

LEGEND

- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING EASEMENT
- EXISTING PROPERTY LINE
- FINISHED GRADE
- FINISHED FLOOR
- TOP OF BERM
- EXISTING BASIN
- PROPOSED BASIN
- DIRECTION OF FLOW
- SLOPE ARROW

| Peak Discharge | 8.4 | cfs | |
|-------------------------------------|--------|----------------|-------------------------|
| Volume of Runoff | 0.61 | ac-ft | (from DPM calculations) |
| Hydrograph Duration | 1.7574 | hrs | |
| Time to Peak | 0.8787 | hrs | |
| Maximum Allowable Discharge | 1 | cfs | Diameter of Pipe 96 |
| Slope of Ascending Limb of Hyd | 9.560 | cfs/hr | V per LF 50.3 |
| Slope of Descending Limb of Hyd | -9.560 | cfs/hr | LF Required 410.3 |
| Y-intercept for Data Points (5 & 6) | 16.8 | (cfs) | |
| Volume of Storage | 20622 | m ³ | |
| Volume of Storage | 0.4734 | ac-ft | |

| Time Step | Inflow Hydrograph | Outflow Hydrograph | Comment |
|-----------|-------------------|--------------------|--------------------------------|
| (min) | (hr) | (cfs) | |
| 0.0 | 0.00 | 0 | Begin Storm |
| 6.3 | 0.10 | 1 | Inflow > Max Allowable Outflow |
| 52.7 | 0.88 | 8.4 | Time to Peak |
| 96.2 | 1.65 | 1 | Inflow < Max Allowable Outflow |
| 126.4 | 1.76 | 0 | End Storm Inflow |
| 442.9 | 7.38 | 0 | End Max Allowable Outflow |
| 448.1 | 7.49 | 0 | End Outflow |

Site Location: The site is located at 1120 Indian School, Albuquerque, NM, bounded by 140, Indian School, 12th Street and BIA to the east. The scope of work consist of constructing office/retail and adding landscaping. The Soil Survey of Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico, designates the existing soil as Gila Loam and Vinton Loamy sand soils, which may make up to 20%.

Methodology: Section 22.2 of the City of Albuquerque DPM was followed to calculate design flows and size detention area. The procedure in Part A, for 40 acre or smaller basins, was followed using the 100-year, 6-hour storm event for calculating peak discharge and the detention pond is sized for V-10 day. The site is located in Zone 2 as designated in Table A-1.

Existing Conditions: The existing topography of the site generally slopes to the west discharging approximately at the center of the lot. Slopes on the site are flat and range between 0 and 2 percent. No offsite flow impacts the site.

Hydrologic Analysis: The site consist of only two basin in the existing condition. Basin E1 is the existing asphalt and concrete sidewalk that drained to 12th Street approximately 0.12 acres, Basin E2 is the existing basin with in the site and is approximately 1.9 acres, and is currently undeveloped.

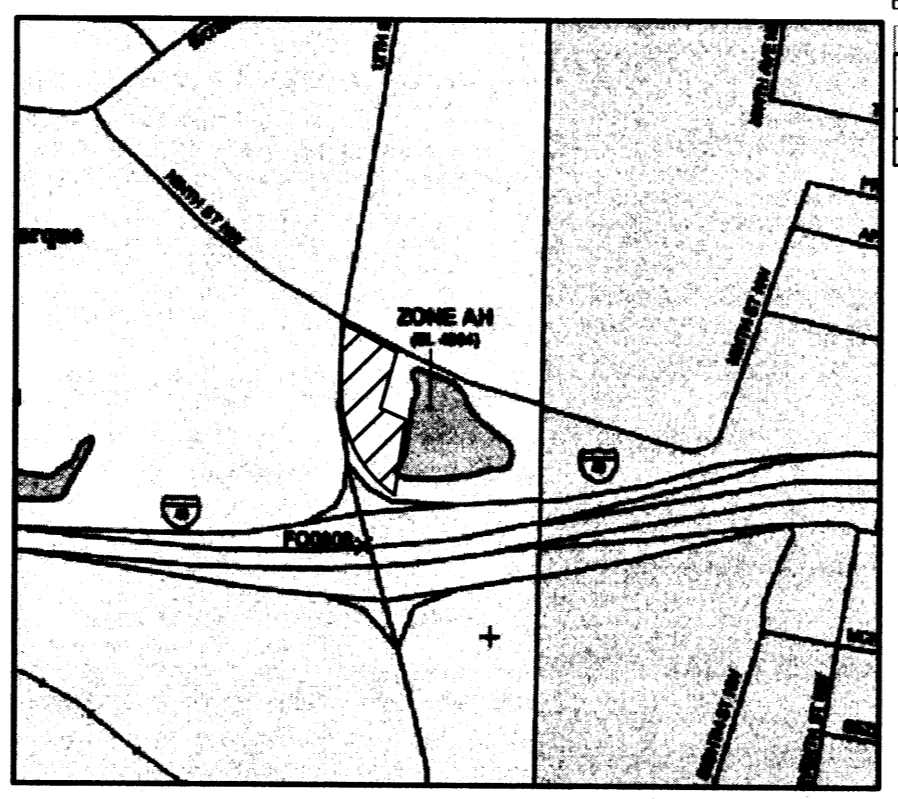
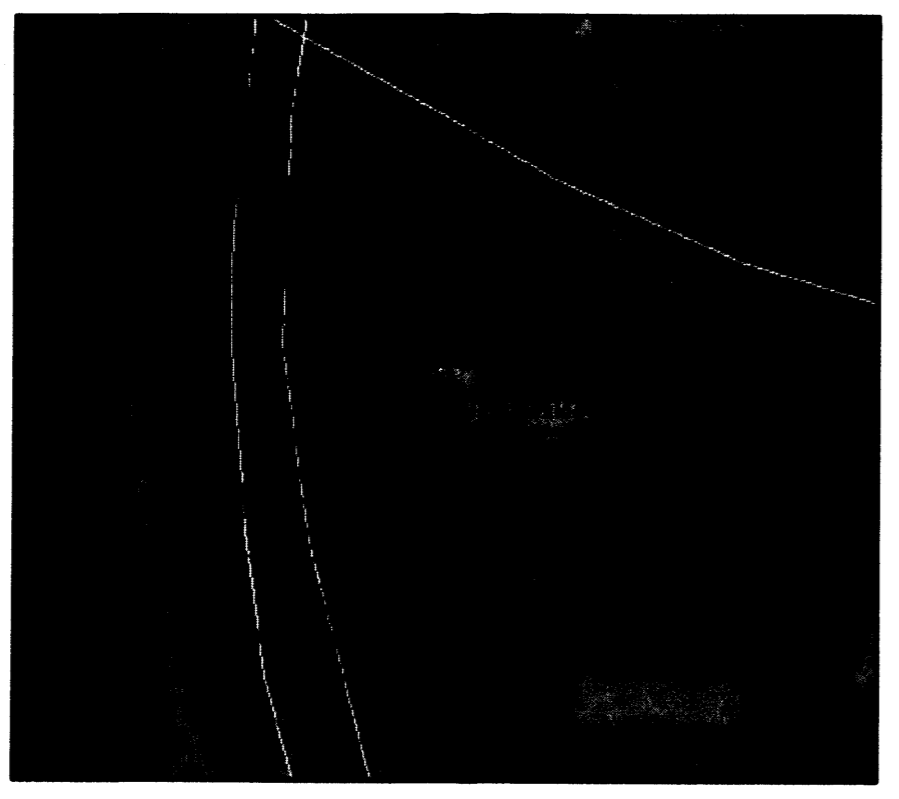
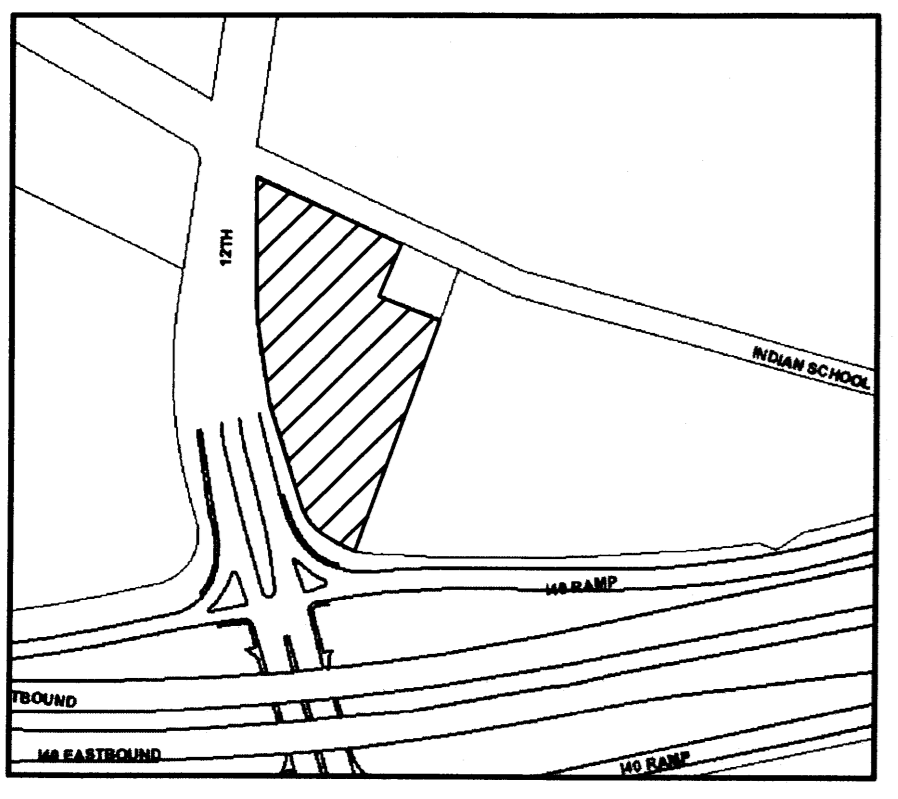
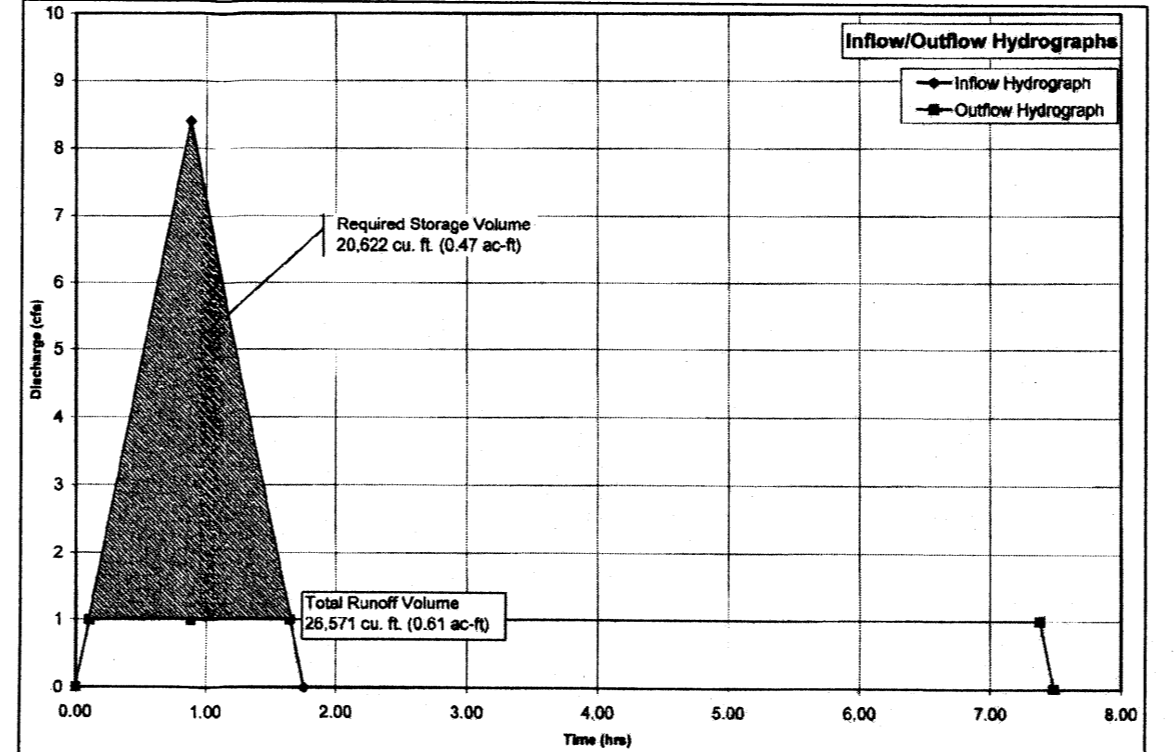
Proposed Conditions: The proposed site improvements include construction of a 20,400 S.F. office/retail, parking lot, curb & gutter, concrete flatwork and landscaping.

Hydrologic Analysis: Post-development conditions also consist of only two drainage basin. Land treatment (LT) types differ between existing and proposed conditions. In Basin P1, proposed concrete sidewalk and Bus pull out. Basin P2 is the building, concrete area around building, the entire paved parking lot and landscape area.

Conclusion: This site has been inspected, and no grading, filling, or excavation has occurred since this plan was prepared. Because there is no free discharge to 12th St all flows will be ponded on site in an underground detention basin with 1cfs discharge to the 12th Street Storm Drain System via pump and force main see attached routing information and calculations. We will store Basin P2 in the underground system and have sized it for 0.47 ac-ft per the calculations. Area of detention Basin as provided is 420 linear feet of 96" diameter pipe for a total of 0.48 ac-ft of storage.

Minor improvements will be required to the curb inlet at the south east corner of 12th Indian School for the force main out of the underground detention basin and Basin P1 will continue to drain to 12th Street. A temporary erosion control plan will be required as part of Grading & Drainage Permit, which will be submitted by contractor at time of permit application. This Grading & Drainage Report seeks Grading & Drainage Plan and Grading and Building Permit approval.

| Basin ID | Total Area | % Acre | % Acre | % Acre | % Acre | C _{in} | I | Q ₁₀₀ | E _{in} | V ₁₀₀ | V ₁₄₄ | V ₁₄₄ | V ₁₄₄ | | |
|----------|------------|--------|--------|--------|--------|-----------------|--------|------------------|-----------------|------------------|------------------|------------------|------------------|------|------|
| P1 | 0.12 | 0.0% | 0.0% | 0.0% | 33.8% | 0.04 | 100.0% | 1.14 | 5.05 | 0.69 | 2.50 | 0.03 | 0.05 | 0.16 | 0.32 |
| P2 | 1.90 | 0.0% | 0.0% | 0.10 | 10.0% | 0.19 | 85.0% | 1.82 | 0.88 | 5.05 | 8.40 | 1.95 | 0.31 | 0.34 | 0.61 |



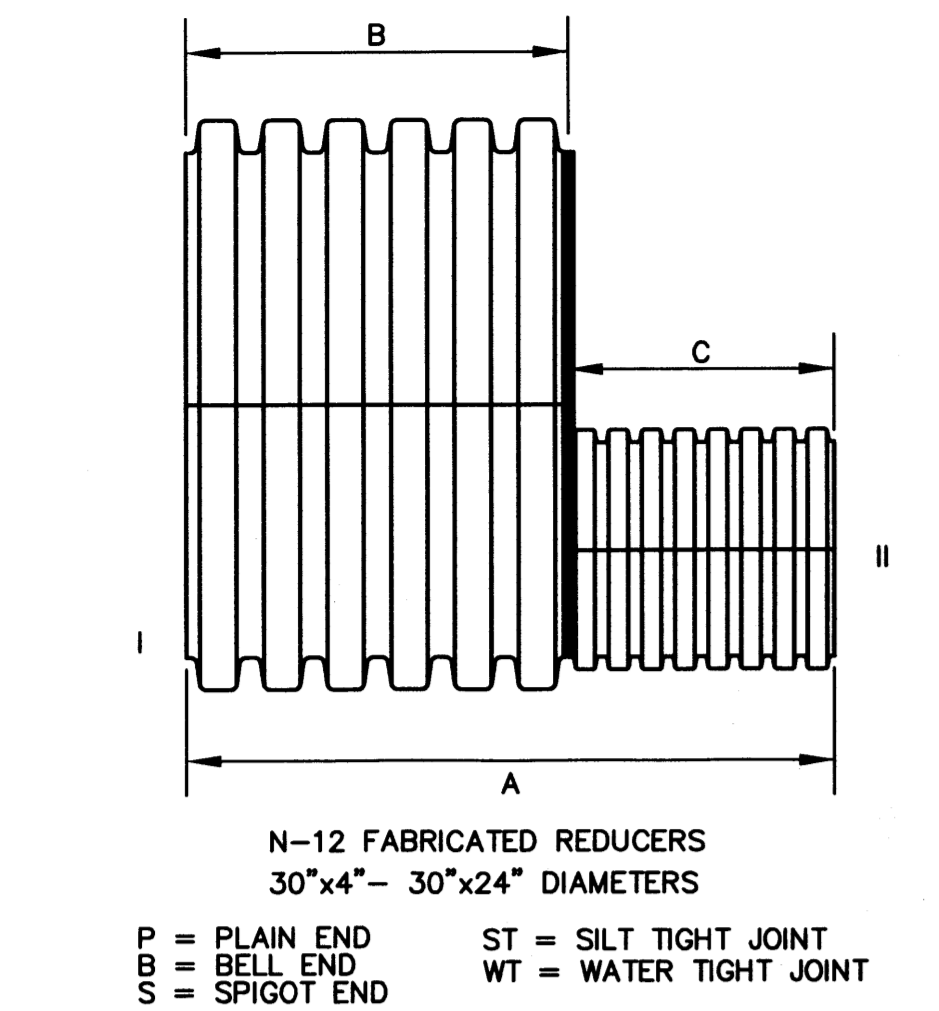
LEGAL DESCRIPTION
TRACT LETTERED "E" OF THE LAND OF ST. ANTHONY'S ORPHANAGE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 19, 1975, IN PLAT BOOK D6, PAGE 158.

BENCH MARK
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 11-H13, THE PUBLISHED ELEVATION OF WHICH IS 4964.29 ± 1 3/4" ALUMINUM DISK LOCATED AT THE NNW QUADRANT OF INDIAN SCHOOL ROAD NW AND 12 TH. STREET NW.

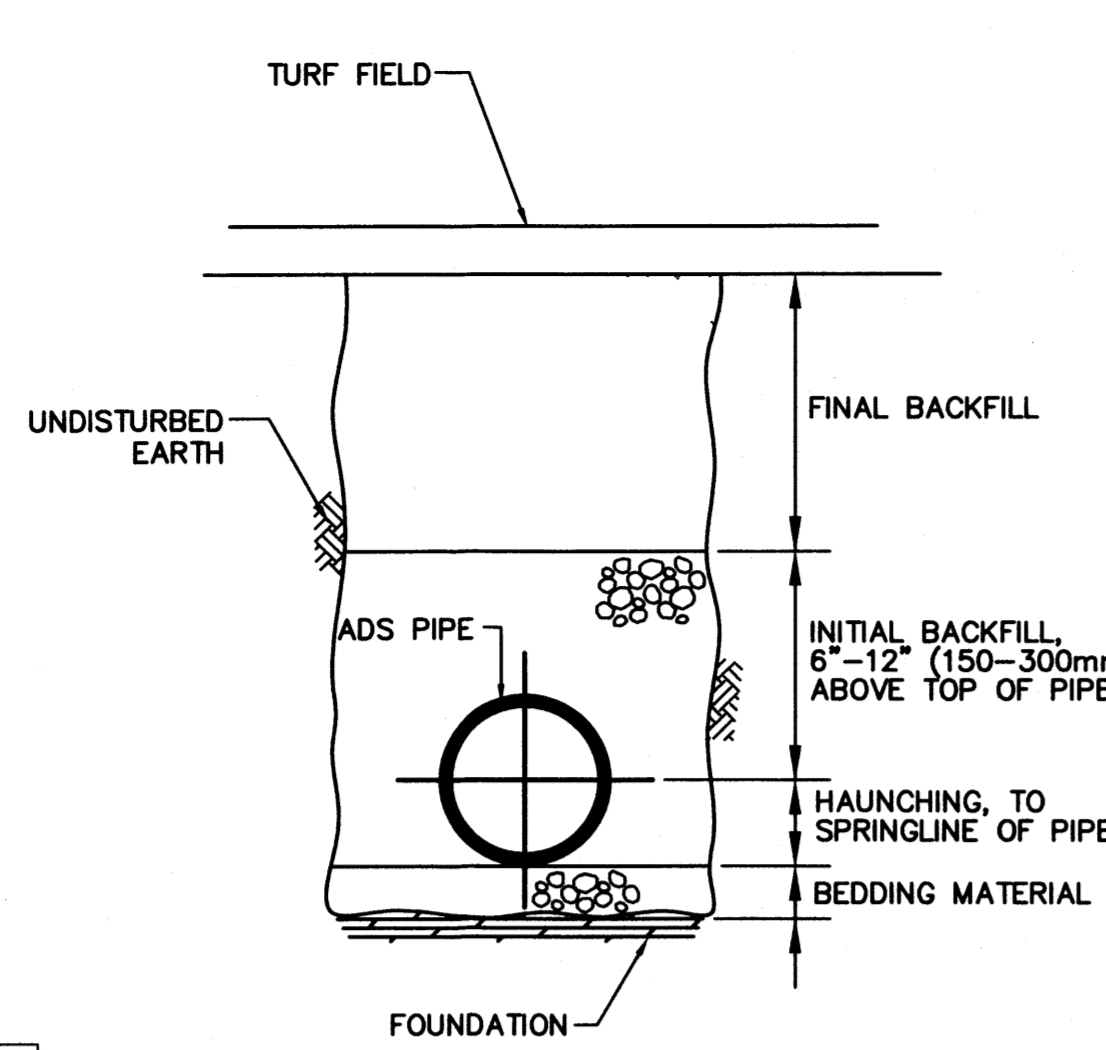
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP

12TH & I-40 GRADING & DRAINAGE PLAN LOCATION

| | | | |
|--------------------------|------------------------|-------------|-------------|
| Design Review Committee | City Engineer Approval | Mo./Day/Yr. | Mo./Day/Yr. |
| City Project No. XXXX.XX | Zone Map No. H-13 | Sheet 1 | Of 5 |



| PART # | PIPE SIZE | A | B | C | 1 | 2 | JOINT |
|-----------|-----------|--------|--------|--------|---|---|-------|
| 3076AN | 96" x 18" | 33.25" | 20.60" | 12.65" | P | P | * |
| 3076AN85B | 96" x 18" | 33.25" | 20.60" | 12.65" | B | B | ST |



NOTES:

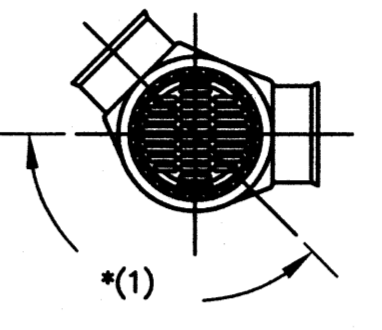
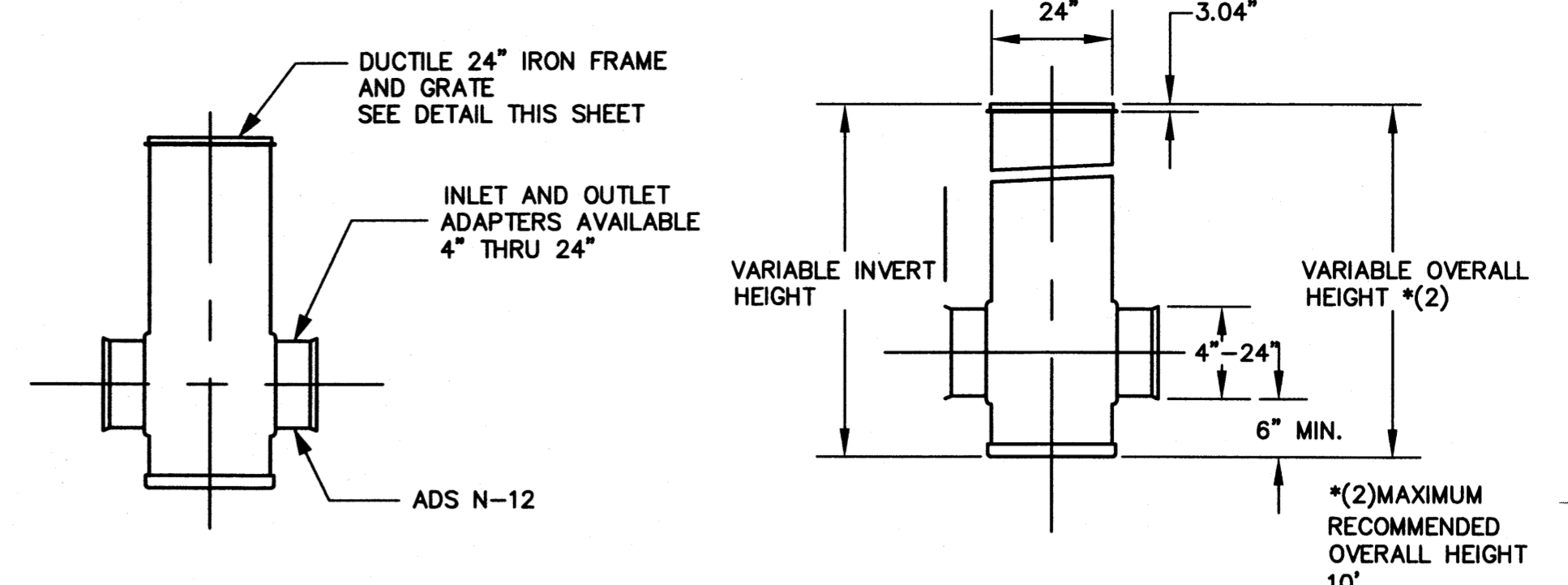
- FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH A FOUNDATION OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321, "STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS," LATEST EDITION; AS AN ALTERNATIVE AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.
- BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100-600mm) AND 42"-48" (1050-1200mm) CORRUGATED POLYETHYLENE PIPE (CPEP); 6" (150mm) FOR 30"-36" (750-900mm) CPEP.
- HAUNCHING AND INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:

| NOMINAL ϕ in (mm) | MIN. RECOMMENDED TRENCH WIDTH in (mm) |
|------------------------|---------------------------------------|
| 18 (450) | 39 (990) |
| 30 (750) | 66 (1680) |
| 48 (1200) | 105 (30000) |
- MINIMUM COVER:** MINIMUM RECOMMENDED DEPTHS OF COVER FOR VARIOUS LIVE LOADING CONDITIONS ARE SUMMARIZED IN THE FOLLOWING TABLE. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TAKEN FROM THE TOP OF PIPE TO THE GROUND SURFACE.

| SURFACE LIVE LOADING CONDITION | MINIMUM RECOMMENDED COVER in (mm) |
|--------------------------------|-----------------------------------|
| H25 (FLEXIBLE PAVEMENT) | 12 (300) |

* TOP OF PIPE TO BOTTOM OF BITUMINOUS PAVEMENT SECTION

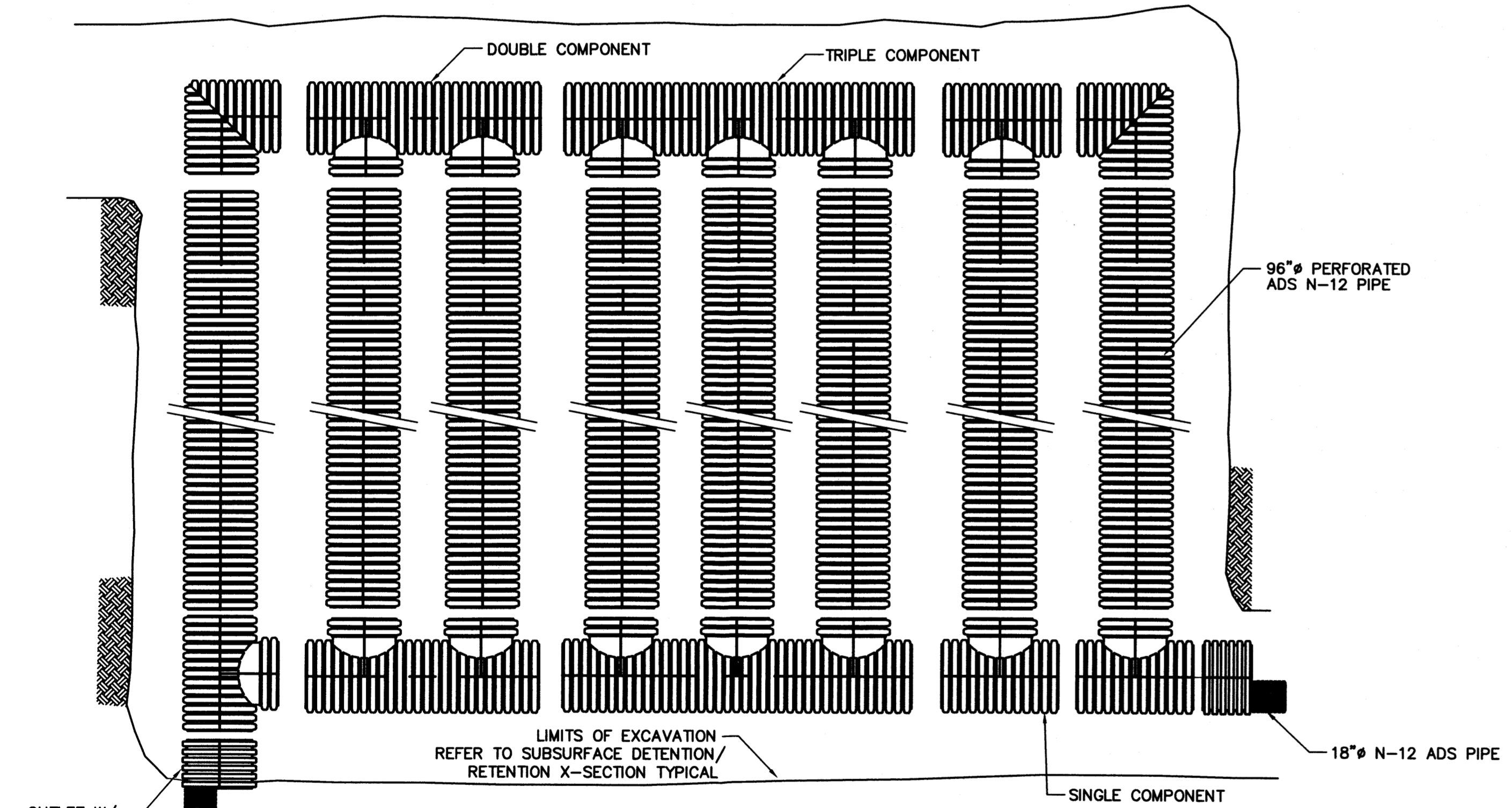
D2 TYPICAL TRENCH CROSS-SECTION
SCALE: NTS



* (1) ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 35° DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-013.

D5 TYPICAL 24" ϕ DROP INLET DETAIL
SCALE: NTS

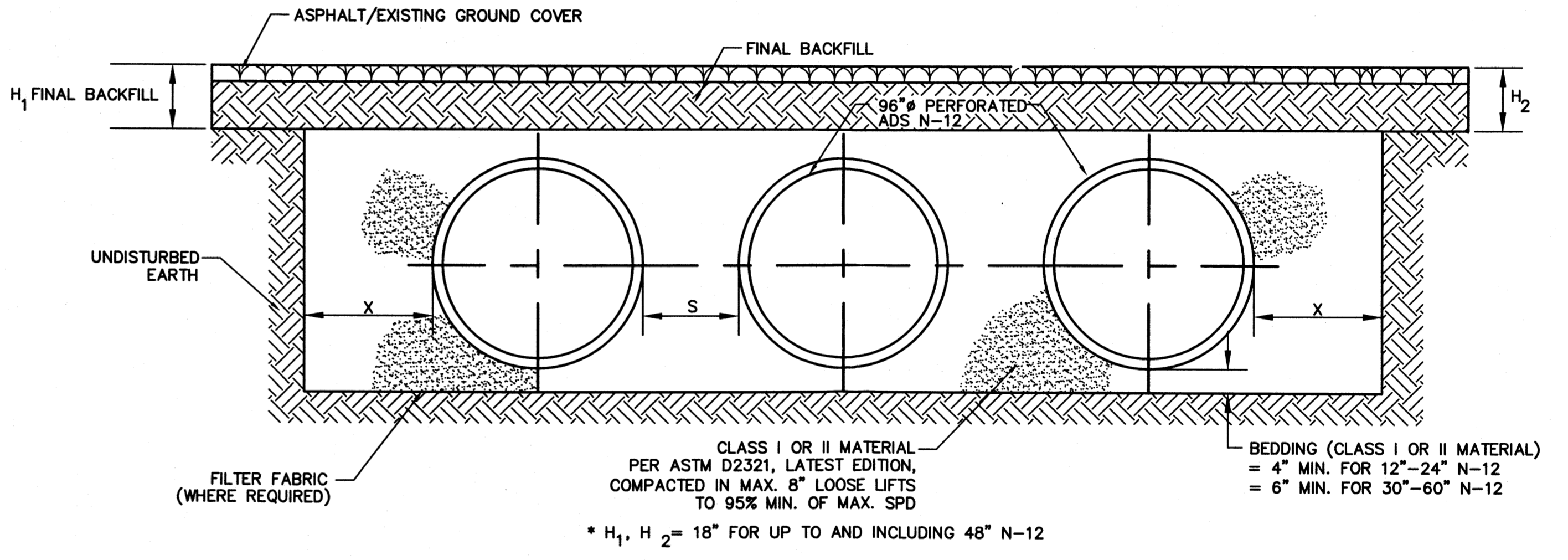
D1 REDUCER DETAIL
SCALE: NTS



NOTES POND 1:

- AREA = 5,250 ft²
- LENGTH OF 96" ϕ PERFORMED REQUIRED IS 420 LF.
- CONTRACTOR SHALL COORDINATE WITH PIPE MANUFACTURER TO DEVELOP AND SUBMIT FINAL SUBDRAINAGE SYSTEM LAYOUT TO ENGINEER FOR APPROVAL PRIOR TO PIPE PROCUREMENT.

A1 SUBSURFACE DETENTION/RETENTION SYTEM PLAN
SCALE: NTS



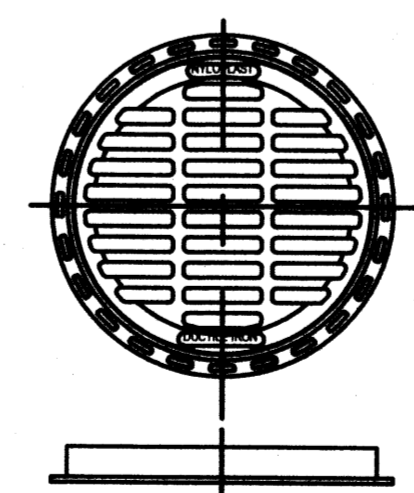
NOTES:

- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOR MORE DETAILED INFORMATION, SEE ADS TECHNICAL NOTE 2.120, "STORM WATER DETENTION/RETENTION SYSTEM DESIGN".

| NOMINAL DIAMETER | MINIMUM X | MINIMUM S |
|------------------|-----------|-----------|
| 96" | 3' | 3' |

* H₁, H₂ = 18" FOR UP TO AND INCLUDING 48" N-12

A4 SUBSURFACE DETENTION/RETENTION X-SECTION TYPICAL
SCALE: NTS



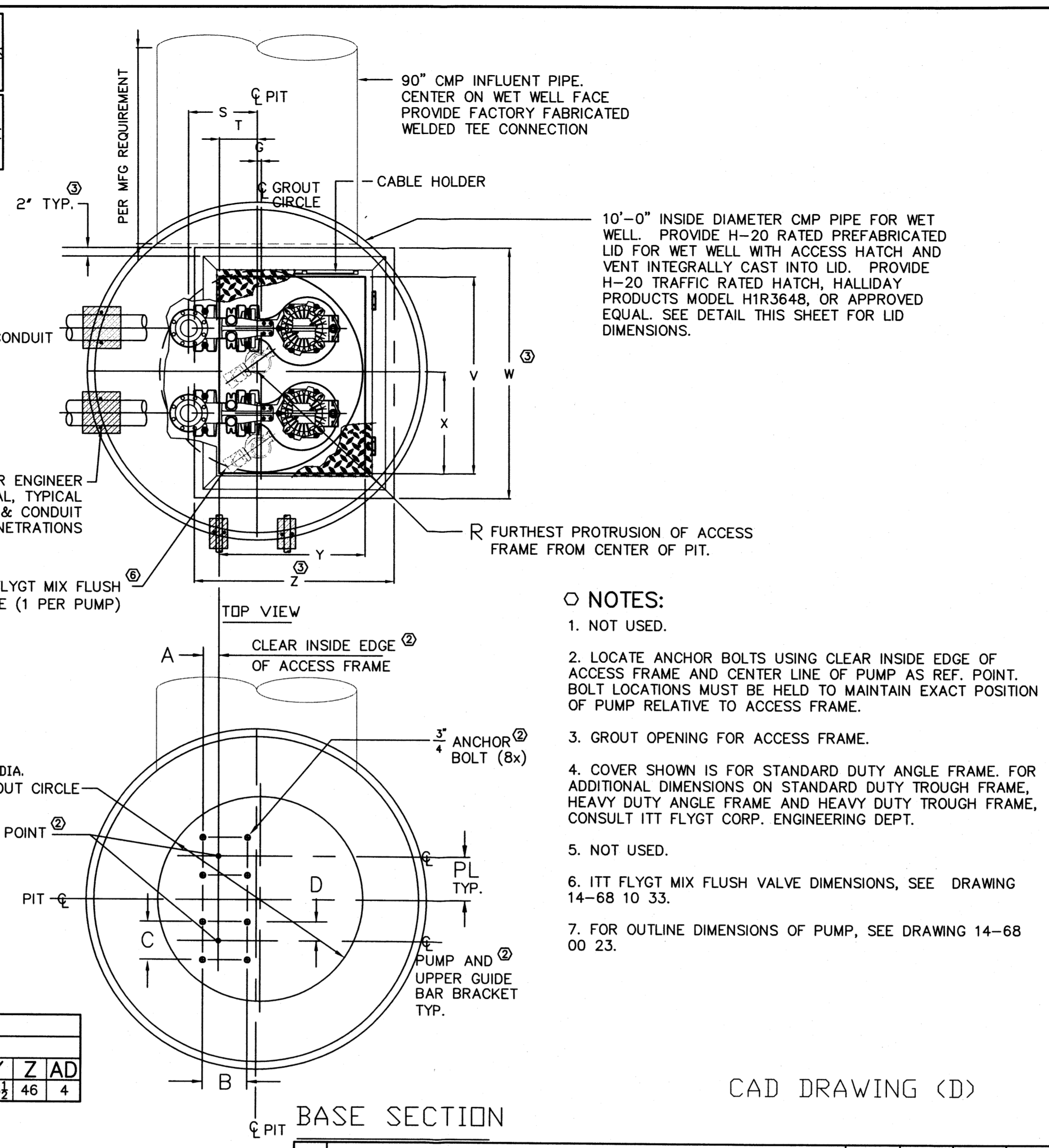
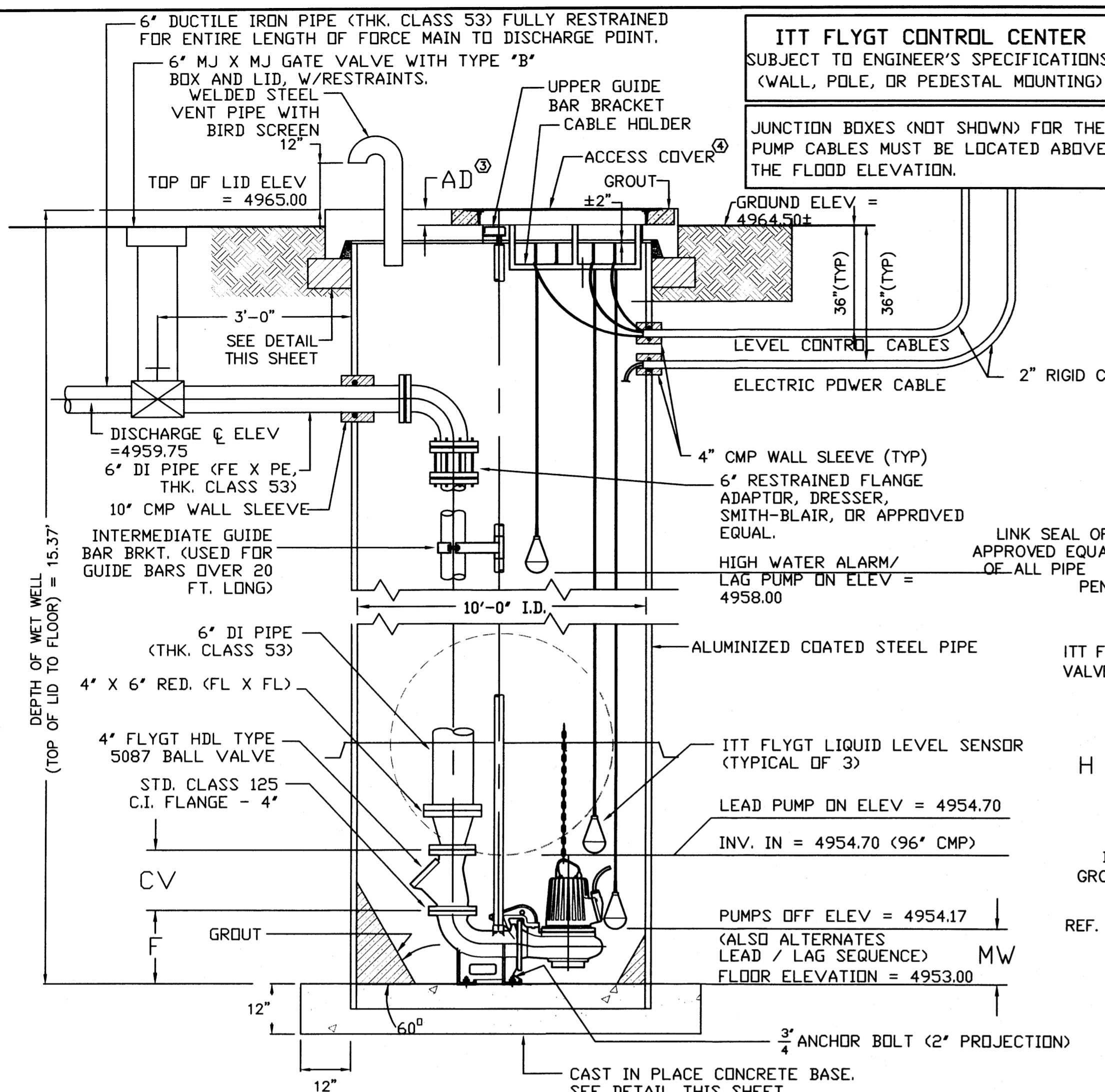
NOTES:

- STANDARD GRATE AND COVER HAVE H-25 HEAVY DUTY RATING.
- PEDESTRIAN GRATE HAS H-10 MEDIUM DUTY RATING.
- QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05. MATERIAL: DUCTILE IRON PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT.
- LOCKING DEVICE AVAILABLE UPON REQUEST. PRICE INCLUDES FRAME & GRATE/COVER.

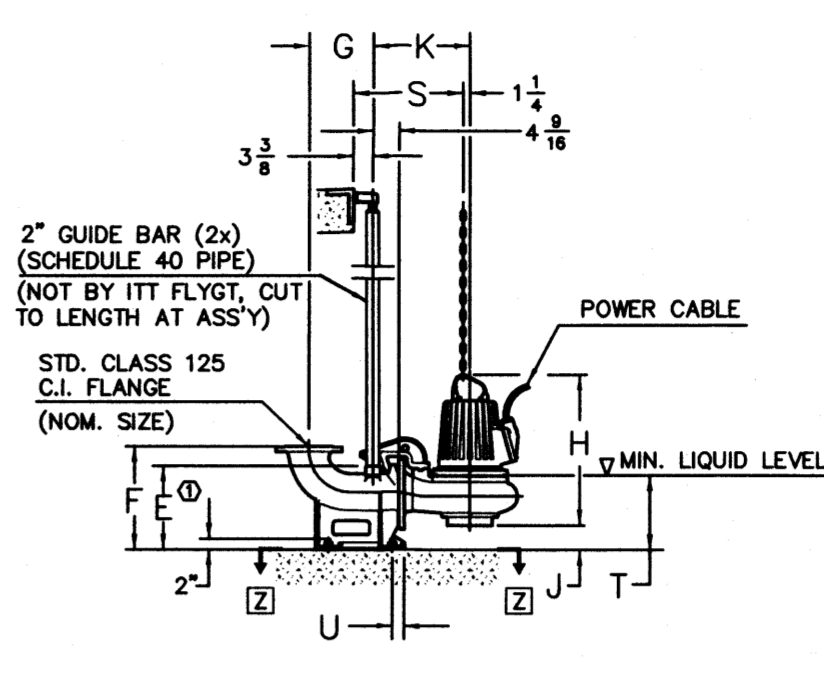
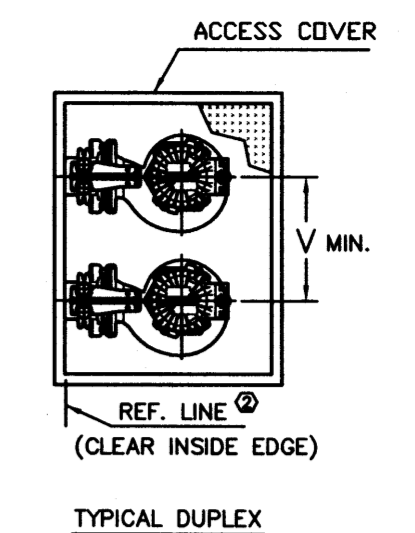
DRAIN AREA = 194.60 SQ. IN.*
WEIGHT W/ FRAME = 124.00 LBS.*
*APPROXIMATE

C4 24" GRATE DETAIL
SCALE: NTS

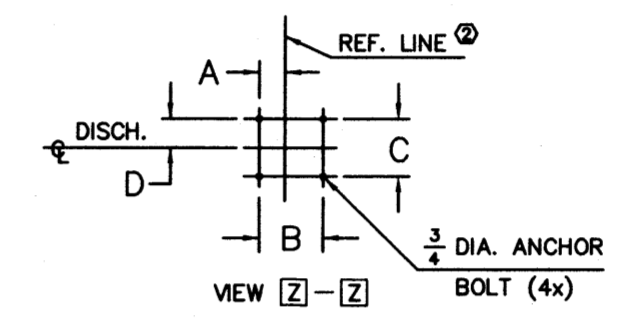
| | | | |
|---|------------------------|-------------|-------------|
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP 12TH & I-40 GRADING & DRAINAGE DETAILS | | | |
| Design Review Committee | City Engineer Approval | Mo./Day/Yr. | Mo./Day/Yr. |
| | | | |
| City Project No. XXXX.XX | Zone Map No. H-13 | Sheet 2 | Of 5 |



- NOTES:**
- DIMENSION TO ENDS OF GUIDE BARS.
 - REPRESENTS CLEAR INSIDE EDGE OF ACCESS FRAME OR OPENING.
 - SEE STATION DWG. 14-68 15 80 FOR COMPLETE INSTALLATION DIMENSIONS.



| NOM. SIZE | TYPE | VERSION | WEIGHT (LBS.) |
|-----------|-------|---------|---------------|
| 4" | CP/NP | HT | 325 80 |



- NOTES:**
- NOT USED.
 - LOCATE ANCHOR BOLTS USING CLEAR INSIDE EDGE OF ACCESS FRAME AND CENTER LINE OF PUMP AS REF. POINT. BOLT LOCATIONS MUST BE HELD TO MAINTAIN EXACT POSITION OF PUMP RELATIVE TO ACCESS FRAME.
 - GROUT OPENING FOR ACCESS FRAME.
 - COVER SHOWN IS FOR STANDARD DUTY ANGLE FRAME. FOR ADDITIONAL DIMENSIONS ON STANDARD DUTY TROUGH FRAME, HEAVY DUTY ANGLE FRAME AND HEAVY DUTY TROUGH FRAME, CONSULT ITT FLYGT CORP. ENGINEERING DEPT.
 - NOT USED.
 - ITT FLYGT MIX FLUSH VALVE DIMENSIONS, SEE DRAWING 14-68 10 33.
 - FOR OUTLINE DIMENSIONS OF PUMP, SEE DRAWING 14-68 00 23.

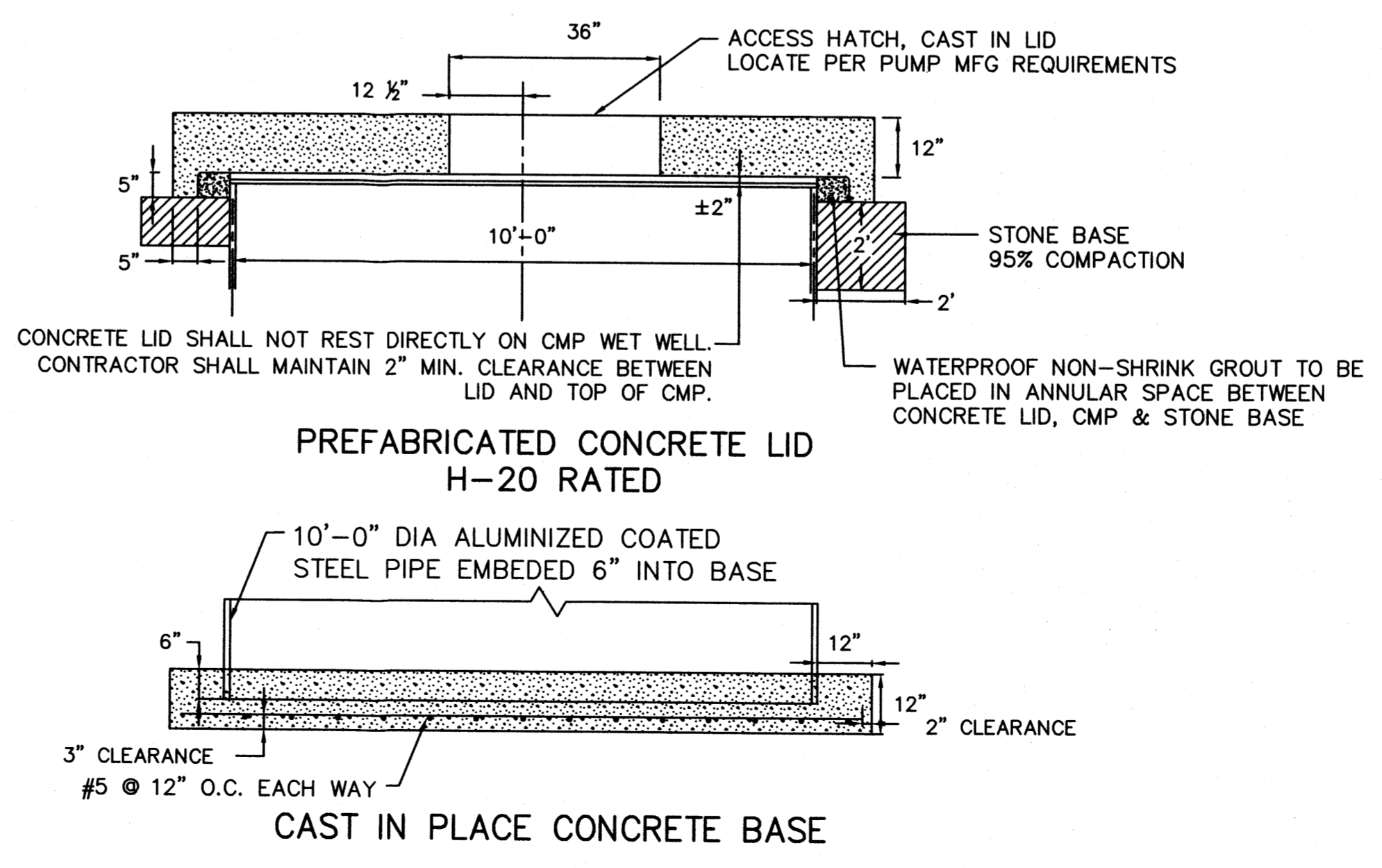
ALL DIMENSIONS IN INCHES

| TYPE | NOM. SIZE | VERSION | DIMENSIONAL CHART | | | | | | | | | | | | | | | | | | | | | | | | |
|-------|-----------|---------|-------------------|---|---|---|---|----|---|----|----|----|---|---|----|----|----|---|---|---|---|---|---|---|---|---|----|
| CP/NP | 4" | HT | A | B | C | D | E | F | G | H | I | J | K | L | M | N | P | R | S | T | U | V | W | X | Y | Z | AD |
| | | | 2 | 2 | 9 | 8 | 4 | 15 | 1 | 47 | 41 | 15 | 8 | - | 11 | 13 | 10 | | | | | | | | | | |

| VERSION | NOM. SIZE | VERSION | STATION | | | | | | | | | | | | | | | | | | | | COVER | | | | | | | | | |
|---------|-----------|---------|---------|---|---|---|---|----|---|----|----|----|---|---|----|----|----|---|---|---|---|----|-------|----|------|---|----|----|----|----|----|---|
| CP | 4" | HT | A | B | C | D | E | F | G | H | I | J | K | L | M | N | P | R | S | T | U | CV | MW | PL | SIZE | V | W | X | Y | Z | AD | |
| | | | 2 | 2 | 9 | 8 | 4 | 15 | 1 | 47 | 41 | 15 | 8 | - | 11 | 13 | 10 | | | | | | | | | | 45 | 58 | 24 | 33 | 46 | 4 |

- GENERAL NOTES**
- CONSTRUCTION OF LIFT STATION INCLUDES TWO (2) FLYGT MODEL NP-3127 HT PUMPS (CURVE NO. 63-489-00-2255), 6-INCH DISCHARGE, 195 mm IMPELLER, 7.5 HP, 3-PHASE, 460V, 60HZ, EACH CAPABLE OF 906.2 GPM AT 14.2 FT TDH. EACH PUMP SHALL BE FITTED WITH A FLYGT MIX-FLUSH VALVE.
 - ALL LIFT STATION EQUIPMENT INCLUDING GUIDE RAILS, PUMP DISCHARGE ELBOWS, CHECK VALVES, PLUG VALVES, ACCESS COVER, CONTROL PANEL, AND OTHER REQUIRED ACCESSORIES, SHALL BE INCLUDED AS IF FULLY DETAILED OR SPECIFIED.
 - THE DIMENSIONS SHOWN FOR PUMPS AND VALVE LAYOUT ARE BASED ON ONE OR MORE MANUFACTURER'S DESIGNS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS OF PARTICULAR EQUIPMENT BEING FURNISHED AND TO MAKE SUCH CHANGES, AS REQUIRED, TO INSTALL EQUIPMENT IN SPACE PROVIDED.
 - ALL INTERIOR GROUT AND CONCRETE SURFACES OF WET WELL TO RECEIVE A PROTECTIVE COATING OF SHERWIN-WILLIAMS "KEM CATI-COAT HS" EPOXY FILLER/SEALER AND SHERWIN-WILLIAMS "HI-MIL SHER-TAR EPOXY". THE EXPOSED CMP PORTION OF WET WELL BELOW THE INFLUENT PIPE INVERT TO RECEIVE A PROTECTIVE COATING OF SHERWIN-WILLIAMS "HI-MIL SHER-TAR EPOXY" OF 14 TO 18 MILS. PRIMER AND COATING TO BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
 - ALL BACKFILL MATERIAL SHALL BE STRUCTURAL BACKFILL.
 - ALL PIPING, TO LIMITS SHOWN ON PLANS, WHETHER PLAIN END, FLANGE END, MECHANICAL JOINT, OR GROOVED END, SHALL BE CENTRIFUGALLY CAST, DUCTILE IRON, THICKNESS CLASS 53, COMPLYING WITH ANSI/AWWA C151/A21.51.
 - ALL FITTINGS LOCATED INSIDE WET WELL AND/OR VALVE VAULT SHALL BE DUCTILE IRON CONFORMING WITH ANSI/AWWA C110/A21.10.
 - ALL BURIED FITTINGS LOCATED BEYOND VALVE VAULT SHALL BE DUCTILE IRON MJ X MJ CONFORMING TO ANSI/AWWA C110/A21.10. WHERE RESTRAINED JOINTS ARE NOT REQUIRED, MJ GLANDS SHALL CONFORM TO ANSI/AWWA C111/A21.11. WHERE RESTRAINED JOINTS ARE REQUIRED, MEGA-LUG RETAINING GLANDS SHALL BE USED. ALL BURIED FITTINGS TO BE WRAPPED IN POLYETHYLENE TUBING OR TAPE CONFORMING TO ANSI/AWWA C105/A21.5.

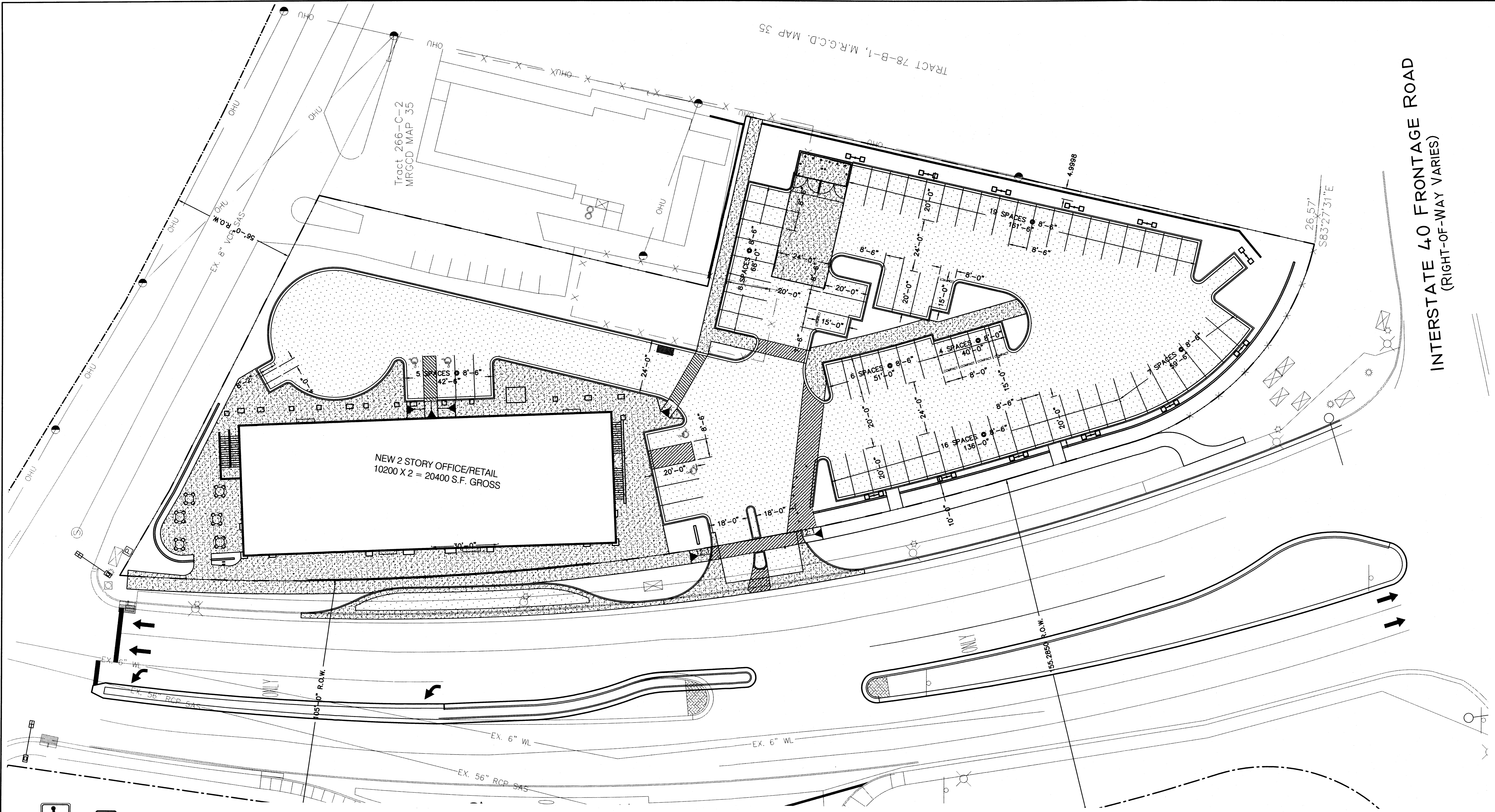
- CONTROL PANEL TO HAVE AN AUDIBLE ALARM W/PUSH BUTTON OVERRIDE.
 - CONTRACTOR SHALL ARRANGE TO ESTABLISH ELECTRICAL SERVICE IN THE NAME OF "LOWE'S" AND SHALL INSTALL ELECTRICAL CONNECTION TO PROVIDE A FULLY OPERATIONAL LIFT STATION. SEE SHEETS ___ & ___ FOR ELECTRICAL DETAILS.
 - PUMP CONTROL ELEVATIONS:
 - ALL PUMPS OFF ————— 4954.17
 - LEAD PUMP ON ————— 4954.70
 - HIGH WATER ALARM/LAG PUMP ON — 4958.00
 - INTERIOR OF WELDED STEEL VENT PIPE TO BE COATED WITH SHERWIN-WILLIAMS "DURA-POX" WATER BASED EPOXY PRIMER, PER MANUFACTURER'S RECOMMENDATIONS. EXTERIOR OF VENT TO BE COATED WITH SHERWIN-WILLIAMS "DURA-POX" WATER BASED EPOXY PRIMER AND "DURA-POX" WATER BASED EPOXY FINISH, PER MANUFACTURER'S RECOMMENDATIONS. COLOR OF FINISH COAT SHALL BE FOREST GREEN. CONTRACTOR TO SUBMIT COLOR SAMPLE FOR APPROVAL BY OWNER PRIOR TO ORDERING PRODUCT.
- FLYGT NOTES:**
- DIMENSION PROVIDED BY DESIGN ENGINEER.
 - LOCATE ANCHOR BOLTS USING CLEAR INSIDE EDGE OF ACCESS FRAME AND CENTER LINE OF PUMP AS REF. POINT. BOLT LOCATIONS MUST BE HELD TO MAINTAIN EXACT POSITION OF PUMP RELATIVE TO ACCESS FRAME.
 - GROUT OPENING FOR ACCESS FRAME.
 - COVER SHOWN IS FOR STANDARD DUTY ANGLE FRAME. FOR ADDITIONAL DIMENSIONS ON STANDARD DUTY TROUGH FRAME, HEAVY DUTY ANGLE FRAME AND HEAVY DUTY TROUGH FRAME, CONSULT ITT FLYGT CORP. ENGINEERING DEPT.
 - NOT USED.
 - ITT FLYGT MIX FLUSH VALVE, ONE PER PUMP.



CAD DRAWING (D)

| | | | | | |
|--------------------------------------|--------|---|--|---|--------|
| UNLESS OTHERWISE NOTED TOLERANCE ON: | | | | ITT FLYGT CORPORATION, TRUMBULL, CONNECTICUT 06611 | |
| FRACTIONS | ± 1/32 | | | THIS DOCUMENT IS THE PROPRIETARY PROPERTY OF ITT FLYGT CORP. IT HAS BEEN FURNISHED UPON THE CONDITION THAT IT SHALL NOT BE RELEASED, DUPLICATED, USED, OR DISCLOSED IN WHOLE OR IN PART FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN PERMISSION OF ITT FLYGT AND SHALL BE CONSIDERED CONFIDENTIAL INFORMATION. | |
| 1 PLACE DEC. | ± .1 | <p align="center">CP/NP 3127 DUPLEX LIFT STATION</p> | | REF. | NUMBER |
| 2 PLACE DEC. | ± .02 | | | SCALE | NONE |
| 3 PLACE DEC. | ± .005 | | | 14-68 00 97 | REV. K |
| ANGLES | ± 2° | | | DATE | BY |
| | | | | 8/9/10/12 | C.C. |
| | | | | 8/9/10/18 | W.H. |
| | | | | 8/9/10/26 | R.D. |
| | | | | 8/9/10/26 | R.D. |

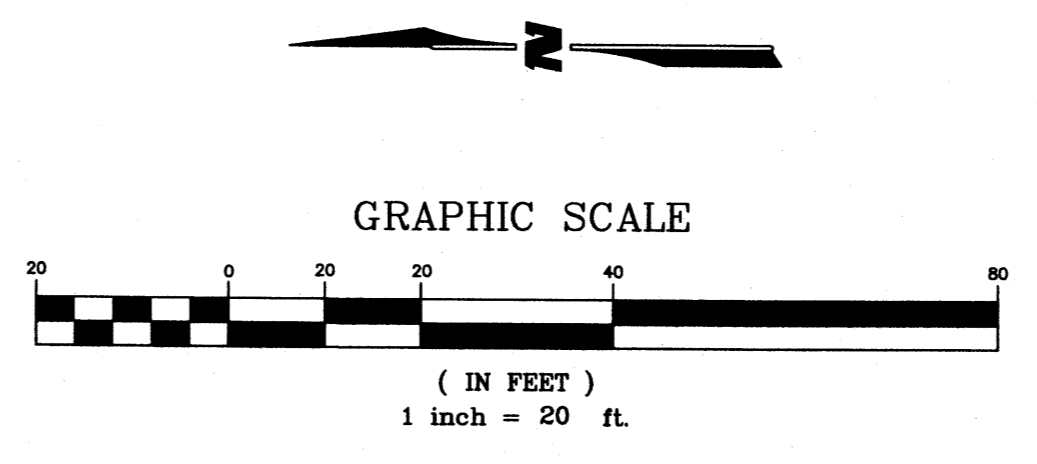
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|---|------------------------|-------------|-------------|
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP 12TH & I-40 GRADING & DRAINAGE DETAILS | | | |
| Design Review Committee | City Engineer Approval | Mo./Day/Yr. | Mo./Day/Yr. |
| City Project No. | Zone Map No. | Sheet | Of |
| XXXX.XX | H-13 | 3 | 5 |



INTERSTATE 40 FRONTAGE ROAD
(RIGHT-OF-WAY VARIES)

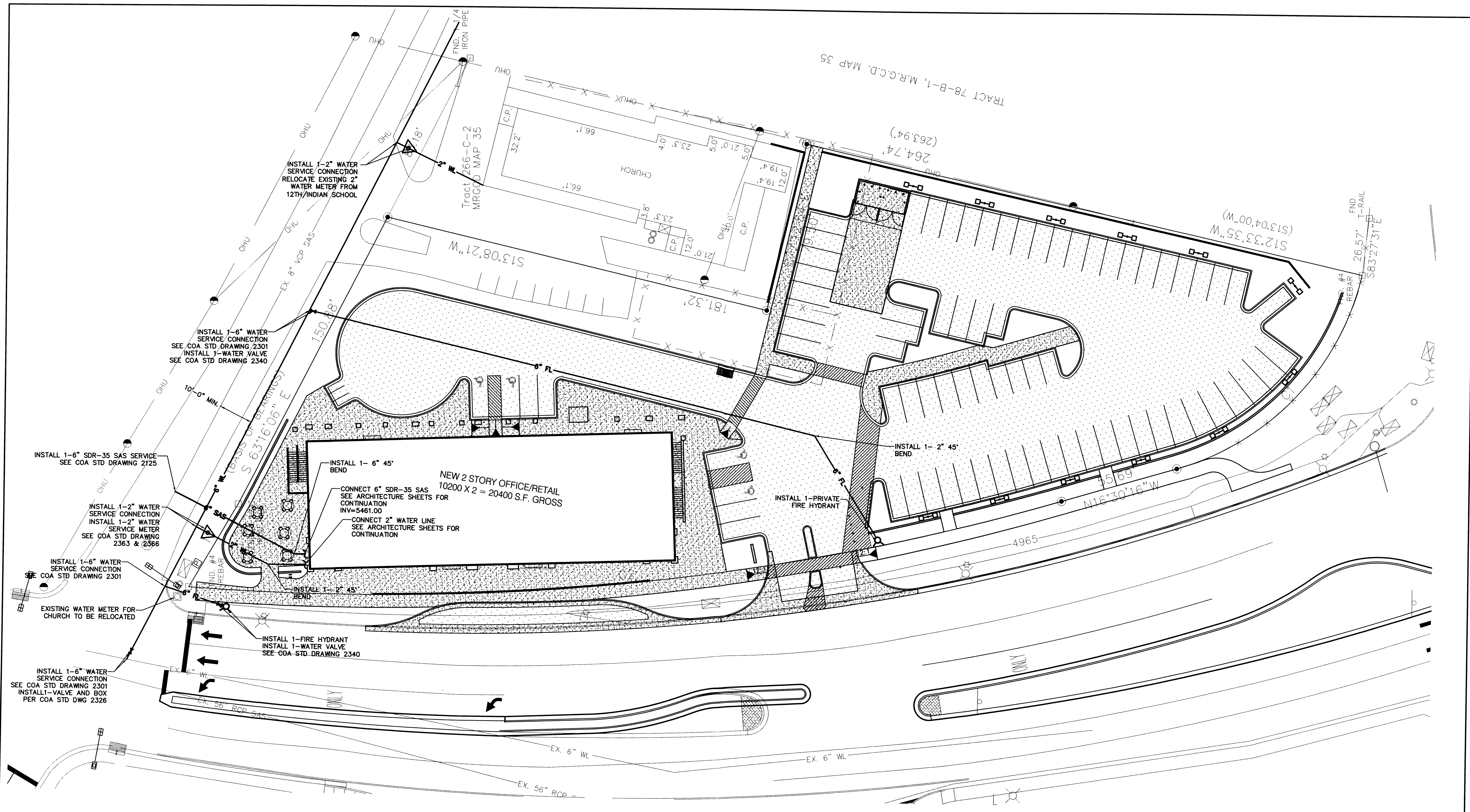
| A) CURVE DATA | B) CURVE DATA |
|-----------------------------|-----------------------------|
| $\Delta = 89^{\circ}59'32"$ | $\Delta = 87^{\circ}17'14"$ |
| R = 25.00' | R = 25.00' |
| L = 39.27' | L = 38.09' |
| T = 25.00' | T = 23.84' |

| LEGEND | |
|--------|---------------------------------|
| | PROPOSED MEDIAN CURB AND GUTTER |
| | PROPOSED RIP RAP |
| | PROPOSED SAWCUT |
| | PROPOSED ASPHALT |
| | PROPOSED CONCRETE |
| | EXISTING PROPERTY LINE |



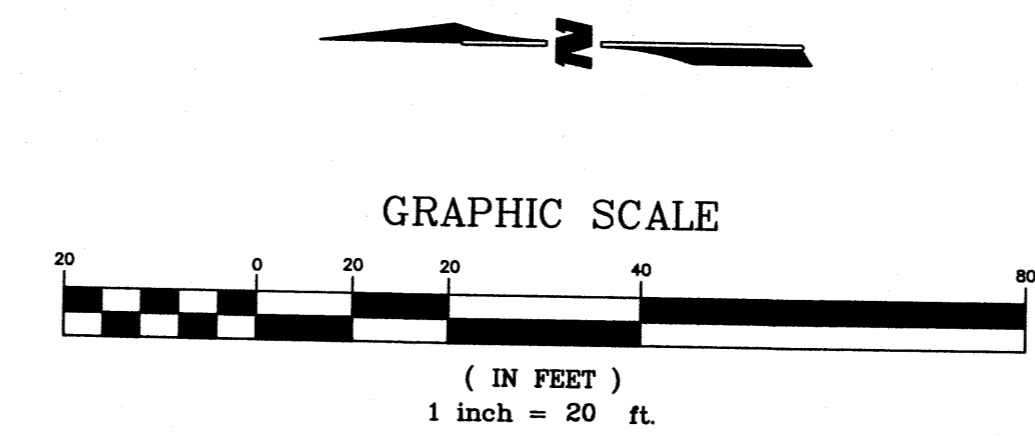
| | | | |
|---|------------------------|--------------------|-------------|
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | | | |
| 12TH & I-40 TRAFFIC CIRCULATION PLAN | | | |
| Design Review Committee | City Engineer Approval | Last Design Update | Mo./Day/Yr. |
| | | | |
| City Project No. | Zone Map No. | Sheet | Of |
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NOV 2006



LEGEND

| | |
|-------------|-------------------------|
| — 6" WL — | PROPOSED WATER LINE |
| — 2" SAS — | PROPOSED SANITARY SEWER |
| — EX. WL — | EXISTING WATER LINE |
| — EX. SAS — | EXISTING SANITARY SEWER |
| — · · · — | EXISTING PROPERTY LINE |



| | | | | | |
|---|-------------------------|------------------------|--------------------|-------------|-------------|
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | | | | | |
| 12TH & I-40 UTILITY PLAN | | | | | |
| | Design Review Committee | City Engineer Approval | Last Design Update | Mo./Day/Yr. | Mo./Day/Yr. |
| City Project No. | XXXX.XX | Zone Map No. | H-13 | Sheet | Of |
| | | | | 5 | 5 |

The "SU-1 for C-1 permissive uses" zoning approved for Tract E, St. Anthony's Orphanage Addition (SE corner of 12th Street and Indian School Road NW), Project No. 1003479, Case No. 06EPC 00955 and No. 06EPC 00956, is restricted as follows:

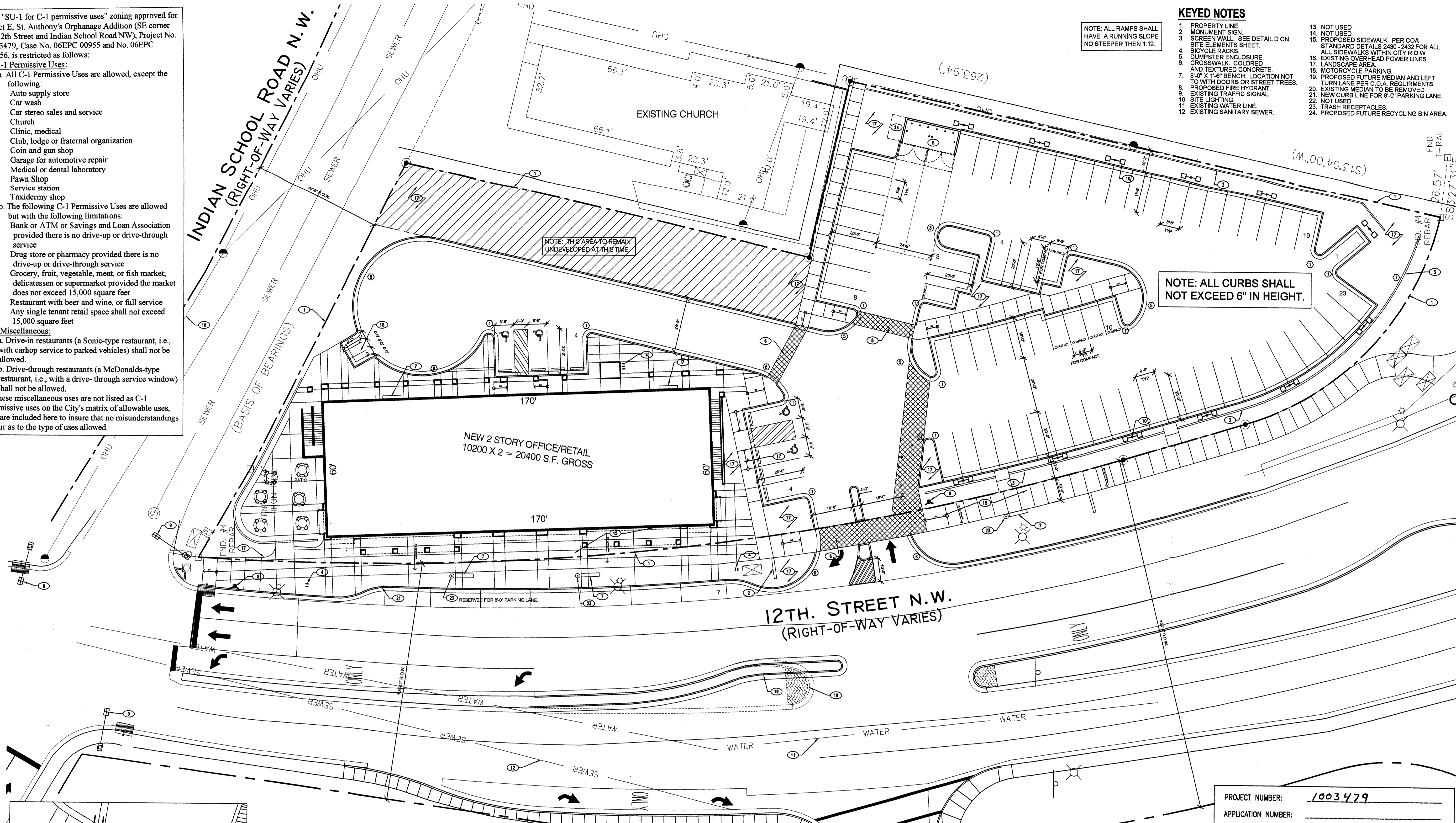
1. C-1 Permissive Uses:
 - a. All C-1 Permissive Uses are allowed, except the following:
 - Auto supply store
 - Car wash
 - Car stereo sales and service
 - Church
 - Clinic, medical
 - Club, lodge or fraternal organization
 - Coin and gun shop
 - Garage for automotive repair
 - Medical or dental laboratory
 - Pawn Shop
 - Service station
 - Taxidermy shop
 - b. The following C-1 Permissive Uses are allowed but with the following limitations:
 - Bank or ATM or Savings and Loan Association provided there is no drive-up or drive-through service
 - Drug store or pharmacy provided there is no drive-up or drive-through service
 - Grocery, fruit, vegetable, meat, or fish market; delicatessen or supermarket provided the market does not exceed 15,000 square feet
 - Restaurant with beer and wine, or full service
 - Any single tenant retail space shall not exceed 15,000 square feet

2. *Miscellaneous:
 - a. Drive-in restaurants (a Sonic-type restaurant, i.e., with carhop service to parked vehicles) shall not be allowed.
 - b. Drive-through restaurants (a McDonalds-type restaurant, i.e., with a drive-through service window) shall not be allowed.

* These miscellaneous uses are not listed as C-1 permissive uses on the City's matrix of allowable uses, but are included here to insure that no misunderstandings occur as to the type of uses allowed.

INDIAN SCHOOL ROAD N.W.
(RIGHT-OF-WAY VARIES)

SEWER
(BASIS OF BEARINGS)



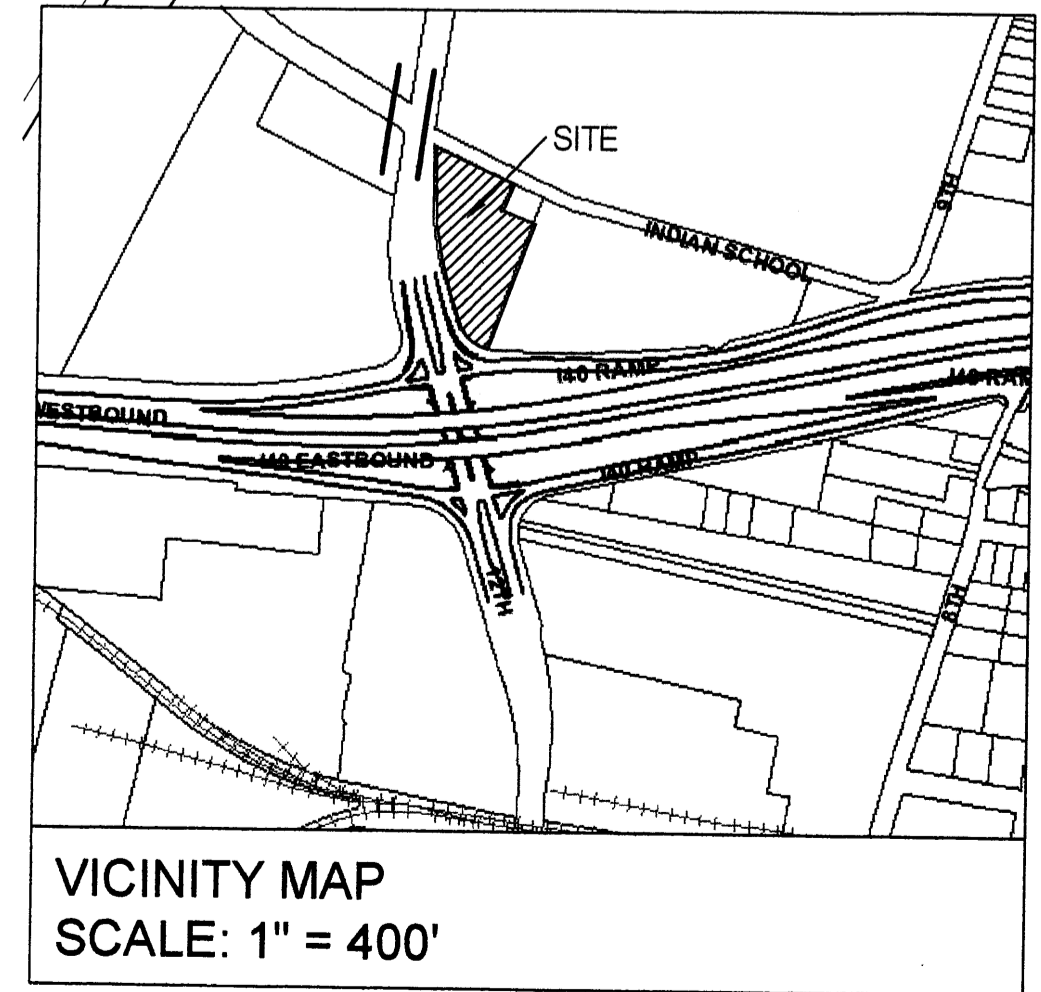
NOTE: ALL RAMPS SHALL HAVE A RUNNING SLOPE NO STEEPER THAN 1:12.

