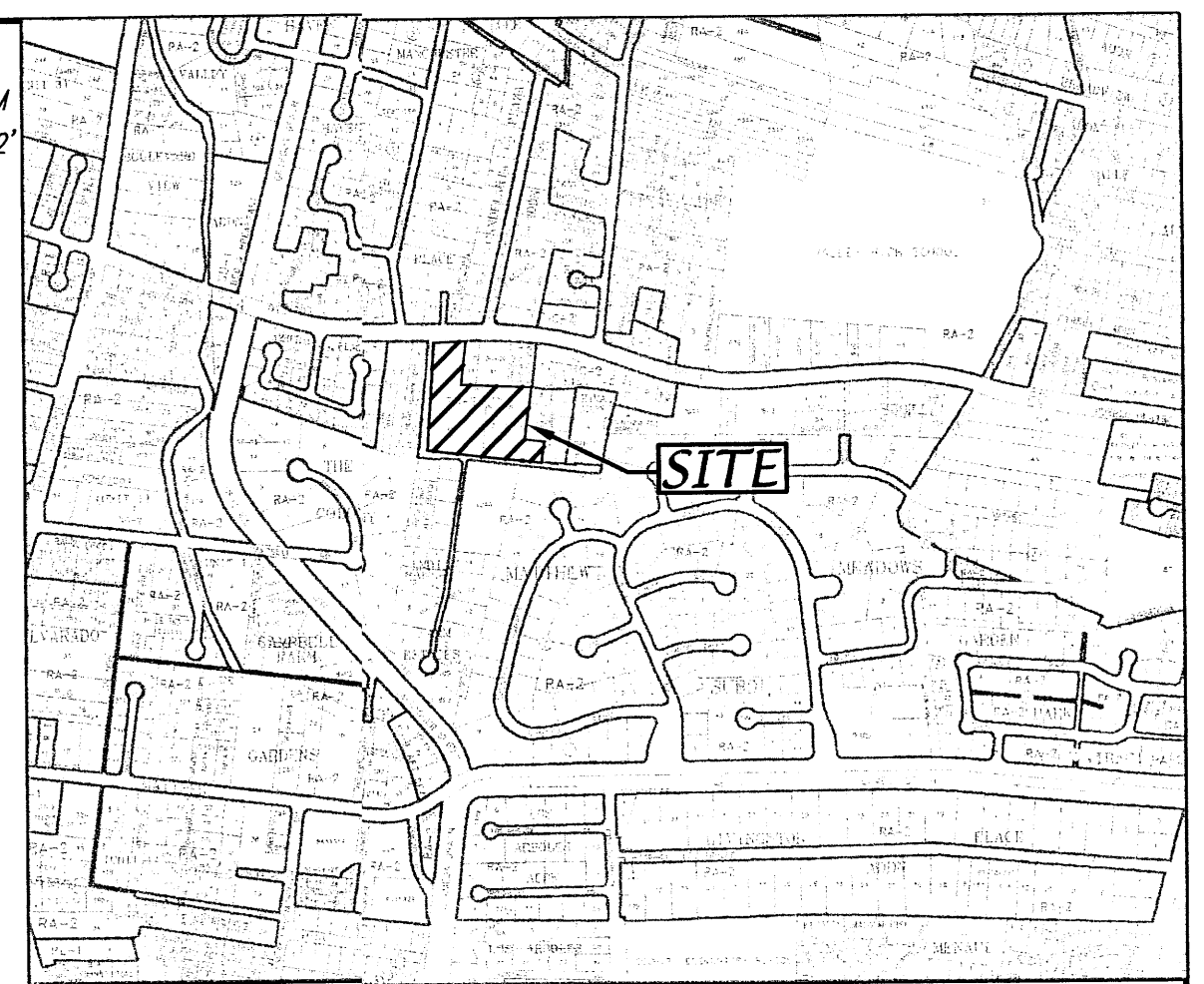
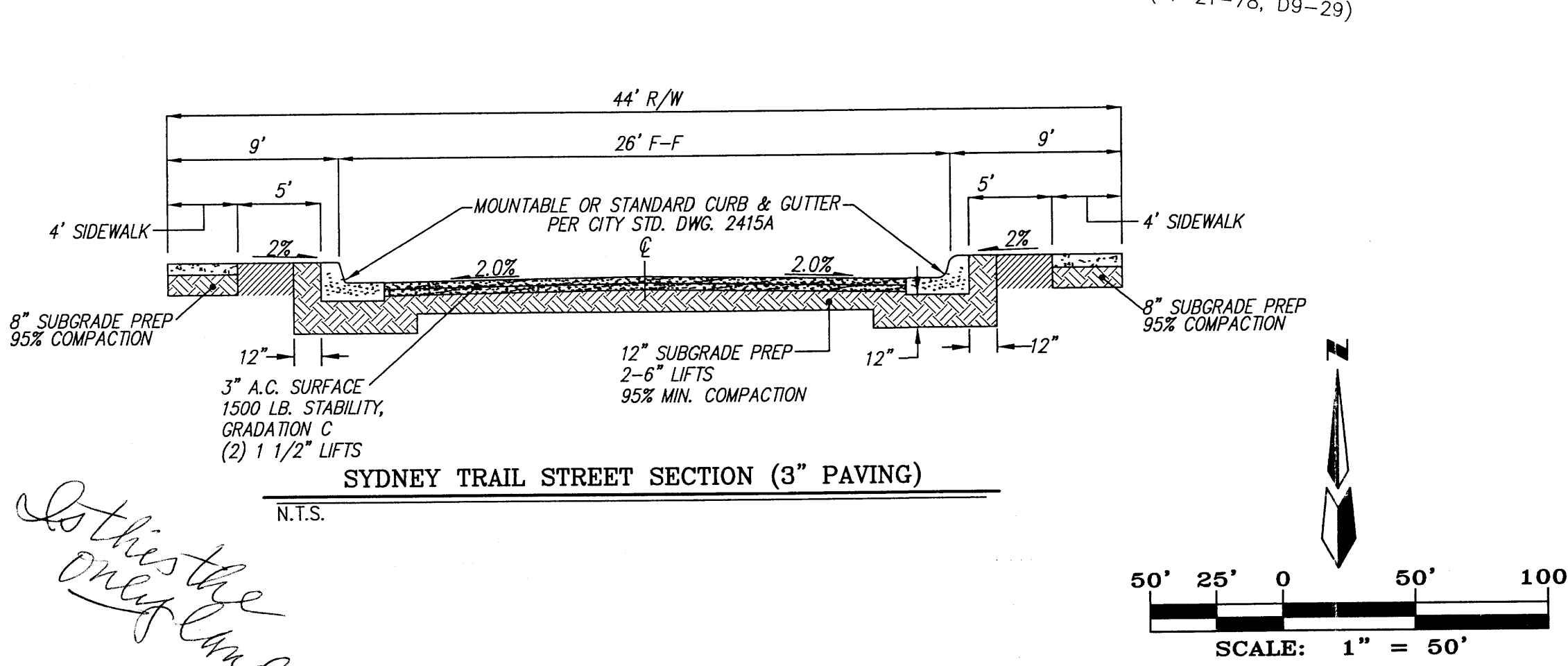
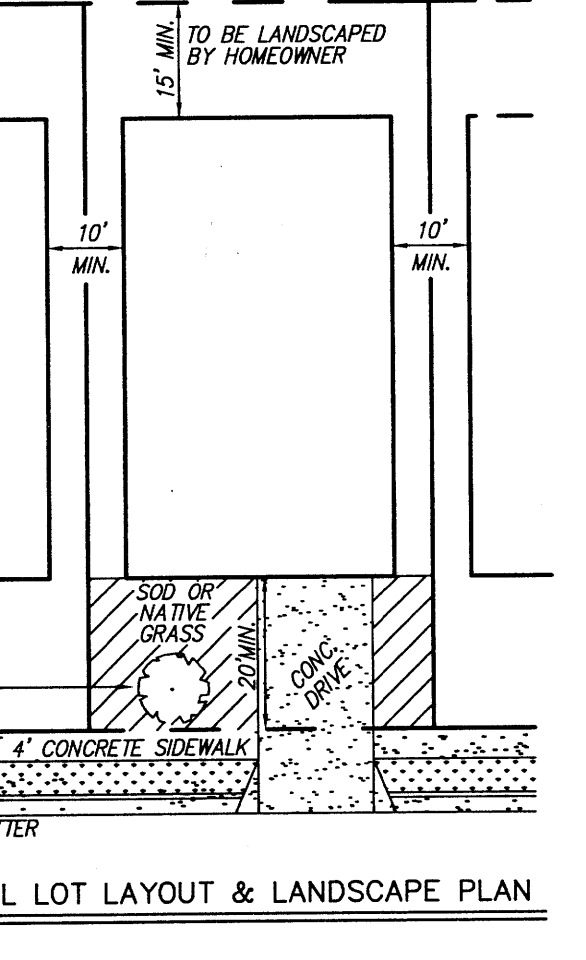
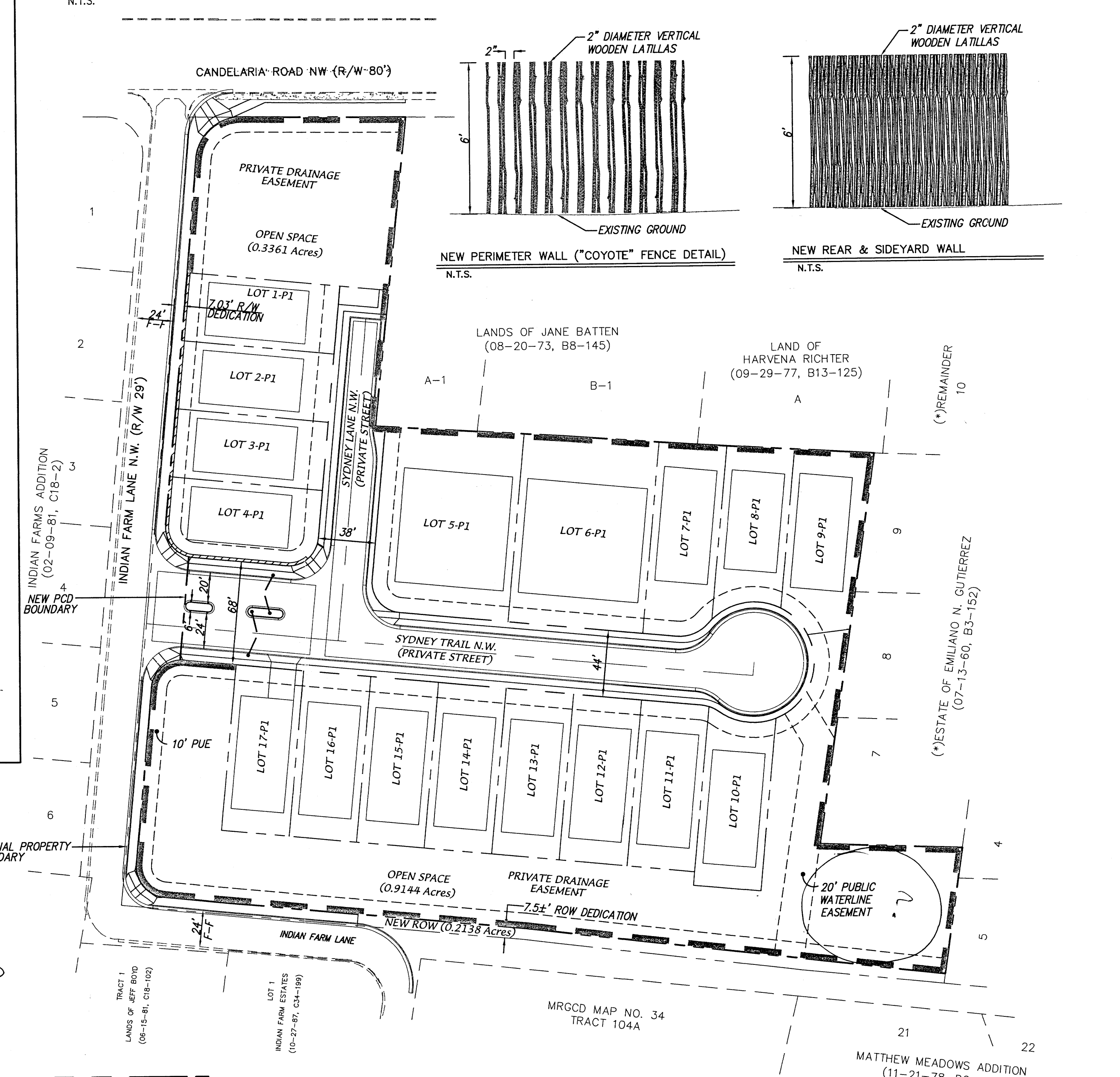
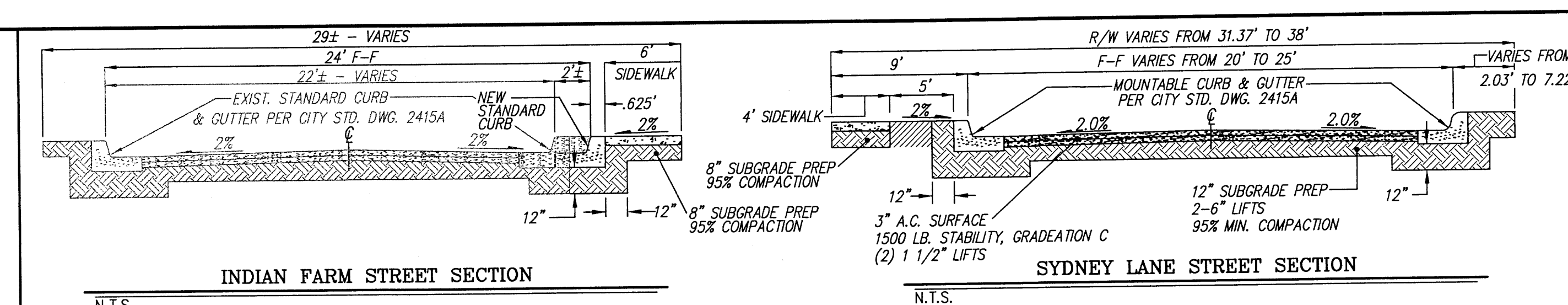


PROPOSED UTILITY PLAN
SCALE= 1:60

- GENERAL NOTES:**
- CURRENT ZONING: RA-2**
This is a Private Commons Development (PCD). The minimum open space area in a Private Commons Development is 30% of the Private Commons Development. The Open Space is called the Private Commons Area.
 - BUILDING ENVELOPES**
a. Dwelling units shall be constructed within building envelope area according to setbacks.
 - SETBACKS**
a. Front yard setback is a minimum of 15 feet.
b. There shall be no side yard setback.
c. There shall be a rear-yard setback of not less than 15 feet.
d. There shall be a distance of not less than 10 feet between residential buildings.
e. There shall be a minimum setback of 5 feet for all side yards contiguous with the PCD boundary.
f. Driveways shall not be less than 20 feet deep.
 - BUILDING HEIGHT**
Structure shall be limited to 1 story and not exceed 17 feet in height.
 - WATER AND SEWER**
Prior to development, City of Albuquerque Water and Sanitary Sewer Service to the site must be verified and coordinated with the Utility Development Division of Public Works (UDD), City of Albuquerque, via an availability statement. If conventional sewer is not feasible, pressure sewer lines shall be subject to approval by UDD at DRC.
 - PARKING**
Off-street parking shall be provided on each lot for a minimum of 4 vehicle spaces (10' x 20' minimum dimension).
 - ACCESS**
Access to each dwelling will be provided directly from proposed private street with gated entry.
 - BUILDINGS**
Buildings will consist of either flat, tiled-pitched, shingle-pitched, or metal-pitched roofs, with exterior surface consisting of stucco.
 - MAXIMUM NUMBER OF NEW LOTS ALLOWED**
The total gross area covered by the existing property is 4,3758 acres. The minimum lot size in the RA-2 zone is 10,890 SF. Dividing the gross area of the site by the minimum lot size allowed in the RA-2 zone results in the allowance of a maximum of 18 lots when rounding to the nearest whole number according to the zoning code, however, this development only contains 17 lots.
 - OPEN SPACE**
The total gross area covered by the existing property is 4,3758 acres. Of that, a total of 0.2138 acres is necessary for additional R/W dedication to the City of Albuquerque resulting in a new PCD area of 4,1620 acres. Taking 30% of this area results in a requirement to dedicate at least 1,2486 acres as Private Commons Area (PCA). Within this PCD a total of 1,2505 acres is provided as PCA, which amounts to 30.01% of the total PCD area.
 - GRADING**
Once subdivision grading is engineer certified, individual homeowners shall not be allowed to perform any other grading within their respective lot or within adjoining open space.



VICINITY MAP ZONE MAP: G-13-Z

PROJECT NO. **1003522**

APPLICATION NO. _____

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Utility Development	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

LEGEND

	EXISTING EDGE OF PAVEMENT
	NEW REAR & SIDE YARD WALL
	NEW CURB AND GUTTER
	EXISTING CURB AND GUTTER
	EXISTING PROPERTY LINE
	NEW SIDEWALK
	NEW PERIMETER WALL
	NEW PCD BOUNDARY
	NEW FIRE HYDRANT
	NEW GATE VALVE

SUBDIVISION DATA

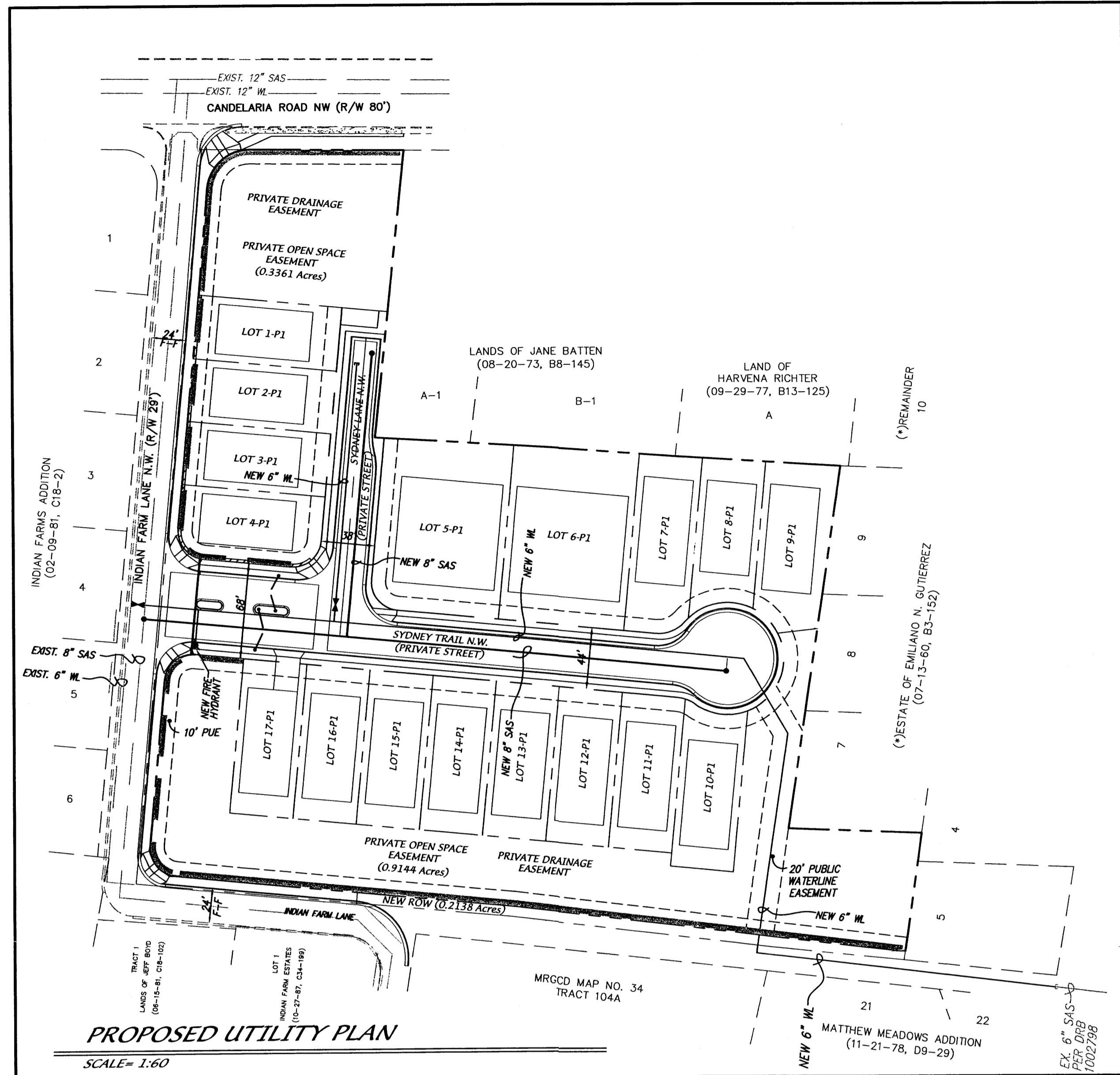
GROSS ACREAGE	4.3758 AC
ZONE ATLAS NO.	G-13-Z
NO. OF LOTS CREATED	17 LOTS
NO. OF TRACTS CREATED	2 TRACTS
AREA DEDICATED TO CITY	0.2816 AC
ZONING	RA-2
DATE OF SURVEY	JULY 2004

