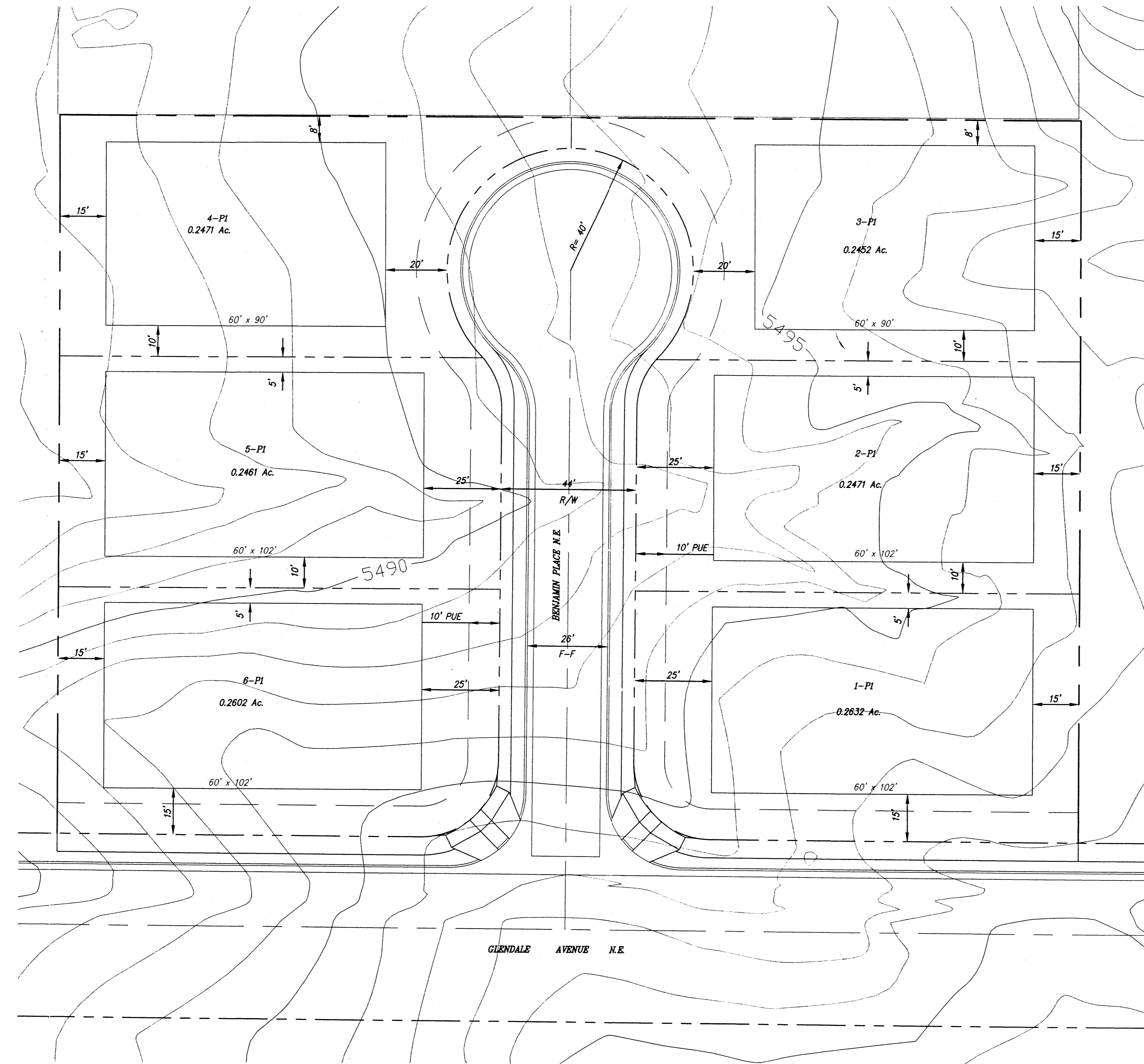


LOCATION MAP ZONE ATLAS B-20-Z
SCALE: NONE



SKETCH PLAT

BENJAMIN PLACE SUBDIVISION

WITHIN THE CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DATE JUNE, 2004

LEGAL DESCRIPTION

LOTS 27 AND 28, BLOCK 16, TRACT 1, UNIT 3 NORTH ALBUQUERQUE ACRES.

SUBDIVISION DATA

GROSS ACREAGE	1.774 AC
ZONE ATLAS NO.	B-20-Z
NO. OF EXISTING LOTS	2
NO. OF LOTS CREATED	6
NO. OF LOTS ELIMINATED	2
ZONING	RD 3DU/Ac

OWNERS

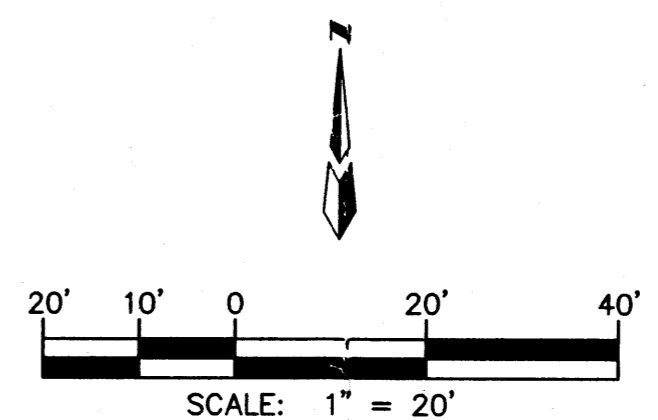
WASHINGTON STREET INVESTMENTS, LLC
501 3rd STREET, SW
ALBUQUERQUE, NEW MEXICO 87102
(505) 922-4911

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701



BENJAMIN PLACE SUBDIVISION			
SKETCH PLAT			
MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539			
Designed: JMM	Drawn: KJS	Checked: DMG	Sheet 1 of 1
Scale: 1" = 20'	Date: 02-02-01	Job: A04023	

TRACT 1 UNIT 3 NORTH ALBUQUERQUE ACRES

ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO
SCALE 1 INCH = 400 FEET

EACH LOT INCLUDING ITS CENTER OF ADJOINING STREET IS ONE ACRE UNLESS OTHERWISE INDICATED.

I, Roscoe H. Beyer, County Clerk of Bernalillo County, New Mexico, do hereby certify that the map on which this subdivision appears is a true and correct map and the same is in accordance with the provisions of Chapter 167 of the Laws of New Mexico, and that the same was filed for record on the 12th day of September, 1931.

By order of the Board of County Commissioners filed at its meeting on the 21st day of September, 1931, at 10:00 A.M. in the presence of the undersigned:

Beverly Ave. to Beverly Hills Ave.
Franklin St. to Holbrook St.
Alcalde St. to Wyoming St.
Sacramento St. to Louisiana St.

The foregoing subdivision of that certain tract of land in School District No. 3 Bernalillo County, New Mexico, within the ELENA GALLEGOS GRANT, being all that portion of Section 12, Township 11 North, Range 14 East, 11th P.M. (as said Section is defined by projection of existing public Survey lines) Survey, plotted and subdivided hereon shown, comprising Blocks 1 to 21 inclusive, of Tract 1 Unit 3, North Albuquerque Acres, is with the free consent and in accordance with the desire of the undersigned owner and proprietor thereof.

