFACE LEGEND

SYMBOL	DESCRIPTION
	ROCK MULCH, 3" DEPTH, 3/4" CRUSHED MULCH OVER WEED BARRIER FABRIC, COLOR: BEIGE
	PARK BLEND TURF GRASS (SOD)
	PLAYGROUND ENGINEERED WOOD CHIPS AT 12" DEPTH DEFINED BY CONCRETE MOW CURB
	4"-8" ANGULAR COBBLE, 4" DEPTH OVER WEED BARRIER FABRIC, COLOR SAN LAZARUS GOLD
	ROCK MULCH, 3" DEPTH, 1" CRUSHED MULCH OVER WEED BARRIER FABRIC, COLOR: BLUE SAIS
	WOOD CHIPS AT 4" DEPTH
	BOULDERS, 2' x 2' x 2' TO 3' x 2' x 2'



**A1 PLANTING PLAN**  
1" = 50'-0"  
0 50' 100'  
NORTH



EXTENSIVE OFF-SITE GRADING WILL BE DONE TO:

- TRANSITION TO ON-SITE GRADES SHOWN.
- ROUTE OFF-SITE FLOW AROUND PROPOSED PROPERTY USING TEMPORARY BERMS / SWALES.

LETTER(S) OF CONSENT FROM ADJACENT PROPERTY OWNER(S) HAS BEEN COORDINATED AND WILL BE SUBMITTED TO HYDROLOGY AS PART OF THE BUILDING PERMIT SUBMITTAL PROCESS.

SEE SHEET CG-101 AND CG-102 FOR 1:20 SCALE DRAWINGS FOR ON-SITE GRADING.

### DRAINAGE CONCEPT

PROPERTY: THE SITE IS AN UNDEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-9. THE SITE IS BOUND TO THE EAST BY 90TH ST. NW, TO THE SOUTH BY BLUEWATER ROAD NW, AND TO THE NORTH AND WEST BY UNDEVELOPED PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APARTMENT COMPLEX WITH TWO GARAGE PARKING BUILDINGS, CLUBHOUSE, ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PLAYGROUNDS, PEDESTRIAN WALKS AND LANDSCAPING.

PER THE APPROVED AMOLE-HUBBELL DRAINAGE MASTER PLAN UPDATE BY WILSON & CO. (2013 REPORT), THE PROPERTY IS LOCATED WITHIN DRAINAGE BASIN 202.2. THIS BASIN DISCHARGE IS RESTRICTED TO 2.5 CFS PER ACRE. A PERMANENT STORMWATER DETENTION POND(S).

THE PROPOSED ON-SITE PRIVATE STORM DRAIN SYSTEM WILL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL.

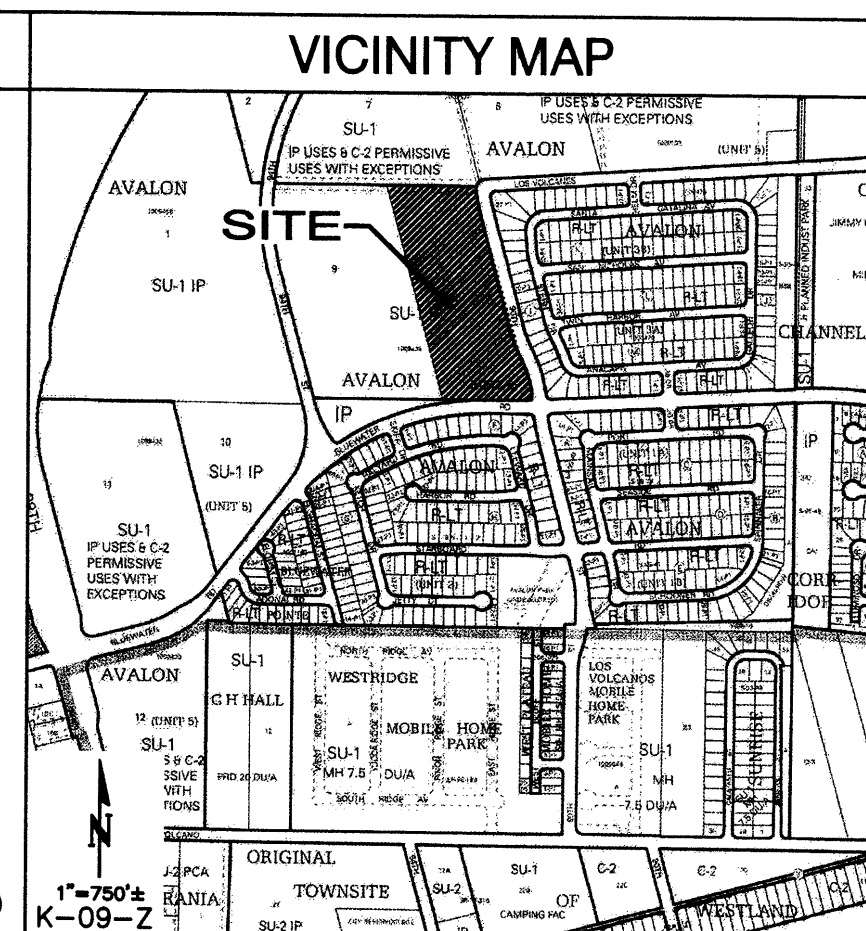
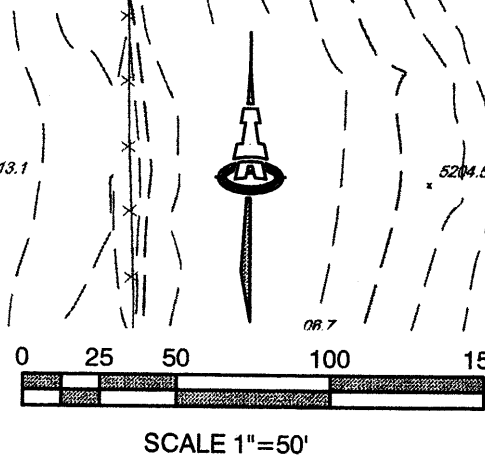
OFF-SITE FLOW FROM THE ADJACENT PROPERTIES TO THE NORTH AND WEST WILL BE ROUTED AROUND THE PROPERTY USING TEMPORARY BERMS AND SWALES. TEMPORARY SEDIMENT CONTROL PONDS WILL BE CONSTRUCTED AT THE NORTHEAST AND SOUTHWEST CORNERS OF THE PROPERTY.

RETAINING WALLS AND RETAINING STEMWALLS WILL BE REQUIRED THROUGHOUT THE DEVELOPMENT TO ACHIEVE THE NECESSARY GRADE TRANSITIONS BETWEEN BUILDINGS. RETAINING WALL DESIGN (WALL LOCATIONS, TOP OF WALL / BOTTOM OF WALL ELEVATIONS) WILL BE INCLUDED AS PART OF THE BUILDING PERMIT SUBMITTAL.

THIS SITE WILL DISCHARGE NO MORE THAN 2.5 CFS/ACRE TO THE ADJACENT STREETS WITH THE MAJORITY EXITING THE SITE AT THE HISTORIC DISCHARGE POINT AND THE INTERSECTION OF 90TH ST. AND BLUEWATER RD.

THE EXISTING PUBLIC STORM DRAIN SYSTEM WITHIN BLUEWATER ROAD INCLUDES AN EXISTING 30" STUB INTO THE PROPERTY.

ON-SITE PONDING WILL BE PROVIDED FOR 100% RETENTION OF THE REQUIRED FIRST FLUSH VOLUME AND DETENTION AS NEEDED TO LIMIT THE DISCHARGE TO THE ALLOWABLE RATE.



### PROJECT DATA

LEGAL DESCRIPTION: TRACT 8, UNIT 5, AVALON SUBDIVISION, ALBUQUERQUE, NEW MEXICO

SITE AREA: 9.98 AC.

FLOOD ZONE: PER BERNALILLO COUNTY FIRM MAP #35001C0328H, DATED AUGUST 16, 2012, THE SITE IS LOCATED WITHIN FLOODZONE "X" (UNSHADED) DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

ENGINEER: FRED C. ARFMAN  
ISAACSON & ARFMAN, P.A.  
128 MONROE ST NE, ABO, NM 87108  
PHONE: (505) 268-8828

SURVEYOR: VLADIMIR JIRIK  
ALBUQUERQUE SURVEYING CO.  
2119 MENAUL BLVD. NE, ABO, NM 87107  
PHONE: (505) 884-2036

BENCHMARK: COA SURVEY MONUMENT 7\_K9. A 3 1/4 INCH ALUMINUM DISC RIVETED TO A PIPE 0.2 FEET ABOVE GROUND, STAMPED 7-K9 1989. ELEVATION = 5140.082 (NAVD 1988).

### LEGEND

- C PROPOSED CURB OPENING
- ◆ 92.8 PROPOSED SPOT ELEVATION
- PROPOSED ON-SITE STORM DRAIN
- FLOW ARROW
- [Hatched] FIRST FLUSH AND STORMWATER DETENTION POND AS REQUIRED

### DRAINAGE CALCULATIONS

CALCULATIONS: 2121 - APTS @ 90TH AND BLUEWATER : JULY 17, 2015

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

AREA OF SITE:	ON-SITE	OFF-SITE
434850.331 SF	100-year, 6-hour	10.0

HISTORIC FLOWS:		DEVELOPED FLOWS:		EXCESS PRECIP:	
Area	Treatment SF %	Area	Treatment SF %	Precip. Zone	Excess Precip.
Area A = 326137.7483	75%	Area A = 0	0%	Zone 1	E <sub>A</sub> = 0.44
Area B = 86970.0662	20%	Area B = 21743	5%		E <sub>B</sub> = 0.67
Area C = 21742.51655	5%	Area C = 65228	15%		E <sub>C</sub> = 0.99
Area D = 0	0%	Area D = 347880	80%		E <sub>D</sub> = 1.97
Total Area = 434850.331	100%	Total Area = 434850.331	100%		

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$W_e = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$$

Historic E = 0.51 in. | Developed E = 1.76 in.

