

Legal Description

A CERTAIN TRACT OF LAND SITUATE IN THE ELENA GALLEGOS LAND GRANT IN PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING COMPRISED OF LOTS NUMBERED SEVENTEEN (17), EIGHTEEN (18) AND NINETEEN (19), BLOCK TWELVE(12), NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY IN BOOK D, PAGE 130 ON APRIL 24, 1936, LESS THE EASTERLY 13 FEET OF SAID LOT 17 THEREOF AS PREVIOUSLY CONVEYED TO THE NEW MEXICO DEPARTMENT OF TRANSPORTATION BY THAT WARRANTY DEED FILED AUGUST 23, 1983, IN BOOK D192A, PAGES 391-392, OF THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE TRACT, A POINT IN THE CENTERLINE OF SIGNAL AVENUE, NORTHEAST, WHENCE ALBUQUERQUE CONTROL SURVEY STATION "9-C18" BEARS S01°34'08"E AND 558.34 FEET DISTANT; THENCE N89°41'30"W ALONG SAID CENTERLINE A DISTANCE OF 451.52 FEET TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE N00°17'48"E A DISTANCE OF 264.12 FEET TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE S89°41'42"E A DISTANCE OF 451.40 FEET TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, A POINT ON THE WESTERLY RIGHT OF WAY OF SAN PEDRO STREET, NORTHEAST; THENCE S00°16'03"W ALONG SAID WESTERLY RIGHT OF WAY A DISTANCE OF 264.18 FEET TO THE SOUTHEAST CORNER AND POINT OF BEGINNING AND CONTAINING 2.7375 ACRES, MORE OR LESS.

Plat of Lot 17-A

North Albuquerque Acres, Block 12, Unit "B", Tract "A"
 Projected Section 18, T.11N., R.3E., N.M.P.M.
 Elena Gallegos Land Grant
 City of Albuquerque
 Bernalillo County, New Mexico
 July 2004

PROJECT NO: _____

APPLICATION: _____

Approved and Accepted By: _____

PLANNING DIRECTOR _____

CITY ENGINEER _____

A.M.A.F.C.A. _____

TRAFFIC ENGINEER _____

CITY SURVEYOR _____

WATER RESOURCES _____

PARKS AND GENERAL SERVICES _____

UTILITY DEVELOPMENT DIVISION _____

Utility Signatures _____

3-24-06

PNM GAS & ELECTRIC SERVICES _____

QWEST COMMUNICATIONS _____

COMCAST CABLE _____

County Treasurer's Certificate _____

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# 101806425033020407, 101806423833020406 & 101806422133020405

PROPERTY OWNERS OF RECORD _____

BERNALILLO COUNTY TREASURER'S OFFICE _____

PRELIMINARY PLAT
 APPROVED BY DRB
 ON 7/27/06

Subdivision Data

- D.R.B. CASE NUMBER _____
- ZONE ATLAS INDEX NO. C-18-Z
- GROSS SUBDIVISION ACREAGE 2.7375 Acres
- DATE OF SURVEY JANUARY 2004
- TALOS LOG NO. 2004294432
- SUBDIVISION DATA
 - NUMBER OF LOTS REPLATTED: 3
 - NUMBER OF LOTS CREATED: 1
 - MILES OF ROAD CREATED: 0.000

Free Consent & Dedications:

THE REAL ESTATE SHOWN AND DESCRIBED ON THIS PLAT IS SURVEYED AND SUBDIVIDED WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE WISHES OF THE UNDERSIGNED OWNER(S) THEREOF, SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED, AND THE OWNER(S) OF SUCH REAL ESTATE DO HEREBY GRANT EASEMENTS, DEDICATE TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE THE NORTH 30 FEET OF SIGNAL AVENUE, NE AND DEDICATE IN FEE SIMPLE WITH WARRANTY COVENANTS AN ADDITIONAL 4 FEET FOR SAN PEDRO STREET, NE AS SHOWN HEREON AND HEREBY WAIVE ANY FURTHER CLAIM OR INTEREST TO THE PROPERTY LYING WITHIN SAID RIGHT-OF-WAY AND ANY OVERHANGING OF SERVICE WIRES, THE RIGHT OF INGRESS/EGRESS AND THE RIGHT TO TRIM INTERFERING TREES, TO THE RESPECTIVE UTILITY SERVICES, THEIR SUCCESSORS AND ASSIGNS.

BY: B.H. Mody - OWNER

BY: C.B. Mody - OWNER

Acknowledgment:

STATE OF NEW MEXICO }
 COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 7/27, 2004
 BY B.H. Mody

BY: Annette E. Drexler
 NOTARY PUBLIC
 MY COMMISSION EXPIRES 7/10/06

STATE OF NEW MEXICO }
 COUNTY OF BERNALILLO } SS

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 MY COMMISSION EXPIRES 7-10-06

Public Utility Easements

PUBLIC UTILITIES SHOWN HERE ON THIS PLAT VARY IN WIDTH AND ARE GRANTED FOR THE COMMON AND JOINT USE OF:

THE PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.

THE PNM GAS SERVICE FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.

QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES INCLUDING, BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.

COMCAST CABLE VISION OF NEW MEXICO, INC. FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF THE NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

Documents

ALL RECORD DOCUMENTS USED IN THE PREPARATION OF THIS INSTRUMENT ARE REFERENCED HEREON.

Surveyor's Certificate

I, WILL PLOTNER JR., A NEW MEXICO LICENSED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT A BOUNDARY SURVEY OF THE REAL PROPERTY SHOWN HEREON HAS BEEN SURVEYED, MONUMENTED AND PLATTED IN ACCORDANCE WITH THE STANDARDS FOR LAND SURVEYS IN THE STATE OF NEW MEXICO, AND MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY AND PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION.

Will Plotner Jr. 7/27/04
 WILL PLOTNER JR. DATE
 N.M.P.S. No. 14271

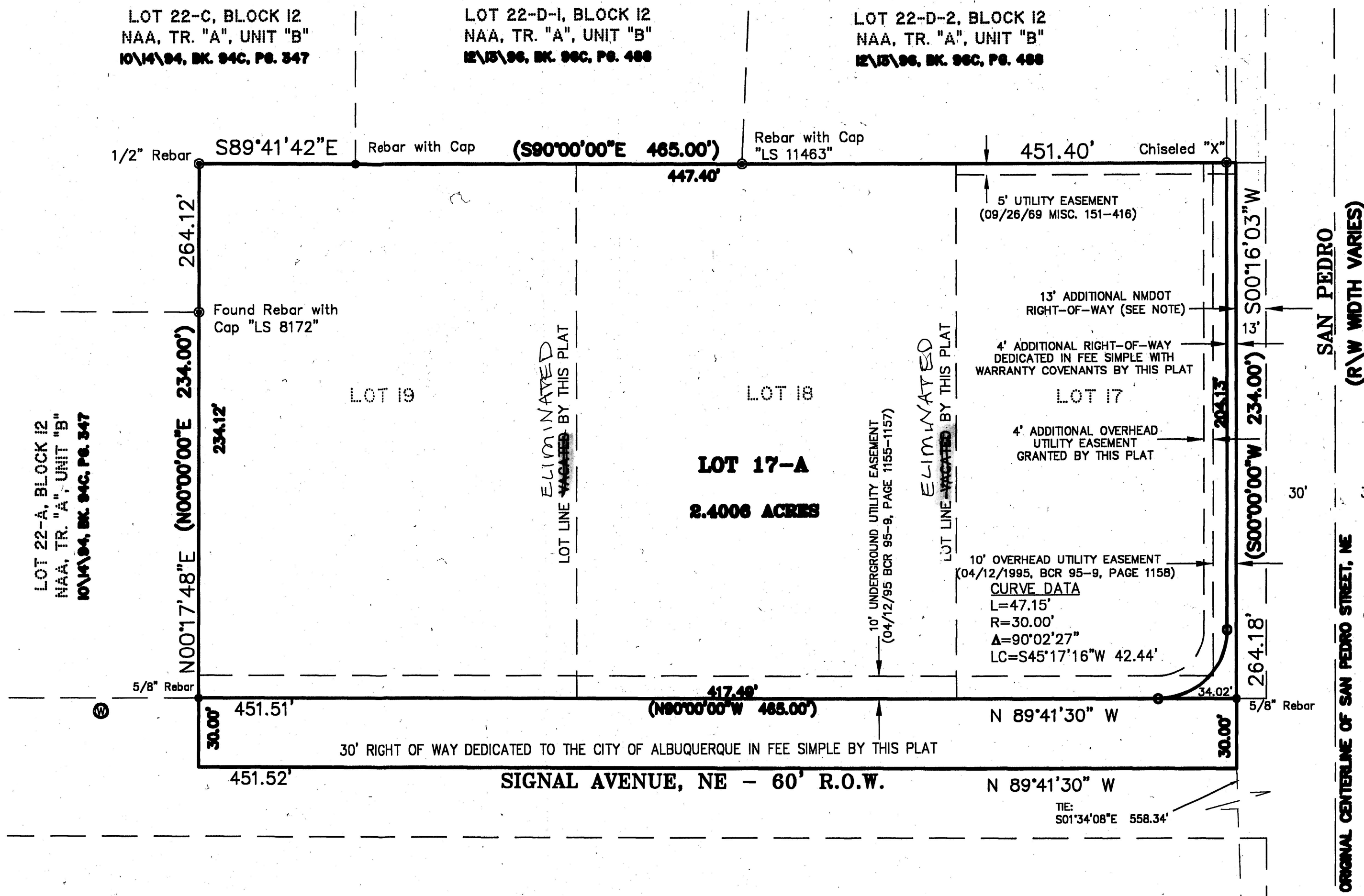


CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505)891-0244

Plat of Lot 17-A

North Albuquerque Acres, Block 12, Unit "B", Tract "A"
Projected Section 18, T.11N., R.3E., N.M.L.P.M.
Elena Gallegos Land Grant
City of Albuquerque
Bernalillo County, New Mexico
July 2004

NOTE: THE EASTERLY 13 FEET OF LOT 17 WAS CONVEYED TO THE NEW MEXICO DEPARTMENT OF TRANSPORTATION BY WARRANTY DEED, RICHARD M. HADAD AND THERESA A. HADAD, GRANTORS, AS FILED IN THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO, IN BOOK D1924 AT PAGES 391 AND 392, ON AUGUST 23, 1983.

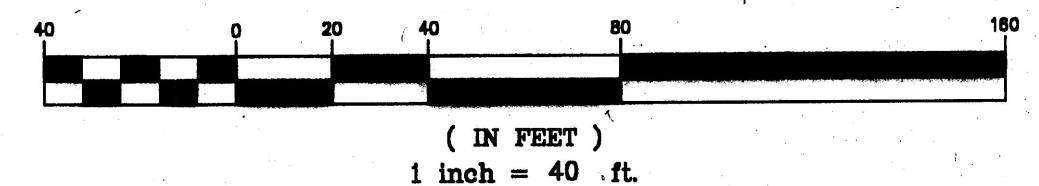


Legend

(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (95C-126)
N90°00'00"E	MEASURED BEARING AND DISTANCES
●	FOUND AS INDICATED
○	SET BATHEY MARKER "LS 14271"
△	CENTERLINE MONUMENT
P.D.E.	PUBLIC DRAINAGE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT



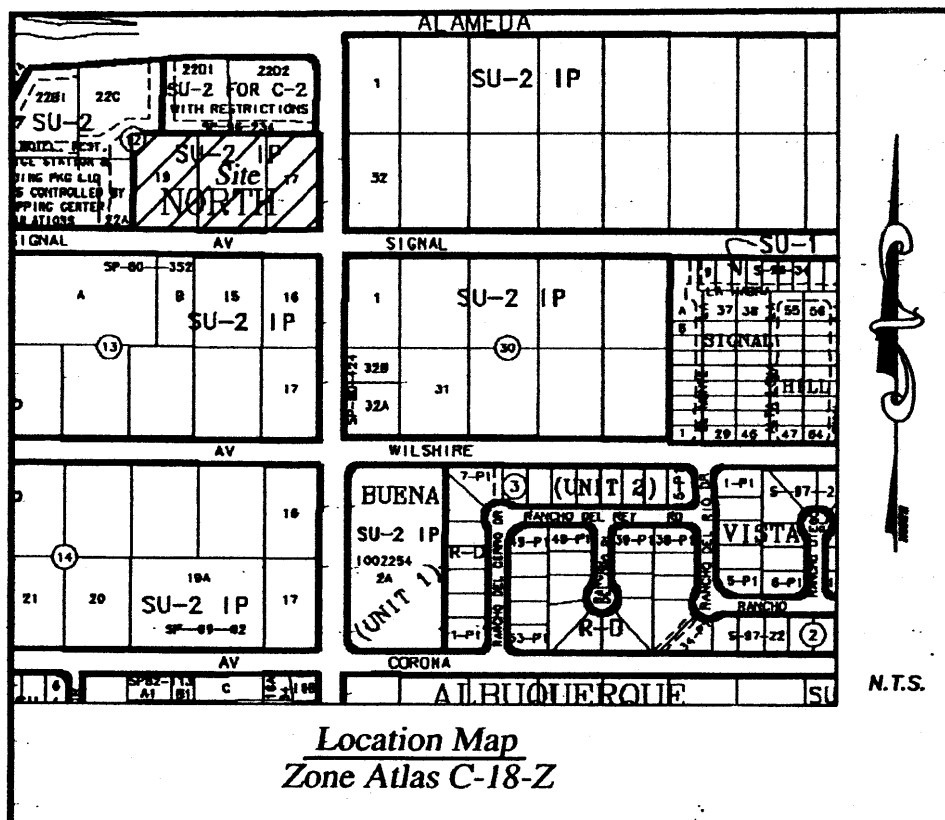
GRAPHIC SCALE



ACS Monument "9-C18"
NAD 1927 CENTRAL ZONE
X=402,255.61
Y=1,521,435.09
Z=5229.79 (NAVD 1929)
G-C=0.9996608
Delta Alpha=-00°11'19"

Notes

1. FIELD SURVEY PERFORMED IN JANUARY 2004.
2. ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
3. PLAT SHOWS ALL EASEMENTS OF RECORD.
4. THE TRACT SHOWN HEREON IS ZONED SU-2 IP.
5. BEARINGS SHOWN HEREON ARE NEW MEXICO COORDINATE SYSTEM STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD27, AND ARE REFERENCED TO THE ALBUQUERQUE CONTROL SURVEY SYSTEM.
6. THE PURPOSE OF THIS PLAT IS TO:
COMBINE LOTS 18, 19 AND THE REMAINDER OF LOT 17, THE EASTERLY 13 FEET OF WHICH WAS PREVIOUSLY CONVEYED TO NMDOT, OF BLOCK 12, UNIT A TRACT, B OF NORTH ALBUQUERQUE ACRES INTO A SINGLE LOT NUMBERED 17-A
DEDICATE PUBLIC STREET RIGHTS OF WAY AS SHOWN.
GRANT EASEMENTS AS SHOWN HEREON.
7. ALL PROPERTY CORNERS ARE MARKED BY A SET BATHEY MARKER WITH CAP "LS 14271" UNLESS INDICATED OTHERWISE.
8. CITY OF ALBUQUERQUE WATER AND SEWER SERVICE IS CURRENTLY AVAILABLE TO THE SUBJECT PROPERTY.
9. THIS PROPERTY IS CURRENTLY ZONED SU-2 IP.



Subdivision Data

1. D.R.B. CASE NUMBER _____
2. ZONE ATLAS INDEX NO. C-18-Z
3. GROSS SUBDIVISION ACREAGE 2.7375 Acres
4. DATE OF SURVEY JANUARY 2004.
5. TALOS LOG NO. 2004294432
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BY: [Signature]
B.H. MODY - OWNER

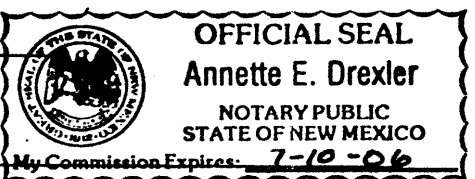
BY: [Signature]
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Acknowledgment:

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COUNTY OF BERNALILLO }

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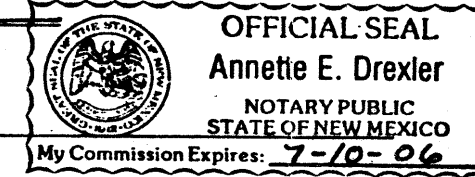
BY: [Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES 7/10/06



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[Signature] 7/27/04
WILL PLOTNER JR. DATE
N.M.P.S. No. 14271



Plat of Lot 17-A

North Albuquerque Acres, Block 12, Unit "B", Tract "A"
Projected Section 18, T.11N., R.3E., N.M.P.M.
Elena Gallegos Land Grant
City of Albuquerque
Bernalillo County, New Mexico
July 2004

PROJECT NO: 1003483
APPLICATION: 06DRB-00400

Approved and Accepted By:

[Signature] PLANNING DIRECTOR
[Signature] CITY ENGINEER
[Signature] A.M.A.F.C.A.

