

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1003479

Application #: 13DRB-70523

Project Name: LAND OF ST ANTHONY ORPHANAGE

Agent: THE SKARSGARD FIRM PC

Phone #:

Your request was approved on 8-28-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA: SRP - recorded SA

PARKS / CIP:

PLANNING (Last to sign): SBP

FP, did city signatures completed SBP

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

12/11/2007 Issued By: E08375

Permit Number: 2007 070 438 **Category Code 910**

Application Number: 07DRB-70438, Epc Approved Sdp For Build Permit

Address:

Location Description: 12TH ST NW BETWEEN INDIAN SCHOOL NW AND I-10

Project Number: 1003479

Applicant
Eddie & Christine Lopez

Agent / Contact
Dac Enterprises Inc

1020 Delia Nw
Albuquerque NM 87104

Po Box 16658
Albuquerque NM 87191
294-5243

Application Fees

| | | |
|----------------|---------------------|----------------|
| 441018/4971000 | Public Notification | |
| 441032/3424000 | Conflict Mgmt Fee | \$20.00 |
| 441006/4983000 | DRB Actions | |
| TOTAL: | | \$20.00 |

City Of Albuquerque
Treasury Division

12/11/2007 11:18AM LOC: ANNX
WS# 006 TRANS# 0013
RECEIPT# 00085504-00085504
PERMITH 2007070438 TRSCCS
Trans Amt \$20.00
Conflict Manag. Fee \$20.00
CK \$20.00
CHANGE \$0.00

Thank You



#2

DRB PUBLIC HEARING SIGN IN SHEET

Project #: ~~1003479~~ 1003479

Date: 8/21/13

NAME: Michael Silbert ADDRESS: 55, Froid Hawk Trl NW ZIP: 87114

NAME: MARIT TULLY ADDRESS: 1107 LA POBLANA NW ZIP: 87107

NAME: ADDRESS: ZIP:

NAME: ADDRESS: ZIP:

NAME: ADDRESS: ZIP:

NAME: ADDRESS: ZIP:

NAME: ADDRESS: ZIP:

NAME: ADDRESS: ZIP:



#/

DRB PUBLIC HEARING SIGN IN SHEET

Project #: 1003479

Date: _____

NAME: EDUARDO M. ANAYA ADDRESS: 2000 LIZAC AVE ZIP: 87104

NAME: Michael Silberf ADDRESS: 551 Field Hawk Trl NW ZIP: 87114

NAME: Joe Sabatini ADDRESS: 3514 6th ST NE ZIP: 87107

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____



DRB PUBLIC HEARING SIGN IN SHEET

Project #: _____

Date: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

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NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

DEVELOPMENT REVIEW BOARD MEETING – May 1, 2013

PARKS & RECREATION DEPARTMENT COMMENTS

ITEM #1

Project #1003479

13DRB-13DRB-70523 EPC Approved Site Development Plan for Building Permit

The Parks and Recreation Department is providing applicant with the City “Streetscapes - Summary of Design Criteria” for reference by the Landscape Architect. This information includes irrigation, planting and other standards for streetscapes, more specifically the landscaping outside the property line and within the ROW.

In “Landscape Project Notes”, please delete “crowned beds” as we have greater success with “swale” type beds that can collect rainwater rather than to shed water away from the plants.

On the Landscape Plan, box titled Landscape Maintenance, please add at the end of each sentence, “ and area within the right of way adjacent the lot” per City ordinance. It is important that the owner(s) understand and accept required responsibility for maintenance of the streetscape.

Please consult with local Landscape Architect regarding selection of Lirope Muscari in the Plan as my information states that it “prefers moist, fertile soils in part shade.” It may be considered to be “drought tolerant” but this is an extremely harsh, hot and dry site for plants preferring moisture and shade. Alternate plant selection can be considered from the Streetscapes Plant Master List or from the Albuquerque Water Authority Plant List.



#1

DRB PUBLIC HEARING SIGN IN SHEET

Project #: 1003479

Date: _____

NAME: Joe Sedatini ADDRESS: 3514 West ZIP: 87107

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

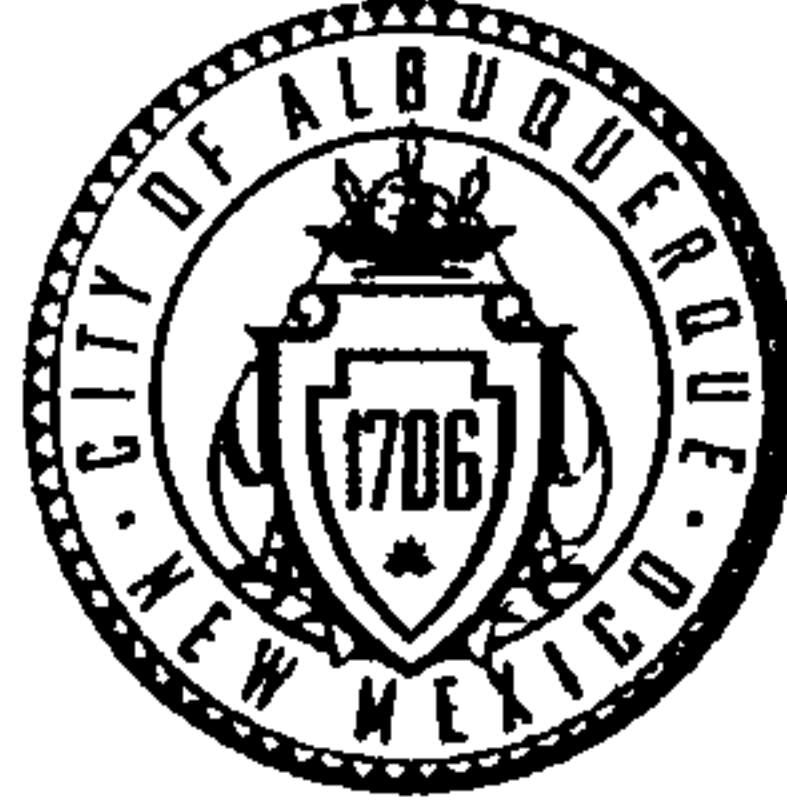
NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____



DEVELOPMENT REVIEW BOARD
Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building



May 1, 2013 9:00 AM
MEMBERS:

Jack Cloud, DRB Chair
Angela Gomez, Administrative Assistant

Kristal Metro, Transportation Development
Curtis Cherne, City Engineer

Allan Porter, ABCWUA
Carol Dumont, Parks & Recreation

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

- 1. Project# 1003479**
13DRB-70523 EPC APPROVED SDP
FOR BUILD PERMIT 
- 2. Project# 1004000**
13DRB-70498 VACATION OF PRIVATE
EASEMENT
13DRB-70499 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
13DRB-70493 EPC APPROVED SDP
FOR BUILD PERMIT
13DRB-70494 EPC APPROVED SDP
FOR SUBDIVISION 

THE SKARSGARD FIRM PC agent(s) for PASEO PAVILLION @ SECOND STREET request(s) the above action(s) for all or a portion of Tract(s) E, **LAND OF ST ANTHONY ORPHANAGE** zoned SU-1 FOR C-1, located on INDIAN SCHOOL RD BETWEEN 12TH ST AND I-40 containing approximately 1.6 acre(s). (H-13) **INDEFINITELY DEFERRED.**

TIERRA WEST LLC agent(s) for LAND RESERVE OF NEW MEXICO request(s) the above action(s) for all or a portion of Lot(s) A-1 OF TR A, **ALBUQUERQUE WEST Unit(s) 2**, zoned SU-2 PDS TO INCLUDE C-3 USES, located on NE CORNER OF COORS AND PASEO DEL NORTE containing approximately 3.48 acre(s). (C-13) [Deferred from 4/3/13, 4/10/13, 4/17/13, 4/24/13] **THE VACATION AND PRELIMINARY/FINAL PLAT REQUESTS WERE WITHDRAWN. THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR RECORDING INFORMATION. WITH THE SIGNING OF THE INFRASTRUCTURE LIST, THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR FINANCIAL GUARANTEE, APPROVED GRADING AND DRAINAGE PLAN, AND RESOLUTION OF LANDSCAPING AND TO PLANNING FOR EXPANSION OF ...**



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

January 2, 2008 9:00 AM

MEMBERS:

Jack Cloud, Acting Chair
Angela Gomez, Administrative Assistant

Kristal Metro, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1002176**
07DRB-70423 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA) MOUNTAIN WEST DEVELOPMENT CO. LLC
request(s) the above action(s) for all or a portion of
COVERED WAGON, zoned SU-1/RESIDENTIAL,
located on the south side of CENTRAL AVE SE
BETWEEN FOUR HILLS RD SE AND WATERFALL SE
containing approximately 5.55 acre(s). **THE 9 MONTH
EXTENSION OF THE SUBDIVISION IMPROVEMENT
AGREEMENT (SIA) WAS APPROVED.**

2. **Project# 1004353**
07DRB-70431 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA) BOHANNAN HUSTON INC. agent(s) for LONGFORD
AT THE TRAILS, LLC request(s) the above action(s) for
all or a portion of **SANTA FE 2 AT THE TRAILS
UNIT 2**, zoned SU-2/RD, located on the northwest corner
of OAKRIDGE ST NW BETWEEN TREELINE AVENUE
NW AND WOODMONT AVENUE NW containing
approximately 17 acre(s). (C-9) **THE TWO MONTH
EXTENSIONS OF THE SUBDIVISION IMPROVEMENT
AGREEMENTS (SIA) WERE APPROVED.**

3. **Project# 1004606**
07DRB-70430 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA) BOHANNAN HUSTON INC agent(s) for THE TRAILS,
LLC request(s) the above action(s) for all or a portion of
VALLE VISTA AT THE TRAILS UNIT 2, zoned SU-
2/SRLL, located on the southwest corner of WOODMONT
AVE NW AND RAINBOW BLVD NW containing
approximately 11.73 acre(s). (C-9) **THE ONE YEAR
EXTENSION OF THE SUBDIVISION IMPROVEMENT
AGREEMENT (SIA) WAS APPROVED.**

4. **Project# 1004546**
07DRB-70416 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
- SOUTH COORS L.P. request(s) the above action(s) for all or a portion of Lot(s) A-1A-3A & A-1A-3B, **HUBBELL PLAZA**, zoned C-2, located on the northeast corner of CENTRAL AVE NW AND AIRPORT RD NW containing approximately 3.37 acre(s). (K-10-Z) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**
5. **Project# 1005029**
07DRB-70426 MAJOR - PRELIMINARY
PLAT APPROVAL
07DRB-70427 VACATION OF PUBLIC
EASEMENT
07DRB-70428 SUBDN DESIGN
VARIANCE FROM MIN DPM STDS
07DRB-70429 MINOR - TEMP DEFR
SWDK CONST
- ADVANCED ENGINEERING AND CONSULTING agent(s) for SUNCAL NEW MEXICO INC. request(s) the above action(s) for all or a portion of Tract(s) B & J **THE CROSSING**, and Tract R, **STORMCLOUD SUBDIVISION**, zoned SU-2 FOR R-LT, located on the south side of TIERRA PINTADA BLVD NW BETWEEN CALLE AZUELO NW AND ARKANSAS RD NW containing approximately 4.05 acre(s). (H-9-Z) **WITH AN APPROVED GRADING AND DRAINAGE PLAN ENGINEER STAMP DATED 10/2/06 THE PRELIMINARY PLAT WAS APPROVED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE DESIGN VARIANCE BASED ON SINGLE LOADED STREET WITH LOTS ON ONE SIDE ONLY WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
6. **Project# 1006964**
07DRB-70417 VACATION OF PUBLIC
RIGHT-OF-WAY
- SANTOSH MODY agent(s) for BHARAT AND CHAMPA MODY request(s) the above action(s) for all of the east-west alley between Lot(s) 1- 5, **GILLET ADDITION**, zoned C-2 and Lot(s) 2-8 Block 1 **EVANS ADDITION**, zoned C-3, located south of CENTRAL AVE SE BETWEEN SAN MATEO AVE SE AND MADERIA DR SE. (K-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. A PRIVATE DRAIN EASEMENT MUST BE MAINTAINED.**
7. **Project# 1006967**
07DRB-70422 VACATION OF PUBLIC
RIGHT-OF-WAY
- DAC ENTERPRISES, INC agent(s) for FAIZEL KASSAM request(s) the above action(s) for a portion of Modesto Ave NE adjacent to Lot(s) 8-10, Block(s) 26, **NORTH ALBUQUERQUE ACRES TRACT 1, UNIT B**, located on the south side of MODESTO NE BETWEEN SAN PEDRO NE AND LOUISIANA NE (C-18) **DEFERRED TO 2/6/08 AT THE AGENT'S REQUEST.**

8. **Project# 1005357**
07DRB-70392 MAJOR - PRELIMINARY
PLAT APPROVAL

SURV-TEK INC agent(s) for OXBOW TOWN CENTER, LLC request(s) the above action(s) for all or a portion of Tract(s) X-1-A2 & X-2-A UNIVERSITY OF ALBUQUERQUE URBAN, UNIVERSITY OF ALBUQUERQUE URBAN CENTER TBK OXBOW TOWN CENTER, zoned SU-3, located on ST JOSEPH'S DRIVE NW BETWEEN COORS BLVD NW AND ATRISCO DRIVE NW containing approximately 47.72 acre(s). (G-11) *(Deferred from 12/12/07)* **WITH THE APPROVAL OF THE SITE DEVELOPMENT PLANS, THE PRELIMINARY/FINAL PLAT WAS APPROVED.**

07DRB-70395 EPC APPROVED SDP
FOR SUBDIVISION

GEORGE RAINHART & ASSOCIATES agent(s) for SUNLAND DEVELOPMENT GROUP, LLC request(s) the above action(s) for all or a portion of Tract(s) X-1-A1, X-1-AZ, X-2-A, UNIVERSITY OF ALBUQUERQUE URBAN CENTER, zoned SU-3 (R-2, C-2, 0-1), located on COORS BLVD NW AND ENCANTADA DEL SUR containing approximately 47.2 acre(s). (G-11) *[EPC Planner – Carmen Marrone] (Deferred from 12/12/07)* **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR CARMEN MARRONE'S INITIALS AND FOR 3 COPIES.**

07DRB-70419 EPC APPROVED SDP
FOR BUILD PERMIT

GEORGE RAINHART ARCHITECTS & ASSOCIATES agent(s) for SUNLAND DEVELOPMENT GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) X-1-A-1, X-1-A-2, X-2-A, UNIVERSITY OF ALBUQUERQUE URBAN CENTER, zoned SU-3/ R-2,C-2,0-1 USES, located on ST JOSEPH'S DR NW BETWEEN COORS BLVD NW AND ATRISCO DR NW containing approximately 47.2 acre(s). (G-11) *[EPC Planner – Stephanie Shumsky (Deferred from 12/12/07)]* **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION TO ADDRESS COMMENTS, AND TO THE CITY ENGINEER FOR SIA, STAFF PLANNERS INITIALS, AND FOR 3 COPIES.**

9. **Project# 1000539**
07DRB-70400 VACATION OF PUBLIC
EASEMENT
07DRB-70401 VACATION OF PRIVATE
EASEMENT
07DRB-70402 MINOR - TEMP DEFR
SWDK CONST
07DRB-70403 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for HOPE CHRISTIAN SCHOOL request(s) the above action(s) for all or a portion of Lot(s) 6, 7, 8-A, 9A-1, 10& 26, Block(s) 11, **NORTH ALBUQUERQUE ACRES Unit(s) A**, zoned SU-1 PRIVATE SCHOOL, located on PALOMAS NE BETWEEN SAN PEDRO AND LOUISIANA containing approximately 6.75 acre(s). (D-18) *(Deferred from 12/19/07)* **THE VACATION OF PUBLIC EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE VACATION OF PRIVATE EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/2/08. THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS DEFERRED PENDING APPROVAL OF THE SIA.**

10. **Project# 1005182**
07DRB-70309 MAJOR - FINAL PLAT
APPROVAL

WILSON AND COMPANY INC agent(s) for LA CUENTISTA II, LLC request(s) the above action(s) for all or a portion of Tract C, **LA CUENTISTA SUBDIVISION Unit 2**, zoned SU2-SRSL, located on ROSA PARKS ROAD NW BETWEEN ALOE ROAD NW AND KIMMICK DRIVE containing approximately 35.4714 acre(s). (C-10 C-11) *(Deferred from 10/17/07 & 10/24/07)* **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

11. **~~Project# 1003479~~**
07DRB-70438 EPC APPROVED SDP
FOR BUILD PERMIT

DAC ENTERPRISES INC agent(s) for EDDIE & CHRISTINE LOPEZ request(s) the above action(s) for all or a portion of Lot E, **ST ANTHONY ORPHANAGE ADDITION**, zoned SU-1 FOR C-1 Residential, located on 12TH ST NW BETWEEN INDIAN SCHOOL RD NW AND I-40 containing approximately 1.4 acre(s). [REF: 06EPC-00955] (H-13) *[Catalina Lehner- EPC Planner]* *(Deferred from 12/19/07)* **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION TO ADDRESS COMMENTS, AND TO CITY ENGINEER FOR SIA, 3 COPIES, AND PLANNERS INITIALS.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project# 1005539**
07DRB-70446 MINOR - TEMP DEFR
SWDK CONST
- WILSON AND COMPANY INC agent(s) for MGME DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot 1, Block 5, **VOLCANO CLIFFS Unit 26**, zoned SU-2-SRLL, located on KIMMICK DR NW BETWEEN ROSA PARKS RD NW AND VALIENTE RD NW containing approximately 3.49 acre(s). (C-11) **THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
13. **Project# 1005343**
07DRB-70450 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for MONEER HINDI request(s) the above action(s) for all or a portion of Lot(s) 3, **PORTION OF SKYLINE RD NE MANKIN INC**, zoned C-2, located on I-40 AND SLYLINE RD NE containing approximately 1.8641 acre(s). (L-22) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/2/08 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. ON THE FINAL PLAT, INDICATION OF ALL VACATED RIGHT OF WAY EASEMENTS SHOULD BE RETAINED.**
14. **Project# 1006840**
07DRB-70443 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for GEORGE LOPEZ request(s) the above action(s) for all or a portion of Lot(s) 33-35, Block(s) D, **KIMO ADDITION**, zoned R-1, located on I-40 BETWEEN INDIAN SCHOOL RD NE AND VALENCIA DR NE containing approximately .1456 acre(s). (J-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/2/08 THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**
15. **Project# 1006505**
07DRB-70055 MINOR - FINAL PLAT
APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for EDDIE CORLEY request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19, 20 & portion of 21, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, Unit(s) B**, zoned SU-2 IP, located on EAGLE ROCK AVE NE BETWEEN PAN AMERICAN FREEWAY NE AND SAN PEDRO DR NE containing approximately 4.7346 acre(s). (C-18) *(Deferred from 6/20/07)* **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project# 1007005**
07DRB-70451 SKETCH PLAT REVIEW
AND COMMENT

AUGUSTINE ROMERO agent(s) for AUGUSTINE ROMERO request(s) the above action(s) for all or a portion of Tract(s) A2, **EUFELIA A GABALDON**, zoned R-1, located on GABALDON NW BETWEEN BEACH NW AND CARLOTA NW containing approximately 1.6 acre(s). (H-12) **THE ABOBE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. Approval of the Development Review Board Minutes for November 21st and November 28th

Other Matters: None.

ADJOURNED: 11:10

INTER-OFFICE MEMO

DATE: December 18, 2007
TO: Richard Dourte, Interim DRB Chair
FROM: Catalina Lehner, Senior Planner *CL*
RE: Project #1003479, 12th & Indian School Commercial Building

On April 19, 2007, the EPC approved a Zone Map Amendment and a Site Development Plan for Building Permit for all or a portion of Tract E, St. Anthony's Orphanage Addition.

Staff met with the applicant, John Spitz of George Rainhart Architects and Associates, on December 13, 2007 to check for compliance with the Conditions of Approval.

The Site Development Plan for Building Permit does not satisfactorily meet the EPC conditions of approval, as elaborated in the Official Notification of Decision. Though Staff and applicant discussed these items, they have not been incorporated into the plan set as of this writing.

Condition #1

It appears that the first page of the applicant's DRB letter is missing. I could not find it in the file.

Condition #4A

A note needs to be added to the last, boxed note on the first page of the elevations to indicate that the tenant signs on the east side of the building shall be of metal channel letters.

Condition 4B

A note needs to be added after the last, boxed note to indicate that illuminated plastic panel signs are not allowed.

Condition 4i

A note needs to be added after the last, boxed note to indicate that signs should identify only the name and business of the occupant or of those offering the premises for sale or lease.

Condition #5B

A wall detail showing material, height and color (at a minimum) shall be provided.

Condition #6F

The narrative on the landscape plan needs to be changed to indicate that 80% coverage with living, vegetative material shall be achieved.

Condition #11C

The calculations for window glazing shall be shown on the site plan.

Condition #12B

A note shall be added to indicate that the applicant will put flower pots in the Café Zone.

Condition 14A

The applicant shall comply with this condition on the property owned by the applicant. Staff recognizes that the applicant does not own the property along Indian School. The applicant has stated that only part of this condition can be fulfilled.

Condition 14B

A note shall be added to indicate that curbs shall not be more than 6 inches high.

Note that Staff did not check for compliance with Condition #10, which is from Transportation.

If you have any questions regarding this case, please call me at 924-3935.



|

DRB PUBLIC HEARING SIGN IN SHEET

Project #: 1003479

Date: _____

NAME: Joe Sabatini ADDRESS: 3514 84th Ave 87107 ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

Metro, Kristal D.

From: Shaw, Kellie R.
Sent: Wednesday, July 24, 2013 8:41 AM
To: Metro, Kristal D.
Cc: Sholtis, Diane
Subject: 12th Street and Indian School - Development Concerns

Hi Kristal,

We are finalizing our traffic analysis within the 12th Street corridor and have concerns that the development that is planned on the Federal property north of the McDonalds development will require a northbound right turn lane onto eastbound Indian School. I am aware that this site plan is up for approval this morning but thought it was important to let you know that the planned development within the IPMI boundary will probably need a right turn lane here. Additionally, in a TIS that was done in 2007, a right turn lane at this location was recommended and our analysis has basically confirmed this need. If a right turn lane were to be constructed with the rest of the McDonalds development (and major modification to the current site plan), the entire intersection in the 2035 design year can function.

With that being said, I think that postponement of the approval may be necessary if these concerns are shared.

Thank you,
Kellie R. Shaw, EI
Project Manager
Transportation Engineering Division
Department of Municipal Development
City of Albuquerque
Phone: 505-768-3659
Fax: 505-768-2733
kellieshaw@cabq.gov

Metro, Kristal D.

From: Shaw, Kellie R.
Sent: Tuesday, July 23, 2013 5:35 PM
To: Metro, Kristal D.
Cc: Sholtis, Diane
Subject: FW: Applicant will design & construct "channelized right turn lane" and extension of the decel lane this fall (along w/ restaurant).
Attachments: 12th St McDonalds_suggested mods.pdf

Hi Kristal,

Attached and below are comments/suggestions from PB that I have reviewed. Please move forward with them however you prefer. Although the right turn lane is shown, it is intended to be in combination with the main access width reduction. Per our discussion earlier, we support your opinion and direction regarding the compliance issues with landscaping and access spacing.

These comments are cursory and for your information so please let me know how the project moves forward so that we are aware of any changes.

Thanks,

Kellie Shaw, EI
Project Manager
768-3659

From: Heimann, James [mailto:Heimann@pbworld.com]
Sent: Tuesday, July 23, 2013 12:30 PM
To: Shaw, Kellie R.
Cc: Sims, Danny; Steffin, Paul
Subject: RE: Applicant will design & construct "channelized right turn lane" and extension of the decel lane this fall (along w/ restaurant).

Hi Kellie,

We drew up a concept for this site. There are many inherent difficulties so we're just trying to make the best of it. Key notes:

1. The driveway on 12th Street is too wide and creates conflicts within the driveway on the exit. We tightened that up. This also shifts the island down to hopefully make it more difficult for an exiting vehicle to make a left-turn to the south from McD's. I think the median channelization should be installed.
2. As was proposed, the design adding a lane at the channelized right-turn presents issues. Will the right-turn yield properly? They may just go for it since the McD's driveway is close. We propose to make it a true yield condition so there is no question. There remains a potential for rear-end crashes for vehicles turning into McD's. Our proposed layout increases the turning radius into the site. Our concept may need tweaking to make the island a little bigger, and our island doesn't allow right-turns from 12th after the channelized right.
3. We suggest that the 2nd eastbound lane isn't added until after the McD's access point. This provides

7/24/2013

better positive guidance for users. At the access road to AIS, the inside lane drops to a left-turn and the outside continues through.

Anyway, that's our suggestions.
Jim

James E. Heimann, PE, PTOE
Parsons Brinckerhoff

From: Shaw, Kellie R. [mailto:kellieshaw@cabq.gov]
Sent: Tuesday, July 23, 2013 8:35 AM
To: Heimann, James
Subject: FW: Applicant will design & construct "channelized right turn lane" and extension of the decel lane this fall (along w/ restaurant).

Hi Jim,

What are your thoughts regarding this channelized right turn lane?

Thanks,
Kellie Shaw, EI
Project Manager
768-3659

From: Sholtis, Diane
Sent: Tuesday, July 23, 2013 8:13 AM
To: Shaw, Kellie R.
Subject: FW: Applicant will design & construct "channelized right turn lane" and extension of the decel lane this fall (along w/ restaurant).

You may want to send this to PB and ask them to evaluate it. I don't have a lot of confidence that they ran any turn template on this.

Diane Sholtis, P.E.

Design Section Manager
City of Albuquerque
(505) 768-3838



GO LOBOS!!

Please consider the environment before printing this e-mail!

From: Heather Macomber [mailto:Heather.Macomber@Adams-Engineering.com]
Sent: Monday, July 22, 2013 4:15 PM
To: Joshua Skarsgard; Shaw, Kellie R.; Mike Canfield; Barkhurst, Kathryn Carrie; Metro, Kristal D.; Cloud, Jack W.; Mike Silbert; John MacKenzie; Jimmy Lopez; Sholtis, Diane; Marit Tully; Joe Sabatini; Terry O.

7/24/2013

Brown, P.E.; Trish Lopes

Subject: RE: Applicant will design & construct "channelized right turn lane" and extension of the decel lane this fall (along w/ restaurant).

Attached is the revised site plan showing a channelized right turn lane, and extending the deceleration lane thru to the east property line.

Thanks,

Heather Macomber

Adams | Engineering & Development Consultants

O: 817.328.3200 D: 817.328.3243

heather.macomber@adams-engineering.com

From: Joshua Skarsgard [<mailto:josh@skarsgardfirm.com>]

Sent: Monday, July 22, 2013 4:39 PM

To: Shaw, Kellie R.; Mike Canfield; Carrie Barkhurst Planning Dept; Kristal D. Metro; Jack W. Cloud; Mike Silbert; John MacKenzie; Jimmy Lopez; Heather Macomber; Sholtis, Diane; Marit Tully; Joe Sabatini; Terry O. Brown, P.E.; Trish Lopes

Subject: Applicant will design & construct "channelized right turn lane" and extension of the decel lane this fall (along w/ restaurant).

Importance: High

Good Afternoon City of ABQ (Mr. Cloud, Ms. Barkhurst, Ms. Metro, Ms. Shaw, Ms. Sholtis) & NNVNA & IPMI:

In an effort to permanently solve the Charter School bus access problem that we learned of on Friday, July 19th... please accept this email as a formal offer (on behalf of the Applicant for Project No. 1003497) to solve the problem by designing and constructing the "**channelized right turn lane**" in conjunction with the construction of the McDonald's restaurant this fall (See attachment "school bus template" for location of channelized right turn lane.

We were also asked by the IPMI to construct the extension of the deceleration lane east to the property line with the Queen of Angels Chapel. The Applicant will design and construct that roadway improvement as well (see "thru lane detail" attached above).

Our engineer, Adams Engineering (Ms. Heather Macomber) will be circulating an amended Site Plan (Sheet C1.0) within the hour for City review of the channelized right turn lane.

The related SDP for BP Set (Utility Plan, Grading and Drainage Plan, Landscape Plan, etc.) will be printed, folded and delivered to the DRB, DMD, IPMI and NNVNA tomorrow for review prior to the Wed. DRB Hearing.

The Applicant is hopeful that this offer to solve the Charter School bus access, by designing and constructing the "channelized right turn lane" (and deceleration lane extension) will not delay the Wednesday DRB Hearing.

Thanks to everybody for your cooperation in this Application. Please call or write if you have any questions, etc.

7/24/2013

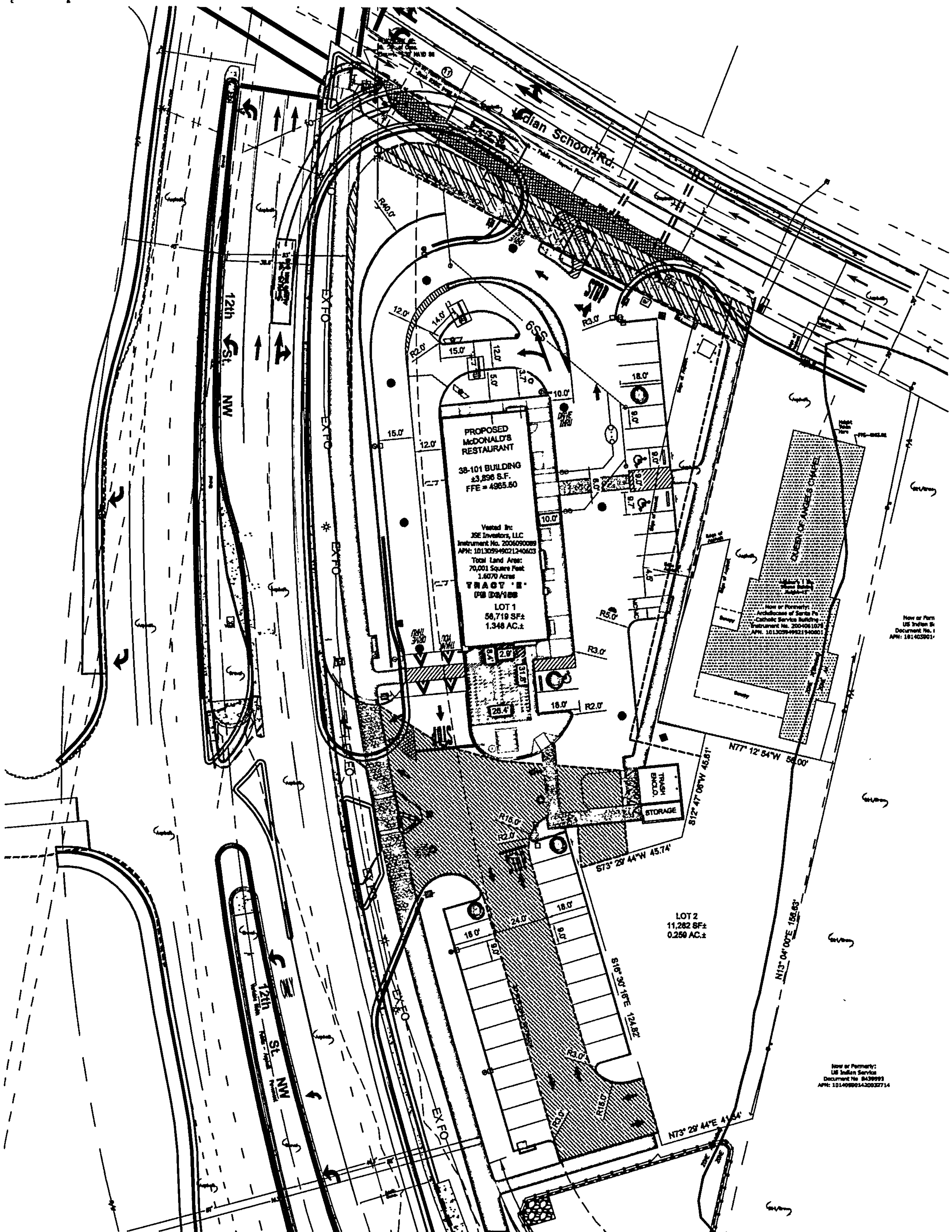
All the best, Josh

Joshua J. Skarsgard
The Skarsgard Firm, P.C.
8220 San Pedro NE, Suite 500
Albuquerque, NM 87113
Phone: 505 262 2323
Fax: 505 998 9099

THIS MESSAGE IS SENT BY OR ON BEHALF OF ATTORNEYS AND IS INTENDED ONLY FOR THE USE OF THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED AND MAY CONTAIN INFORMATION THAT IS PRIVILEGED, CONFIDENTIAL, AND EXEMPT FROM DISCLOSURE UNDER APPLICABLE LAW. If the reader of this message is not the intended recipient, or the employee or agent responsible for delivering the message to the intended recipient, you are hereby notified that any dissemination, distribution, or copying of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone, and return the original message to us at the address above via the U.S. Postal Service. Thank you.

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7/24/2013



PROPOSED
MCDONALD'S
RESTAURANT

38-101 BUILDING
23,898 S.F.
FFE = 4965.60

Vested Inc.
ISE Investors, LLC
Instrument No. 2006090089
APH: 101305949021240603
Total Land Area:
70,001 Square Feet
1.6070 Acres

TRACT 'B'
(PB 00/100)
LOT 1
56,719 SF±
1.348 AC.±

Now or Formerly:
US Indian Service
Document No. 8439993
APH: 10140801430032714

Now or Formerly:
US Indian Service
Document No. 1
APH: 101403901

LOT 2
11,282 SF±
0.259 AC.±

Now or Formerly:
US Indian Service
Document No. 8439993
APH: 10140801430032714

**City of Albuquerque
Planning Department
Inter-Office Memorandum**

TO: Jack Cloud, DRB Chair
FROM: Carrie Barkhurst, Planner
SUBJECT: Project # 1003479 – Third DRB Review Memo
DATE: July 12, 2013

On November 8, 2012, the Environmental Planning Commission approved Project 1003479, a request for a Site Development Plan for Building Permit, for Lot E, St. Anthony's Orphanage. This memo summarizes issues with: 1) outstanding EPC conditions of approval, 2) unauthorized changes to the site development plan, and 3) a conflict with the ZHE's condition of approval.

1. As of the May 28th DRB Submittal, the applicant had **generally satisfied** the EPC conditions of approval for the Site Plan for Building Permit.

The July 9th DRB Submittal addressed two of the outstanding concerns in the second DRB review memo, dated 5/28/13: 1) a variance of 4-feet to the minimum 10-foot landscape buffer has been approved, with the condition that landscaping is installed in the remaining 6-foot setback, and 2) improving the speed table design so that it is compliant with ADA requirements. This submittal only included Sheets C1.0 – C4.0, so Staff could not review any modifications that might address the EPC conditions below.

- A. Condition 11.A – This condition has been addressed on new sheets A2.0 and A2.1. However, the Elevations Sheets A2.0c and A2.1c have a new note that indicates "These elevations may vary from actual and are for reference only..." This note is not consistent with the EPC approval and should be deleted from both sheets.
- B. Conditions 13.A through 13.C – These conditions have been substantially addressed. However, the signage plan indicates that the pole mounted sign is approximately 154 SF. The C-1 zoning uses only allow up to 100 SF of sign area, and a note has been added to Sheet C1.0 allowing a maximum 100 SF sign. This sign detail needs to be modified and dimensioned so that it is 100 SF or less. A 154 SF sign would require a variance to be approved by the ZHE and an administrative amendment to the Site Plan. All other signs appear to be compliant with the signage regulations.

Compliance with conditions 14.A through 14.R should be confirmed with Transportation Development Services.

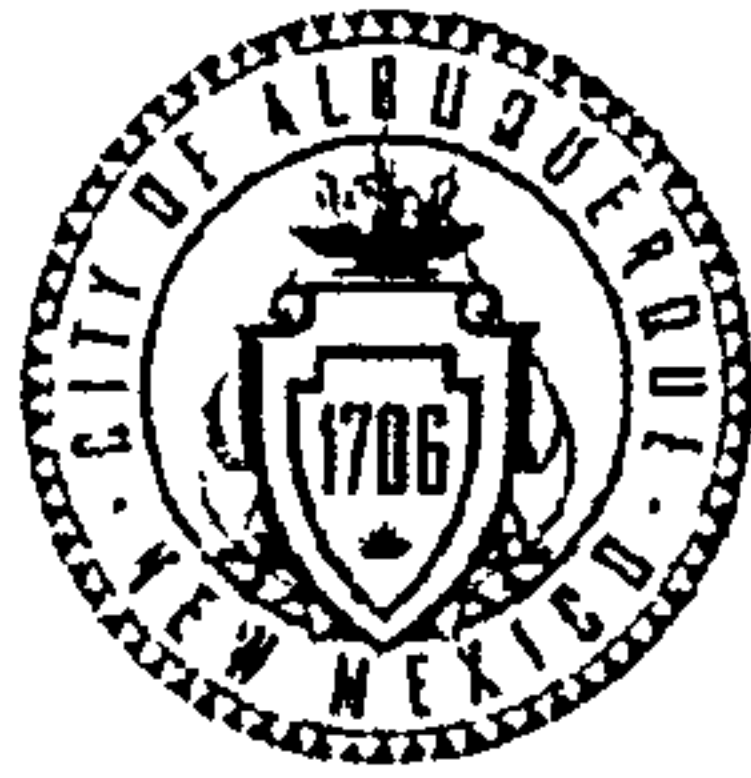
Note: The bicycle lane tapers from 7 to 5 feet along the site. This conflicts with condition of approval 14.H; however, the applicant has provided a written justification in support of the plan as shown and intends to request a variance from the DRB. The applicant has indicated willingness to dedicate right-of-way along 12th Street, which would accommodate a continuous 7-foot wide lane if the road is reconstructed in the future.

2. The following list identifies unauthorized changes to the site plan, which must be identical to the EPC approved version prior to DRB approval. After DRB approval, the applicant may request an Administrative Amendment to modify those areas, if desired.
 - A. Sheets SD-1 through SD-9 have not been reviewed or approved by the EPC and should be removed from the Site Development Plan.
 - B. The “drive-through bypass lane” has increased from 13’ to 15’. This change is not associated with any of EPC’s conditions of approval.
 - C. The pedestrian crossing at the south end of the drive-through was increased from 20’ to 24’. Earlier, Transportation Staff mentioned that two lanes at this location created an unsafe conflict point and had requested that the two lanes merge into one. This change is not associated with any of EPC’s conditions of approval.
 - D. The driveways have all been substantially widened (12th Street was 36’ and now is 86.5’; Indian School was 24’ and now is 57’ with a pedestrian refuge). This change is not associated with any of EPC’s conditions of approval. However, Staff understands that this change was requested by the City Engineer to accommodate solid waste and fire trucks.
 - E. The note regarding the “203’ LF x 6’ tall opaque wall” has been removed from the site plan. This wall (and note) is required *unless* a variance is approved by the ZHE. Note: The applicant has applied for a variance of 6-feet is requested for the required 6-foot high opaque wall or fence requirement to screen the parking/circulation area from the adjacent residential site. This request (13ZHE-80516) is scheduled to be heard on July 16, 2013.
 - F. The Landscape Plan reviewed by the EPC showed three Chinese Pistache trees in the landscape buffer along Lot 2 and near the dumpster enclosure. The site plan dated 7/8/13 has removed these trees. This change is not associated with any of EPC’s conditions of approval.
 - G. Two parking spaces have been removed from the east side of the patio area. This change is not associated with any of EPC’s conditions of approval.
 - H. The pond at the south side of the site has been enlarged. A railing, retaining wall, and rip rap have been added. This change is not associated with any of EPC’s conditions of approval.
 - I. The Landscape Plan reviewed by the EPC showed keyed numbers next to each planting area that correspond to the plant calculations, i.e., L1, L2. These numbers need to be reinstated on the DRB site plan.
 - J. The Landscape Plan reviewed by the EPC showed four raised landscape planters on the patio. These need to be reinstated on the DRB site plan.

3. Finally, the ZHE approved a variance of 4-feet to the minimum 10-foot landscape buffer has been approved, with the condition that landscaping is installed in the remaining 6-foot setback. Because the EPC approved site development plan shows a sidewalk in this location, it is not possible to meet the ZHE's condition of approval. Staff recommends that the applicant submit a copy of the EPC site plan to the ZHE and request an amendment to the Condition of Approval. See attached ZHE notice of decision.

If you should have any questions regarding this case, please call me at 924-3879.

Thank you.



CITY OF ALBUQUERQUE
OFFICE OF ADMINISTRATIVE HEARINGS
ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

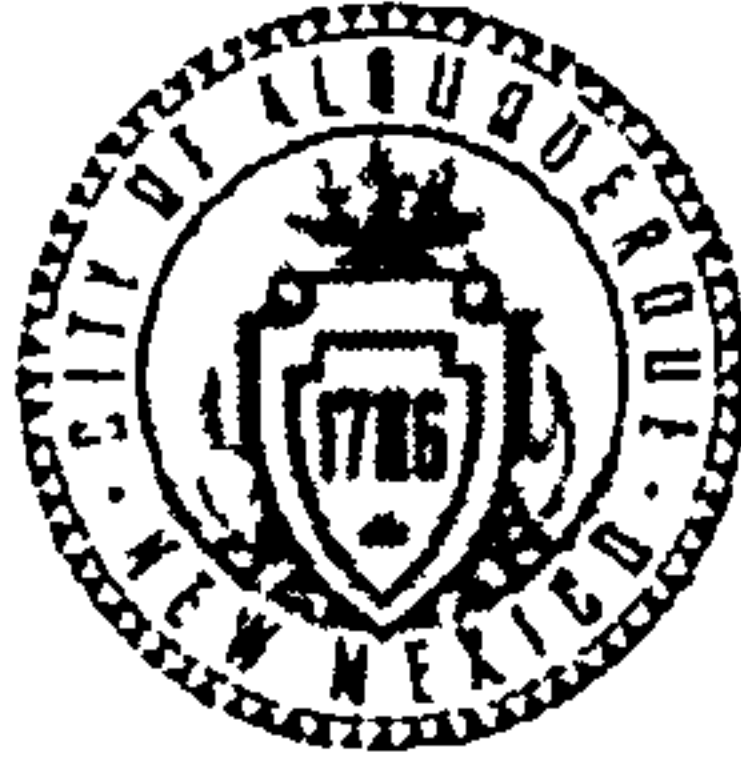
PASEO PAVILLION @ SECOND STREET LLC., (TRISH LOPES, AGENT) request(s) a special exception to Section 14-16-3-10(E)(4)(c): a VARIANCE of 6' to the minimum required 6' high opaque wall or fence requirement to screen the parking/circulation area from the adjacent wall for separating a proposed commercial site from a residential site for all or a portion of Lot(s) E, ST. ANTHONY ORPHANAGE zoned R-1, located on 1120 INDIAN SCHOOL RD NW (H-13)

Special Exception No:..... **13ZHE-80516**
Project No: **Project# 1009670**
Hearing Date: 05-21-13
Closing of Public Record: 05-21-13
Date of Decision: 06-06-13

This matter has been deferred at the request of the applicant. Matter set for July 16, 2013.

Stanley D. Harada, Esq.
Zoning Hearing Examiner

cc: Zoning Enforcement
ZHE File
Gordon Skarsgard, 8220 San Pedro NE, Suite 500, 87113
Joe Sabatini, 3514 6th St NW, 87107
NNVA, PO Box 6953, 87197



CITY OF ALBUQUERQUE
OFFICE OF ADMINISTRATIVE HEARINGS
ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

PASEO PAVILLION @ SECOND STREET LLC., (TRISH LOPES, AGENT) request(s) a special exception to Section 14-16-3-10(E)(4)(c): a VARIANCE of 4' to the minimum required 10' setback separating the subject property and the neighboring property for all or a portion of Lot(s) E, ST. ANTHONY ORPHANAGE zoned R-1, located on 1120 INDIAN SCHOOL RD NW (H-13)

Special Exception No:..... 13ZHE-80517
Project No: Project# 1009670
Hearing Date: 05-21-13
Closing of Public Record: 05-21-13
Date of Decision: 06-06-13

On the 21st day of May, 2013 (hereinafter "**Hearing**") Mr. Gordon L. Skarsgard, (hereinafter "**Agent**") acting as agent on behalf of the property owner, Paseo Pavilion @ Second Street, LLC (hereinafter "**Applicant**") appeared before the Zoning Hearing Examiner (hereinafter "**ZHE**") amending the request from a variance of 10' from the required 10' setback requirement to a Variance of 4' to the minimum required 10' setback separating a proposed commercial site from a the neighboring property (hereinafter "**Application**") upon the real property located at 1120 INDIAN SCHOOL RD NW ("**Subject Property**"). Below are the findings of facts:

FINDINGS:

1. Applicant is requesting a Variance of 4' to the minimum required 10' setback separating a proposed commercial site from the neighboring property.
2. The City of Albuquerque Code of Ordinances Section § 14-16-4-2 (C) (2) (a) "SPECIAL EXCEPTIONS" reads in part: "*Variance. A variance shall be approved if and only if the following tests are met: (a) The property is exceptional*"
3. Applicant testified at the Hearing that the Subject Property is exceptional for the following reasons:
 - a. The subject property is physically exception because it is an unusual and irregularly shaped lot;
 - b. The subject property is unusually narrow (as measured from east to west)
 - c. The exceptional aspect of the property existed prior to the time of adoption of the wall regulations.
4. The City of Albuquerque Code of Ordinances Section § 14-16-4-2 (C) (2) (b) "SPECIAL EXCEPTIONS" reads in part: "*A variance shall be approved if and only if the following tests are met: (b) as a result of the exceptional aspect of the property, the regulations produce unnecessary hardship*"
5. Applicant testified at the Hearing that the exceptionality of the subject property creates an unjustified limitation of the property owner's reasonable

use of the subject property and that the City of Albuquerque Code of Ordinances Section § 14-16-3-10(E)(4)(a) creates a Setback regulation that produces an unnecessary hardship upon the Applicant and the Subject Property.