On-Site Volume of Runoff:  $V_{360} = E^* A / 12$

Historic  $V_{360} = 18608$  CF | Developed  $V_{360} = 63706$  CF

On-Site Peak Discharge Rate:  $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43,560$

For Precipitation Zone 1

$Q_{pA} = 1.29$  |  $Q_{pB} = 2.03$  |  $Q_{pC} = 2.87$  |  $Q_{pD} = 4.37$

Historic  $Q_p = 15.1$  CFS | Developed  $Q_p = 40.2$  CFS

### FIRST FLUSH REQUIREMENT

BASIN NO.	DISCUSSION	OVERALL PROPERTY
1	Area of basin flows = 434850 SF	10.0 AC.
The following calculations are based on Treatment areas as shown in table to the right		
	Sub-basin Weighted Excess Precipitation (see formula above)	LAND TREATMENT
	Weighted E = 1.76 in.	A = 0%
	Sub-basin Volume of Runoff (see formula above)	B = 5%
	$V_{360} = 63706$ CF	C = 15%
	Sub-basin Peak Discharge Rate: (see formula above)	D = 80%
	$Q_p = 40.2$ cfs	FIRST FLUSH VOL
		9857 CF

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE PONDING VOLUME REQUIRED IS 0.34" \* TYPE 'D' AREA:  
 $0.34 / 12 * 9.98 \text{ AC} * 80\% * 43560 = 9,857 \text{ CF}$

THERE ARE 'FIRST FLUSH' RETENTION BASIN AREAS THROUGHOUT THE SITE (HATCHED PER LEGEND). STORMWATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE BASINS VIA CURB OPENINGS AND ON-SITE STORM DRAINS. FLOW IN EXCESS OF FIRST FLUSH POND CAPACITY WILL OVERFLOW TO ADJACENT STREETS TO CONTINUE ALONG HISTORIC FLOWPATHS. INLETS THAT ARE PLACED IN FIRST FLUSH RETENTION BASINS SHALL BE RAISED AND HAVE THE TOP OF GRATE LOCATED AT THE 'FIRST FLUSH' WATER SURFACE ELEVATION.

THE 'FIRST FLUSH' BASIN VOLUMES SHALL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL. CURB OPENING LOCATIONS ARE SHOWN CONCEPTUALLY AND SHALL BE LOCATED AND SIZED WITH FINAL DESIGN.

THE CUMULATIVE AREA SHOWN HATCHED FOR FIRST FLUSH PONDING IS APPROXIMATELY 20,000 SF SO THE AVERAGE DEPTH WILL BE 6".

**ISAACSON & ARFMAN, P.A.**  
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Ph. 505-268-8828 www.isaacson.com  
2121 CG-101.dwg Oct 13, 2015

ARCHITECTURE / DESIGN / INSPIRATION

**DEKKER PERICH SABATINI**

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ARCHITECT

*Professional Seal*

ENGINEER

**DRB SUBMITAL**  
OCTOBER 13, 2015

PROJECT

**VILLAGE AT AVALON APARTMENTS**  
90TH STREET & BLUEWATER ROAD SW  
ALBUQUERQUE, NM

REVISIONS

DRAWN BY

REVIEWED BY

DATE 10-13-2015

PROJECT NO. 15-0074

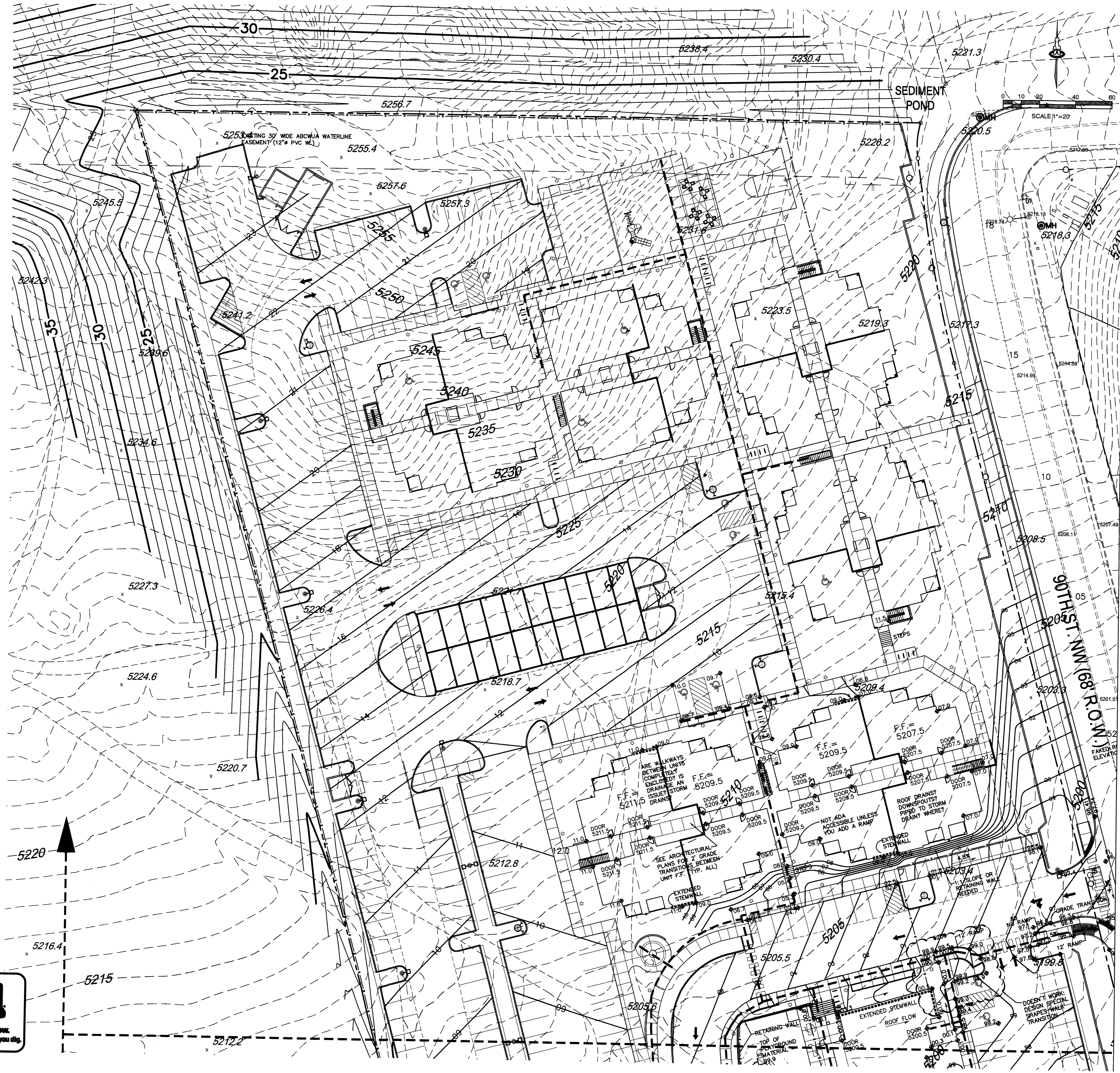
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**OVERALL GRADING AND DRAINAGE PLAN**

SHEET NO. SDP-3.1

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**KEYED NOTES**

PROPERTY: THE SITE IS AN UNDEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-9. THE SITE IS BOUND TO THE EAST BY 90TH ST. NW, TO THE SOUTH BY BLUEWATER ROAD NW, AND TO THE NORTH AND WEST BY UNDEVELOPED PROPERTY.

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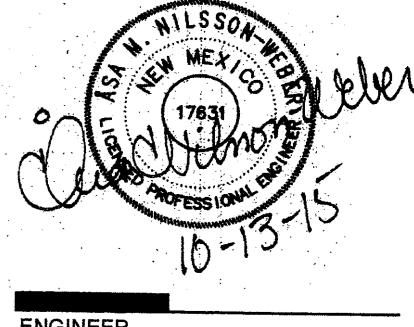
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ARCHITECTURE / DESIGN / INSPIRATION



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ALBUQUERQUE, NM 87109  
505.761.9700 / DPSDESIGN.ORG



ENGINEER  
**DRB SUBMITAL**  
OCTOBER 13, 2015

PROJECT

**VILLAGE AT AVALON APARTMENTS**  
90TH STREET & BLUEWATER ROAD SW  
ALBUQUERQUE, NM

REVISIONS  
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REVIEWED BY  
DATE 10-13-2015  
PROJECT NO. 15-0074  
DRAWING NAME

**GRADING AND DRAINAGE PLAN**  
1 OF 2

SHEET NO.  
**SDP-3.2**  
OF

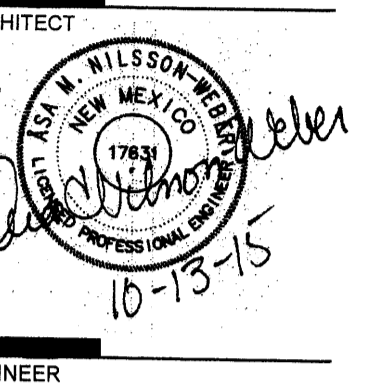
**ISAACSON & ARMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.isaacson.com  
2121 CG-101.dwg Oct 13, 2015