[Signature] TRAFFIC ENGINEER
[Signature] CITY SURVEYOR

[Signature] PARKS AND GENERAL SERVICES Recreation
[Signature] UTILITY DEVELOPMENT DIVISION

[Signature] Utility Signatures
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PROPERTY OWNERS OF RECORD
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BERNALILLO COUNTY TREASURER'S OFFICE

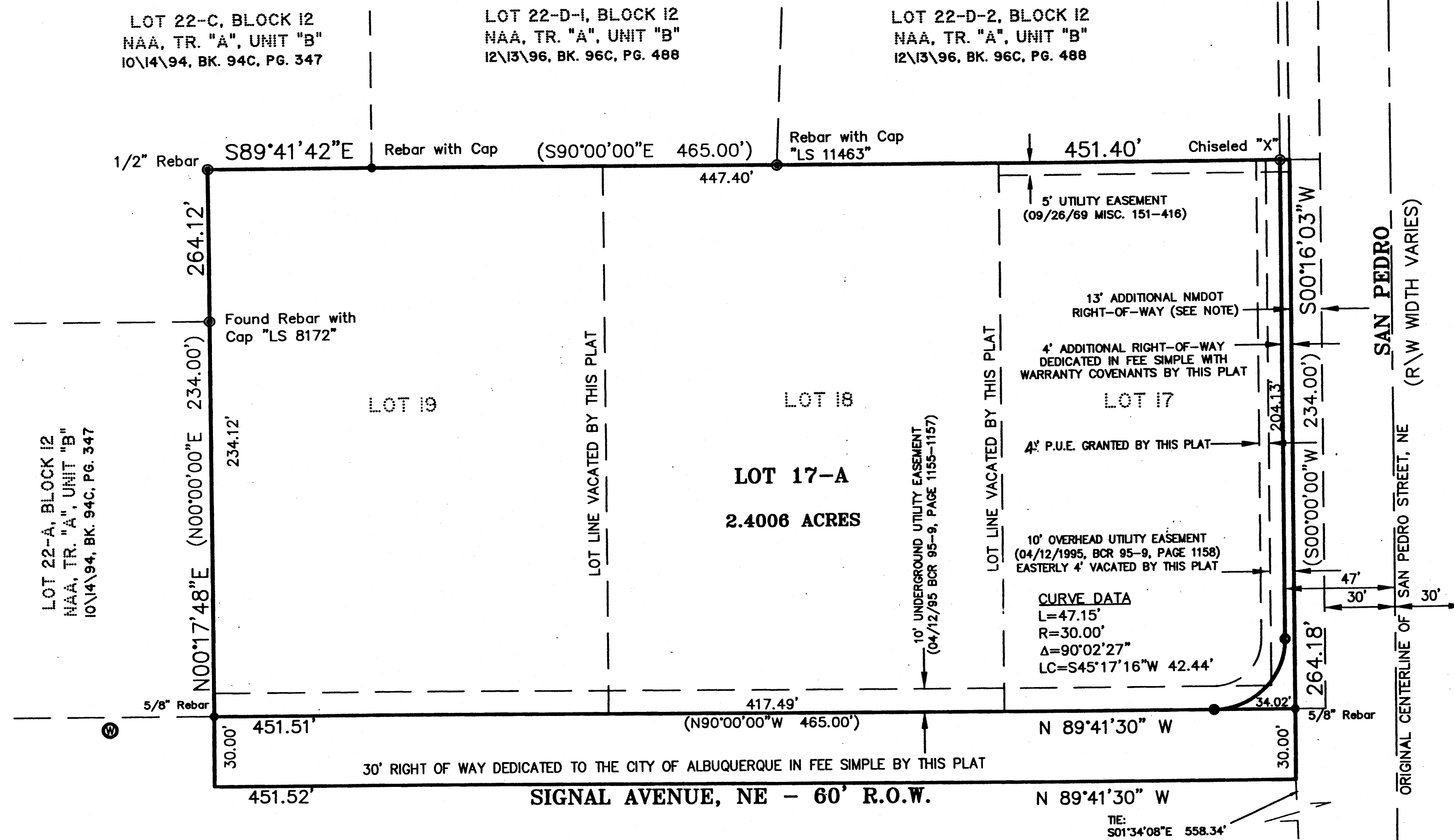


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Phone (505) 896-3050 Fax (505)891-0244

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Legend

(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (95C-126)
N90°00'00"E	MEASURED BEARING AND DISTANCES
●	FOUND AS INDICATED
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△	CENTERLINE MONUMENT
P.D.E.	PUBLIC DRAINAGE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT

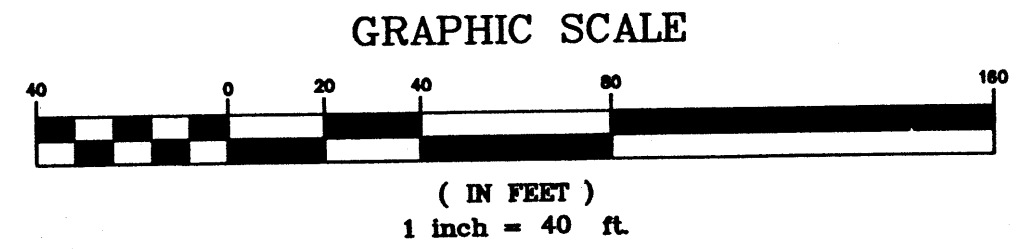
Barcode: Maru Herrera Bern. Co. PLRT R 12.00 Bk-2866C Pg-114

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6436523
Page: 2 of 2
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Bk-2866C Pg-114

Notes

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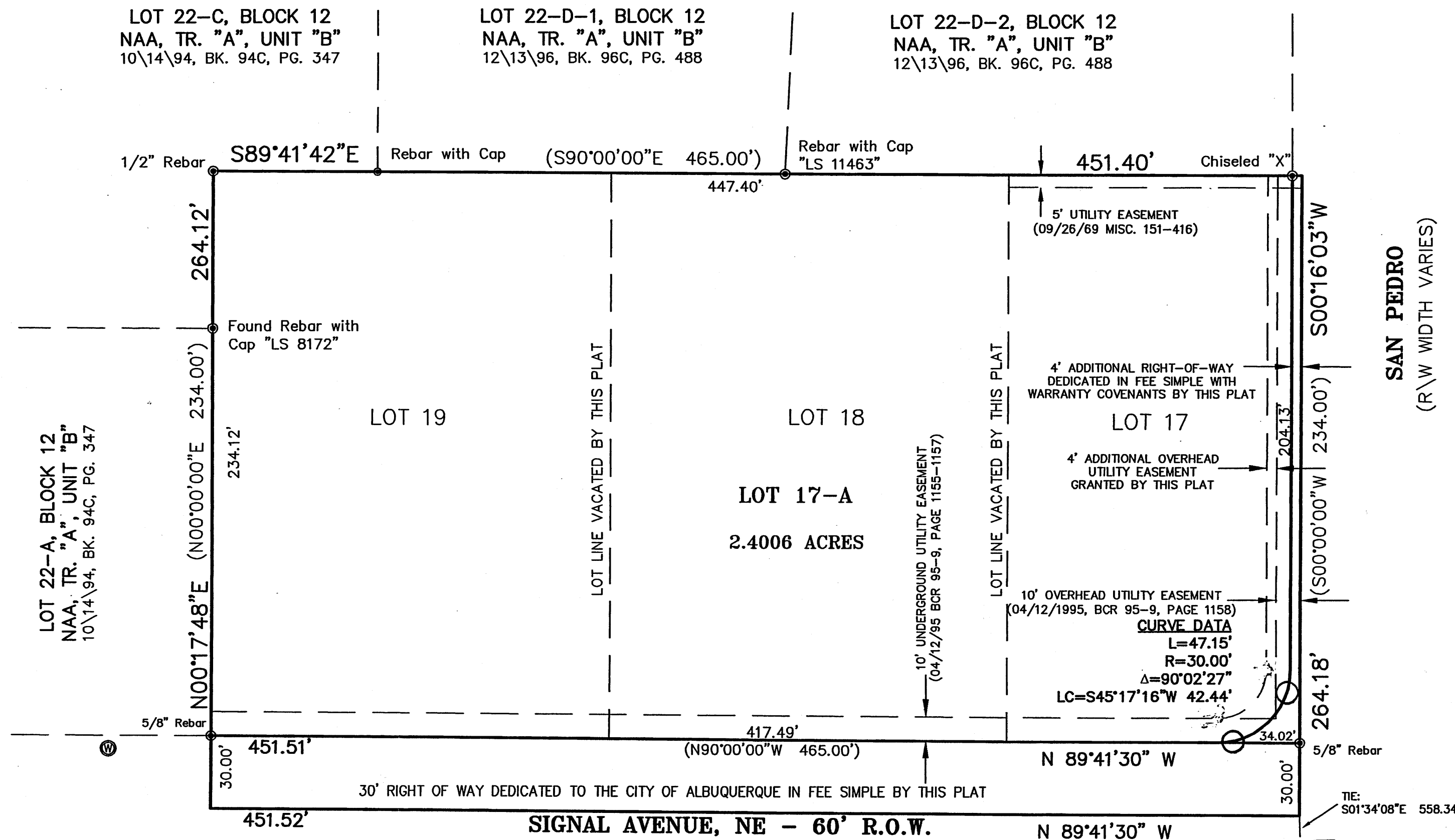


CARTESIAN SURVEYS
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Plat of Lot 17-A

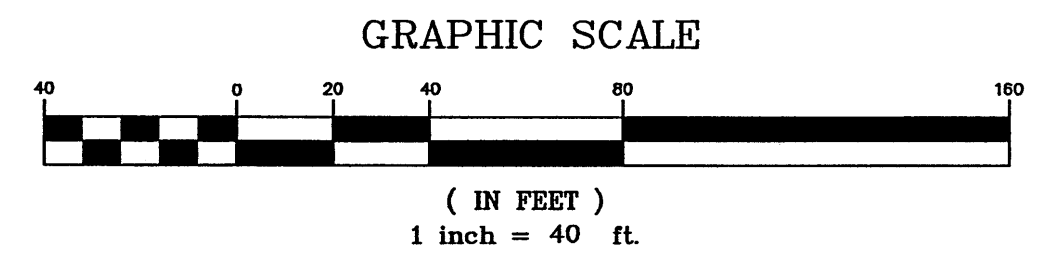
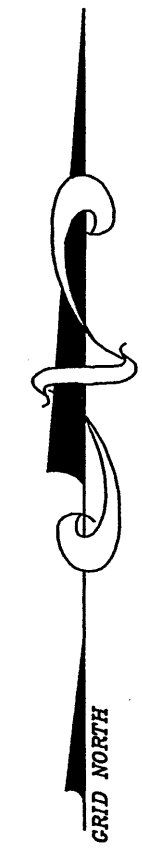
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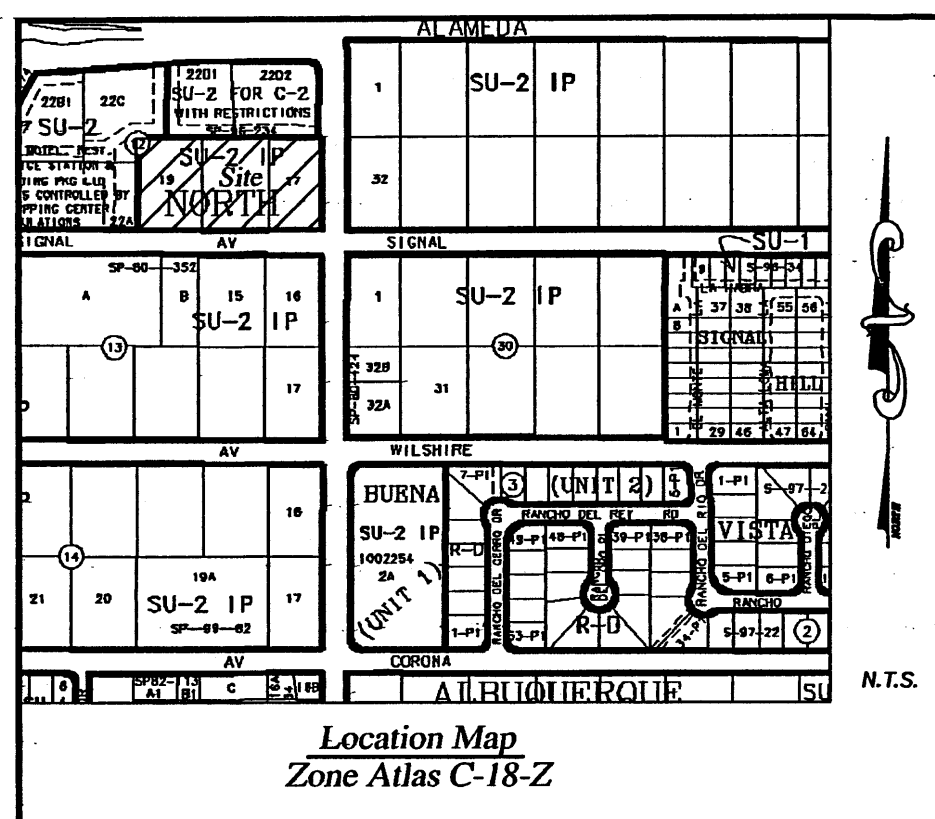


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DEDICATE PUBLIC STREET RIGHTS OF WAY AS SHOWN.
GRANT EASEMENTS AS SHOWN HEREON.
7. ALL PROPERTY CORNERS ARE MARKED BY A SET BATHEY MARKER WITH CAP "LS 14271" UNLESS INDICATED OTHERWISE.
8. CITY OF ALBUQUERQUE WATER AND SEWER SERVICE IS CURRENTLY AVAILABLE TO THE SUBJECT PROPERTY.
9. THIS PROPERTY IS CURRENTLY ZONED SU-2 IP.

CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244



Legal Description

A CERTAIN TRACT OF LAND SITUATE IN THE ELENA GALLEGOS LAND GRANT IN PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING COMPRISED OF LOTS NUMBERED SEVENTEEN (17), EIGHTEEN (18) AND NINETEEN (19), BLOCK TWELVE(12), NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY IN BOOK D, PAGE 130 ON APRIL 24, 1936, LESS THE EASTERLY 13 FEET OF SAID LOT 17 THEREOF AS PREVIOUSLY CONVEYED TO THE NEW MEXICO DEPARTMENT OF TRANSPORTATION BY THAT WARRANTY DEED FILED AUGUST 23, 1983, IN BOOK D192A, PAGES 391-392, OF THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE TRACT, A POINT IN THE CENTERLINE OF SIGNAL AVENUE, NORTHEAST, WHENCE ALBUQUERQUE CONTROL SURVEY STATION "9-C18" BEARS S01°34'08"E AND 558.34 FEET DISTANT; THENCE N89°41'30"W ALONG SAID CENTERLINE A DISTANCE OF 451.52 FEET TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE N00°17'48"E A DISTANCE OF 264.12 FEET TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE S89°41'42"E A DISTANCE OF 451.40 FEET TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, A POINT ON THE WESTERLY RIGHT OF WAY OF SAN PEDRO STREET, NORTHEAST; THENCE S00°16'03"W ALONG SAID WESTERLY RIGHT OF WAY A DISTANCE OF 264.18 FEET TO THE SOUTHEAST CORNER AND POINT OF BEGINNING AND CONTAINING 2.7375 ACRES, MORE OR LESS.

**Plat of
Lot 17-A**
North Albuquerque Acres, Block 12, Unit "B", Tract "A"
Projected Section 18, T.11N., R.3E., N.M.P.M.
Elena Gallegos Land Grant
City of Albuquerque
Bernalillo County, New Mexico
July 2004

**PRELIMINARY PLAT
APPROVED BY DRB
ON 8/25/04**

PROJECT NO: _____
APPLICATION: _____
Approved and Accepted By: _____

PLANNING DIRECTOR _____

CITY ENGINEER _____

A.M.A.F.C.A. _____

TRAFFIC ENGINEER _____
W.B. Ford 7-27-04
CITY SURVEYOR

WATER RESOURCES _____

PARKS AND GENERAL SERVICES _____

UTILITY DEVELOPMENT DIVISION
Utility Signatures

PNM GAS & ELECTRIC SERVICES _____

QWEST COMMUNICATIONS _____

COMCAST CABLE _____

County Treasurer's Certificate
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# 101806425033020407, 101806423833020406 & 101806422133020405

PROPERTY OWNERS OF RECORD _____

BERNALILLO COUNTY TREASURER'S OFFICE



Subdivision Data

- D.R.B. CASE NUMBER _____
- ZONE ATLAS INDEX NO. C-18-Z
- GROSS SUBDIVISION ACREAGE 2.7375 Acres
- DATE OF SURVEY JANUARY 2004
- TALOS LOG NO. 2004294432
- SUBDIVISION DATA
 - NUMBER OF LOTS REPLATTED: 3
 - NUMBER OF LOTS CREATED: 1
 - MILES OF ROAD CREATED: 0.000

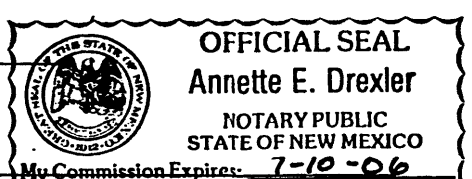
Free Consent & Dedications:

THE REAL ESTATE SHOWN AND DESCRIBED ON THIS PLAT IS SURVEYED AND SUBDIVIDED WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE WISHES OF THE UNDERSIGNED OWNER(S) THEREOF, SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED, AND THE OWNER(S) OF SUCH REAL ESTATE DO HEREBY GRANT EASEMENTS, DEDICATE TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE THE NORTH 30 FEET OF SIGNAL AVENUE, NE AND DEDICATE IN FEE SIMPLE WITH WARRANTY COVENANTS AN ADDITIONAL 4 FEET FOR SAN PEDRO STREET, NE AS SHOWN HEREON AND HEREBY WAIVE ANY FURTHER CLAIM OR INTEREST TO THE PROPERTY LYING WITHIN SAID RIGHT-OF-WAY AND ANY OVERHANGING OF SERVICE WIRES, THE RIGHT OF INGRESS/EGRESS AND THE RIGHT TO TRIM INTERFERING TREES, TO THE RESPECTIVE UTILITY SERVICES, THEIR SUCCESSORS AND ASSIGNS.

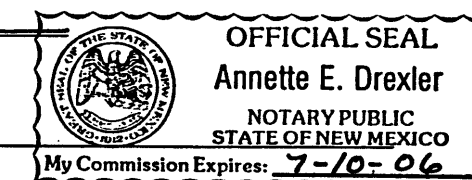
Owners Name
By *[Signature]*
By *[Signature]*

Acknowledgment:

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } SS
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 7/27, 2004
BY B.H. Mody
BY: *[Signature]*
NOTARY PUBLIC
MY COMMISSION EXPIRES 7/10/06



STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } SS
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 7/27, 2004
BY C.B. Mody
BY: *[Signature]*
NOTARY PUBLIC
MY COMMISSION EXPIRES 7-10-06



Public Utility Easements

PUBLIC UTILITIES SHOWN HERE ON THIS PLAT VARY IN WIDTH AND ARE GRANTED FOR THE COMMON AND JOINT USE OF:

THE PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.

THE PNM GAS SERVICE FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.

QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES INCLUDING, BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.