6. The City of Albuquerque Code of Ordinances Section § 14-16-4-2 (C) (2) (c) "SPECIAL EXCEPTIONS" reads in part: "*A variance shall be approved if and only if the following tests are met: (c) a particular variance is appropriate to prevent the unnecessary hardship.*"
7. Applicant testified at the Hearing that the variance Application (4' from the 10' setback), if approved, would be appropriate to prevent the unnecessary hardship.
8. The City of Albuquerque Code of Ordinances Section § 14-16-4-2 (C) (2) (d) "SPECIAL EXCEPTIONS" reads in part: "*A variance shall be approved if and only if the following tests are met: (d) financial gain or loss shall not be the sole determining factor in deciding a variance.*"
9. The Application and the testimony provided by the Applicant at the Hearing both suggest that financial gain/loss was not the sole determining factor of the Application.
10. The File contains a letter of opposition to the request filed by Richard Sandoval, President of the Near North Valley Neighborhood Association, but there was no testimony or other evidence presented in opposition at the hearing.
11. Applicant testified at the Hearing that the yellow "Notice of Hearing" signs were posted for the required time period as articulated within City of Albuquerque Code of Ordinances § 14-16-4-2 SPECIAL EXCEPTIONS.
12. The Applicant/Agent has adequately justified the variance Application upon the Subject Property pursuant to City of Albuquerque Code of Ordinances Section § 14-16-4-2 SPECIAL EXCEPTIONS.

DECISION:

APPROVAL WITH CONDITIONS of a VARIANCE of 4' to the minimum required 10' setback requirement separating the subject property to the neighboring property.

CONDITIONS OF APPROVAL:

- A. The Applicant shall install landscaping on the remaining 6' setback.

If you wish to appeal this decision, you may do so by 5:00 p.m., on June 21, 2013 in the manner described below:

Appeal is to the Board of Appeals within 15 days of the decision. A filing fee of \$105.00 shall accompany each appeal application, as well as a written explanation outlining the reason for appeal and a copy of the ZHE decision. Appeals are taken at 600 2nd Street, Plaza Del Sol Building, Ground Level, Planning

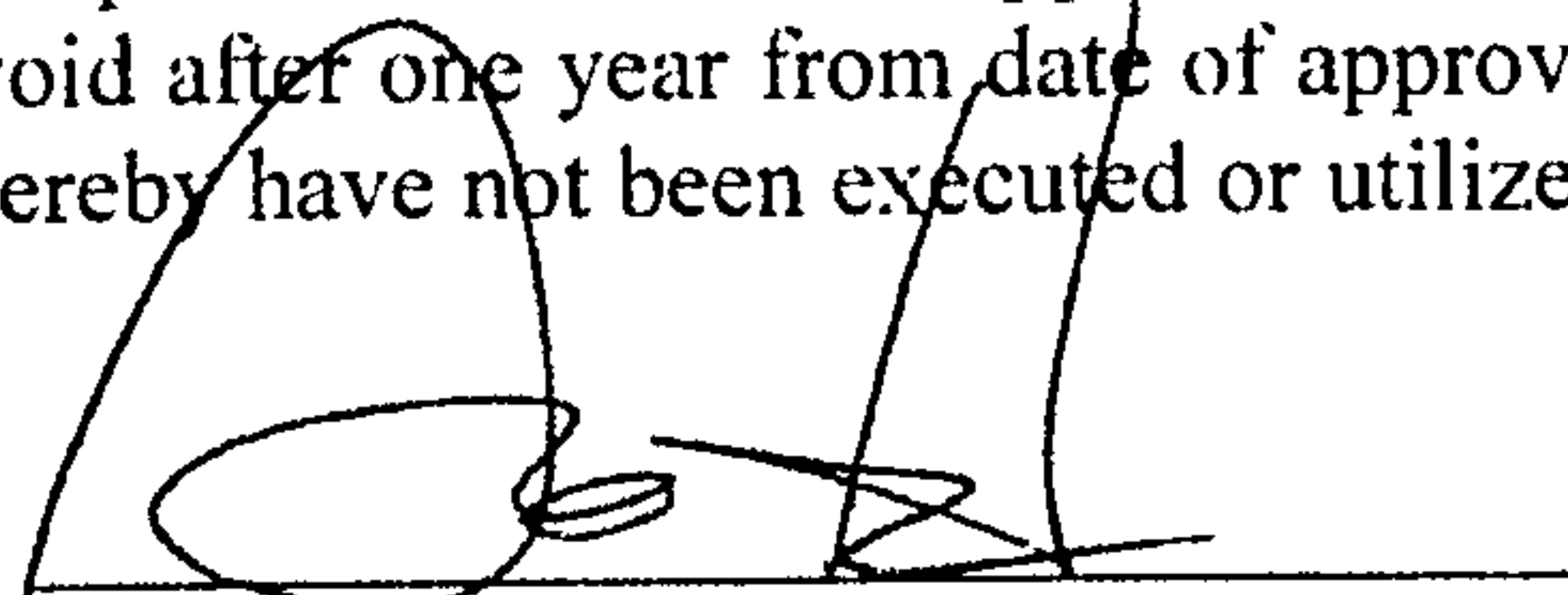
Application Counter located on the west side of the lobby. **Please present this letter of notification when filing an appeal.** When an application is withdrawn, the fee shall not be refunded.

An appeal shall be heard by the Board of Appeals within 45 days of the appeal period and concluded within 75 days of the appeal period. The Planning Division shall give written notice of an appeal, together with a notice of the date, time and place of the hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Please note that pursuant to Section 14.16.4.4.(B), of the City of Albuquerque Comprehensive Zoning Code, you must demonstrate that you have legal standing to file an appeal as defined.

You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. However, the Zoning Hearing Examiner may allow issuance of building permits if the public hearing produces no objection of any kind to the approval of an application. To receive this approval, the applicant agrees in writing to return the building permit or occupation tax number.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed or utilized.



Stanley D. Harada, Esq.
Zoning Hearing Examiner

cc: Zoning Enforcement
ZHE File
Gordon Skarsgard, 8220 San Pedro NE, Suite 500, 87113
Joe Sabatini, 3514 6th St NW, 87107
NNVA, PO Box 6953, 87197

THE
Skarsgard Firm, P.C.

JOSHUA J. SKARSGARD, ESQ.
ATTORNEY AT LAW

8220 SAN PEDRO NE, SUITE 500
ALBUQUERQUE, NM 87113
TEL: (505) 262-2323
FAX: (505) 998-9099

June 3, 2013

Chairman Mr. Doug Peterson
City of Albuquerque
Environmental Planning Commission
600 2nd Street NW
Albuquerque, New Mexico 87102

Dear Chairman Peterson:

Please be advised that The Skarsgard Firm, P.C. is acting as agent on behalf of JSE Investors, LLC ("Applicant"), in the Applicant's submittal for approval on a Minor Subdivision Preliminary/Final Plat on the real property described as:

Tract lettered "E" of the Land of ST. ANTHONY ORPHANAGE, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 19, 1975, in Plat Book D6, page 158.


containing approximately 1.63 acres ("Subject Site").

The Applicant is requesting approval on a Minor Subdivision Preliminary/Final Plat ("Plat Application") for the purpose of subdividing the 1.63 acre Subject Site into two parcels: (i) a 1.3 acre parcel and (ii) a 0.3 acre parcel to be gifted to the Indian Pueblo Federal Development Corporation. This Plat application is also being submitted to resolve the conditions of approval promulgated by the Environmental Planning Commission ("EPC") on April 12, 2012 for EPC Case No. 12EPC-40033 for a Zone Map Amendment.

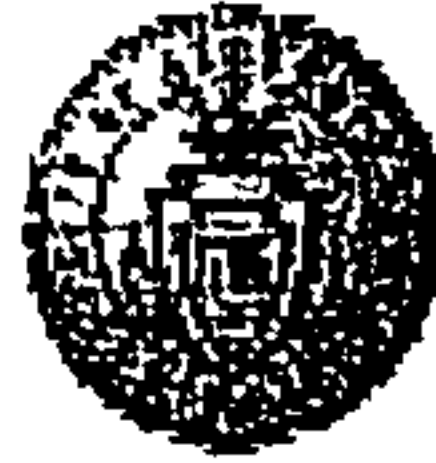
If you have any questions or concerns regarding this proposal, please contact me using the following contact information:

Joshua Skarsgard
The Skarsgard Firm, P.C.
8220 San Pedro NE Suite 500
Albuquerque, NM 87113
Phone: 505-262-2323
E-mail: josh@skarsgardfirm.com

Sincerely



The Skarsgard Firm, P.C.
Joshua Skarsgard, Esq.



Supplemental Form (SF)

| | | | |
|---|----------|----------|---|
| SUBDIVISION | S | Z | ZONING & PLANNING |
| <input type="checkbox"/> Major subdivision action | | | <input type="checkbox"/> Annexation |
| <input checked="" type="checkbox"/> Minor subdivision action | | | |
| <input type="checkbox"/> Vacation | V | | <input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans) |
| <input type="checkbox"/> Variance (Non-Zoning) | | | <input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar |
| SITE DEVELOPMENT PLAN | P | | <input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations |
| <input type="checkbox"/> for Subdivision | | | |
| <input type="checkbox"/> for Building Permit | | | |
| <input type="checkbox"/> Administrative Amendment/Approval (AA) | D | | <input type="checkbox"/> Street Name Change (Local & Collector) |
| <input type="checkbox"/> IP Master Development Plan | L | A | APPEAL / PROTEST of... |
| <input type="checkbox"/> Cert. of Appropriateness (LUCC) | | | <input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other |
| STORM DRAINAGE (Form D) | | | |
| <input type="checkbox"/> Storm Drainage Cost Allocation Plan | | | |

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.

Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Joshua Skarsgard PHONE: 505-262-2323
 ADDRESS: 8220 San Pedro NE Suite 500 FAX: 505-998-9099
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: josh@skarsgardfirm.com

APPLICANT: Paseo Pavilion@Second Street LLC PHONE: 505-262-2323
 ADDRESS: 8220 San Pedro NE Ste. 500 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: josh@skarsgardfirm.com

Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: Subdivide one parcel into two parcels

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. See attached legal Block: _____ Unit: _____
 Subdiv/Addn/TBKA: _____
 Existing Zoning: R-1 Proposed zoning: SU-1 for C-1 MRGCD Map No _____
 Zone Atlas page(s): H-13 UPC Code: 101305949021240603

CASE HISTORY:
 List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.):
Project: 1003479, 06EPC00955/00956, 11EPC40078/40079, 12EPC40033

CASE INFORMATION:
 Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 2 Total site area (acres): 1.63 acres
 LOCATION OF PROPERTY BY STREETS: On or Near: 12th St. NW
 Between: Indian School Rd. NW and 1-40 Frontage Road

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE _____ DATE 7/9/13
 (Print Name) Joshua Skarsgard Applicant: Agent:

FOR OFFICIAL USE ONLY Revised: 4/2012

| | | | | |
|--|-----------------------------------|--------------------------|------|-----------------------|
| <input checked="" type="checkbox"/> INTERNAL ROUTING | Application case numbers | Action | S.F. | Fees |
| <input checked="" type="checkbox"/> All checklists are complete | <u>13 DRB - 70618</u> | <u>P&F</u> | | <u>\$285.00</u> |
| <input checked="" type="checkbox"/> All fees have been collected | | <u>CMF</u> | | <u>\$20.00</u> |
| <input checked="" type="checkbox"/> All case #s are assigned | | | | \$ _____ |
| <input checked="" type="checkbox"/> AGIS copy has been sent | | | | \$ _____ |
| <input type="checkbox"/> Case history #s are listed | | | | \$ _____ |
| <input type="checkbox"/> Site is within 1000ft of a landfill | | | | \$ _____ |
| <input type="checkbox"/> F.H.D.P. density bonus | | | | \$ _____ |
| <input type="checkbox"/> F.H.D.P. fee rebate | | | | \$ _____ |
| | Hearing date <u>July 17, 2013</u> | | | Total <u>\$305.00</u> |
| | <u>7-9-13</u> | Project # <u>1003479</u> | | |

Staff signature & Date [Signature]

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- N/A 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- N/A Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat *at meeting*
- N/A Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Joshua Skarsgard, Agent

Applicant name (print)

7-9-13
Applicant signature / date



Form revised October 2007

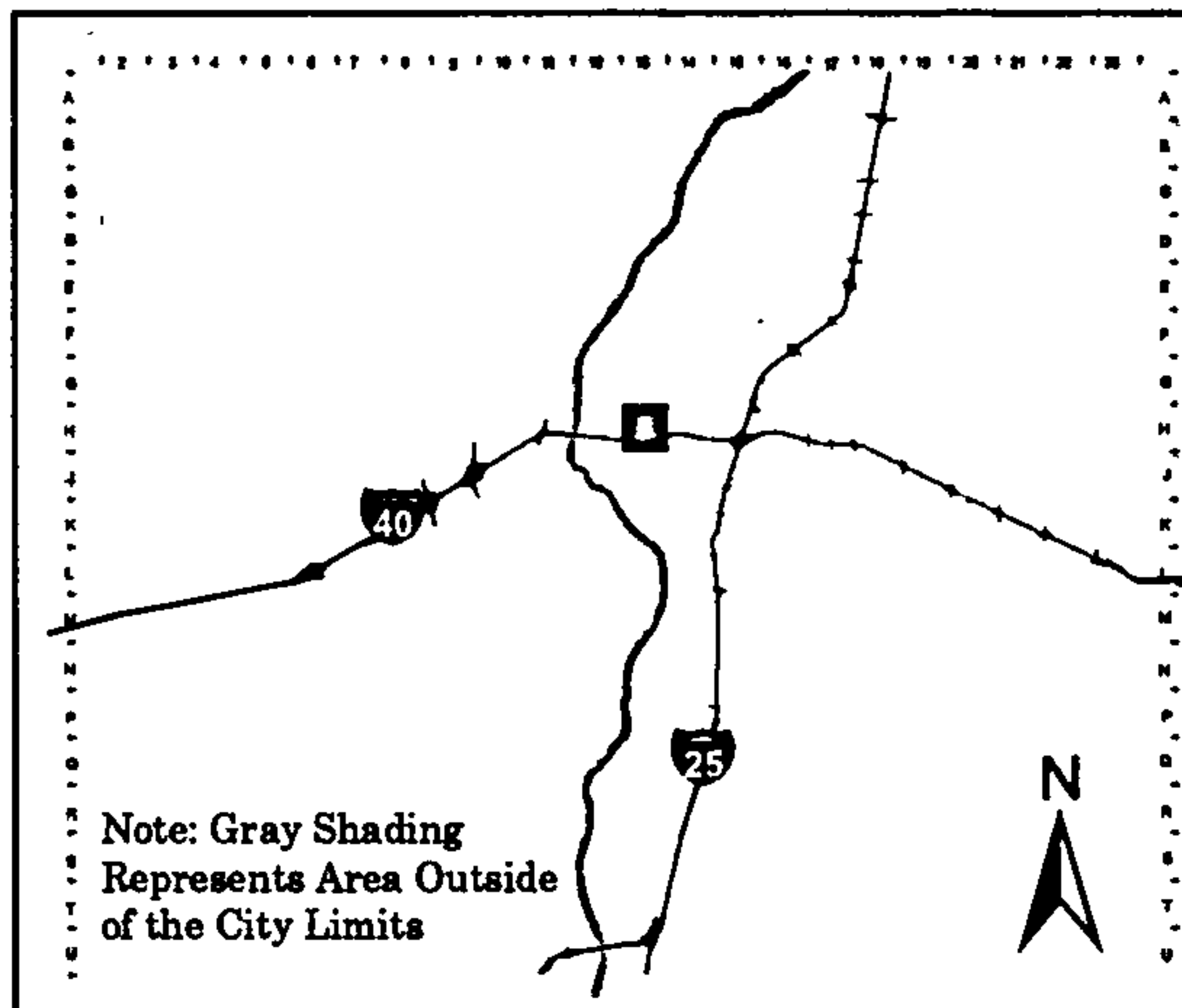
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13 - DRB - 70618

[Signature] 7-9-13
Planner signature / date
Project # 1003479



For more current information and details visit: www.cabq.gov/gis



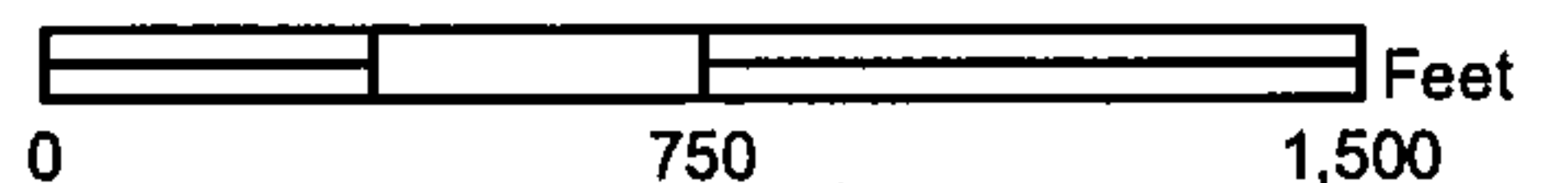
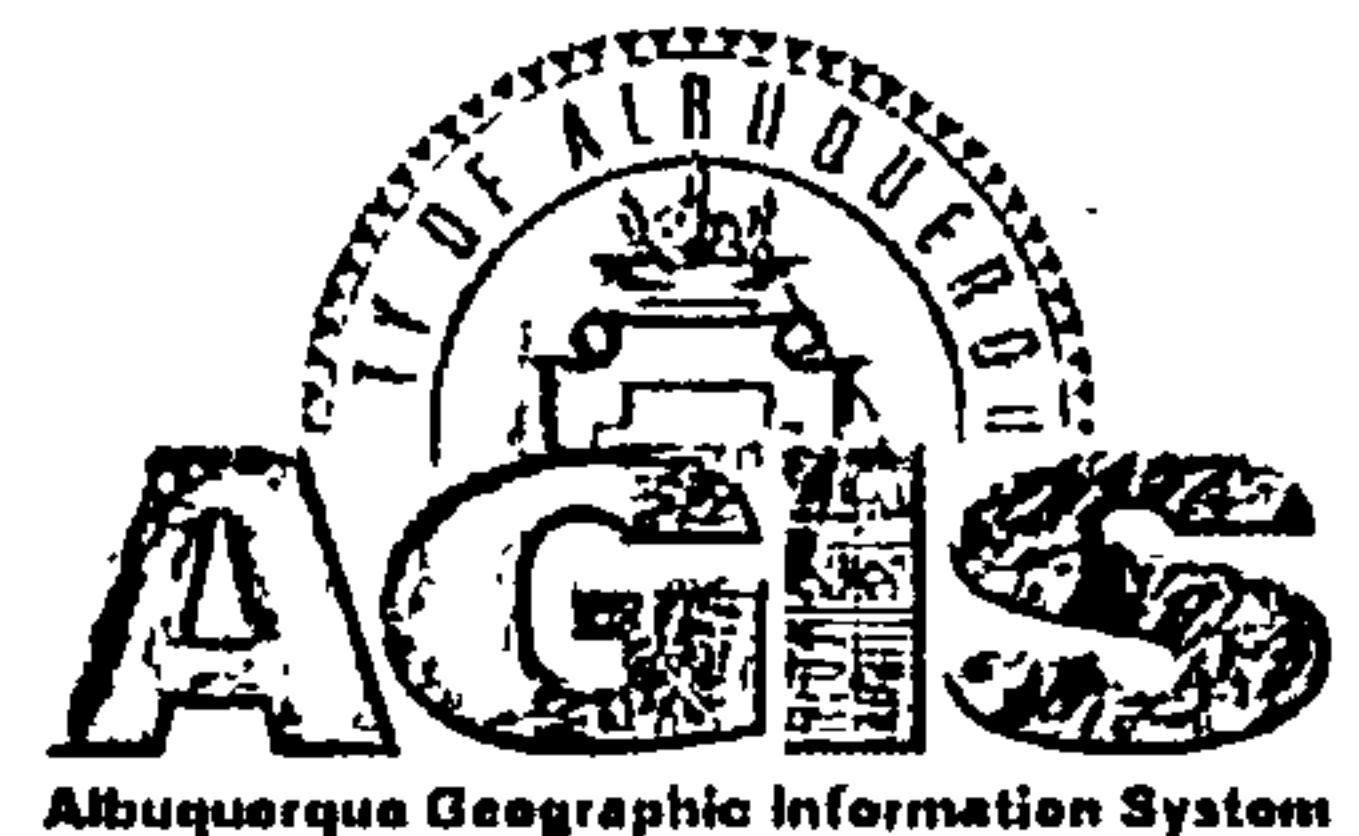
Note: Gray Shading Represents Area Outside of the City Limits

Address Map Page:

H-13-Z

Map Amended through:
8/29/2012

These addresses are for informational purposes only and are not intended for address verification.



LEGAL DESCRIPTION

Tract lettered "E" of the Land of ST. ANTHONY ORPHANAGE, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 19, 1975, in Plat Book D6, page 158.

THE
Skarsgard Firm, P.C.

JOSHUA J. SKARSGARD, ESQ.
ATTORNEY AT LAW

8220 SAN PEDRO NE, SUITE 500
ALBUQUERQUE, NM 87113
TEL: (505) 262-2323
FAX: (505) 998-9099

June 3, 2013

Chairman Mr. Doug Peterson
City of Albuquerque
Environmental Planning Commission
600 2nd Street NW
Albuquerque, New Mexico 87102

Dear Chairman Peterson:

Please be advised that The Skarsgard Firm, P.C. is acting as agent on behalf of JSE Investors, LLC ("Applicant"), in the Applicant's submittal for approval on a Minor Subdivision Preliminary/Final Plat on the real property described as:

Tract lettered "E" of the Land of ST. ANTHONY ORPHANAGE, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 19, 1975, in Plat Book D6, page 158.


containing approximately 1.63 acres ("Subject Site").

The Applicant is requesting approval on a Minor Subdivision Preliminary/Final Plat ("Plat Application") for the purpose of subdividing the 1.63 acre Subject Site into two parcels: (i) a 1.3 acre parcel and (ii) a 0.3 acre parcel to be gifted to the Indian Pueblo Federal Development Corporation. This Plat application is also being submitted to resolve the conditions of approval promulgated by the Environmental Planning Commission ("EPC") on April 12, 2012 for EPC Case No. 12EPC-40033 for a Zone Map Amendment.

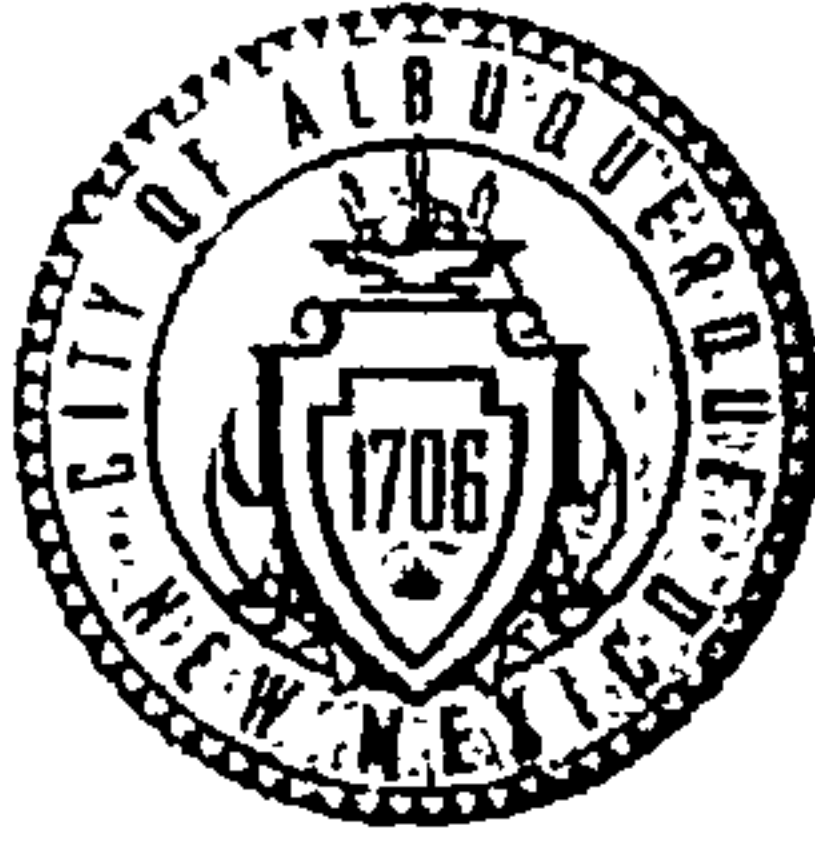
If you have any questions or concerns regarding this proposal, please contact me using the following contact information:

Joshua Skarsgard
The Skarsgard Firm, P.C.
8220 San Pedro NE Suite 500
Albuquerque, NM 87113
Phone: 505-262-2323
E-mail: josh@skarsgardfirm.com

Sincerely



The Skarsgard Firm, P.C.
Joshua Skarsgard, Esq.



City of Albuquerque

Planning Department

Richard J. Berry, Mayor

Memorandum

July 2, 2013

To: Joshua Skarsgard, Agent for Project #1003479
From: Suzanne Lubar, Director, Planning Department
Subject: Zone Map Amendment Request

We have received your request for extension of the time period to meet the condition of approval for the zone change request. We acknowledge that this site has exceptional challenges to development and that you have been diligently pursuing final site plan approval at the DRB. Additionally, you provided emails from all affected parties that indicated progress has been made and a desire for this request to not have to go back to the EPC to revisit the zone change.

The Planning Department has determined that this project may proceed to the Development Review Board for approval of Site Development Plan for Building Permit.

This correspondence supersedes any previous communication on this matter.

Current DRC
Project Number _____

FIGURE 12

Date Submitted: 5/29/2013

INFRASTRUCTURE LIST

(Rev 9-20-05)

EXHIBIT "A"

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.: 1003479

DRB Application No.: 1003479

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

McDonald's I-40 and 12th Street

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract "E" of the Land of St. Anthony's Orphanage,

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | | |
|---------------------------------|----------------------------|------|------------------------------|---|------|-------------------|----------------------------|------|--------------------|
| | | | | | | | Private Inspector | P.E. | City Cnst Engineer |
| | | | Median nose modification | 12th Street | | | / | / | / |
| | | | Raised Island Divider | 12th Street Driveway | | | / | / | / |
| | | | Modified ADA ramp | SEC of 12th Street & Indian School Rd. | | | / | / | / |
| | | | Striping | 12th Street | I-40 | Indian School Rd. | / | / | / |
| | | | 6" Water Connection | Indian School Rd. | | | / | / | / |
| | | | 6" Sanitary Sewer Connection | Indian School Rd. | | | / | / | / |
| | | | | | | | / | / | / |
| | | | | | | | / | / | / |
| | | | | | | | / | / | / |

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | | | |
|------------------------------------|-------------------------|------|---------------------|----------|------|----|-------------------------------|---------------------------|--------------------|------|
| | | | | | | | Private Inspector | P.E. | City Cnst Engineer | |
| <input type="text"/> | <input type="text"/> | | | | | | / | / | / | |
| <input type="text"/> | <input type="text"/> | | | | | | / | / | / | |
| Approval of Creditable Items: | | | | | | | Approval of Creditable Items: | | | |
| Impact Fee Administrator Signature | | | | | | | Date | City User Dept. Signature | | Date |

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

G. Robert Adams, P.E.
NAME (print)

Adams Engineering
FIRM

G. Robert Adams
SIGNATURE - date

_____ DRB CHAIR - date

_____ TRANSPORTATION DEVELOPMENT - date

_____ UTILITY DEVELOPMENT - date

_____ CITY ENGINEER - date

_____ PARKS & RECREATION - date

_____ AMAFCA - date

_____ - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

| REVISION | DATE | DRC CHAIR | USER DEPARTMENT | AGENT / OWNER |
|----------|------|-----------|-----------------|---------------|
| | | | | |
| | | | | |
| | | | | |

Cloud, Jack W.

From: Michael Silbert [msilbert@q.com]
Sent: Monday, April 29, 2013 9:54 AM
To: Joshua Skarsgard
Cc: Marit Tully; Joe Sabatini; Cloud, Jack W.; Marrone, Carmen M.; Brito, Russell D.; Salgado-Fernandes, Nilo E.; Loyd, Tony J.; Barkhurst, Kathryn Carrie; Doug Willman Area Real Estate Mgr Greater SW Region McDonald's USA
Subject: Fwd: Proposed McDonalds at 12th / Indian School
Attachments: Goodwin Porkchop sketch 4 26 13.pdf

Josh -

Good morning.

I was able to pick up your plans thurs a.m. and based on a preliminary review, there are three concerns with regards to granting an easement on Indian School Road. The first two concerns are traffic related and the third concern is an issue related to the NE corner of your site.

1) The pork chop design is not adequate to successfully deter drivers from egressing the site and entering the 12th Street median break so that they can go south bound on 12th Street. Attached is a pork chop sketch drawn by the AIS consultant, which is very similar to several sketches given to you by City traffic over the past few months. Please design the pork chop so that it closely follows these sketches and achieves the goal of making it extremely difficult for vehicles egressing southbound onto 12th Street .

2) The deceleration lane does not meet the minimum AIS required length of 100 feet. Please increase this length to 100 feet.

The main reason for AIS considering supporting ^{Indian School} ~~12th Street~~ access for the applicant is to make the neighborhood traffic work even after a high volume fast food restaurant with drive thrus is developed on the site. Building an effective pork chop and a building a decel lane that is long enough would help lessen the negative impact of adding a high volume drive thru restaurant to the neighborhood. And therefore, if changes are not made to your plan which facilitate neighborhood traffic, it does not make sense for AIS to support an Indian School easement.

3) East of the Indian School entry, Mcdonald's site improvements(return and landscaping north of the sidewalk) are extending north of the property . Because the Chapel may be demolished soon, lets discuss putting off these improvements during the initial construction and having a provision that the developer will improve this area later.

If you have any questions, or need additional information, please email.

4/29/2013

Cloud, Jack W.

From: Barkhurst, Kathryn Carrie
Sent: Wednesday, April 24, 2013 11:06 PM
To: Joshua Skarsgard; Marit Tully; Mike Silbert; Joe Sabatini; Marrone, Carmen M.; Cloud, Jack W.
Cc: Heather Macomber; Doug.Willman@us.mcd.com; Mike Canfield
Subject: DRB Review Letter

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Jack Cloud, DRB Chair
FROM: Carrie Barkhurst, Planner
SUBJECT: Project # 1004080 ~~1004080~~ 3479
DATE: April 24, 2013

On November 8, 2012, the Environmental Planning Commission approved Project 1003479, a request for a Site Development Plan for Building Permit, for Lot E, St. Anthony's Orphanage.

The applicant has partially satisfied the EPC conditions of approval for the Site Plan for Building Permit. Please see the following comments regarding the Conditions of Approval:

5.D - The bicycle lane, gutter, and road have been dimensioned according to this condition of approval. However, the left turn lane from 12th Street to Indian School still has not been dimensioned. The turn lane measures as 9 feet, as shown; Transportation has indicated that the minimum lane width is 11 feet.

5.E - Regarding ADA Tactile Warning Surfaces. This condition has partially been addressed, however, there are some ramps that still do not indicate the Warning Strips (on both sides of the internal pedestrian drive aisle crossings; at the diverter island "pork chop"; and at the ramps at the 12th and Indian School intersection). The accessible ramps and pedestrian walkways in the public right-of-way will be addressed through the DRC review process.

7.A - The parking calculations are based on the total amount of seating provided on site, including indoor and outdoor seating. The Site Plan shows four round tables, which is inconsistent with the patio renderings that were shown during the EPC process and with the two patio options emailed on 4/23/13. The Site Plan Sheet C1.0 should be revised to indicate the number and type of outdoor seating proposed.

8 - Although required by the Site Development Plan for Building Permit Checklist, a light fixture detail has not been provided. The Site Lighting Notes appear to provide adequate information to regulate the site's lighting.

10 - The Grading and Drainage Plan has been substantially refined. Compliance with drainage related elements of the site plan should be verified with the City Hydrologist.

11.A through 11. E - These conditions cannot be verified because Sheet C2.0 was removed from the plan set submitted for review. The applicant's description of how the conditions were addressed indicates in several places that the conditions will be addressed or remedied in the final iteration of Sheet C1. Some of the conditions, 11.A and 11.B, may end up being resolved through variances. According to the applicant, the variance requests are scheduled to be heard in May.

12.A - Although required by the Site Development Plan for Building Permit Checklist, the

horizontal building elements on the architectural elevations have not been dimensioned. The dimensions are used to verify that the architectural elevation requirements for facades greater than 100 feet in length (the east and west facades). These dimensions would also be useful to verify Condition 13.B.

13.B - The condition states "the west facade shall be enhanced to match the level of detail and variation on the east facade." The EPC approved site plan, dated 11/05/12, has one large window, and three medium sized windows on the west facade. The east facade has four large windows, two customer entrances, and two small windows on service doors. There is approximately 248 SF of glazing; approximately 340 SF of the light colored stacked stone; and approximately 196 SF of dark colored wainscoting. The site plan submitted for DRB, dated 4/22/13, has approximately 120 SF less light colored stacked stone on the east facade, which is an unauthorized change. A similar amount of light colored stone was added to the west facade. If all the elements of facade articulation - glazing and stacked stone - are added up, the EPC approved site plan has approximately 784 SF of articulation on the east side, and the DRB site plan has approximately 782 SF of articulation on the west side. The condition has partially been complied with, because additional articulation was provided on the west facade, however, the east side should not have been changed from what was approved by the EPC. If that stacked stone is returned to the east side, the unauthorized change will be resolved and both sides of the building will have a similar level of detail and variation.

14.A through 14.C - These conditions cannot be verified because Sheet C6.0 was not included in the plan set submitted for review. The building-mounted signage on the elevations sheets A2.0 and A2.1 do not provide the required signage details. The free-standing directional signs, menu board signs, and pole-mounted signs are not shown in the DRB Site Plan provided to staff on 4/23/13.

Compliance with conditions 15.A through 15.R should be confirmed with Transportation Services. The applicant has indicated that the south end of the sidewalk alignment conflicts with existing above-ground infrastructure. Minor alignment changes at the southern terminus could help avoid those conflicts.

Compliance with conditions 16, with all sub-items, should be verified with the IPMI. Although the landscaping plan has not been provided for review, it appears that the other concerns have been substantially addressed.

—JWale

Compliance with conditions 17.A through 17.C should be confirmed with PNM. The applicant has indicated that he will provide documentation to demonstrate compliance with the conditions.

19. This condition cannot be verified because Landscaping Sheet C2.0 was removed from the plan set submitted for review.

20. The applicant has coordinated with the Near North Valley Neighborhood Association to determine the color selection of the western trellis, color of the western stucco, and the colors of the stacked stone. The color scheme provided in the 4/23/13 DRB submittal substantially complies with their color preferences.

Other Changes - The Elevations Sheets A2.0 and A2.1 have a new note that indicates "These elevations may vary from actual and are for reference only..." This note is not consistent with the EPC approval and should be removed from both sheets.

Also, the parking calculations have been modified slightly. The number of parking spaces provided is adequate for the number of seats provided. However, the number of bicycle parking spaces has been reduced from 4 spaces on the EPC approved Site Plan to 2 spaces on this submittal. The number of bicycle parking spaces should be consistent with the EPC approved Site Plan.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3879, or contact Carmen Marrone if I am unavailable.

Thank you.



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): The Skarsgard Firm P.C PHONE: 505.262.2323
 ADDRESS: 8220 San Pedro NE Ste. 500 FAX: 509.998.9099
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: josh@skarsgardfirm.com

APPLICANT: Paseo Pavilion @ Second Street PHONE: 505-262-2323
 ADDRESS: 8220 San Pedro NE Ste. 500 FAX: 505-998-9099
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: josh@skarsgardfirm.com

Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: Approval of SDP for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. See attached legal description Block: _____ Unit: _____

Subdiv/Addn/TBKA: _____

Existing Zoning: SU-1 for C-1 Proposed zoning: _____ MRGCD Map No _____

Zone Atlas page(s): H-13 UPC Code: 101305949021240603

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):
06EPC/00955/00956 12EPC-40033 Project # 1003479

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO

No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 1.6 acres

LOCATION OF PROPERTY BY STREETS: On or Near: Indian School Rd.

Between: 12th St. and I-40 Frontage Rd.

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 4/23/13
 (Print Name) Joshua Skarsgard Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

13DRB 70523

Action

SDP
CME

S.F.

Fees

\$ 20.00

Total

\$ 20.00

Hearing date May 1, 2013

[Signature] 4-23-16
 Staff signature & Date

Project # 1003479

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Solid Waste Management Department signature on Site Plan for Building Permit *approval email attached*
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Joshua Skarsgard
 Applicant name (print)

 Applicant signature / date 4/23/13

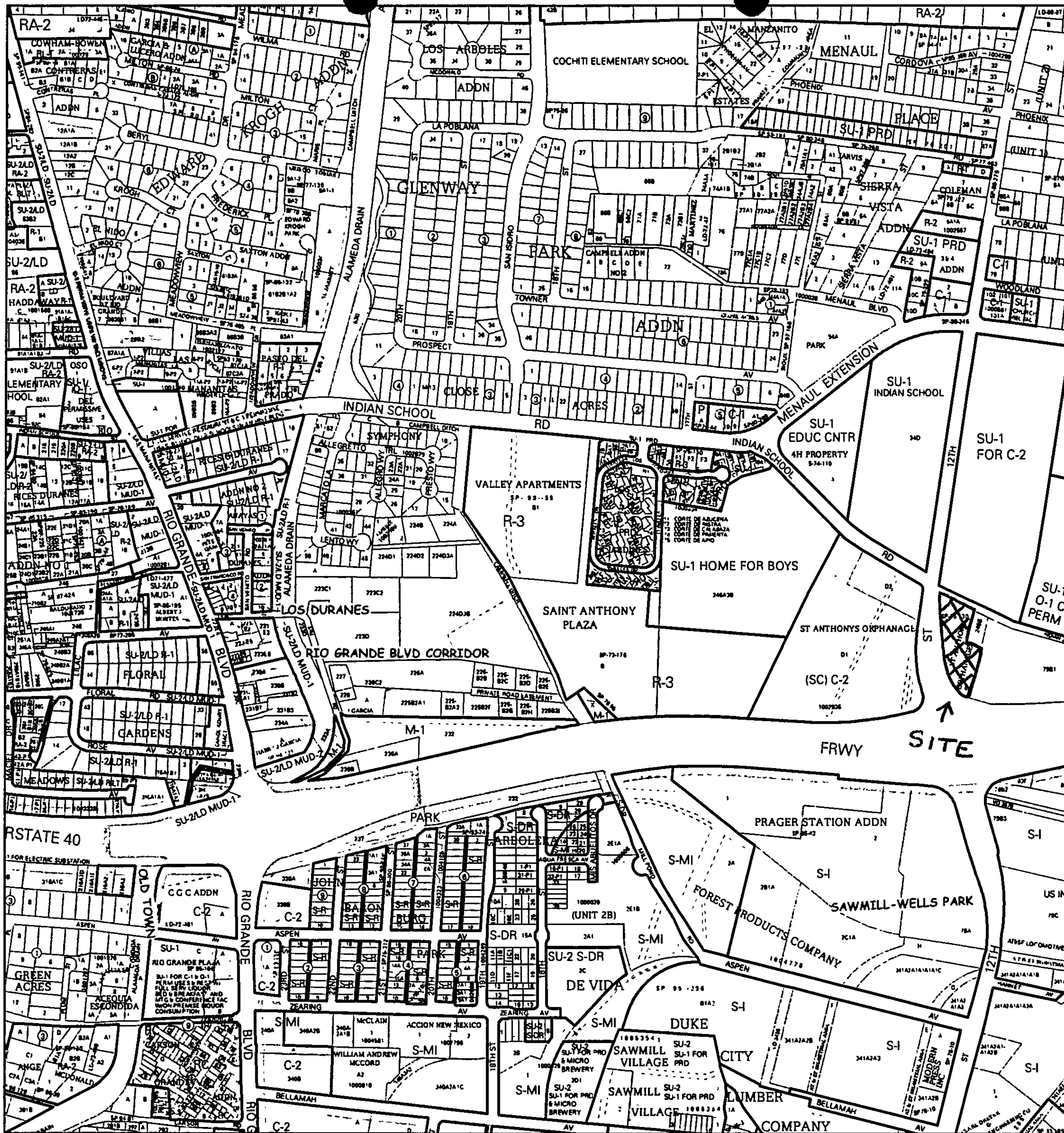


Form revised October 2007

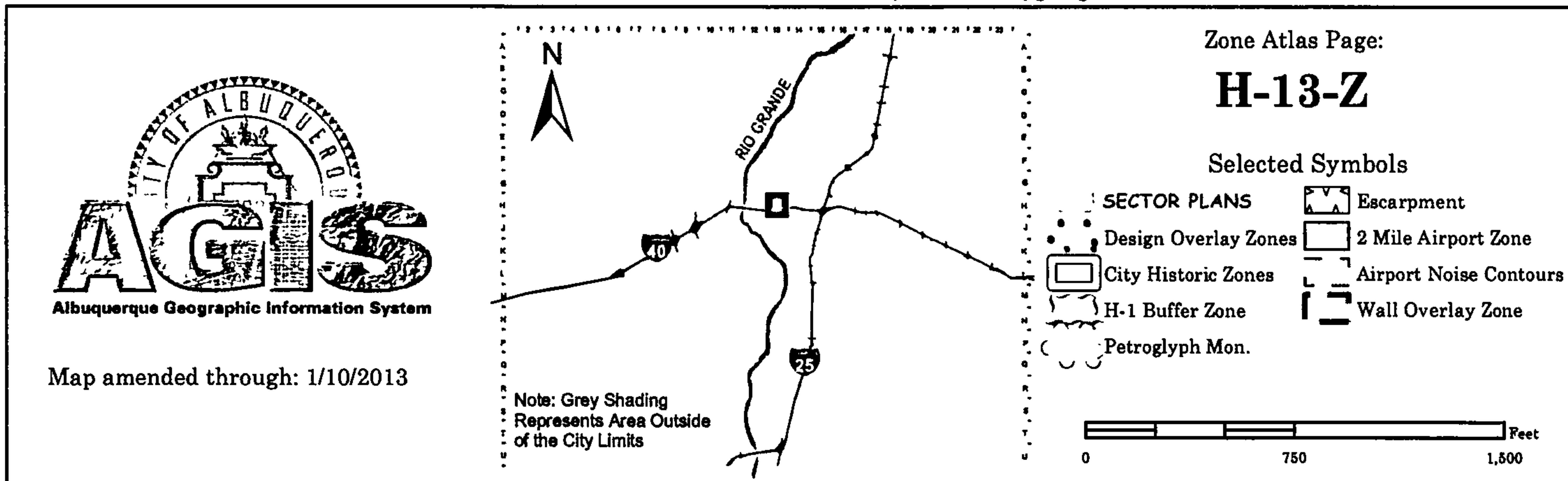
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13DRB-70523

Yes 4-23-13
 Planner signature / date
 Project # 1003479



For more current information and details visit: <http://www.cabq.gov/gis>



LEGAL DESCRIPTION

Tract lettered "E" of the Land of ST. ANTHONY ORPHANAGE, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 19, 1975, in Plat Book D6, page 158.

Permit No: T 2013-90558

From: Whistle, Lee A. [<mailto:LWhistle@cabq.gov>]
Sent: Wednesday, April 03, 2013 6:00 PM
To: Heather Macomber
Subject: RE: 2009.056 McDonald's Albuquerque, NM (12th & Indian School Rd.)

That looks good I will sign off on it tomorrow .

From: Heather Macomber [<mailto:Heather.Macomber@adams-engineering.com>]
Sent: Wednesday, April 03, 2013 1:49 PM
To: Whistle, Lee A.
Subject: 2009.056 McDonald's Albuquerque, NM (12th & Indian School Rd.)

Per our conversation earlier, attached is the site plan. Please send me your truck templates, so I can see how I need to angle the dumpster so it will function. Also, do you have any details/specs for what size the city requires for the dumpster enclosure?