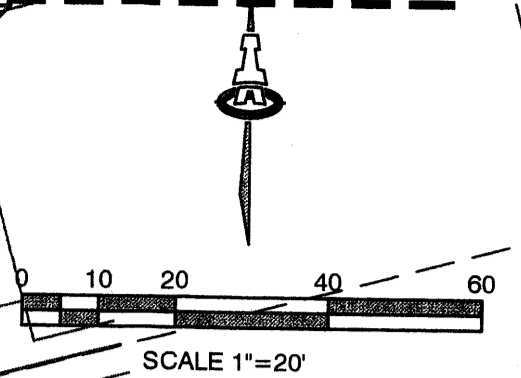
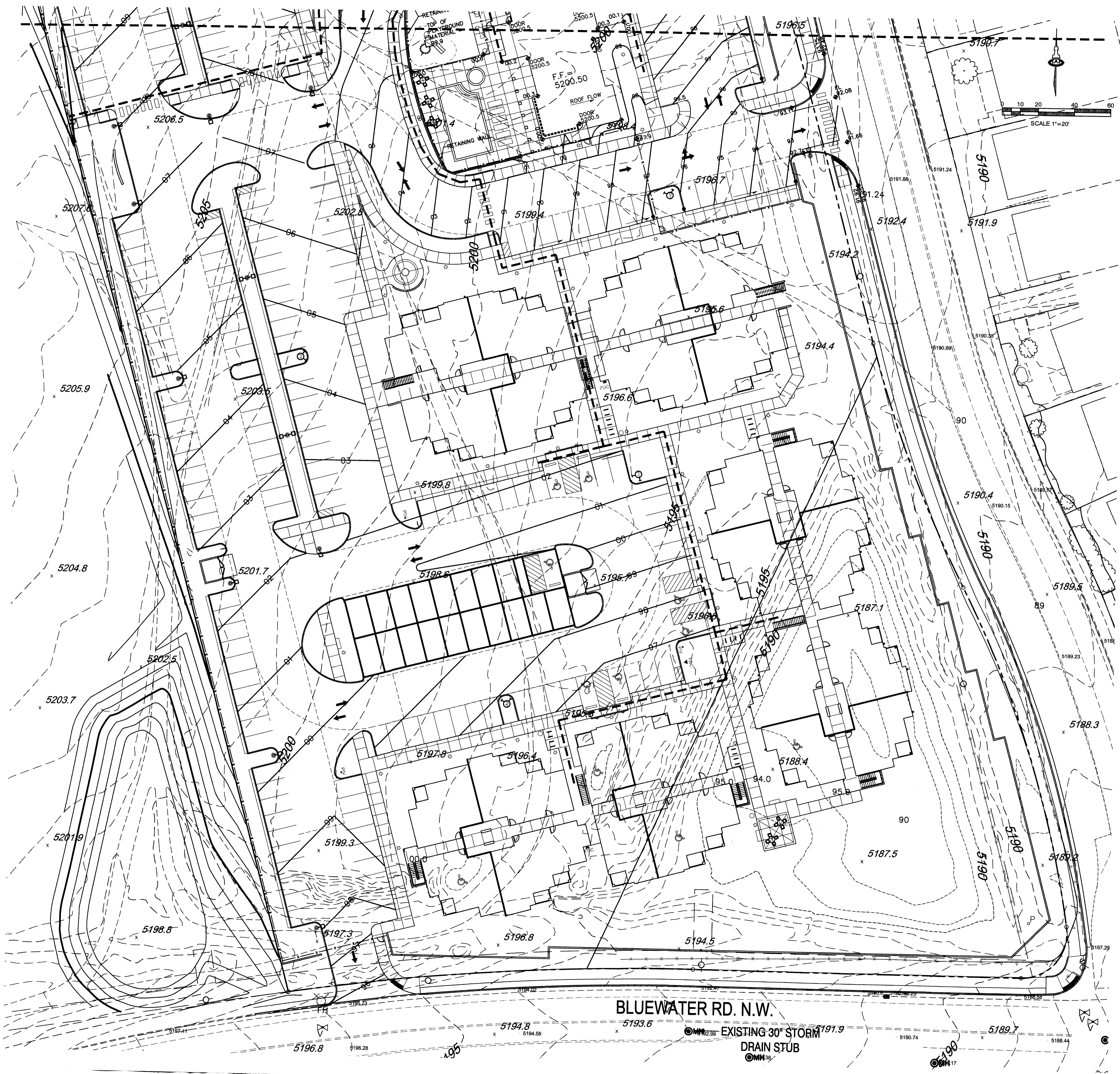
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PERICH  
SABATINI**

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**DRB  
SUBMITAL**  
OCTOBER 13, 2015



PROJECT

VILLAGE AT AVALON APARTMENTS  
90TH STREET & BLUEWATER ROAD SW  
ALBUQUERQUE, NM

REVISIONS

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REVIEWED BY \_\_\_\_\_  
DATE 10-13-2015  
PROJECT NO. 15-0074  
DRAWING NAME \_\_\_\_\_

**GRADING AND  
DRAINAGE PLAN**  
2 OF 2

SHEET NO.  
**SDP-3.3**

**ISAACSON & ARFMAN, P.A.**  
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128 Monroe Street N.E.  
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**DEKKER  
PERICH  
SABATINI**

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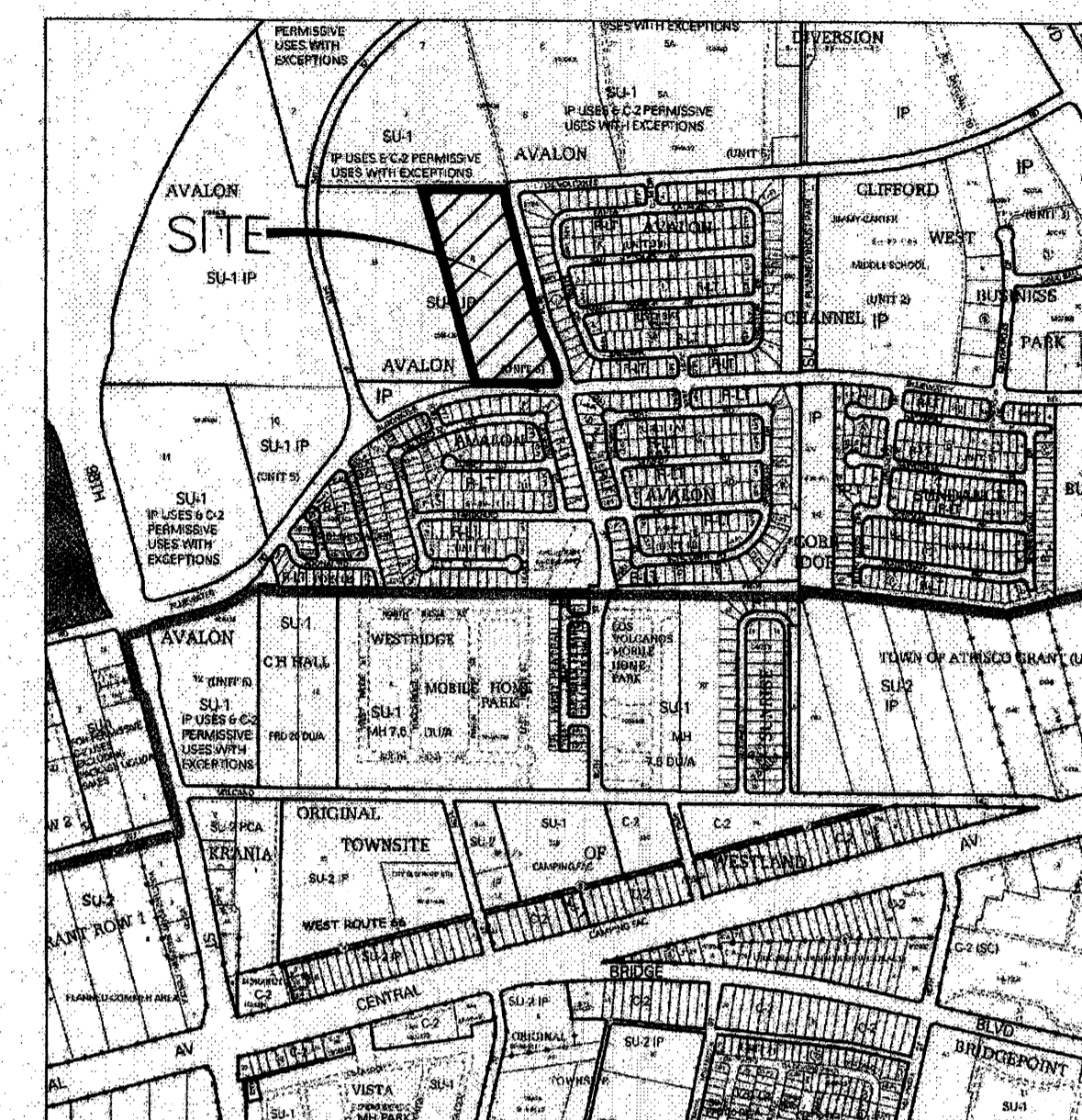
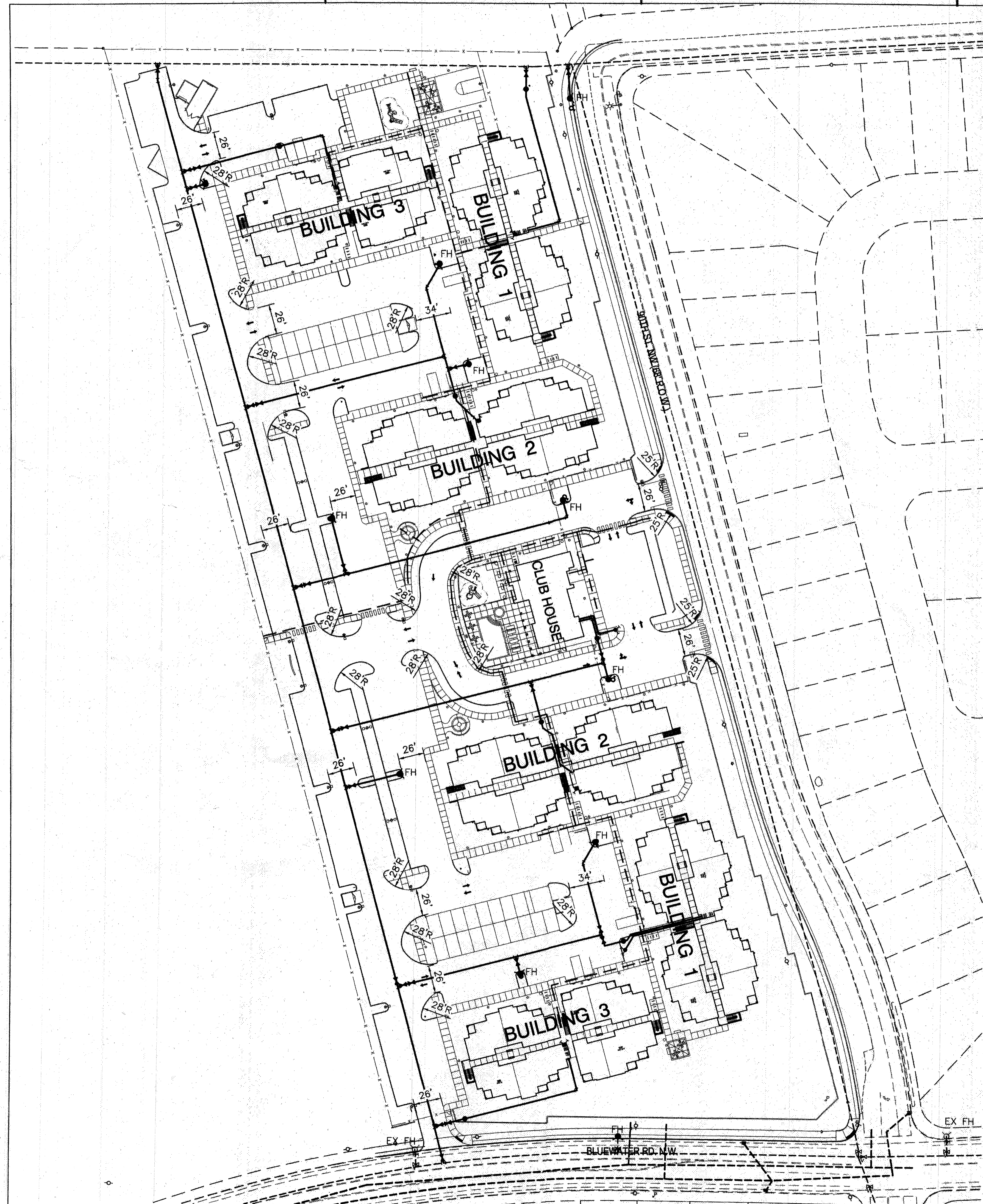
ARCHITECT

