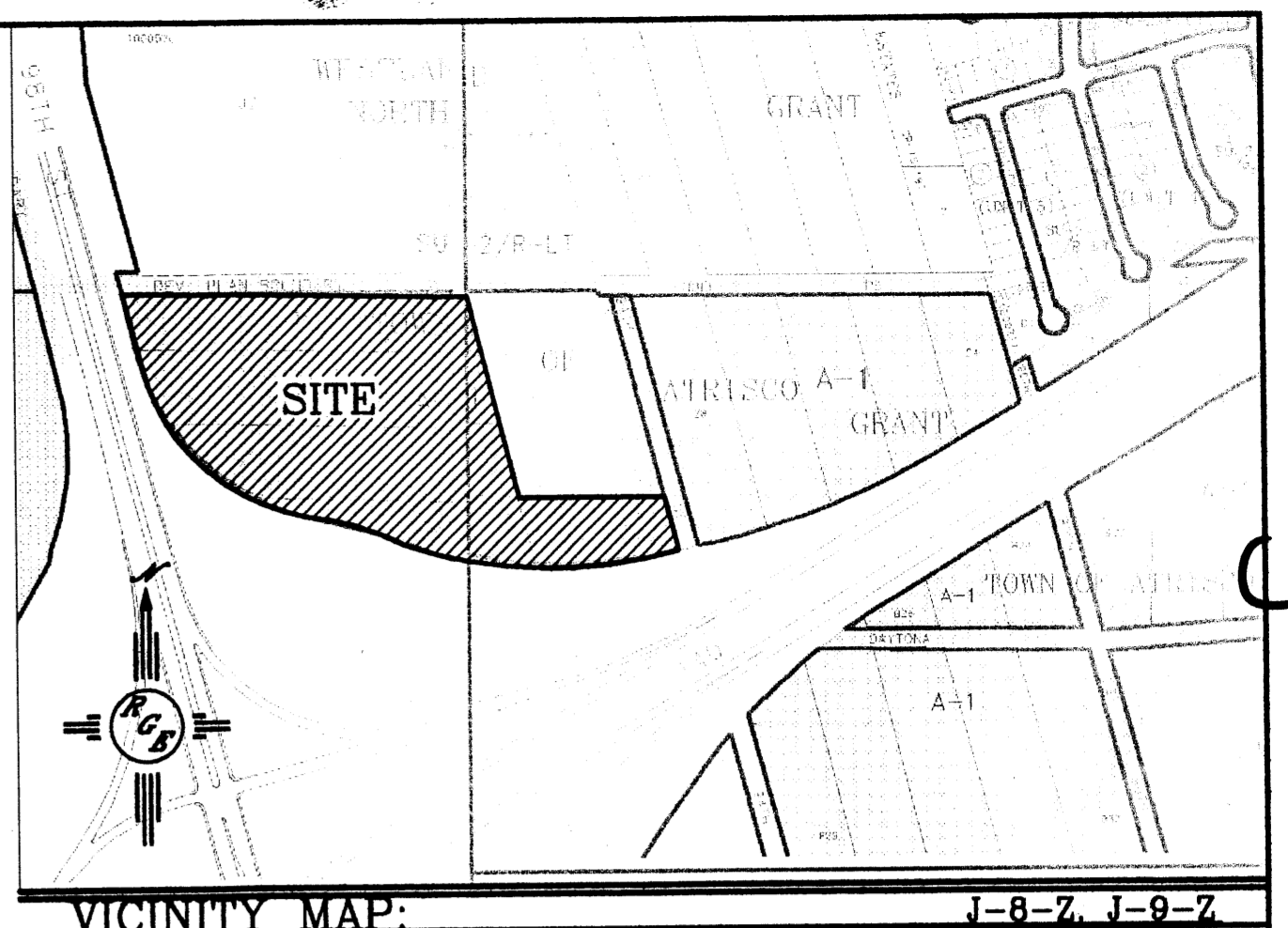


Project 1003523

LEGEND

- EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- PROPOSED 4' SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- BUILDING ENVELOPE
- 6' SCREEN WALL
- ☼ STREET LIGHTS
- ☼ HONEY LOCUST STREET TREE
- GROUND COVERS
- CREEPING ROSEMARY
- NATIVE SHRUBS
CHAMISA, APACHEPLUME
RUSSIAN SAGE,
- ORNAMENTAL SHRUBS
PHOTINID, RAPHIOLEPIS
ENONYMUS,
- CRUSHED TAN GRAVEL
W/FILTER FABRIC
AND ROCK ACCENTS
3" MIN. DEPTH



VICINITY MAP: J-8-2, J-9-7

LEGAL DESCRIPTION:

TRACTS 30,31,32,33 TOWN OF ATRISCO GRANT UNIT

NOTES:

1. THIS SITE PLAN SHALL CONFORM TO THE WESTLAND NORTH MASTER PLAN, AND THE SITE DEVELOPMENT GUIDELINES.
2. THE MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 28'.
3. ALL OPEN SPACE TRACTS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
4. ALL WALLS AND FENCE MUST MEET THE DESIGN STANDARDS FOR WALLS, PER SECTION 14-16-3-19 OF THE ZONING CODE.
5. ALL LIGHTING SHALL BE BUILT TO COA STANDARDS FOR PUBLIC RIGHT-OF-WAY, AND SHALL BE SHIELDED TO PROVIDE DOWNWARD LIGHT EMISSION AND PREVENT BOTH LIGHT TRESPASS AND UPWARD LIGHT POLLUTION, TO INCLUDE STREET LIGHTING WITHIN THE PRIVATE ROADWAY SYSTEM.
6. EACH LOT SHALL PROVIDE STORAGE AREA FOR RESIDENTIAL AUTOMATED CARTS (TRASH CANS), NOT VISIBLE FROM STREET OR STORED INSIDE GARAGE.
7. ALL CURB AND GUTTER SHALL BE STANDARD UNLESS OTHERWISE NOTED.
8. All Lots Shall have P-1 Designation.

SHEET INDEX

1. SITE PLAN FOR SUBDIVISION AND LANDSCAPE PLAN
2. SITE DEVELOPMENT GUIDELINES
3. GRADING AND DRAINAGE PLAN
4. GRADING AND DRAINAGE PLAN DETAILS
5. CONCEPTUAL MASTER UTILITY PLAN

GENERAL NOTES:

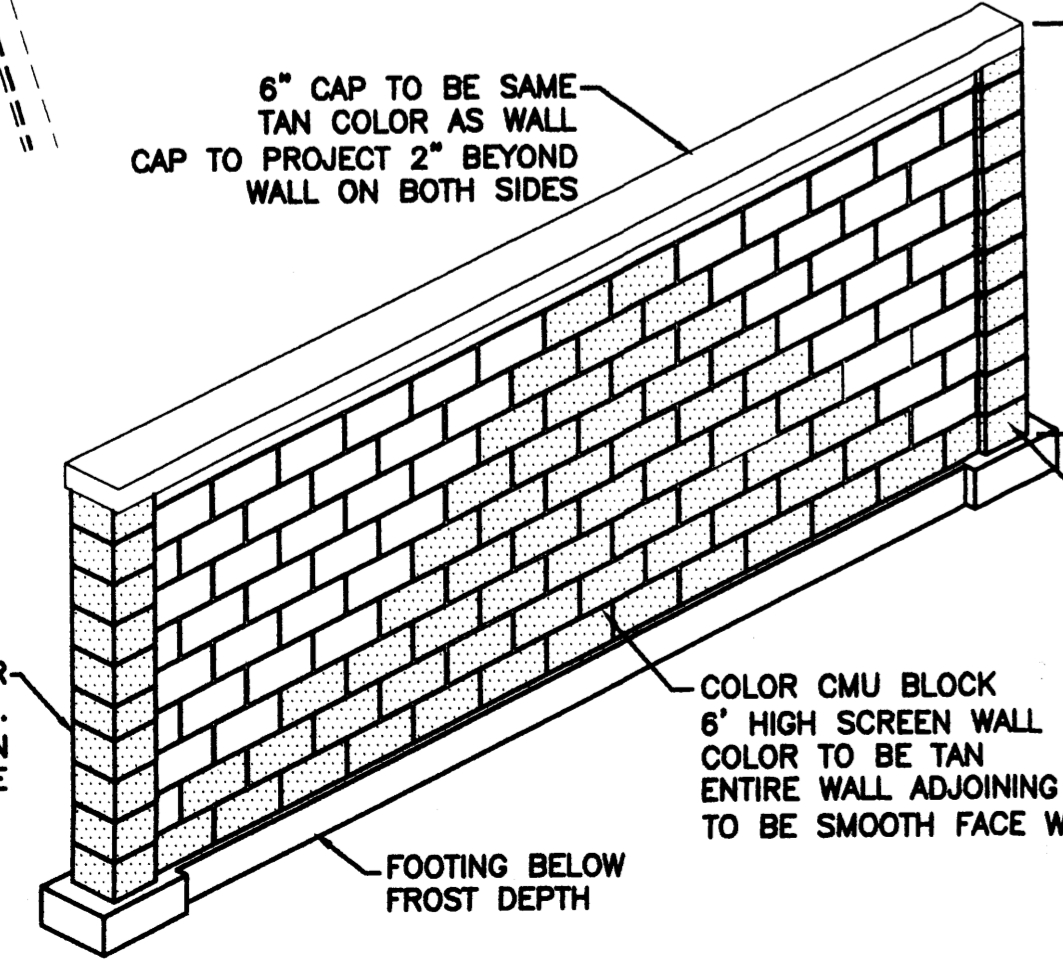
ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN PURPOSES WILL BE REQUIRED FOR THE PROPOSED SITE THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD, OR ADMINISTRATIVE AMENDMENT PROCESS.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

