

REVISED 01/18/07

<b>PROJECT NUMBER: #1003483</b>	
APPLICATION NUMBER: 04DRB-00053	
IS AN INFRASTRUCTURE LIST REQUIRED (Y) IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN A PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS	
TRANSPORTATION DEPARTMENT	DATE: 8-25-04
UTILITIES DEVELOPMENT	DATE: 8-25-04
PARKS AND RECREATION	DATE: 8-25-04
CITY ENGINEER	DATE: 1/16/06
ENVIRONMENTAL HEALTH	DATE: 8-23-04
SOLID WASTE MANAGEMENT	DATE: 8-23-04
TRANSPORTATION DEPARTMENT	DATE: 8-23-04
DRB CHAIR, PLANNING DEPARTMENT	DATE: 8-23-04

<b>BASIC DESIGN DATA:</b>	
BUILDING CODE	EC 1994
BUILDING TYPE	S-1
OCCUPANCY	R-1
HEIGHT	49'
ZONE	SU-2 (P)
SPRINKLER	NFPA-13

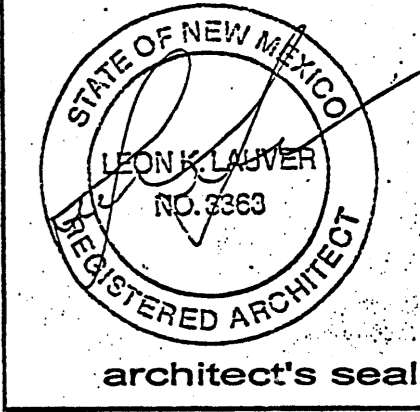
  

<b>SURFACE MATERIALS LIST</b>	
EIFS, CARDAMON #3052 CLASSIC FINISH	
EIFS, BISQUIT #3100 CLASSIC FINISH	
EIFS, EDELWEISS #3045 CLASSIC FINISH	
FASCIA AND SOFFIT COLOR: CAMEO (VINYL) OR GLIDDEN PAINT #40Y25 / 063	
SIMULATED DRY STACK STONE	
GUTTER AND DOWN SPOUT PAINTED TO MATCH ADJACENT EIFS. AT WALLS AND BANDS	
P.T.A.C. GRILL PAINTED TO MATCH ADJACENT EIFS.	
MOLDED DECORATIVE LOUVER COLOR TO MATCH CARDAMON EIFS.	
CONCRETE TILE ROOF. COLOR LIGHT GREEN!	
NOTE: SEE SHEET A21 FOR DETAILS EIFS COLORS PER SEEBEY CONTRACTOR MUST GET US APPROVAL FOR MATCH	

**Staybridge Suites**  
 site development plan for building permit  
 albuquerque, new mexico

drawn: th  
 checked: L.K.Lauer  
 start date: 2.25.04  
 plot date: 8.16.04  
 approved:

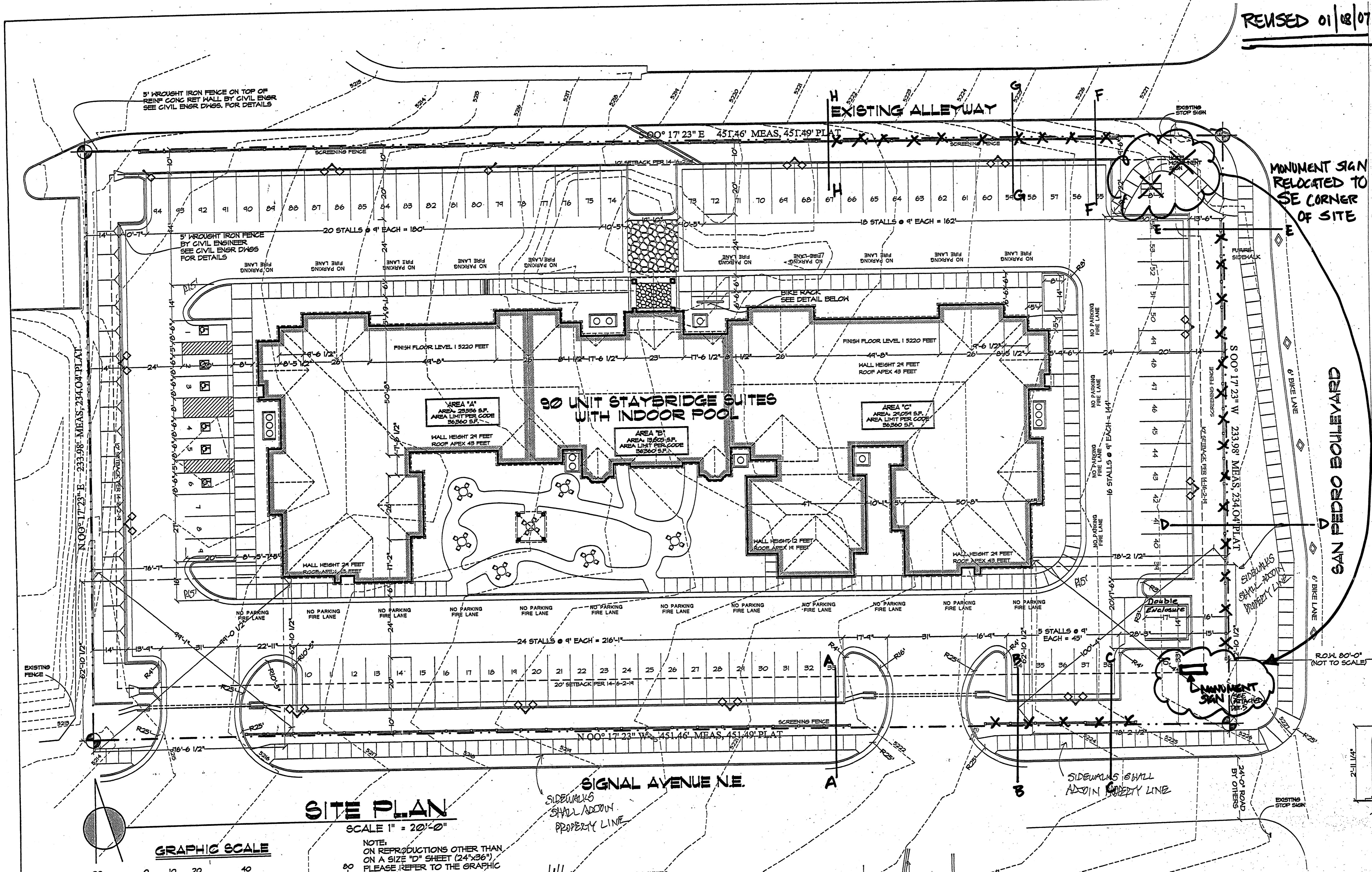
PROJECT NO. 1003483  
 APPLICATION NO. 04DRB-00053  
 DATE: 8.16.04  
 7.24 th  
 7.24 th

revisions:  
  
 architect's seal:

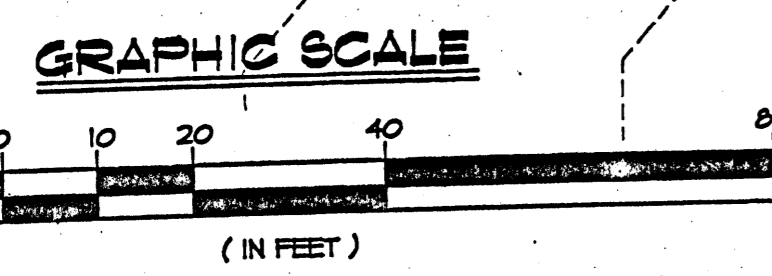
**leon lauver + associates architects + consultants**  
 p.o. box number 1207  
 norfolk, nebraska 68701  
 voice: 1.402.371.3333  
 fax: 1.402.371.1164