ENGINEER

**DRB  
SUBMITTAL**  
10/13/2015

PROJECT

**VILLAGE AT AVALON APARTMENTS**  
90TH STREET & BLUEWATER ROAD SW  
ALBUQUERQUE, NM



VICINITY MAP K-9

APARTMENT BUILDINGS = 6  
CLUB HOUSE = 1

TYPE V-A CONSTRUCTION  
SPRINKLERED

BUILDING 1 = 30,537 SF (4718 GPM)  
BUILDING 2 = 45,956 SF (5788 GPM)  
BUILDING 3 = 28,857 SF (4532 GPM)

**HYDRANT AND FIRE ACCESS**  
ALBUQUERQUE FIRE MARSHAL'S OFFICE  
PLANS CHECKING DIVISION  
SOFT ~~2500~~ CONSTRUCTION TYPE ~~3~~  
GPM ~~1500~~ NUMBER OF HYDRANTS ~~5/6~~  
**APPROVES / DISAPPROVES**  
SIGNATURE: [Signature] DATE: 10-12-15



0 25 50 100 150  
SCALE 1"=50'

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2121 FH LOC-ACCESS.dwg Oct 12, 2015

REVISIONS

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DRAWN BY

REVIEWED BY

DATE 7/30/2015

PROJECT NO. 15-0074

DRAWING NAME

**FIRE HYDRANT  
LOCATION AND  
ACCESS PLAN &  
CONCEPTUAL  
UTILITY PLAN**

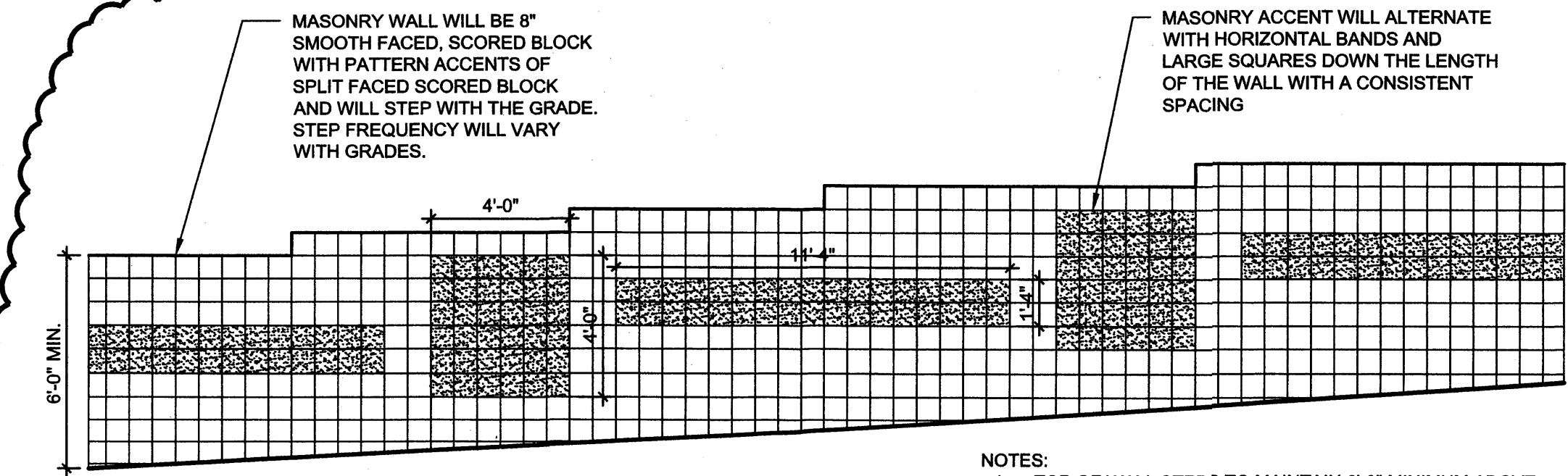
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**SDP-4.1**

OF

**D1 CMU WALL PATTERN**

1/4" = 1'-0"  
0 2 4 8



- NOTES:
1. TOP OF WALL STEPS TO MAINTAIN 6'-0" MINIMUM ABOVE ADJACENT GRADE ON STREET SIDE OF WALL. TYPICAL LANDSCAPING WILL BE PROVIDED ON BOTH SIDES OF THE WALL
  2. CMU WALLS WILL BE PAINTED TO MATCH STUCCO COLOR 1 "SADDLE BROWN". PAINTING HAS BEEN SELECTED TO ADDRESS MAINTENANCE CONCERNS ABOUT "TAGGING"
  3. WALL PATTERN WAS SELECTED BY THE AVALON NEIGHBORHOOD ASSOCIATION ON 9/22/2015

