



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

January 16, 2013

**Project# 1003523**

12DRB-70392 EXT OF SIA FOR TEMP DEFR SDWK CONST

MONTEREY LAND GROUP II LLC request(s) the above action(s) for all or a portion of **PRIMA ENTRADA** located on NE CORNER OF ARROYO VISTA AND I-40 containing approximately 12 acre(s). (J-8 & 9) [*Deferred from 1/9/13*]

At the January 16, 2013 Development Review Board meeting, a one year extension to the agreement for the deferral of sidewalks was approved. Please provide an exhibit to the Design Review Committee indicating the lot number/addresses where sidewalks are still deferred.

If you wish to appeal this decision, you must do so by January 31, 2013, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

A handwritten signature in black ink, appearing to read "Richard Dourte".

Richard Dourte, Acting DRB Chair

Cc: Monterey Land Group II LLC  
Marilyn Maldonado  
file



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

March 3, 2010

**Project# 1003523**

10DRB-70057 EXT OF SIA FOR TEMP DEFR SDWK CONST

RIO GRANDE ENGINEERING agent(s) for MONTERAY LAND GROUPS II LLC request(s) the above action(s) for all or a portion of **PRIMA ENTRADA SUBDIVISION** zoned SU-2 FOR R-LT, located on 94TH ST NW BETWEEN I-40 AND ENDEE RD NW containing approximately 9 acre(s). (J-8)

At the March 3, 2010 Development Review Board meeting, a two year extension to the four-year agreement for the deferral of sidewalks was approved.

If you wish to appeal this decision, you must do so by March 18, 2010 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

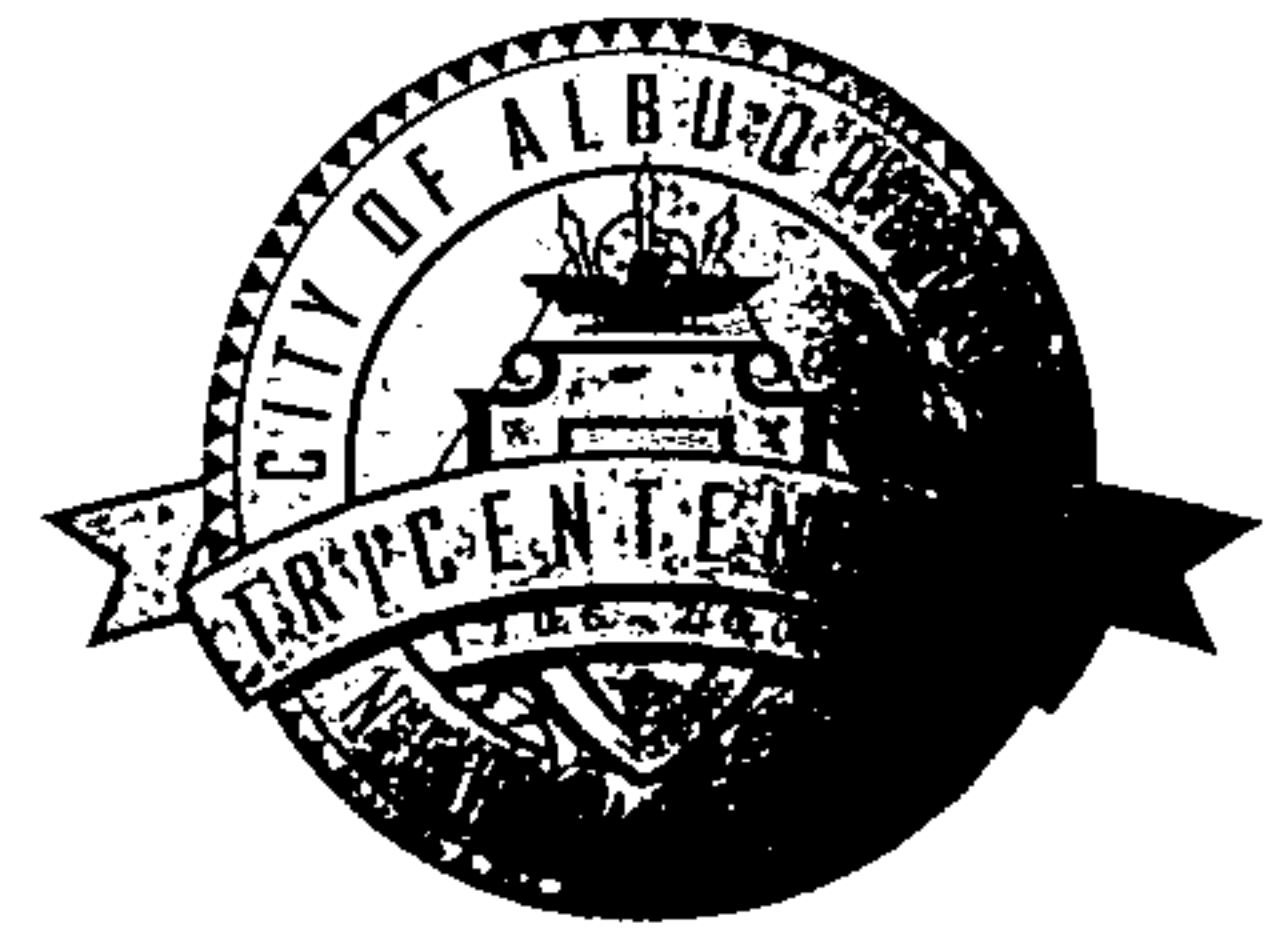
You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Cc: Rio Grande Engineering – P.O. Box 67305 – Albuquerque, NM 87193  
Cc: Monteray Law Group II LLC – 5111 San Mateo – Albuquerque, NM 87109  
Marilyn Maldonado  
File

HEARINGS DATE 3-3-10 (ESIA)

# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003523**

**AGENDA ITEM NO: 1**

**SUBJECT:**

SIA Extension

**ACTION REQUESTED:**

REV/CMT:() APP:() SIGN-OFF:() EXTN:(x) AMEND:()

P.O. Box 1293

**ENGINEERING COMMENTS:**

The Hydrology Section has no objection to the extension request.

Albuquerque

New Mexico 87103

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** February 6, 2008

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
August 1, 2007  
DRB Comments

ITEM # 6

PROJECT #1003523

APPLICATION # 07-70154

RE: Prima Entrada Subdivision/SWV

Planning has no objection to the request.



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Sheran Matson, AICP

DRB Chair

924-3880 smatson@cabq.gov

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003523**

**AGENDA ITEM NO: 6**

**SUBJECT:**

Sidewalk Variance

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

APPROVED ; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham

City Engineer / AMAFCA Designee

**DATE:** AUGUST 1, 2007

505-924-3986

0



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

February 6, 2008

1. **Project# 1003523**  
08DRB-70011 MAJOR - 2YR SUBD IMP AGMT EXT (2YR SIA)  
08DRB-70012 EXT OF SIA FOR TEMP DEFR SDWK CONST

RIO GRANDE ENGINEERING agent(s) for MONTERAY LAND GROUP II LLC request(s) the above action(s) for all or a portion of **PRIMA ENTRADA SUBDIVISION**, zoned SU-2/RLT, located on 98TH ST NW BETWEEN ENDEE RD NW AND I-40 containing approximately 14.35 acre(s). (J8 & 9)

At the February 6, 2008 Development Review Board meeting, the one year extension of the Subdivision Improvements Agreement was approved. The two year extension for the temporary deferral of sidewalk construction was approved.