KEYED NOTES

1. PROPERTY LINE.
2. MONUMENT SIGN.
3. SCREEN WALL - SEE DETAIL D ON SITE ELEMENTS SHEET.
4. BICYCLE RACKS.
5. DUMPSTER ENCLOSURE.
6. CROSSWALK COLORED AND TEXTURED CONCRETE.
7. 8'-0" X 1'-6" BENCH, LOCATION NOT TO WITH DOORS OR STREET TREES.
8. PROPOSED FIRE HYDRANT.
9. EXISTING TRAFFIC SIGNAL.
10. SITE LIGHTING.
11. EXISTING WATER LINE.
12. EXISTING SANITARY SEWER.
13. NOT USED.
14. NOT USED.
15. PROPOSED SIDEWALK - PER COA STANDARD DETAILS 2430-2432 FOR ALL ALL SIDEWALKS WITHIN CITY R.O.W.
16. EXISTING OVERHEAD POWER LINES.
17. LANDSCAPE AREA.
18. MOTORCYCLE PARKING.
19. PROPOSED FUTURE MEDIAN AND LEFT TURN LANE PER C.O.A. REQUIREMENTS
20. EXISTING MEDIAN TO BE REMOVED.
21. NEW CURB LINE FOR 8'-0" PARKING LANE.
22. NOT USED.
23. TRASH RECEPTACLES.
24. PROPOSED FUTURE RECYCLING BIN AREA.

NOTE: ALL CURBS SHALL NOT EXCEED 6" IN HEIGHT.

NOTE: THIS AREA TO REMAIN UNDEVELOPED AT THIS TIME



LEGAL DESCRIPTION

TRACT LETTERED "E" OF THE LAND OF ST. ANTHONY'S ORPHANAGE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 19, 1975, IN PLAT BOOK D6, PAGE 158

RADIUS:

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 30'-0"
- ⑨ RADIUS = 50'-0"
- ⑩ RADIUS = 65'-0"
- ⑪ RADIUS = 100'-0"

SITE DATA

PROPOSED USAGE: SU-1 FOR C-1 WITH RESTRICTIONS
 LOT AREA: 69,853.5 SF (1.599 ACRES)
 LANDSCAPE REQUIRED: 8,119 SF
 LANDSCAPE PROVIDED: 4,920 SF
 BUILDING AREA/PARKING: 20400 LEASABLE SF
 BUILDING: 20400 LEASABLE SF
 GROUND FLOOR: 10200/200 = 51 SPACES REQUIRED
 SECOND FLOOR: 10200/200 = 34 SPACES REQUIRED
 SPACES REQUIRED: 85 SPACES
 SPACES PROVIDED: 85 SPACES
 77 STANDARD SPACES (INCLUDES 4 H.C. SPACES)
 8 COMPACT SPACES
 3 MOTORCYCLE SPACES
 BIKE SPACES REQUIRED (1/20): 5 SPACES
 BIKE SPACES PROVIDED: 5 SPACES

SITE PLAN
1" = 20'-0"



NOTE: 12TH STREET HAS AN EXISTING BUS ROUTES. THERE IS AN EXISTING BIKE LANE ON INDIAN SCHOOL RD.

NOTE: FLOWER POTS WILL BE PROVIDED IN THE CAFE ZONE. 6 TOTAL

STREETSCAPE ELEMENTS



PROJECT NUMBER: 1003479
 APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) YES () NO. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

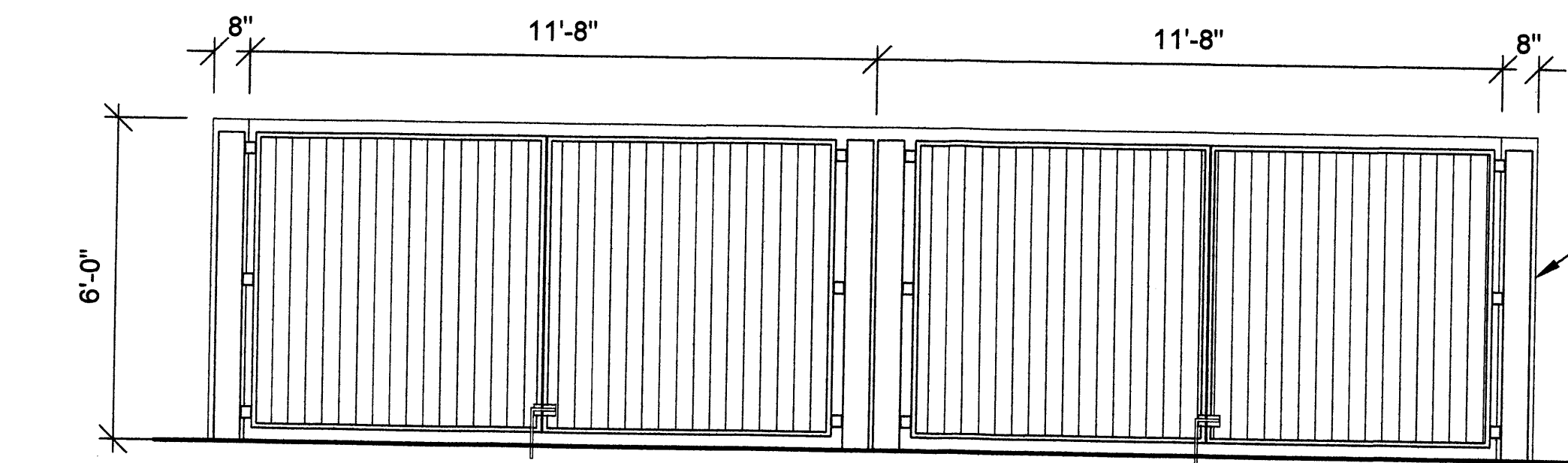
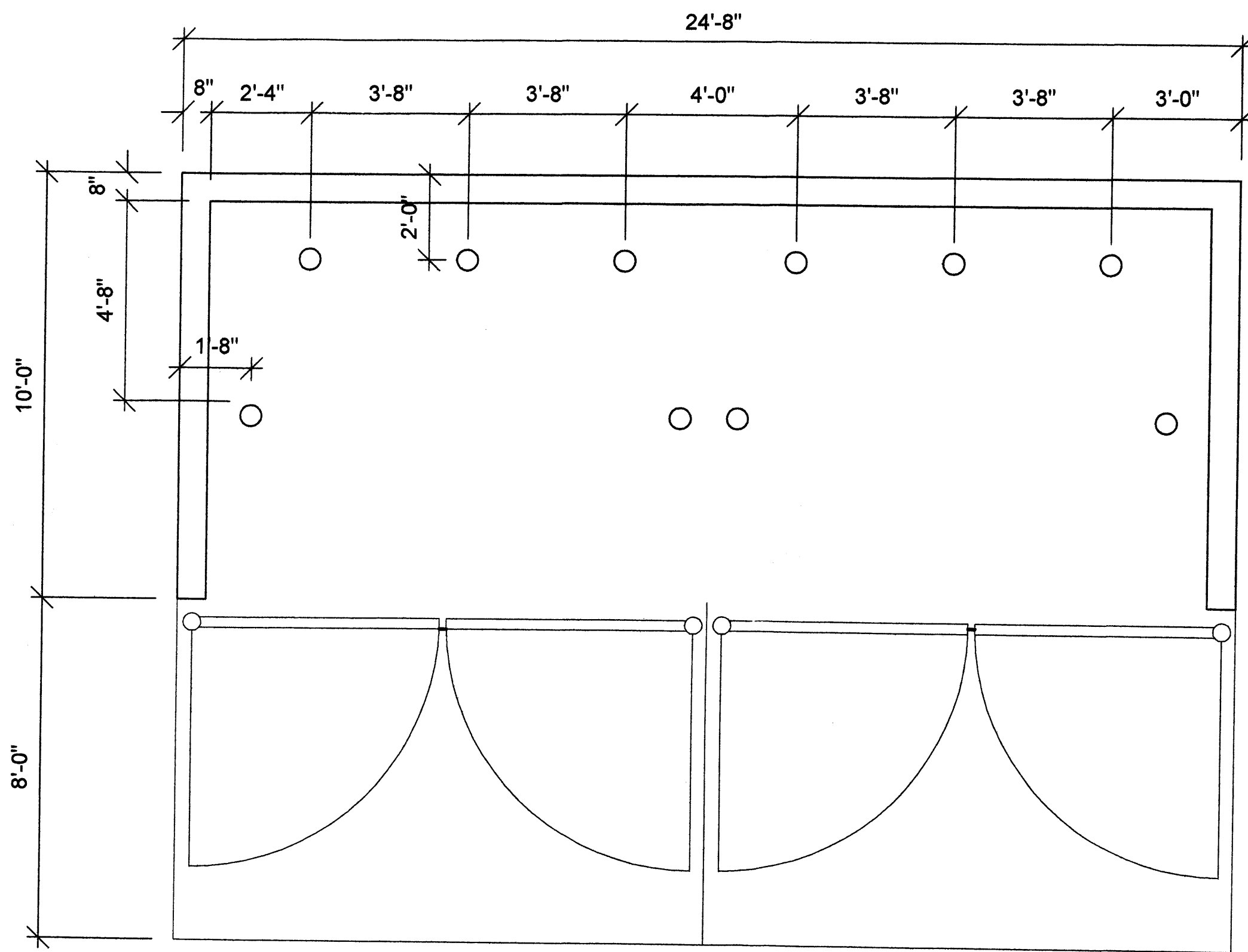
| | |
|--|------|
| Traffic Engineering, Transportation Division | Date |
| Water Utility Department | Date |
| Parks and Recreation Department | Date |
| City Engineer | Date |
| Environmental Health Department *(conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

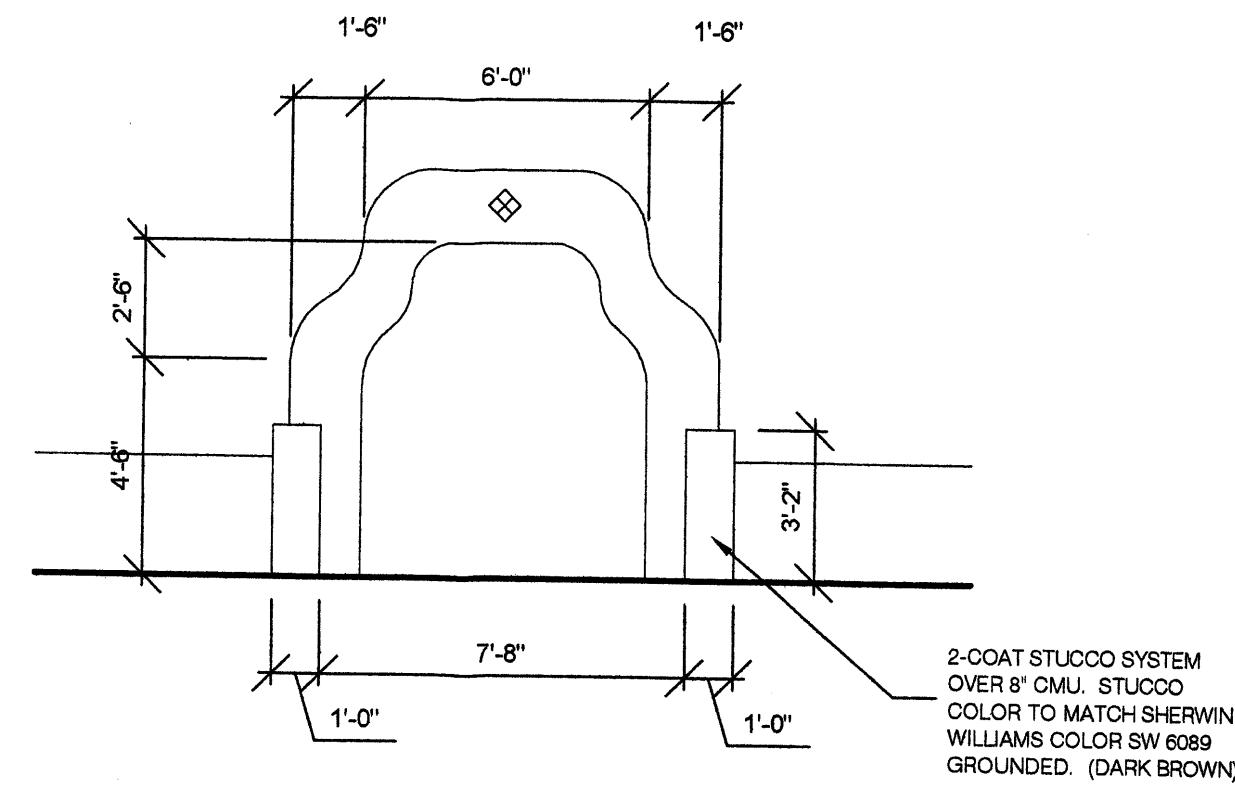
| REV | DATE | BY | EPC COMMENTS | EPC RESUBMITTAL | EPC CONDITIONS | SITE CHANGES | CHANGES | EPC DEFICIENCIES |
|-----|----------|-----|--------------|-----------------|----------------|--------------|---------|------------------|
| 1 | 9-24-07 | JCS | | | | | | |
| 2 | 3-30-01 | JCS | | | | | | |
| 3 | 11-28-06 | JCS | | | | | | |
| 4 | 10-30-06 | JCS | | | | | | |
| 5 | 8-20-06 | JCS | | | | | | |
| 6 | 7-12-06 | JCS | | | | | | |

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

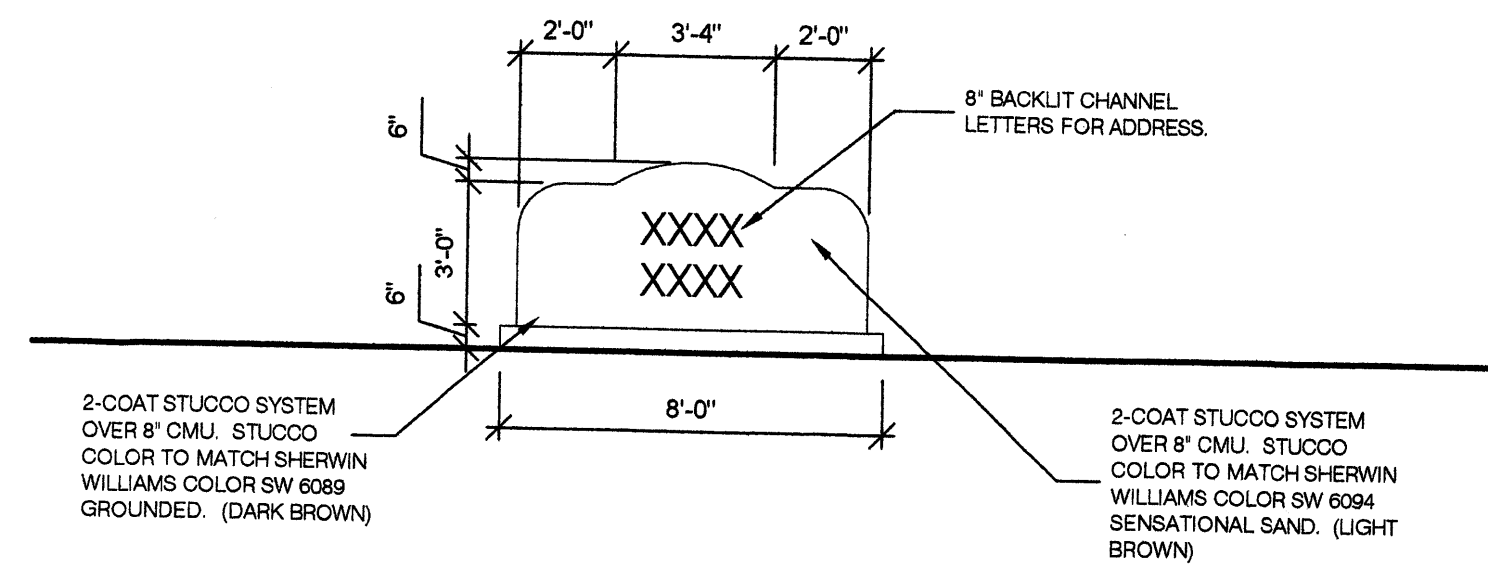
PROJECT TITLE: 12TH AND INDIAN SCHOOL
 12TH AND INDIAN SCHOOL, Albuquerque, NM
 PROJECT MANAGER: George Rainhart, AIA
 DRAWN BY: JCS
 DATE: 06/30/06
 SCALE: AS NOTED
 SHEET TITLE: SITE PLAN FOR BLD. PERMIT
 SHEET: AS1 of



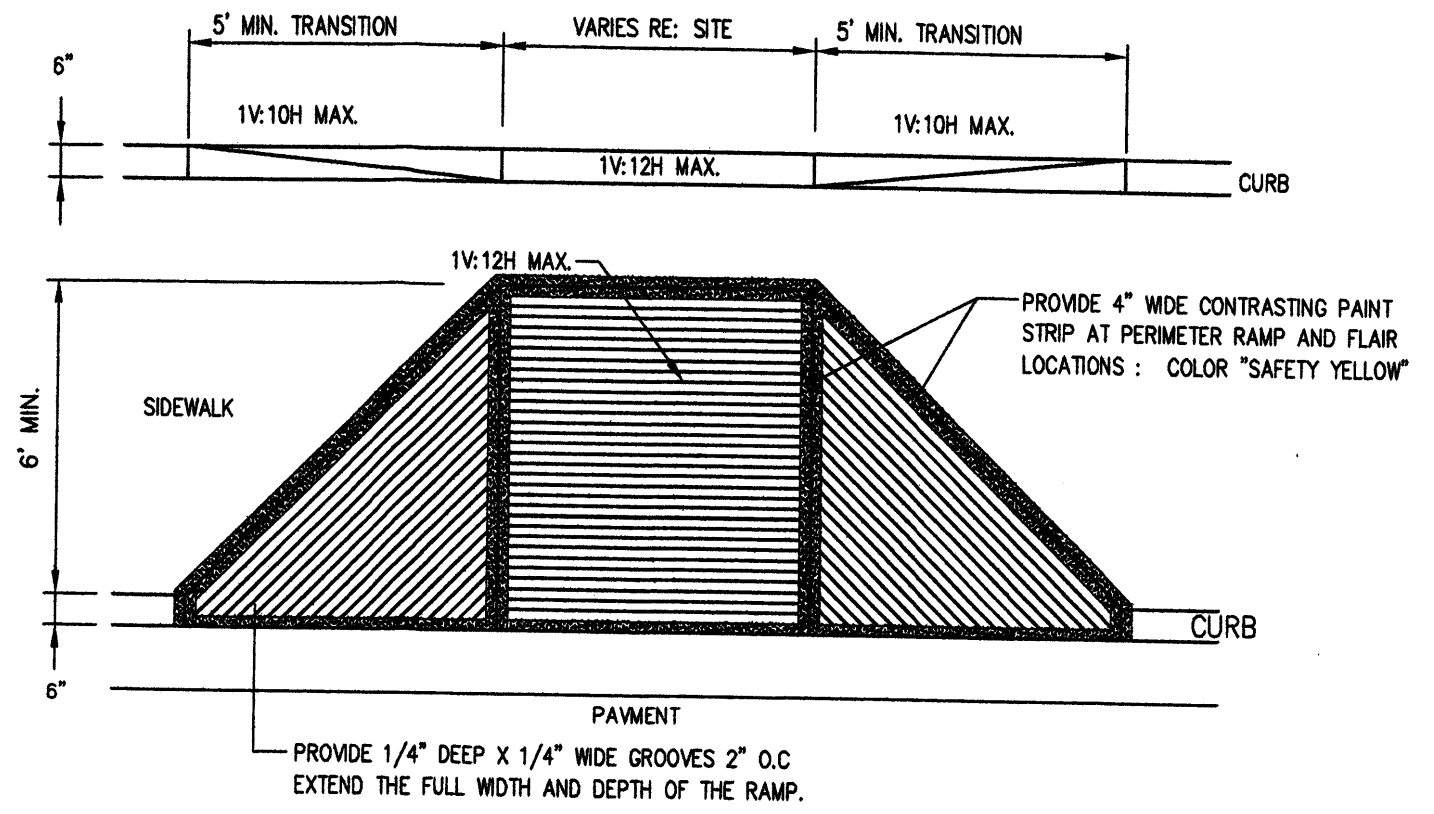
C DUMPSTER ENCLOSURE
N.T.S.



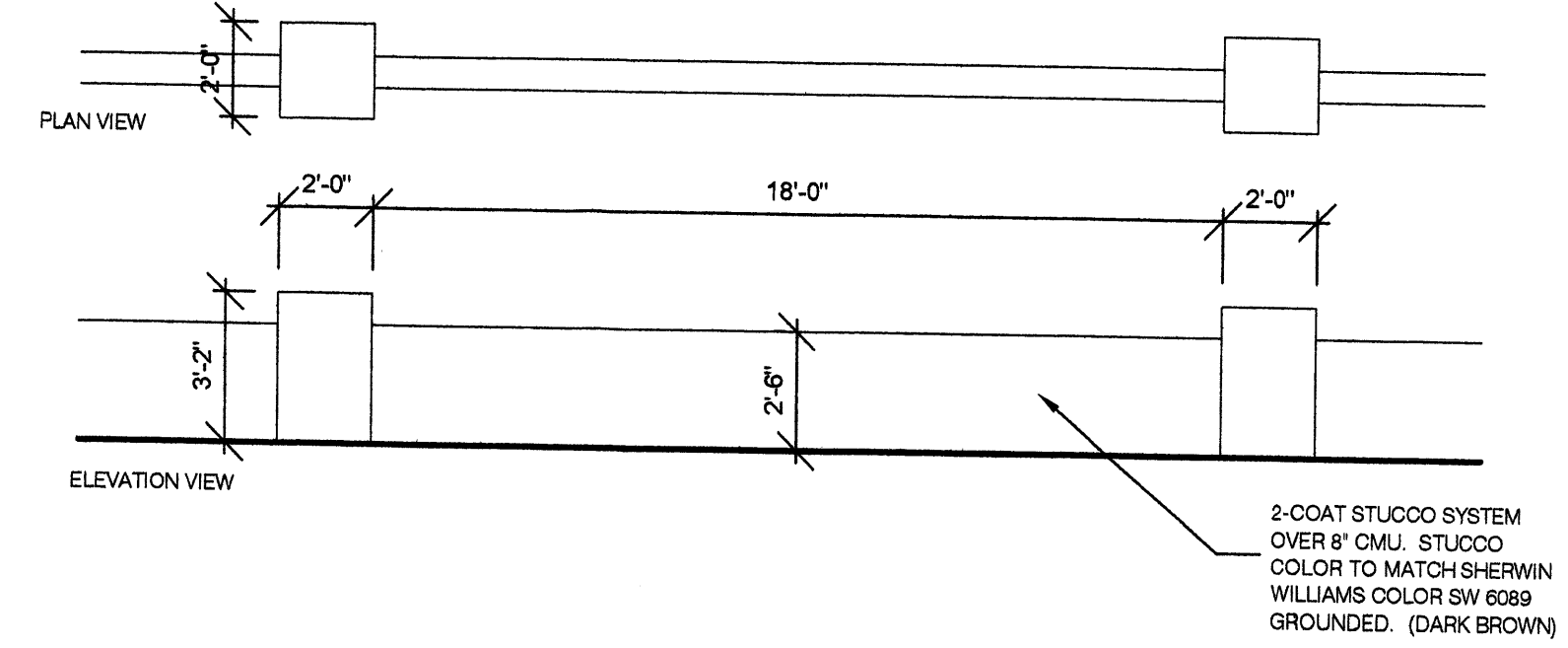
E ENTRY POINT
1/4" = 1'-0"



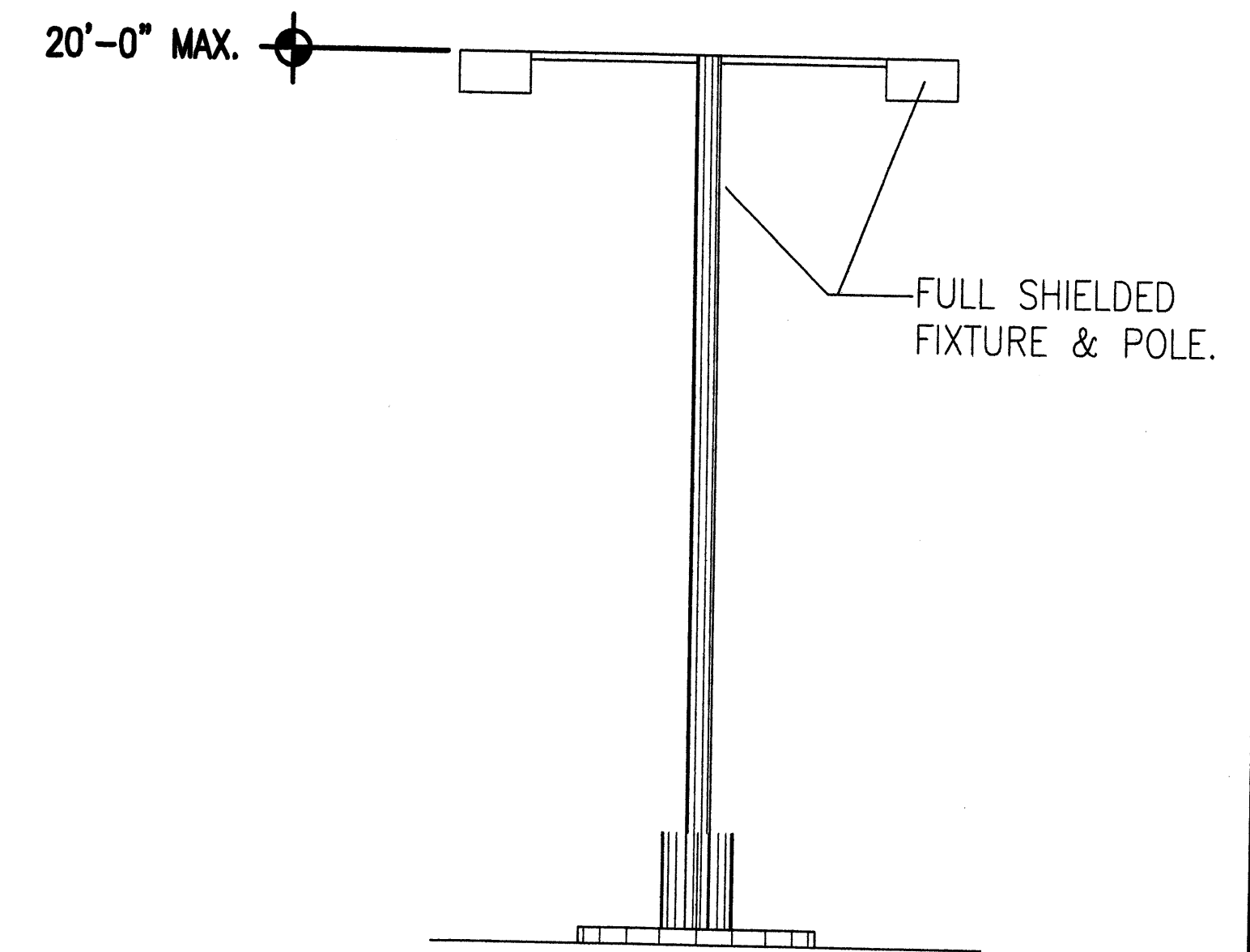
B MONUMENT SIGN
1/4" = 1'-0"



F HC RAMP
N.T.S.



D SCREEN WALL
1/4" = 1'-0"



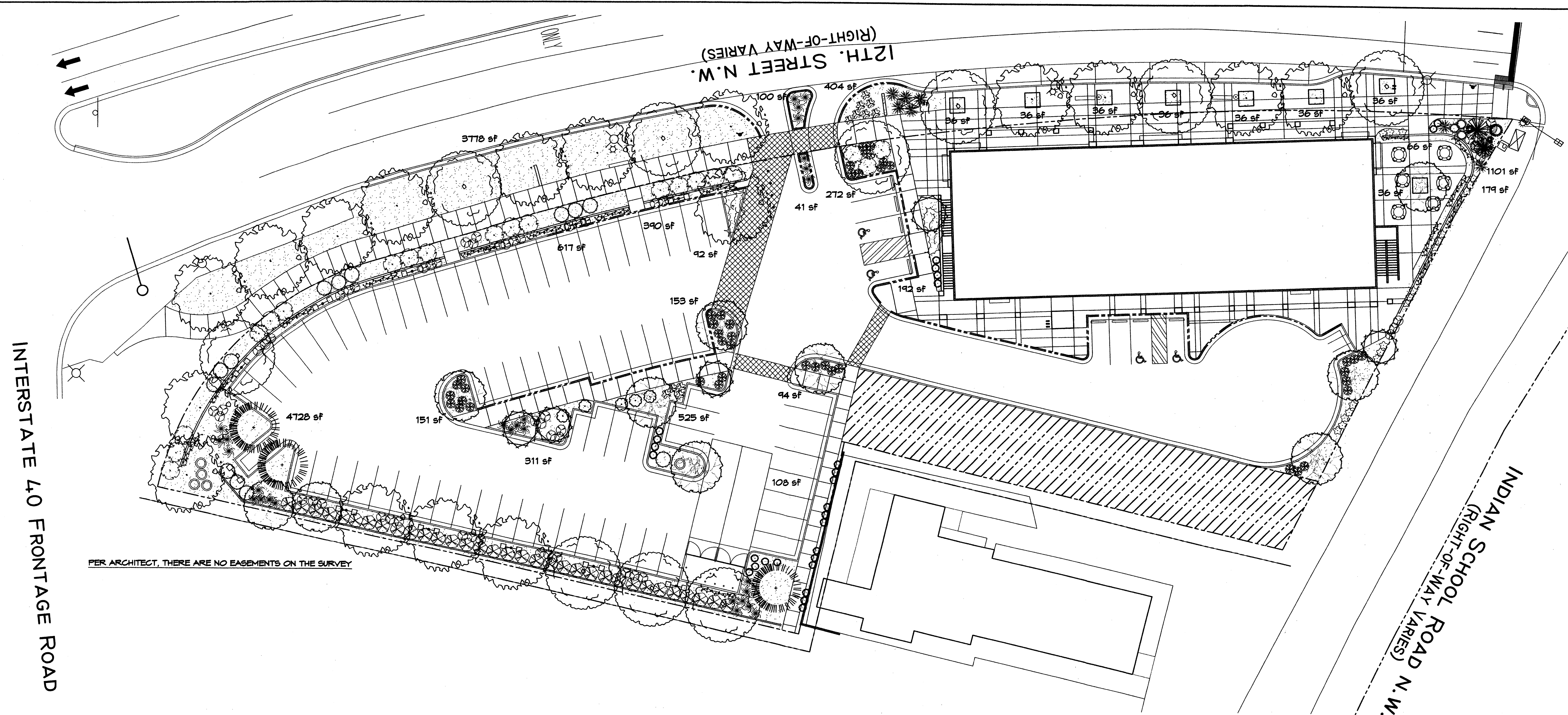
A SITE LIGHTING
N.T.S.

| REV | DATE | BY | REVISION |
|-----|------|----|----------|
| 1 | | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |

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PHONE (505) 884-9110 FAX (505) 837-9877

| | |
|--|-------------------------------------|
| PROJECT TITLE 12TH AND INDIAN SCHOOL | DRAWN BY: JCS |
| 12TH AND INDIAN SCHOOL Albuquerque, NM | JOB NO. |
| PROJECT MANAGER George Rainhart, AIA | SHEET TITLE SITE ELEMENTS |

| | |
|--------------------|--------|
| DATE: 06/30/06 | sheet: |
| SCALE: AS NOTED | of: |



INTERSTATE 40 FRONTAGE ROAD

12TH STREET N.W.
(RIGHT-OF-WAY VARIES)

INDIAN SCHOOL ROAD N.W.
(RIGHT-OF-WAY VARIES)

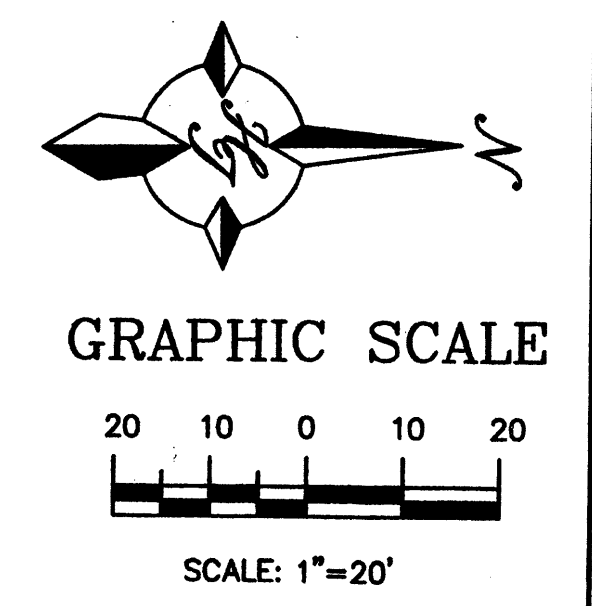
PER ARCHITECT, THERE ARE NO EASEMENTS ON THE SURVEY

PLANT LEGEND

- | | | | |
|---|---|--|---|
| <p>PURPLE ROBE LOCUST (M) 10 <i>Robinia pseudoacacia</i> 2" Cal. minimum 8' tall</p> <p>CHINESE PISTACHE (M) 17 <i>Pistacia chinensis</i> 2" Cal. minimum 8' tall</p> <p>CHITALPA (M) 10 <i>Chilopsis X Catalpa</i> 2" Cal. minimum 8' tall</p> <p>AFGHAN PINE (M) 3 <i>Pinus eldarica</i> minimum 10'</p> <p>BIRD OF PARADISE (L) 20 <i>Caesalpinia gillesii</i> 5 Gal. 100sf</p> | <p>PALM YUCCA (L) 2</p> <p>DESERT WILLOW (L) 5 <i>Chilopsis linearis</i> 15 Gal. 225sf</p> <p>MUGO PINE (M) 1 <i>Pinus mugo</i> 5 Gal. 25sf</p> <p>ARP ROSEMARY (M) 5 <i>Rosmarinus officinalis</i> 5 Gal. 25sf</p> <p>MAIDENGRASS (M) 28 <i>Miscanthus sinensis</i> 5 Gal. 16sf</p> <p>LAVENDER (M) 27 <i>Lavandula angustifolia</i> 1 Gal. 4sf</p> <p>POTENTILLA (M) 20 <i>Potentilla fruticosa</i> 1 Gal. 4sf</p> | <p>BUTTERFLY BUSH (M) 13 <i>Buddleia davidii</i> 5 Gal. 100sf</p> <p>RED YUCCA (L) 7 <i>Hesperaloe parviflora</i> 5 Gal. 4sf</p> <p>NANDINA (M) 5 <i>Nandina domestica</i> 5 Gal. 25sf</p> <p>INDIAN HAWTHORN (M) 33 <i>Raphiolepis indica</i> 5 Gal. 36sf</p> <p>LENA BROOM (M) 3 <i>Cytisus scoparius</i> 5 Gal. 16sf</p> <p>REGAL MIST (M) 42 <i>Muhlenbergia capillaris</i> 5 Gal. 4sf</p> | <p>DEERGRASS (M) 11 <i>Muhlenbergia rigens</i> 1 Gal. 16sf</p> <p>WILDFLOWER 53 1 Gal. 4sf</p> <p>BANK'S ROSE (M) 15 <i>Rosa banksiae</i> 1 Gal.</p> <p>CREeping ROSEMARY (L) 6 <i>Rosmarinus officinalis 'Prostrata'</i> 1 Gal. 36sf Symbol indicates 3 plants</p> <p>OVERSIZED GRAVEL # 3 BOULDERS</p> <p>SANTA FE BROWN GRAVEL</p> |
|---|---|--|---|

LANDSCAPE CALCULATIONS

| | | |
|------------------------------------|------------|-------------|
| TOTAL LOT AREA | 69610 | square feet |
| TOTAL BUILDINGS AREA | 10200 | square feet |
| OFFSITE AREA | 3178 | square feet |
| NET LOT AREA | 55142 | square feet |
| LANDSCAPE REQUIREMENT | 15% | |
| TOTAL LANDSCAPE REQUIREMENT | 8361 | square feet |
| TOTAL BED PROVIDED | 9812 | square feet |
| GROUNDCOVER REQ./LIVING VEGETATIVE | 80% | square feet |
| TOTAL GROUNDCOVER REQUIREMENT | 1850 | square feet |
| TOTAL GROUNDCOVER PROVIDED | 7852 (80%) | square feet |
| TOTAL LANDSCAPE PROVIDED | 9812 (18%) | square feet |



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 cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

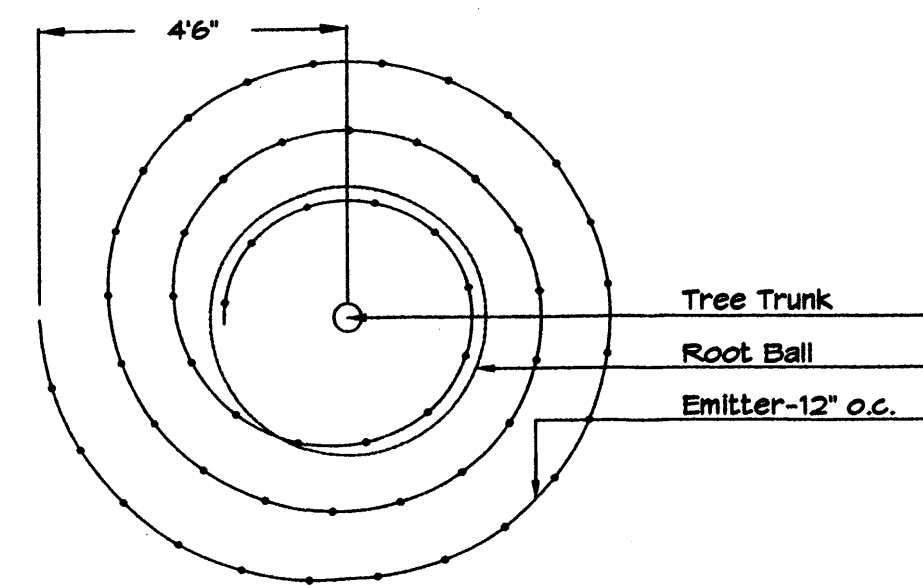
 JAMES DE FLON
 #0007

12TH AND I-40 OFFICE RETAIL
 ALBUQUERQUE, NM
 LANDSCAPE PLAN

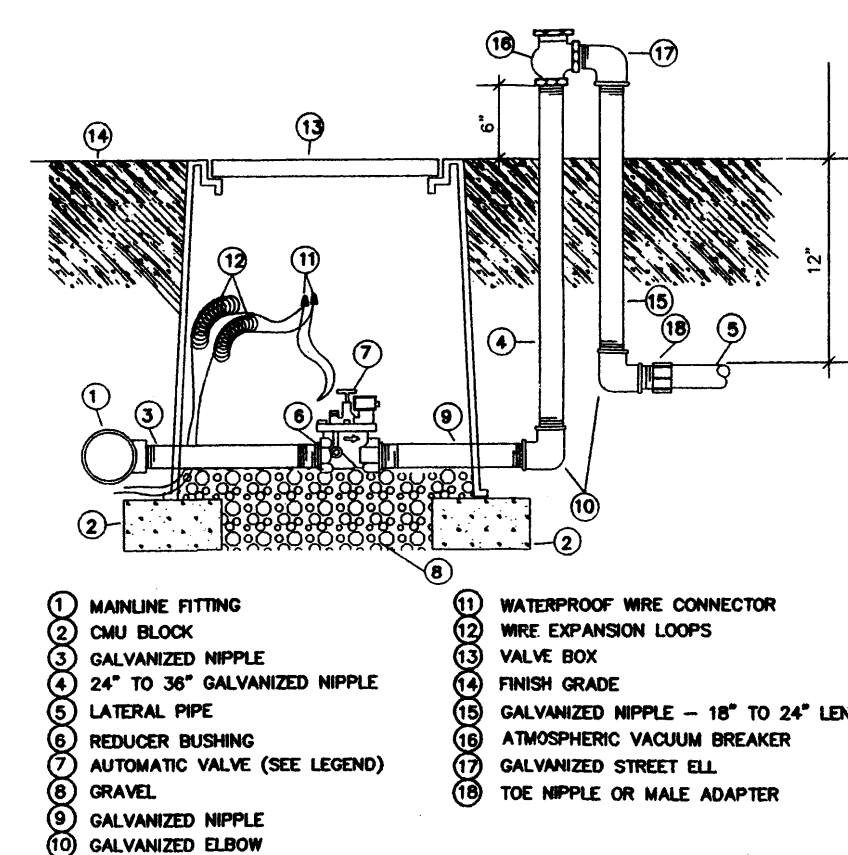
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LANDSCAPE ARCHITECTS & CONTRACTORS

| | | |
|----------|------------|----------|
| DRAWN BY | REVISION # | DATE |
| ADF | 6 | 9-24-07 |
| SHEET # | | L1 OF L2 |



Netafim Spiral Detail



AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an Infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. Street trees shall be allowed to grow to full, mature height and shall not be topped-off.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

The owner shall maintain the street trees in an attractive, living condition as required pursuant to the Street Tree Ordinance (Chapter 6, Article 6, R.O. 1974).

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

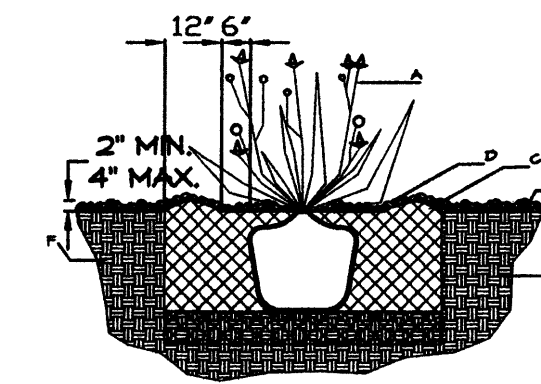
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



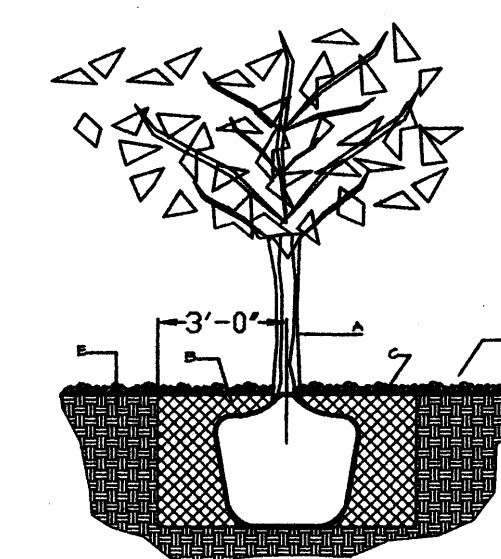
SHRUB PLANTING DETAIL
NTS

GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



TREE PLANTING DETAIL
NTS

GENERAL NOTES:

- 1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- 2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.

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LANDSCAPE ARCHITECT'S SEAL

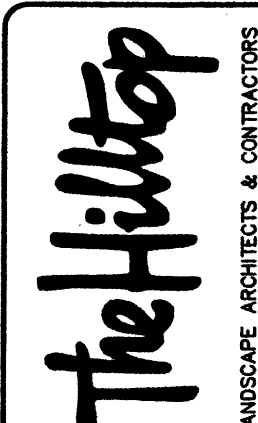


JAMES DE FLON
#0007

12TH AND I-40 OFFICE RETAIL
ALBUQUERQUE, NM

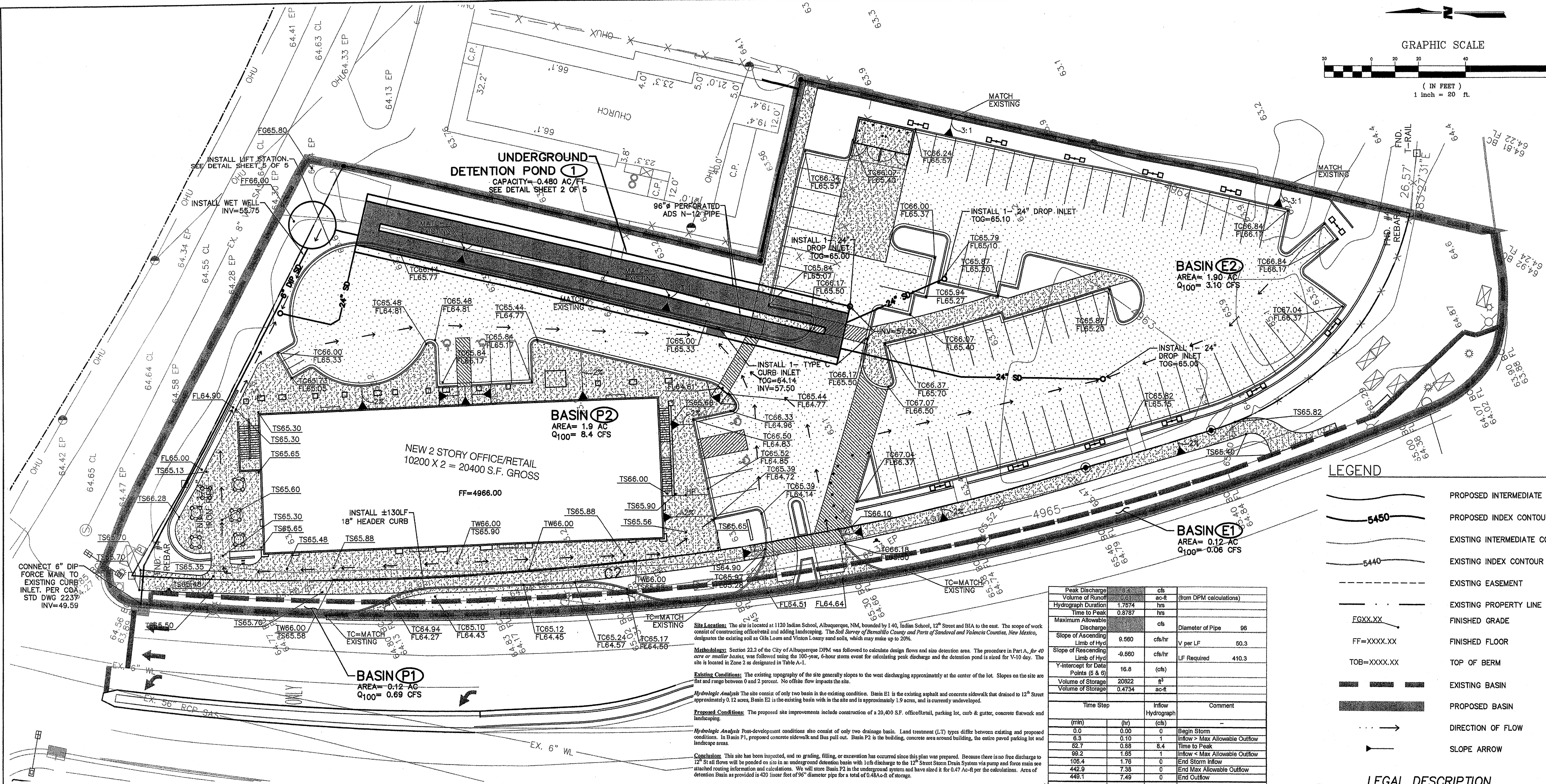
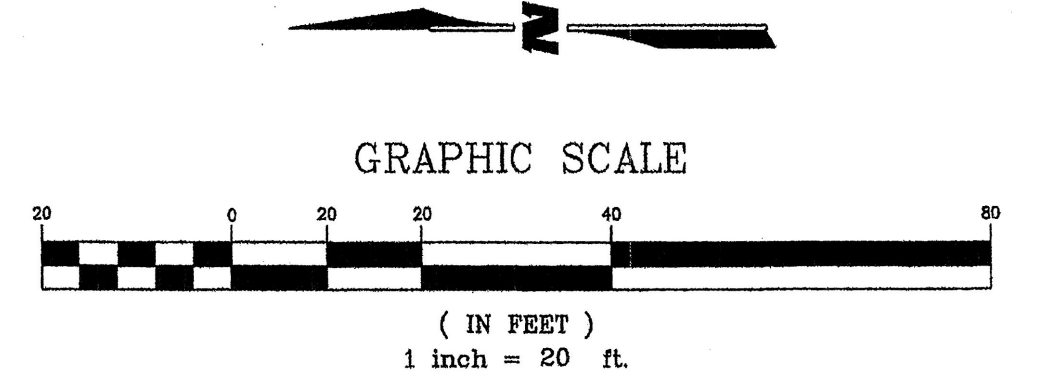
LANDSCAPE PLAN

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DRAWN BY: ADF
REVISION # 6
DATE 9-24-07

SHEET #
L2 OF L2



LEGEND

- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING EASEMENT
- EXISTING PROPERTY LINE
- FINISHED GRADE
- FINISHED FLOOR
- TOP OF BERM
- EXISTING BASIN
- PROPOSED BASIN
- DIRECTION OF FLOW
- SLOPE ARROW

| Peak Discharge | 9.9 | cfs | |
|-------------------------------------|--------------------|---------|---------------------------------|
| Volume of Runoff | 0.61 | ac-ft | (from DPM calculations) |
| Hydrograph Duration | 1.7574 | hrs | |
| Time to Peak | 0.8787 | hrs | |
| Maximum Allowable Discharge | | cfs | Diameter of Pipe 86 |
| Slope of Ascending Limb of Hyd | 9.560 | cfs/hr | V per LF 50.3 |
| Slope of Descending Limb of Hyd | -9.660 | cfs/hr | LF Required 410.3 |
| Y-intercept for Data Points (5 & 6) | 16.8 | (cfs) | |
| Volumes of Storage | 20822 | cu-ft | |
| Volume of Storage | 0.4734 | ac-ft | |
| Time Step | Inflow Hydrograph | Comment | |
| (min) | (hr) | (cfs) | |
| 0.0 | 0.00 | 0 | Begin Storm |
| 6.3 | 0.10 | 1 | Inflow > Max Allowable Outflow |
| 52.7 | 0.88 | 8.4 | Time to Peak |
| 99.2 | 1.65 | 1 | Inflow < Max Allowable Outflow |
| 105.4 | 1.75 | 0 | End Storm Inflow |
| 442.9 | 7.38 | 0 | Outflow > Max Allowable Outflow |
| 449.1 | 7.49 | 0 | End Outflow |
| Time Step | Outflow Hydrograph | Comment | |
| (min) | (hr) | (cfs) | |
| 0.0 | 0.00 | 0 | Begin Storm |
| 6.3 | 0.10 | 1 | Inflow > Max Allowable Outflow |
| 52.7 | 0.88 | 1 | Time to Peak |
| 99.2 | 1.65 | 1 | Inflow < Max Allowable Outflow |
| 442.9 | 7.38 | 1 | Outflow > Max Allowable Outflow |
| 449.1 | 7.49 | 0 | End Outflow |

Site Location: The site is located at 1120 Indian School, Albuquerque, NM, bounded by 140, Indian School, 12th Street and BIA to the east. The scope of work consist of constructing offsite and adding landscaping. The Soil Survey of Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico, designates the existing soil as Giln Loom and Vinton Loamy sand soils, which may make up to 20%.

Methodology: Section 22.2 of the City of Albuquerque DPM was followed to calculate design flows and size detention area. The procedure in Part A, for 40 acre or smaller basins, was followed using the 100-year, 6-hour storm event for calculating peak discharge and the detention pond is sized for V-10 day. The site is located in Zone 2 as designated in Table A-1.

Existing Conditions: The existing topography of the site generally slopes to the west discharging approximately at the center of the lot. Slopes on the site are flat and range between 0 and 2 percent. No offsite flow impacts the site.

Hydrologic Analysis: The site consist of only two basins in the existing condition. Basin E1 is the existing asphalt and concrete sidewalk that drained to 12th Street approximately 0.12 acre, Basin E2 is the existing basin with in the site and is approximately 1.9 acres, and is currently undeveloped.

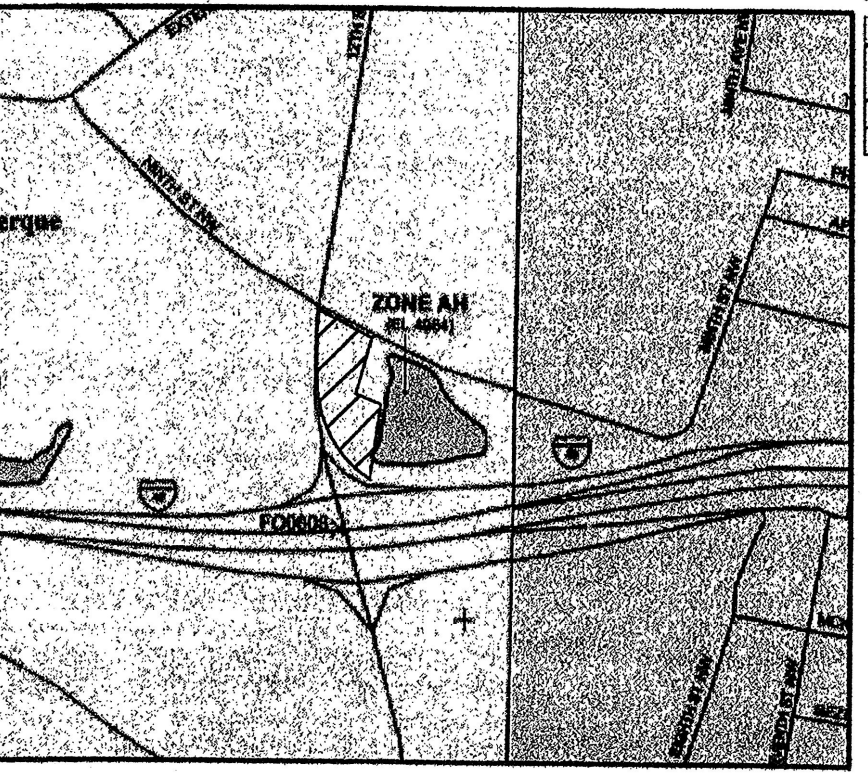
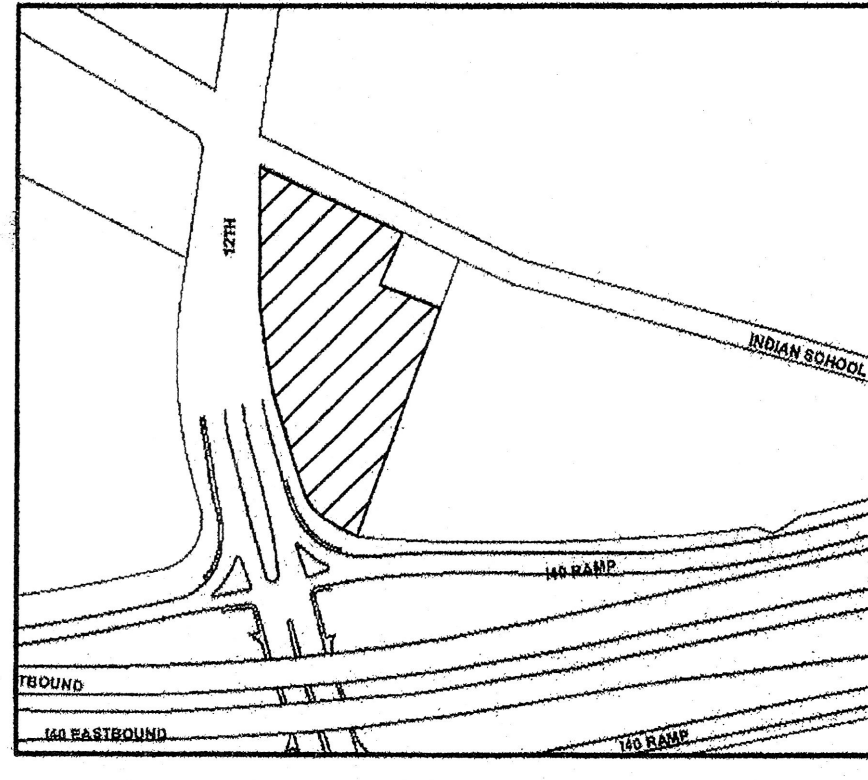
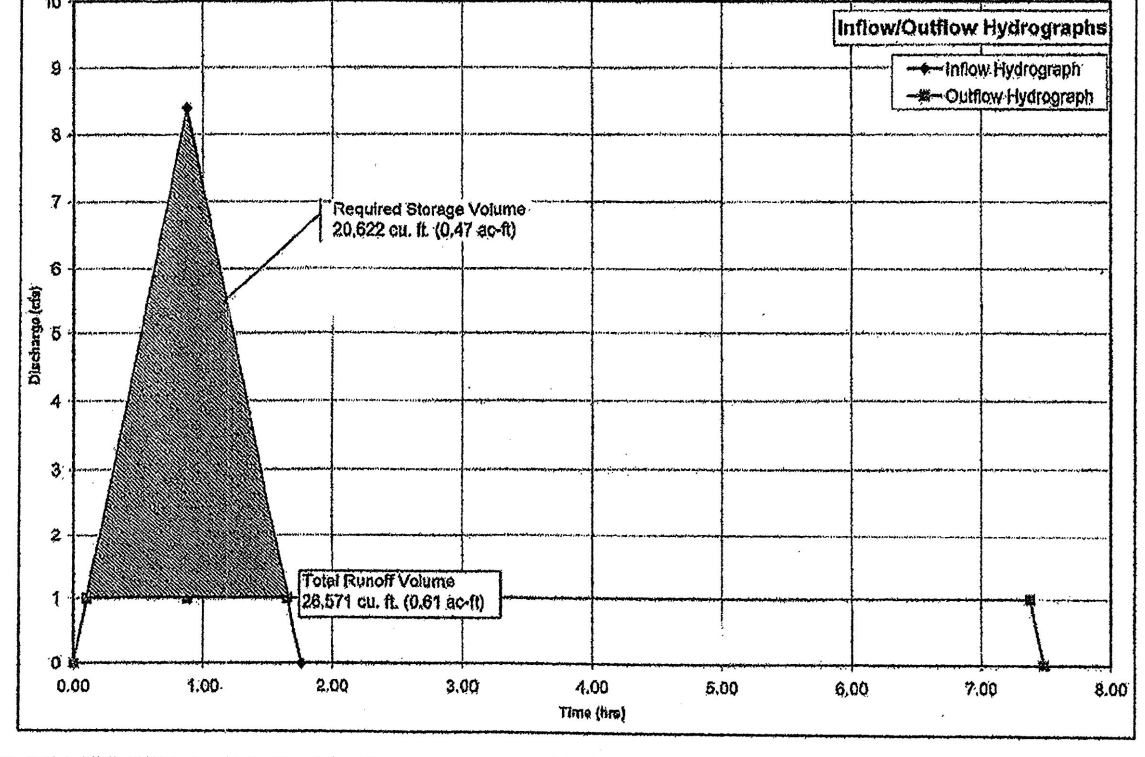
Proposed Conditions: The proposed site improvements include construction of a 20,400 S.F. office/retail, parking lot, curb & gutter, concrete flatwork and landscaping.

Hydrologic Analysis Post-development conditions also consist of only two drainage basin. Land treatment (LT) types differ between existing and proposed conditions. In Basin P1, proposed concrete sidewalk and Bus pull out. Basin P2 is the building, concrete area around building, the entire paved parking lot and landscape areas.

Conclusion: This site has been inspected, and no grading, filling, or excavation has occurred since this plan was prepared. Because there is no free discharge to 12th St all flows will be ponded on site in an underground detention basin with 1 cfs discharge to the 12th Street Storm Drain System via pump and force main see attached routing information and calculations. We will store Basin P2 in the underground system and have sized it for 0.47 ac-ft per the calculations. Area of detention Basin as provided is 420 linear feet of 36" diameter pipe for a total of 0.48 ac-ft of storage.

Minor improvements will be required to the curb inlet at the south east corner of 12th Indian School for the force main out of the underground detention basin and Basin P1 will continue to drain to 12th Street. A temporary erosion control plan will be required as part of Grading & Drainage Permit, which will be submitted by contractor at time of permit application. This Grading & Drainage Report seeks Grading & Drainage Plan and Grading and Building Permit approval.

| Basin ID | Total Area | A | B | C | D | C _{ov} | I | Q ₁₀₀ | E ₁₀₀ | V ₁₀₀ | V ₁₀₀ | V ₁₀₀ | V ₁₀₀ | | | |
|----------|------------|------|------|------|-------|-----------------|--------|------------------|------------------|------------------|------------------|------------------|------------------|------|------|------|
| P1 | 0.12 | 0.0% | 0.0% | 0.0% | 33.8% | 0.04 | 100.0% | 0.12 | 1.14 | 5.05 | 0.69 | 2.50 | 0.03 | 0.05 | 0.16 | 0.32 |
| P2 | 1.90 | 0.0% | 0.0% | 0.0% | 10.0% | 0.19 | 185.0% | 1.82 | 0.88 | 5.05 | 8.40 | 1.95 | 0.31 | 0.34 | 0.45 | 0.61 |

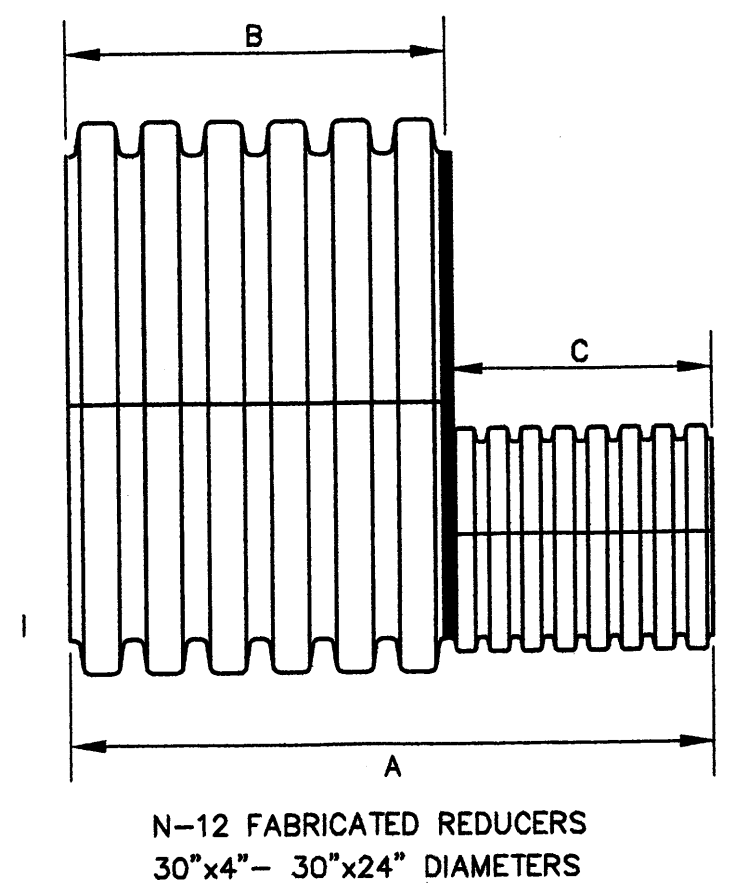


LEGAL DESCRIPTION
TRACT LETTERED "E" OF THE LAND OF ST. ANTHONY'S ORPHANAGE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 19, 1975, IN PLAT BOOK D6, PAGE 158.

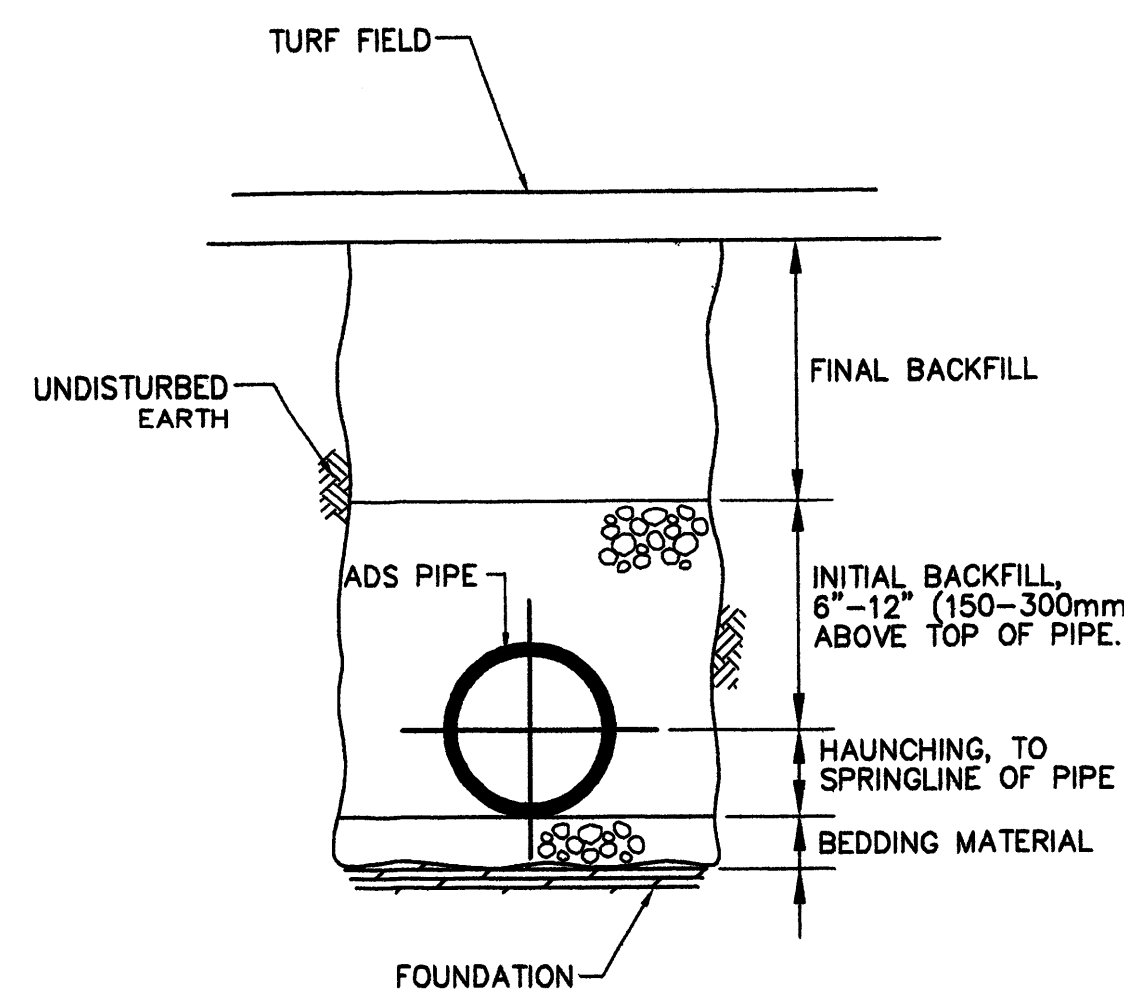
BENCH MARK
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 11-H13, THE PUBLISHED ELEVATION OF WHICH IS 4964.29 ± 1 3/4" ALUMINUM DISK LOCATED AT THE NNW QUADRANT OF INDIAN SCHOOL ROAD NW AND 12 TH. STREET NW.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP
12TH & 1-40
GRADING & DRAINAGE
PLAN LOCATION

| | | | |
|--------------------------|------------------------|-------------|-------------|
| Design Review Committee | City Engineer Approval | Mo./Dvy/Yr. | Mo./Dvy/Yr. |
| City Project No. XXXX.XX | Zone Map No. H-13 | Sheet 1 | Of 5 |



| PART # | PIPE SIZE | A | B | C | 1 | 2 | JOINT |
|-----------|-----------|--------|--------|--------|---|---|-------|
| 3076AN | 30" x 18" | 33.25" | 20.60" | 12.65" | P | P | * |
| 3076AN85B | 30" x 18" | 33.25" | 20.60" | 12.65" | B | B | ST |



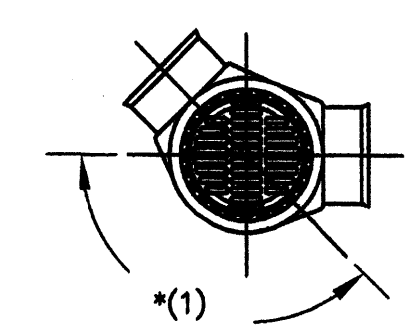
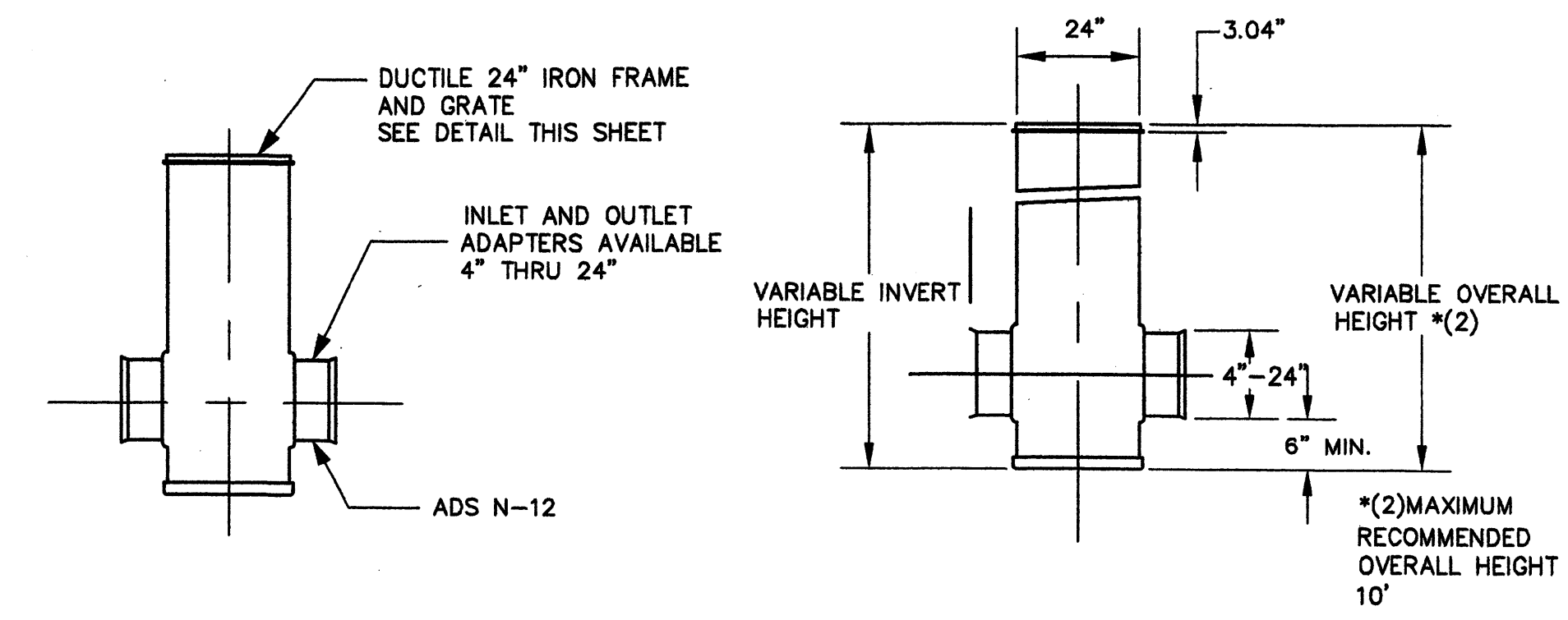
- NOTES:**
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH A FOUNDATION OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321, "STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS," LATEST EDITION; AS AN ALTERNATIVE AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.
 - BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100-600mm) AND 42"-48" (1060-1200mm) CORRUGATED POLYETHYLENE PIPE (CPEP); 6" (150mm) FOR 30"-36" (750-900mm) CPEP.
 - HAUNCHING AND INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
 - UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:

| NOMINAL ϕ in (mm) | MIN. RECOMMENDED TRENCH WIDTH, in (mm) |
|------------------------|--|
| 18 (450) | 39 (990) |
| 30 (750) | 66 (1680) |
| 48 (1200) | 105 (3000) |
 - MINIMUM COVER: MINIMUM RECOMMENDED DEPTHS OF COVER FOR VARIOUS LIVE LOADING CONDITIONS ARE SUMMARIZED IN THE FOLLOWING TABLE. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TAKEN FROM THE TOP OF PIPE TO THE GROUND SURFACE.

| SURFACE LIVE LOADING CONDITION | MINIMUM RECOMMENDED COVER, in (mm) |
|--------------------------------|------------------------------------|
| H25 (FLEXIBLE PAVEMENT) | 12 (300) |

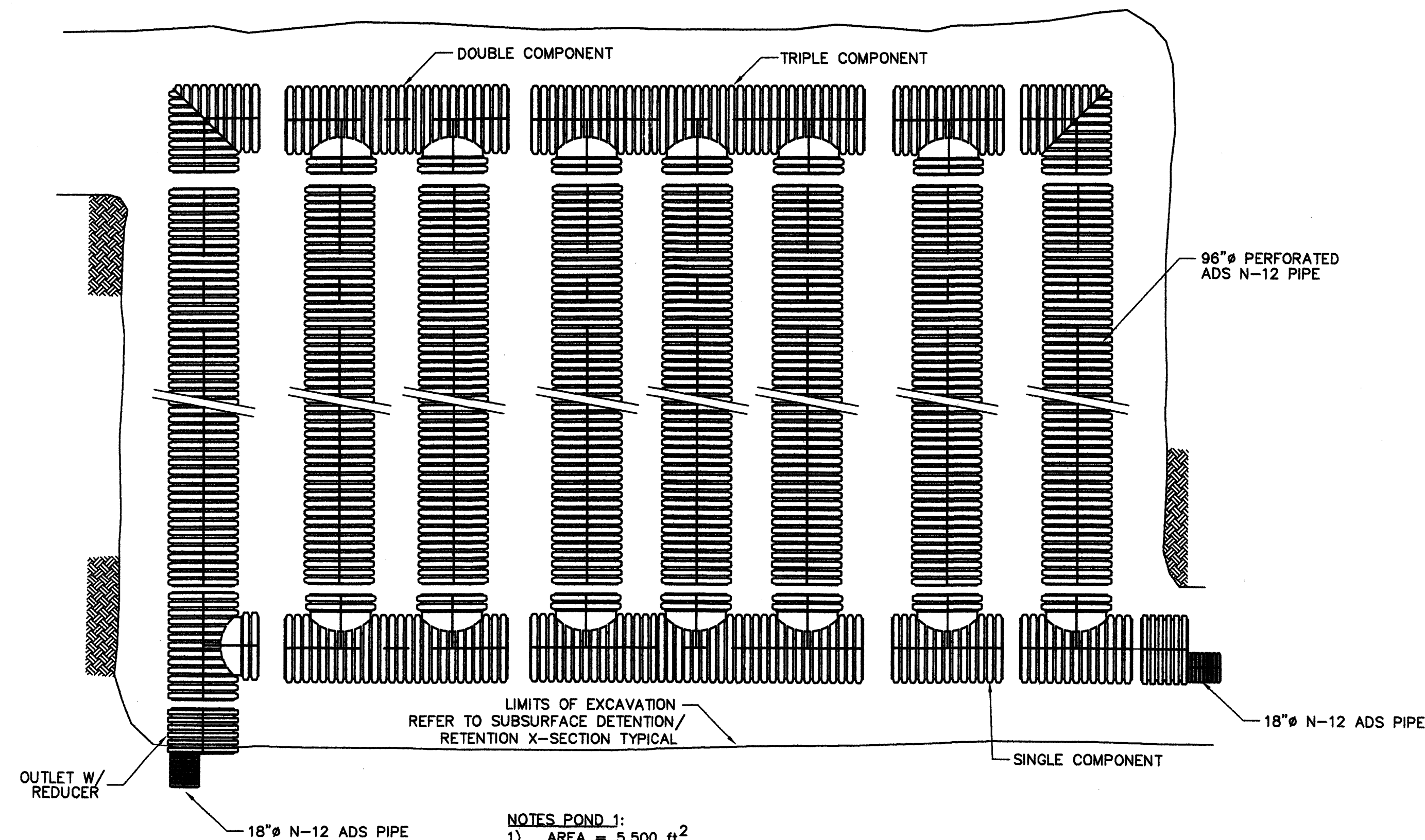
* TOP OF PIPE TO BOTTOM OF BITUMINOUS PAVEMENT SECTION

D2 TYPICAL TRENCH CROSS-SECTION
SCALE: NTS



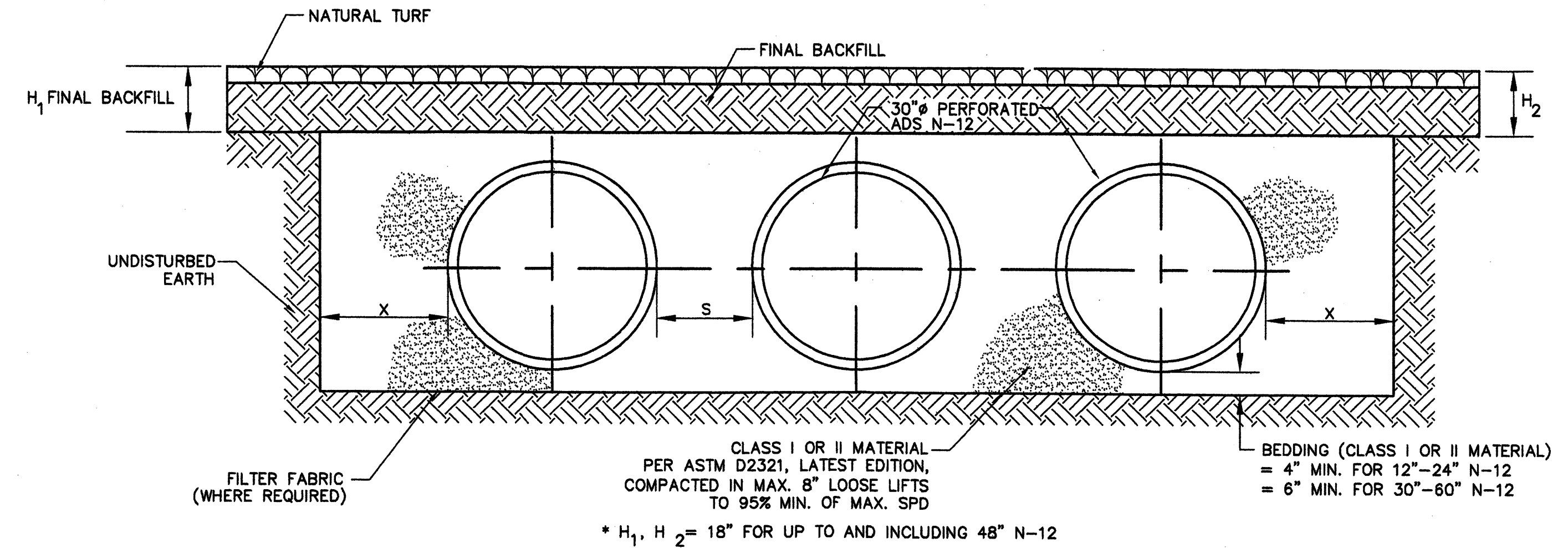
D5 TYPICAL 24" ϕ DROP INLET DETAIL
SCALE: NTS

D1 REDUCER DETAIL
SCALE: NTS



- NOTES POND 1:**
- AREA = 5,500 ft²
 - LENGTH OF 96" ϕ PERFORATED REQUIRED IS 440 LF.
 - CONTRACTOR SHALL COORDINATE WITH PIPE MANUFACTURER TO DEVELOP AND SUBMIT FINAL SUBDRAINAGE SYSTEM LAYOUT TO ENGINEER FOR APPROVAL PRIOR TO PIPE PROCUREMENT.