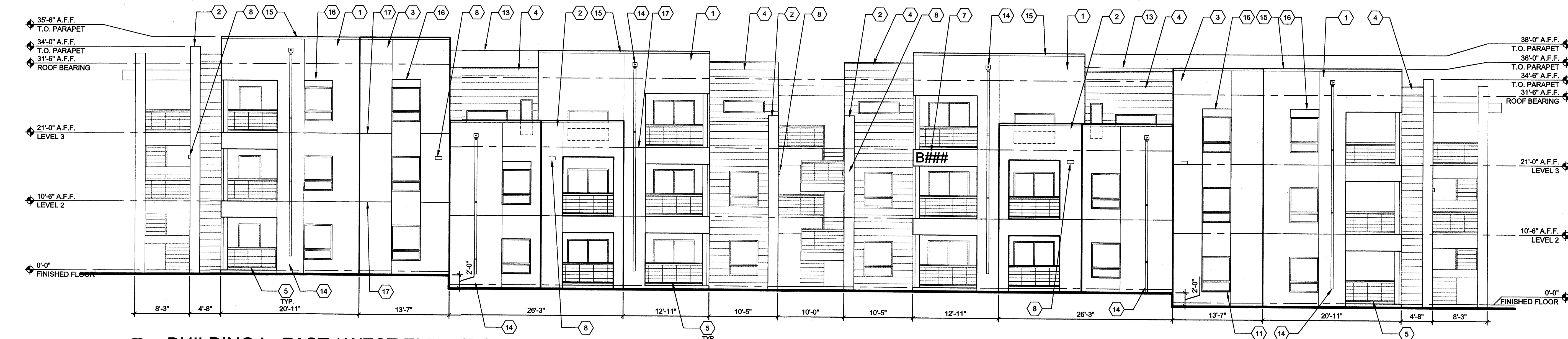
**GENERAL NOTES**

STUCCO COLORS INDICATED ARE AS APPROVED BY THE AVALON NEIGHBORHOOD ASSOCIATION ON 9/1/2015

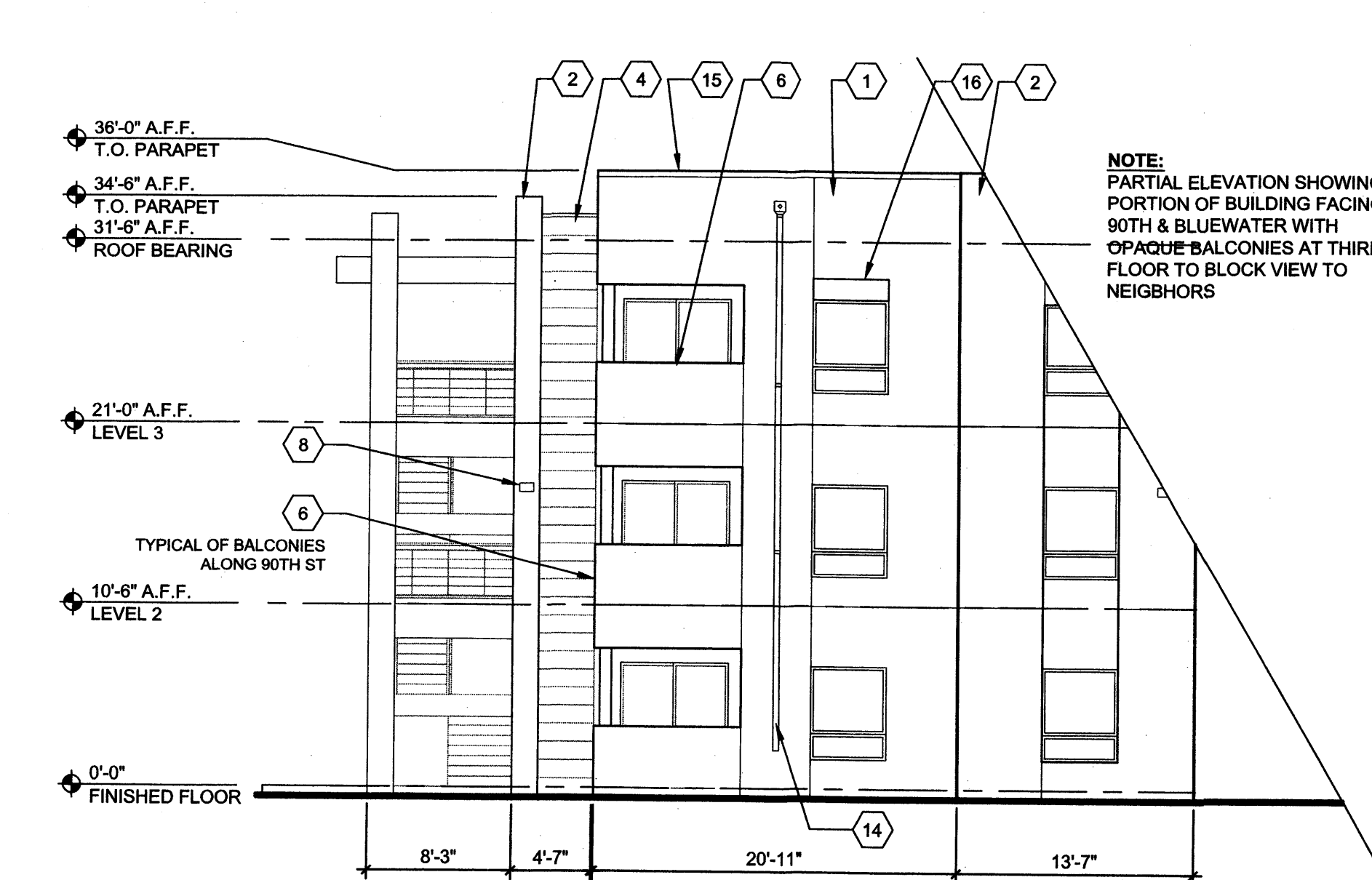
**KEYNOTES**

- 1 STUCCO COLOR 4, CREAM, BASED ON DUNN EDWARDS "IVORY OATS"
- 2 STUCCO COLOR 3, TAN, BASED ON DUNN EDWARDS "CROSSROADS"
- 3 STUCCO COLOR 2, GOLD BROWN, BASED ON DUNN EDWARDS "ROOT BEER FLOAT"
- 4 STUCCO COLOR 1, RUST BROWN, BASED ON DUNN EDWARDS "SADDLE BROWN"
- 5 PAINTED TUBE STEEL RAILING, NEUTRAL COLOR
- 6 SOLID STUCCO WALL AT BALCONIES ON EAST ELEVATIONS TO ADDRESS NEIGHBORHOOD PRIVACY CONCERNS
- 7 BUILDING NUMBER - SIZE AND PLACEMENT TO MEET CURRENT FIRE DEPARTMENT REQUIREMENTS, LIT FROM DUSK THRU DAWN

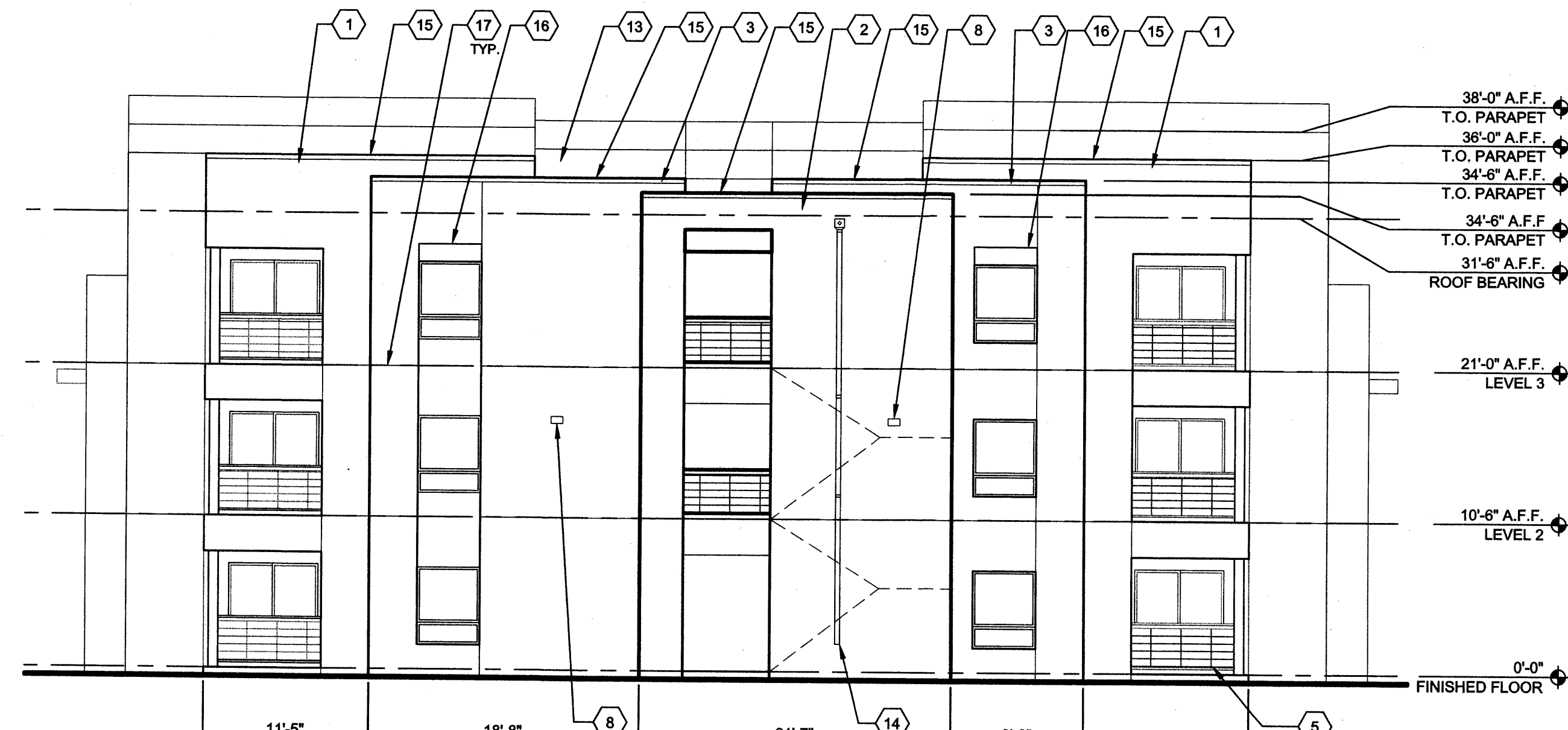
- 8 EXTERIOR LIGHTING W/ PHOTO SENSOR TO MAINTAIN FROM DUSK THRU DAWN PER MFA REQUIREMENTS
- 9 GLAZED SLIDING DOOR
- 10 HOLLOW METAL DOOR
- 11 WINDOW
- 12 HIGH WINDOW
- 13 ROOF OVER LIGHT WELLS
- 14 METAL DOWNSPOUT, PREFINISHED GALVALUME
- 15 METAL COPING, PREFINISHED GALVALUME
- 16 OPTIONAL METAL SUNSHADE, PREFINISHED GALVALUME
- 17 STUCCO CONTROL JOINT



**B1 BUILDING I - EAST / WEST ELEVATION**  
1/8" = 1'-0"  
0 4 8 16



**A1 BUILDING I - PARTIAL EAST ELEVATION**  
1/8" = 1'-0"  
0 4 8 16



**A4 BUILDING I - NORTH / SOUTH ELEVATION**  
1/8" = 1'-0"  
0 4 8 16

REVISIONS

△	EPC CONDITION OF APPROVAL
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DATE	10/13/2015
PROJECT NO.	15-0074
DRAWING NAME	

**BUILDING TYPE I  
ELEVATIONS**

**GENERAL NOTES**

STUCCO COLORS INDICATED ARE AS APPROVED BY THE AVALON NEIGHBORHOOD ASSOCIATION ON 9/1/2015

**KEYNOTES**

- 1 STUCCO COLOR 4, CREAM, BASED ON DUNN EDWARDS "IVORY OATS" AS APPROVED, BY NEIGHBORHOOD ASSOC.
- 2 STUCCO COLOR 3, TAN, BASED ON DUNN EDWARDS "CROSSROADS"
- 3 STUCCO COLOR 2, GOLD BROWN, BASED ON DUNN EDWARDS "ROOT BEER FLOAT"
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REVISIONS

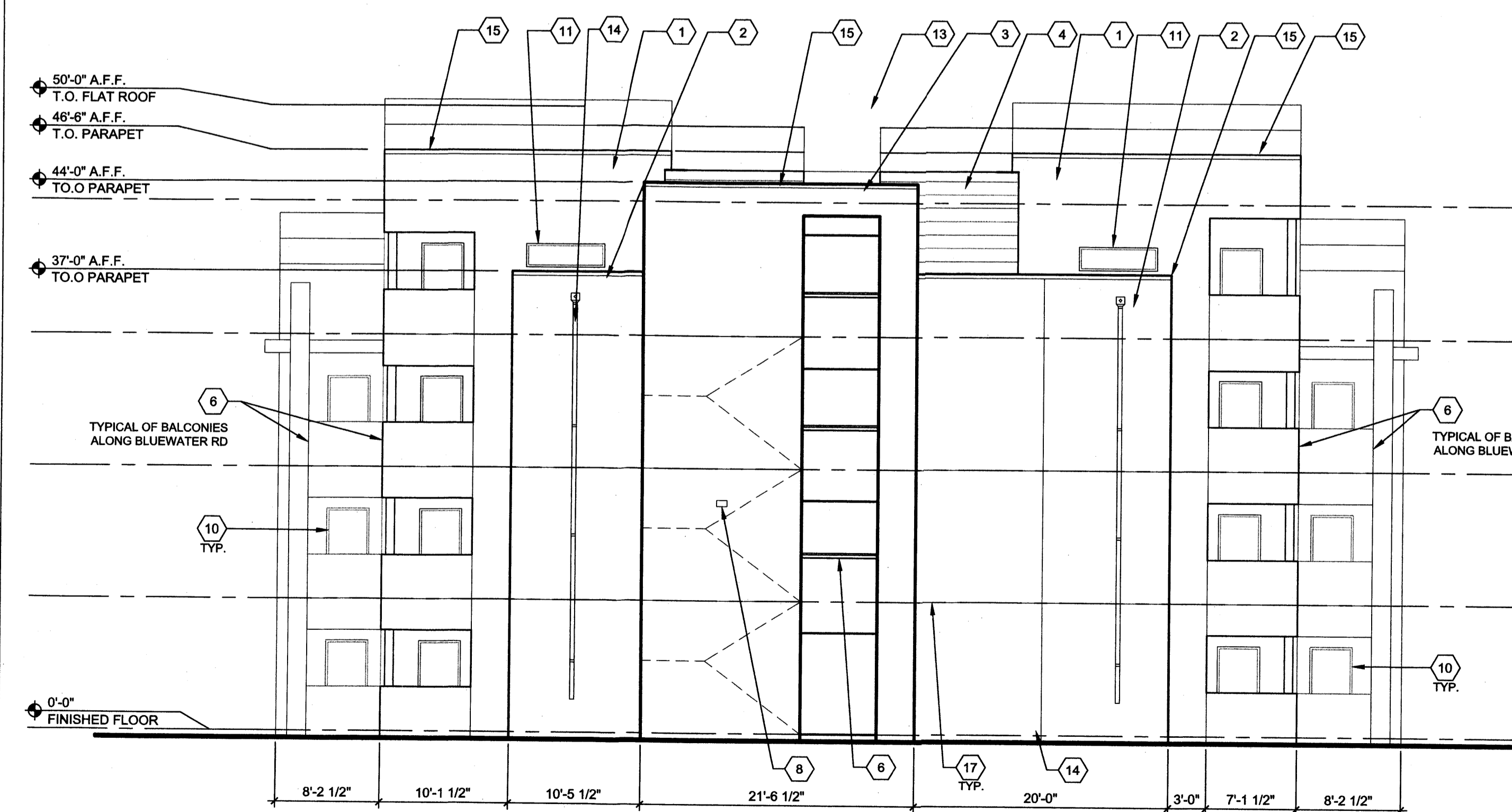
▲	EPC CONDITION OF APPROVAL
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DRAWN BY	WWM, MJH, ZH
REVIEWED BY	
DATE	10/13/2015
PROJECT NO.	15-0074
DRAWING NAME	