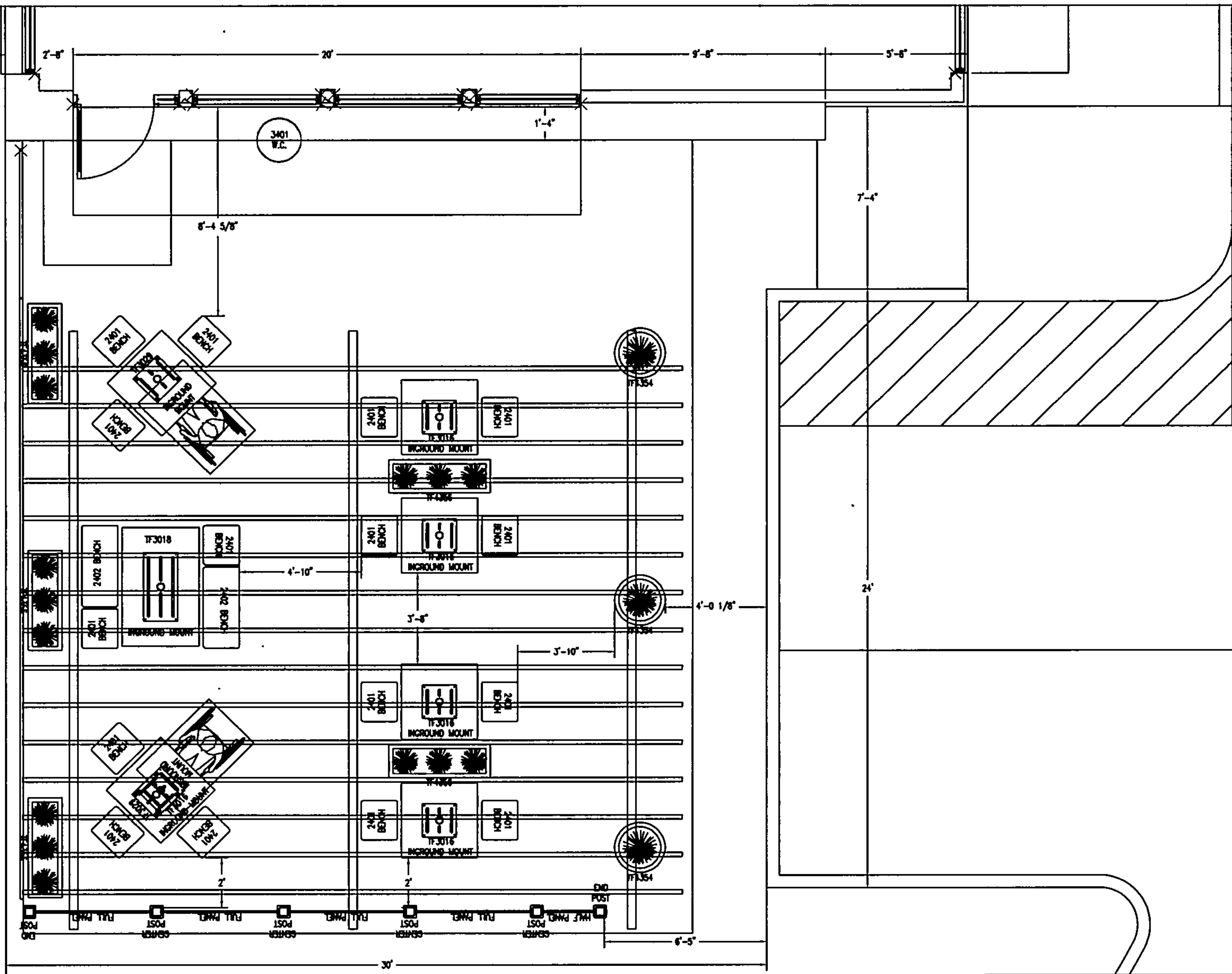
Thanks,

Heather Macomber
Designer

Adams | Engineering & Development Consultants
Tyler • Dallas/Fort Worth • Tampa
O: 817.328.3200 D: 817.328.3243
910 S. Kimball Avenue
Southlake, Texas 76092
heather.macomber@adams-engineering.com
www.adams-engineering.com

OPTION 1

Patio Detail



NOTE:
 ALL DIMENSIONS OF PATIO AREA NEED TO BE VERIFIED TO AVOID INSTALL AND ADA ISSUES. EXACT DIMENSIONED PLAN NOT GIVEN. ALL ACCESSIBLE PATHS TO ACCESSIBLE PATIO SEATING NEED TO BE ADA COMPLIANT AND MAINTAIN NO GREATER SLOPE OF 2% IN ALL DIRECTIONS

SIGN BELOW IF DRAWINGS ARE APPROVED W/ MARKED CHANGES PLEASE VERIFY ALL DIMENSIONS PRIOR TO RELEASING DRAWINGS

APPROVED: _____

DATE: _____

(SIGNATURE ABOVE ILLUSTRATES ACCEPTANCE OF DIMENSIONS SHOWN.)

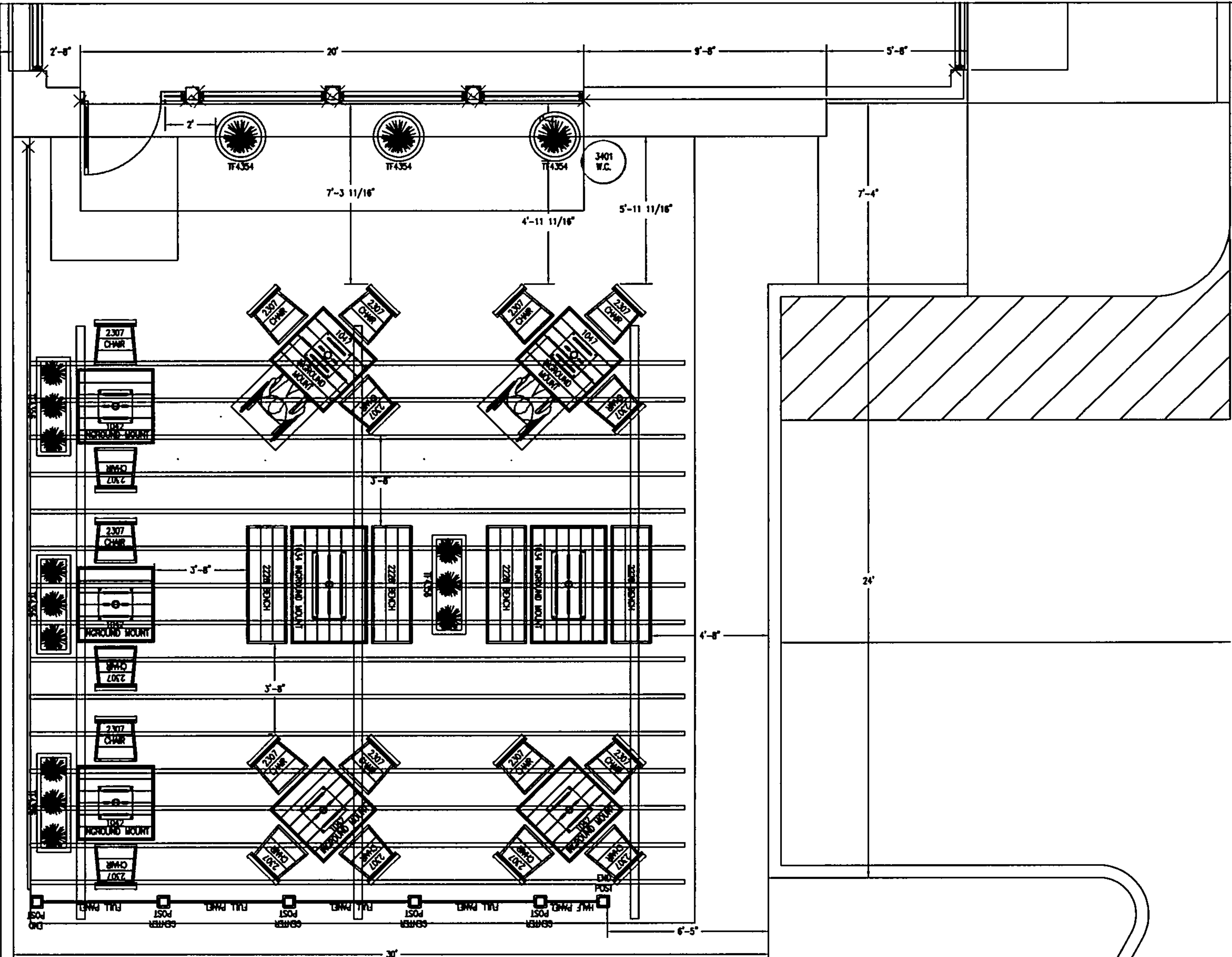
TAPPED POSTS HOLD 3" FROM CURB EDGE

| REVISION | DESCRIPTION | DRAWN BY | DATE |
|----------|-------------|----------|------|
| 4 | | | |
| 3 | | | |
| 2 | | | |
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|--------------------|-----------|----------|-----------------|
| WAUSAU TILE | | | |
| DESIGNED BY | AWG | JOB | MC DONALD'S |
| JOB NO. | STORE # | LOCATION | ALBUQUERQUE, NM |
| SCALE | 1/2" = 1' | DATE | 4/22/13 |
| FINISH OPTIONS | | REV. NO. | PATIO LAYOUT |
| | | DWG. NO. | 1 OF 1 |

OPTION 2

Patio Detail



NOTE:
 ALL DIMENSIONS OF PATIO AREA NEED TO BE VERIFIED TO AVOID INSTALL AND ADA ISSUES. EXACT DIMENSIONED PLAN NOT GIVEN. ALL ACCESSIBLE PATHS TO ACCESSIBLE PATIO SEATING NEED TO BE ADA COMPLIANT AND MAINTAIN NO GREATER SLOPE OF 2% IN ALL DIRECTIONS

SIGN BELOW IF DRAWINGS ARE APPROVED W/ MARKED CHANGES PLEASE VERIFY ALL DIMENSIONS PRIOR TO RELEASING DRAWINGS

APPROVED: _____
 DATE: _____

(SIGNATURE ABOVE ILLUSTRATES ACCEPTANCE OF DIMENSIONS SHOWN.)

TAPPED POSTS HOLD 3" FROM CURB EDGE

| REVISION | DESCRIPTION | DRAWN BY | DATE |
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| WAUSAU TILE | | | |
|----------------|-----------|----------|-----------------|
| DESIGN BY | ANG | JOB | MC DONALD'S |
| JOB NO. | STORE # | LOCATION | ALBUQUERQUE, NM |
| SCALE | 1/2" = 1' | DATE | 4/22/13 |
| FINISH OPTIONS | | ITEM NO. | PATIO LAYOUT |
| | | DWG. NO. | 1 OF 1 |

Mr. Josh Skarsgard
8220 San Pedro NE Suite 500
Albuquerque, NM 87113
Josh@skarsgardfirm.com

April 15, 2013

City of Albuquerque Planning Department

Care of: Ms. Carrie Barkhurst
VIA EMAIL: kcbarkhurst@cabq.gov

Near North Valley NHA

Care of: Ms. Marit Tully
VIA EMAIL: marittully@yahoo.com
Care of: Mr. Bill Kraemer
VIA EMAIL: bilybomon@hotmail.com

Indian Pueblo Federal Development Corporation

Care of: Mr. Mike Canfield
VIA EMAIL: mikecanfield@valliant.com
Care of: Mr. Mike Silbert
VIA EMAIL: msilbert@q.com

Re. Applicant Response to the Conditions of Approval for Case Number: 12EPC-40033

Dear City of Albuquerque, Near North Valley NHA, and IPMI:

Please be advised that this letter is a comprehensive response on behalf of the Applicant (JSE Investors, LLC and its agent Mr. Josh Skarsgard) to the Conditions of Approval promulgated by the EPC for 12EPC-40033 – Site Development Plan for Building Permit:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

Applicant Response: This letter shall accompany the amended site development plan submittal to the Development Review Board (DRB). Additionally, this letter will be submitted to the City of Albuquerque Staff (Ms. Marrone and Ms. Barkhurst) in an effort to ensure that the EPC Conditions have been satisfied and other applicable City requirements have been met.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

Applicant Response: The Applicant met with the staff planner (Ms. Barkhurst) to review the status of the conditions of approval on April 15th, and again the first week of April. The Applicant was given a list of design changes (attached as Exhibit A to this letter) from Ms. Barkhurst that were resolved in the current design. The Applicant was instructed by Ms. Barkhurst at the conclusion of the April 15th meeting (which also included the NNVNA and IPMI) to proceed with the DRB submittal.

3. Site Plan Notes, Sheet C1.0

- A. The Lot #1 *Vehicular Ingress and Egress on Indian School Rd.* shall add a note regarding access to private Indian School Rd. subject to full agreement and execution with Indian School Rd. owner.

Applicant Response: The note has been added on the bottom of Sheet No. C1.0

4. The Lot #1 *Proposed Use* shall indicate “Fast Food Restaurant with Drive-up Service.”

Applicant Response: The suggested language has been added to Lot #1 Proposed Use.

- A. The Lot #1 *Internal Circulation Requirements* shall correct the typographical error to read: “See vehicular circulation layout on Site Plan.”

Applicant Response: The suggested language has been added to Internal Circulation Requirements.

- B. The Lot #1 *Vehicular Ingress and Egress on Indian School Rd.* shall add a note regarding private Indian School Rd improvements, to provide accommodations for undergrounding the overhead electric wires to the subject property and Queen of Angels Chapel property in a future phase and widening existing Indian School Rd. to accommodate the improvements shown on C1.0.

Applicant Response: The suggested language has been added to “*Vehicular Ingress and Egress on Indian School Road*”. However, the Applicant proposes to amend the language at the DRB hearing to reflect the discussion with the IMPI to maintain one power pole on the corner of 12th and Indian School and to attach a pole mounted transformer to that pole. The Applicant will then remove the next three power poles east of the corner. The Applicant will then keep the power pole on the corner of the Archdiocese of Santa Fe property. The Applicant applied for a PNM service review, and is awaiting an engineer to be appointed to the site. This proposed power pole design will be reviewed with IPMI prior to the DRB hearing and a consensus reached.

5. Site Layout, Sheet C1.0

- A. The word “Proposed” shall be removed from all improvements provided for in this site plan. The “Existing” infrastructure shall be clearly indicated by the grey lines and the annotation.

Applicant Response: The word “proposed” has been removed from all improvements provided for in the site plan and the existing infrastructure has been identified.

- B. The note “Hand Rail Barrier” shall be changed to read “4’-4” Metal Fence” to be consistent with the building elevations and patio design.

Applicant Response: The note has been changed to read “4’-4” *Metal Fence*” to be consistent with the building elevations and patio design.

- C. The note identifying the cross access easement shall be visible.

Applicant Response: The cross access note has been changed to be more visible.

- D. The two notes describing the bicycle lane shall be revised to read “5’ Bicycle Lane and 2’ Gutter.” Adequate road right-of-way shall be demonstrated.

Applicant Response: The two notes have been revised to read “5’ Bicycle Lane and 2’ Gutter.” The Applicant has field measured the right of way within Indian School (Cross Section provided) which demonstrates adequate road right-of-way to accommodate the 5’ bicycle lane and 2’ gutter.

- E. The ADA Tactile Warning Surface shall be added back to all locations where pedestrian walkways cross driving lanes.

Applicant Response: The ADA tactile warning surface has been added back to all locations where pedestrian walkways cross driving lanes within the ROW

6. Walls/Fences

- A. A fence shall be provided between the patio and the drive-through lane, to restrict access north of the pedestrian access route. The length of the fence shall be specified.

Applicant Response: The note added “30 Linear Feet of 4’ x 4’ metal fence” to restrict access.

- B. The length, colors, and materials of all walls shall be indicated. Acceptable materials include but are not limited to stucco over concrete masonry units (CMU) or other structural materials; stabilized adobe; slump blocks; bricks; stone; glass blocks; curved interlock blocks; tubular steel; wrought iron bars; other grill work; or a combination of these materials, §14-16-3-19(B)(2)(c).

Applicant Response: The length and height of the walls have been indicated on the Site Plan. The color/material of the walls has been indicated on the Elevations sheets A2.0 and A2.1. The 3’ tall wall along 12th Street is made of CMU with Masonry Veneer. The 6’ tall wall along Queen of Angels Chapel is made of CMU with Masonry Veneer, Wainscoting, and Stucco. The Applicant has filed an application (upon the encouragement from City Staff) for a variance to not construct the 6 foot wall in between the Subject Property and the neighboring Archdiocese of Santa Fe property. This wall is not supported by the Archdiocese of Santa Fe as it would create an unnecessary barrier between the two properties and would create safety and aesthetic issues. The Applicant has offered to gift a portion of the Subject Site to the Archdiocese of Santa Fe to

accommodate some of their site challenges. The construction of a 6 foot wall separating the two properties would harm the objectives of both properties.

- C. The site plan shall provide dimensions at the narrowest point to indicate that there is a minimum 3-foot wide planting strip with live vegetation provided between the 3-foot wall adjacent to the drive-through lanes and the sidewalk, §14-16-3-19(B)(2)(b) and (c) and §14-16-3-18(D)(5).

Applicant Response: The site plan shows a 3.2' dimension at the narrowest point between the 3-foot wall and the planting strip.

7. Public Outdoor Space

- A. The site plan shall include details of the patio furniture and quantities and shall specify the type and materials.

Applicant Response: The site plan does not currently show details of the patio furniture. The Site Plan does show the locations of the patio furniture, and makes notes concerning the patio enclosure being a solid opaque roof structure. Are the details of the tables and chairs required to be shown at the DRB Hearing?

- B. The roof material shall be specified on the site plan, to ensure compliance with the Zoning Code use requirements in the C-1 zone.

Applicant Response: The site plan has been amended to call out the roof material, as required by the zoning code.

8. Lighting and Security: A light fixture detail shall be provided. This information is required to know if the proposed locations and fixture is compliant with the Zoning Code Area Lighting Regulations.

Applicant Response: There is a "SITE LIGHTING" note that calls out RSB/RCS types and height. The Applicant believes that the Site Development Plan meets the lighting regulations.

9. Utility Plan: The water meters located adjacent to the public sidewalk main and pedestrian access to the site shall be screened from the public right-of-way.

Applicant Response: Water meters are in a vault below ground. A SCREENING NOTE has been added to ensure any above ground equipment will be screened via a berm, wall or dense evergreen foliage in compliance with Section 14-16-3-18

10. Grading and Drainage Plan: The both sections of the "Grading Narrative" shall be modified to reflect the improvements proposed in the private Indian School Road. The pond labeled as "detention pond" shall be relabeled as "retention pond."

Applicant Response: The pond has been correctly labeled as a Detention Area in the current amended Site Development Plan. The stormwater design has been discussed with Curtis Cherne. The Grading Narrative has also been modified to reflect the improvements proposed in the private Indian School Road.

11. Landscaping

A. The 10-foot landscape buffer shall be shown on all sheets of the site plan along the perimeter of both of the lots. Buffer landscaping shall be provided in the 10-foot landscape buffer, §14-16-3-10(E)(3).

Applicant Response: The 10 foot landscape buffer is shown accurately along the perimeter. It is not shown accurately on the east side of the property (as it is contiguous to Queen of Angels Chapel and the east side of Lot 2). This will be remedied in the final iteration of Sheet C1. Also a variance application will be heard in May 2013 regarding the portion of the site that does not have a 10' landscape buffer (at the narrow point north of the trash enclosure).

B. A minimum 10-foot landscape buffer shall be provided between the subject site and adjacent residentially zoned property, unless a variance is approved by the Zoning Hearing Examiner (ZHE).

Applicant Response: The Applicant has applied for a VARIANCE to §14-16-3-10(E)(3) which will be heard at the May ZHE Hearing, for the 10 foot landscape buffer where the property is adjacent to Queen of Angels Chapel at the narrowest point directly north of the Trash Enclosure. The Site Plan Sheet C1 will add a "10' Landscape Buffer along Lot 2 where it is contiguous to the property to the east.

C. The proposed ground cover materials and landscaping materials used in the 12th Street and Indian School right-of-way shall be identified. Any off-site plants provided shall count towards the minimum 6,134 SF of plant coverage required for Lot #1.

Applicant Response: The ground cover materials used in the 12th and Indian School rights of way are identified on the Sheet C2 Landscape Plan.

D. The Plant Material List shall be revised to indicate the actual number of Lirope Muscari plants to be provided. At a square planting plan with 18" O.C. spacing, 2,900 plants will be required for the space shown with Lirope plantings (0.15 acres).

Applicant Response: The Plant Material List has been revised to indicate the actual number of Lirope Muscari plants within the Sheet C2 Landscape Plan.

E. The landscape boulders shall be removed from the northerly access driveway to Lot #2, shown west of the dumpster enclosure, and relocated elsewhere.

Applicant Response: The boulders have been removed as requested.

12. Elevations

- A. The horizontal building elements, including overall building width, window and door width, and the width of the façade projections and recessions shall be dimensioned, as required by the site plan for building permit checklist.

Applicant Response: The dimensions have been provided by the Architect on Sheet C5.

13. Architecture & Design

- A. The dining patio elevations shall be added to the east and west building elevations, or indicated with a “match line.”

Applicant Response: The dining patio elevations have been added to the east and west elevations.

- B. The west façade shall be enhanced to match the level of detail and variation on the east façade.

Applicant Response: The west façade has been enhanced with two different types of stone, two different colors of stucco, and with stacked stone that wraps the two drive thru windows. The color of the stucco and the stone has been successfully chosen by the NNVNA. They have selected the Chocolate color scheme, and the Southwest Profit Ledge stone (light colored stucco). The NNVNA also recommended a yellow awning (“eyebrow”) over the window located on the south side of the West Elevation. McDonald’s provided that awning based upon their suggestion. The Applicant believes that the level of detail on the West Elevation matches that of the East Elevation.

14. Signage

- A. All site signage must include the site location, sign elevations to scale, dimensions, sign face area, lighting, materials and colors for sign face and structural elements, as required by the site plan for building permit checklist.

Applicant Response: The Signage Sheet has been amended to include all of these suggested elements above.

- B. A sign detail for the directional signage shall be added that indicates the total sign face area and demonstrates the sign content, as required by the site plan for building permit checklist.

Applicant Response: The sign detail is provided on sheet C6 for the pylon sign. Everbrite (vendor) is providing the sign details for the “directional signage”.

- C. A sign detail for the free-standing pole sign shall be added, as required by the site plan for building permit checklist. The sign is limited to a maximum of 100 SF by the

C-1 Permissive Use regulations [§14-16-2-16(A)(12)(c)(1)b]. If an electronic sign is proposed, the following Electronic Sign Notes shall be added to the site plan:

“Electronic Sign Notes:

1. The electronic sign will comply with Council Bill No. O-11-69, the Electronic Sign Ordinance.
2. The sign shall have a functional photo cell to control brightness.
3. Motion of the message or image is prohibited.
4. Illumination shall not exceed 0.3 footcandles (fc) above ambient light.
5. Transition time will not exceed one (1) second.
6. Message or picture shall not change more than once each eight (8) seconds.”

Applicant Response: The Applicant sheet C6 indicates that the McDonald’s sign will not exceed 100 square feet. The sign will be internally illuminated and therefore the ELECTRONIC SIGN NOTES will not be required.

15. Conditions of approval from the City Engineer, Municipal Development, and NMDOT for the proposed Amendment to the Site Development Plan for Building Permit shall include:

- A. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.

Applicant Response: The Applicant will comply with the required system improvements attributable to the property as shown on the TIS prepared by Terry Brown PE. The Applicant has been in contact with Nilo regarding changes to the 12th street and Indian School.

- B. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).

Applicant Response: The Applicant will comply with DRB recommendations for permanent improvements.

- C. Concurrent Platting Action required at Development Review Board (DRB) for any lot line adjustments.

Applicant Response: The Applicant is not going to be submitting a subdivision plat, until after the DRB processes the Site Development Plan for Building Permit.

- D. Provide delivery vehicle routes for ingress, egress and circulation and include classification and size of the delivery vehicle for the proposed On-Site improvements and the public roadway system.

Applicant Response: The Applicant has provided an AUTO TURN exhibit to the SDP submittal which shows the routes for ingress, egress and circulation for a WB – 62 Delivery Truck.

- E. Indian School roadway design and concern should be addressed in the following: radii's no less than 20 feet; 6 feet valley gutters at front of entrance and 4 feet along right turn lane; vehicle flow into parking area is a safety concern with only 21 feet width and loading area(modify ingress radii); proposed opaque wall and Chapel entrance possible

safety conflict; entrance striping required; pavement markings and signage will need to be provided to guide vehicles around site to drive through order windows.

Applicant Response: The Applicant is prepared to meet with Transportation Staff (Ms. Metro, Mr. Nilo Selgado and Mr. Loyd) to review and approve the Indian School Roadway Design. The preliminary design was conceptually approved in a meeting in early November at the third floor of the Plaza Del Sol office, which has subsequently been changed. The clear sight triangle will be resolved on the opaque wall along Indian School Roadway (Variance application has been submitted by the Applicant and will be heard in May 2013 in an effort to remove that wall). The entrance striping, pavement markings and signage are provided to guide vehicles.

- F. The proposed island diverter ("pork chop") at McDonald's 12th street entrance will need to be modified (signage included) to limit ingress/egress to right-in and right-out traffic movements only.

Applicant Response: The pork chop has been redesigned based upon the suggestions received by Mr. Nilo Salgado. The pork chop has also been modified by the Fire Marshall who requested a 20' width to the ingress and egress from the site.

A Cross Access Easement will be required for the proposed access to lot 2 and needs to be shown on site plan.

Applicant Response: The cross access easement has been drafted and it is called out on Sheet C1 Site Plan "Private Non Exclusive Vehicular and Pedestrian Easement will be entered into between Archdiocese of SF and Lot 1 Owner."

- G. 12th Street is identified as a minor arterial on the Long Range Roadway System Map, and on the Long Range Bikeways Map as having a bicycle lane. DMD also has an on-going engineering study for improvements to 12th Street between Menaul and just north of the interstate Frontage Road. The planning study for that project shows a 5-foot asphalt bicycle lane and 2-foot gutter pan.

Applicant Response: The Applicant is demonstrating a five foot bicycle lane and 2 foot gutter pan with the right of way provided within 12th street. Those dimensions are shown on the Site Plan submittal.

- H. Provide/label/detail all dimensions, classifications and proposed infrastructure for Site Plan.

Applicant Response: The Site Plan provides all dimensions, classifications and proposed infrastructure of the Site Plan.

- I. Proposed 12th Street sidewalk location should be placed at property line.

Applicant Response: The 12th street sidewalk has been amended and it now "hugs" the property line.

- J. Summary for Lot #1 (McDonald's USA) specifies 8 feet of sidewalk width, but site plan demonstrates 10 feet. Please clarify appropriate width.

Applicant Response: The Lot 1 sidewalk width is 10 feet. This has been remedied in the Site Plan Sheet C1.

- K. A traffic weave/merge situation with two drive-thru lanes merging into is being created. Please provide a solution/alternative to this possible safety concern.

Applicant Response: The Applicant has discussed this merging drive thru lane and “bypass lane” at a meeting in November. The Applicant believes that this merger has been remedied by narrowing to 24 feet at the throat of the two drive aisles. Applicant will confirm with Staff.

- L. A Public Sidewalk Easement will be required for public sidewalks located on private property within 12th Street.

Applicant Response: The Applicant is eager to receive a draft public sidewalk easement from the City of Albuquerque legal. The Applicant will comply with this easement request.

- M. Pavement markings and signage must be provided for the drive through (one way orientation) exit.

Applicant Response: The pavement markings and signage are shown on the Site Development Plan.

- N. Site plan shall comply and be in accordance with DPM (Development Process Manual) and ADA standards/ requirements on 12th street, Indian School road and on site which will also include the following: the external and internal radii's need to be 15 feet to accommodate cars and 25 feet to accommodate turns by Refuse, Fire, and larger service vehicles.

Applicant Response: The Site Plan will comply with the DPM and ADA standards. The internal radii at the Indian School Road entrance is only 10' radii. The Applicant has shown that a large car's AUTOTURN path on the exhibit with the Delivery truck will be acceptable.

- O. A Cross Access Easement and a shared parking agreement will be required with adjacent lot for approval at DRB.

Applicant Response: The cross access easement and shared parking agreement will be provided at the DRB hearing.

- P. All easements need to be shown and labeled on Site Plan.

Applicant Response: The easements are shown and labeled on the Site Plan Sheet C1.0.

- Q. NMDOT ROW access limits must be shown on Site Plan and any proposed infrastructure on these limits requires coordination and approval from this agency.

Applicant Response: The Applicant is awaiting these distances and will show them on the final Site Plan.

- R. A more detailed Conceptual Grading and Drainage Plan will be required for site plan approval at DRB. The detention pond may be larger than the pond depicted on these plans.

Applicant Response: The Engineer has been in communication with Curtis Cherne regarding the design of the detention area, and he is satisfied with the design.

16. Conditions of approval from the Indian Pueblo Marketing, Inc. for improvements within the Indian School Rd property shall include:

- A. North of site, continue Indian School (I/S) Road widening to the east along the entire site boundary, show all improvements to the road, striping, adding deceleration lane (remove "Proposed"), add dimensions, field verify alignment of lanes at the intersection and continuation of lanes to the east of the site. Dimension the distance to the next curb cut to the east on Indian School Rd.

Applicant Response: The Applicant has met with Ms. Salgado regarding the Indian School Improvements and has arrived at a modified design that has a deceleration lane but does not have a valley gutter. The improvements and striping are now accurately shown on Sheet C1.0.

The curb return, on the east side of driveway at North side of site, must have R25'.

Applicant Response: The curb return has been modified to be R25'.

- B. Increase the scope of landscape improvements to include the area north of site within the private Indian School Rd.

Applicant Response: The Applicant has added plantings within the area north of the site within the private Indian School Road. However, due to the underground utility lines in that area there will be no tree plantings.

17. Conditions of approval from PNM:

- A. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.

Applicant Response: A title search was performed, and a Boundary and Topographic survey was performed showing any easements found.

- B. As a condition, it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service and options for the location of electric service connection regarding this project. Any existing or proposed public utility easements are to be indicated on the site plan utility sheet. PNM's standard for public utility easements is 10 feet in width to ensure adequate, safe clearances.

Applicant Response: The Applicant will be meeting with the PNM New Service Delivery Department to coordinate electric services prior to submitting to the DRB. Additionally, the Applicant will be discussing the power poles along Indian School Road.

- C. As a condition, screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.

Applicant Response: The screening will be reviewed with PNM Electric Department prior to DRB submittal.

18. With respect to applicant's letter of November 7 to Ms. Barkhurst, to the extent any commitments therein are above and beyond those addressed in other conditions, such further commitments shall be incorporated herein as conditions of approval.

Applicant Response: The Applicant has included all commitment from the November 7 letter into the revised Site Plan.

19. The northerly boundary line, in between the sidewalk and the right-of-way, the applicant shall implement the Street Tree Ordinance.

Applicant Response: The Applicant will implement the Street Tree ordinance in between the right of way and sidewalk to the extent that it does not damage the underground utility lines in that area.

20. The Near North Valley Neighborhood Association and the IPCC may choose the color of the western trellis, color of the western stucco, and color of the stacked stone on the west, provided that the color of the stacked stone is different from the stone on the vertical element of the building and provided further that all the foregoing colors are earth toned. If the Neighborhood Association, the IPCC, and the Applicant have not specified the colors by the end of the calendar year, then such colors shall be in the discretion of the planning staff, using the 12th and Menaul Study as the base of reference.

Applicant Response: The Applicant has met with the IPCC and NNVNA. They selected the Chocolate color scheme and the stacked stone elements (including the Southwest Pro fit LedgeStone). The Applicant approves all of the Applicant's design suggestions.

If you have any questions or comments please call me at 550 998 9094. Thanks for your cooperation.

THE SKARSGARD FIRM, P.C.



Mr. Joshua J. Skarsgard, Esq.

CC: Mr. Doug Willman (McDonald's USA)
Ms. Heather Macomber (Adams Engineering)
Ms. Marit Tully & Mr. Joe Sabatini NNVNA
Mr. Michael Silbert and Mr. Michael Canfield

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

November 8, 2012

JSE Investments, LLC
1420 Delia Ct. NW
Albuquerque, NM 87104

Project #1003479
12EPC-40033 Site Development Plan for
Building Permit

LEGAL DESCRIPTION:

for all or a portion of Tract E, St. Anthony's Orphanage, located on 12th Street between Indian School and I-40 Frontage Road, containing approximately 1.6 acres.

Carrie Barkhurst, Staff Planner. (H-13)

On November 8, 2012, the Environmental Planning Commission voted to APPROVE Project 1003479 / 12EPC-40033, a request for a Site Development Plan for Building Permit, based on the following Findings and subject to the following Conditions:

FINDINGS – 12EPC-40033 – Site Development Plan for Building Permit:

1. This is a request for Site Development Plan for Building Permit for Lot E, St. Anthony's Orphanage, located on 12th Street between Indian School Rd. (private road) and Interstate 40 (NMDOT road), containing approximately 1.6 acres.
2. The applicant proposes to subdivide the currently vacant property into two parcels; to develop a fast food restaurant with drive-up service on the northern parcel in Phase I; and to lease or deed the southern parcel to the adjacent church for a parking lot to be developed as Phase II.
3. The Environmental Planning Commission (EPC) has decision-making authority for the proposed Site Development Plan for Building Permit approval, pursuant to §14-16-2-22(A)(1) of the Zoning Code.

OFFICIAL NOTICE OF DECISION

Project #1003479

November 8, 2012

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4. The subject site is zoned R-1, which occurred at the time of annexation into the City. A zone map amendment for this site was approved by the EPC on April 12, 2012, subject to conditions. The zoning will be changed from *R-1* to *SU-1 for C-1 Permissive Uses and Drive-Up Service Window* upon approval of a Site Development Plan.
5. The applicant requested a one-month extension of the time limit for SPBP approval, which expired on October 12, 2012. The Planning Director approved the request and granted a one-month extension of the time allowed to finalize the zone change to November 8, 2012.
6. The site is located within the Central Urban Area of the Comprehensive Plan and within the boundaries of the Indian School Community Activity Center. The subject site also lies within the boundaries of the North Valley Area Plan and the 12th & Menaul Study (Enactment O-2005-056), which applies to this site but is not regulatory.
7. The Albuquerque/Bernalillo County Comprehensive Plan, the North Valley Area Plan, the 12th Street and Menaul Study, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
8. The request furthers the intent of relevant Comprehensive Plan policies. It will contribute to increased land use in the area (Policy II.B.5a) by facilitating development of a new retail service; infrastructure is already in place (Policy II.B.5e); and some jobs and services will be created for residents in the area (Policies II.D.6a and g).
9. Regarding the intent of the Comprehensive Plan, the request partially furthers the following policies:
 - a. Policy II.B.5.d-location, intensity, and design of new development and neighborhood values: The request partially conflicts with neighborhood values for a pedestrian-oriented, mixed-use development because the building's orientation away from the street contributes to an automobile dominant site. The request generally furthers this policy by providing additional services at a convenient location.
 - b. Policy II.B.5.k-transportation impacts on livability and safety: The two drive-through lanes adjacent to the public sidewalks do not increase the livability or safety of the non-motorized transportation facilities. However, the site plan proposes to buffer the sidewalk from the drive-through by a 3-foot CMU wall and landscaping.
10. Regarding the intent for Activity Centers, the request partially conflicts with the following policies:

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- a. Goal II.B.7-reducing sprawl, auto travel and service costs: The proposed stand-alone building is a low-intensity land use that is marginally appropriate for a Community Activity Center. The site design is auto-dominant and will not contribute to the goal to the extent that it could. The request furthers this policy by providing additional services at a convenient location for nearby neighborhoods and interstate travelers.
 - b. Policy II.B.7.g-sub-area planning efforts: The 12th & Menaul Study is a sub-area planning effort that was initiated by City Council to provide guidance on the desired uses and form of development for the Indian School Community Activity Center. The EPC has discretion to determine the extent to which this Study should apply to the subject site. The proposed use and development form is not consistent with this Study.
11. Regarding the intent of the North Valley Area Plan, the request partially furthers the following policies:
 - a. Transportation Policy 2-Encouraging reduced automobile use: The site plan improves opportunities for non-motorized travel in the area by developing a bicycle lane and sidewalk connections. However, the pedestrian and bicycle connections have been identified by the City Engineer as potentially unsafe.
 - b. Village Center Policy #1-pedestrian attraction and accessibility, mixed use development, and valley scale and character: Although not the traditional “mixed use development,” the two uses (restaurant and parking lot) provided will generally serve the community.
12. The 12th & Menaul Study was prepared for the City to address the character of future development within a ½-mile radius centered on 12th St. and the Indian Pueblo Cultural Center. The City commissioned this Study and has been implementing the recommendations within its public right-of-way. The Study calls for multi-modal, mixed-use development that contributes to a denser built-environment, consistent with Activity Center principles. The site development plan is substantially inconsistent with the development form proposed in the Study and which is currently being implemented in this area.
13. Nine versions of the proposed Site Development Plan for Building Permit have been submitted and reviewed by the Planning Department. The proposed site development plan continues to be deficient and does not meet the minimum requirements of a Site Development Plan for Building Permit because it lacks adequate information to fully evaluate the architectural elevations, the signage, the landscape plan, and the site furniture and lighting. Staff has prepared conditions of approval that address these deficiencies.

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14. The proposed site development plan is partially consistent with the General Landscaping Regulations, which apply to all new development in the City. Based on the information provided, the applicant will need to request two variances to the General Landscaping Regulations, which the Planning Department would support, on the basis of the irregular lot size.
15. The City has determined that, on the east side of 12th Street, Indian School Road is privately owned; it is within the boundaries of Lot 84E, MRGCD Map 35, the adjacent Indian Pueblo Marketing, Inc. (IPMI), formerly the IPFDC, site to the north.
16. The five affected neighborhood associations (NA's) were notified of this request via certified mail – Near North Valley NA, Sawmill Area NA, Sawmill Community Land Trust, Wells Park NA, and the North Valley Coalition. A facilitated meeting was offered but declined.
17. The NNVNA has written that the proposed site layout fundamentally conflicts with the area goals for a pedestrian-oriented, mixed use neighborhood. They have also commented that the request has numerous outstanding issues, including concerns about pedestrians, street-facing elevations, and landscaping.
18. The adjacent property owner, Indian Pueblo Marketing, Inc. (IPMI), formerly the IPFDC, does not support the request. However, at this time the IPMI has conditionally allowed access easements across their property in order to address traffic concerns related to a single access point on 12th Street.

CONDITIONS OF APPROVAL – 12EPC-40033 – Site Development Plan for Building Permit – November 8, 2012

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

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3. Site Plan Notes, Sheet C1.0

- A. The Lot #1 *Vehicular Ingress and Egress on Indian School Rd.* shall add a note regarding access to private Indian School Rd. subject to full agreement and execution with Indian School Rd. owner.
- B. The Lot #1 *Proposed Use* shall indicate “Fast Food Restaurant with Drive-up Service.”
- C. The Lot #1 *Internal Circulation Requirements* shall correct the typographical error to read: “See vehicular circulation layout on Site Plan.”
- D. The Lot #1 *Vehicular Ingress and Egress on Indian School Rd.* shall add a note regarding private Indian School Rd improvements, to provide accommodations for undergrounding the overhead electric wires to the subject property and Queen of Angels Chapel property in a future phase and widening existing Indian School Rd. to accommodate the improvements shown on C1.0.

4. Site Layout, Sheet C1.0

- A. The word “Proposed” shall be removed from all improvements provided for in this site plan. The “Existing” infrastructure shall be clearly indicated by the grey lines and the annotation.
- B. The note “Hand Rail Barrier” shall be changed to read “4’-4” Metal Fence” to be consistent with the building elevations and patio design.
- C. The note identifying the cross access easement shall be visible.
- D. The two notes describing the bicycle lane shall be revised to read “5’ Bicycle Lane and 2’ Gutter.” Adequate road right-of-way shall be demonstrated.
- E. The ADA Tactile Warning Surface shall be added back to all locations where pedestrian walkways cross driving lanes.

5. Walls/Fences

- A. A fence shall be provided between the patio and the drive-through lane, to restrict access north of the pedestrian access route. The length of the fence shall be specified.
- B. The length, colors, and materials of all walls shall be indicated. Acceptable materials include but are not limited to stucco over concrete masonry units (CMU) or other structural materials; stabilized adobe; slump blocks; bricks; stone; glass blocks; curved interlock blocks; tubular steel; wrought iron bars; other grill work; or a combination of these materials, §14-16-3-19(B)(2)(c).

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- C. The site plan shall provide dimensions at the narrowest point to indicate that there is a minimum 3-foot wide planting strip with live vegetation provided between the 3-foot wall adjacent to the drive-through lanes and the sidewalk, §14-16-3-19(B)(2)(b) and (c) and §14-16-3-18(D)(5).
6. Public Outdoor Space
 - A. The site plan shall include details of the patio furniture and quantities and shall specify the type and materials.
 - B. The roof material shall be specified on the site plan, to ensure compliance with the Zoning Code use requirements in the C-1 zone.
 7. Lighting and Security: A light fixture detail shall be provided. This information is required to know if the proposed locations and fixture is compliant with the Zoning Code Area Lighting Regulations.
 8. Utility Plan: The water meters located adjacent to the public sidewalk main and pedestrian access to the site shall be screened from the public right-of-way.
 9. Grading and Drainage Plan: The both sections of the "Grading Narrative" shall be modified to reflect the improvements proposed in the private Indian School Road. The pond labeled as "detention pond" shall be relabeled as "retention pond."
 10. Landscaping
 - A. The 10-foot landscape buffer shall be shown on all sheets of the site plan along the perimeter of both of the lots. Buffer landscaping shall be provided in the 10-foot landscape buffer, §14-16-3-10(E)(3).
 - B. A minimum 10-foot landscape buffer shall be provided between the subject site and adjacent residentially zoned property, unless a variance is approved by the Zoning Hearing Examiner (ZHE).
 - C. The proposed ground cover materials and landscaping materials used in the 12th Street and Indian School right-of-way shall be identified. Any off-site plants provided shall count towards the minimum 6,134 SF of plant coverage required for Lot #1.
 - D. The Plant Material List shall be revised to indicate the actual number of Lirope Muscari plants to be provided. At a square planting plan with 18" O.C. spacing, 2,900 plants will be required for the space shown with Lirope plantings (0.15 acres).

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- E. The landscape boulders shall be removed from the northerly access driveway to Lot #2, shown west of the dumpster enclosure, and relocated elsewhere.

11. Elevations

- A. The horizontal building elements, including overall building width, window and door width, and the width of the façade projections and recessions shall be dimensioned, as required by the site plan for building permit checklist.

12. Architecture & Design

- A. The dining patio elevations shall be added to the east and west building elevations, or indicated with a “match line.”
- B. The west façade shall be enhanced to match the level of detail and variation on the east façade.

13. Signage

- A. All site signage must include the site location, sign elevations to scale, dimensions, sign face area, lighting, materials and colors for sign face and structural elements, as required by the site plan for building permit checklist.
- B. A sign detail for the directional signage shall be added that indicates the total sign face area and demonstrates the sign content, as required by the site plan for building permit checklist.
- C. A sign detail for the free-standing pole sign shall be added, as required by the site plan for building permit checklist. The sign is limited to a maximum of 100 SF by the C-1 Permissive Use regulations [§14-16-2-16(A)(12)(c)(1)b]. If an electronic sign is proposed, the following Electronic Sign Notes shall be added to the site plan:

“Electronic Sign Notes:

- 1. The electronic sign will comply with Council Bill No. O-11-69, the Electronic Sign Ordinance.
- 2. The sign shall have a functional photo cell to control brightness.
- 3. Motion of the message or image is prohibited.
- 4. Illumination shall not exceed 0.3 footcandles (fc) above ambient light.
- 5. Transition time will not exceed one (1) second.
- 6. Message or picture shall not change more than once each eight (8) seconds.”

- 14. Conditions of approval from the City Engineer, Municipal Development, and NMDOT for the proposed Amendment to the Site Development Plan for Building Permit shall include:

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- A. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- B. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
- C. Concurrent Platting Action required at Development Review Board (DRB) for any lot line adjustments.
- D. Provide delivery vehicle routes for ingress, egress and circulation and include classification and size of the delivery vehicle for the proposed On-Site improvements and the public roadway system.
- E. Indian School roadway design and concern should be addressed in the following: radii's no less than 20 feet; 6 feet valley gutters at front of entrance and 4 feet along right turn lane; vehicle flow into parking area is a safety concern with only 21 feet width and loading area(modify ingress radii); proposed opaque wall and Chapel entrance possible safety conflict; entrance striping required; pavement markings and signage will need to be provided to guide vehicles around site to drive through order windows.
- F. The proposed island diverter ("pork chop") at McDonald's 12th street entrance will need to be modified (signage included) to limit ingress/egress to right-in and right-out traffic movements only.
- G. A Cross Access Easement will be required for the proposed access to lot 2 and needs to be shown on site plan.
- H. 12th Street is identified as a minor arterial on the Long Range Roadway System Map, and on the Long Range Bikeways Map as having a bicycle lane. DMD also has an on-going engineering study for improvements to 12th Street between Menaul and just north of the interstate Frontage Road. The planning study for that project shows a 5-foot asphalt bicycle lane and 2-foot gutter pan.
- I. Provide/label/detail all dimensions, classifications and proposed infrastructure for Site Plan.
- J. Proposed 12th Street sidewalk location should be placed at property line.
- K. Summary for Lot #1 (McDonald's USA) specifies 8 feet of sidewalk width, but site plan demonstrates 10 feet. Please clarify appropriate width.
- L. A traffic weave/merge situation with two drive-thru lanes merging into is being created. Please provide a solution/alternative to this possible safety concern.
- M. A Public Sidewalk Easement will be required for public sidewalks located on private property within 12th Street.

