

DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

DRB SUBMITAL OCTOBER 13, 2015

PROJECT

VILLAGE AT AVALON APARTMENTS 90TH STREET & BLUEWATER ROAD SW ALBUQUERQUE, NM

REVISIONS

- REVISIONS: EPC CONDITION OF APPROVAL, DRB COMMENTS

DRAWN BY MJH, REVIEWED BY RAW, DATE 10/27/2015, PROJECT NO. 15-0074, DRAWING NAME

SITE DEVELOPMENT PLAN

SHEET NO. SDP-1.1 1 OF 13

DRAWING INDEX

- 1 OF 12 SDP-1.1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
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11 OF 12 SDP-6.1 APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION
12 OF 12 SDP-6.2 DESIGN STANDARDS

GENERAL SHEET NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS
B. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS
D. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT...

SHEET KEYED NOTES

- 1. PROPERTY LINE
2. PROPERTY SETBACK
3. LEASING/CLUBHOUSE BUILDING
4. METAL FENCE SWING GATE, HEIGHT AND FINISH TO MATCH ADJACENT FENCE
5. 8'-6" X 20' ADA PARKING STALL, RE: C3/SDP-1.2
6. 8'-6" X 20' ADA ACCESS AISLE, RE: C3/SDP-1.2
7. 3'-6" X 20' ADA ACCESS AISLE, RE: C3/SDP-1.2
8. PAINTED ADA PAVEMENT SIGN
9. POLE MOUNTED ADA SIGN, RE: B2/SDP-1.2
10. TYPICAL MOTORCYCLE PARKING SPACE, 4'-0" X 8'-0", WITH POLE MOUNTED SIGNAGE, RE: B2/SDP-1.2

LEGEND

- LANDSCAPE BUFFER INCREASED ALONG 90TH TO OFFSET 10% OF PARKING - TOTAL INCREASE 10,541 SF
PARKING AREA REDUCED BY INCREASE IN LANDSCAPE BUFFER - TOTAL DECREASE 8,380 SF
PAINTED DIRECTIONAL ARROWS
PEDESTRIAN POLE LIGHTS, 12' HIGH MAX
PARKING LOT LIGHT, 25' HIGH MAX AT PERIMETER PARKING, 16' HIGH MAX WITHIN 100' OF SINGLE FAMILY RESIDENTIAL NEIGHBORHOOD

PROJECT NUMBER: 1003478, APPLICATION NUMBER: 15DRB-70379

Is an Infrastructure List Required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

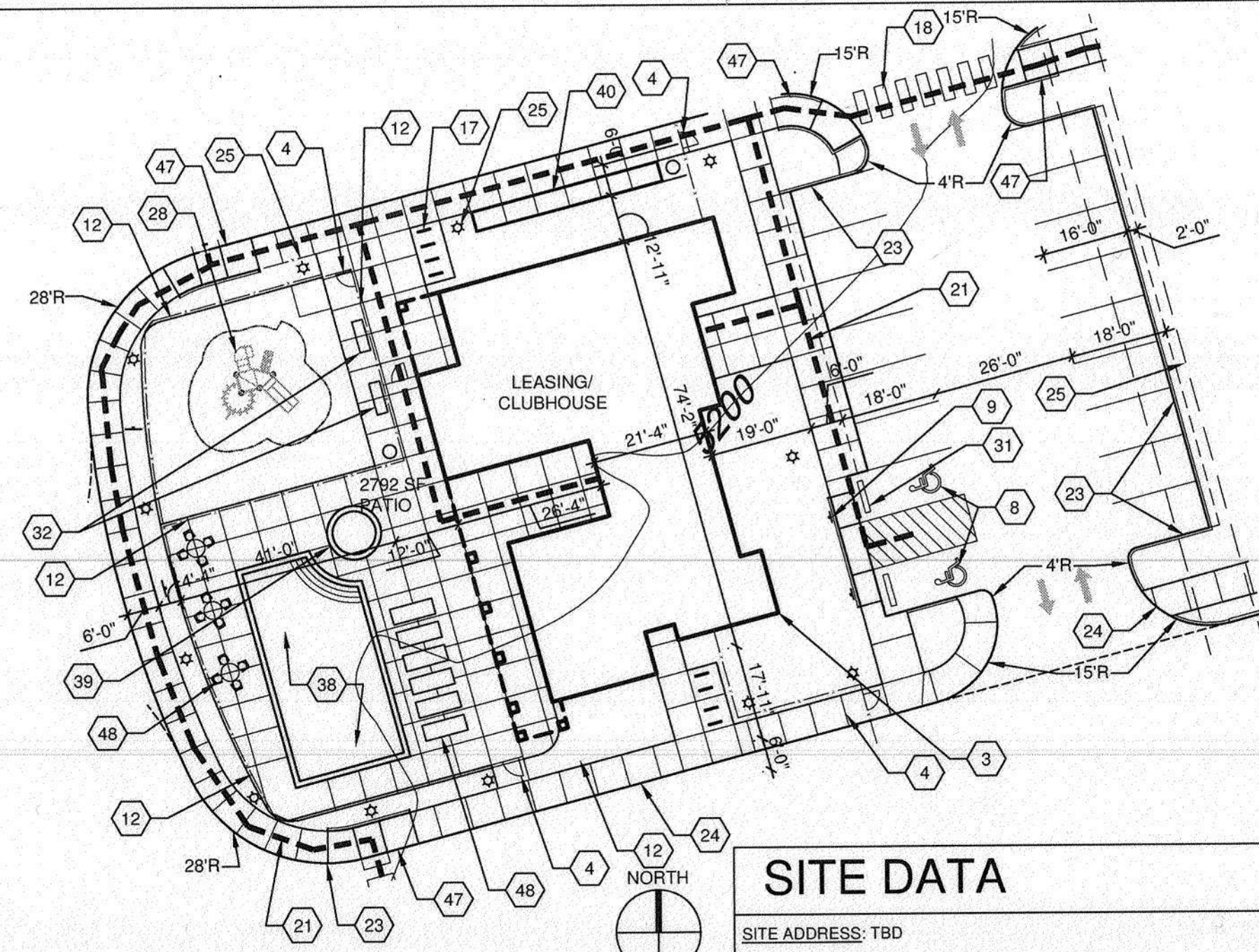
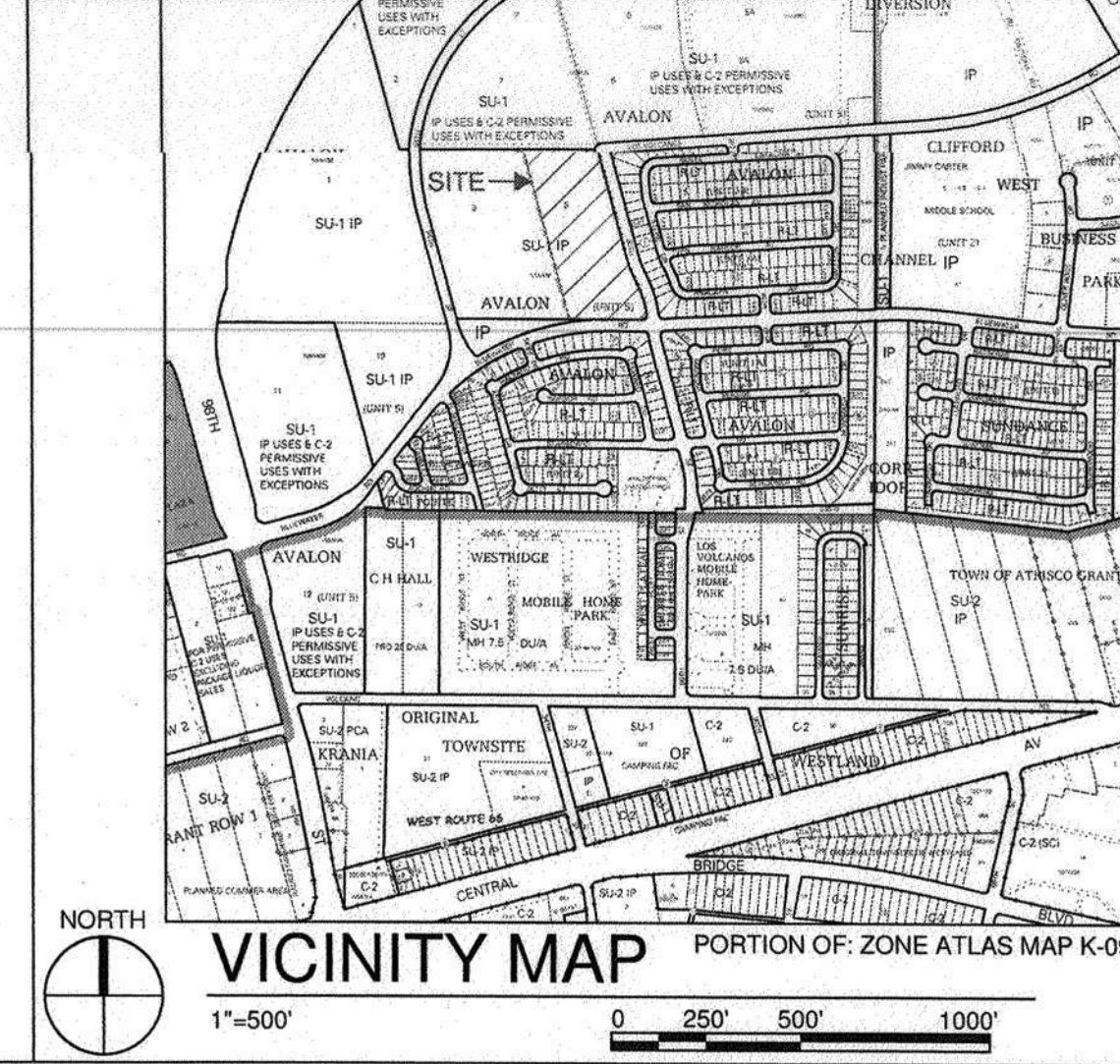
Approval signatures and dates: 12/2/15, 10/27/15, 12-2-15, 4-6/16, 12-8-15

SITE DATA

SITE ADDRESS: TBD, LEGAL DESCRIPTION: TRACT 8, AVALON SUBDIVISION UNIT 5, FILED 5/22/2014 IN BOOK 2014C, PAGE 46. ACRES: 9.9828 AC (434,851 SF)
DEVELOPMENT PLANS: NO SECTOR PLAN
AREA PLAN: WESTSIDE STRATEGIC PLAN
DEVELOPING URBAN COMPREHENSIVE PLAN
ZONING SUMMARY: SU-1 FOR R2 APARTMENTS
CONSTRUCTION TYPE: VA, FULLY SPRINKLERED, NFPA 13R
ALLOWABLE SF = 12,000SF, 3 STORY + FRONTAGE INCREASE OF 7,200SF = 19,200 PER STORY INCREASE FOR FIRE SPRINKLER = 1 ADDITIONAL STORY

PARKING

Table with columns: SPACES PER BATH, QUANTITY OF UNITS, PARKING SPACES REQUIRED. Includes 10% parking reduction and landscape buffer increase details.



C3 PARTIAL SITE PLAN 1" = 25'-0" 0 25' 50'

INGRESS/EGRESS: INGRESS IS AT THE MID-POINT OF THE SITE ON 90TH STREET ONLY. EGRESS FROM THE SITE IS AT THE MID-POINT OF THE SITE ON 90TH AND AN EXIT ONLY EMERGENCY ACCESS ON BLUEWATER
TRANSIT: ACCESS TO PUBLIC TRANSPORTATION IS AVAILABLE ON CENTRAL AVE WITHIN .6 MILES
BIKEWAYS AND PATHS: AN EXISTING BIKE PATH IS AVAILABLE ON BLUEWATER AND CONNECTS TO THE MAJOR BIKEWAYS ALONG THE BOSQUE



B1 TYP. ACCESSIBLE PARKING

A2 SITE PLAN 1" = 50'-0" 0 50' 100'

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90TH STREET & BLUEWATER ROAD SW
ALBUQUERQUE, NM

REVISIONS
 ▲ EPC CONDITION OF APPROVAL
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DRAWN BY MJH
 REVIEWED BY RAW
 DATE 10/27/2015
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PROJECT DATA
AND DETAILS

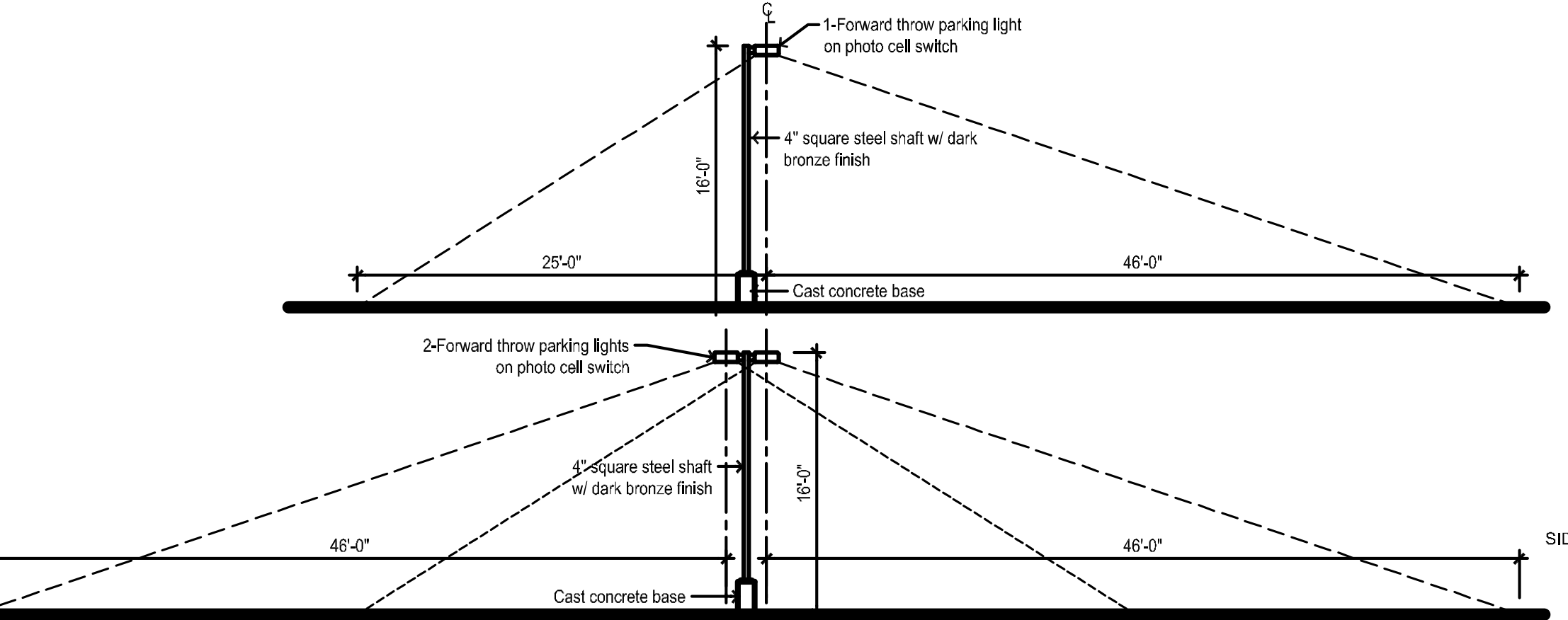
SHEET NO.
SDP-1.2
2 OF 13

BUILDING DATA

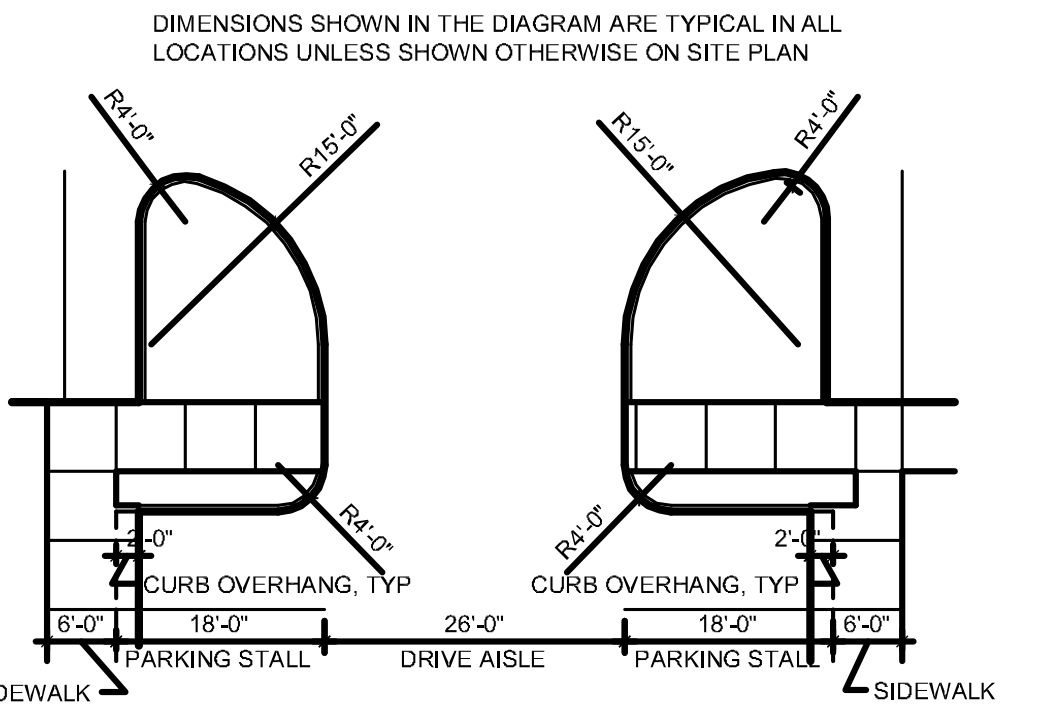
Village at Avalon - BUILDING DATA		UNIT MIX													
Buildings	Heated NSF	Gross SF	1 BD	2 BD	3 BD	1A	1B-A	1B-B	2A	2B	3A	3A-A	3B	TOTAL	
Buildings 1&4	Level 1	10,630.2	13,524.2	4	4	4			1	3	3	1		12	
	Level 2	10,602.8	12,927.5	4		4							4	12	
	Level 3	8,353.2	10,368.3	4		4			4					8	
Quantity (2)	Total	29,586.2	36,820.0			12								32	
	Total sf	59,172.4	73,640.0	TOTAL UNITS										32	
Buildings 2&5	Level 1	12,132.4	15,818.6	8	8					8				16	
	Level 2	12,096.4	15,021.6	8	8				1	7				16	
	Level 3	12,096.4	15,021.6	8		8							8	16	
	Level 4	8,436.4	11,944.4	8		8		2	2	4				8	
Quantity (2)	Total	44,761.6	57,806.2	TOTAL UNITS										56	
	Total sf	89,523.2	115,612.4	TOTAL 2 BD on site										112	
Buildings 3&6	Level 1	10,226.3	12,962.9	4	6	2	4			6	1	1		12	
	Level 2	10,193.0	12,480.5	4	2	6	4			2	2		4	12	
	Level 3	8,139.2	10,123.3	4	2	2	2	2	2	2	2			8	
Quantity (2)	Total	28,558.5	35,566.7	TOTAL UNITS										32	
	Total sf	57,117.0	71,133.4	TOTAL 3 BD on site										64	
Maintenance Bldg	Total	3,768.7	5,030.6	TOTAL UNITS											
Garages	Total	276.0	276.0	TOTAL UNITS											
Total Bldg SF on site			209,857.30	276,262.60	Total units on site										240
						240	44	2	10	2	28	16	2	16	120
						88	4	20	4	56	32	4	32		