If you wish to appeal this decision, you must do so by February 21, 2008 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Cc: Rio Grande Engineering – 1606 Central SE Ste 201 – Albuquerque, NM 87109  
Cc: Monterey Land Group II, LLC – 5111 San Mateo – Albuquerque, NM 87106



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

February 6, 2008

**Project# 1003523**

08DRB-70011 MAJOR - 2YR SUBD IMP AGMT EXT (2YR SIA)

08DRB-70012 EXT OF SIA FOR TEMP DEFR SDWK CONST

RIO GRANDE ENGINEERING agent(s) for MONTERAY LAND GROUP II LLC request(s) the above action(s) for all or a portion of **PRIMA ENTRADA SUBDIVISION**, zoned SU-2/RLT, located on 98TH ST NW BETWEEN ENDEE RD NW AND I-40 containing approximately 14.35 acre(s). (J8 & 9)

<b>AMAFCA</b>																								
No comment.																								
<b>COG</b>																								
MPO staff have no comment on this project. For informational purposes, America's Parkway has a functional classification of urban collector.																								
<b>TRANSIT</b>																								
No comments received																								
<b>ZONING ENFORCEMENT</b>																								
No comments received																								
<b>NEIGHBORHOOD COORDINATION</b>																								
Letters sent to: <b>Parkway NA (R)</b>																								
<b>APS</b>																								
<p><b>Prima Entrada Subdivision</b>, is located on 98<sup>th</sup> St NW between Endee Rd NW and I-40. The owner of the above property requests a Major-2YR SIA and a two year sidewalk deferral for a development that will consist of 78 residential lots and six open space tracts. This will impact Painted Sky Elementary School, Jimmy Carter Middle School, and West Mesa High School. Painted Sky Elementary School and West Mesa High School are exceed capacity; Jimmy Carter Middle School is nearing capacity.</p> <table border="1"> <thead> <tr> <th>Loc No</th> <th>School</th> <th>2007-08 40th Day</th> <th>2007-08 Capacity</th> <th>Space Available</th> </tr> </thead> <tbody> <tr> <td>275</td> <td>Painted Sky</td> <td>1,069</td> <td>1,000</td> <td>-69</td> </tr> <tr> <td>445</td> <td>Jimmy Carter</td> <td>1,185</td> <td>1,200</td> <td>15</td> </tr> <tr> <td>570</td> <td>West Mesa</td> <td>2,749</td> <td>2,632</td> <td>-117</td> </tr> </tbody> </table> <p>Atrisco Heritage Academy High School will open with a 9<sup>th</sup> grade academy in 2008, while the remainder of the school will open in 2009. Atrisco Heritage Academy High School will relieve overcrowding at West Mesa High School.</p> <p>To address overcrowding at schools, APS will explore various alternatives. A combination or all of</p>					Loc No	School	2007-08 40th Day	2007-08 Capacity	Space Available	275	Painted Sky	1,069	1,000	-69	445	Jimmy Carter	1,185	1,200	15	570	West Mesa	2,749	2,632	-117
Loc No	School	2007-08 40th Day	2007-08 Capacity	Space Available																				
275	Painted Sky	1,069	1,000	-69																				
445	Jimmy Carter	1,185	1,200	15																				
570	West Mesa	2,749	2,632	-117																				



the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
  - Construct new schools or additions
  - Add portables
  - Use of non-classroom spaces for temporary classrooms
  - Lease facilities
  - Use other public facilities
- Improve facility efficiency (short term solution)
  - Schedule Changes
    - Double sessions
    - Multi-track year-round
  - Other
    - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
  - Boundary Adjustments / Busing
  - Grade reconfiguration
- Combination of above strategies

**All planned additions to existing educational facilities are contingent upon taxpayer approval**

**POLICE DEPARTMENT**

**FIRE DEPARTMENT**

No adverse comments

**PNM ELECTRIC & GAS**

**NO COMMENT**

**COMCAST**

No comments received

**QWEST**

No comments received

**ENVIRONMENTAL HEALTH**

No comments received

**M.R.G.C.D**

No Adverse Comments.

**OPEN SPACE DIVISION**

Open Space has no adverse comments

**CITY ENGINEER**

The Hydrology section has no objection to the extension request.

**TRANSPORTATION DEVELOPMENT**

No adverse comments.

**PARKS AND RECREATION**

No objection.

**ABCWUA**

No objection to Extension request.

**PLANNING DEPARTMENT**

Planning has no objection to extension of the Subdivision Improvement Agreement.

**IMPACT FEE ADMINISTRATOR**

No comment on the 1 year extension of the SIA and a two year extension of the sidev deferral. However, impact fees will be assessed at the time a permit is issued for each new home on each new lot. Using 2,000 sf for heated area and .05 acres for impervious acreage, the estimated impact fees will be approximately \$7,198.60.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

Cc: Rio Grande Engineering – 1606 Central SE Ste 201 – Albuquerque, NM 87106  
Cc: Monterey Land Group II, LLC – 5111 San Mateo – Albuquerque, NM 87109



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

August 1, 2007

**6. Project# 1003523**  
**07DRB-70154 SIDEWALK VARIANCE**

MONTEREY LAND GROUP II LLC request(s) the above action(s) for Land of Atrisco Grant, **PRIMA ENTRADA SUBDIVISION**, zoned SU-2 for RLT, located on 94<sup>th</sup> ST NW BETWEEN ENDEE RD NW AND SONTERRO AVE NW containing approximately 5.5 acre(s). (J-8 & J-9)

At the August 1, 2007, Development Review Board meeting, a sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file.

Sheran Matson, AICP, DRB Chair

Cc: Monterey Land Group II LLC, 5111 San Mateo Blvd NE, 87109  
Rio Grande Engineering, 2105 Golf Course Rd SE, Rio Rancho, NM 87124  
Marilyn Maldonado, Planning Department, 4<sup>th</sup> Floor, Plaza del Sol Bldg.  
File

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003523**

**AGENDA ITEM NO: 6**

**SUBJECT:**

Sidewalk Variance

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

**RESOLUTION:**

APPROVED ; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** AUGUST 1, 2007  
505-924-3986

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**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
August 1, 2007  
DRB Comments**

**ITEM # 6**

**PROJECT #1003523**

**APPLICATION # 07-70154**

**RE: Prima Entrada Subdivision/SWV**

Planning has no objection to the request.



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Sheran Matson, AICP

DRB Chair

924-3880 smatson@cabq.gov

#18



# DRB CASE ACTION LOG (FINAL PLAT)

REVISED 9/28/05

Comp #5 10/30/06

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01529 (FP)

Project # 1003523

Project Name: PRIMA ENTRADA SUBDIVISION

Agent: Wayjohn Surveying Inc.

Phone No.: 255-2052

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/25/06 by the DRB with delegation of signature(s) to the following departments. **OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

- TRANSPORTATION: ~~ok~~ X VERIFICATION of S.W. WAIVER IS NOT NEEDED
- ~~ok~~ X ENTRADA VISTA ENTRANCE
- ~~ok~~ X TRACT 'A' DRAINAGE AGREEMENT TO CITY OF ALB
- ~~ok~~ X M & B of all HOA Tracts (Fix note)
- ~~ok~~ X Amaya Signature

- UTILITIES:
- 
- 
- 

- CITY ENGINEER / AMAFCA:
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- 
- 

- PARKS / CIP:
- 
- 
- 

- PLANNING (Last to sign): AGIS dxfr ✓  
record
- 
- 
- 

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Called Agent 10/30/06 #5

Project Number

1003523

#18



# DRB CASE ACTION LOG (FINAL PLAT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01529 (FP)

Project # 1003523

Project Name: PRIMA ENTRADA  
SUBDIVISION

Agent: Wayjohn Surveying Inc.

Phone No.: 255-2052

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/25/06 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

- TRANSPORTATION: X WAVELETION of S.W. WAIVER IS NOT NEEDED
- X ENTRADA VISTA ENTRANCE
- X TRACT 'A' DRAINAGE AGREEMENT TO CITY OF ALB
- X M & B of all HOA Tracts (Fix note)
- Amara signature

- UTILITIES: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- CITY ENGINEER / AMAFCA: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- PARKS / CIP: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- PLANNING (Last to sign): AGIS dxf
- record
- \_\_\_\_\_
- \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

OK

Project Number 1003523

**3523**

### DXF Electronic Approval Form

DRB Project Case #: 1003523

Subdivision Name: PRIMA ENTRADA

Surveyor: DAVID R VIGIL

Contact Person: JOHN GALLEGOS

Contact Information: 898-0616

DXF Received: 10/30/2006

Hard Copy Received: 10/30/2006

Coordinate System: NMSP Grid (NAD 27)

  
Approved

10.30.2006  
Date

\* The DXF file cannot be accepted (at this time) for the following reason(s):

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**AGIS Use Only**  
Copied fc **3523** to agiscov on **10/30/2006** Contact person notified on **10/30/2006**





