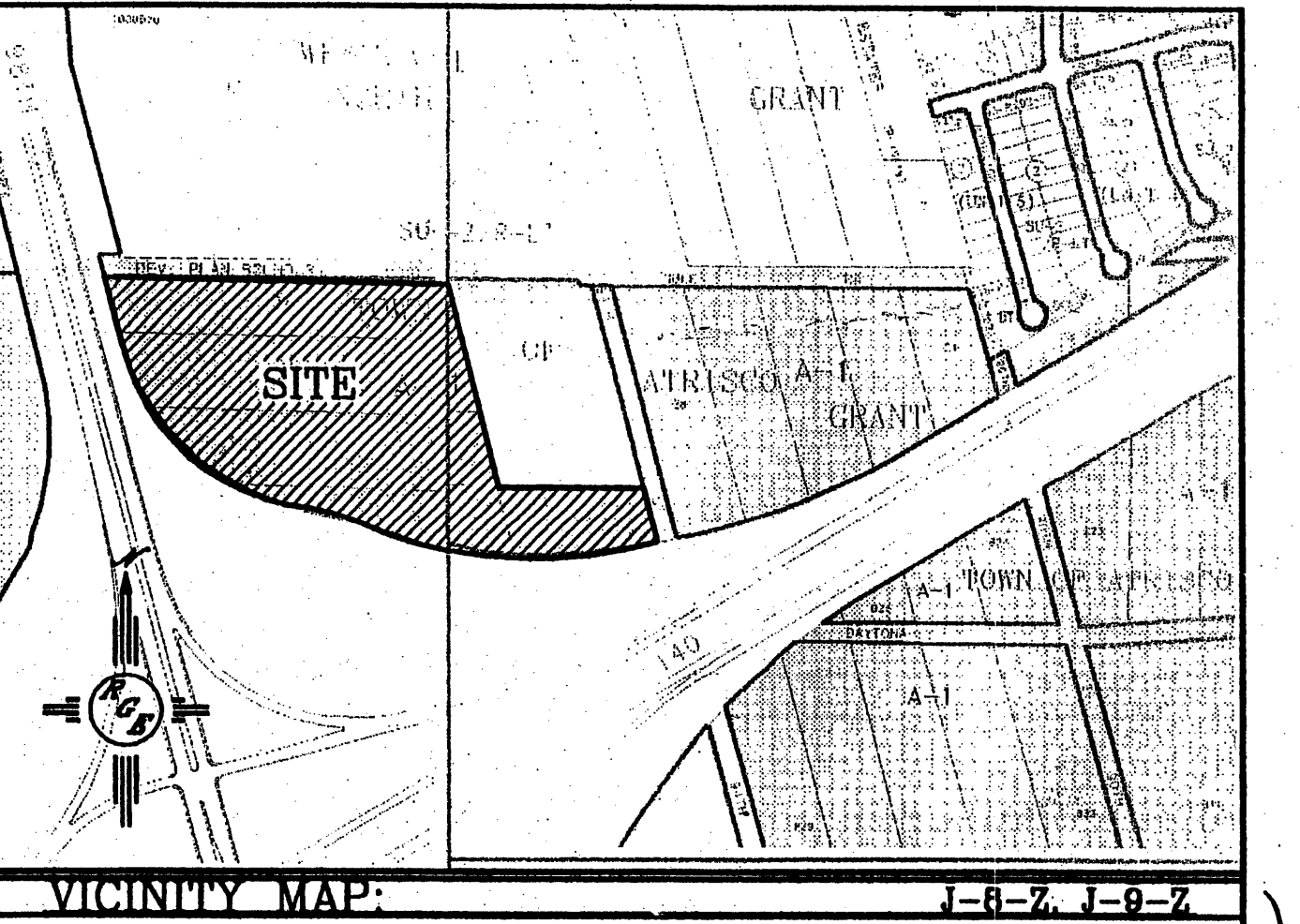


LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- PROPOSED 4' SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- BUILDING ENVELOPE
- 6' SCREEN WALL
- STREET LIGHTS
- HONEY LOCUST STREET TREE
- GROUND COVERS
CREEPING ROSEMARY
- NATIVE SHRUBS
CHAMISA, APACHE PLUME, RUSSIAN SAGE
- ORNAMENTAL SHRUBS
PHOTINIA, RAPHIOLEPIS, ENONYMUS
- CRUSHED TAN GRAVEL
W/FILTER FABRIC AND ROCK ACCENTS
3" MIN. DEPTH