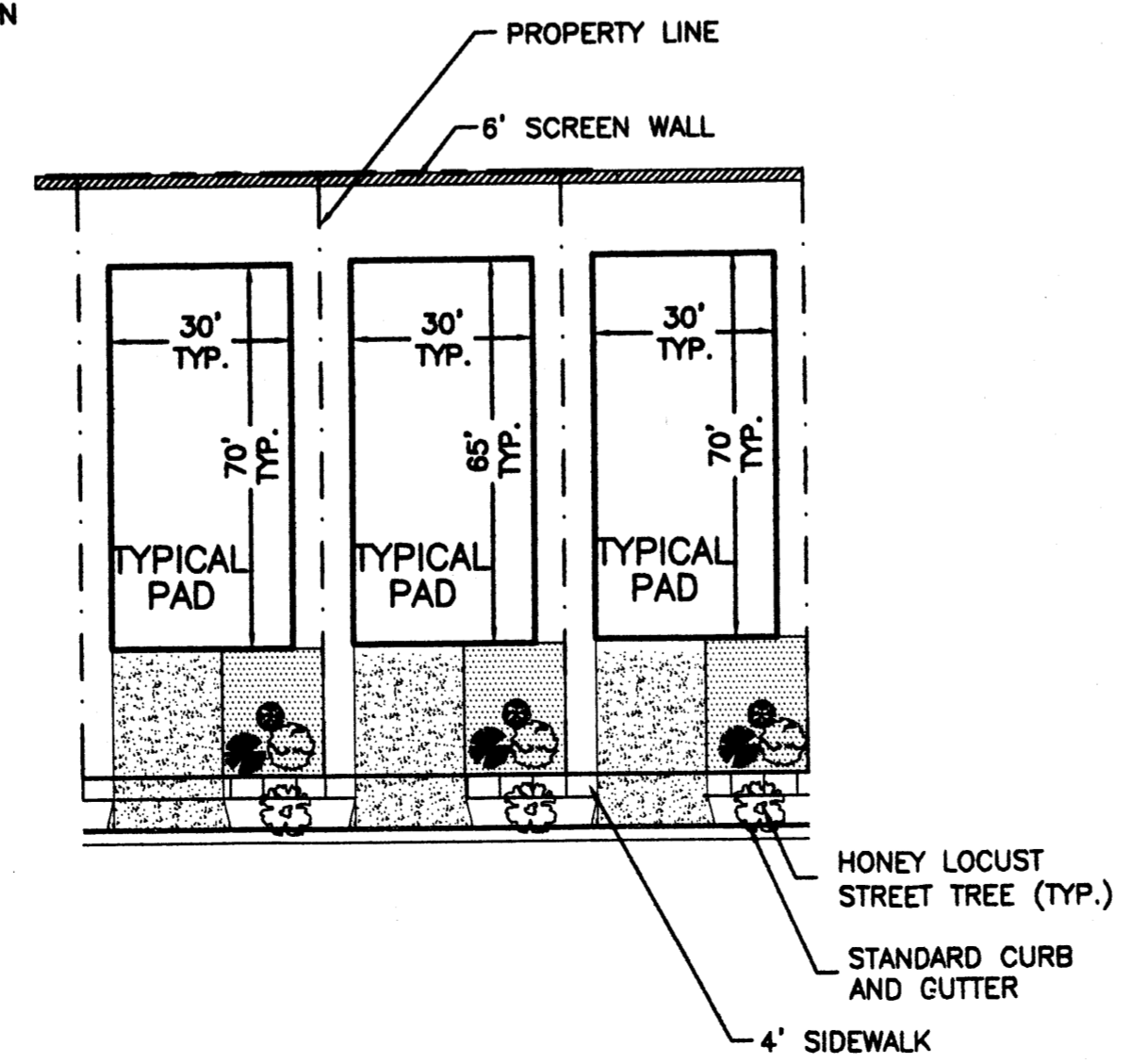
LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.

ALL LANDSCAPING SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER, POP-UP SPRAY HEADS OR IMPACT ROTORS TO SOD LAWN BUBBLERS TO TREES, AND DRIP IRRIGATION TO SHRUBS.

TOTAL WALL HEIGHT SHALL NOT EXCEED 8' ALONG ADJACENT ROW



6' PERIMETER SCREEN WALL DETAIL



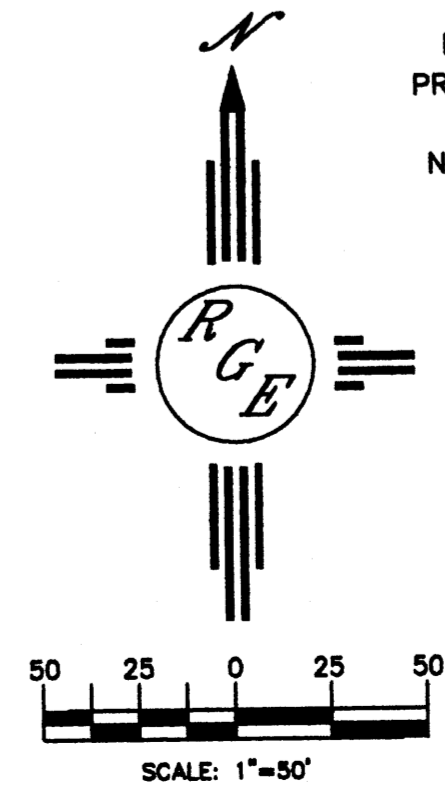
TYPICAL LOT LAYOUT

PROJECT NUMBER: 1003523
APPLICATION NUMBER: 05 DRB-01368

Is an infrastructure list required? () Yes () No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Transportation Division	11/30/05
Utilities Department	11/30/05
Parks & Recreation Department	11/30/05
City Engineer	7/3/06
Environmental Health Department (conditional)	6/29/06
Solid Waste Management	
DRB Chairperson, Planning Department	



SITE DATA

TOTAL ACREAGE:	14.3400 AC±
DENSITY UNITS:	5.93 DU'S (AT MAXIMUM BUILD OUT)
EXISTING ZONING:	SU-2
PROPOSED ZONING:	SU-2
PROPOSED USE:	85 MAX. SINGLE-FAMILY DWELLING UNITS
NUMBER OF LOTS:	78 (7 ADDITIONAL LOTS TO BE BUILT W/ELIMINATION OF TEMPORARY POND)

ENGINEER'S SEAL

DAVID SOULE
P.E. #14522

PRIMA ENTRADA

SITE PLAN FOR SUBDIVISION AND LANDSCAPE PLAN

Rio Grande Engineering
1606 CENTRAL AVENUE SE
SUITE 201
ALBUQUERQUE, NM 87106
(505) 872-0999

DRAWN BY WCHJ
DATE 11-21-05
2421-SPB-11-14-05X
SHEET # 1 OF 5
JOB # 2421

PRIMA ENTRADA
DESIGN STANDARDS

GENERAL REQUIREMENTS

- 1.) Only single family detached residents. No home retail or service type businesses that generate additional traffic, group homes or assisted living facilities.
- 2.) One lot, one house. No further subdivision or combining of lots.
- 3.) Minimum heated square footage (excludes garages, storage sheds, covered patios, porches, breezeways etc.) shall be 1300 square feet.
- 4.) Homes or any other structures placed on any lot may not exceed two stories and shall be limited to a maximum height of 26 feet. The height of a structure is considered to be the vertical difference between the lot pad elevation as shown on the approved subdivision grading and drainage plan and the elevation of the highest point on the roof line.
- 5.) The front yard setback for any two story structure is 25 feet rather than the usual 20 feet. No more than two out of three consecutive two story homes that are on the same side of the street may be placed at the same front setback; at least one of the three must have a setback that is at least two feet greater than the other two.
- 6.) All homes must have at least a two car garage.
- 7.) Three car garages are allowed only if the combines width of the front facade of all the garage doors does not exceed 50% of the total width of the lot at the front setback line.
- 8.) The maximum allowable height of the garage door of a third garage bay that will be used for RV storage is 9 feet.
- 9.) Garages may not be enclosed to convert them to living space.
- 10.) Within the front yard area, but set back at least 15 feet from the front property line, homeowners may display a standard sized American flag from a wall mounted standard or from a residentially sealed flag pole, not to exceed 18 feet in height. Proper flag etiquette must be observed (flag not torn or faded, right side up, lighted at night etc.)