2. **Project # 1002984**  
06DRB-01386 Major-Vacation of Pub  
Right-of-Way

ROBERT J. POWERS request(s) the above action(s) for all or a portion of Lot(s) 21, Block(s) 2, **VOLCANO CLIFFS, UNIT 2**, zoned R-1, located on KIMBERLITE NW, between CLIFF RD NW and POPO NW containing approximately 1 acre(s). (E-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

3. **Project # 1004989**  
06DRB-01411 Major-Preliminary Plat  
Approval  
06DRB-01412 Major-Vacation of Public  
Easements  
06DRB-01413 Minor-Subd Design (DPM)  
Variance  
06DRB-01414 Minor-Sidewalk Waiver  
06DRB-01415 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for MESA VERDE DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) A, UNIT 2, **WILDERNESS @ HIGH DESERT** (to be known as **WILDERNESS CANON @ HIGH DESERT**) zoned SU-2, HD/R-R, located on HIGH DESERT PL NE, between TRAILHEAD RD NE and EMBUDITO VIEW CT NE containing approximately 4 acre(s). [REF: 06DRB-00933, 04DRB-00713,, 04DRB-01723] [*Deferred from 10/25/06*] (F-23) **DEFERRED AT THE BOARD'S REQUEST TO 11/8/06.**

4. **Project # 1005179**  
06DRB-01417 Major-Amnd SiteDev Plan  
BldPermit

MAHLMAN STUDIO ARCHITECTURE agent(s) for CITY OF ALBUQUERQUE OFFICE OF SENIOR AFFAIRS, request(s) the above action(s) for all or a portion of Lot(s) 1-A-2, ATRISCO BUSINESS PARK, UNIT 2 (to be known as **LOS VOLCANES FITNESS CENTER**) zoned SU-1 FOR SENIOR CENTER, located on LOS VOLCANES RD NW, between AIRPORT NW and COORS NW containing approximately 3 acre(s). (J-10) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PARKING ISSUES AND SIDEWALK EASEMENT QUESTION AND PLANNING FOR 3 COPIES OF THE PLAN AND COMMENTS IN THE FILE.**

5. **Project # 1005031**  
06DRB-01077 Major-Vacation of Public Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] [Deferred from 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/29/06.**

- 06DRB-01017 Major-Preliminary Plat Approval  
06DRB-01018 Minor-Temp Defer SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) [Deferred from 8/9/06 & 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/29/06.**

- 06DRB-01282 Minor-Subd Design (DPM) Variance

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018, DRB-01077] [Deferred from 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/29/06.**

6. **Project # 1005070**  
06DRB-01154 Major-Preliminary Plat Approval  
06DRB-01156 Minor-Sidewalk Waiver  
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). [Deferred from 9/6/06 & 9/13/06 & 9/27/06 & 10/11/06 & 10/25/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/29/06.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1003272**  
06DRB-01509 Minor-SiteDev Plan  
BldPermit

CLAUDIO VIGIL ARCHITECTS agent(s) for AMERI-CONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) 2-A-1-B-2-B-1, **ALBUQUERQUE WEST, UNIT 2**, zoned SU-1 FOR C-3 USES, located on EAGLE RANCH RD NW, between PASEO DEL NORTE NW and ALL SAINTS NW containing approximately 1 acre(s). [REF: 06DRB01253] (C-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK EASEMENTS ALONG HIGH ASSETS AND EAGLE RANCH ROAD, PICTURES OF PERMANENT CURVE AND UTILITIES DEVELOPMENT FOR RESOLUTION OF SEWER SERVICE AND 3 COPIES OF THE SITE PLAN.**
  
8. **Project # 1004644**  
06DRB-01189 Minor-SiteDev Plan  
Subd/EPC

CONSENSUS PLANNING INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of, THE TRAILS, UNIT 2, SANTA FE 3, (to be known as **THE TRAILS, UNIT 9A**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [Deferred from 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06] (C-9) **WITHDRAWN AT THE AGENT'S REQUEST.**
  
9. **Project # 1004872**  
06DRB-01491 Minor-SiteDev Plan  
BldPermit/EPC

DENISH & KLINE ASSOCIATES agent(s) for FOREST CITY COVINGTON NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) within the NW ¼ of the NW ¼ of Section 22, T9N, R3E, NMPM, Mesa Del Sol Employment Center, Phase I, **MESA DEL SOL, BUILDINGS 2 & 3**, zoned SU-1/IP Uses, located on University Blvd Extension SE between Street C SE and Street D SE containing approximately 12 acre(s). [Catalina Lehner, EPC Case Planner] [Deferred from 10/18/06] (R-16) **WITH THE SIGNING OF THE**

INFRASTRUCTURE LIST DATED 10/25/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/10/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND COMPLETION OF AMENDMENT TO UTILITY DEVELOPMENT AGREEMENT AND PLANNING FOR 3 COPIES OF THE SITE PLAN.

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

10. **Project # 1000029**  
06DRB-01517 Minor-Extension of Preliminary Plat

BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND AND TRUST request(s) the above action(s) for all or a portion of Lot(s) C and B-1A-1, **DUKE CITY LUMBER COMPANY ADDITION** and Lot(s) D-1-A, **ARBOLERA DE VIDA, PHASE 2**, zoned S-M1, S-DR, located on Bellamah Ave NW between 19<sup>th</sup> St NW and 18<sup>th</sup> St NW containing approximately 25 acre(s). [REF: 05DRB-01681] (H-13) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

11. **Project # 1001656**  
06DRB-01510 Minor-Prelim&Final Plat Approval

SANTIAGO ROMERO JR. agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT request(s) the above action(s) for all or a portion of Tract(s) A & L, Parcels 1-5, **DOUBLE EAGLE II AIRPORT**, zoned SU-1 Airport Related Facilities, located west of Paseo De Vulcan NW and north of Double Eagle II Airport containing approximately 3, 489 acre(s). [REF: 02DRB00710] (C-4, C-5, D-5, D-6, E-4, E-5, E-6, G-4, G-5 & G-6) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SHOWING OF ACCESS FOR PARCELS 1-5 AND PLANNING FOR NOTICE OF SUBDIVISION PLAT CONDITIONS DOCUMENT AND TO RECORD.**

12. **Project # 1003757**  
06DRB-01522 Minor-Prelim&Final Plat  
Approval

ISAACSON & ARFMAN PA agent(s) for CREAMLAND LLC request(s) the above action(s) for Lot(s) 1-12, Block(s) 4, FRANCISCAN ADDITION and Lot(s) 1-7, Block(s) 2, ALVARADO ADDITION and Lot(s) 1-7, Block(s) 7, ALVARADO ADDITION and VACATED HAINES AVE RIGHT-OF-WAY (to be known as **TRACT A, LANDS OF CREAMLAND LLC**) zoned M-1 light manufacturing zone, located on MCKNIGHT AVE NW, between 2<sup>ND</sup> ST NW and 3<sup>RD</sup> ST NW containing approximately 3 acre(s). [REF: 04DRB-01688] (H-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/25/06 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

13. **Project # 1005219**  
06DRB-01516 Minor-Prelim&Final Plat  
Approval

WAYJOHN SURVEYING agent(s) for DAVID HILLSON request(s) the above action(s) for all or a portion of Tract(s) A-1, **WAGGOMAN-DENISON ADDITION**, zoned C-2, located on Wyoming Blvd SE between Central Ave SE and Zuni Rd SE containing approximately 2 acre(s). (K-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS EASEMENTS AND DRIVE PAD CONSOLIDATION AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**

14. **Project # 1005147**  
06DRB-01527 Minor-Prelim&Final Plat  
Approval

B. KAY SHAFER request(s) the above action(s) for all or a portion of Lot(s) 47, **UNIT 3 MCDONALD ACRES**, zoned R-1 residential zone, located on PHOENIX AVE NW, between 9<sup>TH</sup> ST NW and 10<sup>TH</sup> ST NW containing approximately 1 acre(s). [REF: 06DRB-01342] (H-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

15. **Project # 1004924**  
06DRB-01514 Minor-Final Plat Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Tract(s) B, **FEDERAL PLAZA**, zoned SU-1 FOR O-1 USES, located on HOMESTEAD RD NE, between MONTGOMERY BLVD NE and SAN MATEO BLVD NE containing approximately 4 acre(s). [REF: 06DRB-01181, 06DRB-01274, 06DRB-01273] (G-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR MAINTENANCE OF NOTE 14 PUBLIC SIDEWALK EASEMENT.**