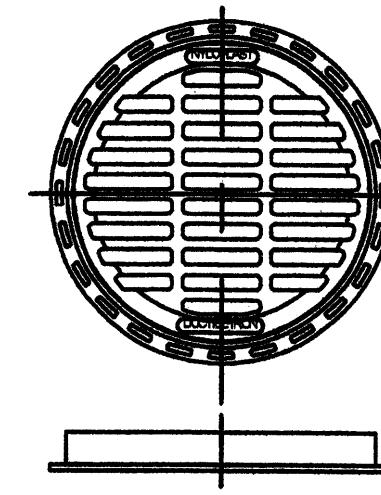
A1 SUBSURFACE DETENTION/RETENTION SYSTEM PLAN
SCALE: NTS



- NOTES:**
- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
 - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
 - FOR MORE DETAILED INFORMATION, SEE ADS TECHNICAL NOTE 2.120, "STORM WATER DETENTION/RETENTION SYSTEM DESIGN".

| NOMINAL DIAMETER | MINIMUM X | MINIMUM S |
|------------------|-----------|-----------|
| 96" | 3' | 3' |

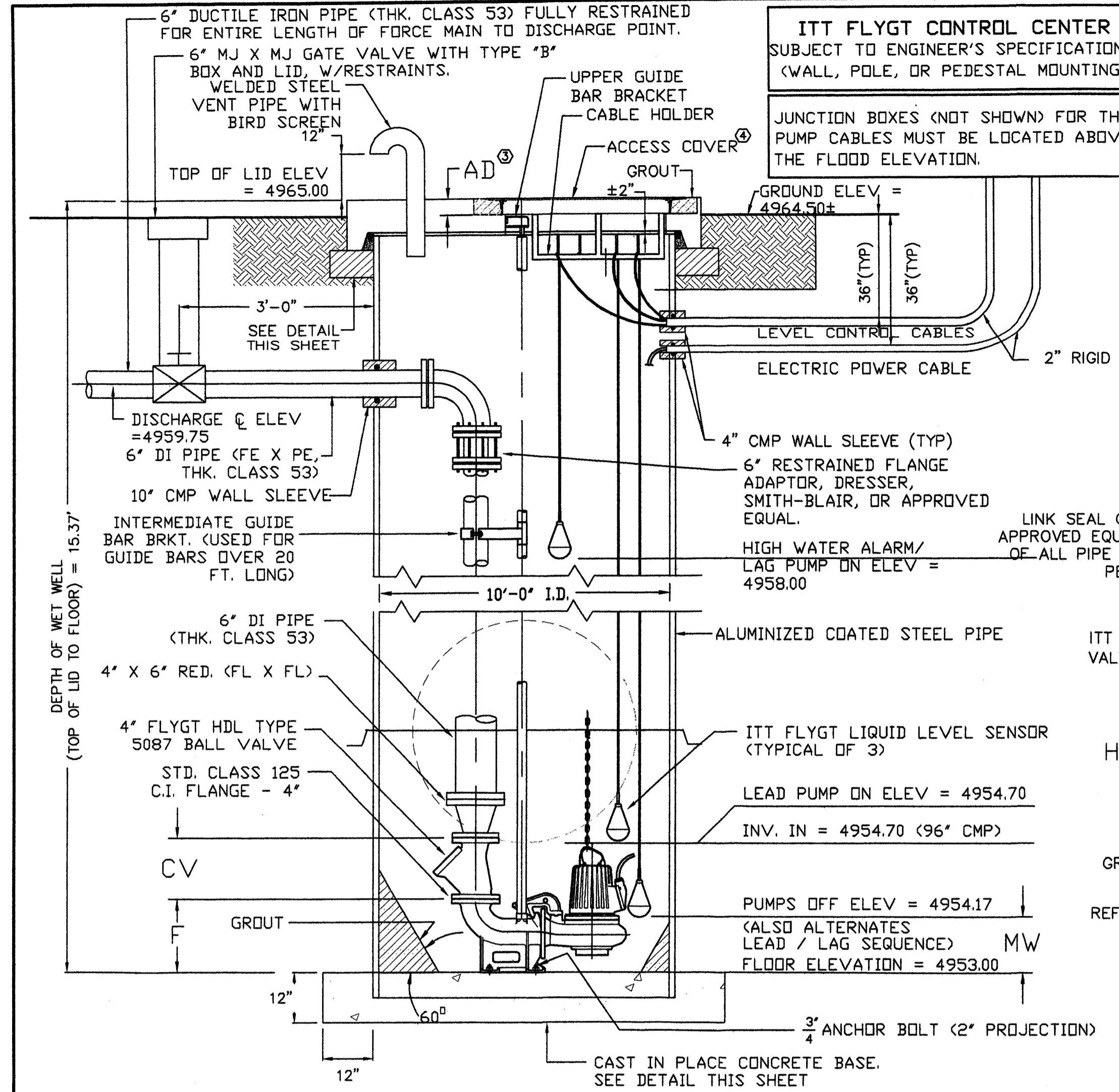
A4 SUBSURFACE DETENTION/RETENTION X-SECTION TYPICAL
SCALE: NTS



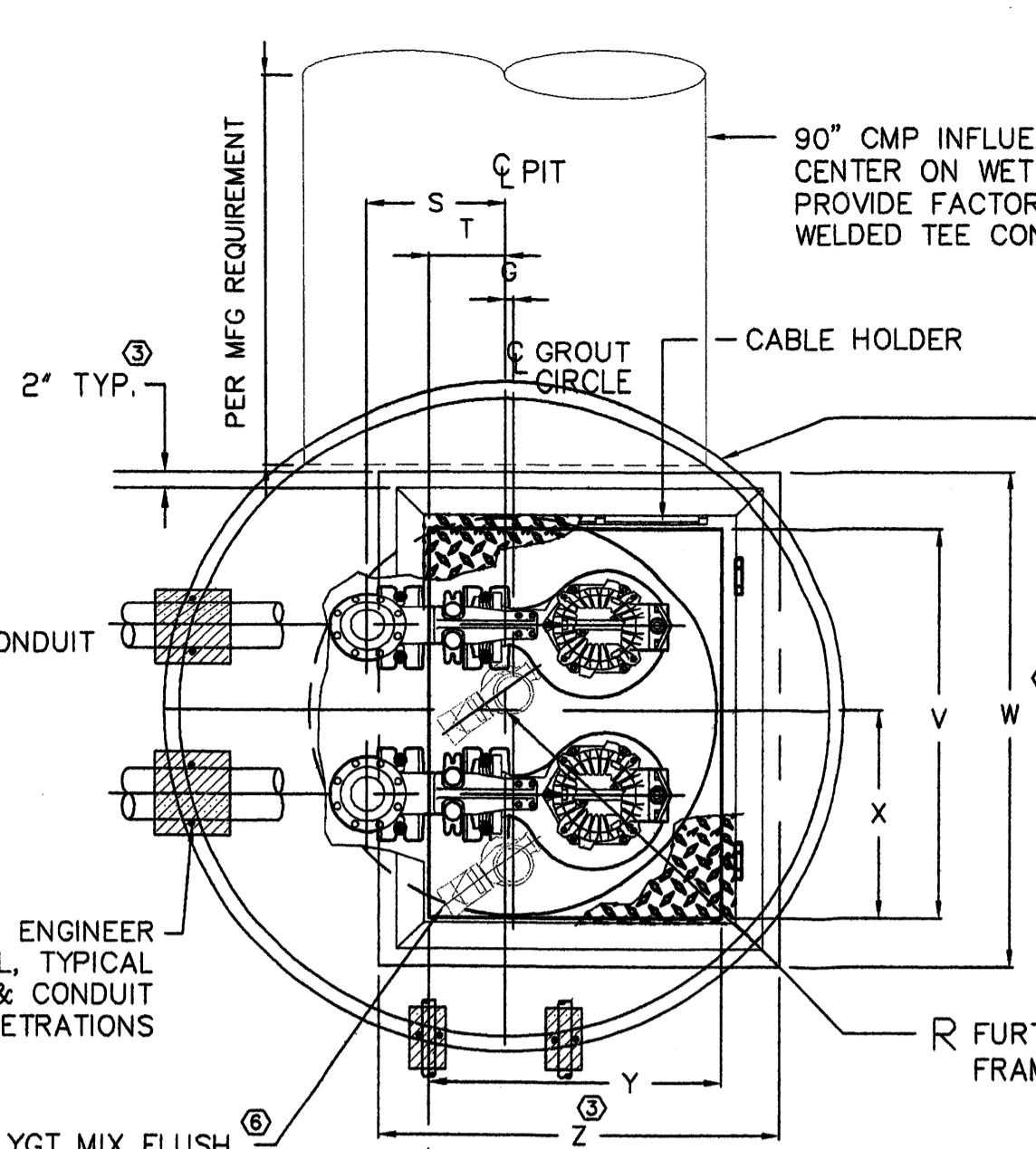
C4 24" GRATE DETAIL
SCALE: NTS

- NOTES:**
- STANDARD GRATE AND COVER HAVE H-25 HEAVY DUTY RATING.
 - PEDESTRIAN GRATE HAS H-10 MEDIUM DUTY RATING.
 - QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05. MATERIAL: DUCTILE IRON PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT.
 - LOCKING DEVICE AVAILABLE UPON REQUEST. PRICE INCLUDES FRAME & GRATE/COVER. DRAIN AREA = 194.60 SQ. IN.* WEIGHT W/ FRAME = 124.00 LBS.* *APPROXIMATE

| | | | |
|---|------------------------|-------------|-------------|
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | | | |
| 12TH & I-40 GRADING & DRAINAGE DETAILS | | | |
| Design Review Committee | City Engineer Approval | Ms./Day/Yr. | Ms./Day/Yr. |
| | | | |
| | | | |
| City Project No. | Zone Map No. | Sheet | Of |
| XXXX.XX | H-13 | 2 | 5 |



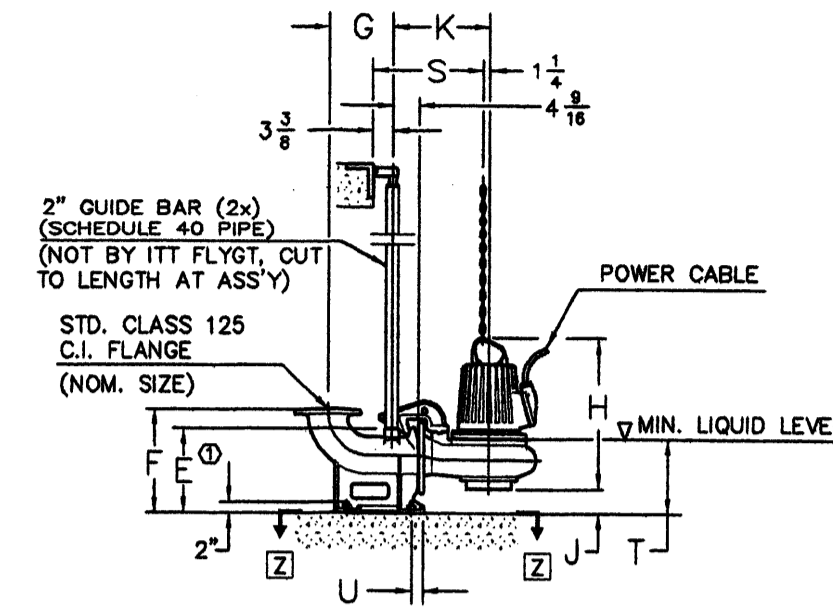
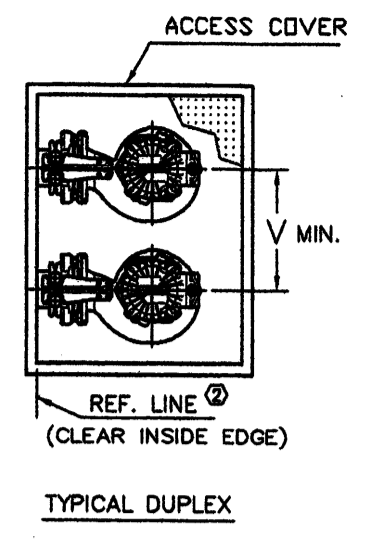
ITT FLYGT CONTROL CENTER
 SUBJECT TO ENGINEER'S SPECIFICATIONS
 (WALL, POLE, OR PEDESTAL MOUNTING)
 JUNCTION BOXES (NOT SHOWN) FOR THE
 PUMP CABLES MUST BE LOCATED ABOVE
 THE FLOOD ELEVATION.



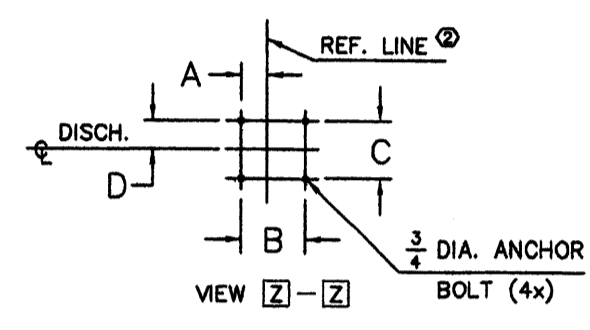
10'-0" INSIDE DIAMETER CMP PIPE FOR WET WELL. PROVIDE H-20 RATED PREFABRICATED LID FOR WET WELL WITH ACCESS HATCH AND VENT INTEGRALLY CAST INTO LID. PROVIDE H-20 TRAFFIC RATED HATCH, HALLIDAY PRODUCTS MODEL H1R3648, OR APPROVED EQUAL. SEE DETAIL THIS SHEET FOR LID DIMENSIONS.

- NOTES:**
- NOT USED.
 - LOCATE ANCHOR BOLTS USING CLEAR INSIDE EDGE OF ACCESS FRAME AND CENTER LINE OF PUMP AS REF. POINT. BOLT LOCATIONS MUST BE HELD TO MAINTAIN EXACT POSITION OF PUMP RELATIVE TO ACCESS FRAME.
 - GROUT OPENING FOR ACCESS FRAME.
 - COVER SHOWN IS FOR STANDARD DUTY ANGLE FRAME. FOR ADDITIONAL DIMENSIONS ON STANDARD DUTY TROUGH FRAME, HEAVY DUTY ANGLE FRAME AND HEAVY DUTY TROUGH FRAME, CONSULT ITT FLYGT CORP. ENGINEERING DEPT.
 - NOT USED.
 - ITT FLYGT MIX FLUSH VALVE DIMENSIONS, SEE DRAWING 14-68 10 33.
 - FOR OUTLINE DIMENSIONS OF PUMP, SEE DRAWING 14-68 00 23.

- NOTES:**
- DIMENSION TO ENDS OF GUIDE BARS.
 - REPRESENTS CLEAR INSIDE EDGE OF ACCESS FRAME OR OPENING.
 - SEE STATION DWG. 14-68 15 80 FOR COMPLETE INSTALLATION DIMENSIONS.



| NOM. SIZE | TYPE | VERSION | WEIGHT (LBS) |
|-----------|-------|---------|--------------|
| 4" | CP/NP | HT | 325 |



ALL DIMENSIONS IN INCHES

| TYPE | NOM. SIZE | VERSION | DIMENSIONAL CHART | | | | | | | | | | | | | | | | | | | |
|-------|-----------|---------|-------------------|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| CP/NP | 4" | HT | A | B | C | D | E | F | G | H | I | J | K | L | M | N | P | R | S | T | U | V |

ALL DIMENSIONS IN INCHES

| VERSION | NOM. SIZE | VERSION | STATION | | | | | | | | | | | | | | | | | | | COVER | | | | | | |
|---------|-----------|---------|---------|---|---|---|---|---|---|---|---|---|---|---|---|---|----|------|---|---|---|-------|---|----|--|--|--|--|
| CP | 4" | HT | A | B | C | D | E | F | G | H | R | S | T | U | V | W | PL | SIZE | V | W | X | Y | Z | AD | | | | |

GENERAL NOTES

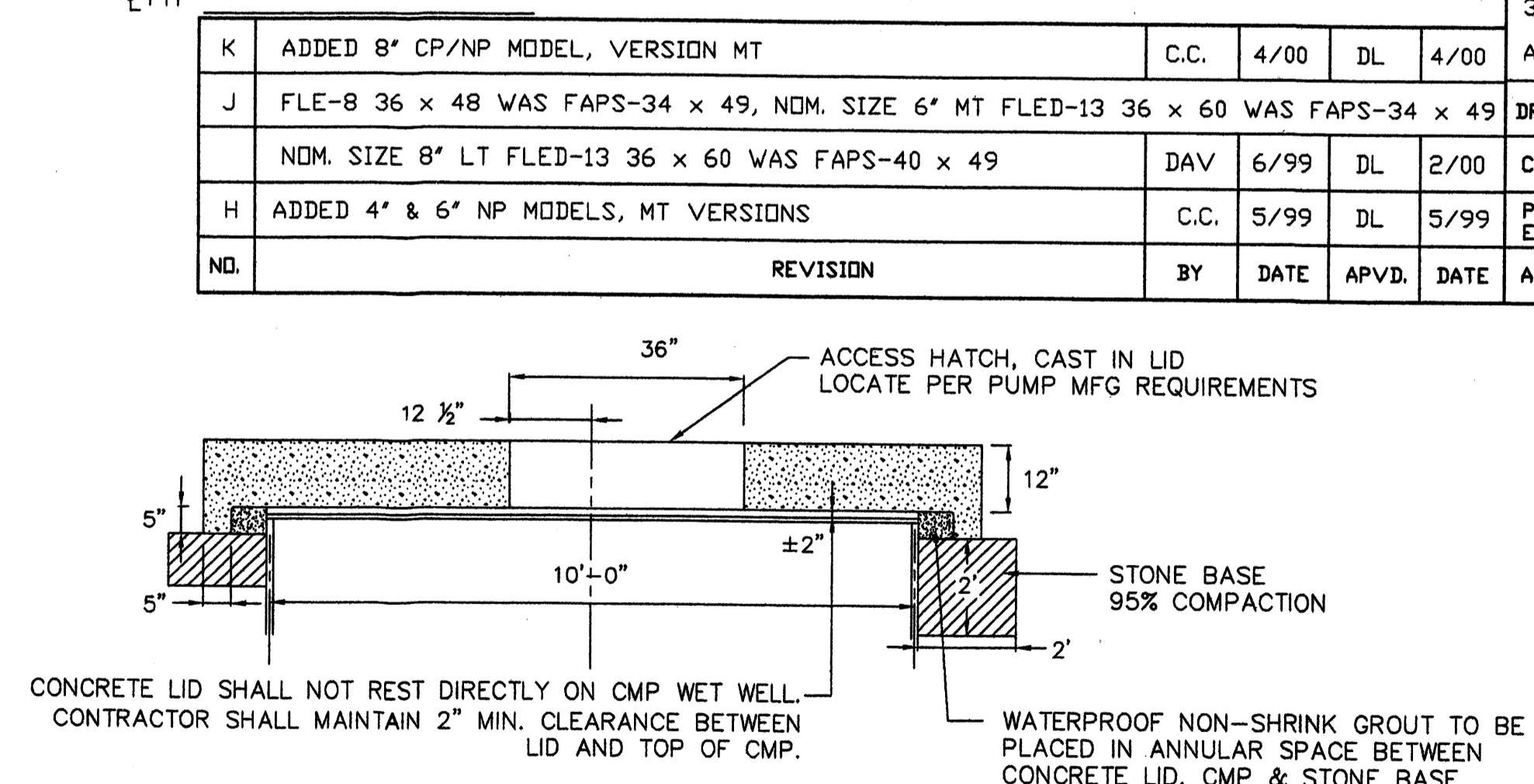
- CONSTRUCTION OF LIFT STATION INCLUDES TWO (2) FLYGT MODEL NP-3127 HT PUMPS (CURVE NO. 63-489-00-2255), 6-INCH DISCHARGE, 195 mm IMPELLER, 7.5 HP, 3-PHASE, 460V, 60HZ, EACH CAPABLE OF 906.2 GPM AT 14.2 FT TDH. EACH PUMP SHALL BE FITTED WITH A FLYGT MIX-FLUSH VALVE.
- ALL LIFT STATION EQUIPMENT INCLUDING GUIDE RAILS, PUMP DISCHARGE ELBOWS, CHECK VALVES, PLUG VALVES, ACCESS COVER, CONTROL PANEL, AND OTHER REQUIRED ACCESSORIES, SHALL BE INCLUDED AS IF FULLY DETAILED OR SPECIFIED.
- THE DIMENSIONS SHOWN FOR PUMPS AND VALVE LAYOUT ARE BASED ON ONE OR MORE MANUFACTURER'S DESIGNS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS OF PARTICULAR EQUIPMENT BEING FURNISHED AND TO MAKE SUCH CHANGES, AS REQUIRED, TO INSTALL EQUIPMENT IN SPACE PROVIDED.
- ALL INTERIOR GROUT AND CONCRETE SURFACES OF WET WELL TO RECEIVE A PROTECTIVE COATING OF SHERWIN-WILLIAMS "KEM CATI-COAT HS" EPOXY FILLER/SEALER AND SHERWIN-WILLIAMS "HI-MIL SHER-TAR EPOXY". THE EXPOSED CMP PORTION OF WET WELL BELOW THE INFLUENT PIPE INVERT TO RECEIVE A PROTECTIVE COATING OF SHERWIN-WILLIAMS "HI-MIL SHER-TAR EPOXY" OF 14 TO 18 MILS. PRIMER AND COATING TO BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
- ALL BACKFILL MATERIAL SHALL BE STRUCTURAL BACKFILL.
- ALL PIPING, TO LIMITS SHOWN ON PLANS, WHETHER PLAIN END, FLANGE END, MECHANICAL JOINT, OR GROOVED END, SHALL BE CENTRIFUGALLY CAST, DUCTILE IRON, THICKNESS CLASS 53, COMPLYING WITH ANSI/AWWA C151/A21.51.
- ALL FITTINGS LOCATED INSIDE WET WELL AND/OR VALVE VAULT SHALL BE DUCTILE IRON CONFORMING WITH ANSI/AWWA C110/A21.10.
- ALL BURIED FITTINGS LOCATED BEYOND VALVE VAULT SHALL BE DUCTILE IRON M J X M J CONFORMING TO ANSI/AWWA C110/A21.10. WHERE RESTRAINED JOINTS ARE NOT REQUIRED, M J GLANDS SHALL CONFORM TO ANSI/AWWA C111/A21.11. WHERE RESTRAINED JOINTS ARE REQUIRED, MEGA-LUG RETAINING GLANDS SHALL BE USED. ALL BURIED FITTINGS TO BE WRAPPED IN POLYETHYLENE TUBING OR TAPE CONFORMING TO ANSI/AWWA C105/A21.5.

- CONTROL PANEL TO HAVE AN AUDIBLE ALARM W/PUSH BUTTON OVERRIDE.
- CONTRACTOR SHALL ARRANGE TO ESTABLISH ELECTRICAL SERVICE IN THE NAME OF "LOWE'S" AND SHALL INSTALL ELECTRICAL CONNECTION TO PROVIDE A FULLY OPERATIONAL LIFT STATION. SEE SHEETS ___ & ___ FOR ELECTRICAL DETAILS.
- PUMP CONTROL ELEVATIONS:
 ALL PUMPS OFF ————— 4949.30
 LEAD PUMP ON ————— 4949.80
 HIGH WATER ALARM/LAG PUMP ON — 4958.00

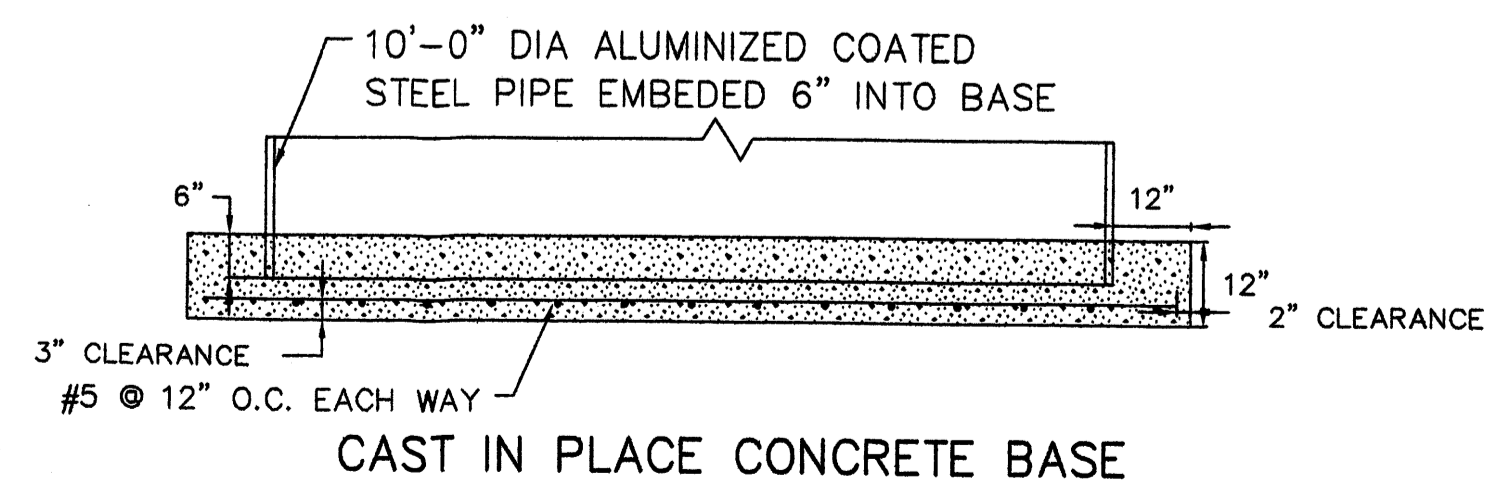
FLYGT NOTES:

- DIMENSION PROVIDED BY DESIGN ENGINEER.
- LOCATE ANCHOR BOLTS USING CLEAR INSIDE EDGE OF ACCESS FRAME AND CENTER LINE OF PUMP AS REF. POINT. BOLT LOCATIONS MUST BE HELD TO MAINTAIN EXACT POSITION OF PUMP RELATIVE TO ACCESS FRAME.
- GROUT OPENING FOR ACCESS FRAME.
- COVER SHOWN IS FOR STANDARD DUTY ANGLE FRAME. FOR ADDITIONAL DIMENSIONS ON STANDARD DUTY TROUGH FRAME, HEAVY DUTY ANGLE FRAME AND HEAVY DUTY TROUGH FRAME, CONSULT ITT FLYGT CORP. ENGINEERING DEPT.
- NOT USED.
- ITT FLYGT MIX FLUSH VALVE, ONE PER PUMP.

BASE SECTION



PREFABRICATED CONCRETE LID H-20 RATED



UNLESS OTHERWISE NOTED TOLERANCE ON:

FRACTIONS ± 1/32
 1 PLACE DEC. ± .1
 2 PLACE DEC. ± .02
 3 PLACE DEC. ± .005
 ANGLES ± 2°

FLYGT

ITT FLYGT CORPORATION, TRUMBULL, CONNECTICUT 06611

THIS DOCUMENT IS THE PROPRIETARY PROPERTY OF ITT FLYGT CORP. IT HAS BEEN FURNISHED UPON THE CONDITION THAT IT SHALL NOT BE RELEASED, DUPLICATED, USED, OR DISCLOSED IN WHOLE OR IN PART FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN PERMISSION OF ITT FLYGT AND SHALL BE CONSIDERED CONFIDENTIAL INFORMATION.

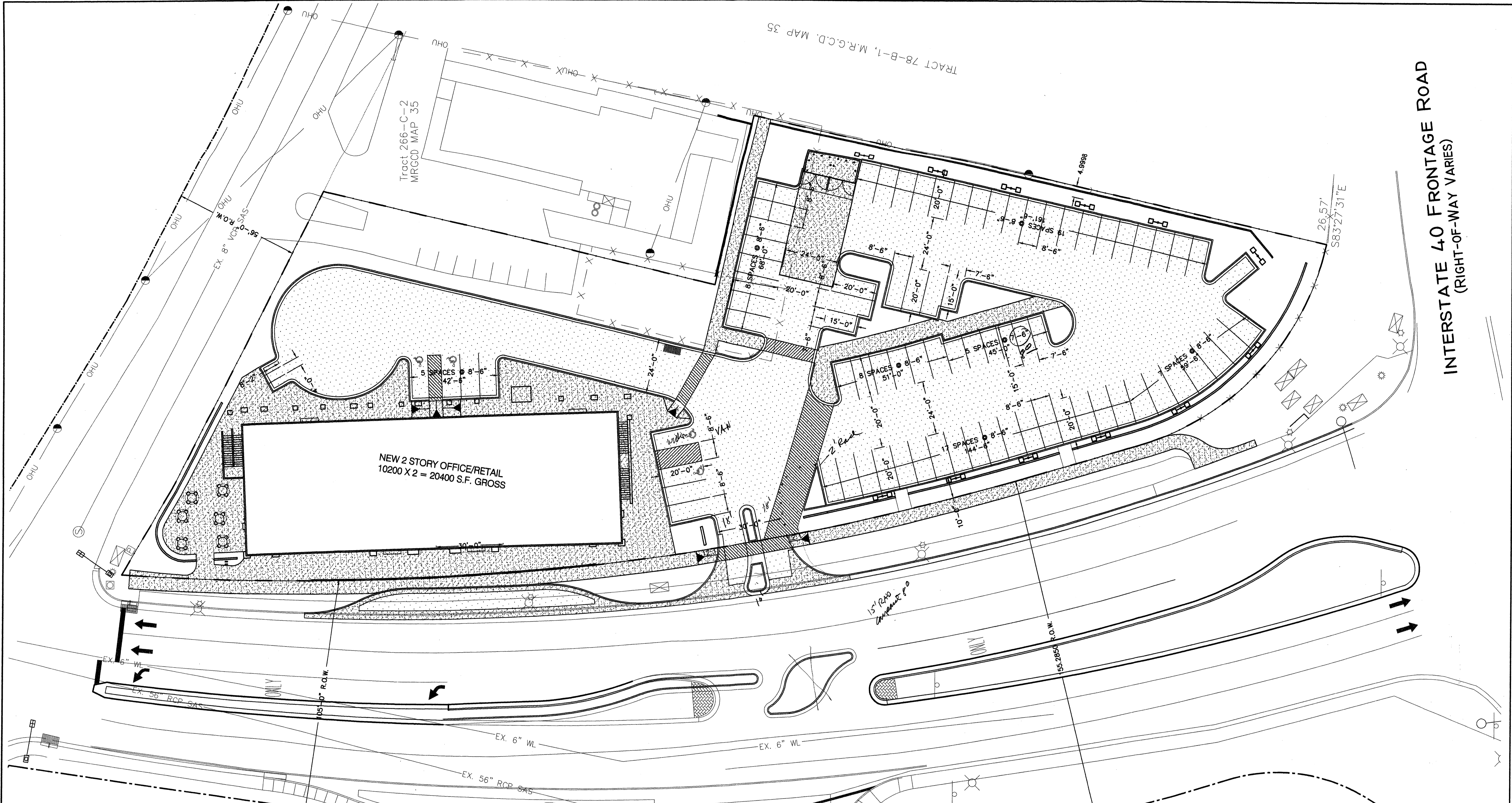
CP/NP 3127 DUPLEX LIFT STATION

| | | | | | | | |
|----------|------|----------|------|----------|------|----------|------|
| DATE | BY | DATE | BY | DATE | BY | DATE | BY |
| 89/10/12 | C.C. | 89/10/18 | W.H. | 89/10/26 | R.D. | 89/10/26 | R.D. |

REF. NUMBER: 14-68 00 97

SCALE: NONE

| | | | |
|---|------------------------|---------------------|-------------|
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | | | |
| 12TH & I-40 GRADING & DRAINAGE DETAILS | | | |
| Design Review Committee | City Engineer Approval | Least Design Update | Mo./Day/Yr. |
| | | | |
| City Project No. | Zone Map No. | Sheet | Of |
| XXXX.XX | H-13 | 3 | 5 |



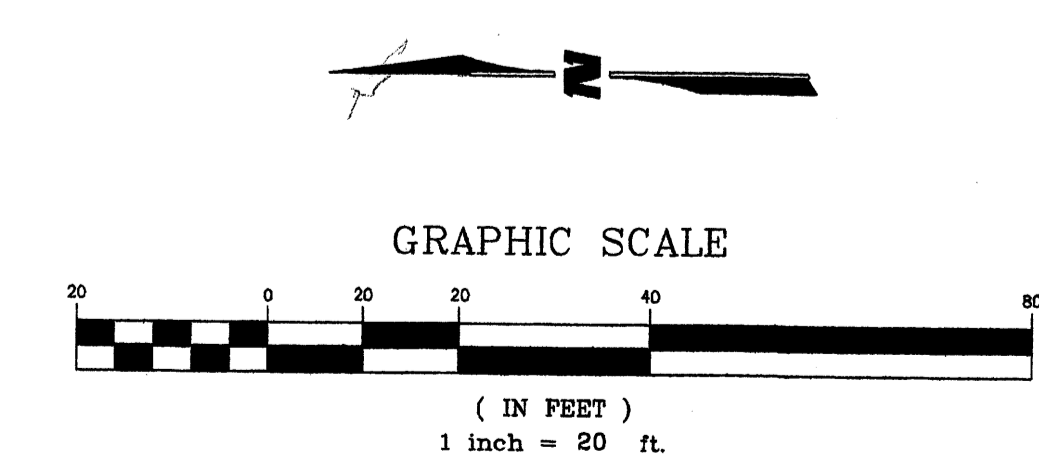
INTERSTATE 40 FRONTAGE ROAD
 (RIGHT-OF-WAY VARIES)

R1-1

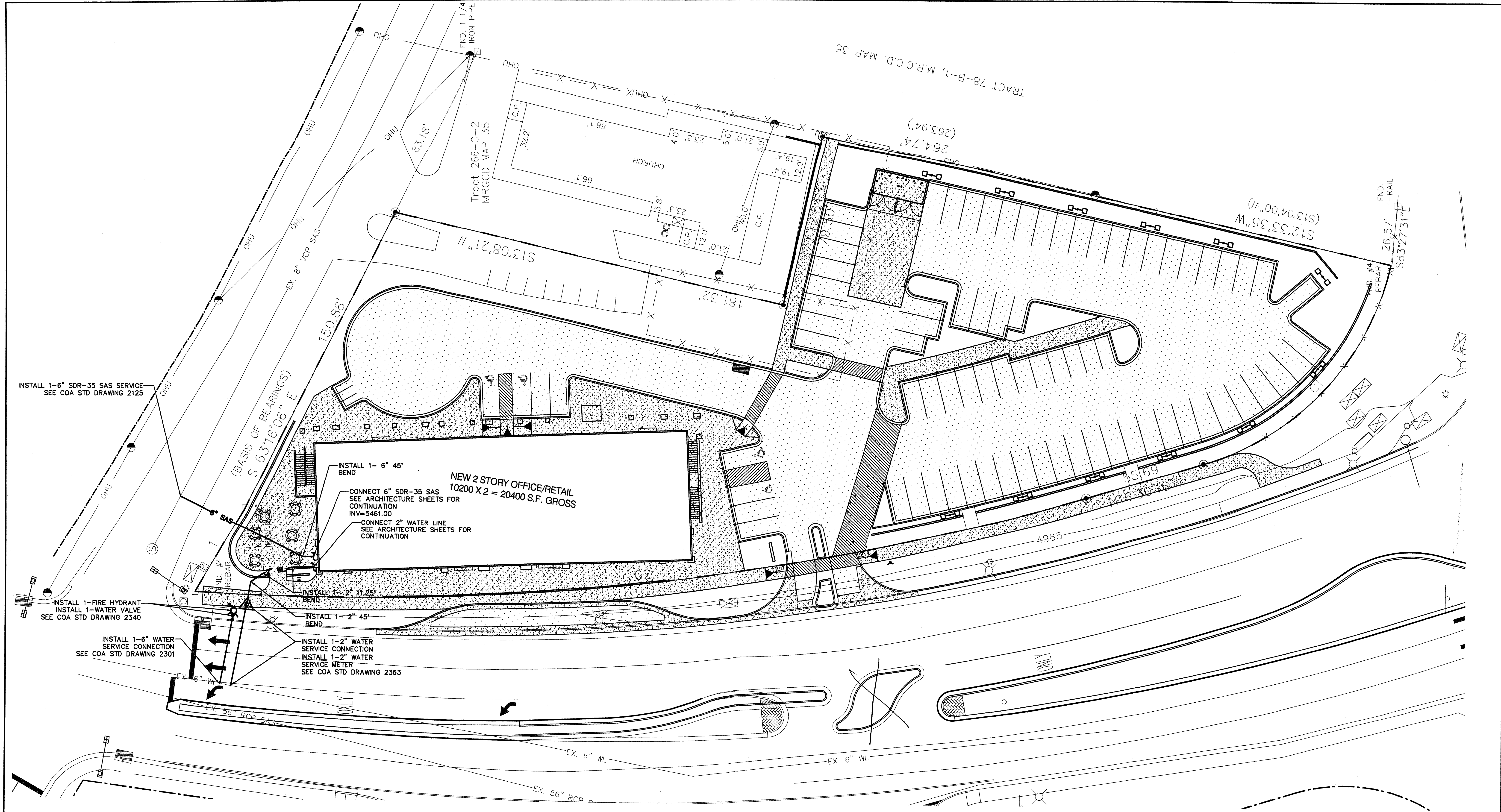
(A) CURVE DATA
 $\Delta = 89^{\circ}59'32''$
 $R = 25.00'$
 $L = 39.27'$
 $T = 25.00'$

(B) CURVE DATA
 $\Delta = 87^{\circ}17'14''$
 $R = 25.00'$
 $L = 38.09'$
 $T = 23.84'$

- LEGEND**
- PROPOSED MEDIAN CURB AND GUTTER
 - PROPOSED RIP RAP
 - PROPOSED SAWCUT
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - EXISTING PROPERTY LINE



| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | | | | | | | | | | | | | |
|---|-----------------------------|--------------------|--|-------------|-------------|--|--|--|--|--|--|--|--|
| 12TH & I-40 TRAFFIC CIRCULATION PLAN | | | | | | | | | | | | | |
| Design Review Committee | City Engineer Approval | Last Design Update | <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Mo./Day/Yr.</th> <th style="width: 50%;">Mo./Day/Yr.</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table> | Mo./Day/Yr. | Mo./Day/Yr. | | | | | | | | |
| Mo./Day/Yr. | Mo./Day/Yr. | | | | | | | | | | | | |
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| | | | | | | | | | | | | | |
| City Project No. XXXX.XX | Zone Map No. H-13 | Sheet 4 | Of 5 | | | | | | | | | | |



INSTALL 1-6" SDR-35 SAS SERVICE
SEE COA STD DRAWING 2125

INSTALL 1-FIRE HYDRANT
INSTALL 1-WATER VALVE
SEE COA STD DRAWING 2340

INSTALL 1-6" WATER
SERVICE CONNECTION
SEE COA STD DRAWING 2301

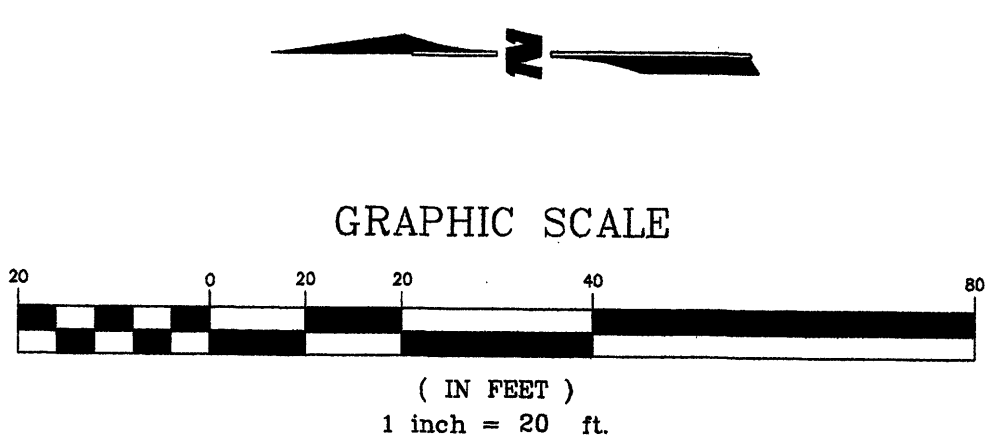
INSTALL 1- 6" 45'
BEND
NEW 2 STORY OFFICE/RETAIL
10200 X 2 = 20400 S.F. GROSS
CONNECT 6" SDR-35 SAS
SEE ARCHITECTURE SHEETS FOR
CONTINUATION
INV=5461.00
CONNECT 2" WATER LINE
SEE ARCHITECTURE SHEETS FOR
CONTINUATION

INSTALL 1- 2" 45'
BEND

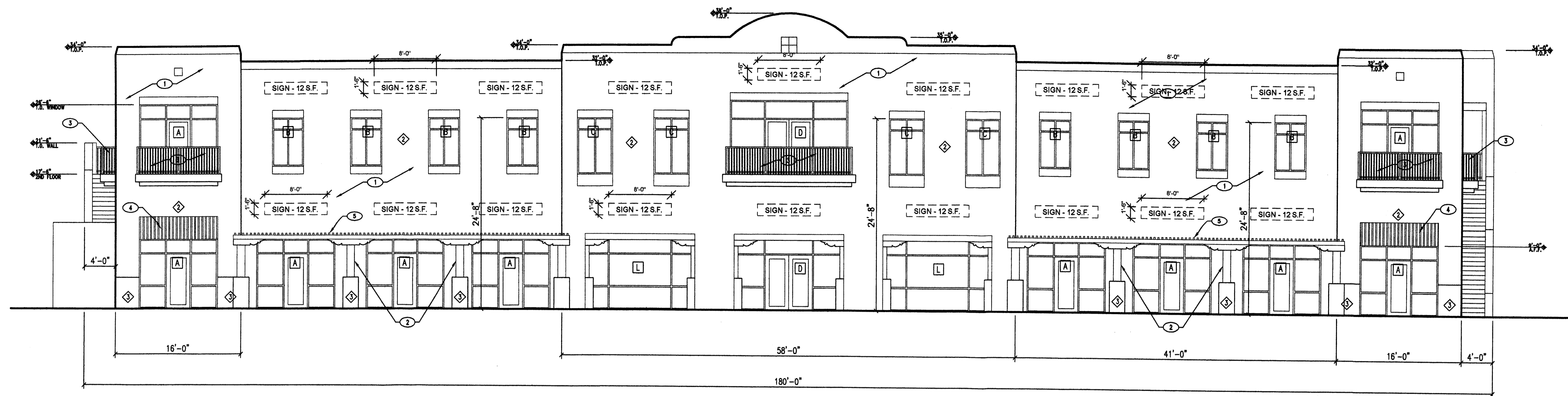
INSTALL 1-2" WATER
SERVICE CONNECTION
INSTALL 1-2" WATER
SERVICE METER
SEE COA STD DRAWING 2363

LEGEND

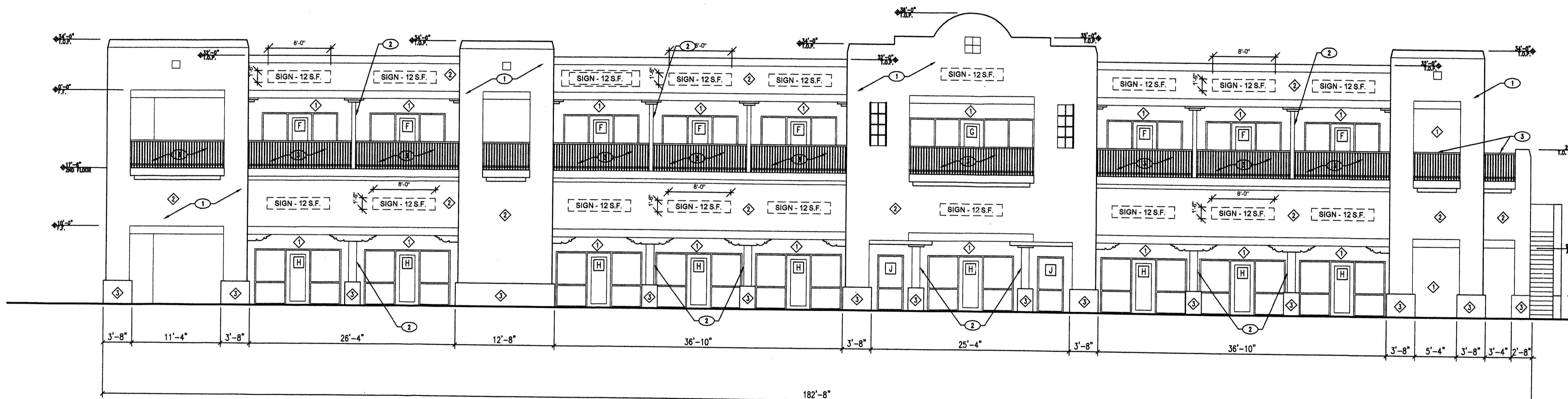
| | |
|-------------|-------------------------|
| — 6" WL — | PROPOSED WATER LINE |
| — 2" SAS — | PROPOSED SANITARY SEWER |
| — EX. WL — | EXISTING WATER LINE |
| — EX. SAS — | EXISTING SANITARY SEWER |
| — . . . — | EXISTING PROPERTY LINE |



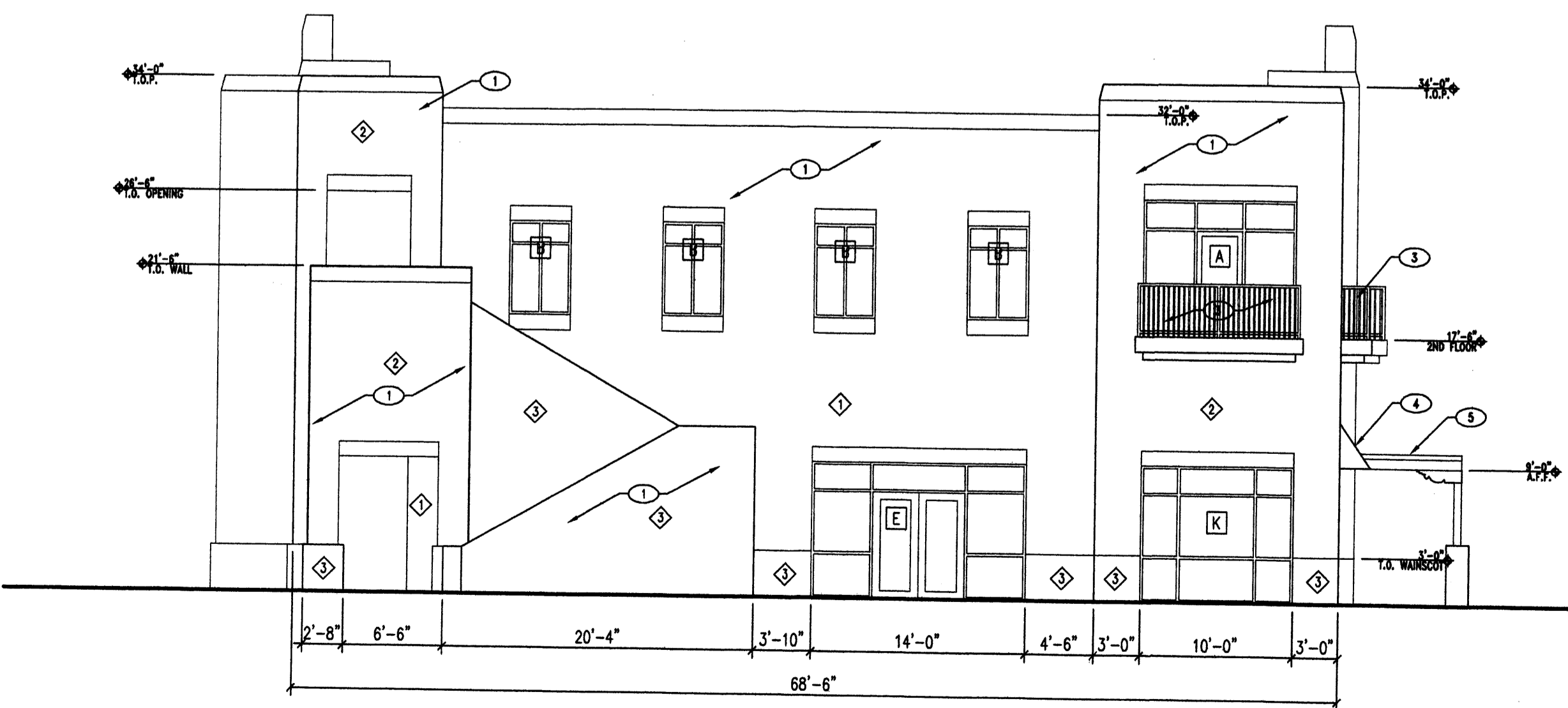
| | | | | |
|---|------------------------|--------------------|-------------|-------------|
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | | | | |
| 12TH & I-40 UTILITY PLAN | | | | |
| Design Review Committee | City Engineer Approval | Last Design Update | Mo./Day/Yr. | Mo./Day/Yr. |
| | | | | |
| City Project No. | Zone Map No. | Sheet | Of | |
| XXXX.XX | H-13 | 5 | 5 | |



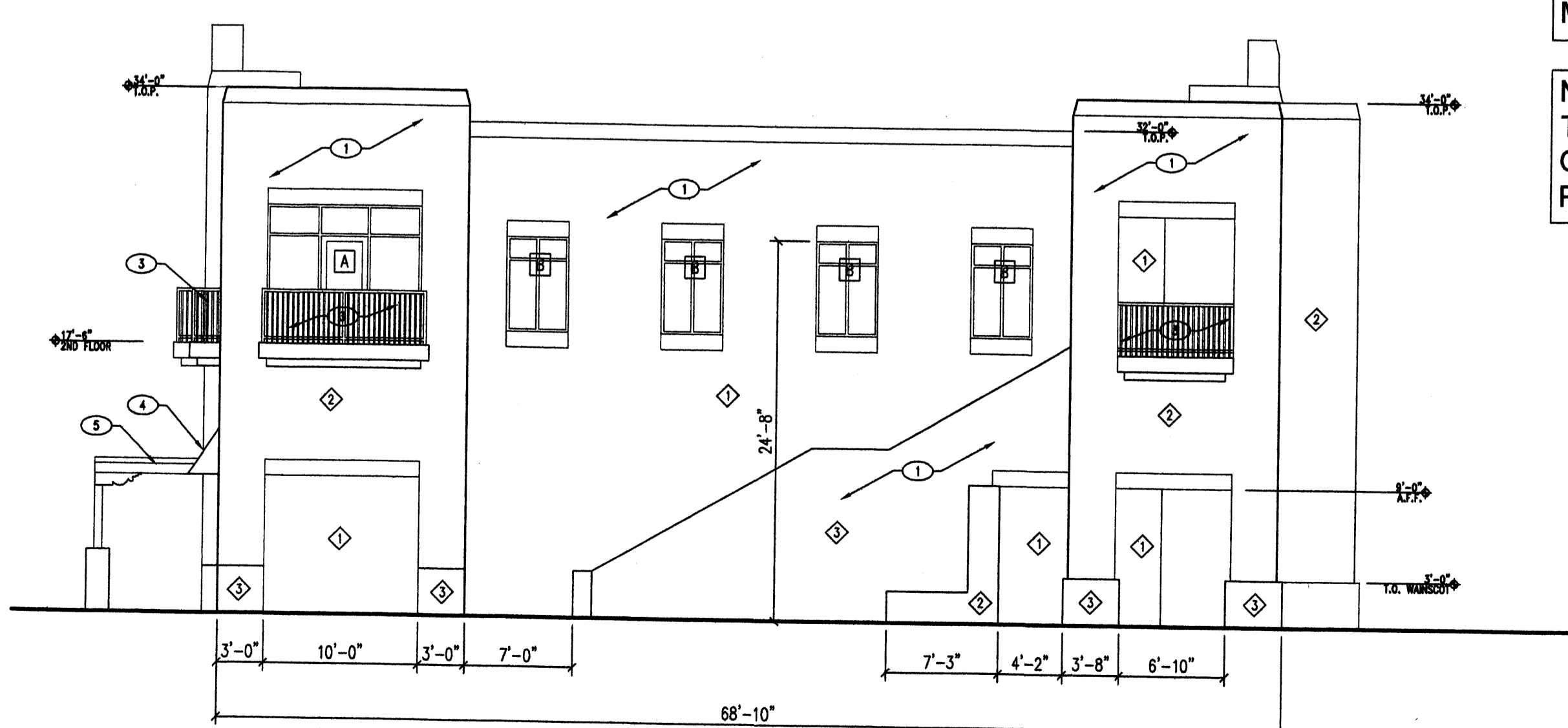
1 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

COLOR LEGEND

- 1. STUCCO TO MATCH SHERWIN WILLIAMS COLOR: SW 6077 EVERYDAY WHITE. (OFF WHITE)
- 2. STUCCO TO MATCH SHERWIN WILLIAMS COLOR: SW 6084 SENSATIONAL SAND. (LIGHT BROWN)
- 3. STUCCO TO MATCH SHERWIN WILLIAMS COLOR: SW 6089 GROUNDED. (DARK BROWN)

- KEYED NOTES**
1. PORTLAND CEMENT STUCCO SYSTEM. SEE COLOR LEGEND FOR COLOR.
 2. WOODEN POST, PAINT WHITE.
 3. METAL RAILING.
 4. METAL AWNING.
 5. SHADE STRUCTURE OVER CAFE STRIP.

NOTE: SEE SHEET 6 FOR WINDOW SIZES

NOTE: ALL TENANT SIGNS TO BE BACKLIT METAL CHANNEL LETTERS. SIGN COLOR TO BE DETERMINED BY TENANT.

NOTE: BUILDING MOUNTED SIGNS SHALL NOT EXCEED 6% OF THE FACADE TO WHICH THEY ARE APPLIED. MAXIMUM LOGO SIZE SHALL BE 2'-0" X 2'-0".

NOTE: ALL SIGNS SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT.

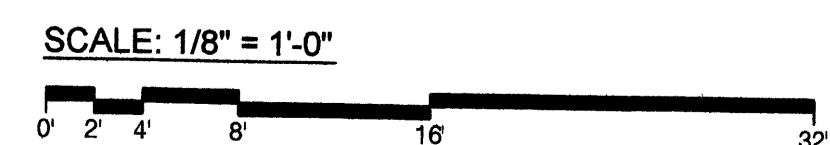
NOTE: BLADE SIGNS TO BE PROVIDED FOR RETAIL SHOPS ON FIRST FLOOR. WEST SIDE OF BUILDING ONLY.

NOTE: ALL GLAZING SHALL BE CLEAR WITH A LIGHT TRANSMISSION OF 90% ON THE GROUND FLOOR AND 75% ON THE SECOND FLOOR.

NOTE: ALL TENANT SIGNS ON THE EAST SIDE OF THE BUILDING SHALL BE HALO LIT. SIGN COLOR TO BE DETERMINED BY TENANT. ILLUMINATED PLASTIC PANEL SIGNS SHALL NOT BE ALLOWED.

NOTE: ALL TENANT SIGNS ON THE EAST SIDE OF THE BUILDING SHALL BE OF METAL CHANNEL LETTERS.

NOTE: SIGNS SHOULD IDENTIFY ONLY THE NAME AND BUSINESS OF THE OCCUPANT OR THOSE OFFERING THE PREMISES FOR SALE OR LEASE.



| REV | DATE | BY | REVISION |
|-----|----------|-----|-------------------|
| 1 | 12/26/07 | JCS | COMMENTS |
| 2 | 12/11/07 | JCS | DRB SUBMITTAL |
| 3 | 9/30/07 | JCS | EPC RESUBMITTAL |
| 4 | 10/30/06 | JCS | ELEVATION CHANGES |
| 5 | 7/12/06 | JCS | EPC DEFICIENCIES |

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
12TH AND INDIAN SCHOOL
12TH AND INDIAN SCHOOL
Albuquerque, NM

PROJECT MANAGER
George Rainhart, AIA

DRAWN BY: JCS

JOB NO.:

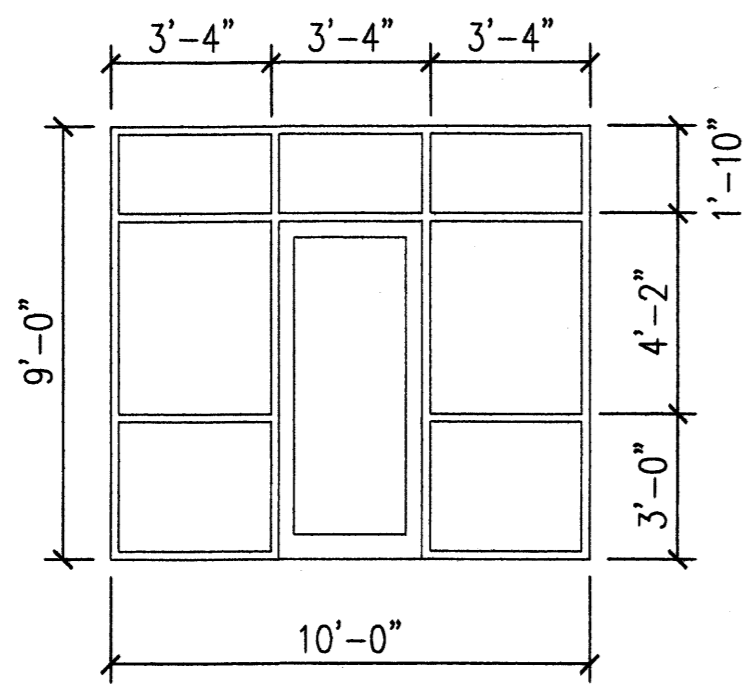
SHEET TITLE
ELEVATIONS

DATE: 06/30/06

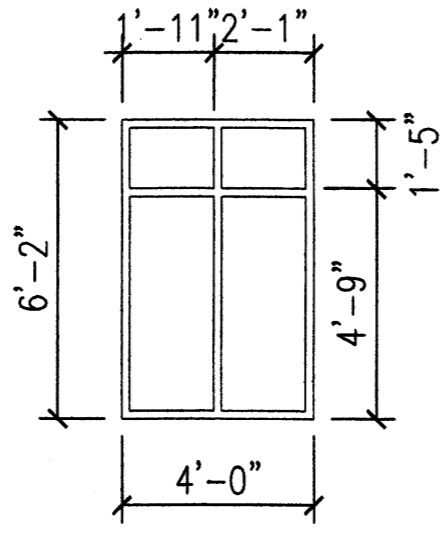
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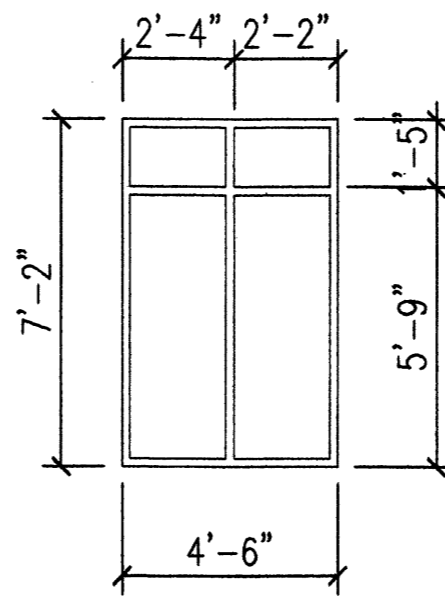
| GLAZING CALCULATION OF WEST SIDE OF BUILDING ONLY | | |
|--|-----------------|-------------------|
| FIRST FLOOR: | | |
| 16'-0" X 171'-0" = 2736 S.F. X .4 = 1094.4 S.F. OF REQUIRED GLAZING | | |
| WINDOW TYPES | S.F. X # | TOTAL S.F. |
| A | 90 S.F. X 8 | 720 S.F. |
| D | 142.5 S.F. X 1 | 142.5 S.F. |
| L | 142.5 S.F. X 2 | 285 S.F. |
| TOTAL GLAZING PROVIDED = 1147.5 S.F. ($\approx 2\%$) | | |
| SECOND FLOOR: | | |
| 15'-0" X 171'-0" = 2565 S.F. X .25 = 641.25 S.F. OF REQUIRED GLAZING | | |
| WINDOW TYPE | S.F. X # | TOTAL S.F. |
| A | 90 S.F. X 2 | 180 S.F. |
| B | 24.67 S.F. X 8 | 197.36 S.F. |
| C | 32.25 S.F. X 4 | 129 S.F. |
| D | 142.5 S.F. X 1 | 142.5 S.F. |
| TOTAL GLAZING PROVIDED = 648.86 S.F. ($\approx 5\%$) | | |



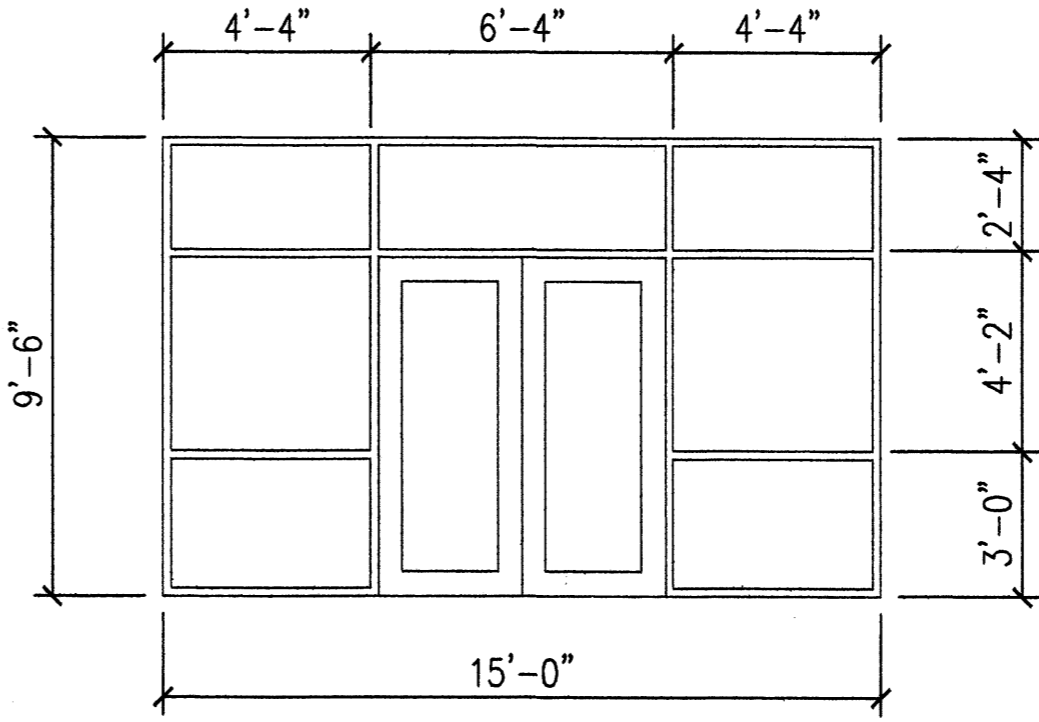
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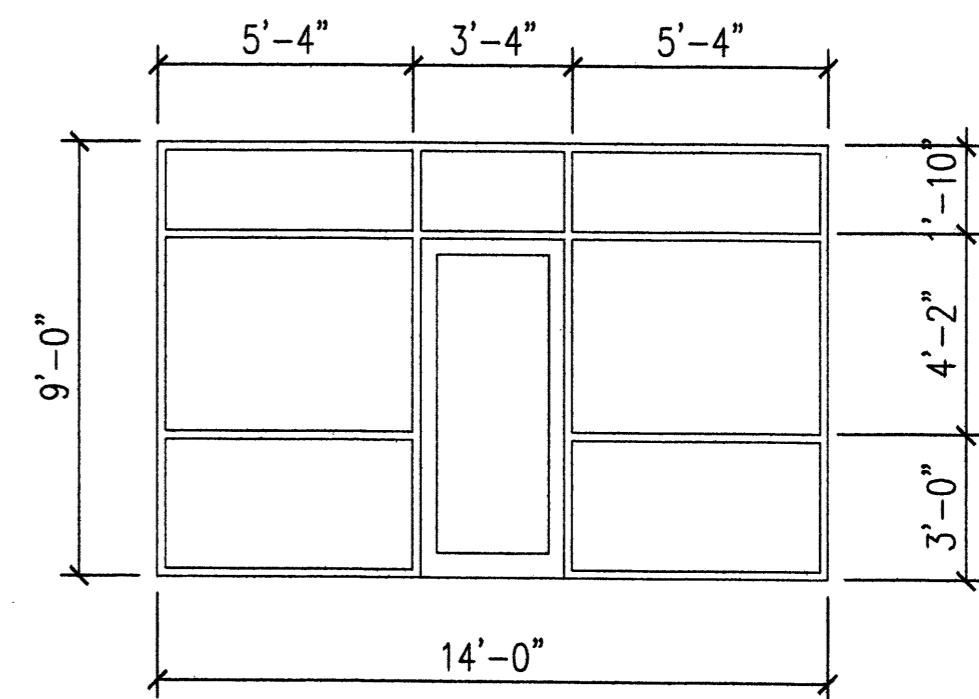
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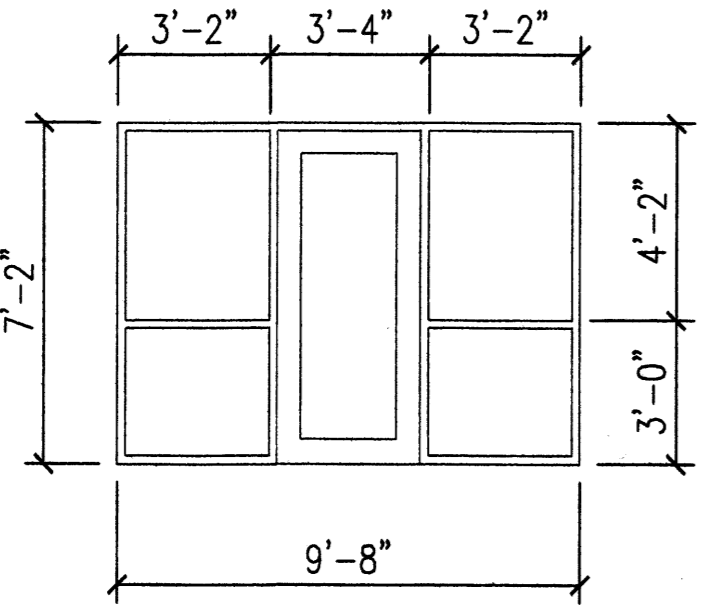
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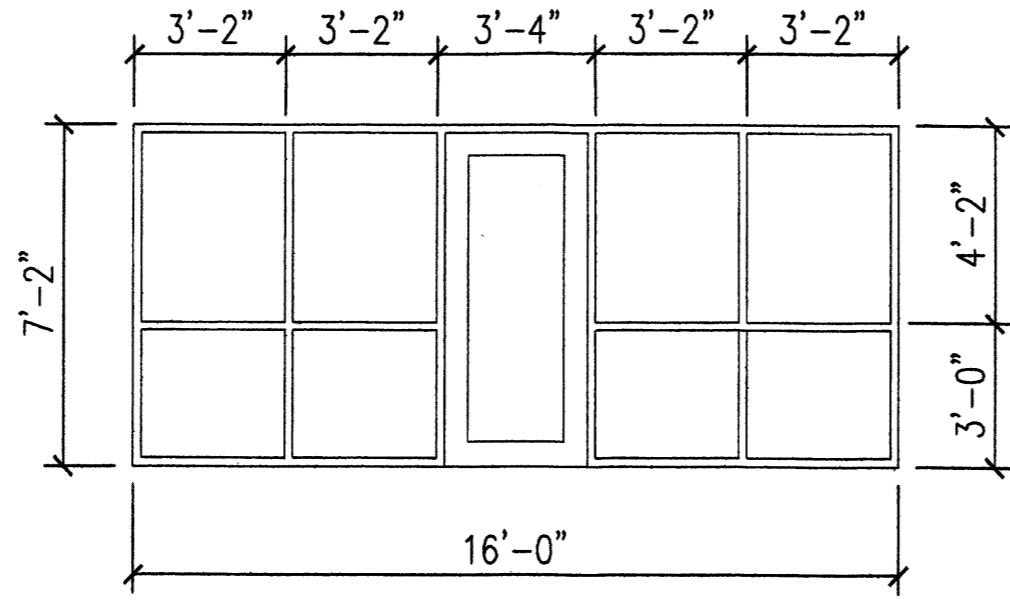
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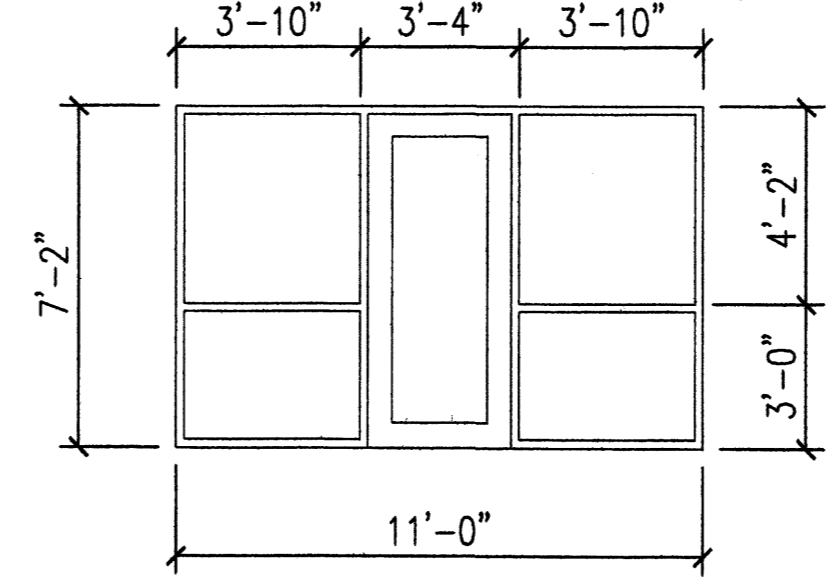
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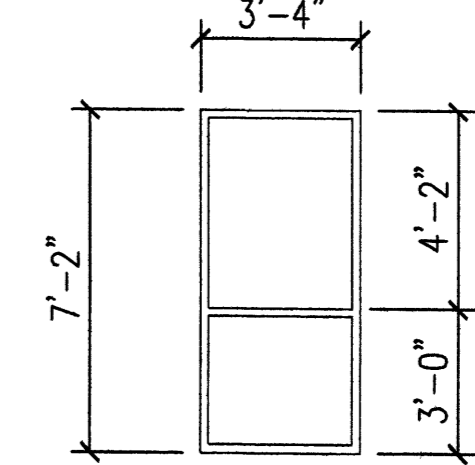
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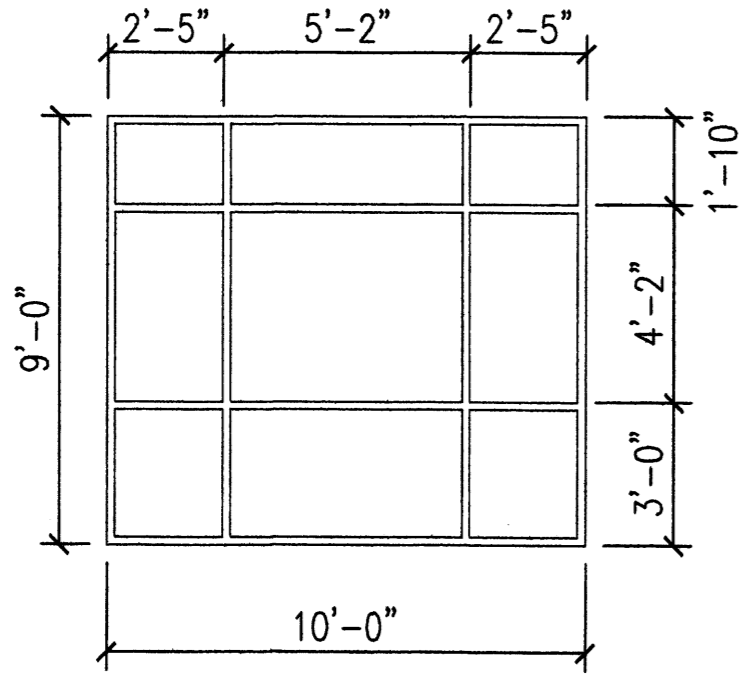
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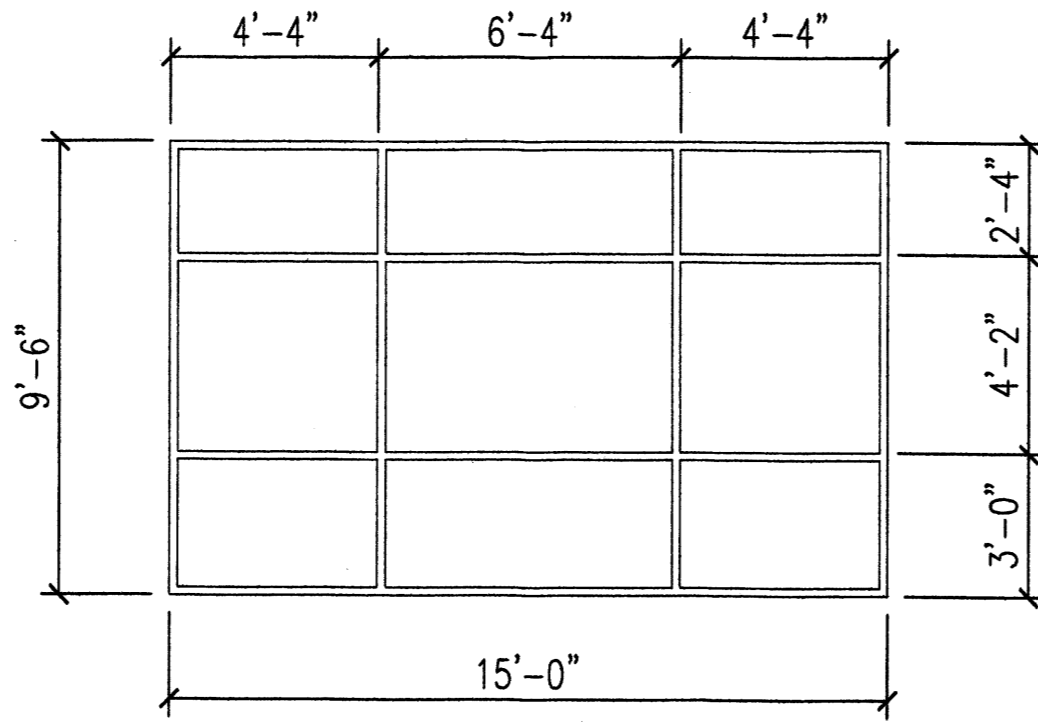
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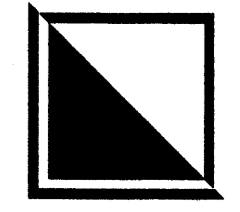


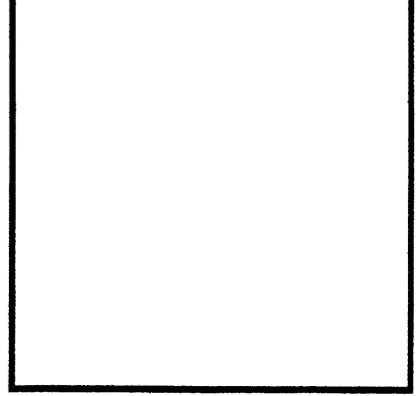
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1 WINDOW ELEVATIONS
1/4" = 1'-0"

WINDOW COLOR TO BE BRONZE ANODIZED ALUMINUM.

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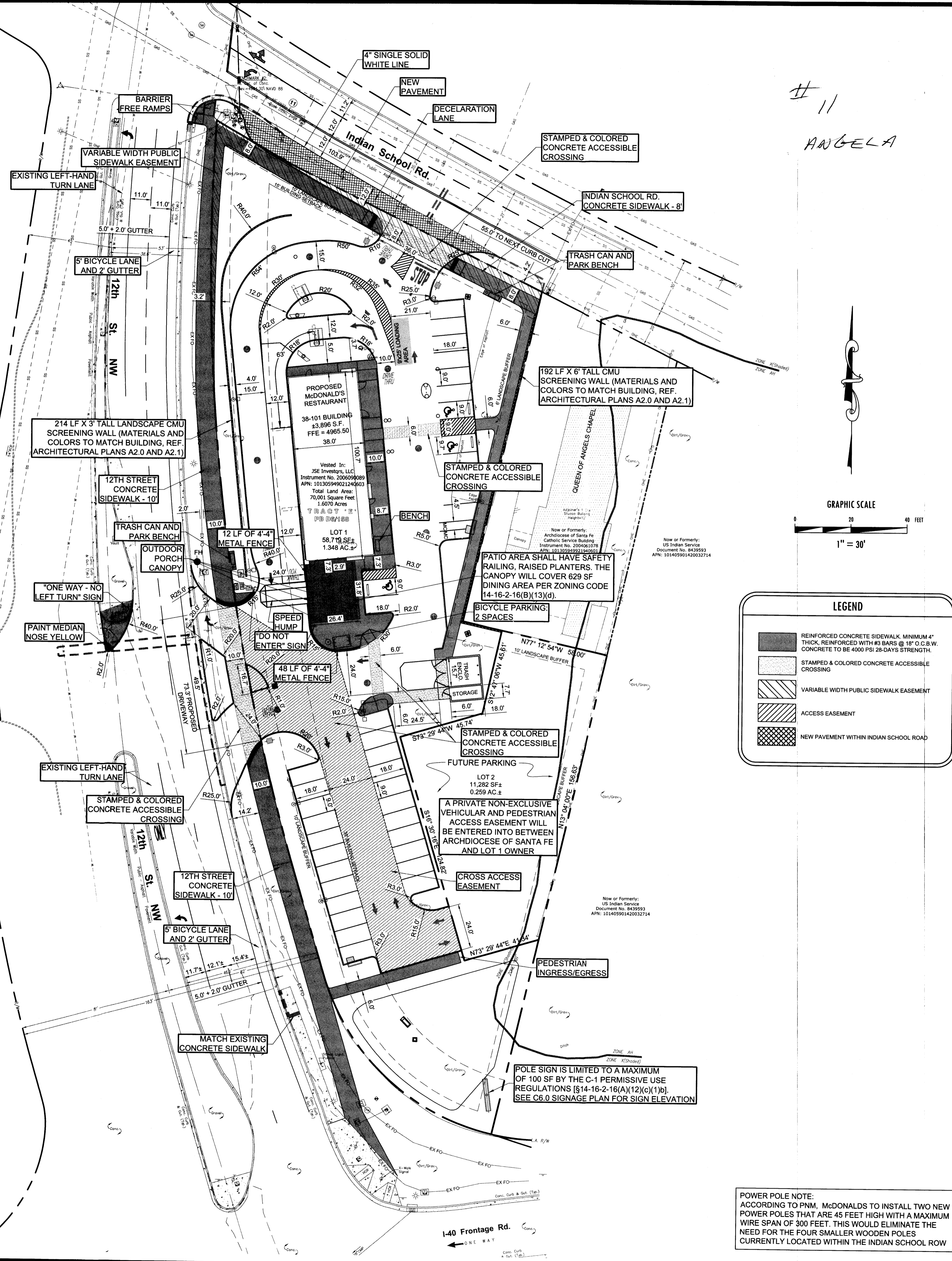

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 2325 SAN PEDRO NE, SUITE 2-B
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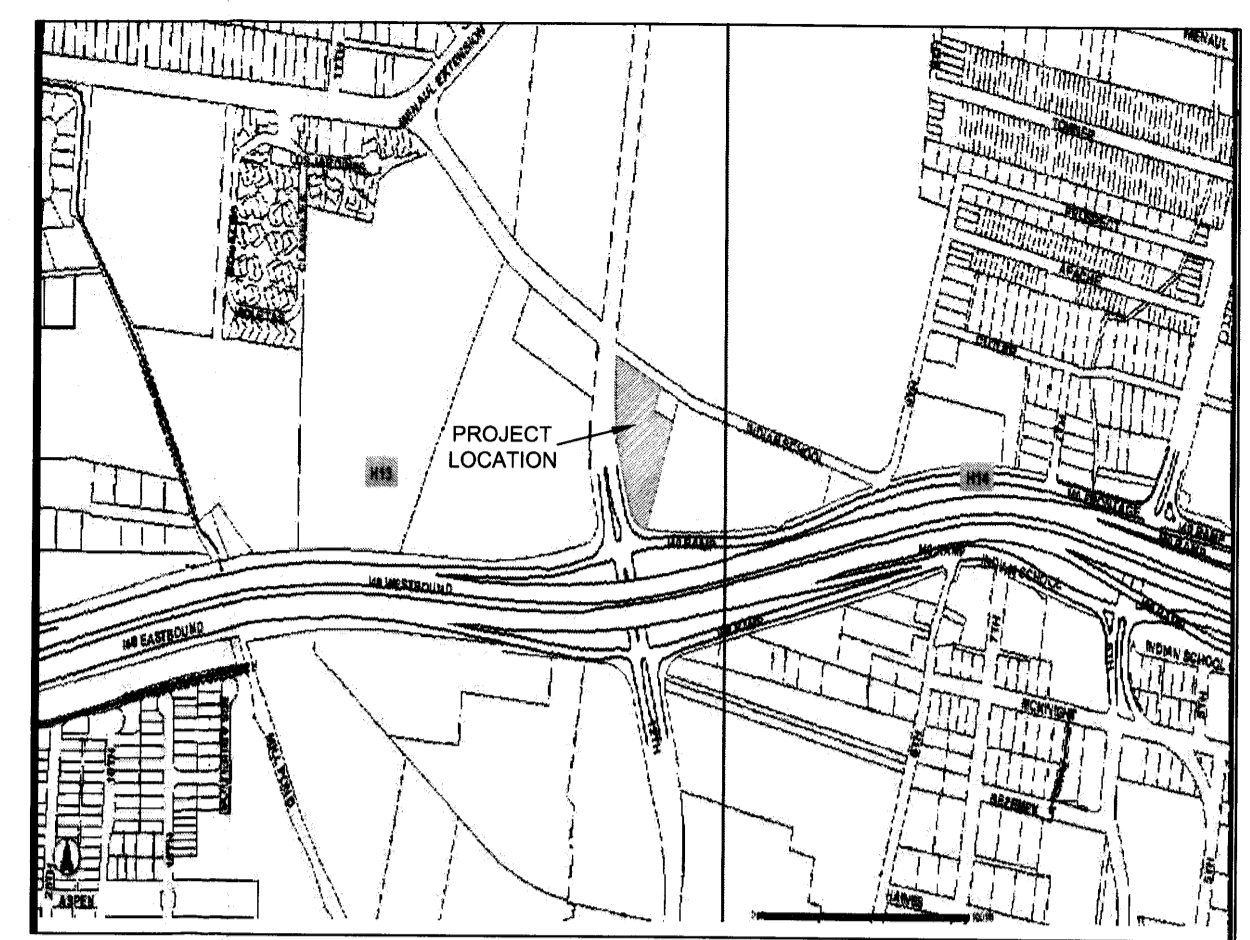
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| PROJECT TITLE | 12TH AND INDIAN SCHOOL |
| DATE | 06/30/06 |
| SCALE | AS NOTED |
| JOB NO. | |
| PROJECT MANAGER | George Rainhart, AIA |
| DRAWN BY | JCS |
| SHEET TITLE | ELEVATIONS |

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| DATE: | 06/30/06 | sheet- |
| SCALE: | AS NOTED | of- |

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PLOT DATE: Monday, April 12, 2010
PLOT TIME: 3:07:04 PM
PLOT BY: Heather McInerney
FILENAME: C:\SITE PLAN.dwg



11
ANGELA



LOT #1 (McDONALD'S USA):
PARKING RATIO - 1 PER EVERY 4 SEATS (64 INTERIOR + 16 PATIO)
TOTAL PARKING REQUIRED = 20 (480/4 = 20)
TOTAL PARKING PROVIDED = 37 PARKING SPACES
TOTAL MOTORCYCLES = 2 PARKING SPACES PROVIDED
TOTAL DISABLED PARKING SPACES PROVIDED = 3
PROPOSED USE - FAST FOOD RESTAURANT WITH DRIVE-UP SERVICE
CURRENT ZONING - R-1 (RESIDENTIAL)
PROPOSED ZONING - SU-1 FOR C-1 PERMISSIVE USES AND DRIVE-UP SERVICE WINDOW
LANDSCAPE SETBACK - 10'
SIDEWALK WIDTH:
INDIAN SCHOOL ROAD: 8-FOOT MINIMUM SIDEWALK
12TH STREET: 10-FOOT MINIMUM SIDEWALK
PEDESTRIAN INGRESS AND EGRESS - SEE SIDEWALKS AND CROSSWALKS ON SITE PLAN
INTERNAL CIRCULATION REQUIREMENTS - SEE VEHICULAR CIRCULATION LAYOUT ON SITE PLAN
VEHICULAR INGRESS AND EGRESS - SEE INTERNAL DRIVE AISLES ON SITE PLAN. CURB CUTS ON 12th (PROPOSED ACCESS: RIGHT IN, RIGHT OUT). SEE 'INDIAN SCHOOL PRIVATE ROADWAY' COMMENTS BELOW.
MINIMUM BUILDING SETBACK - 30'
MAXIMUM BUILDING HEIGHT - 24' 3"
MAXIMUM FAR - 1
BUILDING CONSTRUCTION TYPE - VB
BUILDING WILL HAVE FIRE SPRINKLERS.