SYDNEY PLACE
SITE DEVELOPMENT PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

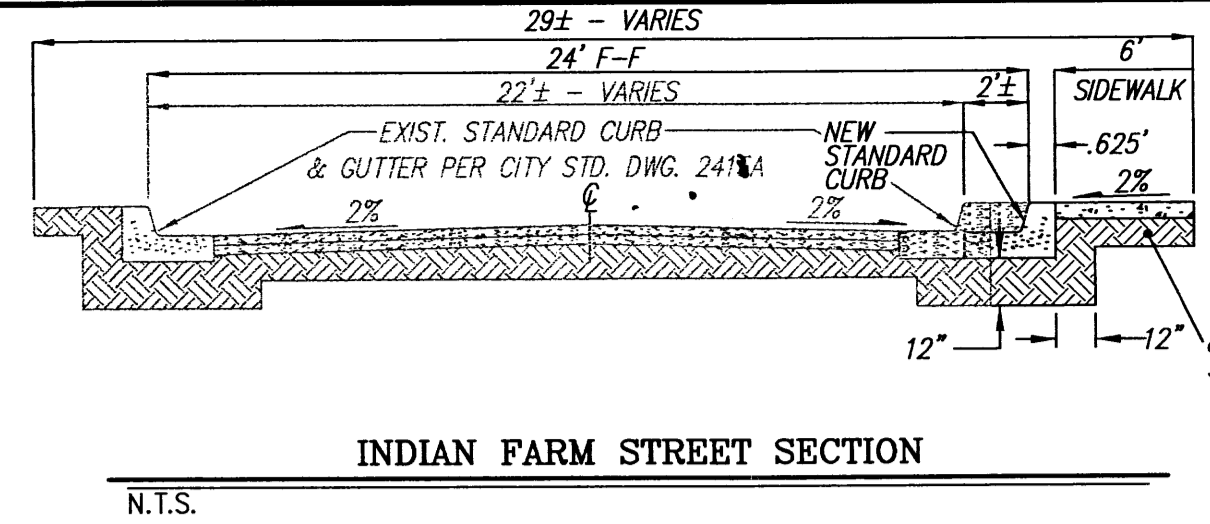
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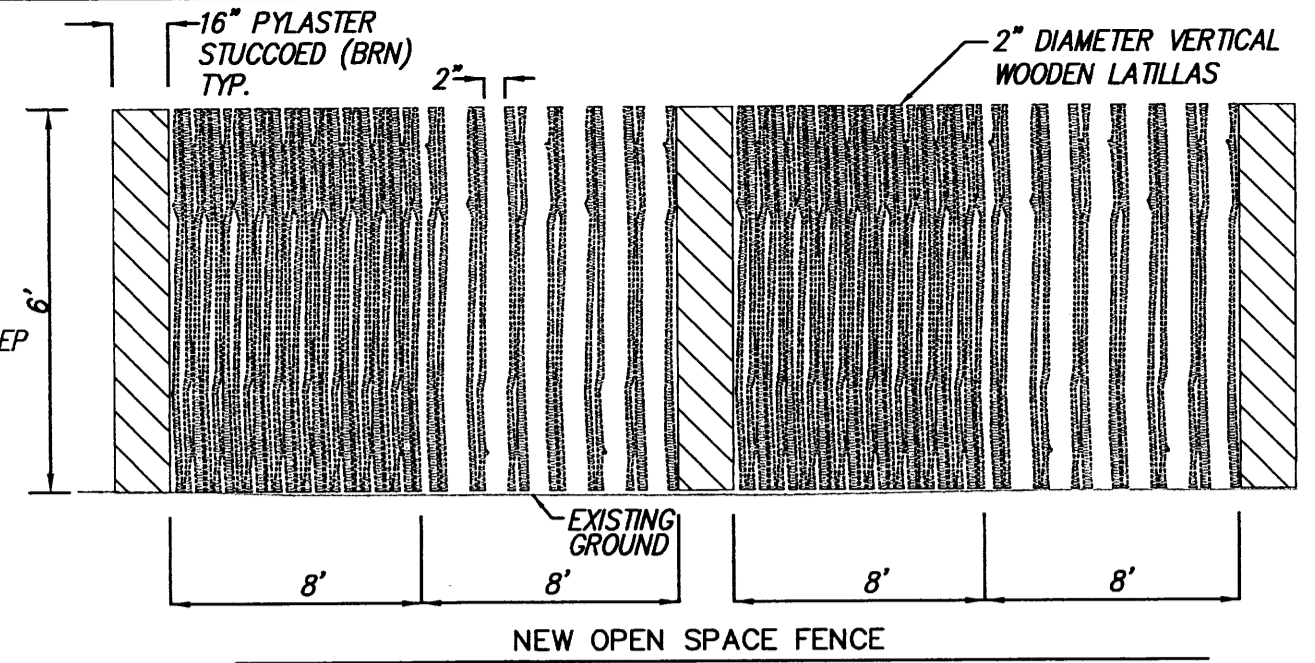


PROPOSED UTILITY PLAN

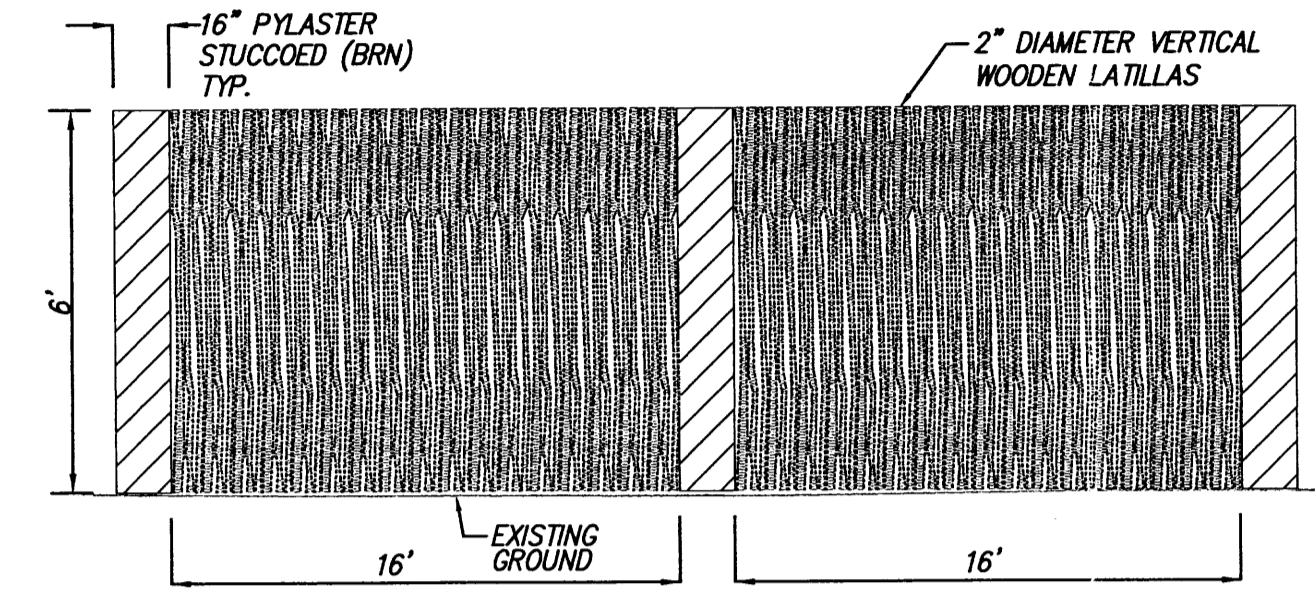
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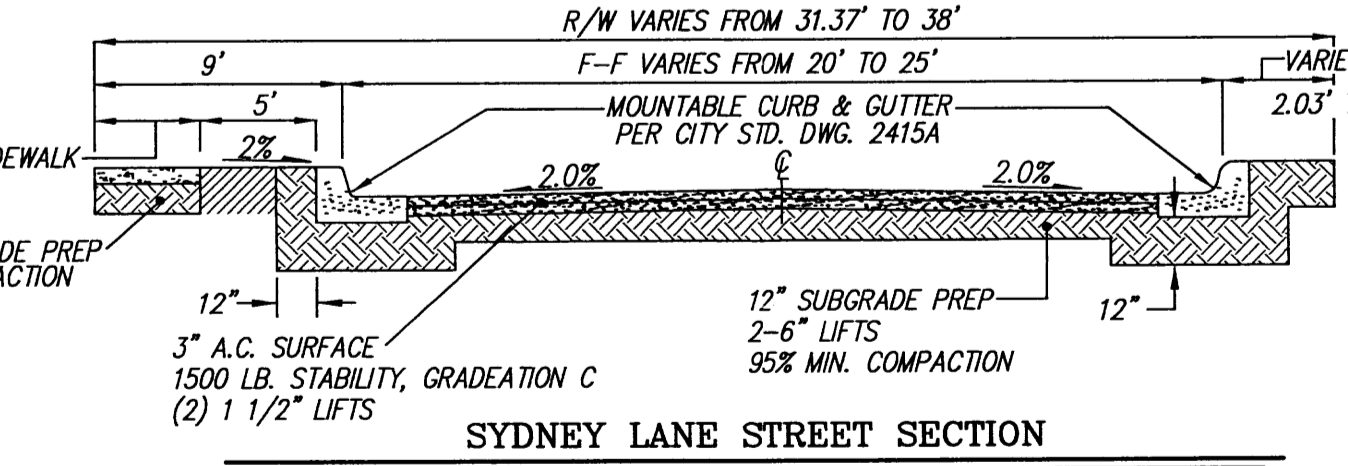
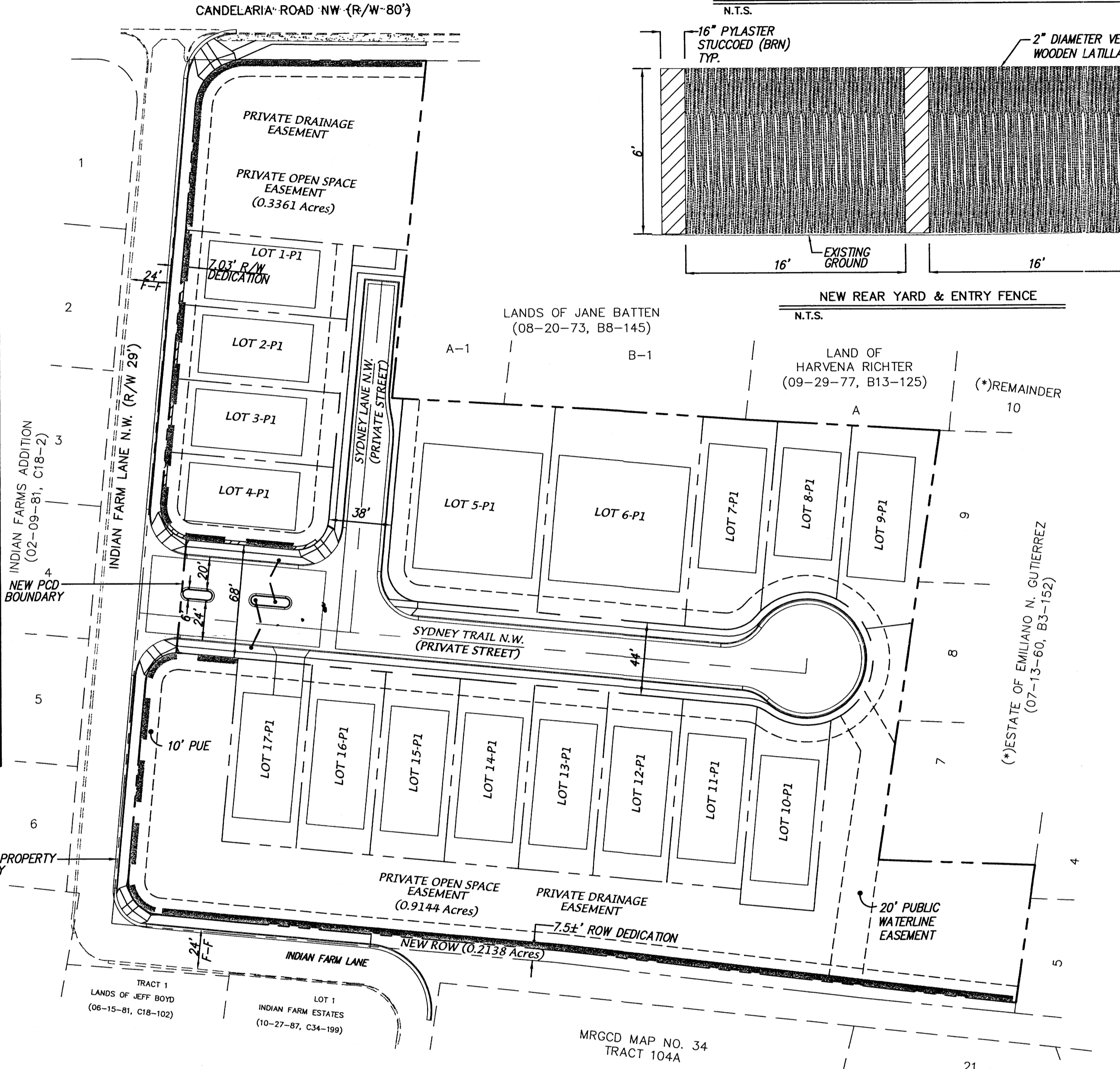
INDIAN FARM STREET SECTION



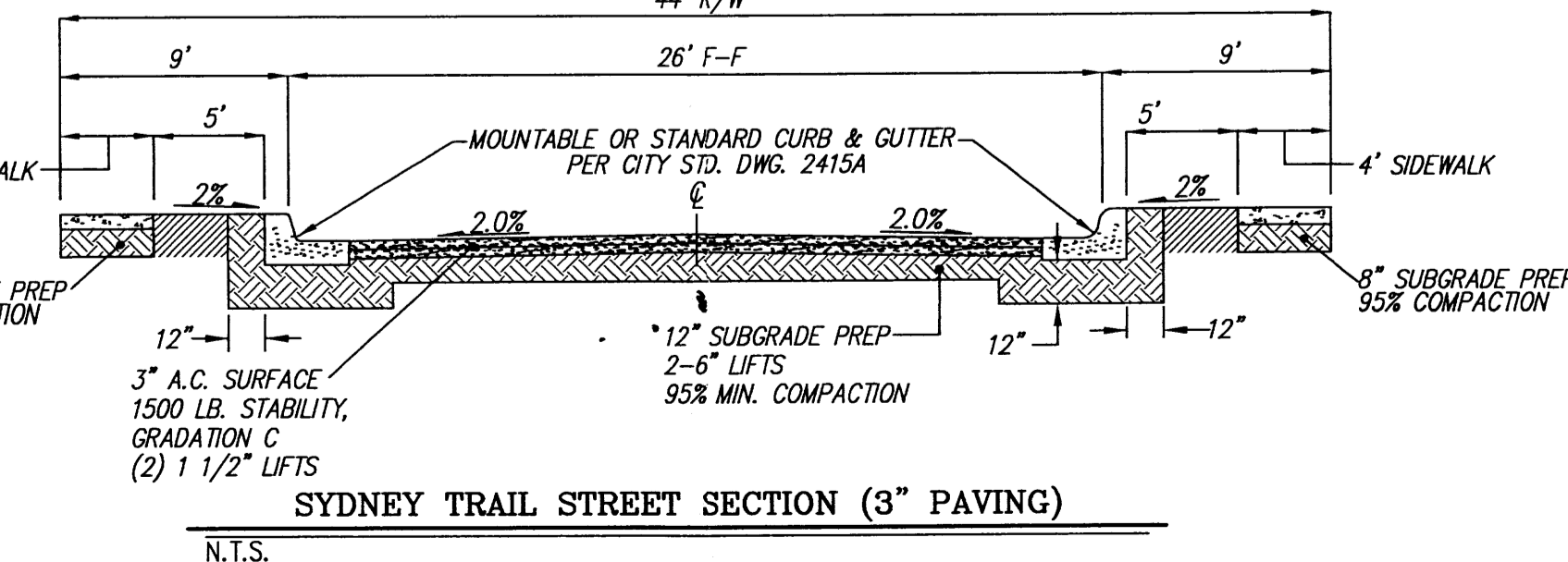
NEW OPEN SPACE FENCE



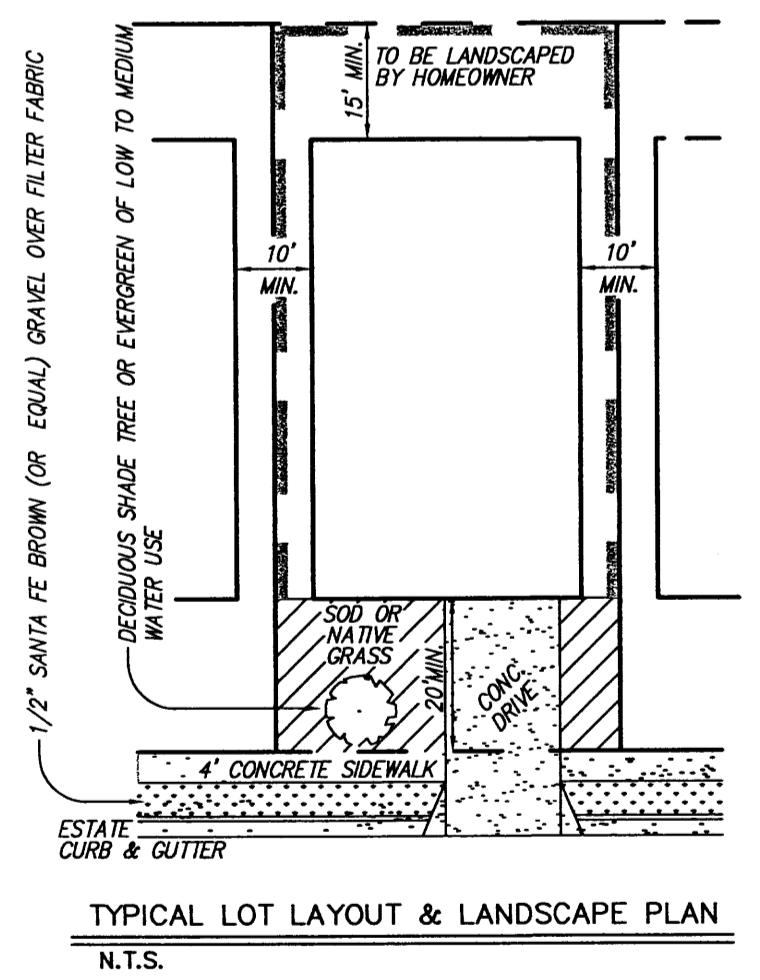
NEW REAR YARD & ENTRY FENCE



SYDNEY LANE STREET SECTION

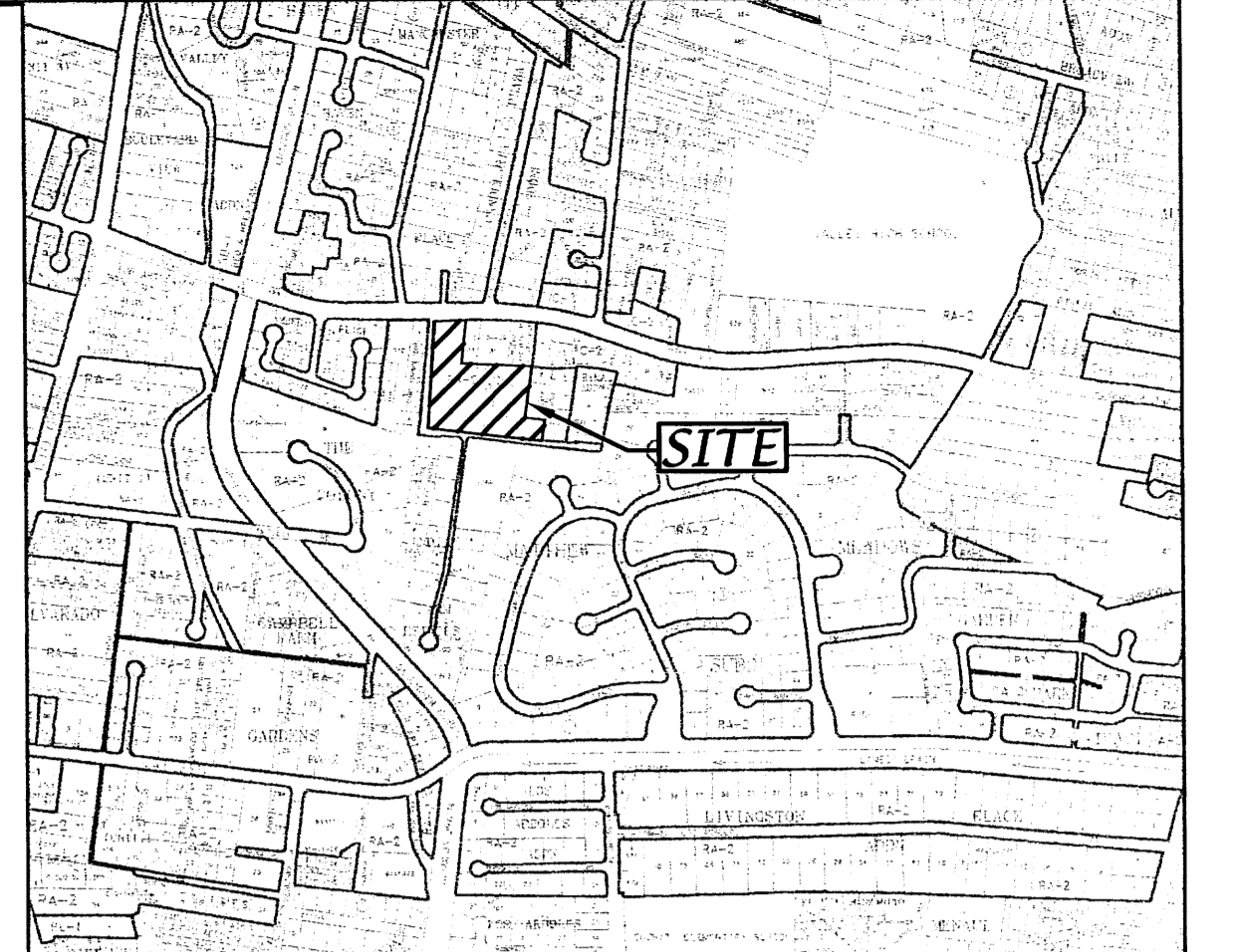


SYDNEY TRAIL STREET SECTION (3" PAVING)