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- N. Pavement markings and signage must be provided for the drive through (one way orientation) exit.
 - O. Site plan shall comply and be in accordance with DPM (Development Process Manual) and ADA standards/ requirements on 12th street, Indian School road and on site which will also include the following: the external and internal radii's need to be 15 feet to accommodate cars and 25 feet to accommodate turns by Refuse, Fire, and larger service vehicles.
 - P. A Cross Access Easement and a shared parking agreement will be required with adjacent lot for approval at DRB.
 - Q. All easements need to be shown and labeled on Site Plan.
 - R. NMDOT ROW access limits must be shown on Site Plan and any proposed infrastructure on these limits requires coordination and approval from this agency.
 - S. A more detailed Conceptual Grading and Drainage Plan will be required for site plan approval at DRB. The detention pond may be larger than the pond depicted on these plans.
- 15: Conditions of approval from the Indian Pueblo Marketing, Inc. for improvements within the Indian School Rd property shall include:
- A. North of site, continue Indian School (I/S) Road widening to the east along the entire site boundary, show all improvements to the road, striping, adding deceleration lane (remove "Proposed"), add dimensions, field verify alignment of lanes at the intersection and continuation of lanes to the east of the site. Dimension the distance to the next curb cut to the east on Indian School Rd.
 - B. The curb return, on the east side of driveway at North side of site, must have R25'.
 - C. Increase the scope of landscape improvements to include the area north of site within the private Indian School Rd.
16. Conditions of approval from PNM:
- A. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
 - B. As a condition, it is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service and options for the location of electric service connection regarding this project. Any existing or proposed public utility easements are to be indicated on the site plan utility sheet. PNM's standard for public utility easements is 10 feet in width to ensure adequate, safe clearances.

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- C. As a condition, screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.
17. With respect to applicant's letter of November 7 to Ms. Barkhurst, to the extent any commitments therein are above and beyond those addressed in other conditions, such further commitments shall be incorporated herein as conditions of approval.
18. The northerly boundary line, in between the sidewalk and the right-of-way, the applicant shall implement the Street Tree Ordinance.
19. The Near North Valley Neighborhood Association and the IPCC may choose the color of the western trellis, color of the western stucco, and color of the stacked stone on the west, provided that the color of the stacked stone is different from the stone on the vertical element of the building and provided further that all the foregoing colors are earth toned. If the Neighborhood Association, the IPCC, and the Applicant have not specified the colors by the end of the calendar year, then such colors shall be in the discretion of the planning staff, using the 12th and Menaul Study as the base of reference.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 26, 2012 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting a written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,

Suzanne Lubar
Acting Director, Planning Department

SL/CB/mc

cc: Joshua Skarsgard, 8220 San Pedro NE, Ste 500, Albuquerque, NM 87113
JSE Investment, LLC, 1420 Delia Ct. NW, Albuquerque, NM 87104
John Huchmala, Archdiocese of Santa Fe, 4000 St. Joseph Pl. NW, Abq, NM 87120
Michael Canfield, IPFDC, 2401 12th St. NW, Ste 210 North, Abq, NM 87104
Joe Sabatini, 35 6th St. NW, Albuquerque, NM 87107
Susan Lester, PO Box 6953, Albuquerque, NM 87197
Judy Gallegos, 1036 18th St. NW, Albuquerque, NM 87104

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Jerry Miller, 1715 5th St. NW, Albuquerque, NM 87102
Maggie Ramirez, 1020 19th St. NW, Albuquerque, NM 87104
Connie Chavez, PO Box 25181, Albuquerque, NM 87125
David Wood, 158 Pleasant NW, Albuquerque, NM 87107
Wendy Statkus, PO Box 25181, Albuquerque, NM 87125
Peter Eller, 1006 Lynch Ct. NW, Albuquerque, NM 87102
Chris Catechis, 5733 Guadalupe Trail NW, Albuquerque, NM 87107
Marit Tully, 1107 La Poblana NW, Albuquerque, NM 87107
Mike Silbert, 551 Field Hawk Trl NW, Albuquerque, NM 87114

MAY 1. 2013

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): DAC ENTERPRISES, INC PHONE: 294-5243
 ADDRESS: P.O. BOX 16658 FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87191 E-MAIL: _____

APPLICANT: EDDIE + CHRISTINE LOPEZ PHONE: 883-
 ADDRESS: 1420 DELIA NW FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: _____
 Proprietary interest in site: OWNERS List all owners: JSC INVESTORS, LLC

DESCRIPTION OF REQUEST: _____

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT E Block: _____ Unit: _____
 Subdiv/Addn/TBKA: ST. ANTHONY ORPHANAGE ADDITION
 Existing Zoning: R-1 RESIDENTIAL Proposed zoning: SU-1 FOR C-1 USES MRGCD Map No _____
 Zone Atlas page(s): H-13 UPC Code: 101305949021240603

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 04EPC-00856
PROJECT # 1003479

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.4 AC
 LOCATION OF PROPERTY BY STREETS: On or Near: SE CORNER OF 12TH ST NW & INDIAN SCHOOL RD
 Between: INDIAN SCHOOL RD and I-40

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 12/11/07
 (Print) DOUG CRANDALL Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

| INTERNAL ROUTING | Application case numbers | Action | S.F. | Fees |
|---|--------------------------|------------|-------|-----------------|
| <input checked="" type="checkbox"/> All checklists are complete | <u>07DRB- 70438</u> | <u>SBP</u> | _____ | <u>\$ 0</u> |
| <input checked="" type="checkbox"/> All fees have been collected | _____ | <u>CMF</u> | _____ | <u>\$ 20.00</u> |
| <input checked="" type="checkbox"/> All case #s are assigned | _____ | _____ | _____ | <u>\$ _____</u> |
| <input checked="" type="checkbox"/> AGIS copy has been sent | _____ | _____ | _____ | <u>\$ _____</u> |
| <input checked="" type="checkbox"/> Case history #s are listed | _____ | _____ | _____ | <u>\$ _____</u> |
| <input checked="" type="checkbox"/> Site is within 1000ft of a landfill | _____ | _____ | _____ | <u>\$ _____</u> |
| <input checked="" type="checkbox"/> F.H.D.P. density bonus | _____ | _____ | _____ | <u>\$ _____</u> |
| <input checked="" type="checkbox"/> F.H.D.P. fee rebate | _____ | _____ | _____ | <u>\$ _____</u> |
| Hearing date <u>December 19, 2007</u> | | | Total | <u>\$ 20.00</u> |

[Signature] 12/11/07
 Planner signature / date

Project # 1003479

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

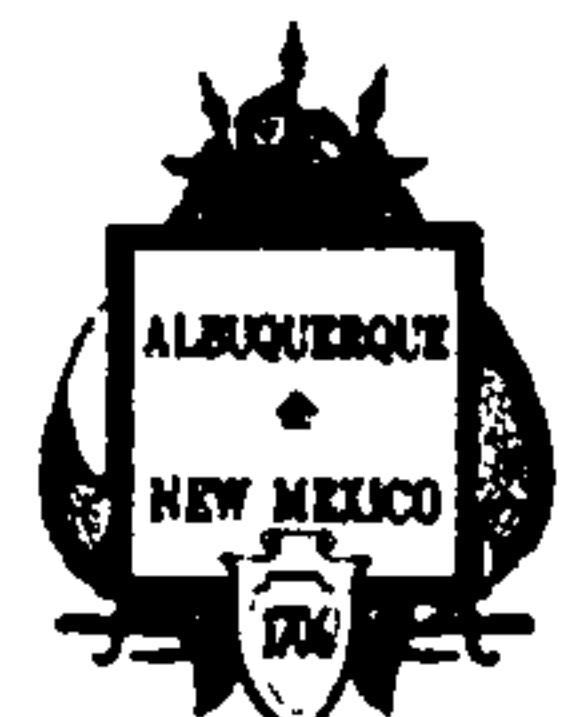
Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Doug Crandall
Applicant name (print)
[Signature] 12/11/07
Applicant signature / date



Form revised October 2007

[Signature] 12/11/07
Planner signature / date
Project # 1003479

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
07DRB - 70438

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003479

AGENDA ITEM NO: 11

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

P.O. Box 1293

ENGINEERING COMMENTS:

Albuquerque

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off by City Engineer.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: January 2, 2008



Albuquerque Bernalillo County
Water Utility Authority

DEVELOPMENT REVIEW BOARD

Standard Comment Sheet

DRB-1003479 Item No. 5 Zone Atlas H-13

DATE ON AGENDA 12/19/07

INFRASTRUCTURE REQUIRED (X)YES ()NO

CROSS REFERENCE: N/A

TYPE OF APPROVAL REQUESTED: () ANNEXATION

() SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT

() SITE PLAN FOR SUBDIVISION (X) SITE PLAN FOR BUILDING PERMIT

Comments:

1. The existing church to the east has an existing water meter with service off from 12th Street. Where is this meter located? I assume that there is a water service line across the subject property, which would not be acceptable.
2. The water/sewer availability letter required a new water line be constructed in Indian School Road to serve this new development. Why is this line not shown?
3. The Utility Plan does not show construction the south fire hydrant as shown on the Site Plan.
4. I am concerned about have the meter located along 12th Street and two fire line cuts required across 12th Street. Why can't these fire hydrants be constructed off a new line in Indian School?

If you have any questions or comments please call Roger Green at 924-3989.



DRB CASE ACTION LOG (SDP - BP)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70438 Project # 1003479
 Project Name: ST. ANTHONY ORPHANAGE ADDITION
 Agent: DAC ENTERPRISES INC Phone No.:

Your request was approved on 01-02-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: address comments

UTILITIES: _____

CITY ENGINEER / AMAFCA: for SIA, planner's initials

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created for:
1-2-08



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003479

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

Albuquerque

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ¹⁻²⁻⁰⁸ X; COMMENTS PROVIDED ____; WITHDRAWN

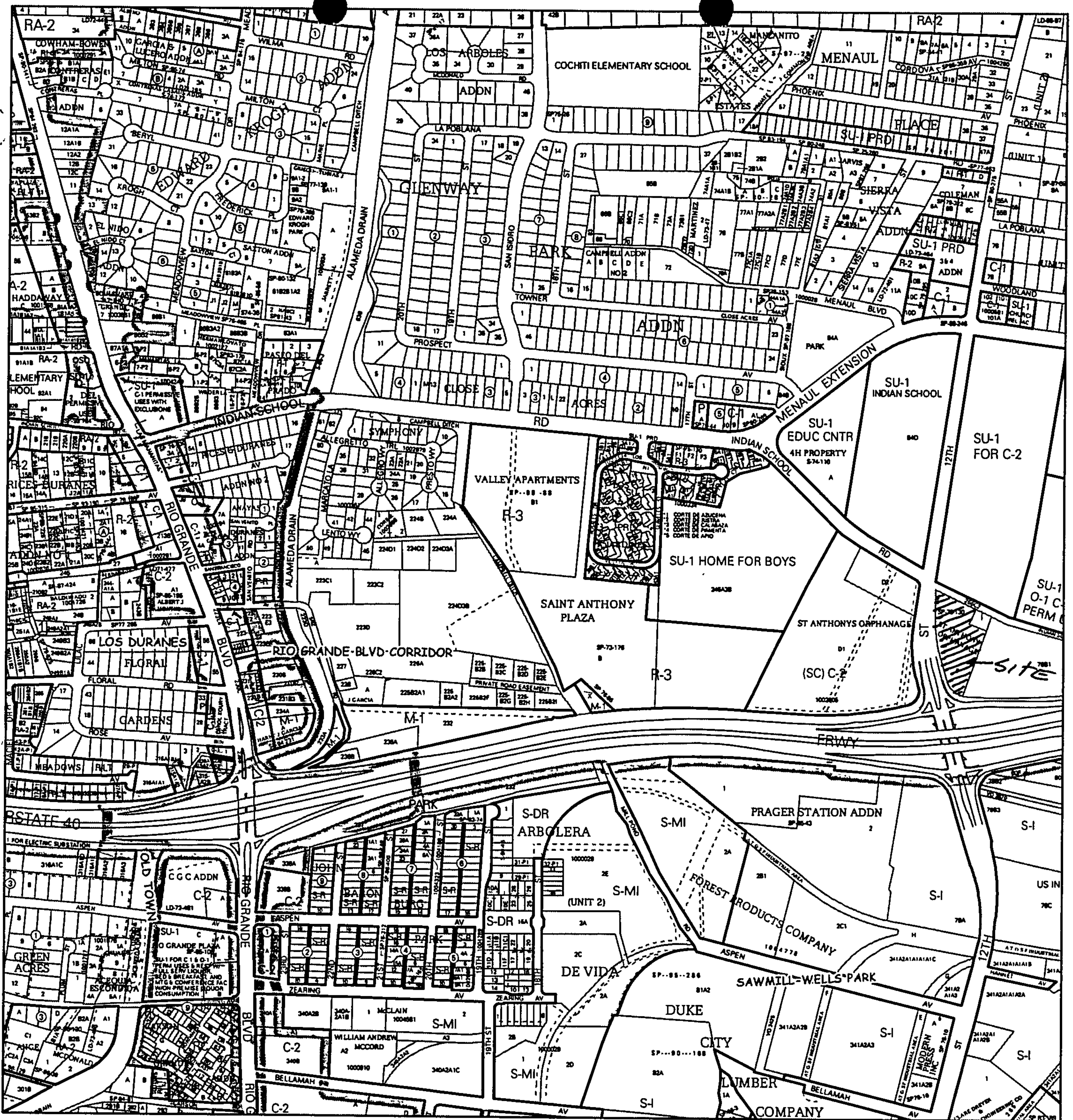
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DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

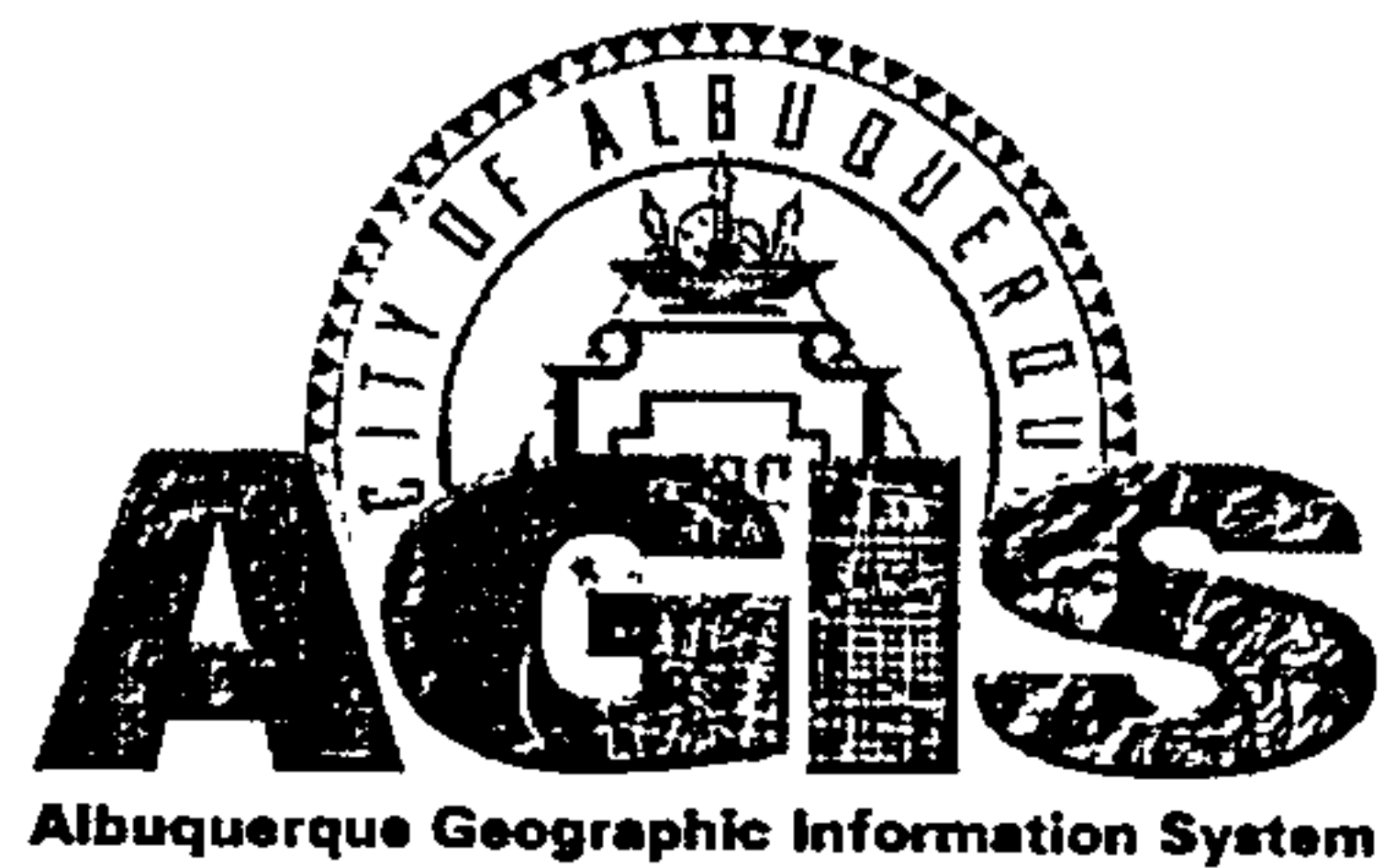
FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

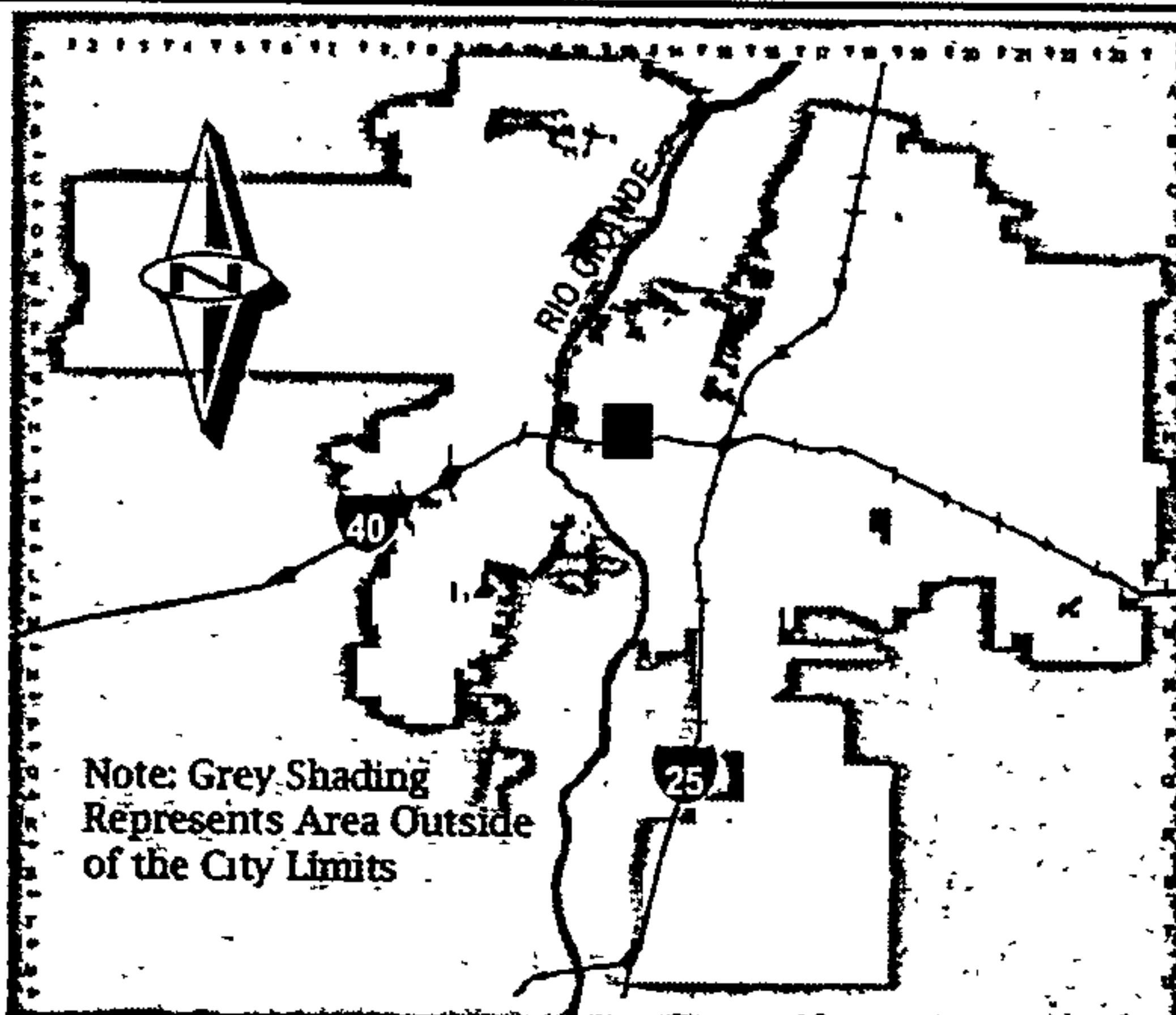
DATE: December 19, 2007



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 5/17/2007

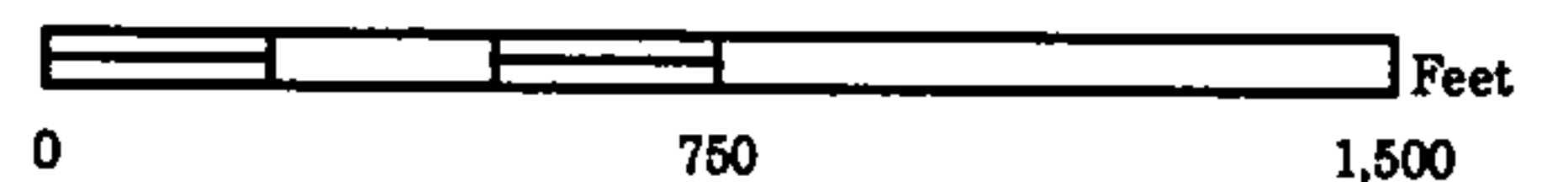


Zone Atlas Page:

H-13-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Conditions letter
Project #1003479

06EPC-00955 EPC Site Development Plan for Building Permit

4. Signage

- B. There are not illuminated plastic panel signs.
- C. Note added to elevations sheet
- D. Note added to elevations sheet
- E. Note added to elevations sheet
- F. Two monument signs are shown on the site plan.
- G. Monument signs are no larger than 50 s.f.
- H. Note added to elevations sheet.
- I. Sign will only identify the business.

5. Walls/fences

- A. Wall on east side of parking lot matches screen wall on west side of parking lot.
- B. Fence has been replaced with matching CMU wall.
- C. Note has been removed.

6. Landscaping-Plants

- D. Regal Mist and Wildflower have been added back
- E. Lana/Scotch Broom have been replaced with Lena species
- F. Plant beds will achieve 80% cover at maturity
- G. Thread grass has been replaced with Deer grass

7. Landscaping-Other

- B. Details are shown on sheet L2

8. Umbrellas are used for outside tables

9. Solid Waste has approved dumpster location.

11. Building Design

- A. Awnings and a portal are shown on the elevations
- B. Note added to elevations sheet
- C. Glazing meets the percentage
- D. Window sills will not be higher than 36"
- E. First floor entrances will be located on the west side of the building.
- F. All entrances to the building are accessible.

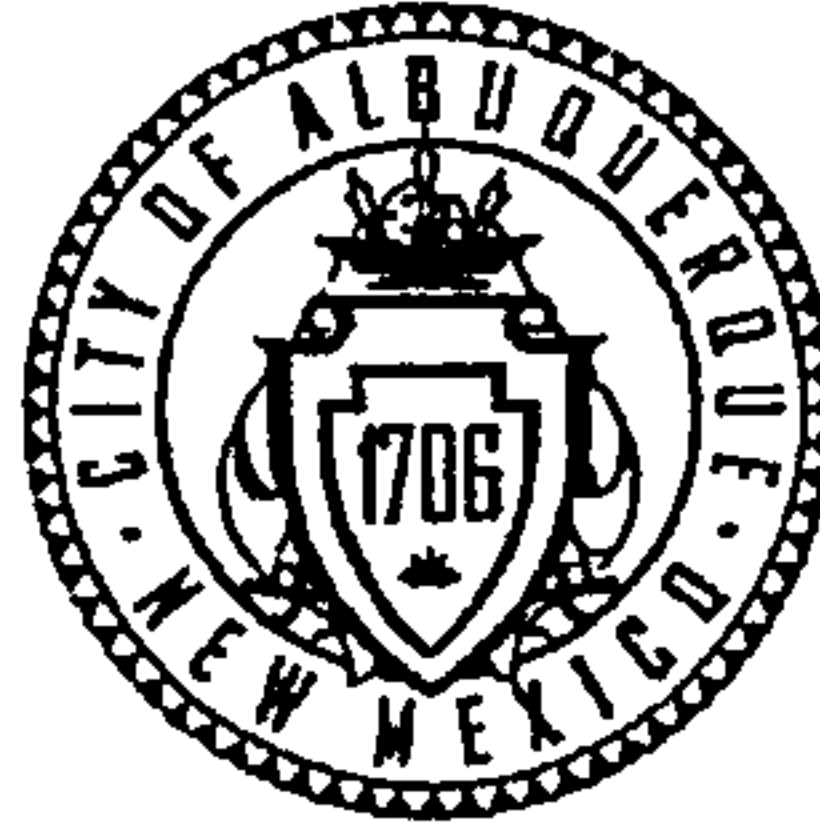
12. Streetscape

- A. Streetscape complies with 12th and Manual Plan

13. Benches are located in shaded areas.

14. Pedestrian Circulation/ADA Compliance

- A. Intersection design will comply with ADA requirements
- B. Curbs will be no higher than 6" tall
- C. Wheel stops added to H.C. parking spaces



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: April 20, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003479**
06EPC-00955 EPC Site Development Plan-
Building Permit
06EPC-00956 Zone Map Amendment

J & E Investors
Eddie & Christine Lopez
1420 Delia NW
Albuq. NM 87104

LEGAL DESCRIPTION: for all or a portion of Tract E, **St. Anthony's Orphanage Addition**, a zone map amendemtn from R-1 to SU-1 for C-1 permissive uses with exclusions, located on 12TH ST. NW, between INDIAN SCHOOL ROAD NW and I-40, containing approximately 2 acres. (H-13) Catalina Lehner, Staff Planner

On April 19, 2007 the Environmental Planning Commission voted to approve Project 1003479/06EPC 00956, a Zone Map Amendment from R-1 to SU-1 for C-1 permissive uses with exclusions for Tract E of the St. Anthony's Orphanage Addition, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for a zone change from R-1 to SU-1 for C-1 permissive uses with exclusions for Tract E of the St. Anthony's Orphanage Addition, located at the southeast corner of 12th Street NW and Indian School Road, approximately 2 acres.
2. A request for a site development plan for building permit (06EPC-00955) accompanies this zone change request. The site plan for building permit is dependent upon the zone change.
3. The excluded C-1 uses are: auto supply store, car wash, car stereo sales and service, church, clinic/medical, club, lodge or fraternal organization, coin and gun shop, garage for automotive repair, medical or dental laboratory, pawn shop, service station, taxidermy shop, drive-thru bank, drive-thru drug store/pharmacy, market greater than 15,000 sf, no single tenant occupying more than 15,000 sf., drive thru restaurants.

4. The zoning of SU-1 for C-1 permissive uses with exclusions (see Finding #3) is more restrictive than the zoning for the 15.69 acre former Indian School site (SU-1 for C-2 as specified herein for the 15.69 acres including a list of permissive and conditional uses).
5. The subject site lies within the boundaries of the North Valley Area Plan and the 12th & Menaul Study (O-05-98, Enactment O-2005-056).
6. The proposal *further*s the intent of the following Comprehensive Plan policies:
 - A. Policy II.B.5e-Programmed facilities/neighborhood integrity. The use of existing services for this infill site is not likely to compromise neighborhood integrity
 - B. Policy II.B.5i-Employment/service use location. It is unlikely that noise, lighting and traffic from the subject site will affect the residential area about 0.35 miles northeast.
 - C. Policy II.B.6b-Upgrading efforts in neighborhoods. This development is an effort to upgrade a Central Urban Area neighborhood.
 - D. Policy II.B.5k-land adjacent to arterial streets. Access to the subject site is not likely to adversely impact established residential neighborhoods.
7. The proposal *partially further*s the intent of Comprehensive Plan Policy II.B.5a-Full range of urban land uses. The proposal would not increase variety in terms of use, but would provide additional retail options and is appropriate for an urban setting.
8. With respect to Activity Centers, the proposal furthers the following Goals and policy:
 - A. Goal 7. The proposal will strengthen concentrations of economic activities in an Activity Center.
 - B. The Centers and Corridors component. The proposal will strengthen concentrations of commercial land uses in the Plan designated location.
 - C. Policy II.B.7h-changing zoning/Activity Centers. Zone changes to remove R-1 uses from within Activity Centers are encouraged.
9. With respect to the North Valley Area Plan (NVAP), the proposal:
 - A. *Further*s General Goal #11 because the subject site is located in an Activity Center, a "select area" along I-40.
 - B. *Partially further*s General Goal #6 because the subject site is currently zoned residential but the area is developing as commercial.
10. The applicant had adequately justified the zone change request pursuant to R270-1980, as follows:
 - A. Permissive C-1 uses will not compromise the City's health, safety, morals and general welfare. The list of exclusions will help ensure this.
 - B. The applicant has adequately justified the request by utilizing applicable plans and policies and by demonstrating that the request furthers them, which will contribute to stability of land use and zoning in the area.

- C. The request is not in significant conflict with adopted elements of applicable Plans. Pursuant to this section, the applicant has established that the request furthers the intent of applicable policies.
 - D. The proposed zoning would be more advantageous to the community. The applicant has sufficiently demonstrated this by using policies in applicable plans.
 - E. The permissive uses in the C-1 zone would not be harmful to adjacent property, especially given the exclusions.
 - F. The subject site is served by existing infrastructure and City capital expenditures would not result.
 - G. Economic considerations are not a determining factor in this request.
 - H. Location on a major street is not the only justification used for this request.
 - I. There is other SU-1 zoning in the area, so the request does not constitute a spot zone.
 - J. This request would not create a strip zone. The request involves one building, not a strip of several buildings.
11. Pursuant to Section D.3 of Resolution 270-1980, the applicant has demonstrated that the current R-1 zoning is inappropriate and that a different zoning category would be more advantageous to the community as articulated in the Comprehensive Plan and the NVAP.
12. The proposed zoning, SU-1 for C-1 permissive uses with exclusions, would be more appropriate in an Activity Center than R-1 zoning. Small-scale neighborhood services are needed in the area and may result in some employment opportunities for nearby residents.
13. Overall, the applicant has done an adequate job of justifying the zone change request. The use of relevant policies is acceptable and the arguments made with respect to R270-1980 provide sufficient justification.
14. Two facilitated meetings have been held. Representatives from the Near North Valley Neighborhood Association (NNVNA) have expressed general support and have worked with the applicant to address most of their concerns.

On April 19, 2007 the Environmental Planning Commission voted to approve Project 1003479/06EPC 06EPC 00955, a Site Development Plan for Building Permit for Tract E of the St. Anthony's Orphanage Addition, zoned R-1, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for a site development plan for building permit for Tract E of the St. Anthony's Orphanage Addition, an approximately 2 acre site located on the southeast corner of the 12th Street and Indian School Road intersection. This request is dependent upon the corresponding request for a zone map amendment (06EPC-00956).

2. The applicant proposes to construct an approximately 20,400 square foot, two-story building that will have offices on the top story and retail uses on the bottom story.
3. The subject site lies within the boundaries of the North Valley Area Plan and the 12th & Menaul Study (O-05-98, Enactment O-2005-056).
4. The proposal *further*s the intent of the following Comprehensive Plan policies:
 - A. Policy II.B.5e-Programmed facilities/neighborhood integrity. The use of existing services for this infill site is not likely to compromise neighborhood integrity
 - B. Policy II.B.5i-Employment/service use location. It is unlikely that noise, lighting and traffic from the subject site will affect the residential area about 0.35 miles northeast.
 - C. Policy II.B.6b-Upgrading efforts in neighborhoods. This development is an effort to upgrade a Central Urban Area neighborhood.
 - D. Policy II.B.5k-land adjacent to arterial streets. Access to the subject site is not likely to adversely impact established residential neighborhoods.
5. The proposal *partially further*s the intent of the following Comprehensive Plan policies:
 - A. Policy II.B.5a-Full range of urban land uses. The proposal would not increase variety in terms of use, but would provide additional retail options.
 - B. Policy II.B.5d-Neighborhood values/natural environmental conditions. The building's design and intensity are appropriate for its setting, but the neighbors prefer principal entrances on the building's west side and less signage.
 - C. Policy II.B.5l-Design quality/innovation. The design is appropriate for its location, but the abundance of signage and favoring vehicle traffic is not.
6. With respect to Activity Centers, the proposal furthers the following Goals and policy:
 - A. Goal 7. The proposal will strengthen concentrations of economic activities in an Activity Center.
 - B. The Centers and Corridors component. The proposal will strengthen concentrations of commercial land uses in the Plan designated location.
 - C. Policy II.B.7h-changing zoning/Activity Centers. Zone changes to remove R-1 uses from within Activity Centers are encouraged.
7. With respect to the North Valley Area Plan (NVAP), the proposal:
 - A. *Further*s General Goal #11 because the subject site is located in an Activity Center, a "select area" along I-40.
 - B. *Partially further*s General Goal #6 because the subject site is currently zoned residential but the area is developing as commercial.
 - C. *Partially further*s Village Center Policy #1. The building's scale and character are appropriate, but the parking lot facing entrances will not promote pedestrianism along 12th Street.

8. The proposal *conflicts* with the following NVAP policies:
 - A. Zoning & Land Use Policy 3d because this small commercial “strip” includes abundant signage along 12th Street, a Valley arterial.
 - B. Subpolicy d because this new development does not incorporate Village Center principles to the extent that it could. Proposed conditions of approval will remedy these deficiencies.
9. Regarding the objectives and concepts in the 12th & Menaul Study, the proposal:
 - A. Building frontages (p. 27)-*complies*. Building entrances facing 12th Street, large windows and portals will help promote pedestrian activity.
 - B. Building heights (p. 31)-*complies*. The building has a 17.5 ft. ground floor and does not exceed the general limit of three stories that the Study envisions for the subject site.
 - C. (Land) Use mix (p. 33)-*further*s. The land use map on p. 34 shows “general retail” as envisioned for the subject site.
 - D. Bike routes (p. 55)-*partially complies*. The bicycle lane along 12th St. needs to be built. There is bicycle parking in the front and back of the building.
10. A Traffic Impact Study (TIS) was not required. The applicant has worked with City Transportation Staff regarding re-siting the entrance from 12th St.
11. Two facilitated meetings have been held. Representatives from the Near North Valley Neighborhood Association (NNVNA) have expressed general support and have worked with the applicant to address most of their concerns.
12. Coordinated Implementation of the 12th and Menaul Study:
 - A. The applicant agrees that the 12th and Menaul Study and the requirements therein, including the streetscape requirements, apply to the applicant’s property. The City, through City Council Services, is coordinating this work with all of the property owners along 12th Street.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the Staff planner to ensure that conditions of approval are met.

OFFICIAL NOTICE OF DECISION
APRIL 19, 2007
PROJECT #1003479
PAGE 6 OF 9

3. The subject site's zoning, including exclusions, shall be noted on the first sheet of the site development plan (sheet AS1).
4. Signage:
 - A. Individual tenant signs shall be a uniform style to decrease the impact of signage on this Valley arterial (NVAP Zoning and Land Use Policy 3d).
 - B. Illuminated plastic panel signs shall not be allowed.
 - C. Building-mounted signs shall not exceed 6% of the façade to which they are applied.
 - D. Maximum logo-size shall be 2 ft. by 2 ft.
 - E. Any building-mounted signs on the east façade shall be halo lit.
 - F. Two monument signs shall be allowed, one north of the vehicle entrance/exit and one south of the vehicle entrance/exit, close to the frontage road. Both shall be set in the Carriage Strip, perpendicular to the street.
 - G. The monument signs shall not exceed 50 square feet in area, or four feet in height, and shall be architecturally integrated with the building color and materials.
 - H. Signs shall comply with the New Mexico Night Sky Protection Act.
 - I. Signs should identify only the name and business of the occupant or of those offering the premises for sale or lease.
5. Walls/Fences:
 - A. The east side of the parking area shall have a low wall matching the other low walls surrounding the parking area.
 - B. A detail of the fence showing (at a minimum) material, height and color, shall be provided.
 - C. The note on sheet AS1 regarding replacing the chain link fence with a wrought iron fence shall be removed.
6. Landscaping-Plants:
 - A. Pursuant to Zoning Code §14-16-3-10(E)(4)(b), the landscape buffer for the adjacent residentially zoned property shall consist primarily of trees, at least 8 ft. high.
 - B. Pursuant to Zoning Code §14-16-3-10(F)(1), the pine trees shall be a minimum of 10 feet tall at time of planting.
 - C. Street trees shall be allowed to grow to full, mature height and shall not be topped-off.
 - D. Regal Mist and the Wildflower shall be re-included on the plant legend and in the landscape plan.
 - E. Lana/Scotch Broom shall be replaced with Lena or Burkwoodii species.
 - F. Plant beds shall achieve 80% live groundcover at maturity.
 - G. Thread grass shall be replaced with Deer Grass.
7. Landscaping-Other:
 - A. The irrigation system's run time shall be sufficient, as determined by a qualified landscape architect or the City Forrester, to maintain the landscape in a healthy, living condition.

- B. Irrigation system details shall be provided on the landscape plan.
8. A shade structure and/or umbrellas over at least half of the tables shall be provided for the outdoor seating (patio) area to increase compliance with NVAP Village Center Policy 1a- pedestrian attraction and accessibility.
9. Since the dumpster has been relocated since the original comment period, the applicant shall coordinate with the Solid Waste Management Division (SWMD) regarding the revised dumpster location.
10. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
Conditions of approval for the proposed Site Development Plan for Building Permit shall include:
- A. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- B. Construct southbound left turn deceleration lane as required per October 17, 2006 driveway analysis.
- C. The drive way shall be no more than 30 feet wide; and the turning radii on both the entering and exiting sides of the driveway shall be no more than 20 feet.
- D. Site plan shall comply and be designed per DPM Standards.
- E. Ponding on site will be required.
- F. Construction of the bicycle lane along 12th Street adjacent to the subject property, as designated on the Long Range Bikeways System map.
- G. Access to the site shall be right in, right out and left in, requiring construction by the developer of a southbound left turn lane and a curb barrier to block outbound left turns.
11. Building Design:
- a. An awning, portal or other shade structure shall be provided along the building's western façade.
- b. All ground story window glass on the building shall be clear. The second story window glass may be tinted. Reflective glass shall not be permitted anywhere.
- c. The ground story of the west side of the building shall be no less than 40% glazed in clear glass. The second story of the west side of the building shall be no less than 25% glazed. The percentages shall be calculated, for each floor of the building, as follows: (Square Footage of Glazing) / (Square Footage of Building Façade).
- d. Window sills on both the ground story and the second story shall be no higher than 36 inches above the finished floor.

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APRIL 19, 2007
PROJECT #1003479
PAGE 8 OF 9

- e. The primary entrances to all retail establishments and restaurants shall be located on the 12th Street side of the building, or on the north or south sides of the building within 15 feet of the west side.
 - f. All entrances located on the 12th Street, north and south sides of the building shall be fully accessible to pedestrians during business hours.
12. Streetscape:
- a. The streetscape along 12th Street shall fully comply with the 12th and Menaul Study.
 - b. Up to 25% of the Café Zone may be landscaped with planters.
13. Public Spaces: The benches shall be located in shaded areas.
14. Pedestrian Circulation / ADA Compliance:
- a. The design of the intersection of 12th Street and Indian School Road shall comply with the best-practice guidance described in Section 3.3 of the AASHTO Guide for the Planning, Design and Operation of Pedestrian Facilities. There shall be two "directional" curb ramps at the southeast corner of the intersection (one for each of the crosswalks). Any obstructions such as signal boxes, signs, etc. shall be relocated, as appropriate. The design of this corner of the intersection shall mirror and align with the design of the northeast corner.
 - b. The curbs on the property shall be no more than six (6) inches in height.
 - c. Wheel stops shall be added to prevent vehicles parked in the east-side and south-side ADA parking from encroaching upon the sidewalk.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MAY 4, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.


Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
APRIL 19, 2007
PROJECT #1003479
PAGE 9 OF 9

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


Richard Dineen
Planning Director

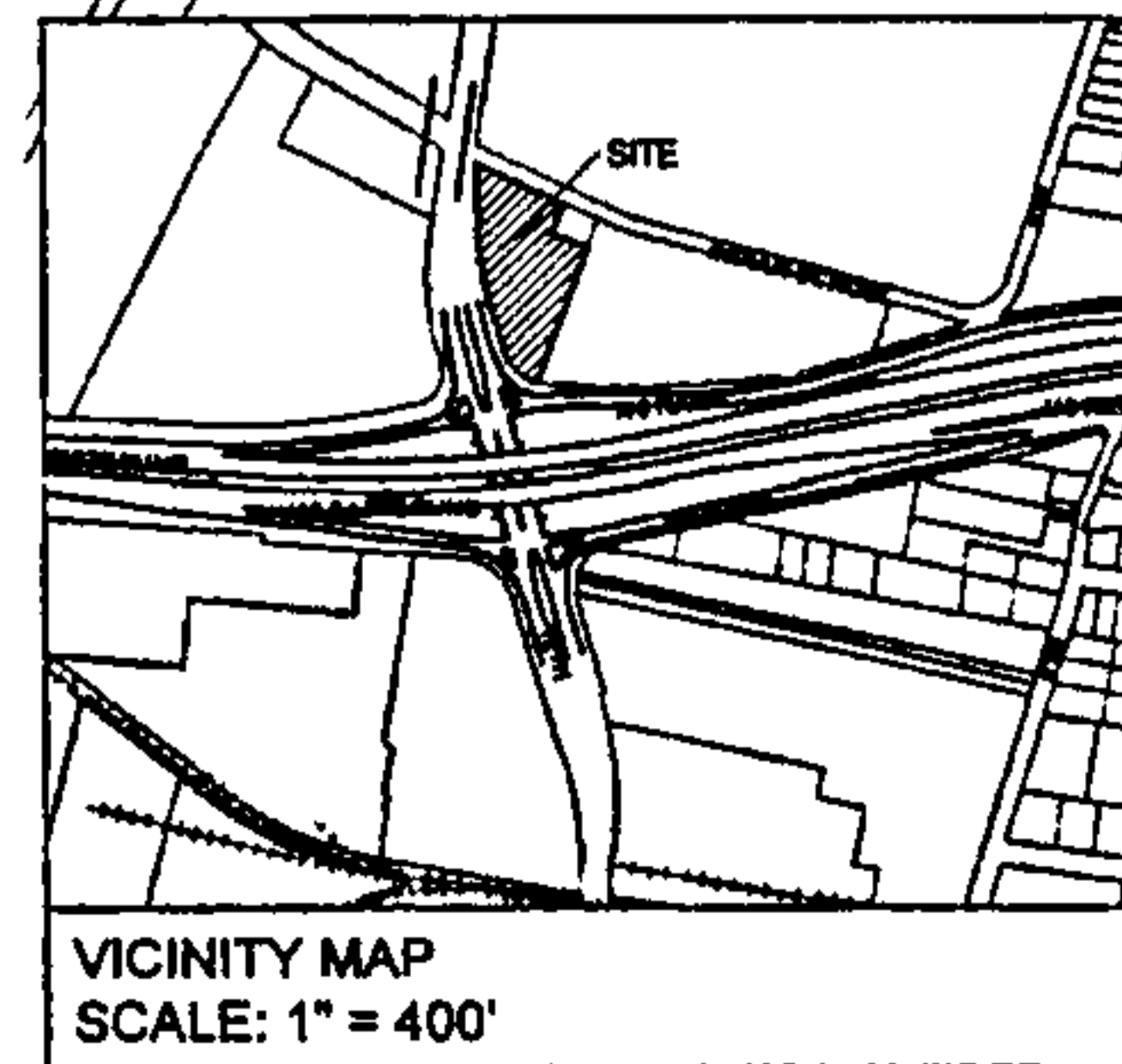
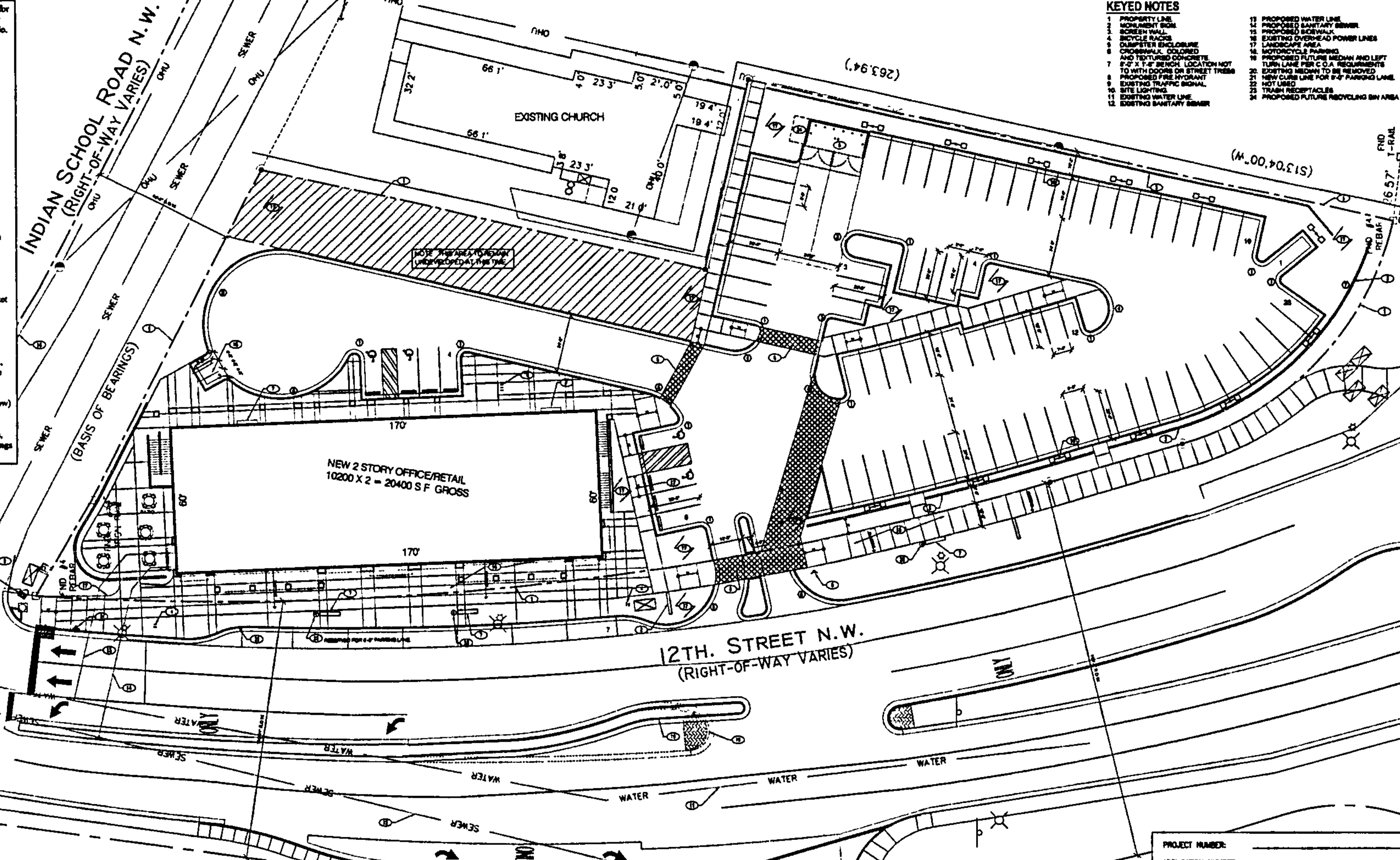
RD/CL/ac

cc: DAC Enterprises, Inc., P.O. Box 16658, Albuquerque, NM 87191
George Rainhart, Architect & Associates, 2325 San Pedro NE, Albuquerque, NM, 87110
George Hutton, Near North Valley NA, 1820 Indian School NW, #103, Albuquerque, NM 87104
Kristina Anderson, Near North Valley NA, 1115 Mildred Ave. NW, Albuquerque, NM 87107
Marit Tully, Near North Valley NA, 1107 La Poblana NW, Albuquerque, NM 87107
Joanne Elfers, 6524 Keeling NW, Albuquerque, NM 87120
Lezle Williams, Sawmill Area NA, 1127 12th St. NW, Albuquerque, NM 87104
Larry Schultz, Sawmill Area NA, 1324 Sawmill Rd. NW, Albuquerque, NM 87104
Fred Sais, Wells Park NA, 1508 Los Tomases NW, Albuquerque, NM 87102
Mark Clayburgh, Wells Park NA, 1310 5th St. NW, Albuquerque, NM 87102
John Huckmala, 4000 St. Joseph P. NW, Albuquerque, NM 87120
Bob Heiser, 2101 Mountain Rd. NW, Albuquerque, NM 87120
Claude Morelli, 7 Garden Park Circle NW, Albuquerque, NM 87107
Glen Garcia, IPFDC, 103 Aztec NW, Albuquerque, NM 87107

The "SU-1 for C-1 permissive uses" zoning approved for Tract E, St. Anthony's Orphanage Addition (SE corner of 12th Street and Indian School Road NW), Project No. 1003479, Case No. 06EPC 00935 and No. 06EPC 00936, is restricted as follows.