UNIT DATA

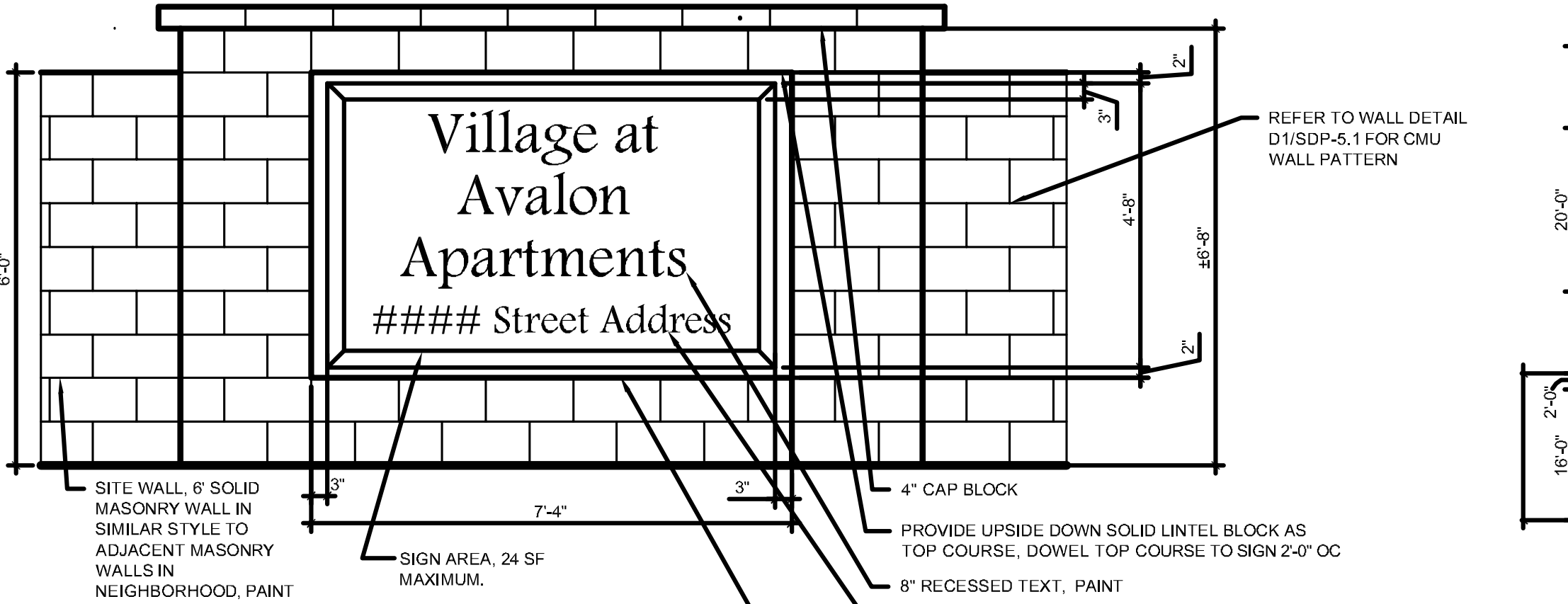
90th and Bluewater - UNIT DATA									
QUANTITY	UNIT TYPE	BD/BA QUANTITY	GHSF PER UNIT	# ACCESSIBLE (TYPE A) 5%	# HEARING IMPAIRED 2%	# ADAPTABLE (TYPE B) 50%	# VISITABLE 50%	OPEN SPACE REQUIRED	OPEN SPACE REQUIRED
88	1A	1BD/1BA	577	0	2	88	48	400	35,200
4	1B - A	1BD/1BA	688	4	0	7	400	1,600	
20	1B - B	1BD/1BA	688	0	20	1	400	8,000	
4	2A	2BD/1BA	935	4	0	2	500	2,000	
56	2B	2BD/2BA	935	0	2	0	42	500	28,000
4	3A-A	3BD/2BA	1138	4	0	12	600	2,400	
32	3A	3BD/2BA	1138	0	2	32	8	600	19,200
32	3B	3BDD/2BA	1195	0	0	0	600	19,200	
240				12	6	140	120		115,600



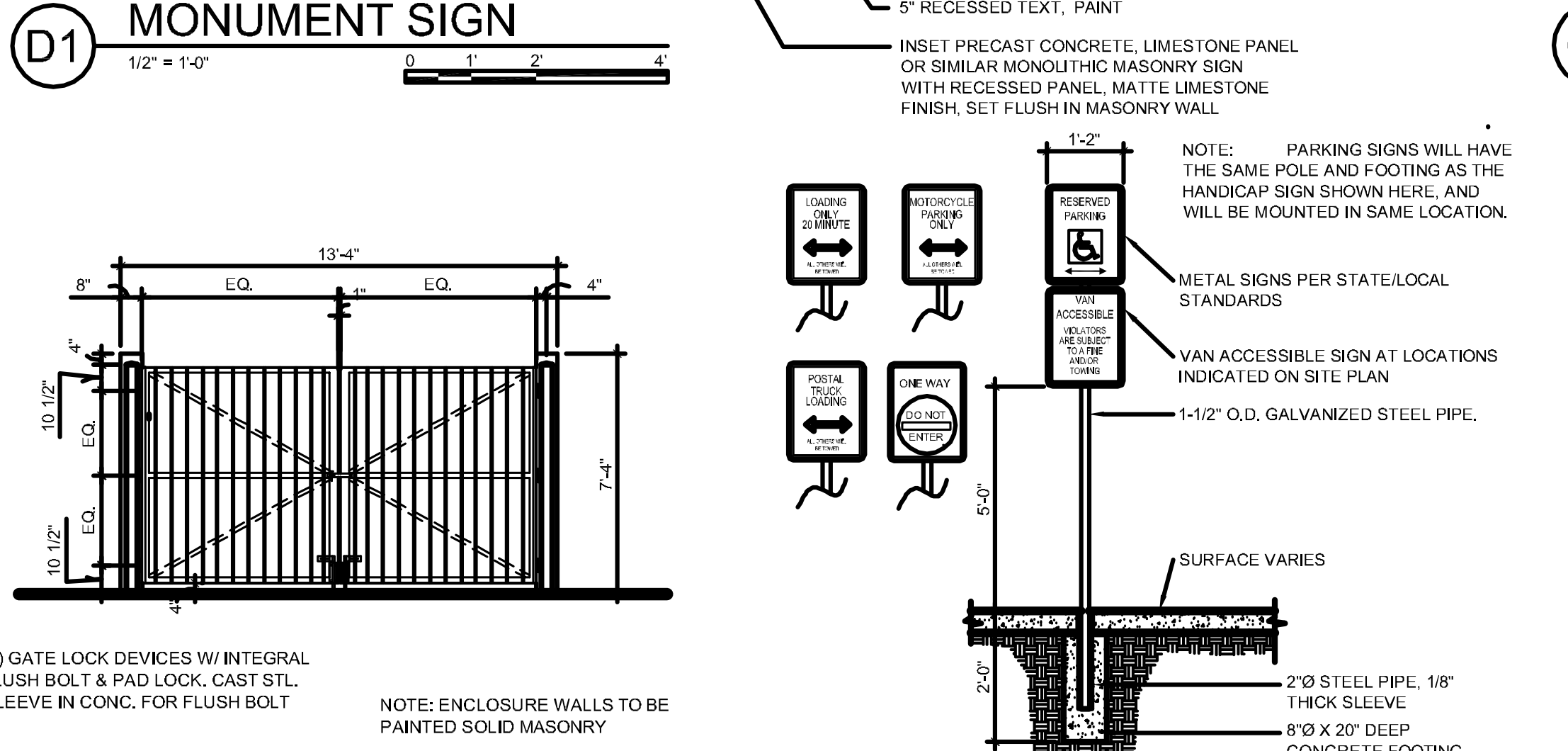
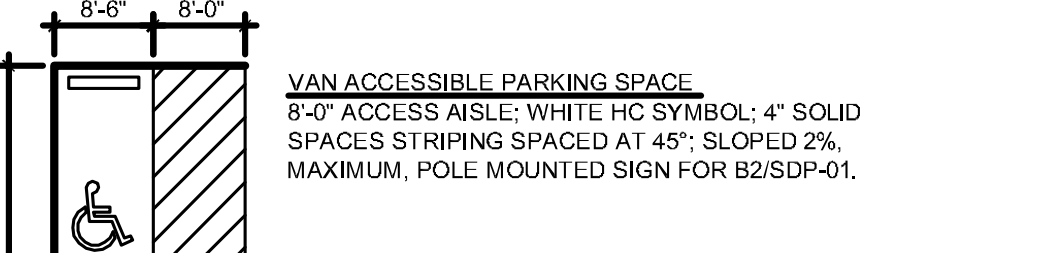
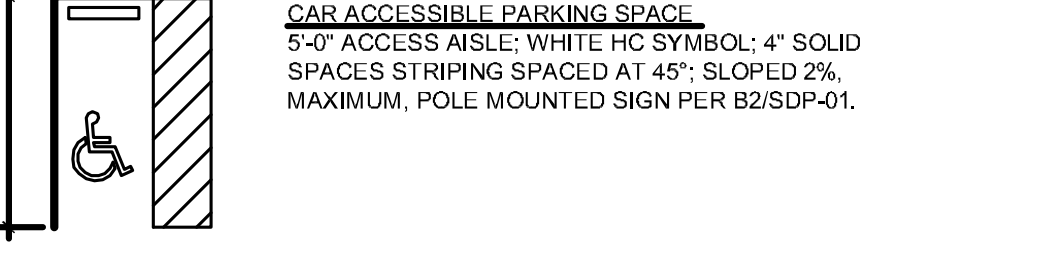
D1 LIGHT POLE
1/8" = 1'-0"



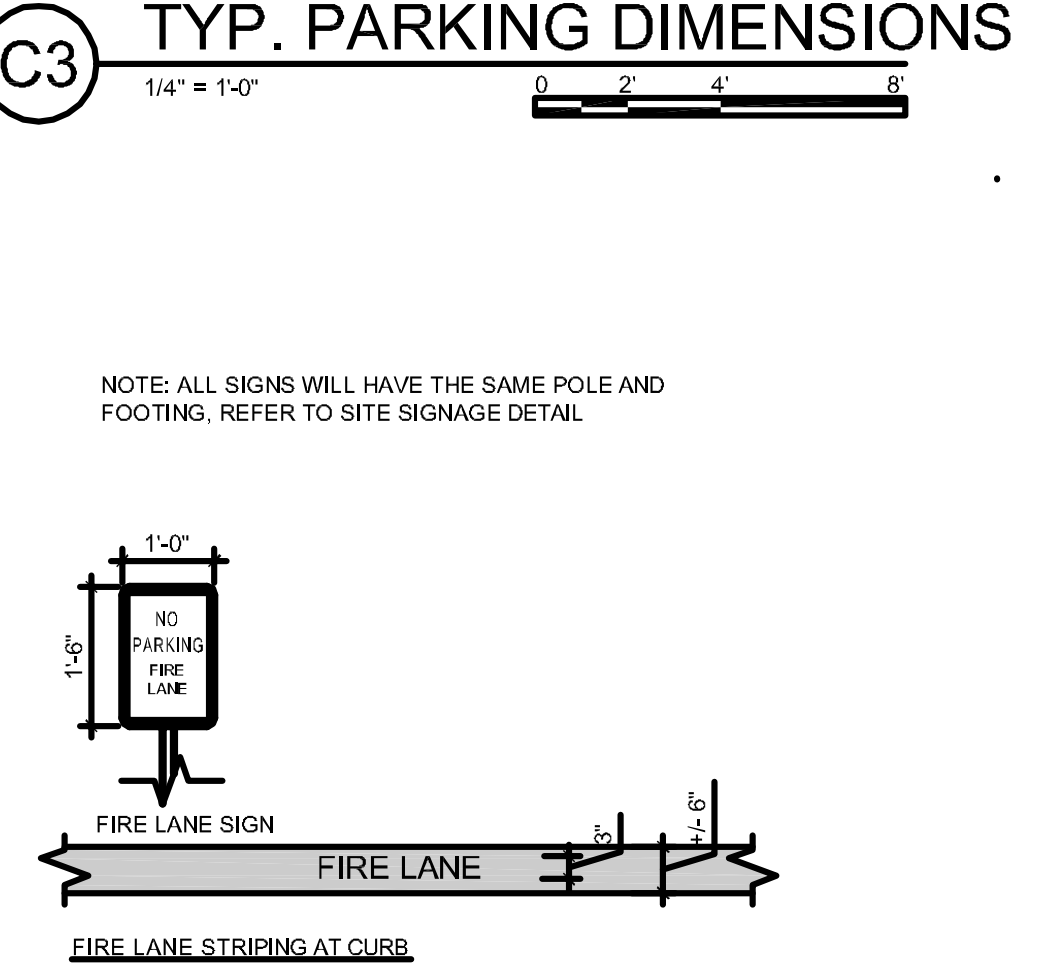
C3 TYP. PARKING DIMENSIONS
1/4" = 1'-0"



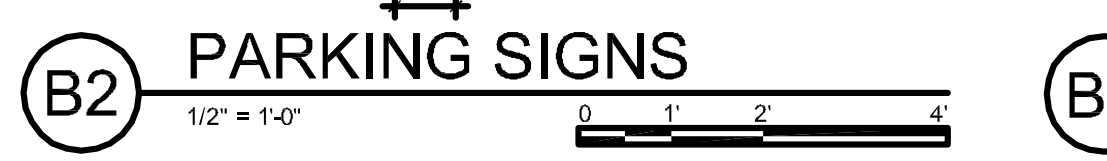
D1 MONUMENT SIGN
1/2" = 1'-0"



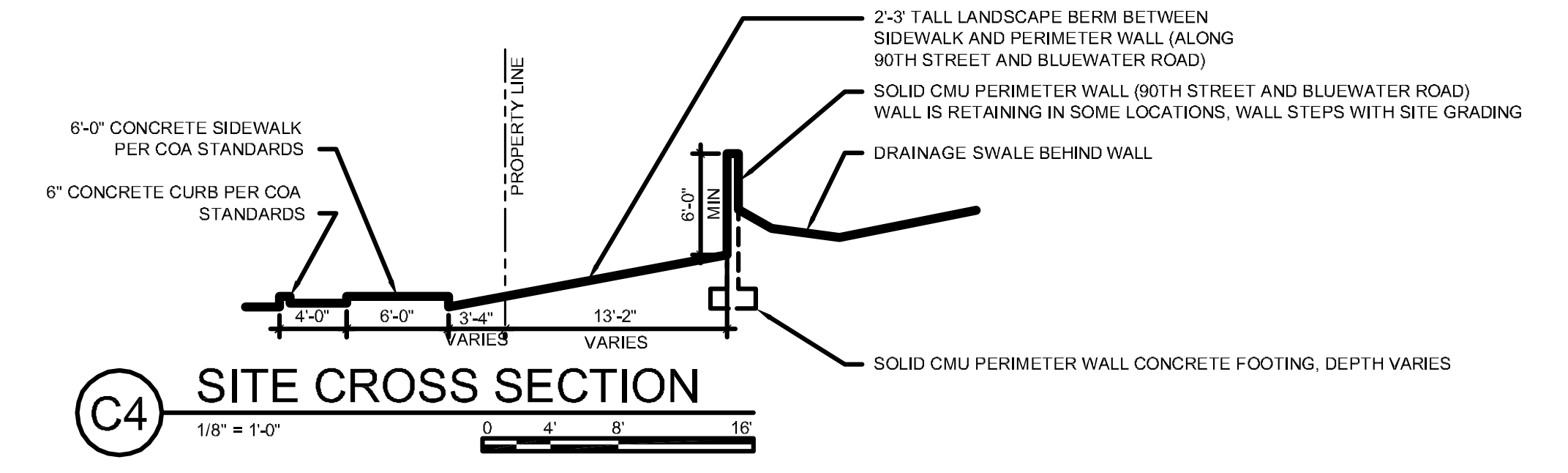
B1 GATE AT TRASH ENCLOSURE
1/4" = 1'-0"