TYPICAL LOT LAYOUT & LANDSCAPE PLAN

- GENERAL NOTES:**
- CURRENT ZONING: RA-2**
This is a Private Commons Development (PCD). The minimum open space area in a Private Commons Development is 30% of the Private Commons Development. The Open Space is called the Private Commons Area and is covered by a private open space easement granted to owners of lots 1 - 17.
 - BUILDING ENVELOPES**
a. Dwelling units shall be constructed within building envelope area according to setbacks.
 - SETBACKS**
a. Front yard setback is a minimum of 15 feet.
b. There shall be no side yard setback.
c. There shall be a rear-yard setback of not less than 15 feet.
d. There shall be a distance of not less than 10 feet between residential buildings.
e. There shall be a minimum setback of 5 feet for all side yards contiguous with the PCD boundary.
f. Driveways shall not be less than 20 feet deep.
 - BUILDING HEIGHT**
Structure shall be limited to 1 story and not exceed 17 feet in height.
 - WATER AND SEWER**
Prior to development, City of Albuquerque Water and Sanitary Sewer Service to the site must be verified and coordinated with the Utility Development Division of Public Works (UDD), City of Albuquerque, via an availability statement. If conventional sewer is not feasible, pressure sewer lines shall be subject to approval by UDD at DRC.
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Off-street parking shall be provided on each lot for a minimum of 4 vehicle spaces (10' x 20' minimum dimension).
 - ACCESS**
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Buildings will consist of either flat, tiled-pitched, shingle-pitched, or metal-pitched roofs, with exterior surface consisting of stucco.
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The total gross area covered by the existing property is 4,3758 acres. The minimum lot size in the RA-2 zone is 10,890 SF. Dividing the gross area of the site by the minimum lot size allowed in the RA-2 zone results in the allowance of a maximum of 18 lots when rounding to the nearest whole number according to the zoning code, however, this development only contains 17 lots.
 - OPEN SPACE**
The total gross area covered by the existing property is 4,3758 acres. Of that, a total of 0.2138 acres is necessary for additional R/W dedication to the City of Albuquerque resulting in a new PCD area of 4,1620 acres. Taking 30% of this area results in a requirement to designate at least 1,2486 acres as Private Commons Area (PCA). Within this PCD a total of 1,2505 acres is provided as PCA, which amounts to 30.01% of the total PCD area.
 - GRADING**
Once subdivision grading is engineer certified, individual homeowners shall not be allowed to perform any other grading within their respective lot or within adjoining open space.



VICINITY MAP ZONE MAP: G-13-Z

PROJECT NO. 1003522
APPLICATION NO. 04DRB-01726

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Utility Development	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

LEGEND

- EXISTING EDGE OF PAVEMENT
- NEW REAR & SIDE YARD WALL
- NEW CURB AND GUTTER
- EXISTING CURB AND GUTTER
- EXISTING PROPERTY LINE
- NEW SIDEWALK
- NEW REAR YARD & ENTRY FENCE
- NEW OPEN SPACE FENCE
- NEW PCD BOUNDARY
- NEW FIRE HYDRANT
- NEW GATE VALVE

APPROVED BY DRB
ON 12/6/04

SUBDIVISION DATA

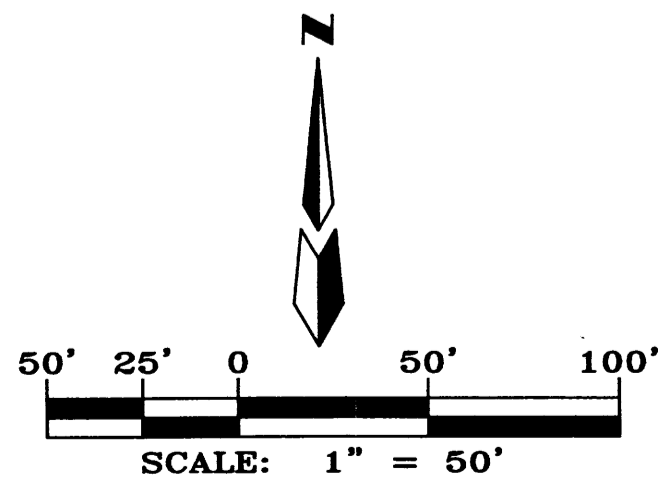
GROSS ACREAGE	4.3758 AC
ZONE ATLAS NO.	G-13-Z
NO. OF LOTS CREATED	17 LOTS
NO. OF TRACTS CREATED	2 TRACTS
AREA DEDICATED TO CITY	0.2816 AC
ZONING	RA-2
DATE OF SURVEY	JULY 2004

SYDNEY PLACE

SITE DEVELOPMENT PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: SPS Drawn: SPS, ACH Checked: DMG Sheet 1 of 1
Scale: 1" = 50' Date: 09-30-04 Job: A04053



SCALE: 1" = 50'

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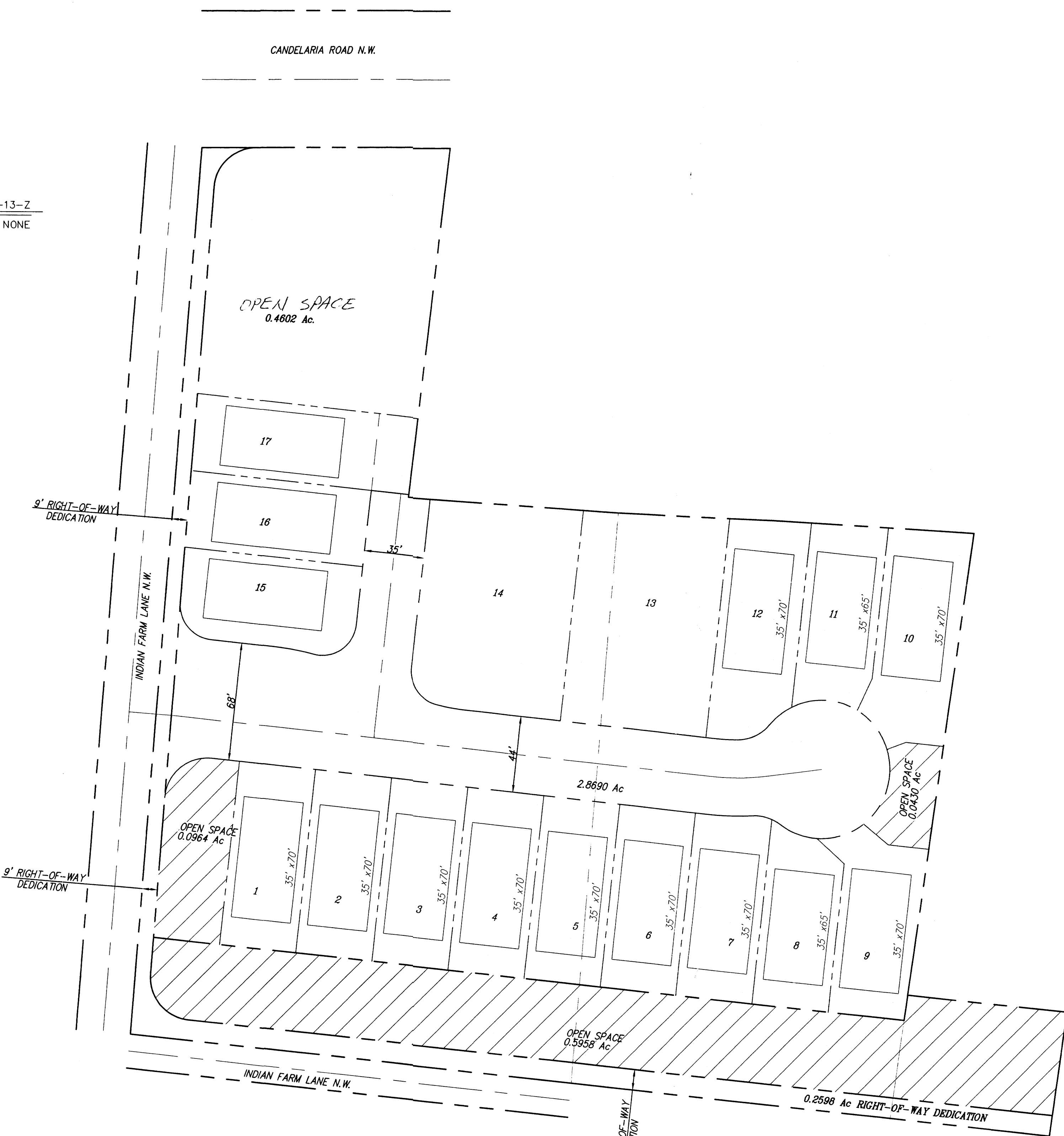
108352

SKETCH PLAT

INDIAN FARMS
WITHIN THE
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2004



LOCATION MAP
ZONE ATLAS G-13-Z
SCALE: NONE



LEGAL DESCRIPTION

TRACT 89, MAP 34 MRGD, AND LOT B-2 LANDS OF JANE BATTEN.

SUBDIVISION DATA

GROSS ACREAGE	4.3241 AC
OPEN SPACE	0.7352 AC
RIGHT-OF-WAY DEDICATION	0.2598 AC
TOTAL NET	3.3292 AC
ZONE ATLAS NO.	G-13-Z
NO. OF EXISTING TRACTS	2
NO. OF TRACTS/LOTS CREATED	17
NO. OF TRACTS ELIMINATED	2
ZONING	RA-2

OWNERS

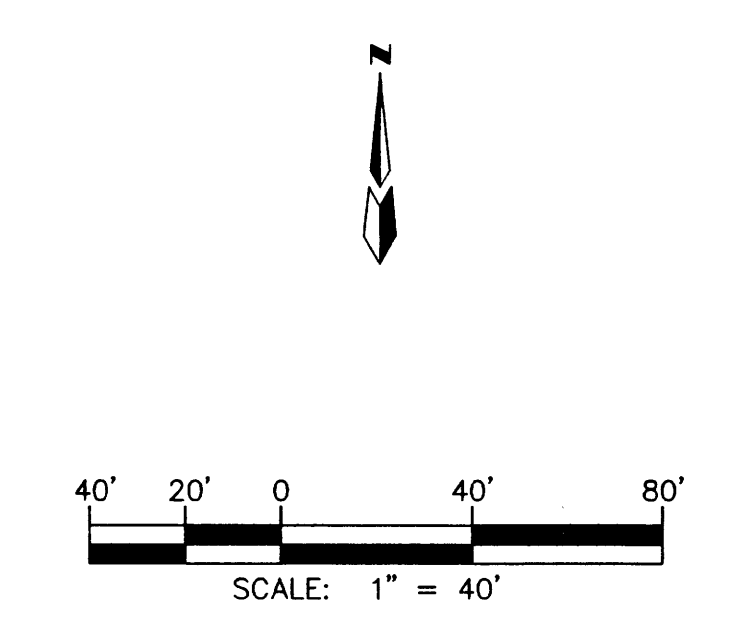
ASHWATER HOMES, LLC
P.O. BOX 10005
ALBUQUERQUE, N.M. 87184
(505) 828-2200

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

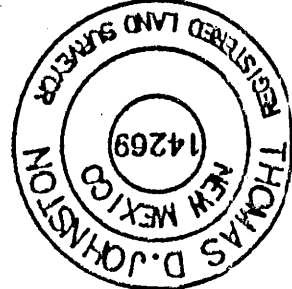
SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701



INDIAN FARMS			
SKETCH PLAT			
		MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS	
P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539			
Designed: JMM	Drawn: KJS	Checked: DMG	Sheet 1 of 1
Scale: 1" = 40'	Date: 06-28-04	Job: A04053	

ALTA SURVEY



WAYJOHN SURVEYING, INC.

Thomas D. Johnston
 Thomas D. Johnston, N.M.P.S. 14269
 September 2, 2003

TO: MOHUDEEN PARKA
 TEP (GENERAL)
 LANDAMERICA ALBUQUERQUE TITLE COMPANY (TITLE COMPANY)
 COMMONWEALTH LAND TITLE INSURANCE COMPANY (UNDERWRITER)
 This is to certify that this map or plat and the survey on which it is based were made in accordance with Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA, ACSM and NSPS in 1999 and includes items 1, 2, 3, 4, 6, 7, 8, 9, 10, 11(a), 11(b), 11(c), 11(d), 11(e), 11(f), 11(g), 11(h), 11(i), 11(j), 11(k), 11(l), 11(m), 11(n), 11(o), 11(p), 11(q), 11(r), 11(s), 11(t), 11(u), 11(v), 11(w), 11(x), 11(y), 11(z), 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 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SURVEYOR'S CERTIFICATION:

350002 0331 D, EFFECTIVE DATE: SEPTEMBER 20, 1996.
 REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO PANEL 100-YEAR FLOOD HAZARD, PROPERTY LIES WITHIN FLOOD HAZARD AND IS NOT SUBJECT TO 100-YEAR FLOOD STUDY.
 THIS PROPERTY DOES NOT LIE IN AN AREA COVERED BY A FORMAL FEMA FLOOD STUDY.

FLOOD INFORMATION:

BEARINGS SHOWN BEARINGS ARE TO NEW MEXICO STATE PLANE GRID, CENTRAL ZONE (NAD 1927) RECORD BEARINGS AND/OR DISTANCES ARE SHOWN IN PARENTHESES.
 * WARRANT DEED FOR TRACT 89, MRGCD MAP 34, RECORDED 7/21/1907 IN BOOK D309A, P. 530.
 ** PLAT OF INDIAN FARMS ADDITION, RECORDED 2/9/1981 IN VOLUME C18, FOLIO 2.
 *** PLAT OF LANDS OF JEFF BOYD, RECORDED 2/9/1981 IN VOLUME C18, FOLIO 1.
 **** PLAT OF LOT B-2 OF LAND OF JANE BATTEN, RECORDED 2/16/1972 IN VOLUME B6, FOLIO 85.
 ***** PLAT OF LOT B-2 OF LAND OF JANE BATTEN, RECORDED 8/20/1973 IN VOLUME B6, FOLIO 144.
 ***** PLAT OF LOTS A-1 AND B-1 OF LAND OF JANE BATTEN, RECORDED 8/20/1973 IN VOLUME B6, FOLIO 145.

STATEMENT OF ENCROACHMENTS:

THERE ARE NO ENCROACHMENTS AT THE TIME OF THIS SURVEY.

- NOTES CORRESPONDING TO SCHEDULE B:
- ① INFORMATION PROVIDED ON LANDAMERICA ALBUQUERQUE TITLE COMPANY COMMENT FOR TITLE INSURANCE NO. 252503A6 DATED 8/2/2003 AT 8:00 A.M. EXISTING DITCHES, ROADWAYS AND RIGHTS OF WAY; THIS ITEM IS SHOWN HEREON AS CANDELAIRA RD. NW AND INDIAN FARM LANE, NW.
 - ② ANY AND ALL RIGHTS, LIENS, CLAIMS OR EQUITIES IN FAVOR OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT WHICH AFFECTS THE INSURED PREMISES. THIS ITEM IS NOT SHOWN HEREON. ITEM IS BLANKET IN NATURE.

A tract of land in Los Condadoas within the Albuquerque Grant in Bernillo County, New Mexico, known as Tract 89, Map 34 of the Middle Rio Grande Conservancy District and being further described by metes and bounds as follows:
 BEGINNING at the Northwest corner, the point of intersection of the road running Southern therefrom and from which said point the Northeast corner of Section 6, T10N, R3E, N.M.P.M., bears N. 36° 32' W. a distance of 3167.4 feet and running:
 Thence, S. 4° 02' W., 5167.4 feet to the Southeast corner,
 Thence, S. 83° 00' E., 260.7 feet to the Southeast corner,
 Thence, N. 5° 18' E., 325.7 feet;
 Thence, N. 86° 26' W., 128.4 feet;
 Thence, N. 5° 48' E., 212.4 feet to the Northeast corner,
 Thence, N. 88° 43' W., 145.9 feet to the point of beginning.



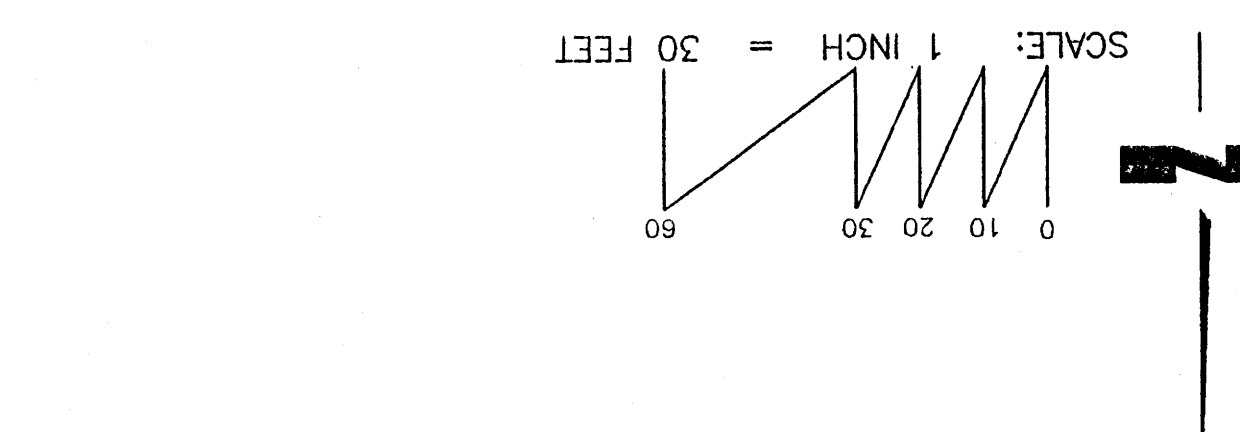
- LEGEND:**
- F S N
 - E S T
 - S O U T H
 - W E S T
 - T Y P I C A L
 - P R O P E R T Y L I N E
 - C L
 - N O .
 - D A .
 - T Y P
 - T Y P I C A L
 - W A T E R V A L V E
 - W A T E R M E T E R
 - S A N I T A R Y S E W E R M A N H O L E
 - F I R E H Y D R A N T
 - P O W E R P O L E
 - L I G H T P O L E
 - C H A I N L I N K F E N C E

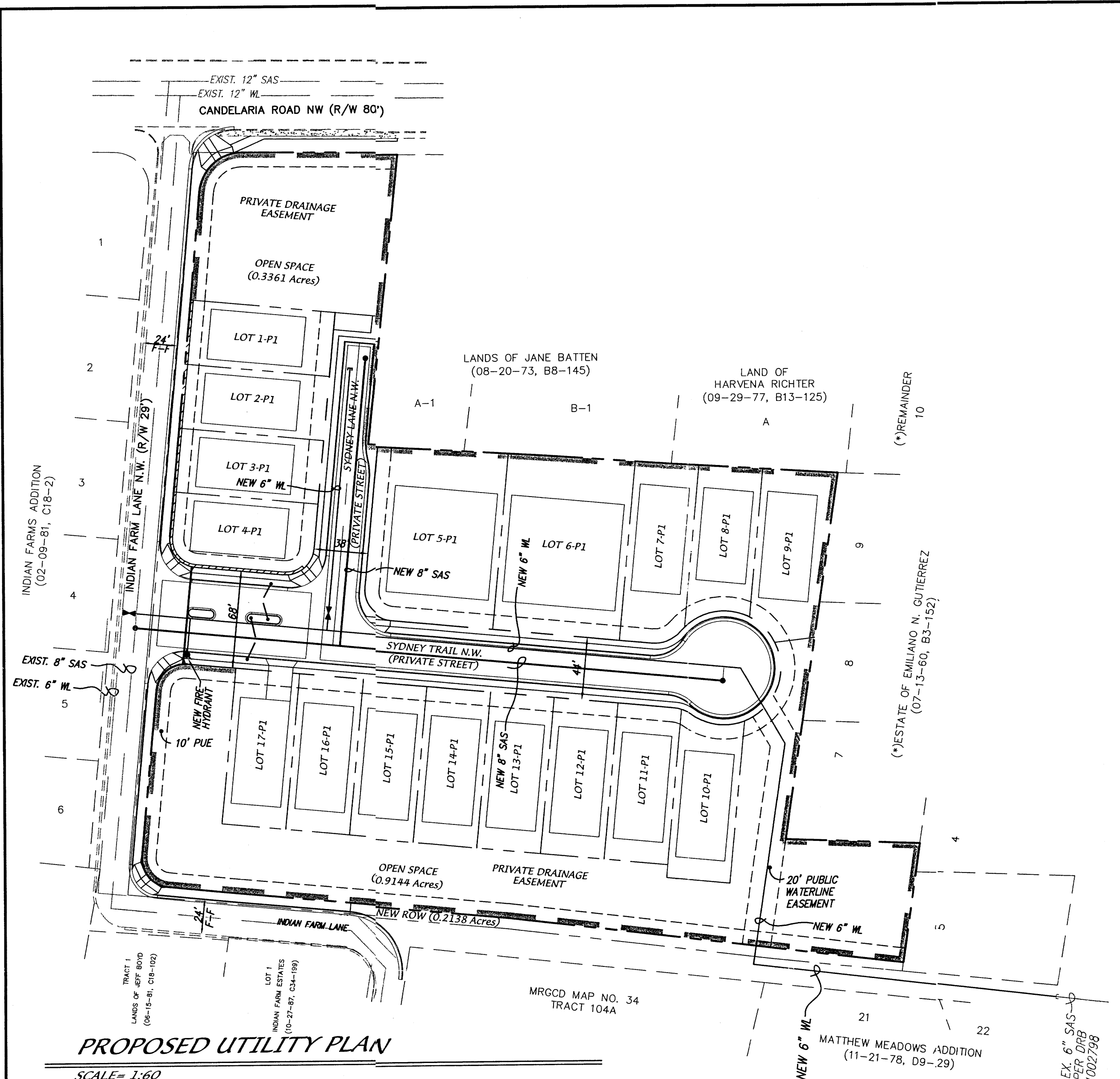
SITE RESTRICTIONS:
 FRONT/SIDE CORNER: 20 feet/10 feet
 SIDE: 5 feet
 REAR: 25 feet
 HEIGHT: 26 FEET
 LOT AREA: 10,880 square feet
 LOT WIDTH: 75 feet
 RA-2 RESIDENTIAL AND AGRICULTURAL ZONE
 CITY OF ALBUQUERQUE ZONING DEPARTMENT (505) 924-3842
 AREA: 2.8157 Acres
 113937.91 sq. ft.