job no: 455  
 sheet: G2.1

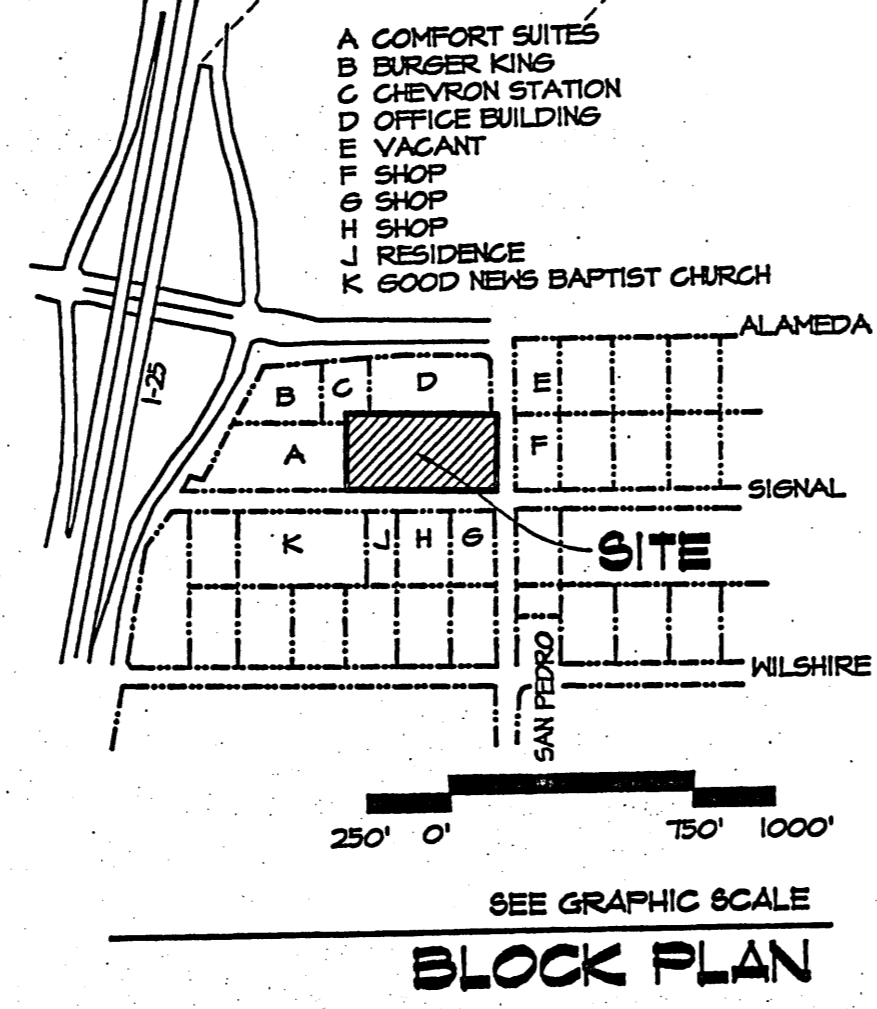
**PROJECT# 1003483**



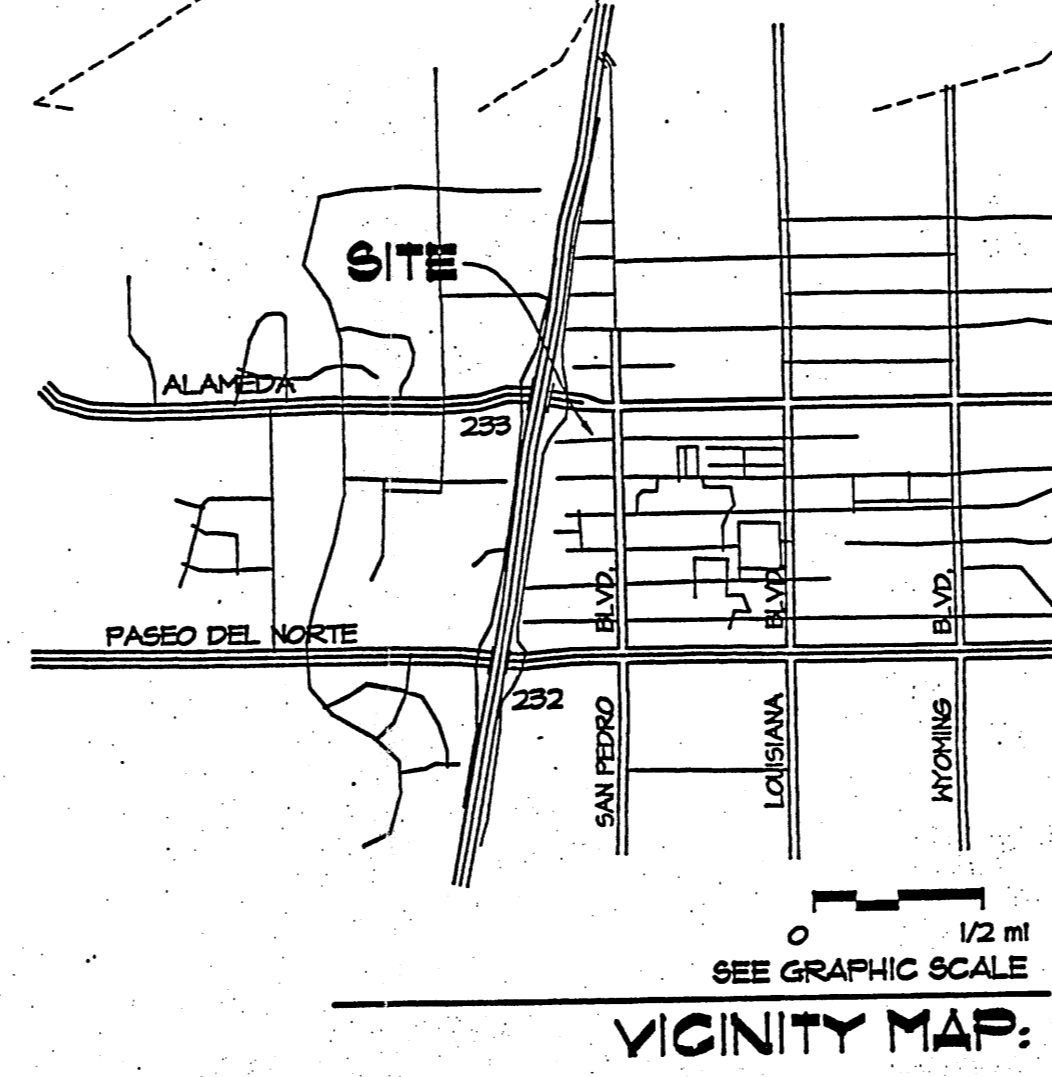
**SITE PLAN**  
SCALE 1" = 20'-0"



NOTE: ON REPRODUCTIONS OTHER THAN ON A SIZE 11" SHEET (24" x 36") PLEASE REFER TO THE GRAPHIC SCALE AT LEFT.