- 1. C-1 Permissive Uses**
- a. All C-1 Permissive Uses are allowed, except the following:
- Auto supply store
 - Car wash
 - Car stereo sales and service
 - Church
 - Chiropractic, medical
 - Club, lodge or fraternal organization
 - Con and gas shop
 - Garage for automotive repair
 - Medical or dental laboratory
 - Pawn Shop
 - Service station
 - Taxidermy shop
- b. The following C-1 Permissive Uses are allowed but with the following limitations:
- Bank or ATM or Savings and Loan Association provided there is no drive-up or drive-through service
 - Drug store or pharmacy provided there is no drive-up or drive-through service
 - Grocery, fruit, vegetable, meat, or fish market, delicatessen or supermarket provided the market does not exceed 15,000 square feet
 - Restaurant with beer and wine, or full service Any single tenant retail space shall not exceed 15,000 square feet
- 2. Miscellaneous:**
- Drive-in restaurants (a Sonic-type restaurant, i.e., with curbside service to parked vehicles) shall not be allowed.
 - Drive-through restaurants (a McDonald's-type restaurant, i.e., with a drive-through service window) shall not be allowed.
- * These miscellaneous uses are not listed as C-1 permissive uses on the City's matrix of allowable uses, but are included here to insure that no misunderstandings occur as to the type of uses allowed.

- KEYED NOTES**
- PROPERTY LINE
 - MONUMENT BORN
 - SCREEN WALL
 - BIKEWAY
 - DUMPSTER ENCLOSURE
 - CHROMIUM PLATE
 - AND TEXTURED CONCRETE
 - 8'-0" X 4'-0" BENCH LOCATION NOT TO WITH DOORS ON STREET TREES
 - PROPOSED FIRE HYDRANT
 - EXISTING TRAFFIC SIGNAL
 - SITE LIGHTING
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER
 - PROPOSED WATER LINE
 - PROPOSED SANITARY SEWER
 - PROPOSED SIDEWALK
 - EXISTING OVERHEAD POWER LINES
 - LANDSCAPE AREA
 - NOTICED SIGN
 - PROPOSED FUTURE MEDIAN AND LEFT TURN LANE PER C.O.A. REQUIREMENTS
 - EXISTING MEDIAN TO BE REMOVED
 - NEW CURB LINE FOR 8'-4" PARKING LANE
 - HOT LIME
 - TRASH RECEPTACLES
 - PROPOSED FUTURE RECYCLING BIN AREA



LEGAL DESCRIPTION
TRACT LETTERED "E" OF THE LAND OF ST. ANTHONY'S ORPHANAGE, BERNALILLO COUNTY NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 18 1878, IN PLAT BOOK 08, PAGE 188

RADIUS:

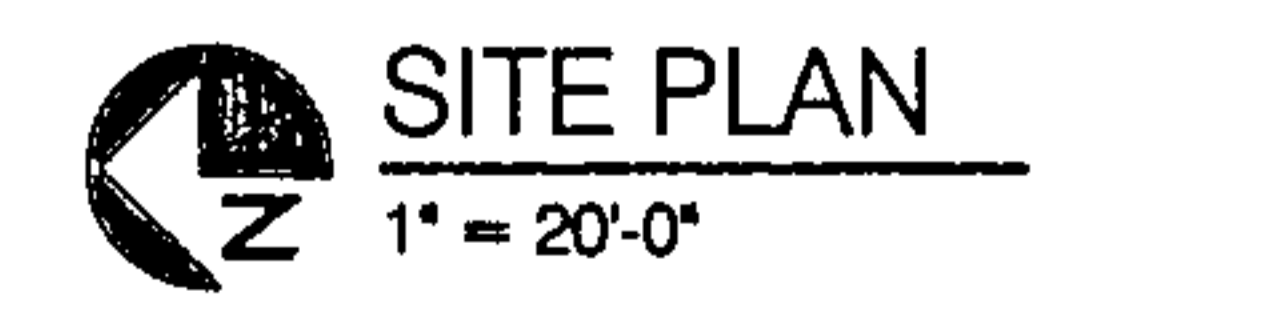
| | |
|-------------------|-------------------|
| ① RADIUS = 2'-0" | ⑥ RADIUS = 28'-0" |
| ② RADIUS = 3'-0" | ⑦ RADIUS = 29'-0" |
| ③ RADIUS = 4'-0" | ⑧ RADIUS = 30'-0" |
| ④ RADIUS = 5'-0" | ⑨ RADIUS = 31'-0" |
| ⑤ RADIUS = 6'-0" | ⑩ RADIUS = 32'-0" |
| ⑪ RADIUS = 33'-0" | |

SITE DATA

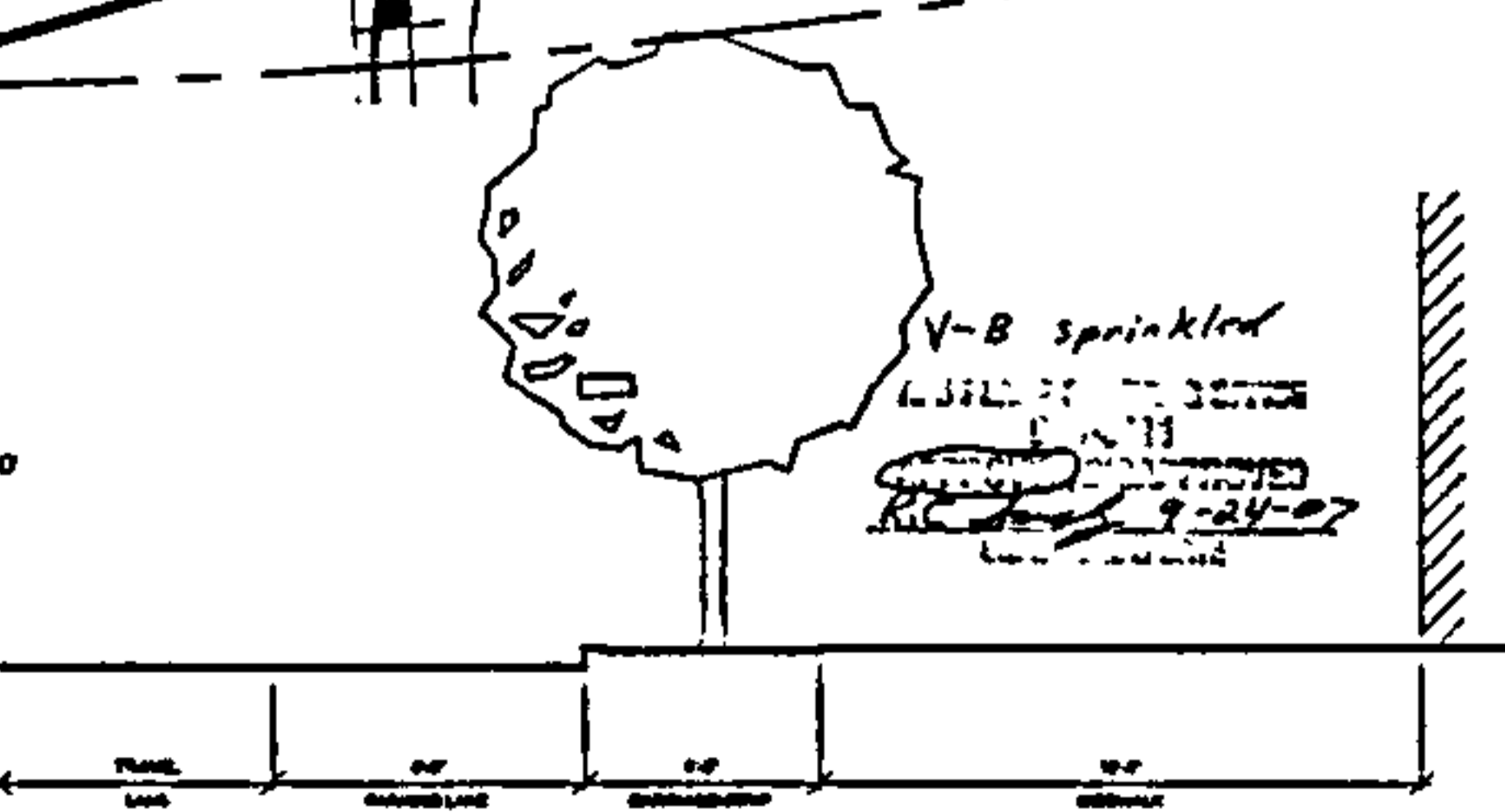
PROPOSED USAGE: SU-1 FOR C-1 WITH RESTRICTIONS
 LOT AREA: 88,883 S.F. (2.03 ACRES)
 LANDSCAPE REQUIRED: 8,119 SF
 LANDSCAPE PROVIDED: 4,830 SF
 BUILDING AREAS: 20,400 LEASABLE SF

SPACES REQUIRED: 81 SPACES
 SPACES PROVIDED: 84 SPACES

SPACES REQUIRED (NET): 8 SPACES
 SPACES PROVIDED: 8 SPACES



NOTE: 12TH STREET HAS AN EXISTING BUS ROUTES THERE IS AN EXISTING BIKE LANE ON INDIAN SCHOOL RD



PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) YES () NO If yes, then a set of approved DIC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

| | |
|---|--------------|
| Traffic Engineering, Transportation Division | Date |
| Water Utility Department | Date |
| Parks and Recreation Department | Date |
| City Engineer | Date |
| Environmental Health Department (conditional) | Date 9/27/07 |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

REVISION

| REV | DATE | BY | DESCRIPTION |
|-----|----------|-----|------------------|
| 1 | 9-24-07 | JCS | EPC COMMENTS |
| 2 | 3-30-07 | JCS | EPC REVISIONS |
| 3 | 11-28-06 | JCS | EPC CONDITIONS |
| 4 | 10-30-06 | JCS | BITE CHANGES |
| 5 | 03-18-06 | JCS | CHANGES |
| 6 | 7-12-05 | JCS | EPC DEFICIENCIES |

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE: 12TH AND INDIAN SCHOOL
DRB TITLE: SITE PLAN FOR BLD. PERMIT

DATE: 08/2006
 SCALE: AS1
 AS NOTED












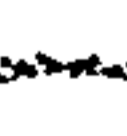










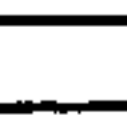

INTERSTATE 40 FRONTAGE ROAD

12TH STREET N.W.
(RIGHT-OF-WAY VARIES)

INDIAN SCHOOL ROAD N.W.
(RIGHT-OF-WAY VARIES)

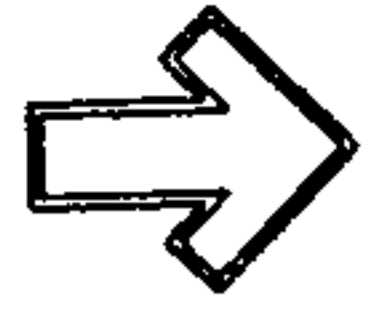
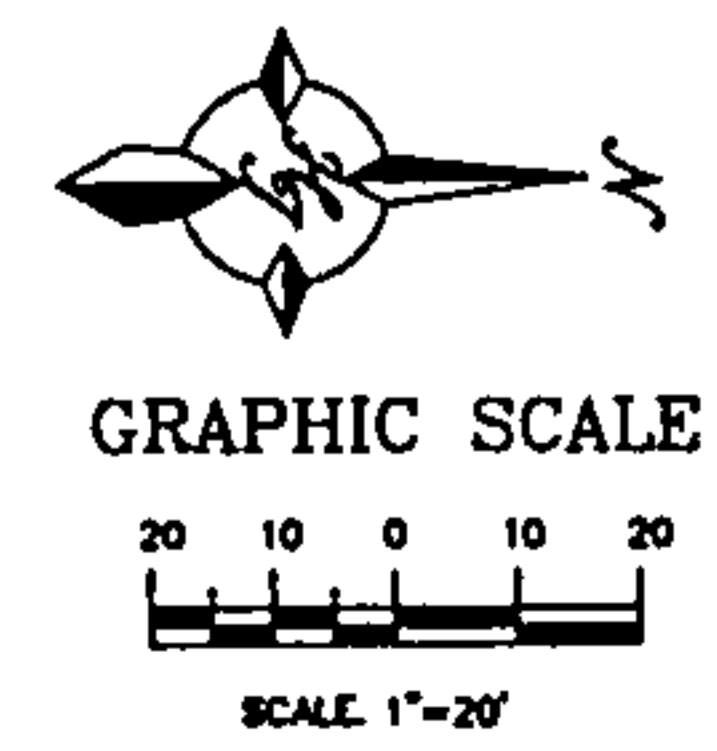
PER ARCHITECT, THERE ARE NO EASEMENTS ON THE SURVEY

PLANT LEGEND

- | | | | |
|--|--|--|---|
|  PURPLE ROBE LOCUST (M) 10 <i>Robinia pseudacacia</i> 2" Gal. minimum 8' tall |  PALM YUCCA (L) 2 |  BUTTERFLY BUSH (M) 15 <i>Buddleia davidii</i> 5 Gal. 100sf |  DEERGRASS (M) 11 <i>Muhlenbergia rigens</i> 1 Gal. 16sf |
|  CHINESE PISTACHE (M) 17 <i>Pistacia chinensis</i> 2" Gal. minimum 8' tall |  DESERT WILLOW (L) 5 <i>Chilopsis linearis</i> 15 Gal. 225sf |  RED YUCCA (L) 7 <i>Hesperaloe parviflora</i> 5 Gal. 9sf |  WILDFLOWER 55 1 Gal. 4sf |
|  CHITALPA (M) 10 <i>Chilopsis x Catalpa</i> 2" Gal. minimum 8' tall |  MUGO PINE (M) 1 <i>Pinus mugo</i> 5 Gal. 25sf |  NANDINA (M) 5 <i>Nandina domestica</i> 5 Gal. 25sf |  BANKS ROSE (M) 15 <i>Rosa banksiae</i> 1 Gal. |
|  AFGHAN PINE (M) 5 <i>Pinus eiderica</i> minimum 10' |  ARP ROSEMARY (M) 5 <i>Rosmarinus officinalis</i> 5 Gal. 25sf |  INDIAN HAWTHORN (M) 55 <i>Raphiolepis indica</i> 5 Gal. 56sf |  CREEPING ROSEMARY (L) 6 <i>Rosmarinus officinalis Prostratus</i> 1 Gal. 56sf Symbol indicates 3 plants |
|  BIRD OF PARADISE (L) 20 <i>Caesalpinia gilliesii</i> 5 Gal. 100sf |  MAIDEN GRASS (M) 26 <i>Miscanthus sinensis</i> 5 Gal. 16sf |  LENA BROOM (M) 3 <i>Cytisus scoparius</i> 5 Gal. 16sf |  OVERSIZED GRAVEL 45 BOULDERS |
| |  LAVENDER (M) 27 <i>Lavandula angustifolia</i> 1 Gal. 9sf |  RESAL MIST (M) 42 <i>Muhlenbergia capillaris</i> 5 Gal. 9sf |  SANTA FE BROWN GRAVEL |
| |  POTENTILLA (M) 20 <i>Potentilla fruticosa</i> 1 Gal. 9sf | | |

LANDSCAPE CALCULATIONS

| | | |
|-------------------------------|------------|-------------|
| TOTAL LOT AREA | 64610 | square feet |
| TOTAL BUILDING AREA | 10200 | square feet |
| OFFSITE AREA | 5716 | square feet |
| NET LOT AREA | 95142 | square feet |
| LANDSCAPE REQUIREMENT | 15% | |
| TOTAL LANDSCAPE REQUIREMENT | 8961 | square feet |
| TOTAL BED PROVIDED | 4612 | square feet |
| GROUNDCOVER REQ | 80% | square feet |
| TOTAL GROUNDCOVER REQUIREMENT | 7850 | square feet |
| TOTAL GROUNDCOVER PROVIDED | 7852 (80%) | square feet |
| TOTAL LANDSCAPE PROVIDED | 4612 (80%) | square feet |



Carl L. Forast
7808 Edin ALE
Albuquerque, NM 87184
Ph: (505) 866-8600
Fax: (505) 866-7737
carl@hiltopdesign.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLOM
1/10/17

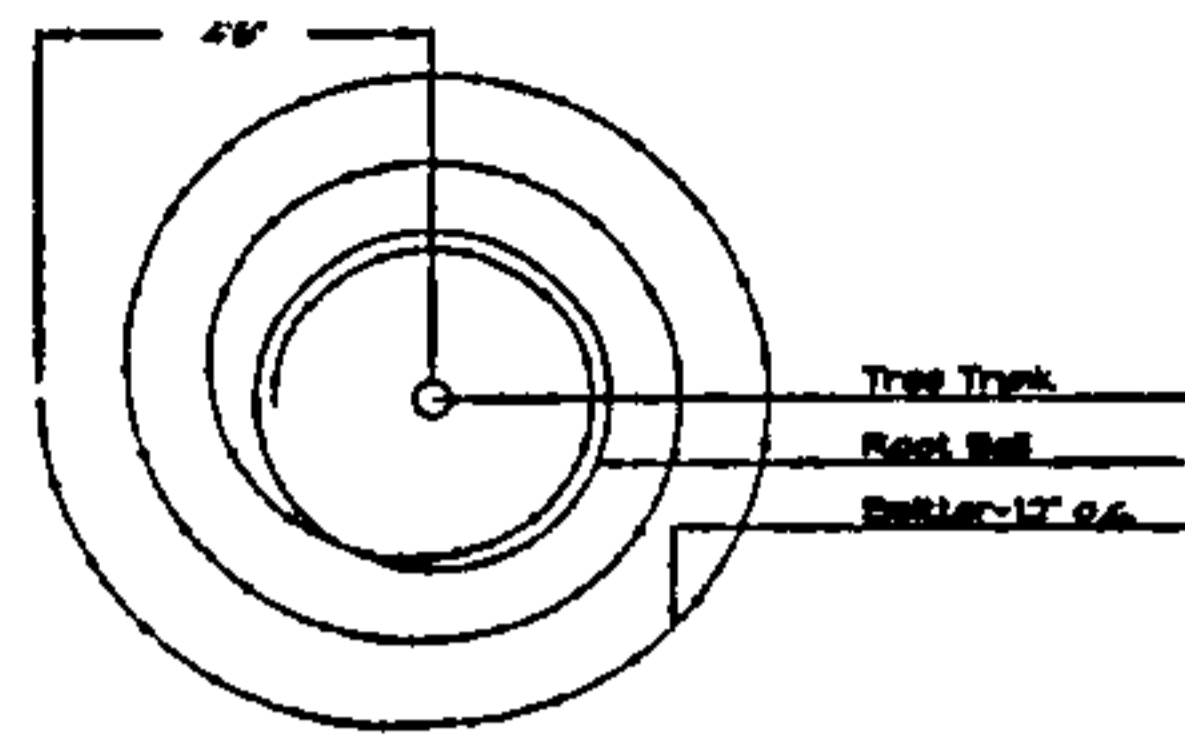
12TH AND I-40 OFFICE RETAIL
ALBUQUERQUE, NM
LANDSCAPE PLAN

All drawings were prepared by the author under the supervision and control of the author. The author is a duly licensed professional in the State of New Mexico.

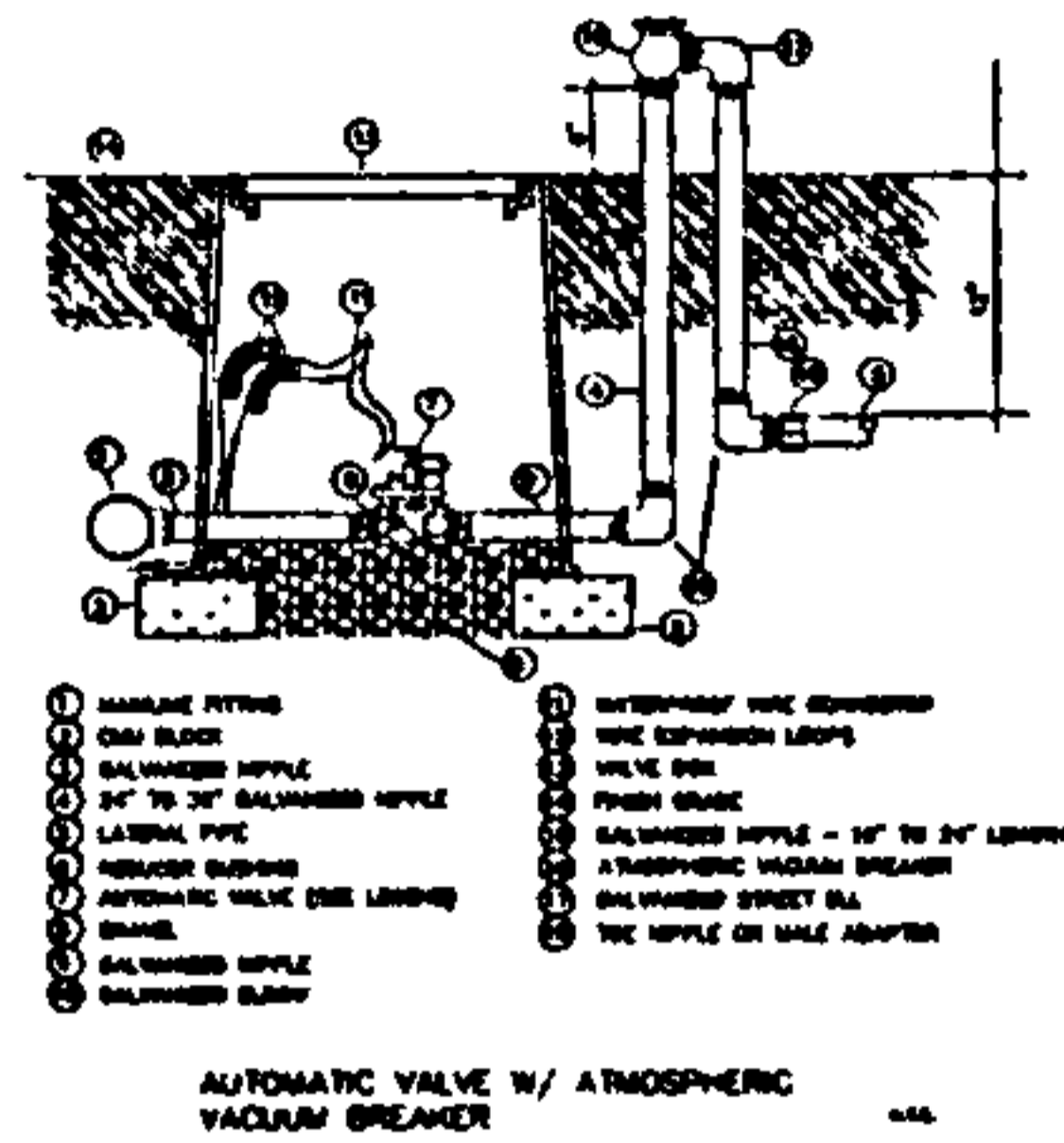


DESIGNED BY: JDF
REVISION / 0
DATE: 9-24-07

SHEET /
L1 or L2

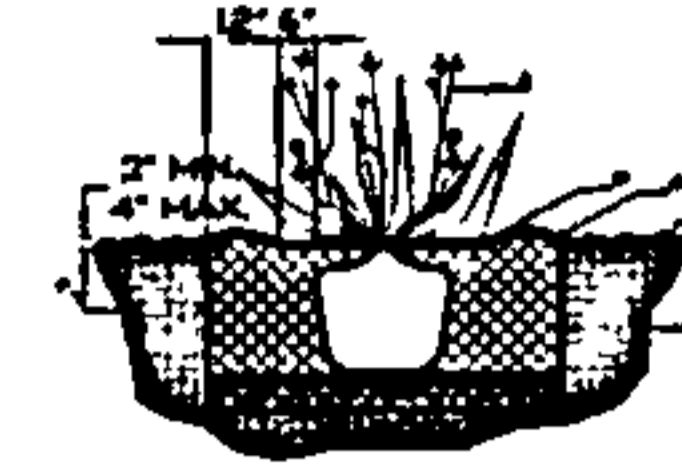


Netafim Spiral Detail



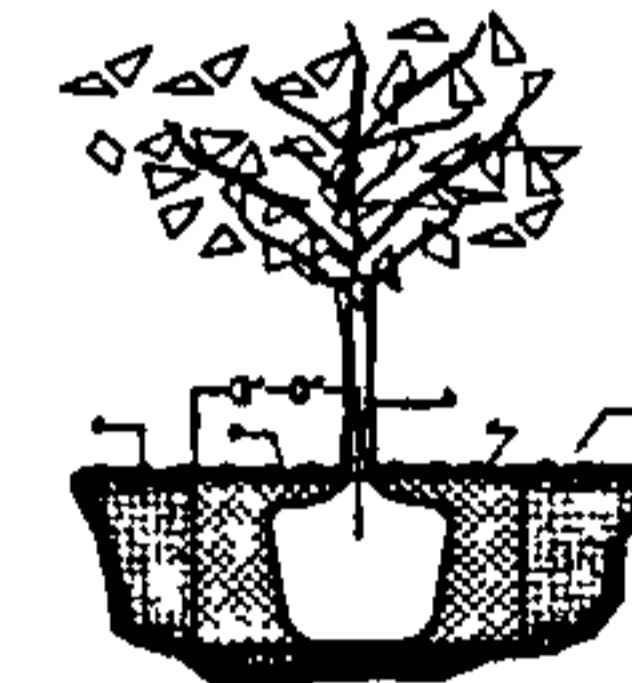
AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received. The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



SHRUB PLANTING DETAIL

- NTS
- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- A. SHRUB
 - B. BACKFILL WITH EXISTING SOIL.
 - C. EARTH BERM AROUND WATER RETENTION BASIN.
 - D. 3" DEPTH OF GRAVEL MULCH.
 - E. FINISH GRADE.
 - F. UNDISTURBED SOIL.



TREE PLANTING DETAIL

- NTS
- GENERAL NOTES:**
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- A. TREE
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF GRAVEL MULCH.
 - D. UNDISTURBED SOIL.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. Street trees shall be allowed to grow to full, mature height and shall not be topped-off.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative environmentally sound landscape principles will be followed in design and installation.

The owner shall maintain the street trees in an attractive, living condition as required pursuant to the Street Tree Ordinance (Chapter 6, Article 6, R.O. 1974).

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 9 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .5 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

Cont. Lic. #20458
7809 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9890
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cmj@thehilltopdesign.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON
2007

12TH AND I-40 OFFICE RETAIL
ALBUQUERQUE, NM
LANDSCAPE PLAN

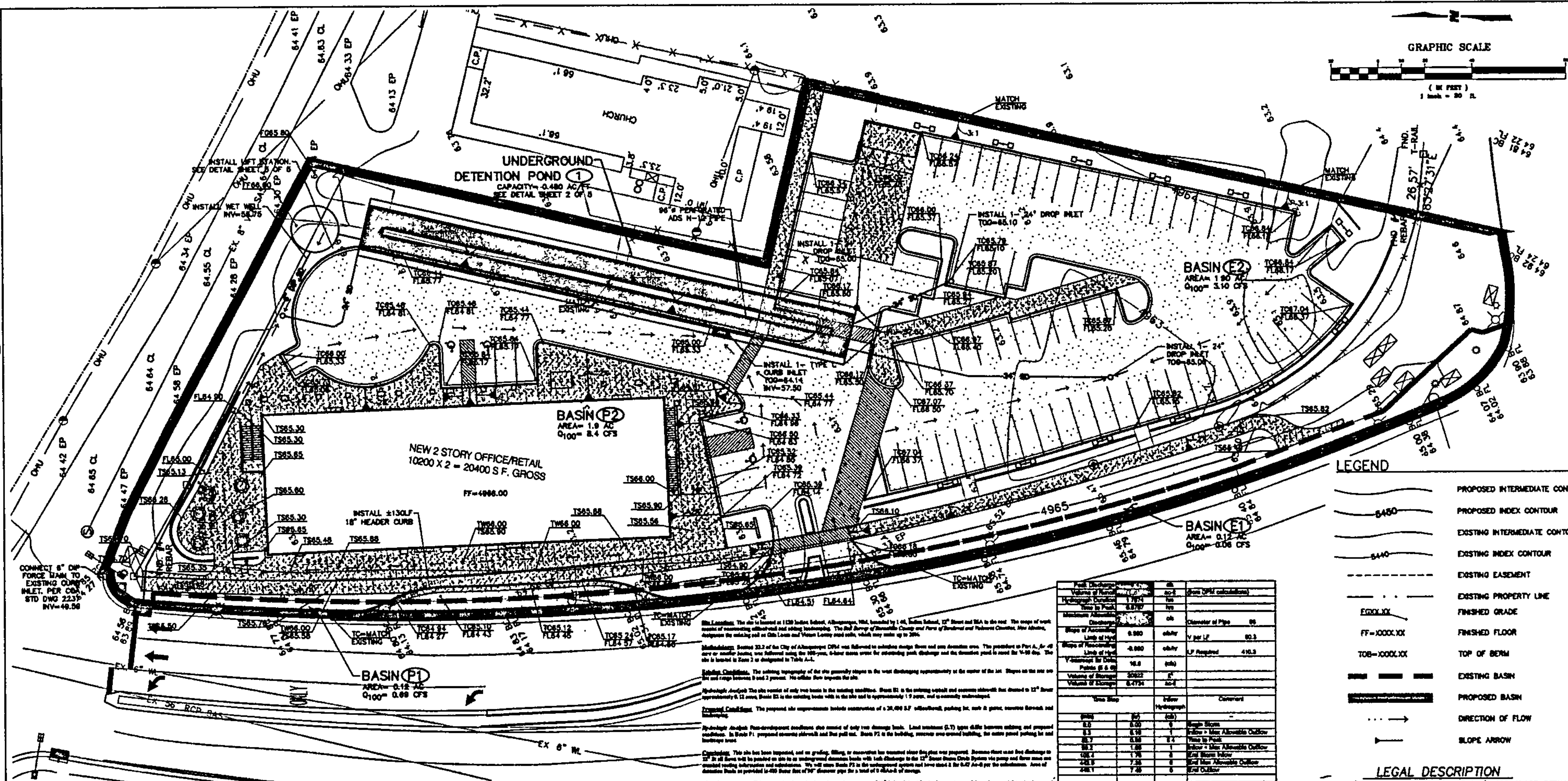
All drawings shall conform to the standards of the National Landscape Architecture and Construction and are protected by copyright laws. This is an original drawing and shall not be reproduced or copied without the written consent of the author.



DRAWN BY: ADP
REVISION: 1
DATE: 9-24-07

SHEET 1
L2 of L2

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.



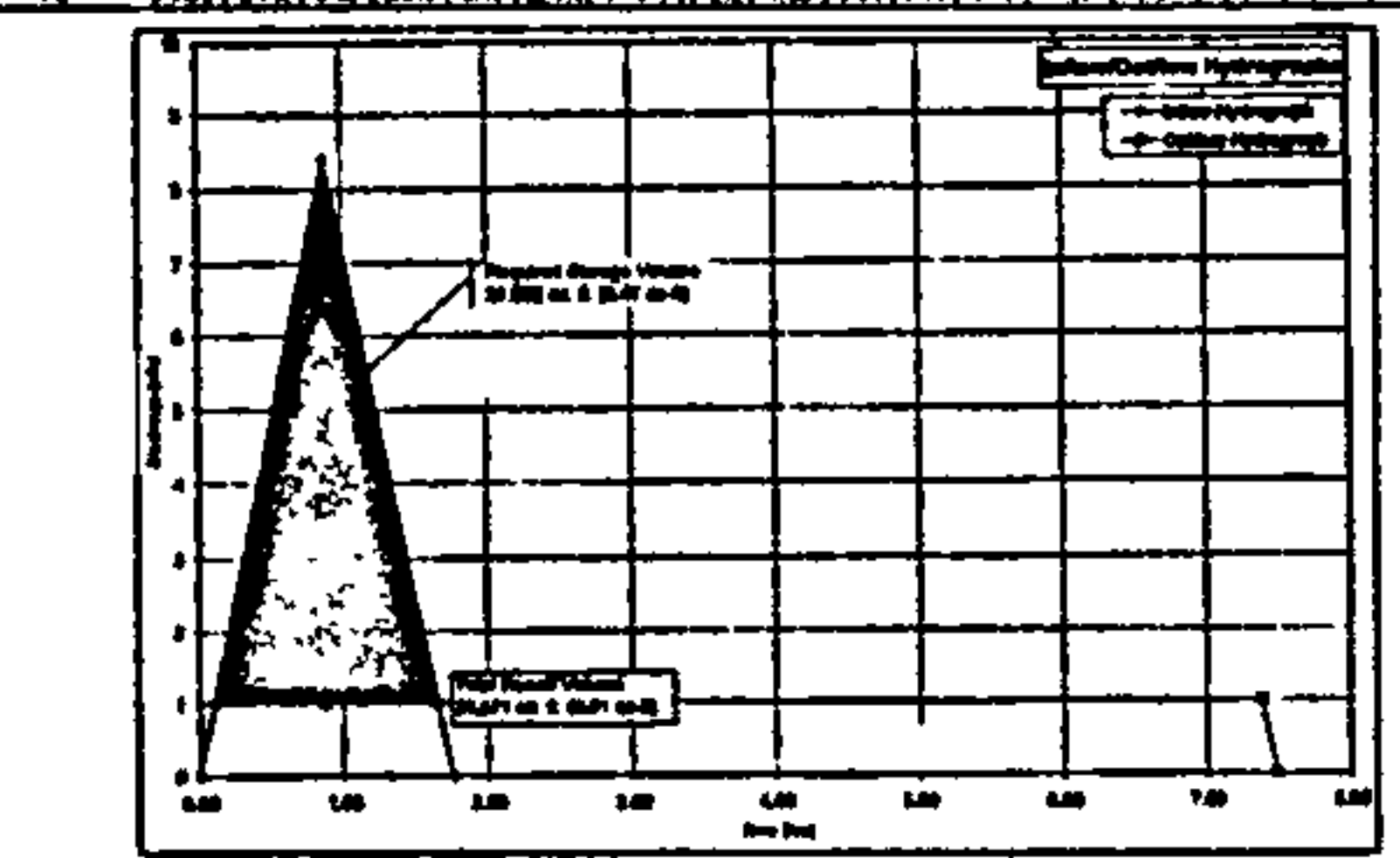
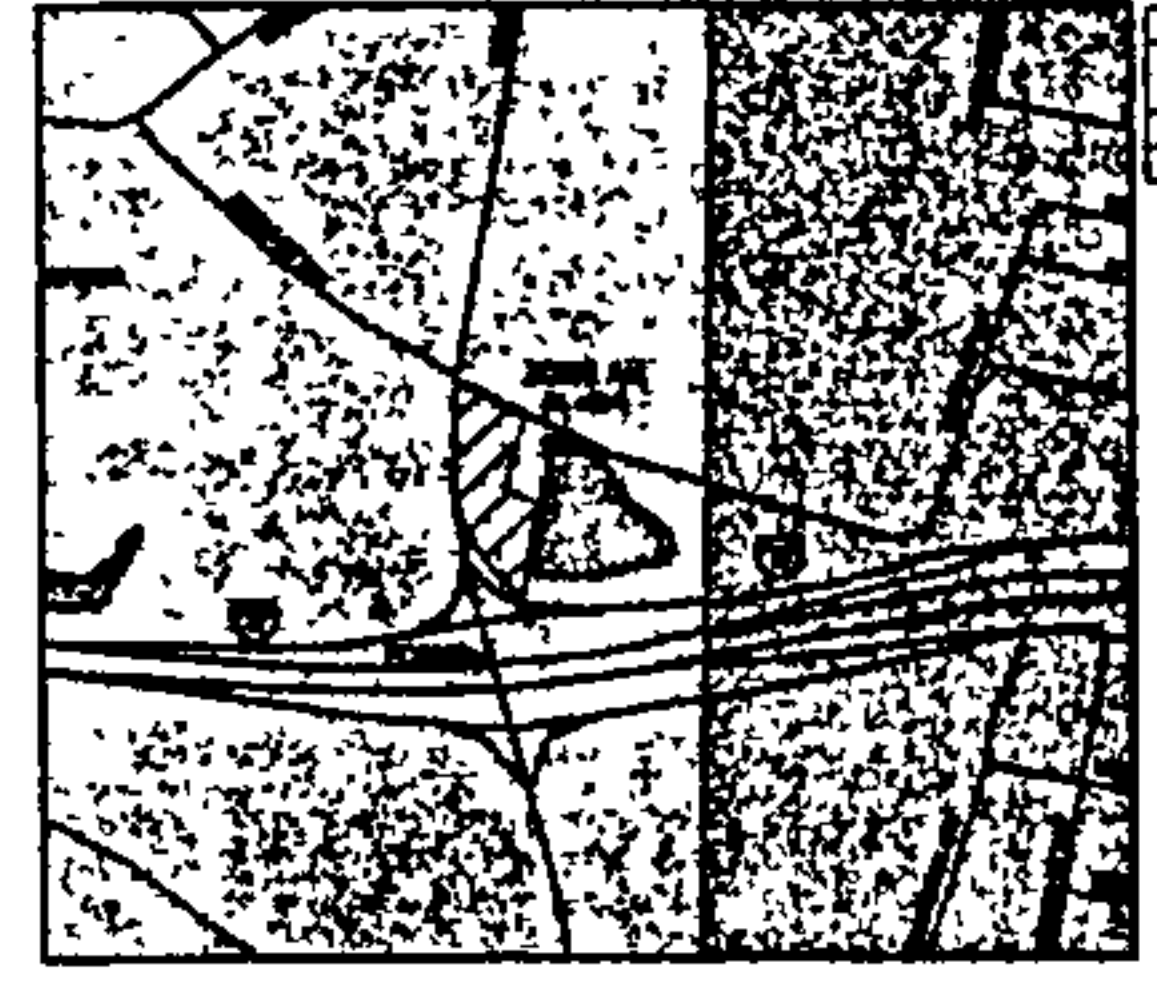
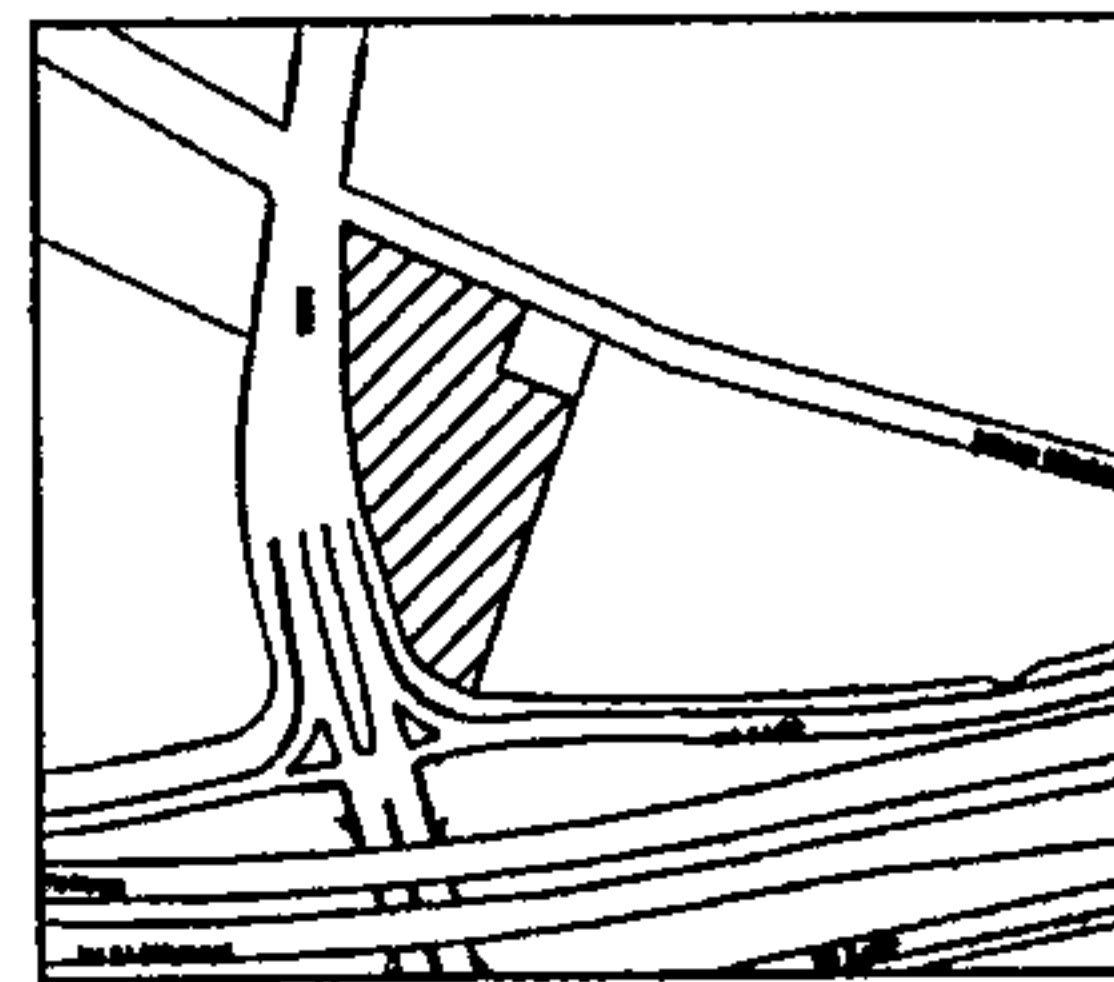
LEGEND

- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING EASEMENT
- EXISTING PROPERTY LINE
- FINISHED GRADE
- FINISHED FLOOR
- TOP OF BERM
- EXISTING BASIN
- PROPOSED BASIN
- DIRECTION OF FLOW
- SLOPE ARROW

| Flow | Area (sq ft) | Velocity (ft/s) | Time (min) |
|----------|--------------|-----------------|------------|
| Basin P1 | 1200 | 1.5 | 15 |
| Basin E1 | 1500 | 1.5 | 15 |
| Basin E2 | 1800 | 1.5 | 15 |

LEGAL DESCRIPTION
TRACT LETTERED "E" OF THE LAND OF ST ANTHONY'S ORPHANAGE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 18, 1978, IN PLAT BOOK 08, PAGE 158.