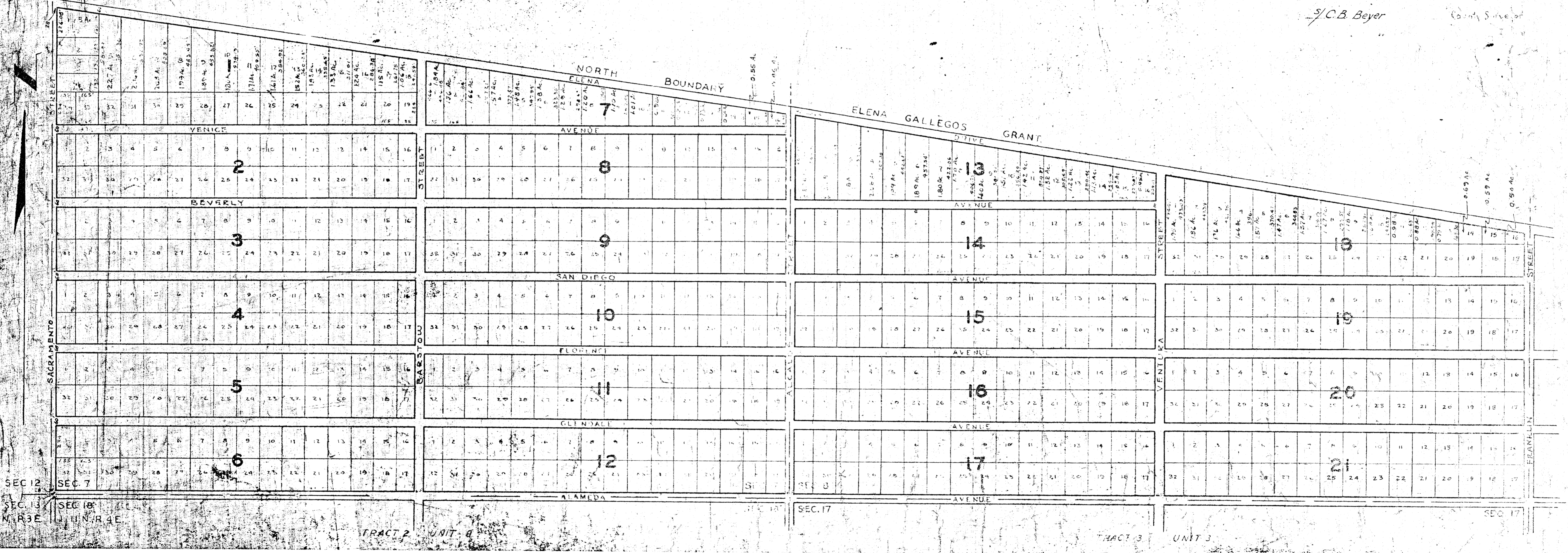
Attest: S/ J.W. Dewey Secretary
Norris Realty Company, Inc. Owner and proprietor
by S/ M. Norris President

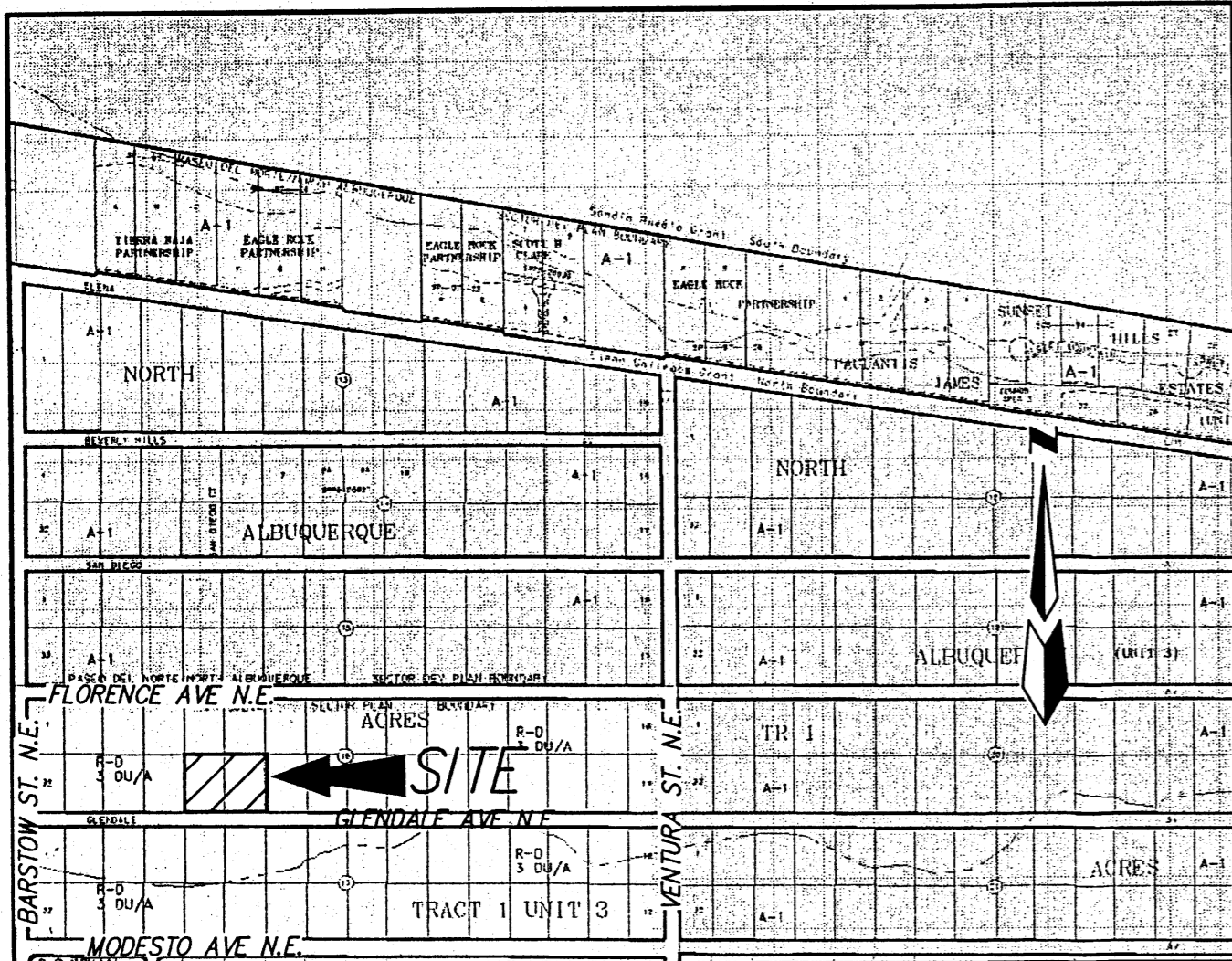
State of California, County of Los Angeles }
On this 27th day of Sept. 1931, before me, a Notary Public in and for said county, persons who appeared, M. Norris and J.W. Dewey, both to me personally known, who being duly sworn by me according to law, did say that they are the true and lawful owners respectively of the Norris Realty Company, Inc. and that the seal affixed to the foregoing instrument is the corporate seal of said corporation, and that said instrument was signed and said seal affixed thereto in behalf of said corporation by authority of its Board of Directors; and said M. Norris acknowledged said instrument to be the free act and deed of said corporation.
In witness whereof I have hereunto set my hand and seal the day and date last above written.

My commission expires April 30, 1935
S/ Louise N. Welty Notary Public

I, C.B. Beyer, County Surveyor of Bernalillo County, New Mexico, hereby certify that I have examined the plat of Tract 1, Unit 3, North Albuquerque Acres, upon which this certificate appears, and have approved the same this 27th day of Sept. 1931.

S/ C.B. Beyer County Surveyor





VICINITY MAP ZONE ATLAS B-20-Z SCALE: NONE

SUBDIVISION DATA

GROSS ACREAGE	1.9980 AC
ZONE ATLAS NO.	B-20-Z
NO. OF EXISTING TRACTS/LOTS	0 TRACTS/ 2 LOTS
NO. OF TRACTS/LOTS CREATED	0 TRACTS/5 LOTS
NO. OF TRACTS/LOTS ELIMINATED	0 TRACTS/ 2 LOTS
AREA DEDICATED TO CITY OF ALBUQUERQUE (WITHOUT WARRANTY COVENANTS)	0.2277 AC
AREA DEDICATED TO CITY OF ALBUQUERQUE (WITH WARRANTY COVENANTS)	0.2689 AC
MILES OF FULL WIDTH STREETS CREATED	0.03 MILE
DATE OF SURVEY	AUGUST, 2004
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER	2005081920
ZONING	R-D, 3 DU/A

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate Benjamin Place N.E., as shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby dedicate portions of Glendale Avenue N.E. to the City of Albuquerque in fee simple without warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: Washington Street Investors, LLC
 BY: T. Scott Ashcraft
 TITLE: Managing Member

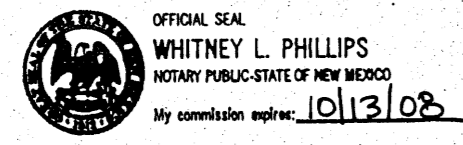
T. Scott Ashcraft
 9-30-05
 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on 9/30/2005
 By: T. Scott Ashcraft, Managing Member, Washington Street Investors, LLC, A New Mexico Corporation on behalf of said corporation

Whitney L. Phillips
 NOTARY PUBLIC
 10/13/2008
 MY COMMISSION EXPIRES



LEGAL DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 8, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 27 and 28, BLOCK 16, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121 and containing 1.9980 acres more or less.

PURPOSE OF PLAT

1. Subdivide two (2) residential lots into five (5) Residential lots.
2. Grant easements as shown hereon.
3. Dedicate Right-of-way as shown hereon.