**BLOCK PLAN**  
SEE GRAPHIC SCALE



**VICINITY MAP:**  
SEE GRAPHIC SCALE

- NOTES**
1. THE TRANSFORMER PAD, GAS METER AND THE TRASH ENCLOSURE SHALL BE SCREENED WITH SMALL TREES AND LARGE SHRUBS TO MATCH LOCAL BIOTA. NO SHRUB OR TREE SHALL IMPED E OPERATION OF ANY OF THESE DEVICES. THE TRASH ENCLOSURE SHALL CONFORM TO INTERCONTINENTAL HOTELS GROUP AND CITY SPECIFICATIONS.
  2. ALL UTILITY LINES SHALL BE FIELD VERIFIED WITH CITY OF ALBUQUERQUE CODES PRIOR TO INSTALLATION OF SITE WORK.
  3. ALL LANDSCAPING SHALL BE DONE IN ACCORDANCE WITH INTERCONTINENTAL HOTELS GROUP WITH PROPER ADJUSTMENTS MADE TO ENSURE LOCAL CLIMATE AND BIOTA ARE FOLLOWED. ALL CODES OF THE CITY OF ALBUQUERQUE, NEW MEXICO CONCERNING LANDSCAPING SHALL BE MET. IN THE EVENT OF CONFLICT THE REGULATIONS OF THE CITY OF ALBUQUERQUE WILL HAVE PRIORITY.
  4. UNDER NO CIRCUMSTANCES SHALL ANY TREE, SHRUB OR OTHER FIXTURE IMPED THE PASSAGE OF EMERGENCY EQUIPMENT IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
  5. SEE SHEET L11 FOR ALL LANDSCAPING DETAILS.
  6. SEE SHEET A21 FOR ALL ELEVATION DETAILS
  7. SEE SHEET C1.2 FOR PARKING LOT LIGHTS AND HOTEL SIGNAGE

**SQUARE FOOTAGE**

LEVEL ONE	24,205 S.F.
LEVEL TWO	22,085 S.F.
LEVEL THREE	22,085 S.F.
TOTAL BUILDING AREA	68,375 S.F.
TRASH ENCLOSURE	230 S.F.

**LOT LAND USAGE**

BUILDING FOOT PRINT	24,205 S.F.	29.0%
PARKING AREA	16,245 S.F.	19.42%
DRIVE AREA	2,756 S.F.	3.32%
SIDEWALKS	4,460 S.F.	5.36%
SAZEBO	135 S.F.	0.16%
TRASH ENCLOSURE & APRON	350 S.F.	0.43%
LANDSCAPE AND RETENTION	32,768 S.F.	39.83%
TOTAL LAND AREA	105,631 S.F.	100.00%

PARKING STALL REQUIREMENT: 1 STALL PER GUEST UNIT CODE 14-16-3-1  
 NO MEETING ROOM  
 NO OTHER PUBLIC AMENITY  
 AS LISTED IN CODE 14-16-3-1  
 ADA COUNT EXCEEDS CODE 14-16-3-1 TO ACCOUNT FOR ADA ROOM TOTAL

**ARCHITECT:** LEON LAUVER + ASSOCIATES ARCHITECTS + CONSULTANTS  
 P.O. BOX 1207  
 NORFOLK, NEBRASKA 68701  
 1.402.371.3333

**OWNER:** EXCEL HOSPITALITY  
 SANTOSH + BERT MODY  
 1015 STARSHINE DRIVE  
 ALBUQUERQUE, NEW MEXICO 87114  
 1.505.440.5851

**PROPERTY:** 30 UNIT STAYBRIDGE SUITES  
 NORTHWEST CORNER OF SAN PEDRO AVENUE NE AND SIGNAL AVENUE NE  
 ALBUQUERQUE, NEW MEXICO 87113  
 (NUMBER TBD BY CITY)

**FRANCHISE:** INTERCONTINENTAL HOTELS GROUP  
 SUSAN RADY  
 3 RAVINIA DRIVE SUITE 2300  
 ATLANTA, GEORGIA 30346  
 1.770.604.2261

**ADA NOTE:** ALL REGULATIONS AND GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT AND ADDITIONAL STATE AND LOCAL ACCESSIBILITY CODES SHALL BE MET

**ZONING:** 6U-2 ZONING - 1P