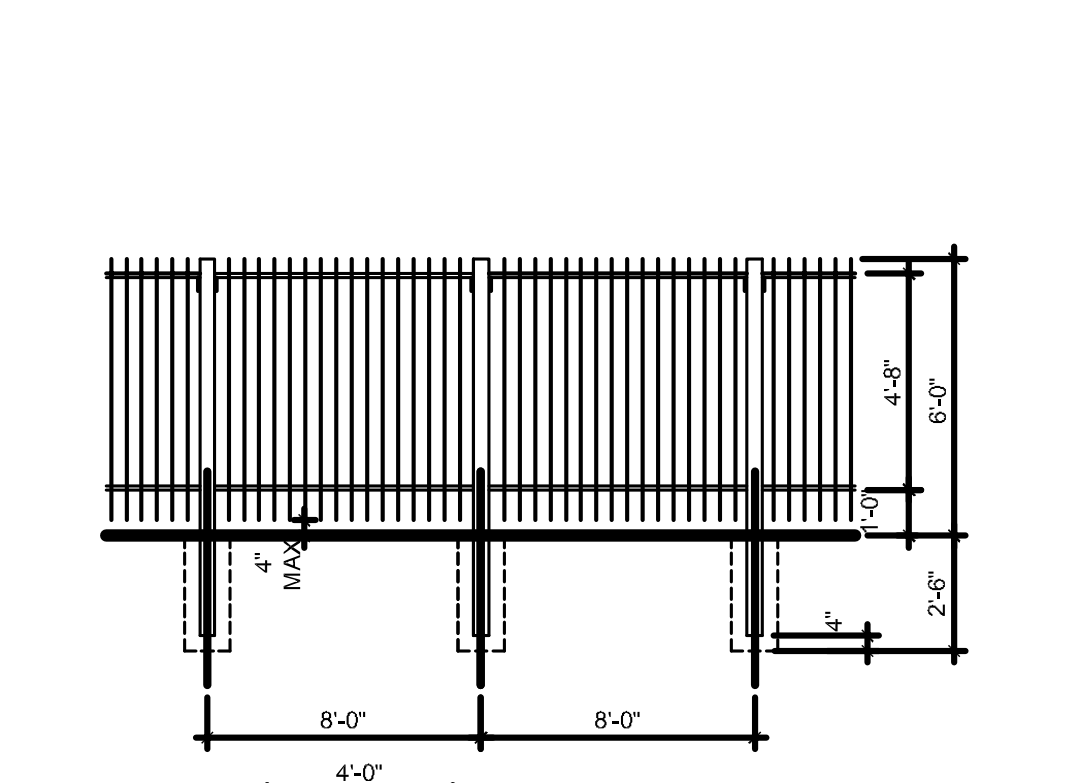
B3 FIRE LANE STRIPING AND SIGNAGE
1/2" = 1'-0"



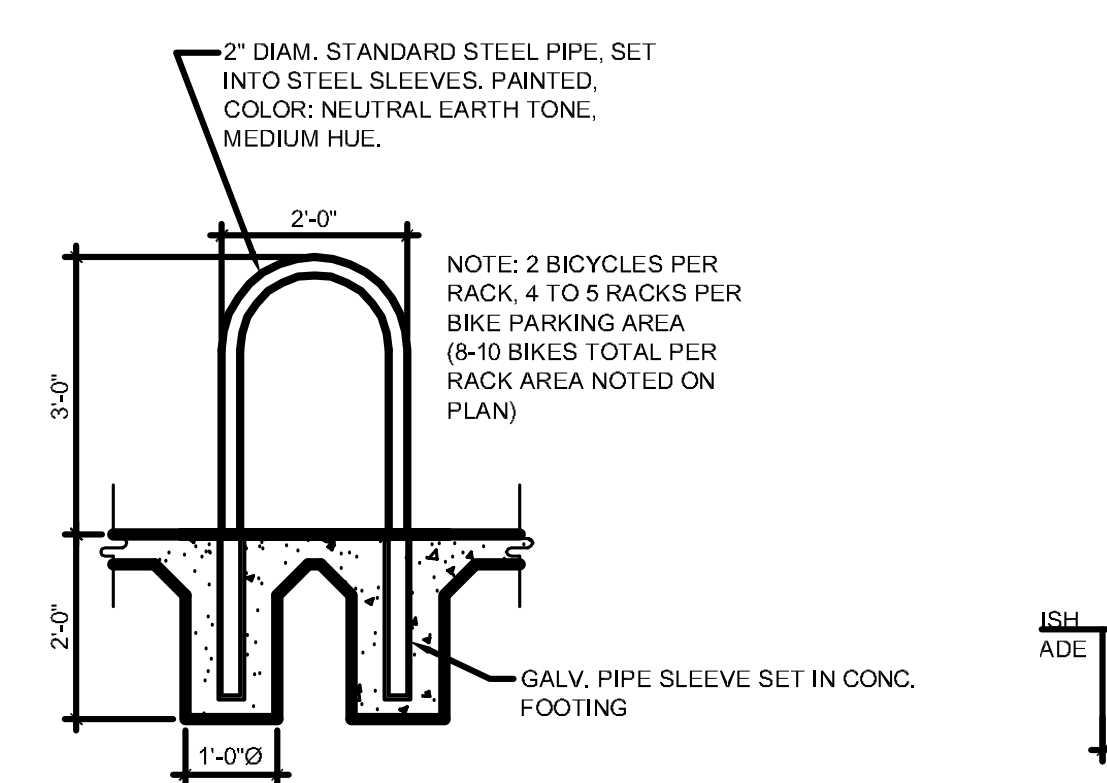
B2 PARKING SIGNS
1/2" = 1'-0"



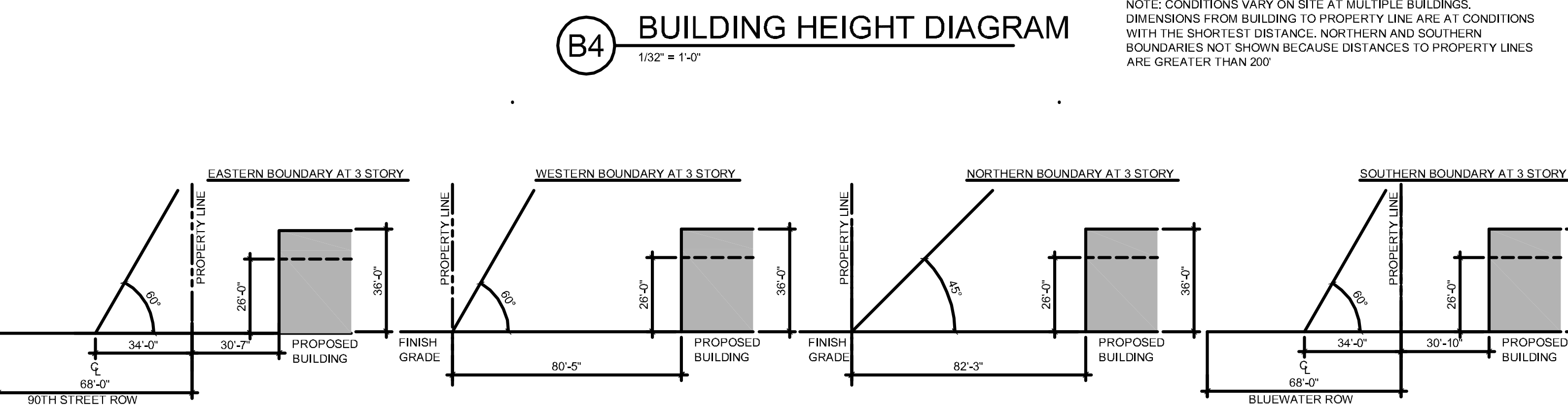
C4 SITE CROSS SECTION
1/8" = 1'-0"



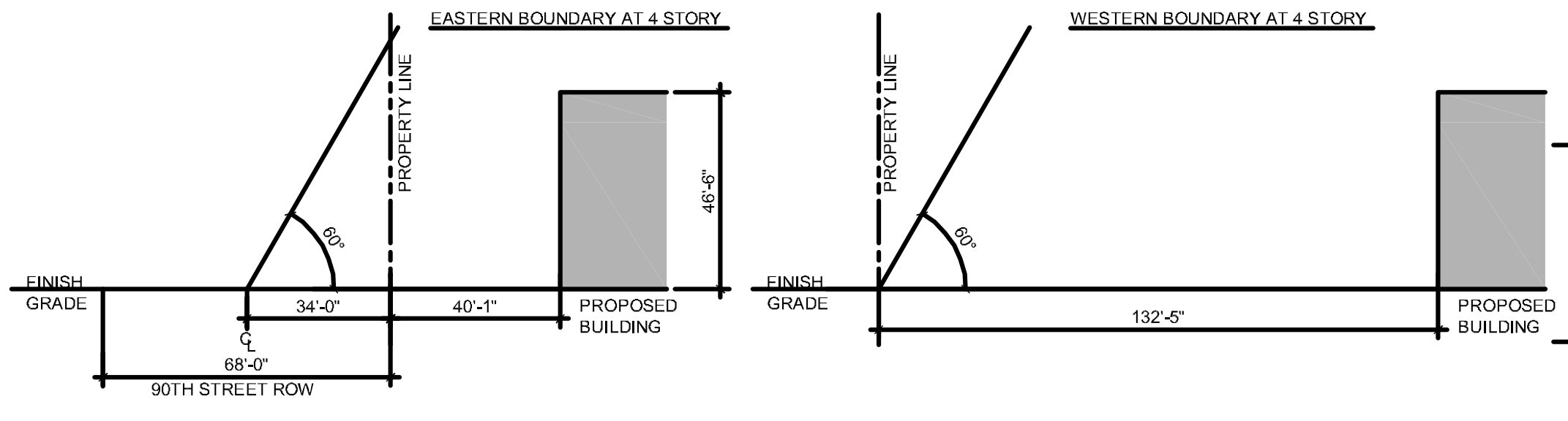
A1 STEEL PICKET FENCE
1/4" = 1'-0"



A2 BIKE RACK DETAIL
1/2" = 1'-0"



A3 BUILDING HEIGHT DIAGRAM
1/32" = 1'-0"



B4 BUILDING HEIGHT DIAGRAM
1/32" = 1'-0"

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- △ EPC CONDITION OF APPROVAL
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- △

DRAWN BY JD
REVIEWED BY MB
DATE 10/27/2015
PROJECT NO. 15-0074
DRAWING NAME

PLANTING PLAN

SHEET NO.
SDP 2.1
3 OF 13

GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE INSTALLATION DURING CONSTRUCTION AND DURING A 90-DAY MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: GENERAL LANDSCAPE REGULATIONS SECTION 14-16-3-10: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS APPLICABLE TO NON-RESIDENTIAL DEVELOPMENT AND WATER CONSERVATION ORDINANCE. ALL TREES AND SHRUBS ON 90TH STREET AND BLUEWATER ROAD NW WILL BE DESIGNED TO MEET THE STREET TREE ORDINANCE 6-6-2-1.
- STREET TREE PLAN: STREET TREES ARE PLANTED 30' ON CENTER OR LESS AS INDICATED ON THE PLANS.
- TURF AREA: THERE ARE MINIMAL TURF AREAS ON THIS PROJECT THAT ARE DEDICATED TO RESIDENT PLAY AND RECREATION AREAS.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION, MULCH OR SEED.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- ALL AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ROOF DRAINAGE SURFACE DRAINAGE OFF-DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS.
- THE IRRIGATION SYSTEM SHALL BE FULLY AUTOMATED WITH IRRIGATION CONTROLLER AND RAIN SENSOR. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND ESTABLISHMENT. RUN TIMES SHALL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- ALL PLANT MATERIALS SHALL BE IRRIGATED BY DRIP EMITTERS. USE SIX 2-GAL EMITTERS PER EACH TREE AND TWO 2-GAL EMITTERS PER EACH SHRUB. TURF GRASS SHALL BE IRRIGATED BY SPRAY HEADS DESIGNED TO AVOID OVERSPRAY ONTO ADJACENT HARDSCAPE.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED ON THE PROPERTY. THE IRRIGATION POINT OF CONNECTION SHALL COMPLY WITH THE CITY OF ALBUQUERQUE BACKFLOW PREVENTER STANDARDS.
- ALL VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW TEN FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND FIVE TO SIX FEET OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.

SHEET KEYED NOTES

- WATER HARVESTING SWALE IN PARKING LOT MEDIANS. SEE CIVIL DRAWINGS FOR PLACEMENT FOR CURB CUTS.
- STORM WATER PONDING AREA. SEE CIVIL DRAWINGS FOR SIZING.
- STREET TREES ALONG 90TH STREET NW TO PROVIDE VISUAL BUFFER.
- LANDSCAPE EASEMENT 10' WIDTH WITH LANDSCAPE BUFFER PLANTINGS.
- CMU BLOCK WALL 6' HEIGHT.
- PLAYGROUND AREA AND EQUIPMENT.
- NOT USED.
- PROPERTY LINE.
- DOG RUN: WOOD CHIPS ON SURFACE, 4' TALL FENCE, DOGI POT STATION WITH TRASH RECEPTACLE AND FROST FREE WATER HYDRANT.
- OVERHANG PARKING AREA.
- EVERGREEN TREES PLACEMENT FOR A MAXIMUM PRIVACY OF ADJACENT SINGLE-FAMILY HOMES.
- CLEAR SIGHT TRIANGLE.
- NO STREET TREES FOR SIGNAGE VISIBILITY.

LANDSCAPE CALCULATIONS

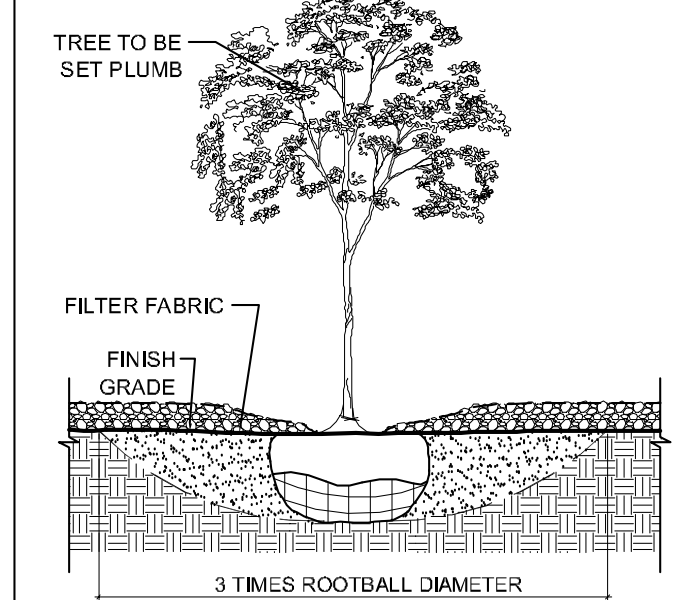
TOTAL SITE AREA = 9,8628 AC = 434,851 SF
 AREA OF LOT COVERED BY BUILDINGS = 89,000 SF
 NET LOT AREA = 345,851 SF

REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 51,878 SF
 PROVIDED LANDSCAPE AREA = 142,280 SF = 41%
 LANDSCAPE AREA CALCULATION DOES NOT INCLUDE:
 PUBLIC R.O.W. (6,860 SF)
 OVERHANG PARKING AREAS (2,510 SF)
 LANDSCAPE WALKWAYS, HARDSCAPE GATHERING SPACES (35,870 SF)
 HIGH WATER USE TURF GRASS = 2,240 SF = 1.6% OF PROVIDED LANDSCAPE
 PLAY AREAS = 2,900 SF

TREES PER PARKING SPACES - REQUIRED = 1 TREE / 10 PARKING SPACES
 TOTAL NUMBER OF PARKING = 293 SPACES
 REQUIRED NUMBER OF TREES = 29 TREES
 PROVIDED NUMBER OF TREES = 50 TREES
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK
 REQUIRED STREET TREES = 38
 PROVIDED STREET TREES = 48 placed at 30' on center
 10 extra street trees provided to satisfy Avalon Neighborhood Association request
 REQUIRED GROUND COVERAGE = 38,909 SF = 75%
 PROVIDED GROUND COVERAGE = 39,390 SF = 76%

THE LANDSCAPE PLAN MEETS THE 75% LIVE GROUND COVERAGE REQUIREMENT AS STATED IN THE ZONING CODE

- NOTES:
- PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL.
 - BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING



A5 TREE
NTS

PLANTING LEGEND

TREES				
SYMBOL	INSTALLED SIZE	COMMON NAME	Botanical name	Water requirements
(Symbol)	2"-Cal.	DESERT WILLOW	<i>Chilopsis linearis</i>	Low Water Use
(Symbol)	4' height	ONE SEED JUNIPER	<i>Juniperus monosperma</i>	Low Water Use
(Symbol)	2"-Cal.	THORNLESS HONEY-LOCUST	<i>Gleditsia triacanthos inermis</i>	Medium Water Use
(Symbol)	4'-6' height	AFGHAN PINE	<i>Pinus ektarica</i>	Low Water Use
(Symbol)	2"-Cal.	NEW MEXICO OLIVE	<i>Foresleriera neomexicana</i>	Medium Water Use
(Symbol)	2"-Cal.	CHINKAPIN OAK	<i>Quercus muehlenbergii</i>	Medium Water Use
(Symbol)	2"-Cal.	RAYWOOD ASH	<i>Fraxinus oxycarpa</i>	Medium Water Use
(Symbol)	2"-Cal.	ELM TREE 'Frontier'	<i>Ulmus sp. 'Frontier'</i>	Medium Water Use
(Symbol)	2"-Cal.	THORNLESS HAWTHORN	<i>Crataegus crus galli inermis</i>	Medium Water Use
(Symbol)	2"-Cal.	GOLDEN RAIN TREE	<i>Koeleruteria paniculata</i>	Medium Water Use
(Symbol)	2"-Cal.	CANYON HACKBERRY	<i>Celtis reticulata</i>	Low Water Use