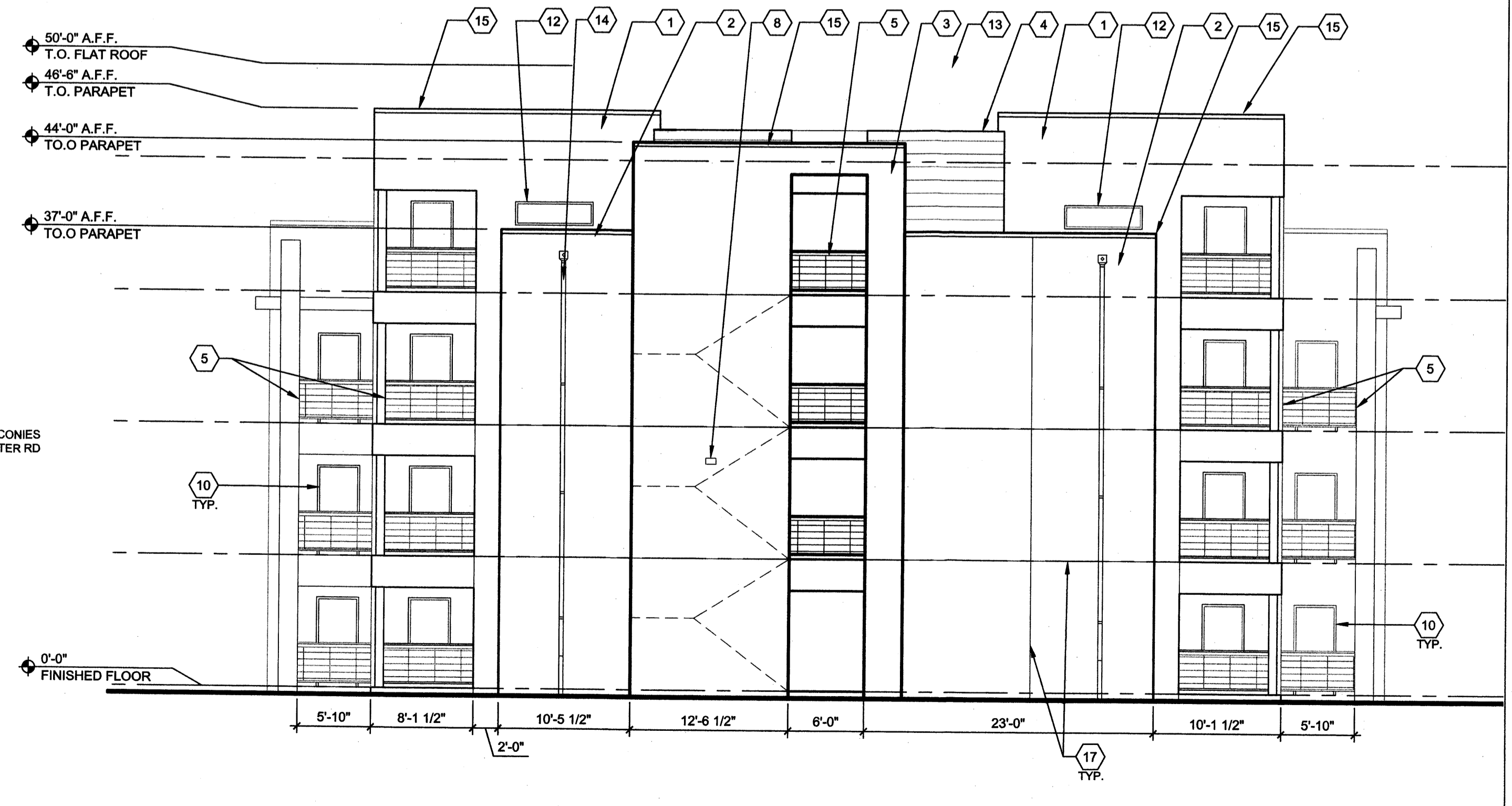
**BUILDING TYPE II  
ELEVATIONS**



**B1** BUILDING II - NORTH / SOUTH  
1/8" = 1'-0"



**A1** BUILDING II - EAST  
1/8" = 1'-0"



**A4** BUILDING II - WEST  
1/8" = 1'-0"

REVISIONS

▲	EPC CONDITION OF APPROVAL
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▲	
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DRAWN BY: WWM, M.J.H, ZH  
REVIEWED BY:  
DATE: 10/13/2015  
PROJECT NO.: 15-0074  
DRAWING NAME:

**BUILDING TYPE III  
ELEVATIONS**

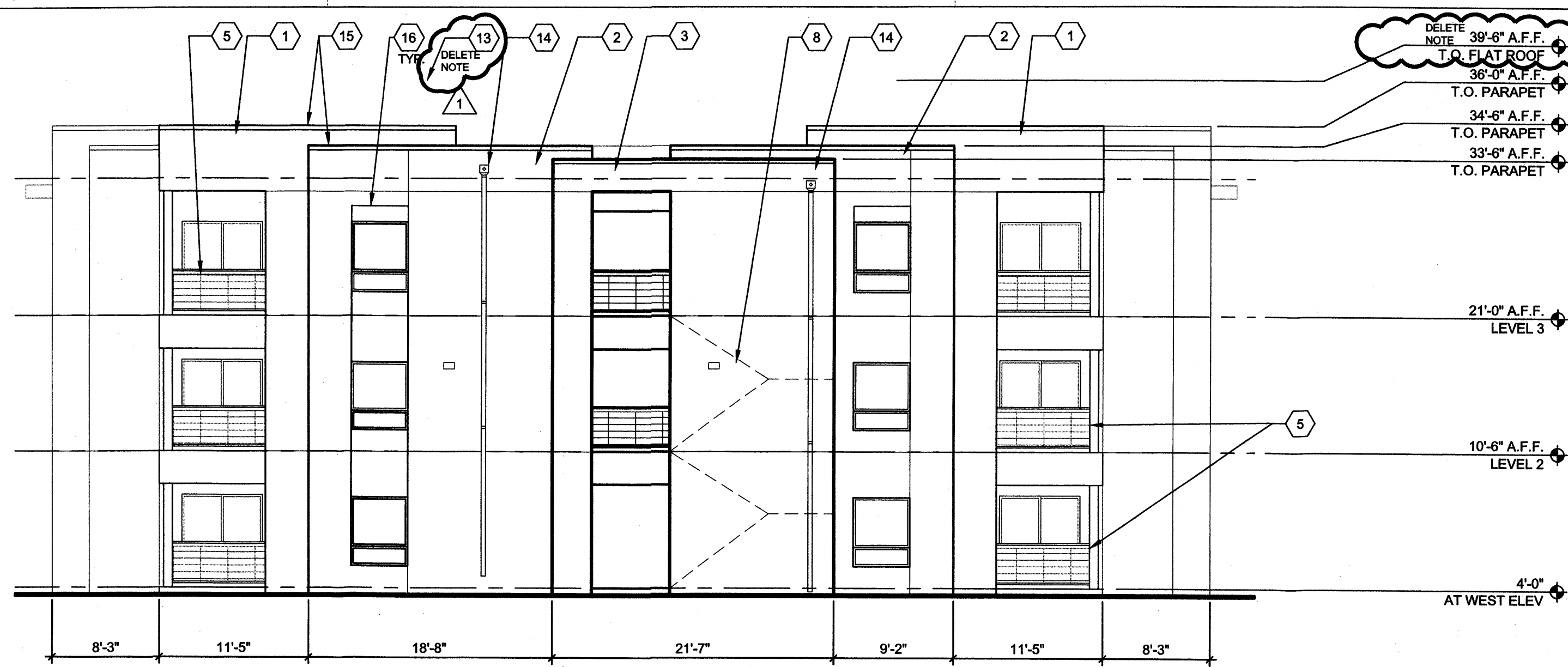
**GENERAL NOTES**

STUCCO COLORS INDICATED ARE AS APPROVED BY THE AVALON NEIGHBORHOOD ASSOCIATION ON 9/11/2015

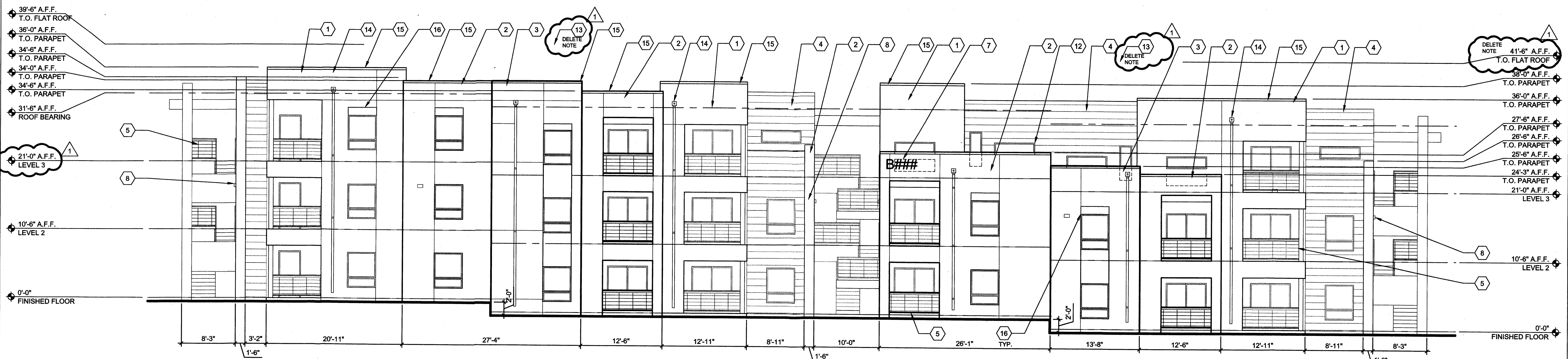
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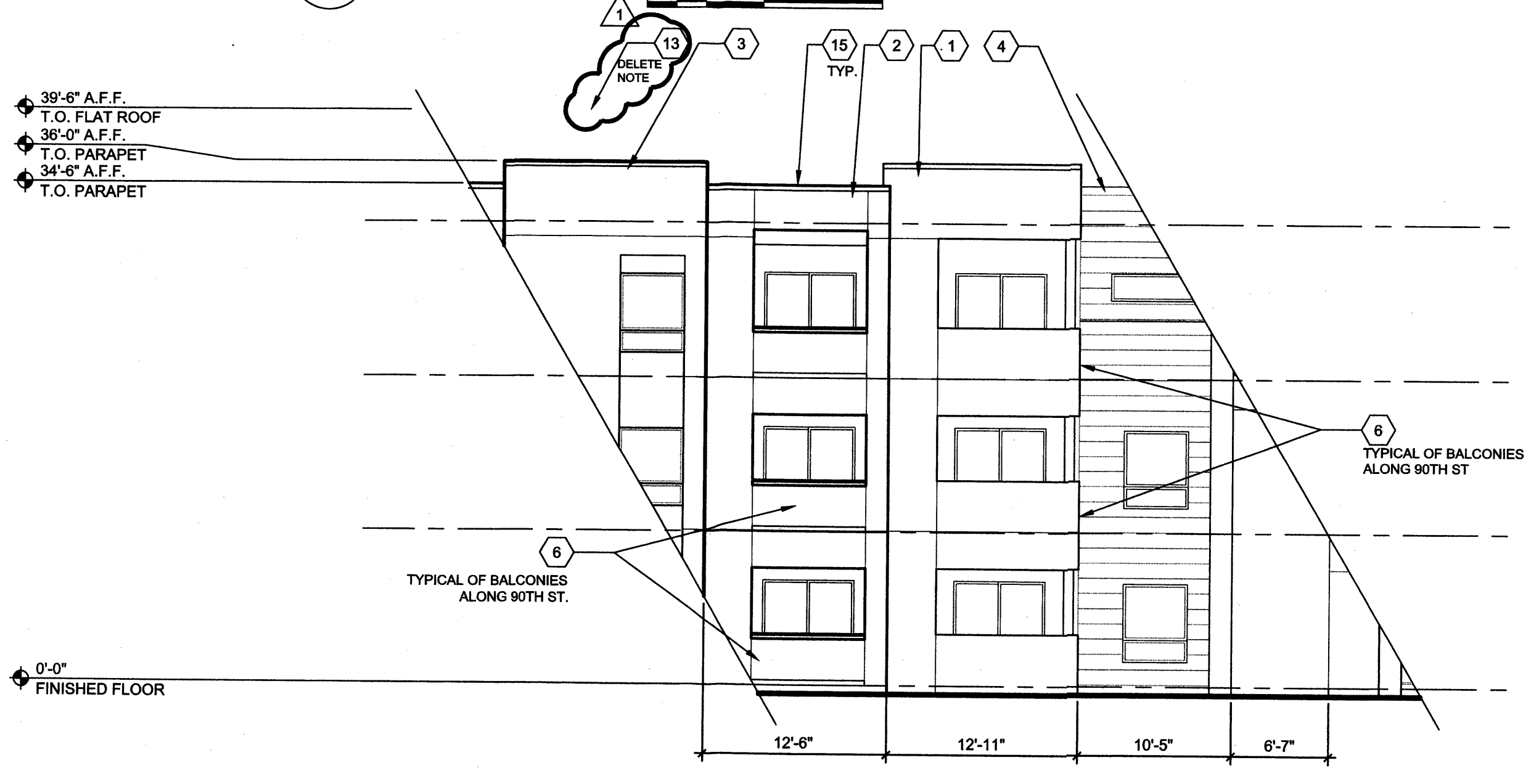
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**C1 BUILDING III - WEST**  
1/8" = 1'-0"

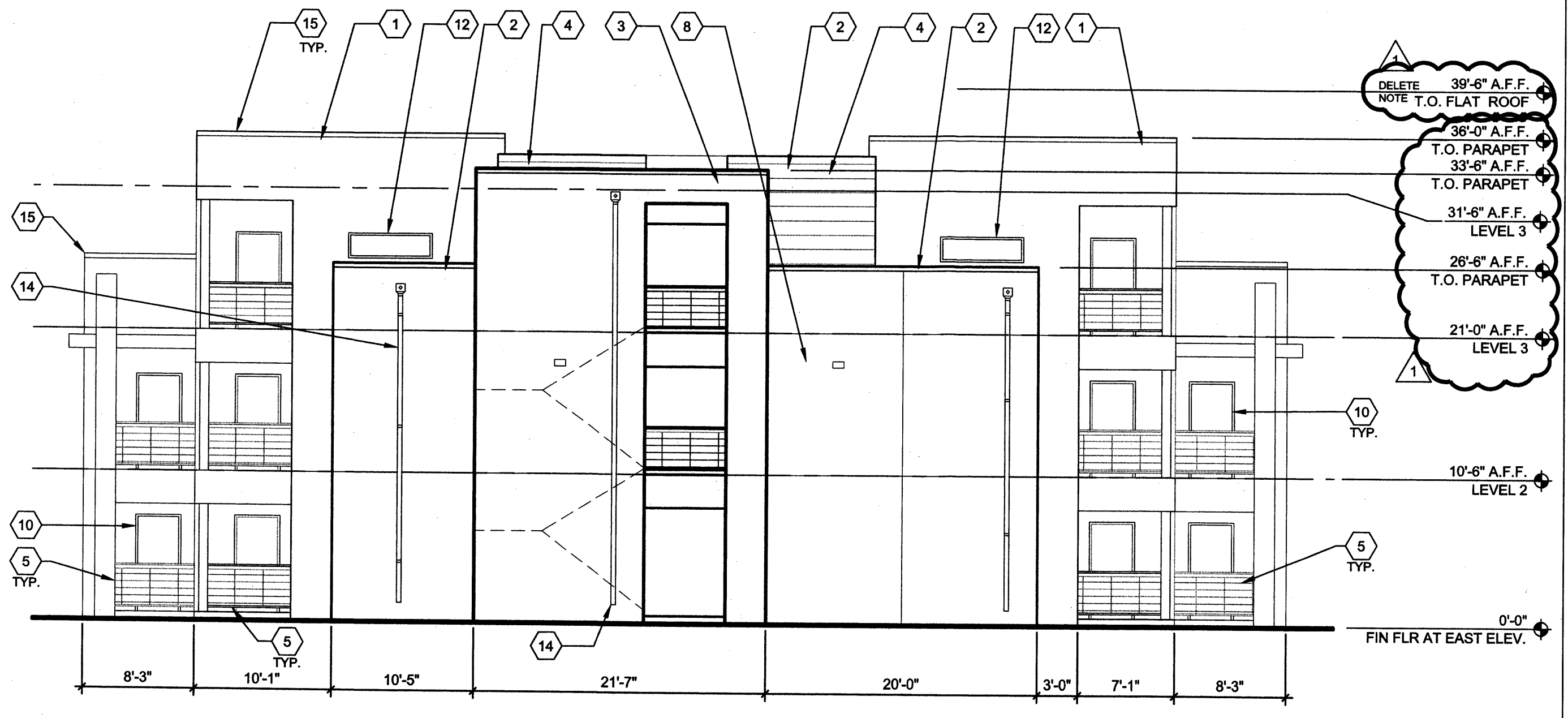


**B1 BUILDING III - NORTH / SOUTH**  
1/8" = 1'-0"



**A1 BUILDING III - PARTIAL SOUTH**  
1/8" = 1'-0"

**NOTE:**  
PARTIAL ELEVATION SHOWING PORTION OF BUILDING FACING 90TH ST WITH OPAQUE BALCONIES AT ALL FLOORS TO MINIMIZE VIEWS TO THE SINGLE FAMILY NEIGHBORHOOD



**A3 BUILDING III - EAST**  
1/8" = 1'-0"

**GENERAL NOTES**

STUCCO COLORS INDICATED ARE AS APPROVED BY THE AVALON NEIGHBORHOOD ASSOCIATION ON 9/1/2015

- KEYNOTES**
- ① STUCCO COLOR 4, CREAM, BASED ON DUNN EDWARDS "IVORY OATS" AS APPROVED BY NEIGHBORHOOD ASSOC.
  - ② STUCCO COLOR 3, TAN, BASED ON DUNN EDWARDS "CROSSROADS"
  - ③ STUCCO COLOR 2, GOLD BROWN, BASED ON DUNN EDWARDS "ROOT BEER FLOAT"
  - ④ STUCCO COLOR 1, RUST BROWN, BASED ON DUNN EDWARDS "SADDLE BROWN"
  - ⑤ PAINTED TUBE STEEL RAILING, NEUTRAL COLOR
  - ⑥ SOLID STUCCO WALL AT BALCONIES ON EAST ELEVATIONS TO ADDRESS NEIGHBORHOOD PRIVACY CONCERNS
  - ⑦ BUILDING NUMBER - SIZE AND PLACEMENT TO MEET CURRENT FIRE DEPARTMENT REQUIREMENTS, LIT FROM DUSK THRU DAWN

- ⑧ EXTERIOR LIGHTING W/ PHOTO SENSOR TO MAINTAIN FROM DUSK THRU DAWN PER MFA REQUIREMENTS
- ⑨ GLAZED ENTRY DOOR
- ⑩ HOLLOW METAL DOOR
- ⑪ WINDOW
- ⑫ HIGH WINDOW
- ⑬ METAL FASCIA, PREFINISHED GALVALUME
- ⑭ METAL DOWNSPOUT, PREFINISHED GALVALUME
- ⑮ METAL COPING, PREFINISHED GALVALUME
- ⑯ OPTIONAL METAL SUNSHADE, PREFINISHED GALVALUME
- ⑰ STUCCO CONTROL JOINT