LEGAL DESCRIPTION:

TRACTS 30,31,32,33 TOWN OF ATRISCO GRANT UNIT

NOTES:

- THIS SITE PLAN SHALL CONFORM TO THE WESTLAND NORTH MASTER PLAN, AND THE SITE DEVELOPMENT GUIDELINES.
- THE MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 28'.
- ALL OPEN SPACE TRACTS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- ALL WALLS AND FENCE MUST MEET THE DESIGN STANDARDS FOR WALLS, PER SECTION 14-16-3-19 OF THE ZONING CODE.
- ALL LIGHTING SHALL BE BUILT TO COA STANDARDS FOR PUBLIC RIGHT-OF-WAY, AND SHALL BE SHIELDED TO PROVIDE DOWNWARD LIGHT EMISSION AND PREVENT BOTH LIGHT TRESPASS AND UPWARD LIGHT POLLUTION, TO INCLUDE STREET LIGHTING WITHIN THE PRIVATE ROADWAY SYSTEM.
- EACH LOT SHALL PROVIDE STORAGE AREA FOR RESIDENTIAL AUTOMATED CARTS (TRASH CANS), NOT VISIBLE FROM STREET OR STORED INSIDE GARAGE.
- ALL CURB AND GUTTER SHALL BE STANDARD UNLESS OTHERWISE NOTED.
- All Lots shall have P-1 Designation.
- ELIMINATE NOTE #5 "GENERAL REQUIREMENTS" SHEET 2

- ### SHEET INDEX
- SITE PLAN FOR SUBDIVISION AND LANDSCAPE PLAN
 - SITE DEVELOPMENT GUIDELINES-△
 - GRADING AND DRAINAGE PLAN
 - GRADING AND DRAINAGE PLAN DETAILS
 - CONCEPTUAL MASTER UTILITY PLAN

GENERAL NOTES:

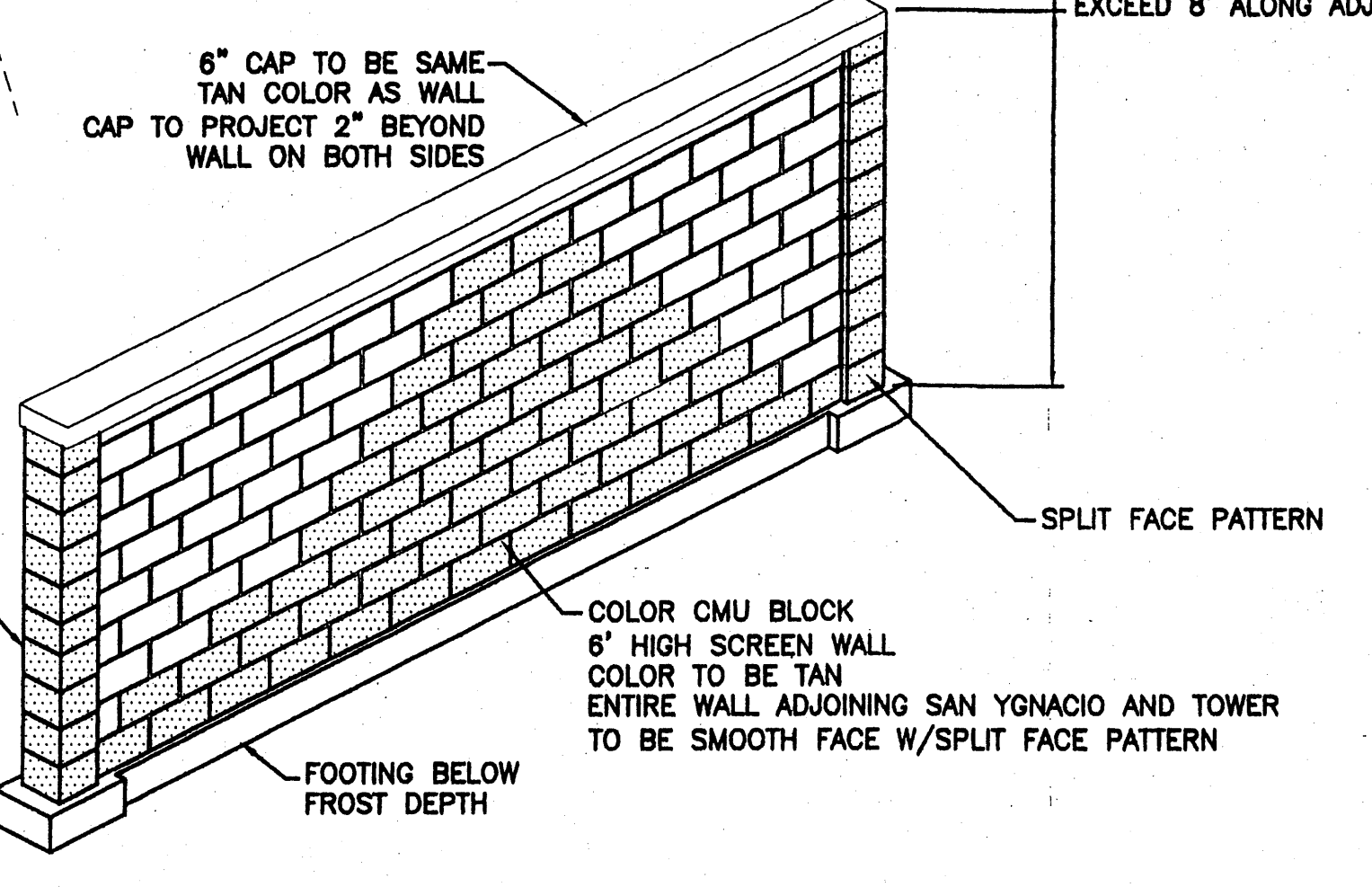
ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED SITE THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD, OR ADMINISTRATIVE AMENDMENT PROCESS.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.