COMCAST CABLE VISION OF NEW MEXICO, INC. FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF THE NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

Documents

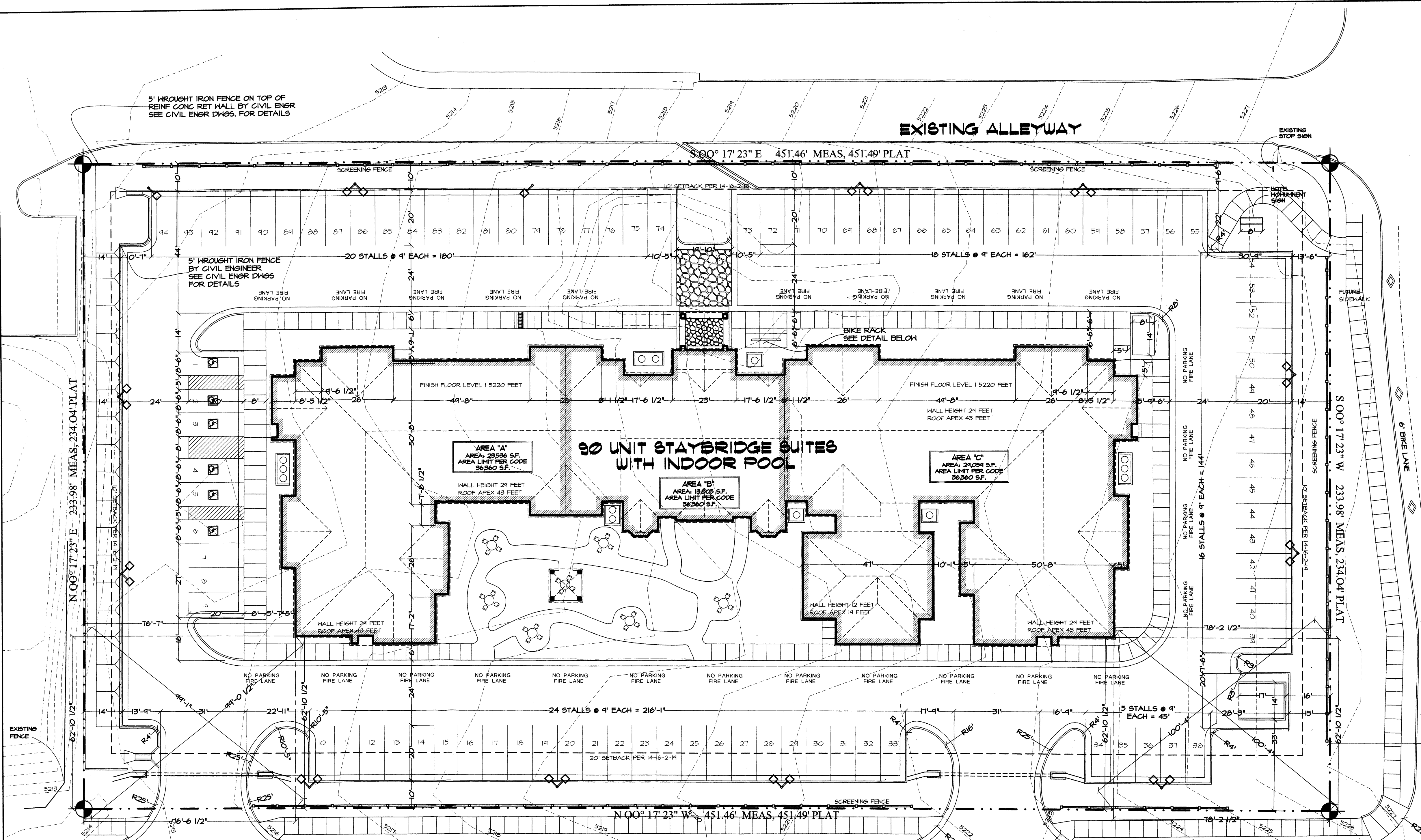
ALL RECORD DOCUMENTS USED IN THE PREPARATION OF THIS INSTRUMENT ARE REFERENCED HEREON.

Surveyor's Certificate

I, WILL PLOTNER JR., A NEW MEXICO LICENSED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT A BOUNDARY SURVEY OF THE REAL PROPERTY SHOWN HEREON HAS BEEN SURVEYED, MONUMENTED AND PLATTED IN ACCORDANCE WITH THE STANDARDS FOR LAND SURVEYS IN THE STATE OF NEW MEXICO, AND MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY AND PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION.

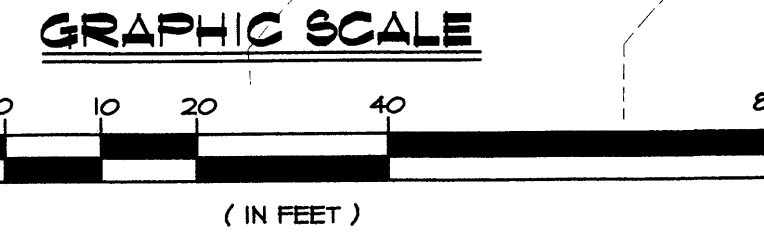
[Signature] 7/27/04
WILL PLOTNER JR. DATE
N.M.P.S. No. 14271

CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505)891-0244

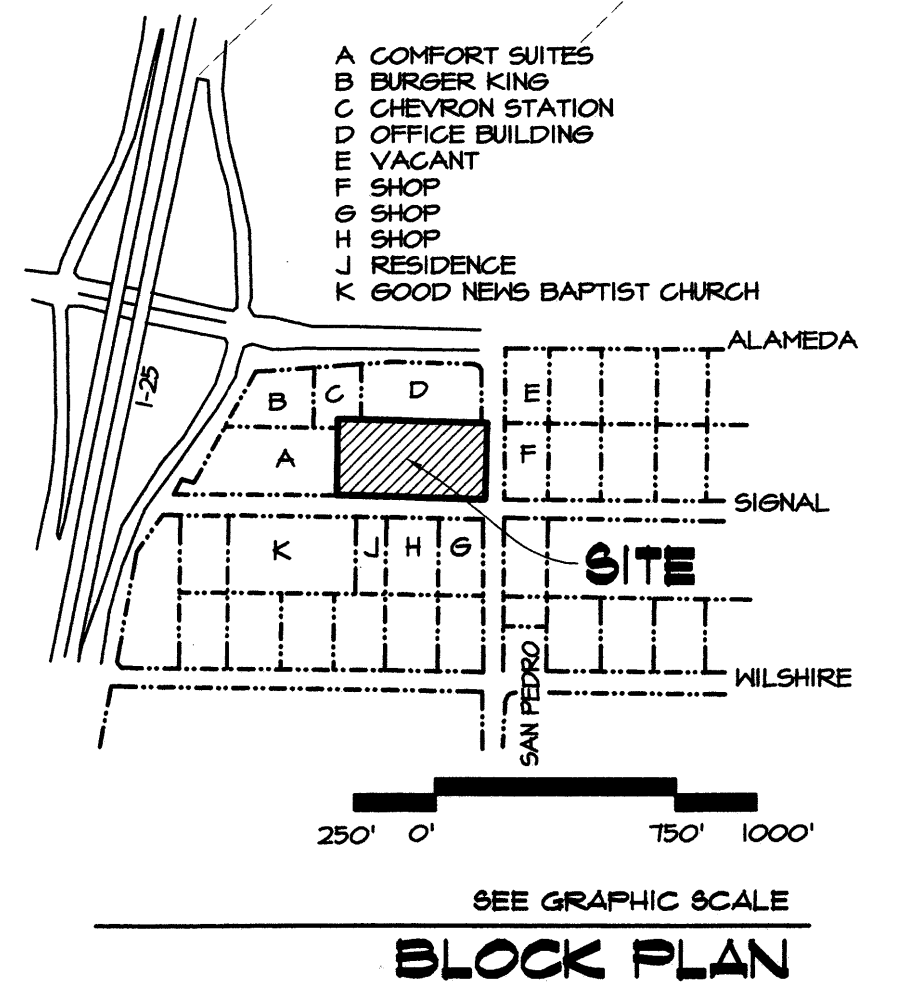


SITE PLAN

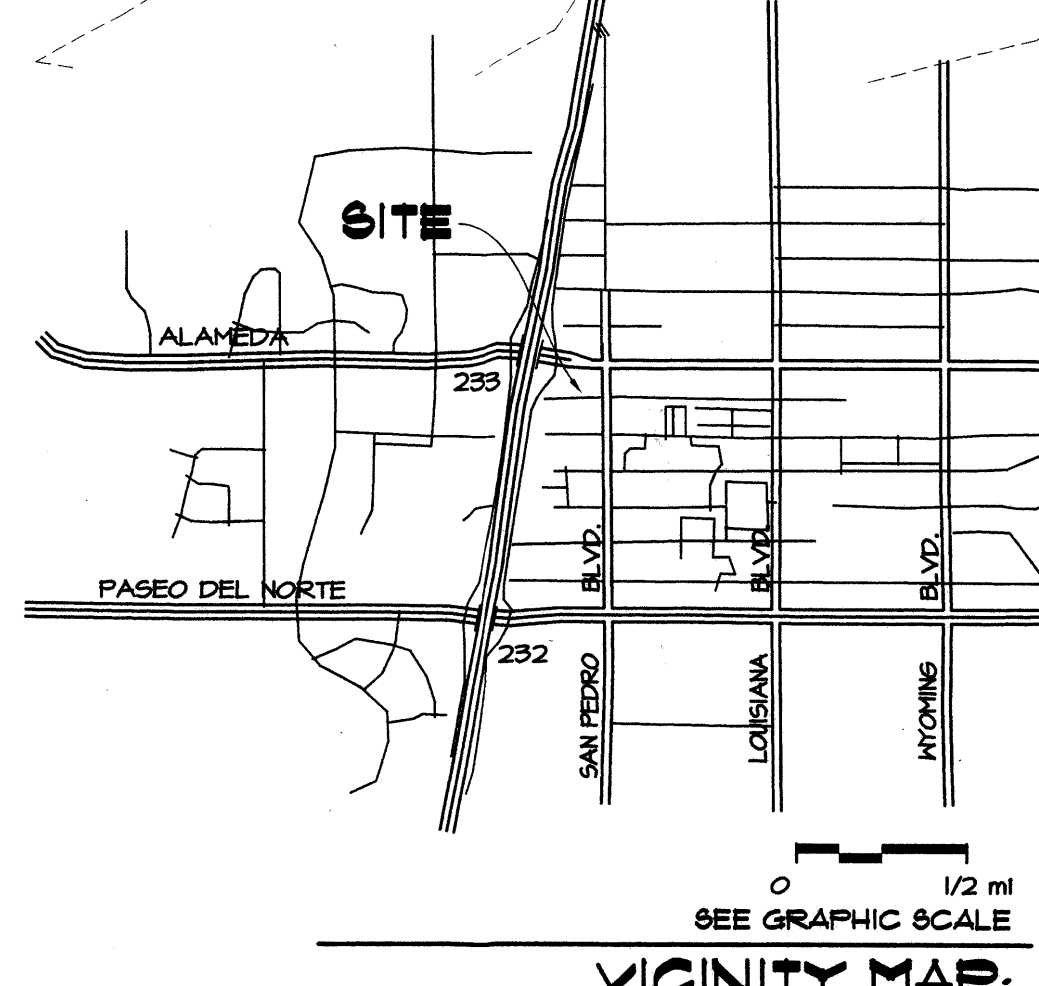
SCALE 1" = 20'-0"



NOTE: ON REPRODUCTIONS OTHER THAN ON A SIZE "D" SHEET (24"x36") PLEASE REFER TO THE GRAPHIC SCALE AT LEFT.



SEE GRAPHIC SCALE
BLOCK PLAN



SEE GRAPHIC SCALE
VICINITY MAP:

NOTES

1. THE TRANSFORMER PAD, GAS METER AND THE TRASH ENCLOSURE SHALL BE SCREENED WITH SMALL TREES AND LARGE SHRUBS TO MATCH LOCAL BIOTA. NO SHRUB OR TREE SHALL IMPEDE OPERATION OF ANY OF THESE DEVICES. THE TRASH ENCLOSURE SHALL CONFORM TO INTERCONTINENTAL HOTELS GROUP AND CITY SPECIFICATIONS.
2. ALL UTILITY LINES SHALL BE FIELD VERIFIED WITH CITY OF ALBUQUERQUE CODES PRIOR TO INSTALLATION OF SITE WORK.
3. ALL LANDSCAPING SHALL BE DONE IN ACCORDANCE WITH INTERCONTINENTAL HOTELS GROUP WITH PROPER ADJUSTMENTS MADE TO ENSURE LOCAL CLIMATE AND BIOTA ARE FOLLOWED. ALL CODES OF THE CITY OF ALBUQUERQUE, NEW MEXICO CONCERNING LANDSCAPING SHALL BE MET. IN THE EVENT OF CONFLICT THE REGULATIONS OF THE CITY OF ALBUQUERQUE WILL HAVE PRIORITY.
4. UNDER NO CIRCUMSTANCES SHALL ANY TREE, SHRUB OR OTHER FIXTURE IMPEDE THE PASSAGE OF EMERGENCY EQUIPMENT IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
5. SEE SHEET L.I.I FOR ALL LANDSCAPING DETAILS.
6. SEE SHEET A.2.I FOR ALL ELEVATION DETAILS
7. SEE SHEET C.I.2 FOR PARKING LOT LIGHTS AND HOTEL SIGNAGE

SQUARE FOOTAGE

LEVEL ONE	24,305 S.F.	24.305%
LEVEL TWO	16,245 S.F.	16.245%
LEVEL THREE	22,085 S.F.	22.085%
TOTAL BUILDING AREA	62,635 S.F.	
TRASH ENCLOSURE	230 S.F.	

LOT LAND USAGE

BUILDING FOOT PRINT	24,305 S.F.	23.01%
PARKING AREA	16,245 S.F.	15.42%
DRIVE AREA	21,356 S.F.	20.55%
SIDEWALKS	4,460 S.F.	4.22%
GAZEBO	153 S.F.	0.14%
TRASH ENCLOSURE & APRON	350 S.F.	0.33%
LANDSCAPE AND RETENTION	32,160 S.F.	31.02%
TOTAL LAND AREA	105,631 S.F.	100.00%

PARKING STALL REQUIRED PER 14-16-3-1	40	
PARKING STALLS PROVIDED	45	101.54%
ADA STALLS REQUIRED PER 14-16-3-1	6	
ADA STALLS PROVIDED	6	100%

PARKING STALL REQUIREMENT: 1 STALL PER GUEST UNIT CODE 14-16-3-1
NO MEETING ROOM
NO OTHER PUBLIC AMENITY
AS LISTED IN CODE 14-16-3-1
ADA COUNT EXCEEDS CODE 14-16-3-1 TO ACCOUNT FOR ADA ROOM TOTAL

PROJECT NUMBER: #1003483
APPLICATION NUMBER: 04DRB-00853

IS AN INFRASTRUCTURE LIST REQUIRED: (Y)
IF YES THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN A PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
UTILITIES DEVELOPMENT	DATE:
PARKS AND RECREATION	DATE:
CITY ENGINEER	DATE:
ENVIRONMENTAL HEALTH	DATE:
SOLID WASTE MANAGEMENT	DATE:
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
DRB CHAIR, PLANNING DEPARTMENT	DATE:

BASIC DESIGN DATA:

BUILDING CODE:	IBC 1999	
BUILDING TYPE:	5-A	
OCCUPANCY:	R-1	
HEIGHT:	43'	
ZONE:	SU-2 (1P)	
SPRINKLER:	NFPA-13	

SURFACE MATERIALS LIST

E.I.F.S. CARDAMON #3052 CLASSIC FINISH

E.I.F.S. BISCUIT #3100 CLASSIC FINISH

E.I.F.S. EDELWEISS #3045 CLASSIC FINISH

FASCIA AND SOFFIT COLOR: GAMED (VINYL) OR GLIDDEN PAINT #40TY85 / 063

SIMULATED DRY STACK STONE

GUTTER AND DOWN SPOUT PAINTED TO MATCH ADJACENT E.F.I.S. AT WALLS AND BANDS

P.T.A.C. GRILL PAINTED TO MATCH ADJACENT E.F.I.S.

MOLDED DECORATIVE LOUVER COLOR TO MATCH CARDAMON E.F.I.S.