COLORS, MATERIALS, ARCHITECTURAL STYLE

- 11.) The primary exterior finishes of all residences, structures or improvements on the lots shall be either stucco, stone or brick in white, natural earthen colors or other subdued colors that would be compatible with pre existing adjacent homes and compatible to the standard established to the neighborhood. Wood, adobe and rock may be used as secondary exterior finishes in a more limited capacity as trim or accent materials provided they do not clash with the parent structure, are compatible with pre existing adjacent homes and complimentary to the standard established for the neighborhood.
- 12.) Allowable roofing materials for homes with pitched roofs are clay or concrete tiles in subdued earthen colors, flat slate, clay or concrete tile in subdued earthen colors and deep shadow composites shingles in subdued earthen colors; except that composite shingle roofs may not be used on lots that are adjacent to Ladara Drive or Arroyo Vista Blvd. No metal roofs are allowed.
- 13.) Patio covers, elevated decks, cabanas, gazebos and storage buildings that are constructed subsequent to the initial home construction, shall be of scale, architectural style, materials colors and textures that are compatible with the original home and complimentary to the standard established for the neighborhood and they must be reviewed and approved by the Architectural Committee prior to construction.
- 14.) Air conditioning, heating and other machinery and mechanical equipment may not be located on those portions of the roof where they would be visible to a person driving on the public streets. It would be preferable to have such mechanical equipment ground mounted on a pad located in the rear yard or side yard behind the return walls.
- 15.) All roof mounted machinery, mechanical equipment, vent pipes, duct work, exhaust fans and other protrusions must be painted to match the finish color of the house, the house trim or the roof covering material so that it blends in and is compatible with the parent structure. On flat roofed pueblo or territorial style homes, the parapets should be high enough to screen these items from the view of a person driving on the public streets.

WALLS

- 16.) All internal rear yard and side yard property line walls shall be coral colored CMU construction and shall be built to a minimum height of six courses plus cap above the finished grade on the high-side of the wall.

- 17.) All side yard return walls shall be constructed of either coral, cioba red or basalt black split face block with the split surface facing the street, or smooth black stuccoed to match the house, or stone or brick masonry that matches the house and is complementary to the standard established for the neighborhood.
- 18.) Courtyard walls shall not extend forward of the front of the front setback line and shall be constructed of either coral, cioba red or basalt black split face block with the split surface facing the street, or smooth black stuccoed to match the house, or stone or brick masonry that matches the house and is complementary to the standard established for the neighborhood.
- 19.) If a side yard return wall or a courtyard wall is subsequently raised or otherwise modified, it must either be finished to match the original wall or completely reconstructed to one of the approved standards stated herein.
- 20.) Rear yard gates and courtyard gates must be constructed of either wrought iron or wood pickets painted to match the house. Wrought iron gates may be backed with extruded metal mesh painted the same color as the gate. Chain link, split cedar or corrugated metal or composite gates are not allowed.
- 21.) No chain link, welded wire, smooth wire, barbed wire, welded pipe or split cedar fences are allowed to be constructed on any lot in a location where they would be visible to a person driving on the public streets.

PARKING


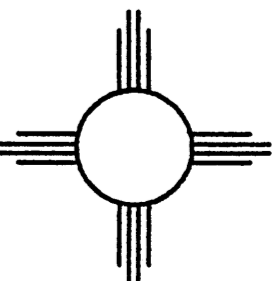
- 22.) No storage or long term parking of boats, campers, trailers, recreational or commercial vehicles is permitted on any lot, except they may be stored within an enclosed garage or in side and rear yard areas where they would not be visible to a person driving on the public streets. Short term, infrequent parking (not to exceed 24 hours) of these vehicles is permitted for loading, unloading, cleaning or maintenance.
- 23.) No long term parking (more than four days) of inoperable motorized vehicles of any kind is allowed on the streets within the subdivision or on any lot in an area where there would be visible to a person driving on the public streets.

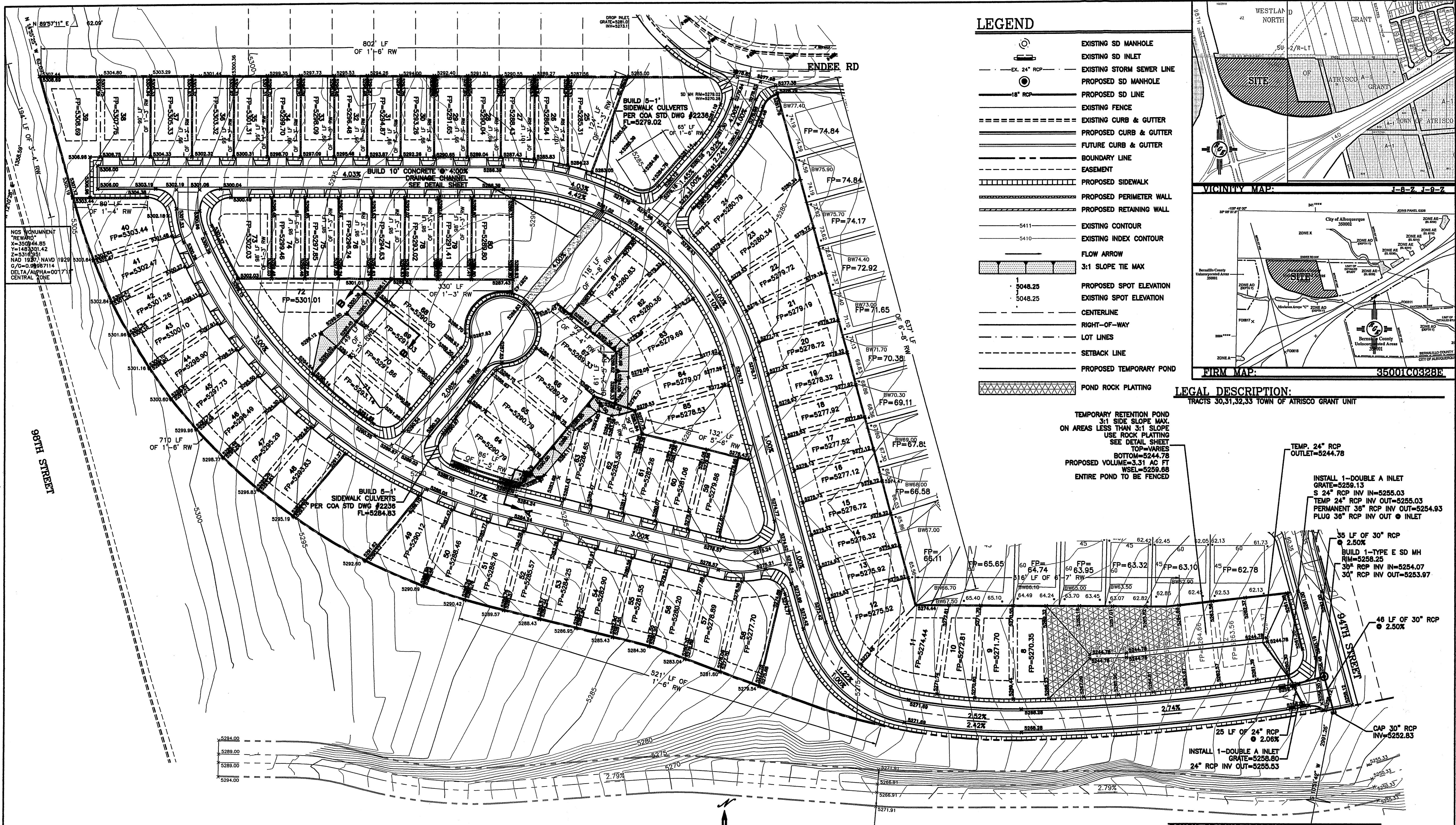
LANDSCAPING

- 24.) Immediately upon completion of construction of the home thereon, all front yards and side yards on corner lots shall be landscaped to comply with the following minimum standards:

- The landscape area includes the entirety of the area located in front of the side yard wall returns that is not covered by concrete lead walks and drive pads. It also includes that portion of the public street right-of-way that lies between the back of the curb and the front edge of the sidewalk, which the homeowner is required to maintain.
- Not more than 75% of the landscape area may be covered with gravel or crushed rock.
- When gravel ground cover is used adjacent to drive pads, sidewalks or the curb, the ground must be lowered at least 5" below the top surface of the concrete for a distance of at least 30" back from the edge of the pavement so that the top surface of the gravel ground cover will be at least 2" below the top surface of the adjacent pavement.
- Light weight volcanic rock or colored scoria that can be easily blown, washed or kicked out of place may not be placed within 48" from the edge of any drive pads, sidewalks or the curb. Only minimum 3/4" diameter aggregate may be used in these areas.
- The use of larger cobbles and aggregates of contrasting subdued earthen colors is encouraged.
- The use of red colored aggregate should be limited to accents only; white, green, blue or other bright colored aggregates are not permitted.
- Tree bark or wood chips are not permitted for use as ground cover, except they may be used in limited amounts as a mulching material in planting beds or tree rings.
- At least 25% of the landscape area must be covered with a living ground cover and/or committed to planting beds, xeric gardens or ornamental landscape features. Landscape boulders, mounding and vertical elements less than 3 feet high are encouraged. Species selected from the approved plant list are recommended.
- A minimum of one deciduous or evergreen tree of a species selected from the approved plant list is required for each 1,000 square feet of landscape area or any remaining portion thereof.

- A minimum of one five-gallon plant or shrub is required for each 150 square feet of landscape area or any remaining portion thereof, with a minimum of 5 required on every lot. Species selected from the approved plant list are recommended.
 - A minimum of one one-gallon plant is required for each 75 square feet of landscape area or any remaining portion thereof, with a minimum of 10 required on every lot. Species selected from the approved plant list are recommended.
 - The required plant minimums listed herein must be maintained by all lot owners; required plants that die must be replaced as soon as weather conditions and growing seasons allow.
 - Immediately upon the completion of the home thereon, all lots having rear yards that abut or adjoin Ladara Drive or 98th Street/ Arroyo Vista Boulevard shall have planted in the rear yard at least one 2" caliper deciduous or evergreen tree of a species selected from the approved plant list. The owners of these lots shall be required to permanently maintain these required trees and if necessary, to replace any that die.
- 25.) The use of non living objects such as driftwood, petrified wood, animal skulls, wagon wheels, and other similar items, for landscape accent materials is generally discouraged and will only be allowed with specific approval of the ACC.

ENGINEER'S SEAL	PRIMA ENTRADA	DRAWN BY WCVJ
	DESIGN GUIDELINES	DATE 11-21-05
		2421-SPB-11-14-05X
DAVID SOULE P.E. #14522	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0888	SHEET # 2 OF 5
		JOB # 2421



LEGEND

- EXISTING SD MANHOLE
- EXISTING SD INLET
- EXISTING STORM SEWER LINE
- PROPOSED SD MANHOLE
- PROPOSED SD LINE
- EXISTING FENCE
- PROPOSED CURB & GUTTER
- FUTURE CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED PERIMETER WALL
- PROPOSED RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- 3:1 SLOPE TIE MAX
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- SETBACK LINE
- PROPOSED TEMPORARY POND
- POND ROCK PLATING

LEGAL DESCRIPTION:
TRACTS 30,31,32,33 TOWN OF ATRISCO GRANT UNIT

TEMPORARY RETENTION POND
3:1 SIDE SLOPE MAX.
ON AREAS LESS THAN 3:1 SLOPE
USE ROCK PLATING
SEE DETAIL SHEET
TOP=VARIES
BOTTOM=5244.78
PROPOSED VOLUME=3.31 AC FT
WSEL=5259.68
ENTIRE POND TO BE FENCED

TEMP. 24" RCP
OUTLET=5244.78

INSTALL 1-DOUBLE A INLET
GRATE=5259.13
S 24" RCP INV IN=5255.03
TEMP 24" RCP INV OUT=5255.03
PERMANENT 36" RCP INV OUT=5254.93
PLUG 36" RCP INV OUT @ INLET

35 LF OF 30" RCP @ 2.50%
BUILD 1-TYPE E SD MH
RIM=5258.25
36" RCP INV IN=5254.07
30" RCP INV OUT=5253.97

INSTALL 1-DOUBLE A INLET
GRATE=5258.80
24" RCP INV OUT=5255.53

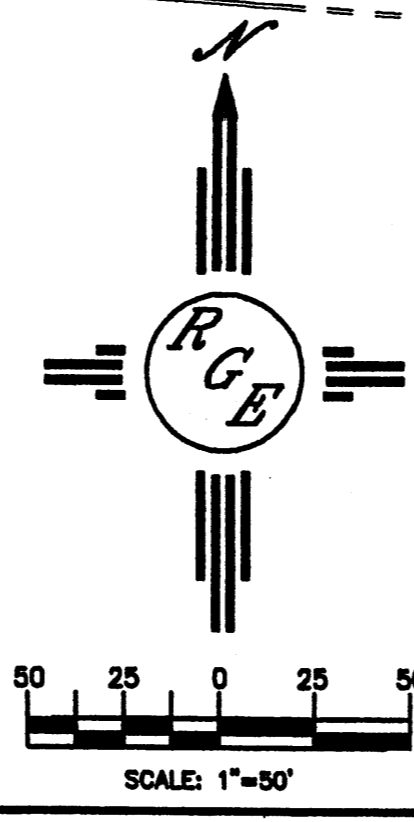
CAP 30" RCP
INV=5252.83

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO BE STANDARD PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.
4. ALL PADS SHALL BE BUILT PER FOOTPRINT SHOWN.
5. ALL DRIVEPADS SHALL BE BUILT WHERE SHOWN.