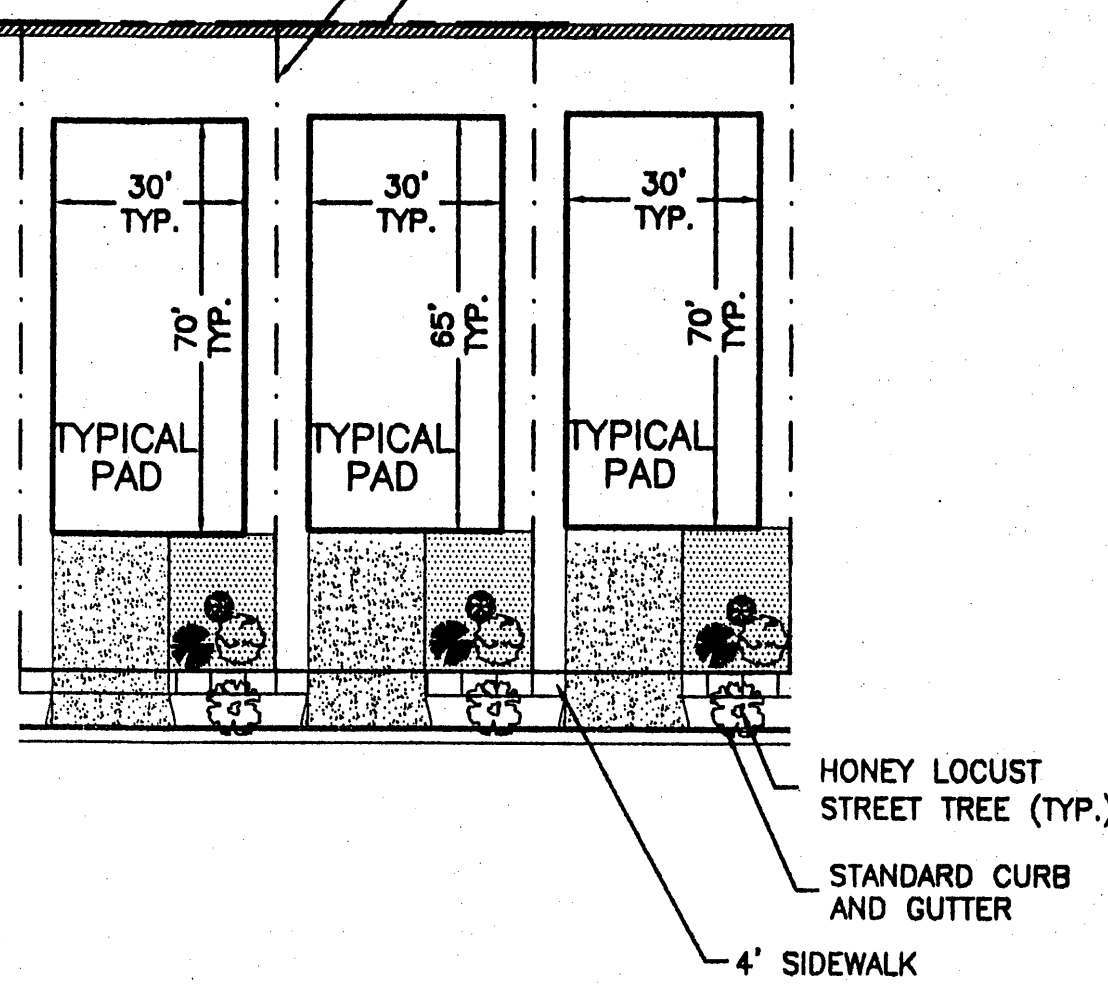
ALL LANDSCAPING SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER, POP-UP SPRAY HEADS OR IMPACT ROTORS TO SOD LAWN BUBBLERS TO TREES, AND DRIP IRRIGATION TO SHRUBS.