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

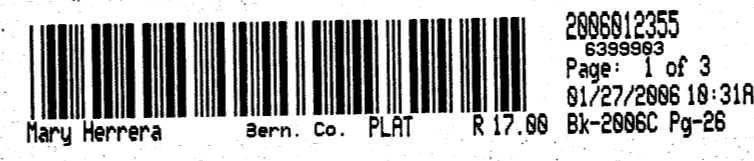
Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

NOTES

1. All open space requirements are met on the lot with the dwelling per the provisions of section 14-16-3-8 (A) (I).



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 102006507006930206/102006507506930205
 PROPERTY OWNER OF RECORD: Washington Street Investments
 BERNALILLO COUNTY TREASURER'S OFFICE: Francisco Sanchez 1/27/06

PLAT FOR
BENJAMIN PLACE
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 8
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2005

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: **1003520**
 Application Number: **06DRB-00060**

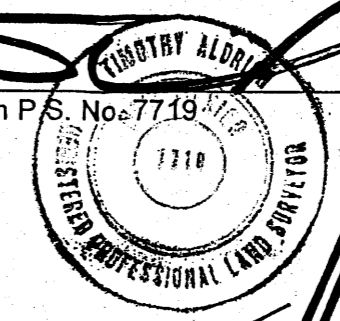
PLAT APPROVAL

Utility Approvals:		
PNM Electric Services	<i>Leanne D. Marks</i>	10-11-05 Date
PNM Gas Services	<i>Leanne D. Marks</i>	10-11-05 Date
Qwest	<i>Robert H. Ramirez</i>	10/11/05 Date
Comcast	<i>Janice Zubon</i>	10-11-05 Date
City Approvals:		
City Surveyor	<i>Mr. B. Hart</i>	10-11-05 Date
Real Property Division	<i>NIA</i>	1-25-06 Date
Traffic Engineering, Transportation Division	<i>Bill Og</i>	1-25-06 Date
Albuquerque-Bernalillo County Utility Authority	<i>William G. Balch</i>	1/25/06 Date
Parks and Recreation Department	<i>Christina Dainoff</i>	1/25/06 Date
AMA/FA	<i>Bradley J. Bingham</i>	1/25/06 Date
City Engineer	<i>Bradley J. Bingham</i>	1/25/06 Date
DRB Chairperson, Planning Department	<i>Andrew Garcia</i>	1-25-06 Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich
 Timothy Aldrich P.S. No. 7719
 10-03-05
 Date



ALDRICH LAND SURVEYING

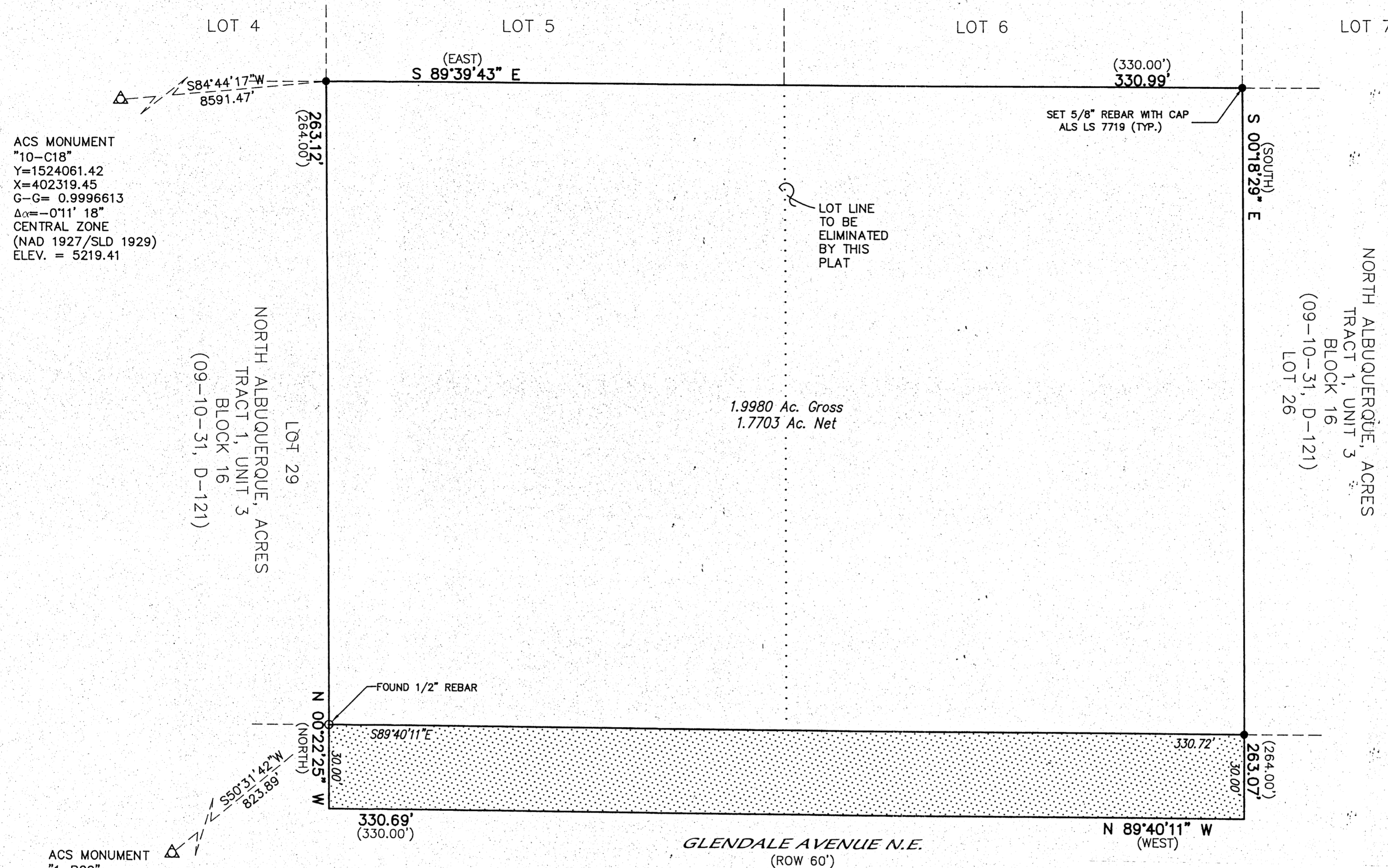
P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: Cover.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 3
Scale: N/A	Date: 09/15/05	Job: A04023	

PLAT FOR
BENJAMIN PLACE

WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 8
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2005

NORTH ALBUQUERQUE, ACRES
TRACT 1, UNIT 3
BLOCK 16
(09-10-31, D-121)



ACS MONUMENT
"10-C18"
Y=1524061.42
X=402319.45
G-G= 0.9996613
 $\Delta\alpha = -0^{\circ}11' 18''$
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEV. = 5219.41

ACS MONUMENT
"1-B20"
Y=1524092.46
X=410237.56
G-G= 0.99964740
 $\Delta\alpha = -0^{\circ}10'23''$
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5474.510

SURVEY NOTES

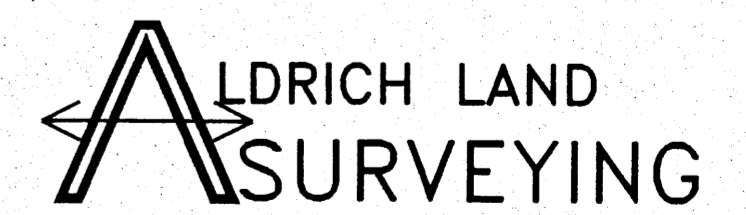
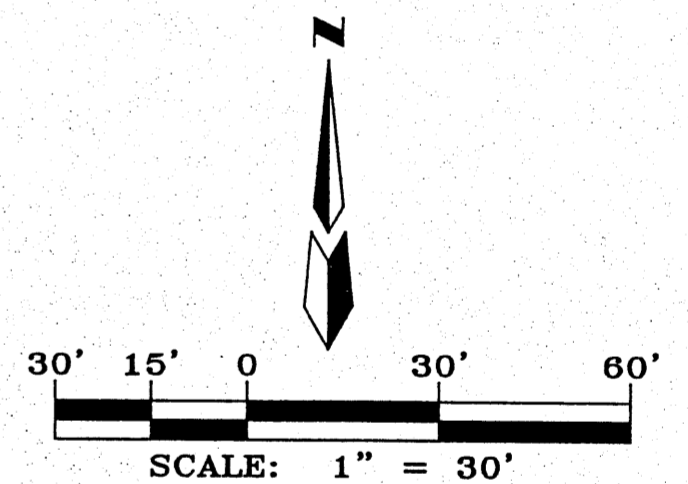
1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary is from the plat of record entitled:

PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3",
(09-10-31, D-121)

all being records of Bernalillo County, New Mexico.
5. Field Survey: performed August, 2004.
6. Title Report(s): None provided
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: R-D, 3 DU/A
9. Encroachments: None apparent.