16. **Project # 1004739**  
06DRB-01511 Minor-Final Plat Approval

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 4, Trails, Unit 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**), zoned SU-2-UR, located on Oakridge St NW between Rainbow Blvd NW and Universe Blvd NW containing approximately 19 acre(s). [REF: 06DRB-01382, 06DRB-01383, 06DRB-01384] (C-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR NMU INC SIGNATURE AND TO RECORD.**

17. **Project # 1002730**  
06DRB-01521 Minor-Final Plat Approval

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS II LLC request(s) the above action(s) for all or a portion of Lot(s) 13-A-1, Block(s) 6, Tract(s) 3, **NORTH ALBUQUERQUE ACRES UNIT 3** (to be known as **VILLA FIRENZE**) zoned R-D, located on CORONA AVE NE, between VENTURA ST NE and MENDOCINO DR NE containing approximately 4 acre(s). [REF: 06DRB-01204] *[Deferred from 10/25/06]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 11/8/06.**

18. **Project # 1003523**  
06DRB-01529 Major-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for MONTEREY LAND GROUP II, LLC request(s) the above action(s) for all or a portion of Lot(s) 30, 31, 32 & 33, LANDS OF ATRISCO GRANT, UNIT 3 (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2/RLT, located on 98<sup>th</sup> St NW between Endee Rd NW and Interstate 25 containing approximately 14 acre(s). [REF: 05DRB01369] (J-8, J-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR VERIFICATION IF SIDEWALK WAIVER IS NOT NEEDED, ENTRADA VISTA ENTRANCE, TRACT A DRAINAGE EASEMENT TO CITY OF ALBUQUERQUE AND MAINTENANCE AND BENEFICIARIES OF ALL HOME OWNERS ASSOCIATION TRACTS (FIX NOTE), AMAFCA'S SIGNATURE AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**

19. **Project # 1004675**  
06DRB-01518 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for MONTEREY LAND GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) 1, SP KINSCHERFFLAND and SW ¼ ON NE ¼, SEC 35, T11N, R2E (to be known as **VISTA DE LA LUZ**) zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAIL NW and DELLYNE AVE NW containing approximately 28 acre(s). [REF: 06DRB-00836, 06DRB-01026, 01027, 01028, 01029 & 01030] (F-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA'S SIGNATURE AND TO RECORD.**

20. **Project # 1002567**  
06DRB-01523 Minor-Final Plat Approval

ADVANCED ENGINEERING & CONSULTING agent(s) for STEVE KIRK request(s) the above action(s) for all or a portion of Lot(s) 5-A & 5-B, COLEMAN ADDITION (to be known as **HACIENDA DE LOIS SUBDIVISION**) zoned R-2 residential zone, located on 12<sup>TH</sup> ST NW, between MENAUL EXTENSION NW and LA POBLANA NW containing approximately 1 acre(s). [REF: 06DRB-00726] (H-13)



**FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

**21. Project # 1004240**

06DRB-01524 Major-Final Plat Approval  
06DRB-01525 Minor-Subd Design (DPM)  
Variance

ADVANCED ENGINEERING AND CONSULTING agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 & A-2, **LANDS OF E. MAS**, zoned SU-1 for C-1 and R-1, located on Indian School Rd NW between Meadow View Dr NW and Rio Grande Blvd NW containing approximately 5 acre(s). [REF: 05DRB-00918] (H-13) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EASEMENT ADJUSTMENTS AND A NOTE TO ADD CURB AND SIDEWALK MAINTENANCE AND PLANNING FOR AGIS DXF FILE AND TO RECORD. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

**22. Project # 1003004**

06DRB-01512 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for STILLBROOKE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 414, 415-B, 415-C, 415-D & 41, ATRISCO GRANT UNIT 3 (to be known as **STINSON PARK SUBDIVISION**) zoned R-D residential and related uses zone, developing area, located on TOWER RD SW, between UNSER BLVD SW and STINSON ST SW containing approximately 15 acre(s). [REF: 04DRB-01974, 04DRB-01975, 05DRB-01776] (L-10) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR OPEN SPACE NOTE AND PAYMENT AND TO PLANNING TO RECORD.**

23. **Project # 1003991**  
06DRB-01513 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for FD SAGE MARKET PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) A-1-C, TOWN OF ATRISCO GRANT, UNIT 7 (to be known as **SAGE RANCH SUBDIVISION**) zoned R-LT, located on Snow Vista Blvd SW between Sage Rd SW and Reba Ave SW containing approximately 4 acre(s). [REF: 05DRB-01293, 05DRB-01294, 06DRB-00437] (M-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR RESOLVING ISSUES WITH EXISTING 20-FOOT WATER LINE EASEMENT AND 7-FOOT PUE EASEMENT ON TRACT A AND PLANNING FOR HOME OWNER'S ASSOCIATION PRESIDENT'S SIGNATURE ON THE PLAT AND TO RECORD.**

24. **Project # 1002632**  
06DRB-01409 Major-Final Plat Approval

TIERRA WEST LLC agent(s) for CAPITAL ALLIANCE INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 3-9, 12, 23 & 24, Block(s) 5, Tract(s) A & 5, SUNDANCE ESTATES, UNIT 1 (to be known as **SUNDANCE ESTATES, UNIT 1-B**) zoned R-LT, located on LYON BLVD NW, between PARADISE BLVD NW and UNSER NW containing approximately 11 acre(s). [REF: 03EPC-00690, 03DRB-01306, 04DRB-00760, 04DRB-00761, 04DRB-01761] [*Deferred from 10/11/06 & Deferred at the Board's request from 10/18/06*] (B-11) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR NATIONAL PARK SERVICE LETTER AND PLANNING TO RECORD. THIS PLAT IS NOT WITHIN THE BOUNDARIES OF THE PETROGLYPH NATIONAL MONUMENT.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

25. **Project # 1005220**  
06DRB-01519 Minor-Sketch Plat or Plan

HARRIS SURVEYING INC. agent(s) for JOHN S. PALONI request(s) the above action(s) for **UNPLATTED LAND**, zoned M-1, located on MENAUL BLVD NE, between the

NORTH FRONTAGE RD NE and UNIVERSITY BLVD NE containing approximately 7 acre(s). (H-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. **Project # 1005221**  
06DRB-01520 Minor-Sketch Plat or Plan

PRECISION SURVEYS INC., agent(s) for JOURNAL PUBLISHING COMPANY request(s) the above action(s) for Tract(s) 5-B-1-A-1, 5-B-1-A-2, 5-B-1-B (to be known as **JOURNAL CENTER, TRACTS 5-B-1-A-1-B, 5-B-1-A-2-B & 5-B-1-B-2**) zoned IP, located on JEFFERSON ST NE and TIBURON ST NE containing approximately 12 acre(s). (D-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

27. Approval of the Development Review Board Minutes for October 18, 2006. **THE DRB MINUTES FOR OCTOBER 18, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 1:50 P.M.



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003523**

**AGENDA ITEM NO: 18**

**SUBJECT:**

Final Plat

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

This project is subject to a boundary dispute. It cannot be approved until that dispute is resolved without prejudice.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