WAYJOHN SURVEYING INC.

330 Louisiana Blvd, N.E. Albuquerque, NM 87108
 Phone: (505) 255-2052 Fax: (505) 255-2087
 Draftsman: E W K
 Date of Survey: 8/29/2003
 Job No.: ALTA-8-01-2003
 Date of Last Revision: N/A
 File No.: c:\altr80103.dwg
 Scale: 1" = 30'
 For: LANDAMERICA ALBUQUERQUE TITLE COMPANY
 Client: JOHN RHODES
 Phone No.: (505) 889 5045

SURVEYOR'S NOTES:
 ACCESS TO SUBJECT PROPERTY IS PROVIDED BY CANDELAIRA ROAD, N. W. AND INDIAN FARM LANE, N. W. BOTH ARE PUBLIC RIGHTS-OF-WAY, ACCEPTED AND MAINTAINED BY THE CITY OF ALBUQUERQUE, NEW MEXICO.
 THE TITLE LINES AND ACTUAL POSSESSION LINES ARE THE SAME.
 DRAINAGE, INGRESS AND EGRESS EXCEPT AS SHOWN.
 THE SUBJECT PROPERTY IS NOT SERVICED BY ANY ADJOINING PROPERTY FOR MONUMENTATION RECOVERED, ACCEPTED OR SET IS AS NOTED HEREON. ALL FOUND AND ACCEPTED MONUMENTS ARE TAGGED WITH WASHER PS 14269.

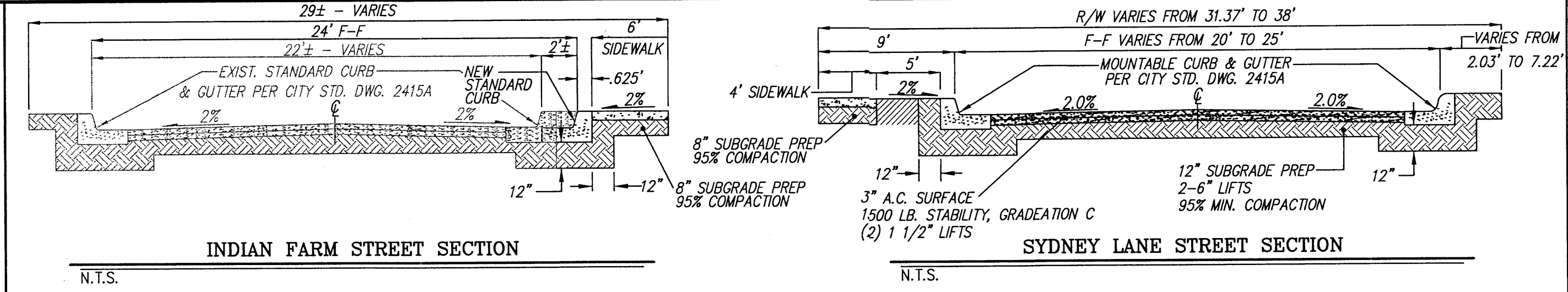




PROPOSED UTILITY PLAN
SCALE = 1:60

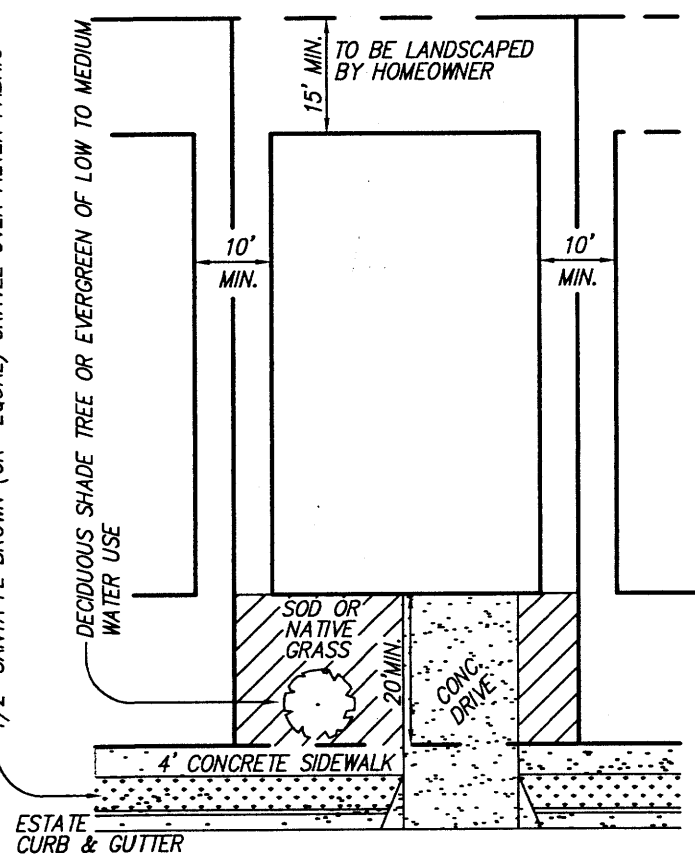
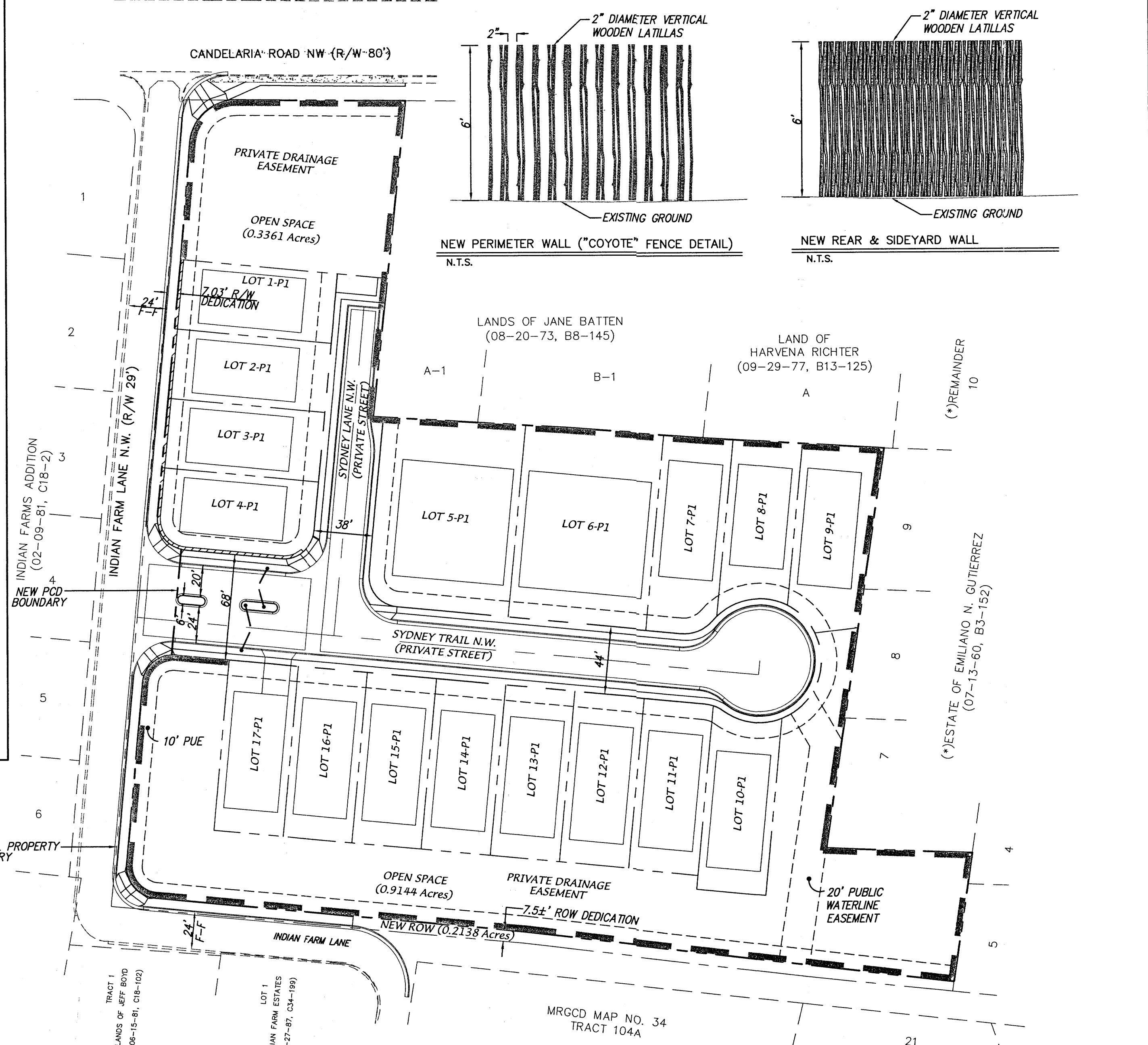
GENERAL NOTES:

- CURRENT ZONING: RA-2**
This is a Private Commons Development (PCD). The minimum open space area in a Private Commons Development is 30% of the Private Commons Development. The Open Space is called the Private Commons Area.
- BUILDING ENVELOPES**
a. Dwelling units shall be constructed within building envelope area according to setbacks.
- SETBACKS**
a. Front yard setback is a minimum of 15 feet.
b. There shall be no side yard setback.
c. There shall be a rear-yard setback of not less than 15 feet.
d. There shall be a distance of not less than 10 feet between residential buildings.
e. There shall be a minimum setback of 5 feet for all side yards contiguous with the PCD boundary.
f. Driveways shall not be less than 20 feet deep.
- BUILDING HEIGHT**
Structure shall be limited to 1 story and not exceed 17 feet in height.
- WATER AND SEWER**
Prior to development, City of Albuquerque Water and Sanitary Sewer Service to the site must be verified and coordinated with the Utility Development Division of Public Works (UDD), City of Albuquerque, via an availability statement. If conventional sewer is not feasible, pressure sewer lines shall be subject to approval by UDD at DRC.
- PARKING**
Off-street parking shall be provided on each lot for a minimum of 4 vehicle spaces (10' x 20' minimum dimension).
- ACCESS**
Access to each dwelling will be provided directly from proposed private street with gated entry.
- BUILDINGS**
Buildings will consist of either flat, tiled-pitched, shingle-pitched, or metal-pitched roofs, with exterior surface consisting of stucco.
- MAXIMUM NUMBER OF NEW LOTS ALLOWED**
The total gross area covered by the existing property is 4,3758 acres. The minimum lot size in the RA-2 zone is 10,890 SF. Dividing the gross area of the site by the minimum lot size allowed in the RA-2 zone results in the allowance of a maximum of 18 lots when rounding to the nearest whole number according to the zoning code, however, this development only contains 17 lots.
- OPEN SPACE**
The total gross area covered by the existing property is 4,3758 acres. Of that, a total of 0.2138 acres is necessary for additional R/W dedication to the City of Albuquerque resulting in a new PCD area of 4,1620 acres. Taking 30% of this area results in a requirement to designate at least 1,2486 acres as Private Commons Area (PCA). Within this PCD a total of 1,2505 acres is provided as PCA, which amounts to 30.01% of the total PCD area.
- GRADING**
Once subdivision grading is engineer certified, individual homeowners shall not be allowed to perform any other grading within their respective lot or within adjoining open space.

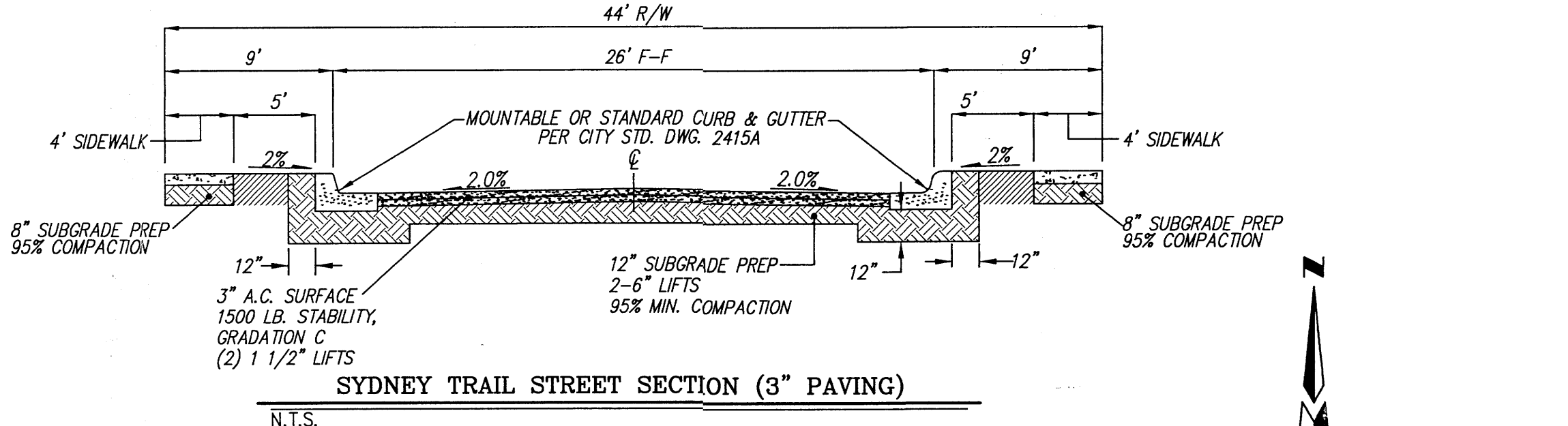


INDIAN FARM STREET SECTION
N.T.S.

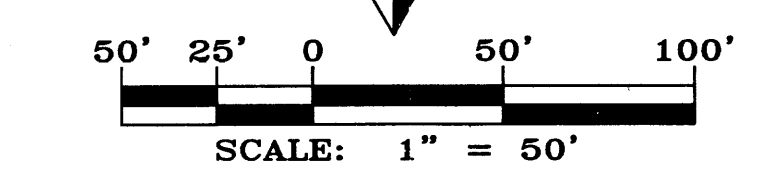
SYDNEY LANE STREET SECTION
N.T.S.



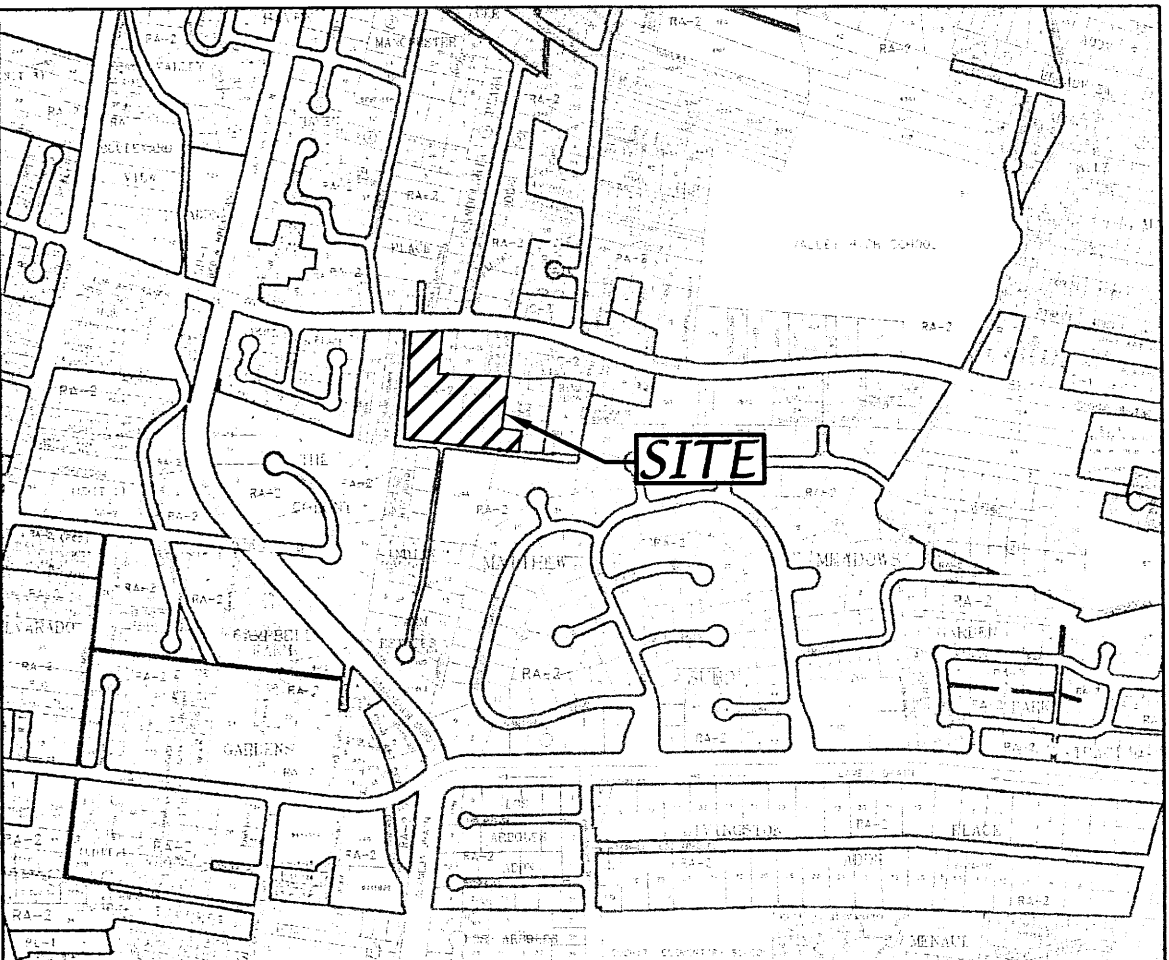
TYPICAL LOT LAYOUT & LANDSCAPE PLAN
N.T.S.