TOTAL WALL HEIGHT SHALL NOT EXCEED 8' ALONG ADJACENT ROW

DRB ADMINISTRATIVE SITE PLAN AMENDMENT
 PROJECT NO. 1003523
 APPLICATION NO. 05 DEB-01368
 Planning Department
 DATE: 8/10/07



6' PERIMETER SCREEN WALL DETAIL



TYPICAL LOT LAYOUT

PROJECT NUMBER: 1003523
 APPLICATION NUMBER: 05 DEB-01368

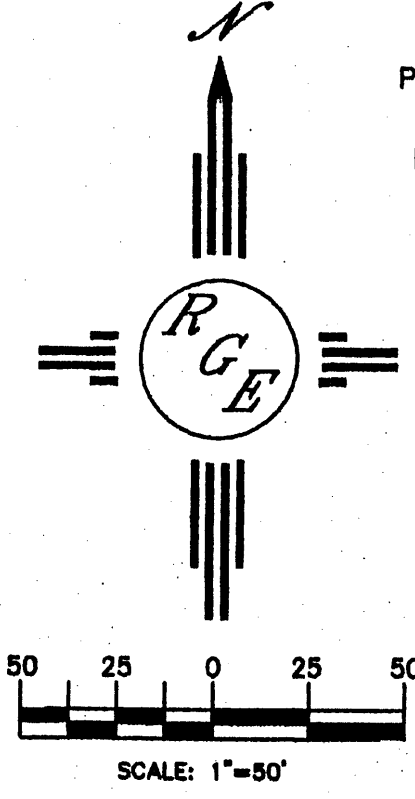
Is an Infrastructure List required? () Yes () No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	11/30/05
Utilities Development	11/30/05
Christina Sandoval Parks & Recreation Department	11/20/05
Bridley D. Babin City Engineer	11/30/05
N/A	7/31/06
Environmental Health Department (conditional)	
Michael Hinton Solid Waste Management	6/21/06
Michael Garcia DRB Chairperson/ Planning Department	7/3/06

SITE DATA

TOTAL ACREAGE:	14.3400 AC±
DENSITY UNITS:	5.93 DU'S (AT MAXIMUM BUILD OUT)
EXISTING ZONING:	SU-2
PROPOSED ZONING:	SU-2
PROPOSED USE:	85 MAX. SINGLE-FAMILY DWELLING UNITS
NUMBER OF LOTS:	78 (7 ADDITIONAL LOTS TO BE BUILT W/ELIMINATION OF TEMPORARY POND)



ENGINEER'S SEAL 	PRIMA ENTRADA	DRAWN BY: WCHW
	AMENDED (Admin. Amendment) SITE PLAN FOR SUBDIVISION AND LANDSCAPE PLAN	DATE: 11-21-05
	SHEET #	2421-SPB-11-14-05X
	1 OF 5	JOB # 2421