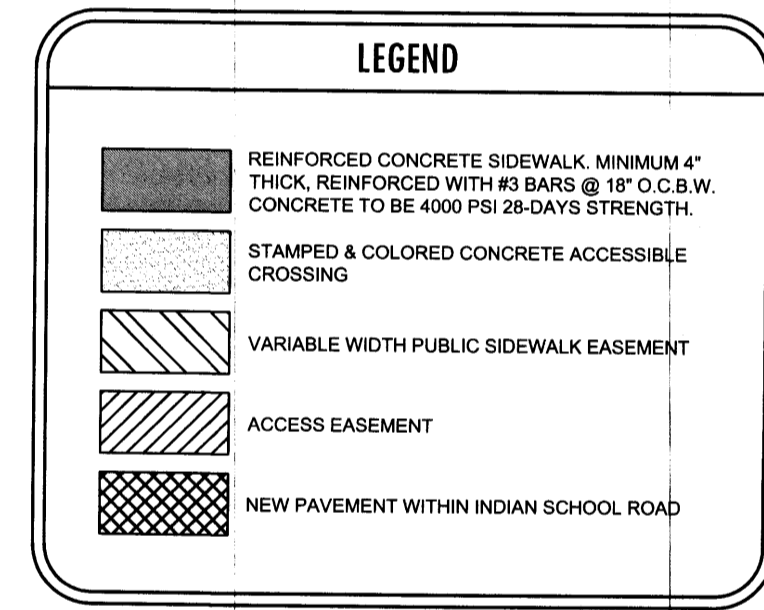
LOT #2: (CURRENT VACANT - PHASE II)
PROPOSED USE - THE PROPOSED USE SHALL BE A PARKING LOT BENEFITING THE QUEEN OF ANGELS CHAPEL OR SHALL OTHERWISE BE CONSISTENT WITH THE SU-1 FOR C-1 USES AND DRIVE THRU SERVICE WINDOW. PARKING LOT USE IS AS REGULATED IN THE O-1 ZONE PER 14-16-2-16(A)(101)
CURRENT ZONING - R-1 (RESIDENTIAL)
PROPOSED ZONING - SU-1 FOR C-1 PERMISSIVE USES AND DRIVE-UP SERVICE WINDOW
LANDSCAPE SETBACK - 10'
SIDEWALK WIDTH - 6-FOOT MINIMUM
PEDESTRIAN INGRESS AND EGRESS - DURING 2nd PHASE.
INTERNAL CIRCULATION REQUIREMENTS - DURING PHASE II
VEHICULAR INGRESS AND EGRESS - DURING PHASE II, PROVIDED HOWEVER LOT 1 SHALL PROVIDE A CROSS-ACCESS EASEMENT TO THE BENEFIT OF LOT 2 PROVIDING VEHICULAR ACCESS TO 12TH STREET.
MINIMUM BUILDING SETBACK - 30'
MAXIMUM BUILDING HEIGHT - 20'
MAXIMUM FAR - 2

COMPLIANCE NOTES
SITE LIGHTING TO BE IN COMPLIANCE WITH 14-16-3-9, AREA LIGHTING REGULATIONS
SIGNAGE TO BE IN COMPLIANCE WITH 14-16-3-5, GENERALS SIGN REGULATIONS

SCREENING NOTE
GROUND-MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, EXCLUDING TRANSFORMERS, SHALL BE SCREENED THROUGH USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICES IN COMPLIANCE WITH 14-16-3-18

SITE LIGHTING
ESTIMATED FIXTURE TYPE: RSB/RCS-250PSMH-III-MT
ESTIMATED POLE TYPE: SSP-4113-GL (4")
THE MAXIMUM HEIGHT OF A LIGHT POLE, MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE, WITHIN 100' OF A RESIDENTIAL ZONE SHALL BE 16'; OTHERWISE, OUTSIDE OF 100' OF A RESIDENTIAL ZONING SHALL BE 20'

INDIAN SCHOOL PRIVATE ROADWAY:
VEHICULAR INGRESS AND EGRESS - PRIVATE INDIAN SCHOOL ROAD IMPROVEMENTS TO PROVIDE FOR PROVIDING UNDERGROUNDING THE OVERHEAD ELECTRIC WIRES TO THE SUBJECT PROPERTY AND QUEEN OF ANGELS CHAPEL PROPERTY IN A FUTURE PHASE AND WIDENING EXISTING INDIAN SCHOOL ROAD TO ACCOMMODATE THE IMPROVEMENTS SHOWN ON C1.0. DRIVEWAY CONNECTION TO INDIAN SCHOOL ROAD IS TO BE FULL ACCESS.
ACCESS TO PRIVATE INDIAN SCHOOL ROAD SUBJECT TO FULL AGREEMENT AND EXECUTION WITH INDIAN SCHOOL ROAD OWNER
INDIAN SCHOOL ROAD IMPROVEMENTS ARE CONTINGENT AND SUBJECT TO OBTAINING APPROPRIATE APPROVALS INCLUDING BUT NOT LIMITED TO PLAN REVIEW, INSPECTIONS, PERMIT FEES AND FINANCIAL GUARANTEES



POWER POLE NOTE:
ACCORDING TO PNM, McDONALDS TO INSTALL TWO NEW POWER POLES THAT ARE 45 FEET HIGH WITH A MAXIMUM WIRE SPAN OF 300 FEET. THIS WOULD ELIMINATE THE NEED FOR THE FOUR SMALLER WOODEN POLES CURRENTLY LOCATED WITHIN THE INDIAN SCHOOL ROW

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The drawing was prepared by the Architect as an Estimate of the Project. It is not intended to be used for construction or for any other purpose without the written consent of Adams Engineering. The drawing is not to be used for any other purpose without the written consent of Adams Engineering. The drawing is not to be used for any other purpose without the written consent of Adams Engineering.

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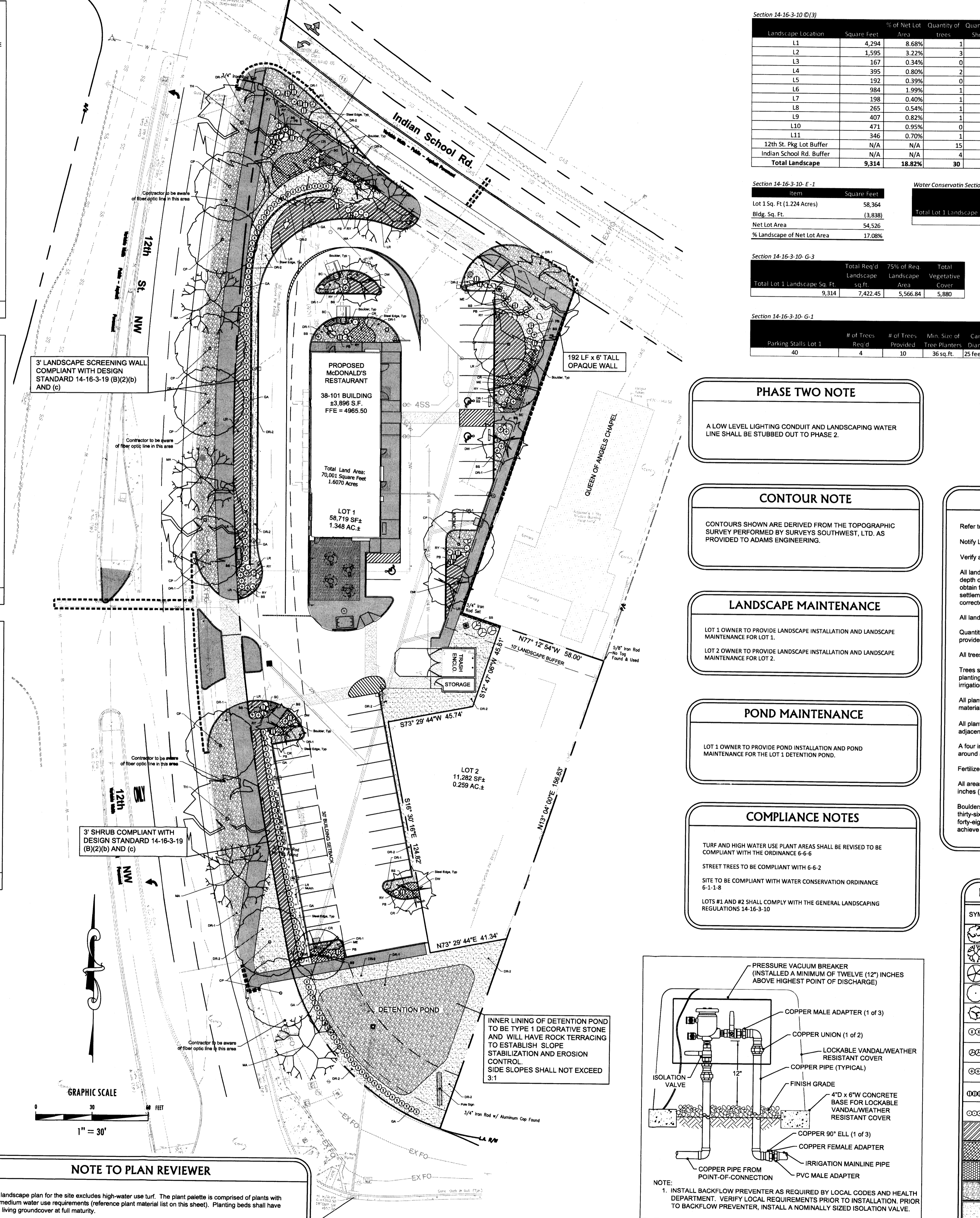
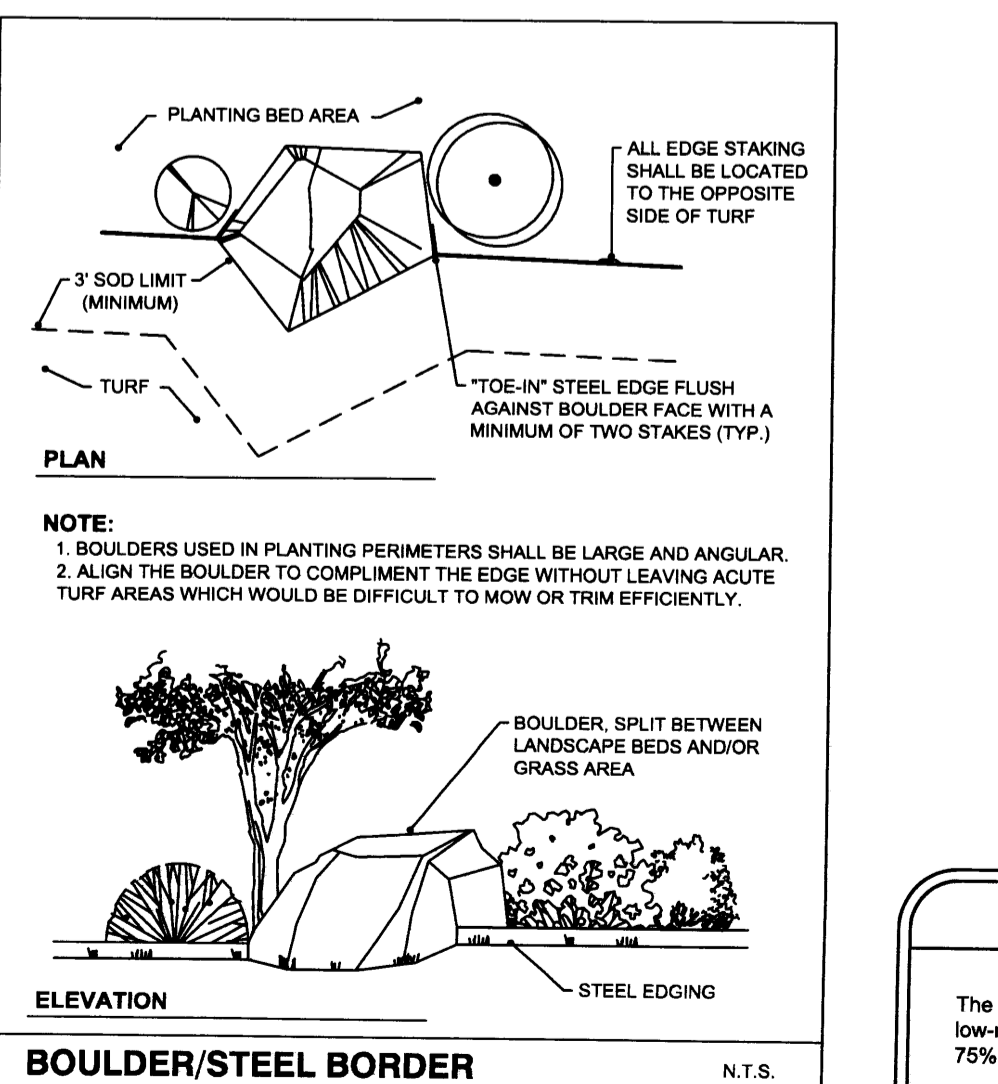
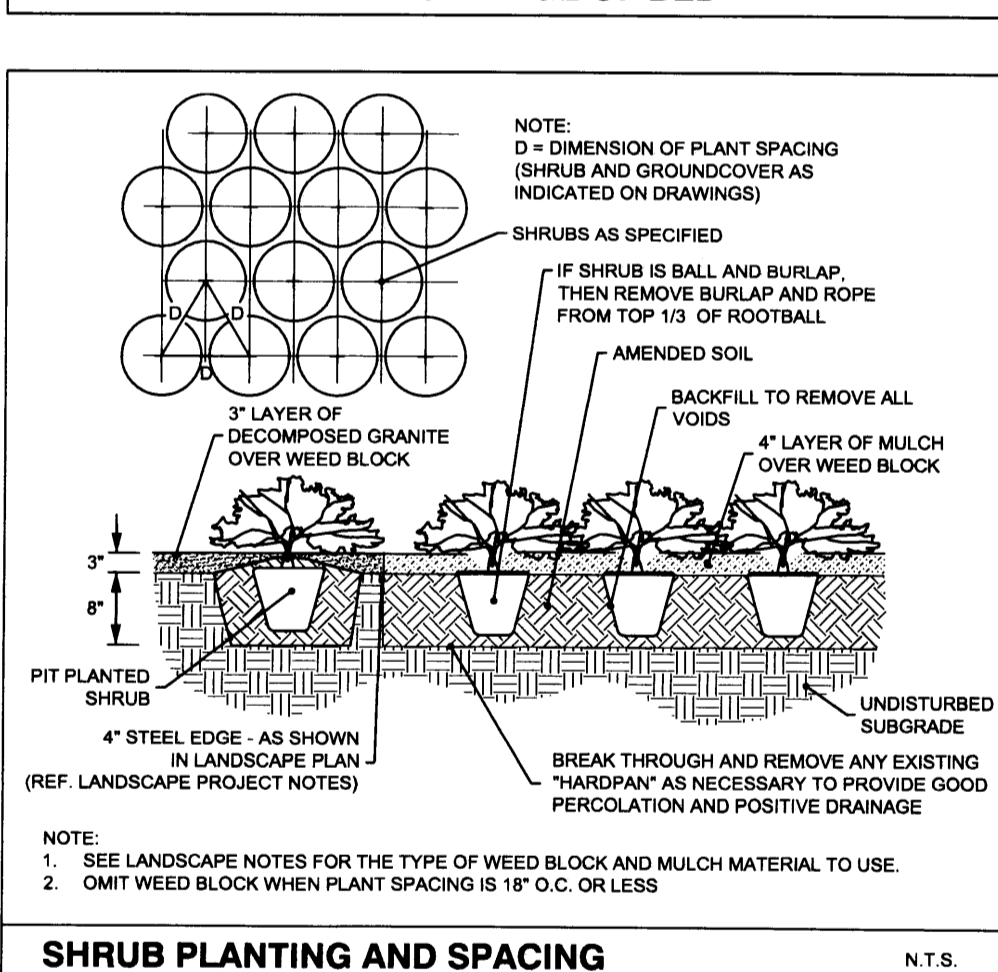
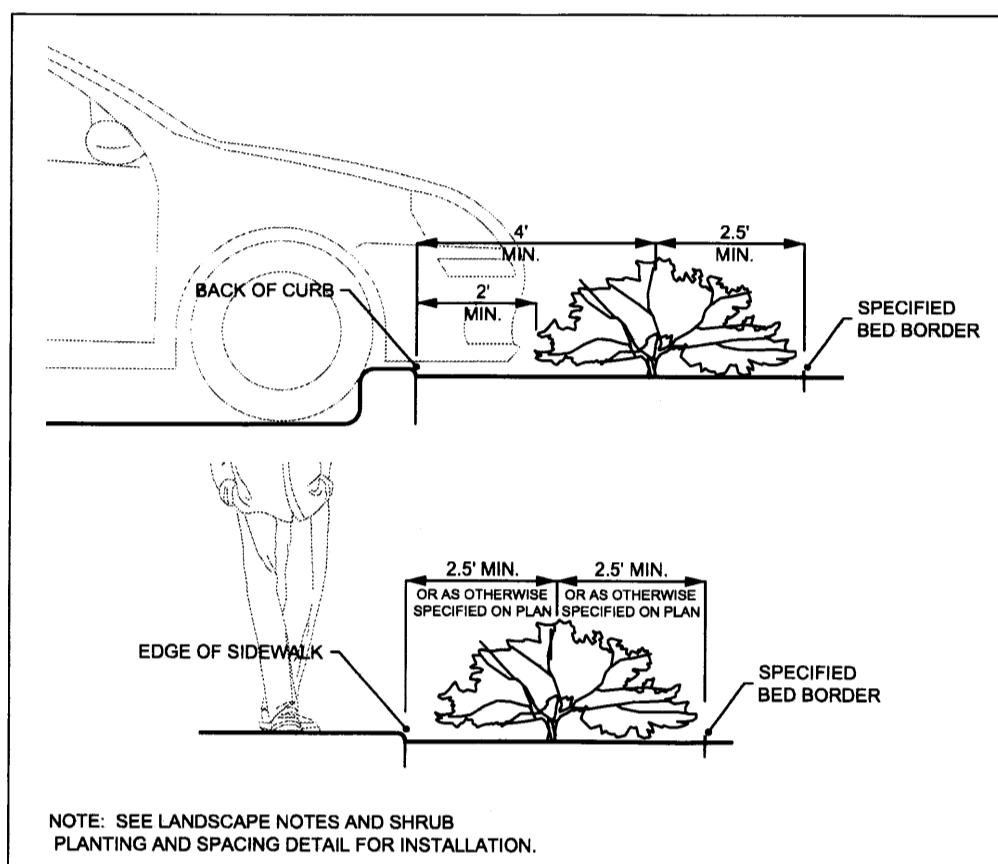
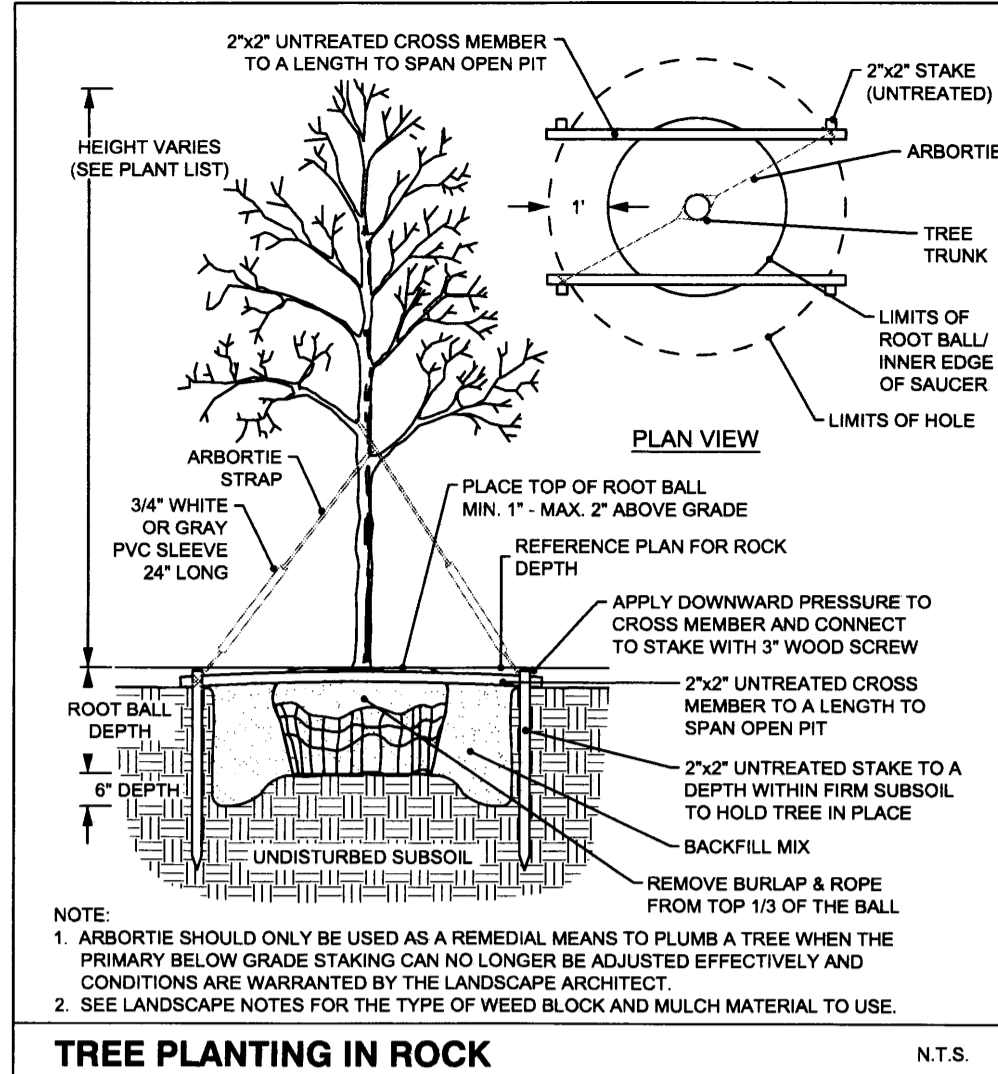
I-40 & 12TH STREET ALBUQUERQUE, NM

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

| | |
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| PROJECT MGR. | GRA |
| PROJECT TECH. | CHI |
| DATE DRAWN | |
| JOB NO. | 2009-056 |
| SHEET NO. | |

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Section 14-16-3-10 (c) (3)

| Landscaping Location | Square Feet | % of Net Lot Area | Quantity of Trees | Quantity of Shrubs | Mature Height & Spread |
|--------------------------|--------------|-------------------|-------------------|--------------------|------------------------|
| L1 | 4,294 | 8.68% | 1 | 20 | varies |
| L2 | 1,395 | 3.22% | 3 | 18 | varies |
| L3 | 167 | 0.34% | 0 | 5 | varies |
| L4 | 395 | 0.80% | 2 | 5 | varies |
| L5 | 192 | 0.39% | 0 | 6 | varies |
| L6 | 984 | 1.99% | 1 | 3 | varies |
| L7 | 198 | 0.40% | 1 | 3 | varies |
| L8 | 265 | 0.54% | 1 | 8 | varies |
| L9 | 407 | 0.82% | 1 | 8 | varies |
| L10 | 471 | 0.95% | 0 | 5 | varies |
| L11 | 346 | 0.70% | 1 | 3 | varies |
| 12th St. Pkg Lot Buffer | N/A | N/A | 15 | 149 | 3' tall & 48" wide |
| Indian School Rd. Buffer | N/A | N/A | 4 | 0 | N/A |
| Total Landscape | 9,314 | 18.82% | 30 | 233 | |

Section 14-16-3-10 (f) 1

| Item | Square Feet | % of Sod on Landscape | % of High Water Plants |
|-----------------------------|-------------|-----------------------|------------------------|
| Lot 1 Sq. Ft. (1,224 Acres) | 58,364 | | |
| Bldg. Sq. Ft. | (3,838) | | |
| Net Lot Area | 54,526 | | |
| % Landscape of Net Lot Area | | 17.08% | |

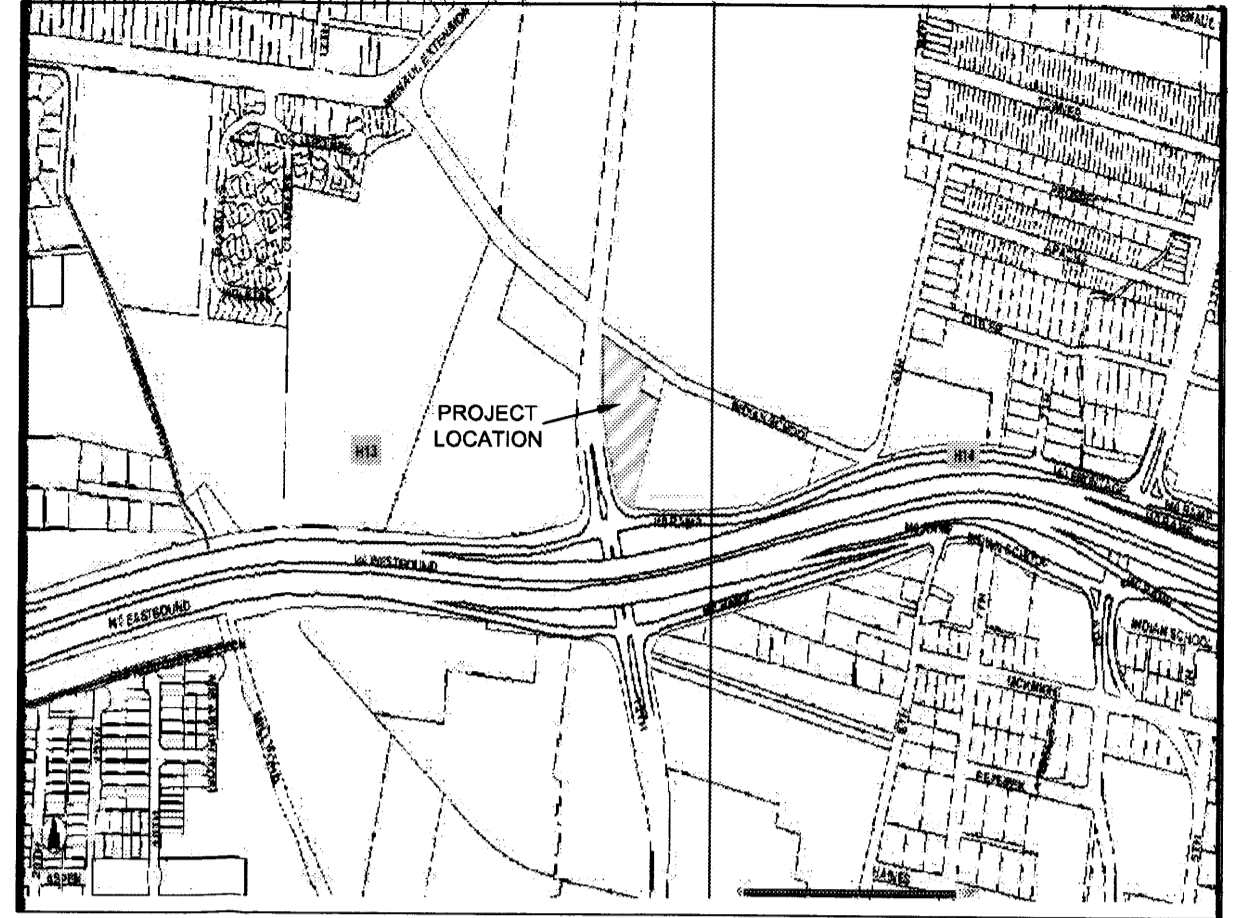
Water Conservation Section 6-1-1-8 B 2 a

Section 14-16-3-10 (c) 3

| Total Reg'd Landscape Sq. Ft. | 75% of Reg'd Landscape Area | Fault Vegetative Cover |
|-------------------------------|-----------------------------|------------------------|
| 9,314 | 7,422.45 | 5,566.84 |

Section 14-16-3-10 (c) 1

| Parking Stalls Lot 1 | # of Trees Req'd | # of Trees Provided | Min. Size of Tree Planters | Canopy Diameter |
|----------------------|------------------|---------------------|----------------------------|-----------------|
| 40 | 4 | 10 | 36 sq. ft. | 25 feet min. |



811
Know what's below.
Call before you dig.

LANDSCAPE PROJECT NOTES

Refer to Sitework Specifications for all information needed for landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (tiled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system including street trees adjacent to Lot 1.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, and to the outside of utility easements with a clear ten feet (10') around fire hydrants. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees, shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 3/4" min. thickness unless bed is bordered by concrete. Steel edging adjacent to decomposed granite beds shall have a 1/2" min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

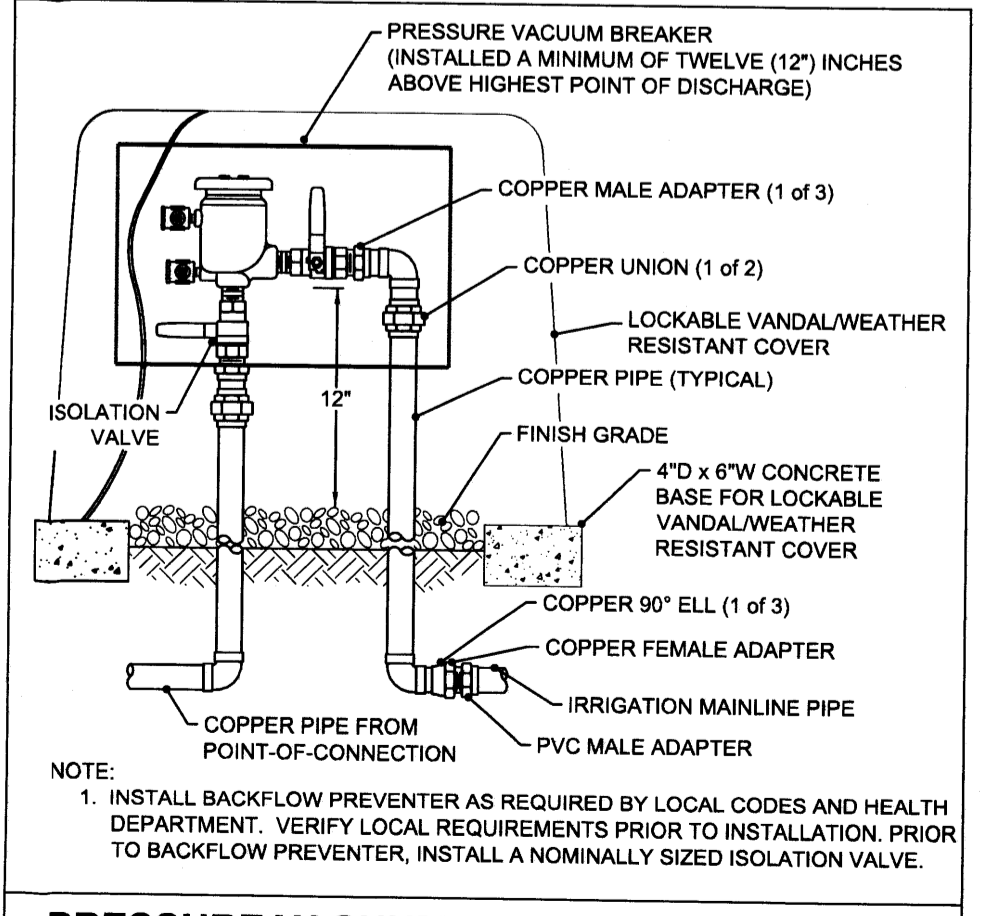
All areas of decorative rock as designated shall be locally available and of an average diameter as indicated in the plant material list. Contractor shall install to a depth of three inches (3").

Boulders labeled on plan shall vary in size according to symbol size. Smaller boulders shall have a minimum exposed height of eighteen inches (18"), minimum width of thirty-six inches (36") and a minimum depth of twenty-four inches (24"). Larger boulders shall have a minimum exposed height of twenty-four inches (24"), minimum width of forty-eight (48") and a minimum depth of thirty-six (36"). Boulders shall be recessed into the grade and shall be oriented so that its longest side is parallel to the ground plane to achieve a natural look.

Plant Material List

| SYM. | KEY | QTY. | COMMON NAME | SCIENTIFIC NAME | O.C. | ROOT | SIZE | HEIGHT | SPREAD | COMMENT | WATER USE |
|------|-------|------|--------------------------|--|-----------|-------|---------|----------|----------|---|-----------|
| TH | 5 | | Thornless Honeylocust | Gleditsia triacanthos Inermis | N/A | Cont. | 3" | 14' min. | 12' min. | Strong central leader, full canopy, healthy | Medium |
| MA | 5 | | Modesto Ash | Fraxinus 'Velutina 'Modesto' | N/A | Cont. | 3" | 14' min. | 12' min. | Strong central leader, full canopy, healthy | Medium |
| ME | 3 | | Mexican Elder | Sambucus mexicana | N/A | Cont. | 3" | 14' min. | 12' min. | Strong central leader, full canopy, healthy | Low |
| CP | 10 | | Chinese Pistache | Pistacia chinensis | N/A | Cont. | 3" | 14' min. | 12' min. | Strong central leader, full canopy, healthy | Medium |
| DW | 6 | | Desert Willow | Chilopsis linearis | N/A | Cont. | 30 gal. | 8' min. | 6' min. | Multi trunk, full canopy, healthy | Rainwater |
| GA | 149 | | Compact Glossy Abelia | Abelia grandifolia 'Compacta' | 36" | Cont. | 5 gal. | 36" min. | 30" min. | Full, healthy | Medium |
| SS | 4 | | Silver Sage | Artemisia cana | 48" | Cont. | 5 gal. | 36" min. | 30" min. | Full, healthy | Low |
| BS | 33 | | Blue Mist Spirea | Caryopteris clandestinis 'Dark Knight' | 36" | Cont. | 5 gal. | 30" min. | 30" min. | Full, healthy | Medium |
| PB | 26 | | Crimson Pymy Barbary | Berberis thunbergii 'Atropur Nana' | 24" | Cont. | 3 gal. | 18" min. | 15" min. | Full, healthy | Medium |
| RY | 27 | | Red Yucca | Hesperaloe parviflora | 24" | Cont. | 3 gal. | 30" min. | 20" min. | Full, healthy, no broken spines | Low |
| LR | 1,580 | | Liriope | Liriope muscari | 18" | Cont. | 1 gal. | 12" min. | 12" min. | Full, healthy | Medium |
| CR | 282 | | Creeping Rosemary | Rosmarinus officinalis 'Prostrata' | 24" | Cont. | 1 gal. | 12" min. | 18" min. | Full, healthy | Low |
| SC | 560 | | Seasonal Color | | 9" | Cont. | 4" pots | N/A | N/A | Locally Available | Medium |
| DR-1 | 9,725 | SF | Decorative Rock - Type 1 | | 3" - 5" | | | | | | |
| DR-2 | 7,800 | SF | Decorative Rock - Type 2 | | 1" - 2.5" | | | | | | |

In Accordance to the Current Edition of The American Standard for Nursery Stock



| BY | DATE | REVISIONS |
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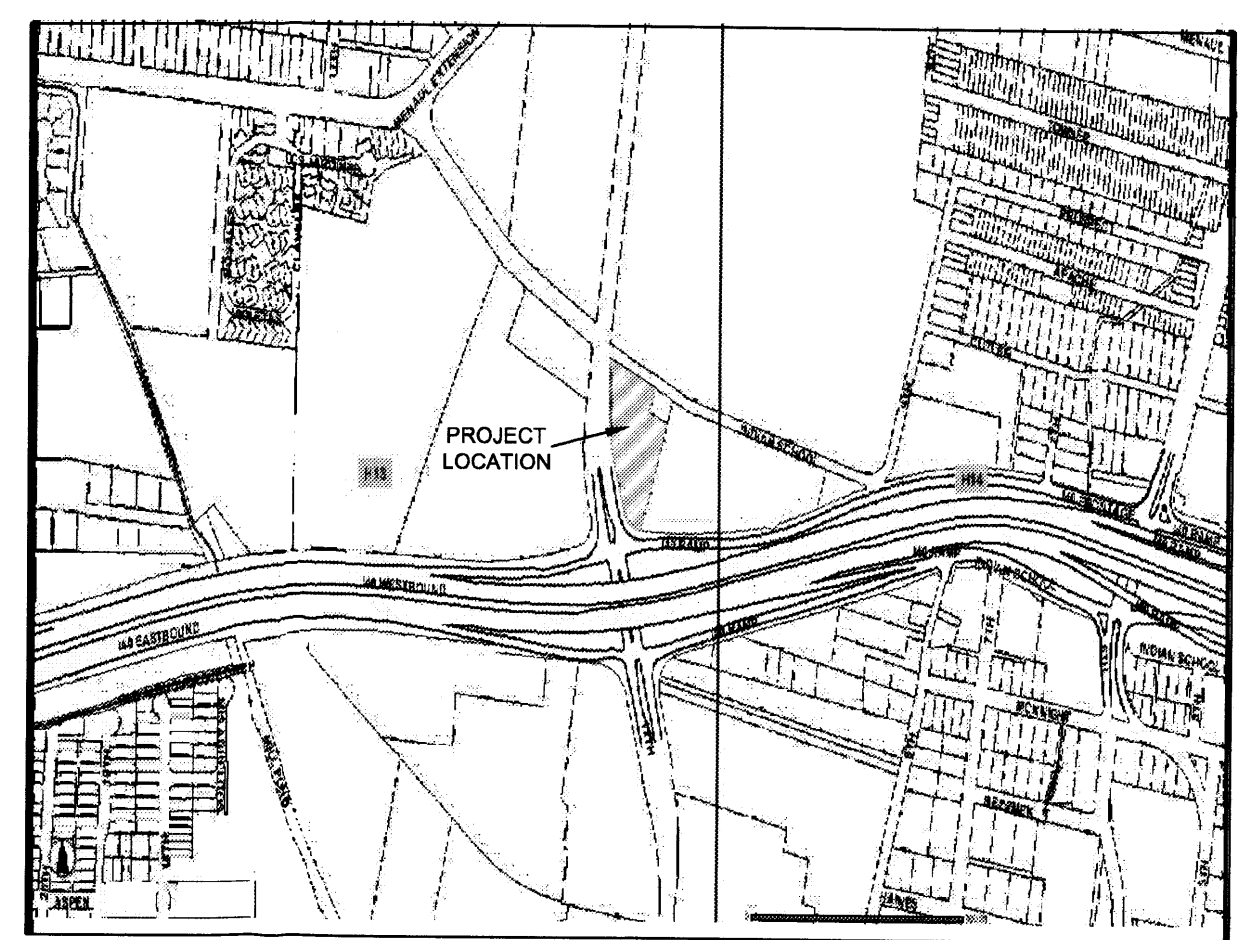
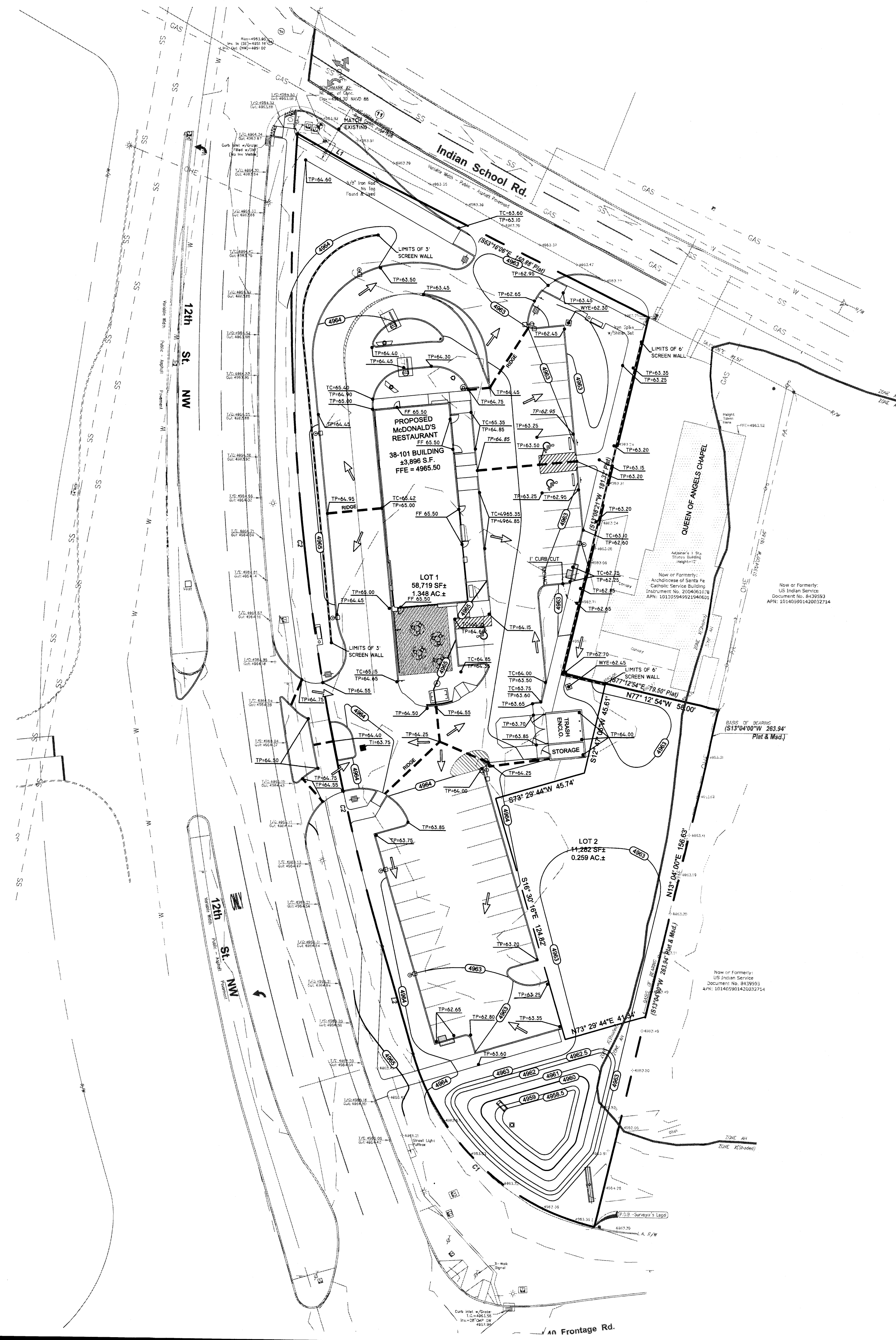
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LANDSCAPE PLAN
I-40 & 12TH STREET
ALBUQUERQUE, NM

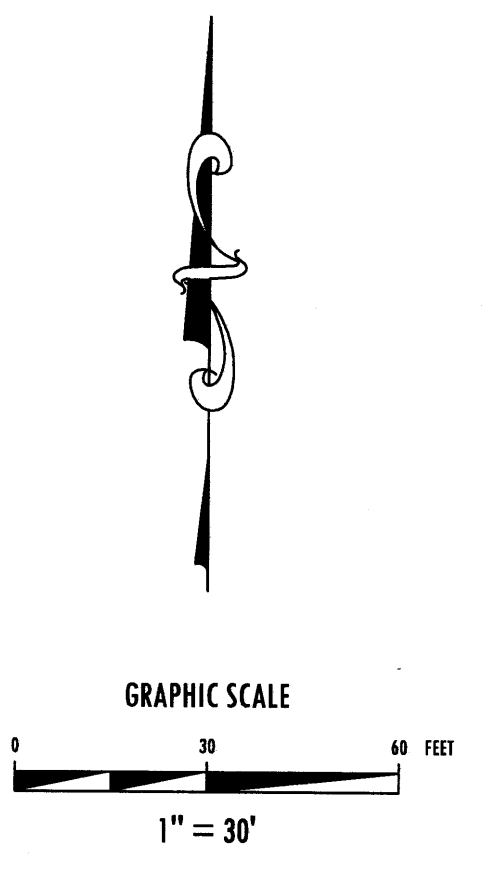
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VICINITY MAP
N.T.S.



GRADING NARRATIVE:

EXISTING SITE TOPOGRAPHY -
THE EXISTING SITE SITS IN A SUMP WHICH HOLDS ITS OWN STORM WATER. CURRENTLY THE SITE DRAINS NORTH TO SOUTH AND STORM WATER COLLECTS AT THE SOUTHERN PORTION OF THE LOT. 12TH STREET STORM DRAINAGE IS ENTIRELY COLLECTED IN AN UNDERGROUND CITY STORM SYSTEM. HALF OF THE QUEEN OF ANGELS CHAPEL STORM WATER FLOWS ONTO THIS LOT AND THE OTHER HALF ONTO THE EMPTY LOT EAST OF THE CHURCH. INDIAN SCHOOL ROAD STORM DRAINAGE FLOWS ONTO THIS LOT.

PROPOSED GRADING IMPROVEMENTS -
THE SITE WILL BE GRADED TO MATCH EXISTING CONDITIONS TO DRAIN STORM WATER FROM NORTH TO SOUTH. McDONALD'S WILL INSTALL A DETENTION AREA AT THE SOUTHERN PORTION OF THE TRACT TO COLLECT STORM DRAINAGE. THE DETENTION AREA WILL DISCHARGE THROUGH A PERFORATED RISER PIPE WHICH IS CONNECTED TO AN EXISTING CURB INLET IN THE NORTH SIDE OF THE I-40 FRONTAGE ROAD.

THE PROPOSED DECELERATION LANE ALONG THE SOUTHERN RIGHT-OF-WAY OF INDIAN SCHOOL ROAD WILL BE GRADED TO MATCH EXISTING DRAINAGE CONDITIONS.

| LEGEND | |
|--------|--------------------------------------|
| TC | = PROPOSED TOP OF CURB ELEVATION |
| TP | = PROPOSED TOP OF PAVEMENT ELEVATION |
| FG | = PROPOSED FINISHED GRADE ELEVATION |
| FF | = PROPOSED FINISHED FLOOR ELEVATION |
| TI | = PROPOSED TOP OF INLET ELEVATION |
| WYE | = PROPOSED WYE OPENING ELEVATION |
| --- | = SWALE |
| --- | = RIDGE LINE |
| --- | = EXISTING CONTOUR (SURVEY) |
| --- | = PROPOSED CONTOUR |
| --- | = PROPOSED DRAINAGE FLOW ARROW |

| REVISIONS | DATE | BY |
|-----------|------|----|
| | | |
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| | | |

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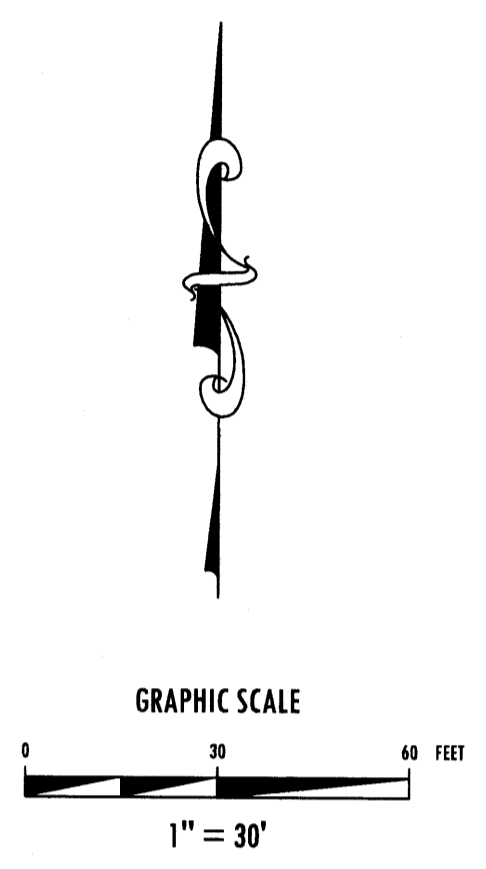
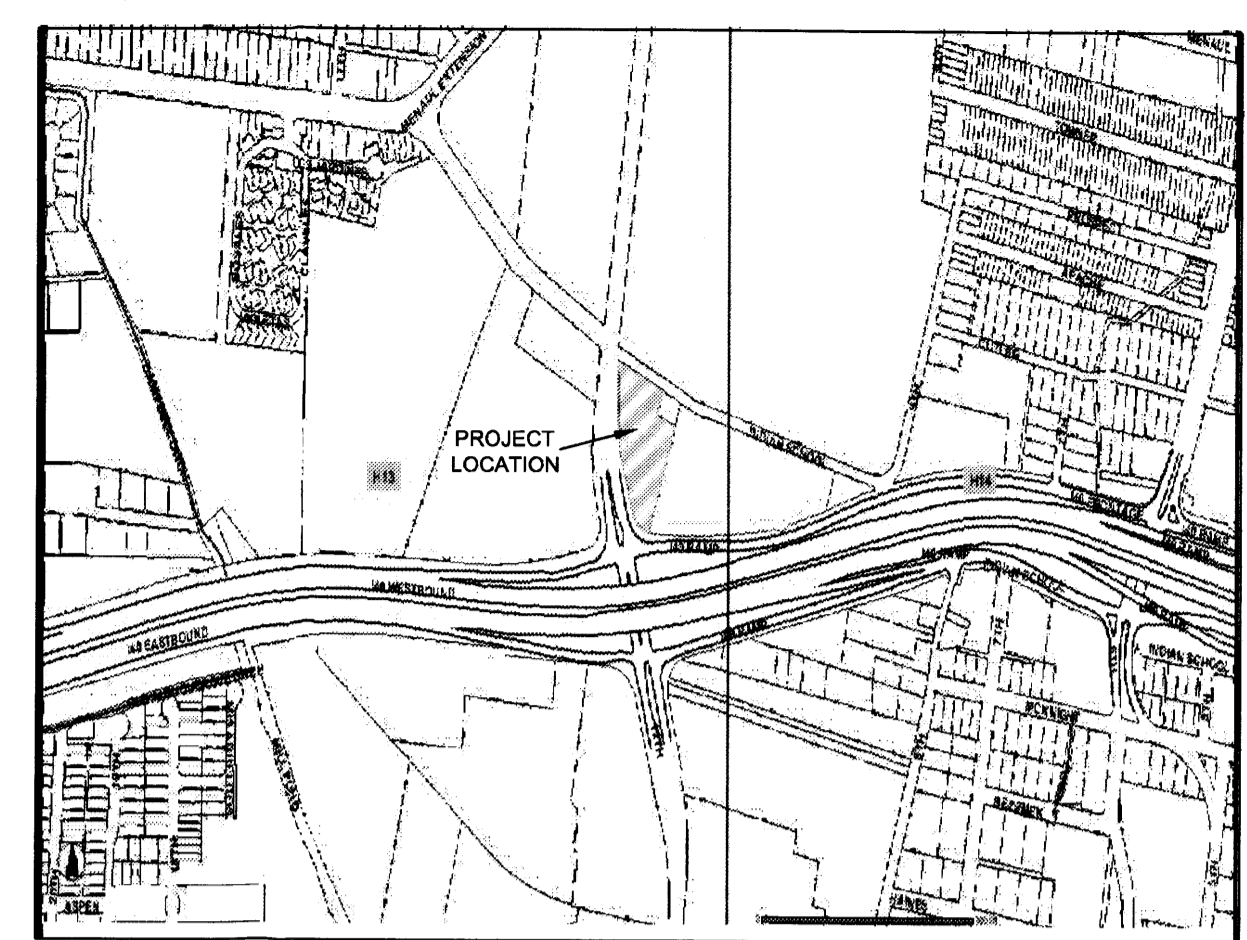
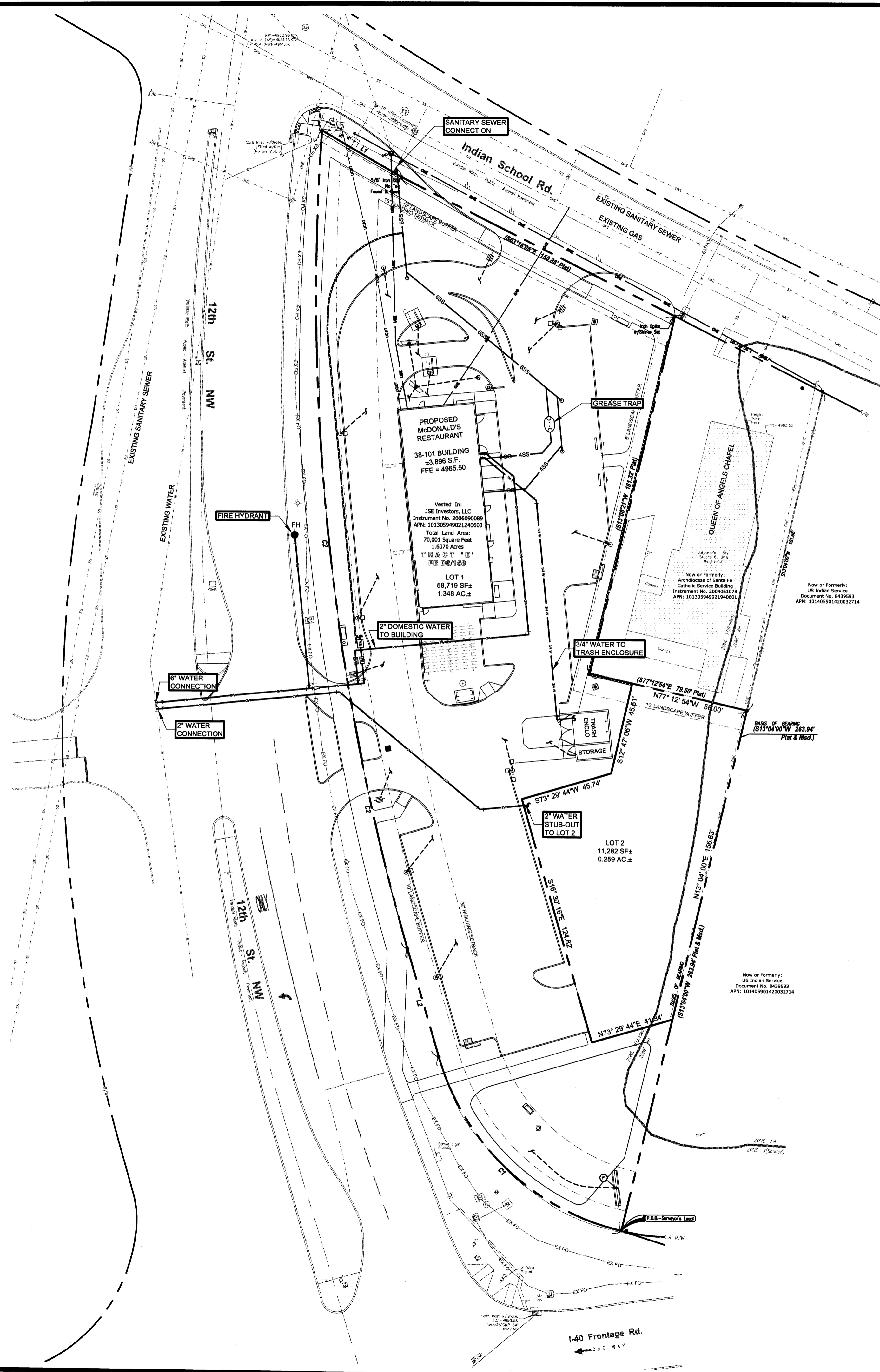
Adams ENGINEERING
910 S. Kimball Avenue ■ Southlake, Texas 76092 ■ (817) 328-3200

I-40 & 12TH STREET
ALBUQUERQUE, NM
CONCEPTUAL GRADING PLAN

| | |
|---------------|-----|
| PROJECT MGR. | GRA |
| PROJECT TECH. | CHI |
| DATE DRAWN | |

| | |
|-----------|----------|
| JOB NO. | 2009-056 |
| SHEET NO. | C3.0 |

FILE NAME: UTILITY PLAN.dwg PLOT DATE: Tuesday, April 08, 2013 PLOT TIME: 8:03:27 AM PLOTTER: Adobe PDF 63 FULL PATH: I:\Projects\130303\130303.dwg McMicroDraw - Albuquerque NM (1 of 1) 1/28/2013 1:15 PM 130303.dwg I:\Projects\130303\130303.dwg McMicroDraw - Albuquerque NM (1 of 1) 1/28/2013 1:15 PM 130303.dwg I:\Projects\130303\130303.dwg McMicroDraw - Albuquerque NM (1 of 1) 1/28/2013 1:15 PM 130303.dwg



| REVISIONS | DATE | BY |
|-----------|------|----|
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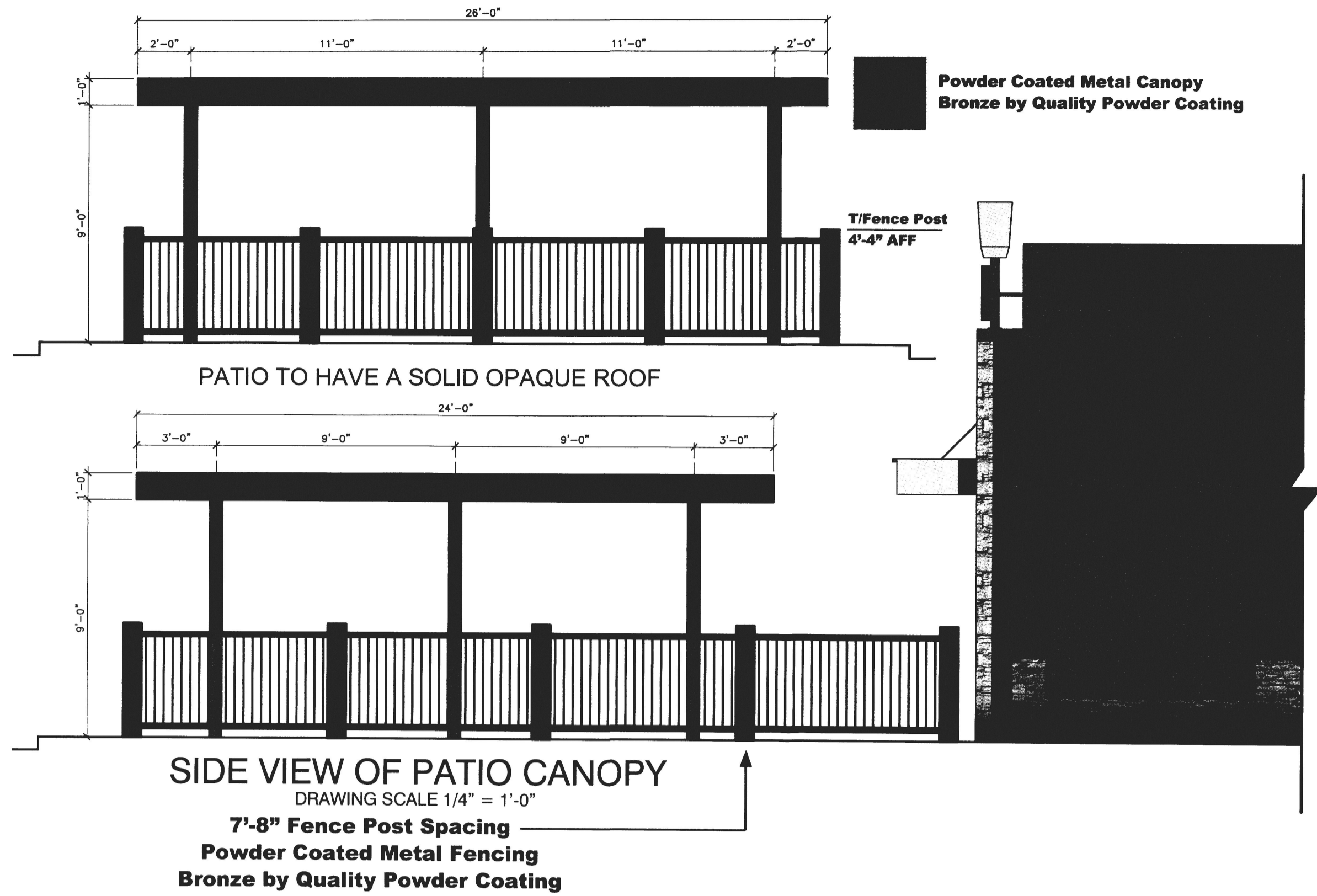
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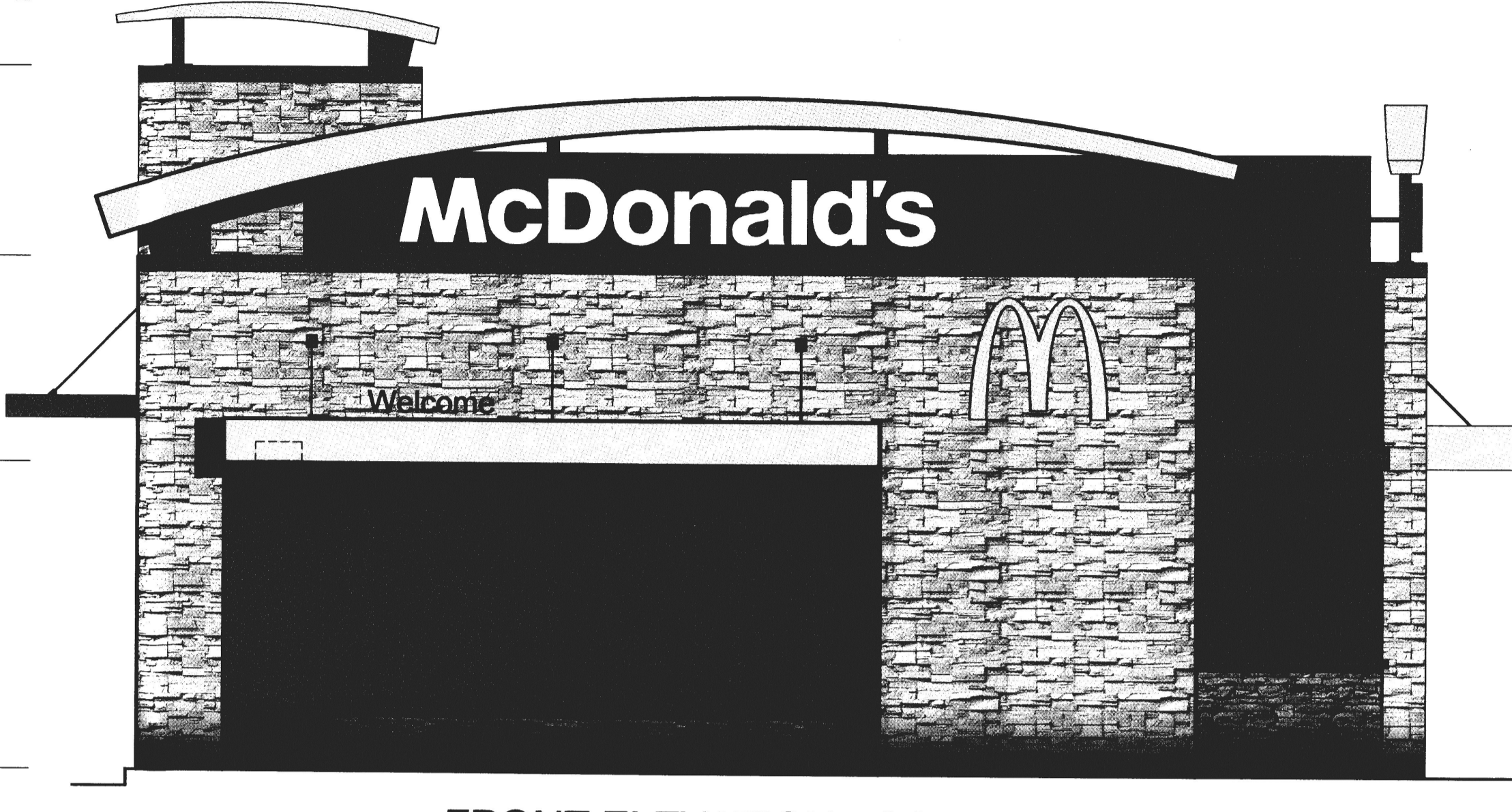
**I-40 & 12TH STREET
 ALBUQUERQUE, NM
 CONCEPTUAL UTILITY PLAN**

| | |
|---------------|----------|
| PROJECT MGR. | GRA |
| PROJECT TECH. | CHI |
| DATE DRAWN | 03/25/13 |
| JOB NO. | 2009-056 |
| SHEET NO. | C4.0 |

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- T/ROOF CAP ELEMENT
ELEV. + 23'-4"
- T/BLK'G @ HEARTH
ELEV. + 21'-4"
- T/VESTIBULE PARAPET
ELEV. + 15'-7"
- T/WINDOW
ELEV. + 9'-4"
- T/SLAB
ELEV. + 0'-0"



- T/ROOF CAP ELEMENT
ELEV. + 20'-3"
- T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"
- T/BLK'G @ ARCADE
ELEV. + 15'-7"
- T/WINDOW & B/CANOPY
ELEV. + 9'-4"
- T/SILL
ELEV. + 2'-0"
- T/SLAB
ELEV. + 0'-0"



- T/ROOF CAP ELEMENT
ELEV. + 20'-3"
- T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"
- T/BLK'G @ ARCADE
ELEV. + 15'-7"
- T/WINDOW & B/CANOPY
ELEV. + 9'-4"
- T/SILL
ELEV. + 2'-0"
- T/SLAB
ELEV. + 0'-0"

- T/BLOCKING PARAPET
ELEV. + 18'-9 1/2"
- T/ BLOCKING
ELEV. + 15'-7"
- B/EIFS REVEAL
ELEV. + 12'-0"
- B/TRELLIS - FASCIA
ELEV. + 9'-4"
- B/EIFS REVEAL
ELEV. + 6'-2 3/4"
- T/WAINSCOTTING
ELEV. + 3'-4"
- T/SLAB
ELEV. + 0'-0"



THESE ELEVATIONS MAY VARY FROM ACTUAL AND ARE FOR REFERENCE ONLY, VERIFY ALL MATERIALS AND COLORS WITH SHEETS A2.0 & A2.1 PRIOR TO ORDERING

ARCADE STONE CORONADO
COUNTRY RUBBLE
TEXAS CREAM

ACCENT STONE CORONADO
COUNTRY RUBBLE
COASTAL BROWN

B Base Building

EIFS / Stucco:
Mink
BM-2112-10

C Accent - Drive Thru

EIFS / Stucco:
Huntington Beige
BM-HC-21

D Parapet

Corrugated Metal
City-Scape
Metal - Era

STOREFRONT

CLEAR ANODIZED

| REV | DATE | DESCRIPTION | BY |
|-----|----------|---------------|----|
| 2 | 04/16/13 | CITY COMMENTS | |

| | |
|---------------------|----------------------|
| STATE OF NEW MEXICO | REGISTERED ARCHITECT |
| Jeremy A. Williams | License # 4344 |

| |
|--|
| ROGUE ARCHITECTS |
| 513 MAIN STREET, SUITE 200 FORT WORTH, TEXAS 76102 817.820.0433 o 817.705.3387 c |

| | |
|-----------------|---------------------|
| PREPARED FOR: | McDonald's USA, LLC |
| DRAWN BY: | ROGUE |
| STD ISSUE DATE: | 2013 |
| REVIEWED BY: | JAW/PDW |
| DATE ISSUED: | 2013 |

| | |
|--------------|---|
| TITLE | 2013 NON-STANDARD BUILDING |
| DESCRIPTION | 38101 - WOOD/WOOD |
| DESCRIPTION | WOOD BEARING WALLS WITH EIFS & STONE |
| DESCRIPTION | WOOD ROOF TRUSS FRAMING |
| DESCRIPTION | STONE EXTERIOR FINISH, ARCADE/ENTRY |
| SITE ADDRESS | HWY 1-40 & 17TH STREET, ALBUQUERQUE, NM |
| SDS-0230 | |

| | |
|--------------|-----------------|
| SHEET NO. | ROGUE # 12-0117 |
| A2.0c | ELEVATIONS |



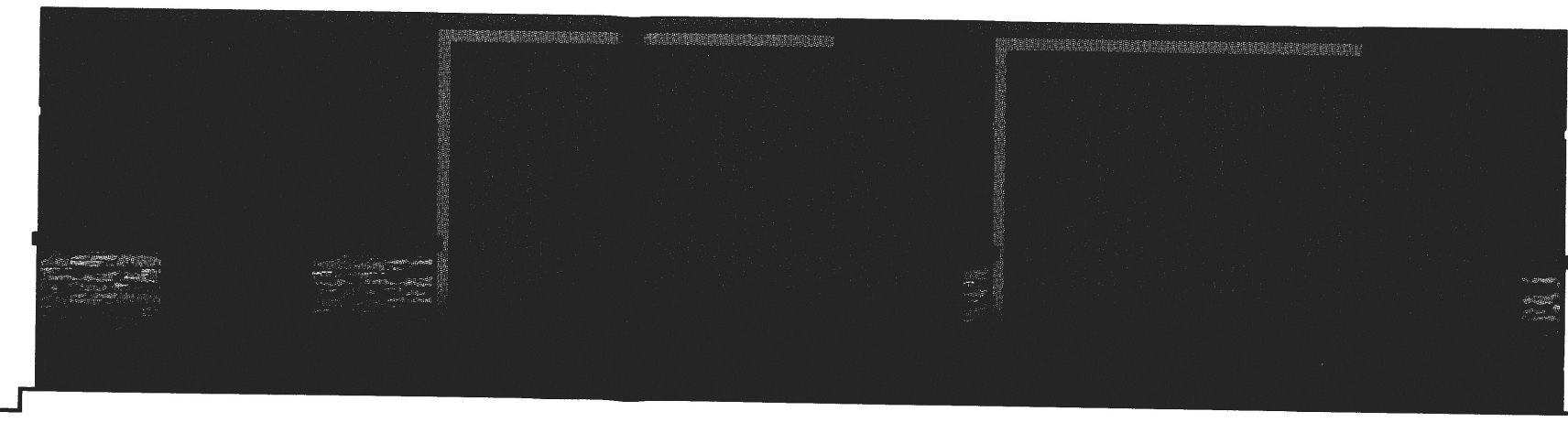
DRIVE THRU ELEVATION - WEST
DRAWING SCALE 1/4" = 1'-0"

SEE PATIO
ELEVATION BELOW

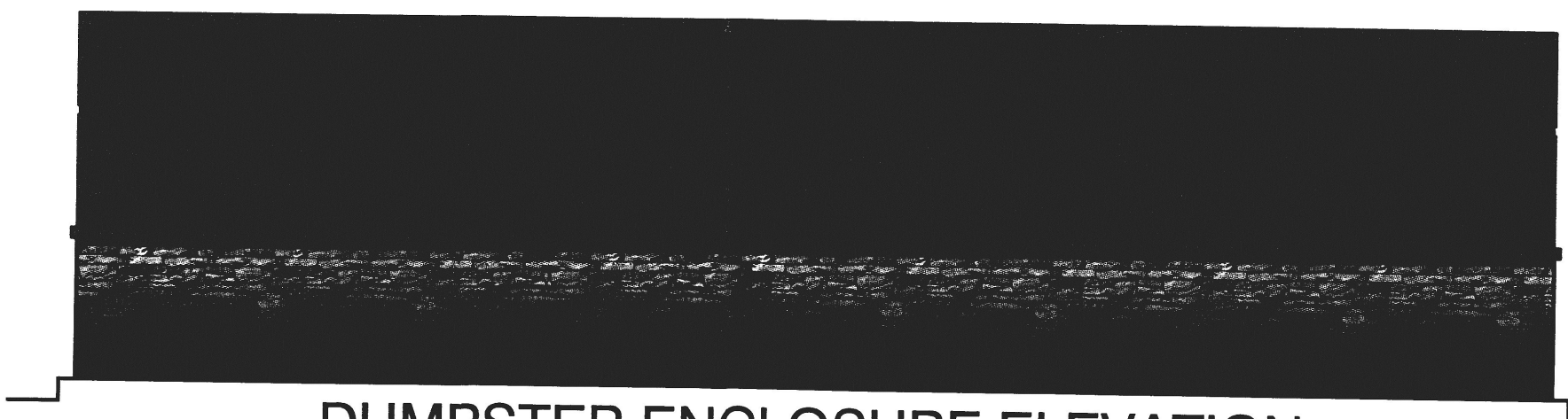
REFERENCE THE DUMPSTER ENCLOSURE
DETAILS AND SHEET A2.1 FOR ACTUAL
SIZE, SHAPE, AND CONFIGURATION



36" TALL LANDSCAPE WALL ELEVATION
DRAWING SCALE 1/4" = 1'-0"



DUMPSTER ENCLOSURE ELEVATION
DRAWING SCALE 1/4" = 1'-0"

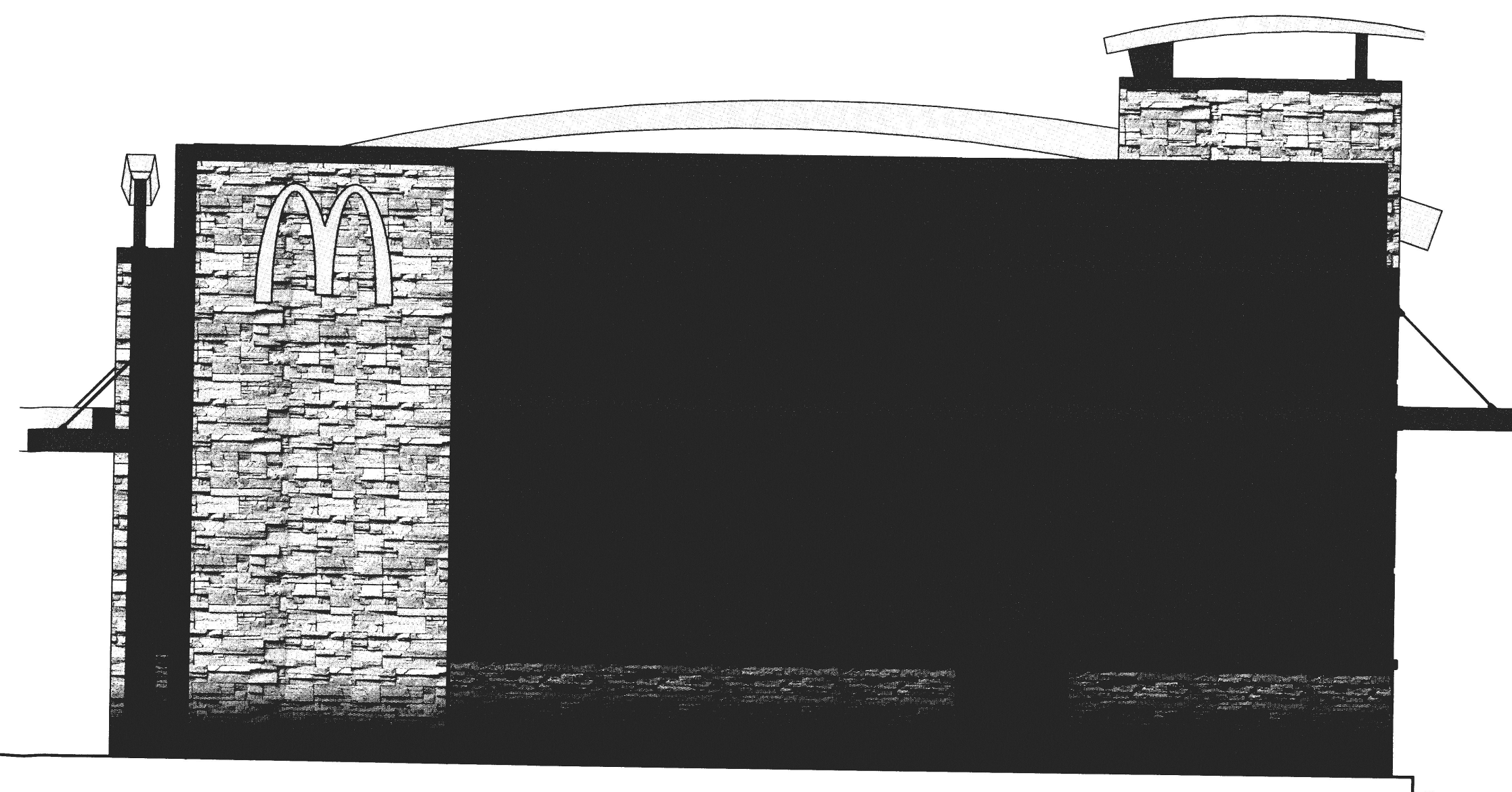


DUMPSTER ENCLOSURE ELEVATION

PATIO TO HAVE A SOLID OPAQUE ROOF



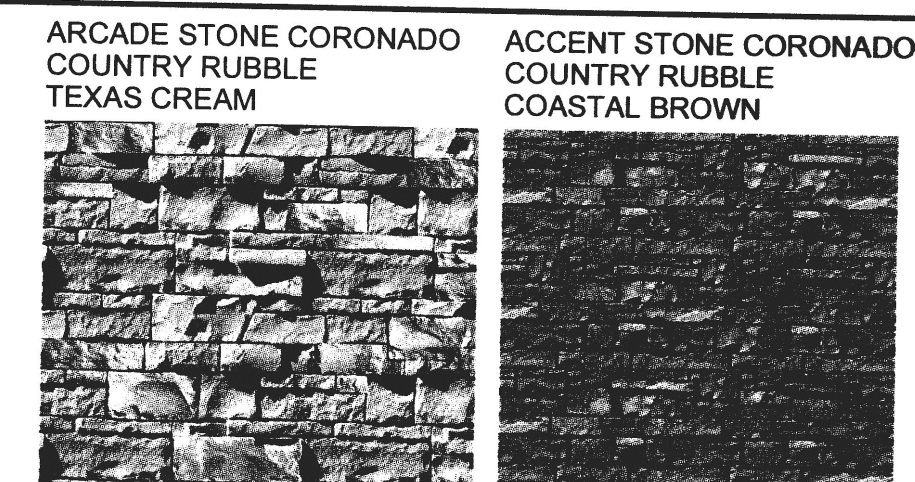
SIDE VIEW OF PATIO CANOPY
DRAWING SCALE 1/4" = 1'-0"



BACK ELEVATION - NORTH
DRAWING SCALE 1/4" = 1'-0"



**THESE ELEVATIONS MAY VARY FROM ACTUAL AND ARE FOR
REFERENCE ONLY, VERIFY ALL MATERIALS AND COLORS
WITH SHEETS A2.0 & A2.1 PRIOR TO ORDERING**