(HATCHED AREA)
ADDITIONAL STREET RIGHT-OF-WAY
DEDICATED TO THE CITY OF ALBUQUERQUE
BY THIS PLAT WITHOUT WARRANTY COVENANTS.
(0.2277 ACRES)

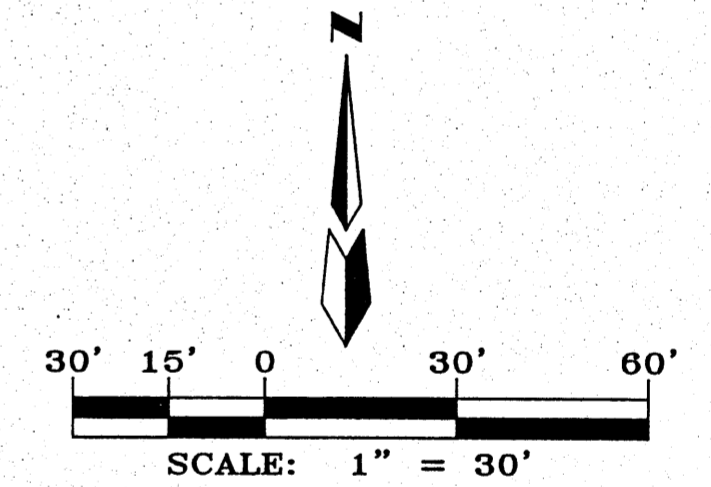
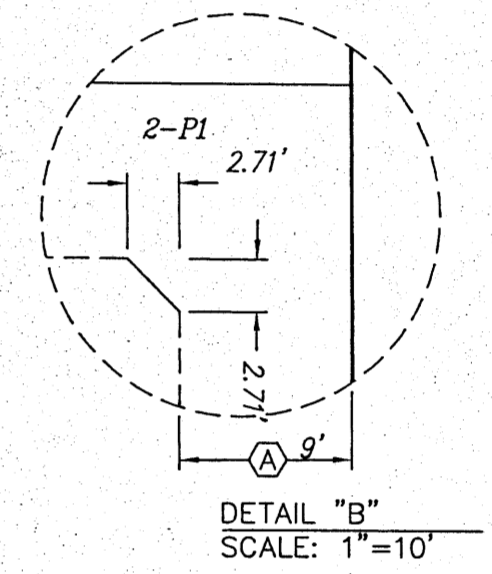
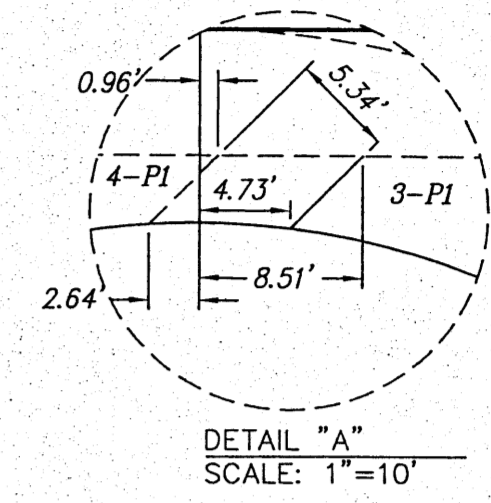
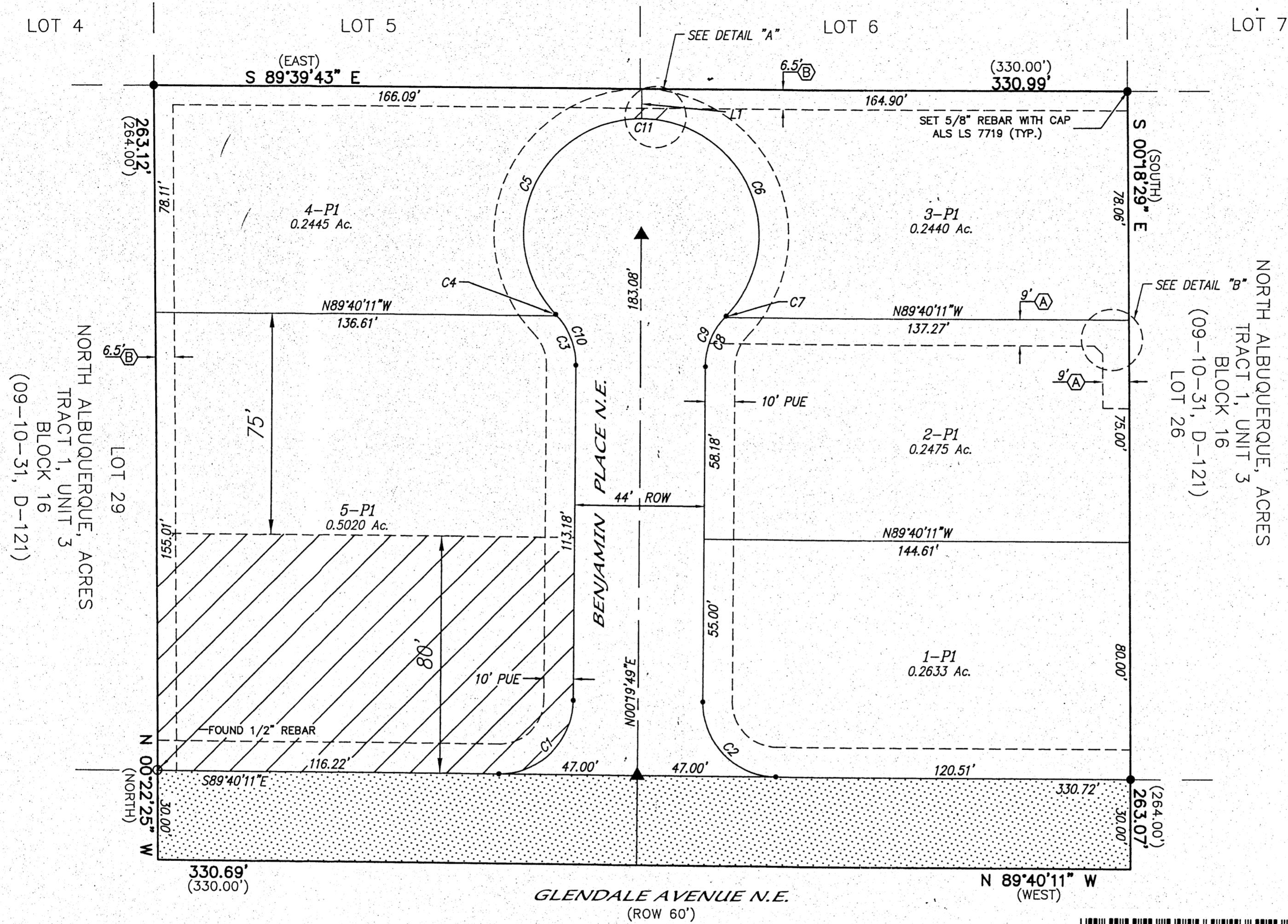


P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Dwg: A04023-FP-sheet2.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 3
Scale: AS SHOWN	Date: 10/06/05	Job: A04023	3

NORTH ALBUQUERQUE, ACRES
TRACT 1, UNIT 3
BLOCK 16
(09-10-31, D-121)

PLAT FOR
BENJAMIN PLACE
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 8
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2005



CURVE TABLE						
CURVE	RADIUS	DELTA	LENGTH	TANGENT	CHORD-BEARING	CHORD-DISTANCE
C1	25.00'	90°00'00"	39.27'	25.00'	N45°19'49"E	35.36'
C2	25.00'	90°00'00"	39.27'	25.00'	N44°40'11"W	35.36'
C3	25.00'	42°17'35"	18.45'	9.67'	N20°48'59"W	18.04'
C4	25.00'	01°23'52"	0.61'	0.31'	N42°39'42"W	0.61'
C5	40.00'	133°41'56"	93.34'	93.55'	N23°29'19"E	73.56'
C6	40.00'	133°40'59"	93.33'	93.51'	S22°49'14"E	73.55'
C7	25.00'	01°23'52"	0.61'	0.31'	S43°19'20"W	0.61'
C8	25.00'	42°17'35"	18.45'	9.67'	N21°28'36"E	18.04'
C9	25.00'	43°41'27"	19.06'	10.02'	N22°10'32"E	18.61'
C10	25.00'	43°41'27"	19.06'	10.02'	N21°30'55"W	18.61'
C11	40.00'	267°22'54"	186.67'	---	N89°40'11"W	57.85'

