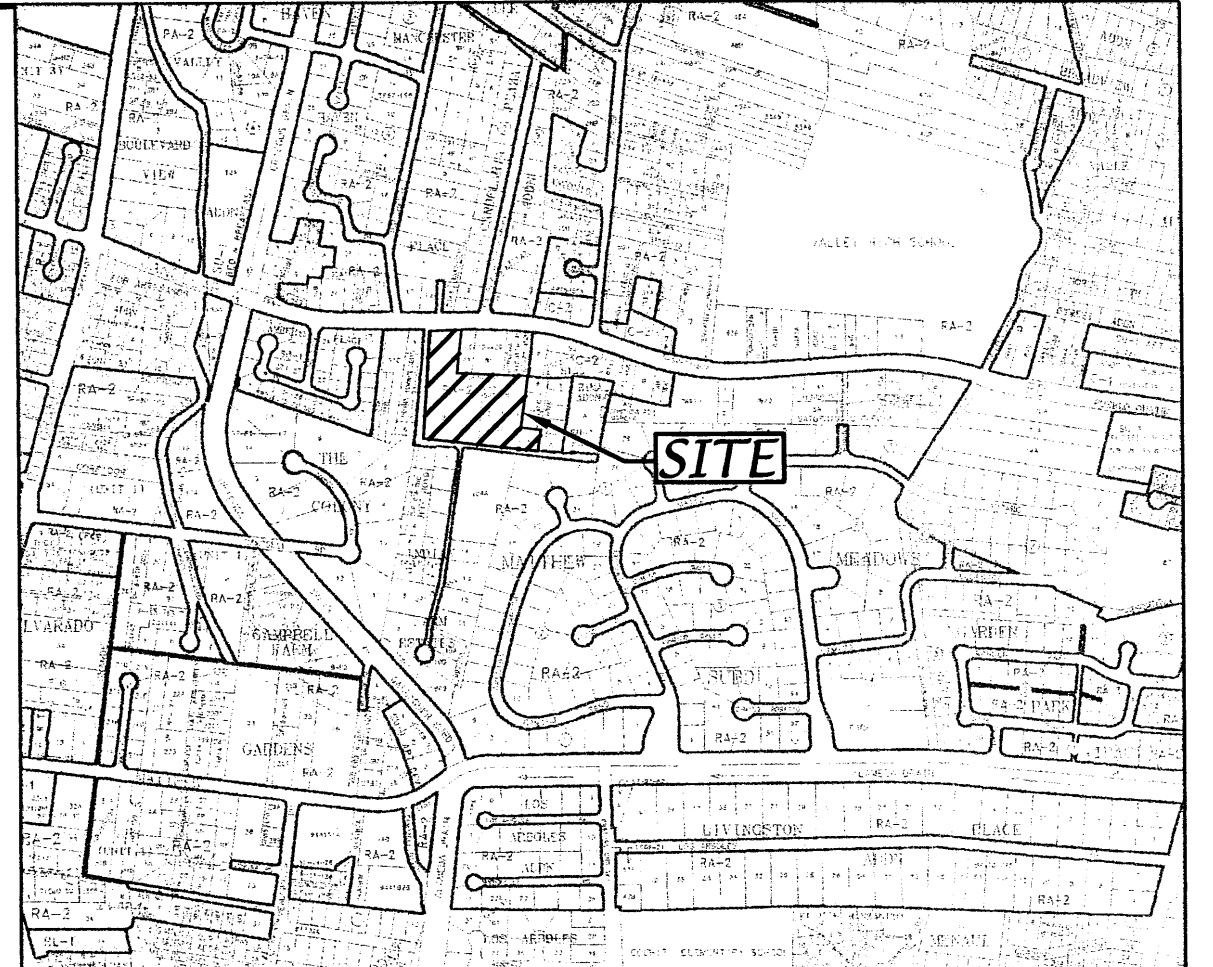
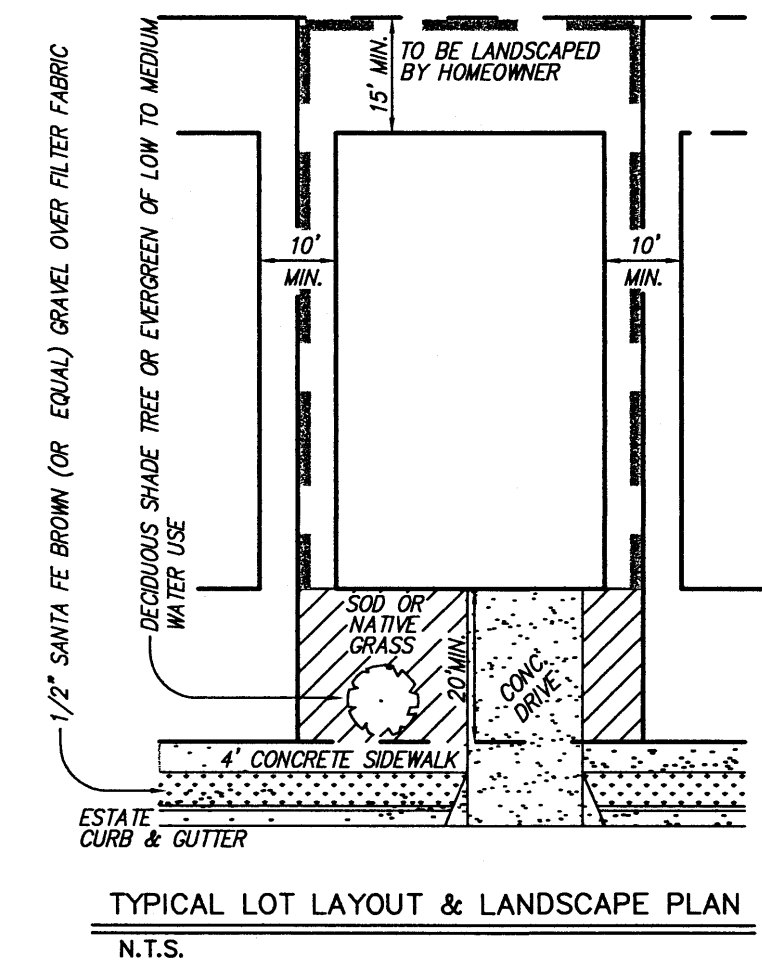