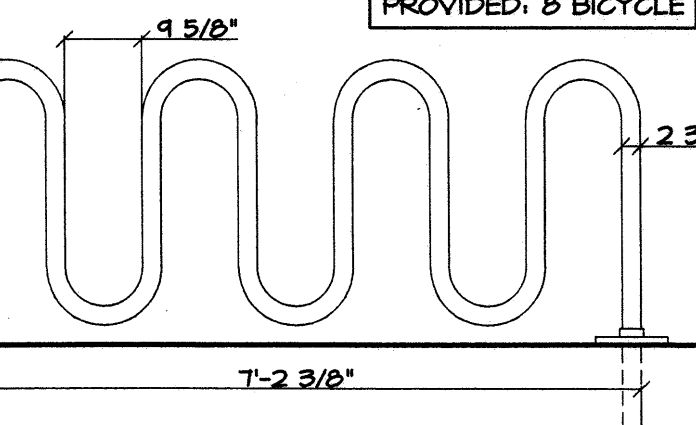
CONCRETE TILE ROOF, COLOR LIGHT GREEN

NOTE: SEE SHEET A.2.I FOR DETAILS
E.I.F.S. COLORS PER SENARY CONTRACTOR MUST GET ING APPROVAL FOR MATCH

RATIO: 1 BICYCLE / 20 PARKING

REQUIRED: 5 BICYCLE / 45 PARKING

PROVIDED: 5 BICYCLE



BIKE RACK DETAIL
SCALE 1/2" = 1'-0"

SPBP
PRELIMINARY
APPROVED BY DRB
ON 8/15/04

Staybridge Suites
site development plan for building permit
albuquerque, new mexico

drawn:	th
checked:	L.K.Lauer
start date:	2.25.04
plot date:	8.16.04
approved:	

7.2.04 th
6.14.04 th
6.1.04

revisions:

STATE OF NEW MEXICO
LEON K LAUER
NO. 2683
REGISTERED ARCHITECT

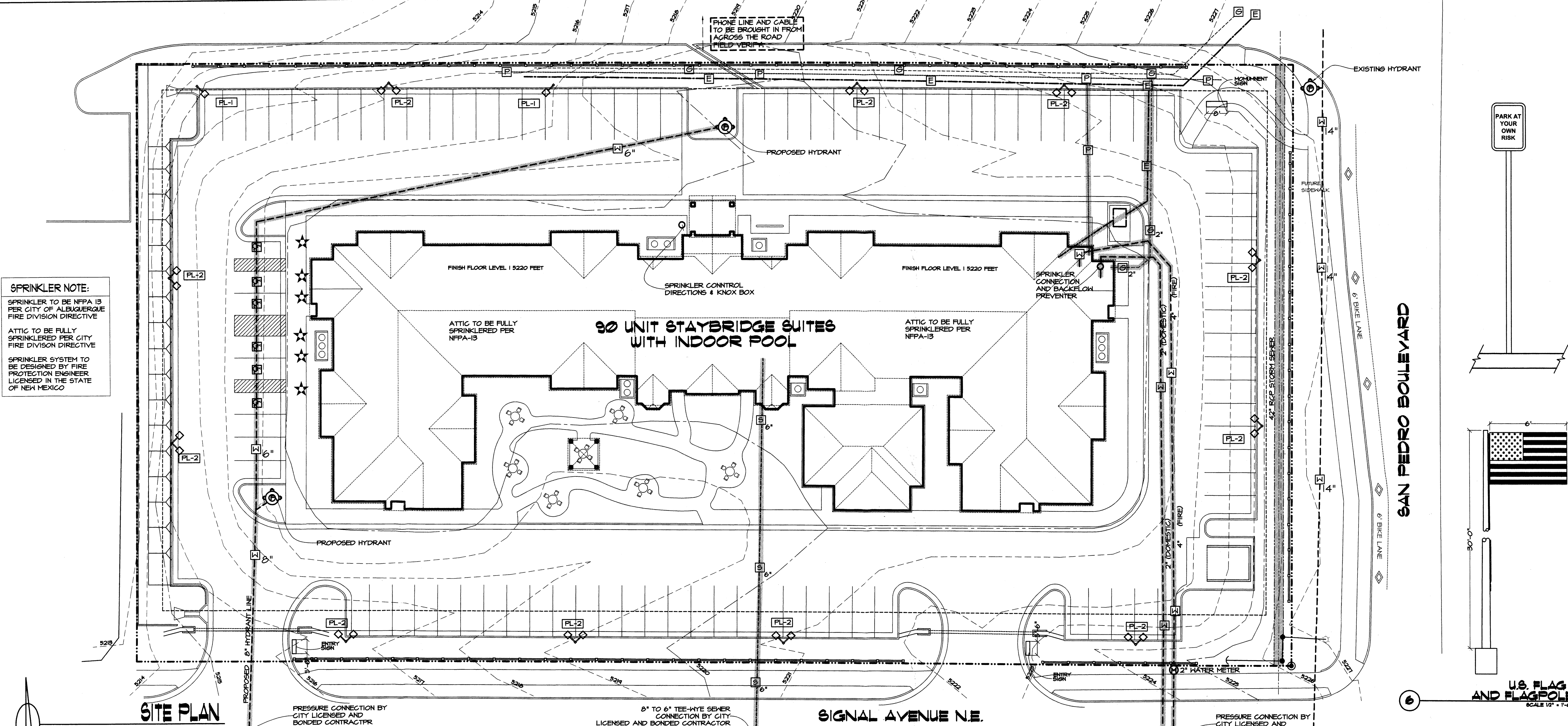
architect's seal:

leon lauer + associates architects + consultants
p. o. box number 1207
norfolk, nebraska 68701
voice: 1.402.371.3333
fax: 1.402.371.1164

job no: **455**

sheet: **C1.1**

SPRINKLER NOTE:
 SPRINKLER TO BE NFPA 13 PER CITY OF ALBUQUERQUE FIRE DIVISION DIRECTIVE
 ATTIC TO BE FULLY SPRINKLERED PER CITY FIRE DIVISION DIRECTIVE
 SPRINKLER SYSTEM TO BE DESIGNED BY FIRE PROTECTION ENGINEER LICENSED IN THE STATE OF NEW MEXICO



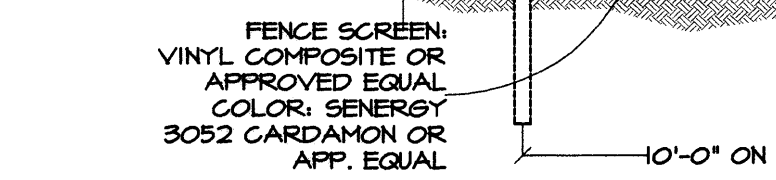
SITE PLAN
 SCALE 1" = 20'-0"

GRAPHIC SCALE
 (IN FEET)

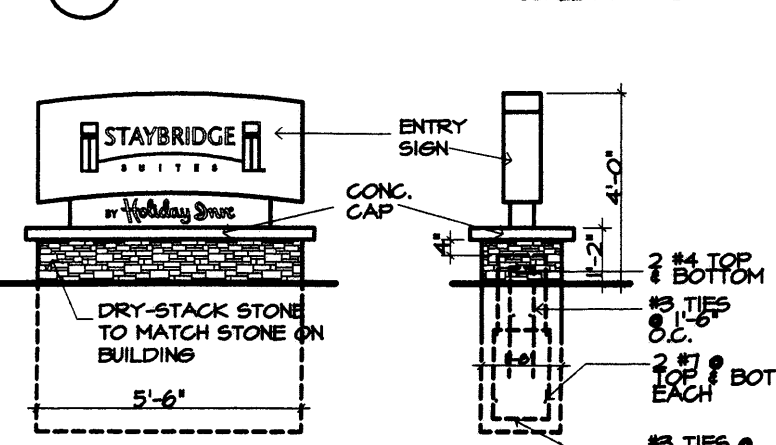
NOTE: ON REPRODUCTIONS OTHER THAN ON A SIZE D SHEET (24X36) PLEASE REFER TO THE GRAPHIC SCALE ABOVE

NOTE:

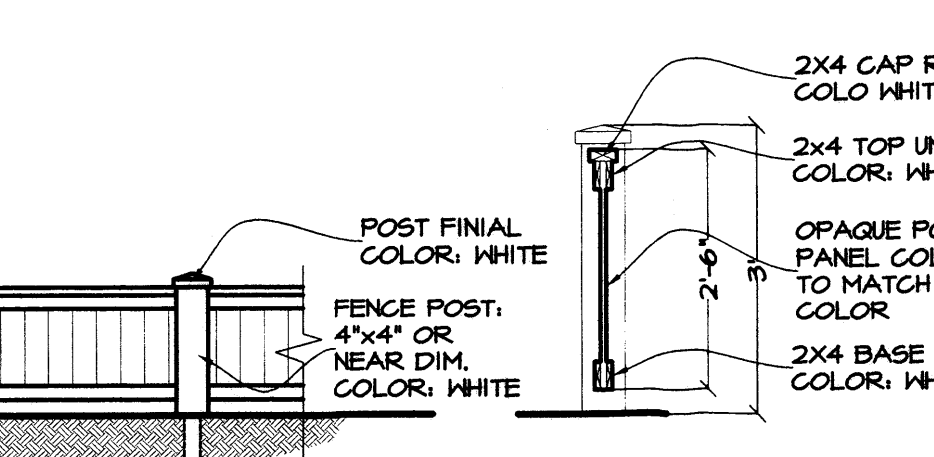
FENCING CONTRACTOR IS RESPONSIBLE FOR ALL FINAL DETAILS CONCERNING THE FENCE'S CONSTRUCTION MAKEUP AND DETAILS FENCING CONTRACTOR IS TO SEND CUT SHEETS AND OTHER DATA TO INTERCONTINENTAL HOTELS, 2400 RAVINIA DRIVE SUITE 2400, ATLANTA GA 30346 PH. 770.604.5143



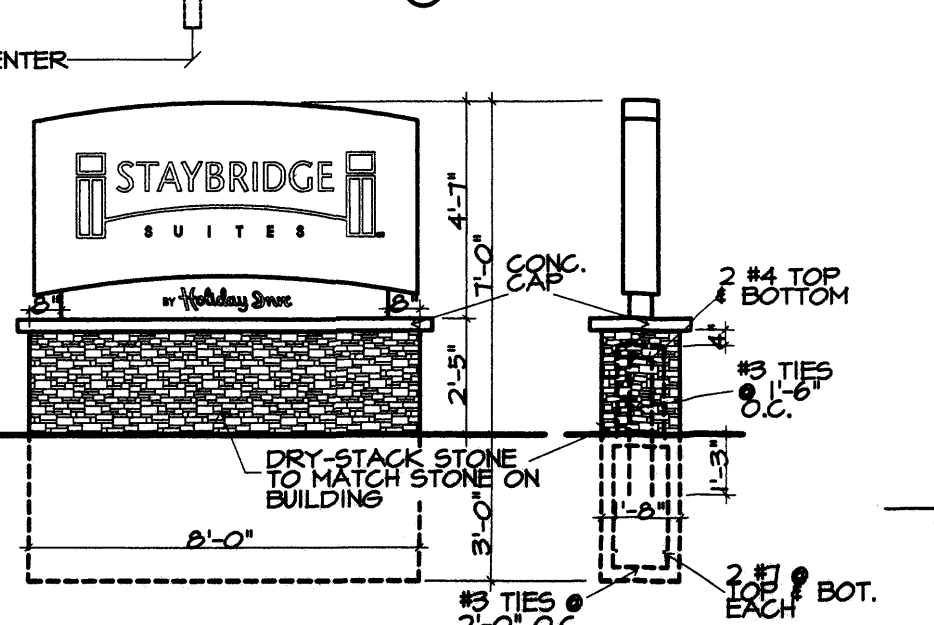
FENCE SECTION
 SCALE 1/4" = 1'-0"



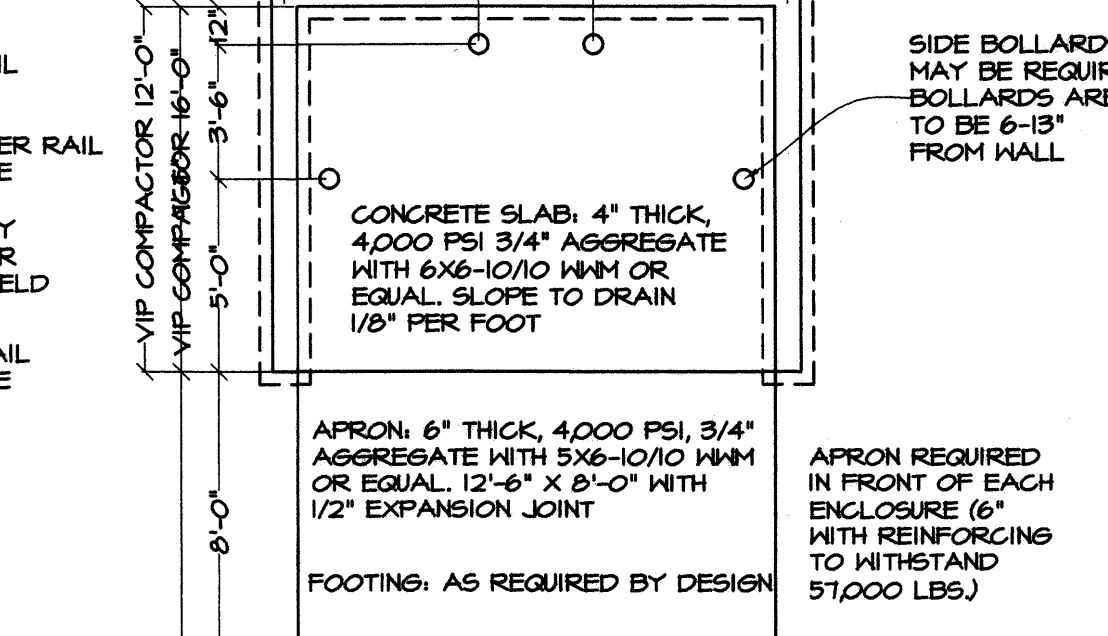
ENTRY SIGN
 SCALE 1/4" = 1'-0"



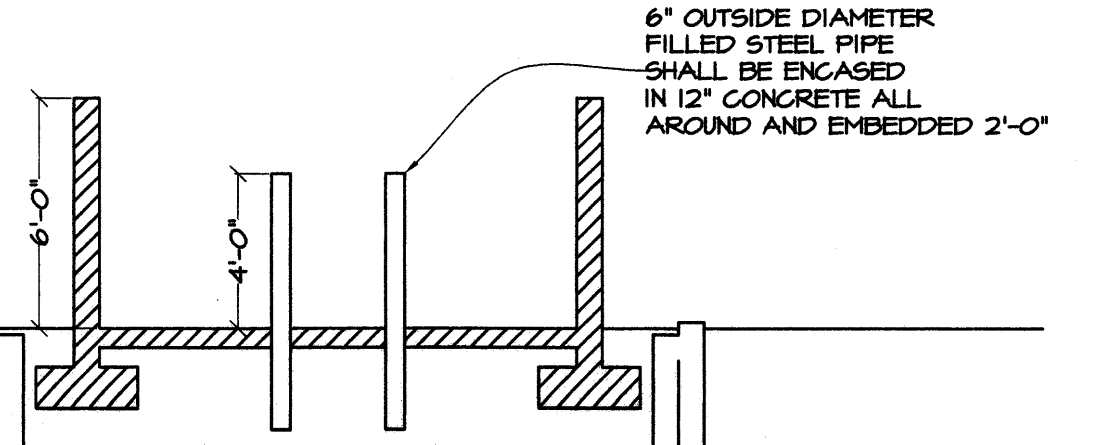
FENCE SECTION
 SCALE 1/4" = 1'-0"



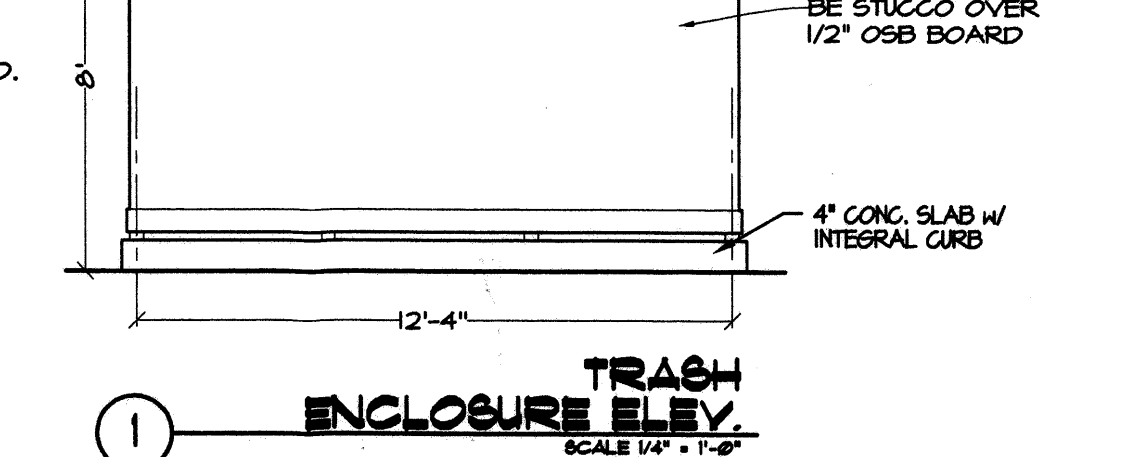
MONUMENT SIGN
 SCALE 1/4" = 1'-0"



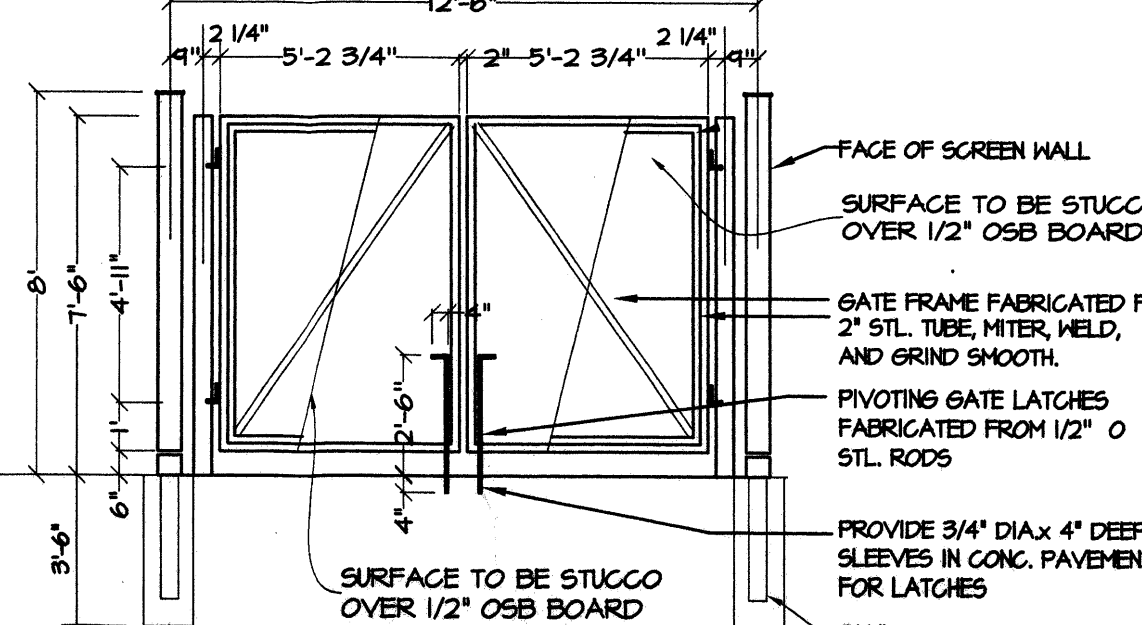
TRASH ENCLOSURE ELEV.
 SCALE 1/4" = 1'-0"