SHRUBS AND GRASSES				
SYMBOL	INSTALLED SIZE	COMMON NAME	Botanical name	Water requirements
(Symbol)	5-Gal	ALGERITA-DESERT HOLLY	<i>Mahonia haematacarpa</i>	Drought tolerant
(Symbol)	5-Gal	DWARF MOUNTAIN MAHOGANY	<i>Cercocarpus intricatus</i>	Drought tolerant
(Symbol)	1-Gal	SULPHUR BUCKWHEAT	<i>Eriogonum umbellatum</i>	Drought tolerant
(Symbol)	1-Gal	APACHE PLUME	<i>Fallugia paradoxa</i>	Drought tolerant
(Symbol)	5-Gal	POTENTILLA	<i>Potentilla sp.</i>	Drought tolerant
(Symbol)	5-Gal	SWITCHGRASS 'SHENANDOAH'	<i>Panicum virgatum 'Shenandoah'</i>	Low Water Use
(Symbol)	5-Gal	WOOLY BUTTERFLY BUSH	<i>Buddleia marrubifolia</i>	Low Water Use
(Symbol)	5-Gal	WESTERN SAND CHERRY	<i>Prunus besseyi 'Pawnee Buttes'</i>	Drought Tolerant
(Symbol)	5-Gal	'GRO-LOW' SUMAC	<i>Rhus aromatica 'Gro-Low'</i>	Drought Tolerant
(Symbol)	5-Gal	DEER GRASS	<i>Muhlenbergia rigens</i>	Low Water Use
(Symbol)	1-Gal	CHAMISA	<i>Ericameria nauseosa</i>	Drought tolerant
(Symbol)	5-Gal	RED YUCCA	<i>Hesperaloe parviflora</i>	Drought tolerant

SURFACE LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	ROCK MULCH, 3" DEPTH, 3/4" CRUSHED MULCH OVER WEED BARRIER FABRIC, COLOR: BEIGE
(Symbol)	PARK BLEND TURF GRASS (SOD)
(Symbol)	PLAYGROUND ENGINEERED WOOD CHIPS AT 12" DEPTH DEFINED BY CONCRETE MOW CURB
(Symbol)	4"-8" ANGULAR COBBLE, 4" DEPTH OVER WEED BARRIER FABRIC, COLOR SAN LAZARUS GOLD
(Symbol)	ROCK MULCH, 3" DEPTH, 1" CRUSHED MULCH OVER WEED BARRIER FABRIC, COLOR: BLUE SAIS
(Symbol)	WOOD CHIPS AT 4" DEPTH
(Symbol)	BOULDERS, 2' x 2' x 2' TO 3' x 2' x 2'



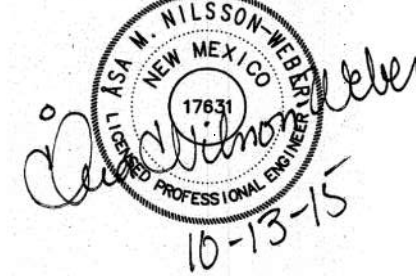
A1 PLANTING PLAN
1" = 50'-0"
NORTH

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ALBUQUERQUE, NM

REVISIONS
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DRAWN BY
REVIEWED BY
DATE 7/30/2015
PROJECT NO. 15-0074
DRAWING NAME

OVERALL GRADING
AND DRAINAGE PLAN

SHEET NO.

SDP-3.1

DRAINAGE CONCEPT

PROPERTY: THE SITE IS AN UNDEVELOPED PROPERTY LOCATED WITHIN COA WIGNITY MAP K-9. THE SITE IS BOUND TO THE EAST BY 90TH ST. NW, TO THE SOUTH BY BLUEWATER ROAD NW, AND TO THE NORTH AND WEST BY UNDEVELOPED PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APARTMENT COMPLEX WITH TWO GARAGE PARKING BUILDINGS, CLUBHOUSE, ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PLAYGROUNDS, PEDESTRIAN WALKS AND LANDSCAPING.

PER THE APPROVED AMOLE-HUBBELL DRAINAGE MASTER PLAN UPDATE BY WILSON & CO. (2013 REPORT), THE PROPERTY IS LOCATED WITHIN DRAINAGE BASIN 202.2. THIS BASIN DISCHARGE IS RESTRICTED TO 2.5 CFS PER ACRE. A PERMANENT STORMWATER DETENTION POND(S).

THE PROPOSED ON-SITE PRIVATE STORM DRAIN SYSTEM WILL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL.

OFF-SITE FLOW FROM THE ADJACENT PROPERTIES TO THE NORTH AND WEST WILL BE ROUTED AROUND THE PROPERTY USING TEMPORARY BERMS AND SWALES. TEMPORARY SEDIMENT CONTROL PONDS WILL BE CONSTRUCTED AT THE NORTHEAST AND SOUTHWEST CORNERS OF THE PROPERTY.

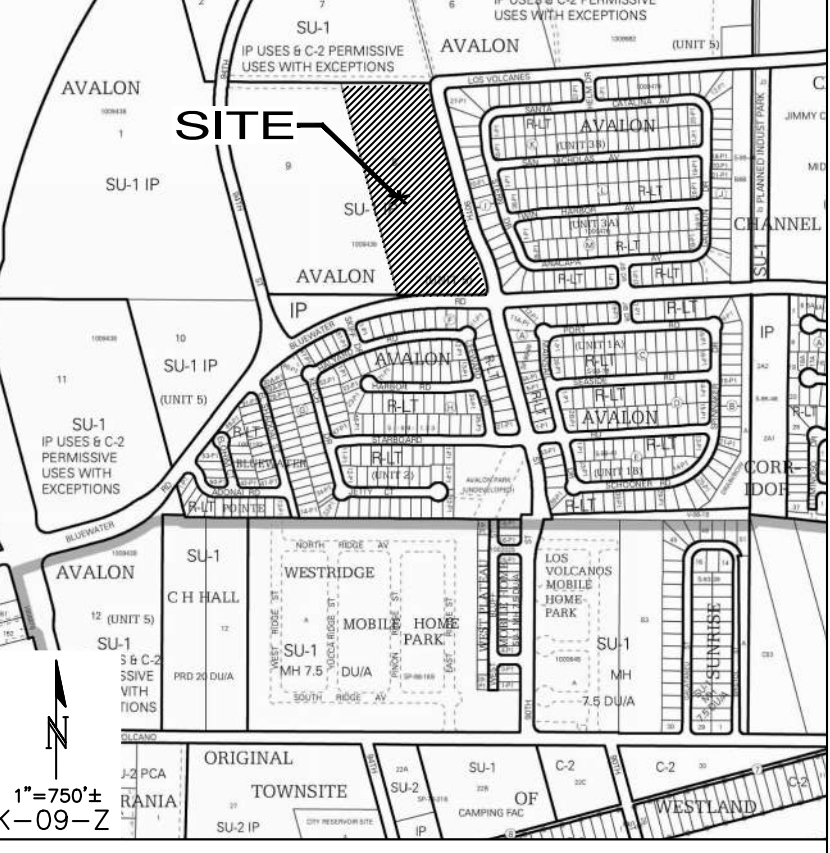
RETAINING WALLS AND RETAINING STEMWALLS WILL BE REQUIRED THROUGHOUT THE DEVELOPMENT TO ACHIEVE THE NECESSARY GRADE TRANSITIONS BETWEEN BUILDINGS. RETAINING WALL DESIGN (WALL LOCATIONS, TOP OF WALL / BOTTOM OF WALL ELEVATIONS) WILL BE INCLUDED AS PART OF THE BUILDING PERMIT SUBMITTAL.

THIS SITE WILL DISCHARGE NO MORE THAN 2.5 CFS/ACRE TO THE ADJACENT STREETS WITH THE MAJORITY EXITING THE SITE AT THE HISTORIC DISCHARGE POINT AND THE INTERSECTION OF 90TH ST. AND BLUEWATER RD.

THE EXISTING PUBLIC STORM DRAIN SYSTEM WITHIN BLUEWATER ROAD INCLUDES AN EXISTING 30" STUB INTO THE PROPERTY.

ON-SITE PONDING WILL BE PROVIDED FOR 100% RETENTION OF THE REQUIRED FIRST FLUSH VOLUME AND DETENTION AS NEEDED TO LIMIT THE DISCHARGE TO THE ALLOWABLE RATE.

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: TRACT 8, UNIT 5, AVALON SUBDIVISION, ALBUQUERQUE, NEW MEXICO

SITE AREA: 9.98 AC.

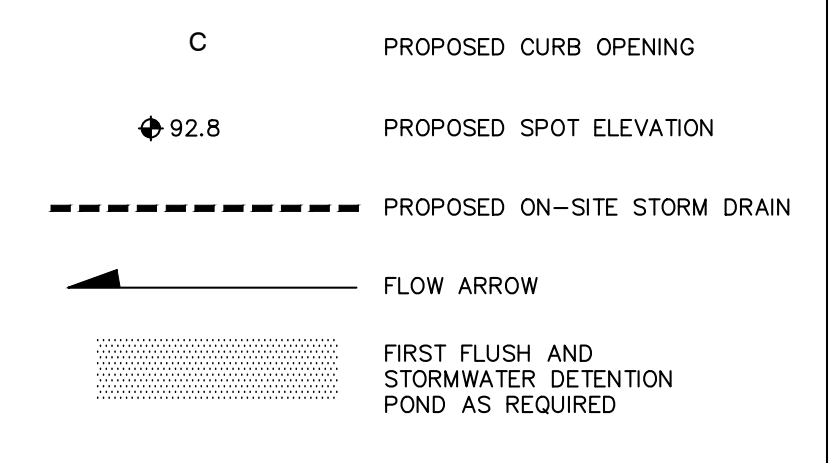
FLOOD ZONE: PER BERNALILLO COUNTY FIRM MAP #3500100328H, DATED AUGUST 16, 2012, THE SITE IS LOCATED WITHIN FLOODZONE "X" (UNSHADED) DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

ENGINEER: FRED C. ARFMAN
ISAACSON & ARFMAN, P.A.
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PHONE: (505) 268-8828

SURVEYOR: VLADIMIR JIRIK
ALBUQUERQUE SURVEYING CO.
2119 MENAUL BLVD. NE, ABO, NM 87107
PHONE: (505) 684-2036

BENCHMARK: COA SURVEY MONUMENT 7_K9, A 3 1/4 INCH ALUMINUM DISC RIVETED TO A PIPE 0.2 FEET ABOVE GROUND, STAMPED 7-K9 1989; ELEVATION = 5140.082 (NAVD 1988).

LEGEND



DRAINAGE CALCULATIONS

CALCULATIONS: 2121 - APTS @ 90TH AND BLUEWATER : JULY 17, 2015
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan. 1993

ON-SITE			EXCESS PRECIP:		
AREA OF SITE:	434850.331	SF	100-year, 6-hour		
			DEVELOPED FLOWS:		
HISTORIC FLOWS:	Treatment SF	%	Area A	Treatment SF	%
Area A	326137.7483	75%	Area A	0	0%
Area B	86970.0662	20%	Area B	21743	5%
Area C	21742.51655	5%	Area C	65228	15%
Area D	0	0%	Area D	347880	80%
Total Area	434850.331	100%	Total Area	434850.331	100%

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$
Historic E = 0.51 in. | Developed E = 1.76 in.

On-Site Volume of Runoff: $V_{360} = \frac{E^* A}{12}$
Historic $V_{360} = 18608$ CF | Developed $V_{360} = 63706$ CF

On-Site Peak Discharge Rate: $Q_p = Q_A A_A + Q_B A_B + Q_C A_C + Q_D A_D / 43.560$
For Precipitation Zone 1
 $Q_A = 1.29$ | $Q_B = 2.87$
 $Q_C = 2.03$ | $Q_D = 4.37$
Historic $Q_p = 15.1$ CFS | Developed $Q_p = 40.2$ CFS

FIRST FLUSH REQUIREMENT

BASIN NO.	DESCRIPTION	OVERALL PROPERTY
434850	SF	100 AC.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT
Weighted E	1.76 in.	A = 0%
Sub-basin Volume of Runoff (see formula above)		B = 5%
V_{360}	63706 CF	C = 15%
Sub-basin Peak Discharge Rate (see formula above)		D = 80%
Q_p	40.2 cfs	FIRST FLUSH VOL.
		9857 CF

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

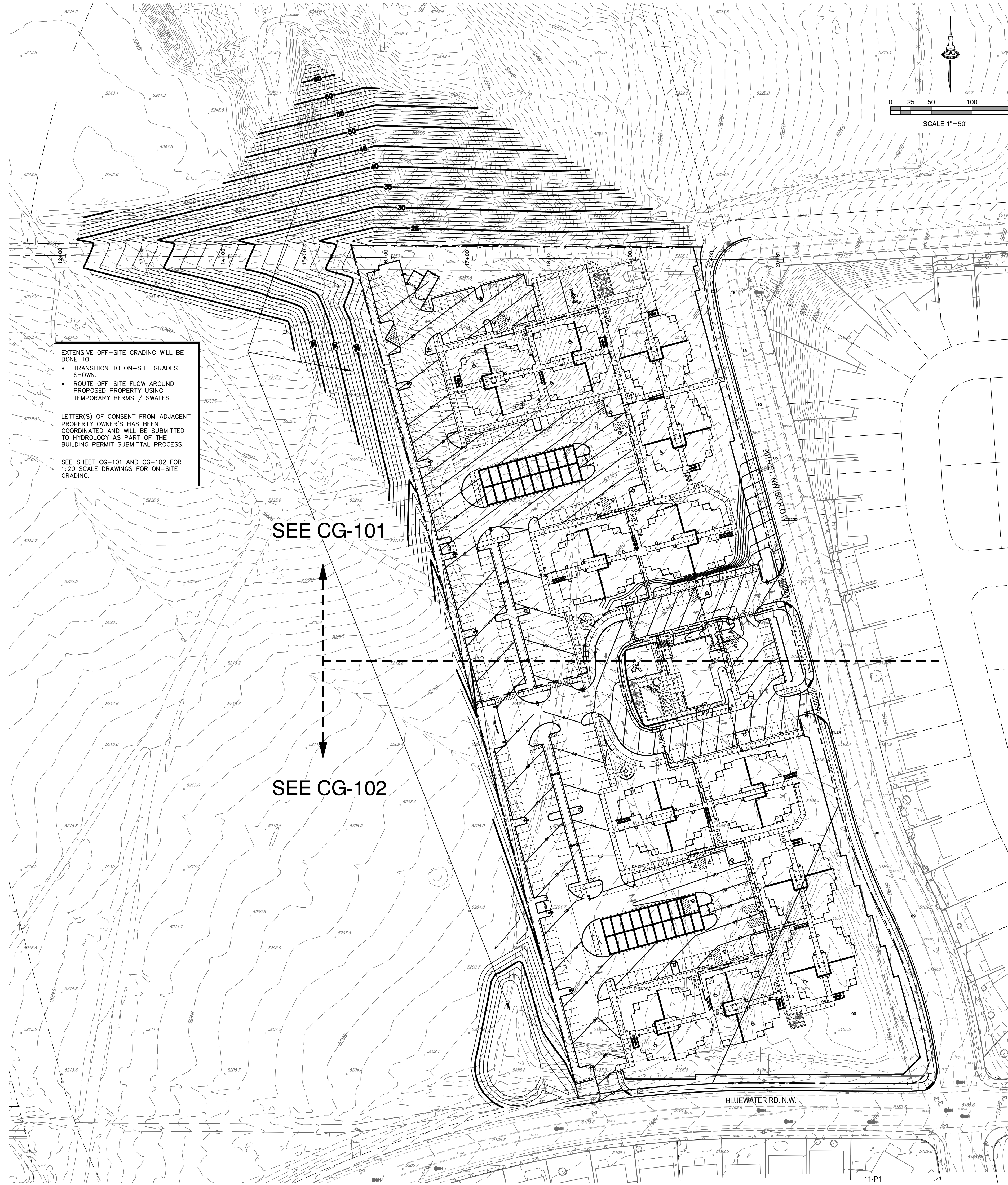
THE PONDING VOLUME REQUIRED IS 0.34" * TYPE 'D' AREA:
 $0.34/12 * 9.98 \text{ AC} * 80\% * 43560 = 9,857 \text{ CF}$

THERE ARE 'FIRST FLUSH' RETENTION BASIN AREAS THROUGHOUT THE SITE (HATCHED PER LEGEND). STORMWATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE BASINS VIA CURB OPENINGS AND ON-SITE STORM DRAINS. FLOW IN EXCESS OF FIRST FLUSH POND CAPACITY WILL OVERFLOW TO ADJACENT STREETS TO CONTINUE ALONG HISTORIC FLOWPATHS. INLETS THAT ARE PLACED IN FIRST FLUSH RETENTION BASINS SHALL BE RAISED AND HAVE THE TOP OF GRATE LOCATED AT THE 'FIRST FLUSH' WATER SURFACE ELEVATION.

THE 'FIRST FLUSH' BASIN VOLUMES SHALL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL. CURB OPENING LOCATIONS ARE SHOWN CONCEPTUALLY AND SHALL BE LOCATED AND SIZED WITH FINAL DESIGN.

THE CUMULATIVE AREA SHOWN HATCHED FOR FIRST FLUSH PONDING IS APPROXIMATELY 20,000 SF SO THE AVERAGE DEPTH WILL BE 6".

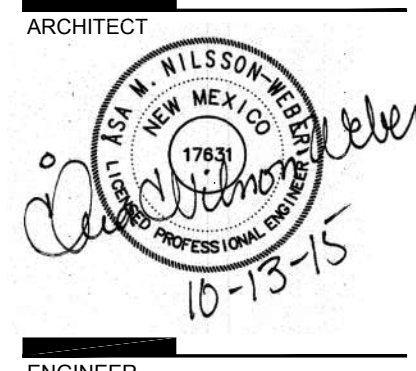
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 | www.isacii.com
2121 CG-101.dwg | Oct 13, 2015



EXTENSIVE OFF-SITE GRADING WILL BE DONE TO:
• TRANSITION TO ON-SITE GRADES SHOWN.
• ROUTE OFF-SITE FLOW AROUND PROPOSED PROPERTY USING TEMPORARY BERMS / SWALES.
LETTER(S) OF CONSENT FROM ADJACENT PROPERTY OWNER'S HAS BEEN COORDINATED AND WILL BE SUBMITTED TO HYDROLOGY AS PART OF THE BUILDING PERMIT SUBMITTAL PROCESS.
SEE SHEET CG-101 AND CG-102 FOR 1:20 SCALE DRAWINGS FOR ON-SITE GRADING.