- GENERAL NOTES:**
- CURRENT ZONING: RA-2**
This is a Private Commons Development (PCD). The minimum open space area in a Private Commons Development is 30% of the Private Commons Development. The Open Space is called the Private Commons Area and is covered by a private open space easement granted to owners of lots 1 - 17.
 - BUILDING ENVELOPES**
a. Dwelling units shall be constructed within building envelope area according to setbacks.
 - SETBACKS**
a. Front yard setback is a minimum of 15 feet.
b. There shall be no side yard setback.
c. There shall be a rear-yard setback of not less than 15 feet.
d. There shall be a distance of not less than 10 feet between residential buildings.
e. There shall be a minimum setback of 5 feet for all side yards contiguous with the PCD boundary.
f. Driveways shall not be less than 20 feet deep.
 - BUILDING HEIGHT**
Structure shall be limited to 1 story and not exceed 17 feet in height.
 - WATER AND SEWER**
Prior to development, City of Albuquerque Water and Sanitary Sewer Service to the site must be verified and coordinated with the Utility Development Division of Public Works (UDD), City of Albuquerque, via an availability statement. If conventional sewer is not feasible, pressure sewer lines shall be subject to approval by UDD at DRC.
 - PARKING**
Off-street parking shall be provided on each lot for a minimum of 4 vehicle spaces (10' x 20' minimum dimension).
 - ACCESS**
Access to each dwelling will be provided directly from proposed private street with gated entry.
 - BUILDINGS**
Buildings will consist of either flat, tiled-pitched, shingle-pitched, or metal-pitched roofs, with exterior surface consisting of stucco.
 - MAXIMUM NUMBER OF NEW LOTS ALLOWED**
The total gross area covered by the existing property is 4.3758 acres. The minimum lot size in the RA-2 zone is 10,890 SF. Dividing the gross area of the site by the minimum lot size allowed in the RA-2 zone results in the allowance of a maximum of 18 lots when rounding to the nearest whole number according to the zoning code, however, this development only contains 17 lots.
 - OPEN SPACE**
The total gross area covered by the existing property is 4.3758 acres. Of that, a total of 0.2138 acres is necessary for additional R/W dedication to the City of Albuquerque resulting in a new PCD area of 4.1620 acres. Taking 30% of this area results in a requirement to designate at least 1.2486 acres as Private Commons Area (PCA). Within this PCD a total of 1.2505 acres is provided as PCA, which amounts to 30.01% of the total PCD area. Maintenance of open space areas to be delegated to Sydney Place Homeowners Assoc.
 - GRADING**
Once subdivision grading is engineer certified, individual homeowners shall ^{not} be allowed to perform any other grading within their respective lot or within adjoining open space.



VICINITY MAP ZONE MAP: G-13-Z

PROJECT NO. **1003522**
APPLICATION NO. **04DRB-01726**

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	12-1-04	Date
Traffic Engineering, Transportation Division		
<i>[Signature]</i>	12-1-04	Date
Utility Development		
<i>[Signature]</i>	12/1/04	Date
Christine Santoral Parks and Recreation Department		
<i>[Signature]</i>	12/1/04	Date
Bradley L. Baker City Engineer		
<i>[Signature]</i>	12/1/04	Date
Sharon Makon DRB Chairperson, Planning Department		

LEGEND

	EXISTING EDGE OF PAVEMENT
	NEW REAR & SIDE YARD WALL
	NEW CURB AND GUTTER
	EXISTING CURB AND GUTTER
	EXISTING PROPERTY LINE
	NEW SIDEWALK
	NEW REAR YARD & ENTRY FENCE
	NEW OPEN SPACE FENCE
	NEW PCD BOUNDARY
	NEW FIRE HYDRANT
	NEW GATE VALVE

SUBDIVISION DATA

GROSS ACREAGE	4.3758 AC
ZONE ATLAS NO.	G-13-Z
NO. OF LOTS CREATED	17 LOTS
NO. OF TRACTS CREATED	2 TRACTS
AREA DEDICATED TO CITY	0.2816 AC
ZONING	RA-2
DATE OF SURVEY	JULY 2004

SYDNEY PLACE
SITE DEVELOPMENT PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: SPS	Drawn: SPS, ACH	Checked: DMG	Sheet I of 2
Scale: 1" = 50'	Date: 09-30-04	Job: A04053	

PRO 5 * 1003522

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