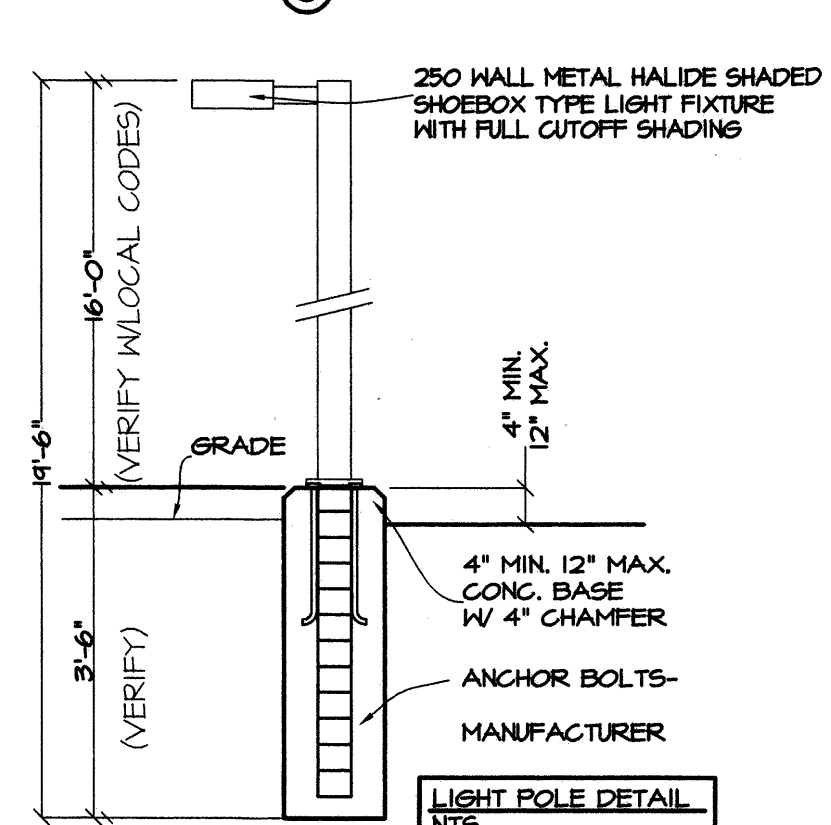
TRASH ENCLOSURE GATE ELEVATION
 SCALE 1/4" = 1'-0"



TRASH ENCLOSURE ELEV.
 SCALE 1/4" = 1'-0"



TRASH ENCLOSURE GATE ELEVATION
 SCALE 1/4" = 1'-0"



PARKING LOT LIGHTS

- PL-1 SINGLE LITHONIA 250 WATT METAL HALIDE PARKING LIGHT WITH 16' POLE OR APPROVED EQUAL
 - PL-2 DOUBLE LITHONIA 250 WATT METAL HALIDE PARKING LIGHT WITH 16' POLE OR APPROVED EQUAL
- NOTE: "WALL PACK" LIGHTS LOCATED ON THE SIDE OF BUILDING ARE EXPRESSLY PROHIBITED BY INTERCONTINENTAL HOTELS' AND ALBUQUERQUE CITY CODES WITH THE EXCEPTION OF CONC. LIGHTS TO BE LOCATED BY THE ENTRANCE AND SIDE EGRESS DOORS

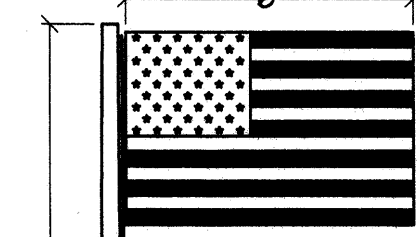
- PROPOSED E ELECTRICAL SERVICE
- PROPOSED G NATURAL GAS SERVICE
- PROPOSED P TELEPHONE SERVICE
- PROPOSED W WATER SERVICE
- PROPOSED S SANITARY SEWER SERVICE
- STORM SEWER
- WROUGHT IRON FENCING

- EASEMENT LINE
- HANDICAPPED STALL MARKER
- FIRE HYDRANT
- HANDICAPPED PARKING SIGN
- MANHOLE
- 3" WATER METER
- INCOMING TRAFFIC DIRECTION

LEGEND:

- FIRE CODE NOTES:**
- CONSTRUCTION TYPE V, 1 HOUR FOR FIRE FLOW CALCULATIONS (UBC 1997 SECTION 606)
 - BUILDING IS TO BE FURNISHED WITH AN AUTOMATIC FIRE SPRINKLER DESIGNED AND APPROVED BY A LICENSED SAFETY ENGINEER REGISTERED WITH THE STATE OF NEW MEXICO (UBC 904.2.4)
 - BUILDING IS TO BE FURNISHED WITH QUICK RESPONSE SPRINKLERS (UBC 904.2.4)

U.S. FLAG AND FLAGPOLE
 SCALE 1/2" = 1'-0"

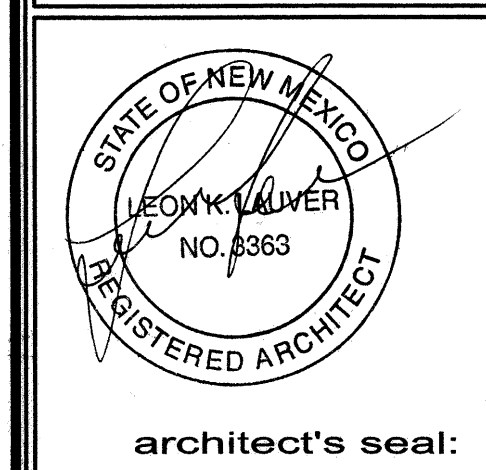


Staybridge Suites
 utility plan
 Albuquerque, New Mexico

drawn: t.r. hendricks
 checked: L.K.Lauer
 start date: 2.25.04
 plot date: 7.2.04
 approved:

7.2.04 th
 8.2.04 th

revisions:

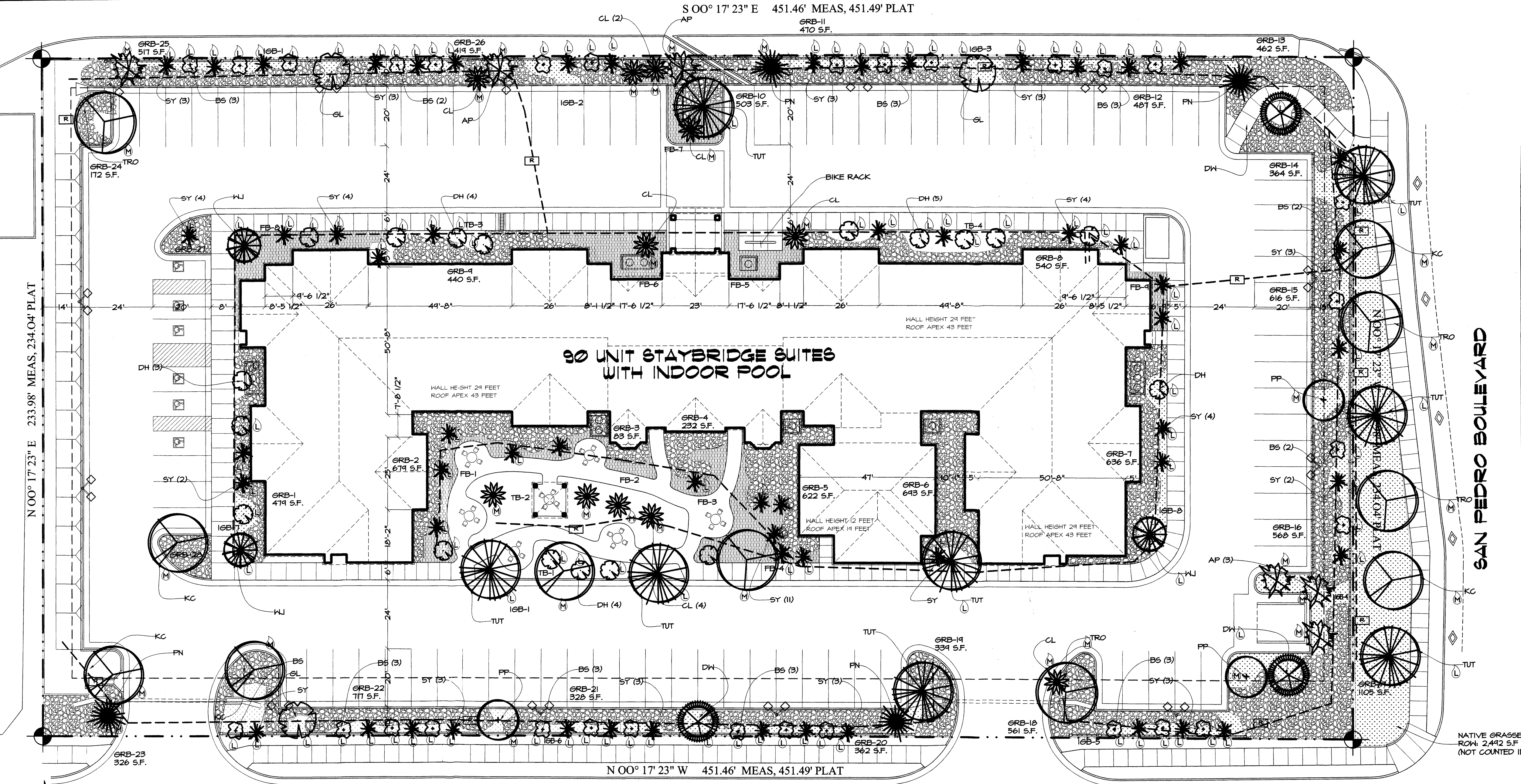


architect's seal:

leon lauer + associates
 architects + consultants
 p. o. box number 1207
 norfolk, nebraska 68701
 voice: 1.402.371.3333
 fax: 1.402.371.1164

job no: **455**

sheet: **C1.2**



12,719 S.F. 55.51%	3,265 S.F. 14.25%
DECORATIVE GRAVEL BED WITH WEED BARRIER INTERFERED WITH NATIVE GRASSES	NATIVE GRASSES: INDIAN RICE GRASS, SAND DROPSIED, GALENA, ALKALI SACATON, DESERT MARGOLD AND CALIFORNIA POPPY
GRAVEL BED LIST	FLOWER BED LIST
GRB-1 474 S.F.	FB-1 546 S.F.
GRB-2 674 S.F.	FB-2 108 S.F.
GRB-3 83 S.F.	FB-3 73 S.F.
GRB-4 232 S.F.	FB-4 315 S.F.
GRB-5 622 S.F.	FB-5 266 S.F.
GRB-6 643 S.F.	FB-6 463 S.F.
GRB-7 637 S.F.	FB-7 244 S.F.
GRB-8 540 S.F.	FB-8 522 S.F.
GRB-9 440 S.F.	FB-9 141 S.F.
GRB-10 503 S.F.	TOTAL 3,265 S.F.
GRB-11 470 S.F.	
GRB-12 487 S.F.	
GRB-13 462 S.F.	
GRB-14 364 S.F.	
GRB-15 616 S.F.	
GRB-16 568 S.F.	
GRB-17 1105 S.F.	
GRB-18 561 S.F.	
GRB-19 334 S.F.	
GRB-20 362 S.F.	
GRB-21 328 S.F.	
GRB-22 380 S.F.	
GRB-23 326 S.F.	
GRB-24 172 S.F.	
GRB-25 510 S.F.	
GRB-26 414 S.F.	
GRB-27 160 S.F.	
GRB-28 175 S.F.	
TOTAL 12,719 S.F.	

4,719 S.F. 20.60%
INDIGENOUS FLOWERING GROUND COVER
GROUND COV LIST
IGB-1 530 S.F.
IGB-2 111 S.F.
IGB-3 730 S.F.
IGB-4 1,448 S.F.
IGB-5 264 S.F.
IGB-6 1,184 S.F.
IGB-7 125 S.F.
IGB-8 303 S.F.
TOTAL 4,714 S.F.

2,209 S.F. 9.64%
LOW WATER TURF BUFFALO-GRAMMA MIX
TURF AREA LIST
TB-1 480 S.F.
TB-2 1,144 S.F.
TB-3 204 S.F.
TB-4 376 S.F.
TOTAL 2,204 S.F.

TOTAL LANDSCAPE AREA REQUIRED: 15,846 S.F. (15%)

TOTAL LANDSCAPE AREA PROVIDED: 23,469 S.F. (22%)

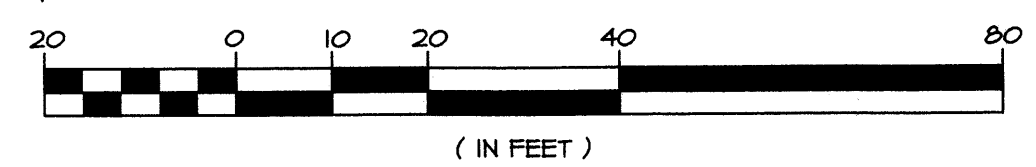
ALL LANDSCAPE MATERIALS SHALL BE WATER EFFICIENT (AU CITY ORDINANCE 6-1-1-1)

NATIVE GRASSES IN ROW: 2,442 S.F. (NOT COUNTED IN TOTAL)

LANDSCAPE PLAN

SCALE 1" = 20'-0"

GRAPHIC SCALE



NOTE: ON REPRODUCTIONS OTHER THAN ON A SIZE "D" SHEET (24"x36") PLEASE REFER TO THE GRAPHIC SCALE AT LEFT.

- TUT MELIA NZEDARACH UMBRAENLIFORMIS TEXAS UMBRELLA TREE
- TRO QUERCUS BUCKELYI TEXAS RED OAK
- KC GYMNOELADUS DIOICIA KENTUCKY COFFEE TREE
- PP FRUNUS CERASTIFERA PURPLELEAF PLUM
- DW CHILOPSIS LINEARIS DESERT WILLOW
- GL LENCAENEA RETUSA GOLDENBALL LEADTREE
- AP PINUS NIGRA AUSTRIAN PINE
- FN PINUS EDULIS PINON PINE
- DH CELTIS FALLIDA DESERT HACKBERRY
- W JASMINUM NUDIFORUM WINTER JASMINE
- CL SYRINGIA VILGARIS COMMON LILAC
- BS ATREMISIA TRIDENTATA BIG SAGE
- SY YUCCA ELATA SOAPTREE YUCCA
- R- AUTOMATIC UNDERGROUND IRRIGATION (SPRINKLER) LINE DRIP TYPE

NOTE

ALL PLANTS WERE DERIVED FROM THE CITY OF ALBUQUERQUE XERISCAPING LIST AND ARE BELIEVED TO BE PERMITTED.

LANDSCAPING CONTRACTOR SHALL DETERMINE IF THE LIST IS FEASIBLE AND HAS THE RIGHT TO SUBSTITUTE ANY ITEM ON THIS LIST PROVIDED THEY HAVE WRITTEN CONSENT WITH THE CITY OF ALBUQUERQUE AND THE OWNER.

OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, UPKEEP, AND REPLACEMENT OF ALL PLANTING MATERIALS IN ACCORDANCE WITH ALBUQUERQUE ORDINANCES 6-1-1-1 AND ALL OTHER CODES

IRRIGATION SPRINKLER SHALL BE AN AUTOMATIC DRIP TYPE SYSTEM TO BE INSTALLED BY A LICENSED AND BONDED CONTRACTOR

PLANT LIST

QTY	KEY	LATIN NAME COMMON NAME	SIZE	MATURE SIZE	WATER USAGE	ALLERGY HAZARD	XERISCAPE REBATE	DESCRIPTION
8	TUT	MELIA NZEDARACH UMBRAENLIFORMIS TEXAS UMBRELLA TREE	2" - 2 1/4"	40' HIGH 40' WIDE	LOW	LOW	50	OVERSTORY DECIDUOUS SHADE TREE
5	TRO	QUERCUS BUCKELYI TEXAS RED OAK	2" - 2 1/4"	40' HIGH 30' WIDE	MEDIUM	MEDIUM	50	OVERSTORY DECIDUOUS SHADE TREE
5	KC	GYMNOELADUS DIOICIA KENTUCKY COFFEE TREE	2" - 2 1/4"	50' HIGH 40' WIDE	MEDIUM	LOW	50	OVERSTORY DECIDUOUS SHADE TREE
3	PP	FRUNUS CERASTIFERA PURPLELEAF PLUM	1 1/2" - 2"	20' HIGH 20' WIDE	MEDIUM	LOW	50	ORNAMENTAL DECIDUOUS TREE
3	DW	CHILOPSIS LINEARIS DESERT WILLOW	1 1/2" - 2"	20' HIGH 25' WIDE	LOW	LOW	50	ORNAMENTAL DECIDUOUS TREE
3	GL	LENCAENEA RETUSA GOLDENBALL LEADTREE	1 1/2" - 2"	15' HIGH 20' WIDE	LOW	LOW	50	ORNAMENTAL DECIDUOUS TREE
5	AP	PINUS NIGRA AUSTRIAN PINE	10"	35' HIGH 25' WIDE	MEDIUM	LOW	50	MEDIUM EVERGREEN TREE
4	FN	PINUS EDULIS PINON PINE	10"	30' HIGH 20' WIDE	MEDIUM	LOW	50	MEDIUM EVERGREEN TREE
18	DH	CELTIS FALLIDA DESERT HACKBERRY	5"	8' HIGH 8' WIDE	LOW	LOW	50	DECIDUOUS FLOWERING SHRUB
2	W	JASMINUM NUDIFORUM WINTER JASMINE	5"	12' HIGH 12' WIDE	LOW	LOW	25	DECIDUOUS FLOWERING SHRUB
10	CL	SYRINGIA VILGARIS COMMON LILAC	5"	15' HIGH 15' WIDE	MEDIUM	LOW	60	DECIDUOUS FLOWERING SHRUB
30	BS	ATREMISIA TRIDENTATA BIG SAGE	5"	4' HIGH 4' WIDE	LOW	LOW	40	EVERGREEN BORDER SHRUB
58	SY	YUCCA ELATA SOAPTREE YUCCA	5"	15' HIGH 5' WIDE	LOW	LOW	25	EVERGREEN BORDER SHRUB

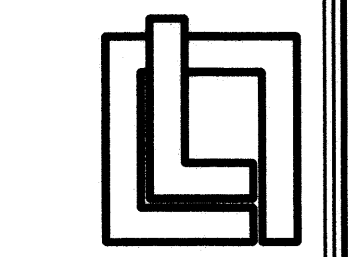
Staybridge Suites
Landscape plan
Albuquerque, New Mexico

drawn: t.r. hendricks
checked: L.K.Lauer
start date: 3.3.04
plot date: 8.16.04
approved:

7.16.04 th
7.2.04 th
6.19.04 th

revisions:

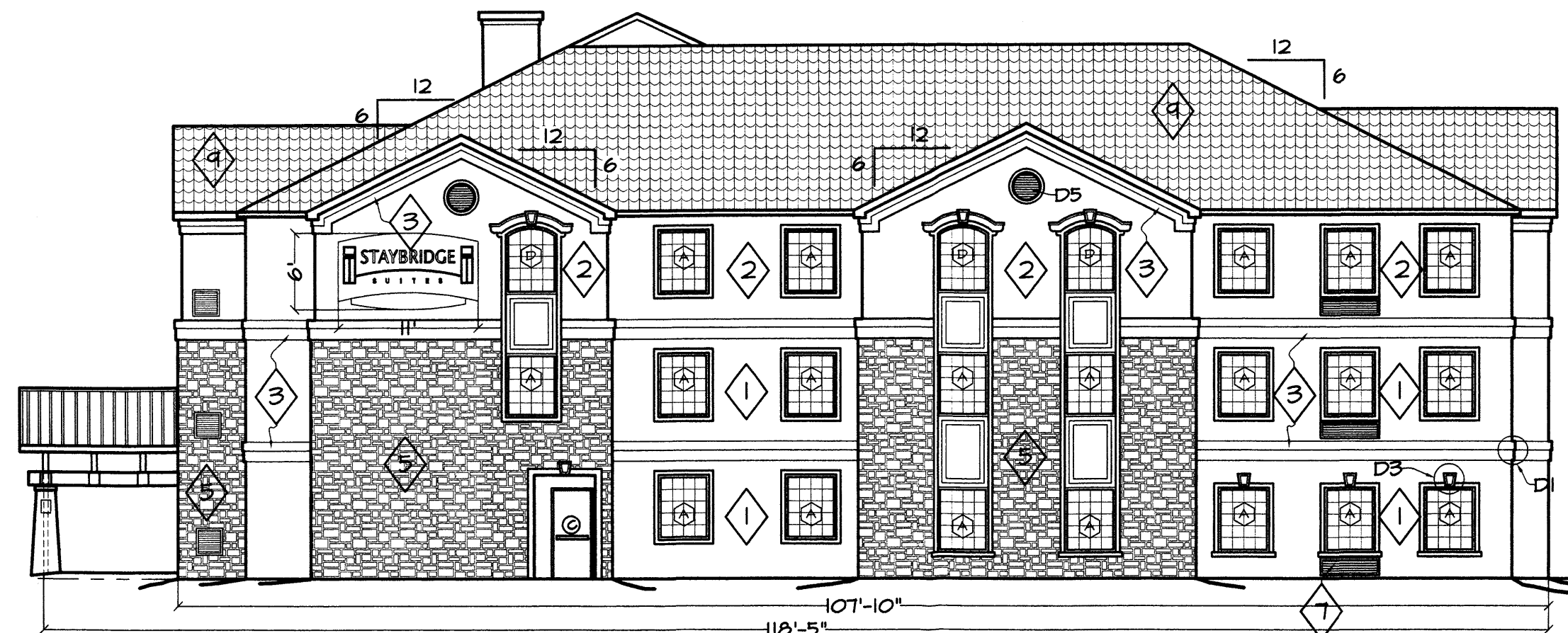
architect's seal:



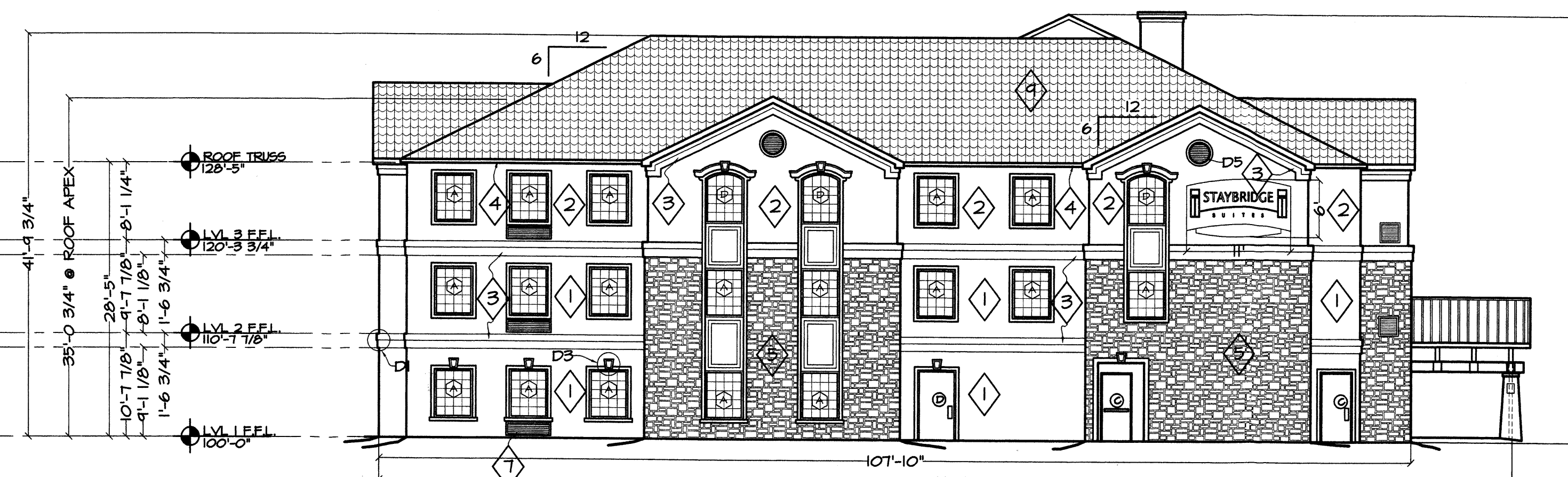
leon lauer
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architects
+ consultants
p. o. box number 1207
norfolk, nebraska 68701
voice: 1.402.371.3333
fax: 1.402.371.1154

job no: **455**

sheet: **L1.1**



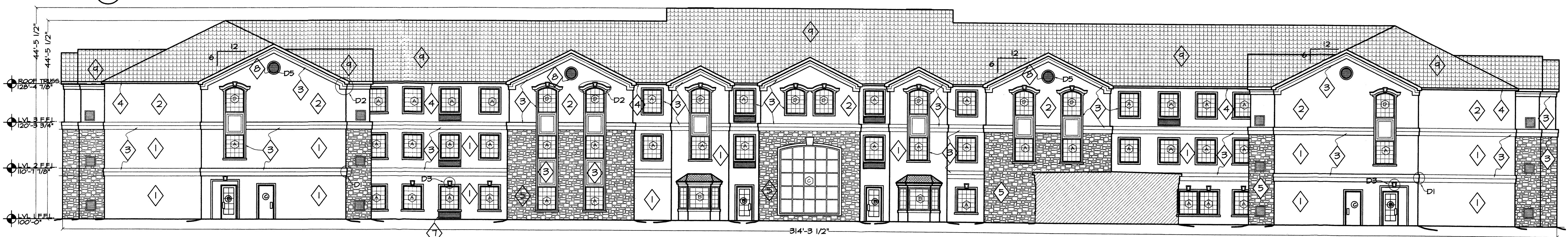
A WEST ELEVATION
SCALE: 3/32" = 1'-0"



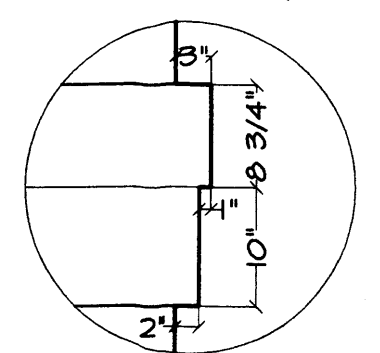
B EAST ELEVATION
SCALE: 3/32" = 1'-0"



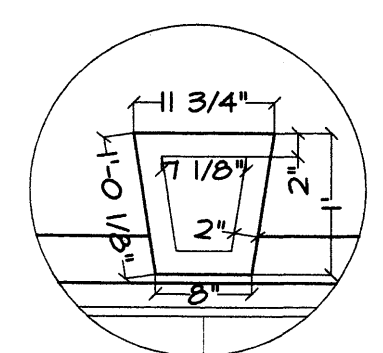
C NORTH ELEVATION
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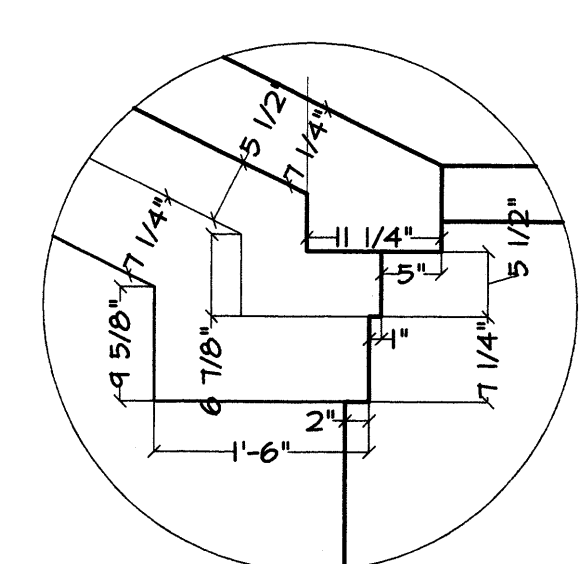
D SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



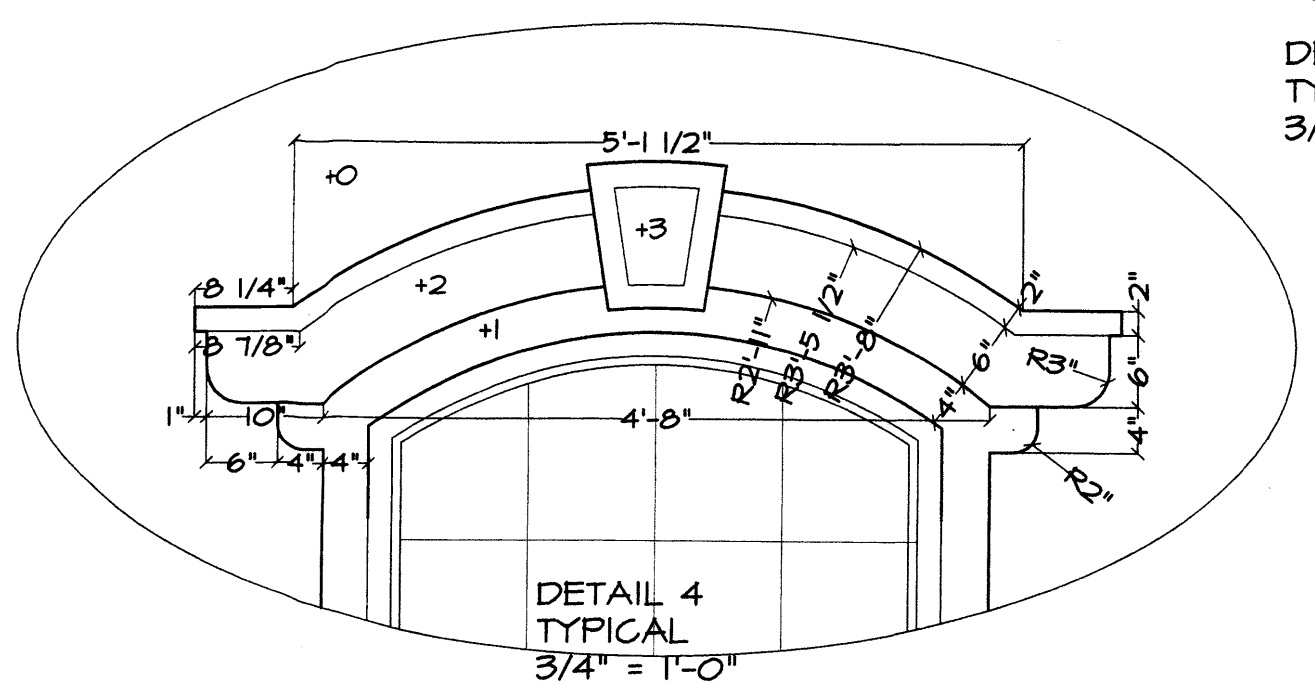
DETAIL 1
TYPICAL
3/4" = 1'-0"



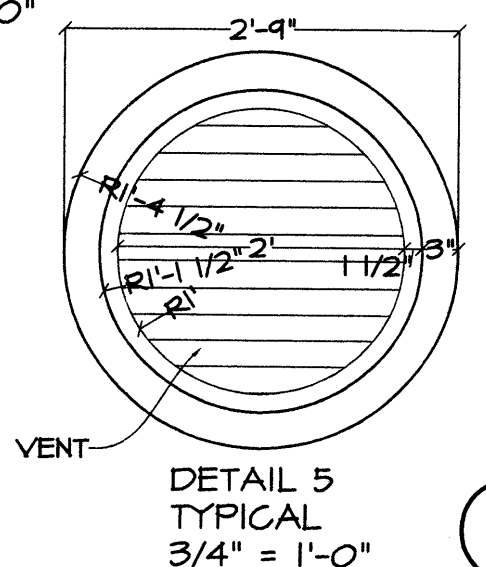
DETAIL 3
TYPICAL
3/4" = 1'-0"



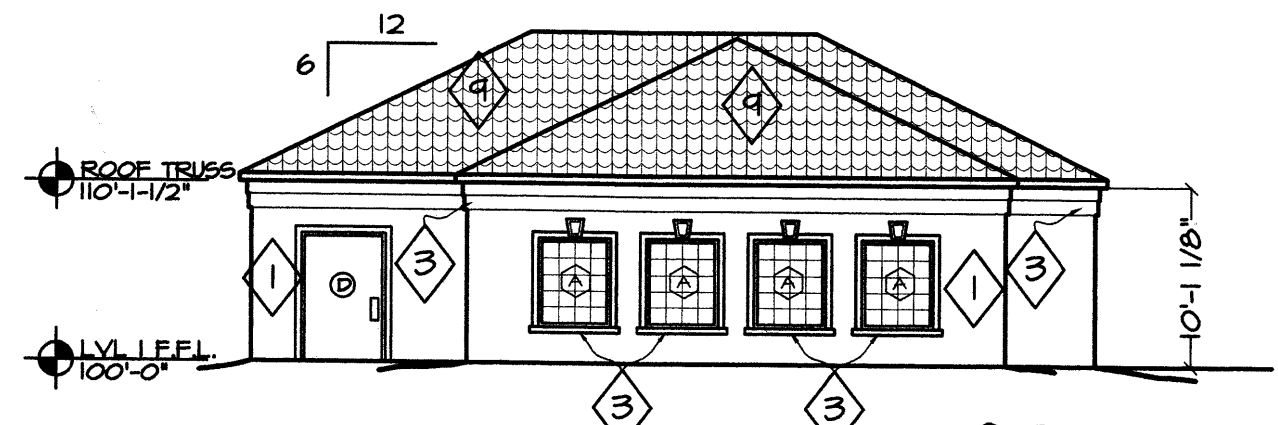
DETAIL 2
TYPICAL
3/4" = 1'-0"



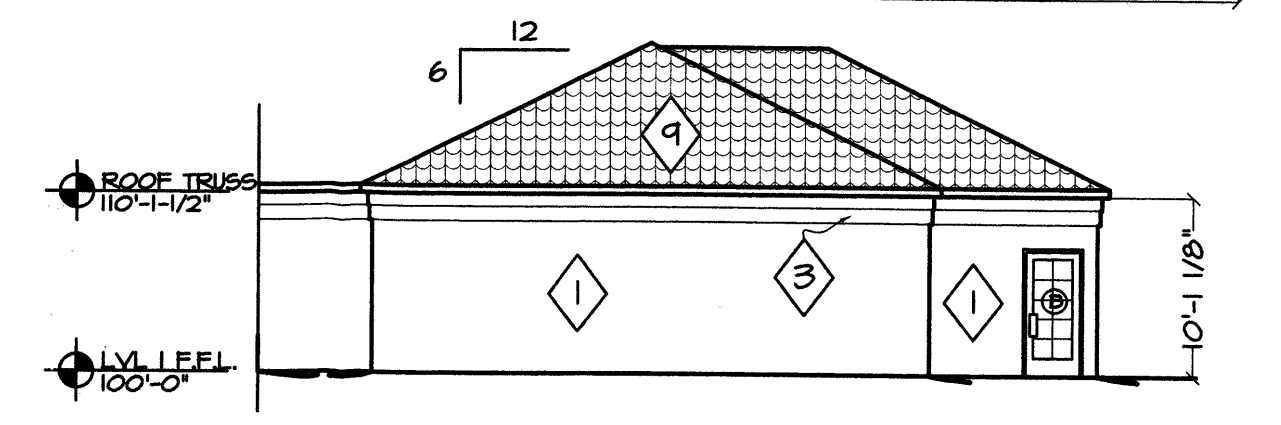
DETAIL 4
TYPICAL
3/4" = 1'-0"



DETAIL 5
TYPICAL
3/4" = 1'-0"



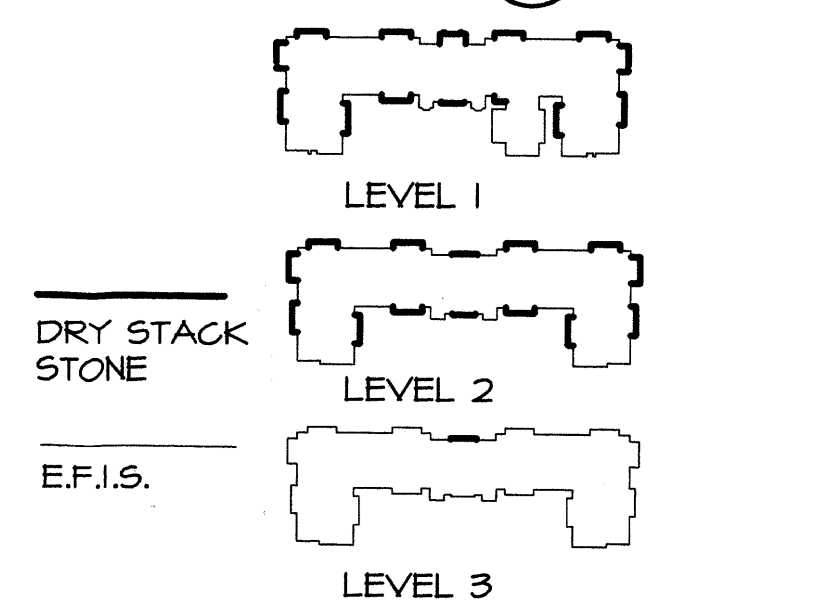
E SOUTH POOL ELEVATION
SCALE: 3/32" = 1'-0"