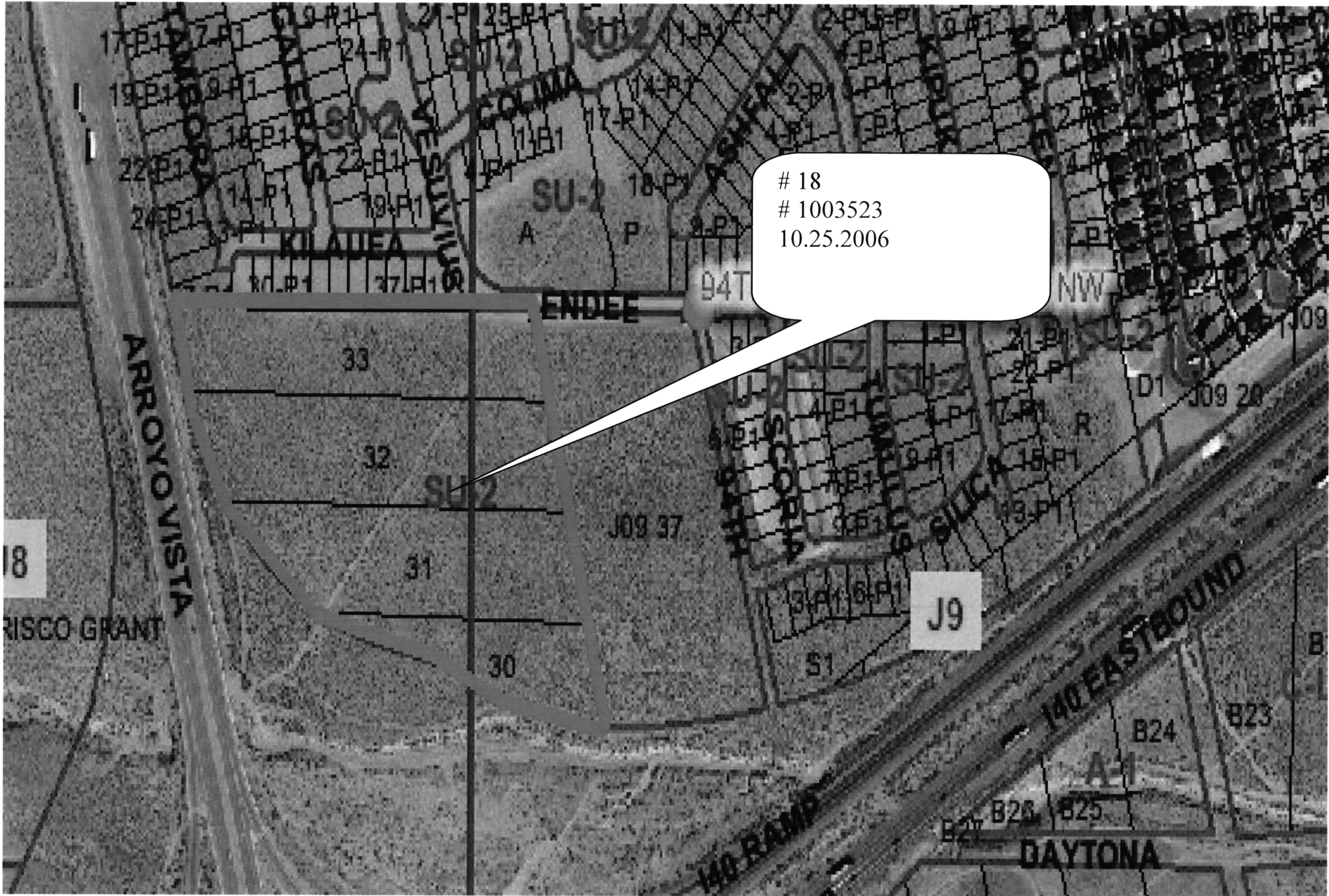
**RESOLUTION:**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** OCTOBER 25, 2006



# 18  
# 1003523  
10.25.2006

18

RISCO GRANT

J9

140 EASTBOUND

DAYTONA

Complete Ag 7/3/06



# DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB01368 (SPS)  
Project Name: PRIMA ENTRADA SUBD  
Agent: RIO GRANDE ENGINEERING

Project # 1003523  
Phone No.: 872-0999

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 11/30/05 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

UTILITIES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): 15 day appeal ok  
3 Copies ok  
\_\_\_\_\_  
\_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1003523

~~15~~



# DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB01368 (S) (S)

Project # 1003523

Project Name: PRIMA ENTRADA SUBD

Agent: RIO GRANDE ENGINEERING

Phone No.: 872-0999

Your request for (SDP for SUB), (SDP or BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 11/30/05 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): 15 day appeal

3 Copies  
 \_\_\_\_\_  
 \_\_\_\_\_

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk): RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages.

- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number 1003523



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

November 30, 2005

### 5. Project # 1003523

05DRB-01369 Major-Preliminary Plat Approval  
05DRB-01368 Major-SiteDev Plan Subd  
05DRB-01370 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for GHP, LLC request(s) the above action(s) for LOT 30, 31, 32 and 33, LANDS OF ATRISCO GRANT, UNIT 3, (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2 FOR R-LT, located on 98<sup>TH</sup> ST NW, between ENDEE RD NW and I-25 NW containing approximately 17 acre(s). [REF:04EPC-01003, 04EPC-01352, 04EPC-01489] *[Deferred from 9/28/05 & 11/2/05 & 11/9/05 & 11/23/05](J-8)*

At the November 30, 2005, Development Review Board meeting, with the signing of the infrastructure list dated 11/30/05 and approval of the grading plan engineer stamp dated 11/21/05 the preliminary plat was approved with the following conditions of final plat approval:

P-1 lot designations.

Entrada Vista Court shall become a private access easement. Maintenance and Beneficiary Statement shall be placed on the plat.

A sidewalk waiver shall be applied for.

The Home Owners Association or the owner's signature is required on the final plat.

The zoning designation shall be on the final plat.

The site plan for subdivision was approved with final sign off delegated to Planning for the 15-day appeal period and 3 copies of the site plan.

The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by December 15, 2005, in the manner described below.





## OFFICIAL NOTICE OF DECISION

PAGE 2

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

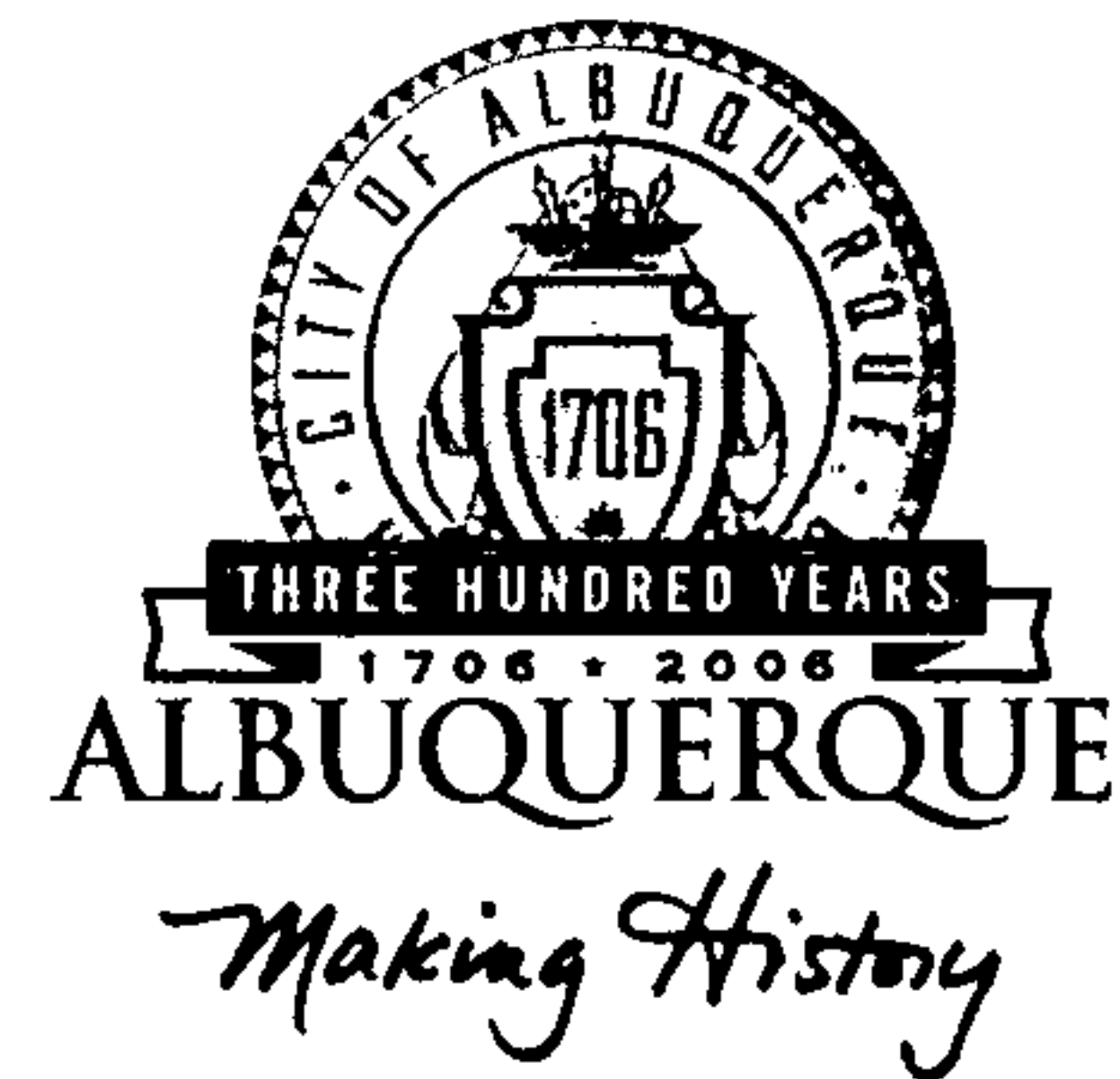
You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Sheran Matson, AICP, DRB Chair