SEE CG-101

SEE CG-102



KEYED NOTES

PROPERTY: THE SITE IS AN UNDEVELOPED PROPERTY LOCATED WITHIN CO.A. VICINITY MAP K-9. THE SITE IS BOUND TO THE EAST BY 90TH ST. NW, TO THE SOUTH BY BLUEWATER ROAD NW, AND TO THE NORTH AND WEST BY UNDEVELOPED PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APARTMENT COMPLEX WITH TWO GARAGE PARKING BUILDINGS, CLUBHOUSE, ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PLAYGROUNDS, PEDESTRIAN WALKS AND LANDSCAPING.

PER THE APPROVED AMOLE-HUBBELL DRAINAGE MASTER PLAN UPDATE BY WILSON & CO. (2013 REPORT), THE PROPERTY IS LOCATED WITHIN DRAINAGE BASIN 202.2. THIS BASIN DISCHARGE IS RESTRICTED TO 2.5 CFS PER ACRE. A PERMANENT STORMWATER DETENTION POND(S).

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PROJECT

VILLAGE AT AVALON APARTMENTS
90TH STREET & BLUEWATER ROAD SW
ALBUQUERQUE, NM

REVISIONS

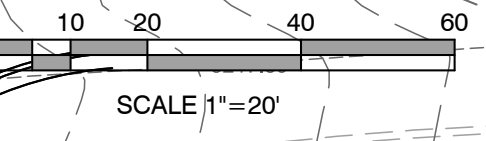
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REVIEWED BY
DATE 7/30/2015
PROJECT NO. 15-0074
DRAWING NAME

GRADING AND DRAINAGE PLAN
1 OF 2

SHEET NO.

SDP-3.2
5 OF 13

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2121 CO-101.dwg Oct 13, 2015

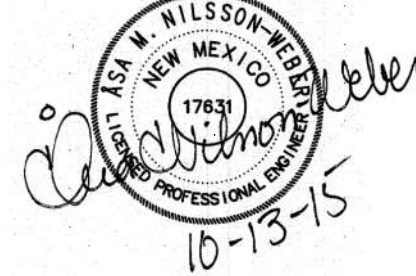


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ARCHITECT



ENGINEER

**DRB
SUBMITAL**
OCTOBER 13, 2015

PROJECT

VILLAGE AT AVALON APARTMENTS
90TH STREET & BLUEWATER ROAD SW
ALBUQUERQUE, NM

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE 7/30/2015

PROJECT NO. 15-0074

DRAWING NAME

**GRADING AND
DRAINAGE PLAN**
2 OF 2

SHEET NO.

SDP-3.3

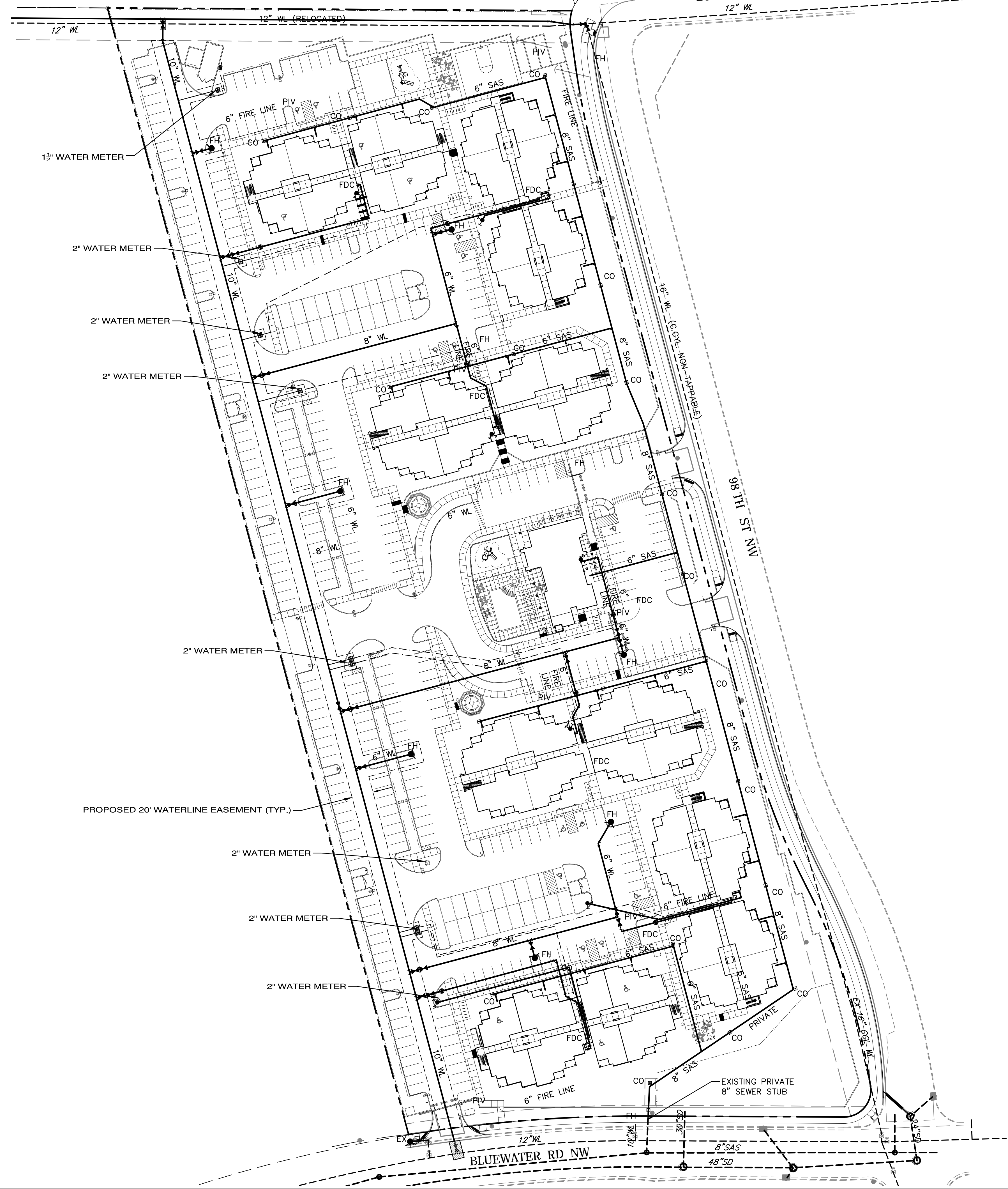
6 OF 13

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M:\PROJECTS\15-0074\15-0074-21\DWG\21 CG-101.dwg, 10/13/2015 10:09:33 AM, thir

LOS VOLCANES RD
12" WL



FIRE PROTECTION

ONSITE FIRE PROTECTION REQUIRES 2 FIRE HYDRANTS PER BUILDING PER THE EXISTING DPM FIRE FLOW REQUIREMENTS.

FIRE PROTECTION LINES ARE PRIVATE AND PROVIDE TWO (2) OR MORE FIRE HYDRANTS AND /OR FIRE SUPPRESSION LINES (SPRINKLERS).

FDC'S WILL BE BUILDING MOUNTED UNLESS THE 100' DISTANCE TO A FIRE HYDRANT IS EXCEEDED.

SANITARY SEWER

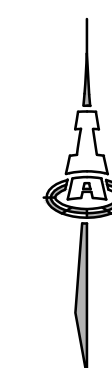
ALL ONSITE SANITARY SEWER LINES ARE PRIVATE AND WILL BE CONSTRUCTED PER THE LATEST EDITION OF THE U.P.C.

WATER SERVICED

EACH BUILDING WILL BE SERVED BY A 2" WATER SERVICE.

LEGEND

-----	20' WATERLINE EASEMENT TO BE GRATED TO ABCWA
-----	6"-10" PUBLIC WATERLINE
-----	GATE VALVE
-----	PIV POST INDICATOR VALVE (PIV)
-----	FH FIRE HYDRANT
-----	FDC FIRE DEPT. CONNECTION (FDC)
-----	WATER METER
-----	FIRE LINE PRIVATE FIRE SPRINKLER LINE
-----	16" WL (C.CYL) 16" WATER TRANSMISSION LINE, CONCRETE CYLINDER: NON-TAPABLE
-----	12" WL (RELOCATED) 12" WATER DISTRIBUTION LINE, TO BE LOWERED ALONG NORTH PROPERTY LINE.
-----	6"-8" SAS 6"-8" PRIVATE SEWER LINE
-----	SINGLE DIRECTIONAL CLEAN-OUT
-----	EXIST SAS STUB EXISTING SAS STUB OFF OF EXISTING SAS MANHOLE IN BLUEWATER RD.



SCALE 1" = 50'

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2121 CU-101 CONCEPTUAL 24x36.dwg, 6/16/2016

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VILLAGE AT AVALON

CONCEPTUAL UTILITY PLAN

Date:	No. Revision:	Date:	Job No.
			2121
Drawn By:			SDP-4.1
Chk By:			SH. 7 OF 13



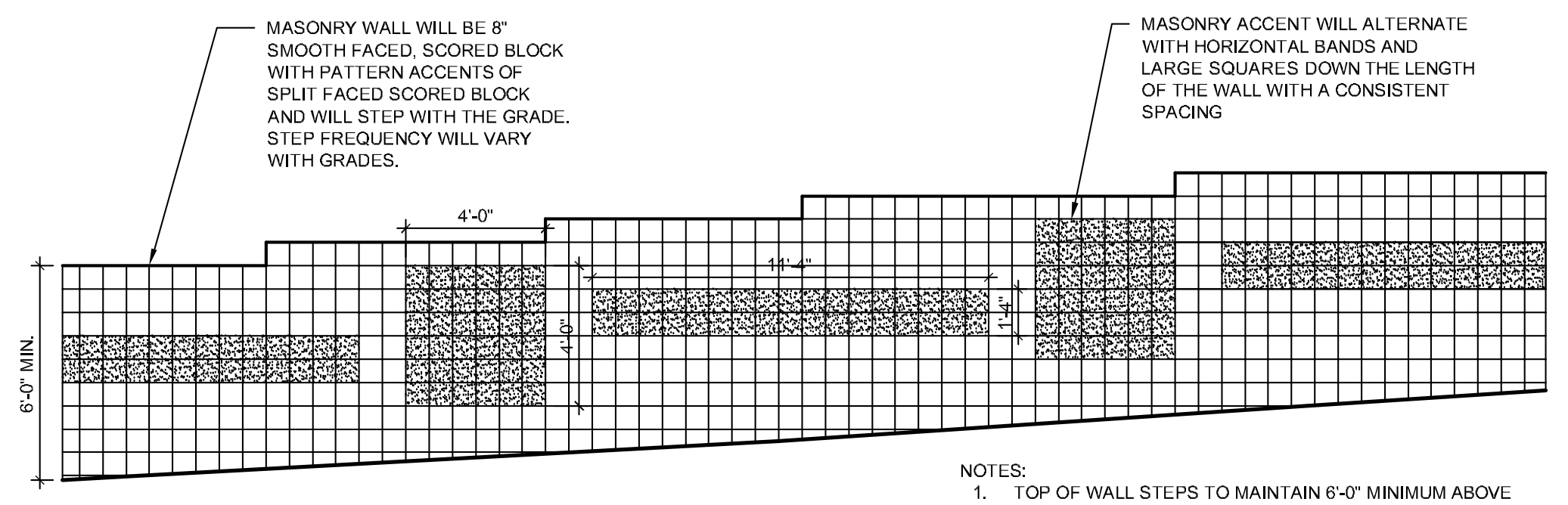
GENERAL NOTES

STUCCO COLORS INDICATED ARE AS APPROVED BY THE AVALON NEIGHBORHOOD ASSOCIATION ON 9/17/2015

KEYNOTES

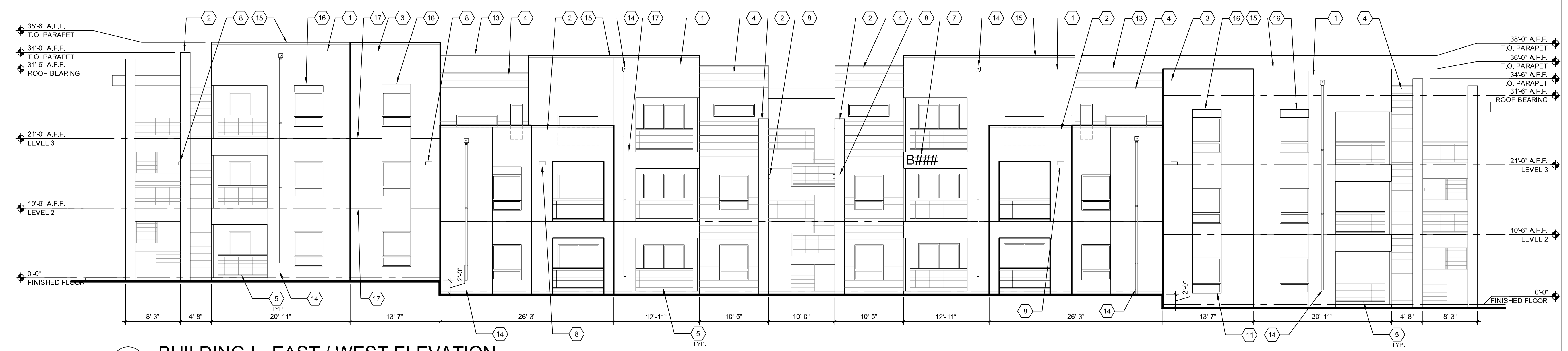
- ① STUCCO COLOR 4, CREAM, BASED ON DUNN EDWARDS "IVORY OATS"
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- ⑧ EXTERIOR LIGHTING W/ PHOTO SENSOR TO MAINTAIN FROM DUSK THRU DAWN PER MFA REQUIREMENTS
- ⑨ GLAZED SLIDING DOOR
- ⑩ HOLLOW METAL DOOR
- ⑪ WINDOW
- ⑫ HIGH WINDOW
- ⑬ ROOF OVER LIGHT WELLS
- ⑭ METAL DOWNSPOUT, PREFINISHED GALVALUME
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- ⑰ STUCCO CONTROL JOINT

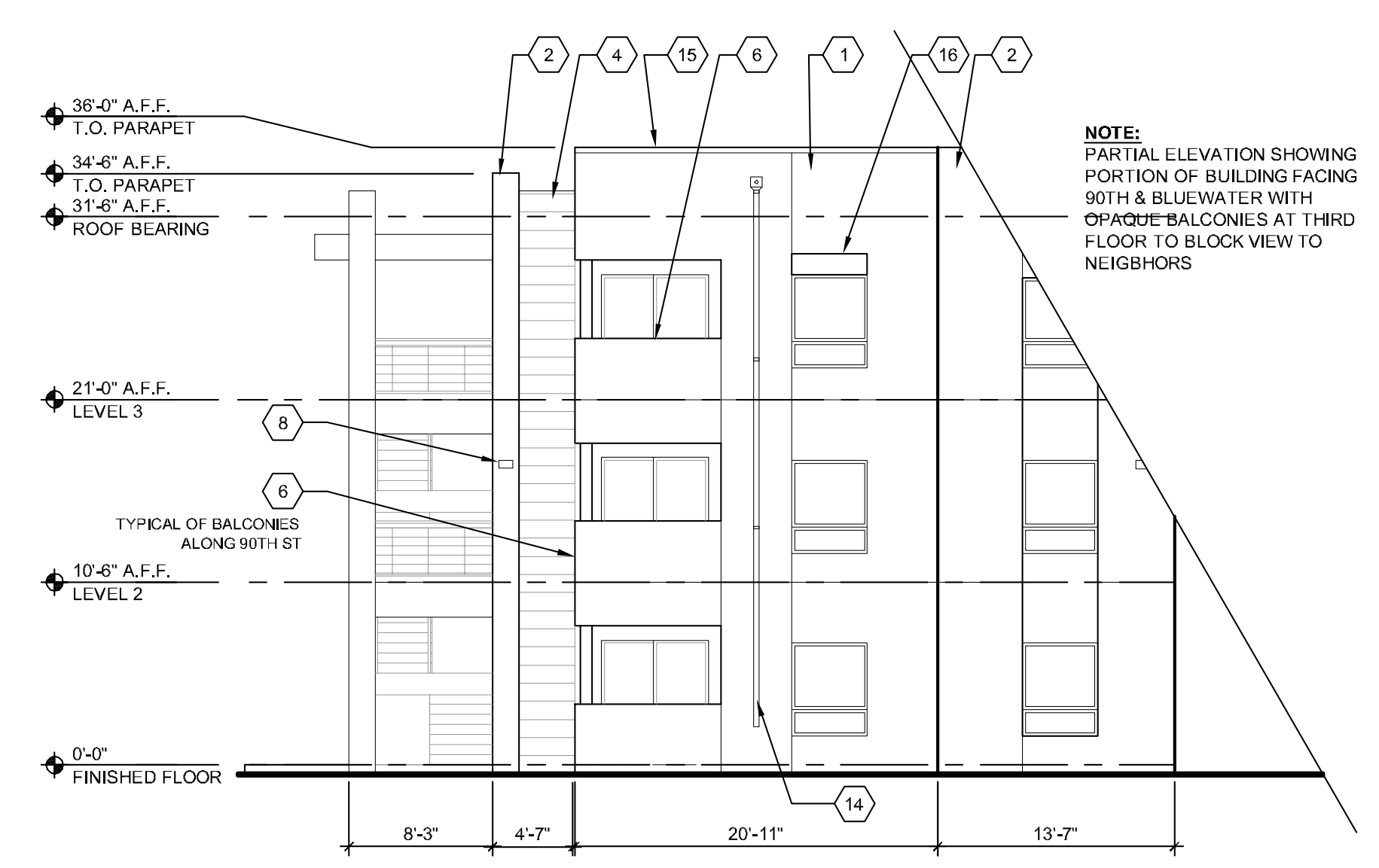


- NOTES:
- TOP OF WALL STEPS TO MAINTAIN 6'-0" MINIMUM ABOVE ADJACENT GRADE ON STREET SIDE OF WALL. TYPICAL LANDSCAPING WILL BE PROVIDED ON BOTH SIDES OF THE WALL
 - CMU WALLS WILL BE PAINTED TO MATCH STUCCO COLOR 1 "SADDLE BROWN". PAINTING HAS BEEN SELECTED TO ADDRESS MAINTENANCE CONCERNS ABOUT "TAGGING"
 - WALL PATTERN WAS SELECTED BY THE AVALON NEIGHBORHOOD ASSOCIATION ON 9/22/2015