1003523-2A

PRIMA ENTRADA
DESIGN STANDARDS

GENERAL REQUIREMENTS

- 1.) Only single family detached residents. No home retail or service type businesses that generate additional traffic, group homes or assisted living facilities.
- 2.) One lot, one house. No further subdivision or combining of lots.
- 3.) Minimum heated square footage (excludes garages, storage sheds, covered patios, porches, breezeways etc.) shall be 1300 square feet.
- 4.) Homes or any other structures placed on any lot may not exceed two stories and shall be limited to a maximum height of 26 feet. The height of a structure is considered to be the vertical difference between the lot pad elevation as shown on the approved subdivision grading and drainage plan and the elevation of the highest point on the roof line.
- 5.) **△** The front yard setback for any two story structure is 25 feet rather than the usual 20 feet. No more than two out of three of any two story homes that are on the same side of the street may be located at the same front setback, at least one of the three must have a setback that is at least two feet greater than the other two.
- 6.) All homes must have at least a two car garage.
- 7.) Three car garages are allowed only if the combined width of the front facade of all the garage doors does not exceed 50% of the total width of the lot at the front setback line.
- 8.) The maximum allowable height of the garage door of a third garage bay that will be used for RV storage is 9 feet.
- 9.) Garages may not be enclosed to convert them to living space.
- 10.) Within the front yard area, but set back at least 15 feet from the front property line, homeowners may display a standard sized American Flag from a wall mounted standard or from a residentially sealed flag pole, not to exceed 18 feet in height. Proper flag etiquette must be observed (flag not torn or faded, right side up, lighted at night etc.)

△ ELIMINATE NOTE #5 "GENERAL REQUIREMENTS"

COLORS, MATERIALS, ARCHITECTURAL STYLE

- 11.) The primary exterior finishes of all residences, structures or improvements on the lots shall be either stucco, stone or brick in white, natural earthen colors or other subdued colors that would be compatible with pre existing adjacent homes and compatible to the standard established to the neighborhood. Wood, adobe and rock may be used as secondary exterior finishes in a more limited capacity as trim or accent materials provided they do not clash with the parent structure, are compatible with pre existing adjacent homes and complimentary to the standard established for the neighborhood.
- 12.) Allowable roofing materials for homes with pitched roofs are clay or concrete tiles in subdued earthen colors, flat slate, clay or concrete tile in subdued earthen colors and deep shadow composites shingles in subdued earthen colors; except that composite shingle roofs may not be used on lots that are adjacent to Ladera Drive or Arroyo Vista Blvd. No metal roofs are allowed.
- 13.) Patio covers, elevated decks, cabanas, gazebos and storage buildings that are constructed subsequent to the initial home construction, shall be of scale, architectural style, materials colors and textures that are compatible with the original home and complimentary to the standard established for the neighborhood and they must be reviewed and approved by the Architectural Committee prior to construction.
- 14.) Air conditioning, heating and other machinery and mechanical equipment may not be located on those portions of the roof where they would be visible to a person driving on the public streets. It would be preferable to have such mechanical equipment ground mounted on a pad located in the rear yard or side yard behind the return walls.
- 15.) All roof mounted machinery, mechanical equipment, vent pipes, duct work, exhaust fans and other protrusions must be painted to match the finish color of the house, the house trim or the roof covering material so that it blends in and is compatible with the parent structure. On flat roofed pueblo or territorial style homes, the parapets should be high enough to screen these items from the view of a person driving on the public streets.

WALLS

- 16.) All internal rear yard and side yard property line walls shall be coral colored CMU construction and shall be built to a minimum height of six courses plus cap above the finished grade on the high-side of the wall.

- 17.) All side yard return walls shall be constructed of either coral, cibola red or basalt black split face block with the split surface facing the street, or smooth black stucco to match the house, or stone or brick masonry that matches the house and is complementary to the standard established for the neighborhood.
- 18.) Courtyard walls shall not extend forward of the front of the front setback line and shall be constructed of either coral, cibola red or basalt black split face block with the split surface facing the street, or smooth black stucco to match the house, or stone or brick masonry that matches the house and is complementary to the standard established for the neighborhood.
- 19.) If a side yard return wall or a courtyard wall is subsequently raised or otherwise modified, it must either be finished to match the original wall or completely reconstructed to one of the approved standards stated herein.
- 20.) Rear yard gates and courtyard gates must be constructed of either wrought iron or wood pickets painted to match the house. Wrought iron gates may be backed with extruded metal mesh painted the same color as the gate. Chain link, split cedar or corrugated metal or composite gates are not allowed.
- 21.) No chain link, welded wire, smooth wire, barbed wire, welded pipe or split cedar fences are allowed to be constructed on any lot in a location where they would be visible to a person driving on the public streets.