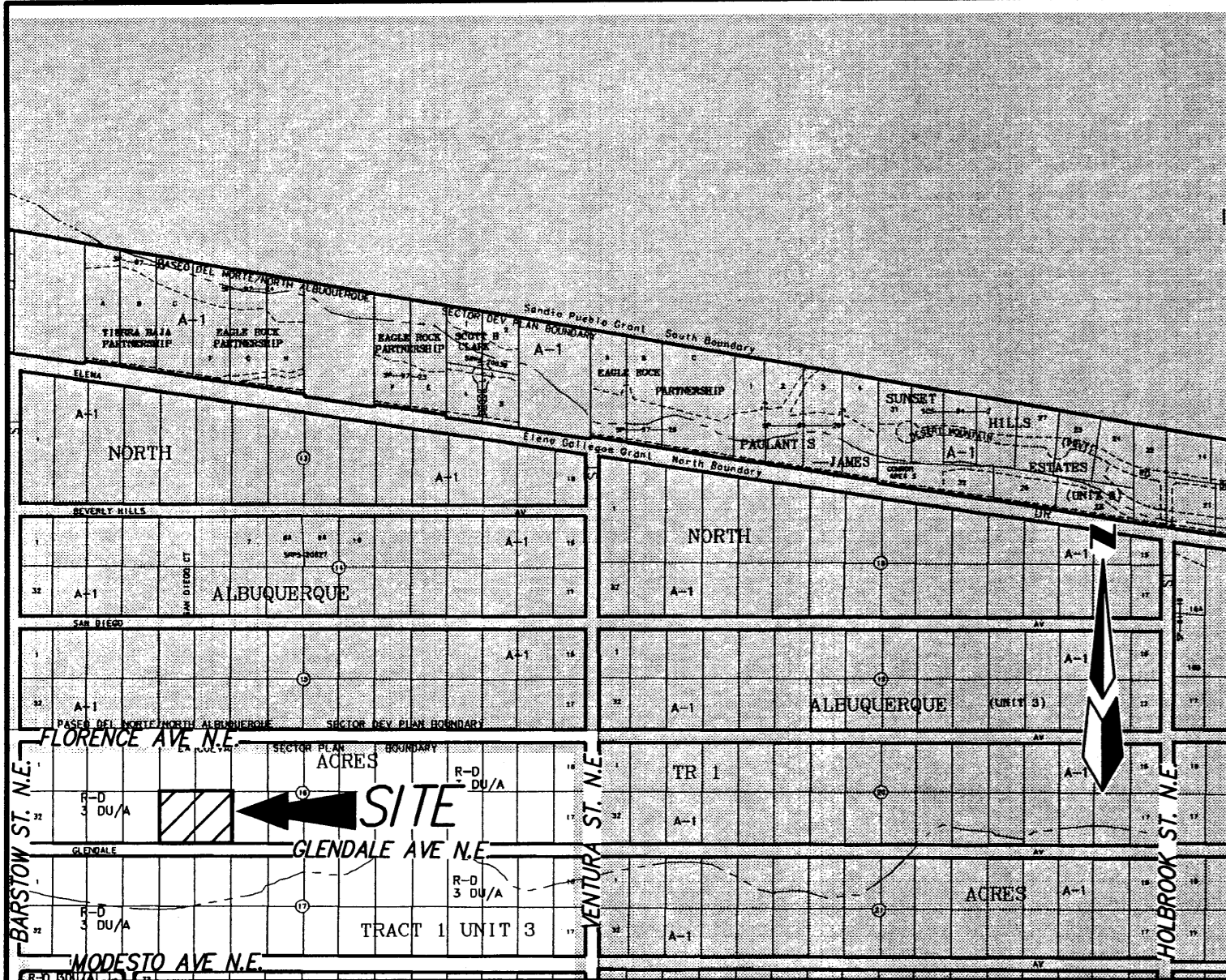
LINE TABLE		
LINE	BEARING	DISTANCE
L1	N00°20'17"E	10.00'

- (HATCHED AREA) ADDITIONAL STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT WITHOUT WARRANTY COVENANTS. (0.2277 ACRES)
- A NEW 9' WIDE PRIVATE DRAINAGE EASEMENT GRANTED FOR THE BENEFIT OF LOT 2-P1 (BENJAMIN PLACE) AND LOTS 22-26 (NORTH ALBUQUERQUE ACRES) AND TO BE MAINTAINED BY THE OWNERS OF LOTS 2-P1.
- A NEW 6.5' WIDE PRIVATE DRAINAGE EASEMENT GRANTED FOR THE BENEFIT OF LOTS 3-P1 TO 5-P1 (BENJAMIN PLACE) AND LOT 7 (NORTH ALBUQUERQUE ACRES) AND TO BE MAINTAINED BY THE OWNERS OF LOTS 3-P1 TO 5-P1.
- A TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED TO CITY OF ALBUQUERQUE WITH THIS PLAT TO BE MAINTAINED BY OWNERS OF LOT 5-P1.

2886812355
6388893
Page: 3 of 3
81/27/2006 10:31A
Bk-2886C Pg-26

Mary Herrera Bern. Co. PLAT R 17.88

ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990



DESCRIPTION
 A tract of land situate, within the Elena Gallegos Grant, projected Section 8, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 27 and 28, BLOCK 16, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121 and containing 1.9980 acres more or less.

**PRELIMINARY PLAT FOR
 BENJAMIN PLACE**

WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 8
 TOWNSHIP 11 NORTH, RANGE 4 EAST
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2004