Cc:GHP, LLC, 7600 Pan American Freeway, 87109  
Rio Grande Engineering, 1606 Central SE, Suite 201, 87106  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
File

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003523**

**AGENDA ITEM NO: 5**

**SUBJECT:**

Site Plan for Subd  
Sidewalk Deferral  
Preliminary Plat

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

**ENGINEERING COMMENTS:**

Albuquerque

An approved drainage report dated 11-21-05 is on file for Preliminary Plat approval.  
Comments on infrastructure list, plat, Site Plan.

New Mexico 87103

**RESOLUTION:**

APPROVED  <sup>signal I.L</sup>; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** November 30, 2005

# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003523 AGENDA#: 5 DATE: 11.30.05

1. Name: David Sault Address: RAH Zip: \_\_\_\_\_

2. Name: Letter Man Address: \_\_\_\_\_ Zip: \_\_\_\_\_

3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 23, 2005

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:30 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- Project # 1003885**  
05DRB-01674 Major-Vacation of Pub  
Right-of-Way  
05DRB-01676 Major-Preliminary Plat  
Approval  
05DRB-01675 Minor-Subd Design (DPM)  
Variance  
FAMILY HOUSING DEVELOPMENT agent(s) for CITY OF ALBUQUERQUE, METROPOLITAN REDEVELOPMENT, request(s) the above action(s) for all or a portion of Block(s) 13, Lot(s) 4-7, 9-12 and 21-24, PEREA ADDITION (to be known as **BELL TRADING POST HOMES**) zoned SU-2 TH, located on ROMA AVE NW, between 15<sup>TH</sup> ST NW and 16<sup>TH</sup> ST NW containing approximately 1 acre(s). [REF: 05ZHE-00271, 05ZHE-00273, 05ZHE-00274, 05DRB-00057][Deferred from 11/23/05. (J-13) **DEFERRED AT THE AGENT'S REQUEST TO 11/30/05.**

2. **Project # 1004522**  
05DRB-01667 Major-Vacation of Pub  
Right-of-Way

SURVEYS SOUTHWEST LTD agent(s) for VANGIE PAVLAKOS request(s) the above action(s) for all or a portion of Lot(s) A, Block(s) 2, **MESA VERDE ADDITION**, zoned C-2 community commercial zone, located on RHODE ISLAND ST NE, between CENTRAL AVE NE and TENNESSEE ST NE containing approximately 1 acre(s). [REF: ZA-94-315] (K-19) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A CONDITION OF FINAL PLAT IS A PUBLIC SANITARY SEWER EASEMENT SHALL BE RETAINED.**

3. **Project # 1004526**  
05DRB-01678 Major-Vacation of Pub  
Right-of-Way

INEZ AUGILAR request(s) the above action(s) for all or a portion of Tract(s) 400, **TOWN OF ATRISCO GRANT, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on SAGE RD SW, between SAN IGNACIO RD SW and the AMOLE DEL NORTE SW containing approximately 2 acre(s). (L-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1000696**  
05DRB-01529 Major-Preliminary Plat  
Approval  
05DRB-01530 Minor-Sidewalk Waiver  
05DRB-01531 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for ICDC LLC request(s) the above action(s) for all or a portion of Tract(s) C, LEE'S BOSQUE SUBDIVISION (to be known as **BOSQUECITO SUBDIVISION**) zoned RD, located on BOSQUE MEADOWS BLVD NW, between LA ORILLA NW and PASEO DEL NORTE containing approximately 7 acre(s). [Deferred from 10/26/05 & 11/9/05 & 11/23/05] (D-12) **DEFERRED AT THE BOARD'S REQUEST TO 11/30/05.**

5. ~~Project # 1003523~~  
05DRB-01369 Major-Preliminary Plat  
Approval  
05DRB-01368 Major-SiteDev Plan Subd  
05DRB-01370 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for GHP, LLC request(s) the above action(s) for LOT 30, 31, 32 and 33, LANDS OF ATRISCO GRANT, UNIT 3, (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2 FOR R-LT, located on 98<sup>TH</sup> ST NW, between ENDEE RD NW and I-25 NW containing approximately 17 acre(s). [REF: 04EPC-01003, 04EPC-01352, 04EPC-01489] [Deferred from 9/28/05 & 11/2/05 & 11/9/05 & 11/23/05] (J-8) **DEFERRED AT THE BOARD'S REQUEST TO 11/30/05.**

6. **Project # 1002254**  
05DRB-01643 Major-SiteDev Plan  
BldPermit

JEFF MORTENSEN & ASSOCIATES INC agent(s) for PALMER INVESTMENTS & CORTLAND WALKER CONSTRUCTION INC., request(s) the above action(s) for all or a portion of Tract(s) 2A, BUENA VISTA ESTATES, UNIT 1 (to be known as **BEEHIVE VILLAGE**) zoned SU-2 IP, located on SAN PEDRO DR NE, between WILSHIRE AVE NE and CORONA AVE NE containing approximately 3 acre(s). [REF: 02DRB-01502, 02DRB-01503] [Deferred from 11/16/05] (C-18) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

7. **Project # 1004462**  
05DRB-01525 Major-Vacation of Public  
Easements  
05DRB-01524 Major-Preliminary Plat  
Approval  
05DRB-01526 Minor-Sidewalk Waiver  
05DRB-01527 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for REPLAT OF Tract(s) A, ANDALUCIA AT LA LUZ, (to be known as **ANDALUCIA @ LA LUZ, UNIT 3**) zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 13 acre(s). [REF: 05EPC-01115, 05EPC-01117] [Deferred from 10/26/06 & 11/2/05 & 11/9/05 & 11/16/05 & 11/23/05] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 11/30/05.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE:** IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. **Project # 1000316**  
05DRB-01652 Minor-SiteDev Plan  
Subd/EPC
- DEKKER PERICH SABATINI agent(s) for GSL PROPERTIES INC request(s) the above action(s) for all or a portion of Tract(s) A-C (formerly Tract(s) H, Parcel(s) A-C, (to be known as **COTTONWOOD APARTMENTS**) zoned SU-1 IP FOR C-2 & IP, located on SEVEN BAR LOOP NW, between OLD AIRPORT RD NW and COTTONWOOD DR NW containing approximately 17 acre(s). [REF: 00EPC00290, AX-85-28, Z-85-134, SD-78-3-2, Z-93-35] [**Carmen Marrone, EPC Case Planner**] [*Indef Deferred from 11/2/05 & 11/23/05*] (B-14) **DEFERRED AT THE AGENT'S REQUEST TO 11/30/05.**
- 05DRB-01742 Minor-Prelim&Final Plat  
Approval
- HUITT ZOLLARS INC. agent(s) for GSL PROPERTIES request(s) the above action(s) for all or a portion of Tract(s) A-C, **COTTONWOOD APARTMENTS**, zoned SU-1 IP FOR C-2 & IP, located on SEVEN BAR RANCH LOOP NW, between COTTONWOOD DR NW and COORS BLVD NW containing approximately 17 acre(s). [REF: 00DRB00737, 05DRB01652][*Deferred from 11/23/05*] (B-14) **DEFERRED AT THE AGENT'S REQUEST TO 11/30/05.**
9. **Project # 1004366**  
05DRB-01744 Minor-SiteDev Plan  
BldPermit/EPC
- CBL ARCHITECTS agent(s) for FAHIM ADI request(s) the above action(s) for all or a portion of Tract(s) C1A4 & C1A3, SEVEN BAR RANCH SUBDIVISION (to be known as **THE FALLS RESTAURANT**) zoned SU-1 IP, located on COTTONWOOD DR NW, between AMERICAN RD NW and NM 528 containing approximately 2 acre(s). REF: Z-79-146-5, V-97-106, 05EPC01262, DRB-97-248][**Stephanie Shumsky, EPC Case Planner**](A-14) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR VARIOUS COMMENTS AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

## MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project # 1002459**  
05DRB-01738 Minor-Prelim&Final Plat  
Approval
- TIERRA WEST LLC agent(s) for QUAIL RIDGE LLC request(s) the above action(s) for all or a portion of Tract(s) 3, 4, 2A, 3-A-1 & 4-A-1, **QUAIL RIDGE**, zoned SU-1 FOR COMM & RELATED C-2 USE, located on COORS BLVD NW, between OURAY RD NW and QUAIL RD NW containing approximately 4 acre(s). [REF: 03EPC00159, 03EPC00160, 04AA00871, 05DRB00615, 05DRB00616, 05AA01258, 05AA01259] (H-11) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**
11. **Project # 1004022**  
05DRB-01740 Minor-Prelim&Final Plat  
Approval
- WILKS COMPANY agent(s) for EDWARD G LOPEZ request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, **VISTA DEL SOL SUBDIVISION**, zoned R-1, located on CRESTVIEW DR SW, between CRESTVIEW PL SW and CENTRAL AVE SW containing approximately 1 acre(s). [REF: 05DRB00428] (K-11) **PRELIMINARY AND FINAL PLAT WAS APPROVED WTH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PROPERTY MANAGEMENT'S SIGNATURE.**
12. **Project # 1004528**  
05DRB-01739 Minor-Prelim&Final Plat  
Approval
- JOHN C LORENZO agent(s) for NORA G CHAVEZ request(s) the above action(s) for Tract(s) 180B2, 176A5B & 176B1, **LANDS OF JOE B AND NORA G CHAVEZ**, zoned RA-2 residential and agricultural zone, located on CAMILO LN NW and LEONORA NW and containing approximately 1 acre(s). (H-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CONSTRUCTION OF ESTATE CURB AND PLANNING FOR AGIS DXF FILE.**



13. **Project # 1001789**  
05DRB-01718 Minor-Prelim&Final Plat Approval
- PRECISION SURVEYS INC agent(s) for DASKALOS NOB HILL request(s) the above action(s) for all or a portion of Block(s) 6, Tract(s) 17-28, **MONTE VISTA**, zoned CCR, located on CENTRAL AVE NE, between TULANE NE and WELLESLEY NE containing approximately 1 acre(s).*[Deferred from 11/16/05 & 11/23/05]*(K-16) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
14. **Project # 1004546**  
05DRB-01735 Minor-Prelim&Final Plat Approval
- SURV-TEK, INC agent(s) for SOUTH COORS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) A-1A-3, **HUBBELL PLAZA**, zoned C-2, SC located on CENTRAL AVE NW, between COORS BLVD NW and AIRPORT RD NW containing approximately 4 acre(s). [REF: DRB-92-194] (K-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/23/05 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**
15. **Project # 1003861**  
05DRB-00731 Minor- Final Plat Approval
- SURVEYS SOUTHWEST LTD agent(s) for GARY & MELODIE EYSTER request(s) the above action(s) for all or a portion of Tract(s) 60-A-2, 60-B & 86-A, M.R.G.C.D. MAP 35, (to be known as **THE BOULEVARD @ RIO GRANDE**) zoned R-1, located on RIO GRANDE BLVD NW, between ZICKERT NW and INDIAN SCHOOL RD NW containing approximately 2 acre(s). [REF: ZA-29-251] *[Indef deferred 5/11/05 for SIA]* (H-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR EASEMENT LANGUAGE.**
16. **Project # 1004076**  
05DRB-01403 Minor- Final Plat Approval
- SURVEYS SOUTHWEST LTD agent(s) for HILTON AVENUE LOFTS LLC, JOHN EDGE request(s) the above action(s) for all or a portion of Lot(s) 11-14, Block(s) 23,

THOMAS ADDITION (to be known as **HILTON AVENUE LOFTS**) zoned R-LT residential zone, located on HILTON AVE NE, between HENDRIX RD NE and PARSIFAL ST NE containing approximately 1 acre(s). *[Indef deferred 9/14/05 for SIA]* (G-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR P.U.E. LANGUAGE AND MAINTENANCE AND BENEFICIARIES OF PRIVATE DRAINAGE EASEMENT FOR LOTS 1 & 9.**

- 17. Project # 1004178**  
05DRB-01013 Minor- Final Plat Approval

WAYJOHN SURVEYING INC., agent(s) for GREVEY INVESTMENTS, request(s) the above action(s) for all or a portion of Tract(s) D, E, F & G, Block(s) 27, (to be known as **MESA VILLAGE**) zoned C-1, C-2 and O-1, located on EUBANK BLVD NE between LOMAS BLVD NE and WALKER DR NE, containing approximately 5 acre(s). [REF: 05DRB00794] *[Indef deferred 6/22/05 for SIA]* (J-20) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

- 18. Project # 1004547**  
05DRB-01743 Minor-Sketch Plat or Plan

MARTIN M GALLEGOS request(s) the above action(s) for all or a portion of Lot(s) 1, 2, Block(s) 4, **LOWER BROADWAY ADDITION**, zoned SU-2 special neighborhood zone, located on ALAMO AVE SE, between MECHEM ST SE and WHEELER AVE SE containing approximately 1 acre(s). (M-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

- 19. Approval of the Development Review Board Minutes for November 9, 2005. THE DRB MINUTES FOR NOVEMBER 9, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:30 A.M.

# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003523 AGENDA#: 5 DATE: 11.23.05

1. Name: David Sauls Address: Les Bards Edge Zip: \_\_\_\_\_

2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

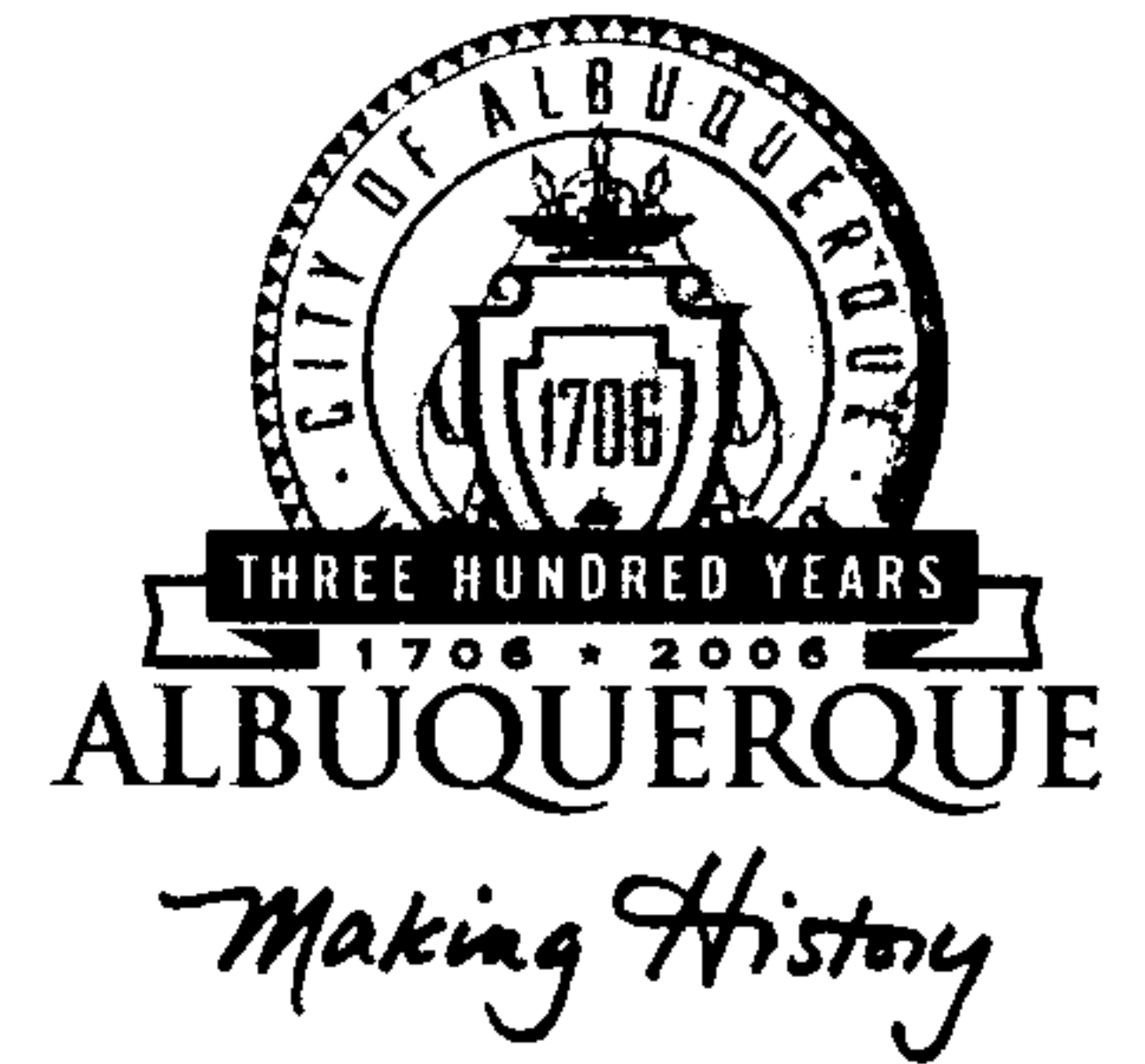
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1003523**