SYDNEY TRAIL STREET SECTION (3\"/>



A41053IF/PRELIMINARY PLAT/SITEPLAN4/11-04/04/ACH



VICINITY MAP ZONE MAP: G-13-Z

PROJECT NO. 1003522
APPLICATION NO.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Utility Development	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

LEGEND

- EXISTING EDGE OF PAVEMENT
- NEW REAR & SIDE YARD WALL
- NEW CURB AND GUTTER
- EXISTING CURB AND GUTTER
- EXISTING PROPERTY LINE
- NEW SIDEWALK
- NEW PERIMETER WALL
- NEW PCD BOUNDARY
- NEW FIRE HYDRANT
- NEW GATE VALVE

SUBDIVISION DATA

GROSS ACREAGE	4.3758 AC
ZONE ATLAS NO.	G-13-Z
NO. OF LOTS CREATED	17 LOTS
NO. OF TRACTS CREATED	2 TRACTS
AREA DEDICATED TO CITY	0.2816 AC
ZONING	RA-2
DATE OF SURVEY	JULY 2004

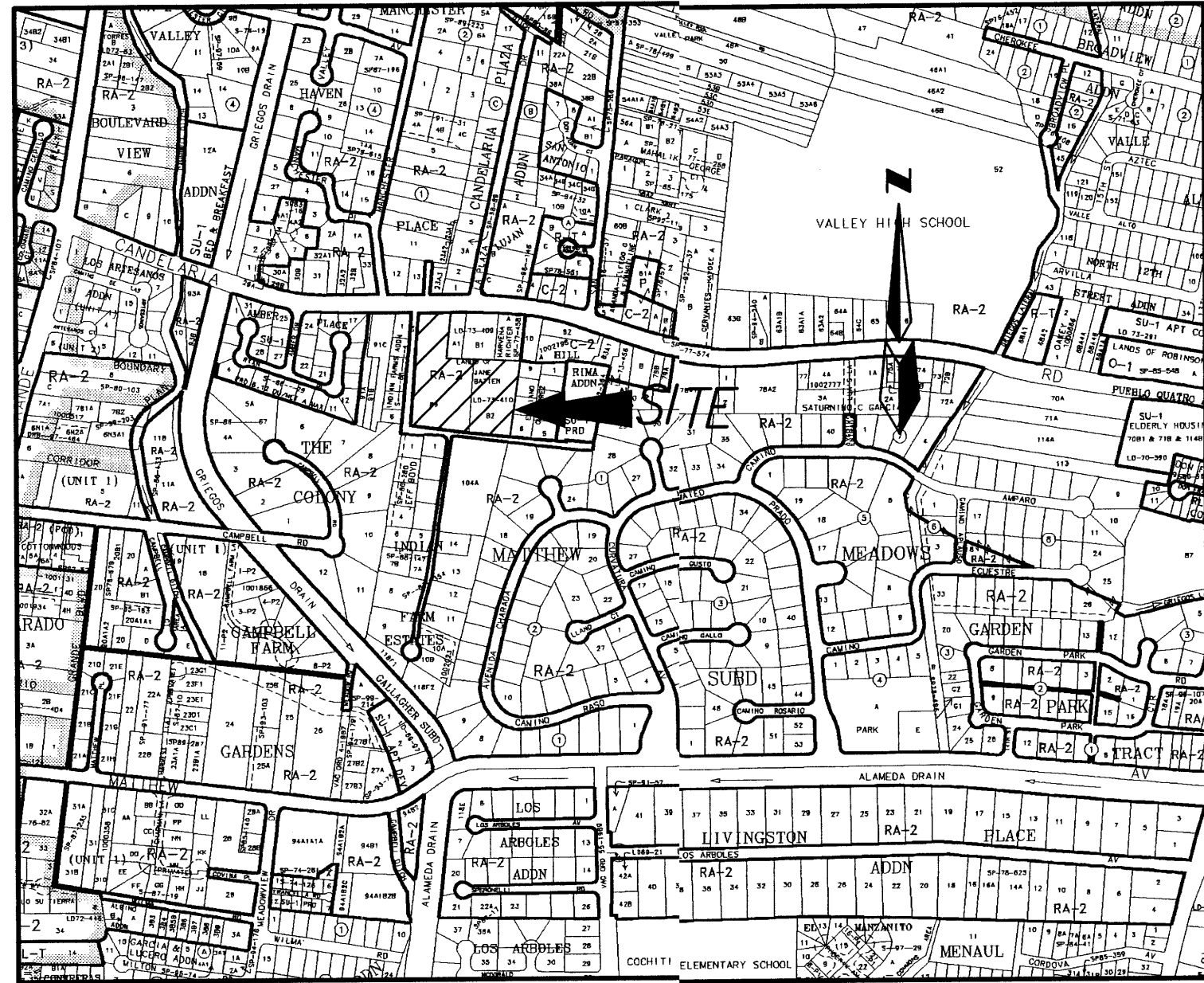
PLANNING CONCEPTUAL UTILITY

SYDNEY PLACE

SITE DEVELOPMENT PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: SPS	Drawn: SPS, ACH	Checked: DMG	Sheet I of I
Scale: 1" = 50'	Date: 09-30-04	Job: A04053	



ZONE ATLAS MAP # G-13-Z
SCALE: NONE

DESCRIPTION

A tract of land situated within the Town of Albuquerque Grant, projected Section 6, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT B9, MRGCD MAP NO. 34 and all of TRACT B2, LANDS OF JANE BATTEN as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 20, 1973 in Book B8, Page 144 together with all of LOT 6, ESTATE OF EMILIANO N. GUTIERREZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152 and being more particularly described as follows:

BEGINNING at a point of the herein described tract, said point being common with the northwest corner of TRACT A-1, LANDS OF JANE BATTEN as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 20, 1973 in Book B8, Page 145 and further being on the south right-of-way line of Candelaria Road N.W. from whence the Albuquerque Control Survey Monument "6-G13A RESET" bears N 82°06'25" E, 331.41 feet;

THENCE leaving said south right-of-way line S 06°04'17" W, 205.04 feet along a line common with the west line of said TRACT A-1 to a point, said point being common with the southwest corner of said TRACT A-1;

THENCE S 86°30'51" E, 125.10 feet along a line common with the south line of said TRACT A-1 and TRACT B-1, LANDS OF JANE BATTEN as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 20, 1973 in Book B8, Page 145 to a point;

THENCE continuing S 85°49'38" E, 88.72 feet to a point, said point being common with the southeast corner of said TRACT B-1 and further being common with the southwest corner of TRACT A, LAND OF HARVENA RICHTER as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 29, 1977 in Book B13, Page 125;

THENCE S 86°33'00" E, 117.43 feet along a line common with the south line of said TRACT A to the northeast corner, said point being common with the northwest corner of LOT 9, LANDS OF EMILIANO N. GUTIERREZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152;

THENCE S 08°22'50" W, 259.95 feet along a line common with the west line of said LOT 9 and LOTS 7 AND 8, LANDS OF EMILIANO N. GUTIERREZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152 to a point, said point being common with the southwest corner of said LOT 7;

THENCE S 87°50'10" E, 94.53 feet along a line common with the south line of said LOT 7 to a point, said point being on the west line of LOT 4, LANDS OF EMILIANO N. GUTIERREZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152;

THENCE S 08°13'29" W, 90.30 feet along a line common with the west line of said LOT 4 and LOT 5, LANDS OF EMILIANO N. GUTIERREZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152 to the southeast corner, said point being common with the southwest corner of said LOT 5;

THENCE N 83°58'40" W, 94.30 feet along the south line of the herein described tract to a point;

THENCE continuing N 83°14'53" W, 186.05 feet to a point;

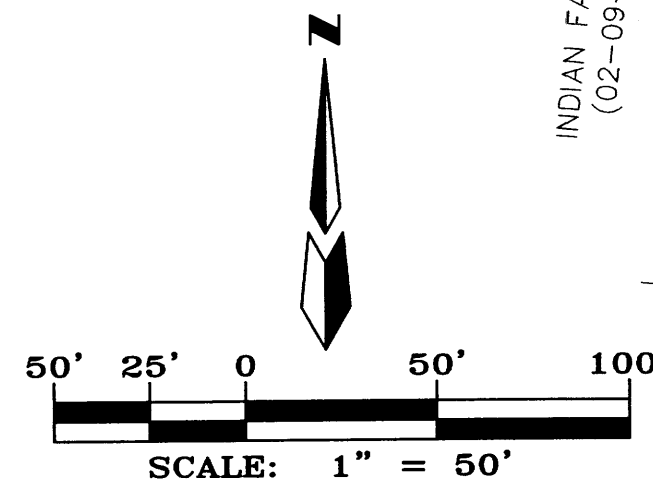
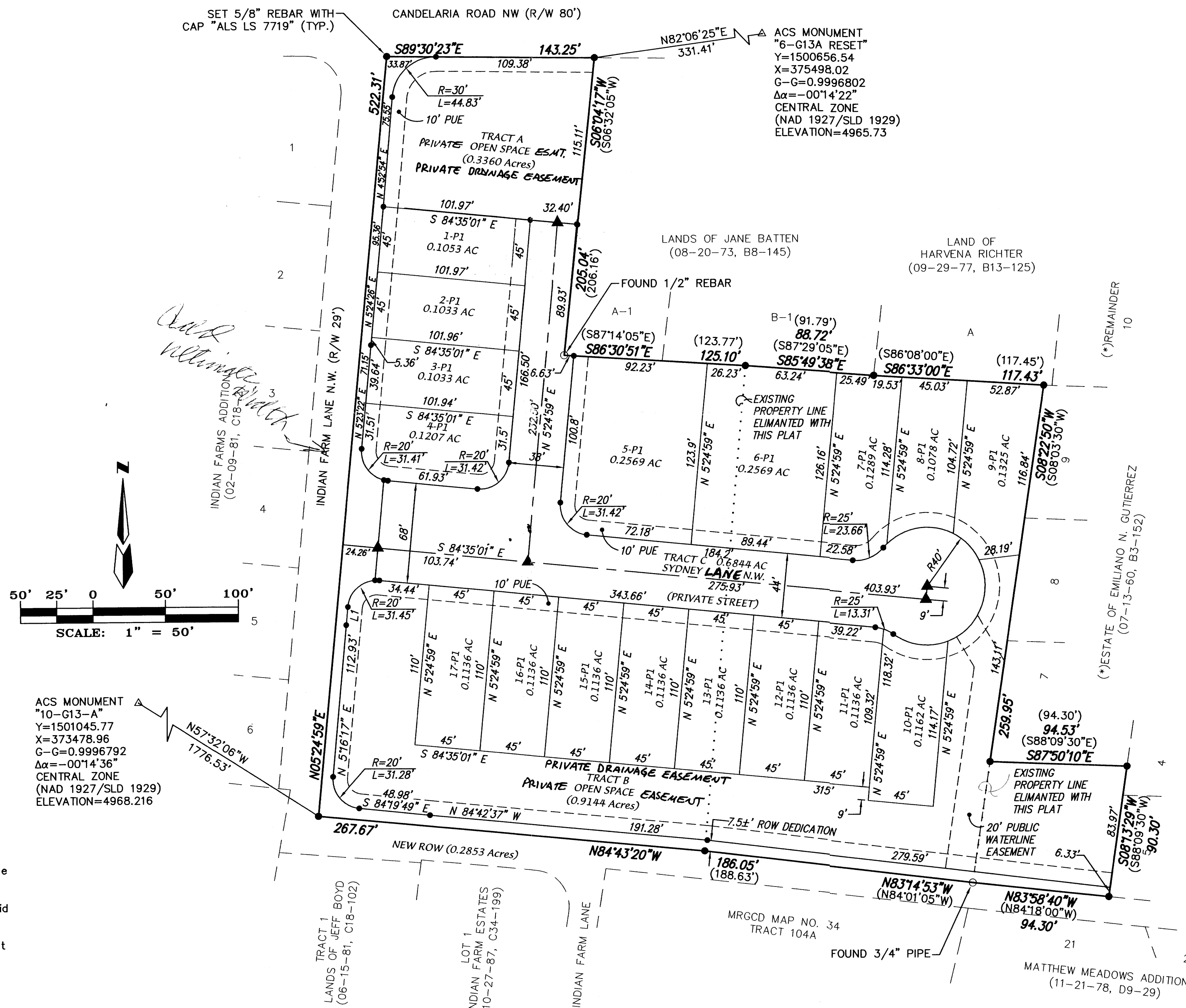
THENCE continuing N 84°43'20" W, 267.67 feet to the southwest corner, said point being on the east right-of-way line of Indian Farm Lane N.W.;

THENCE along said east right-of-way line N 05°24'59" E, 522.31 feet to the northwest corner, said point being on said south right-of-way line of Candelaria Road N.W.;

THENCE leaving said east right-of-way line S 89°30'23" E, 143.25 feet along said south right-of-way line to the point of beginning and containing 4.3758 acres more or less.

PURPOSE OF PLAT

- SUBDIVIDE THREE TRACTS INTO 19 RESIDENTIAL LOTS 2 OPEN SPACE TRACTS AND 1 TRACT FOR PRIVATE STREET.
- DEDICATE RIGHT-OF-WAY AS SHOWN
- GRANT NEW EASEMENTS AS SHOWN



ACS MONUMENT
"10-G13-A"
Y=1501045.77
X=373478.96
G-G=0.9996792
Δα=-0°14'36"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=4968.216

PRELIMINARY PLAT FOR
SYDNEY PLACE
WITHIN THE
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 6
TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2004

SUBDIVISION DATA

GROSS ACREAGE	4.3758 AC
ZONE ATLAS NO.	G-13-Z
NO. OF LOTS CREATED	17 LOTS
NO. OF TRACTS CREATED	3 TRACTS
AREA DEDICATED TO CITY	0.2138 AC
DATE OF SURVEY	JULY 2004
ZONING	RA-2

APPROVED BY DTS
ON 12/6/04

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#7719.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED: "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION" "DO NOT DISTURB" "PS#7719"
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- TRACTS "A", "B" AND "C" ARE TO BE HOA OWNED AND MAINTAINED WITH TRACTS "B" AND "C" TO HAVE PUBLIC WATER LINE AND SEWER LINE EASEMENTS GRANTED OVERLAPPING AND AS SHOWN RESPECTIVELY.

APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 10-26-04
City Surveyor, City of Albuquerque, N.M. Date

Owner: Alpha Equities, LLC
[Signature] 10-21-04
Member DATE

LEGEND

LOT-1	LOT NUMBER
▲	CENTER LINE MONUMENT
ROW	RIGHT-OF-WAY

OWNERS	ENGINEERS	SURVEYOR
ALPHA EQUITIES, LLC Scott Aschcraft, MEMBER P.O. BOX 10005 ALBUQUERQUE, N.M. 87184 (505) 922-9411	D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 9806 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200	ALDRICH LAND SURVEY P.O. BOX 30701 ALBUQUERQUE, N.M. 87190-0701 (505) 884-1990

Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 1
Scale: 1" = 50'	Date: 10/20/04	Job: A02046	

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VICINITY MAP ZONE ATLAS G-13-Z SCALE: 1"=750'

SUBDIVISION DATA

GROSS ACREAGE.....4.3758 AC
 ZONE ATLAS NO.....N-9-Z
 NO. OF EXISTING TRACTS/LOTS.....2 TRACTS/1 LOT
 NO. OF TRACTS/LOTS CREATED.....3 TRACTS/17 LOTS
 NO. OF TRACTS/LOTS ELIMINATED.....2 TRACTS/ 1 LOT
 MILES OF FULL WIDTH STREETS CREATED.....0.12 MILE
 AREA DEDICATED TO CITY OF ALBUQUERQUE.....0.2138 AC
 DATE OF SURVEY.....JULY 2004
 UTILITY CONTROL LOCATION SYSTEM LOG #.....2004360982
 ZONING.....RA-2

FREE CONSENT AND DEDICATION

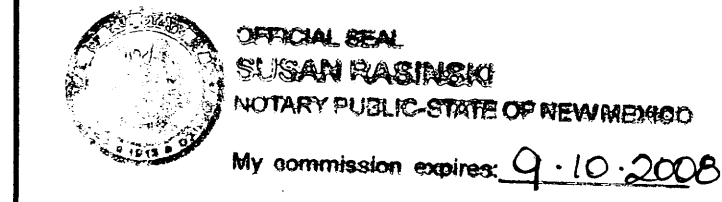
The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: Tracts 89, B2 AND LOT 6
 Alpha Equities, LLC
 4/20/05
 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO
 This instrument was acknowledged before me on April 20, 2005
 By Scott Ashcroft, Member Alpha Equities, LLC, a New Mexico Limited Liability Corporation on behalf of said corporation

Susan Pasinski
 9-10-2008
 NOTARY PUBLIC MY COMMISSION EXPIRES



NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 PLAT OF "LANDS OF JANE BATTEN", (08-20-73, B8-144)
 PLAT OF "LANDS OF JANE BATTEN", (08-20-73, B8-145)
 PLAT OF "LAND OF HARVENA RICHTER", (09-29-77, B13-125)
 PLAT OF "ESTATE OF EMILIANO N. GUTIERREZ", (07-13-60, B3-152)
 PLAT OF "MATTHEW MEADOWS ADDITION", (11-21-78, D9-29)
 PLAT OF "INDIAN FARMS ESTATES", (10-27-87, C34-199)
 PLAT OF "LANDS OF JEFF BOYD", (06-15-81, C18-102)
 PLAT OF "INDIAN FARMS ADDITION", (02-09-81, C18-2)
 RIGHT-OF-WAY MAP- CANDELARIA ROAD N.W. (07-08-58, C3-174-176)

PURPOSE OF PLAT

- SUBDIVIDE 2 TRACTS AND 1 LOT INTO 19 RESIDENTIAL LOTS, 2 OPEN SPACE TRACTS AND 1 TRACT FOR PRIVATE STREET.
- DEDICATE RIGHT-OF-WAY AS SHOWN.
- GRANT NEW EASEMENTS AS SHOWN.

LEGAL DESCRIPTION

A tract of land situate within the Town of Albuquerque Grant, projected Section 6, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 39, MRGCD MAP NO. 34 and all of TRACT B2, LANDS OF JANE BATTEN as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 20, 1973 in Book B8, Page 144 together with all of LOT 6, ESTATE OF EMILIANO N. GUTIERREZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152 and being more particularly described as follows:

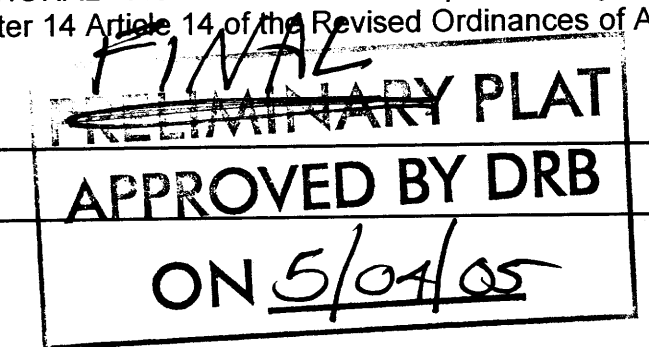
BEGINNING at a point of the herein described tract, said point being common with the northwest corner of TRACT A-1, LANDS OF JANE BATTEN as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 20, 1973 in Book B8, Page 145 and further being on the south right-of-way line of Candelaria Road N.W. from whence the Albuquerque Control Survey Monument "6 G13A RESET" bears N 82 06'25" E, 331.41 feet;
 THENCE leaving said south right-of-way line S 06 04'17" W, 205.04 feet along a line common with the west line of said TRACT A-1 to a point, said point being common with the southwest corner of said TRACT A-1;
 THENCE S 86 30'51" E, 125.10 feet along a line common with the south line of said TRACT A-1 and TRACT B-1, LANDS OF JANE BATTEN as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 20, 1973 in Book B8, Page 145 to a point;
 THENCE continuing S 85 49'38" E, 88.72 feet to a point, said point being common with the southeast corner of said TRACT B-1 and further being common with the southwest corner of TRACT A, LAND OF HARVENA RICHTER as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 29, 1977 in Book B13, Page 125;
 THENCE S 86 33'00" E, 117.43 feet along a line common with the south line of said TRACT A to the northeast corner, said point being common with the northwest corner of LOT 9, LANDS OF EMILIANO N. GUTIERREZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152;
 THENCE S 08 22'50" W, 259.95 feet along a line common with the west line of said LOT 9 and LOTS 7 AND 8, LANDS OF EMILIANO N. GUTIERREZ as the said is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152 to a point, said point being common with the southwest corner of said LOT 7;
 THENCE S 87 50'10" E, 94.53 feet along a line common with the south line of said LOT 7 to a point, said point being on the west line of LOT 4, LANDS OF EMILIANO N. GUTIERREZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152;
 THENCE S 08 13'29" W, 90.30 feet along a line common with the west line of said LOT 4 and LOT 5, LANDS OF EMILIANO N. GUTIERREZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152 to the southeast corner, said point being common with the southwest corner of said LOT 5;
 THENCE N 83 58'40" W, 94.30 feet along the south line of the herein described tract to a point;
 THENCE continuing N 83 14'53" W, 186.05 feet to a point;
 THENCE continuing N 84 43'20" W, 267.67 feet to the southwest corner, said point being on the east right-of-way line of Indian Farm Lane N.W.;
 THENCE along said east right-of-way line N 05 24'59" E, 522.31 feet to the northwest corner, said point being on said south right-of-way line of Candelaria Road N.W.;
 THENCE leaving said east right-of-way line S 89 30'23" E, 143.25 feet along said south right-of-way line to the point of beginning and containing 4.3758 acres more or less.