**PRELIMINARY PLAT
 APPROVED BY DRB
 ON 01/12/05**

PURPOSE OF PLAT

- SUBDIVIDE TWO LOTS INTO 5 RESIDENTIAL LOTS.
- DEDICATE RIGHT-OF-WAY AS SHOWN
- GRANT NEW EASEMENTS AS SHOWN

SUBDIVISION DATA

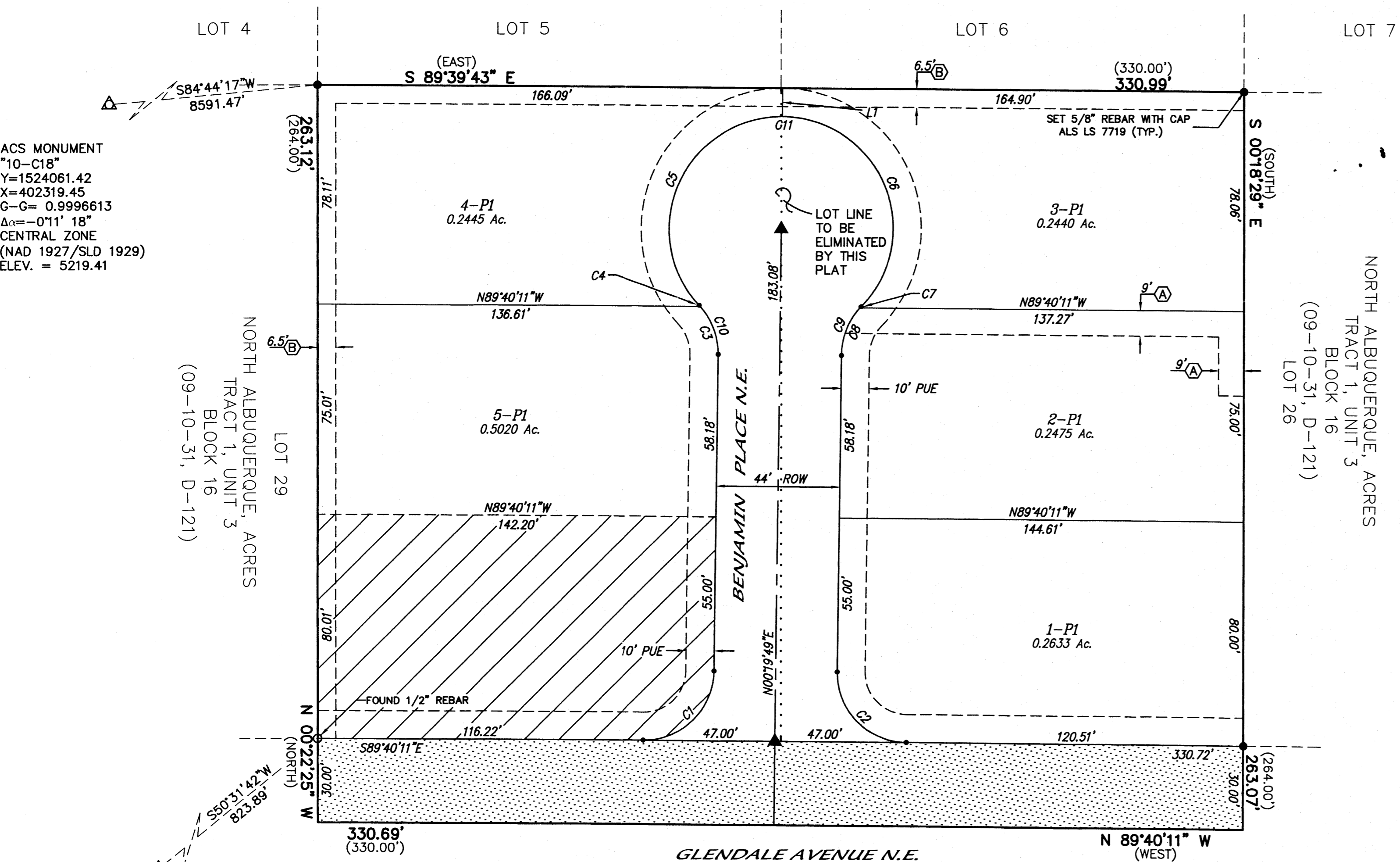
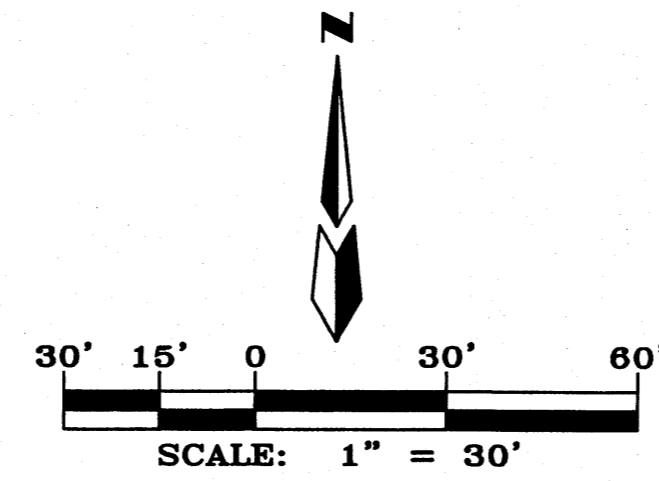
GROSS ACREAGE 1.9980 AC
 ZONE ATLAS NO. B-20-Z
 NO. OF LOTS CREATED 5 LOTS
 NO. OF EXISTING LOTS 2 LOTS
 AREA DEDICATED TO CITY (WITHOUT WARRANTY COVENANTS) 0.2277 AC
 AREA DEDICATED TO CITY (WITH WARRANTY COVENANTS) 0.2689 AC
 DATE OF SURVEY AUGUST, 2004
 ZONING R-D, 3 DU/A

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#11993
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED: "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION" "DO NOT DISTURB" PS#7719"
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

ZONE ATLAS MAP # B-20-Z
 SCALE: NONE

NORTH ALBUQUERQUE ACRES
 TRACT 1, UNIT 3
 BLOCK 16
 (09-10-31, D-121)



ACS MONUMENT
 "10-C18"
 Y=1524061.42
 X=402319.45
 G-G= 0.9996613
 Δα= -0°11' 18"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEV. = 5219.41

ACS MONUMENT
 "1-B20"
 Y=1524092.46
 X=410237.56
 G-G= 0.99964740
 Δα= -0°10' 23"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5474.533

LEGEND

- 5-P1 LOT NUMBER
- 0.2448 Ac. LOT ACREAGE
- ▲▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY
- 10' PUE PUBLIC UTILITY EASEMENT (GRANTED WITH THIS PLAT)

CURVE TABLE						
CURVE	RADIUS	DELTA	LENGTH	TANGENT	CHORD-BEARING	CHORD-DISTANCE
C1	25.00'	90°00'00"	39.27'	25.00'	N45°19'49"E	35.36'
C2	25.00'	90°00'00"	39.27'	25.00'	N44°40'11"W	35.36'
C3	25.00'	42°17'35"	18.45'	9.67'	N20°48'59"W	18.04'
C4	25.00'	01°23'52"	0.61'	0.31'	N42°39'42"W	0.61'
C5	40.00'	133°41'56"	93.34'	93.55'	N23°29'19"E	73.56'
C6	40.00'	133°40'59"	93.33'	93.51'	S22°49'14"E	73.55'
C7	25.00'	01°23'52"	0.61'	0.31'	S43°19'20"W	0.61'
C8	25.00'	42°17'35"	18.45'	9.67'	N21°28'36"E	18.04'
C9	25.00'	43°41'27"	19.06'	10.02'	N22°10'32"E	18.61'
C10	25.00'	43°41'27"	19.06'	10.02'	N21°30'55"W	18.61'
C11	40.00'	267°22'54"	186.67'	---	N89°40'11"W	57.85'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N00°20'17"E	10.00'

- (HATCHED AREA) ADDITIONAL STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT WITHOUT WARRANTY COVENANTS. (0.2277 ACRES)
- (A) A NEW 9' WIDE PRIVATE DRAINAGE EASEMENT DEDICATED FOR THE BENEFIT OF LOT 2-P1 (BENJAMIN PLACE) AND LOTS 22-26 (NORTH ALBUQUERQUE ACRES) AND TO BE MAINTAINED BY THE OWNERS OF LOTS 3-P1.
- (B) A NEW 6.5' WIDE PRIVATE DRAINAGE EASEMENT DEDICATED FOR THE BENEFIT OF LOTS 3-P1 TO 5-P1 (BENJAMIN PLACE) AND LOT 7 (NORTH ALBUQUERQUE ACRES) AND TO BE MAINTAINED BY THE OWNERS OF LOTS 3-P1 TO 5-P1.
- (Hatched Area) A TEMPORARY PUBLIC DRAINAGE EASEMENT DEDICATED TO THE CITY OF ALBUQUERQUE WITH THIS PLAT TO BE MAINTAINED BY OWNERS OF LOT 5-P1.

APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 1-7-05
 City Surveyor, City of Albuquerque, N.M. Date

Owner: WASHINGTON STREET INVESTORS, LLC
[Signature] 1/5/05
 Scott T. Ashcraft Member DATE

OWNERS

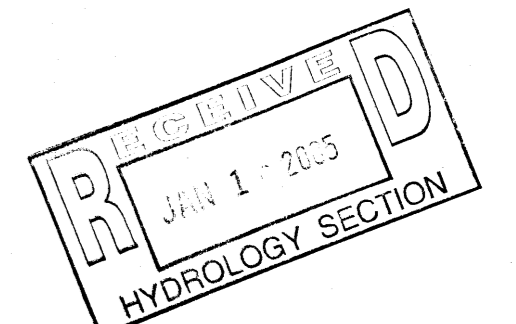
WASHINGTON STREET INVESTORS, LLC
 501 3rd St. S.W.
 ALBUQUERQUE, N.M. 87102