F WEST POOL ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL AND COLOR KEY

- E.F.I.S. COLORS PER SENERGY
- 1 E.I.F.S. CARDAMON #3052 CLASSIC FINISH
 - 2 E.I.F.S. BISCUIT #3100 CLASSIC FINISH
 - 3 E.I.F.S. EDELWEISS #3045 CLASSIC FINISH
 - 4 FASCIA AND SOFFIT COLOR: CAMEO (VINYL) OR GLIDDEN PAINT #40YY83 / 063
 - 5 SIMULATED DRY STACK STONE
 - 6 GUTTER AND DOWN SPOUT PAINTED TO MATCH ADJACENT E.F.I.S. AT WALLS AND BANDS
 - 7 P.T.A.C. GRILL PAINTED TO MATCH ADJACENT E.F.I.S.
 - 8 MOLDED DECORATIVE LOUVER COLOR TO MATCH CARDAMON E.F.I.S.
 - 9 CONCRETE TILE ROOF: COLOR LIGHT GREEN



G STONE & E.F.I.S. PLAN
NOT TO SCALE

COLOR NOTES:

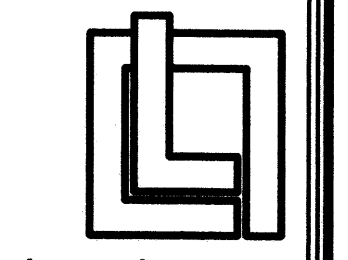
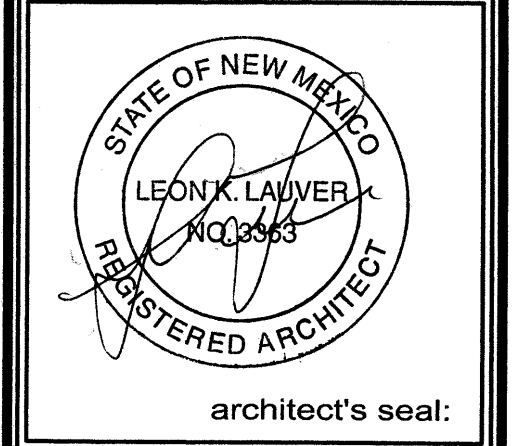
- BASE: (BASE, FIRST & SECOND FLOOR) CARDAMON E.I.F.S. AND SIMULATED DRY STACK STONE
- BACKGROUND: (THIRD FLOOR, BISCUIT E.F.I.S.)
- ACCENT: E.I.F.S. EDELWEISS
- ROOF: (FIBERGLASS SHINGLES) COLOR: WEATHERED WOOD BLEND
- NOTE: PTAC ROUGH OPENING 16-1/4 X 42-1/4.

- NOTES:**
1. ALL WINDOWS SHALL HAVE 1-1/2 EIFS TRIM SURROUNDING.
 2. ALL WINDOW GRILLES SHALL BE STANDARD EXTENDED PTAC LOUVERS; 4'-0" AND 6'-0" COLOR TO MATCH ADJACENT E.F.I.S.

Staybridge Suites
exterior elevations
albuquerque, new mexico

drawn:	trh
checked:	L.K.Lauer
start date:	1.5.04
plot date:	6.19.04
approved:	

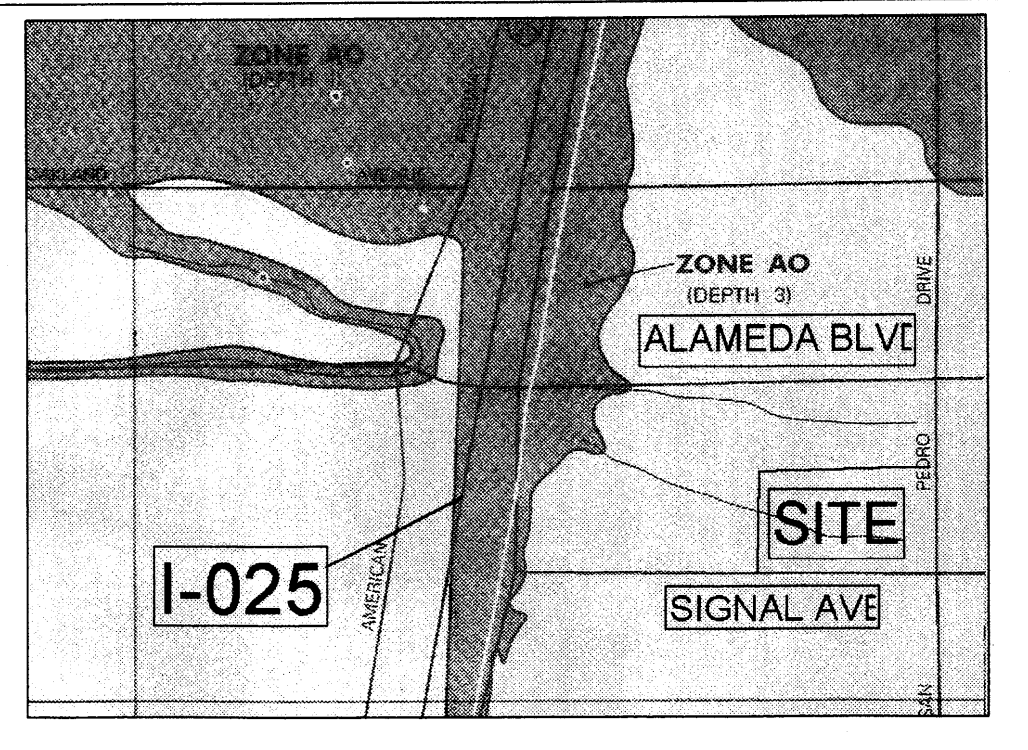
revisions:	
updates:	



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job no: **455**

sheet: **A2.1**



FLOOD INSURANCE RATE MAP MAPS NUMBERED 137 D

LEGEND:

EXISTING	NEW	DESCRIPTION
		CONTOUR
		SPOT ELEVATION
		PROPERTY LINE
		SWALE
		SHEET FLOW
		ROOF FLOW

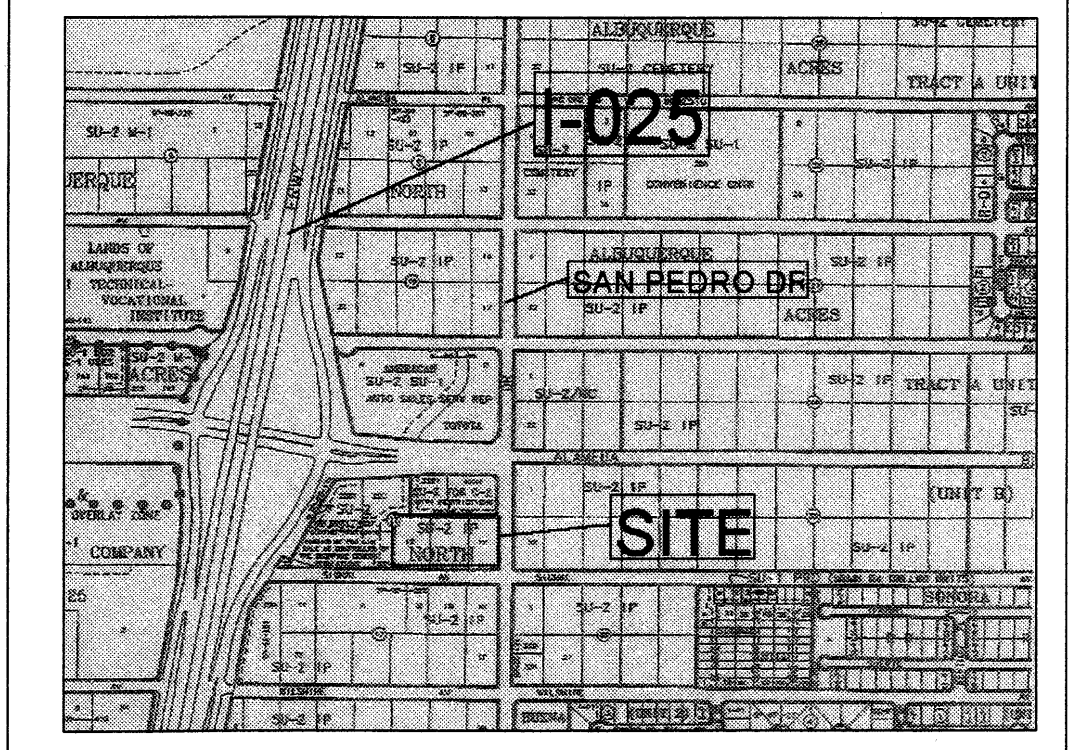
LEGEND:

	TC = TOP OF CONCRETE
	FL = FLOW LINE
	TC = TOP OF GRADE
	EOW = END OF WALL

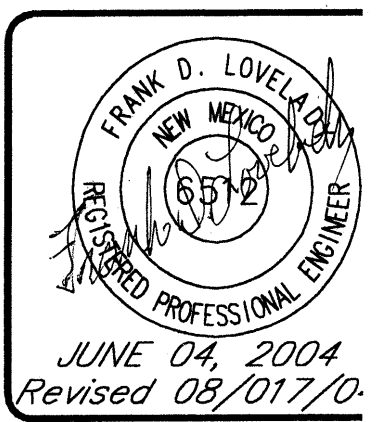
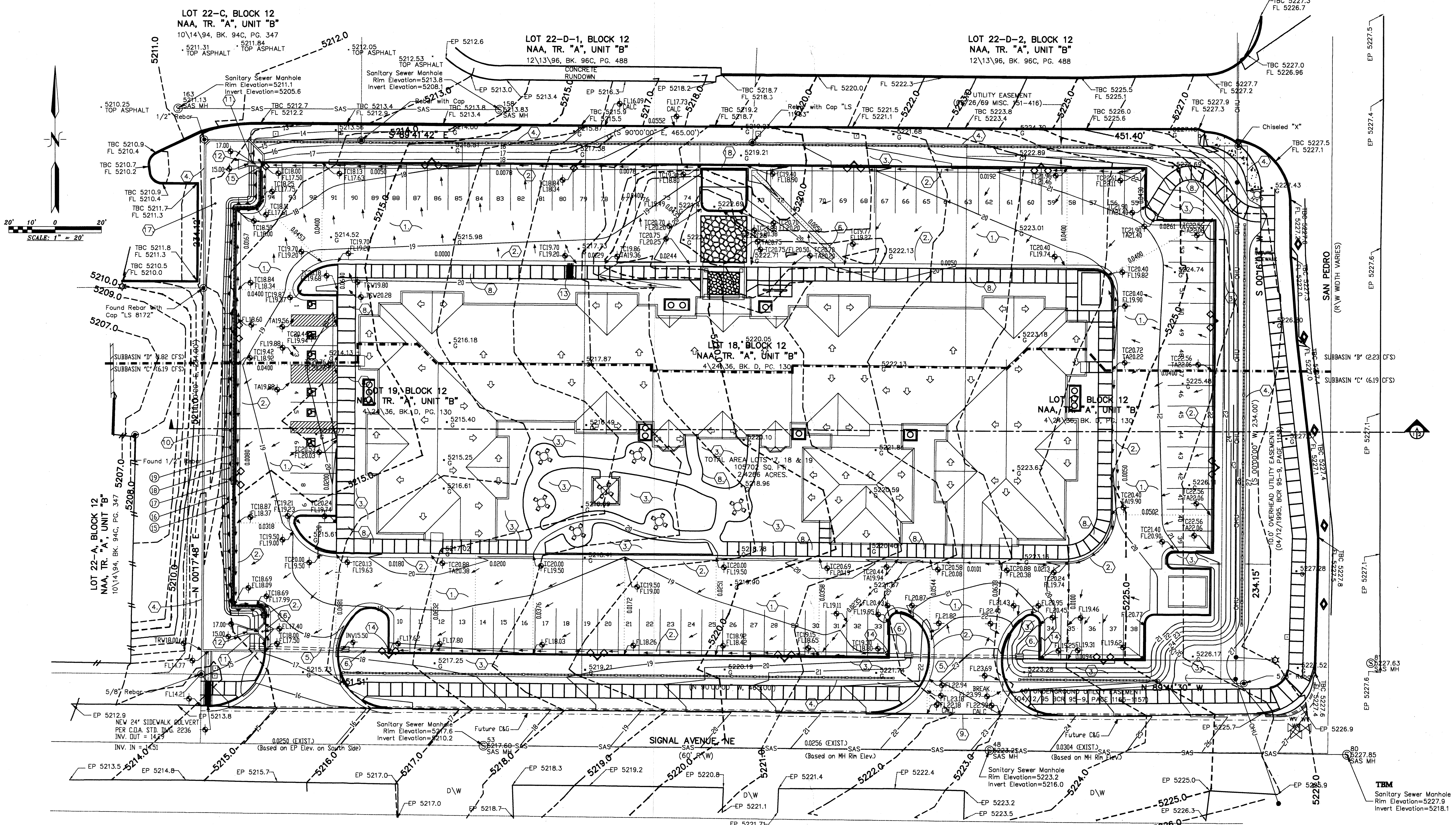
- KEYED NOTES**
1. NEW ASPHALT PAVEMENT.
 2. NEW CURB AND GUTTER, 6" CURB HEIGHT.
 3. LANDSCAPING.
 4. PROPERTY LINE.
 5. 12" DIA. PIPE W/ HEADWALLS EACH END.
 6. CONCRETE ALLEY GUTTER.
 7. 2'-6" WIDE CURB OPENING FOR DRAINAGE.
 8. NEW CONCRETE SIDEWALK.
 9. PRIVATE ENTRANCE PER STD. DWG 2426.
 10. REINFORCED CONCRETE SLOPE PAVING, 1 TO 1 SLOPE.
 11. CONCRETE RUNDOWN.
 12. CONCRETE SPLASH PAD.
 13. 12" WIDE SIDEWALK CULVERT.
 14. 12" WIDE CURB OPENING FOR DRAINAGE.
 15. NOT USED.
 16. 7'-0" WIDE CURB OPENING FOR DRAINAGE W/ BOLLARD.
 17. DETENTION POND, BOTTOM ELEV. = 17.00 TOP RET. WALL = 18.00 TOP SPILLWAY = 17.50 INVERT ELEV. OF PDS. DISCH. PIPES = 15.00
 18. 2" WIDE CONCRETE CHANNEL.

- EROSION CONTROL NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE FOLLOWING:
 2. NO SEDIMENT-BEARING WATER SHALL BE ALLOWED TO DISCHARGE FROM THE SITE DURING CONSTRUCTION.
 3. DURING GRADING OPERATIONS AND UNTIL THE PROJECT HAS BEEN COMPLETED, ALL ADJACENT PROPERTY, RIGHTS-OF-WAY, AND EASEMENTS SHALL BE PROTECTED FROM FLOODING BY RUNOFF FROM THE SITE.
 4. SHOULD THE CONTRACTOR FAIL TO PREVENT SEDIMENT-BEARING WATER FROM ENTERING PUBLIC RIGHT-OF-WAY, HE SHALL PROMPTLY REMOVE FROM THE PUBLIC RIGHT-OF-WAY ANY AND ALL SEDIMENT ORIGINATING FROM THE SITE.
 5. CONTROL OF SEDIMENT-LADEN WATERS WILL BE ACCOMPLISHED BY USE OF A COMPACTED EARTH BERM OF ADEQUATE HEIGHT. THE BERM SHALL BE LOCATED ALONG THE DOWNSTREAM PERIMETER OF THE PROPERTY.

LEGAL DESCRIPTION:
 LOTS 17, 18, AND 19, BLOCK 12, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES.



VICINITY MAP ZONE ATLAS NO. C-18-Z



JUNE 04, 2004
 Revised 08/01/17

**CONCEPTUAL GRADING AND DRAINAGE PLAN
 STAYBRIDGE EXTENDED STAY
 SIGNAL AVENUE NE
 ALBUQUERQUE, NEW MEXICO**

FRANK D. LOVELADY, P.E.
 (505) 345-2267 • Fax: (505) 345-2115 • 300 ALAMOGA RD. NW • ALBUQUERQUE, NM • 87107

JOB NO: 672
 DATE: AUGUST 08, 2004

REVISIONS

SHEET NO.
1 OF **2**

C:\AI\ Proj\6512-93\Proj\672.dwg (AUG. 17, 2004)

DRAINAGE CALCULATIONS:

EXISTING CONDITIONS:

The site is located at the northwest corner of San Pedro Drive and Signal Avenue NE. The lot slopes from East to West. San Pedro Drive is paved with curb and gutter on the West side adjacent to the site. The site consists of three one-acre lots. Signal Avenue is surfaced without curb and gutter. North of the site, across the access easement, which is paved with curb and gutter, there is a convenience center and an approved auto dealership. West of the site is a Comfort Suites hotel.

DEVELOPED CONDITIONS:

It is proposed to construct a new extended-stay facility on the site as shown. Asphalt parking will surround the building on all sides. All storm runoff will be directed through the parking lot to a detention pond on the West side of the site. The detention pond will discharge into the existing paved access easement.

DRAINAGE CRITERIA:

The calculations shown on this plan were prepared in accordance with Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, For the City of Albuquerque in cooperation with Bernalillo County, New Mexico and the Metropolitan Arroyo Flood Control Authority, January, 1993.

PRECIPITATION ZONE:

Other studies in the area identified the precipitation zone as being Zone 2.