BENCH MARK
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 11-H13, THE PUBLISHED ELEVATION OF WHICH IS 4984.29 ± 3/4" ALUMINUM DISK LOCATED AT THE NW QUADRANT OF INDIAN SCHOOL ROAD HW AND 12 TH STREET HW

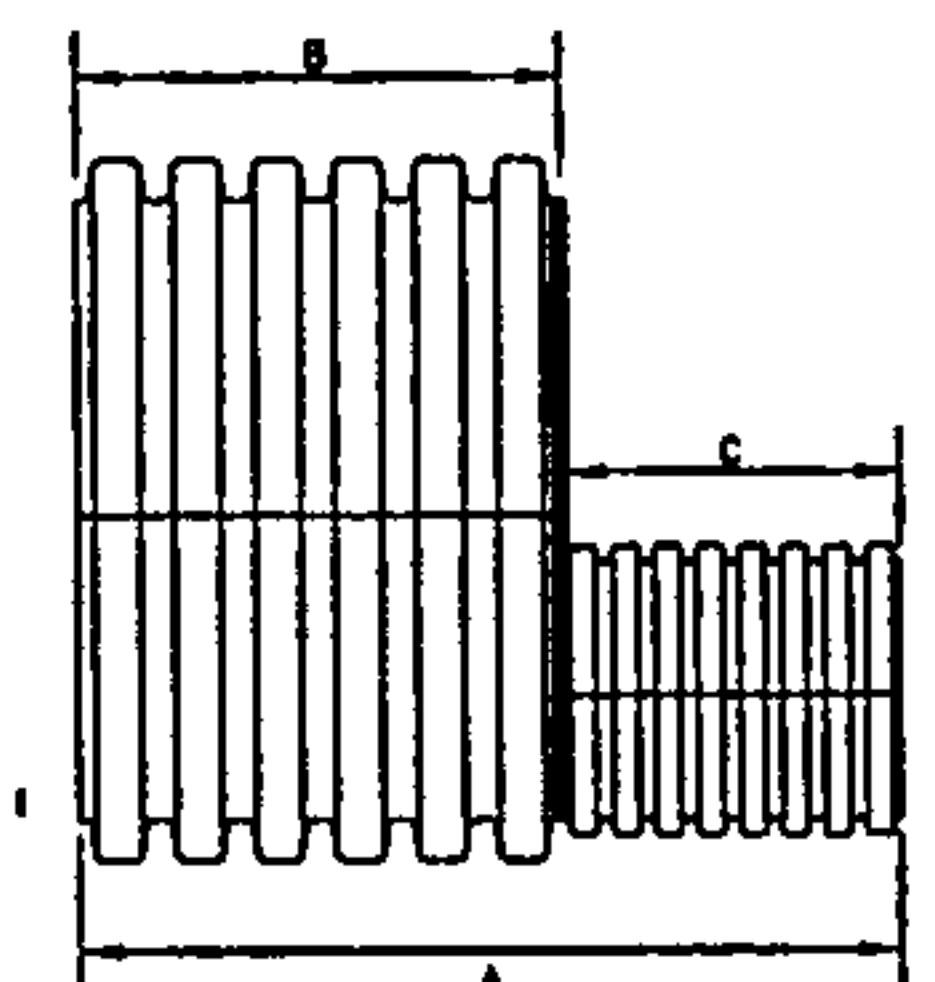


LOCATION MAP
ZONE ATLAS MAP NO. H-13

SOILS MAP
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 20

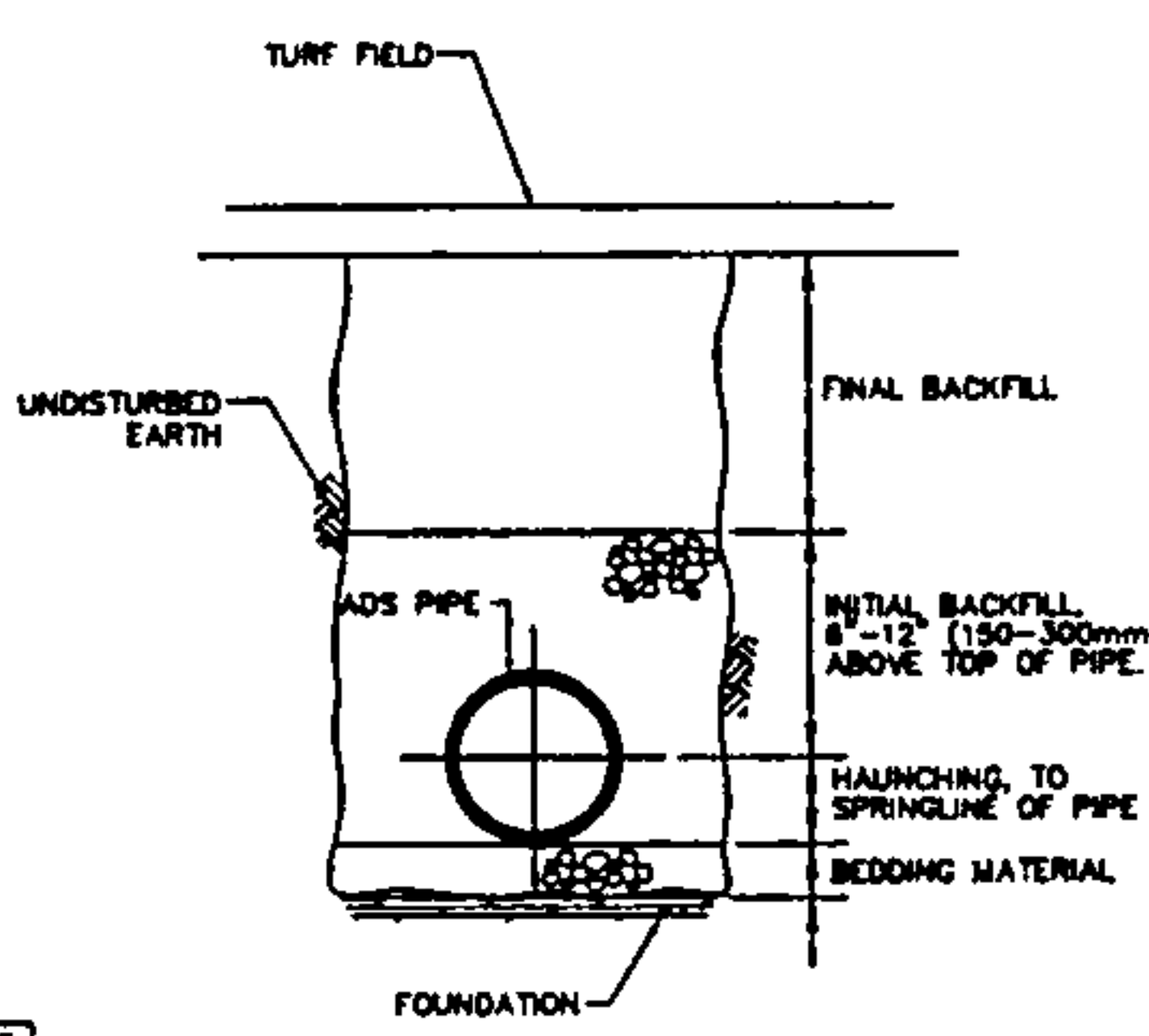
FLOOD INSURANCE MAP
REFERENCE: FLOOD INSURANCE STUDY PANEL 3600100331E

| | | | |
|---|------------------------|------------|------------|
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | | Mr. [Name] | Mr. [Name] |
| 12TH & 40TH GRADING & DRAINAGE PLAN LOCATION | | | |
| Design Review Committee | City Engineer Approval | | |
| City Project No. XXXX.XX | Zone Map No. H-13 | Sheet 1 | Of 5 |



| PART # | PIPE SIZE | A | B | C | 1 | 2 | JOINT |
|-----------|-----------|--------|--------|--------|---|---|-------|
| 3078AN | 30" x 18" | 33.25" | 20.80" | 12.65" | P | P | * |
| 3078AN65B | 30" x 18" | 33.25" | 20.80" | 12.65" | B | B | ST |

D1 REDUCER DETAIL
SCALE: NTS



NOTES:

- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH A FOUNDATION OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321, "STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS," LATEST EDITION; AS AN ALTERNATIVE AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100-600mm) AND 42"-48" (1050-1200mm) CORRUGATED POLYETHYLENE PIPE (CPEP); 6" (150mm) FOR 30"-36" (750-900mm) CPEP.
- HAUNCHING AND INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:

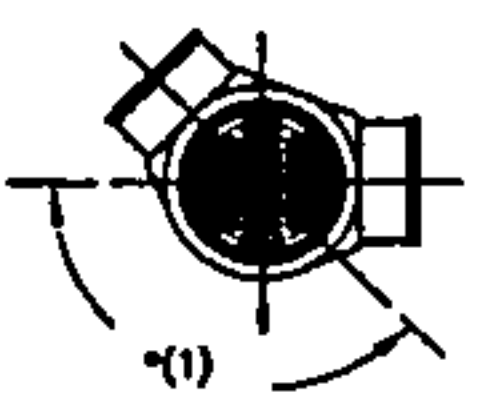
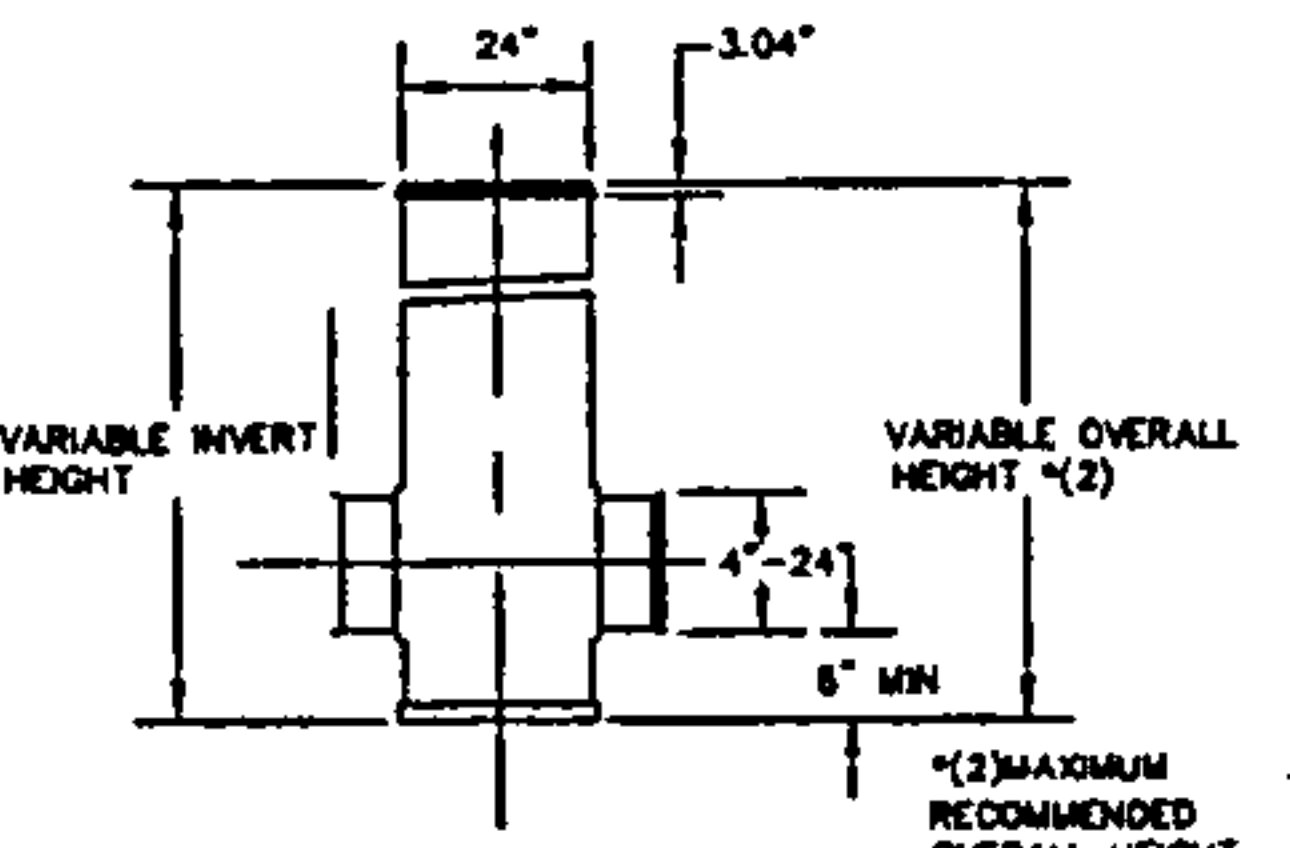
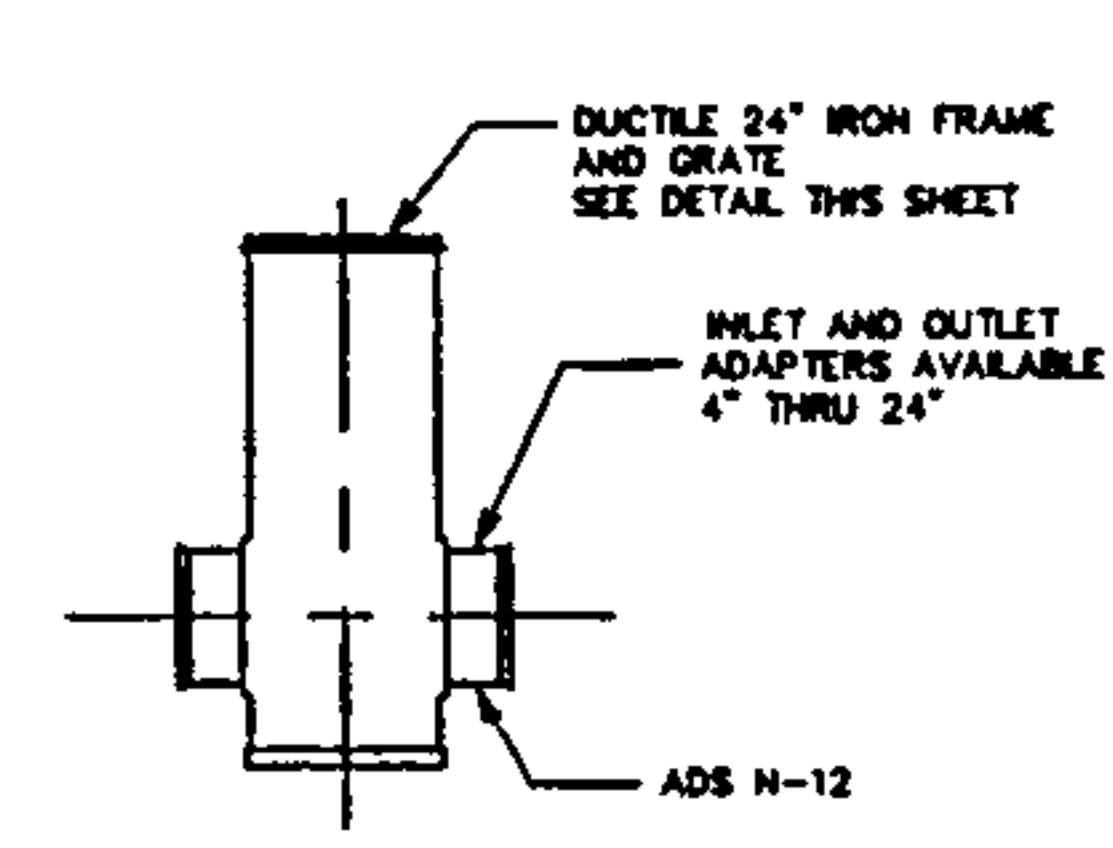
| NOMINAL PIPE SIZE (mm) | MIN. RECOMMENDED TRENCH WIDTH IN (mm) |
|------------------------|---------------------------------------|
| 18 (450) | 36 (900) |
| 30 (750) | 66 (1680) |
| 48 (1200) | 105 (3000) |

- MINIMUM COVER: MINIMUM RECOMMENDED DEPTHS OF COVER FOR VARIOUS LIVE LOADING CONDITIONS ARE SUMMARIZED IN THE FOLLOWING TABLE. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TAKEN FROM THE TOP OF PIPE TO THE GROUND SURFACE.

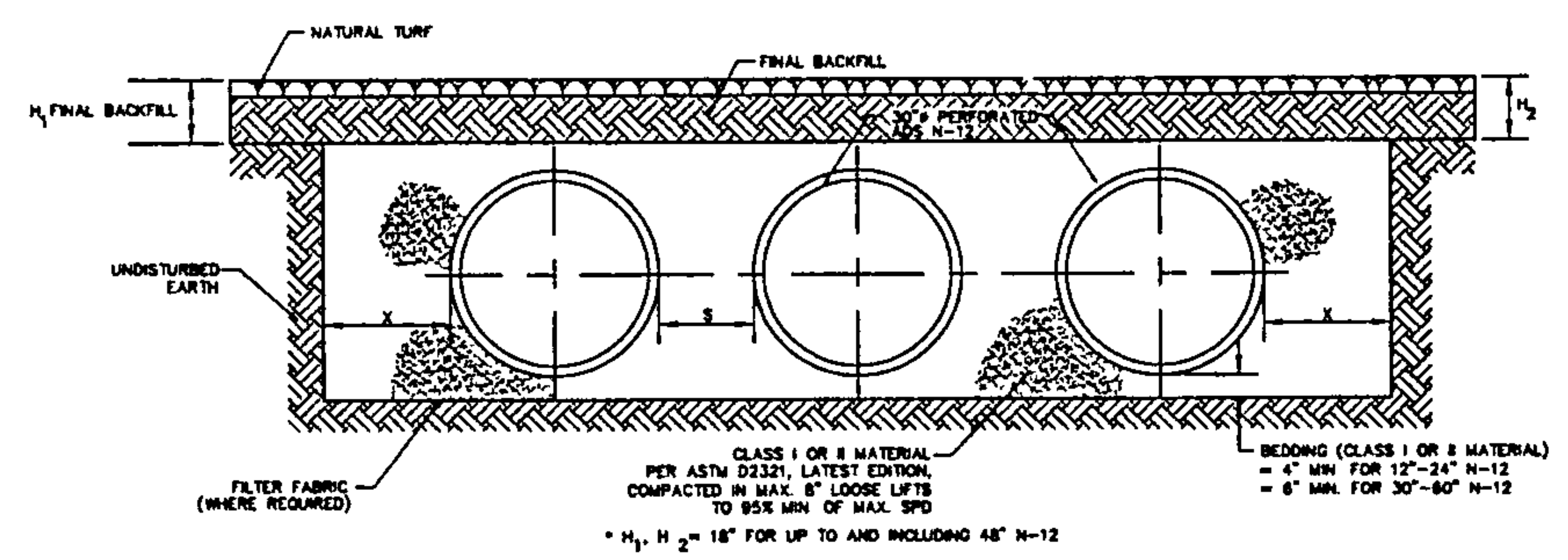
| SURFACE LIVE LOADING CONDITION | MINIMUM RECOMMENDED COVER IN (mm) |
|--------------------------------|-----------------------------------|
| H25 (FLEXIBLE PAVEMENT) | 12 (300) |

* TOP OF PIPE TO BOTTOM OF CONTINUOUS PAVEMENT SECTION

D2 TYPICAL TRENCH CROSS-SECTION
SCALE: NTS



D5 TYPICAL 24" DROP INLET DETAIL
SCALE: NTS

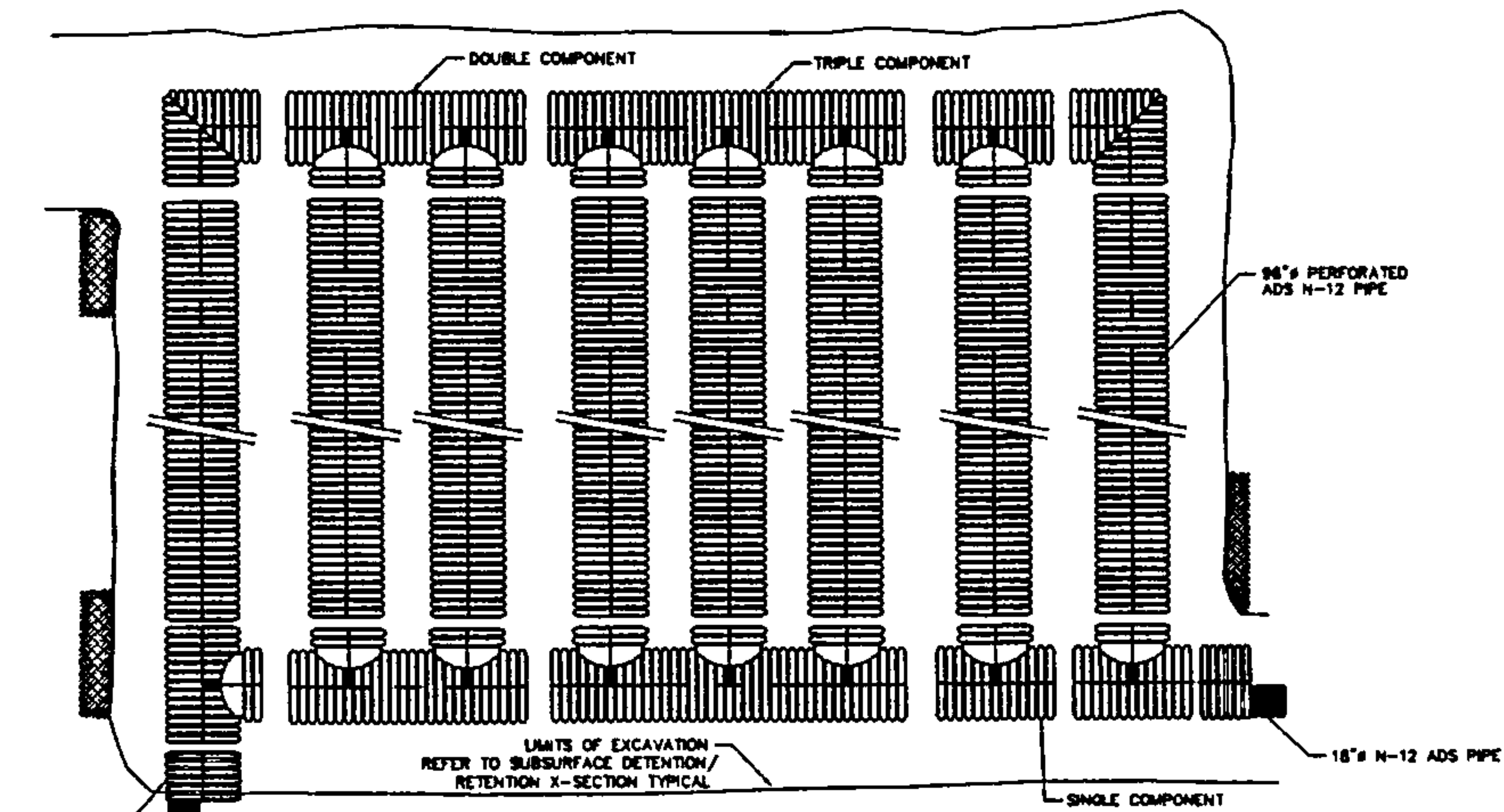


NOTES:

- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS," LATEST EDITION.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOR MORE DETAILED INFORMATION, SEE ADS TECHNICAL NOTE 2120, "STORM WATER DETENTION/RETENTION SYSTEM DESIGN"

| NOMINAL DIAMETER | MINIMUM X | MINIMUM S |
|------------------|-----------|-----------|
| 96" | 3' | 3' |

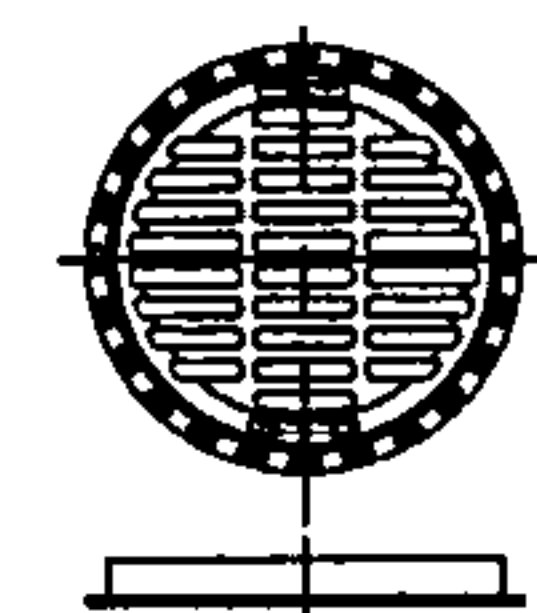
A4 SUBSURFACE DETENTION/RETENTION X-SECTION TYPICAL
SCALE: NTS



NOTES POND J

- AREA = 5,500 ft²
- LENGTH OF 96" PERFORATED REQUIRED IS 440 LF.
- CONTRACTOR SHALL COORDINATE WITH PIPE MANUFACTURER TO DEVELOP AND SUBMIT FINAL SUBSURFACE SYSTEM LAYOUT TO ENGINEER FOR APPROVAL PRIOR TO PIPE PROCUREMENT.

A1 SUBSURFACE DETENTION/RETENTION SYSTEM PLAN
SCALE: NTS



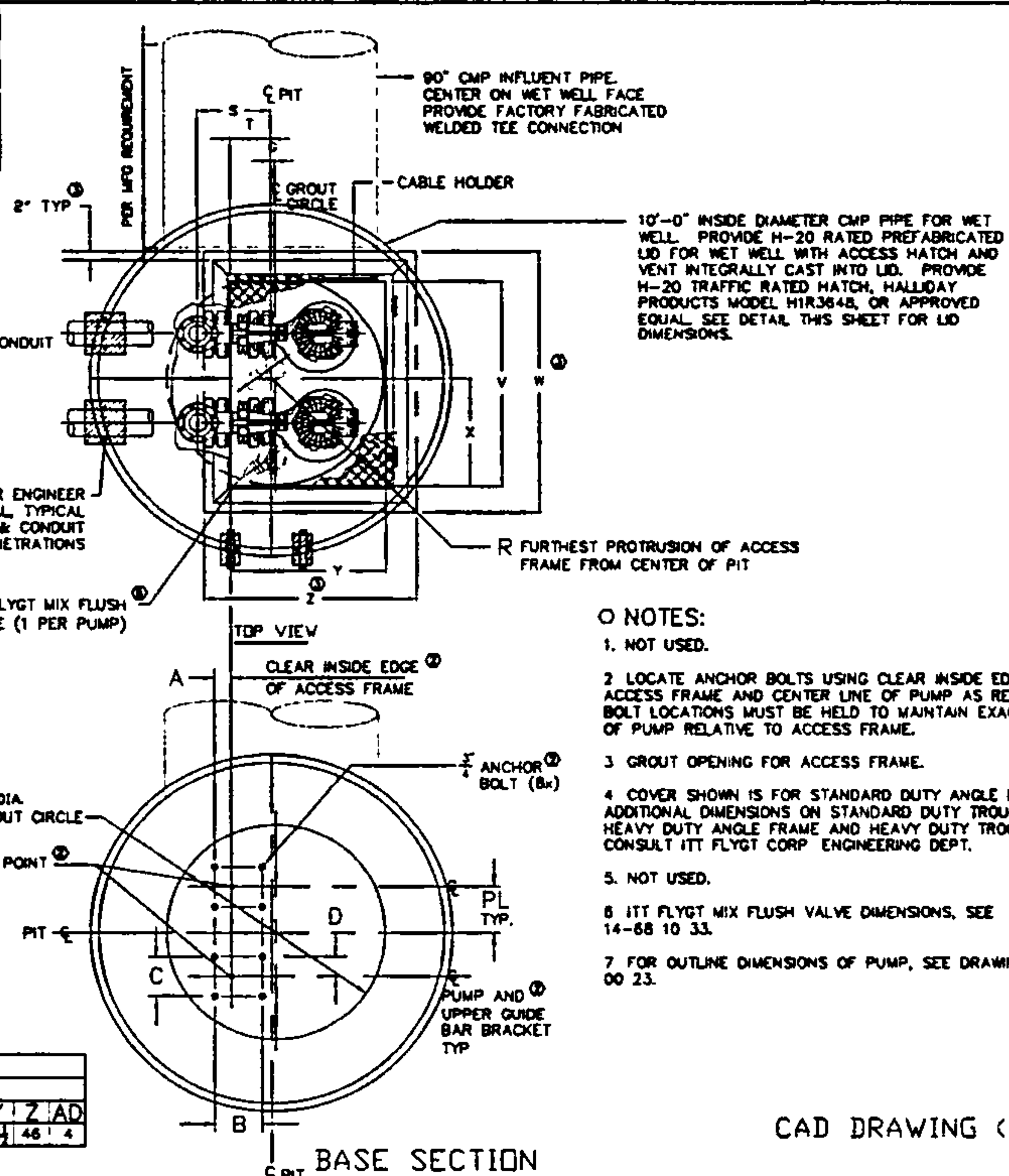
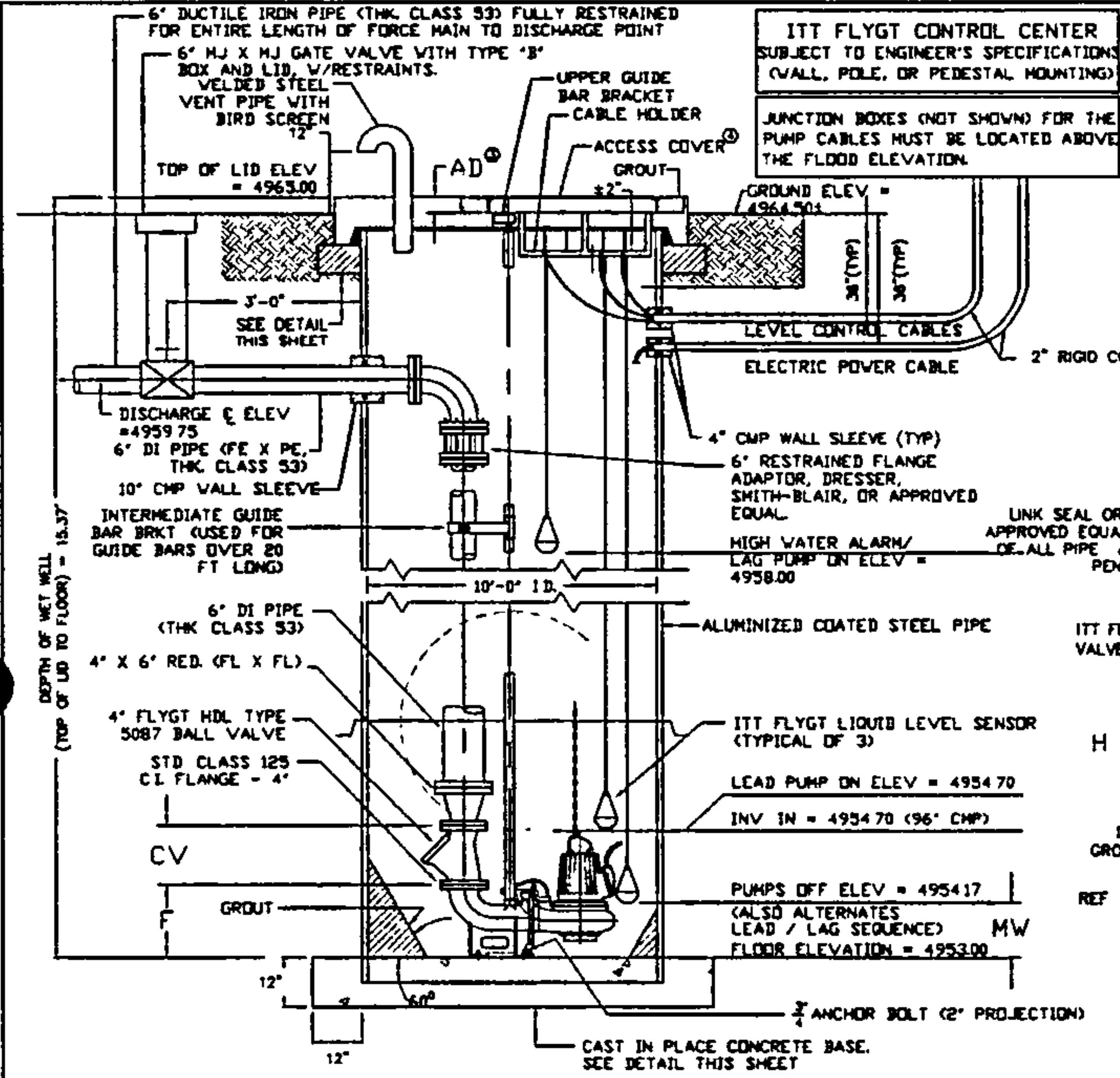
C4 24" GRATE DETAIL
SCALE: NTS

NOTES:

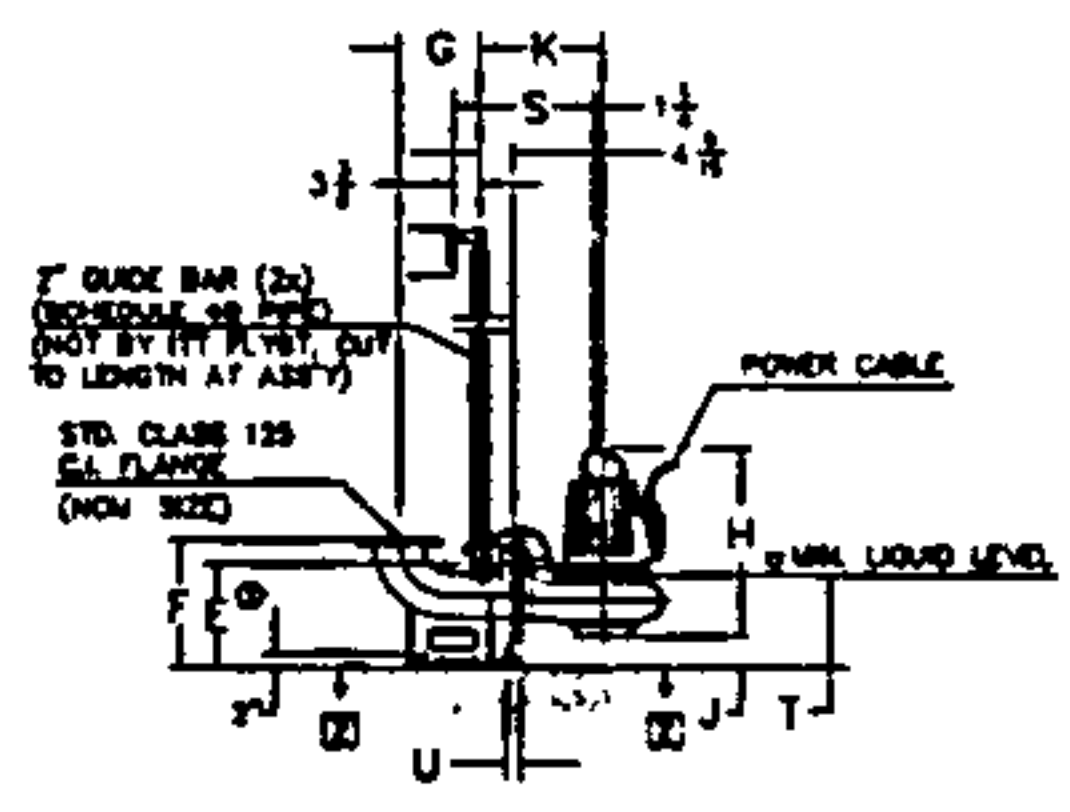
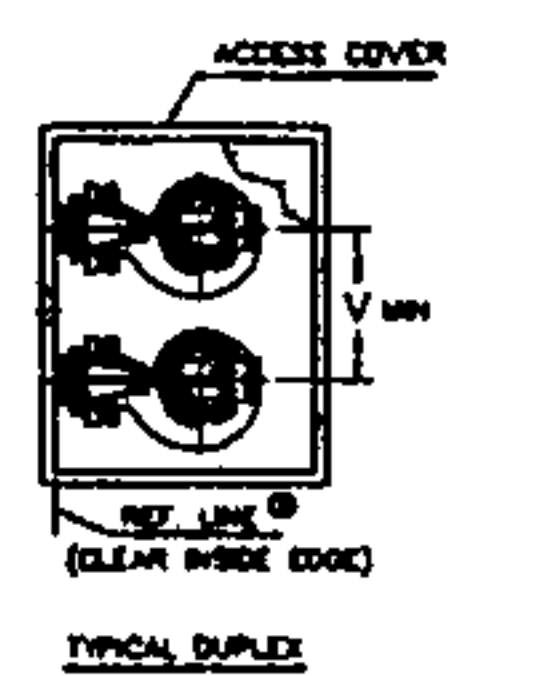
- STANDARD GRATE AND COVER HAVE H-25 HEAVY DUTY RATING.
- PEDESTRIAN GRATE HAS H-10 MEDIUM DUTY RATING.
- QUALITY MATERIALS SHALL CONFORM TO ASTM A538 GRADE 70-50-05. MATERIAL DUCTILE IRON FRAME, CASTINGS ARE FURNISHED WITH A BLACK PAINT.
- LOCKING DEVICE AVAILABLE UPON REQUEST PRICE INCLUDES FRAME & GRATE/COVER.

DRAIN AREA = 194.60 SQ. IN.
WEIGHT W/ FRAME = 124.00 LBS.
*APPROXIMATE

| | | | |
|---|------------------------|------------------|--------------|
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | | | |
| 12TH & I-40 GRADING & DRAINAGE DETAILS | | | |
| Design Review Committee | City Engineer Approval | City Project No. | Zone Map No. |
| | | XXXX.XX | H-13 |
| Sheet | Of | 2 | 5 |



- NOTES:**
1. DIMENSION TO ENDS OF GUIDE BARS.
 2. REPRESENTS CLEAR INSIDE EDGE OF ACCESS FRAME OR OPENING.
 3. SEE STATION DWG 14-68 15 80 FOR COMPLETE INSTALLATION DIMENSIONS.



| NO. | TYPE | REVISION | DATE |
|-----|-------|----------|----------|
| 1 | CP/NP | HT | 02-15-80 |

- NOTES:**
1. NOT USED.
 2. LOCATE ANCHOR BOLTS USING CLEAR INSIDE EDGE OF ACCESS FRAME AND CENTER LINE OF PUMP AS REF POINT. BOLT LOCATIONS MUST BE HELD TO MAINTAIN EXACT POSITION OF PUMP RELATIVE TO ACCESS FRAME.
 3. GROUT OPENING FOR ACCESS FRAME.
 4. COVER SHOWN IS FOR STANDARD DUTY ANGLE FRAME. FOR ADDITIONAL DIMENSIONS ON STANDARD DUTY TROUGH FRAME, HEAVY DUTY ANGLE FRAME AND HEAVY DUTY TROUGH FRAME, CONSULT ITT FLYGT CORP. ENGINEERING DEPT.
 5. NOT USED.
 6. ITT FLYGT MIX FLUSH VALVE DIMENSIONS, SEE DRAWING 14-68 10 33.
 7. FOR OUTLINE DIMENSIONS OF PUMP, SEE DRAWING 14-68 00 23.

ALL DIMENSIONS IN INCHES

| TYPE | NO. | REVISION | DATE |
|-------|-----|----------|----------|
| CP/NP | 4 | HT | 02-15-80 |

ALL DIMENSIONS IN INCHES

| VERSION | NO. SIZE | VERSION | STATION | COVER |
|---------|----------|---------|--|-----------------------|
| CP | 4 | HT | A B C D E F G H I J K L M N O P Q R S T U V W X Y Z AD | SIZE 14 58 24 33 48 4 |

GENERAL NOTES

1. CONSTRUCTION OF LIFT STATION INCLUDES TWO (2) FLYGT MODEL NP-3127 HT PUMPS (CURVE NO. 83-889-00-2255), 8-INCH DISCHARGE, 193 RPM IMPELLER, 7.5 HP, 3-PHASE, 460V, 60HZ, EACH CAPABLE OF 908.2 GPM AT 14.2 FT TDH. EACH PUMP SHALL BE FITTED WITH A FLYGT MIX-FLUSH VALVE.
2. ALL LIFT STATION EQUIPMENT INCLUDING GUIDE RAILS, PUMP DISCHARGE ELBOWS, CHECK VALVES, PLUG VALVES, ACCESS COVER, CONTROL PANEL, AND OTHER REQUIRED ACCESSORIES, SHALL BE INCLUDED AS IF FULLY DETAILED OR SPECIFIED.
3. THE DIMENSIONS SHOWN FOR PUMPS AND VALVE LAYOUT ARE BASED ON ONE OR MORE MANUFACTURER'S DESIGNS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS OF PARTICULAR EQUIPMENT BEING FURNISHED AND TO MAKE SUCH CHANGES, AS REQUIRED, TO INSTALL EQUIPMENT IN SPACE PROVIDED.
4. ALL INTERIOR GROUT AND CONCRETE SURFACES OF WET WELL TO RECEIVE A PROTECTIVE COATING OF SHERWIN-WILLIAMS "KEM-CATH-COAT HS" EPOXY FILLER/SEALER AND SHERWIN-WILLIAMS "HI-MIL-SHER-TAR EPOXY". THE EXPOSED CMP PORTION OF WET WELL BELOW THE INFLUENT PIPE INVERT TO RECEIVE A PROTECTIVE COATING OF SHERWIN-WILLIAMS "HI-MIL-SHER-TAR EPOXY" OF 14 TO 18 MILS. PRIMER AND COATING TO BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
5. ALL BACKFILL MATERIAL SHALL BE STRUCTURAL BACKFILL.
6. ALL PIPING, TO LIMITS SHOWN ON PLANS, WHETHER PLAIN END, FLANGE END, MECHANICAL JOINT, OR GROoved END, SHALL BE CENTRIFUGALLY CAST, DUCTILE IRON, THICKNESS CLASS 53, COMPLYING WITH ANSI/AWWA C151/A21.51.
7. ALL FITTINGS LOCATED INSIDE WET WELL AND/OR VALVE VAULT SHALL BE DUCTILE IRON CONFORMING WITH ANSI/AWWA C110/A21.10.
8. ALL BURIED FITTINGS LOCATED BEYOND VALVE VAULT SHALL BE DUCTILE IRON M.J. X M.J. CONFORMING TO ANSI/AWWA C110/A21.10 WHERE RESTRAINED JOINTS ARE NOT REQUIRED, M.J. GLANDS SHALL CONFORM TO ANSI/AWWA C111/A21.11. WHERE RESTRAINED JOINTS ARE REQUIRED, MEGA-LUG RETAINING GLANDS SHALL BE USED. ALL BURIED FITTINGS TO BE WRAPPED IN POLYETHYLENE TUBING OR TAPE CONFORMING TO ANSI/AWWA C105/A21.5.

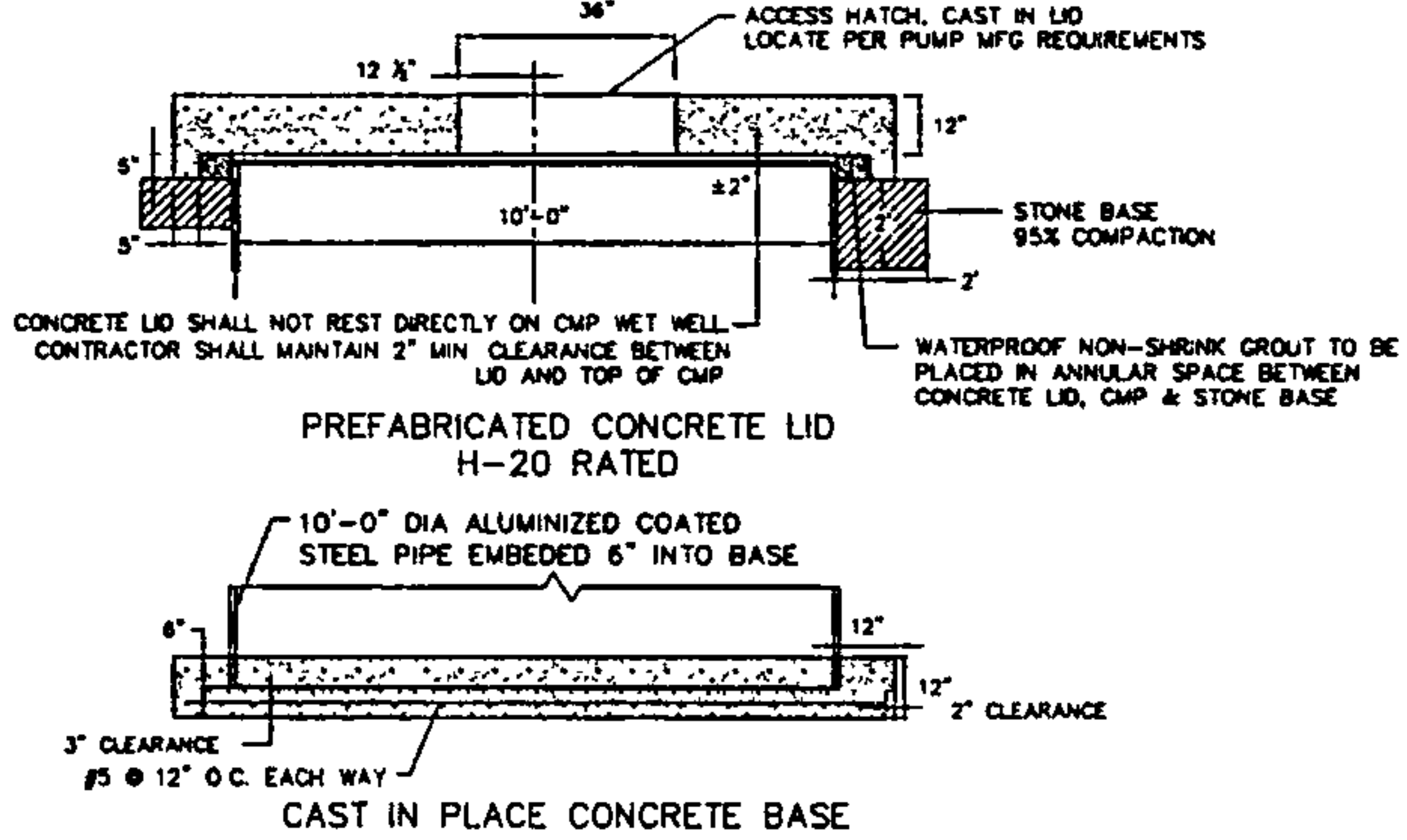
9. CONTROL PANEL TO HAVE AN AUDIBLE ALARM W/PUSH BUTTON OVERRIDE.
10. CONTRACTOR SHALL ARRANGE TO ESTABLISH ELECTRICAL SERVICE IN THE NAME OF "LOWE'S" AND SHALL INSTALL ELECTRICAL CONNECTION TO PROVIDE A FULLY OPERATIONAL LIFT STATION. SEE SHEETS ___ & ___ FOR ELECTRICAL DETAILS.
11. PUMP CONTROL ELEVATIONS:
ALL PUMPS OFF ————— 4949.30
LEAD PUMP ON ————— 4949.80
HIGH WATER ALARM/LAG PUMP ON — 4958.00
12. INTERIOR OF WELDED STEEL VENT PIPE TO BE COATED WITH SHERWIN-WILLIAMS "DURA-POK" WATER BASED EPOXY PRIMER, PER MANUFACTURER'S RECOMMENDATIONS. EXTERIOR OF VENT TO BE COATED WITH SHERWIN-WILLIAMS "DURA-POK" WATER BASED EPOXY PRIMER AND "DURA-POK" WATER BASED EPOXY FINISH, PER MANUFACTURER'S RECOMMENDATIONS. COLOR OF FINISH COAT SHALL BE FOREST GREEN. CONTRACTOR TO SUBMIT COLOR SAMPLE FOR APPROVAL BY OWNER PRIOR TO ORDERING PRODUCT.