PLAT FOR
SYDNEY PLACE
 WITHIN THE
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 6
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2005

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: _____
 Application Number: _____
 PLAT APPROVAL _____
 Utility Approvals: _____



PNM Electric Services	_____	Date	_____
PNM Gas Services	_____	Date	_____
Qwest Telecommunications	_____	Date	_____
Comcast	_____	Date	_____
City Approvals:	<i>[Signature]</i>	Date	4/26/05
City Surveyor	_____	Date	_____
Traffic Engineering, Transportation Division	_____	Date	_____
Utilities Development	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
AMAFA	_____	Date	_____
City Engineer	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

SURVEYOR'S CERTIFICATION

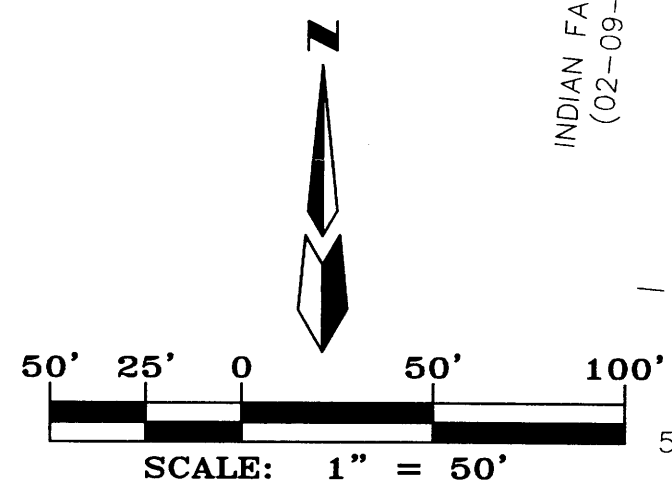
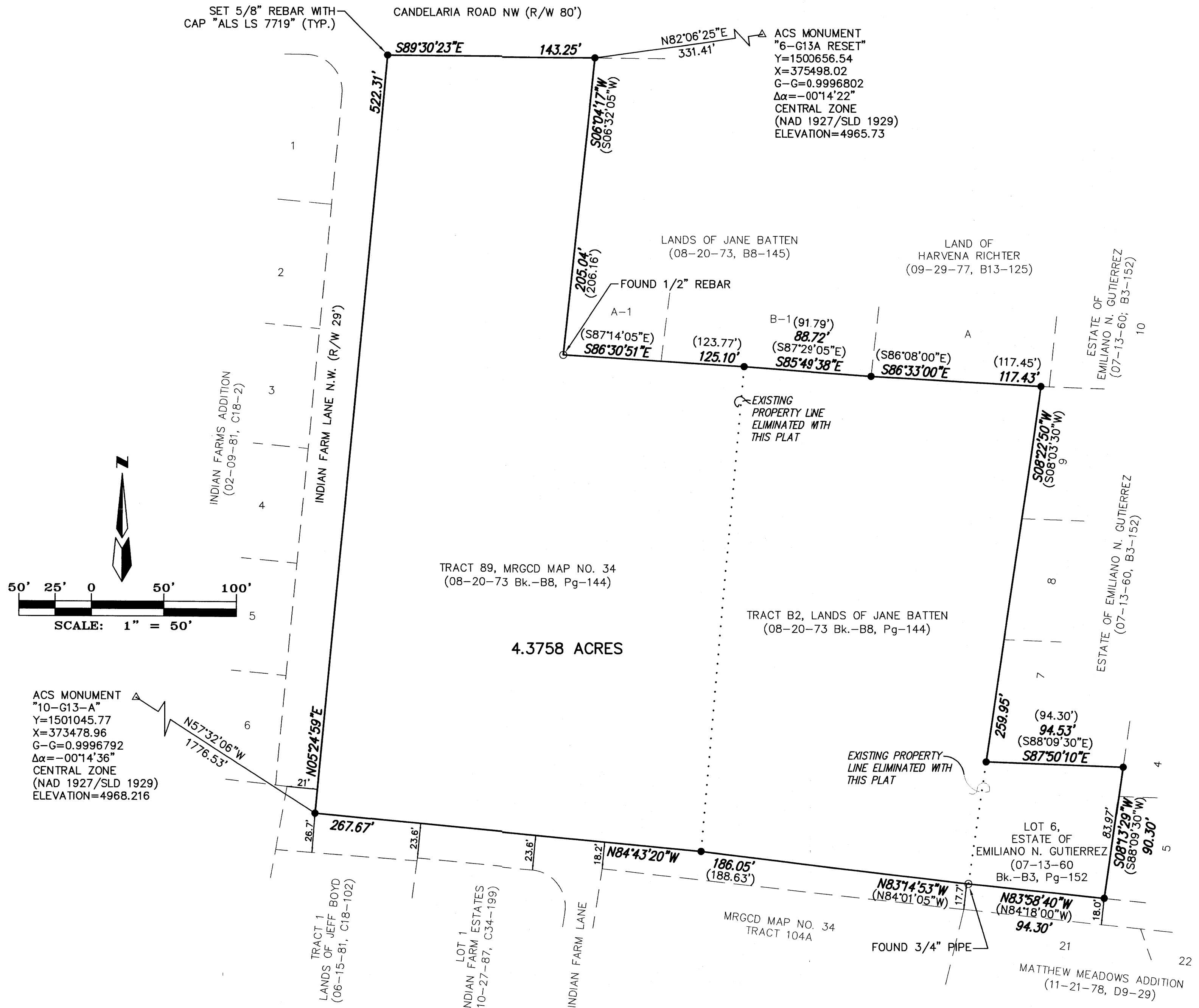
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief."



ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: sheet2.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 4
Scale: na	Date: 04/19/05	Job: A04053	

PLAT FOR
SYDNEY PLACE
 WITHIN THE
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 6
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2005



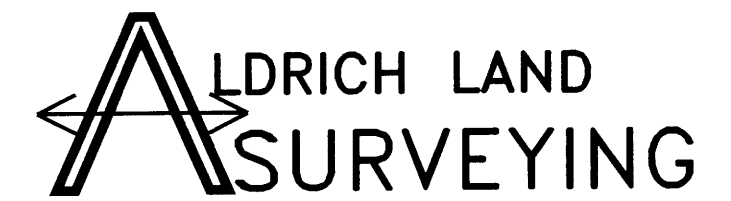
ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
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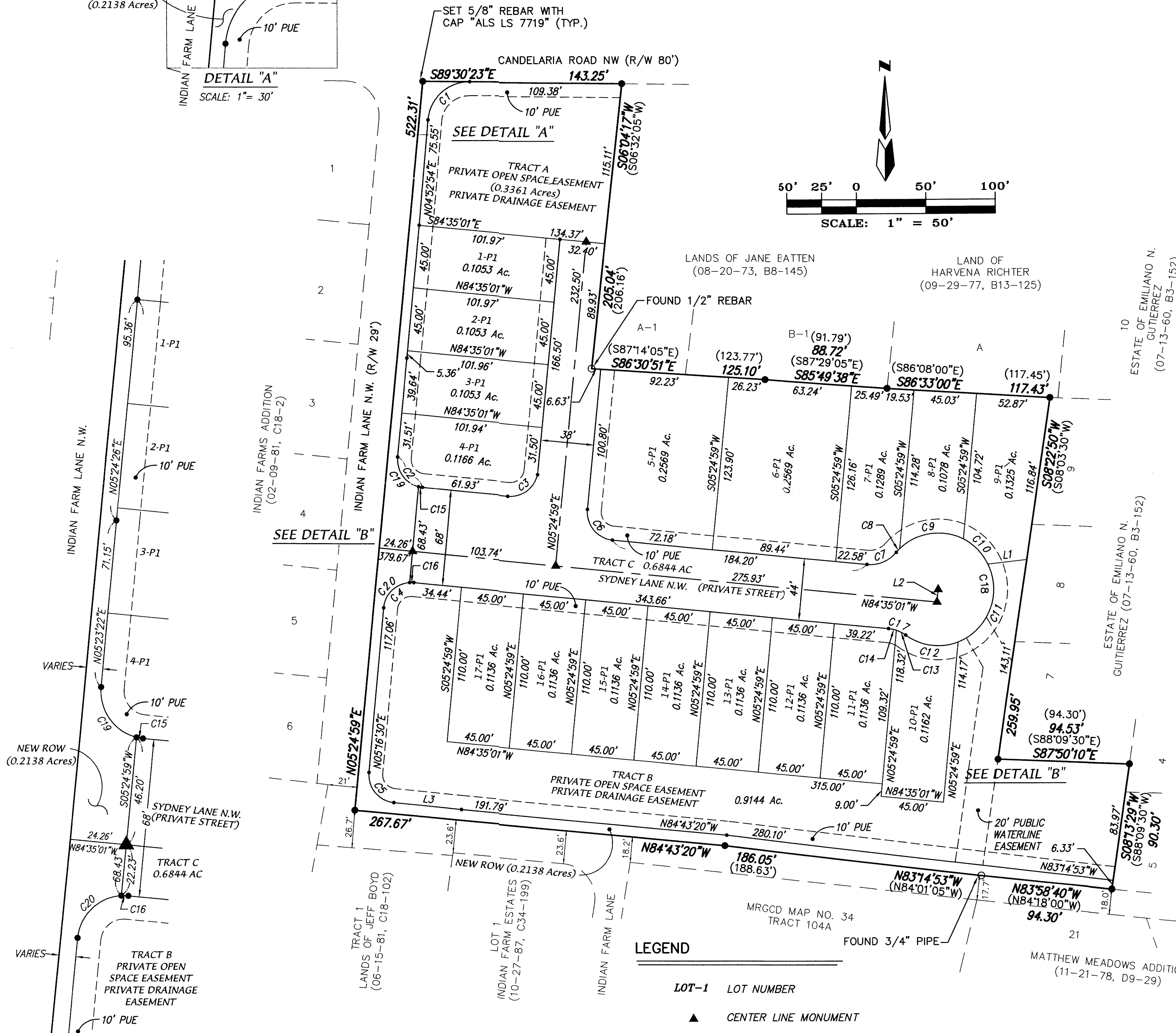
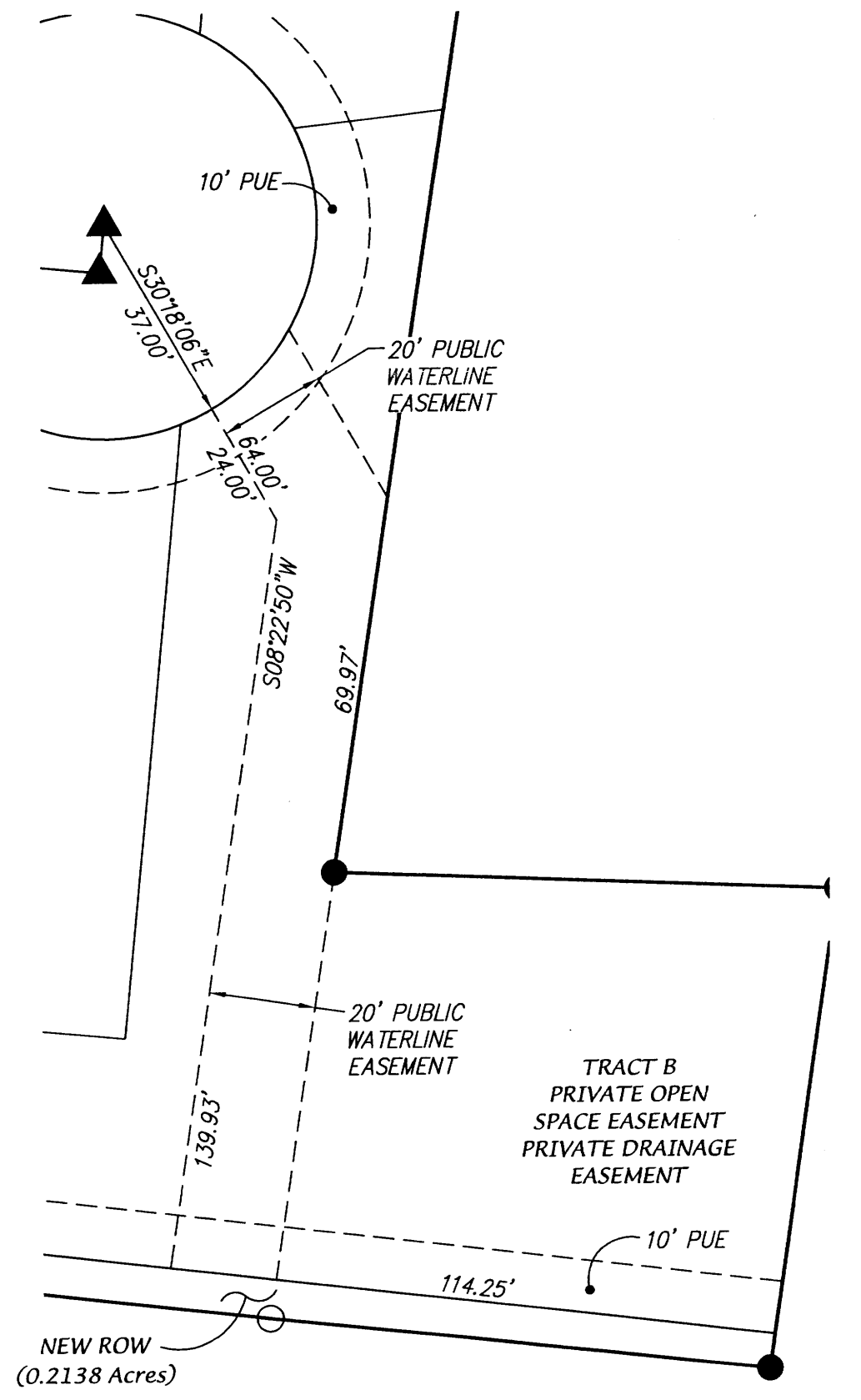
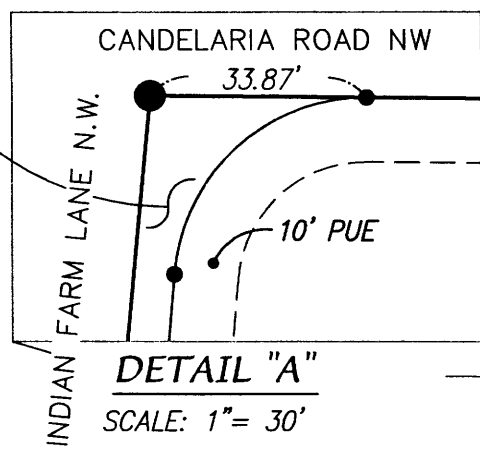
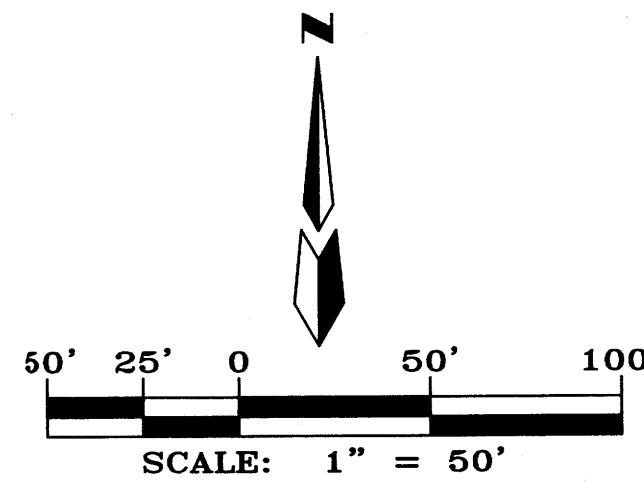
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Scale: AS SHOWN	Date: 04/26/05	Job: A04053	

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PLAT FOR
SYDNEY PLACE
 WITHIN THE
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 6
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMMP
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2005



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



LEGEND

LOT-1 LOT NUMBER

▲ CENTER LINE MONUMENT

PUE PUBLIC UTILITY EASEMENT

Dwg: base.dwg	Drawn: RICHARD	Checked: ALS	Sheet 3 of 4
Scale: AS SHOWN	Date: 04/26/05	Job: A04053	

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PLAT FOR
SYDNEY PLACE
 WITHIN THE
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 PROJECTED SECTION 6
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2005

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary is the following plats of record entitled:

 PLAT OF "LANDS OF JANE BATTEN", (08-20-73, B8-144)
 PLAT OF "LANDS OF JANE BATTEN", (08-20-73, B8-145)
 PLAT OF "LAND OF HARVENA RICHTER", (09-29-77, B13-125)
 PLAT OF "ESTATE OF EMILIANO N. GUTIERREZ", (07-13-60, B3-152)
 PLAT OF "MATTHEW MEADOWS ADDITION", (11-21-78, D9-29)
 PLAT OF "INDIAN FARMS ESTATES", (10-27-87, C34-199)
 PLAT OF "LANDS OF JEFF BOYD", (06-15-81, C18-102)
 PLAT OF "INDIAN FARMS ADDITION", (02-09-81, C18-2)
 RIGHT-OF-WAY MAP- CANDELARIA ROAD N.W. (07-08-58, C3-174-176)

 being records of Bernalillo County, New Mexico.
5. Tract "A" and "B" are conveyed in fee simple to the Sydney Place Homeowners Association as common area for Private Open Space and a Private drainage easement. Maintenance and operation of these tracts shall be the responsibility of the Sydney Place Homeowners Association.
6. Tract "C" is hereby conveyed in fee simple to the Sydney Place Homeowners Association as Common Area for Private Street by this plat. A private access and private drainage easement is granted to each lot owner across Tract "C" by this plat. Maintenance and operation of the private streets shall be the responsibility of the Sydney Place Homeowners Association.
7. Tract "C" is encumbered by a public drainage, sanitary sewer and water line easement granted to the City of Albuquerque, by this plat, and Albuquerque/Bernalillo water utility Authority.
8. Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).
9. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped

"CITY OF ALBUQUERQUE
 CENTERLINE MONUMENTATION,
 DO NOT DISTURB
 PLS 7719".

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of :

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
5. The New Mexico Utilities, Inc., for the installation, maintenance and service of water and sanitary sewer lines and any other equipment, fixtures, structures and related facilities reasonably necessary to provide water and sewer services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C1	44.83	30.00	85°36'43"	27.79	S47°41'15"W	40.77
C2	31.35	20.00	89°48'42"	19.93	S39°40'40"E	28.24
C3	31.42	20.00	90°00'00"	20.00	N50°24'59"E	28.28
C4	31.45	20.00	90°06'17"	20.04	S50°21'50"W	28.31
C5	31.28	20.00	89°36'06"	19.86	S39°31'46"E	28.19
C6	31.42	20.00	90°00'00"	20.00	S39°35'01"E	28.28
C7	23.66	25.00	54°13'27"	12.80	N68°18'15"E	22.79
C8	3.46	40.00	4°56'58"	1.73	S43°40'01"W	3.45
C9	49.44	40.00	70°48'54"	28.43	S81°32'57"W	46.35
C10	25.43	40.00	36°25'12"	13.16	N44°50'01"W	25.00
C11	66.77	40.00	95°38'32"	44.15	N21°11'51"E	59.28
C12	39.73	40.00	56°54'29"	21.68	S82°31'39"E	38.12
C13	7.48	25.00	17°07'59"	3.77	N62°38'24"W	7.45
C14	5.84	25.00	13°22'38"	2.93	N77°53'42"W	5.82
C15	2.82	20.00	8°05'08"	1.41	S80°32'27"E	2.82
C16	3.03	20.00	8°40'23"	1.52	N88°55'12"W	3.02
C17	13.31	25.00	30°30'37"	6.82	N69°19'43"W	13.16
C18	184.82	40.00	264°44'04"	43.86	N06°26'26"W	59.11
C19	28.58	20.00	81°53'15"	17.35	S35°33'15"E	26.21
C20	28.43	20.00	81°26'15"	17.21	S46°01'29"W	26.09

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N83°27'30"E	28.19
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L3	N84°19'49"W	48.98



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: base.dwg	Drawn: RICHARD	Checked: ALS	Sheet 4 of 4
Scale: AS SHOWN	Date: 04/25/05	Job: A04053	



VICINITY MAP ZONE ATLAS G-13-Z SCALE: 1"=750'

SUBDIVISION DATA

GROSS ACREAGE 4.3758 AC
 ZONE ATLAS NO. N-9-Z
 NO. OF EXISTING TRACTS/LOTS 2 TRACTS/1 LOT
 NO. OF TRACTS/LOTS CREATED 3 TRACTS/17 LOTS
 NO. OF TRACTS/LOTS ELIMINATED 2 TRACTS/ 1 LOT
 MILES OF FULL WIDTH STREETS CREATED 0.12 MILE
 AREA DEDICATED TO CITY OF ALBUQUERQUE 0.2138 AC
 DATE OF SURVEY JULY 2004
 UTILITY CONTROL LOCATION SYSTEM LOG # 2004360982
 ZONING RA-2

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: Tracts 89, B2 AND LOT 6

Alpha Equities, LLC

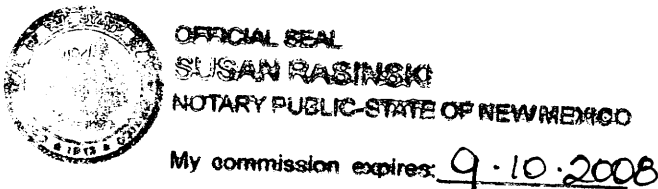
4/20/05
DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on April 20, 2005
 By Scott Ashcroft, Member Alpha Equities, LLC, a New Mexico Limited Liability Corporation on behalf of said corporation

Susan Rasinski 9.10.2008
 NOTARY PUBLIC MY COMMISSION EXPIRES



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 PLAT OF "LANDS OF JANE BATTEN", (08-20-73, B8-145)
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 RIGHT-OF-WAY MAP- CANDELARIA ROAD N.W. (07-08-58, C3-174-176)



PURPOSE OF PLAT

- SUBDIVIDE 2 TRACTS AND 1 LOT INTO 19 RESIDENTIAL LOTS, 2 OPEN SPACE TRACTS AND 1 TRACT FOR PRIVATE STREET.
- DEDICATE RIGHT-OF-WAY AS SHOWN.
- GRANT NEW EASEMENTS AS SHOWN.