FUTURE AMAFCA CHANNEL
IMPROVEMENT
BY OTHERS

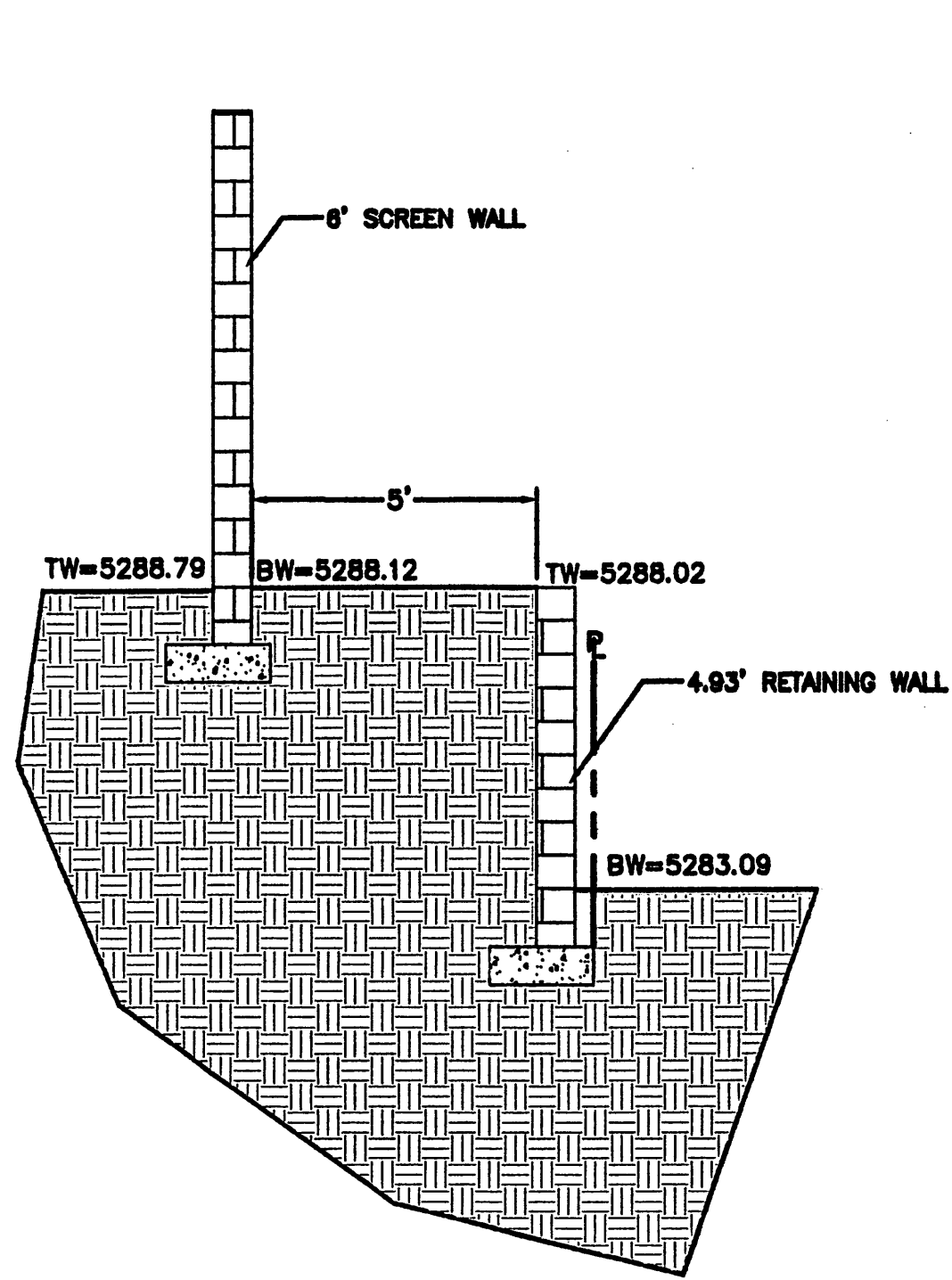
I-40 INTERSTATE

CAUTION:

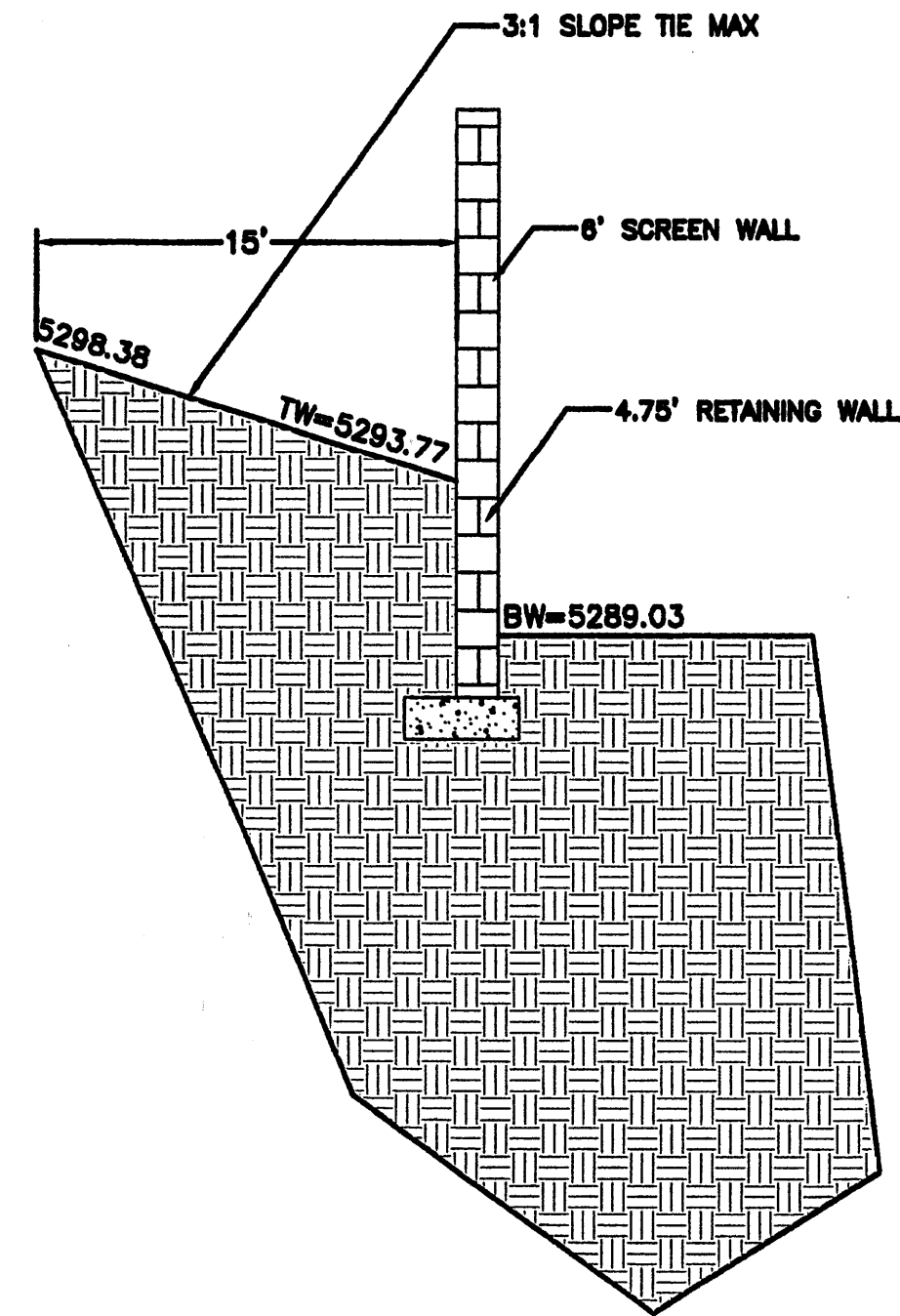
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ROUGH GRADING APPROVAL _____ DATE _____

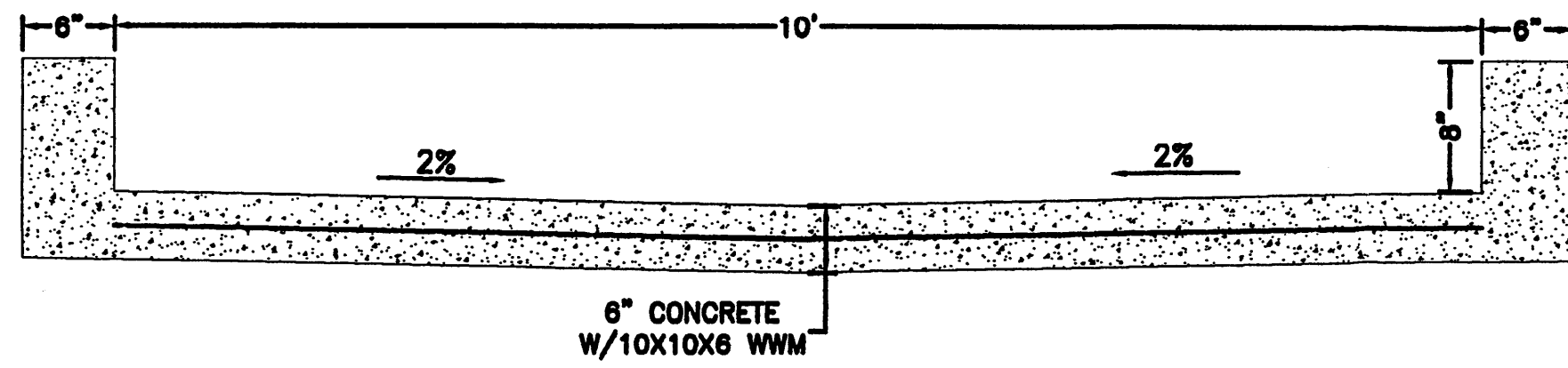
	<p>PRIMA ENTRADA</p>	<p>DRAWN BY WCVJ</p>
	<p>GRADING AND DRAINAGE PLAN</p>	<p>DATE 11-21-05</p>
<p>DAVID SOULE P.E. #14522</p>	<p><i>Rio Grande Engineering</i> 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0599</p>	<p>2421-GRB-11-14-03X</p>
		<p>SHEET # 3 OF 5</p>
		<p>JOB # 2421</p>