ARCHITECTURE / DESIGN / INSPIRATION

**DEKKER PERICH SABATINI**

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

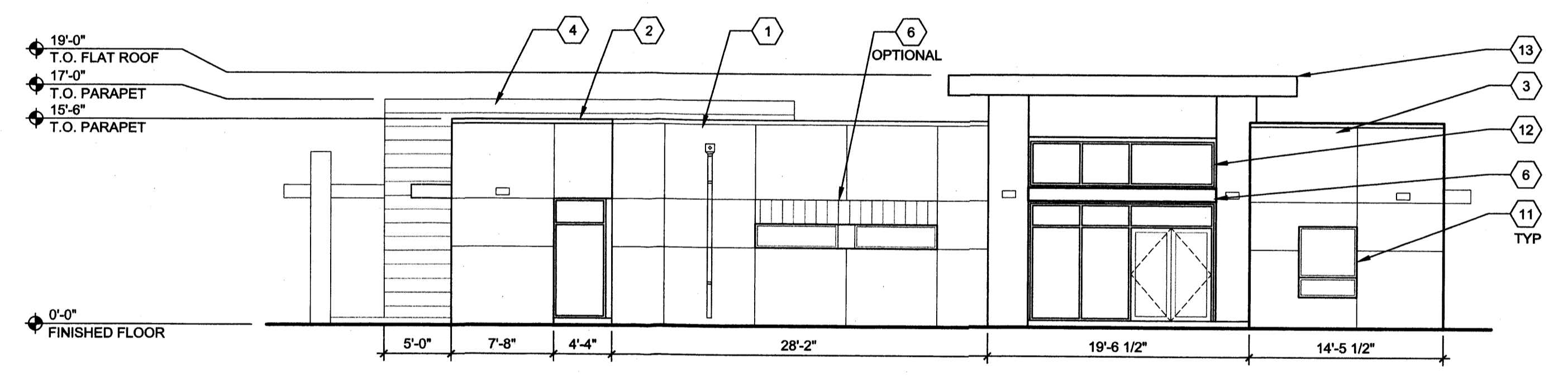
ARCHITECT

ENGINEER

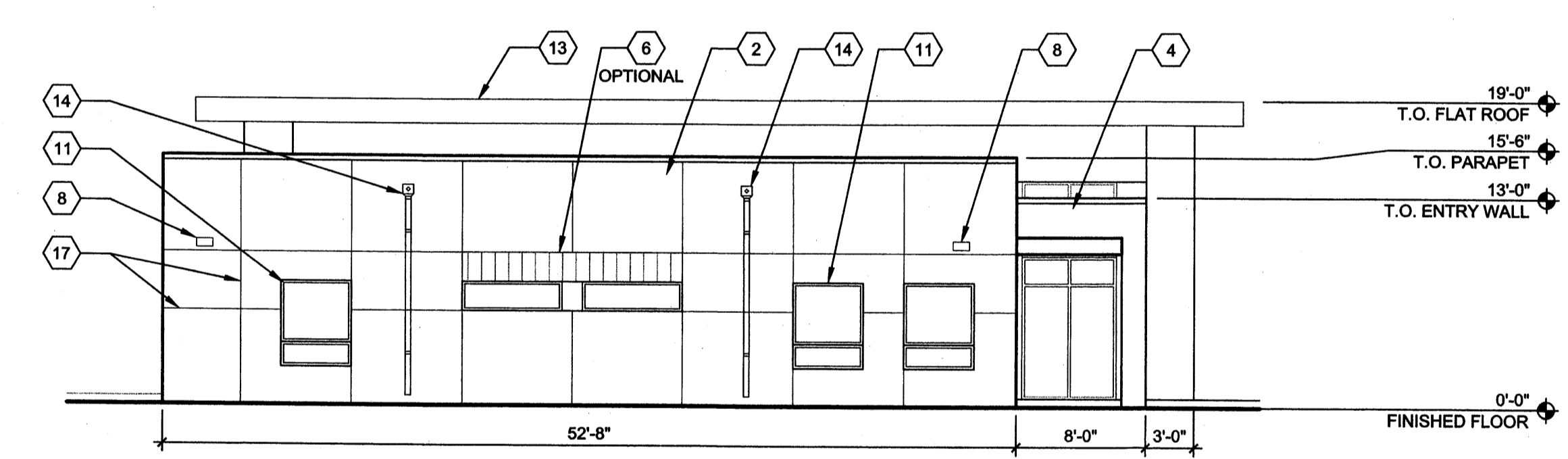
**DRB SUBMITAL**  
OCTOBER 13, 2015

PROJECT

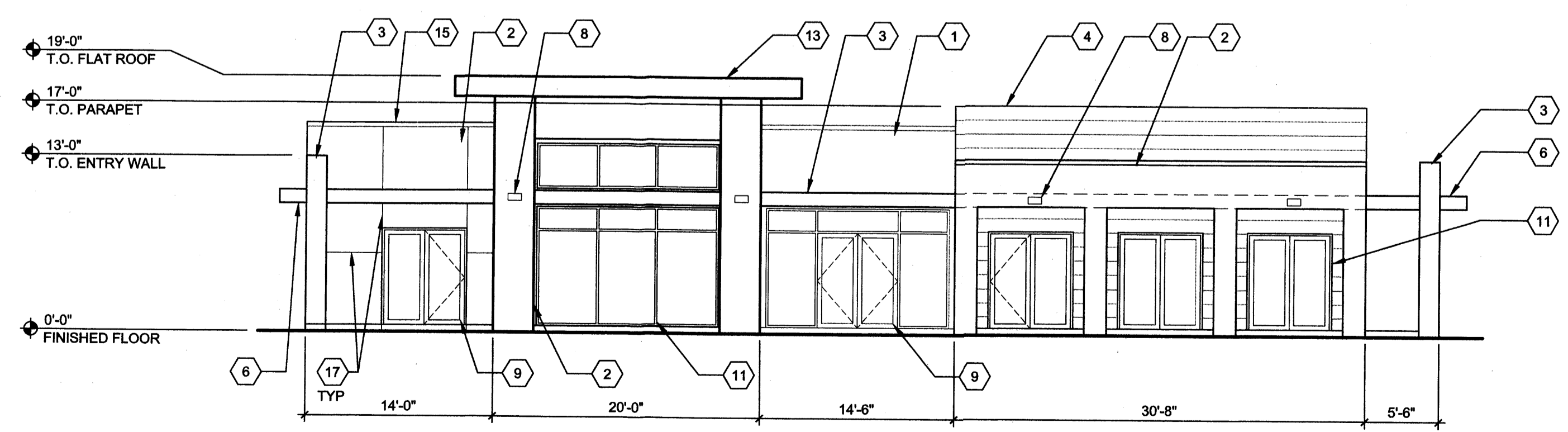
VILLAGE AT AVALON APARTMENTS  
90TH STREET & BLUEWATER ROAD SW  
ALBUQUERQUE, NM



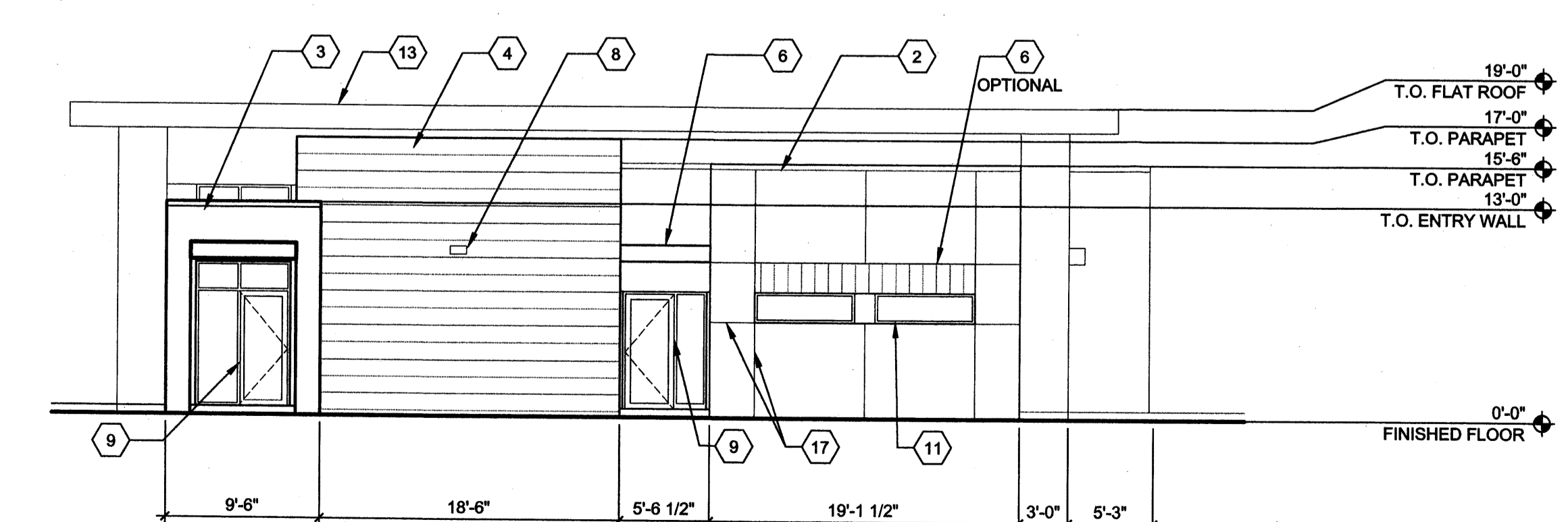
**B1 EAST BUILDING ELEVATION  
COMMUNITY CENTER**  
1/8" = 1'-0"



**B3 NORTH BUILDING ELEVATION  
COMMUNITY CENTER**  
1/8" = 1'-0"



**A1 WEST BUILDING ELEVATION  
COMMUNITY CENTER**  
1/8" = 1'-0"



**A3 SOUTH BUILDING ELEVATION  
COMMUNITY CENTER**  
1/8" = 1'-0"

REVISIONS

△ EPC CONDITION OF APPROVAL

△

△

△

△

DRAWN BY WWM, MJH, ZH

REVIEWED BY

DATE 10/13/2015

PROJECT NO. 15-0074

DRAWING NAME

**COMMUNITY CENTER ELEVATIONS**

SHEET NO.

**SDP-5.4**

OF