LEGAL DESCRIPTION

A tract of land situate within the Town of Albuquerque Grant, projected Section 6, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 89, MRGCD MAP NO. 34 and all of TRACT B2, LANDS OF JANE BATTEN as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 20, 1973 in Book B8, Page 144 together with all of LOT 6, ESTATE OF EMILIANO N. GUTIERREZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152 and being more particularly described as follows:

BEGINNING at a point of the herein described tract, said point being common with the northwest corner of TRACT A-1, LANDS OF JANE BATTEN as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 20, 1973 in Book B8, Page 145 and further being on the south right-of-way line of Candelaria Road N.W. from whence the Albuquerque Control Survey Monument "G-13A RESET" bears N 82 06'25" E, 331.41 feet;
 THENCE leaving said south right-of-way line S 06 04'17" W, 20.04 feet along a line common with the west line of said TRACT A-1 to a point, said point being common with the southwest corner of said TRACT A-1;
 THENCE S 86 30'51" E, 125.10 feet along a line common with the south line of said TRACT A-1 and TRACT B-1, LANDS OF JANE BATTEN as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 20, 1973 in Book B8, Page 145 to a point;
 THENCE continuing S 85 49'38" E, 88.72 feet to a point, said point being common with the southeast corner of said TRACT B-1 and further being common with the southwest corner of TRACT A, LAND OF HARVENA RICHTER as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 29, 1977 in Book B13, Page 125;
 THENCE S 86 33'00" E, 117.43 feet along a line common with the south line of said TRACT A to the northeast corner, said point being common with the northwest corner of LOT 9, LANDS OF EMILIANO N. GUTIERREZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152;
 THENCE S 08 22'50" W, 259.95 feet along a line common with the west line of said LOT 9 and LOTS 7 AND 8, LANDS OF EMILIANO N. GUTIERREZ as the said is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152 to a point, said point being common with the southwest corner of said LOT 7;
 THENCE S 87 50'10" E, 94.53 feet along a line common with the south line of said LOT 7 to a point, said point being on the west line of LOT 4, LANDS OF EMILIANO N. GUTIERREZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152;
 THENCE S 08 13'29" W, 90.30 feet along a line common with the west line of said LOT 4 and LOT 5, LANDS OF EMILIANO N. GUTIERREZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1960 in Book B3, Page 152 to the southeast corner, said point being common with the southwest corner of said LOT 5;
 THENCE N 83 58'40" W, 94.30 feet along the south line of the herein described tract to a point;
 THENCE continuing N 83 14'53" W, 186.05 feet to a point;
 THENCE continuing N 84 43'20" W, 267.67 feet to the southwest corner, said point being on the east right-of-way line of Indian Farm Lane N.W.;
 THENCE along said east right-of-way line N 05 24'59" E, 522.31 feet to the northwest corner, said point being on said south right-of-way line of Candelaria Road N.W.;
 THENCE leaving said east right-of-way line S 89 30'23" E, 143.25 feet along said south right-of-way line to the point of beginning and containing 4.3758 acres more or less.

PLAT FOR
SYDNEY PLACE
 WITHIN THE
 TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 6
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2005

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1003522

Application Number: 05 DRB-00703

PLAT APPROVAL

Utility Approvals:

<u>Leah S. Marks</u> PNM Electric Services	5-23-05 Date
<u>Leah S. Marks</u> PNM Gas Services	5-23-05 Date
<u>Richard P. Klemm</u> Qwest Telecommunications	5-22-05 Date
<u>John Carlson</u> Comcast	5-23-05 Date

City Approvals:

<u>John B. Hart</u> City Surveyor	4-26-05 Date
<u>Roger Shee</u> Traffic Engineering, Transportation Division	5-4-05 Date
<u>Christina Sandoval</u> Albuquerque-Bernalillo County Utility Authority	5/4/05 Date
<u>Bradley L. Bingham</u> Parks and Recreation Department	5/4/05 Date
<u>Bradley L. Bingham</u> AMAFCA	5/4/05 Date
<u>Sharon Mateon</u> City Engineer	5/4/05 Date
<u>Sharon Mateon</u> DRB Chairperson, Planning Department	5/04/05 Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 04-22-05
 Registered Professional Land Surveyor No. 7719
 Date

THIS IS TO CERTIFY THAT TAXES CURRENT AND PAID ON UPC # SEE ATTACHED
 PROPERTY OWNER OF RECORD SEE ATTACHED
 BERNALILLO COUNTY TREASURER'S OFFICE
Stephan 5/11/05



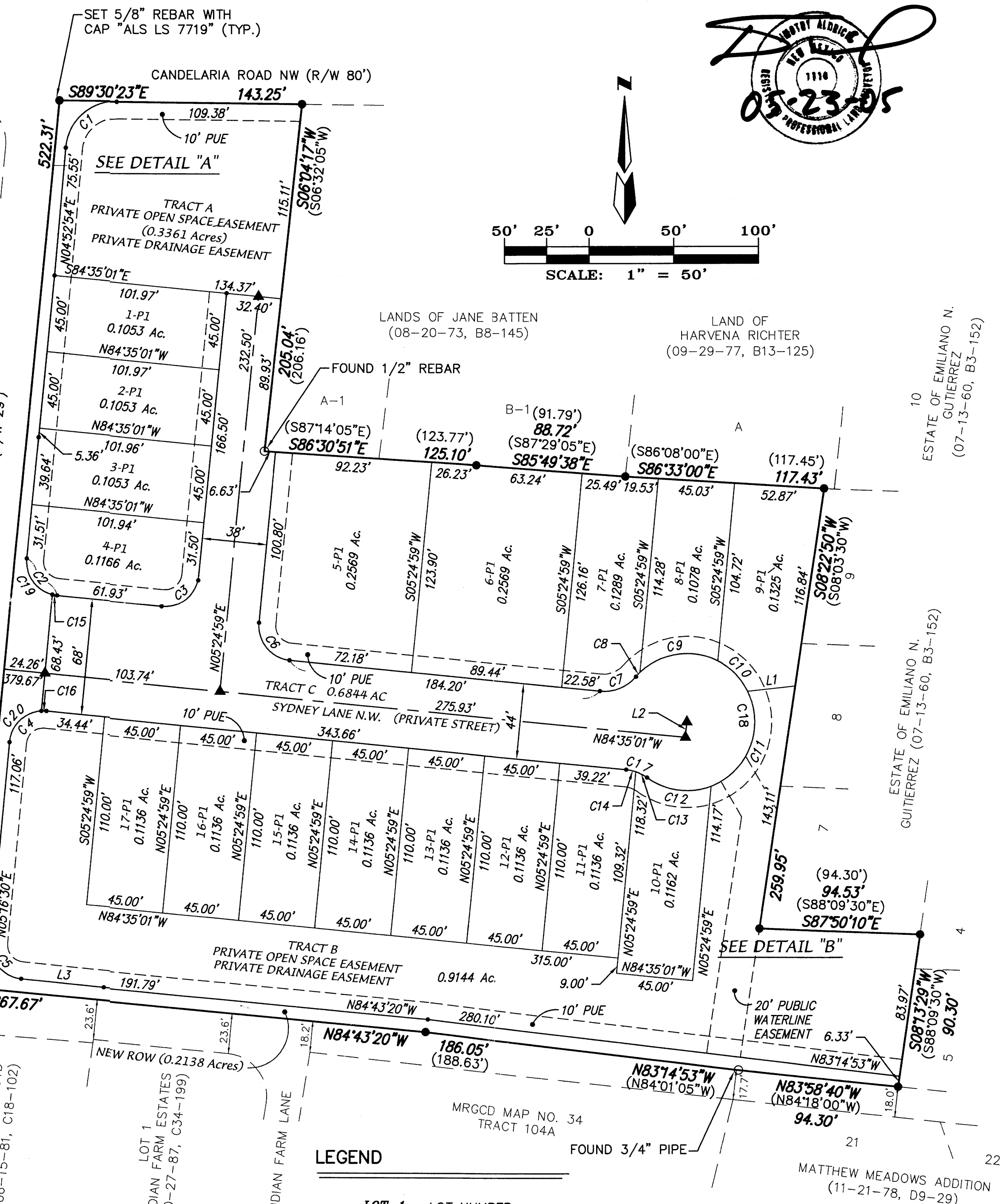
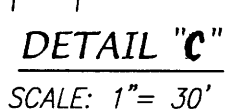
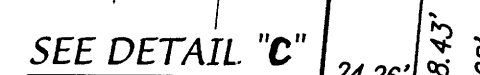
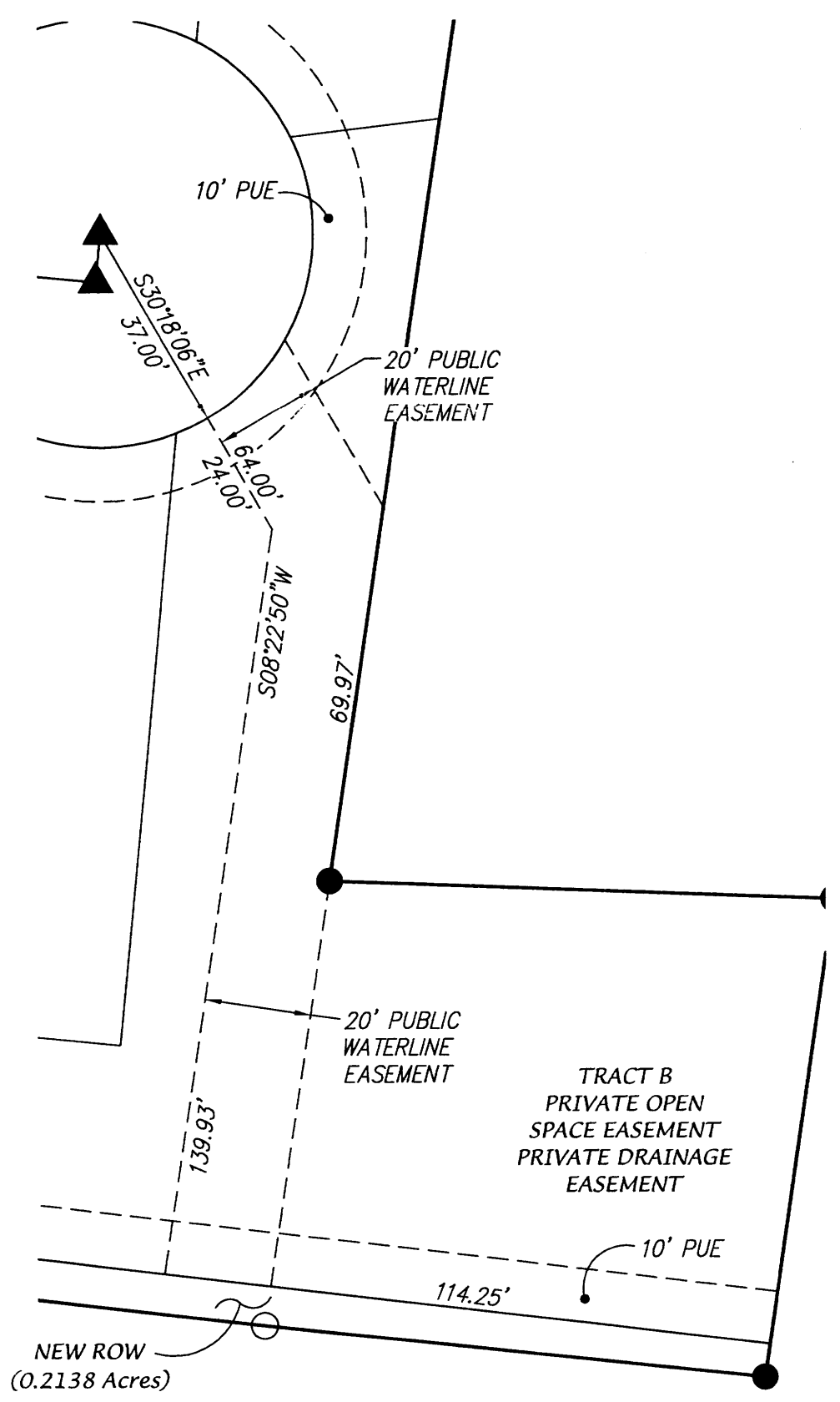
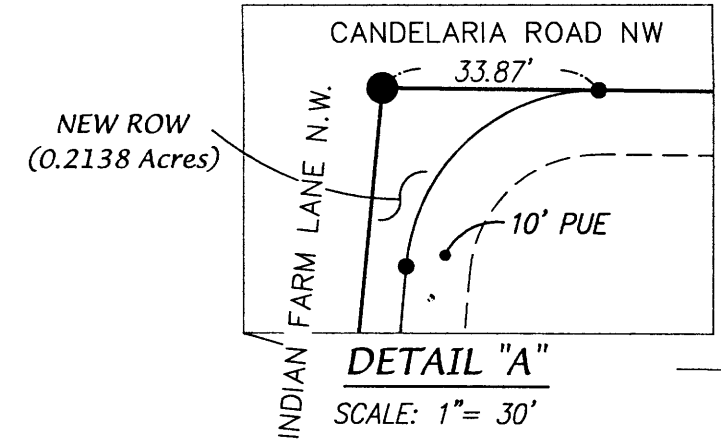
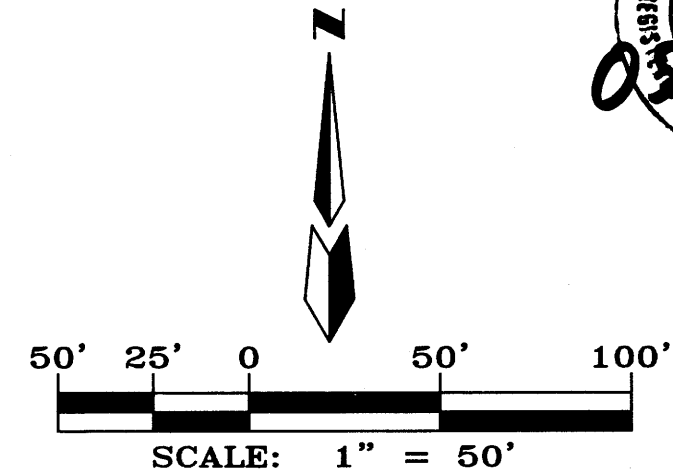
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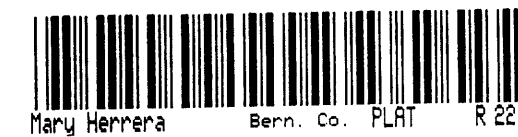


- LEGEND**
- ▲ LOT-1 LOT NUMBER
 - ▲ CENTER LINE MONUMENT
 - PUE PUBLIC UTILITY EASEMENT

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 Page: 4 of 4
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CURVE TABLE						
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- The New Mexico Utilities, Inc., for the installation, maintenance and service of water and sanitary sewer lines and any other equipment, fixtures, structures and related facilities reasonably necessary to provide water and sewer services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

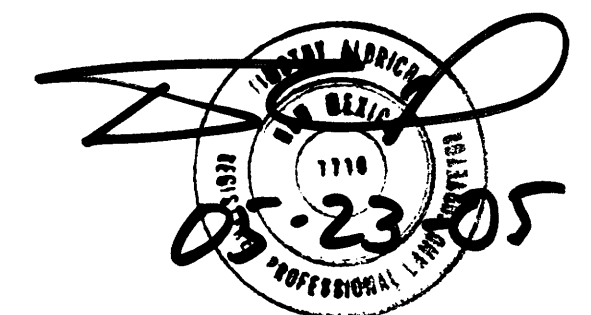
In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary is the following plats of record entitled:
 PLAT OF "LANDS OF JANE BATTEN", (08-20-73, B8-144)
 PLAT OF "LANDS OF JANE BATTEN", (08-20-73, B8-145)
 PLAT OF "LAND OF HARVENA RICHTER", (09-29-77, B13-125)
 PLAT OF "ESTATE OF EMILIANO N. GUTIERREZ", (07-13-60, B3-152)
 PLAT OF "MATTHEW MEADOWS ADDITION", (11-21-78, D9-29)
 PLAT OF "INDIAN FARMS ESTATES", (10-27-87, C34-199)
 PLAT OF "LANDS OF JEFF BOYD", (06-15-81, C18-102)
 PLAT OF "INDIAN FARMS ADDITION", (02-09-81, C18-2)
 RIGHT-OF-WAY MAP- CANDELARIA ROAD N.W. (07-08-58, C3-174-176)
 being records of Bernalillo County, New Mexico.
- Tract "A" and "B" are conveyed in fee simple to the Sydney Place Homeowners Association as common area for Private Open Space and a Private drainage easement. Maintenance and operation of these tracts shall be the responsibility of the Sydney Place Homeowners Association.
- Tract "C" is hereby conveyed in fee simple to the Sydney Place Homeowners Association as Common Area for Private Street by this plat. A private access and private drainage easement is granted to each lot owner across Tract "C" by this plat. Maintenance and operation of the private streets shall be the responsibility of the Sydney Place Homeowners Association.
- Tract "C" is encumbered by a public drainage, sanitary sewer and water line easement granted to the City of Albuquerque and the Albuquerque-Bernalillo County Utility Authority by this plat.
- Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP).
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped

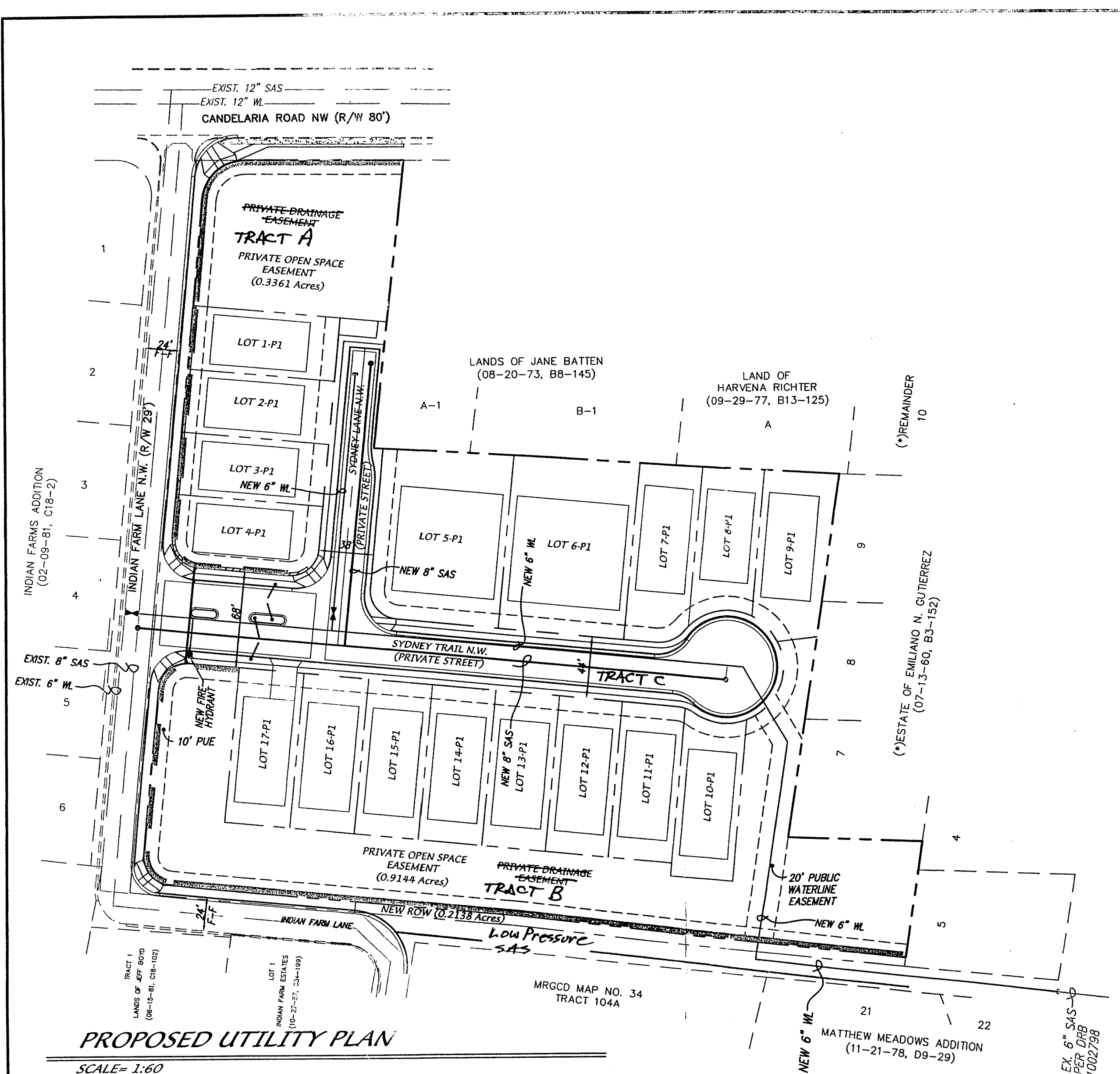
"CITY OF ALBUQUERQUE
 CENTERLINE MONUMENTATION,
 DO NOT DISTURB
 PLS 7719".