B Base Building

EIFS / Stucco:
Mink
BM-2112-10

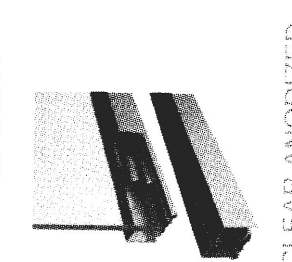
C Accent - Drive Thru

EIFS / Stucco:
Huntington Beige
BM-HC-21

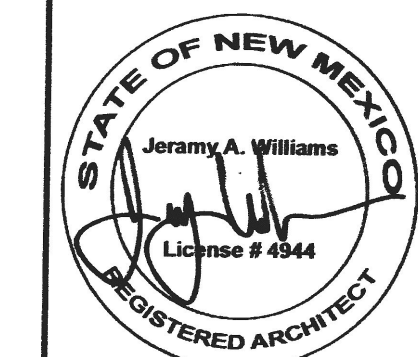
D Parapet

Corrugated Metal
City-Scapes
Metal - Era

STOREFRONT



CLEAR ANODIZED



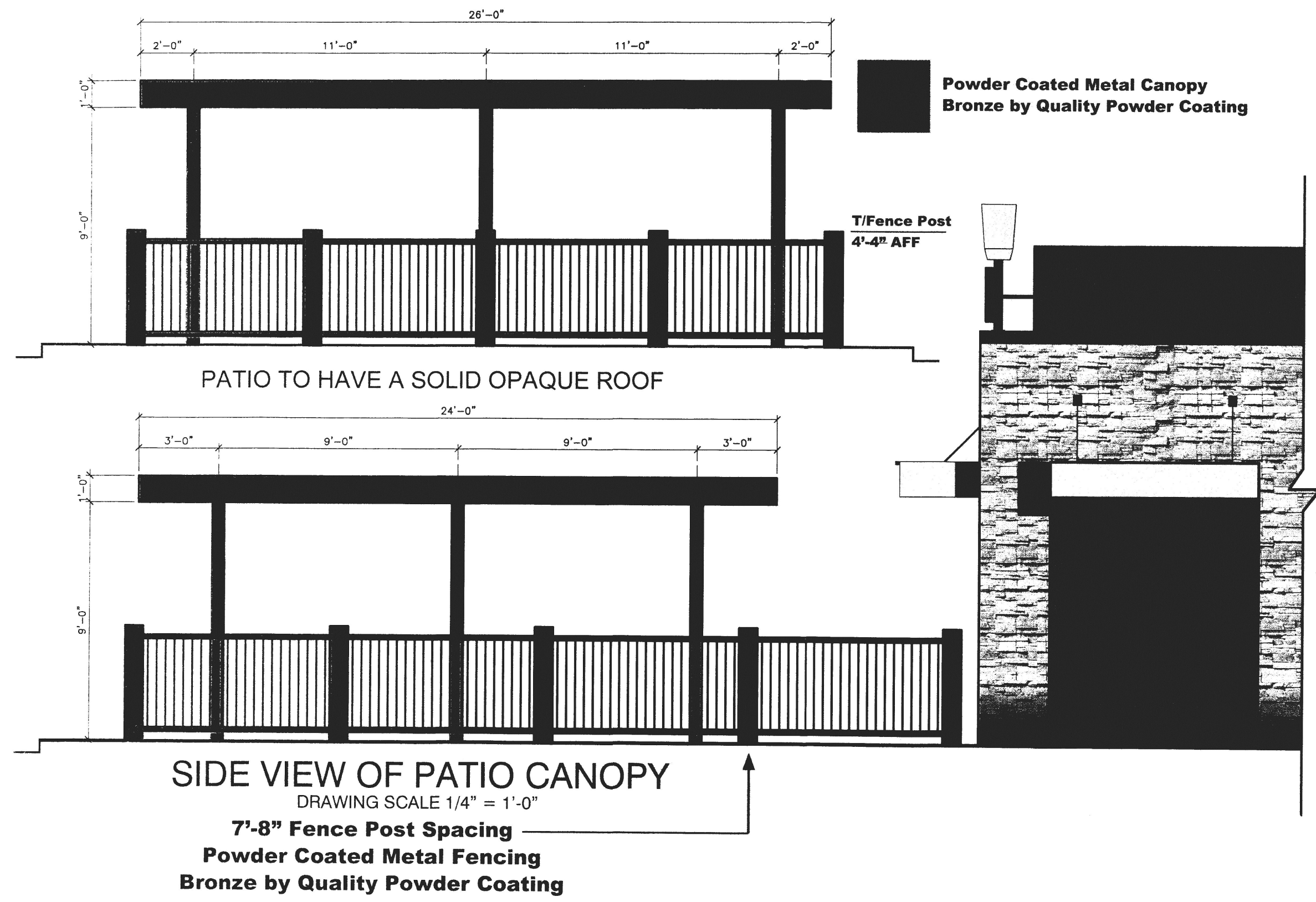
513 MAIN STREET, SUITE 200
FORT WORTH, TEXAS 76102
817.820.0433 o 817.705.3387 c

PREPARED FOR:
McDonald's USA, LLC
© 2011 McDonald's USA, LLC
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| | |
|----------------|---------|
| DRAWN BY | ROGUE |
| STD ISSUE DATE | 2013 |
| REVIEWED BY | JAW/PDW |
| DATE ISSUED | 2013 |

| | |
|--------------|---|
| TITLE | 2013 NON-STANDARD BUILDING |
| DESCRIPTION | 38101 - WOOD/WOOD |
| DESCRIPTION | WOOD BEARING WALLS WITH EIFS & STONE |
| DESCRIPTION | WOOD ROOF TRUSS FRAMING |
| DESCRIPTION | STONE EXTERIOR FINISH ARCADE/ENTRY |
| SITE ID | 030-0230 |
| SITE ADDRESS | HWY 1-40 & 12TH STREET, ALBUQUERQUE, NM |
| SHEET NO. | ROGUE# 12-0117 |
| SHEET NO. | A2.1c |
| SHEET NO. | ELEVATIONS |

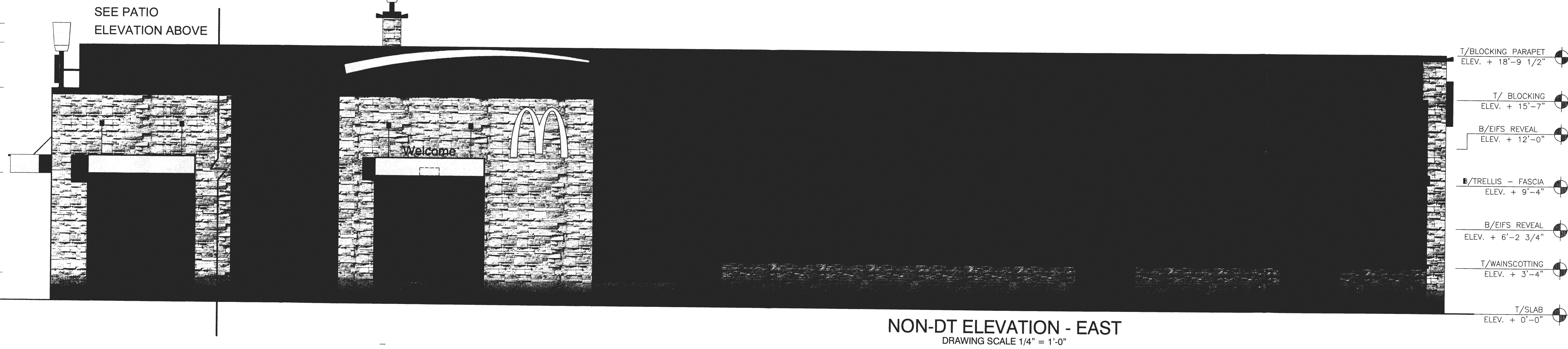
| REV | DATE | DESCRIPTION | BY |
|-----|----------|---------------|----|
| 2 | 04/16/13 | CITY COMMENTS | |



- T/ROOF CAP ELEMENT
ELEV. + 23'-4"
- T/BLK'G @ HEARTH
ELEV. + 21'-4"
- T/VESTIBULE PARAPET
ELEV. + 15'-7"
- T/WINDOW
ELEV. + 9'-4"
- T/SLAB
ELEV. + 0'-0"



- T/ROOF CAP ELEMENT
ELEV. + 20'-3"
- T/BLK'G @ PARAPET
ELEV. + 15'-9 1/2"
- T/BLK'G @ ARCADE
ELEV. + 15'-7"
- T/WINDOW & B/CANOPY
ELEV. + 9'-4"
- T/SILL
ELEV. + 2'-0"
- T/SLAB
ELEV. + 0'-0"



ARCADIE STONE
SOUTHWEST PRO-FIT
LEDGESTONE

ACCENT STONE CORONADO
COUNTRY RUBBLE
COASTAL BROWN

B Base Building

EIFS / Stucco:
Mink
BM-2112-10

C Accent - Drive Thru

EIFS / Stucco:
Huntington Beige
BM-HC-21

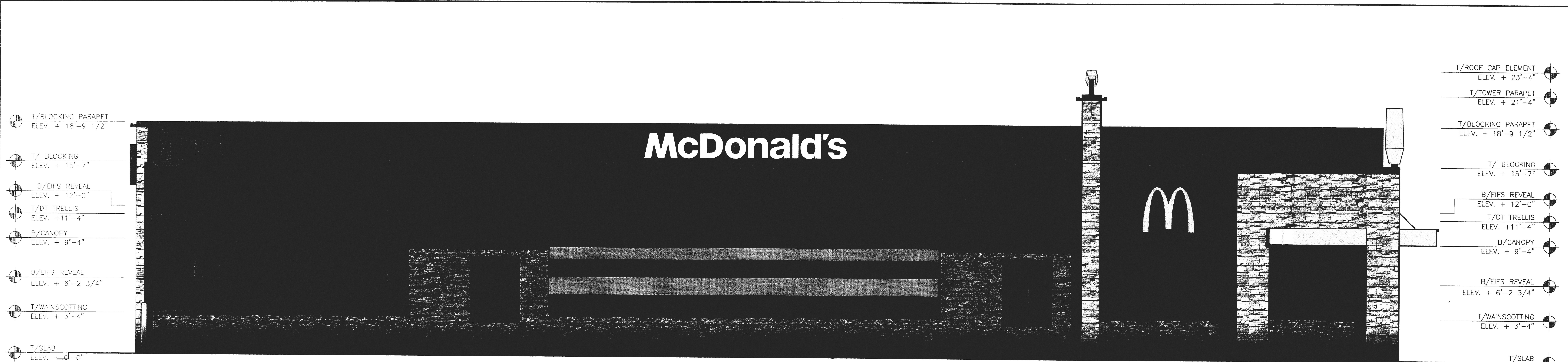
D Parapet

Corrugated Metal
City-Scape
Metal - Era

STOREFRONT

CLEAR ANODIZED

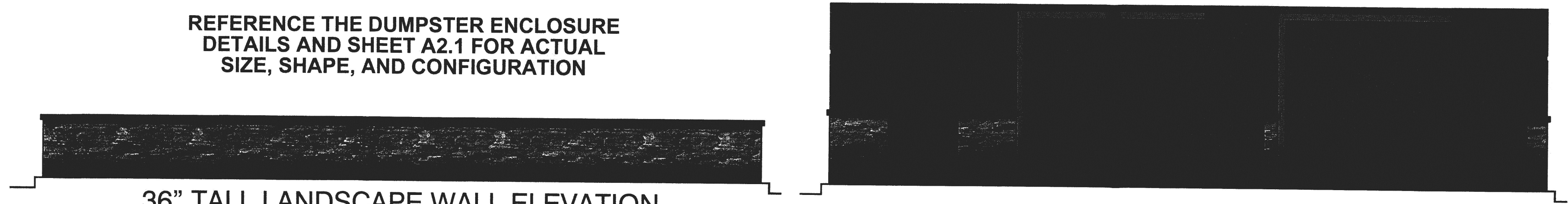
| SHEET NO. | TITLE | DATE | REV | DATE | DESCRIPTION |
|--|---|--|-----|------|-------------|
| 2 | 04/18/13 | CITY COMMENTS | | | |
| | | | | | |
| | | | | | |
| 513 MAIN STREET, SUITE 200 FORT WORTH, TEXAS 76102 817.820.0433 o 817.705.3387 c | | | | | |
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| DRAWN BY: ROGUE STD ISSUE DATE: 2013 | REVIEWED BY: JAW/PDW DATE ISSUED: 2013 | © 2011 McDonald's USA, LLC | | | |
| 2013 NON-STANDARD BUILDING 38101 - WOOD/WOOD | DESCRIPTION: WOOD BEARING WALLS WITH EIFS & STONE WOOD ROOF TRUSS FRAMING STONE EXTERIOR FINISH ARCADE/ENTRY | SITE ID: 030-0230 HWY I-40 & 12TH STREET, ALBUQUERQUE, NM | | | |
| A2.0c ELEVATIONS | | | | | |



DRIVE THRU ELEVATION - WEST
DRAWING SCALE 1/4" = 1'-0"

SEE PATIO
ELEVATION BELOW

REFERENCE THE DUMPSTER ENCLOSURE
DETAILS AND SHEET A2.1 FOR ACTUAL
SIZE, SHAPE, AND CONFIGURATION

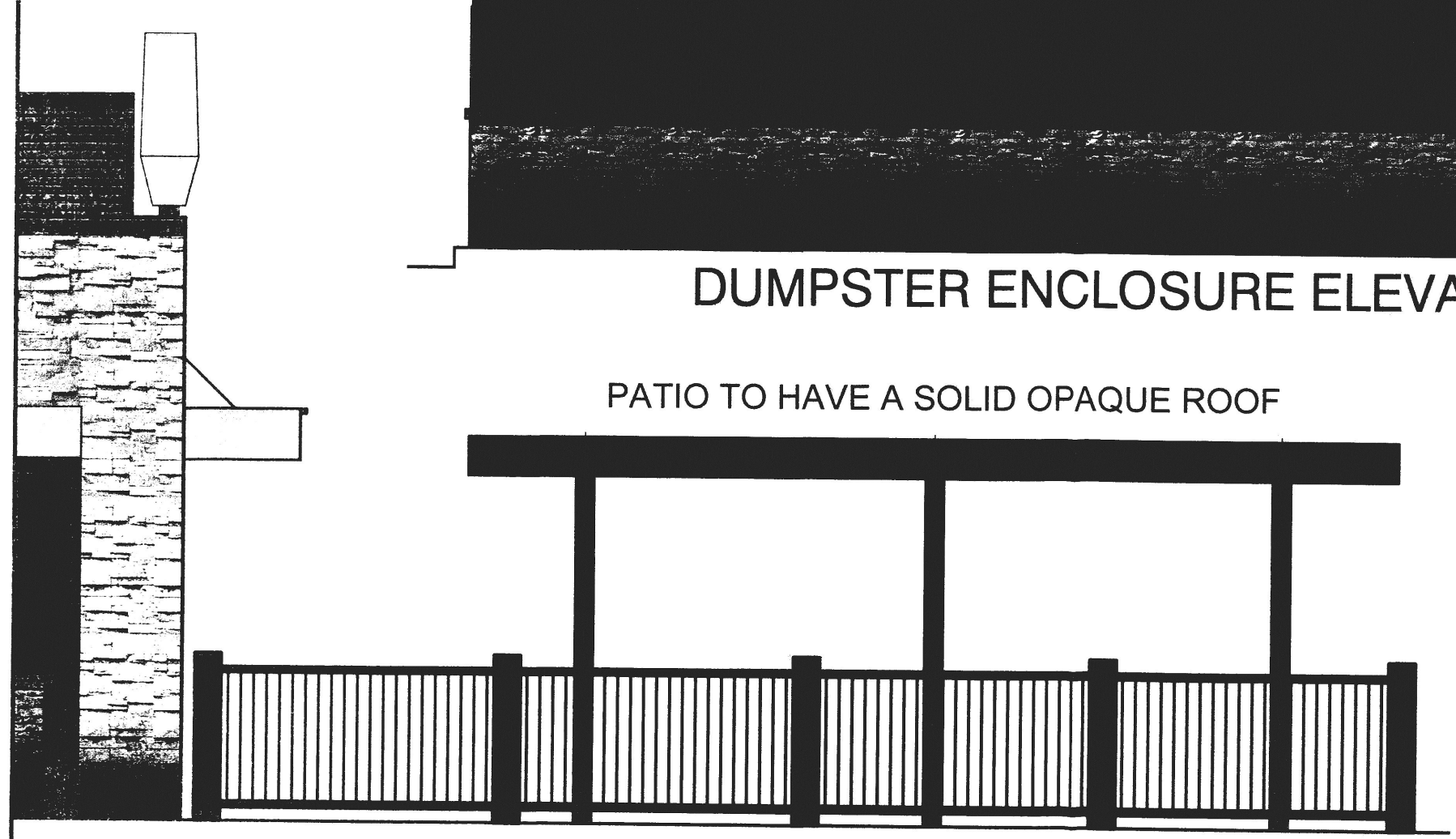


36" TALL LANDSCAPE WALL ELEVATION
DRAWING SCALE 1/4" = 1'-0"

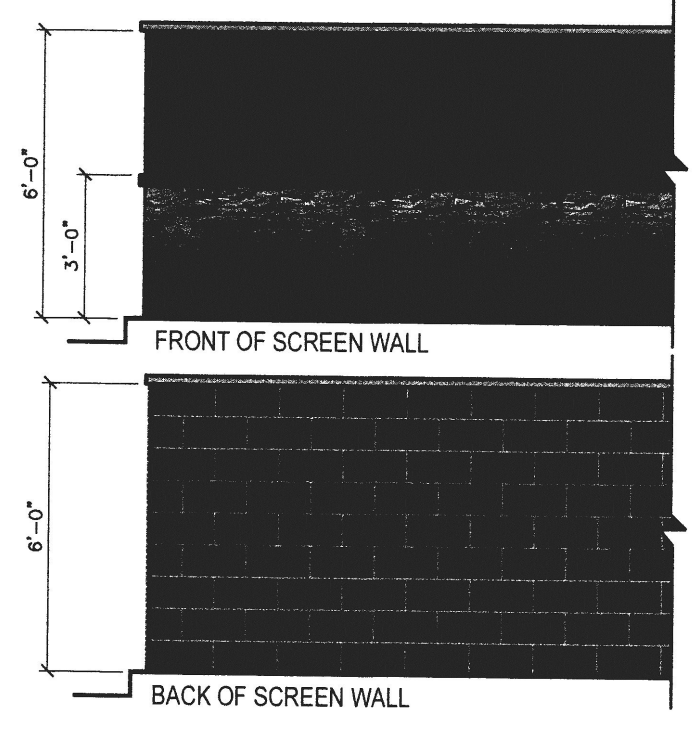
DUMPSTER ENCLOSURE ELEVATION
DRAWING SCALE 1/4" = 1'-0"



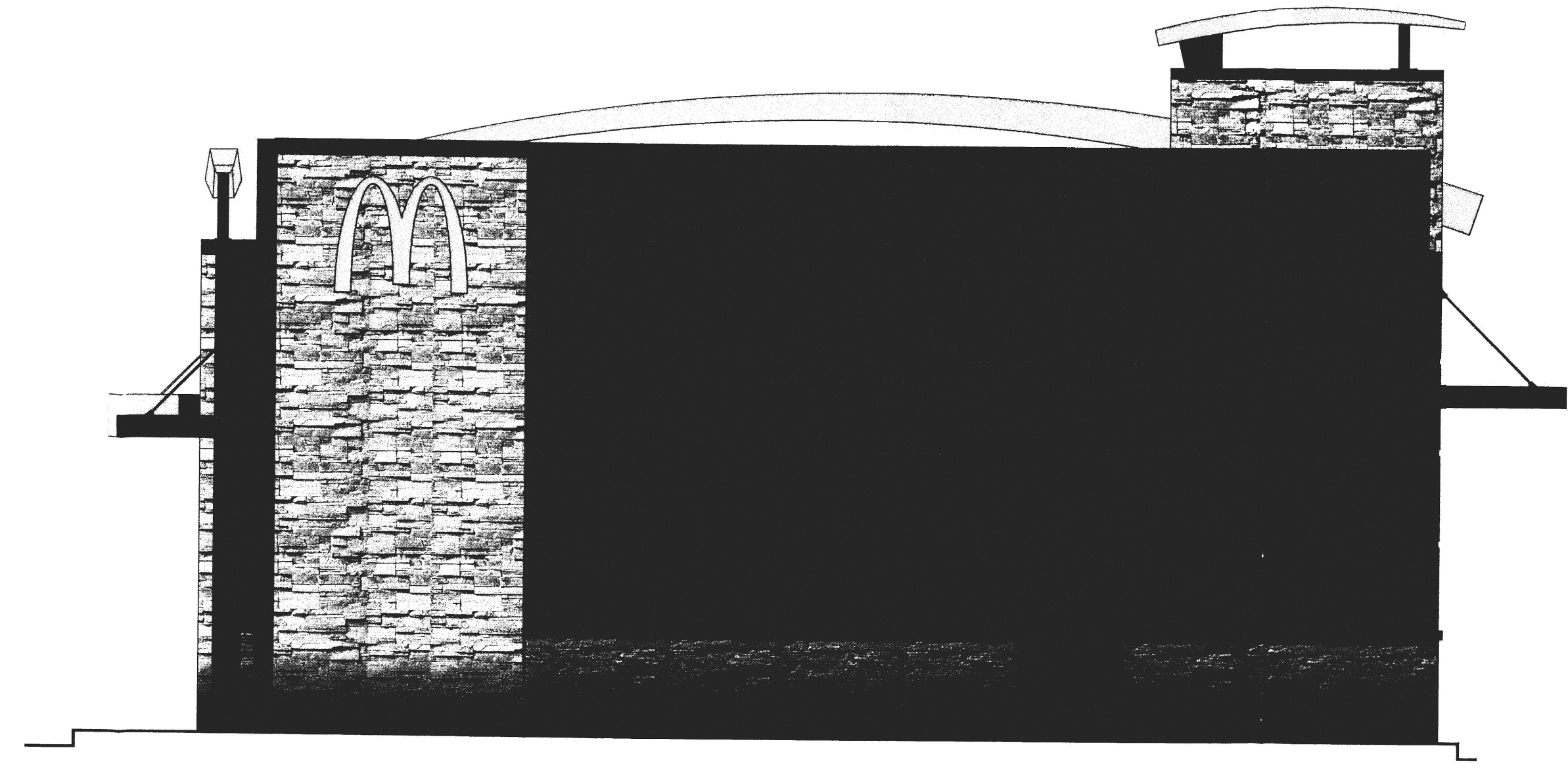
DUMPSTER ENCLOSURE ELEVATION



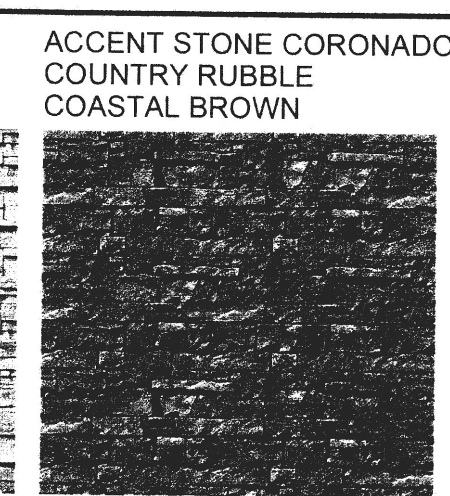
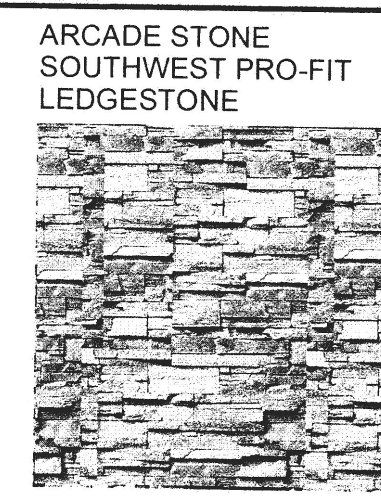
SIDE VIEW OF PATIO CANOPY
DRAWING SCALE 1/4" = 1'-0"



SCREEN WALL ELEVATIONS
DRAWING SCALE 1/4" = 1'-0"
REFER TO CIVIL FOR SCREENWALL LOCATIONS AND DETAILS



BACK ELEVATION - NORTH
DRAWING SCALE 1/4" = 1'-0"



B Base Building

EIFS / Stucco:
Mink
BM-2112-10

C Accent - Drive Thru

EIFS / Stucco:
Huntington Beige
BM-HC-21

D Parapet

Corrugated Metal
City-Scape
Metal - Era

STOREFRONT

CLEAR ANODIZED

| REV | DATE | DESCRIPTION | BY |
|-----|----------|---------------|----|
| 2 | 04/16/13 | CITY COMMENTS | |

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| | |
| 513 MAIN STREET, SUITE 200 FORT WORTH, TEXAS 76102 817.820.0433 o 817.705.3387 c | |

| | |
|---|---|
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| REVIEWED BY: JAW/PDW | STD ISSUE DATE: 2013 |
| DATE ISSUED: 2013 | TITLE: 2013 NON-STANDARD BUILDING |
| SITE ADDRESS: HWY I-40 & 12TH STREET, ALBUQUERQUE, NM | DESCRIPTION: WOOD BEARING WALLS WITH EIFS & STONE WOOD ROOF TRUSS FRAMING STONE EXTERIOR FINISH ARCADE/ENTRY |
| SHEET NO. A2.1c | ELEVATIONS |

FRAME & LAMP DETAIL
SCALE: 1/2" = 1'-0"

CROSS SECTION A-A
SCALE: 1/2" = 1'-0"

GRAPHIC DETAIL
SCALE: 1/2" = 1'-0"

McDonald's
Date: 06/18/12
Prepared By: RA
File Name: MCD DIRECTIONAL WITHOUT ARCH
Revision: 1

PERSONA
DISTRIBUTED BY SIGN UP COMPANY
SIGN MAKERS/IMAGE BUILDERS
1 (800) 643-9888 • www.persona-sign.com

FRONT VIEW
SCALE: 3/8" = 1'-0"

END VIEW
SCALE: 3/8" = 1'-0"

TOP VIEW
SCALE: 3/8" = 1'-0"

GRAPHIC DETAIL
SCALE: 3/8" = 1'-0"

McDonald's
Date: 04/05/13
Prepared By: RA
File Name: MCD OPO MENU BOARD
Revision: 1

PERSONA
DISTRIBUTED BY SIGN UP COMPANY
SIGN MAKERS/IMAGE BUILDERS
1 (800) 643-9888 • www.persona-sign.com

FRONT VIEW
SCALE: 3/8" = 1'-0"

END VIEW
SCALE: 3/8" = 1'-0"

TOP VIEW
SCALE: NOT TO SCALE

GRAPHIC DETAIL
SCALE: NOT TO SCALE

McDonald's
Date: 04/05/13
Prepared By: RA
File Name: MCD OPO PRE-SELL BOARD
Revision: 1

PERSONA
DISTRIBUTED BY SIGN UP COMPANY
SIGN MAKERS/IMAGE BUILDERS
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Construction Option 1 - Aluminum Back

FRAME & LAMP DETAIL
SCALE: 3/4" = 1'-0"

GRAPHIC DETAIL
SCALE: 3/4" = 1'-0"

McDonald's
Date: 08/01/12
Prepared By: RA
File Name: MCD 42" Wall Arch (Next Gen)
Revision: 1

PERSONA
DISTRIBUTED BY SIGN UP COMPANY
SIGN MAKERS/IMAGE BUILDERS
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90-50 ROAD SIGN INSTALLATION INSTRUCTIONS

SHROUD SECTIONS

FACE SECTIONS

McDonald's 90-50 ROAD SIGN

McDonald's
Date: 03-29-11
Prepared By: CM
File Name: MCDONALD'S 90-50 ROAD SIGN INSTALLATION
Revision: 1

PERSONA
DISTRIBUTED BY SIGN UP COMPANY
SIGN MAKERS/IMAGE BUILDERS
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Construction Option 1 - Aluminum Back

LETTER PROFILE
SCALE: 1/2" = 1'-0"

McDonald's
Date: 07/31/12
Prepared By: RA
File Name: MCD 24" WORDMARK
Revision: 1

PERSONA
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SIGN MAKERS/IMAGE BUILDERS
1 (800) 643-9888 • www.persona-sign.com

FRONT VIEW
SCALE: 1/4" = 1'-0"

SIDE VIEW
SCALE: 1/4" = 1'-0"

ATTACHMENT PLATE DETAIL
SCALE: 3/4" = 1'-0"

BASE PLATE DETAIL
SCALE: 3/4" = 1'-0"

McDonald's
Date: 02/18/13
Prepared By: RA
File Name: MCD ORDER HERE CANOPY
Revision: 5

PERSONA
DISTRIBUTED BY SIGN UP COMPANY
SIGN MAKERS/IMAGE BUILDERS
1 (800) 643-9888 • www.persona-sign.com

FRONT VIEW
SCALE: 1/4" = 1'-0"

SIDE VIEW
SCALE: 1/4" = 1'-0"

BASE PLATE DETAIL
SCALE: 1/4" = 1'-0"

GRAPHIC DETAIL
SCALE: 1/4" = 1'-0"

McDonald's
Date: 07/31/12
Prepared By: RA
File Name: MCD DOUBLE ARM GATEWAY
Revision: 1

PERSONA
DISTRIBUTED BY SIGN UP COMPANY
SIGN MAKERS/IMAGE BUILDERS
1 (800) 643-9888 • www.persona-sign.com

FRONT VIEW
SCALE: 1/4" = 1'-0"

END VIEW
SCALE: 1/4" = 1'-0"

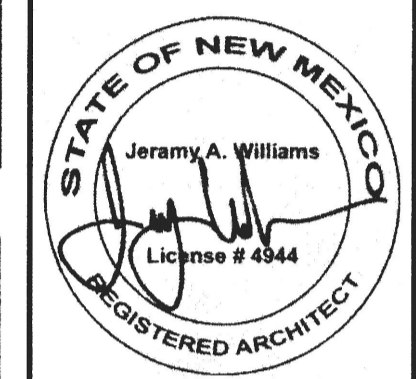
BASE PLATE DETAIL
SCALE: 1/4" = 1'-0"

GRAPHIC DETAIL
SCALE: 1/4" = 1'-0"

McDonald's
Date: 07/31/12
Prepared By: RA
File Name: MCD 24" WORDMARK
Revision: 1

PERSONA
DISTRIBUTED BY SIGN UP COMPANY
SIGN MAKERS/IMAGE BUILDERS
1 (800) 643-9888 • www.persona-sign.com

| REV | DATE | DESCRIPTION |
|-----|----------|---------------|
| 1 | 04/03/13 | CITY COMMENTS |
| 2 | 04/16/13 | CITY COMMENTS |
| 3 | 05/20/13 | CITY COMMENTS |



SIGNED/SEALED ON 05/20/13

ROGUE ARCHITECTS

513 MAIN STREET, SUITE 200
FORT WORTH, TEXAS 76102
817.820.0433 or 817.705.3387 c

© 2011 McDonald's USA, LLC

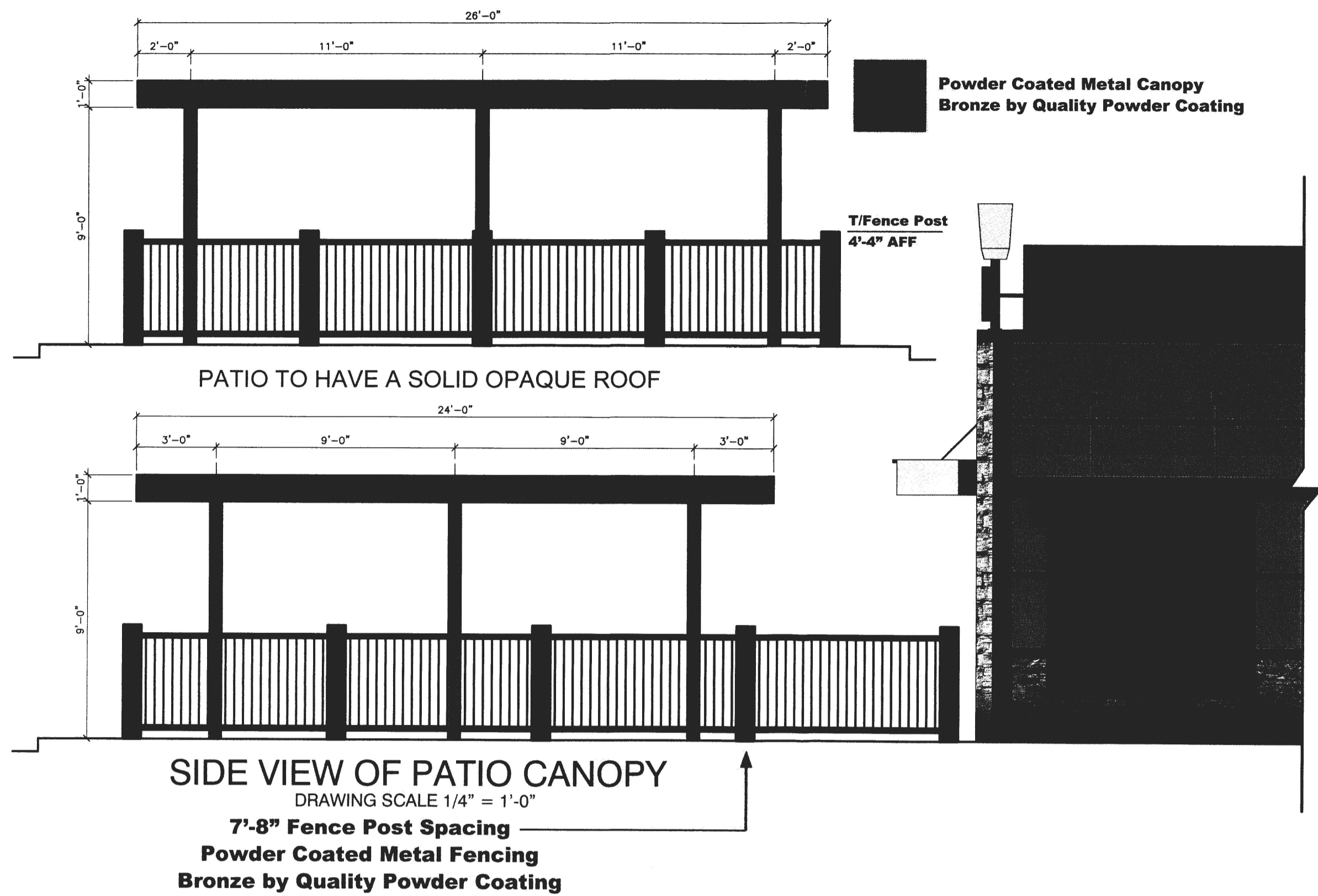
McDonald's USA, LLC

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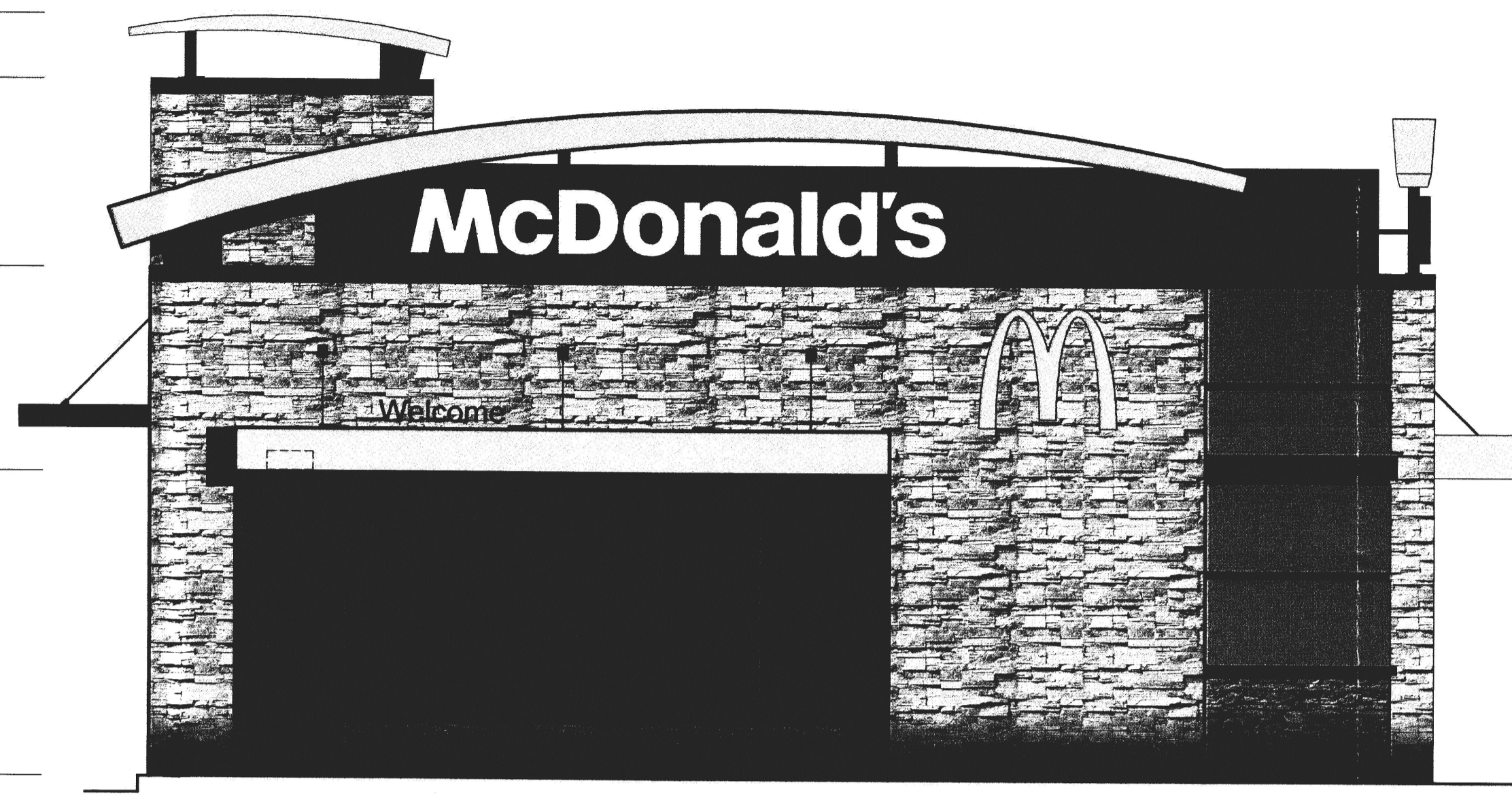
| SHEET NO. | TITLE | DATE | REVISIONS |
|-----------|----------------------------|------|-----------|
| 12-0117 | 2013 NON-STANDARD BUILDING | 2013 | |
| A2.2 | 38101-WOOD/WOOD | 2013 | |

DESCRIPTION: WOOD BEARING WALLS WITH EPS & STONE WOOD ROOF TRUSS FRAMING STONE EXTERIOR FINISH ARCADE/ENTRY

SITE ADDRESS: HWY 1140 & 12TH STREET, ALBUQUERQUE, NM 830-0230

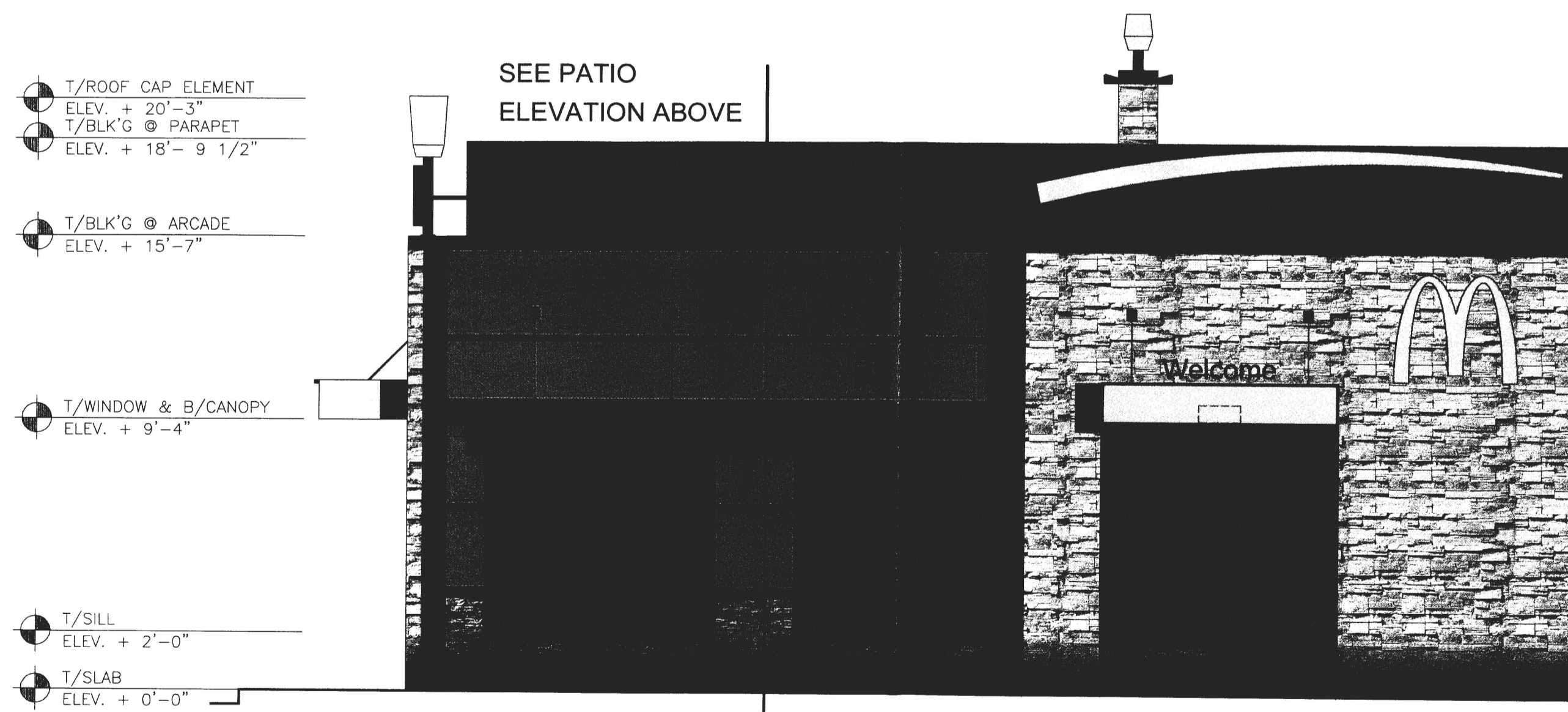


- T/ROOF CAP ELEMENT
ELEV. + 23'-4"
- T/BLK'G @ HEARTH
ELEV. + 21'-4"
- T/VESTIBULE PARAPET
ELEV. + 15'-7"
- T/WINDOW
ELEV. + 9'-4"
- T/SLAB
ELEV. + 0'-0"



FRONT ELEVATION - SOUTH
DRAWING SCALE 1/4" = 1'-0"

- T/ROOF CAP ELEMENT
ELEV. + 20'-3"
- T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"
- T/BLK'G @ ARCADE
ELEV. + 15'-7"
- T/WINDOW & B/CANOPY
ELEV. + 9'-4"
- T/SILL
ELEV. + 2'-0"
- T/SLAB
ELEV. + 0'-0"



NON-DT ELEVATION - EAST
DRAWING SCALE 1/4" = 1'-0"

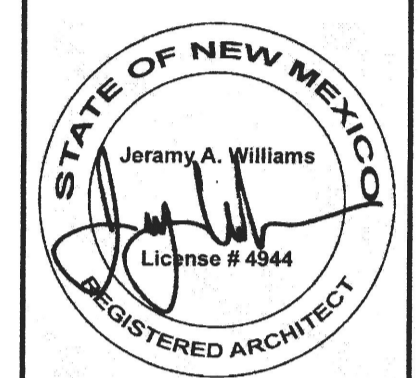
- T/BLOCKING PARAPET
ELEV. + 18'-9 1/2"
- T/ BLOCKING
ELEV. + 15'-7"
- B/EIFS REVEAL
ELEV. + 12'-0"
- TRELLIS - FASCIA
ELEV. + 9'-4"
- B/EIFS REVEAL
ELEV. + 6'-2 3/4"
- T/WAINSCOTTING
ELEV. + 3'-4"
- T/SLAB
ELEV. + 0'-0"



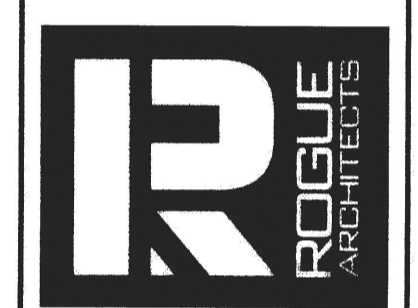
THESE ELEVATIONS MAY VARY FROM ACTUAL AND ARE FOR REFERENCE ONLY, VERIFY ALL MATERIALS AND COLORS WITH SHEETS A2.0 & A2.1 PRIOR TO ORDERING

Material & Colors:

- A** Arcade
- Stone: (Only Approved Options)
1. Southwest Pro Flt LedgeStone
- B** Base Building
- EIFS / Stucco:
Huntington Beige
BM-HC-21
- C** Accent - Drive Thru
- EIFS / Stucco:
Mink
BM-2112-10
- Accent Stone:
Black Onyx
Manufacturing
- D** Parapet
- Corrugated Metal
City-Scape
Metal - Era
- STOREFRONT**
- CLEAR ANODIZED

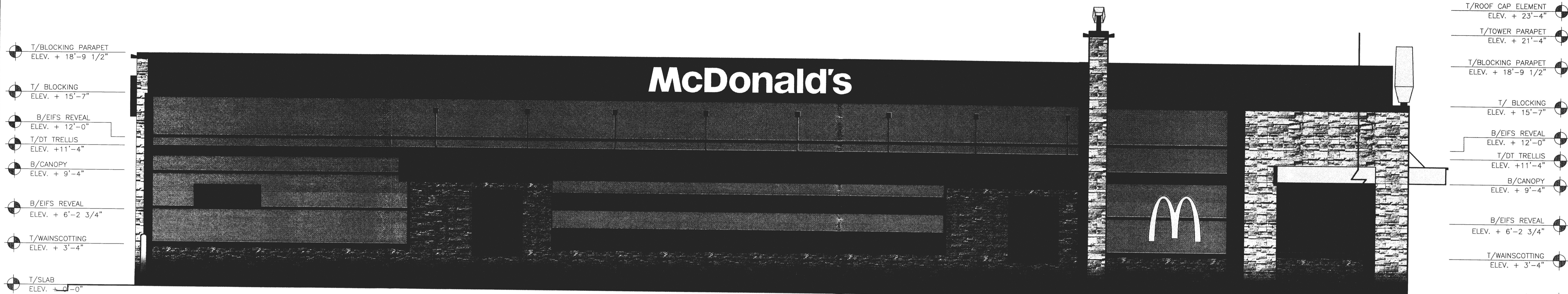


SIGNED/SEALED ON 02/05/13



513 MAIN STREET, SUITE 200
FORT WORTH, TEXAS 76102
817.820.0433 o 817.705.3387 c

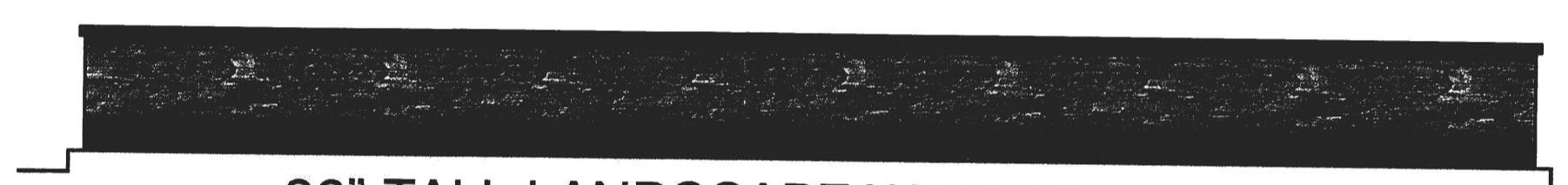
| | | | | |
|---|--|---|--|---|
| <p>PREPARED FOR: McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary information of McDonald's USA, LLC. The contract documents and any addenda thereto shall govern the construction of the project. No part of these drawings shall be copied, reproduced, or used for any other project without the written authorization of ROGUE ARCHITECTS. Use of these drawings for any other project without the written authorization of ROGUE ARCHITECTS is strictly prohibited. The reproduction of these drawings for any other project without the written authorization of ROGUE ARCHITECTS is strictly prohibited.</p> | <p>DATE ISSUED 2013</p> <p>DATE REVISION 2013</p> <p>REVISIONS BY JAW/PDW</p> <p>STD ISSUE DATE 2013</p> <p>ROGUE 2013</p> | <p>DESCRIPTION 2013 NON-STANDARD BUILDING 38101 - WOOD/WOOD</p> <p>WOOD BEARING WALLS WITH EFS & STONE WOOD ROOF TRUSS FRAMING STONE EXTERIOR FINISH ARCADE/ENTRY</p> <p>SITE ID 030-0230 HWY 1-40 & 12TH STREET, ALBUQUERQUE, NM</p> | <p>DATE 12-01-17</p> <p>ROGUE 12-01-17</p> <p>SHEET NO. A2.0c</p> <p>ELEVATIONS</p> | <p>BY</p> <p>DATE</p> <p>REV</p> <p>DESCRIPTION</p> |
|---|--|---|--|---|



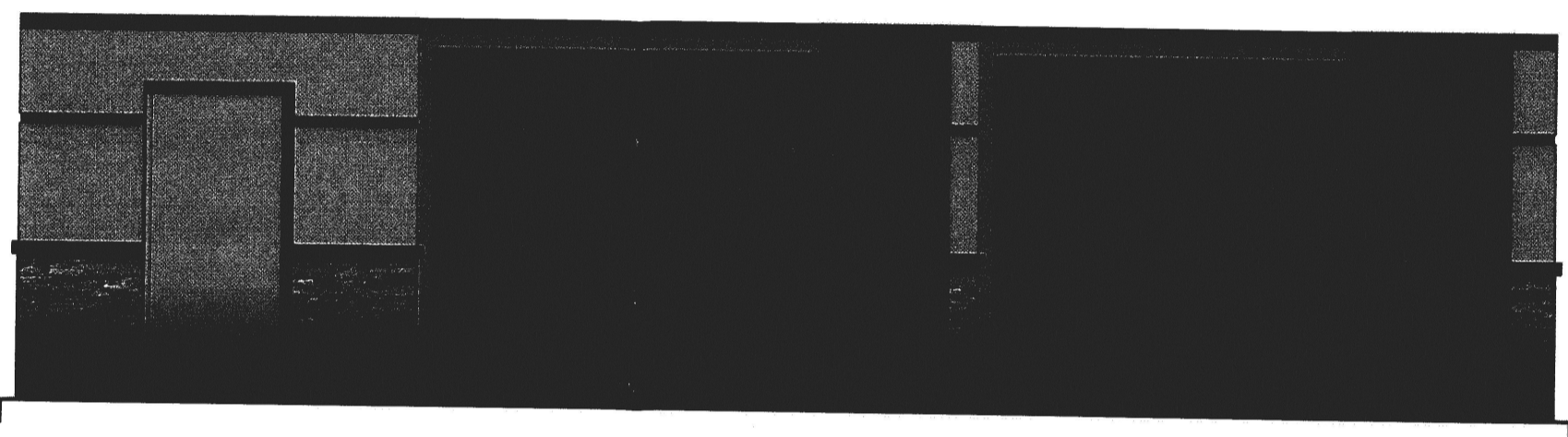
DRIVE THRU ELEVATION - WEST
DRAWING SCALE 1/4" = 1'-0"

SEE PATIO
ELEVATION BELOW

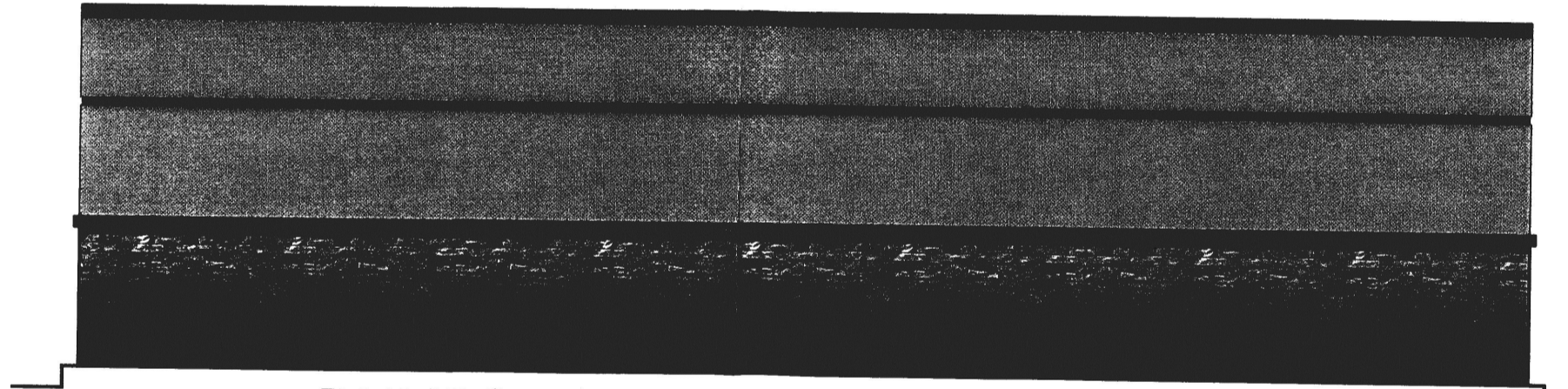
REFERENCE THE DUMPSTER ENCLOSURE
DETAILS AND SHEET A2.1 FOR ACTUAL
SIZE, SHAPE, AND CONFIGURATION



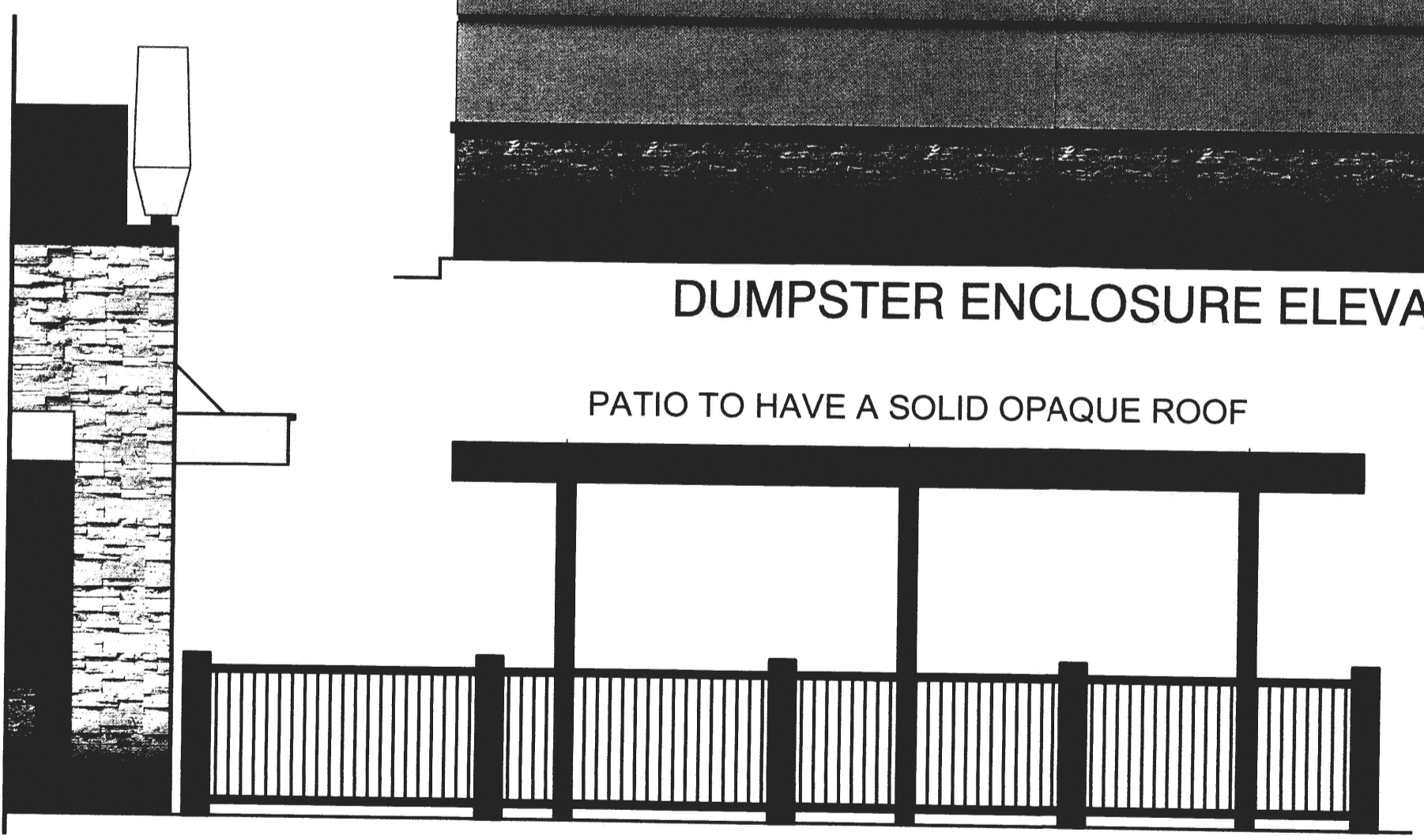
36" TALL LANDSCAPE WALL ELEVATION
DRAWING SCALE 1/4" = 1'-0"



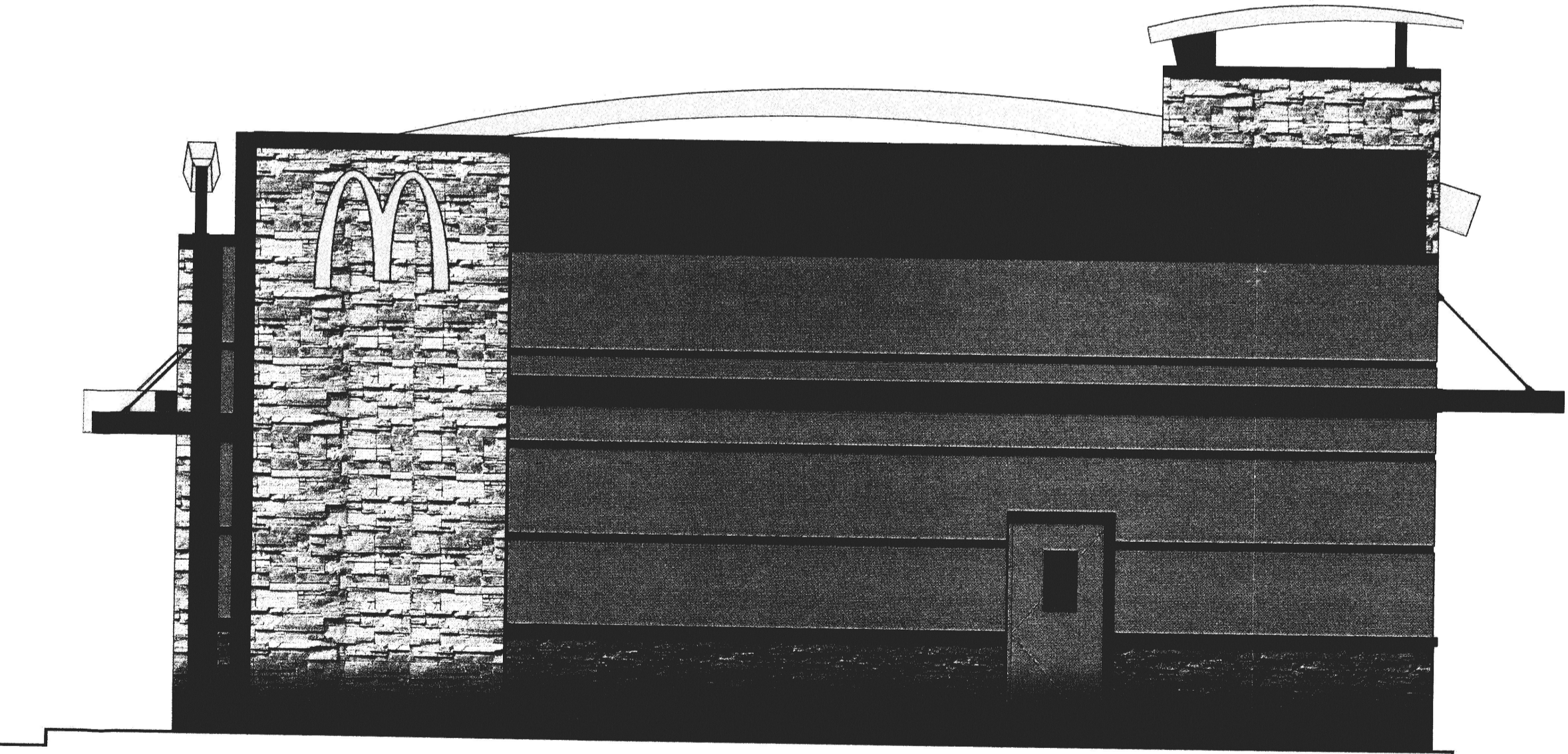
DUMPSTER ENCLOSURE ELEVATION
DRAWING SCALE 1/4" = 1'-0"



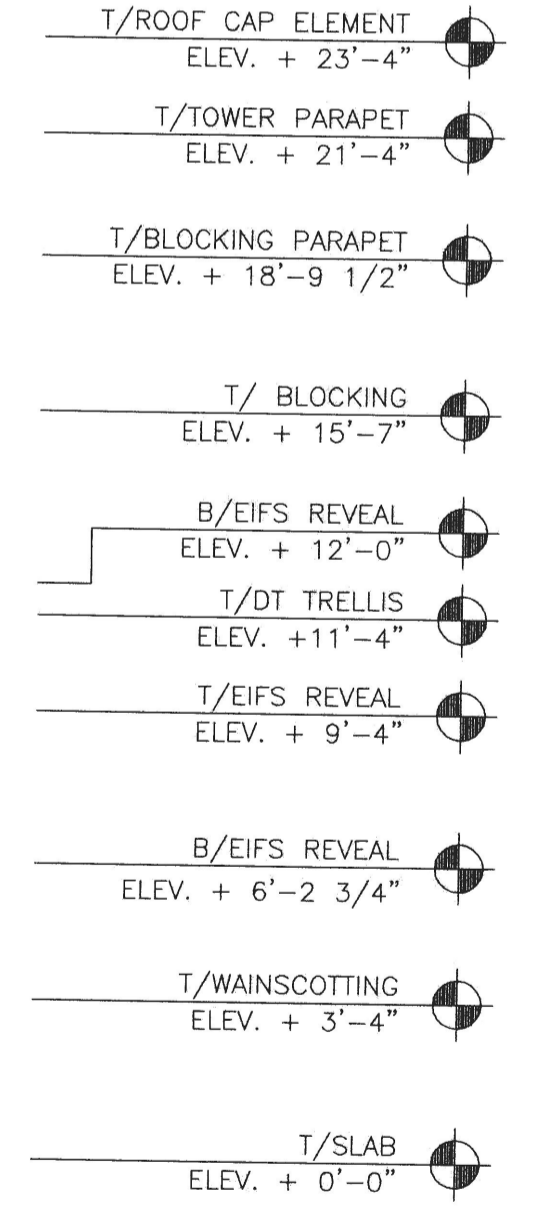
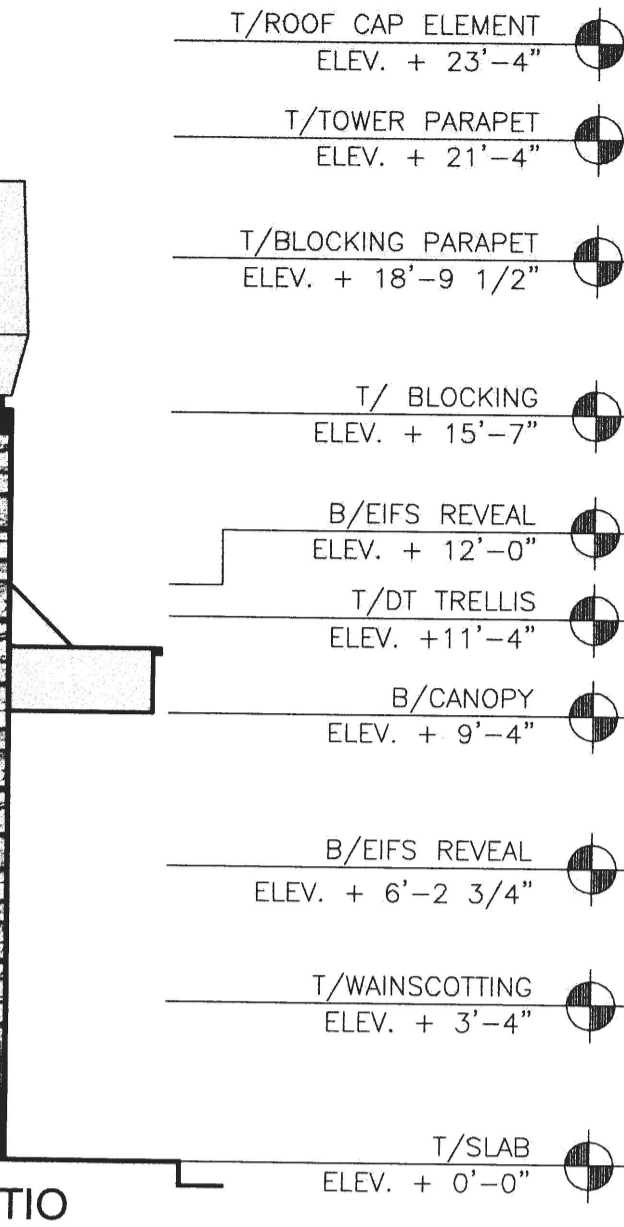
DUMPSTER ENCLOSURE ELEVATION



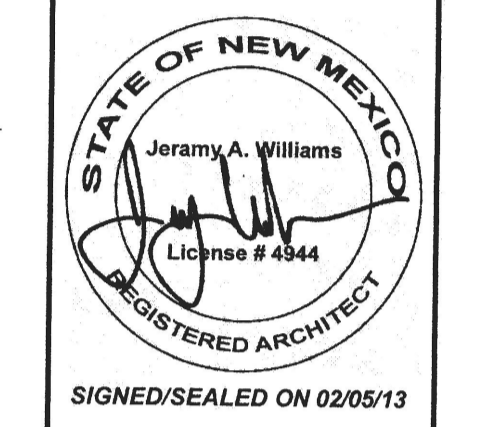
SIDE VIEW OF PATIO CANOPY
DRAWING SCALE 1/4" = 1'-0"



BACK ELEVATION - NORTH
DRAWING SCALE 1/4" = 1'-0"



| REV | DATE | DESCRIPTION |
|-----|------|-------------|
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| | | |
| | | |



513 MAIN STREET, SUITE 200
FORT WORTH, TEXAS 76102
817.820.0433 o 817.705.3387 c

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| | |
|----------------|---------|
| DRAWN BY | ROGUE |
| STD ISSUE DATE | 2013 |
| REVIEWED BY | JAW/PDW |
| DATE ISSUED | 2013 |

| | |
|--------------|---|
| TITLE | 2013 NON-STANDARD BUILDING |
| DESCRIPTION | 38101 - WOOD/WOOD |
| DESCRIPTION | WOOD BEARING WALLS WITH EIFS & STONE |
| DESCRIPTION | WOOD ROOF TRUSS FRAMING |
| DESCRIPTION | STONE EXTERIOR FINISH ARCADE/ENTRY |
| SHEET NO. | A2.1c |
| PROJECT NO. | ROGUE# 12-0117 |
| SITE ID | 030-0230 |
| SITE ADDRESS | HWY 1-40 & 12TH STREET, ALBUQUERQUE, NM |

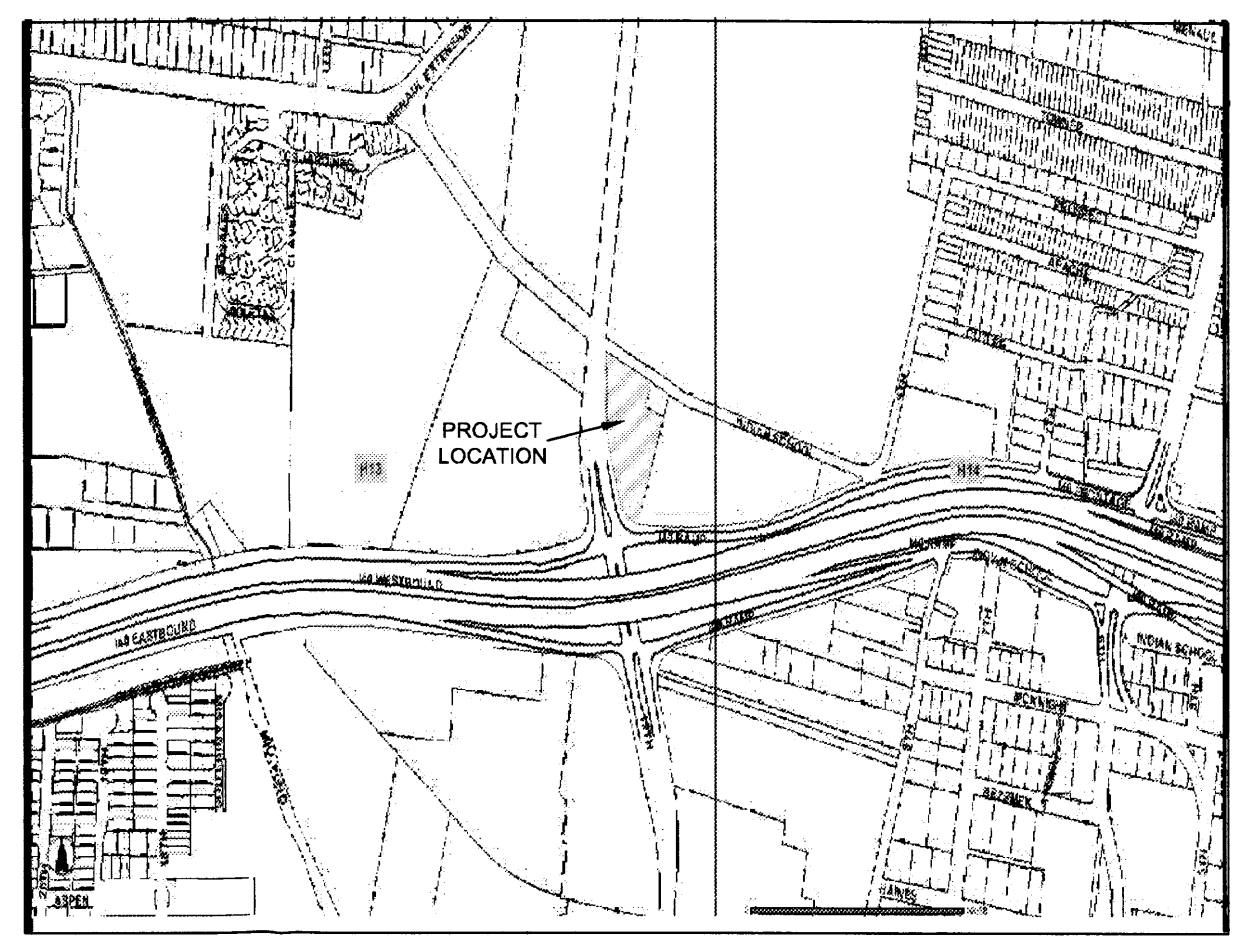
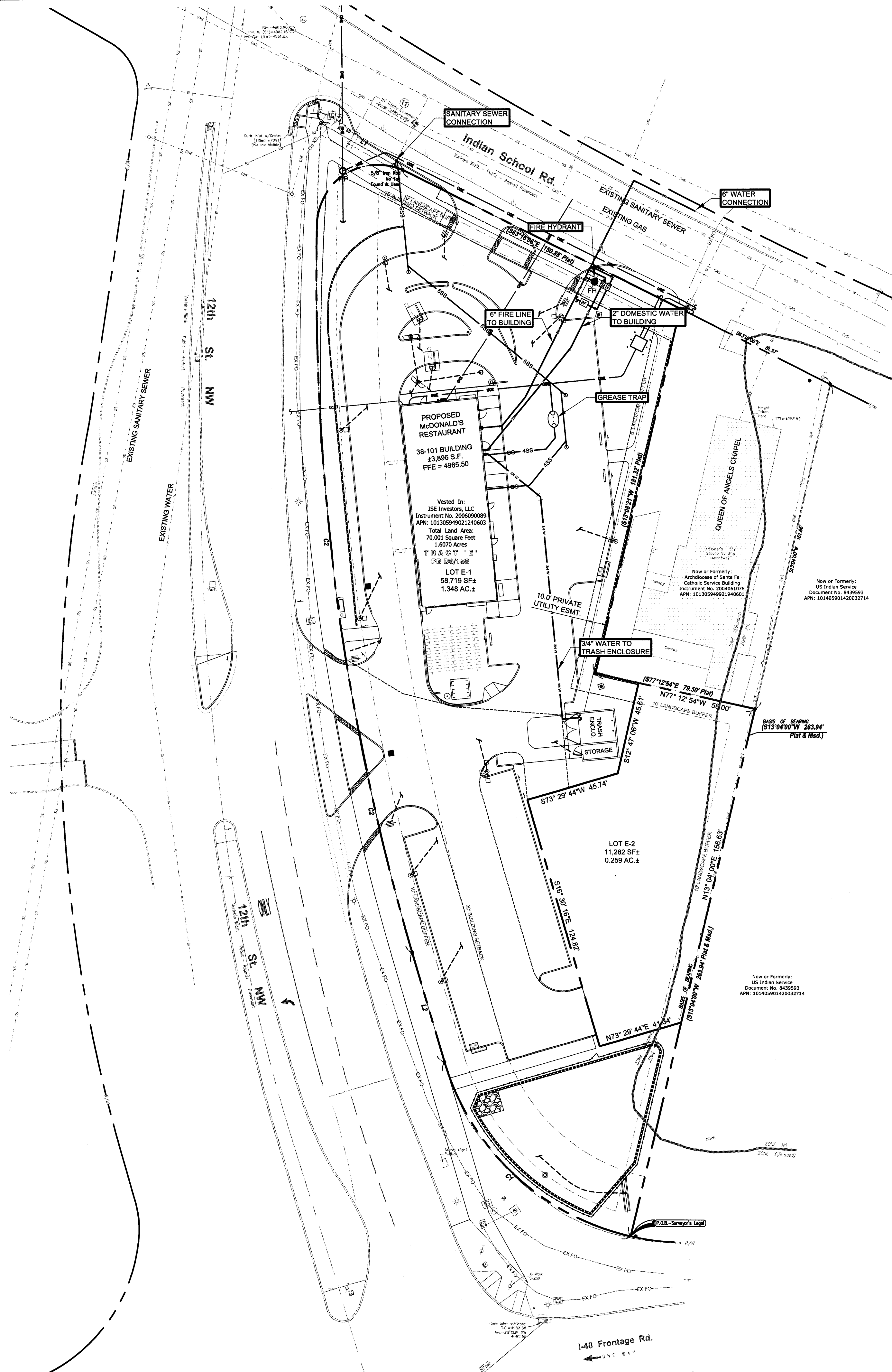
THESE ELEVATIONS MAY VARY FROM ACTUAL AND ARE FOR REFERENCE ONLY, VERIFY ALL MATERIALS AND COLORS WITH SHEETS A2.0 & A2.1 PRIOR TO ORDERING

Material & Colors:

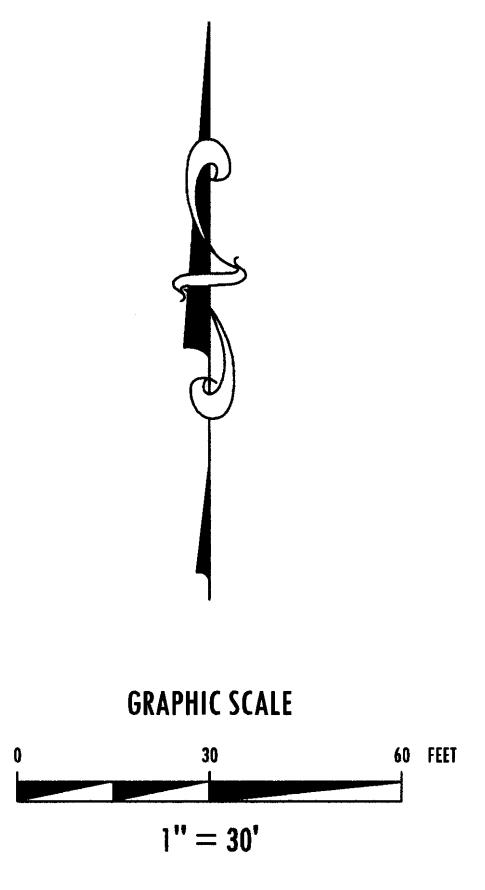
- A** Arcade: Stone (Only Approved Options) 1. Southwest Pro Fit LedgeStone
- B** Base Building: EIFS / Stucco: Huntington Beige BM-HC-21
- C** Accent - Drive Thru: EIFS / Stucco: Accent Stone: Burnt Oak BM-2112-10
- D** Parapet: Corrugated Metal City-Scape Metal - Era
- STOREFRONT**: CLEAR ANODIZED



FILENAME: UTILITY PLAN.dwg PLOTTED BY: Heather Macomber PLOT DATE: Wednesday, July 17, 2013 PLOT TIME: 2:36:43 PM PLOTTER: Adobe PDF #23 FULL PATH: I:\Projects\20090505 056 McDonalds - Albuquerque NM\1-40 & 12th\dwg\Utility Plan.dwg



VICINITY MAP
N.T.S.



| REVISIONS | DATE | BY |
|-----------|------|----|
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Adams
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I-40 & 12TH STREET
ALBUQUERQUE, NM

CONCEPTUAL UTILITY PLAN

| | |
|---------------|------------|
| PROJECT MGR. | GRA |
| PROJECT TECH. | CHI |
| DATE DRAWN | 07/17/2013 |
| JOB NO. | 2009-056 |
| SHEET NO. | C4.0 |

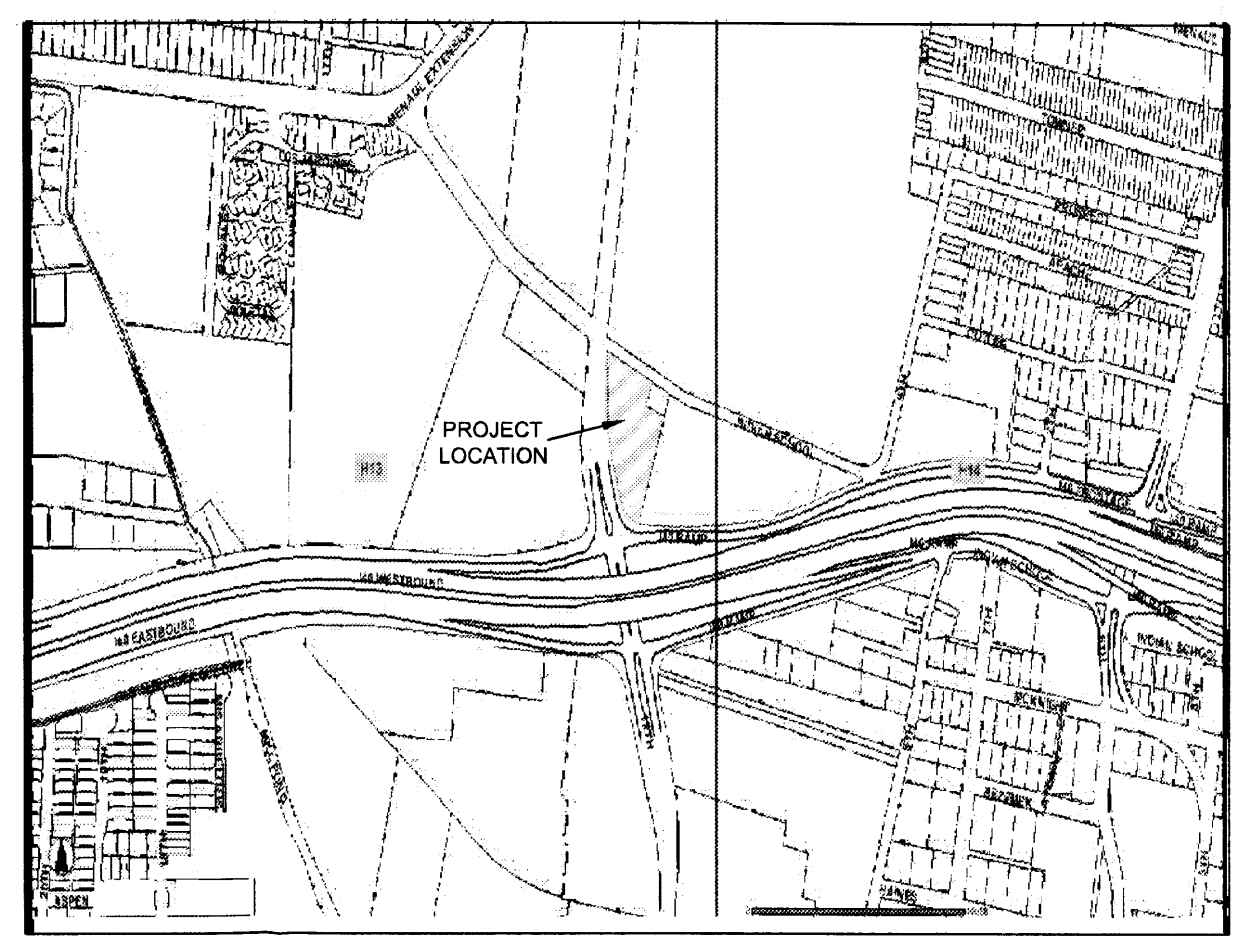
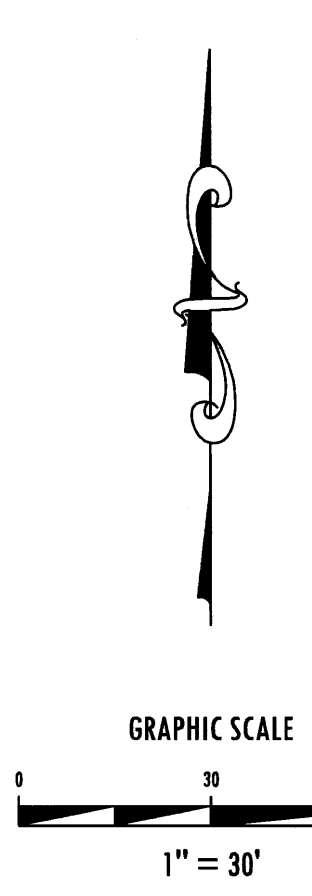
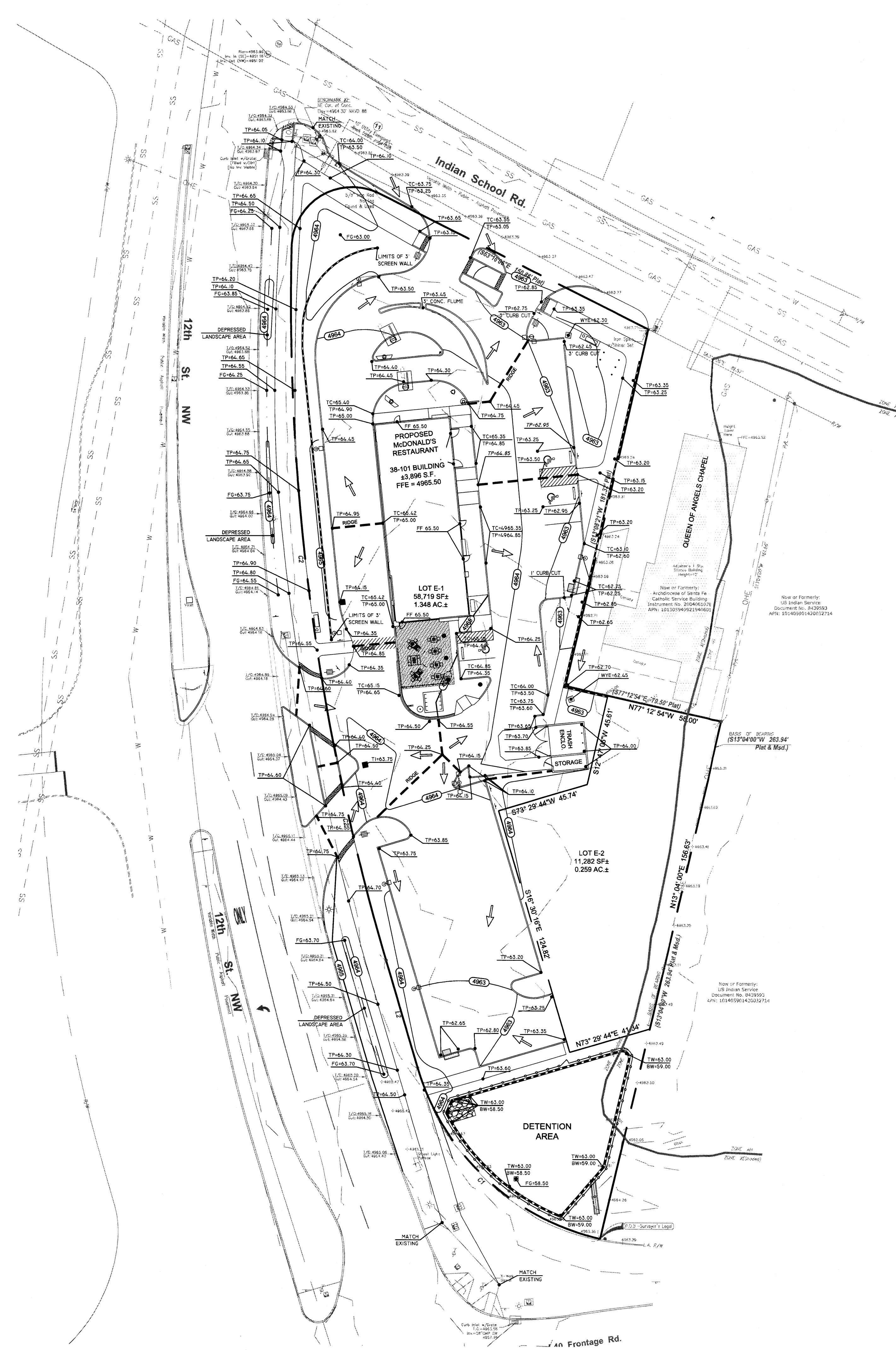
PROJECT MGR.
GRA

PROJECT TECH.
CHI

DATE DRAWN
07/17/2013

JOB NO.
2009-056

SHEET NO.
C4.0



VICINITY MAP
N.T.S.