ENGINEERS

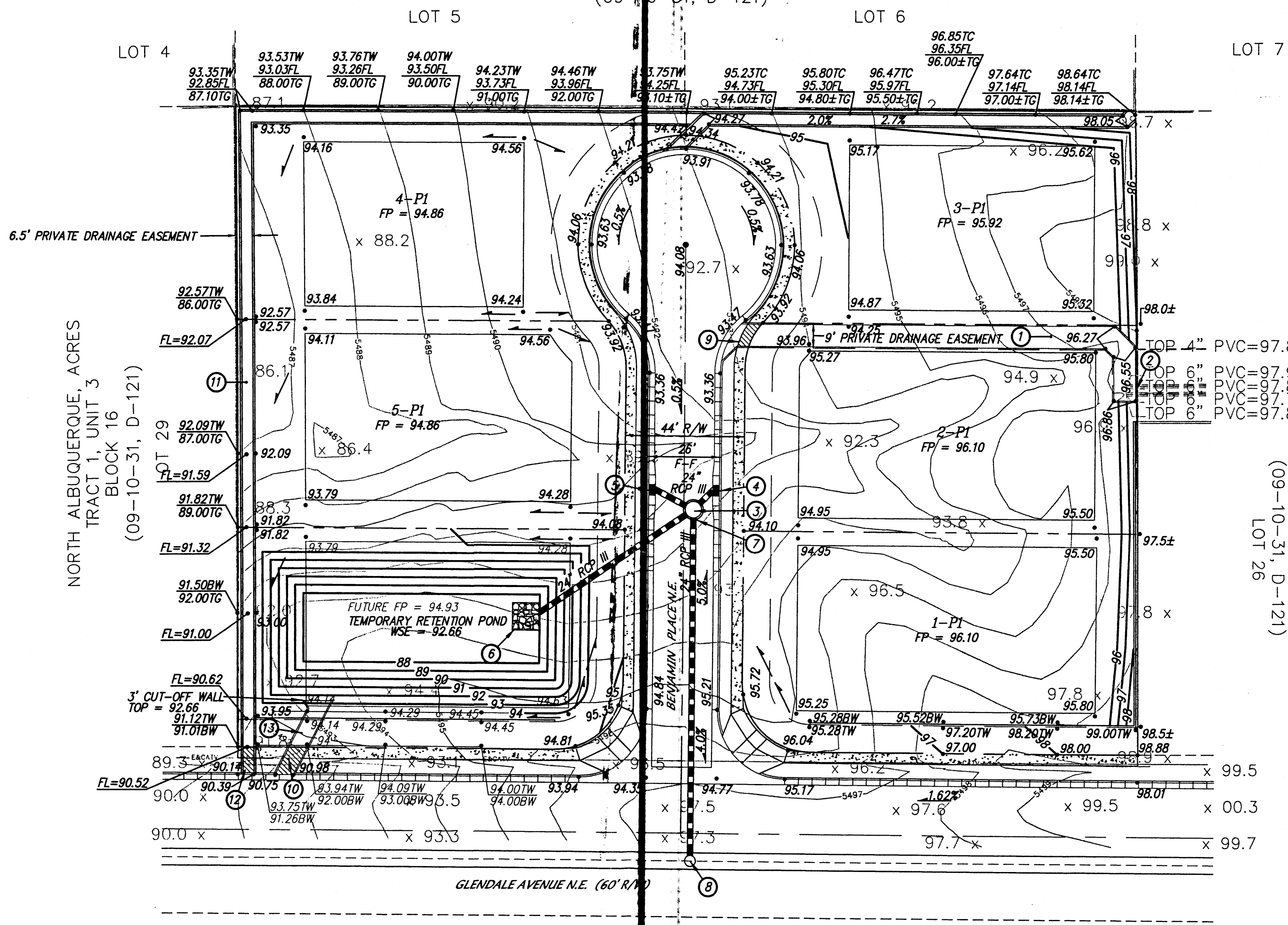
D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, N.M. 87199
 (505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190-0701
 (505) 884-1990

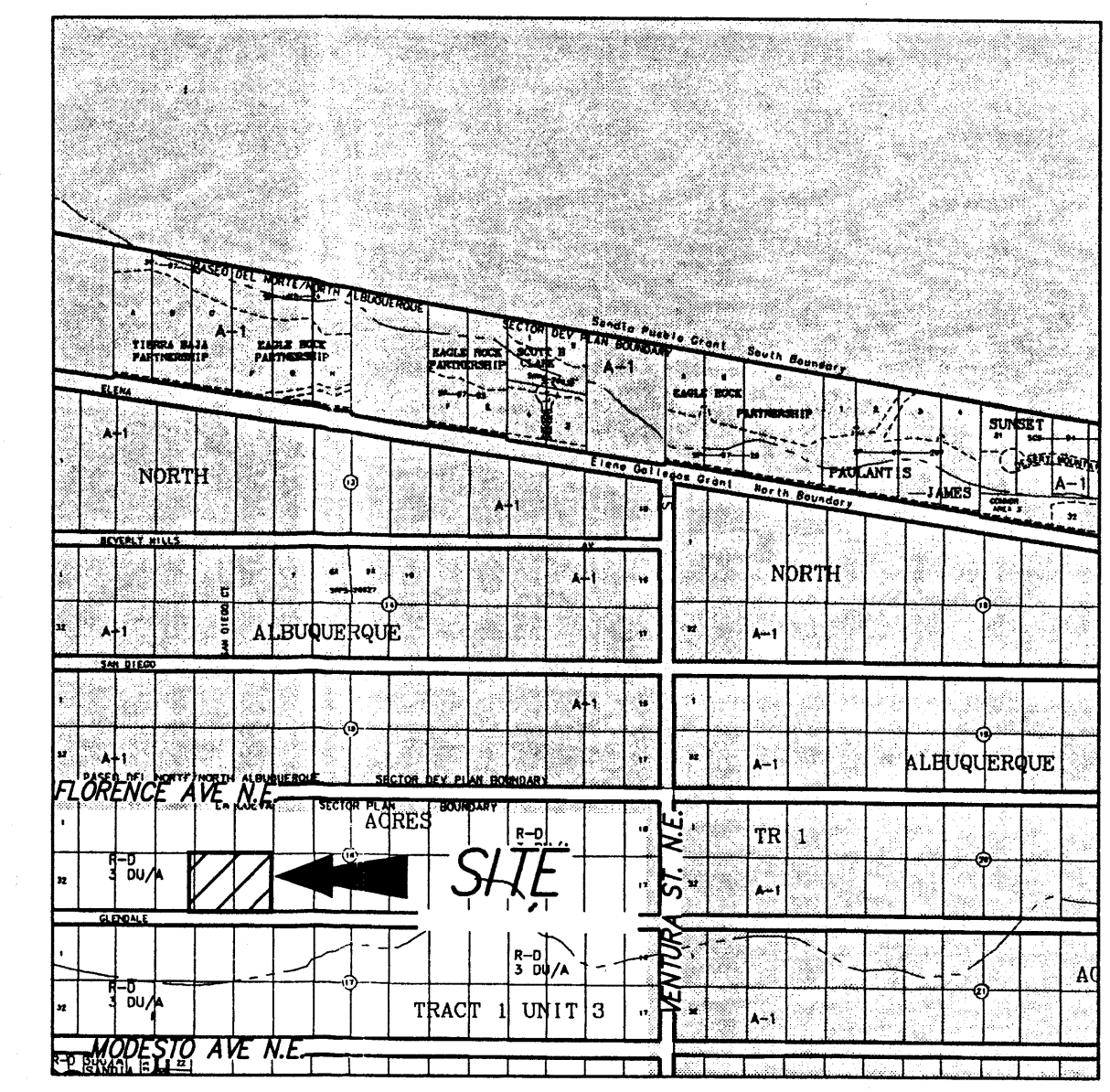


NORTH ALBUQUERQUE, ACRES
TRACT 1, UNIT 3
BLOCK 16
(09-10-31, D-121)



NEW INLET SUMMARY

- ① 8' CONCRETE CHANNEL
- ② GOOSENECK EXIST. PIPES TO NEW 8' CONCRETE CHANNEL
- ③ 6" DIA STORM DRAIN MANHOLE INV = 90.34
- ④ NEW SGL "A" DBL THROAT INLET TG= 92.93 INV(OUT)= 90.47
- ⑤ NEW SGL "A" DBL THROAT INLET TG= 92.92 INV(OUT)= 90.47
- ⑥ NEW SD OUTFALL WITH 10'x10'x1.5" WIRE ENCLOSED RIP-RAP PAD INV(OUT) = 88.00
- ⑦ TEMPORARY CONC. PLUG
- ⑧ NEW 24" SD INV= 87.89
- ⑨ NEW 8' WIDE SIDEWALK BRIDGE
- ⑩ NEW 6' WIDE SIDEWALK CULVERT
- ⑪ 4' CONCRETE CHANNEL
- ⑫ NEW 4' WIDE SIDEWALK CULVERT
- ⑬ 4' CONCRETE CHANNEL