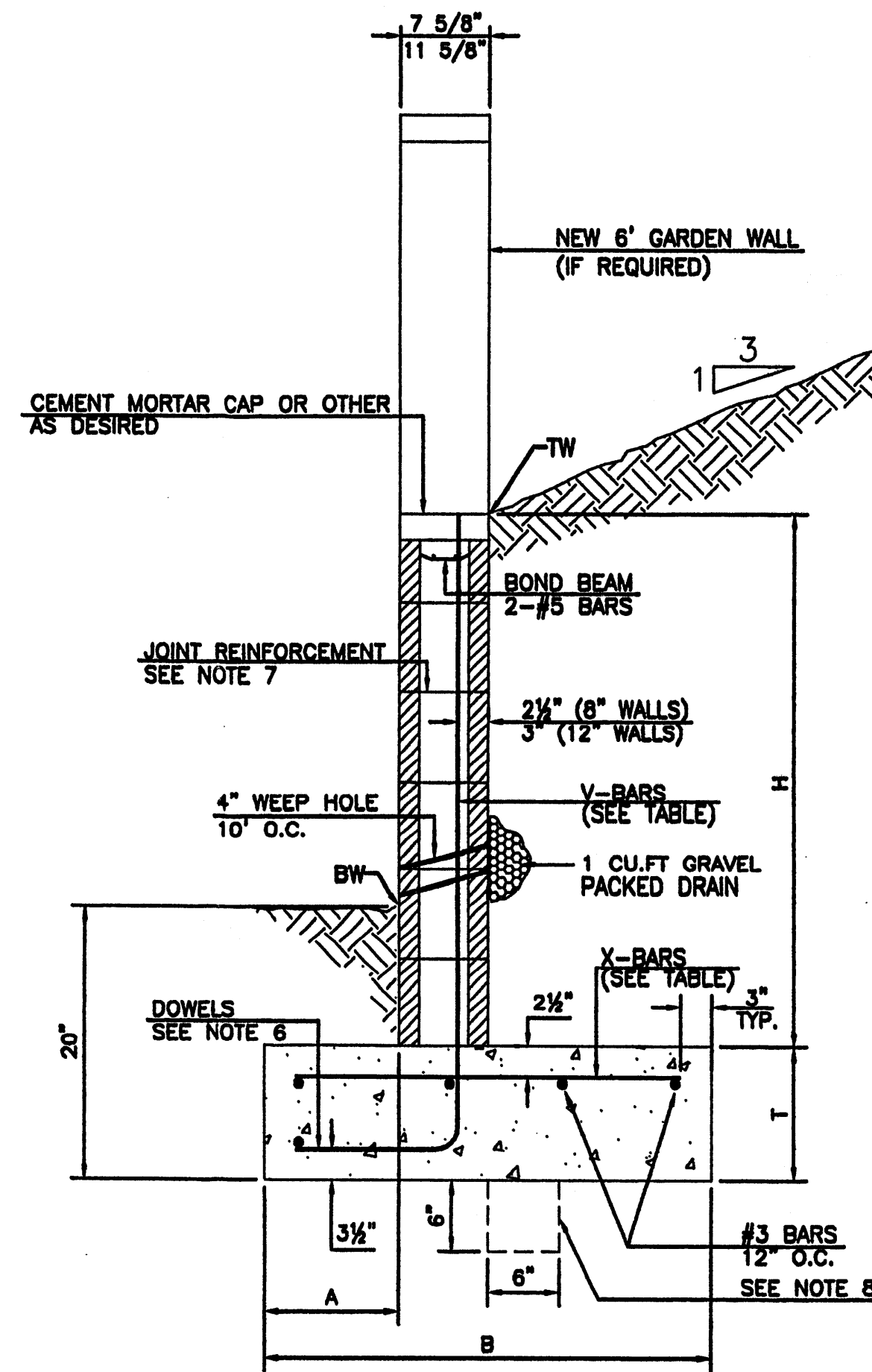
SECTION A-A
NTS



SECTION B-B
NTS



10' CONCRETE CHANNEL DETAIL
NTS



RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

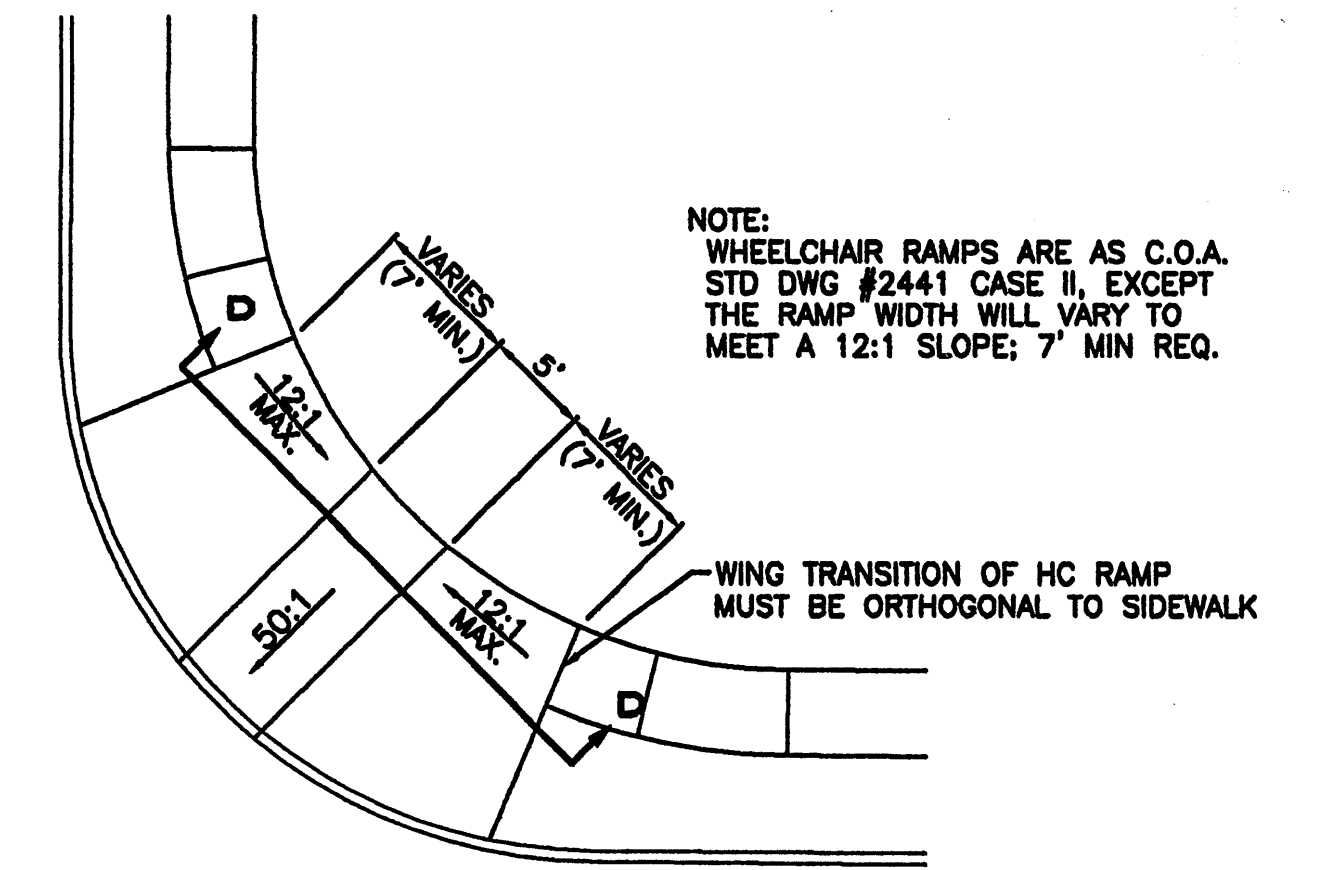
H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @34" O.C.
4'-0"	10"	2'-9"	9"	#4 @32" O.C.	#4 @36" O.C.
4'-8"	12"	3'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
5'-4"	14"	3'-8"	10"	#4 @16" O.C.	#4 @16" O.C.
6'-0"	16"	4'-2"	12"	#4 @16" O.C.	#4 @16" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

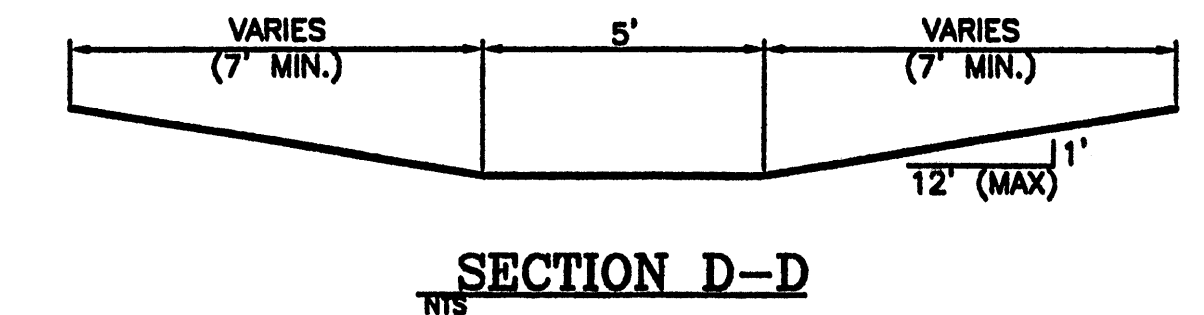
H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#4 @24" O.C.	#4 @16" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @16" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#4 @16" O.C.
7'-4"	18"	5'-0"	14"	#6 @16" O.C.	#5 @16" O.C.
8'-0"	20"	5'-6"	14"	#7 @24" O.C.	#5 @16" O.C.

GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- JOINT REINFORCEMENT CONSISTING OF 9GA. LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 5'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



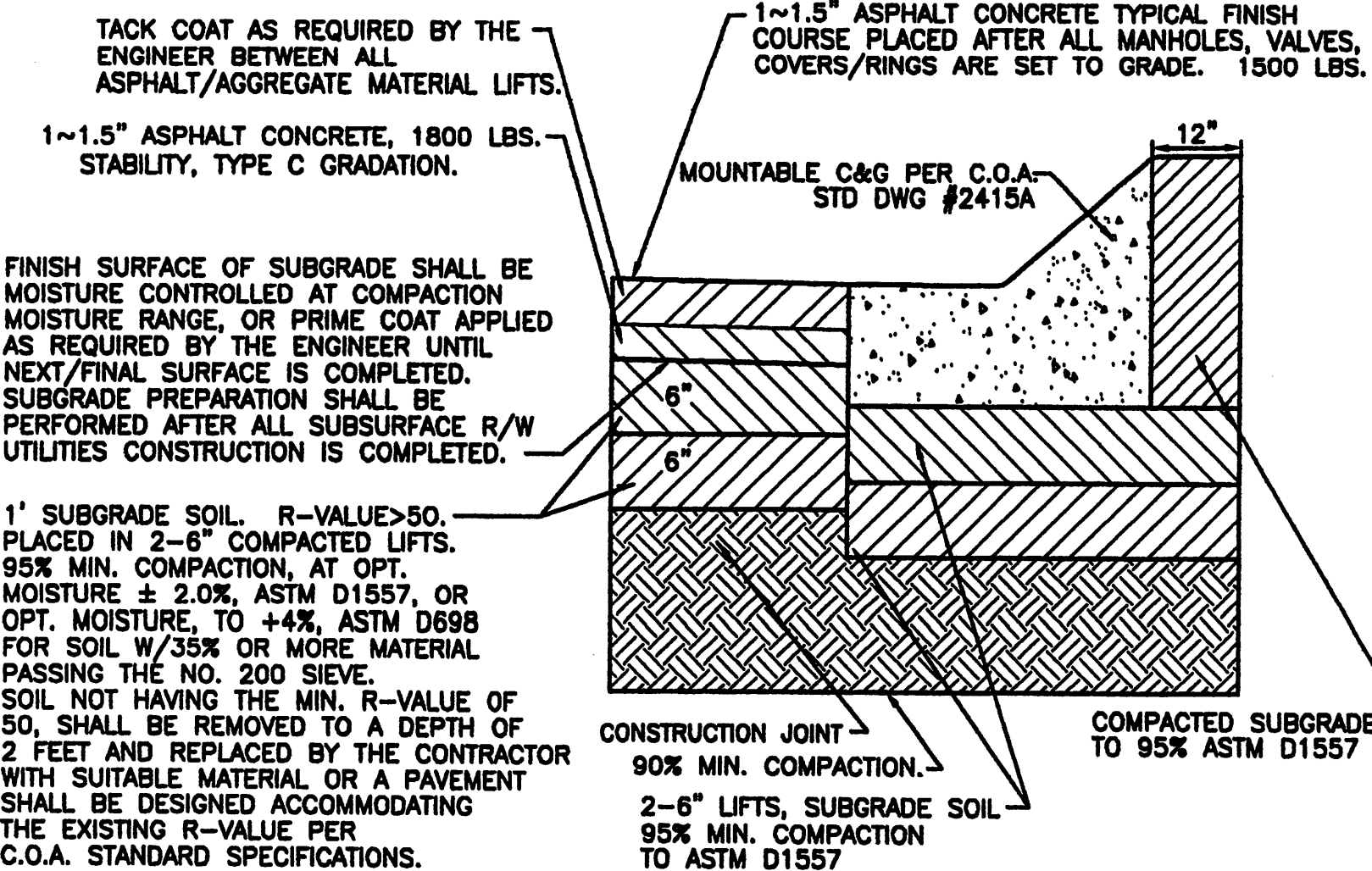
WHEELCHAIR RAMP DETAIL (TYP.)
NTS



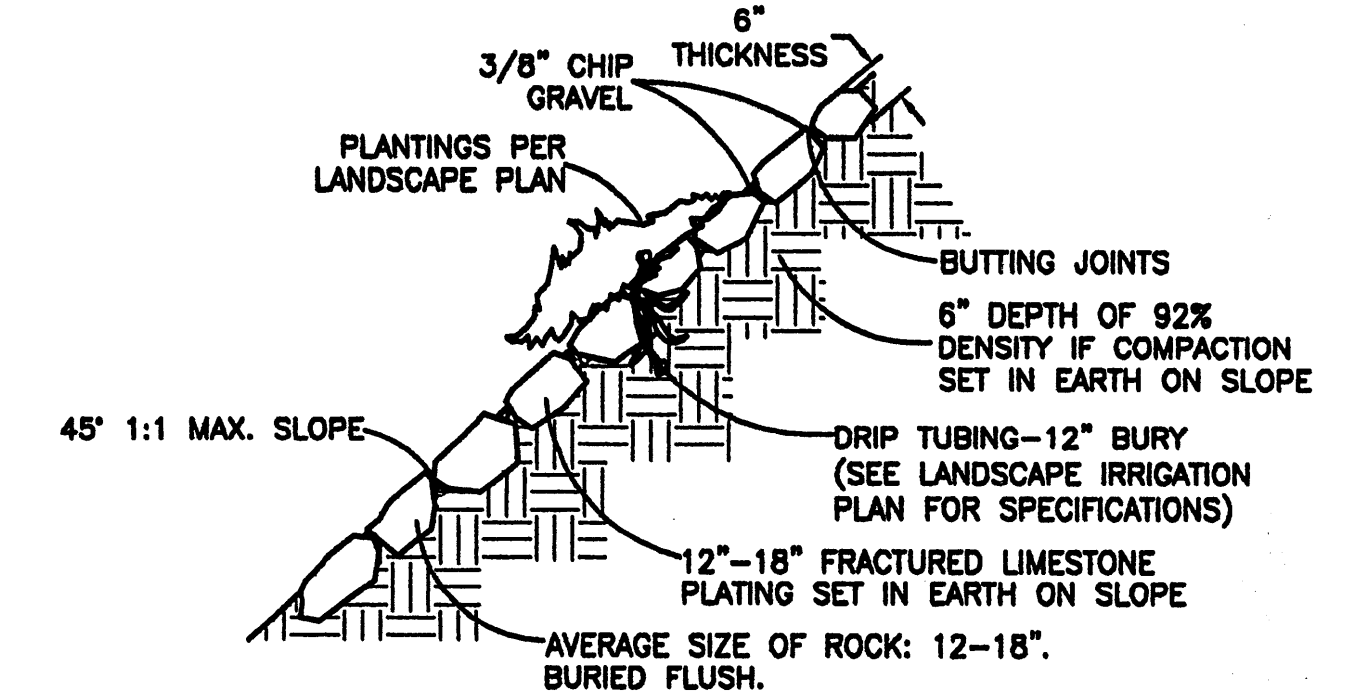
SECTION D-D
NTS

NOTE:
WHEELCHAIR RAMPS ARE AS C.O.A. STD DWG #2441 CASE II, EXCEPT THE RAMP WIDTH WILL VARY TO MEET A 12:1 SLOPE; 7' MIN REQ.