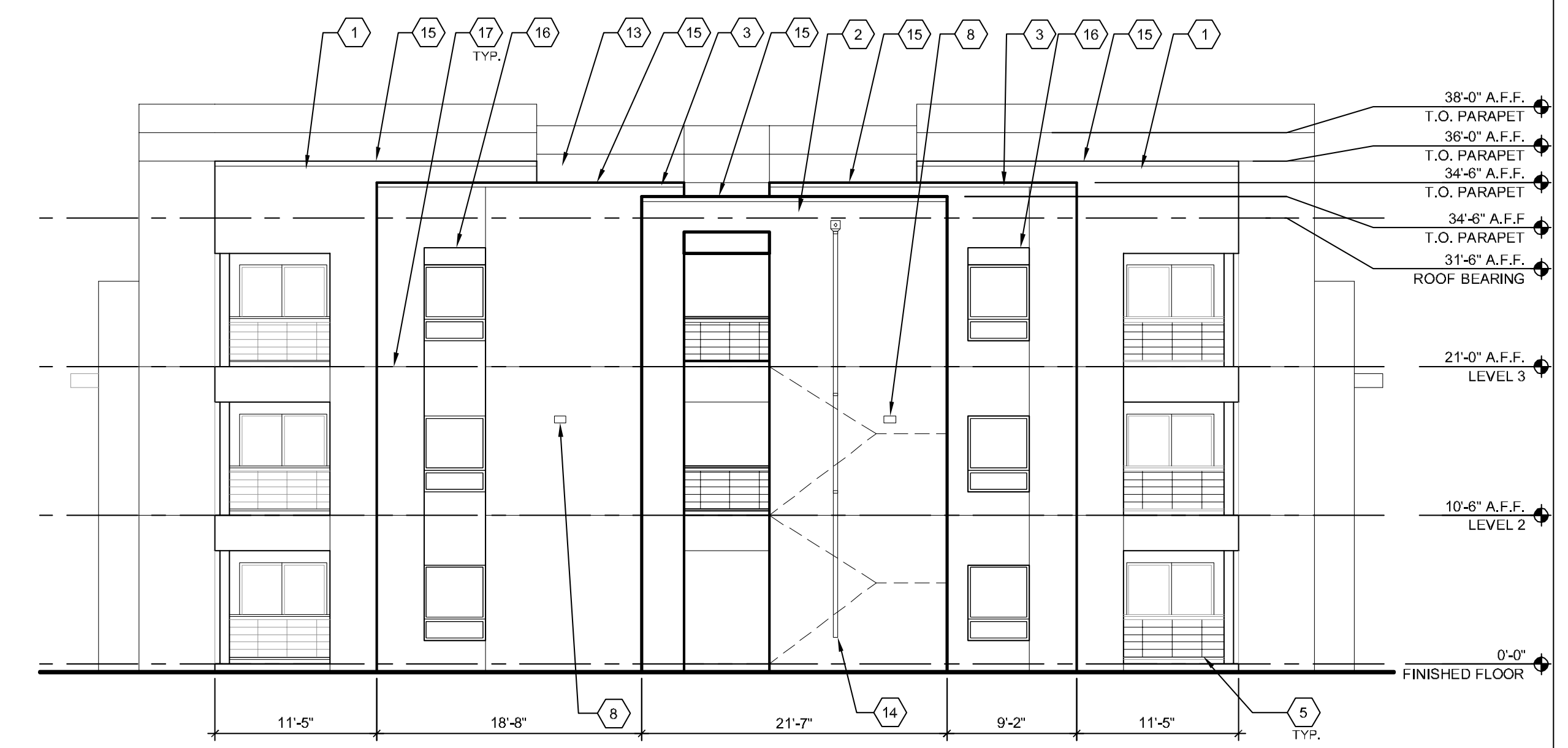
D1 CMU WALL PATTERN
1/4" = 1'-0"



B1 BUILDING I - EAST / WEST ELEVATION
1/8" = 1'-0"



A1 BUILDING I - PARTIAL EAST ELEVATION
1/8" = 1'-0"



A4 BUILDING I - NORTH / SOUTH ELEVATION
1/8" = 1'-0"

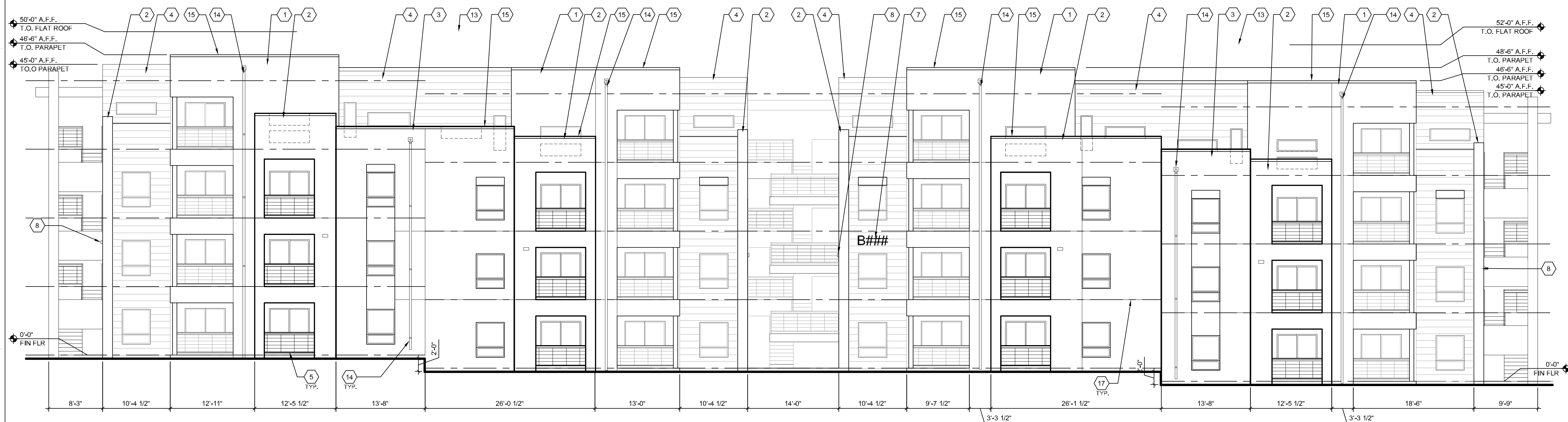
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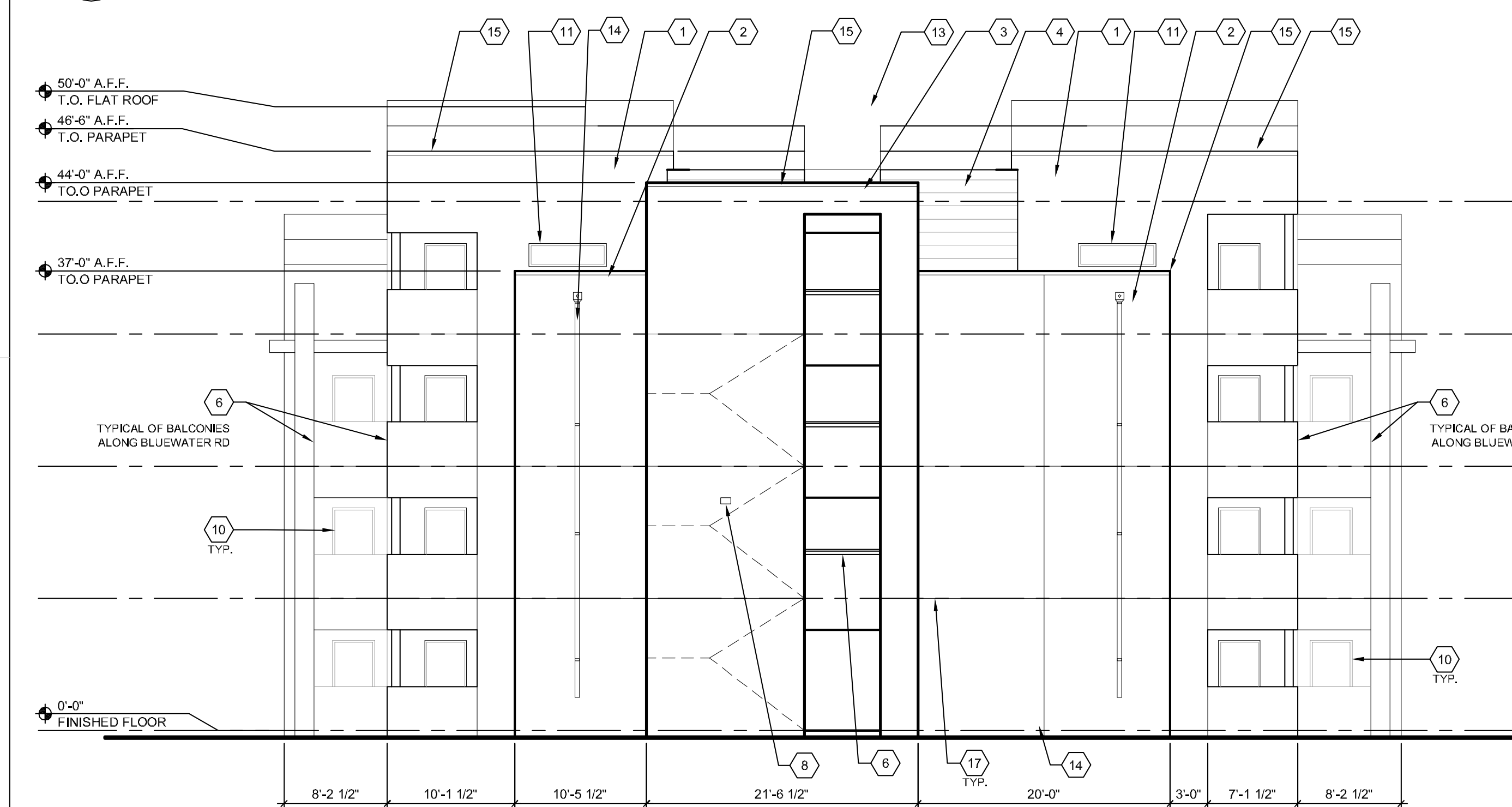
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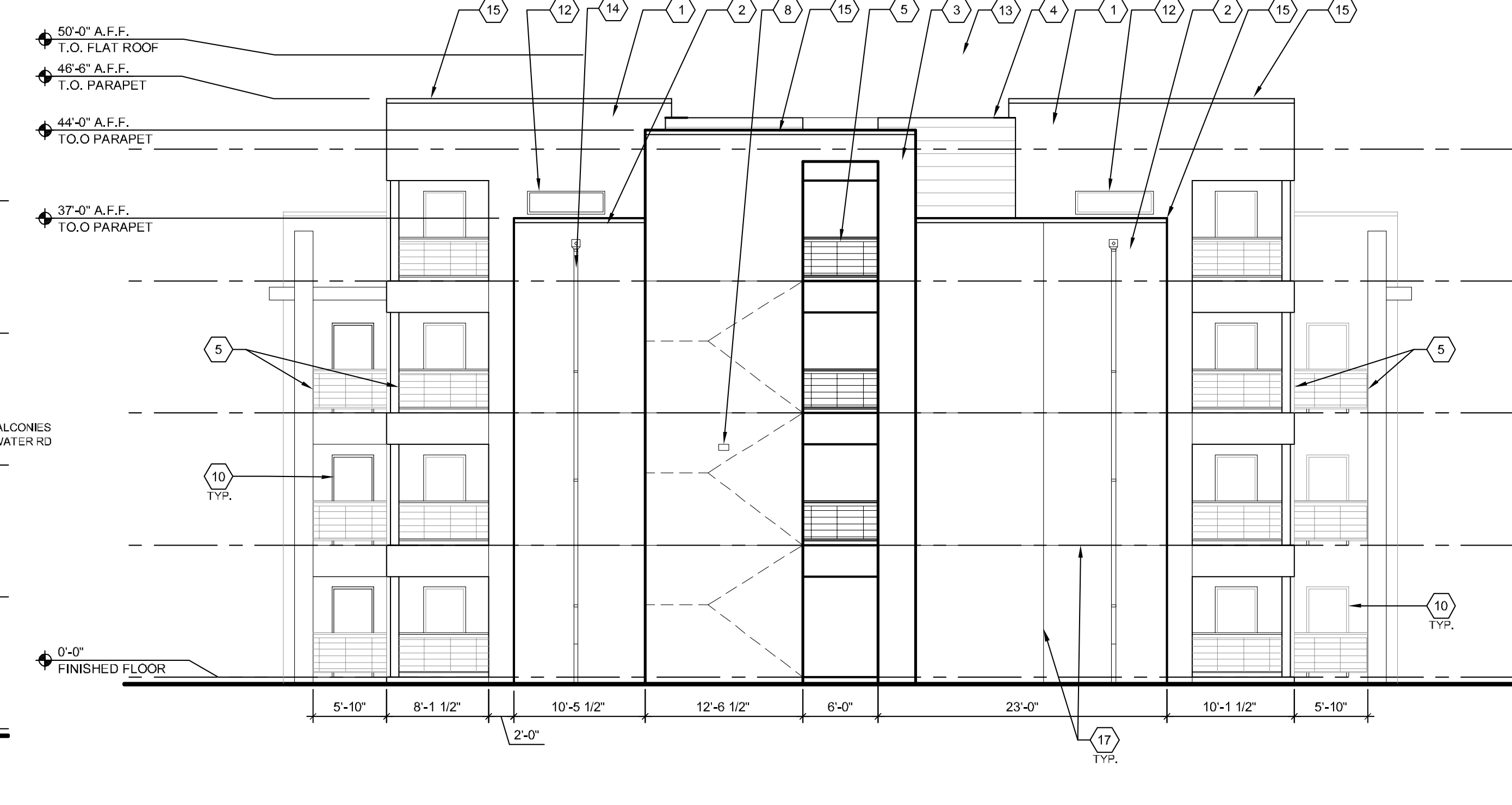
- 8 EXTERIOR LIGHTING W/ PHOTO SENSOR TO MAINTAIN FROM DUSK THRU DAWN PER MFA REQUIREMENTS
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- 15 METAL COPING, PREFINISHED GALVALUME
- 16 OPTIONAL METAL SUNSHADE, PREFINISHED GALVALUME
- 17 STUCCO CONTROL JOINT



B1 BUILDING II - NORTH / SOUTH
1/8" = 1'-0"



A1 BUILDING II - EAST
1/8" = 1'-0"



A4 BUILDING II - WEST
1/8" = 1'-0"