FLYGT NOTES:

1. DIMENSION PROVIDED BY DESIGN ENGINEER.
2. LOCATE ANCHOR BOLTS USING CLEAR INSIDE EDGE OF ACCESS FRAME AND CENTER LINE OF PUMP AS REF POINT. BOLT LOCATIONS MUST BE HELD TO MAINTAIN EXACT POSITION OF PUMP RELATIVE TO ACCESS FRAME.
3. GROUT OPENING FOR ACCESS FRAME.
4. COVER SHOWN IS FOR STANDARD DUTY ANGLE FRAME. FOR ADDITIONAL DIMENSIONS ON STANDARD DUTY TROUGH FRAME, HEAVY DUTY ANGLE FRAME AND HEAVY DUTY TROUGH FRAME, CONSULT ITT FLYGT CORP. ENGINEERING DEPT.
5. NOT USED.
6. ITT FLYGT MIX FLUSH VALVE, ONE PER PUMP.

CAD DRAWING (D)

| NO. | REVISION | BY | DATE | APVD. | DATE | APVD. |
|-----|--|------|------|-------|------|-------|
| K | ADDED 8" CP/NP MODEL, VERSION HT | | 4/00 | DL | 4/00 | |
| J | FLE-B 36 x 48 WAS FAPS-34 x 49, NOM. SIZE 6" HT FLED-13 36 x 60 WAS FAPS-34 x 49 | DAV | 6/99 | DL | 2/00 | |
| H | ADDED 4" & 6" NP MODELS, HT VERSIONS | C.C. | 5/99 | DL | 5/99 | |



UNLESS OTHERWISE NOTED TOLERANCE DIM

FRACTIONS = 1/32
1 PLACE DEC = J
2 PLACE DEC = .02
3 PLACE DEC = .005
ANGLES = 2"

FLYGT

ITT FLYGT CORPORATION, TRUMBULL, CONNECTICUT 06411

THIS DOCUMENT IS THE PROPRIETARY PROPERTY OF ITT FLYGT CORP. IT HAS BEEN FURNISHED UPON THE UNDERSTANDING THAT IT SHALL NOT BE REPRODUCED, REPLICATED, USED, OR DISCLOSED IN WHOLE OR IN PART FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN PERMISSION OF ITT FLYGT AND SHALL BE CONSIDERED CONFIDENTIAL INFORMATION.

CP/NP 3127 DUPLEX LIFT STATION

| | | | | | |
|----------|------|----------|------|----------|------|
| DATE | BY | DATE | BY | DATE | BY |
| 09/10/12 | C.C. | 09/10/18 | V.H. | 09/10/26 | R.D. |
| 09/10/26 | R.D. | 09/10/26 | R.D. | | |

SCALE NONE

NUMBER 14-68 00 97

REV K

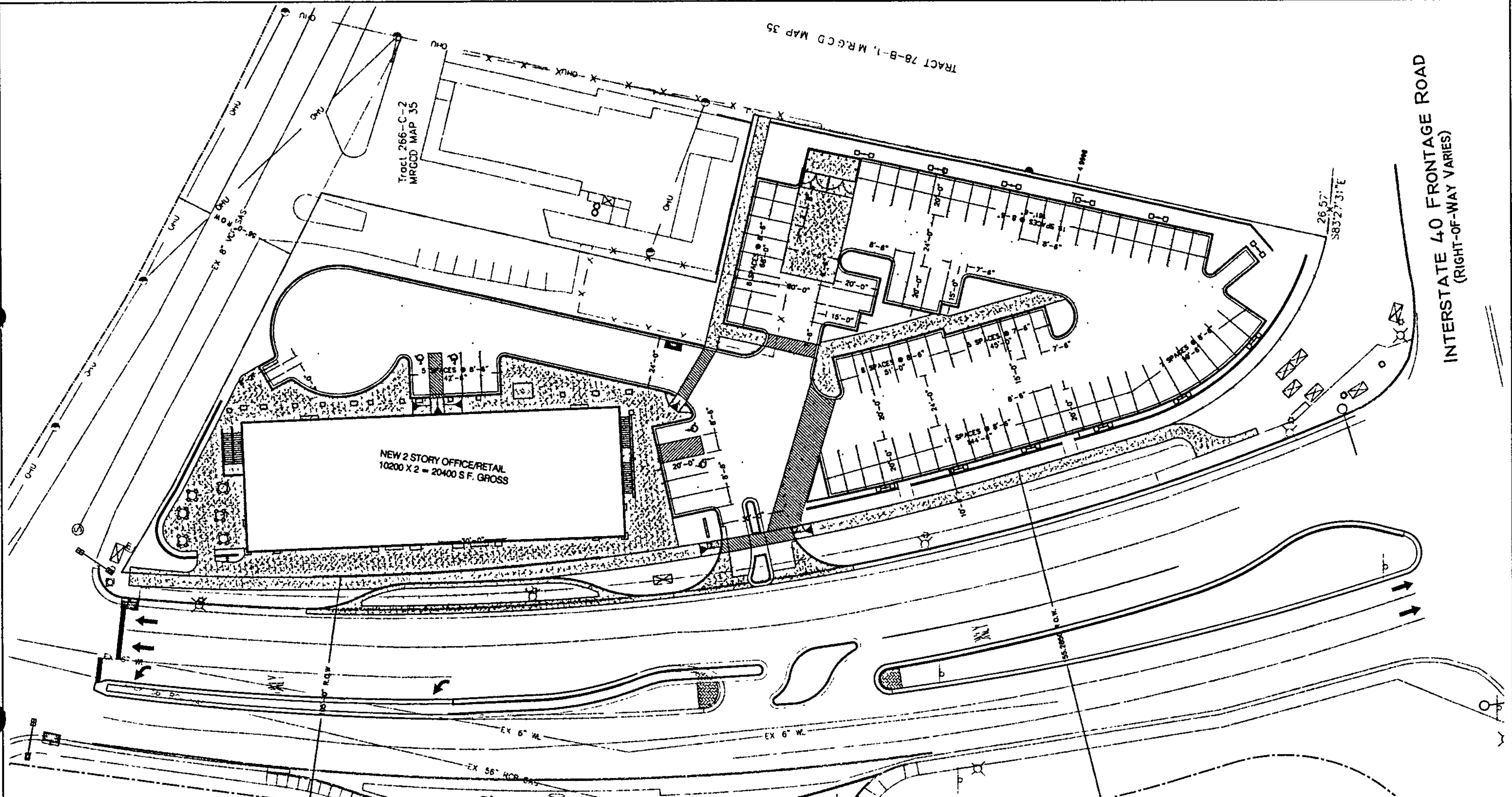
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

12TH & I-40
GRADING & DRAINAGE
DETAILS

| | | | |
|-------------------------|------------------------|-------|--------|
| Design Review Committee | City Engineer Approval | Scale | Sheet |
| | | | 3 of 5 |

City Project No. XXXX.XX Zone Map No. H-13

NOV 2006

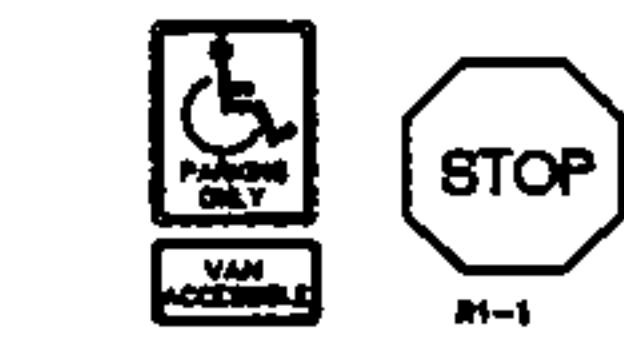


TRACT 78-B-1, M.R.C.C.D. MAP 35

TRACT 266-C-2
M.R.C.C.D. MAP 35

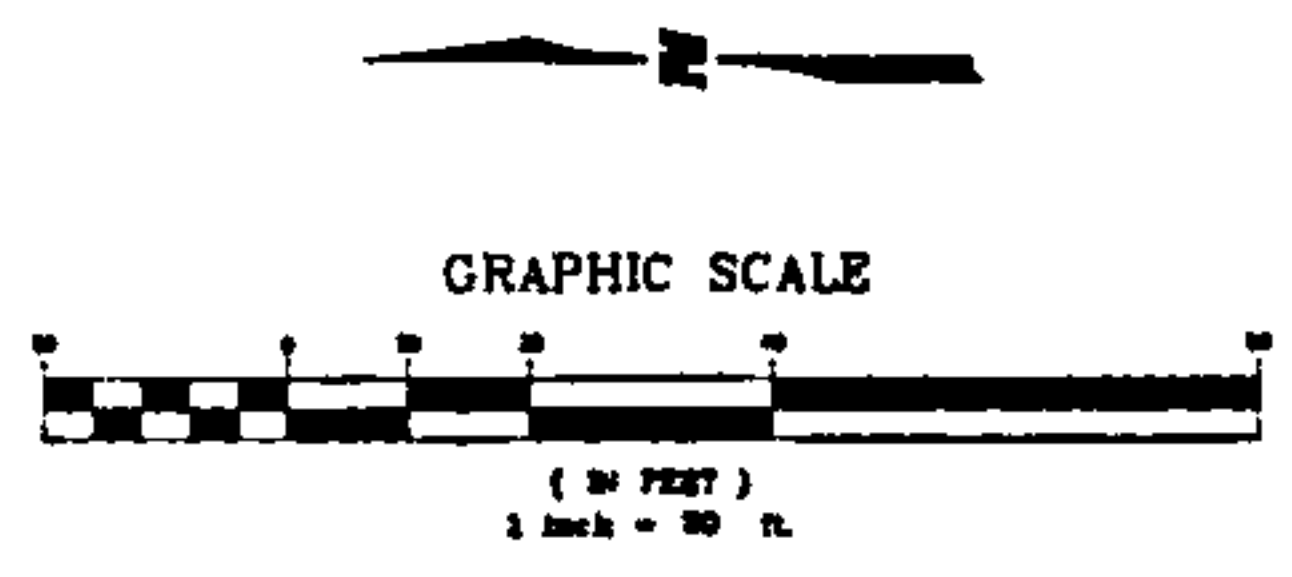
NEW 2 STORY OFFICE/RETAIL
10200 X 2 = 20400 S.F. GROSS

INTERSTATE 40 FRONTAGE ROAD
(RIGHT-OF-WAY VARIES)



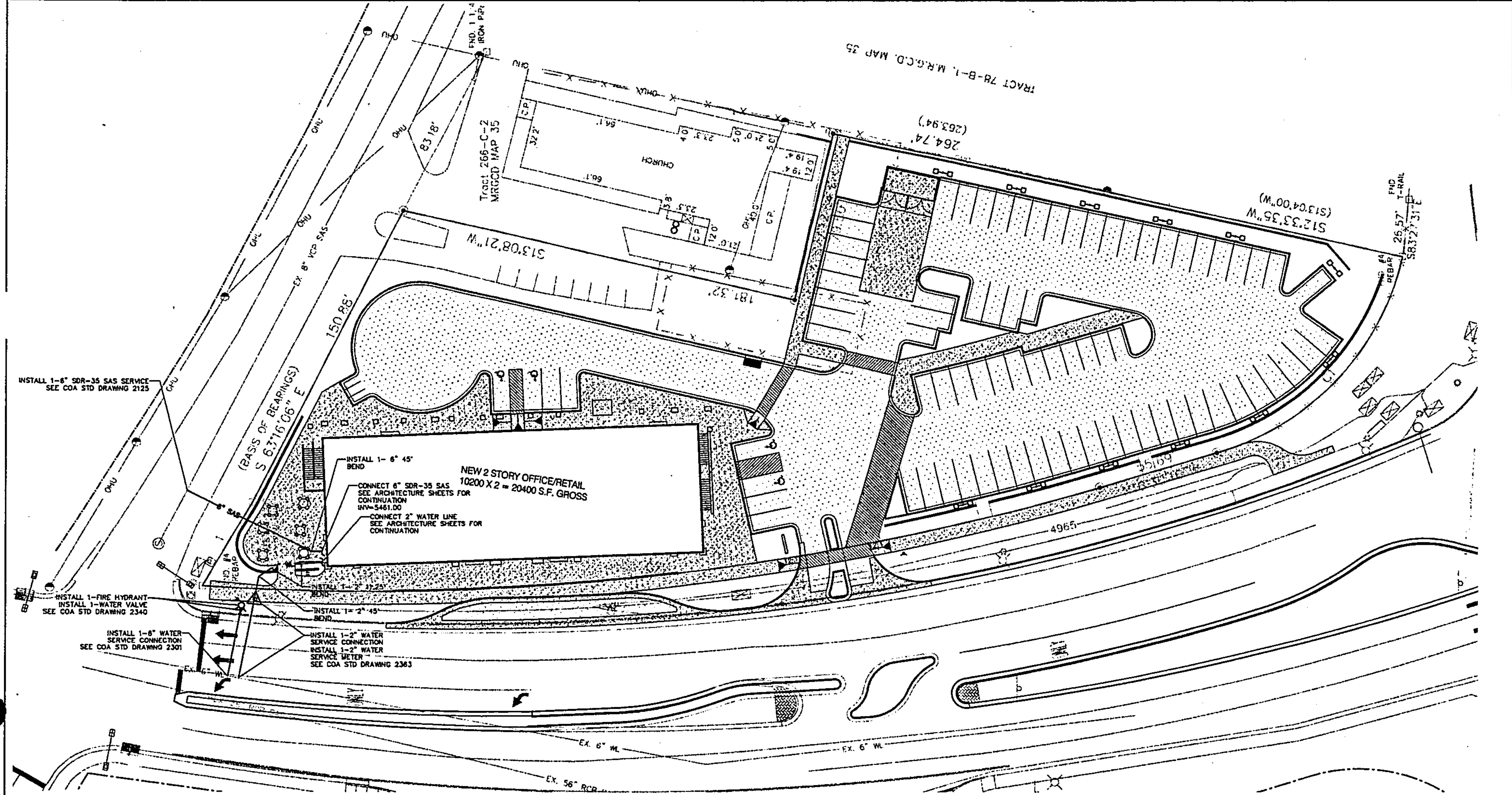
| | |
|---|---|
| <p>④ CURVE DATA</p> <p>$\Delta = 89.59^\circ$</p> <p>$R = 25.00'$</p> <p>$L = 39.27'$</p> <p>$T = 25.00'$</p> | <p>⑤ CURVE DATA</p> <p>$\Delta = 87.17^\circ$</p> <p>$R = 25.00'$</p> <p>$L = 38.08'$</p> <p>$T = 23.84'$</p> |
|---|---|

| LEGEND | |
|--------|---------------------------------|
| | PROPOSED MEDIAN CURB AND GUTTER |
| | PROPOSED RP RAP |
| | PROPOSED SAND/UT |
| | PROPOSED ASPHALT |
| | PROPOSED CONCRETE |
| | EXISTING PROPERTY LINE |



| | | | |
|---|------------------------|------------------|--------------|
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | | | |
| 12TH & I-40 TRAFFIC CIRCULATION PLAN | | | |
| Design Review Committee | City Engineer Approval | City Project No. | Zone Map No. |
| | | XXXX.XX | H-13 |
| Sheet | Of | 4 | 5 |

NOV 2008



INSTALL 1-8" SDR-35 SAS SERVICE
SEE COA STD DRAWING 2125

INSTALL 1-FIRE HYDRANT
INSTALL 1-WATER VALVE
SEE COA STD DRAWING 2340

INSTALL 1-8" WATER
SERVICE CONNECTION
SEE COA STD DRAWING 2301

INSTALL 1-8" 45'
BEND

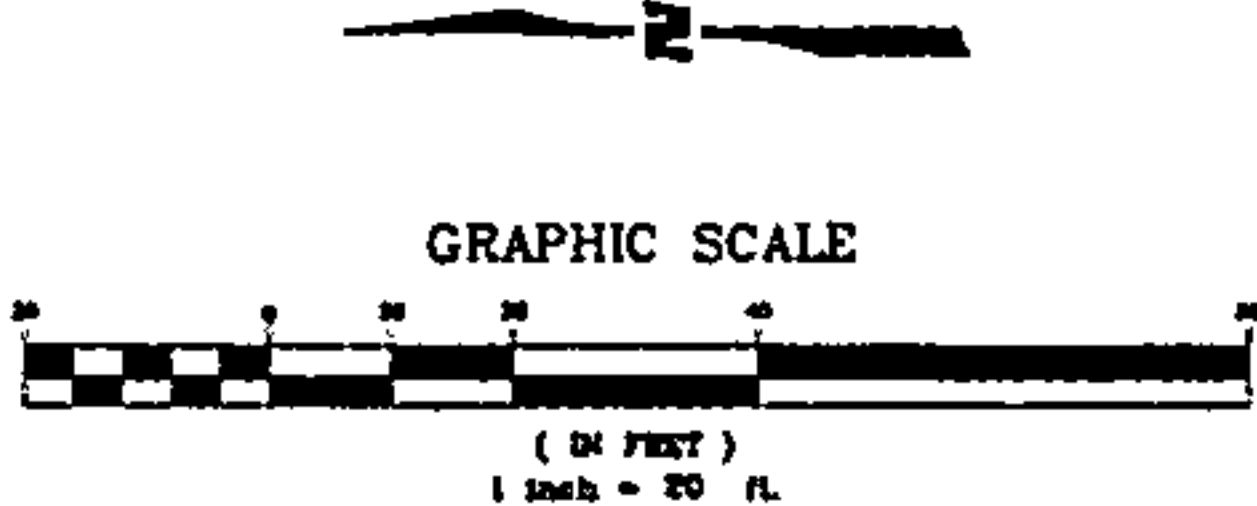
CONNECT 6" SDR-35 SAS
SEE ARCHITECTURE SHEETS FOR
CONTINUATION
INV=5481.00

CONNECT 2" WATER LINE
SEE ARCHITECTURE SHEETS FOR
CONTINUATION

INSTALL 1-2" 45'
BEND

INSTALL 1-2" WATER
SERVICE CONNECTION
INSTALL 1-2" WATER
SERVICE METER
SEE COA STD DRAWING 2363

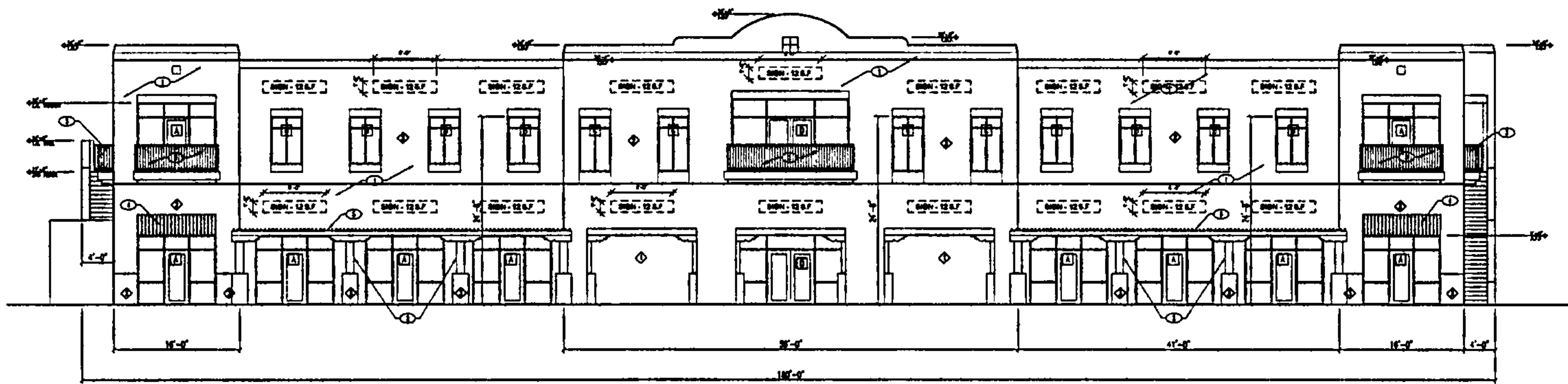
- LEGEND**
- 6" WL — PROPOSED WATER LINE
 - 2" SAS — PROPOSED SANITARY SEWER
 - - - EX. WL - - - EXISTING WATER LINE
 - - - EX. SAS - - - EXISTING SANITARY SEWER
 - - - - - EXISTING PROPERTY LINE



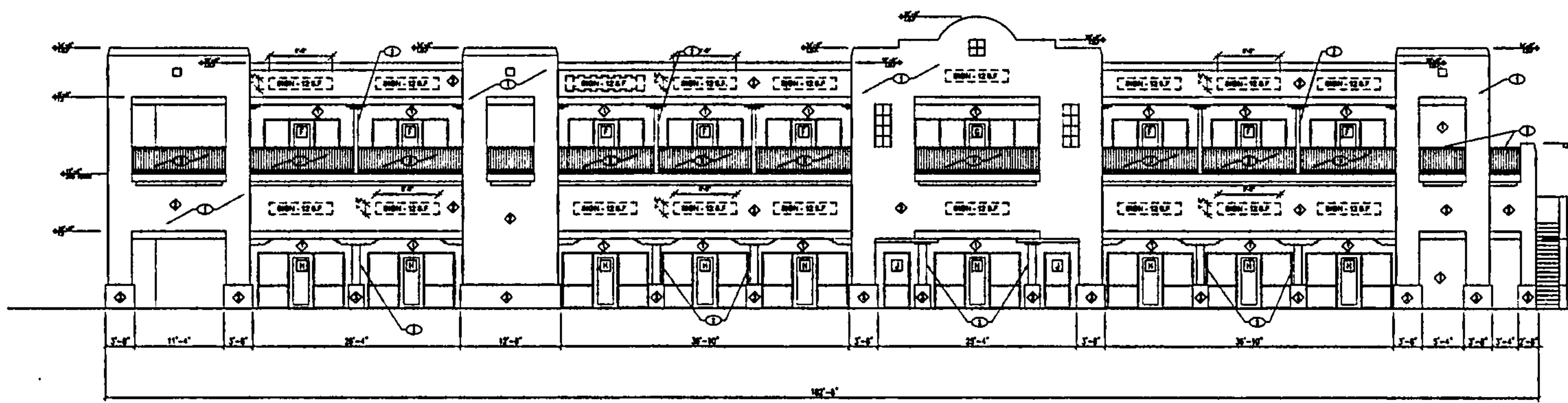
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| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | | | |
| 12TH & I-40 UTILITY PLAN | | | |
| Design Review Committee | City Engineer Approval | Lead Design Update | |
| | | | |
| City Project No. XXXX.XX | Zone Map No. H-13 | Sheet 5 | Of 5 |

NOV 2006

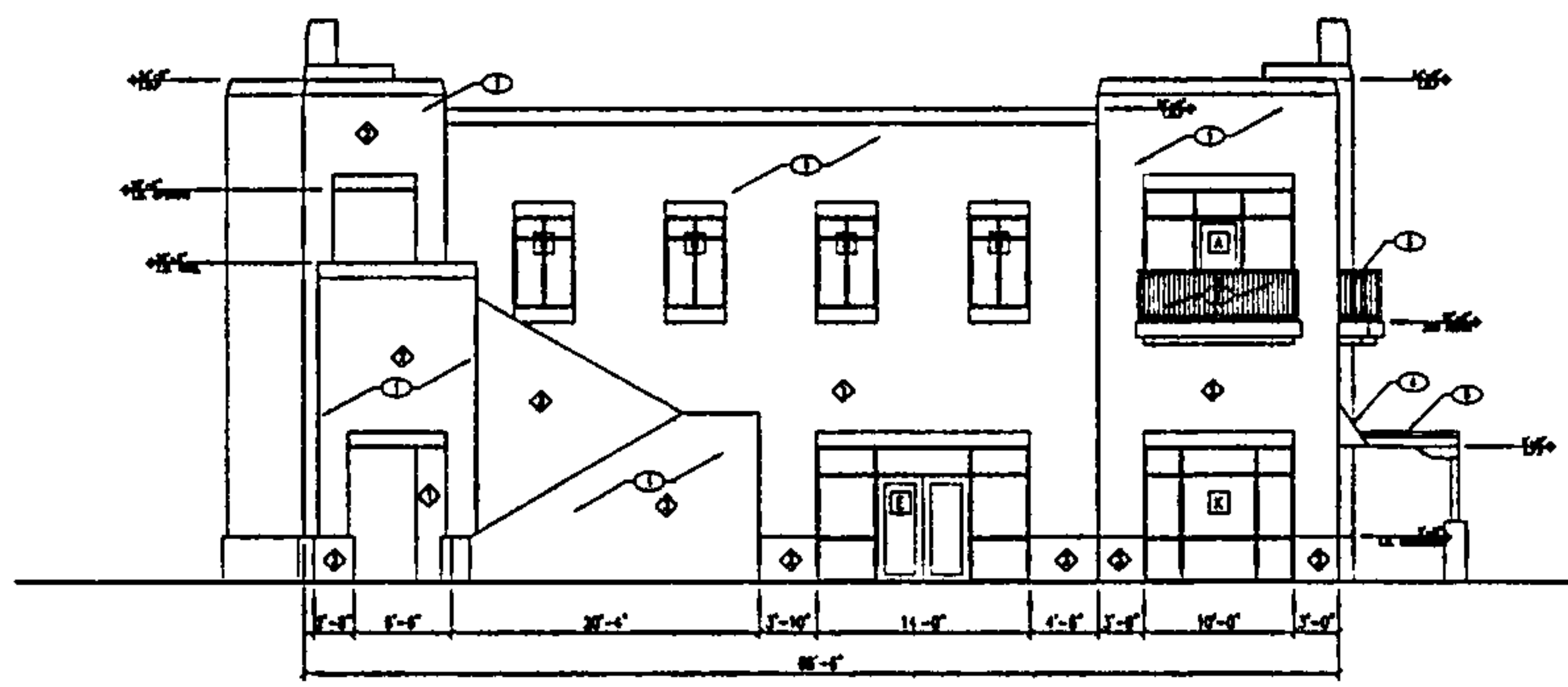
PROJECT: V1218000/VLE/0401/01-01/XXX



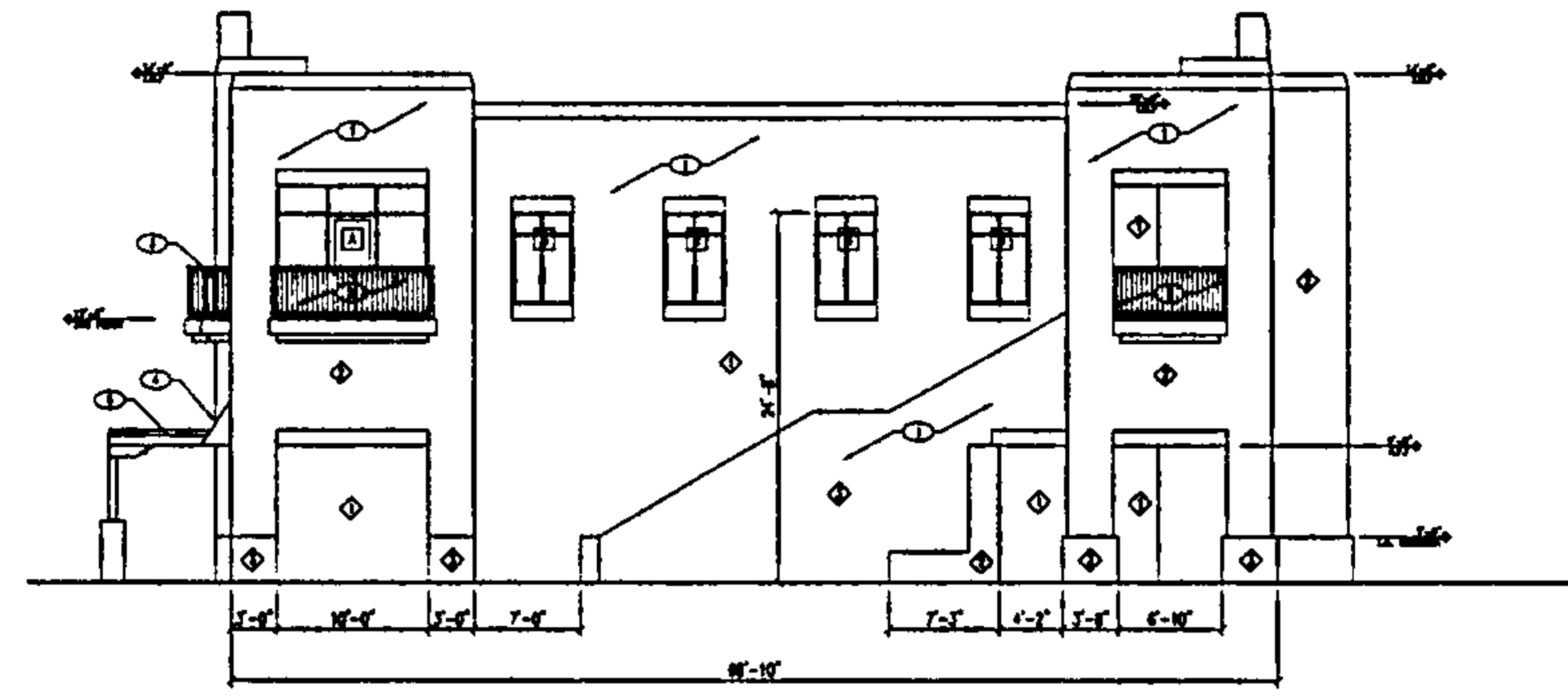
1 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

COLOR LEGEND

- ◇ STUCCO TO MATCH BIERWIN WILLIAMS COLOR: SW 6077 EVERYDAY WHITE (OFF WHITE)
- ◇ STUCCO TO MATCH BIERWIN WILLIAMS COLOR: SW 6084 SENSATIONAL SAND (LIGHT BROWN)
- ◇ STUCCO TO MATCH BIERWIN WILLIAMS COLOR: SW 6086 GROUNDING (DARK BROWN)

KEYED NOTES

- 1 PORTLAND CEMENT STUCCO SYSTEM SEE COLOR LEGEND FOR COLOR
- 2 WOODEN POST PAINT WHITE
- 3 METAL RAILING
- 4 METAL RAMPING
- 5 BRACE STRUCTURE OVER CAPE STRIP

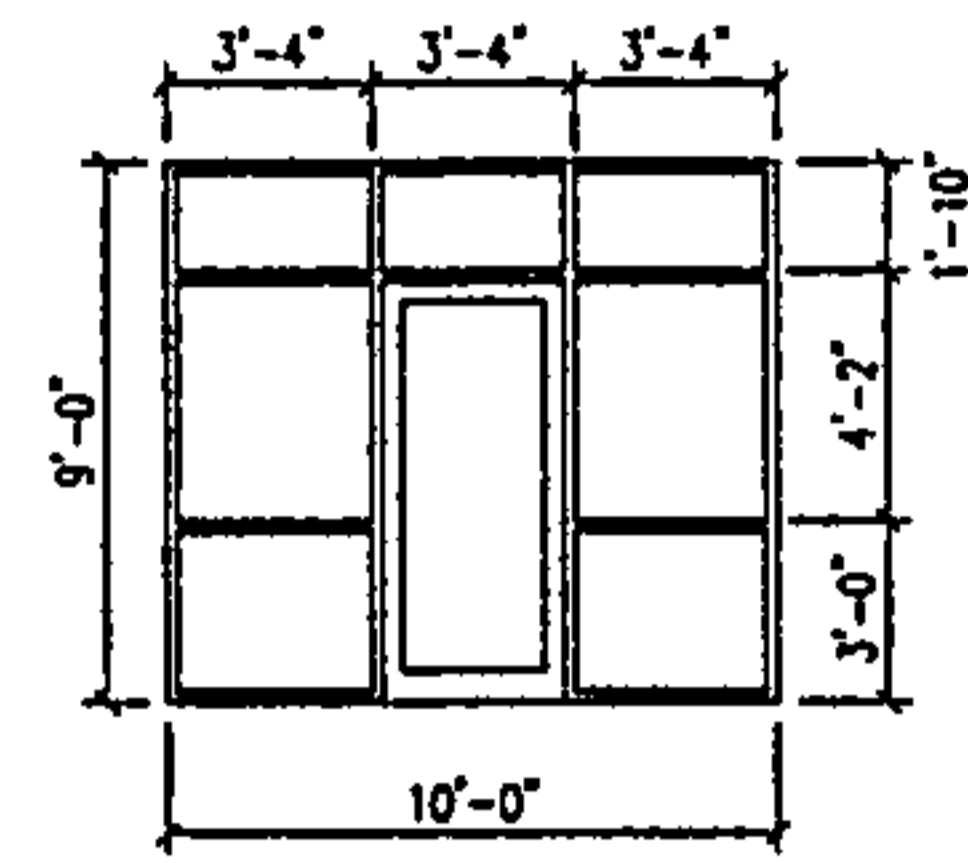
- NOTE: SEE SHEET 6 FOR WINDOW SIZES
- NOTE: ALL TENANT SIGNS TO BE BACKLIT METAL CHANNEL LETTERS SIGN COLOR TO BE DETERMINED BY TENANT.
- NOTE: BUILDING MOUNTED SIGNS SHALL NOT EXCEED 6% OF THE FACADE TO WHICH THEY ARE APPLIED MAXIMUM LOGO SIZE SHALL BE 2'-0" X 2'-0".
- NOTE: ALL SIGNS SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.
- NOTE: BLADE SIGNS TO BE PROVIDED FOR RETAIL SHOPS ON FIRST FLOOR. WEST SIDE OF BUILDING ONLY.
- NOTE: ALL GLAZING SHALL BE CLEAR WITH A LIGHT TRANSMISSION OF 90% ON THE GROUND FLOOR AND 75% ON THE SECOND FLOOR.
- NOTE: ALL TENANT SIGNS ON THE EAST SIDE OF THE BUILDING SHALL BE HALO LIT. SIGN COLOR TO BE DETERMINED BY TENANT.



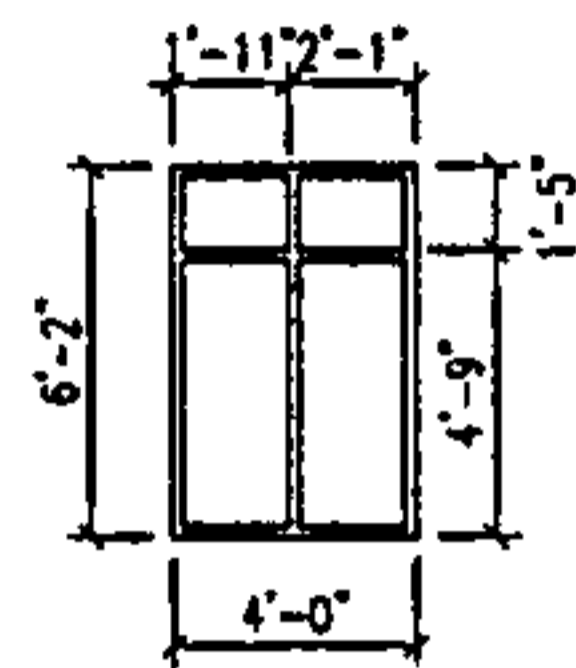
| REV | DATE | BY | REVISION |
|-----|----------|-----|-------------------|
| 1 | 12-11-07 | JCS | DRG. SUBMITTAL |
| 2 | 2-26-07 | JCS | EPC REVISIONS |
| 3 | 05-26-08 | JCS | ELEVATION CHANGES |
| 4 | 7-12-08 | JCS | EPC DEFENSES |

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2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

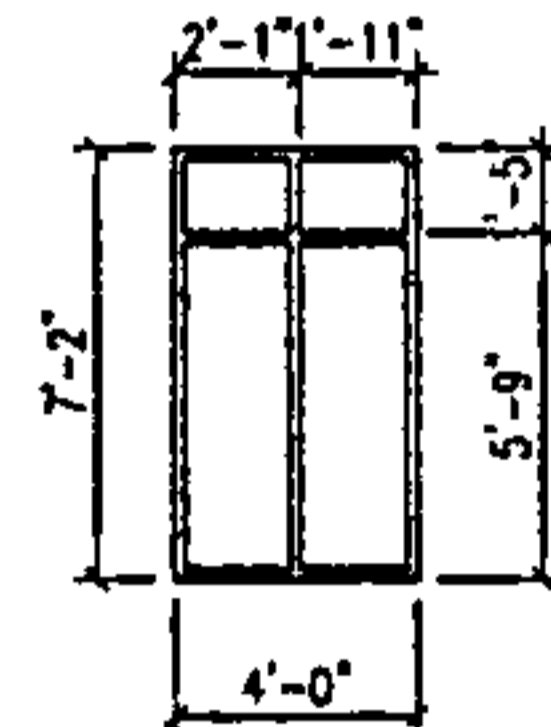
| | |
|--|---------------------------|
| PROJECT TITLE 12TH AND INDIAN SCHOOL 12TH AND INDIAN SCHOOL Albuquerque, NM | DATE 08/008 |
| PROJECT MANAGER George Rainhart, AIA | SCALE AS NOTED |
| DRWING BY JCS | SHEET TITLE ELEVATIONS |