**ALDRICH LAND
 SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

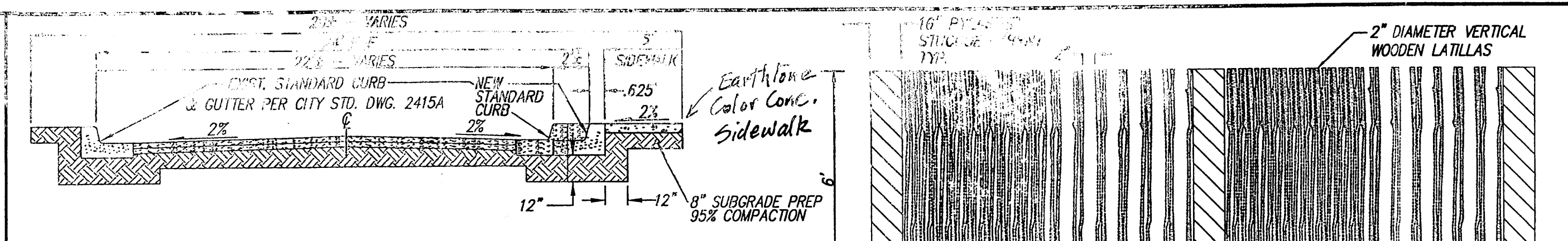
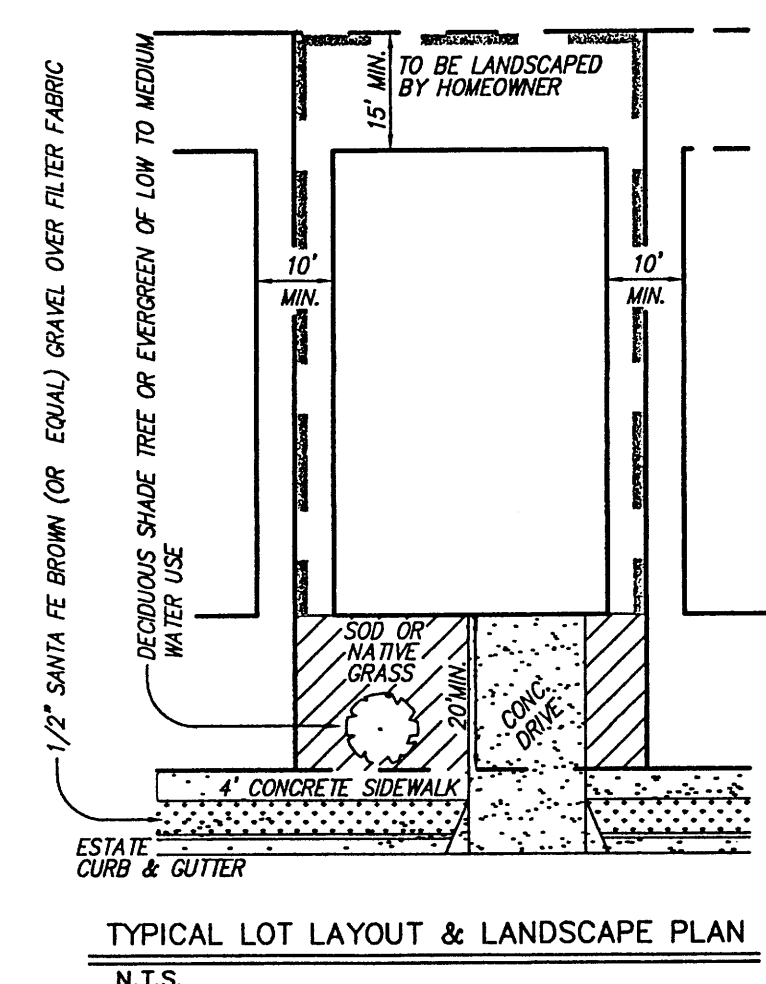
Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 4 of 4
Scale: AS SHOWN	Date: 05/19/05	Job: A04053	



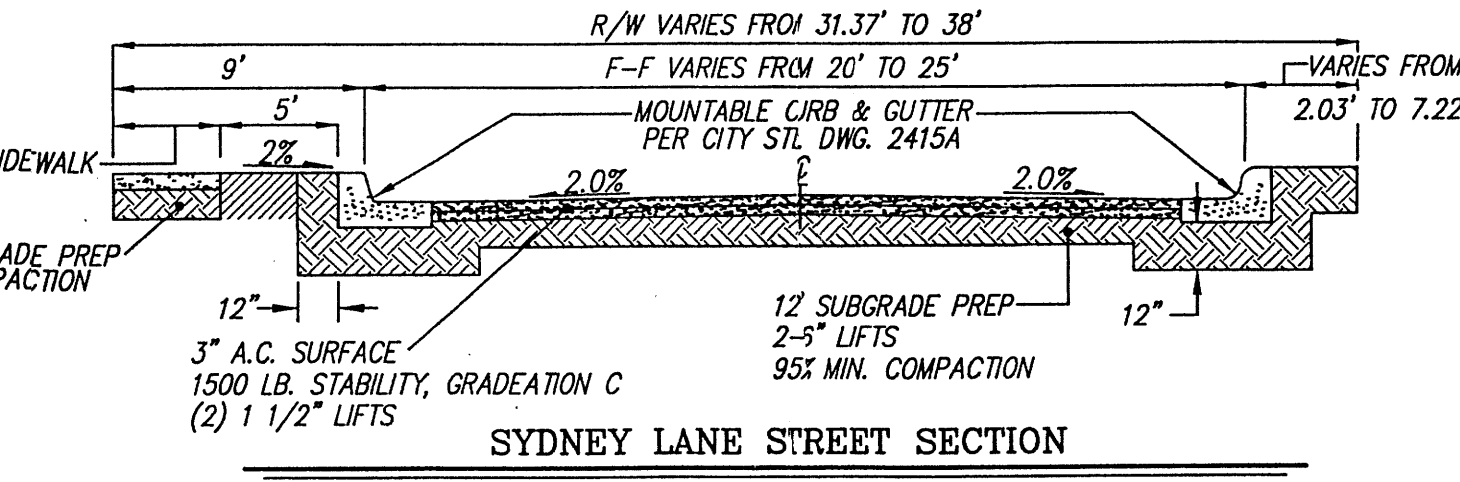
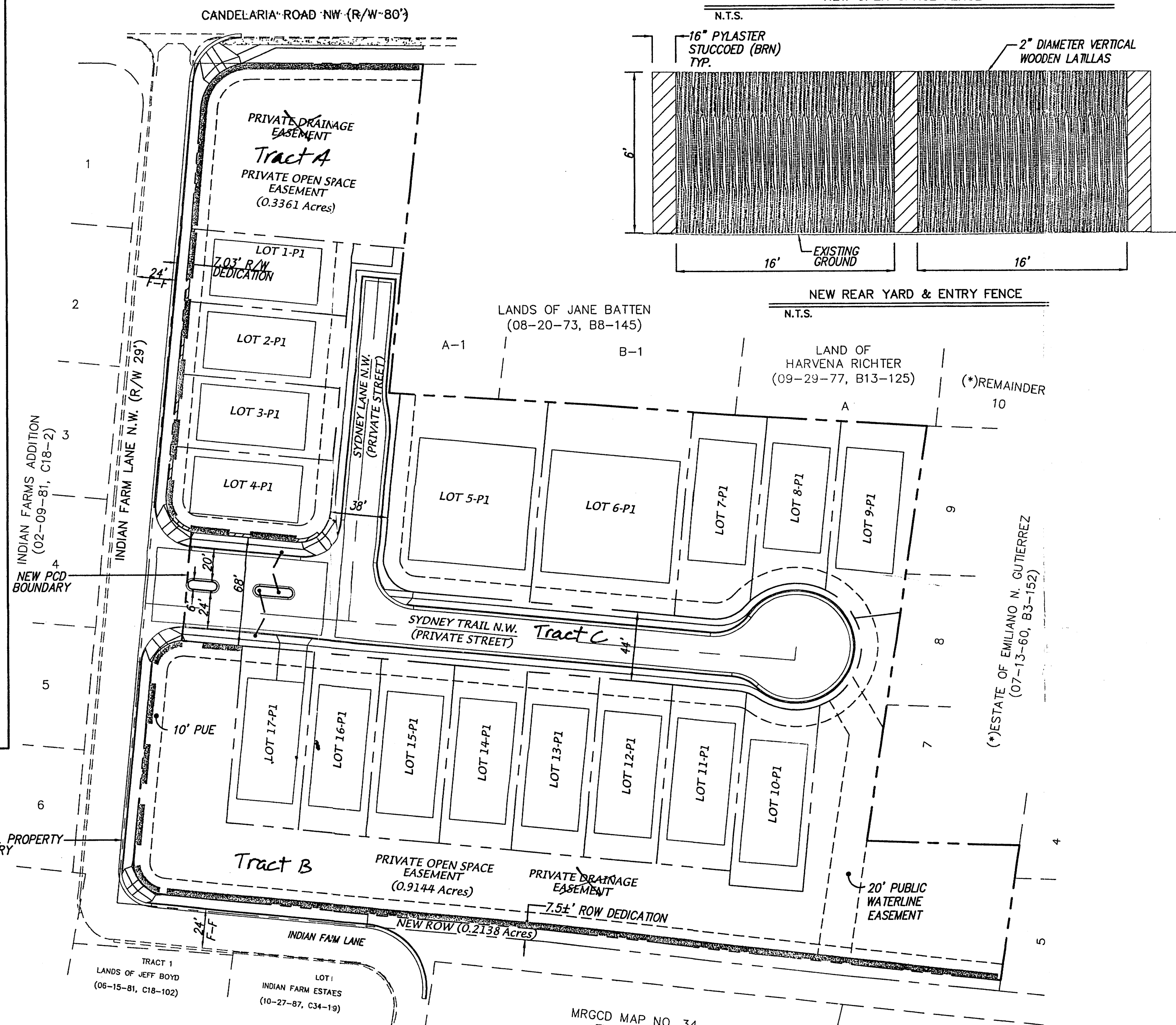
PROPOSED UTILITY PLAN

SCALE= 1:60

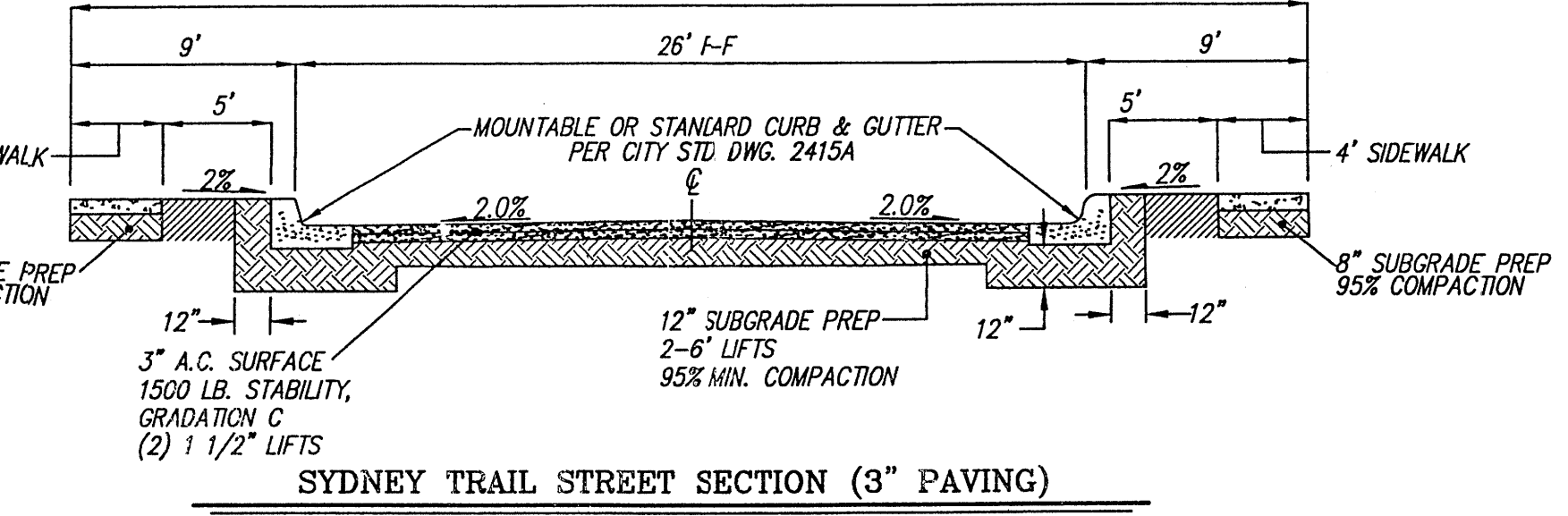
- GENERAL NOTES:**
- CURRENT ZONING: RA-2**
This is a Private Commons Development (PCD). The minimum open space area in a Private Commons Development is 30% of the Private Commons Development. The Open Space is called the Private Commons Area and is covered by a private open space easement granted to owners of lots 1 - 17.
 - BUILDING ENVELOPES**
a. Dwelling units shall be constructed within building envelope area according to setbacks.
 - SETBACKS**
a. Front yard setback is a minimum of 15 feet.
b. There shall be no side yard setback.
c. There shall be a rear-yard setback of not less than 15 feet.
d. There shall be a distance of not less than 10 feet between residential buildings.
e. There shall be a minimum setback of 5 feet for all side yards contiguous with the PCD boundary.
f. Driveways shall be not less than 20 feet deep.
 - BUILDING HEIGHT**
Structure shall be limited to 1 story and not exceed 17 feet in height.
 - WATER AND SEWER**
Prior to development, City of Albuquerque Water and Sanitary Sewer Service to the site must be verified and coordinated with the Utility Development Division of Public Works (UDD), City of Albuquerque, via an availability statement. If conventional sewer is not feasible, pressure sewer lines shall be subject to approval by UDD at DRC.
 - PARKING**
Off-street parking shall be provided on each lot for a minimum of 4 vehicle spaces (10' x 20' minimum dimension).
 - ACCESS**
Access to each dwelling will be provided directly from proposed private street with gated entry.
 - BUILDINGS**
Buildings will consist of either flat, tiled-pitched, shingle-pitched, or metal-pitched roofs, with exterior surface consisting of stucco. **2-STORY STRUCTURES ARE ALLOWED.**
 - MAXIMUM NUMBER OF NEW LOTS ALLOWED**
The total gross area covered by the existing property is 4,3758 acres. The minimum lot size in the RA-2 zone is 10,890 SF. Dividing the gross area of the site by the minimum lot size allows for a maximum of 18 lots when rounding to the nearest whole number according to the zoning code, however, this development only contains 17 lots.
 - OPEN SPACE**
The total gross area covered by the existing property is 4,3758 acres. Of that, a total of 0.2138 acres is necessary for additional R/W dedication to the City of Albuquerque resulting in a new PCD area of 4,1620 acres. Taking 30% of this area results in a requirement to designate at least 1,2486 acres as Private Commons Area (PCA). Within this PCD a total of 1,2505 acres is provided as PCA, which amounts to 30.01% of the total PCD area. Maintenance of open space areas to be relegated to Sydney Place Homeowners Assoc.
 - GRADING**
Once subdivision grading is engineer certified, individual homeowners shall not be allowed to perform any other grading within their respective lot or within adjoining open space.



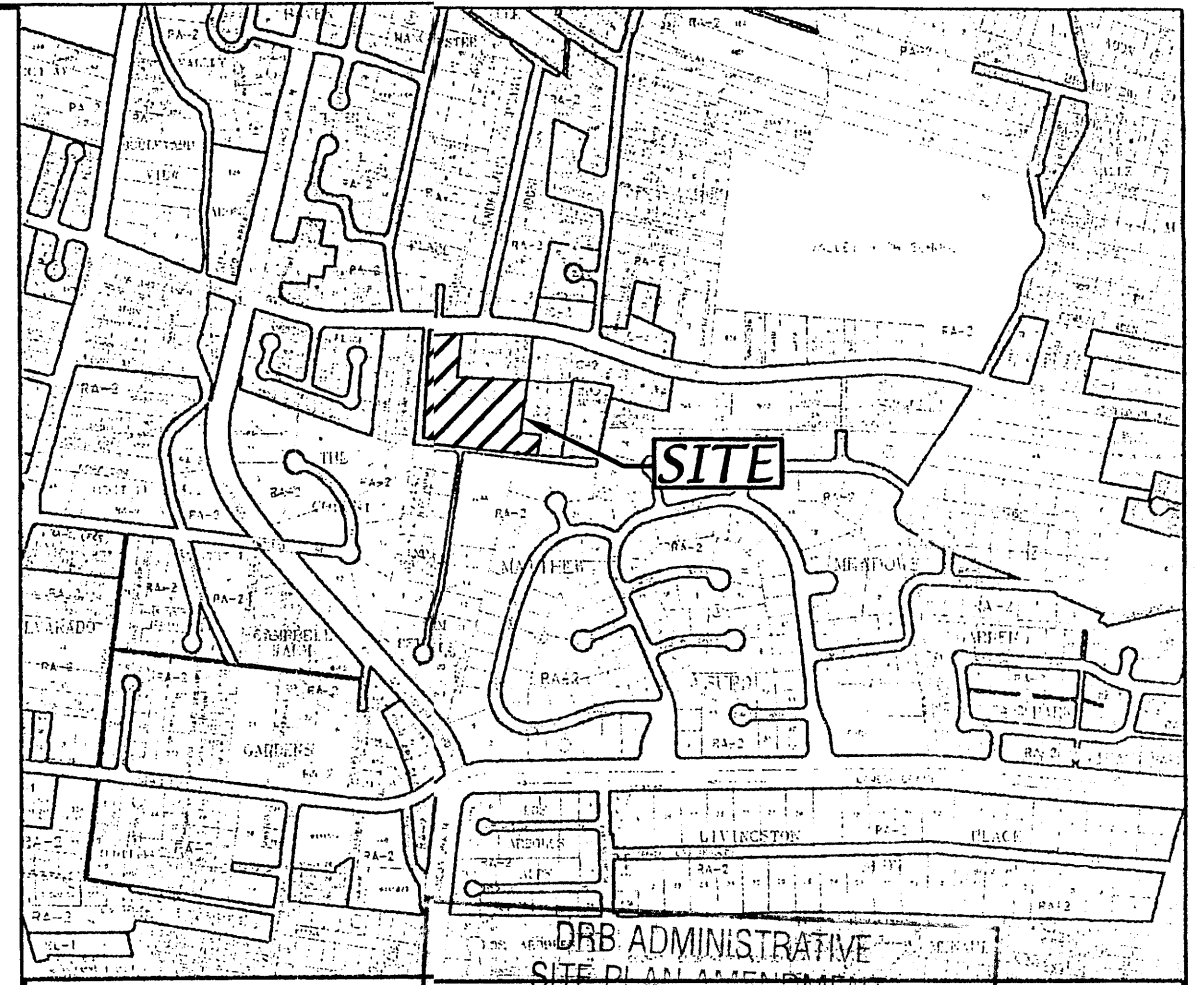
INDIAN FARM STREET SECTION



SYDNEY LANE STREET SECTION



SYDNEY TRAIL STREET SECTION (3\"/>



VICINITY: PM 'A' P ZONE MAP G-13-Z
 PROJECT NO.: PLANNING 1003522
 APPLICATION NO.: 04DRB-01726

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	12-1-04
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	12-1-04
Utility Development	Date
<i>[Signature]</i>	12/1/04
Parks and Recreation Department	Date
<i>[Signature]</i>	12/1/04
City Engineer	Date
<i>[Signature]</i>	12/1/04
DRB Chairperson, Planning Department	Date

LEGEND

	EXISTING EDGE OF PAVEMENT
	NEW REAR & SIDE YARD WALL
	NEW CURB AND GUTTER
	EXISTING CURB AND GUTTER
	EXISTING PROPERTY LINE
	NEW SIDEWALK
	NEW REAR YARD & ENTRY FENCE
	NEW OPEN SPACE FENCE
	NEW PCO BOUNDARY
	NEW FIRE HYDRANT
	NEW GATE VALVE

SUBDIVISION DATA

GROSS ACREAGE	4.3758 AC
ZONE ATLAS NO.	G-13-Z
NO. OF LOTS CREATED	17 LOTS
NO. OF TRACTS CREATED	2 TRACTS
AREA DEDICATED TO CITY	0.2816 AC
ZONING	RA-2
DATE OF SURVEY	JULY 2004

SYDNEY PLACE
SITE DEVELOPMENT PLAN

dmj MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEER
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: SPS Drawn: SPS, ACH Checked: DMG Sheet 1 of 2
 Scale: 1" = 50' Date: 09-30-04 Job: A04053

PROS# 1003522