GRADING NARRATIVE:

EXISTING SITE TOPOGRAPHY -
 THE EXISTING SITE SITS IN A SUMP WHICH HOLDS ITS OWN STORM WATER. CURRENTLY THE SITE DRAINS NORTH TO SOUTH AND STORM WATER COLLECTS AT THE SOUTHERN PORTION OF THE LOT. 12TH STREET STORM DRAINAGE IS ENTIRELY COLLECTED IN AN UNDERGROUND CITY STORM SYSTEM. HALF OF THE QUEEN OF ANGELS CHAPEL STORM WATER FLOWS ONTO THIS LOT AND THE OTHER HALF ONTO THE EMPTY LOT EAST OF THE CHURCH. INDIAN SCHOOL ROAD STORM DRAINAGE FLOWS ONTO THIS LOT.

PROPOSED GRADING IMPROVEMENTS -
 THE SITE WILL BE GRADED TO MATCH EXISTING CONDITIONS TO DRAIN STORM WATER FROM NORTH TO SOUTH. MCDONALD'S WILL INSTALL A DETENTION AREA AT THE SOUTHERN PORTION OF THE TRACT TO COLLECT STORM DRAINAGE. THE DETENTION AREA WILL DISCHARGE THROUGH A PERFORATED RISER PIPE WHICH IS CONNECTED TO AN EXISTING CURB INLET IN THE NORTH SIDE OF THE I-40 FRONTAGE ROAD.

THE PROPOSED DECELERATION LANE ALONG THE SOUTHERN RIGHT-OF-WAY OF INDIAN SCHOOL ROAD WILL BE GRADED TO MATCH EXISTING DRAINAGE CONDITIONS ALLOWING INDIAN SCHOOL ROAD DRAINAGE TO CONTINUE TO FLOW ONTO THE SITE. THE STORM WATER WILL FLOW THROUGH THE DRIVEWAY TO A 3' CURB OPENING INTO THE LANDSCAPE AREA TO A WYE INLET, AND THROUGH THE ONSITE STORM DRAINAGE SYSTEM TO THE DETENTION AREA.

LOT TO LOT DRAINAGE:

IN ACCORDANCE WITH THE PLAT, THERE IS A CROSS LOT DRAINAGE EASEMENT GRANTED BY THE OWNER OF LOT E-1 TO THE BENEFIT OF THE OWNER OF LOT E-2. THIS CROSS LOT DRAINAGE EASEMENT SHALL BE MAINTAINED BY THE OWNER OF LOT E-1.

| LEGEND | |
|--------|--------------------------------------|
| TC | = PROPOSED TOP OF CURB ELEVATION |
| TP | = PROPOSED TOP OF PAVEMENT ELEVATION |
| FG | = PROPOSED FINISHED GRADE ELEVATION |
| FF | = PROPOSED FINISHED FLOOR ELEVATION |
| TI | = PROPOSED TOP OF INLET ELEVATION |
| WYE | = PROPOSED WYE OPENING ELEVATION |
| | = SWALE |
| | = RIDGE LINE |
| | = EXISTING CONTOUR (SURVEY) |
| | = PROPOSED CONTOUR |
| | = PROPOSED DRAINAGE FLOW ARROW |
| | = PROPOSED WYE INLET |
| | = PROPOSED GRATE INLET |
| | = PROPOSED CURB INLET |

| REVISIONS | DATE | BY |
|-----------|------|----|
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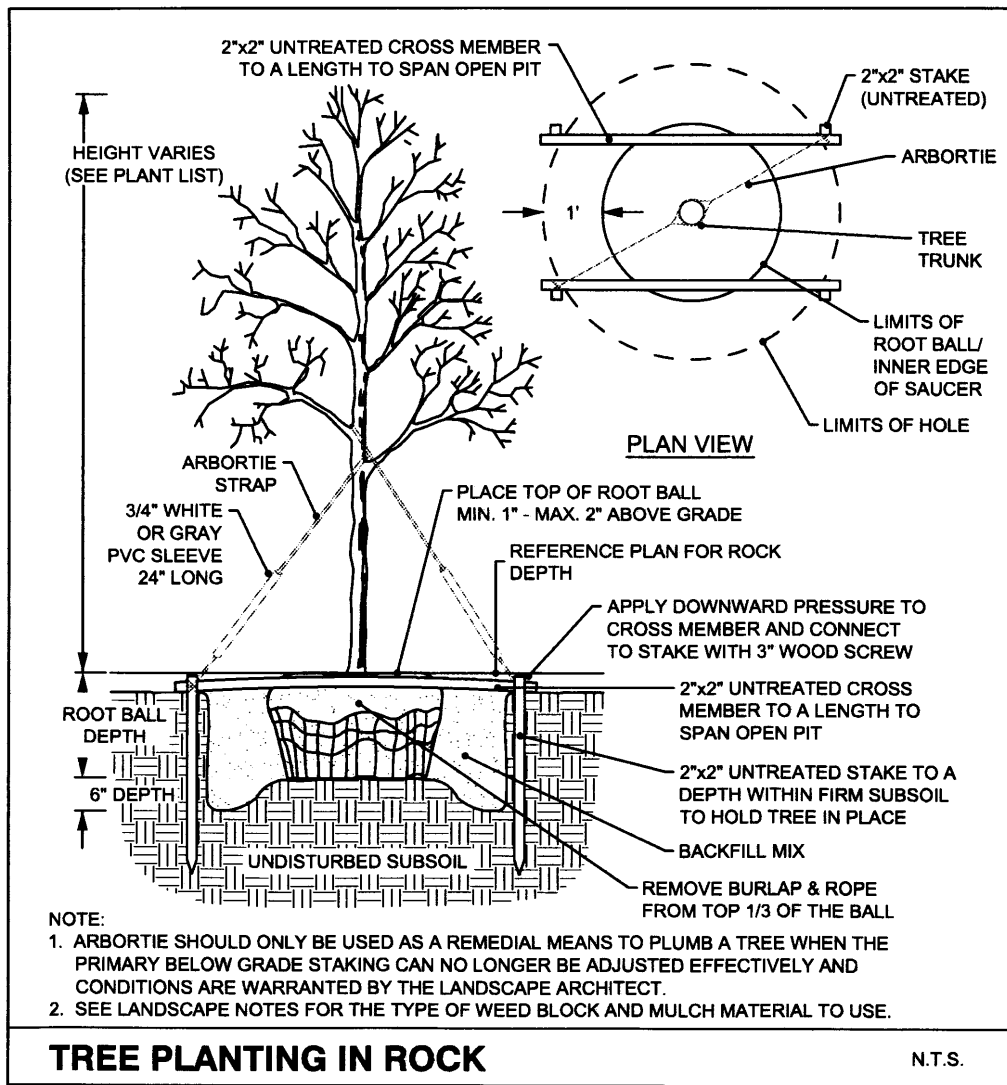
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ENGINEERING**

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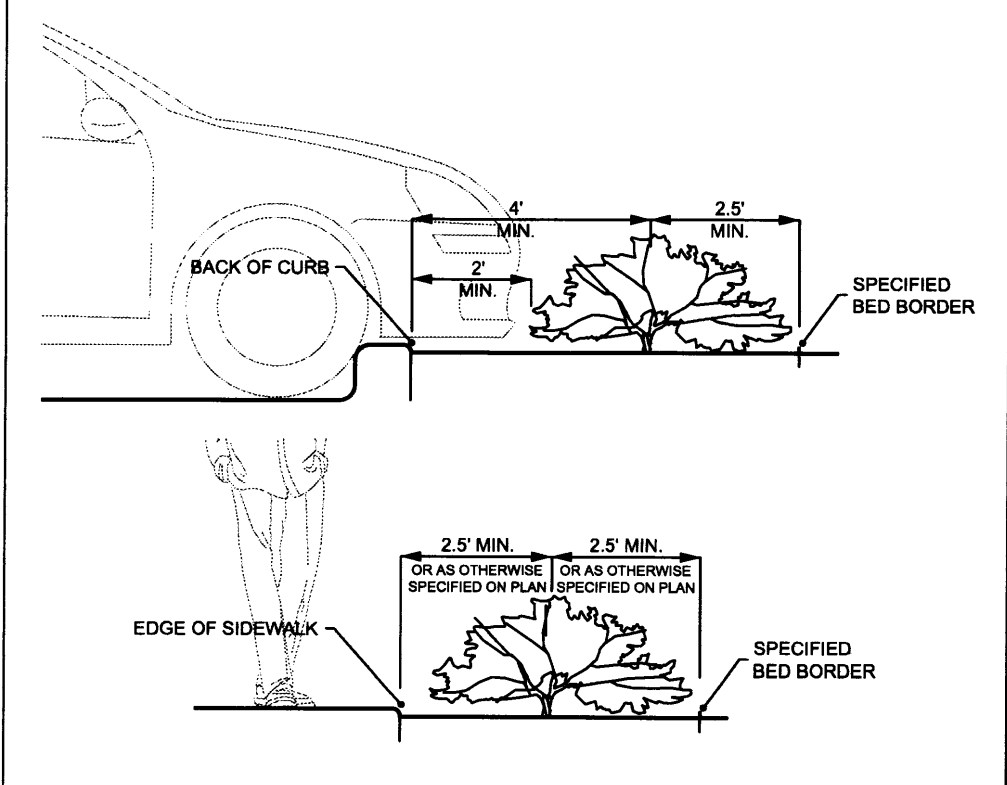
I-40 & 12TH STREET
 ALBUQUERQUE, NM
 CONCEPTUAL GRADING PLAN

| | |
|--------------|------------|
| PROJECT MGR. | GRA |
| PROJECT TCR. | CHI |
| DATE DRAWN | 07/17/2013 |
| JOB NO. | 2009-056 |
| SHEET NO. | C3.0 |

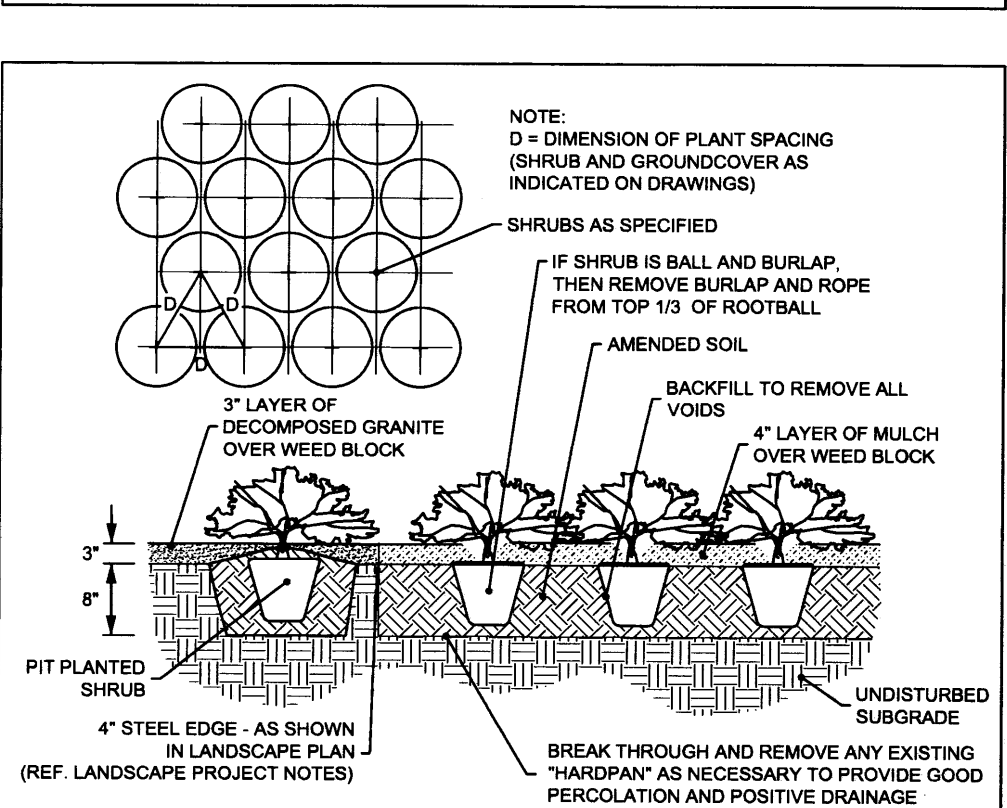
PROJECT MGR. GRA
 PROJECT TCR. CHI
 DATE DRAWN 07/17/2013
 JOB NO. 2009-056
 SHEET NO. C3.0
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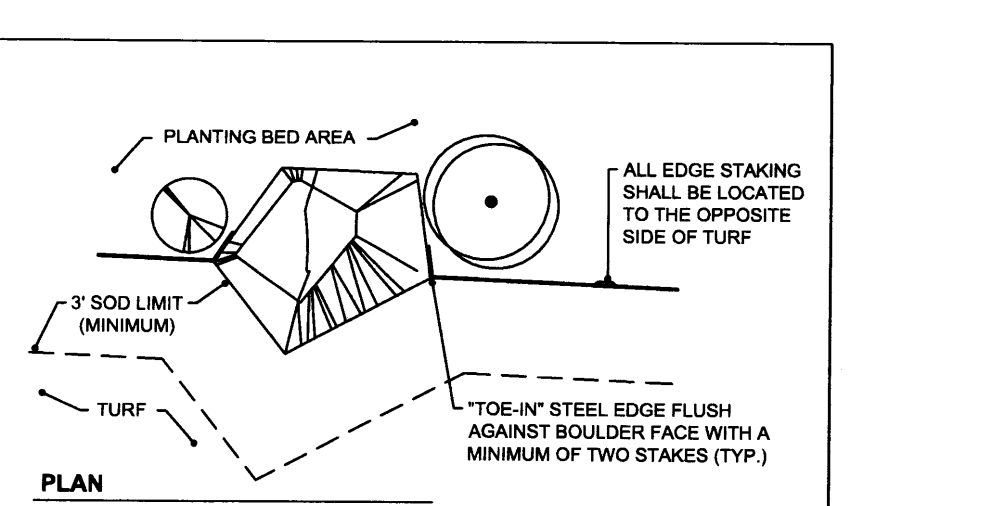
TREE PLANTING IN ROCK N.T.S.



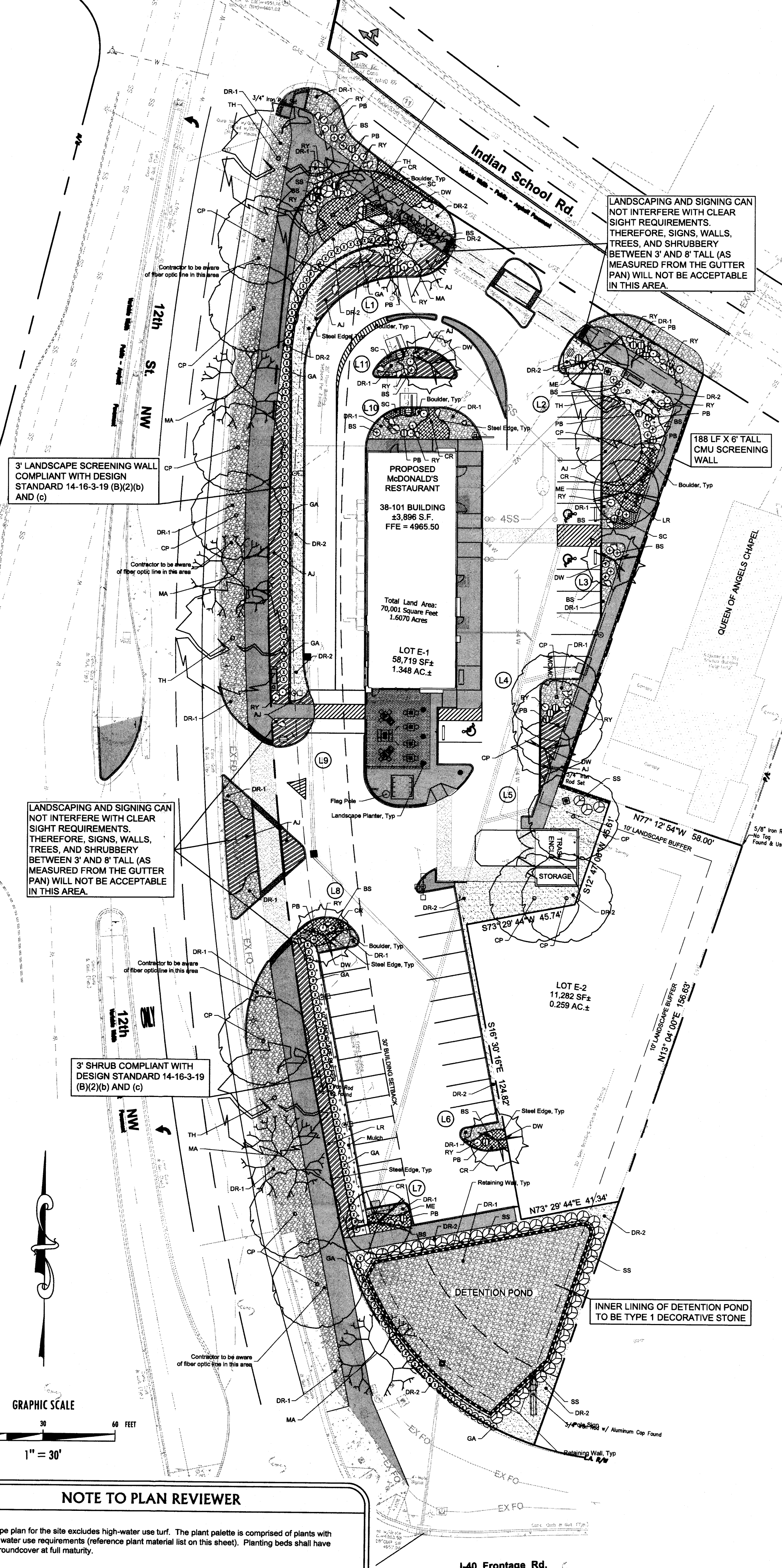
SHRUB DISTANCE FROM EDGE OF BED N.T.S.



SHRUB PLANTING AND SPACING N.T.S.



BOULDER/STEEL BORDER N.T.S.



NOTE TO PLAN REVIEWER

The landscape plan for the site excludes high-water use turf. The plant palette is comprised of plants with low-medium water use requirements (reference plant material list on this sheet). Planting beds shall have 75% living groundcover at full maturity.

Section 14-16-3-10 G-3

| Landscaping Location | Area | % of Net Lot Area | Quantity of Trees | Quantity of Shrubs | Mature Height & Spread |
|--------------------------|--------------|-------------------|-------------------|--------------------|------------------------|
| L1 | 4,294 | 8.68% | 1 | 20 | varies |
| L2 | 1,595 | 3.22% | 3 | 18 | varies |
| L3 | 167 | 0.34% | 0 | 5 | varies |
| L4 | 395 | 0.80% | 2 | 5 | varies |
| L5 | 192 | 0.39% | 0 | 6 | varies |
| L6 | 984 | 1.99% | 1 | 3 | varies |
| L7 | 198 | 0.40% | 1 | 3 | varies |
| L8 | 265 | 0.54% | 1 | 8 | varies |
| L9 | 407 | 0.82% | 1 | 8 | varies |
| L10 | 471 | 0.95% | 0 | 5 | varies |
| L11 | 346 | 0.70% | 1 | 3 | varies |
| 12th St. Pkg. Lot Buffer | N/A | N/A | 15 | 149 | 3' tall & 48" wide |
| Indian School Rd. Buffer | N/A | N/A | 4 | 0 | N/A |
| Total Landscape | 9,314 | 18.82% | 30 | 233 | |

Section 14-16-3-10 E-1

| Item | Quantity | Unit |
|-----------------------------|----------|---------|
| Lot 15a: Ft (1.224 Acres) | 58,364 | Sq. Ft. |
| Bldg. Sq. Ft. (3,838) | (3,838) | Sq. Ft. |
| Net Lot Area | 54,526 | Sq. Ft. |
| % Landscape of Net Lot Area | 17.08% | % |

Section 14-16-3-10 G-3

| Item | Quantity | Unit |
|-------------------------------|----------|---------|
| Total Rec'd Landscape Sq. Ft. | 9,314 | Sq. Ft. |
| 75% of Req. Landscape Area | 7,422.45 | Sq. Ft. |
| Total Vegetative Cover | 5,566.84 | Sq. Ft. |
| Water Conservation | 5,880 | Sq. Ft. |

Section 14-16-3-10 G-1

| Item | Quantity | Unit |
|-----------------------------|--------------|---------|
| # of Trees Provided | 40 | Trees |
| # of Trees Required | 10 | Trees |
| Min. Size of Tree Plantings | 36 sq. ft. | Sq. Ft. |
| Canopy Diameter | 25 feet min. | Feet |

PHASE TWO NOTE

A LOW LEVEL LIGHTING CONDUIT AND LANDSCAPING WATER LINE SHALL BE STUBBED OUT TO PHASE 2.

CONTOUR NOTE

CONTOURS SHOWN ARE DERIVED FROM THE TOPOGRAPHIC SURVEY PERFORMED BY MILLMAN NATIONAL LAND SERVICES AS PROVIDED TO ADAMS ENGINEERING.

LANDSCAPE MAINTENANCE

LOT 1 OWNER AND/OR HIS ASSIGNS, TO PROVIDE LANDSCAPE INSTALLATION AND LANDSCAPE MAINTENANCE IN PERPETUITY FOR LOT 1 AND AREA WITHIN CITY RIGHT-OF-WAY ADJACENT TO LOT 1.

LOT 2 OWNER AND/OR HIS ASSIGNS, TO PROVIDE LANDSCAPE INSTALLATION AND LANDSCAPE MAINTENANCE IN PERPETUITY FOR LOT 2 AND AREA WITHIN CITY RIGHT-OF-WAY ADJACENT TO LOT 2.

POND MAINTENANCE

LOT 1 OWNER TO PROVIDE POND INSTALLATION AND POND MAINTENANCE FOR THE LOT 1 DETENTION POND.

COMPLIANCE NOTES

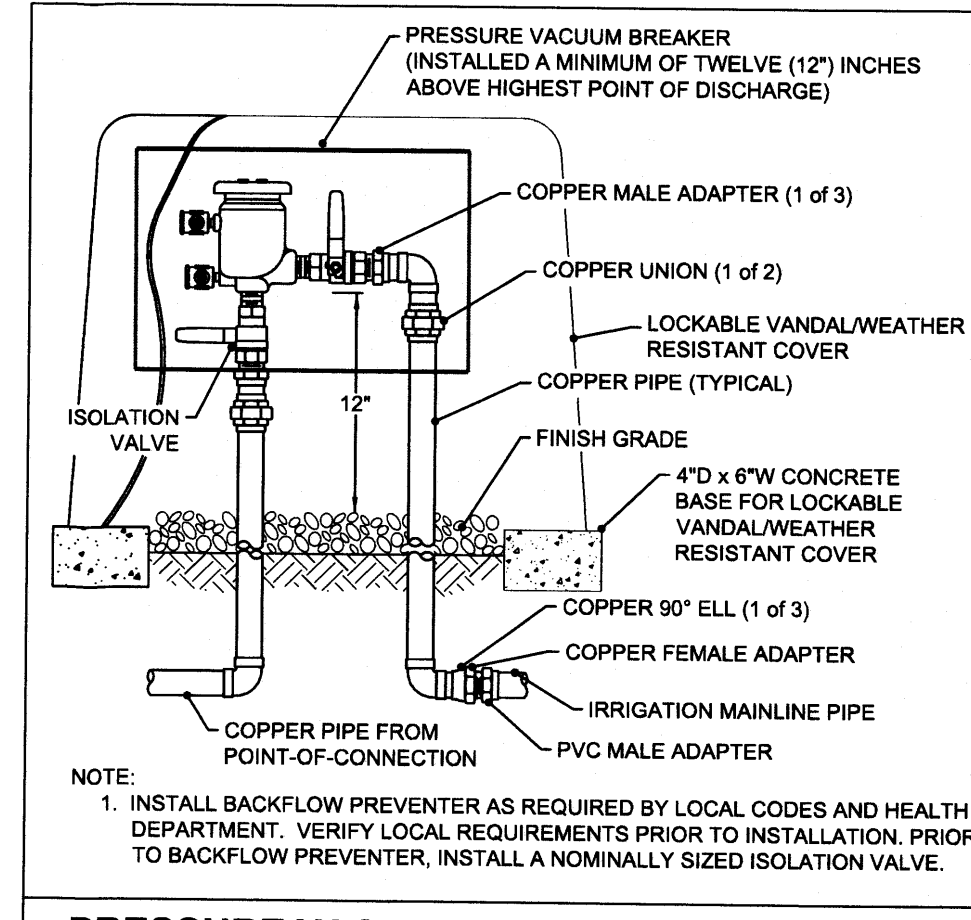
TURF AND HIGH WATER USE PLANT AREAS SHALL BE REVISED TO BE COMPLIANT WITH THE ORDINANCE 6-6-6

STREET TREES TO BE COMPLIANT WITH 6-6-2

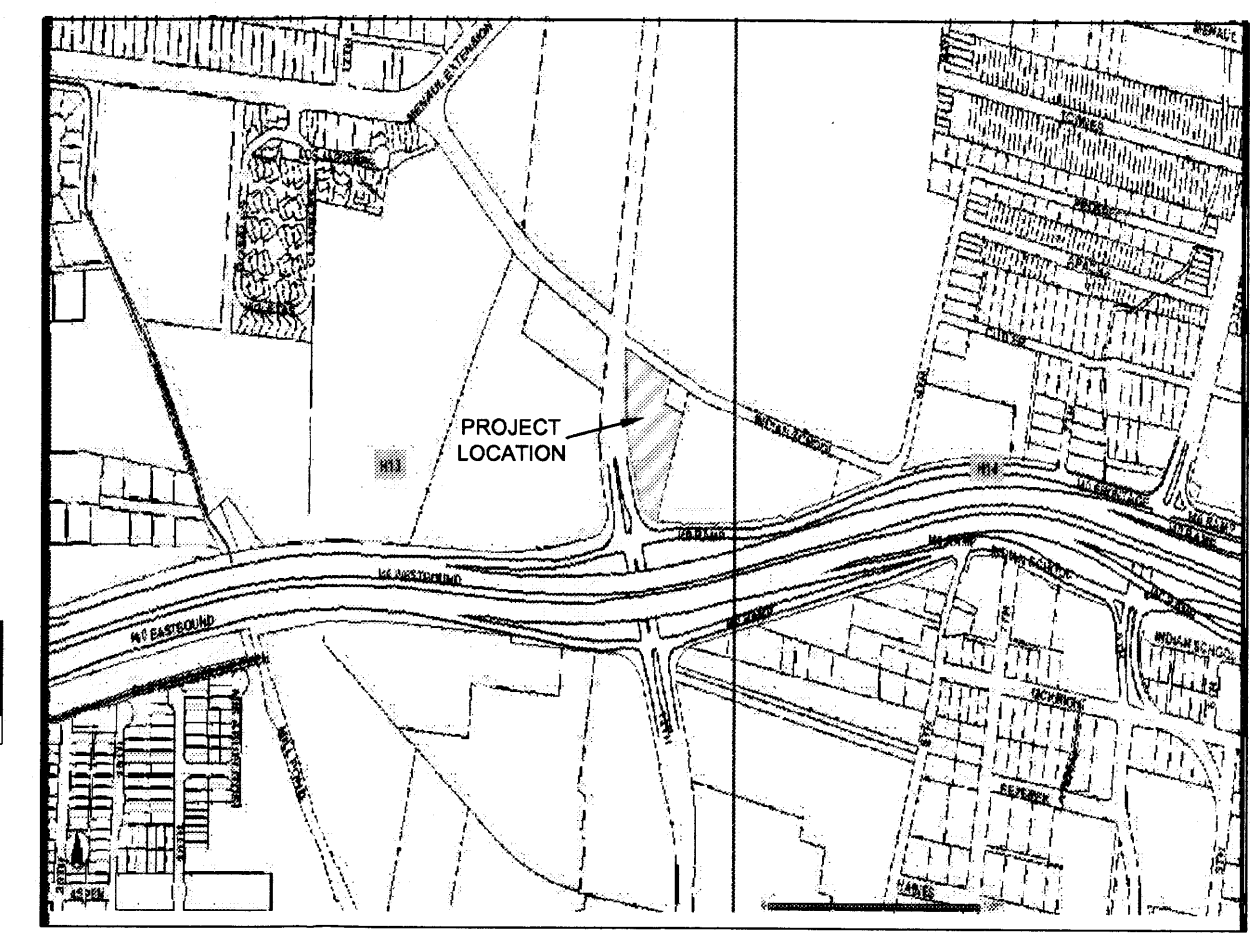
SITE TO BE COMPLIANT WITH WATER CONSERVATION ORDINANCE 6-1-1-8

LOTS #1 AND #2 SHALL COMPLY WITH THE GENERAL LANDSCAPING REGULATIONS 14-16-3-10

ALL LANDSCAPING WITHIN THE CITY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN COMPLIANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC CONSTRUCTION SECTIONS 1002, 1003, 1004 AND SHALL FOLLOW THE CITY OF ALBUQUERQUE PARKS AND RECREATION DEPARTMENT STREETScape STANDARDS.



PRESSURE VACUUM BREAKER N.T.S.



VICINITY MAP N.T.S.

811

Know what's below.
Call before you dig.

LANDSCAPE PROJECT NOTES

Refer to Sitework Specifications for all information needed for landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (tilled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system including steel trees adjacent to Lot 1.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, and to the outside of utility easements with a clear ten feet (10') around fire hydrants. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees, shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 3/4" min. thickness unless bed is bordered by concrete. Steel edging adjacent to decomposed granite beds shall have a 1/2" min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 cu. yd. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all plants. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

All areas of decorative rock as designated shall be locally available and of an average diameter as indicated in the plant material list. Contractor shall install to a depth of three inches (3").

Boulders labeled on plan shall vary in size according to symbol size. Smaller boulders shall have a minimum exposed height of eighteen inches (18"), minimum width of thirty-six inches (36") and a minimum depth of twenty-four inches (24"). Larger boulders shall have a minimum exposed height of twenty-four inches (24"), minimum width of forty-eight (48") and a minimum depth of thirty-six (36"). Boulders shall be recessed into the grade and shall be oriented so that its longest side is parallel to the ground plane to achieve a natural look.

Plant Material List

| SYM. | KEY | QTY. | COMMON NAME SCIENTIFIC NAME | O.C. | ROOT | SIZE | HEIGHT | SPREAD | COMMENT | WATER USE |
|------|-----------|--------------------------|--|------|-------|---------|----------|----------|---|-----------|
| TH | 5 | Thornless Honeylocust | Gleditsia triacanthos inermis | N/A | Cont. | 3" | 14' min. | 12' min. | Strong central leader, full canopy, healthy | Medium |
| MA | 5 | Modesto Ash | Fraxinus velutina 'Modesto' | N/A | Cont. | 3" | 14' min. | 12' min. | Strong central leader, full canopy, healthy | Medium |
| ME | 3 | Mexican Elder | Sambucus mexicana | N/A | Cont. | 3" | 14' min. | 12' min. | Strong central leader, full canopy, healthy | Low |
| CP | 12 | Chinese Pistache | Pistacia chinensis | N/A | Cont. | 3" | 14' min. | 12' min. | Strong central leader, full canopy, healthy | Medium |
| DW | 6 | Desert Willow | Chiosia linearis | N/A | Cont. | 30 gal. | 8' min. | 6' min. | Multi trunk, full canopy, healthy | Rainwater |
| GA | 143 | Compact Glossy Abelia | Abelia grandiflora 'Compacta' | 36" | Cont. | 5 gal. | 36" min. | 30" min. | Full, healthy | Medium |
| SS | 43 | Silver Sage | Artemisia cana | 48" | Cont. | 5 gal. | 36" min. | 30" min. | Full, healthy | Low |
| BS | 29 | Blue Mist Spirea | Caryopteris clandonensis 'Dark Knight' | 36" | Cont. | 5 gal. | 30" min. | 30" min. | Full, healthy | Medium |
| DD | PB | Crimson Pygmy Barbary | Berberis thunbergii 'Atropur Nana' | 24" | Cont. | 3 gal. | 18" min. | 15" min. | Full, healthy | Medium |
| RY | 32 | Red Yucca | Hesperaloe parviflora | 24" | Cont. | 3 gal. | 30" min. | 20" min. | Full, healthy, no broken spines | Low |
| AJ | 1,525 | Arcadia Juniper | Juniperus sabina 'Arcadia' | 36" | Cont. | 3 gal. | 6" min. | 18" min. | Full, healthy | Medium |
| CR | 295 | Creeping Rosemary | Rosmarinus officinalis 'Prostrata' | 24" | Cont. | 1 gal. | 12" min. | 18" min. | Full, healthy | Low |
| SC | 1,000 | Seasonal Color | | 9" | Cont. | 4" pots | N/A | N/A | Locally Available | Medium |
| DR-1 | 10,055 SF | Decorative Rock - Type 1 | | | | | | | | |
| DR-2 | 5,680 SF | Decorative Rock - Type 2 | | | | | | | | |

In Accordance to the Current Edition of The American Standard for Nursery Stock

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |

Adams ENGINEERING

910 S. Kimball Avenue • Southlake, Texas 76092 • (817) 328-3200

LANDSCAPE PLAN

I-40 & 12TH STREET
ALBUQUERQUE, NM

PROJECT MGR.
GRA

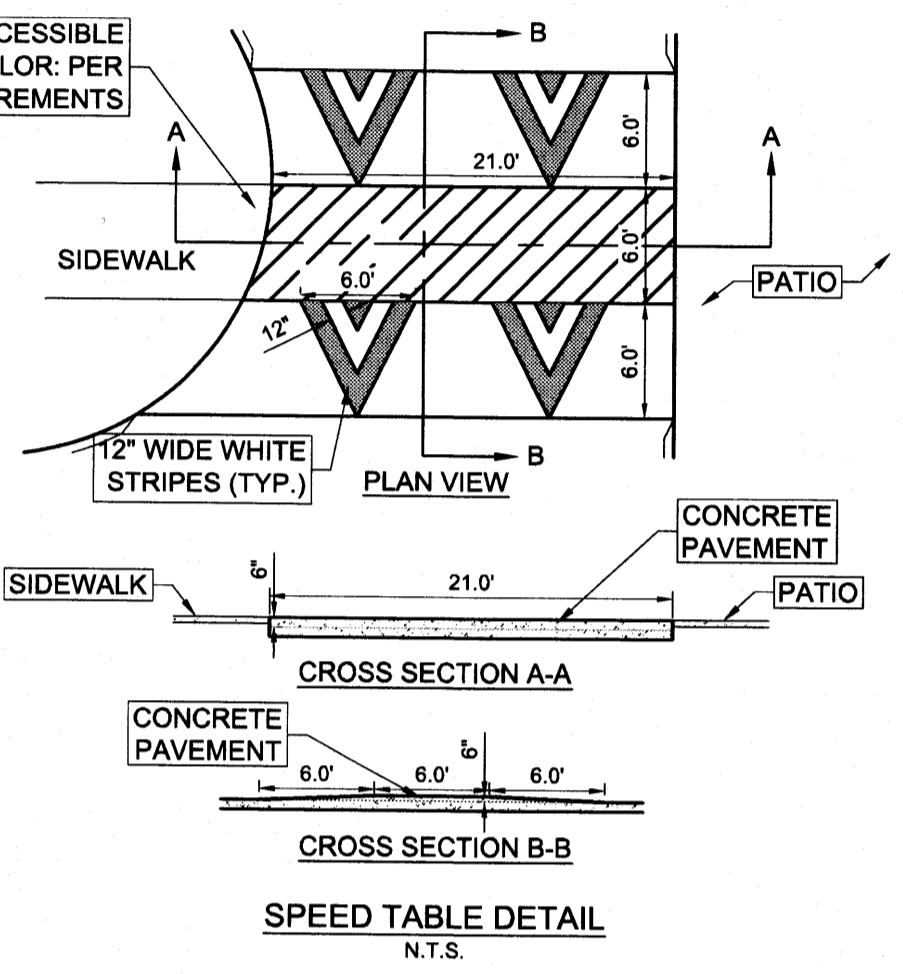
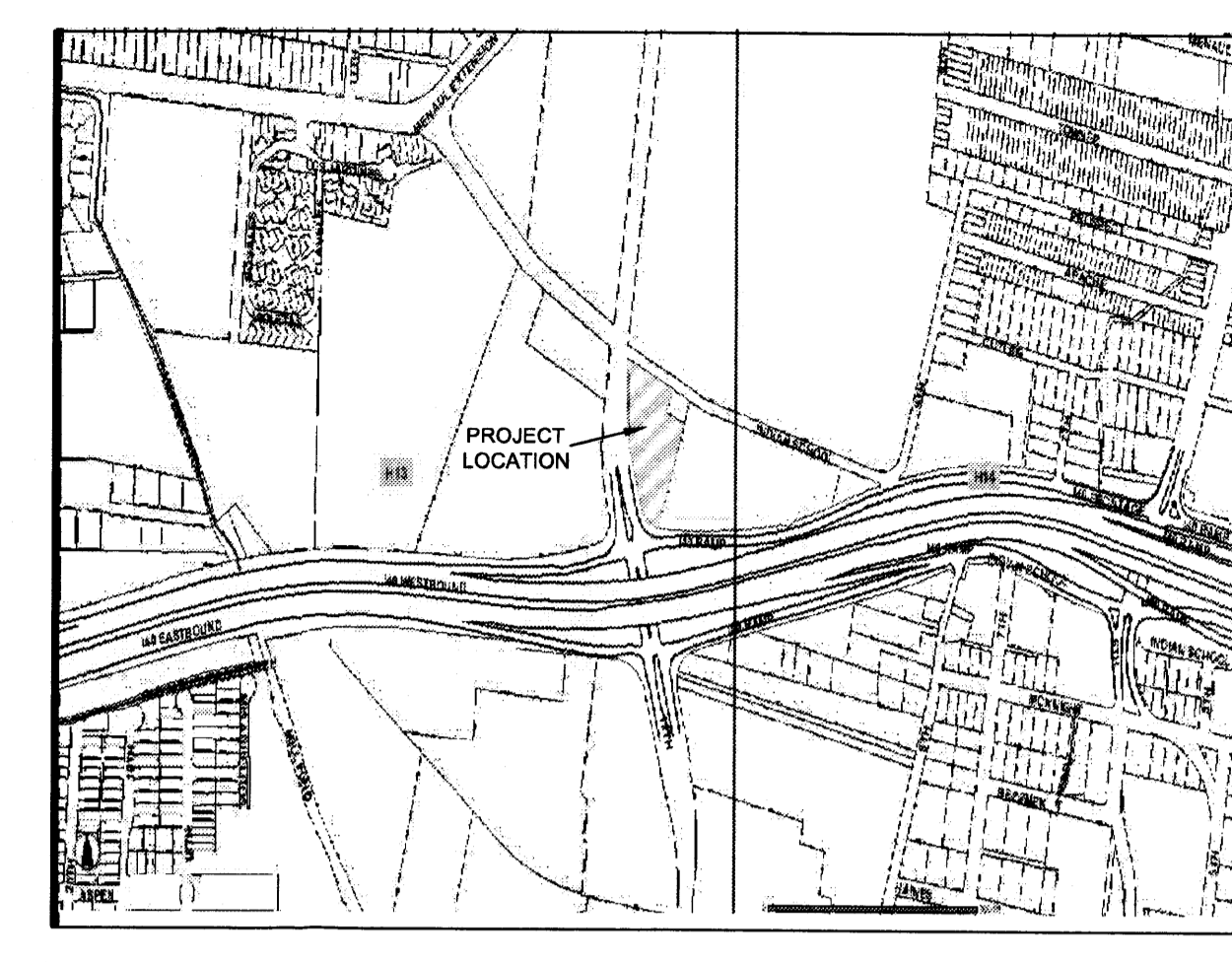
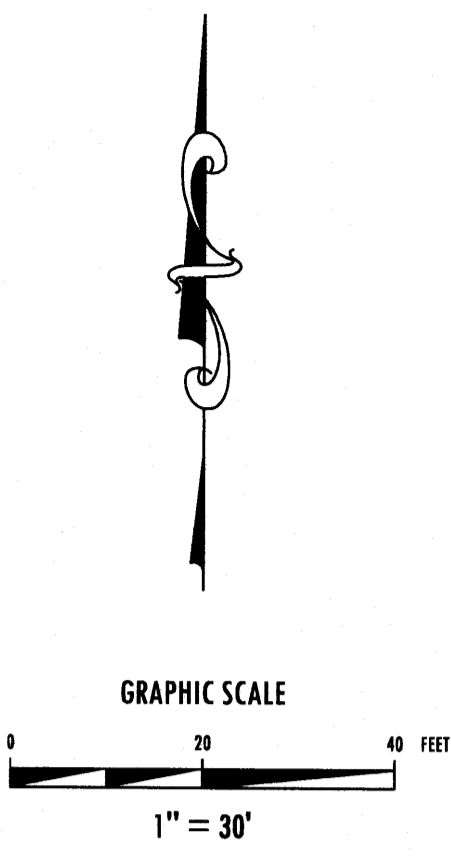
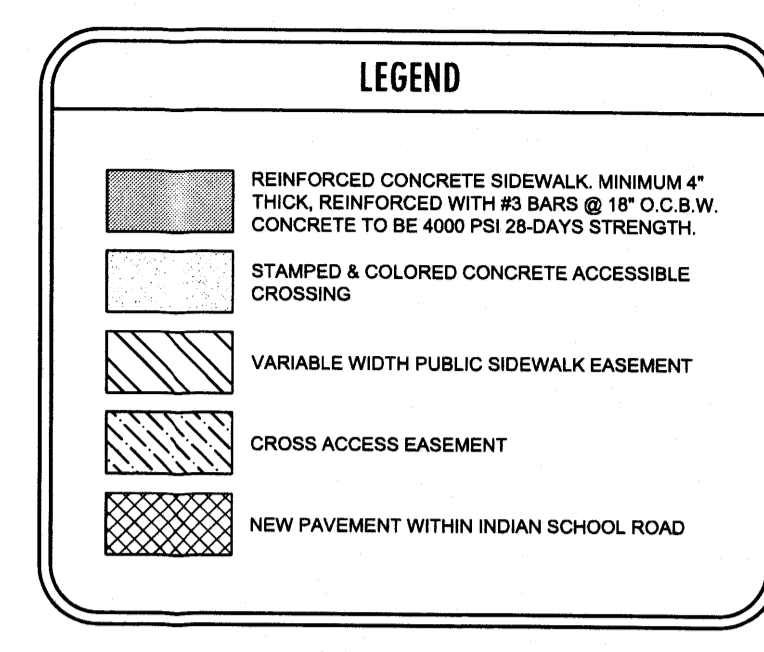
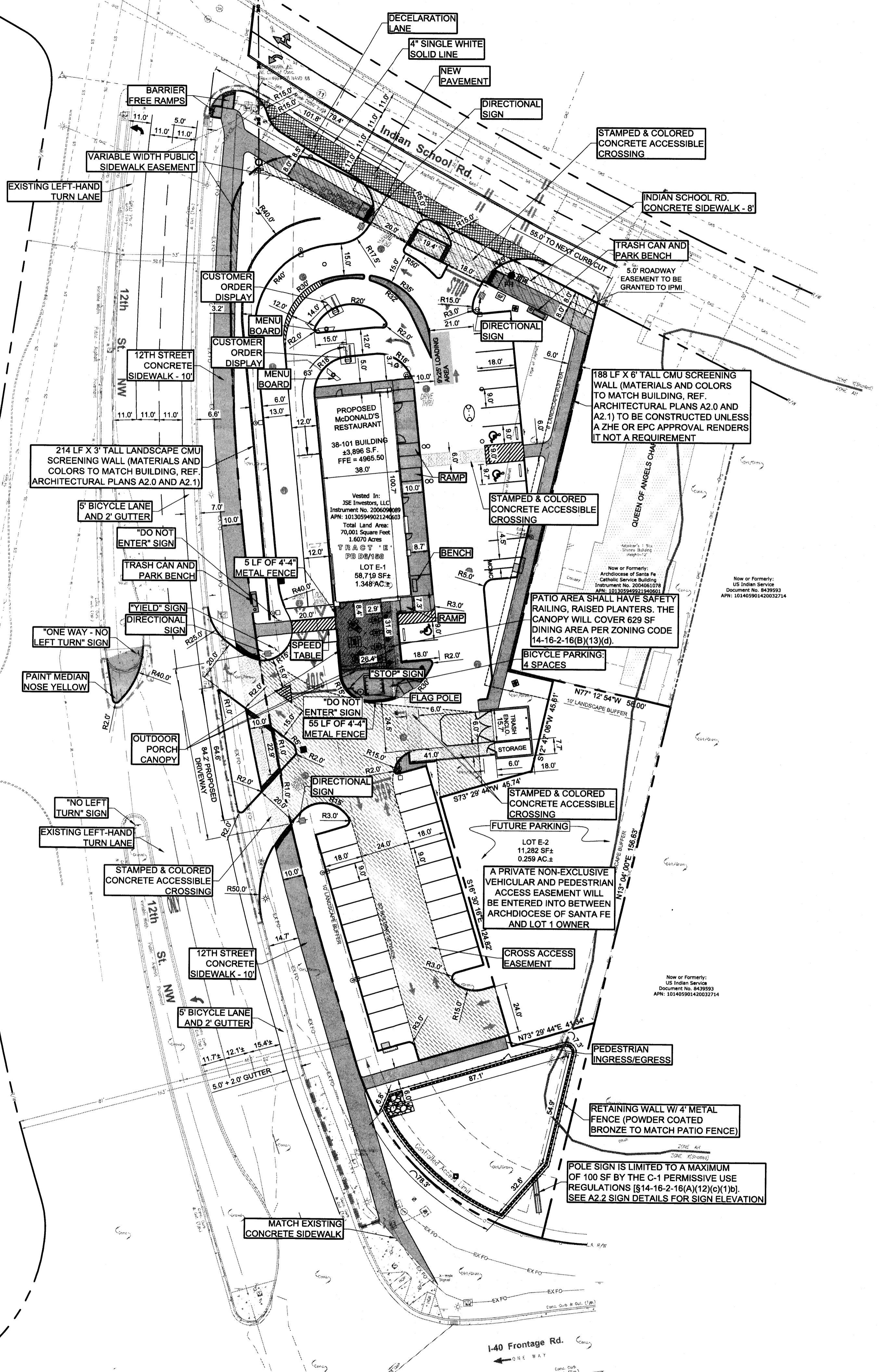
PROJECT TECH.
CHI

DATE DRAWN
07/17/2013

JOB NO.
2009-056

SHEET NO.
C2.0

FILE PATH: I:\Projects\2009-056 McDONALDS - Albuquerque NM (1-40 & 12th Street)\2009-056 McDONALDS - Albuquerque NM (1-40 & 12th Street)\CADD\5 SITE PLAN
 PLOT DATE: Wednesday, July 17, 2013
 PLOT TIME: 2:28:33 PM
 PLOTTER: Heidi Macomber
 PLOTTER: Heidi Macomber



LOT #1 (McDONALD'S USA):

PARKING RATIO - 1 PER EVERY 4 SEATS (64 INTERIOR + 22 PATIO)
 TOTAL PARKING REQUIRED = 22 (48/4 = 21.5)
 TOTAL PARKING PROVIDED = 37 PARKING SPACES
 TOTAL MOTORCYCLES = 2 PARKING SPACES PROVIDED
 TOTAL DISABLED PARKING SPACES PROVIDED = 3
 PROPOSED USE - FAST FOOD RESTAURANT WITH DRIVE-UP SERVICE
 CURRENT ZONING - R-1 (RESIDENTIAL)
 PROPOSED ZONING - SU-1 FOR C-1 PERMISSIVE USES AND DRIVE-UP SERVICE WINDOW
 SIDEWALK SETBACK - 10'
 SIDEWALK WIDTH:
 INDIAN SCHOOL ROAD: 8-FOOT MINIMUM SIDEWALK
 12TH STREET: 10-FOOT MINIMUM SIDEWALK
 PEDESTRIAN INGRESS AND EGRESS - SEE SIDEWALKS AND CROSSWALKS ON SITE PLAN
 INTERNAL CIRCULATION REQUIREMENTS - SEE VEHICULAR CIRCULATION LAYOUT ON SITE PLAN
 VEHICULAR INGRESS AND EGRESS - SEE INTERNAL DRIVE AISLES ON SITE PLAN. CURB CUTS ON 12th (PROPOSED ACCESS: RIGHT IN, RIGHT OUT). SEE "INDIAN SCHOOL PRIVATE ROADWAY" COMMENTS BELOW.
 MINIMUM BUILDING SETBACK - 30'
 MAXIMUM BUILDING HEIGHT - 24' 3"
 MAXIMUM FAR - .1
 BUILDING CONSTRUCTION TYPE - VB
 BUILDING WILL HAVE FIRE SPRINKLERS.

LOT #2: (CURRENT VACANT - PHASE II)

PROPOSED USE - THE PROPOSED USE SHALL BE A PARKING LOT BENEFITING THE QUEEN OF ANGELS CHAPEL OR SHALL OTHERWISE BE CONSISTENT WITH THE SU-1 FOR C-1 USES AND DRIVE THRU SERVICE WINDOW. PARKING LOT USE IS AS REGULATED IN THE O-1 ZONE PER 14-16-2-16(A)(10)(L).
 CURRENT ZONING - R-1 (RESIDENTIAL)
 PROPOSED ZONING - SU-1 FOR C-1 PERMISSIVE USES AND DRIVE-UP SERVICE WINDOW
 LANDSCAPE SETBACK - 10'
 SIDEWALK WIDTH - 6-FOOT MINIMUM
 PEDESTRIAN INGRESS AND EGRESS - DURING 2nd PHASE.
 INTERNAL CIRCULATION REQUIREMENTS - DURING PHASE II
 VEHICULAR INGRESS AND EGRESS - DURING PHASE II, PROVIDED HOWEVER LOT 1 SHALL PROVIDE A CROSS-ACCESS EASEMENT TO THE BENEFIT OF LOT 2 PROVIDING VEHICULAR ACCESS TO 12TH STREET.
 MINIMUM BUILDING SETBACK - 30'
 MAXIMUM BUILDING HEIGHT - 20'
 MAXIMUM FAR - .2

COMPLIANCE NOTES

SITE LIGHTING TO BE IN COMPLIANCE WITH 14-16-3-9, AREA LIGHTING REGULATIONS
 SIGNAGE TO BE IN COMPLIANCE WITH 14-16-3-5, GENERAL SIGN REGULATIONS

SCREENING NOTE

GROUND-MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, EXCLUDING TRANSFORMERS, SHALL BE SCREENED THROUGH USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICES IN COMPLIANCE WITH 14-16-3-18

SITE LIGHTING

ESTIMATED FIXTURE TYPE: RSB/RCS-250PSM-III-MT
 ESTIMATED POLE TYPE: SSP-4113-GL (4")
 THE MAXIMUM HEIGHT OF A LIGHT POLE, MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE, WITHIN 100' OF A RESIDENTIAL ZONE SHALL BE 16'; OTHERWISE, OUTSIDE OF 100' OF A RESIDENTIAL ZONING SHALL BE 20'

INDIAN SCHOOL PRIVATE ROADWAY:

VEHICULAR INGRESS AND EGRESS - PRIVATE INDIAN SCHOOL ROAD IMPROVEMENTS TO PROVIDE FOR PROVIDING UNDERGROUNDING THE OVERHEAD ELECTRIC WIRES TO THE SUBJECT PROPERTY AND QUEEN OF ANGELS CHAPEL PROPERTY IN A FUTURE PHASE AND WIDENING EXISTING INDIAN SCHOOL ROAD TO ACCOMMODATE THE IMPROVEMENTS SHOWN ON C1.0. DRIVEWAY CONNECTION TO INDIAN SCHOOL ROAD IS TO BE FULL ACCESS.
 ACCESS TO PRIVATE INDIAN SCHOOL ROAD SUBJECT TO FULL AGREEMENT AND EXECUTION WITH INDIAN SCHOOL ROAD OWNER
 INDIAN SCHOOL ROAD IMPROVEMENTS ARE CONTINGENT AND SUBJECT TO OBTAINING APPROPRIATE APPROVALS INCLUDING BUT NOT LIMITED TO PLAN REVIEW, INSPECTIONS, PERMIT FEES AND FINANCIAL GUARANTEES. THE APPLICANT WILL NOT BE ABLE TO OBTAIN A CERTIFICATE OF OCCUPANCY UNTIL THE INDIAN SCHOOL ROAD IMPROVEMENTS (PROCEDURE A) HAVE BEEN COMPLETED TO THE SATISFACTION OF THE CITY.

PROJECT NUMBER: 1003479

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | | | |
|---|-------|------|-------|
| Traffic Engineering, Transportation Division | _____ | Date | _____ |
| ABCWUA | _____ | Date | _____ |
| Parks and Recreation Department | _____ | Date | _____ |
| City Engineer | _____ | Date | _____ |
| * Environmental Health Department (conditional) | _____ | Date | _____ |
| Solid Waste Management | _____ | Date | _____ |
| DRB Chairperson, Planning Department | _____ | Date | _____ |

POWER POLE NOTE:
 ACCORDING TO FNM, McDONALDS TO INSTALL TWO NEW POWER POLES THAT ARE 45 FEET HIGH WITH A MAXIMUM WIRE SPAN OF 300 FEET. THIS WOULD ELIMINATE THE NEED FOR THE FOUR SMALLER WOODEN POLES CURRENTLY LOCATED WITHIN THE INDIAN SCHOOL ROW

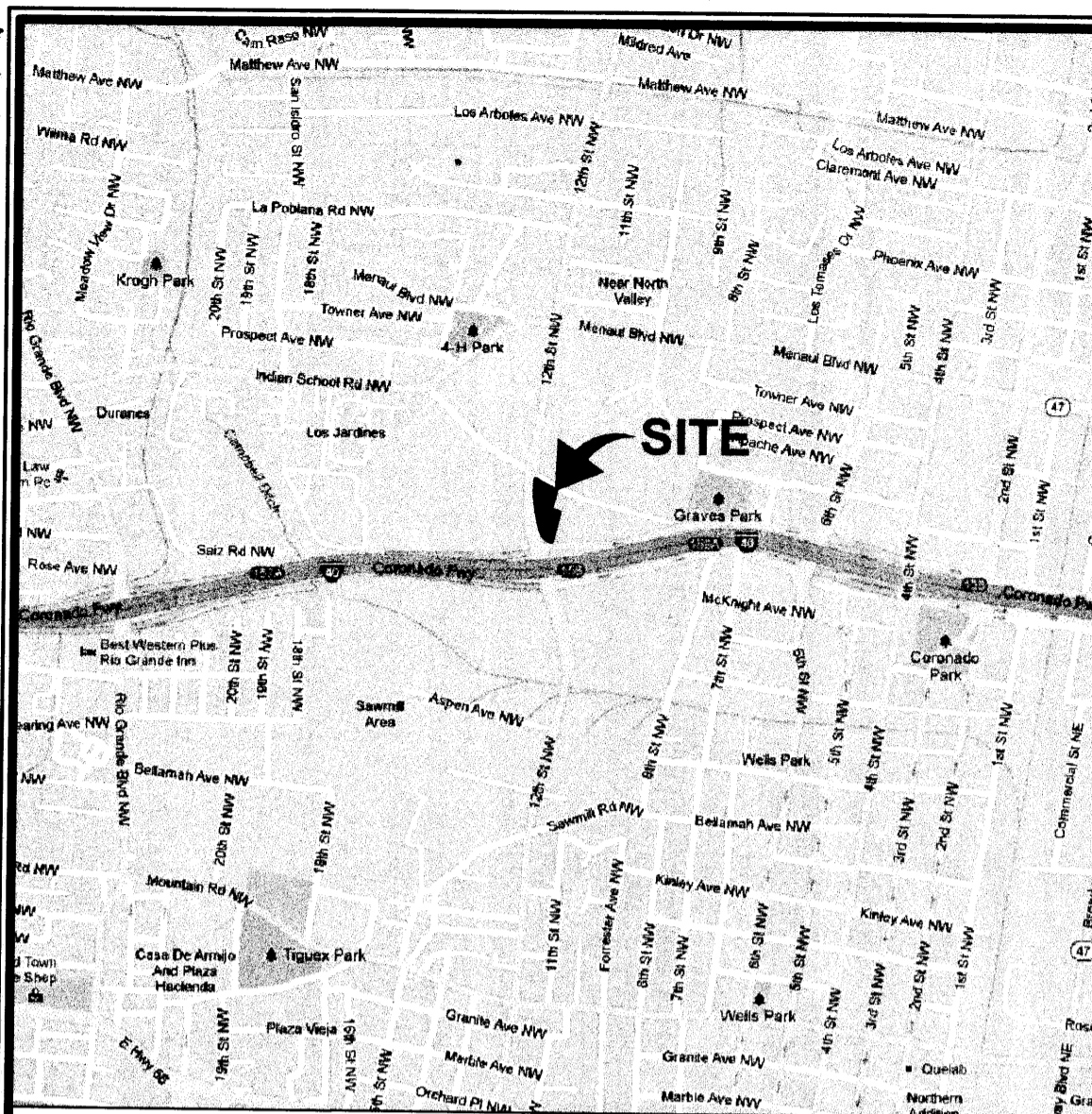
| | | |
|-----------|------|----|
| REVISIONS | DATE | BY |
| | | |

Adams
 ENGINEERING
 910 S. Kimball Avenue • Southlake, Texas 76092 • (817) 328-3200

I-40 & 12TH STREET
 ALBUQUERQUE, NM
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

| | |
|---------------|------------|
| PROJECT MGR. | GRA |
| PROJECT TECH. | CHI |
| DATE DRAWN | 07/17/2013 |
| JOB NO. | 2009-056 |
| SHEET NO. | C1.0 |

PROJECT MGR. GRA
 PROJECT TECH. CHI
 DATE DRAWN 07/17/2013
 JOB NO. 2009-056
 SHEET NO. C1.0
 Copyright 2013, Adams Engineering



Vicinity Map (not to scale)

Zone Page H-13

UTILITY APPROVALS

Public utility easements shown on this plat are granted for the common and joint use of:

- A. Public service company of New Mexico (PNM) a New Mexico corporation, (PNM Electric) for the installation, maintenance, and service of overhead and underground electrical lines, transformers, other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for the installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Century Link for the installation, maintenance and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Comcast Cable for the installation, maintenance and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from and over said easements, with the right and privilege of going upon, over and across adjoining lands of grantor for the purpose set forth herein and with the right utilize the right of way and easement to extend services to customers of grantee, including sufficient work area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structures shall be erected or constructed on said easements nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of national electrical safety code by construction of pool, decking, or any structures adjacent to or near easement shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer:

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a title search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

| | | |
|------------------------|-------|------|
| PNM Electric Services | _____ | Date |
| New Mexico Gas Company | _____ | Date |
| Century Link | _____ | Date |
| Comcast | _____ | Date |

LEGAL DESCRIPTION:

A certain parcel of land situated in the City of Albuquerque, County of Bernalillo, State of New Mexico and being Tract lettered "E" of the Land of St. Anthony's Orphanage, recorded in Plat Book D6, Page 158. Being all of the same land conveyed to JSE Investors, LLC, a New Mexico limited liability company, by that certain Warranty Deed dated June 17, 2006 and filed for record June 19, 2006 as Instrument No. 2006090089 and being more particularly described as follows:

- BEGINNING at a 3/4" iron rod with aluminum cap found at the Southernmost corner of said Tract "E", the same being the turnout from the North line of I-40 Frontage Road (variable width - public) to the East line of 12th Street NW (variable width - public);
- Thence along said turnout and along the arc of non-tangent curve to the right having a radius of 122.65 feet, an arc length of 130.23 feet, a central angle of 60°50'12", a chord bearing North 46°55'22" West and having a chord length of 124.20 feet to a 3/4" iron rod set in the East line of said 12th Street NW;
- Thence North 16°30'16" West, along the East line of 12th Street NW, a distance of 55.64 feet to a 3/4" iron rod with no tag found;
- Thence continuing along the same and along the arc of a curve to the right having a radius of 1145.92 feet, an arc length of 408.48 feet, a central angle of 20°25'25", a chord bearing North 06°17'33" West and having a chord length of 406.32 feet to a 3/4" iron rod set at the intersection of the East line of 12th Street NW with the South line of Indian School Road (variable width - private);
- Thence South 60°01'00" East, along the South line of Indian School Road, a distance of 45.81 feet to a 5/8" iron rod with no tag found at an angle point;
- Thence South 63°16'06" East, continuing along the same, a distance of 150.88 feet to an iron spike with shiner set at the Northwest corner of land now or formerly conveyed to Archdiocese of Santa Fe Catholic Service Building (Instrument No. 2004061078);
- Thence South 13°08'21" West, along the West line of Santa Fe Catholic Service Building, a distance of 181.32 feet to a 3/4" iron rod set;
- Thence South 77°12'54" East, along the South line of said land, a distance of 79.50 feet to a 5/8" rebar with no tag found on the West line of land now or formerly conveyed to US Indian Service (Document No. 8439593);
- Thence South 13°04'00" West, along the West line of US Indian Service, a distance of 263.94 feet to the POINT OF BEGINNING.

Containing 70,001 square feet or 1.6070 acres of land, more or less, as surveyed in January of 2013 by Mitchell J. Duryea, PS, New Mexico Professional Surveyor No. 19237, for and on behalf of Millman Surveying, Inc. and is subject to all legal highways and easements of record.

All recording references made herein are of Bernalillo County Records.

FREE CONSENT & DEDICATION

The undersigned owner(s) and proprietor(s) of the property described hereon do hereby consent to the platting of said property and the same is with their free consent and in accordance with their desires. Said owners warrant that they hold complete and indefeasible title in fee simple to the land subdivided. The undersigned hereby grant the easements as shown and noted hereon. The undersigned hereby dedicate additional right of way to the City of Albuquerque in fee simple with warrant covenant.

Joshua J. Skarsgard, Managing Member
Paseo Pavilion @ 2nd Street, LLC
a New Mexico limited liability company

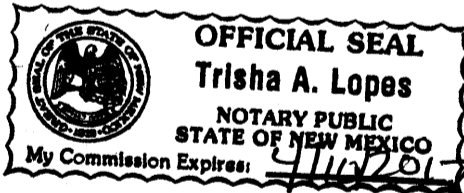
ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON August 16 2013

BY: Joshua Skarsgard

MY COMMISSION EXPIRES: 4/10/2013



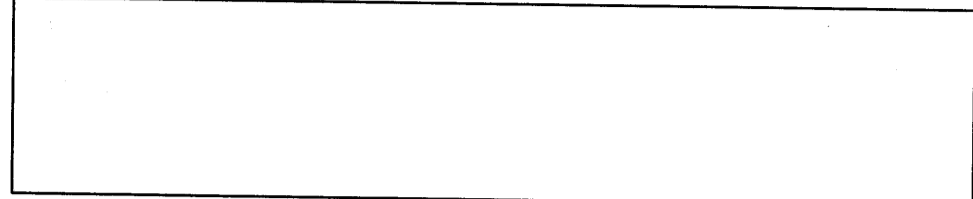
Trisha A. Lopes
NOTARY PUBLIC

SURVEYOR'S CERTIFICATION

I, Mitchell J. Duryea, a licensed Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell J. Duryea, New Mexico Professional Surveyor No. 19237 _____ Date

COUNTY CLERK RECORDING STAMP



PLAT OF
LOT E-1 & E-2
Lands of
ST. ANTHONY'S ORPHANAGE
Projected Section 7, T10N, R3E, NMPM
Town of Albuquerque Land Grant
City of Albuquerque
Bernalillo County, New Mexico
June 2013

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO SPLIT AN EXISTING LOT INTO TWO LOTS AND GRANT ANY EASEMENTS AS SHOWN HEREON AND TO DEDICATE ADDITIONAL STREET RIGHT OF WAY TO THE CITY OF ALBUQUERQUE.

PROJECT NUMBER: 1003497

Application Number: _____

PLAT APPROVAL

City Approvals:

| | | | |
|--|-----------|---------------|------|
| City Surveyor | <u>JA</u> | <u>8-6-13</u> | Date |
| Real Property Division | _____ | _____ | Date |
| Environmental Health Department | _____ | _____ | Date |
| Traffic Engineering, Transportation Division | _____ | _____ | Date |
| ABCWUA | _____ | _____ | Date |
| Parks and Recreation Department | _____ | _____ | Date |
| AMAFC | _____ | _____ | Date |
| City Engineer | _____ | _____ | Date |
| DRB Chairperson, Planning Department | _____ | _____ | Date |

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS-OF-WAY, ASSESSMENTS AND LIENS ARE FULLY RESERVED TO SAID DISTRICT AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON TIME

UPC#: _____

PROPERTY OWNER OF RECORD _____

BERNALILLO COUNTY TREASURER'S OFFICE _____ DATE

Millman National Land Services
1742 Georgetown Road, Suite H, Hudson, OH 44236
Phone: 800-520-1010 Fax: 330-342-0834
Drawn By: JFD Project No.: 29375

SUBDIVISION DATA / NOTES

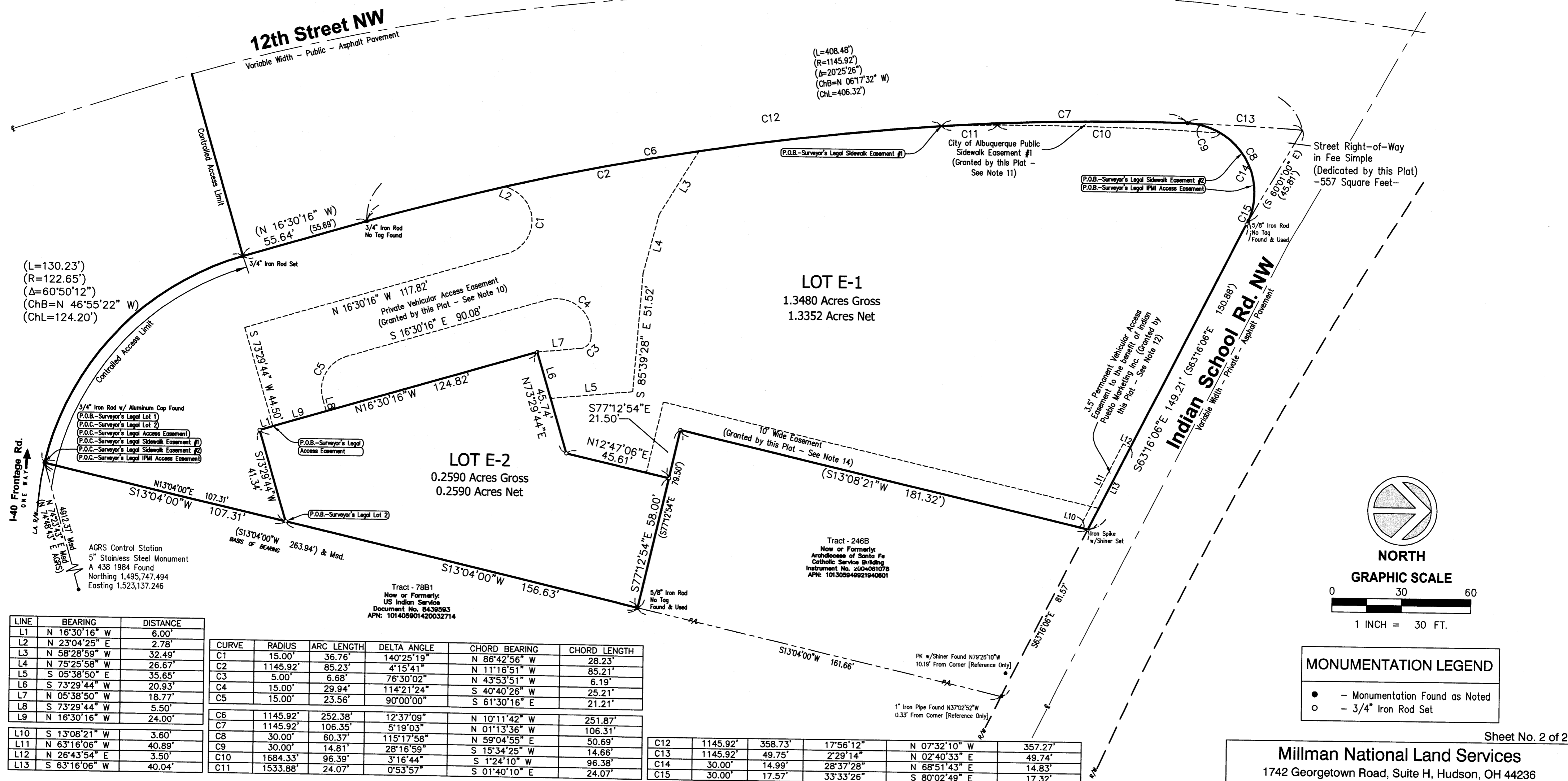
- The basis for all bearings shown hereon is the southeast line of the subject property, known as being South 13°04'00" West, per Plat Book D6, Page 158 of the Bernalillo County Records. Reference to AGRS Monument A 438 is indicated hereon for AGRS positioning.
- Distances are ground measurement in U.S. feet.
- Record bearings and distances are in parentheses () as per plat of Lands of St. Anthony's Orphanage, filed on June 19, 1975 in Plat Book D6, Page 158.
- Gross platted area: 1.6070 Acres, more or less.
- Number of existing lots: 1
- Number of lots created: 2
- The property is zoned R-1.
- The property appears to lie partially in Zone X-Shaded (Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood) and partially in Zone AH (Areas of flood hazard. Flood depths of 1-3 feet (usually areas of ponding); base flood elevations determined [BFE=4964']) according to the Flood Insurance Rate Map for the County of Bernalillo, Community Panel No. 35001C0331H, Effective Date 08/16/2012.
- The owner of Lot E-1 (Grantor) hereby grants to the owner of Lot E-2 (Grantee) a cross lot drainage easement granted by this Plat. This cross lot drainage easement shall be maintained by the Owner of Lot E-1 (Grantor).
- The owner of Lot E-1 (Grantor) hereby grants to the owner of Lot E-2 (Grantee) The Private Non-Exclusive Vehicular Access Easement granted by this Plat. This Private Non-Exclusive Vehicular Access Easement shall be maintained by the Owner of Lot E-1 (Grantor).
- The owner of Lot E-1 (Grantor) hereby grants to the City of Albuquerque (Grantee) a Public Sidewalk Easement #1 granted by this Plat. This Public Sidewalk Easement #1 shall be maintained by the City of Albuquerque.
- The owner of Lot E-1 (Grantor) hereby grants to Indian Pueblo Marketing Inc. (Grantee) a 3'-6" (3.5') Permanent Vehicular Access Easement granted by this Plat. This 3.5' Permanent Vehicular Access Easement shall be maintained by Indian Pueblo Marketing Inc. (Grantee).
- (Intentionally Removed)
- The owner of Lot E-1 (Grantor) hereby grants to the owner of Lot E-2 (Grantee) a 10 foot wide easement for the construction, installation, maintenance, repair, modification, replacement and operation of private water and sanitary sewer service lines and appurtenances, in, over, and across the real property described on this plat as Lot E-1.

SOLAR NOTE:

No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision.

COUNTY CLERK RECORDING STAMP

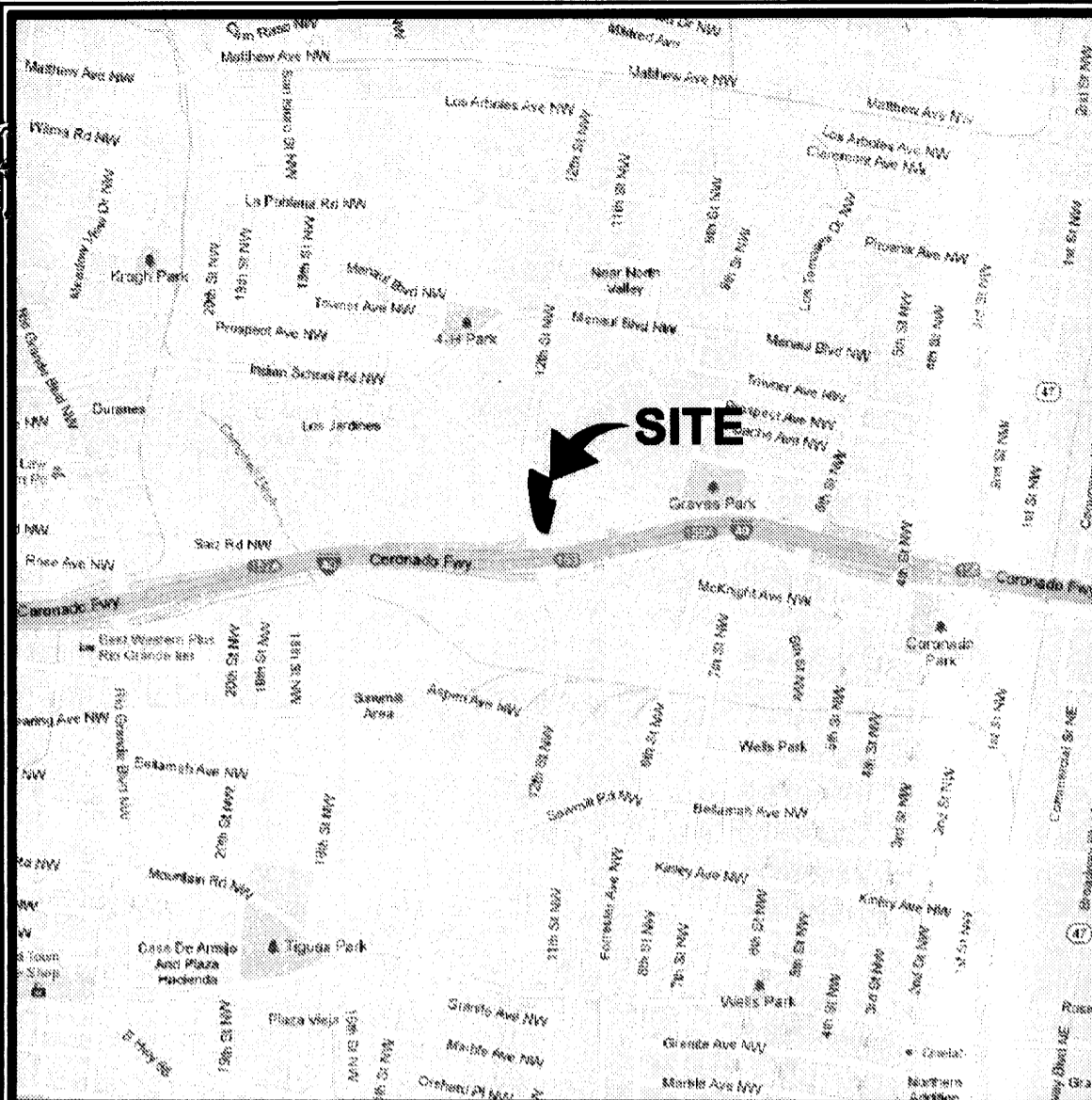
PLAT OF
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ST. ANTHONY'S ORPHANAGE
 Projected Section 7, T10N, R3E, NMPM
 Town of Albuquerque Land Grant
 City of Albuquerque
 Bernalillo County, New Mexico
 June 2013



| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 16°30'16" W | 6.00' |
| L2 | N 23°04'25" E | 2.78' |
| L3 | N 58°28'59" W | 32.49' |
| L4 | N 75°25'58" W | 26.67' |
| L5 | S 05°38'50" E | 35.65' |
| L6 | S 73°29'44" W | 20.93' |
| L7 | N 05°38'50" W | 18.77' |
| L8 | S 73°29'44" W | 5.50' |
| L9 | N 16°30'16" W | 24.00' |
| L10 | S 13°08'21" W | 3.60' |
| L11 | N 63°16'06" W | 40.89' |
| L12 | N 26°43'54" E | 3.50' |
| L13 | S 63°16'06" W | 40.04' |

| CURVE | RADIUS | ARC LENGTH | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|----------|------------|-------------|---------------|--------------|
| C1 | 15.00' | 36.76' | 140°25'19" | N 86°42'56" W | 28.23' |
| C2 | 1145.92' | 85.23' | 4°15'41" | N 11°16'51" W | 85.21' |
| C3 | 5.00' | 6.68' | 76°30'02" | N 43°53'51" W | 6.19' |
| C4 | 15.00' | 29.94' | 114°21'24" | S 40°40'26" W | 25.21' |
| C5 | 15.00' | 23.56' | 90°00'00" | S 61°30'16" E | 21.21' |
| C6 | 1145.92' | 252.38' | 12°37'09" | N 10°11'42" W | 251.87' |
| C7 | 1145.92' | 106.35' | 5°19'03" | N 01°13'36" W | 106.31' |
| C8 | 30.00' | 60.37' | 115°17'58" | N 59°04'55" E | 50.69' |
| C9 | 30.00' | 14.81' | 28°16'59" | S 15°34'25" W | 14.66' |
| C10 | 1684.33' | 96.39' | 3°16'44" | S 1°24'10" W | 96.38' |
| C11 | 1533.88' | 24.07' | 0°53'57" | S 01°40'10" E | 24.07' |
| C12 | 1145.92' | 358.73' | 17°56'12" | N 07°32'10" W | 357.27' |
| C13 | 1145.92' | 49.75' | 2°29'14" | N 02°40'33" E | 49.74' |
| C14 | 30.00' | 14.99' | 28°37'28" | N 68°51'43" E | 14.83' |
| C15 | 30.00' | 17.57' | 33°33'26" | S 80°02'49" E | 17.32' |

Sheet No. 2 of 2
Millman National Land Services
 1742 Georgetown Road, Suite H, Hudson, OH 44236
 Phone: 800-520-1010 Fax: 330-342-0834
 Drawn By: JFD Project No.: 29375



Vicinity Map (not to scale)

Zone Page H-13



COUNTY CLERK RECORDING STAMP



PLAT OF
LOT E-1 & E-2
 Lands of
ST. ANTHONY'S ORPHANAGE
 Projected Section 7, T10N, R3E, NMPM
 Town of Albuquerque Land Grant
 City of Albuquerque
 Bernalillo County, New Mexico
 June 2013

SOLAR NOTE:

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PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO SPLIT AN EXISTING LOT INTO TWO LOTS AND GRANT ANY EASEMENTS AS SHOWN HEREON AND TO DEDICATE ADDITIONAL STREET RIGHT OF WAY TO THE CITY OF ALBUQUERQUE.