LAND TREATMENT AREAS:

The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 2 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

LAND TREAT.	100-yr. 10-yr.	100-yr. 10-yr.	Existing Site Areas	Developed Site Areas				
q(cfs/acre)	E (in)	%	Sq. Ft.	Sq. Ft.				
A	1.56	0.38	0.53	100.0	105,702	2,4266	0.0	0.0000
B	2.28	0.95	0.78	0.28	0.0	0.0000	27.9	29,468
C	3.14	1.71	1.13	0.52	0.0	0.0000	0.0	0.0000
D	4.70	3.14	2.12	1.34	0.0	0.0000	72.1	76,234
Totals			100.0	105,702	2,4266	100.0	105,702	2,4266

PEAK DISCHARGE:

EXISTING CONDITIONS:
 Q100 = 2.4266 x 1.56 = 3.79 cfs
 Q10 = 2.4266 x 0.38 = 0.92 cfs

DEVELOPED CONDITIONS:
 Q100 = 0.6765 x 2.28 + 1.7501 x 4.70 = 9.77 cfs
 Q10 = 0.6765 x 0.95 + 1.7501 x 3.14 = 6.14 cfs

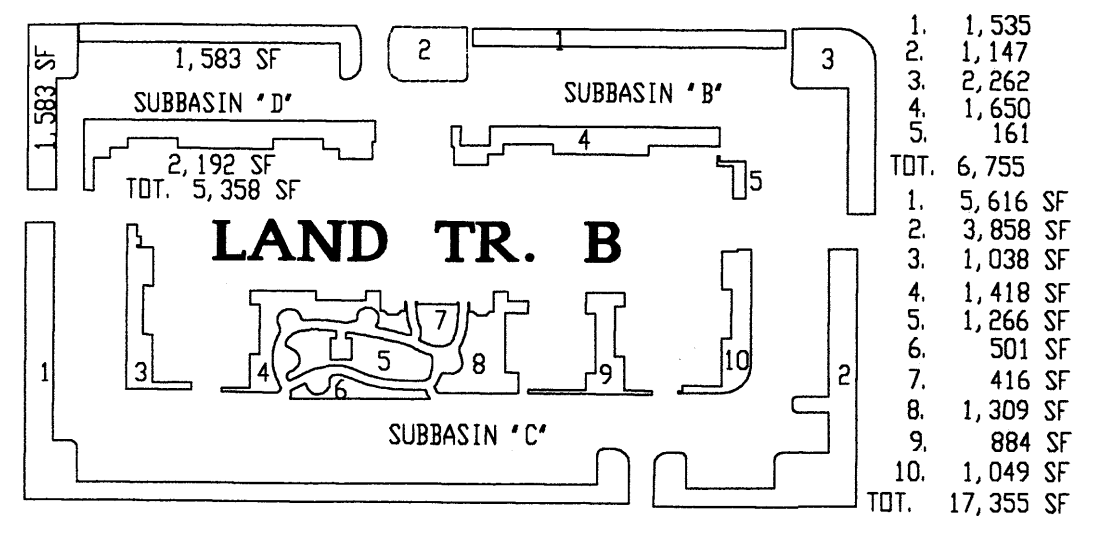
VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR:

EXISTING CONDITIONS:
 V100 = (105,702 x 0.53) / 12 = 4,669 cf
 V10 = (105,702 x 0.13) / 12 = 1,145 cf

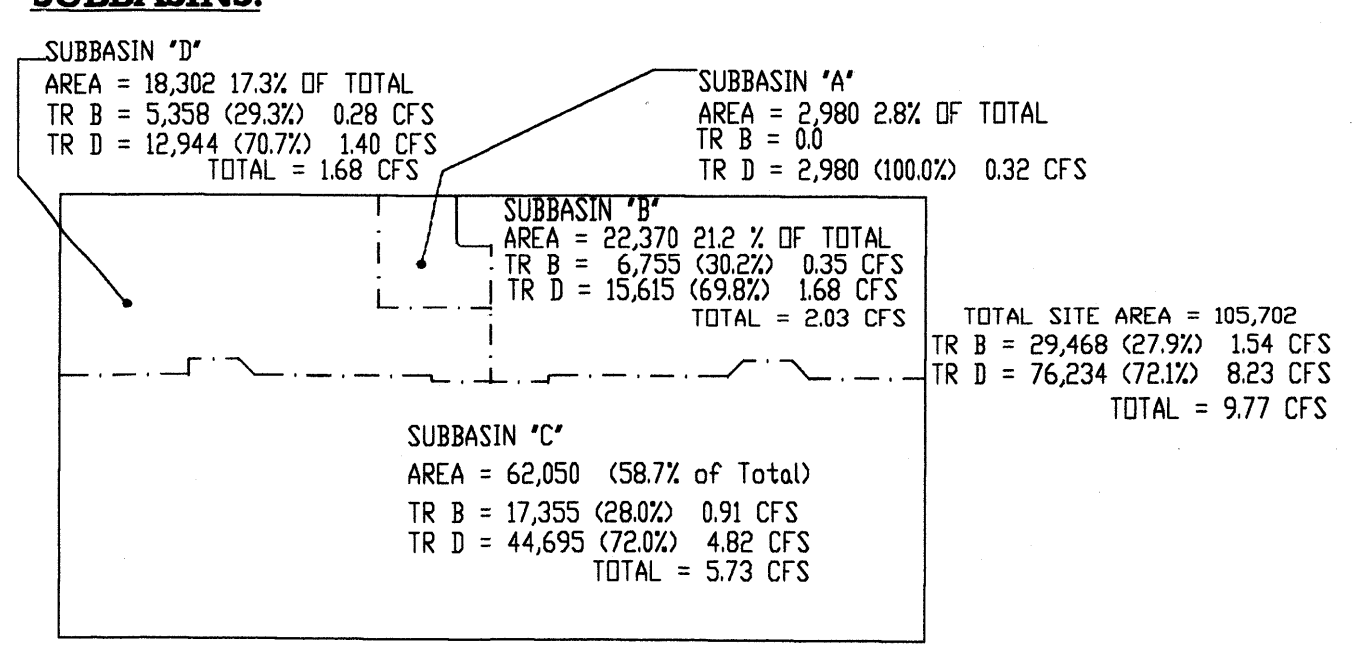
DEVELOPED CONDITIONS:
 V100 = (29,468 x 0.78 + 76,234 x 2.12) / 12 = 15,383 cf
 V10 = (29,468 x 0.28 + 76,234 x 1.34) / 12 = 9,200 cf

SUMMARY OF ON-SITE VOLUMES AND PEAK DISCHARGE RATES:

	V100(CF)	V10(CF)	Q100(CFS)	Q10(CFS)
DEVELOPED	15,383	9,200	9.77	6.14
EXISTING	4,669	1,145	3.79	0.92
INCREASE	10,714	8,055	5.98	5.22



SUBBASINS:



CAPACITY OF CURB OPENINGS:

Use Weir Equation $Q = C L H^{3/2}$

Subbasin 'B' (2.03 CFS) $C = 2.65$ $L = 2.5$ $H = 0.5$
 $Q = 2.65 \times 1.0 \times 0.5^{3/2} = 2.34$ cfs
 2.34 cfs > 2.03 cfs Adequate.

Subbasin 'C' (5.73 CFS) $C = 2.65$ $L = 7.0$ $H = 0.5$
 $Q = 2.65 \times 7.0 \times 0.5^{3/2} = 6.56$ cfs
 6.56 cfs > 5.73 cfs (Adequate.)

Subbasin 'D' (1.68 CFS) $C = 2.65$ $L = 2.0$ $H = 0.5$
 $Q = 2.65 \times 2.0 \times 0.5^{3/2} = 1.87$ cfs > 1.68 CFS (Adequate.)

CAPACITY OF RUNDOWNS:

Use Manning's Equation $Q = A (1.486/N) (R^{2/3}) (S)^{1/2}$

Subbasin 'B' (2.03 CFS) $N = 0.013$ $M = 1.0$ $H = 0.5$ $A = 1.0 \times 0.5 = 0.5$
 $P = 0.5 + 1.0 + 0.5 = 2.0$ $R = A/P = 0.5 / 2.0 = 0.25$ $S = 0.5 / 32.9 = 0.0152$
 $Q = (0.5) (1.486 / 0.013) (0.25)^{2/3} (0.0152)^{1/2} = 2.79$ CFS > 2.03 CFS

Subbasin 'C' (5.73 CFS) $N = 0.013$ $M = 1.0$ $H = 0.25$ $A = 1.0 \times 0.25 = 0.25$
 $P = 0.25 + 1.0 + 0.25 = 1.5$ $R = A/P = 0.25 / 1.5 = 0.1667$ $S = 6.5 / 6.5 = 1.0000$
 $Q = (0.25) (1.486 / 0.013) (0.1667)^{2/3} (1.0000)^{1/2} = 8.65$ CFS > 5.73 CFS

Subbasin 'D' (1.68 CFS) $N = 0.013$ $M = 1.0$ $H = 0.10$ $A = 1.0 \times 0.10 = 0.10$
 $P = 0.10 + 1.0 + 0.10 = 1.2$ $R = A/P = 0.10 / 1.2 = 0.0833$ $S = 6.5 / 6.5 = 1.0000$
 $Q = (0.10) (1.486 / 0.013) (0.0833)^{2/3} (1.0000)^{1/2} = 2.18$ CFS > 1.68 CFS

ALLOWABLE DISCHARGE:

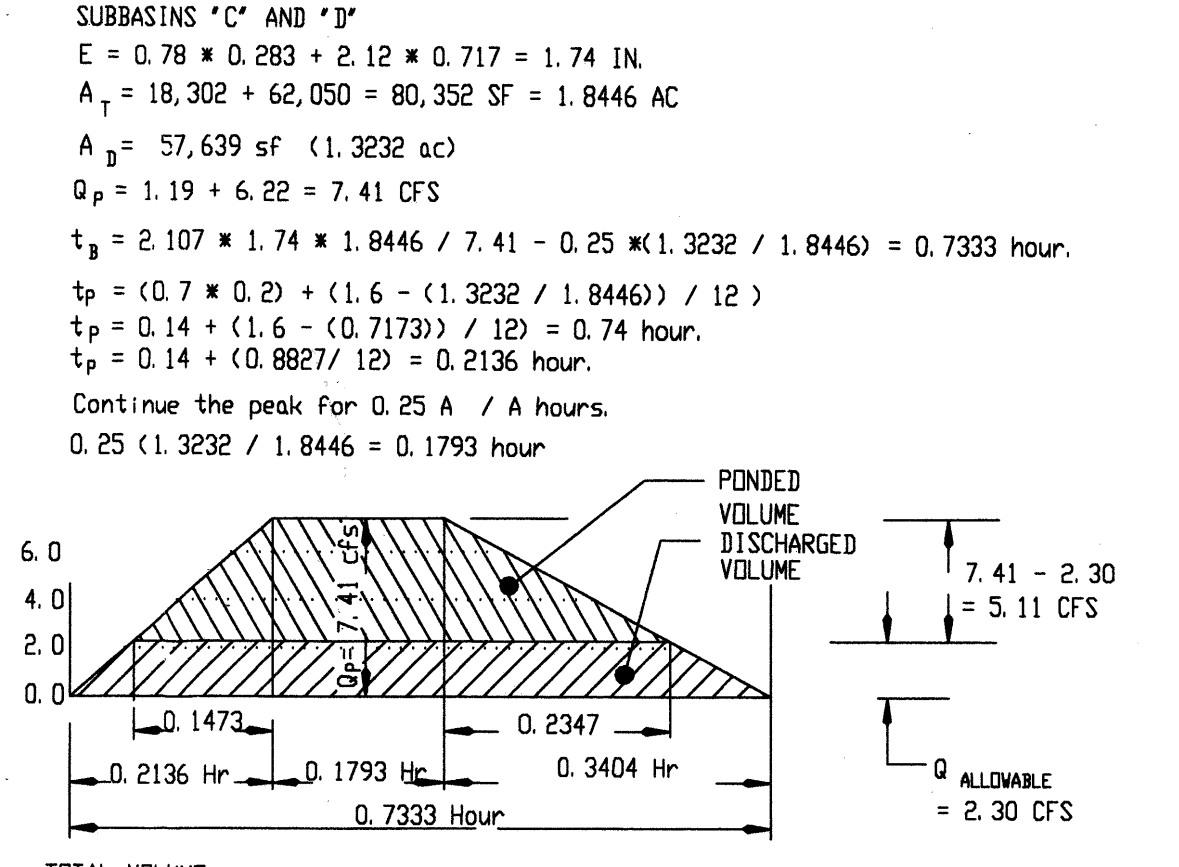
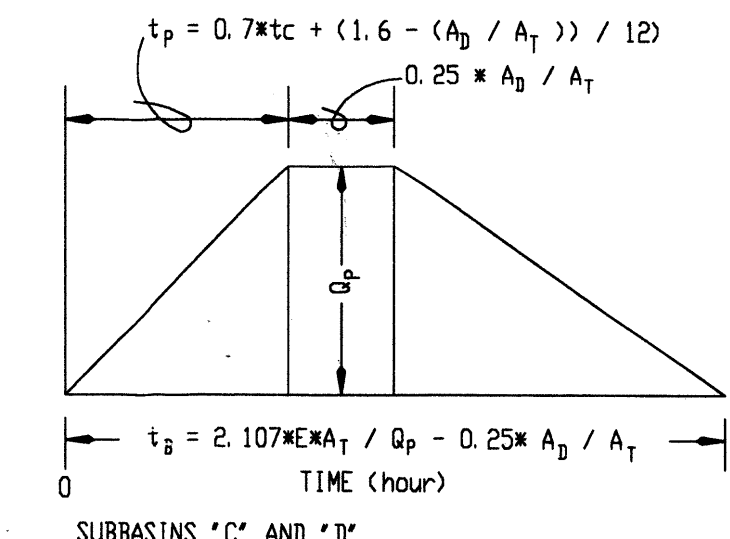
Please refer to Alameda Development Grading and Drainage Plan. This site is not within the boundary of the referenced plan but the plan shows an off-site flow coming from the undeveloped area which is this site. The quantity of 100-year undeveloped off-site flow shown to be coming from this area is 4.65 cfs.

It is proposed to discharge Subbasins 'A' & 'B' directly into the access easement North of the site. Subbasin 'A' will discharge through the driveway into the access easement. Subbasin 'B' will discharge into the access easement via a concrete channel. The total quantity of discharge from these two subbasins is 0.32 cfs from Subbasin 'A' and 2.03 cfs from Subbasin 'B', for a total of 2.35 cfs. The allowable discharge, therefore, for the detention pond for Subbasins 'C' and 'D' is 4.65 - 2.35, or 2.3 cfs.

Land Treat.	Subbasin 'C'	Subbasin 'D'	Total Combined Pond Basin							
Area (SF)	Q (CFS)	Area (SF)	Q (CFS)							
'B'	17,355	0.91	1,128	5,358	0.28	348	22,713	28.3	1.19	1,476
'D'	44,695	4.82	7,896	12,944	1.40	2,287	57,639	71.7	6.22	10,183
TOTAL	62,050	5.73	9,024	18,302	1.68	2,635	80,352	100.0	7.41	11,659

DETENTION POND ANALYSIS:

Only one detention pond is proposed which is for the combined areas of Subbasins 'C' and 'D'. The hydrograph method shown below is used to determine the required volume of the detention pond.



Since the hydrograph method of calculating volume is approximately 4.4% higher, then the ponding volume should be reduced by that amount. $6,812 - (6,812 * 0.044) = 6,512$ CF

DETENTION POND VOLUME:

The detention pond is formed by a retaining wall on the West property line and by the paved slope on the East.

CONTIG. AREA (SF) AVE. AREA (SF) VERT. DIST. (FT) VOLUME (CF)

12.00	1,813			
13.00	2,053	1,933	1.0	1,933
14.00	2,292	2,172	1.0	2,172
15.00	2,528	2,410	1.0	2,410
TOTAL		6,515		6,512 (Adequate)

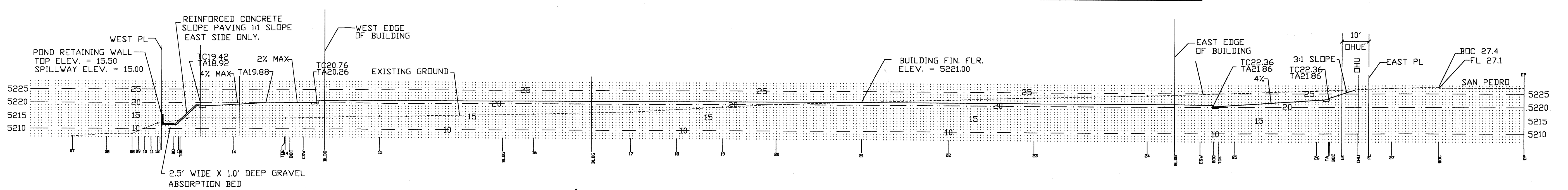
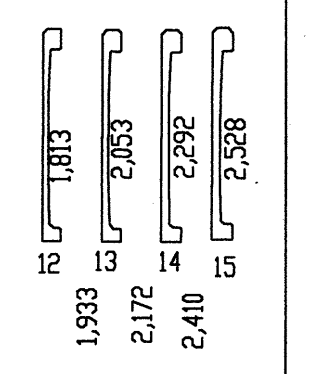
DETENTION POND POSITIVE DISCHARGE:

Allowable discharge rate is 2.30 cfs. Use Orifice Equation $Q = C A (2gh)^{1/2}$

$H =$ Vert. Dist. from Springline of 6" Pipe to Top of Spillway = $3.0 - 0.25 = 2.75'$
 $C = 0.6$ $A = \pi D^2 / 4 = \pi (0.5)^2 / 4 = 0.1963$ SF
 $Q = 0.6 * 0.1963 (2 * 32.2 * 2.75)^{1/2} = 1.57$ CFS
 $C = 0.6$ $A = \pi D^2 / 4 = \pi (0.33)^2 / 4 = 0.0855$ SF
 $Q = 0.6 * 0.0855 (2 * 32.2 * 2.75)^{1/2} = 0.68$ CFS
 TOTAL = 1.57 + 0.68 = 2.25 CFS < 2.30 CFS

DETENTION POND SPILLWAY:

Subbasin 'C' (5.73 + 1.68 = 7.41 CFS) $C = 2.65$ $L = 8.00$ $H = 0.5$
 $Q = 2.65 * 8.0 * 0.5^{3/2} = 7.49$ cfs
 7.49 cfs > 7.41 cfs (Adequate.)



EAST/WEST CROSS SECTION OF SITE

GENERAL NOTES:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATIONS OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF OR DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHTS-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

CALCULATIONS AND DETAILS STAY BRIDGE EXTENDED STAY SIGNAL AVENUE NE ALBUQUERQUE, NEW MEXICO

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REVISIONS

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