WING TRANSITION OF HC RAMP MUST BE ORTHOGONAL TO SIDEWALK

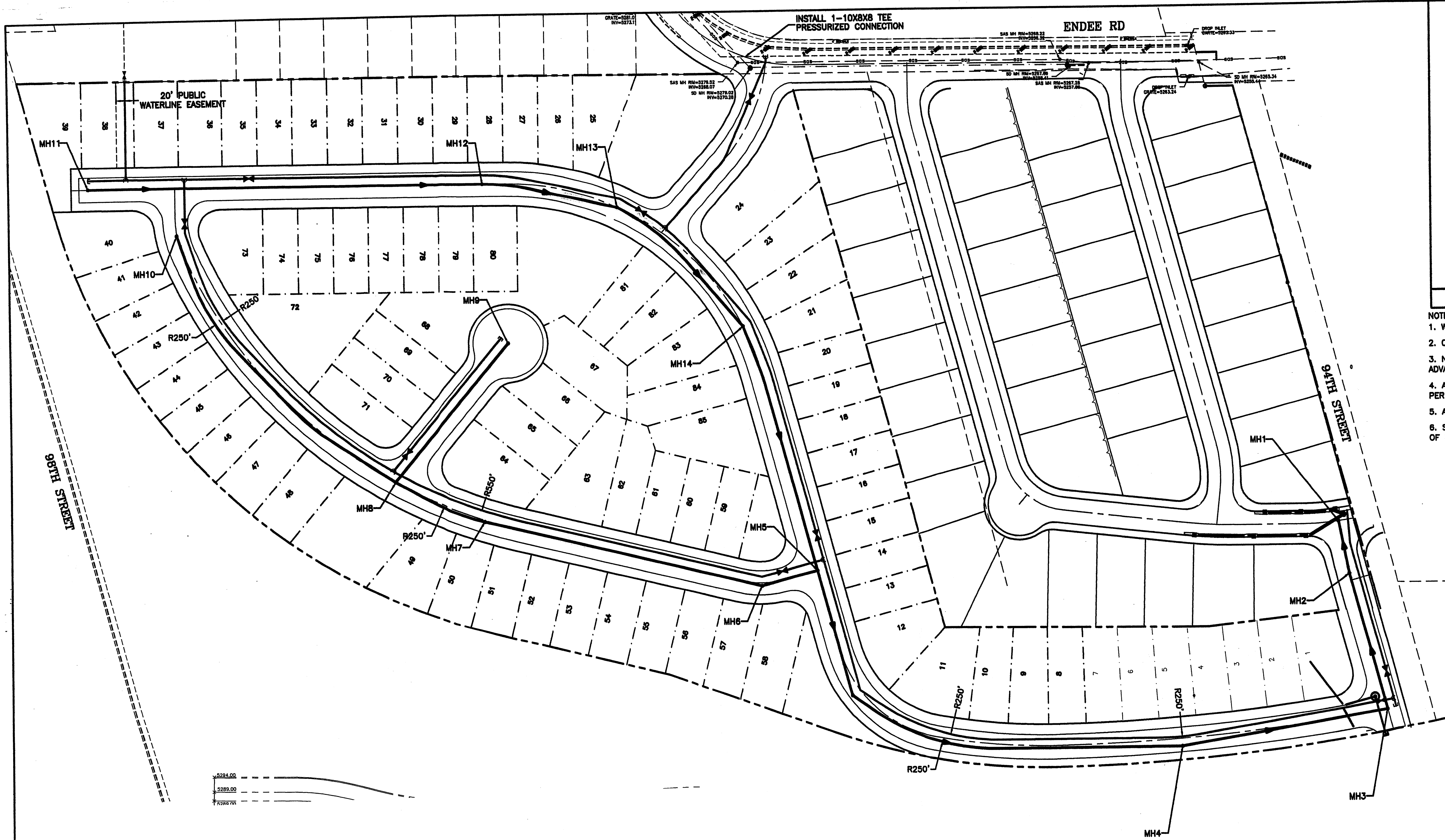


RESIDENTIAL PAVING SECTION (MOUNTABLE CURB)
NTS



ROCK PLATING DETAIL
NTS

ENGINEER'S SEAL	PRIMA ENTRADA	DRAWN BY WCWJ
	GRADING AND DRAINAGE DETAILS	DATE 10-27-05
	<i>Rio Grande Engineering</i>	2421-GRB-8-18-05X
DAVID SOULE P.E. #14522	1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0888	SHEET # 4 OF 5
		JOB # 2421



WATER SHUTOFF PLAN SHUTOFF VALVES:

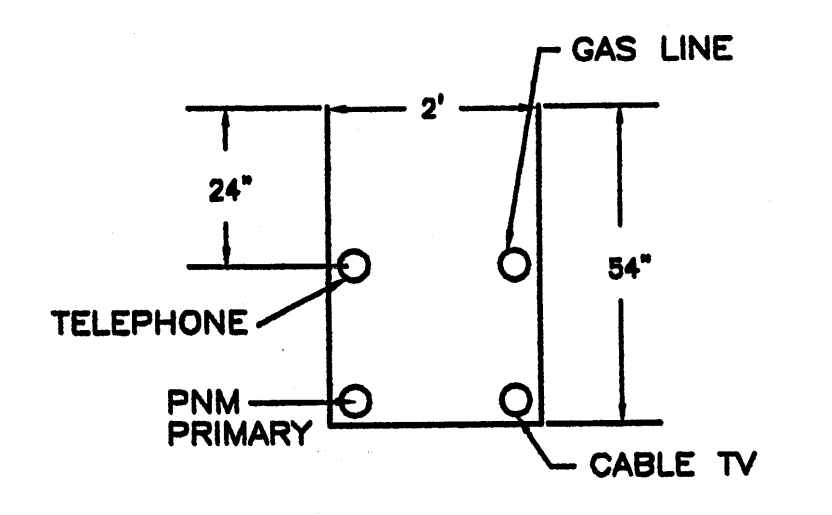
- NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
 2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 3. NOTIFY NEW MEXICO UTILITIES (898-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
 4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
 5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
 6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

LEGEND

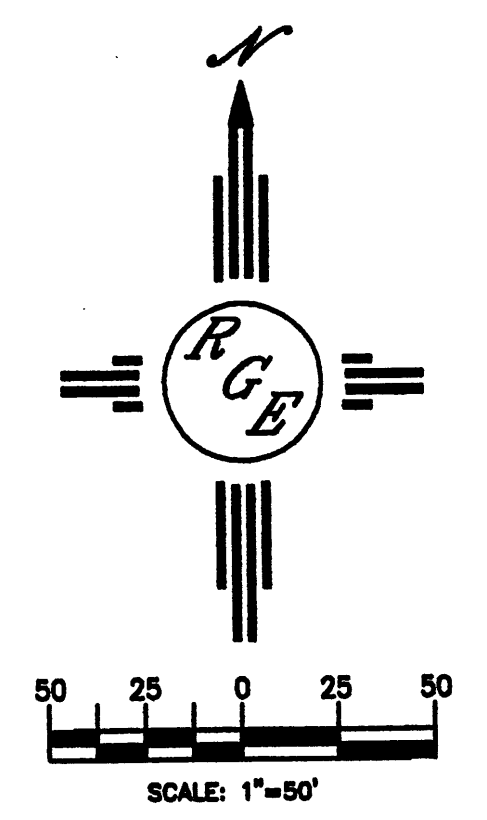
- EXISTING SAS MANHOLE
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- PROPOSED SAS MANHOLE
- PROPOSED SAS CLEANOUT
- 8" SAS — PROPOSED SANITARY SEWER LINE
- SANITARY SEWER SERVICE LINE
- EX. 10" WL — EXISTING WATER LINE
- PROPOSED METER
- ⊗ PROPOSED VALVE W/BOX
- ⊕ PROPOSED FIRE HYDRANT
- WATER SERVICE LINE
- 8" WL — PROPOSED WATER LINE
- PROPOSED STORM SEWER LINE
- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- CENTERLINE
- RIGHT-OF-WAY
- DRY UTILITY TRENCH
- BOUNDARY LINE
- EASEMENT

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.



UTILITY TRENCH DETAIL
NTS



GENERAL NOTES:

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

ENGINEER'S SEAL 	PRIMA ENTRADA	DRAWN BY WCVJ
	CONCEPTUAL MASTER UTILITY PLAN	DATE 11-21-05
Rio Grande Engineering 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-1998	SHEET # 5 OF 5	2421-MUB-11-21-05X
	JOB # 2421	