C.D.R.A. APPROVALS:

CASE NO.:

BERNALILLO COUNTY DEVELOPMENT REVIEW AUTHORITY, CHAIR _____ DATE _____

ENVIRONMENTAL HEALTH _____ DATE _____

PUBLIC WORKS DIVISION _____ DATE _____

ZONING DEPARTMENT _____ DATE _____

BERNALILLO COUNTY FIRE MARSHALL _____ DATE _____

CITY SURVEYOR _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

A.B.C.W.U.A. _____ DATE _____

M.R.G.C.D. _____ DATE _____

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS-OF-WAY, ASSESSMENTS AND LIENS ARE FULLY RESERVED TO SAID DISTRICT AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE _____

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON TIME

UPC# _____

PROPERTY OWNER OF RECORD _____

BERNALILLO COUNTY TREASURER'S OFFICE _____ DATE _____

FREE CONSENT & DEDICATION

The undersigned owner(s) and proprietor(s) of the property described hereon do hereby consent to the platting of said property and the same is with their free consent and in accordance with their desires. Said owners warrant that they hold complete and indefeasible title in fee simple to the land subdivided. The undersigned hereby grant the easements as shown and noted hereon. The undersigned hereby dedicate additional right of way to the City of Albuquerque in fee simple with warrant covenant.

(Owner) _____

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____, 2013

BY: _____

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

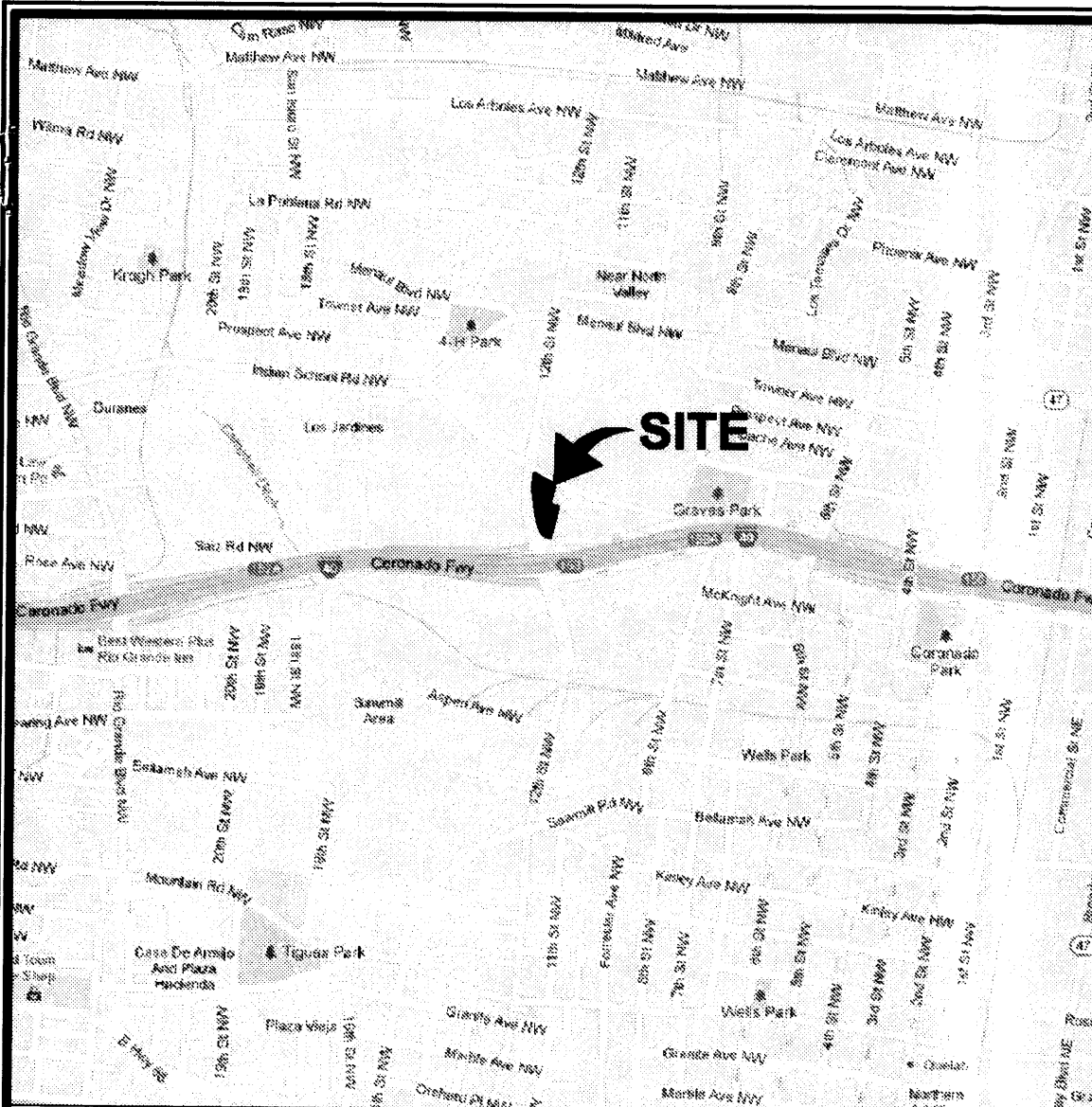
SURVEYOR'S CERTIFICATION

I, Mitchell J. Duryea, a licensed Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.



Mitchell J. Duryea, New Mexico Professional Surveyor No. 19237 _____ Date _____

Della G

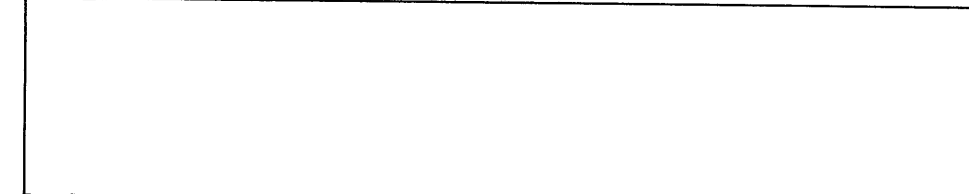


Vicinity Map (not to scale)

Zone Page H-13



COUNTY CLERK RECORDING STAMP



PLAT OF
LOT E-1 & E-2
 Lands of
ST. ANTHONY'S ORPHANAGE
 Projected Section 7, T10N, R3E, NMPM
 Town of Albuquerque Land Grant
 City of Albuquerque
 Bernalillo County, New Mexico
 June 2013

SOLAR NOTE:

No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision.

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO SPLIT AN EXISTING LOT INTO TWO LOTS AND GRANT ANY EASEMENTS AS SHOWN HEREON AND TO DEDICATE ADDITIONAL STREET RIGHT OF WAY TO THE CITY OF ALBUQUERQUE.

C.D.R.A. APPROVALS:

CASE NO.:

| | |
|---|------|
| BERNALILLO COUNTY DEVELOPMENT REVIEW AUTHORITY, CHAIR | DATE |
| ENVIRONMENTAL HEALTH | DATE |
| PUBLIC WORKS DIVISION | DATE |
| ZONING DEPARTMENT | DATE |
| BERNALILLO COUNTY FIRE MARSHALL | DATE |
| CITY SURVEYOR | DATE |
| A.M.A.F.C.A. | DATE |
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 (Owner)

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS

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BY: _____

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

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Mitchell J. Duryea, New Mexico Professional Surveyor No. 19237 Date _____

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS-OF-WAY, ASSESSMENTS AND LIENS ARE FULLY RESERVED TO SAID DISTRICT AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE _____

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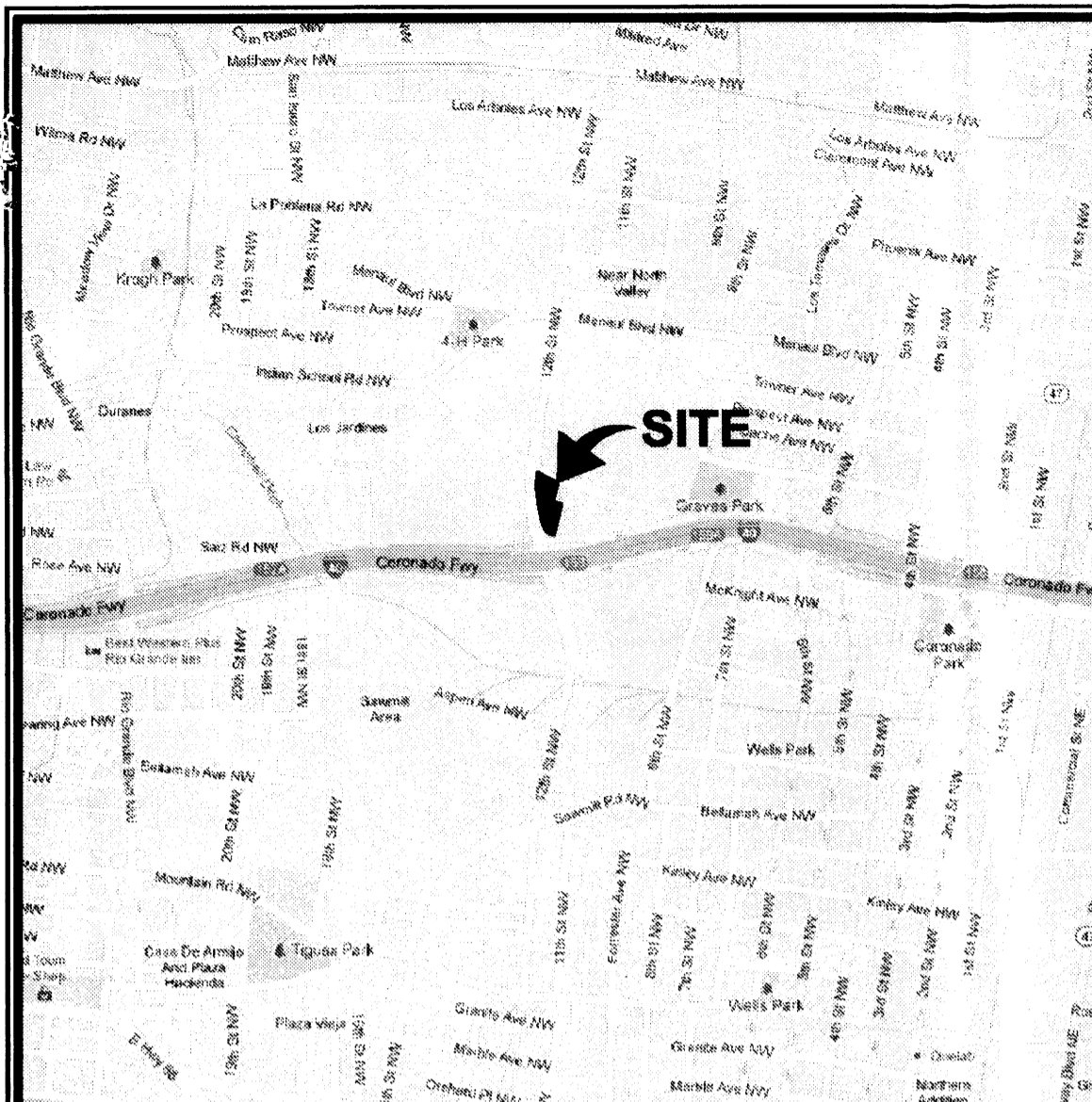
UPC# _____

PROPERTY OWNER OF RECORD _____

BERNALILLO COUNTY TREASURER'S OFFICE _____ DATE _____

COUNTY CLERK RECORDING STAMP

PLAT OF
LOT E-1 & E-2
 Lands of
ST. ANTHONY'S ORPHANAGE
 Projected Section 7, T10N, R3E, NMPM
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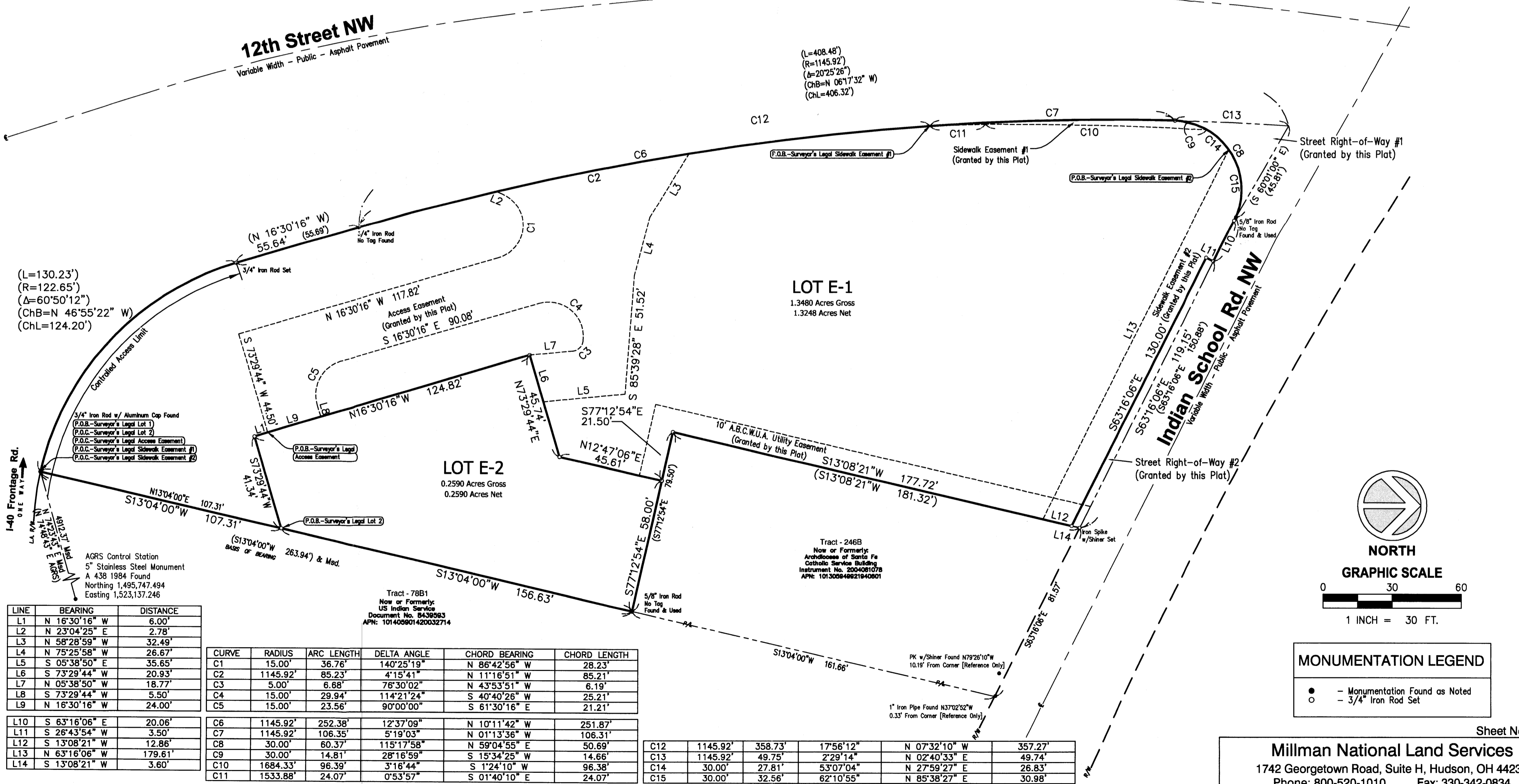
Mitchell J. Duryea, New Mexico Professional Surveyor No. 19237 _____ Date _____

SUBDIVISION DATA / NOTES

- The basis for all bearings shown hereon is the southeast line of the subject property, known as being South 13°04'00" West, per Plat Book D6, Page 158 of the Bernalillo County Records. Reference to AGRS Monument A 438 is indicated hereon for AGRS positioning.
- Distances are ground measurement in U.S. feet.
- Record bearings and distances are in parentheses () as per plat of Lands of St. Anthony's Orphanage, filed on June 19, 1975 in Plat Book D6, Page 158.
- Gross platted area: 1.6070 Acres, more or less.
- Number of existing lots: 1
- Number of lots created: 2
- The property is zoned R-1.
- The property appears to lie partially in Zone X-Shaded (Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood) and partially in Zone AH (Areas of flood hazard. Flood depths of 1-3 feet (usually areas of ponding); base flood elevations determined [BFE=4984'] according to the Flood Insurance Rate Map for the County of Bernalillo, Community Panel No. 35001C0331H, Effective Date 08/16/2012.

COUNTY CLERK RECORDING STAMP

PLAT OF
LOT E-1 & E-2
 Lands of
ST. ANTHONY'S ORPHANAGE
 Projected Section 7, T10N, R3E, NMPM
 Town of Albuquerque Land Grant
 City of Albuquerque
 Bernalillo County, New Mexico
 June 2013



(L=130.23')
 (R=122.65')
 (Δ=60°50'12")
 (ChB=N 46°55'22" W)
 (ChL=124.20')

(L=408.48')
 (R=1145.92')
 (Δ=20°25'26")
 (ChB=N 06°17'32" W)
 (ChL=406.32')

3/4" Iron Rod w/ Aluminum Cap Found
 (P.O.B.-Surveyor's Legal Lot 1)
 (P.O.C.-Surveyor's Legal Lot 2)
 (P.O.C.-Surveyor's Legal Access Easement #1)
 (P.O.C.-Surveyor's Legal Sidewalk Easement #1)
 (P.O.C.-Surveyor's Legal Sidewalk Easement #2)

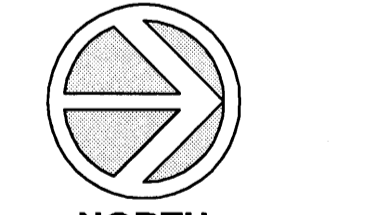
AGRS Control Station
 5" Stainless Steel Monument
 A 438 1984 Found
 Northing 1,495,747.494
 Easting 1,523,137.246

Tract - 78B1
 Now or Formerly:
 US Indian Service
 Document No. 8439593
 APN: 101405901420032714

Tract - 246B
 Now or Formerly:
 Archdiocese of Santa Fe
 Catholic Service Building
 Instrument No. 2004091078
 APN: 1013005849921940801

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 16°30'16" W | 6.00' |
| L2 | N 23°04'25" E | 2.78' |
| L3 | N 58°28'59" W | 32.49' |
| L4 | N 75°25'58" W | 26.67' |
| L5 | S 05°38'50" E | 35.65' |
| L6 | S 73°29'44" W | 20.93' |
| L7 | N 05°38'50" W | 18.77' |
| L8 | S 73°29'44" W | 5.50' |
| L9 | N 16°30'16" W | 24.00' |
| L10 | S 63°16'06" E | 20.06' |
| L11 | S 26°43'54" W | 3.50' |
| L12 | S 13°08'21" W | 12.86' |
| L13 | N 63°16'06" W | 179.61' |
| L14 | S 13°08'21" W | 3.60' |

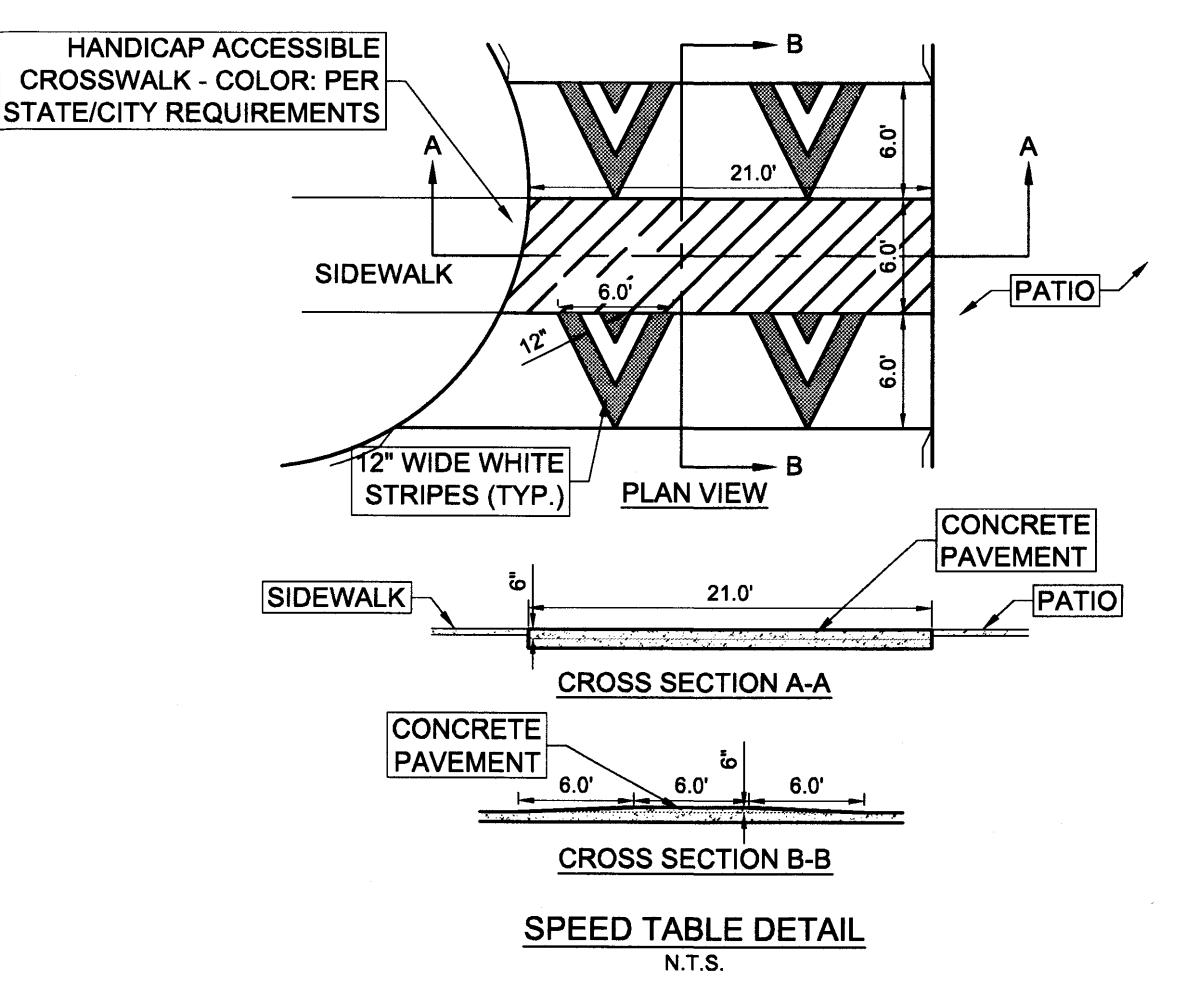
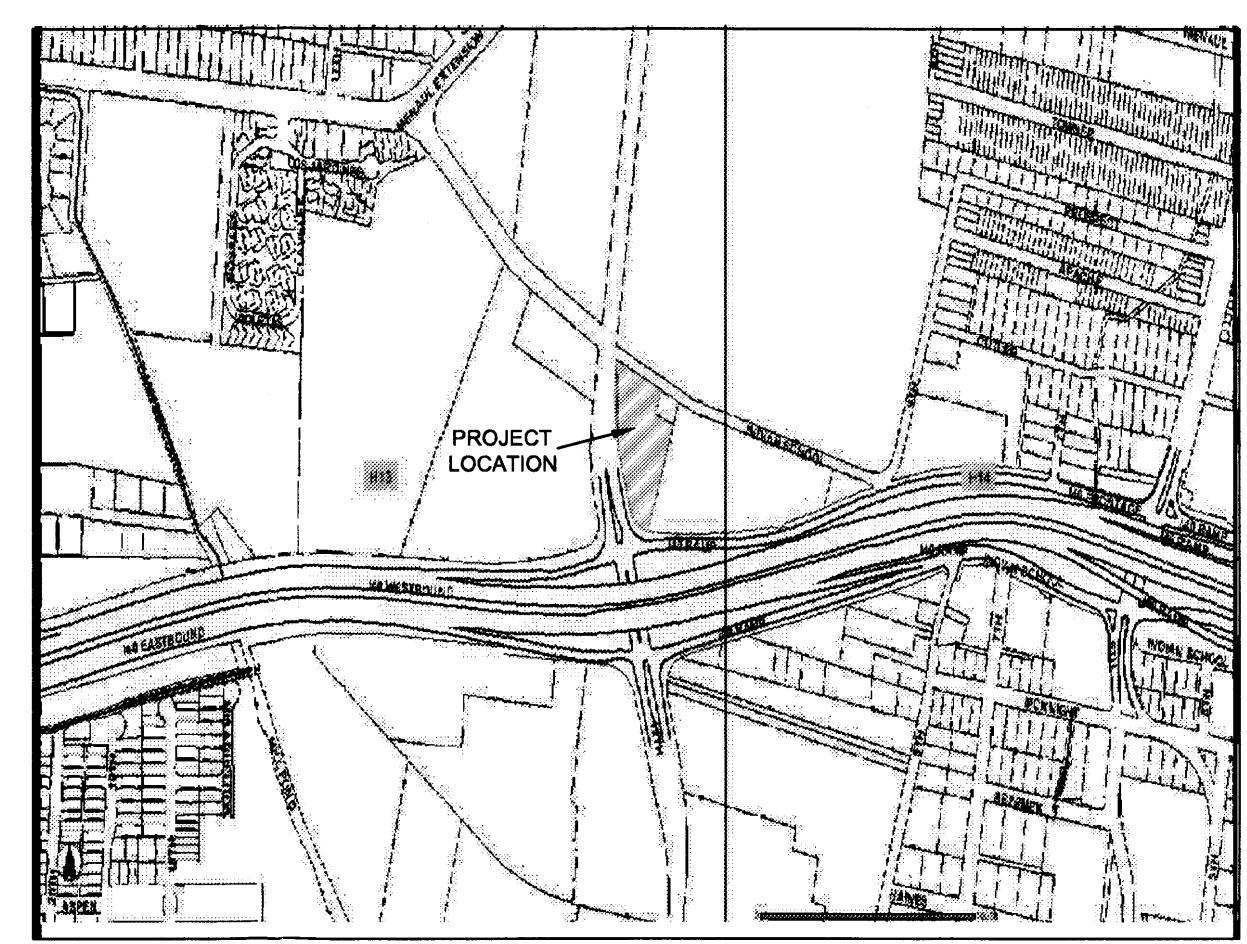
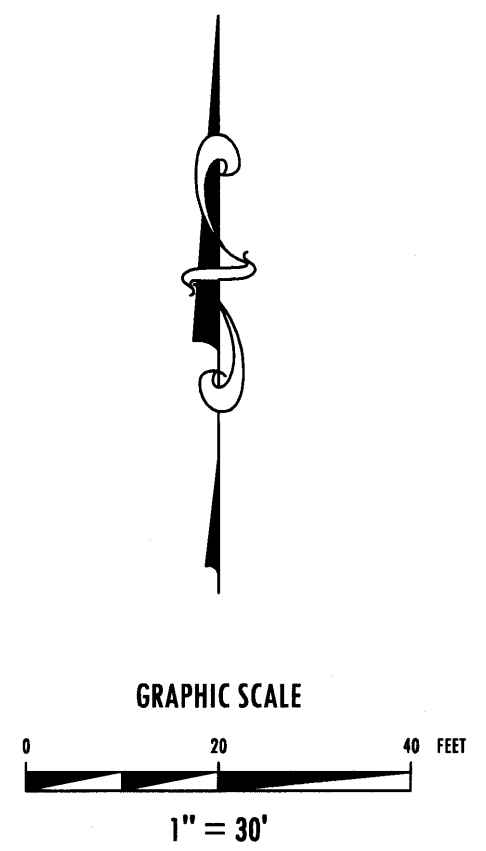
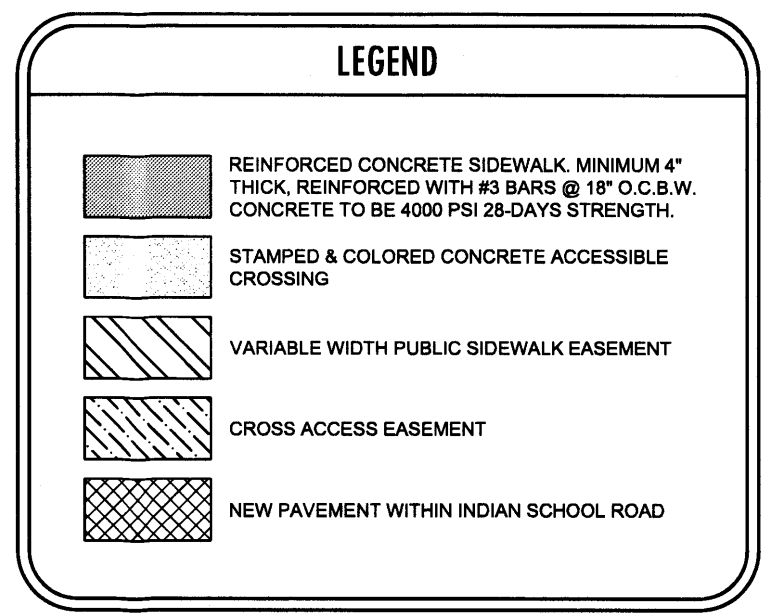
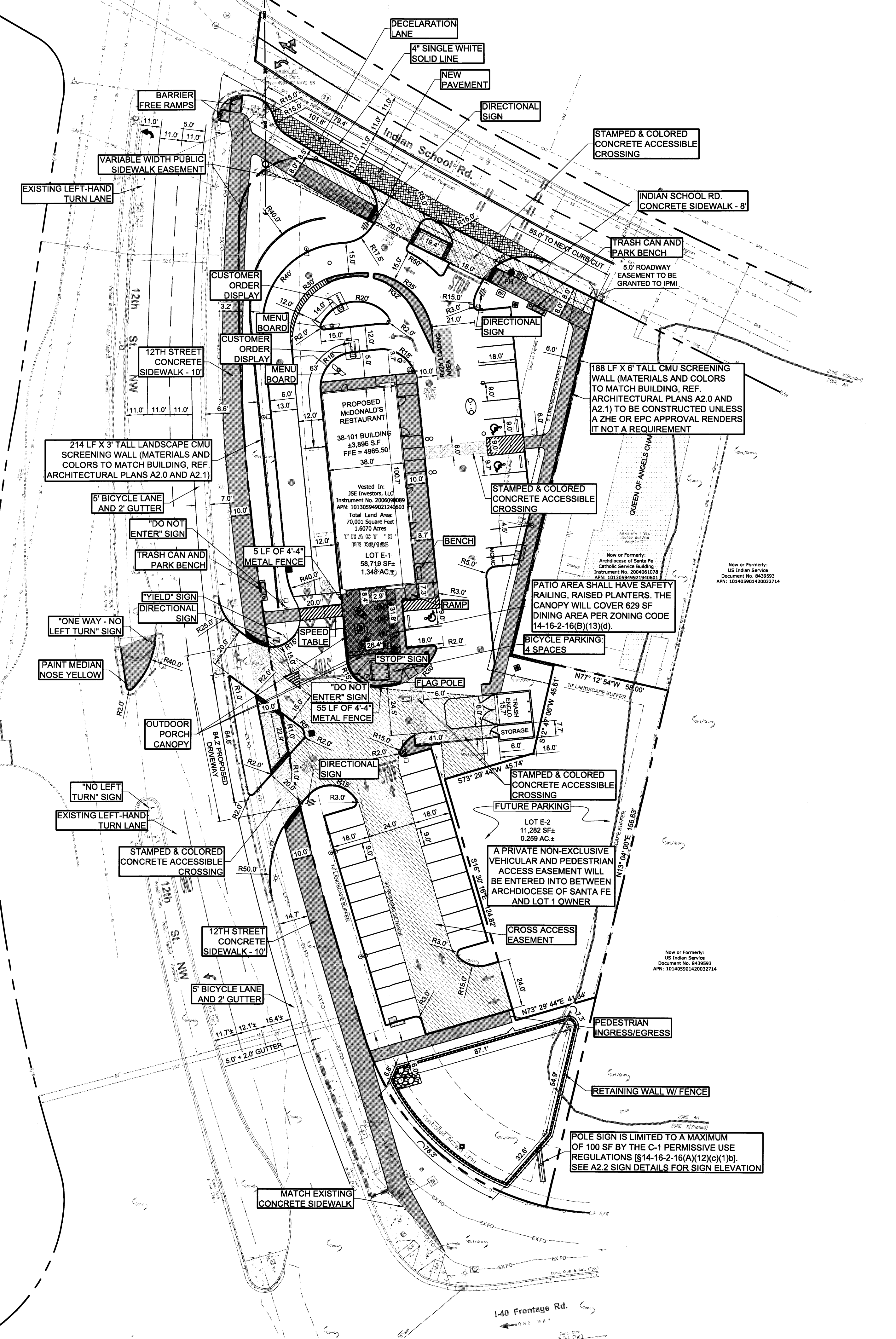
| CURVE | RADIUS | ARC LENGTH | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|----------|------------|-------------|---------------|--------------|
| C1 | 15.00' | 36.76' | 140°25'19" | N 86°42'56" W | 28.23' |
| C2 | 1145.92' | 85.23' | 4°15'41" | N 11°16'51" W | 85.21' |
| C3 | 5.00' | 6.68' | 76°30'02" | N 43°53'51" W | 6.19' |
| C4 | 15.00' | 29.94' | 114°21'24" | S 40°40'26" W | 25.21' |
| C5 | 15.00' | 23.56' | 90°00'00" | S 61°30'16" E | 21.21' |
| C6 | 1145.92' | 252.38' | 12°37'09" | N 10°11'42" W | 251.87' |
| C7 | 1145.92' | 106.35' | 5°19'03" | N 01°13'36" W | 106.31' |
| C8 | 30.00' | 60.37' | 115°17'58" | N 59°04'55" E | 50.69' |
| C9 | 30.00' | 14.81' | 28°16'59" | S 15°34'25" W | 14.66' |
| C10 | 1684.33' | 96.39' | 3°16'44" | S 1°24'10" W | 96.38' |
| C11 | 1533.88' | 24.07' | 0°53'57" | S 01°40'10" E | 24.07' |
| C12 | 1145.92' | 358.73' | 17°56'12" | N 07°32'10" W | 357.27' |
| C13 | 1145.92' | 49.75' | 2°29'14" | N 02°40'33" E | 49.74' |
| C14 | 30.00' | 27.81' | 53°07'04" | N 27°59'27" E | 26.83' |
| C15 | 30.00' | 32.56' | 62°10'55" | N 85°38'27" E | 30.98' |



MONUMENTATION LEGEND

- - Monumentation Found as Noted
- - 3/4" Iron Rod Set

Millman National Land Services
 1742 Georgetown Road, Suite H, Hudson, OH 44236
 Phone: 800-520-1010 Fax: 330-342-0834
 Drawn By: JFD Project No.: 29375



LOT #1 (McDONALD'S USA):

PARKING RATIO - 1 PER EVERY 4 SEATS (64 INTERIOR + 22 PATIO)
 TOTAL PARKING REQUIRED = 22 (4864 + 215)
 TOTAL PARKING PROVIDED = 37 PARKING SPACES
 TOTAL MOTORCYCLES = 2 PARKING SPACES PROVIDED
 TOTAL DISABLED PARKING SPACES PROVIDED = 3
 PROPOSED USE - FAST FOOD RESTAURANT WITH DRIVE-UP SERVICE
 CURRENT ZONING - R-1 (RESIDENTIAL)
 PROPOSED ZONING - SU-1 FOR C-1 PERMISSIVE USES AND DRIVE-UP SERVICE WINDOW
 LANDSCAPE SETBACK - 10'
 SIDEWALK WIDTH -
 INDIAN SCHOOL ROAD: 8-FOOT MINIMUM SIDEWALK
 12TH STREET: 10-FOOT MINIMUM SIDEWALK
 PEDESTRIAN INGRESS AND EGRESS - SEE SIDEWALKS AND CROSSWALKS ON SITE PLAN
 INTERNAL CIRCULATION REQUIREMENTS - SEE VEHICULAR CIRCULATION LAYOUT ON SITE PLAN
 VEHICULAR INGRESS AND EGRESS - SEE INTERNAL DRIVE AISLES ON SITE PLAN. CURB CUTS ON 12th (PROPOSED ACCESS: RIGHT IN, RIGHT OUT). SEE "INDIAN SCHOOL PRIVATE ROADWAY" COMMENTS BELOW.
 MINIMUM BUILDING SETBACK - 30'
 MAXIMUM BUILDING HEIGHT - 24' 3"
 MAXIMUM FAR - 1
 BUILDING CONSTRUCTION TYPE - VB
 BUILDING WILL HAVE FIRE SPRINKLERS.

LOT #2: (CURRENT VACANT - PHASE II)

PROPOSED USE - THE PROPOSED USE SHALL BE A PARKING LOT BENEFITING THE QUEEN OF ANGELS CHAPEL OR SHALL OTHERWISE BE CONSISTENT WITH THE SU-1 FOR C-1 USES AND DRIVE THRU SERVICE WINDOW. PARKING LOT USE IS AS REGULATED IN THE O-1 ZONE PER 14-16-2-16(A)(10).
 CURRENT ZONING - R-1 (RESIDENTIAL)
 PROPOSED ZONING - SU-1 FOR C-1 PERMISSIVE USES AND DRIVE-UP SERVICE WINDOW
 LANDSCAPE SETBACK - 10'
 SIDEWALK WIDTH - 6-FOOT MINIMUM
 PEDESTRIAN INGRESS AND EGRESS - DURING 2nd PHASE.
 INTERNAL CIRCULATION REQUIREMENTS - DURING PHASE II
 VEHICULAR INGRESS AND EGRESS - DURING PHASE II, PROVIDED HOWEVER LOT 1 SHALL PROVIDE A CROSS-ACCESS EASEMENT TO THE BENEFIT OF LOT 2 PROVIDING VEHICULAR ACCESS TO 12TH STREET.
 MINIMUM BUILDING SETBACK - 30'
 MAXIMUM BUILDING HEIGHT - 20'
 MAXIMUM FAR - 2

COMPLIANCE NOTES

SITE LIGHTING TO BE IN COMPLIANCE WITH 14-16-3-9, AREA LIGHTING REGULATIONS

SIGNAGE TO BE IN COMPLIANCE WITH 14-16-3-5, GENERALS SIGN REGULATIONS

SCREENING NOTE

GROUND-MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, EXCLUDING TRANSFORMERS, SHALL BE SCREENED THROUGH USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICES IN COMPLIANCE WITH 14-16-3-18

SITE LIGHTING

ESTIMATED FIXTURE TYPE: RSB/RCS-250PSMH-III-MT
 ESTIMATED POLE TYPE: SSP-4113-GL (4")

THE MAXIMUM HEIGHT OF A LIGHT POLE, MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE, WITHIN 100' OF A RESIDENTIAL ZONE SHALL BE 16'; OTHERWISE, OUTSIDE OF 100' OF A RESIDENTIAL ZONING SHALL BE 20'

INDIAN SCHOOL PRIVATE ROADWAY:

VEHICULAR INGRESS AND EGRESS - PRIVATE INDIAN SCHOOL ROAD IMPROVEMENTS TO PROVIDE FOR PROVIDING UNDERGROUNDING THE OVERHEAD ELECTRIC WIRES TO THE SUBJECT PROPERTY AND QUEEN OF ANGELS CHAPEL PROPERTY IN A FUTURE PHASE AND WIDENING EXISTING INDIAN SCHOOL ROAD TO ACCOMMODATE THE IMPROVEMENTS SHOWN ON C1.0. DRIVEWAY CONNECTION TO INDIAN SCHOOL ROAD IS TO BE FULL ACCESS.

ACCESS TO PRIVATE INDIAN SCHOOL ROAD SUBJECT TO FULL AGREEMENT AND EXECUTION WITH INDIAN SCHOOL ROAD OWNER

INDIAN SCHOOL ROAD IMPROVEMENTS ARE CONTINGENT AND SUBJECT TO OBTAINING APPROPRIATE APPROVALS INCLUDING BUT NOT LIMITED TO PLAN REVIEW, INSPECTIONS, PERMIT FEES AND FINANCIAL GUARANTEES. THE APPLICANT WILL NOT BE ABLE TO OBTAIN A CERTIFICATE OF OCCUPANCY UNTIL THE INDIAN SCHOOL ROAD IMPROVEMENTS (PROCEDURE A) HAVE BEEN COMPLETED TO THE SATISFACTION OF THE CITY.

PROJECT NUMBER: 1003479

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|---|------|
| Traffic Engineering, Transportation Division | Date |
| ABCWUA | Date |
| Parks and Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

POWER POLE NOTE:
 ACCORDING TO PHM, McDONALDS TO INSTALL TWO NEW POWER POLES THAT ARE 45 FEET HIGH WITH A MAXIMUM WIRE SPAN OF 300 FEET. THIS WOULD ELIMINATE THE NEED FOR THE FOUR SMALLER WOODEN POLES CURRENTLY LOCATED WITHIN THE INDIAN SCHOOL ROW

DATE: _____

REVISIONS: _____

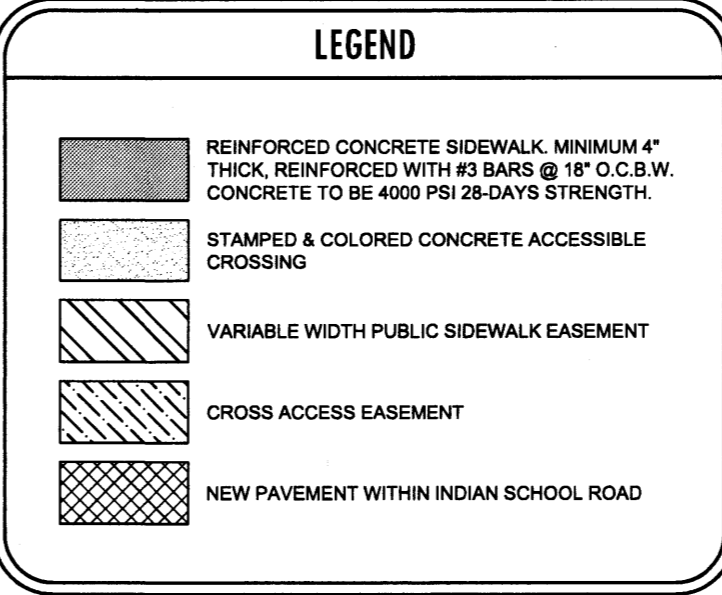
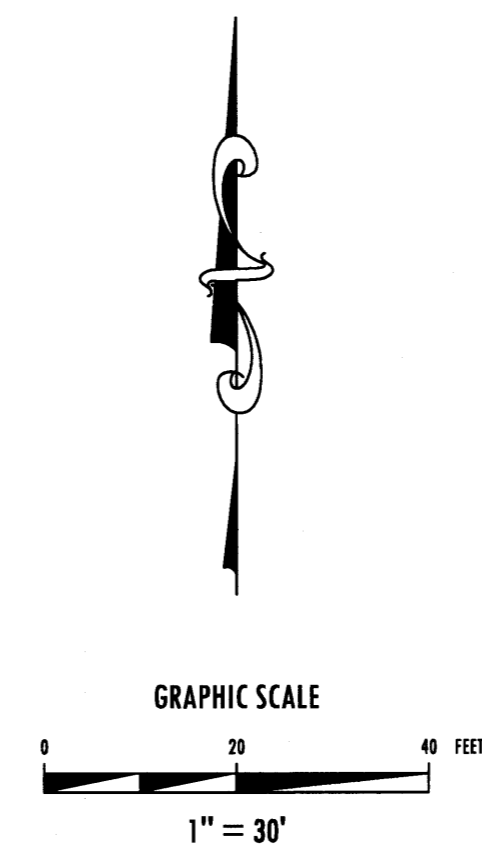
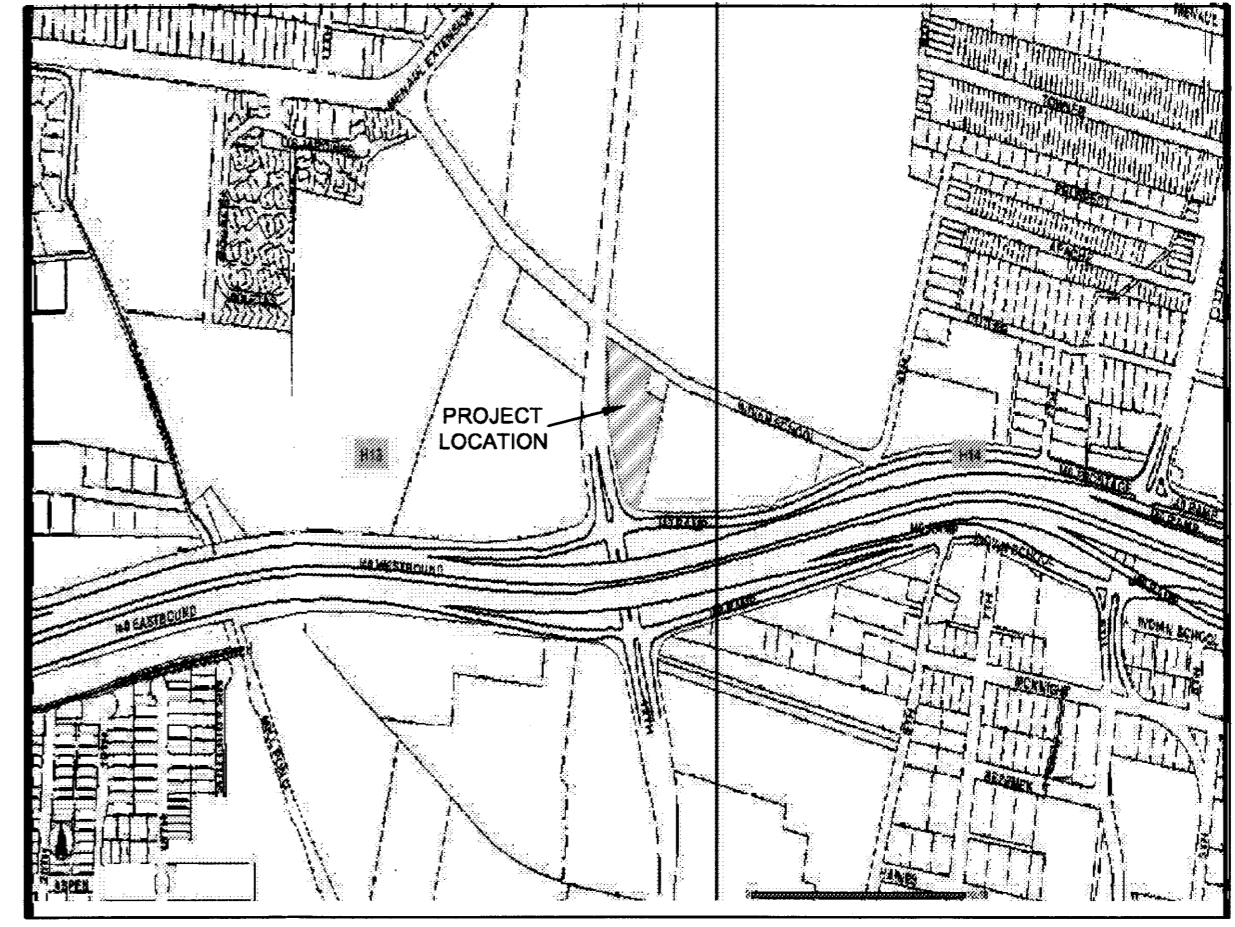
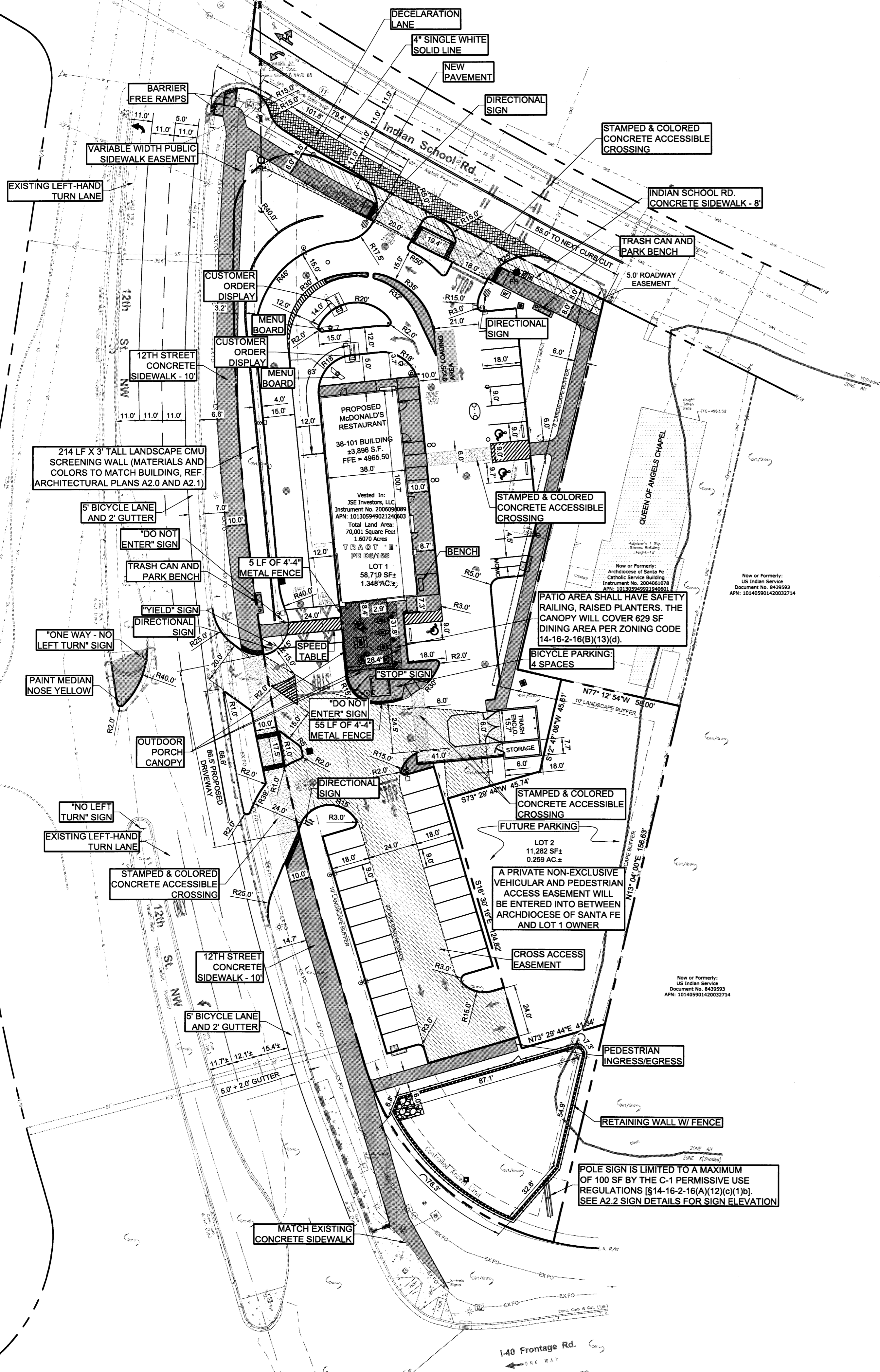
Adams ENGINEERING
 910 S. Kimball Avenue • Southlake, Texas 76092 • (817) 328-3200

I-40 & 12TH STREET ALBUQUERQUE, NM

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

PROJECT NO.: _____
 PROJECT TIER: CHI
 DATE DRAWN: 07/16/2013
 JOB NO.: 2009-056
 SHEET NO.: C1.0

© Copyright 2013, Adams Engineering



LOT #1 (McDONALD'S USA):

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 CURB CUTS ON 12th (PROPOSED ACCESS: RIGHT IN, RIGHT OUT). SEE "INDIAN SCHOOL PRIVATE ROADWAY" COMMENTS BELOW.
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 SIDEWALK WIDTH - 6-FOOT MINIMUM
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 VEHICULAR INGRESS AND EGRESS - DURING PHASE II, PROVIDED HOWEVER LOT 1 SHALL PROVIDE A CROSS-ACCESS EASEMENT TO THE BENEFIT OF LOT 2 PROVIDING VEHICULAR ACCESS TO 12TH STREET.
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COMPLIANCE NOTES

SITE LIGHTING TO BE IN COMPLIANCE WITH 14-16-3-9, AREA LIGHTING REGULATIONS
 SIGNAGE TO BE IN COMPLIANCE WITH 14-16-3-5, GENERAL SIGN REGULATIONS

SCREENING NOTE

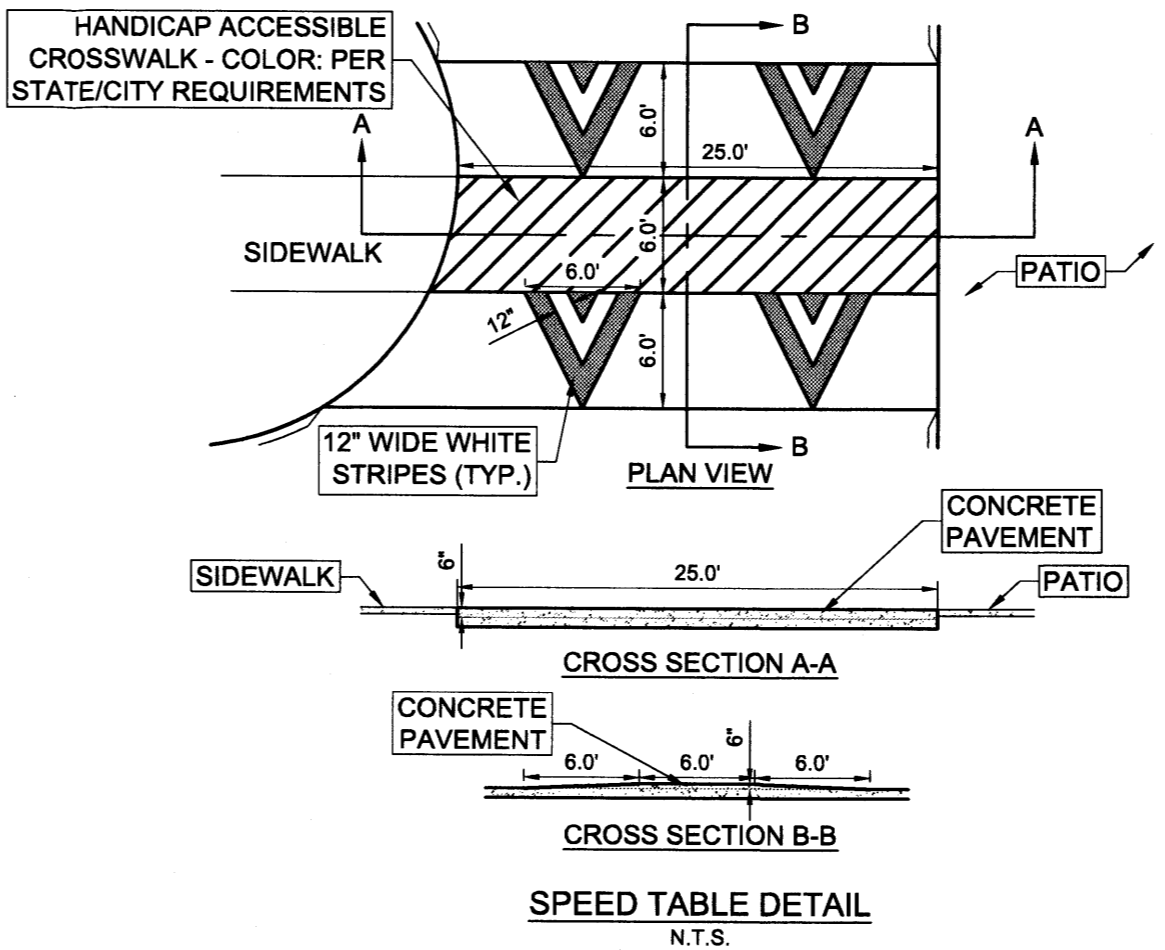
GROUND-MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, EXCLUDING TRANSFORMERS, SHALL BE SCREENED THROUGH USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICES IN COMPLIANCE WITH 14-16-3-18

SITE LIGHTING

ESTIMATED FIXTURE TYPE: RSB/RCS-250PSMH-III-MT
 ESTIMATED POLE TYPE: SSP-4113-GL (4")
 THE MAXIMUM HEIGHT OF A LIGHT POLE, MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE, WITHIN 100' OF A RESIDENTIAL ZONE SHALL BE 16'; OTHERWISE, OUTSIDE OF 100' OF A RESIDENTIAL ZONING SHALL BE 20'

INDIAN SCHOOL PRIVATE ROADWAY:

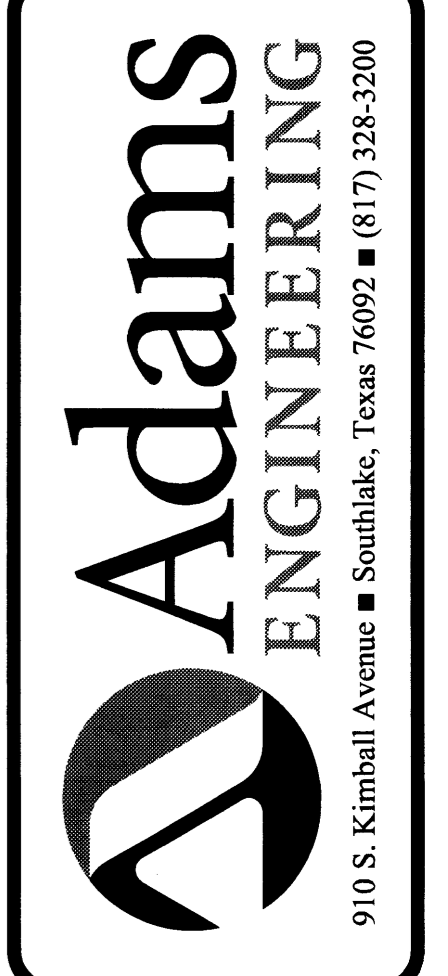
VEHICULAR INGRESS AND EGRESS - PRIVATE INDIAN SCHOOL ROAD IMPROVEMENTS TO PROVIDE FOR PROVIDING UNDERGROUNDING THE OVERHEAD ELECTRIC WIRES TO THE SUBJECT PROPERTY AND QUEEN OF ANGELS CHAPEL PROPERTY IN A FUTURE PHASE AND WIDENING EXISTING INDIAN SCHOOL ROAD TO ACCOMMODATE THE IMPROVEMENTS SHOWN ON C1.0. DRIVEWAY CONNECTION TO INDIAN SCHOOL ROAD IS TO BE FULL ACCESS.
 ACCESS TO PRIVATE INDIAN SCHOOL ROAD SUBJECT TO FULL AGREEMENT AND EXECUTION WITH INDIAN SCHOOL ROAD OWNER
 INDIAN SCHOOL ROAD IMPROVEMENTS ARE CONTINGENT AND SUBJECT TO OBTAINING APPROPRIATE APPROVALS INCLUDING BUT NOT LIMITED TO PLAN REVIEW, INSPECTIONS, PERMIT FEES AND FINANCIAL GUARANTEES



POWER POLE NOTE:
 ACCORDING TO PNM, McDONALDS TO INSTALL TWO NEW POWER POLES THAT ARE 45 FEET HIGH WITH A MAXIMUM WIRE SPAN OF 300 FEET. THIS WOULD ELIMINATE THE NEED FOR THE FOUR SMALLER WOODEN POLES CURRENTLY LOCATED WITHIN THE INDIAN SCHOOL ROW

| | |
|-----------|--|
| DATE | |
| REVISIONS | |

Adams Engineering
 910 S. Kimball Avenue
 Southlake, Texas 76092
 (817) 326-3200

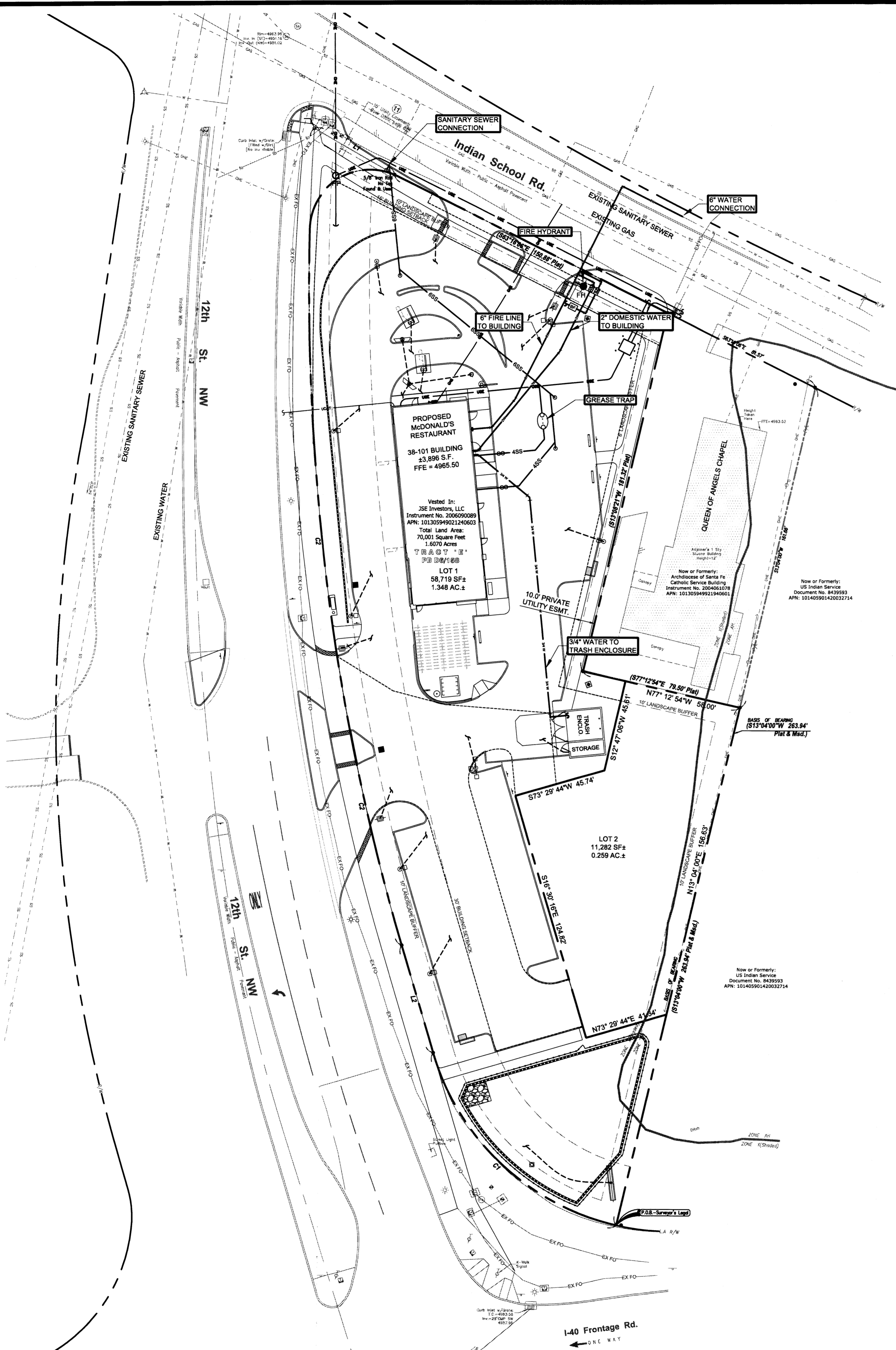


I-40 & 12TH STREET
 ALBUQUERQUE, NM
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

| | |
|---------------|------------|
| PROJECT MGR. | GRA |
| PROJECT TECH. | CHI |
| DATE DRAWN | 07/08/2013 |
| JOB NO. | 2009-056 |
| SHEET NO. | C1.0 |

© Copyright 2013, Adams Engineering

FULL PATH: \\projects\2009\05\06 McDowd\Abuquerque NM (I-40 & 12th Street)\1\Conceptual Utility Plan
 PLOTTER: Adobe PDF
 PLOT DATE: Monday, July 08, 2013
 PLOTTED BY: Heather Moser
 PLOT TIME: 5:23:43 PM
 FILENAME: UTILITY PLAN.dwg



PROPOSED MCDONALD'S RESTAURANT
 38-101 BUILDING
 ±3,896 S.F.
 FFE = 4965.50

Vested In:
 352 Investors, LLC
 Instrument No. 2006090089
 APN: 10130394902240603
 Total Land Area:
 70,001 Square Feet
 1.6070 Acres
 10/27/08

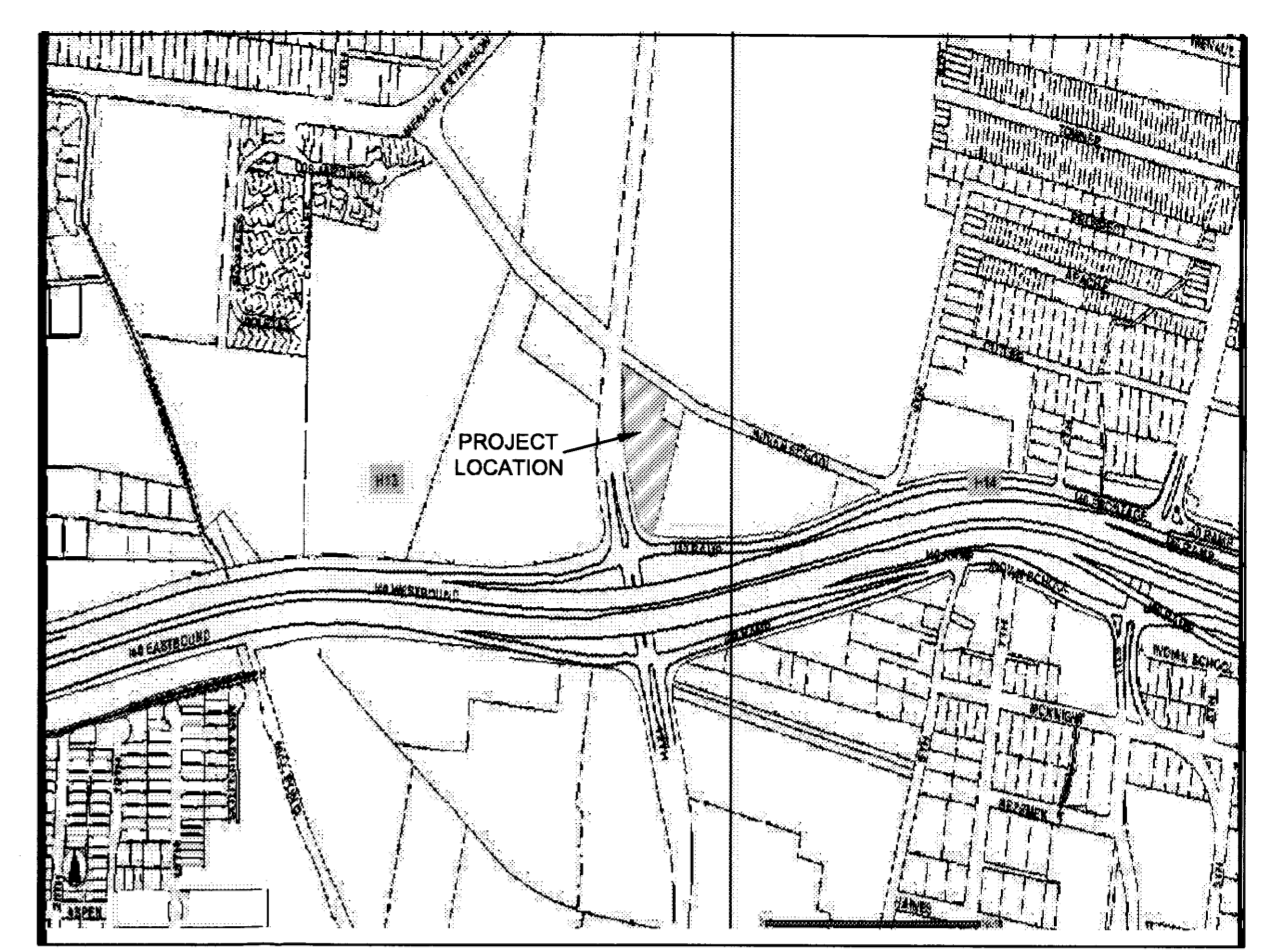
LOT 1
 58,719 SF±
 1.348 AC.±

QUEEN OF ANGELS CHAPEL
 10.0 PRIVATE UTILITY ESMT

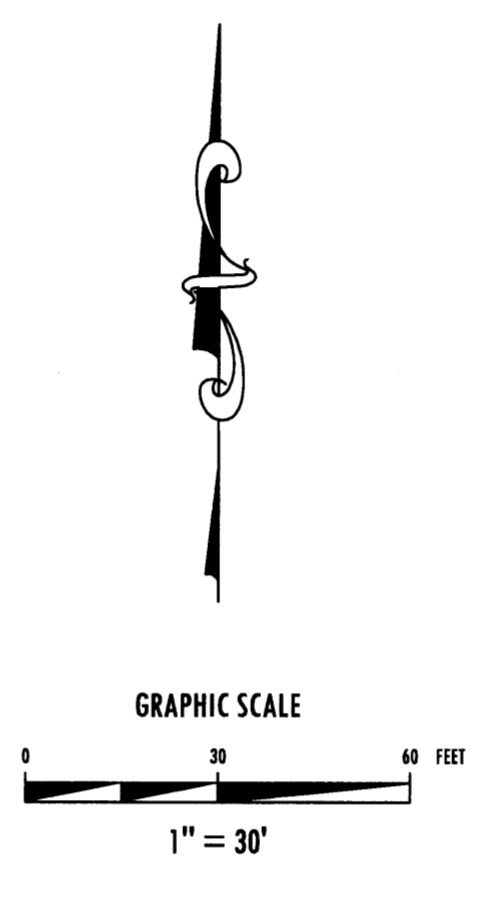
LOT 2
 11,282 SF±
 0.259 AC.±

Now or Formerly:
 US Indian Service
 Document No. 8439053
 APN: 101405901420032714

Now or Formerly:
 US Indian Service
 Document No. 8439053
 APN: 101405901420032714

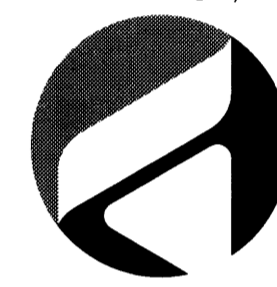


VICINITY MAP
 N.T.S.



| REVISIONS | DATE | BY |
|-----------|------|----|
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The contents of this drawing were prepared by Adams Engineering, Inc. as an agent for the property of Adams, Inc. The drawings and information herein are to be used only by the party to whom they were provided and are not to be used for any other purpose without the express written consent of Adams Engineering, Inc. No responsibility is assumed by Adams Engineering, Inc. for any use of the information contained herein for purposes other than those intended. © Adams Engineering, Inc.



Adams
ENGINEERING

910 S. Kimball Avenue ■ Southlake, Texas 76092 ■ (817) 328-3200

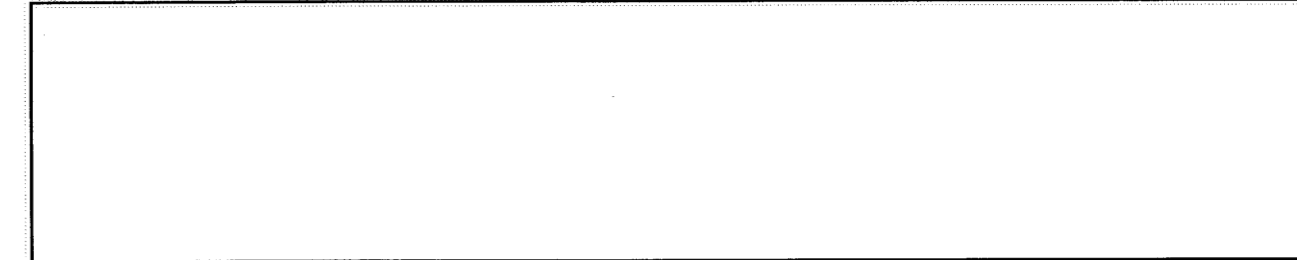
**I-40 & 12TH STREET
 ALBUQUERQUE, NM**

CONCEPTUAL UTILITY PLAN

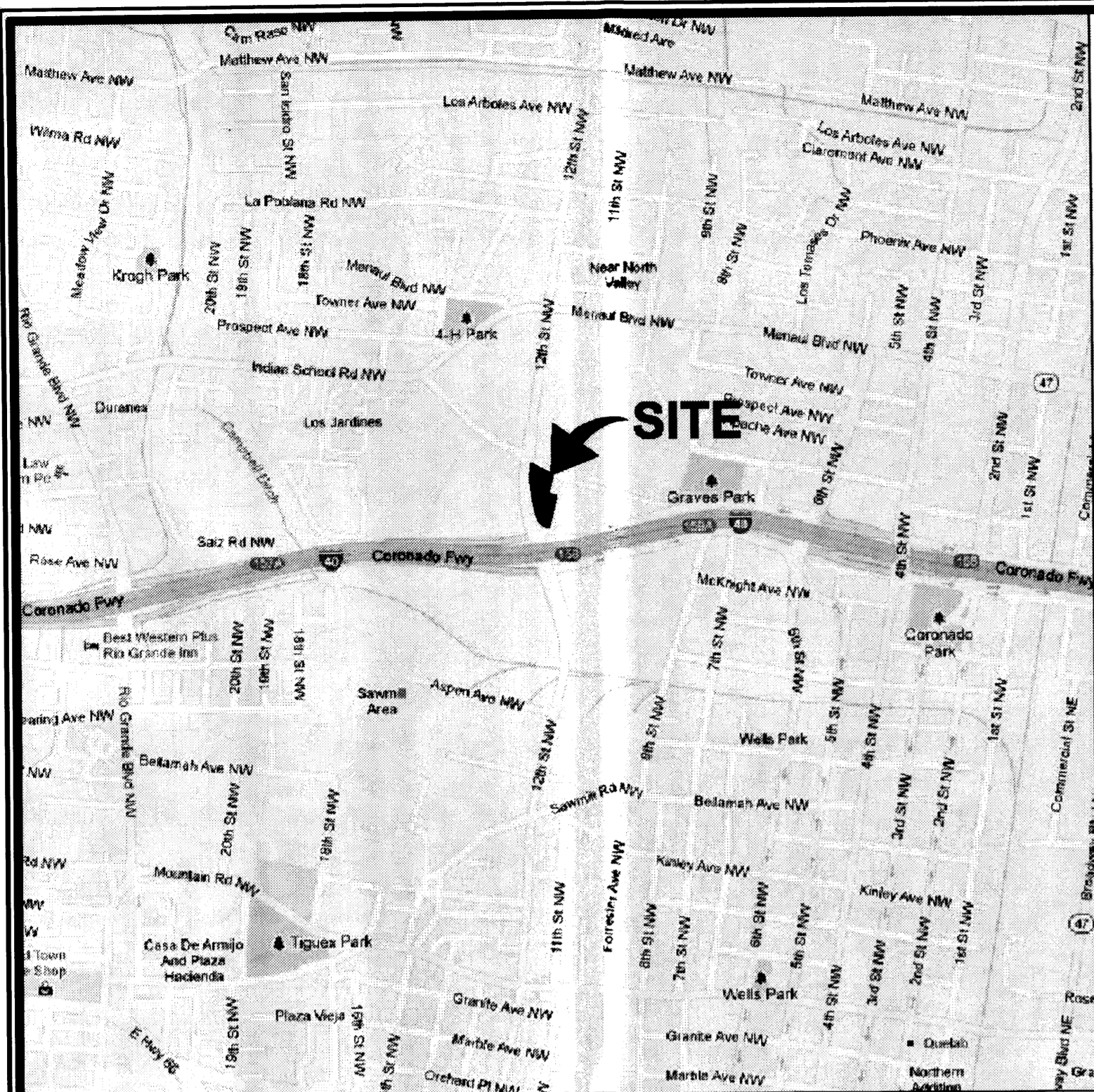
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|--------------------------|
| PROJECT MGR. GRA |
| PROJECT TECH. CHI |
| DATE DRAWN 07/08/2013 |
| JOB NO. 2009-056 |
| SHEET NO. C4.0 |

© Copyright 2013, Adams Engineering



PLAT OF
LOT E-1 & E-2
 Lands of
ST. ANTHONY'S ORPHANAGE
 Projected Section 7, T10N, R3E, NMPM
 Town of Albuquerque Land Grant
 City of Albuquerque
 Bernalillo County, New Mexico
 June 2013



Vicinity Map (not to scale)

Zone Page H-13

LEGAL DESCRIPTION:

A certain parcel of land situated in the City of Albuquerque, County of Bernalillo, State of New Mexico and being Tract lettered "E" of the Land of St. Anthony's Orphanage, recorded in Plat Book 06, Page 158. Being all of the same land conveyed to JSE Investors, LLC, a New Mexico limited liability company, by that certain Warranty Deed dated June 17, 2006 and filed for record June 19, 2006 as Instrument No. 20060600689 and being more particularly described as follows:

BEGINNING at a 3/4" iron rod with aluminum cap found at the Southernmost corner of said Tract "E", the same being the turnout from the North line of I-40 Frontage Road (variable width - public) to the East line of 12th Street NW (variable width - public);

Thence along said turnout and along the arc of non-tangent curve to the right having a radius of 122.65 feet, an arc length of 130.23 feet, a central angle of 60°50'12", a chord bearing North 48°55'22" West and having a chord length of 124.20 feet to a 3/4" iron rod set in the East line of said 12th Street NW;

Thence North 16°30'16" West, along the East line of 12th Street NW, a distance of 55.64 feet to a 3/4" iron rod with no tag found;

Thence continuing along the same and along the arc of a curve to the right having a radius of 1145.92 feet, an arc length of 408.48 feet, a central angle of 20°25'25", a chord bearing North 06°17'33" West and having a chord length of 406.32 feet to a 3/4" iron rod set at the intersection of the East line of 12th Street NW with the South line of Indian School Road (variable width - public);

Thence South 60°01'00" East, along the South line of Indian School Road, a distance of 45.81 feet to a 5/8" iron rod with no tag found at an angle point;

Thence South 63°16'06" East, continuing along the same, a distance of 150.88 feet to an iron spike with shiner set at the Northwest corner of land now or formerly conveyed to Archdiocese of Santa Fe Catholic Service Building (Instrument No. 2004061078);

Thence South 13°08'21" West, along the West line of Santa Fe Catholic Service Building, a distance of 181.32 feet to a 3/4" iron rod set;

Thence South 77°12'54" East, along the South line of said land, a distance of 79.50 feet to a 5/8" rebar with no tag found on the West line of land now or formerly conveyed to US Indian Service (Document No. 8438593);

Thence South 13°04'00" West, along the West line of US Indian Service, a distance of 263.94 feet to the POINT OF BEGINNING.

Containing 70,001 square feet or 1.6070 acres of land, more or less, as surveyed in January of 2013 by Mitchell J. Duryea, PS, New Mexico Professional Surveyor No. 19237, for and on behalf of Millman Surveying, Inc. and is subject to all legal highways and easements of record.

All recording references made herein are of Bernalillo County Records.

SOLAR NOTE:

No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision.

FREE CONSENT & DEDICATION

The undersigned owner(s) and proprietor(s) of the property described hereon do hereby consent to the platting of said property and the same is with their free consent and in accordance with their desire. Said owners warrant that they hold complete and indefeasible title in fee simple to the land subdivided. The undersigned hereby grant the easements as shown and noted hereon. The undersigned hereby dedicate additional right of way to the City of Albuquerque in fee simple with warrant covenant.

Joshua J. Skaragard, Managing Member
 Paseo Pavilion @ 2nd Street, LLC
 a New Mexico limited liability company

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____, 2013
 BY: _____
 MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

SURVEYOR'S CERTIFICATION

I, Mitchell J. Duryea, a licensed Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.



Mitchell J. Duryea, New Mexico Professional Surveyor No. 19237 _____ Date

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO SPLIT AN EXISTING LOT INTO TWO LOTS AND GRANT ANY EASEMENTS AS SHOWN HEREON AND TO DEDICATE ADDITIONAL STREET RIGHT OF WAY TO THE CITY OF ALBUQUERQUE.