- △ EPC CONDITION OF APPROVAL
- △ DRB COMMENTS
- △
- △

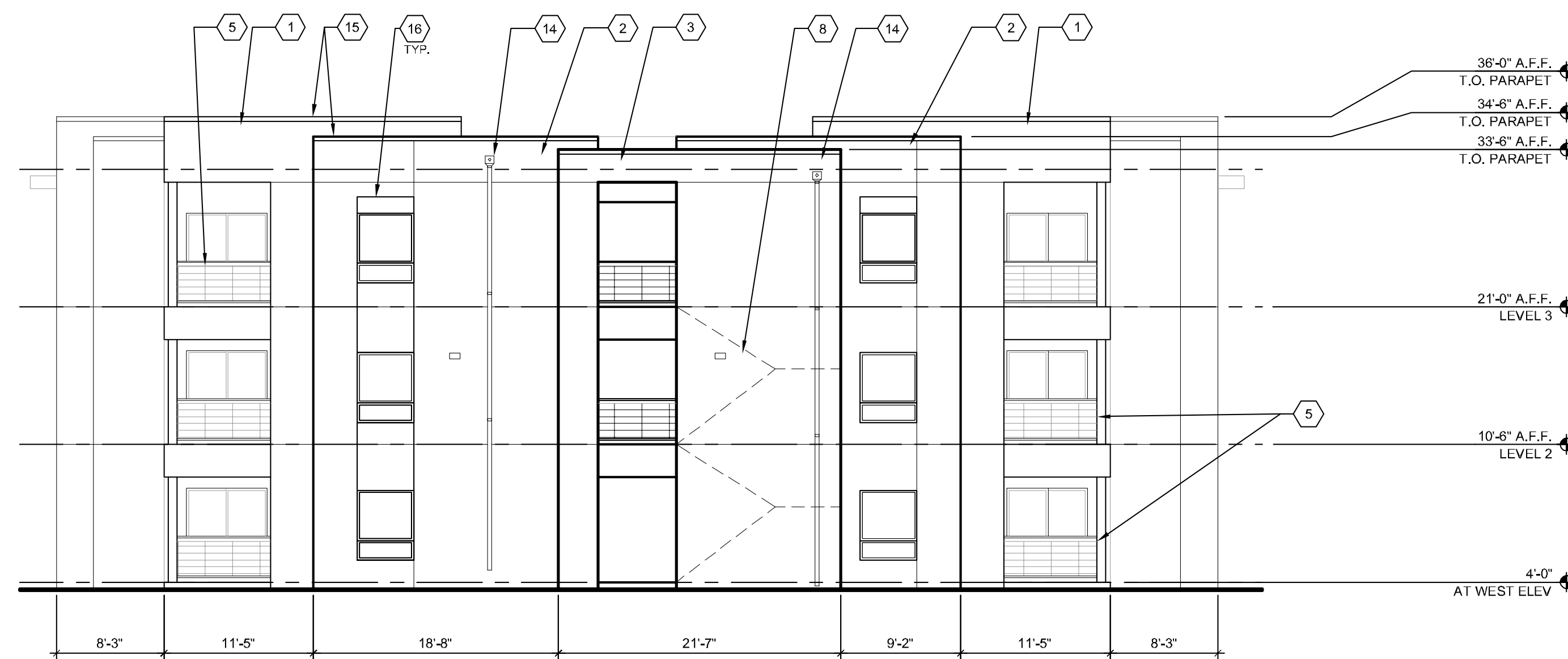
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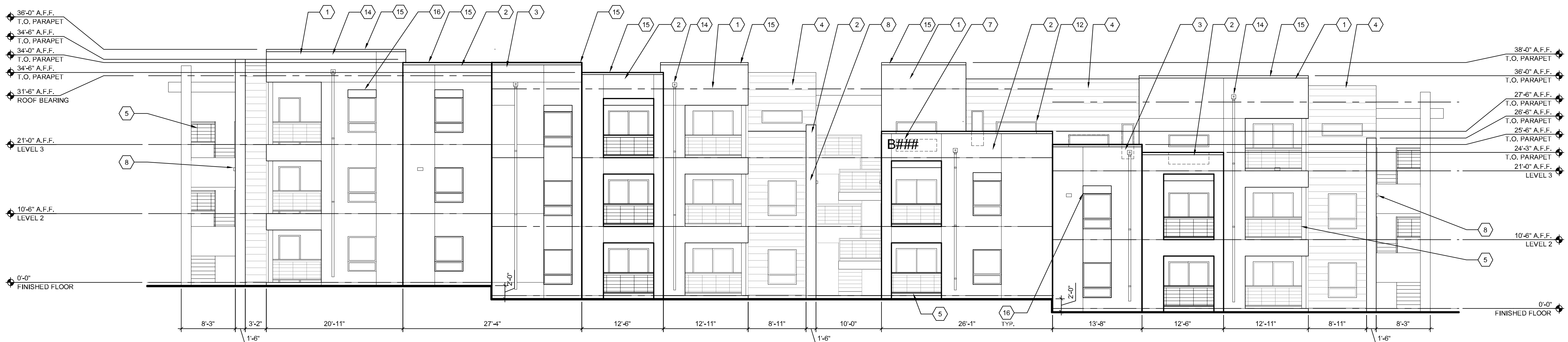
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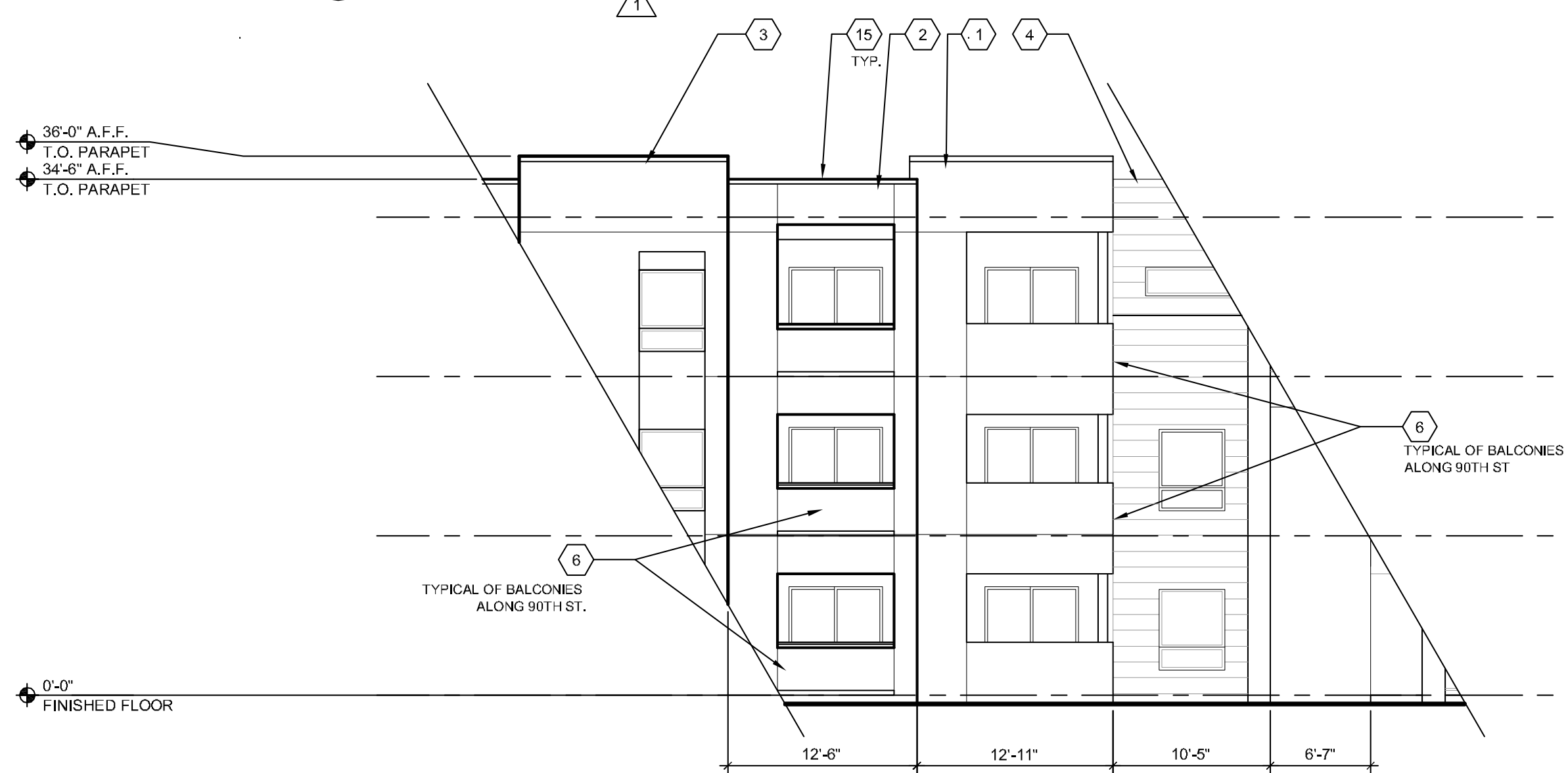
C1 BUILDING III - WEST

1/8" = 1'-0" 0 4' 8' 16'



B1 BUILDING III - NORTH / SOUTH

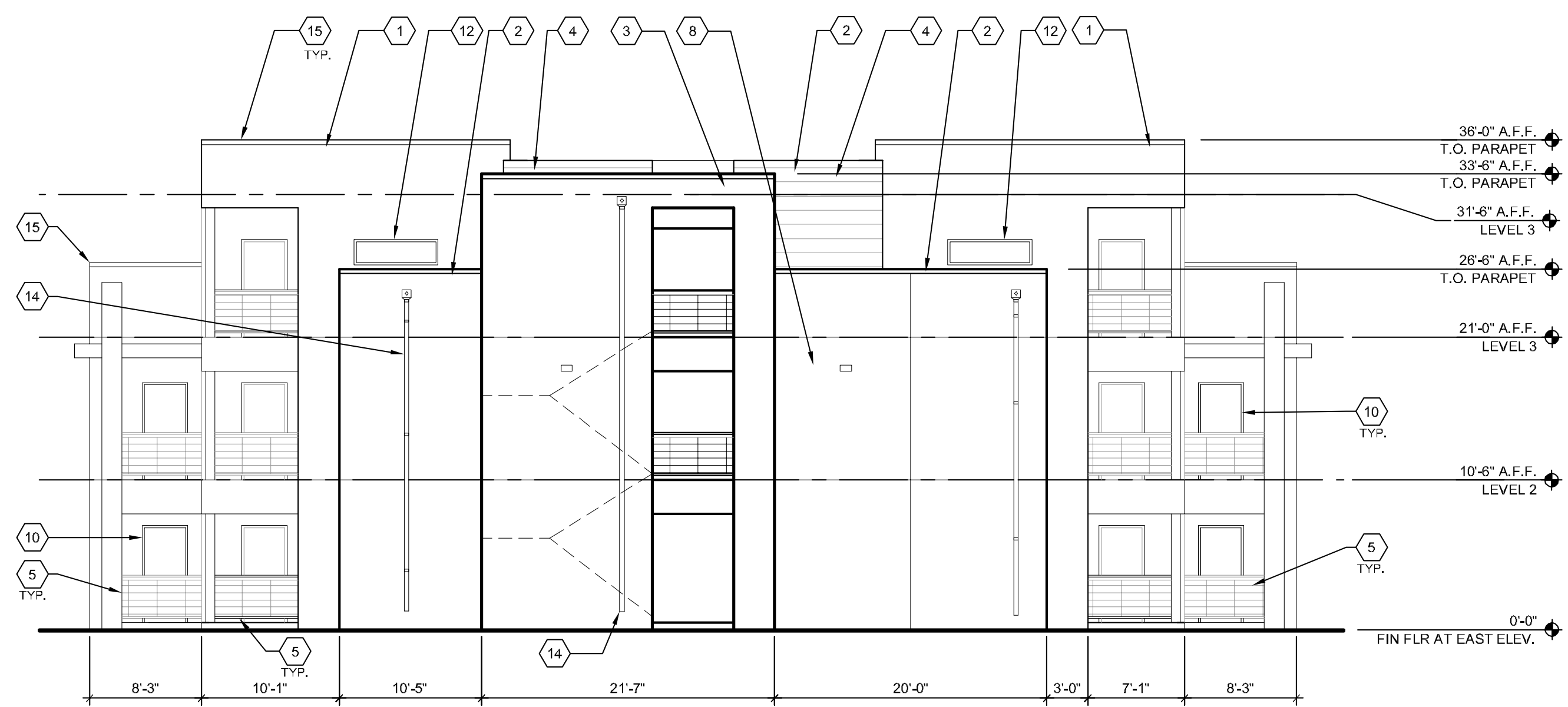
1/8" = 1'-0" 0 4' 8' 16'



A1 BUILDING III - PARTIAL SOUTH

1/8" = 1'-0" 0 4' 8' 16'

NOTE:
PARTIAL ELEVATION SHOWING PORTION OF BUILDING FACING 90TH ST WITH OPAQUE BALCONIES AT ALL FLOORS TO MINIMIZE VIEWS TO THE SINGLE FAMILY NEIGHBORHOOD



A3 BUILDING III - EAST

1/8" = 1'-0" 0 4' 8' 16'

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505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

**DRB
SUBMITAL**
OCTOBER 13, 2015

PROJECT

VILLAGE AT AVALON APARTMENTS
90TH STREET & BLUEWATER ROAD SW
ALBUQUERQUE, NM

REVISIONS

△	EPC CONDITION OF APPROVAL
△	DRB COMMENTS
△	
△	

DRAWN BY WWM, MJH, ZH
REVIEWED BY
DATE 10/27/2015
PROJECT NO. 15-0074
DRAWING NAME

**COMMUNITY CENTER
ELEVATIONS**

SHEET NO.
SDP-5.4
11 OF 13

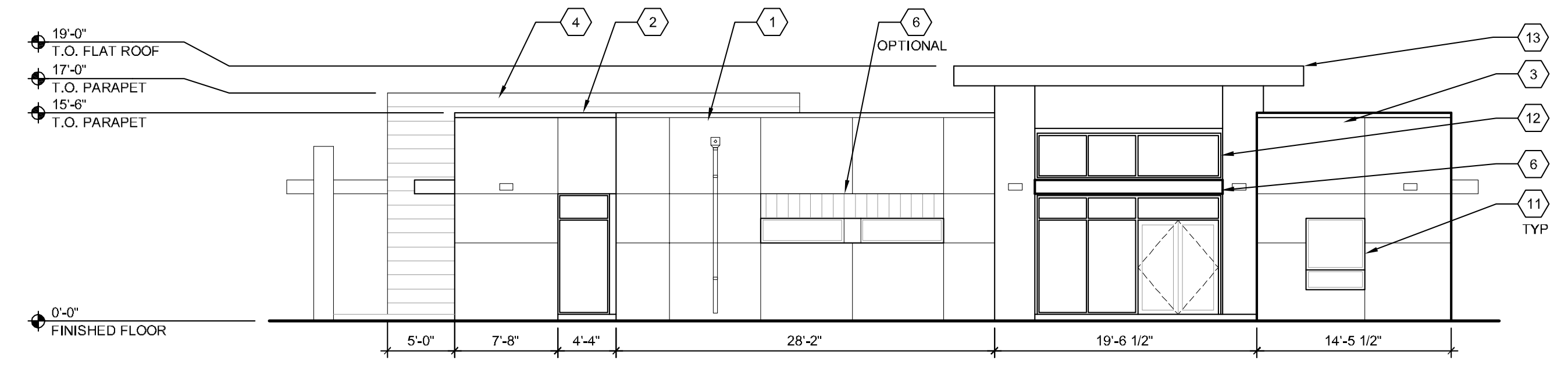
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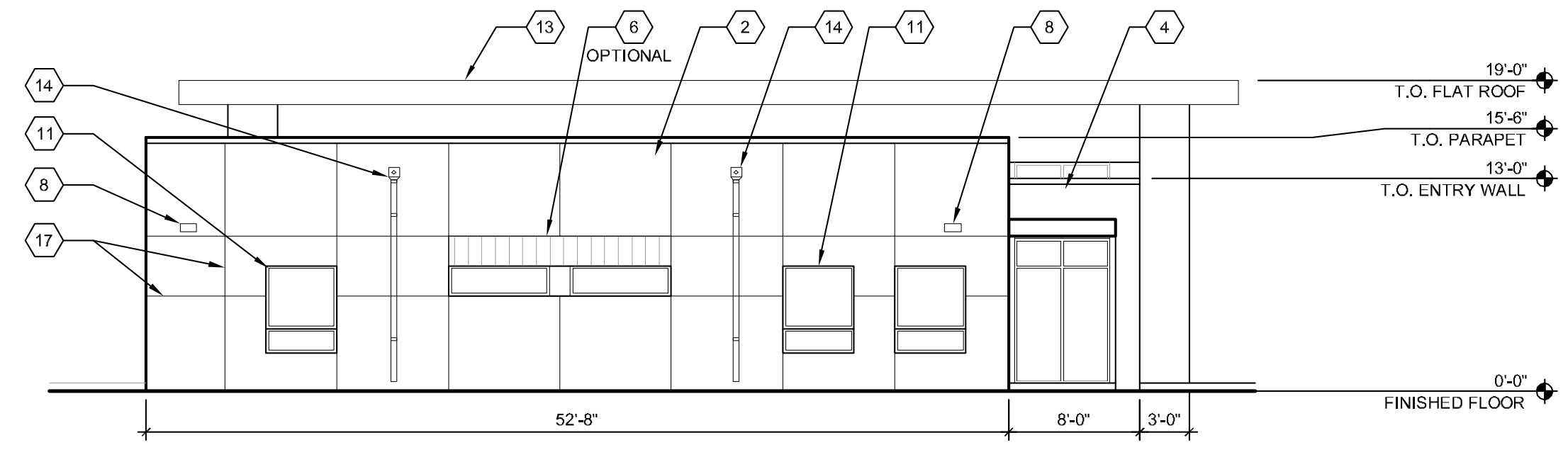
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- 3 STUCCO COLOR 2, GOLD BROWN, BASED ON DUNN EDWARDS "ROOT BEER FLOAT"
- 4 STUCCO COLOR 1, RUST BROWN, BASED ON DUNN EDWARDS "SADDLE BROWN"
- 5 PAINTED TUBE STEEL RAILING, NEUTRAL COLOR
- 6 SOLID STUCCO WALL AT BALCONIES ON EAST ELEVATIONS TO ADDRESS NEIGHBORHOOD PRIVACY CONCERNS
- 7 BUILDING NUMBER - SIZE AND PLACEMENT TO MEET CURRENT FIRE DEPARTMENT REQUIREMENTS, LIT FROM DUSK THRU DAWN

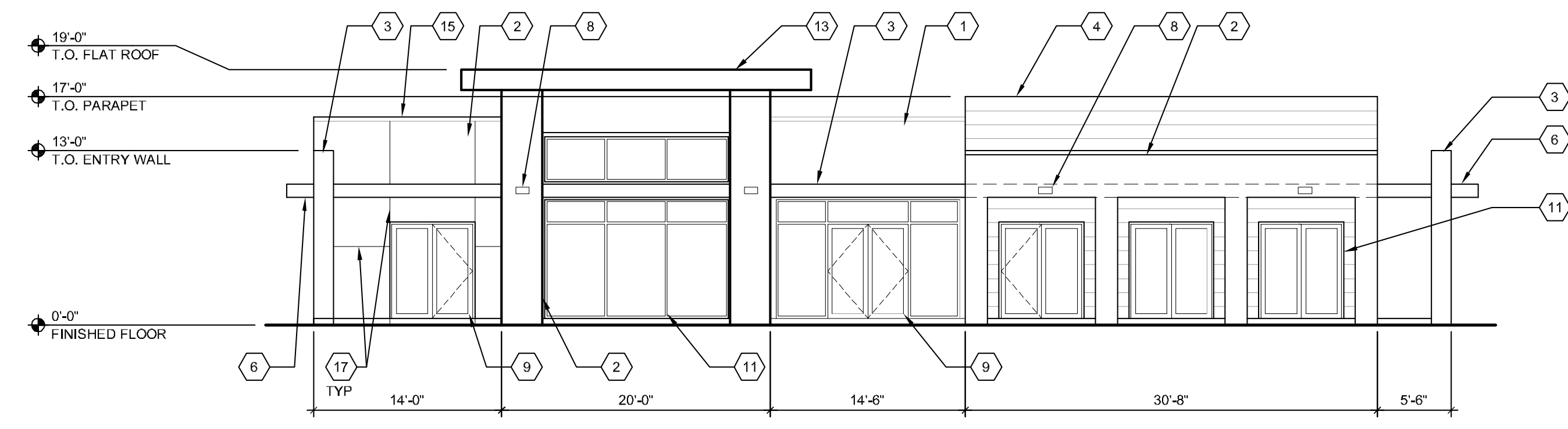
- 8 EXTERIOR LIGHTING W/ PHOTO SENSOR TO MAINTAIN FROM DUSK THRU DAWN PER MFA REQUIREMENTS
- 9 GLAZED ENTRY DOOR
- 10 HOLLOW METAL DOOR
- 11 WINDOW
- 12 HIGH WINDOW
- 13 METAL FASCIA, PREFINISHED GALVALUME
- 14 METAL DOWNSPOUT, PREFINISHED GALVALUME
- 15 METAL COPING, PREFINISHED GALVALUME
- 16 OPTIONAL METAL SUNSHADE, PREFINISHED GALVALUME
- 17 STUCCO CONTROL JOINT