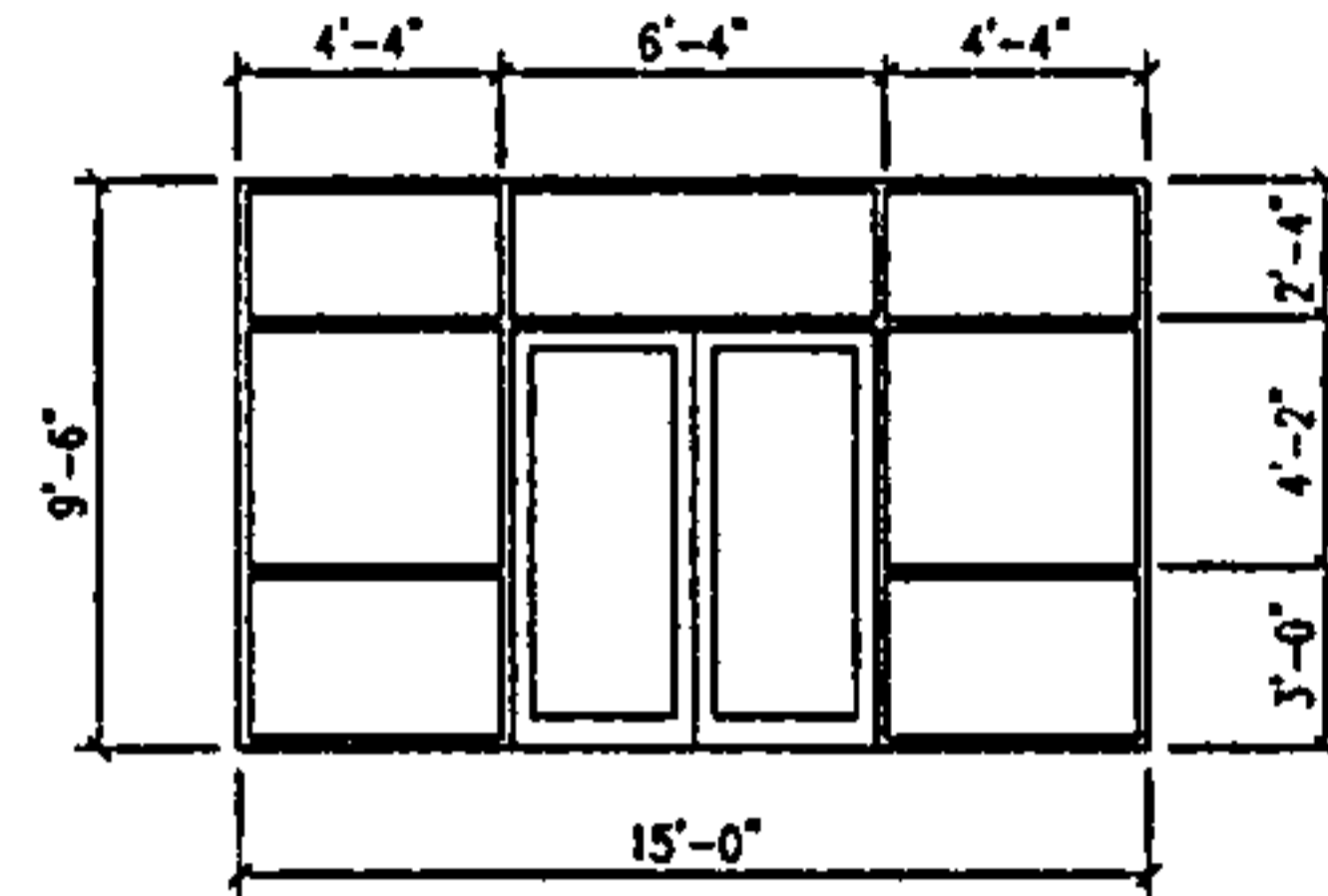
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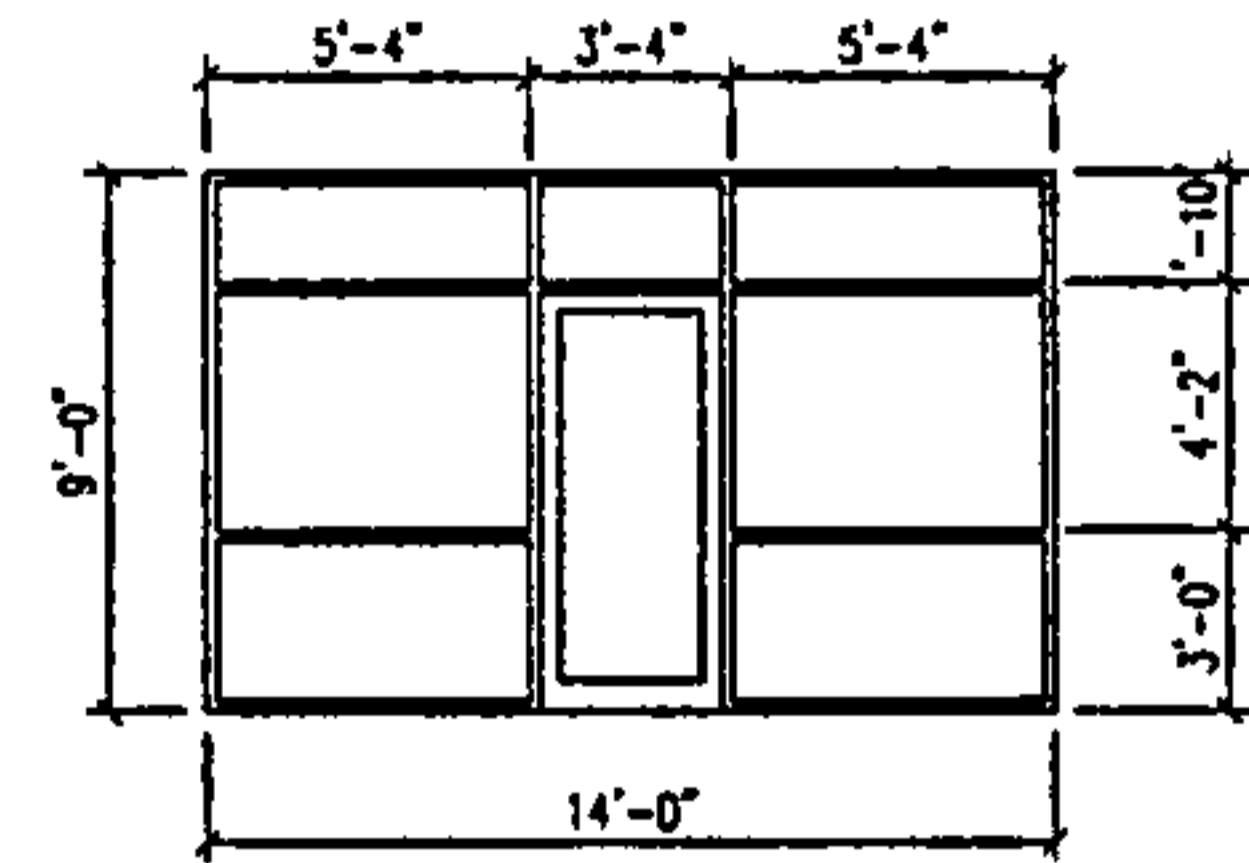
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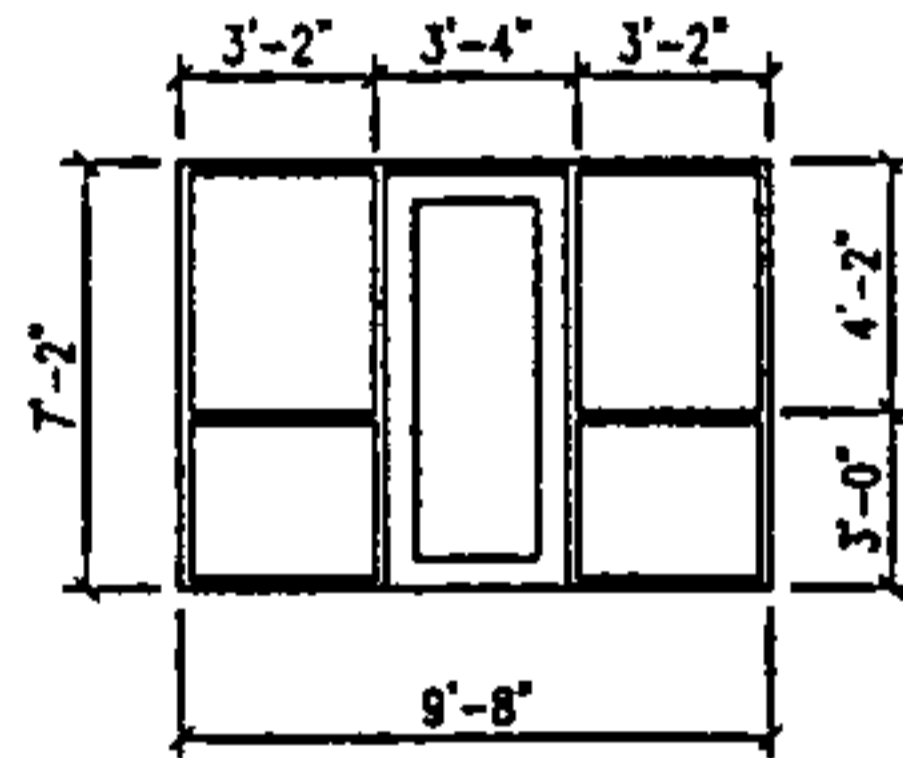
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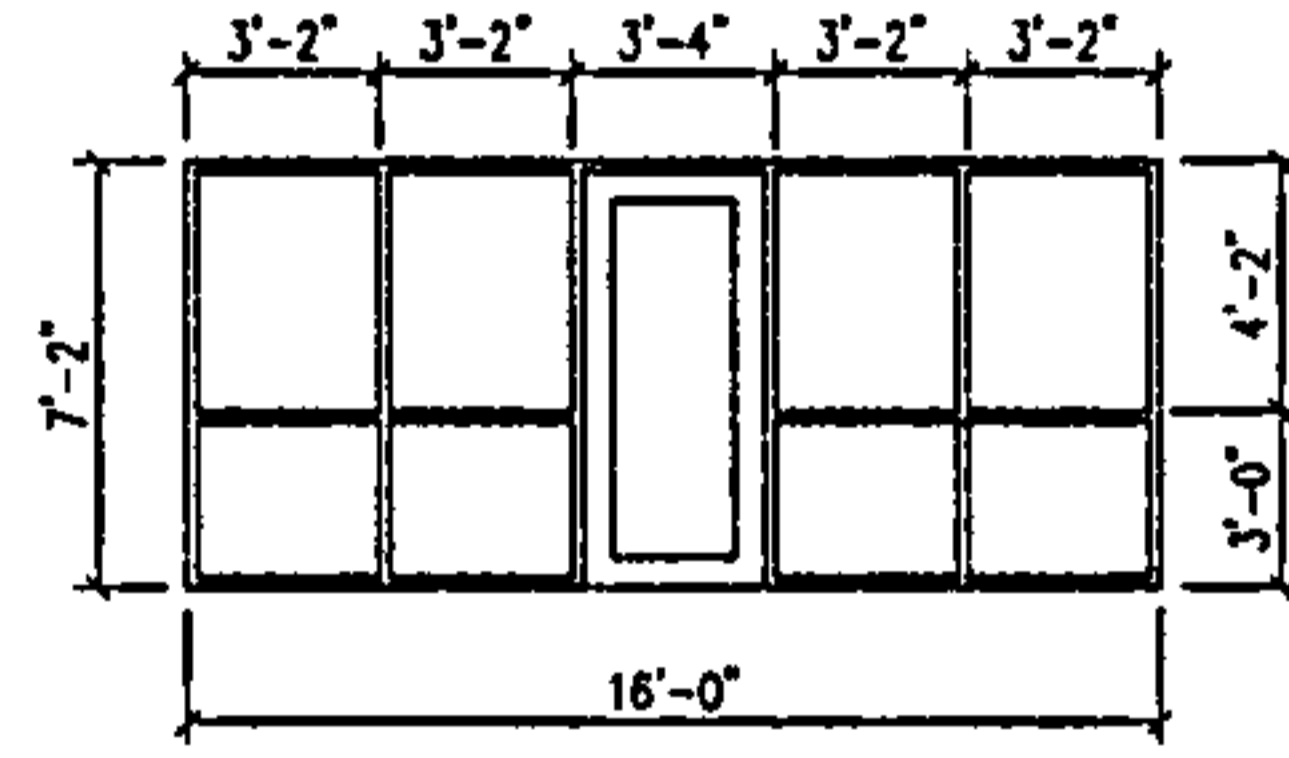
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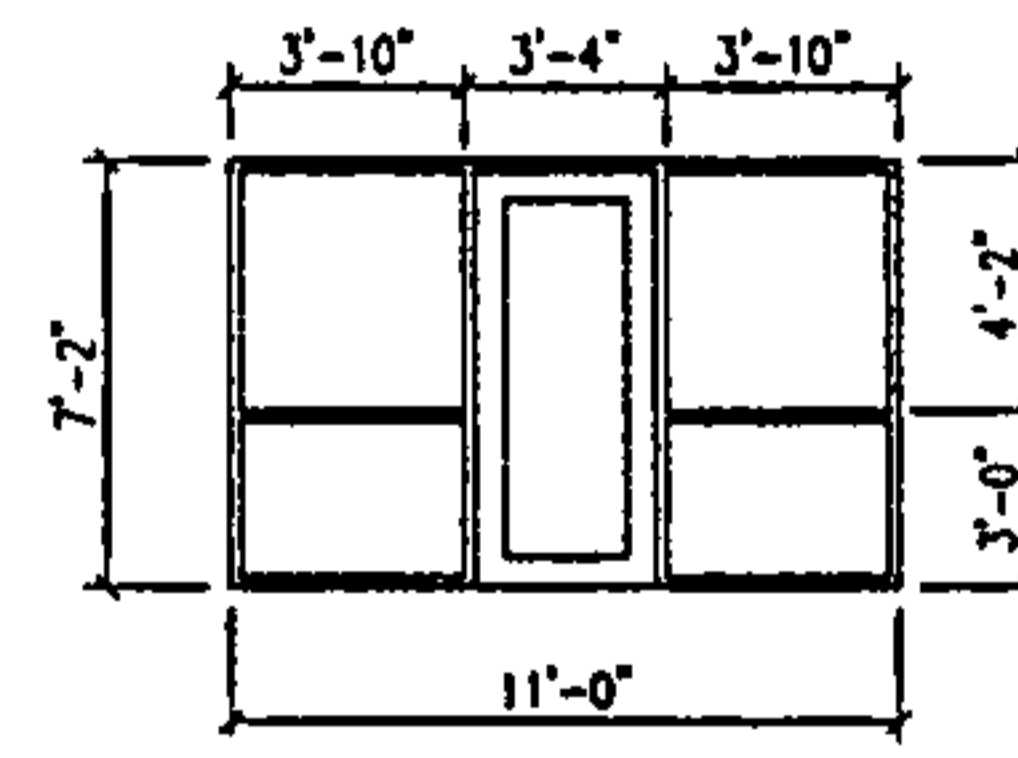
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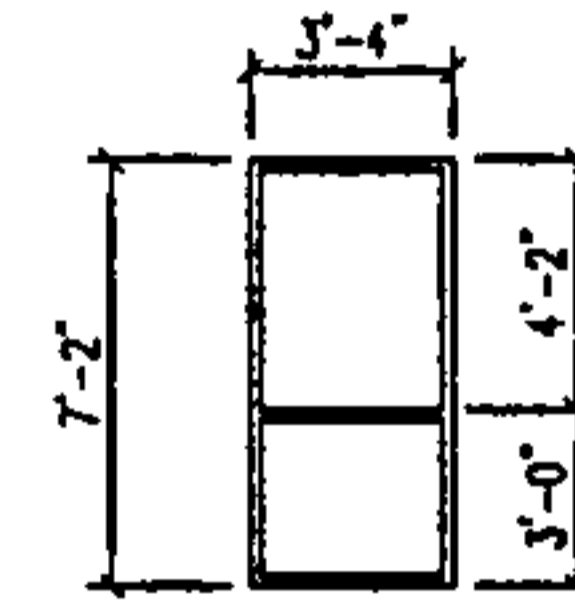
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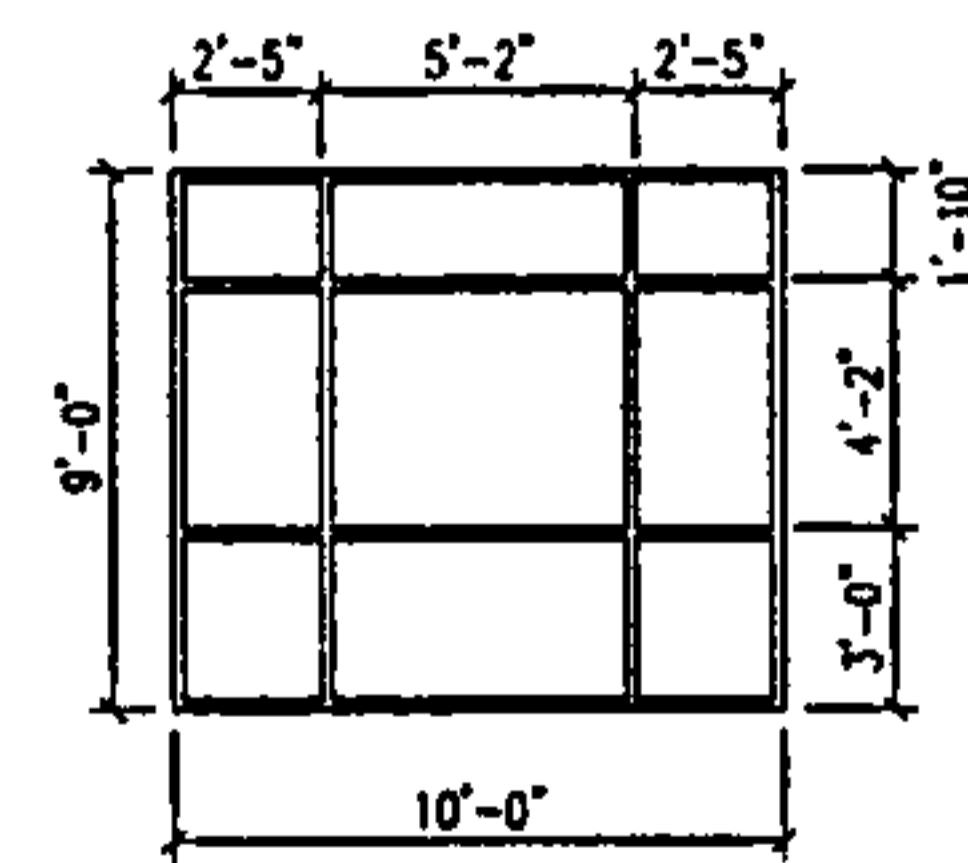
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H



I




K

1 WINDOW ELEVATIONS
1/4" = 1'-0"

WINDOW COLOR TO BE BRONZE ANODIZED ALUMINUM.

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 GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

| | | | |
|------------------|------------------------|-------|----------|
| PROJECT TITLE | 12TH AND INDIAN SCHOOL | DATE | 08/2006 |
| PROJECT LOCATION | Albuquerque, NM | SCALE | AS NOTED |
| PROJECT NUMBER | 12TH AND INDIAN SCHOOL | DATE | 08/2006 |
| JOB NO. | | BY | JCS |
| SHEET TITLE | ELEVATIONS | DATE | 08/2006 |
| | | BY | JCS |



3479

DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1003497

TO: ALL MEMBERS

Application No. _____

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

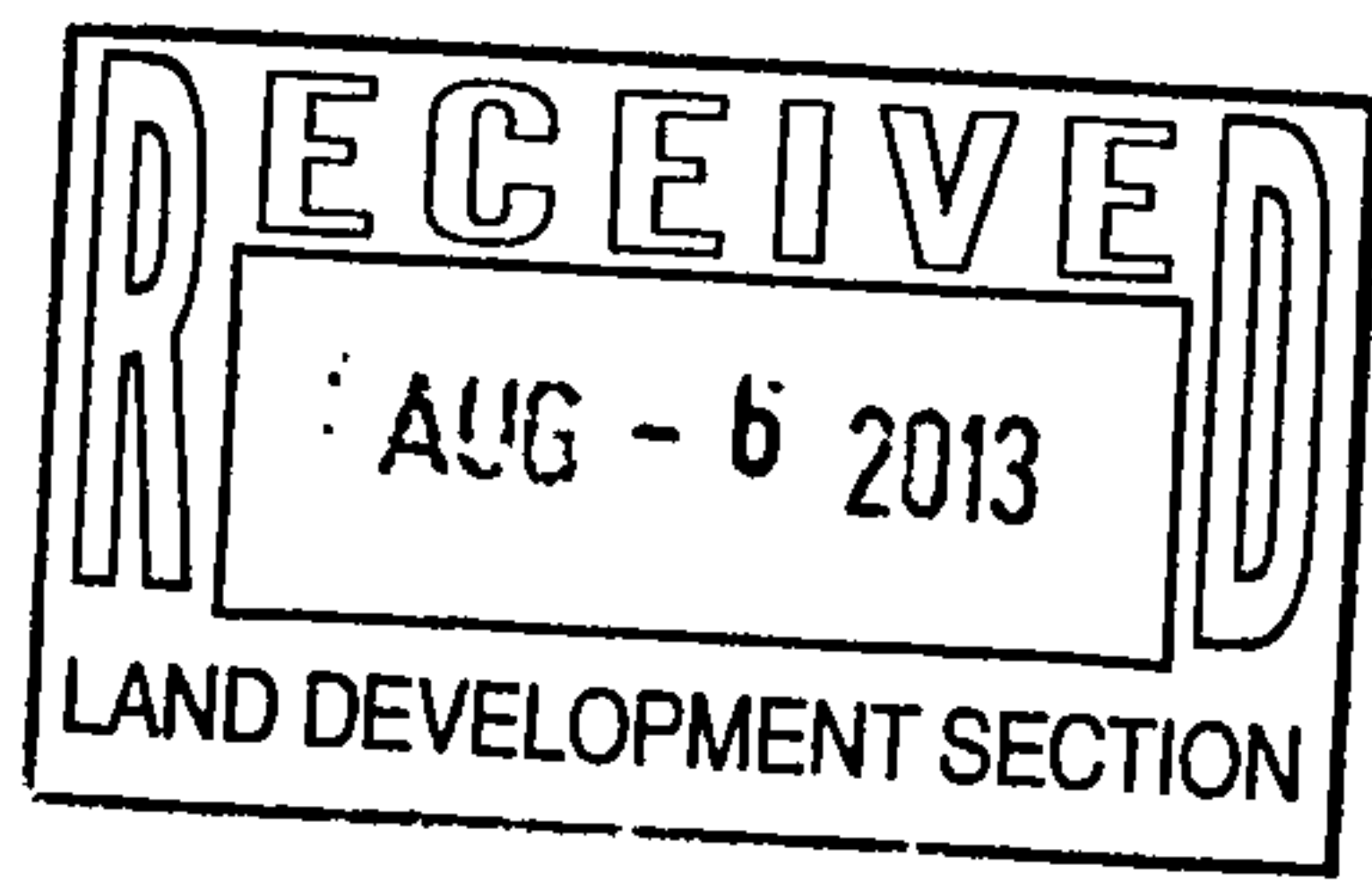
Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: August 7, 2013

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Building permit site plan and plat.



CONTACT NAME: Joshua Skarsgard

TELEPHONE: 505-998-9094 EMAIL: josh@skarsgardfirm.com

PROJECT

1003479

App #

Action

Date

13-70613

P&F
i

7-17-13

PROJECT

1003479

App #

Action

Date

13-70523

SBP

5-1-13



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1003479

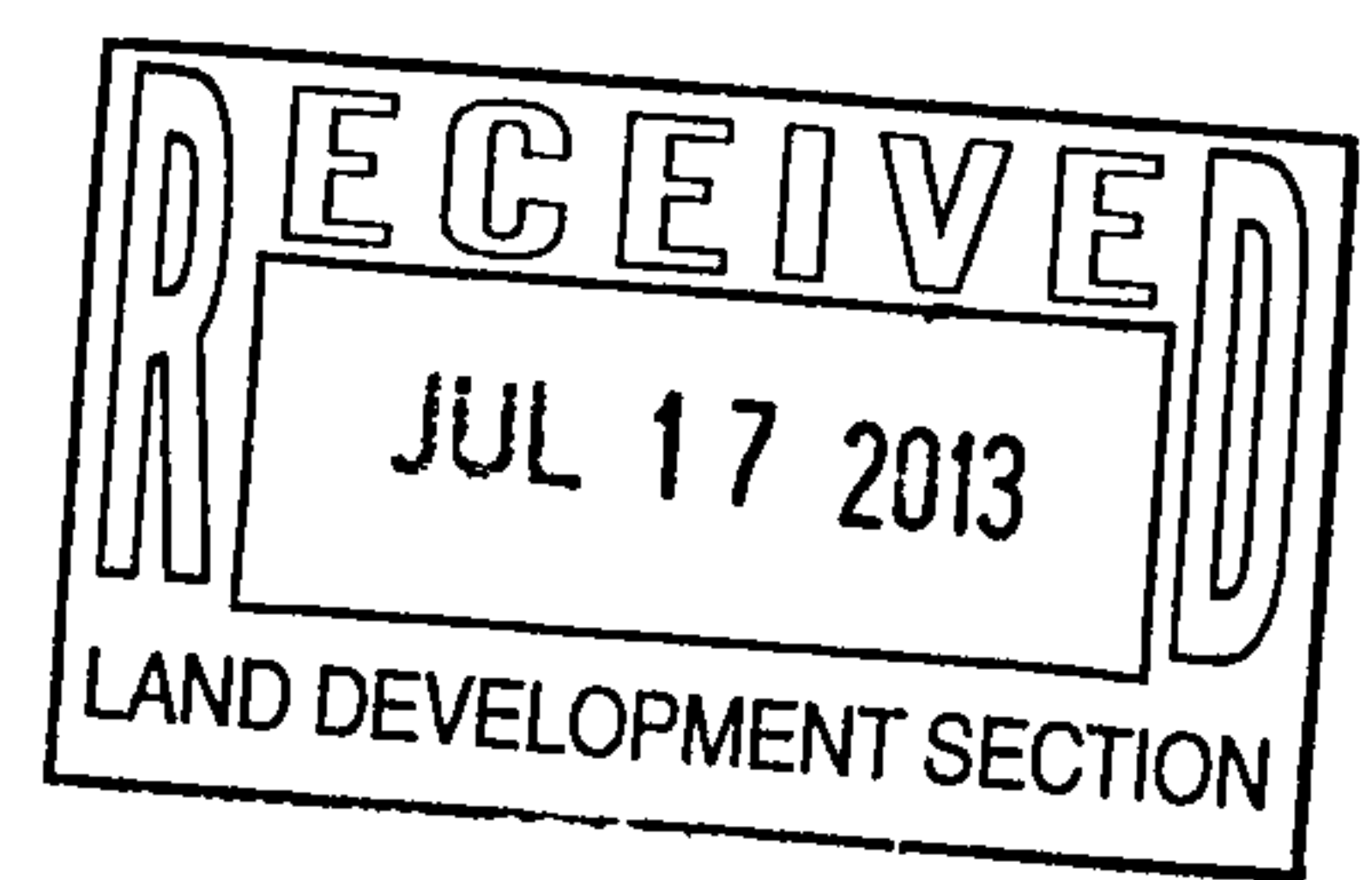
TO: Application No. _____

- ALL MEMBERS
- Jack Cloud, DRB Chairman, Planning Department
- Curtis Cherne, P.E., Hydrology
- Kristal Metro, P.E., Transportation Development
- Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA
- Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: July 24, 2013

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFIINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: SDP for BP



CONTACT NAME: JOSH SKARSGARD 3979

TELEPHONE: 998-9094 EMAIL: josh@skarsgard@hotmail.com



Item# 5
Project# 1003479
Hearing Date: Dec. 19, 2007

- T/BLOCKING PARAPET
ELEV. = 18'-9 1/2"
- T/ BLOCKING
ELEV. = 15'-7"
- B/EIFS REVEAL
ELEV. = 12'-0"
- T/DT TRELLIS
ELEV. = 11'-4"
- B/CANOPY
ELEV. = 9'-4"
- B/EIFS REVEAL
ELEV. = 6'-2 3/4"
- T/WAINSCOTTING
ELEV. = 3'-4"
- T/SLAB
ELEV. = 0'-0"



DRIVE THRU ELEVATION - WEST
DRAWING SCALE 1/4" = 1'-0"

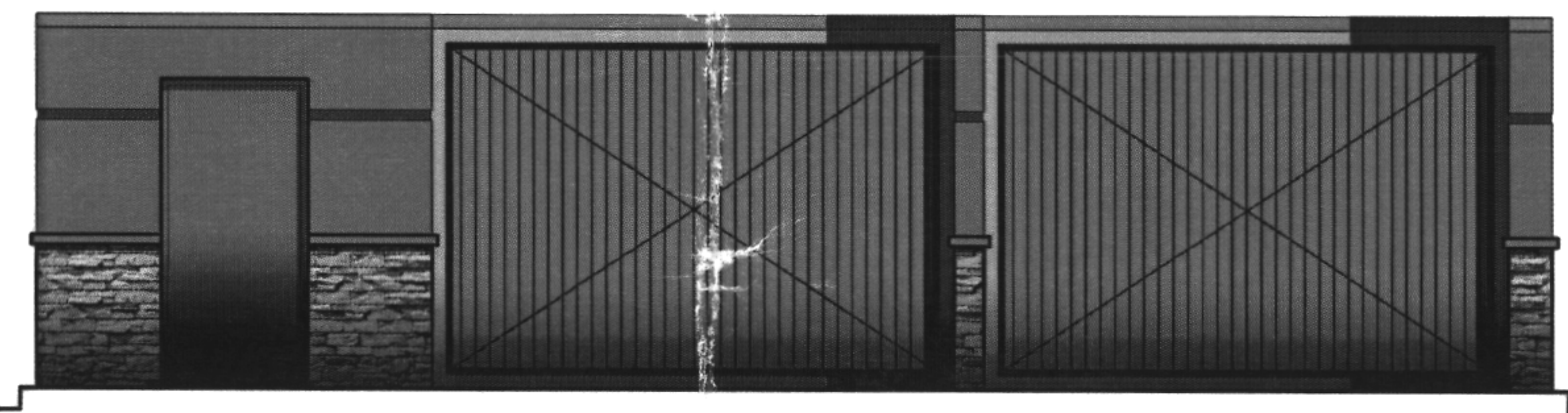
- T/ROOF CAP ELEMENT
ELEV. = 23'-4"
- T/TOWER PARAPET
ELEV. = 21'-4"
- T/BLOCKING PARAPET
ELEV. = 18'-9 1/2"
- T/ BLOCKING
ELEV. = 15'-7"
- B/EIFS REVEAL
ELEV. = 12'-0"
- T/DT TRELLIS
ELEV. = 11'-4"
- B/CANOPY
ELEV. = 9'-4"
- B/EIFS REVEAL
ELEV. = 6'-2 3/4"
- T/WAINSCOTTING
ELEV. = 3'-4"
- T/SLAB
ELEV. = 0'-0"

SEE PATIO
ELEVATION BELOW

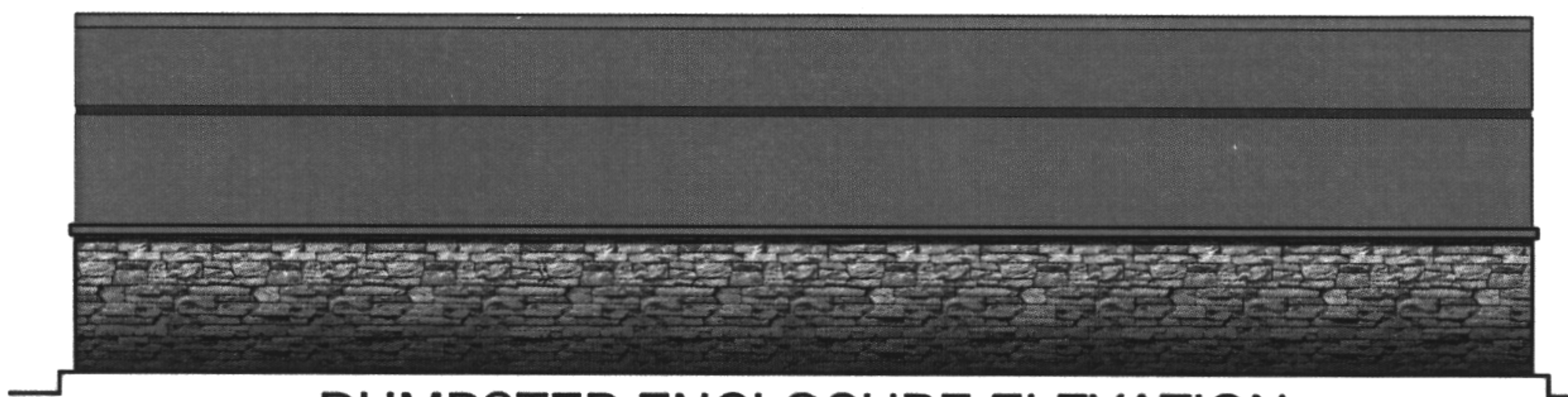
REFERENCE THE DUMPSTER ENCLOSURE
DETAILS AND SHEET A2.1 FOR ACTUAL
SIZE, SHAPE, AND CONFIGURATION



36" TALL LANDSCAPE WALL ELEVATION
DRAWING SCALE 1/4" = 1'-0"

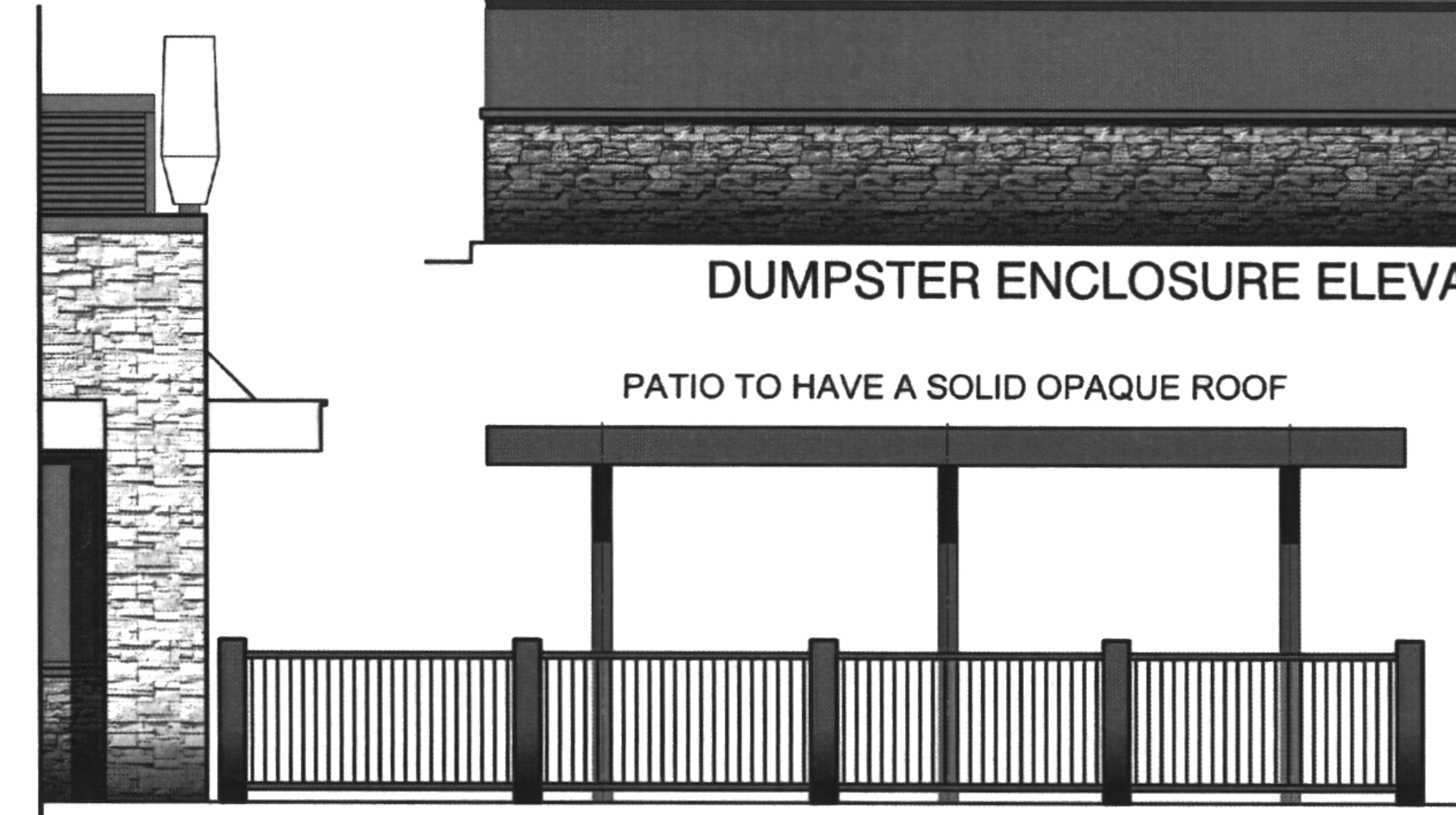


DUMPSTER ENCLOSURE ELEVATION
DRAWING SCALE 1/4" = 1'-0"

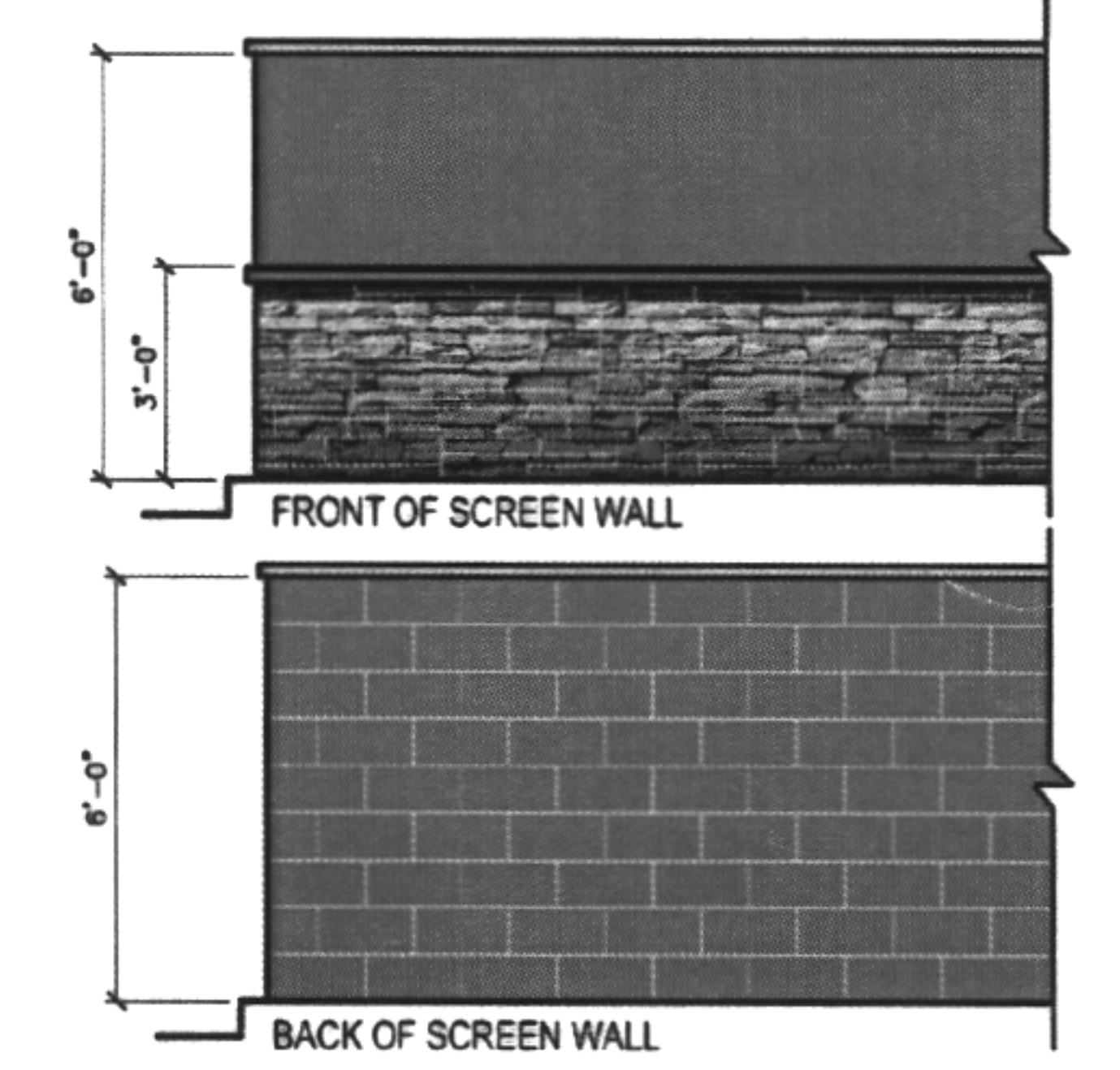


DUMPSTER ENCLOSURE ELEVATION

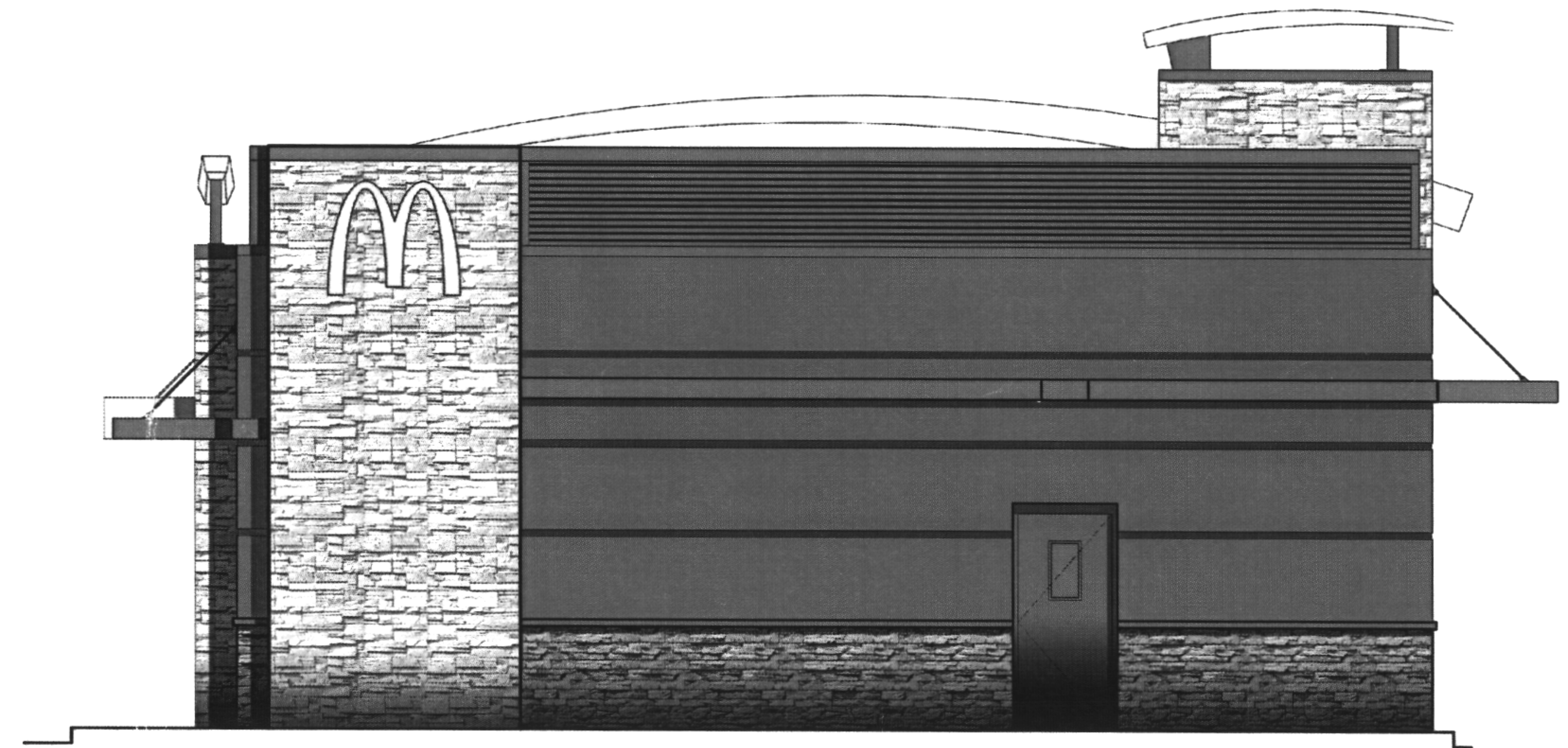
PATIO TO HAVE A SOLID OPAQUE ROOF



SIDE VIEW OF PATIO CANOPY
DRAWING SCALE 1/4" = 1'-0"

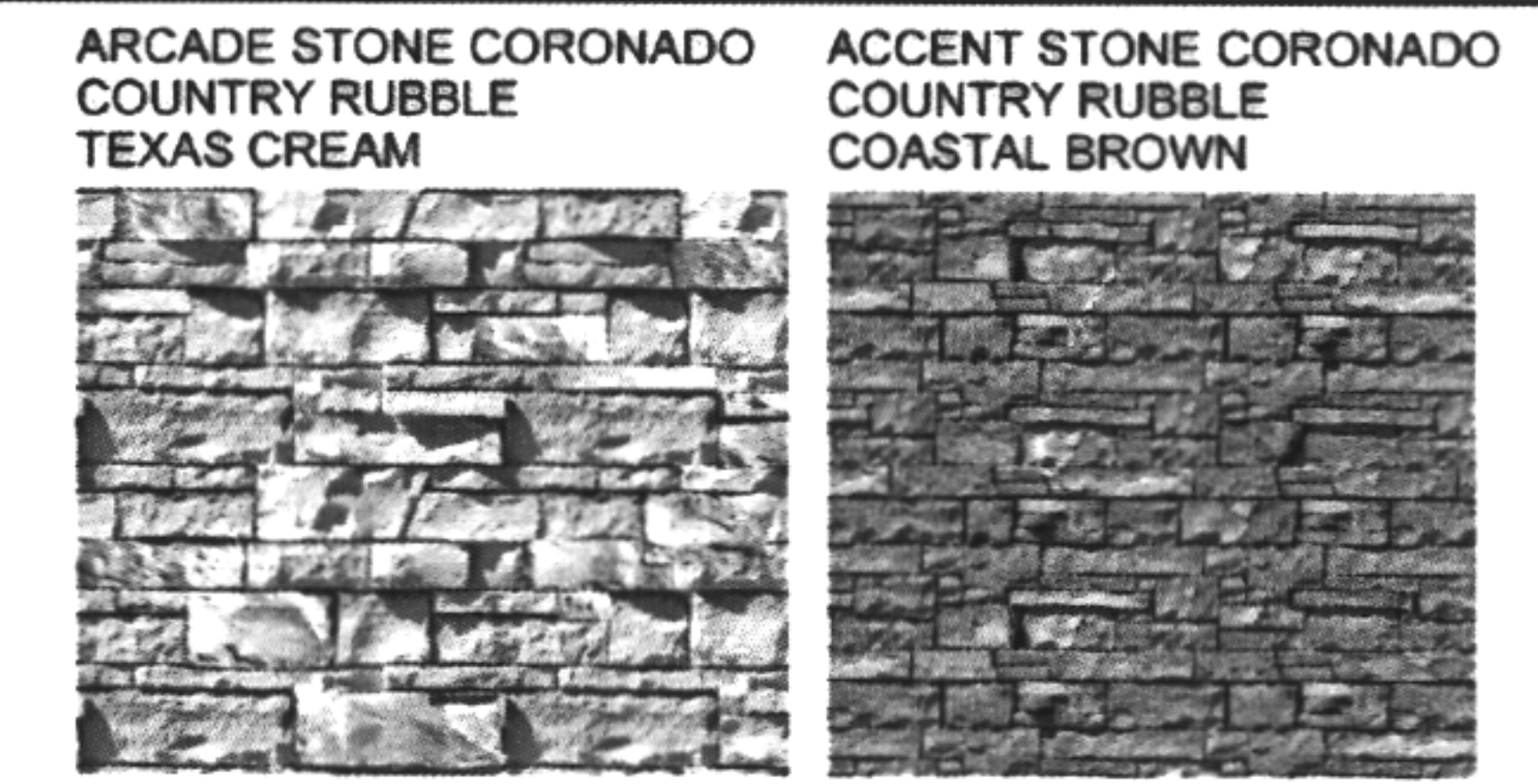
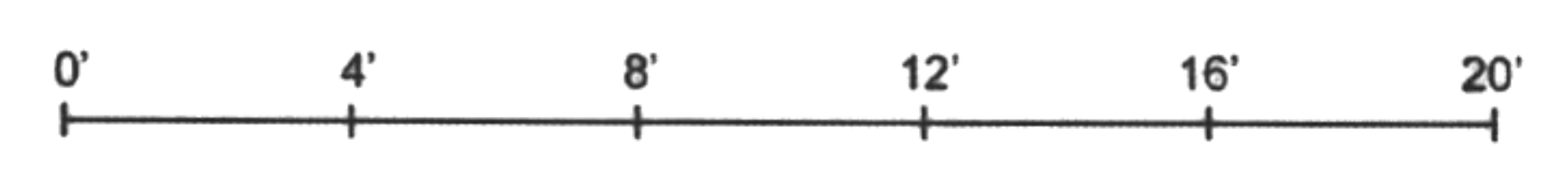


SCREEN WALL ELEVATIONS
DRAWING SCALE 1/4" = 1'-0"
REFER TO CIVIL FOR SCREENWALL LOCATIONS AND DETAILS



BACK ELEVATION - NORTH
DRAWING SCALE 1/4" = 1'-0"

- T/ROOF CAP ELEMENT
ELEV. = 23'-4"
- T/TOWER PARAPET
ELEV. = 21'-4"
- T/BLOCKING PARAPET
ELEV. = 18'-9 1/2"
- T/ BLOCKING
ELEV. = 15'-7"
- B/EIFS REVEAL
ELEV. = 12'-0"
- T/DT TRELLIS
ELEV. = 11'-4"
- T/EIFS REVEAL
ELEV. = 9'-4"
- B/EIFS REVEAL
ELEV. = 6'-2 3/4"
- T/WAINSCOTTING
ELEV. = 3'-4"
- T/SLAB
ELEV. = 0'-0"



- B** Base Building
- EIFS / Stucco: Milk BM-2112 10
- C** Accent - Drive Thru
- EIFS / Stucco: Huntington beige BK-HCZ1
- D** Parapet
- Corrugated Metal City-Scape Metal-Era
- STOREFRONT
- CLEAR ANODIZED

| | | | | | |
|---|--|------------------------|---------------------|--------------------------------------|--|
| 2 04/16/13 CITY COMMENTS | | REV | DATE | DESCRIPTION | BY |
| | | | | | |
| | | | | | |
| 513 MAIN STREET, SUITE 200 FORT WORTH, TEXAS 76102 817.820.0433 o 817.705.3367 c | | | | | |
| PREPARED FOR: McDonald's USA, LLC <small>These drawings and specifications are the confidential and proprietary information of McDonald's USA, LLC. The contractor shall not reproduce or use these drawings for any other project without the written authorization of McDonald's USA, LLC. The contractor shall indemnify and hold McDonald's USA, LLC harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, arising from or due to the contractor's use of these drawings for any other project. Representation of the contractor's license number and expiration date is not authorized.</small> | | | | | |
| DRAWN BY: ROGUE CHECKED BY: JAW/JDY DATE ISSUED: 2013 | TITLE: 2013 NON-STANDARD BUILDING 38101-WOOD/WOOD | PROJECT DATE: STD 2013 | PROJECT NO: 12-0117 | SHEET NO: A2.1c ELEVATIONS | SITE ADDRESS: HWY 1-40 & 12TH STREET, ALBUQUERQUE, NM 806-0238 |