PARKING

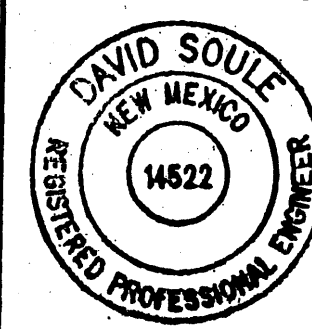
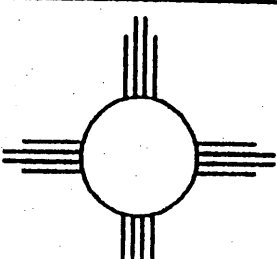
- 22.) No storage or long term parking of boats, campers, trailers, recreational or commercial vehicles is permitted on any lot, except they may be stored within an enclosed garage or in side and rear yard areas where they would not be visible to a person driving on the public streets. Short term, infrequent parking (not to exceed 24 hours) of these vehicles is permitted for loading, unloading, cleaning or maintenance.
- 23.) No long term parking (more than four days) of inoperable motorized vehicles of any kind is allowed on the streets within the subdivision or on any lot in an area where there would be visible to a person driving on the public streets.

LANDSCAPING

- 24.) Immediately upon completion of construction of the home thereon, all front yards and side yards on corner lots shall be landscaped to comply with the following minimum standards:

- The landscape area includes the entirety of the area located in front of the side yard wall returns that is not covered by concrete lead walks and drive pads. It also includes that portion of the public street right-of-way that lies between the back of the curb and the front edge of the sidewalk, which the homeowner is required to maintain.
- Not more than 75% of the landscape area may be covered with gravel or crushed rock.
- When gravel ground cover is used adjacent to drive pads, sidewalks or the curb, the ground must be lowered at least 5" below the top surface of the concrete for a distance of at least 30" back from the edge of the pavement so that the top surface of the gravel ground cover will be at least 2" below the top surface of the adjacent pavement.
- Light weight volcanic rock or colored scoria that can be easily blown, washed or kicked out of place may not be placed within 48" from the edge of any drive pads, sidewalks or the curb. Only minimum 3/4" diameter aggregate may be used in these areas.
- The use of larger cobbles and aggregates of contrasting subdued earthen colors is encouraged.
- The use of red colored aggregate should be limited to accents only; white, green, blue or other bright colored aggregates are not permitted.
- Tree bark or wood chips are not permitted for use as ground cover, except they may be used in limited amounts as a mulching material in planting beds or tree rings.
- At least 25% of the landscape area must be covered with a living ground cover and/or committed to planting beds, xeric gardens or ornamental landscape features. Landscape boulders, mounding and vertical elements less than 3 feet high are encouraged. Species selected from the approved plant list are recommended.
- A minimum of one deciduous or evergreen tree of a species selected from the approved plant list is required for each 1,000 square feet of landscape area or any remaining portion thereof.

- A minimum of one five-gallon plant or shrub is required for each 150 square feet of landscape area or any remaining portion thereof, with a minimum of 5 required on every lot. Species selected from the approved plant list are recommended.
 - A minimum of one one-gallon plant is required for each 75 square feet of landscape area or any remaining portion thereof, with a minimum of 10 required on every lot. Species selected from the approved plant list are recommended.
 - The required plant minimums listed herein must be maintained by all lot owners; required plants that die must be replaced as soon as weather conditions and growing seasons allow.
 - Immediately upon the completion of the home thereon, all lots having rear yards that abut or adjoin Ladera Drive or 98th Street/ Arroyo Vista Boulevard shall have planted in the rear yard at least one 2" caliper deciduous or evergreen tree of a species selected from the approved plant list. The owners of these lots shall be required to permanently maintain these required trees and if necessary, to replace any that die.
- 25.) The use of non living objects such as driftwood, petrified wood, animal skulls, wagon wheels, and other similar items, for landscape accent materials is generally discouraged and will only be allowed with specific approval of the ACC.

ENGINEER'S SEAL	PRIMA ENTRADA	DRAWN BY WCKU
	DESIGN GUIDELINES	DATE 11-21-05
		2421-SPB-11-14-05X
	Rio Grande Engineering 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108	SHEET # 2 OF 5
		JOB #
DAVID SOULE P.E. #14522		