PROJECT NUMBER: _____
 Application Number: _____

PLAT APPROVAL

Utility Approvals:

| | | | |
|------------------------|-------|------|-------|
| PNM Electric Services | _____ | Date | _____ |
| New Mexico Gas Company | _____ | Date | _____ |
| Century Link | _____ | Date | _____ |
| Concast | _____ | Date | _____ |

City Approvals:

| | | | |
|--|-------|------|-------|
| City Surveyor | _____ | Date | _____ |
| Real Property Division | _____ | Date | _____ |
| Environmental Health Department | _____ | Date | _____ |
| Traffic Engineering, Transportation Division | _____ | Date | _____ |
| ABCWA | _____ | Date | _____ |
| Parks and Recreation Department | _____ | Date | _____ |
| AMAFCA | _____ | Date | _____ |
| City Engineer | _____ | Date | _____ |
| DRB Chairperson, Planning Department | _____ | Date | _____ |

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS-OF-WAY, ASSESSMENTS AND LIENS ARE FULLY RESERVED TO SAID DISTRICT AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE _____

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON TIME

UPC#: _____

PROPERTY OWNER OF RECORD _____

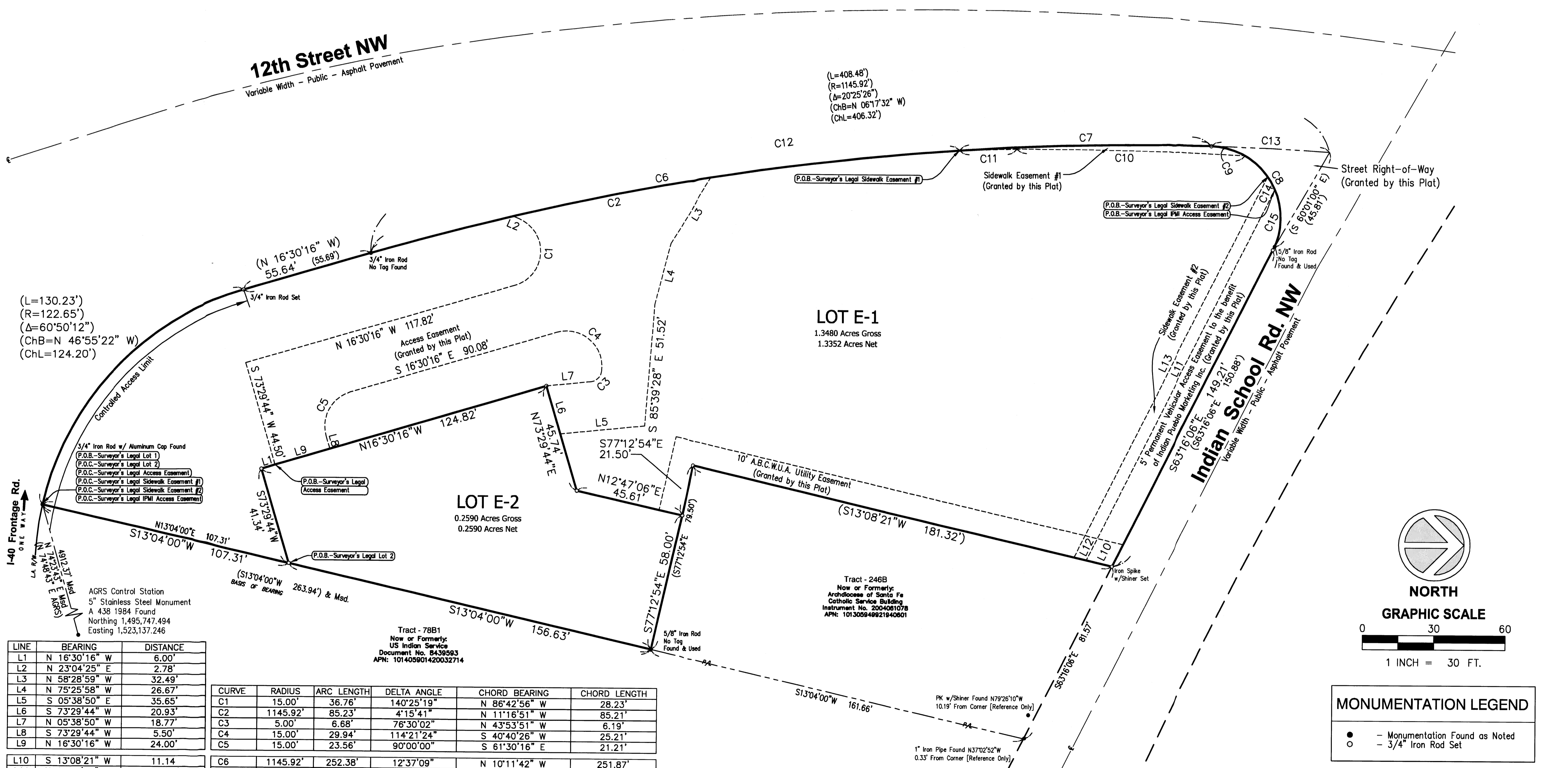
BERNALILLO COUNTY TREASURER'S OFFICE _____ DATE _____

SUBDIVISION DATA / NOTES

- The basis for all bearings shown hereon is the southeast line of the subject property, known as being South 13°04'00" West, per Plat Book D6, Page 158 of the Bernalillo County Records. Reference to AGRS Monument A 438 is indicated hereon for AGRS positioning.
- Distances are ground measurement in U.S. feet.
- Record bearings and distances are in parentheses () as per plat of Lands of St. Anthony's Orphanage, filed on June 19, 1975 in Plat Book D6, Page 158.
- Gross platted area: 1.6070 Acres, more or less.
- Number of existing lots: 1
- Number of lots created: 2
- The property is zoned R-1.
- The property appears to lie partially in Zone X-Shaded (Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood) and partially in Zone AH (Areas of flood hazard. Flood depths of 1-3 feet (usually areas of ponding); base flood elevations determined [BFE=4964'] according to the Flood Insurance Rate Map for the County of Bernalillo, Community Panel No. 35001C0331H, Effective Date 08/16/2012.

COUNTY CLERK RECORDING STAMP

PLAT OF
LOT E-1 & E-2
 Lands of
ST. ANTHONY'S ORPHANAGE
 Projected Section 7, T10N, R3E, NMPM
 Town of Albuquerque Land Grant
 City of Albuquerque
 Bernalillo County, New Mexico
 June 2013



(L=130.23')
 (R=122.65')
 (Δ=60°50'12")
 (ChB=N 46°55'22" W)
 (ChL=124.20')

(L=408.48')
 (R=1145.92')
 (Δ=20°25'26")
 (ChB=N 06°17'32" W)
 (ChL=406.32')

LOT E-1
 1.3480 Acres Gross
 1.3352 Acres Net

LOT E-2
 0.2590 Acres Gross
 0.2590 Acres Net

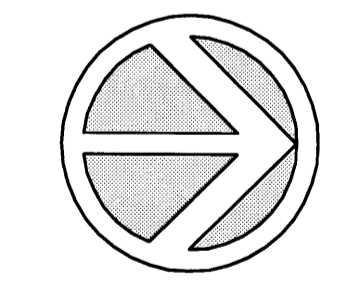
Tract - 246B
 Now or Formerly:
 Archdiocese of Santa Fe
 Catholic Service Building
 Instrument No. 2004061078
 APN: 101305949821940601

Tract - 78B1
 Now or Formerly:
 US Indian Service
 Document No. B439593
 APN: 101405901420032714

AGRS Control Station
 5" Stainless Steel Monument
 A 438 1984 Found
 Northing 1,495,747.494
 Easting 1,523,137.246

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 16°30'16" W | 6.00' |
| L2 | N 23°04'25" E | 2.78' |
| L3 | N 58°28'59" W | 32.49' |
| L4 | N 75°25'58" W | 26.67' |
| L5 | S 05°38'50" E | 35.65' |
| L6 | S 73°29'44" W | 20.93' |
| L7 | N 05°38'50" W | 18.77' |
| L8 | S 73°29'44" W | 5.50' |
| L9 | N 16°30'16" W | 24.00' |
| L10 | S 13°08'21" W | 11.14' |
| L11 | N 63°16'06" W | 174.91' |
| L12 | S 13°08'21" W | 5.32' |
| L13 | N 63°16'06" W | 179.61' |

| CURVE | RADIUS | ARC LENGTH | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|----------|------------|-------------|---------------|--------------|
| C1 | 15.00' | 36.76' | 140°25'19" | N 86°42'56" W | 28.23' |
| C2 | 1145.92' | 85.23' | 4°15'41" | N 11°16'51" W | 85.21' |
| C3 | 5.00' | 6.68' | 78°30'02" | N 43°53'51" W | 6.19' |
| C4 | 15.00' | 29.94' | 114°21'24" | S 40°40'26" W | 25.21' |
| C5 | 15.00' | 23.56' | 90°00'00" | S 61°30'16" E | 21.21' |
| C6 | 1145.92' | 252.38' | 12°37'09" | N 10°11'42" W | 251.87' |
| C7 | 1145.92' | 106.35' | 5°19'03" | N 01°13'36" W | 106.31' |
| C8 | 30.00' | 60.37' | 115°17'58" | N 59°04'55" E | 50.69' |
| C9 | 30.00' | 14.81' | 28°16'59" | S 15°34'25" W | 14.66' |
| C10 | 1684.33' | 96.39' | 3°16'44" | S 1°24'10" W | 96.38' |
| C11 | 1533.88' | 24.07' | 0°53'57" | S 01°40'10" E | 24.07' |
| C12 | 1145.92' | 358.73' | 17°56'12" | N 07°32'10" W | 357.27' |
| C13 | 1145.92' | 49.75' | 2°29'14" | N 02°40'33" E | 49.74' |
| C14 | 30.00' | 6.23' | 11°53'53" | N 60°29'56" E | 6.22' |
| C15 | 30.00' | 26.33' | 50°17'02" | S 88°24'37" E | 25.49' |



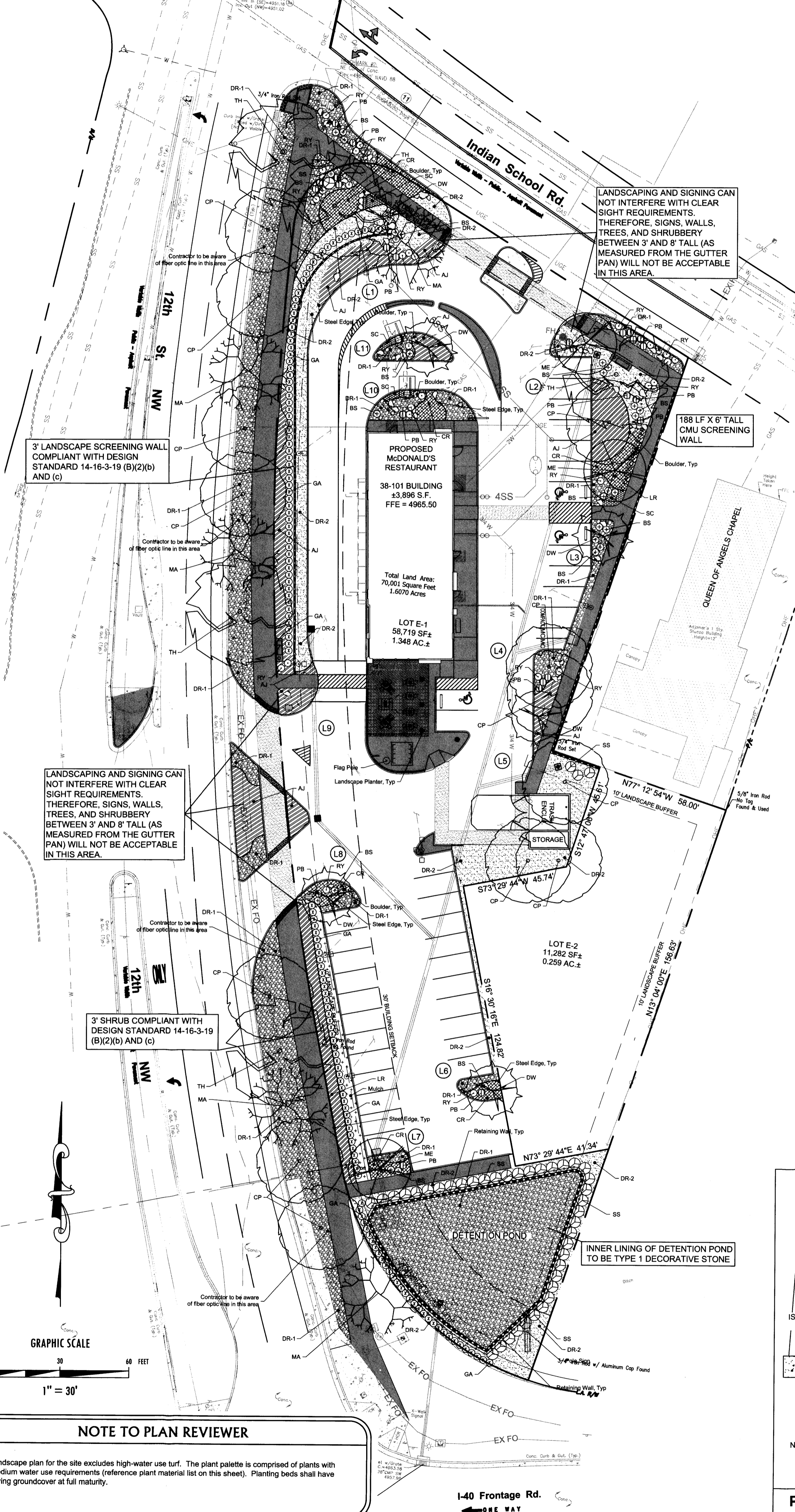
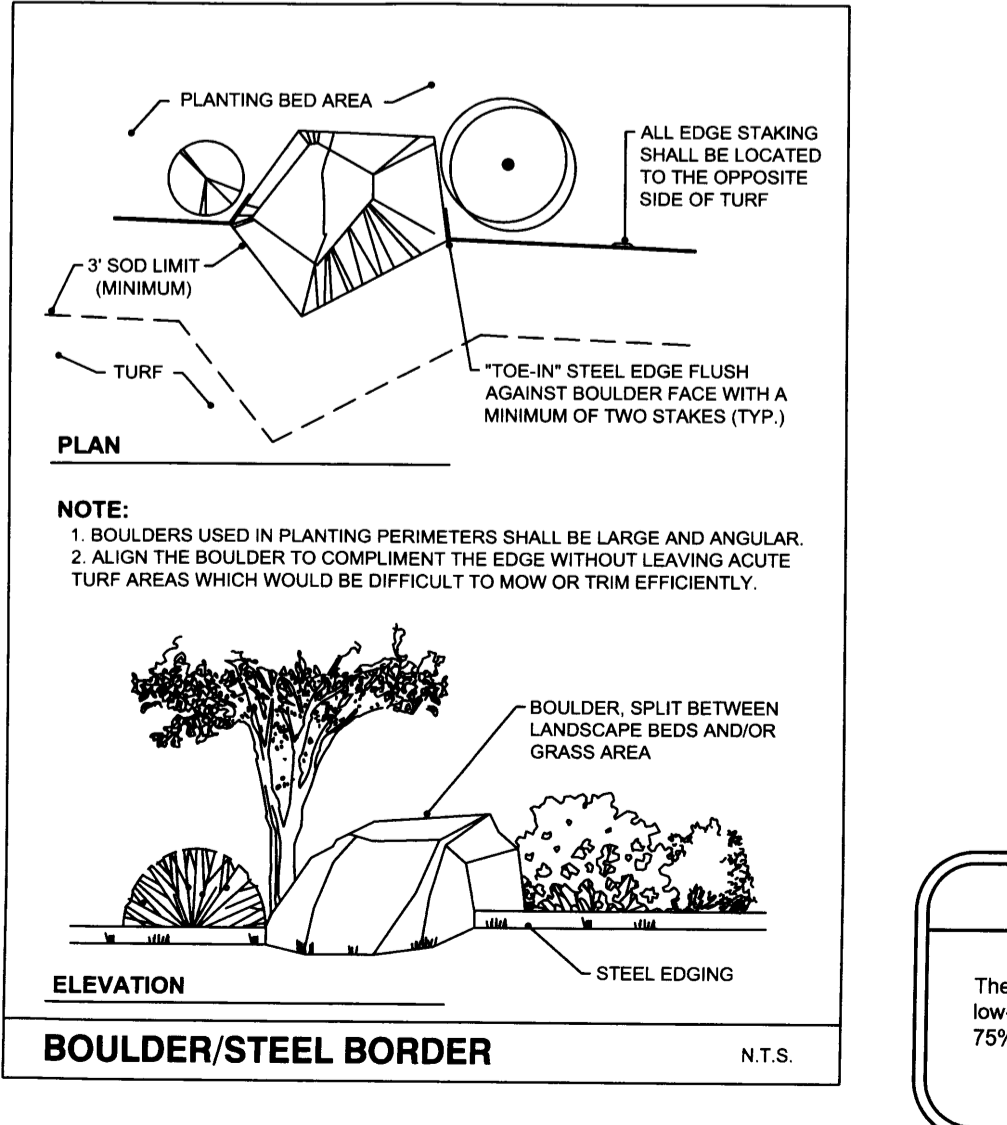
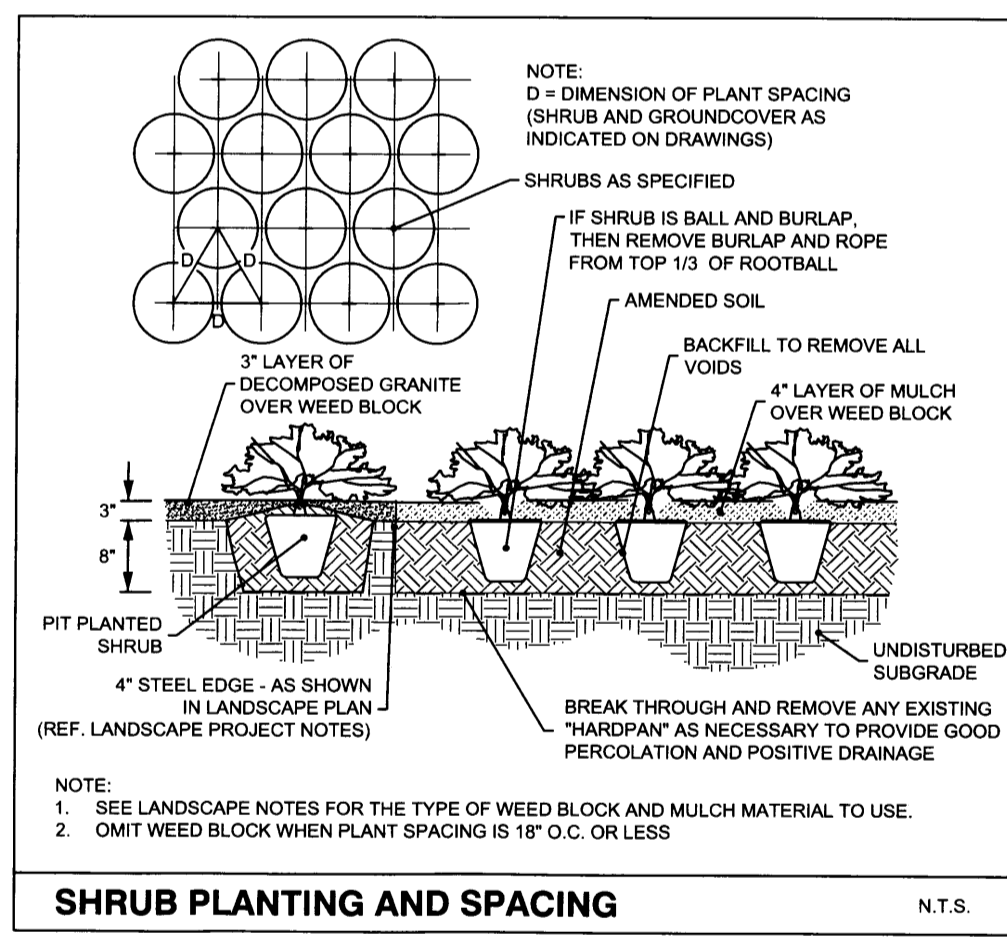
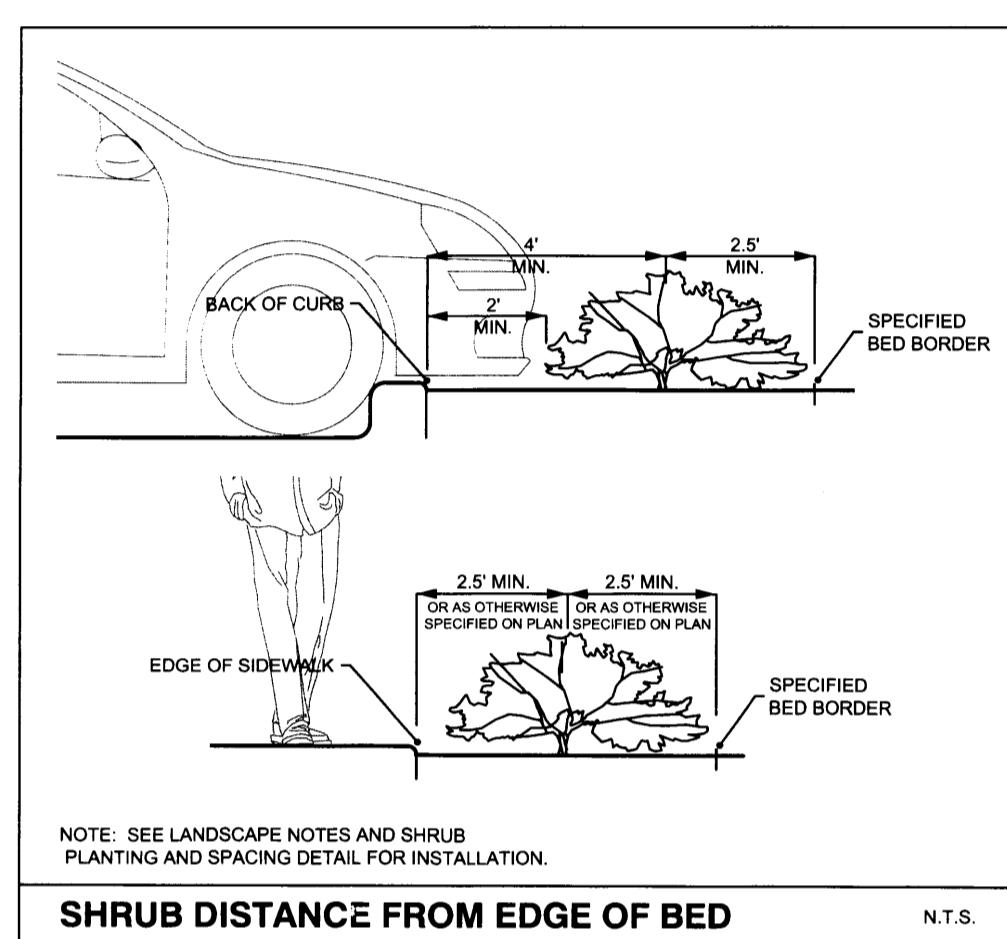
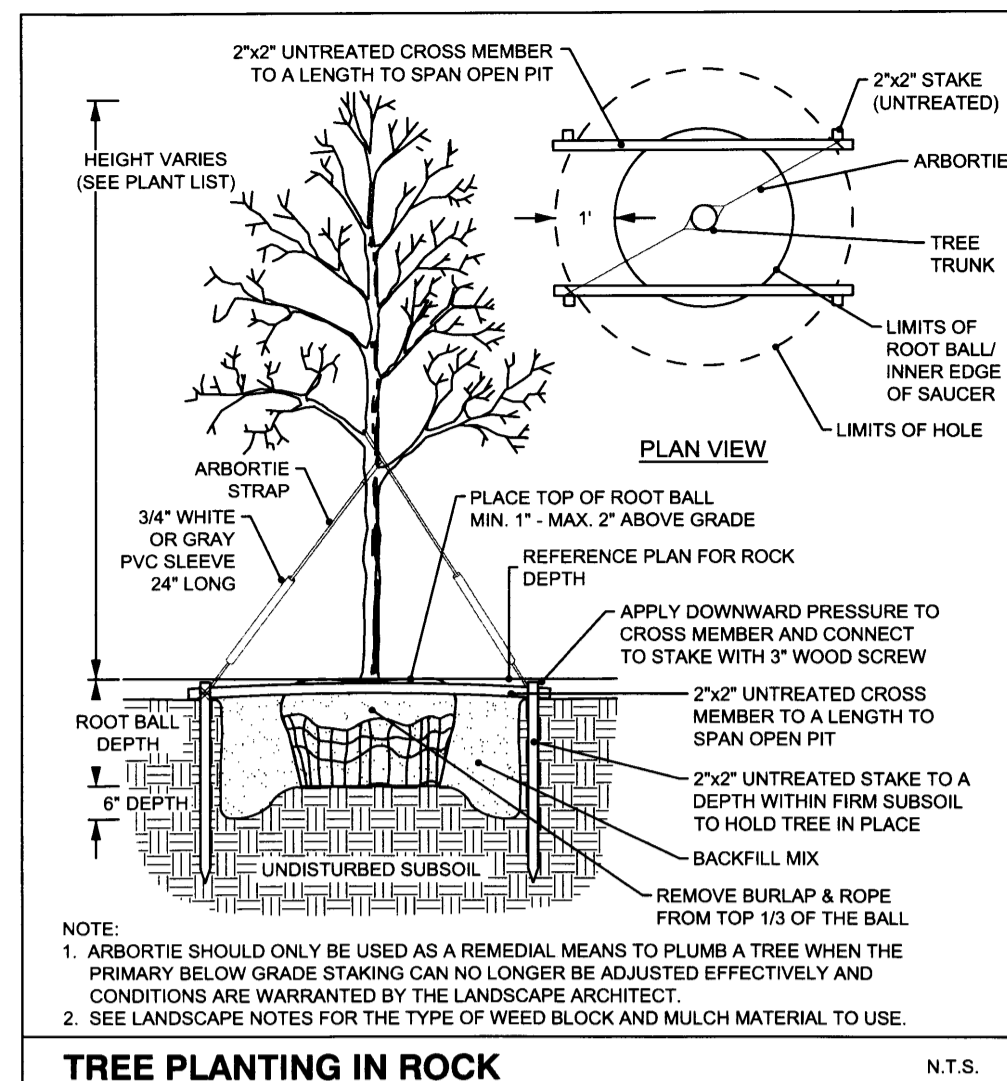
NORTH
GRAPHIC SCALE
 0 30 60
 1 INCH = 30 FT.

MONUMENTATION LEGEND

- - Monumentation Found as Noted
- - 3/4" Iron Rod Set

Sheet No. 2 of 2

Millman National Land Services
 1742 Georgetown Road, Suite H, Hudson, OH 44236
 Phone: 800-520-1010 Fax: 330-342-0834
 Drawn By: JFD Project No.: 29375



Section 14-16-3-10 (I)

| Landscape Location | Square Feet | % of Net Lot Area | Quantity of Trees | Quantity of Shrubs | Mature Height & Spreads |
|--------------------------|--------------|-------------------|-------------------|--------------------|-------------------------|
| L1 | 4,294 | 8.68% | 1 | 20 | varies |
| L2 | 1,595 | 3.22% | 3 | 18 | varies |
| L3 | 167 | 0.34% | 0 | 5 | varies |
| L4 | 395 | 0.80% | 2 | 5 | varies |
| L5 | 192 | 0.39% | 0 | 6 | varies |
| L6 | 984 | 1.99% | 1 | 3 | varies |
| L7 | 198 | 0.40% | 1 | 3 | varies |
| L8 | 265 | 0.54% | 1 | 8 | varies |
| L9 | 407 | 0.82% | 1 | 8 | varies |
| L10 | 471 | 0.95% | 0 | 5 | varies |
| L11 | 346 | 0.70% | 1 | 3 | varies |
| 12th St. Pkg Lot Buffer | N/A | N/A | 15 | 149 | 3' tall & 48" wide |
| Indian School Rd. Buffer | N/A | N/A | 4 | 0 | N/A |
| Total Landscape | 9,314 | 18.82% | 30 | 233 | |

Section 14-16-3-10 E-1

| Item | Square Feet | % of Sod on Landscape | Plan | % of High Water Plants |
|-----------------------------|-------------|-----------------------|------|------------------------|
| Lot 1 Sq. Ft. (1,224 Acres) | 58,364 | | | |
| Bldg. Sq. Ft. | (3,838) | | | |
| Net Lot Area | 54,526 | | | |
| % Landscape of Net Lot Area | 17.08% | | | |

Water Conservation Section 6-1-1-8.8.2 a

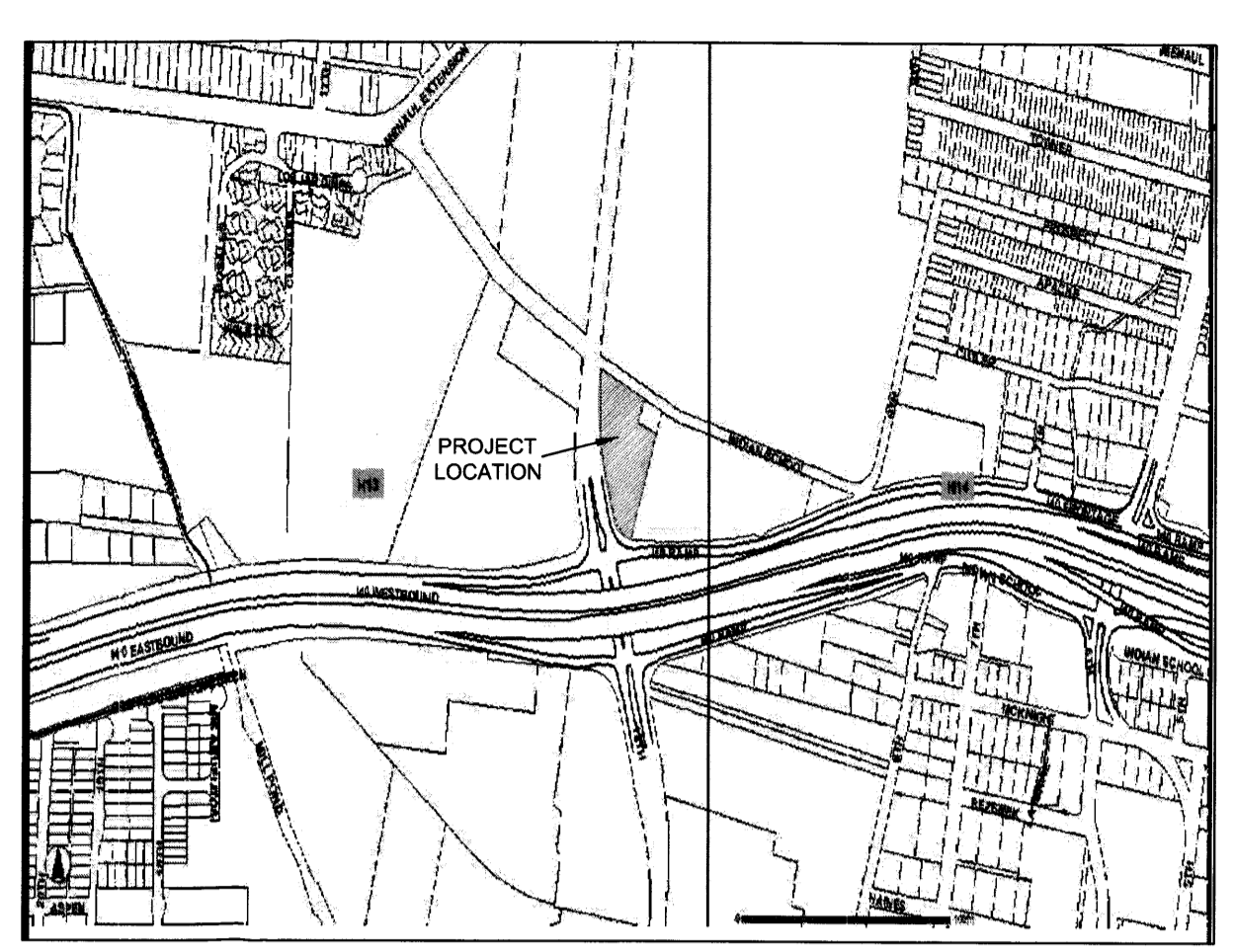
| Total Lot 1 Landscape Sq. Ft. | Plan | % of High Water Plants |
|-------------------------------|------|------------------------|
| 9,314 | 0% | 0% |

Section 14-16-3-10 G-3

| Total Req'd Landscape Sq. Ft. | 75% of Req'd Landscape Area | Total Vegetative Cover |
|-------------------------------|-----------------------------|------------------------|
| 9,314 | 7,422.45 | 5,880 |

Section 14-16-3-10 G-1

| Parking Stalls Lot 1 | # of Trees Req'd | # of Trees Provided | Min. Size of Tree Planters Diameter | Canopy Diameter |
|----------------------|------------------|---------------------|-------------------------------------|-----------------|
| 40 | 4 | 10 | 36 sq. ft. | 25 feet min. |



PHASE TWO NOTE

A LOW LEVEL LIGHTING CONDUIT AND LANDSCAPING WATER LINE SHALL BE STUBBED OUT TO PHASE 2.

CONTOUR NOTE

CONTOURS SHOWN ARE DERIVED FROM THE TOPOGRAPHIC SURVEY PERFORMED BY MILLMAN NATIONAL LAND SERVICES AS PROVIDED TO ADAMS ENGINEERING.

LANDSCAPE MAINTENANCE

LOT 1 OWNER AND/OR HIS ASSIGNS, TO PROVIDE LANDSCAPE INSTALLATION AND LANDSCAPE MAINTENANCE IN PERPETUITY FOR LOT 1 AND AREA WITHIN CITY RIGHT-OF-WAY ADJACENT TO LOT 1.

LOT 2 OWNER AND/OR HIS ASSIGNS, TO PROVIDE LANDSCAPE INSTALLATION AND LANDSCAPE MAINTENANCE IN PERPETUITY FOR LOT 2 AND AREA WITHIN CITY RIGHT-OF-WAY ADJACENT TO LOT 2.

POND MAINTENANCE

LOT 1 OWNER TO PROVIDE POND INSTALLATION AND POND MAINTENANCE FOR THE LOT 1 DETENTION POND.

COMPLIANCE NOTES

TURF AND HIGH WATER USE PLANT AREAS SHALL BE REVISED TO BE COMPLIANT WITH THE ORDINANCE 6-6-6

STREET TREES TO BE COMPLIANT WITH 6-6-2

SITE TO BE COMPLIANT WITH WATER CONSERVATION ORDINANCE 6-1-8

LOTS #1 AND #2 SHALL COMPLY WITH THE GENERAL LANDSCAPING REGULATIONS 14-16-3-10

ALL LANDSCAPING WITHIN THE CITY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN COMPLIANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC CONSTRUCTION AND SHALL FOLLOW THE CITY OF ALBUQUERQUE PARKS AND RECREATION STREETScape DESIGN STANDARDS.



LANDSCAPE PROJECT NOTES

Refer to Sitework Specifications for all information needed for landscape work.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (lilled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system including street trees adjacent to Lot 1.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, and to the outside of utility easements with a clear ten feet (10') around fire hydrants. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 3/4" min. thickness unless bed is bordered by concrete. Steel edging adjacent to decomposed granite beds shall have a 1/2" min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

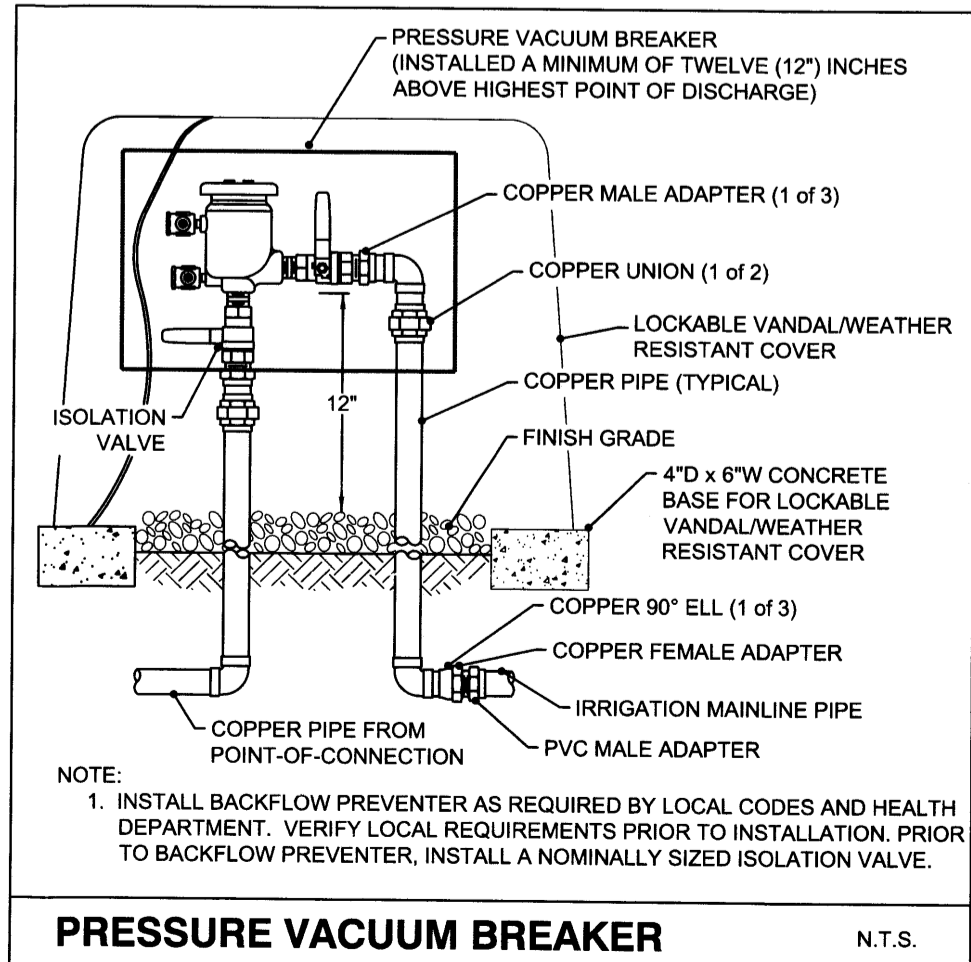
All areas of decorative rock as designated shall be locally available and of an average diameter as indicated in the plant material list. Contractor shall install to a depth of three inches (3").

Boulders labeled on plan shall vary in size according to symbol size. Smaller boulders shall have a minimum exposed height of eighteen inches (18"), minimum width of thirty-six inches (36") and a minimum depth of thirty-six (36"). Larger boulders shall have a minimum exposed height of twenty-four inches (24"), minimum width of forty-eight (48") and a minimum depth of thirty-six (36"). Boulders shall be recessed into the grade and shall be oriented so that its longest side is parallel to the ground plane to achieve a natural look.

Plant Material List

| SYM. | KEY | QTY. | COMMON NAME SCIENTIFIC NAME | O.C. | ROOT | SIZE | HEIGHT | SPREAD | COMMENT | WATER USE |
|------|-----------|------|--|------|-------|---------|----------|----------|---|-----------|
| TH | 5 | | Thornless Honeylocust <i>Gleditsia triacanthos inermis</i> | N/A | Cont. | 3" | 14' min. | 12' min. | Strong central leader, full canopy, healthy | Medium |
| MA | 5 | | Modesto Ash <i>Fraxinus 'Velutina Modesto'</i> | N/A | Cont. | 3" | 14' min. | 12' min. | Strong central leader, full canopy, healthy | Medium |
| ME | 3 | | Mexican Elder <i>Sambucus mexicana</i> | N/A | Cont. | 3" | 14' min. | 12' min. | Strong central leader, full canopy, healthy | Low |
| CP | 12 | | Chinese Pistache <i>Pistacia chinensis</i> | N/A | Cont. | 3" | 14' min. | 12' min. | Strong central leader, full canopy, healthy | Medium |
| DW | 6 | | Desert Willow <i>Chilopsis linearis</i> | N/A | Cont. | 30 gal. | 8' min. | 6' min. | Multi trunk, full canopy, healthy | Rainwater |
| GA | 143 | | Compact Glossy Abelia <i>Abelia grandiflora 'Compacta'</i> | 36" | Cont. | 5 gal. | 36" min. | 30" min. | Full, healthy | Medium |
| SS | 43 | | Silver Sage <i>Artemisia cana</i> | 48" | Cont. | 5 gal. | 36" min. | 30" min. | Full, healthy | Low |
| BS | 29 | | Blue Mist Spirea <i>Carolynea clandonensis 'Dark Knight'</i> | 36" | Cont. | 5 gal. | 30" min. | 30" min. | Full, healthy | Medium |
| PB | 25 | | Crimson Pygmy Barbary <i>Berberis thunbergii 'Aeropur Nana'</i> | 24" | Cont. | 3 gal. | 18" min. | 15" min. | Full, healthy | Medium |
| RY | 32 | | Red Yucca <i>Hesperaloe parviflora</i> | 24" | Cont. | 3 gal. | 30" min. | 20" min. | Full, healthy, no broken spines | Low |
| AJ | 1,525 | | Arcadia Juniper <i>Juniperus sabina 'Arcadia'</i> | 36" | Cont. | 3 gal. | 6" min. | 18" min. | Full, healthy | Medium |
| CR | 295 | | Creeping Rosemary <i>Rosmarinus officinalis 'Prostrata'</i> | 24" | Cont. | 1 gal. | 12" min. | 18" min. | Full, healthy | Low |
| SC | 1,000 | | Seasonal Color | 9" | Cont. | 4" pots | N/A | N/A | Locally Available | Medium |
| DR-1 | 10,465 SF | | Decorative Rock - Type 1 3" - 5" | | | | | | Color to match neighborhood rock color scheme-light brown | |
| DR-2 | 5,680 SF | | Decorative Rock - Type 2 1" - 2.5" | | | | | | Color to match neighborhood rock color scheme-light brown | |

In Accordance to the Current Edition of The American Standard for Nursery Stock



NOTE TO PLAN REVIEWER

The landscape plan for the site excludes high-water use turf. The plant palette is comprised of plants with low-medium water use requirements (reference plant material list on this sheet). Planting beds shall have 75% living groundcover at full maturity.

BY: _____ DATE: _____

REVISIONS: _____

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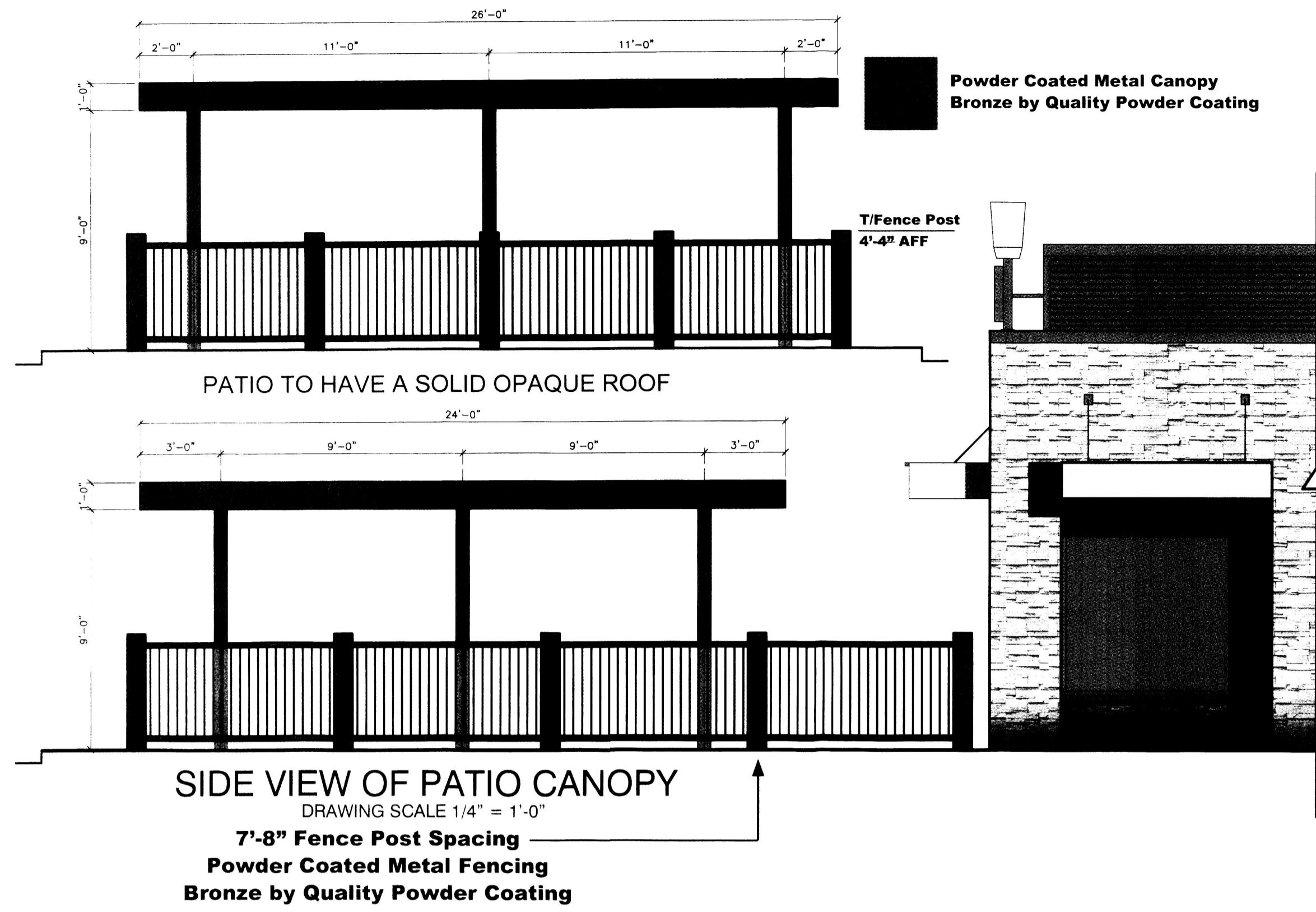
Adams ENGINEERING
910 S. Kimball Avenue • Southlake, Texas 76092 • (817) 328-3200

1-40 & 12TH STREET ALBUQUERQUE, NM

LANDSCAPE PLAN

PROJECT NO. GRA
PROJECT TECH. CHI
DATE DRAWN 08/05/2013
JOB NO. 2009-056
SHEET NO. C2.0

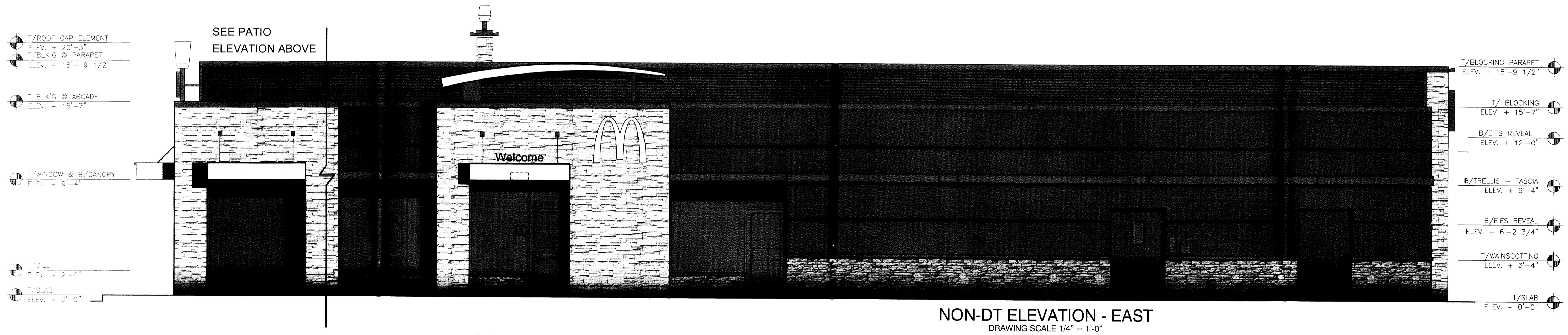
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- T/ROOF CAP ELEMENT
ELEV. + 23'-4"
- T/BLK'G @ HEARTH
ELEV. + 21'-4"
- T/VESTIBULE PARAPET
ELEV. + 15'-7"
- T/WINDOW
ELEV. + 9'-4"
- T/SLAB
ELEV. + 0'-0"

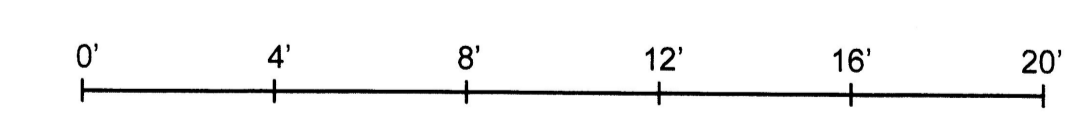


- T/ROOF CAP ELEMENT
ELEV. + 20'-3"
- T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"
- T/BLK'G @ ARCADE
ELEV. + 15'-7"
- T/WINDOW & B/CANOPY
ELEV. + 9'-4"
- T/SILL
ELEV. + 2'-0"
- T/SLAB
ELEV. + 0'-0"



- T/ROOF CAP ELEMENT
ELEV. + 20'-3"
- T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"
- T/BLK'G @ ARCADE
ELEV. + 15'-7"
- T/WINDOW & B/CANOPY
ELEV. + 9'-4"
- T/SILL
ELEV. + 2'-0"
- T/SLAB
ELEV. + 0'-0"

- T/BLOCKING PARAPET
ELEV. + 18'-9 1/2"
- T/ BLOCKING
ELEV. + 15'-7"
- B/EIFS REVEAL
ELEV. + 12'-0"
- B/TRELLIS - FASCIA
ELEV. + 9'-4"
- B/EIFS REVEAL
ELEV. + 6'-2 3/4"
- T/WAINSCOTTING
ELEV. + 3'-4"
- T/SLAB
ELEV. + 0'-0"



ARCADIE STONE
SOUTHWEST PRO-FIT
LEDGESTONE

ACCENT STONE
COASTAL BROWN

Base Building

EIFS / Stucco
MIRA
BM-21-12-10

Accent - Drive Thru

EIFS / Stucco
Harrington Geige
B18-FC-21

Parapet

Corrugated Metal
City-Scape
Metal-Era

STOREFRONT

CLEAR ANGUZZED

| REV | DATE | DESCRIPTION | BY |
|-----|----------|---------------|----|
| 2 | 04/16/13 | CITY COMMENTS | |

513 MAIN STREET, SUITE 200
FORT WORTH, TEXAS 76102
817.820.0433 o 817.705.3387 c

PREPARED FOR: **McDonald's USA, LLC**

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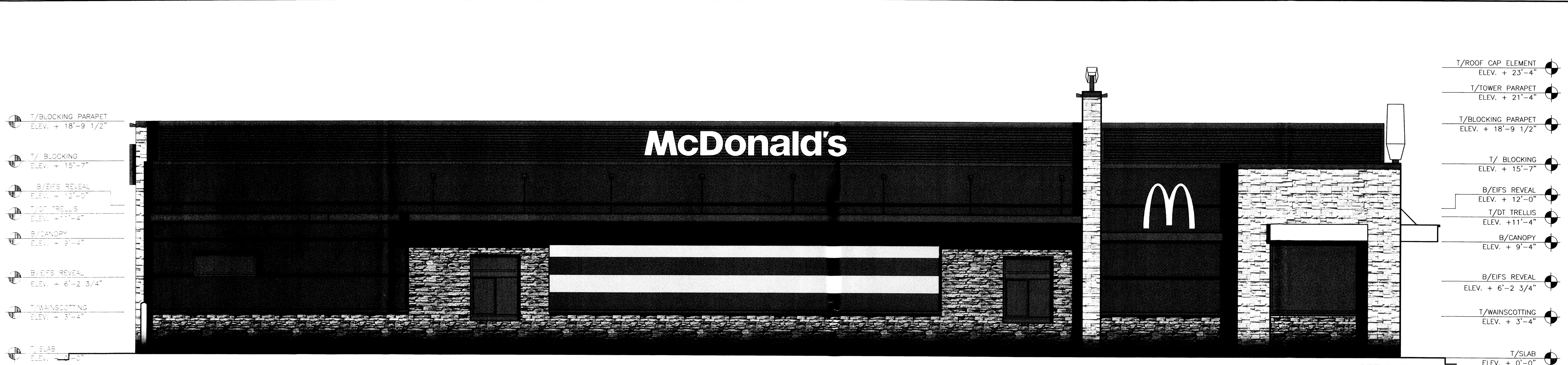
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| | | | |
|-------------------|--------------|------------------------|---------------------|
| DRAWN BY ROGUE | DATE 2013 | REVIEWED BY JAW/PDW | DATE ISSUED 2013 |
|-------------------|--------------|------------------------|---------------------|

| | |
|-------------------------------------|--|
| TITLE 2013 NON-STANDARD BUILDING | DESCRIPTION WOOD BEARING WALLS WITH EIFS & STONE WOOD ROOF TRUSS FRAMING STONE EXTERIOR FINISH ARCADE/ENTRY |
|-------------------------------------|--|

SHEET NO. **A2.0c**
ELEVATIONS

SITE ID: 036-0230
SITE ADDRESS: HWY 1-40 & 12TH STREET, ALBUQUERQUE, NM

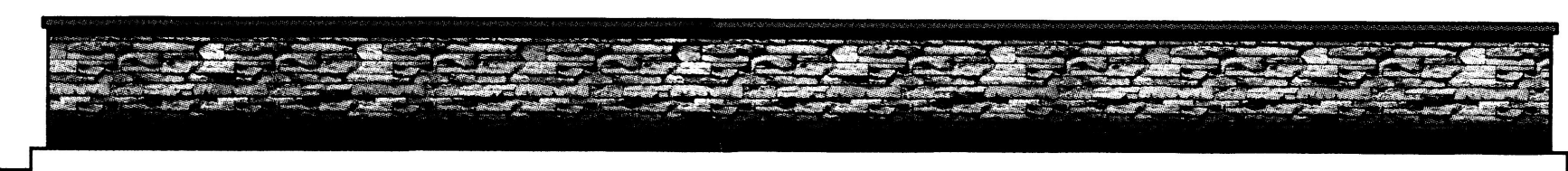


McDonald's

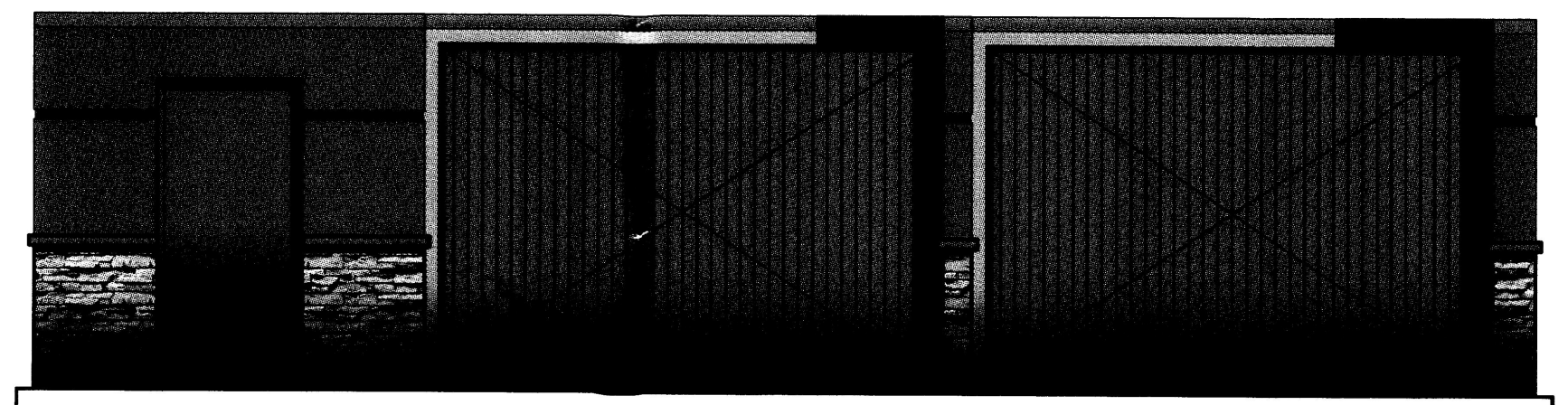
DRIVE THRU ELEVATION - WEST
DRAWING SCALE 1/4" = 1'-0"

SEE PATIO
ELEVATION BELOW

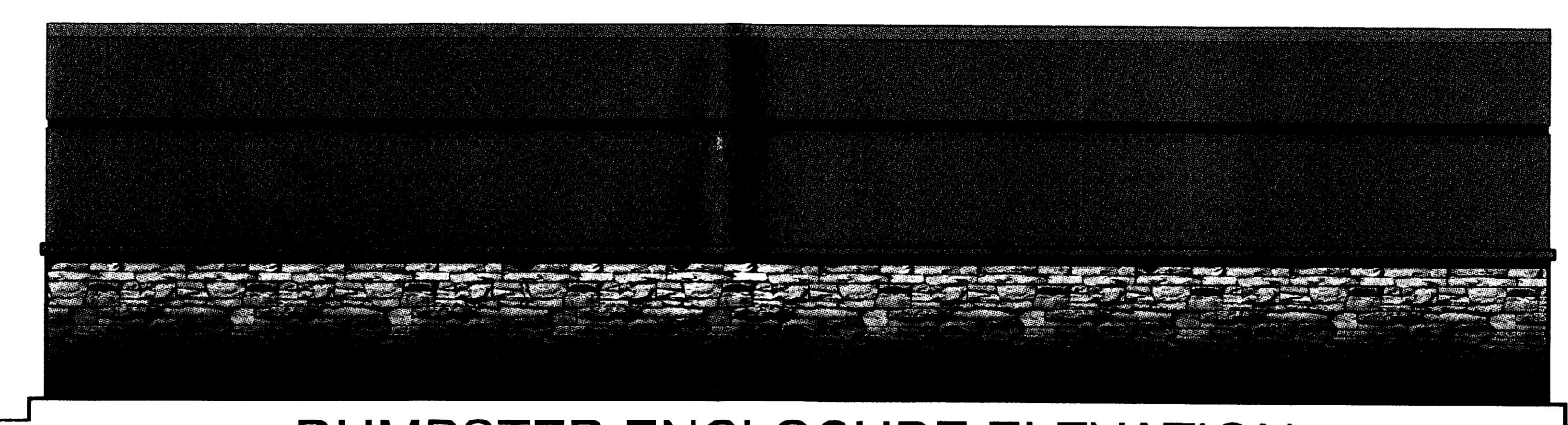
REFERENCE THE DUMPSTER ENCLOSURE
DETAILS AND SHEET A2.1 FOR ACTUAL
SIZE, SHAPE, AND CONFIGURATION



36" TALL LANDSCAPE WALL ELEVATION
DRAWING SCALE 1/4" = 1'-0"

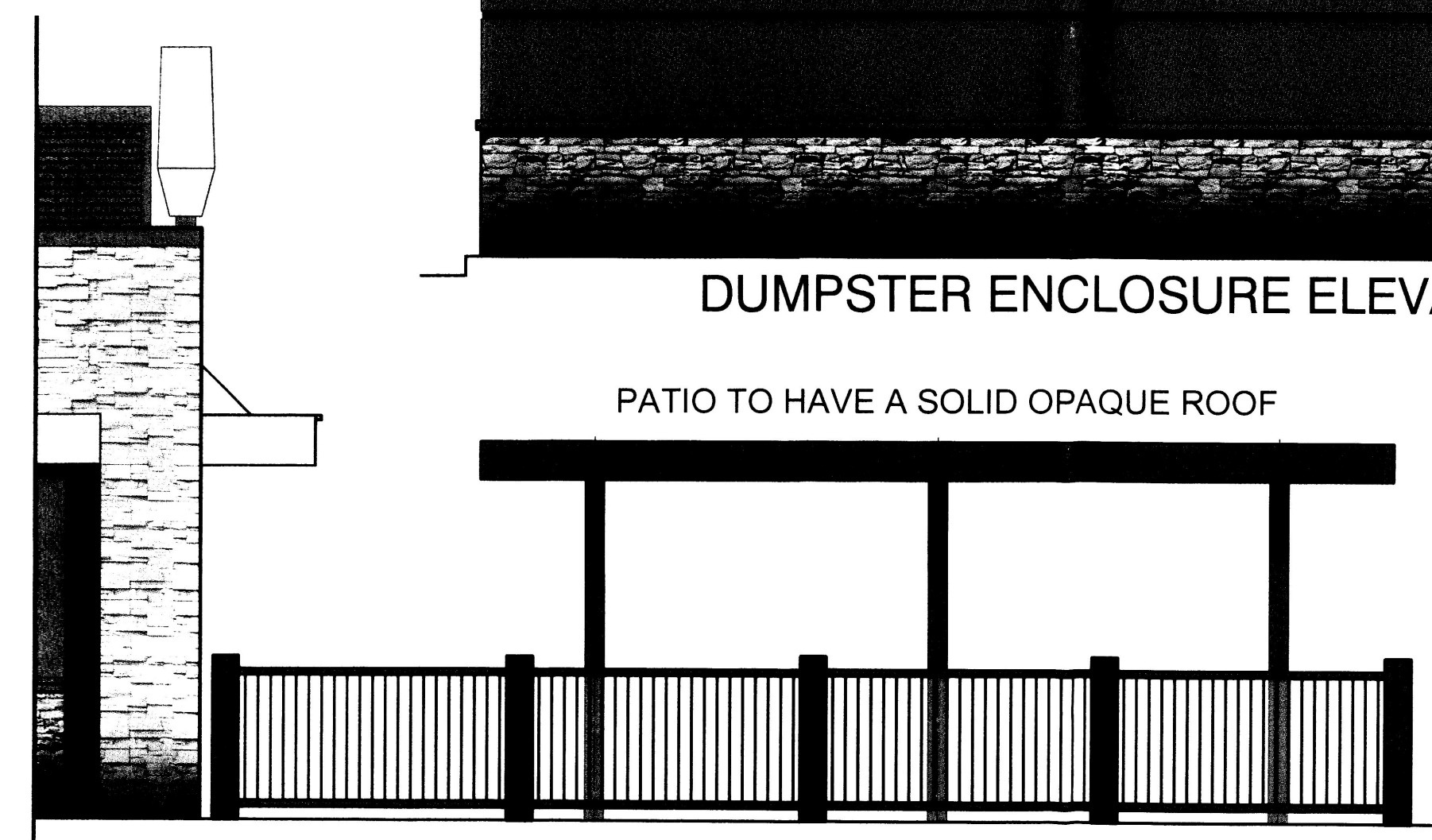


DUMPSTER ENCLOSURE ELEVATION
DRAWING SCALE 1/4" = 1'-0"

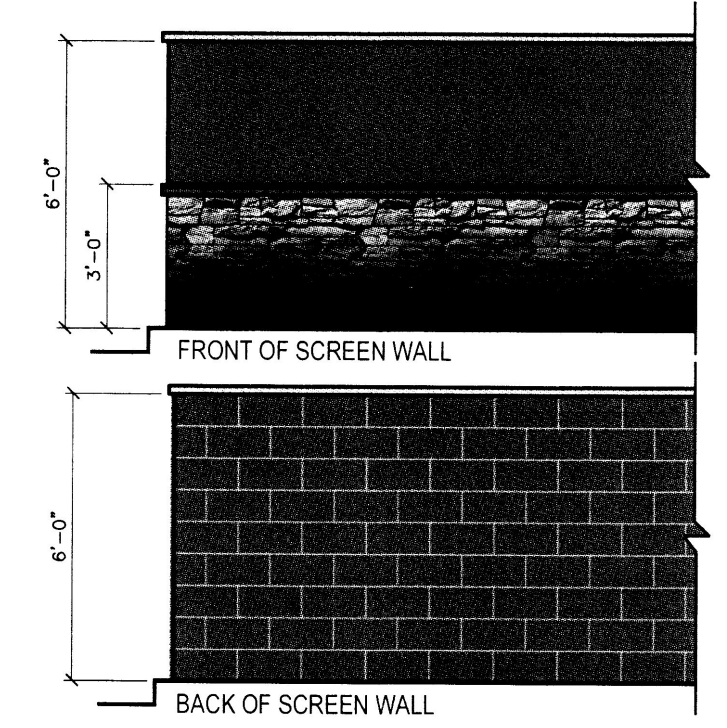


DUMPSTER ENCLOSURE ELEVATION

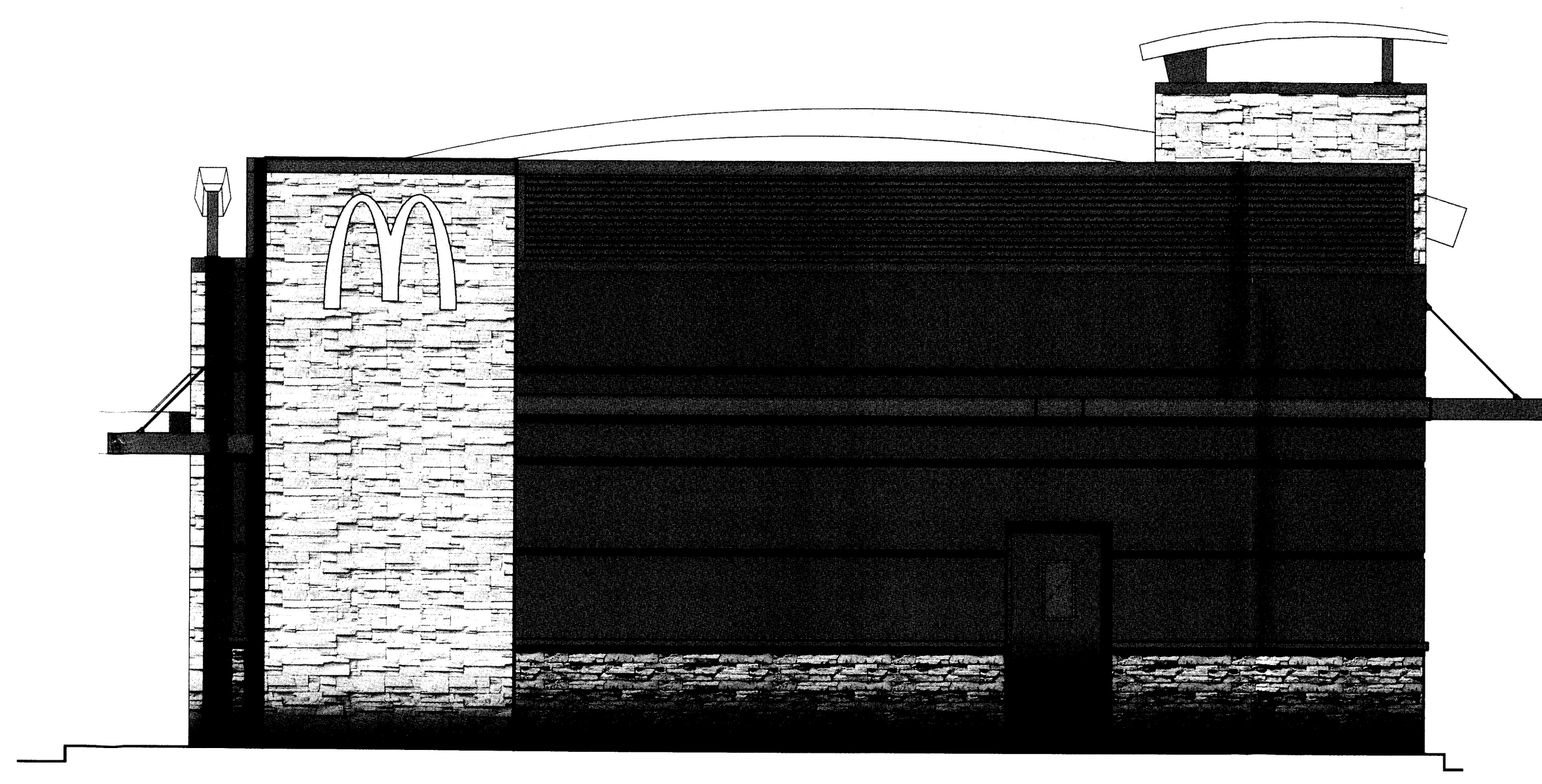
PATIO TO HAVE A SOLID OPAQUE ROOF



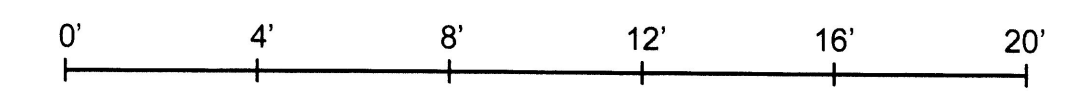
SIDE VIEW OF PATIO CANOPY
DRAWING SCALE 1/4" = 1'-0"



SCREEN WALL ELEVATIONS
DRAWING SCALE 1/4" = 1'-0"
REFER TO CIVIL FOR SCREENWALL LOCATIONS AND DETAILS



BACK ELEVATION - NORTH
DRAWING SCALE 1/4" = 1'-0"



| | | | | | | | | | |
|---|---------------------------------------|----------------------|---|----------------------------|---|----------------|--|-------------------|-----------------------|
| <p>ARCADIE STONE SOUTHWEST PRO-FIT LEDGESTONE</p> | <p>ACCENT STONE COASTAL BROWN</p> | <p>Base Building</p> | <p>EIFS / Stucco: Mint BM-2112-10</p> | <p>Accent - Drive Thru</p> | <p>EIFS / Stucco: Huntington Spiggle BM-HC-21</p> | <p>Parapet</p> | <p>Corrugated Metal City-Scape Metal - Era</p> | <p>STOREFRONT</p> | <p>CLEAR ANODIZED</p> |
|---|---------------------------------------|----------------------|---|----------------------------|---|----------------|--|-------------------|-----------------------|

| | | | | | |
|---|---|-----------------------------|--|---|----------------------------|
| <p>STATE OF NEW MEXICO Jeramy A. Williams License # 4944 REGISTERED ARCHITECT</p> | | <p>ROGUE ARCHITECTS</p> | | <p>513 MAIN STREET, SUITE 200 FORT WORTH, TEXAS 76102 817.820.0433 o 817.705.3387 c</p> | |
| <p>PREPARED FOR: McDonald's USA, LLC</p> | <p>DRAWN BY: ROGUE</p> | <p>ISSUE DATE: 2013</p> | <p>REVISIONS BY: JAW/FDW</p> | <p>DATE ISSUED: 2/13</p> | <p>REVISIONS: DATE</p> |
| <p>TITLE: 2013 NON-STANDARD BUILDING 38101 - WOOD/WOOD</p> | <p>DESCRIPTION: WOOD BEARING WALLS WITH EIFS & STONE WOOD ROOF TRUSS FRAMING STONE EXTERIOR FINISH ARCADE/ENTRY</p> | | <p>SITE ADDRESS: HWY I-40 & 12TH STREET, ALBUQUERQUE, NM</p> | | |
| <p>SHEET NO. A2.1c</p> | <p>ROGUE# 12-0117</p> | | <p>ELEVATIONS</p> | | |
| <p>2</p> | <p>04/16/13</p> | <p>CITY COMMENTS</p> | <p>REV</p> | <p>DATE</p> | <p>DESCRIPTION</p> |
| | | | | | BY |

FRAME & LAMP DETAIL
SCALE: 1 1/2" = 1'-0"

CROSS SECTION A-A
SCALE: 1 1/2" = 1'-0"

PLAN VIEW
SCALE: 1 1/2" = 1'-0"

GRAPHIC DETAIL
SCALE: 1/2" = 1'-0"

FRAME DETAIL:
DESIGN FACTOR: TBD
MCD-UF & MCD-EF OF ALUMINUM EXTRUSION
FLAT ALUMINUM RETAINERS
EXTERIOR FINISH: DUPONT CENTARI 5000 V3536 BRONZE
END RETAINER REMOVABLE FOR ACCESS
U.L. APPROVED
ELECTRICAL: 0.32 AMPS, 120 VOLTS
SQUARE FEET: BOXED = 3.93
ACTUAL = 3.71

FACE DETAIL:
CLEAR PAN-FORMED POLY FACE W/ 2ND SURFACE SCREENED DECORATION
PMS 485 RED - BACKGROUND
PMS 109 YELLOW - ARCHES AND ARROW
WHITE - DIRECTIONAL COPY

Customer: **McDONALD'S** Date: **06/18/12** Prepared By: **RA**
Item Number: **MCD-DIRECTIONALWITHOUTARCH** File Name: **MCD DIRECTIONAL WITHOUT ARCH** Revision: **1**

PERSONNA DISTRIBUTED BY SIGN UP COMPANY
SIGN MARKERS/IMAGE BUILDERS

FRONT VIEW
SCALE: 3/8" = 1'-0"

END VIEW
SCALE: 3/8" = 1'-0"

TOP VIEW
SCALE: 3/8" = 1'-0"

GRAPHIC DETAIL
SCALE: NOT TO SCALE

Customer: **McDONALD'S** Date: **04/05/13** Prepared By: **RA**
Item Number: **MCD OPO MENU BOARD** File Name: **MCD OPO MENU BOARD** Revision: **1**

PERSONNA DISTRIBUTED BY SIGN UP COMPANY
SIGN MARKERS/IMAGE BUILDERS

FRONT VIEW
SCALE: 3/8" = 1'-0"

END VIEW
SCALE: 3/8" = 1'-0"

TOP VIEW
SCALE: 3/8" = 1'-0"

GRAPHIC DETAIL
SCALE: NOT TO SCALE

Customer: **McDONALD'S** Date: **04/05/13** Prepared By: **RA**
Item Number: **MCD OPO PRE-SELL BOARD** File Name: **MCD OPO PRE-SELL BOARD** Revision: **1**

PERSONNA DISTRIBUTED BY SIGN UP COMPANY
SIGN MARKERS/IMAGE BUILDERS

FRAME & LAMP DETAIL
SCALE: 3/4" = 1'-0"

CROSS SECTION A-A
SCALE: 3/4" = 1'-0"

GRAPHIC DETAIL
SCALE: 3/4" = 1'-0"

FRAME DETAIL:
DESIGN FACTOR: TBD
FORMED YELLOW-PAINTED (PMS 123 C) MODIFIED ACRYLIC FACE LETTER BODY
EXTERIOR FINISH: PAINTED TO MATCH PMS 877 C SILVER (OPAQUE)
INTERIOR FINISH: PAINTED STAR-BRIGHT WHITE (OPAQUE)
ALUMINUM BACK - PAINTED STAR-BRIGHT WHITE
LETTER BODY REMOVABLE FOR SERVICE ACCESS
U.L. APPROVED
ELECTRICAL: 0.85 AMPS, 120 VOLTS
SQUARE FOOTAGE: BOXED = 14.00
ACTUAL = 4.90

Customer: **McDONALD'S** Date: **08/01/12** Prepared By: **RA**
Item Number: **MCD-24WALLARCHNEXTGEN** File Name: **MCD 24 Wall Arch (Next Gen)** Revision: **1**

PERSONNA DISTRIBUTED BY SIGN UP COMPANY
SIGN MARKERS/IMAGE BUILDERS

SHROUD SECTIONS

FACE SECTIONS

McDonald's 90-50 ROAD SIGN

McDonald's 90-50 ROAD SIGN INSTALLATION INSTRUCTIONS

- FOUNDATION TO BE PROVIDED BY INSTALLER. DETAILS TBD PER SITE SPECIFIC REQUIREMENTS. COORDINATE WITH GC FOR PLACEMENT OF FOUNDATION AND SIGN REQUIREMENTS.
- UNCRATE AND INSPECT SIGN. NOTIFY PERSONA OF ANY DAMAGE.
- DETERMINE WHICH BOTTOM (RED) FACE TO REMOVE FOR ACCESS TO PRIMARY POWER JUNCTION BOX. LOCATED AT CENTER OF BOTTOM HORIZONTAL TUBE. MAKE NOTES. MAKE CONNECTIONS TO PRIMARY ELECTRICAL WIRES IN JUNCTION BOX & DROP SUPPLY WIRE THROUGH PLATE. TEST FIT FOR INSTALLATION IN FIELD WITH DRIVERS. REMOVE SIGN.
- USE "TEMPORARY SPREADER" WITH GUIDE ANGLES (ROPS) TO LIFT SIGN ONTO POLE. LINE UP BOTTOM OF SIGN WITH MATCH PLATE ON POLE. SECURE WITH SUPPLIED 3/4" X 3/8" BOLTS. TIGHTEN BOLTS AS REQUIRED.
- DROP SUPPLY WIRE DOWN THROUGH POLE TO BASE OF STRUCTURE. FIT ENDOR TO DO NOT MARK FINAL ELECTRICAL CONNECTIONS TO PRIMARY POWER. REMOVE FITTING TUBE. REPLACE BOLTS AND SEAL HOLES WITH NON-SHRINKING SILICONE.
- INSTALL SHROUD SECTIONS TO BOTTOM OF SIGN. BEING BENT OUT FLANGE OFF FRONT & BACK (SEE SHROUD CROSS VIEW). INSTALLER TO SUPPLY SELF-TAPPING FASTENERS. PRIME PAINT ON FASTENERS.
- TOUCH UP ANY PAINT ON SIGN BOLTS OR STRUCTURE AS REQUIRED.
- CLEAN AREA. REMOVE SOIL & DISCARD INSTALLATION DEBRIS ACCORDING TO OFF-PROCESSES.

ELECTRICAL SPECIFICATIONS:
1. ILLUMINATION: COOL WHITE FLUORESCENT LAMPS
2. POWER SUPPLY: (2) ELECTRONIC BALLASTS
3. LOAD: 3.50 AMPS
4. CIRCUITS: (1) 20 AMP - 120 VOLTS

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND APPLICABLE LOCAL CODES. THIS INCLUDES: TROUBLE SHOOTING AND BONDING OF THE SIGN.

Customer: **McDONALD'S** Date: **03-29-11** Prepared By: **CM**
Item Number: **VARIOUS** File Name: **McDONALD'S 90-50 ROAD SIGN INSTALLATION** Revision: **1**

PERSONNA DISTRIBUTED BY SIGN UP COMPANY
SIGN MARKERS/IMAGE BUILDERS

LETTER PROFILE
SCALE: 1 1/2" = 1'-0"

CONSTRUCTION OPTION 1 - ALUMINUM BACK

McDonald's

MCD 24 WORDMARK

NOTES:
MOLDED WHITE MODIFIED ACRYLIC LETTER BODIES
INSTALLED ON ALUMINUM BACKS
EXTERIOR FINISH: MATCH PMS 877 C SILVER (OPAQUE);
BACKS PAINTED PMS 877 C SILVER
INTERIOR FINISH: STAR-BRIGHT WHITE (OPAQUE)
LETTER BODIES REMOVABLE FOR SERVICE ACCESS
ACCESS PANEL BEHIND LETTER "Y" FOR RACEWAY ACCESS
U.L. APPROVED
ELECTRICAL: 2.50 AMPS, 120 VOLTS
SQUARE FOOTAGE: BOXED = 33.38
ACTUAL = 19.53

Customer: **McDONALD'S** Date: **07/31/12** Prepared By: **RA**
Item Number: **MCD-24WORDMARK** File Name: **MCD 24 WORDMARK** Revision: **1**

PERSONNA DISTRIBUTED BY SIGN UP COMPANY
SIGN MARKERS/IMAGE BUILDERS

FRONT VIEW
SCALE: 1/4" = 1'-0"

SIDE VIEW
SCALE: 1/4" = 1'-0"

BASE PLATE DETAIL
SCALE: 3/4" = 1'-0"

ATTACHMENT PLATE DETAIL
SCALE: 3/4" = 1'-0"

BASE PLATE DETAIL
SCALE: 3/4" = 1'-0"

GRAPHIC DETAIL
SCALE: 1/4" = 1'-0"

ORDER HERE

FIBERGLASS CANOPY DETAIL
DESIGN FACTOR: TBD
FIBERGLASS CANOPY WITH STEEL TUBE AND RIB INTERNAL STRUCTURE
EXTERIOR FINISH: PAINT TO MATCH PMS 109 C YELLOW
LIGHT LENS REMOVABLE FOR SERVICE
U.L. APPROVED
ELECTRICAL: 0.85 AMPS, 120 VOLTS

BASE DETAIL
DESIGN FACTOR: 90 MPH
ALUMINUM ANGLE IRON STRUCTURE
ACM SKIN
EXTERIOR FINISH: PAINT TO MATCH PMS 109 C YELLOW
BASE - BONE WHITE
SHROUD & POLE - DEEP CAVIAR
U.L. APPROVED

***ORDER HERE* LETTER DETAIL**
ROUTED ALUMINUM LETTERS W/ 1ST SURFACE VINYL DECORATION
180-15 BRIGHT YELLOW (OPAQUE) - "ORDER HERE" COPY
BLACK - COPY OUTLINE

Customer: **McDONALD'S** Date: **02/18/13** Prepared By: **RA**
Item Number: **MCD ORDER HERE CANOPY** File Name: **MCD ORDER HERE CANOPY** Revision: **5**

PERSONNA DISTRIBUTED BY SIGN UP COMPANY
SIGN MARKERS/IMAGE BUILDERS

FRONT VIEW
SCALE: 1/4" = 1'-0"

END VIEW
SCALE: 1/4" = 1'-0"

BASE PLATE DETAIL
SCALE: 1" = 1'-0"

GRAPHIC DETAIL
SCALE: 1/4" = 1'-0"

DRIVE-THRU

PANEL DETAIL
ALUMINUM PANEL W/ 1ST SURFACE PAINT & VINYL DECO.
YELLOW DUPONT CENTARI 5000- BLACK-GROUND, COPY & ARROW
3630-22 BLACK - LANES

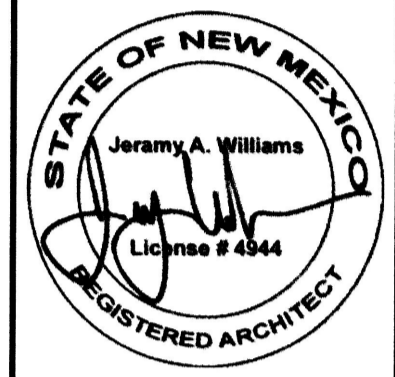
SWING ARM DETAIL
DESIGN FACTOR: TBD
STEEL ARM WITH HINGE
W/ 1ST SURFACE PAINT AND VINYL DECORATION:
MATCH PMS 109 C YELLOW - SWING ARM
1725-12 BLACK VINYL - CLEARANCE 9 FEET COPY

***DRIVE-THRU* LETTER DETAIL**
ROUTED ALUMINUM LETTERS W/ 1ST SURFACE VINYL DECORATION
180-15 BRIGHT YELLOW (OPAQUE) - "DRIVE-THRU" COPY
BLACK - COPY OUTLINE

Customer: **McDONALD'S** Date: **07/31/12** Prepared By: **RA**
Item Number: **MCD-GATEWAYDOUBLEARM** File Name: **MCD DOUBLE ARM GATEWAY** Revision: **1**

PERSONNA DISTRIBUTED BY SIGN UP COMPANY
SIGN MARKERS/IMAGE BUILDERS

| REV | DATE | DESCRIPTION |
|-----|----------|---------------|
| 1 | 04/09/13 | CITY COMMENTS |
| 2 | 04/18/13 | CITY COMMENTS |
| 3 | 05/20/13 | CITY COMMENTS |



SIGNED/SEALED ON 05/20/13

ROGUE ARCHITECTS

513 MAIN STREET, SUITE 200
FORT WORTH, TEXAS 76102
817.820.0433 o 817.705.3387 c

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| DATE | BY | REVISION |
|----------|---------|----------|
| 02/13/13 | JAW/PJW | ISSUED |

2013 NON-STANDARD BUILDING
38101-WOOD/WOOD

WOOD BEARING WALLS WITH EIFS & STONE
WOOD ROOF TRUSS FRAMING
STONE EXTERIOR FINISH ARCADE/ENTRY

5306-0230 HWY 140 & 12TH STREET, ALBUQUERQUE, NM

ROGUE# 12-0117

A2.2

SIGN DETAILS