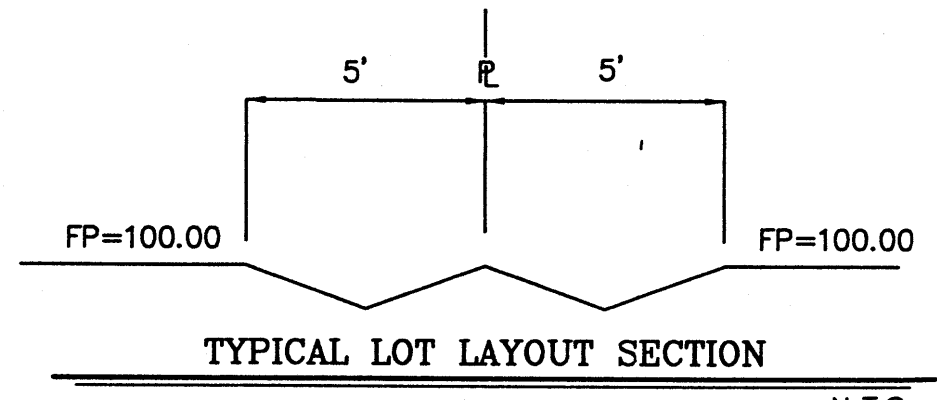
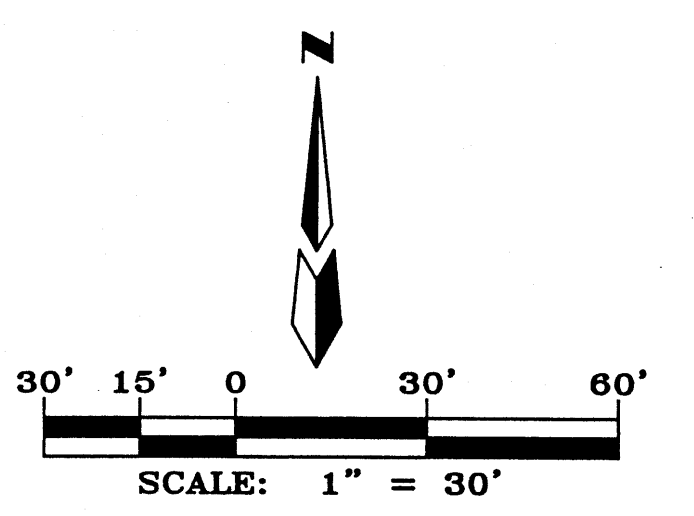


VICINITY MAP ZONE: B-20-Z

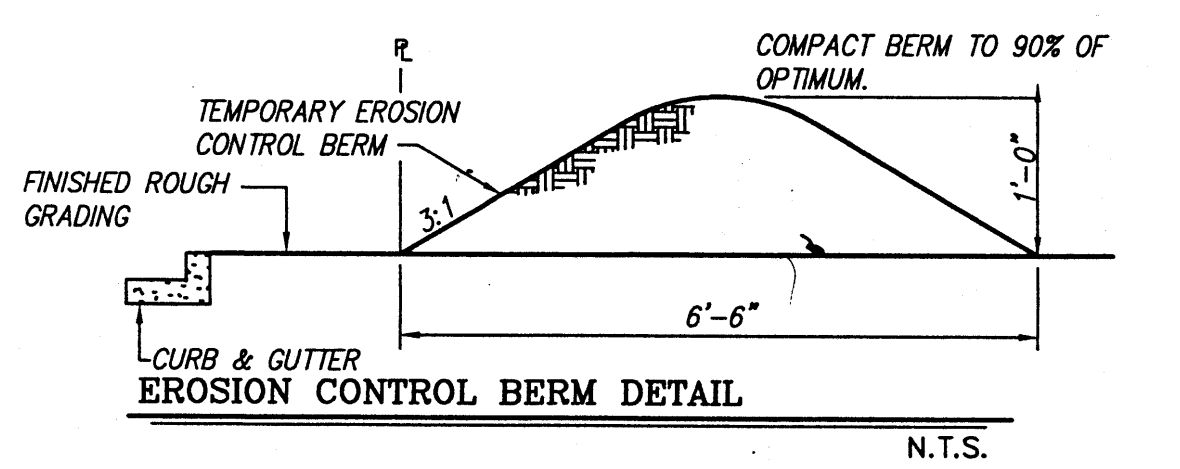
LEGAL DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 8, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 27 and 28, BLOCK 16, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121 and containing 1.9980 acres more or less.

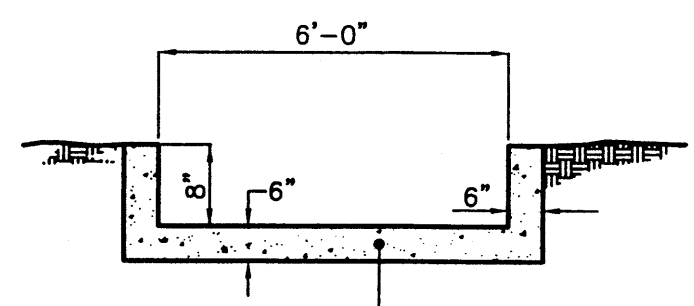
NORTH ALBUQUERQUE, ACRES
TRACT 1, UNIT 3
BLOCK 16
LOT 26
(09-10-31, D-121)



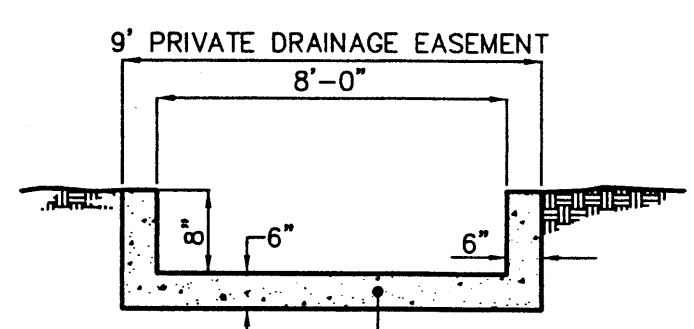
TYPICAL LOT LAYOUT SECTION N.T.S.



EROSION CONTROL BERM DETAIL N.T.S.



6' CONCRETE CHANNEL SECTION N.T.S.



8' CONCRETE CHANNEL SECTION N.T.S.

- NOTES**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 - CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.

LEGEND

5615	EXISTING CONTOUR (MAJOR)	---	NEW CENTERLINE
5616	EXISTING CONTOUR (MINOR)	---	NEW LOT LINES
TC=	EXISTING SPOT ELEVATION	---	NEW EASEMENTS
FL=	EXISTING CHAIN LINK/WIRE FENCE	---	NEW RETAINING WALL
---	EXISTING OVERHEAD ELECTRIC LINE	20.00	EXISTING SPOT ELEVATIONS
---	EXISTING POWER POLE	---	NEW FLOW
---	EXISTING GUY WIRE	18"	NEW STORM DRAIN
---	EXISTING TELEPHONE MANHOLE	●	NEW STORM DRAIN MANHOLE
---	EXISTING TELEPHONE PEDESTAL	■	NEW WATERBLOCK
---	NEW MOUNTABLE CURB & GUTTER	00.00TW 00.00TG	TOP OF WALL TOP OF GRADE
---	NEW STANDARD CURB & GUTTER	20.00	FUTURE SPOT ELEVATIONS
---	NEW SIDEWALK	00.00TW 00.00TG	FUTURE TOP OF WALL FUTURE TOP OF GRADE
---	NEW RIGHT-OF-WAY	---	

TYPICAL LOT LAYOUT: PLAN VIEW

- NOTES:
- ALL RUNOFF FOR LOTS 1, 2 & 3 DRAINS TO THE STREET IN FRONT OF THE LOT.
 - THE FRONT YARD RUNOFF FOR LOTS 4, 5 & 6 DRAINS TO THE STREET IN FRONT OF THE LOT. THE REMAINDER DRAINS TO THE CONCRETE CHANNEL IN THE BACKYARD.

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **BENJAMIN PLACE SUBDIVISION
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **B-20** SHEET **1** OF **1**

AS BUILT INFORMATION

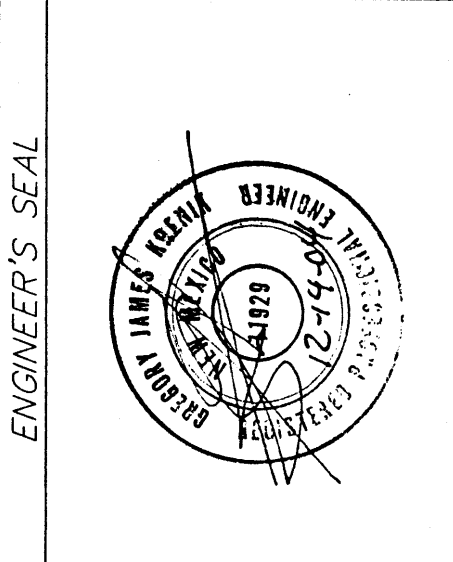
CONTRACTOR	DATE
INSPECTOR'S	DATE
FIELD CHECK BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	

BENCH MARKS

ACS Brass Cap stamped "1-820"
Located in the northeast
Ave. N.E. and Barstow St. N.E., approximately 30' north from the centerline of Modesto Ave. N.E. and approximately 30' east from the centerline of Barstow St. N.E.;
Geographic Position (NAD 1927), in feet
N.M. State Plane Coordinates (Central Zone)
X=410,237.56 Y=1,524,092.46
Elevation=5474.533, NGVD29, in feet.

SURVEY INFORMATION

FIELD NOTES	DATE
BY	
NO.	



ENGINEER'S SEAL

REMARKS	BY
REVISIONS	
DESIGN	ALN
DATE	10/04
DATE	10/04
DATE	10/04