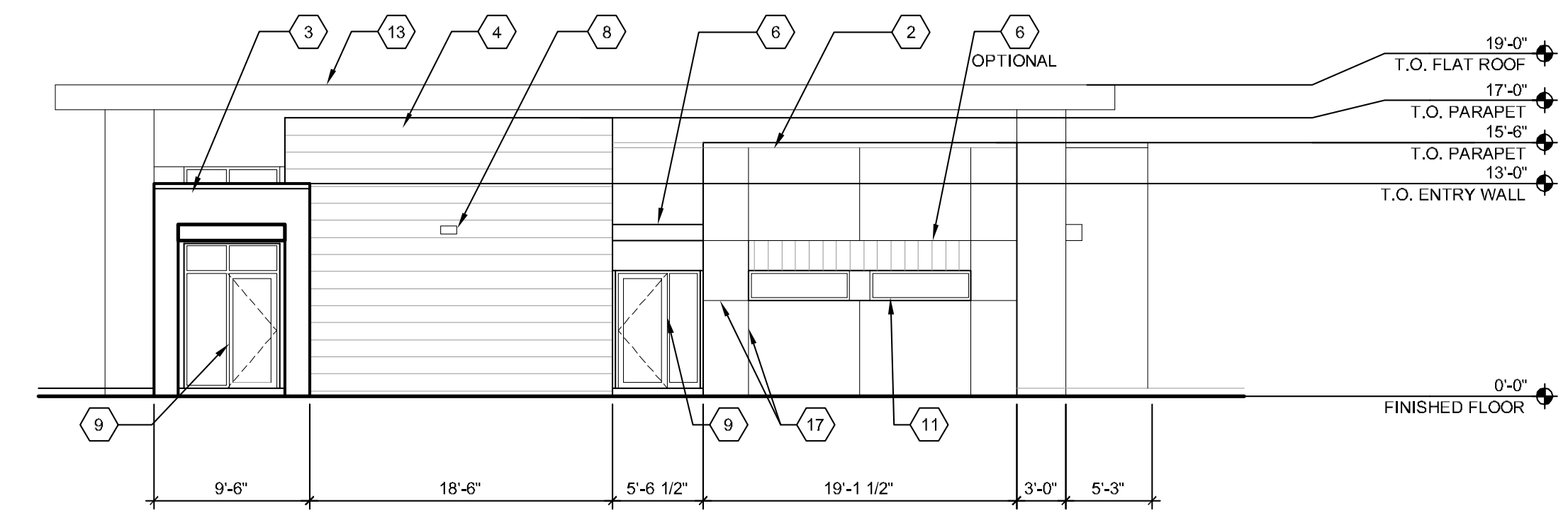
**B1 EAST BUILDING ELEVATION
COMMUNITY CENTER**
1/8" = 1'-0"



**B3 NORTH BUILDING ELEVATION
COMMUNITY CENTER**
1/8" = 1'-0"



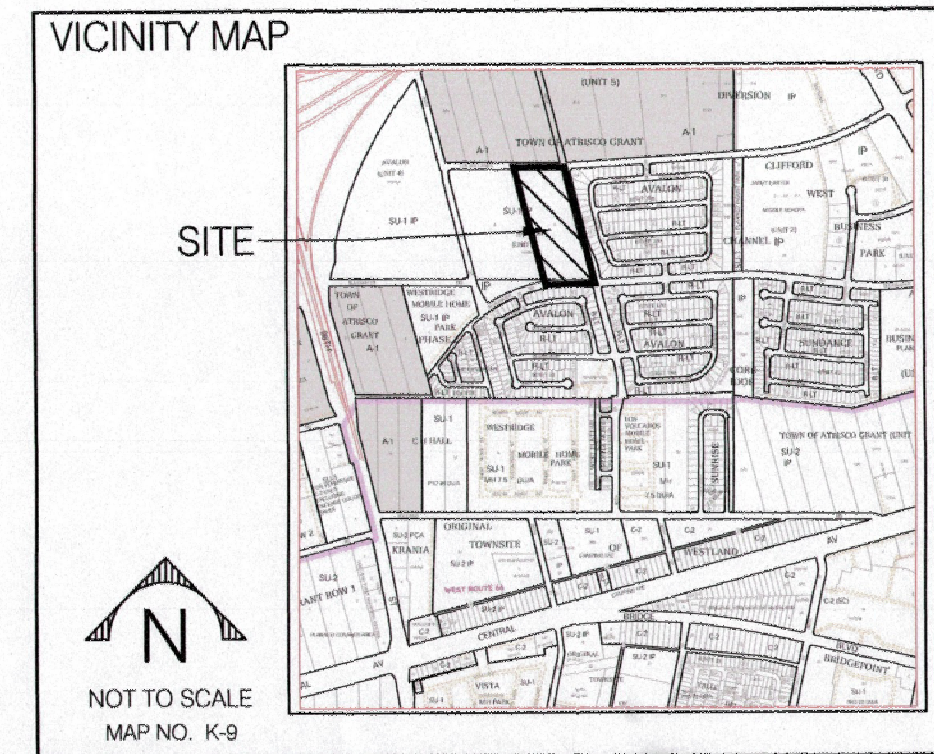
**A1 WEST BUILDING ELEVATION
COMMUNITY CENTER**
1/8" = 1'-0"



**A3 SOUTH BUILDING ELEVATION
COMMUNITY CENTER**
1/8" = 1'-0"



GENERAL NOTES:
THE ADJACENT PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF THE STREET TREES AND LANDSCAPING INCLUDING THAT WITHIN THE CITY RIGHT-OF-WAY.



**SITE DEVELOPMENT PLAN FOR SUBDIVISION:
REQUIRED INFORMATION**

THE SITE: THE SITE CONSISTS OF 1 EXISTING LOT (TRACT 8, AVALON SUBDIVISION UNIT 5). THE SITE CONTAINS APPROXIMATELY 9.98 ACRES.

PROPOSED USE: THE ZONING FOR TRACT 8 SHALL BE SU-1 FOR R-2 USES.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS SHALL BE DETERMINED IN CONJUNCTION WITH THE SITE PLAN FOR BUILDING PERMIT. BLUEWATER ROAD HAS EXISTING BIKE LANES WHICH PROVIDE ACCESS TO THE SUBJECT PROPERTY.

INTERNAL CIRCULATION REQUIREMENTS: INTERNAL CIRCULATION SHALL BE DEVELOPED IN ACCORDANCE WITH THE EXISTING PLATTED RIGHTS-OF-WAY AND AS DEFINED BY THE SITE PLAN FOR BUILDING PERMIT. PRIMARY ACCESS SHALL BE ONTO 90TH STREET, WITH EMERGENCY EGRESS ONLY ONTO BLUEWATER ROAD. LOS VOLCANES ROAD, WEST OF 90TH STREET, HAS BEEN VACATED.

BUILDING HEIGHTS AND SETBACKS: PURSUANT TO THE R-2 ZONING REGULATIONS.

MAXIMUM F.A.R.: MAXIMUM FLOOR AREA RATIO SHALL BE 5.

LANDSCAPE PLAN: A CONCEPTUAL LANDSCAPE PLAN SHALL BE DEVELOPED IN ACCORDANCE WITH THE SITE PLAN FOR BUILDING PERMIT AND CONSISTENT WITH THESE LANDSCAPING AND SCREENING REQUIREMENTS (SHEET 2).

PROJECT NUMBER: 100 3478
APPLICATION NUMBER: 14EPC-40067

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED DECEMBER 11, 2014, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
<i>Jim E. Rodriguez</i>	6-17-15
ABCWUA	Date
<i>Carol S. Dumont</i>	6-17-15
Parks and Recreation Department	Date
<i>Rita P. H.</i>	6-17-15
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

**The Village
At
Avalon**

SITE PLAN FOR SUBDIVISION

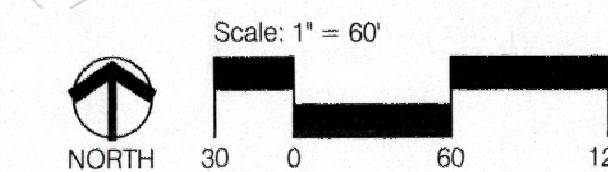
Prepared for: Curb, Inc. June 2015

Prepared by:
Consensus Planning, Inc.
302 8th Street NW
Albuquerque, NM 87102

Dekker Perich Sabatini
7601 Jefferson Street NE
Albuquerque, NM 87109



SHEET 1 OF 2



REVISIONS

△	EPC CONDITION OF APPROVAL
△	DRB COMMENTS
△	
△	

DRAWN BY

REVIEWED BY

DATE 10/27/2015

PROJECT NO. 15-0074

DRAWING NAME

**SITE PLAN FOR
SUBDIVISION**

SHEET NO.

REVISIONS	
▲	EPC CONDITION OF APPROVAL
▲	DRB COMMENTS
▲	
▲	
▲	
▲	

DRAWN BY

REVIEWED BY

DATE 10/27/2015

PROJECT NO. 15-0074

DRAWING NAME

DESIGN STANDARDS

SHEET NO.

SDP-6.2

DESIGN STANDARDS

The purpose of these design standards is to establish a development framework for multi-family development known as The Village at Avalon. These design standards will ensure the creation of an attractive and innovative development that fosters a sense of community for residents and the surrounding neighborhood and allows for an appropriate transitional use between existing single family homes and the adjacent industrial zoned parcels. The new community respects the unique locale of the site and specifically the surrounding single family neighborhoods. It also allows for the privacy and well-being of the residents and other users. These standards are complementary to the existing neighborhoods and future non-residential development.

The overall theme of the project is a family oriented, pedestrian friendly and environmentally sustainable community. The development consists of rental apartments for families with associated active and passive outdoor spaces for the residents. Service-oriented spaces in the clubhouse will likely include fitness rooms, management/leasing office, and other spaces for social functions. Green and sustainable building practices shall be incorporated: passive interception of surface water in parking lot landscape surfaces, xeric planting, directing roof water from downspouts to landscape areas to manage the first flush when feasible, Energy Star appliances, and some materials with recycled content. Semi-private spaces for the residents are shown in the inner areas of the site and residents have private patios, courtyards, balconies, decks or roof decks.



Illustrative Site Design

The Environmental Planning Commission retains authority for the review and approval of the future Site Development Plan for Building Permit. The Site Plan for Building Permit shall be reviewed and found to be consistent with this Site Development Plan for Subdivision, the Comprehensive Zoning Code, and the Development Process Manual. Any required public infrastructure shall be identified and required as part of the DRB's review of the site plan.

1. Off-Street Parking

Off-Street parking shall be in general compliance with other similar developments under the R-2 zoning. Considerations to reduce required parking by a maximum of 10% shall be allowed if such reductions result in greater landscape buffers on 90th street. Parking will be located primarily on the west side of the parcel to provide a significant buffer to the future industrial development. Alternative transportation sources are encouraged. Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided. Bicycle racks shall be constructed of metal and finished in colors harmonious with those of the buildings on site.

2. Landscape

The landscape design will strive to engage the users by providing a welcoming environment for the residents and public. Through the use of xeric plants outdoor spaces will have seasonal color, texture and scale and will compliment the architecture. Trees will be used to provide shade in pedestrian areas, highlight intersections and establish hierarchy of vehicular drives. Accent plants will be used to emphasize entries and provide sculptural interest. The remainder of the plant palette will be a mixture of shrubs, ornamental grasses and groundcovers. The landscape design will comply with the intent of the city of Albuquerque Water Conservation, Landscaping and Water Waste ordinance and 14-16-3-10 of the City of Albuquerque General Regulations. An emphasis shall be placed on the landscaping adjacent to 90th Street NW and Bluewater Road NW. All trees and shrubs on 90th Street and Bluewater Road NW will be designed to meet the Street Tree Ordinance §6-6-2-1. Landscaping, fencing, and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.

3. Site Lighting

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".
- Site lighting will be designed to ensure that it does not shine onto the adjacent residential properties to the east and south.
- The height of street lights and parking area lights shall be kept to the minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- Perimeter parking: 25' high maximum pole with cutoff features.
- Other parking: 16' high maximum pole within 100 feet of the adjacent single family neighborhoods (provided that the lighting fixture does not directly shine on any residential premises).
- Buildings and adjacent pedestrian areas: Building mounted fixtures and bollards for security and pedestrian lighting.
- Site lighting to comply with the Area Lighting Regulations, 14-16-3-9 of the Zoning Code.

4. Placement of Mechanical Units

Care shall be made to hide the view of exposed mechanical units, riders, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used. Ground level units shall be screened from public view through free-standing dense evergreen foliage or on "green walls". Roof mounted units shall be screened from public view through the use of parapet walls or roof screens that are architecturally coordinated with the building they serve.

5. Signage

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and compliments the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations of the Zoning Code.
- Signs identifying the principal use of a building may be free-standing (monument style) or wall-mounted.
- The design of the interior directional signs shall be coordinated with the design of the site signage.
- No illuminated plastic panel signs are allowed.
- No illuminated signage shall face existing residential areas to the east and south.

6. Screen walls and fences

Site fencing will be designed to comply with section 14-16-3-19 in the Zoning Code to be harmonious with the development & adjacent properties. "Green walls" - 6' high open metal fencing (excluding chain link fencing) with plant material growing on or adjacent - will be used in all possible locations including the west and north site perimeter. The color will be neutral so as to harmonize with the plant materials. Similar material and colors will be used for building guardrails.

Patio walls shall reflect the same use of stucco finish to complement that of the buildings, or may contrast the building finish by use of metal fencing (rail or solid) to articulate semi-private patios and balconies. Patio walls shall not exceed 5'. Color shall be harmonious with the adjacent building. Refuse container walls will be a composite of CMU wall with stained cement board in a metal frame for operable gates. It will be stained and painted with colors used on the buildings.

7. Sidewalks and Pedestrian Connectivity

Public and private walks provide important connectivity within the project as well as in and out of the site. All sidewalks shall be concrete, with a minimum of 4'-0" width. The use of asphalt is not permitted. Concrete or compacted crusher fines with stabilizer are acceptable materials. All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this unfeasible. Pedestrian crossings of drive aisles shall be clearly demarcated with contrasting paving treatment. Buildings adjacent to 90th Street and Bluewater Roads shall have connective sidewalks leading from public sidewalks to the primary building entries or building portals. If fencing is proposed, these connective sidewalks shall have access gates through the fencing. Opportunities for future sidewalk connections shall be provided

through the subject site to provide future pedestrian connections to the future development to the west, if appropriate.

8. Private Open Space

An important design of this community is the inclusion of open spaces for resident recreation: These open space areas provide opportunities for residents to meet their neighbors and visitors to the site. The project is designed with recreational swimming pool and fitness components for adults and various ages of children.

9. Exterior Wall Materials and Colors

Exterior style will reflect a "Contemporary Southwest" vernacular. Articulation of building massing is required. Long and flat building facades are not allowed without articulations at a maximum of 32 foot intervals. Building entry portals shall have contrasting material or color changes to identify and enrich these points of entry. They further promote pedestrian site access and a place for people to socialize. Stucco wall finish system (or synthetic version) reinforces the vernacular architectural expression as do crisp and contemporary materials and finishes such as metal railings, downspouts and parapet caps consistent with the style.

Exterior wall color shall reflect a consistent overall palette of earth and sky-based tones, both pale and saturated with color, as is the palette from nature. Color shall be used in conjunction with the grouping of the building's different masses. The apartment buildings shall be a stucco wall finish system and incorporate metal railings at the balconies and stairs. Complementary shading devices and metal detailing such as shade canopies and louvers, trellises and site railings shall be proposed throughout the complex; be consistently detailed, and complement the overall architecture. Reflective glass shall not be permitted.

10. Roof Materials

Roof materials and colors shall be reminiscent of the Contemporary Southwest style with the dominant design being low pitch roofs (heat reflective and light colored) concealed from view with building parapets.

11. Utilities

Developers shall contact PNM's New Service Delivery Department to coordinate electric service and options for the location of electric service connection. Any existing or proposed public utility distribution easements are to be indicated on subsequent Site Plan for Building Permit utility sheets. PNM's standard for public utility distribution easements is 10 feet in width to ensure adequate, safe clearances. All new electric distribution lines shall be placed underground.

Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers. Transformers, utility pads, and ground-mounted equipment screening shall allow for access to utility facilities. All screening and vegetation surrounding ground mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If prefabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

Any wireless communication facilities shall meet FAA regulations, and shall be concealed and architecturally integrated.

12. Neighborhood Context

In order to ensure that the future buildings are sensitive to the privacy and existing character of the adjacent single family neighborhood, the proposed multi-family development shall address the following:

- Street trees will be provided along 90th Street and Bluewater Road;
- A minimum of 10 evergreen trees will be included to provide additional screening along 90th Street and Bluewater Road;
- All buildings shall be flat roof;
- The minimum setback along 90th Street and Bluewater Roads shall be increased from 10 feet to 30 feet for any building more than single story;
- The landscape setback along both 90th Street and Bluewater shall include 2 to 3 foot tall berms where appropriate;
- The site plan and building designs shall take into consideration landscape and grading enhancements to maximum the privacy of the adjacent single-family homes whose back yards are adjacent to both 90th Street and Bluewater Road;
- Solid half walls (instead of open railings) shall be provided on all third story balconies facing the houses on 90th Street and Bluewater Road; and
- Four story buildings, if adjacent to either 90th Street or Bluewater Road, shall be sited so that the living areas do not face the adjacent single-family homes.

13. Character of Development: Elements of Contemporary Southwest Architecture



**The Village
At
Avalon**

DESIGN GUIDELINES

Prepared for: Curb, Inc. June 2015

Prepared by:
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