**AGENDA ITEM NO: 5**

**SUBJECT:**

Site Plan for Subd  
Sidewalk Variance  
Sidewalk Deferral  
Preliminary Plat

**ACTION REQUESTED:**

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

Albuquerque

**ENGINEERING COMMENTS:**

An approved drainage report is required for Preliminary Plat approval.  
An approved infrastructure list is required for Preliminary Plat approval.

New Mexico 87103

**RESOLUTION:**

11-30-05

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** November 23, 2005



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 9, 2005

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:20 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1001875**  
05DRB-01607 Major-Two Year SIA

TIERRA WEST LLC agent(s) for ARGUS DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 2, KINSCHERFF & UNPLATTED LAND OF PRESLEY CO OF N.M. (to be known as **WESTERN TRAILS ESTATES**, zoned SU-1 FOR PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and SAN ANTONIO ARROYO containing approximately 22 acre(s). [REF: 02DRB-00570, 02EPC-00838, 02DRB-01493, 02DRB-01495, 02DRB-01507, 02DRB-01508] (F-11) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1002848**  
05DRB-01620 Major-Two Year SIA

TIERRA WEST LLC agent(s) for P J DEVELOPMENT COMMERCIAL CONSTRUCTION request(s) the above action(s) for all or a portion of Tract(s) A1 & B1, **AMERICAN TOYOTA**, zoned SU-2, SU-1, located on ALAMEDA BLVD NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 5 acre(s). [REF: 03DRB0127, DRB-95-75,04DRB00571] (C-18) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED. THIS WILL BE THE LAST EXTENSION.**

3. **Project # 1000650**  
05DRB-01067 Major-SiteDev Plan  
BldPermit

TIERRA WEST LLC agent(s) for DOUBLE CHEESE CORP request(s) the above action(s) for all or a portion of Tract(s) 1A2, **LANDS OF LAMONICA**, zoned SU-1/C-1 permissive use, located on COORS BLVD SW, between LAMONICA RD SW and RIO BRAVO BLVD SW containing approximately 2 acre(s). [*Deferred from 7/20/05. Indefinitely deferred on a no show on 8/10/05*] (P-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION TO UPDATE TIS AND TO PLANNING TO ADDRESS COMMENTS AND 3 COPIES OF THE SITE PLAN.**

4. **Project # 1000560**  
05DRB-01501 Major-SiteDev Plan  
BldPermit

TIERRA WEST LLC agent(s) for IRONSTONE BANK request(s) the above action(s) for all or a portion of Tract(s) 1A2A1, JOURNAL CENTER (to be known as **IRONSTONE BANK**) zoned IP industrial park zone, located on LANG AVE NE, between JEFFERSON ST NE and HEADLINE BLVD NE containing approximately 5 acre(s). [REF: Z-72-33, 05DRB00680][*Deferred from 10/26/05 & 11/2/05*] (D-17) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/9/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES OF THE SITE PLAN AND TRANSPORTATION DEVELOPMENT FOR ACCESS CLOSURE AGREEMENT.**

5. **Project # 1001370**  
05DRB-01619 Major-Vacation of Public  
Easements

MARK GOODWIN & ASSOCIATES agent(s) for JTH LLC request(s) the above action(s) for all or a portion of Tract(s) 5, **JUAN TABO HILLS, UNIT 1**, zoned R-D residential and related uses zone, developing area, located on JUAN TABO BLVD SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 102 acre(s). [REF: S-98-30, DRB-98-20, AX-80-10, Z-80-30] (M-21) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

6. **Project # 1000696**  
05DRB-01529 Major-Preliminary Plat  
Approval  
05DRB-01530 Minor-Sidewalk Waiver  
05DRB-01531 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for ICDC LLC request(s) the above action(s) for all or a portion of Tract(s) C, LEE'S BOSQUE SUBDIVISION (to be known as **BOSQUECITO SUBDIVISION**) zoned RD, located on BOSQUE MEADOWS BLVD NW, between LA ORILLA NW and PASEO DEL NORTE containing approximately 7 acre(s). [*Deferred from 10/26/05 & 11/9/05*] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 11/23/05.**

7. **Project # 1004387**  
05DRB-01332 Major-Vacation of Pub  
Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). [*Deferred from 9/14/05 & 10/5/05 & 11/9/05*] (J-15) **DEFERRED AT THE AGENT'S REQUEST TO 12/14/05.**

8. **Project # 1003523**  
05DRB-01369 Major-Preliminary Plat  
Approval  
05DRB-01368 Major-SiteDev Plan Subd  
05DRB-01370 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for GHP, LLC request(s) the above action(s) for LOT 30, 31, 32 and 33, LANDS OF ATRISCO GRANT, UNIT 3, (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2 FOR R-LT, located on 98<sup>TH</sup> ST NW, between ENDEE RD NW and I-25 NW containing approximately 17 acre(s). [REF: 04EPC-01003, 04EPC-01352, 04EPC-01489] [*Deferred from 9/28/05 & 11/2/05 & 11/9/05*] (J-8) **DEFERRED AT THE AGENT'S REQUEST TO 11/23/05.**

9. **Project # 1004462**  
05DRB-01525 Major-Vacation of Public  
Easements  
05DRB-01524 Major-Preliminary Plat  
Approval  
05DRB-01526 Minor-Sidewalk Waiver  
05DRB-01527 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for REPLAT OF Tract(s) A, ANDALUCIA AT LA LUZ, (to be known as **ANDALUCIA @ LA LUZ, UNIT 3**) zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 13 acre(s). [REF: 05EPC-01115, 05EPC-01117] [*Deferred from 10/26/06 & 11/2/05 & 11/9/05*] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 11/16/05.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

10. **Project # 1000551**  
05DRB-01544 Minor-SiteDev Plan  
BldPermit/EPC

DAC ENTERPRISE INC agent(s) for MOHAMED KASSAM request(s) the above action(s) for all or a portion of Tract(s) A2A & A2B, PARK SQUARE ADDITION, (to be known as **UPTOWN HOTEL**) zoned SU-3, located on AMERICAS PARKWAY NE, between I-40 and INDIAN SCHOOL RD NE containing approximately 4 acre(s). [REF: Z-95-70, DRB-98-176, 04EPC-00690] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 10/12/05 & 10/26/05 & 11/9/05*] (J-18) **DEFERRED AT THE AGENT'S REQUEST TO 11/16/05.**



11. **Project # 1003747**  
05DRB-01550 Minor-SiteDev Plan  
Subd/EPC  
05DRB-01551 Minor-SiteDev Plan  
BldPermit/EPC

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1, 4 & 5, WYOMING MALL (to be known as **WALMART**) zoned C-2 (SC), located on WYOMING BLVD NE, between MENAUL BLVD NE and NORTHEASTERN ST NE containing approximately 31 acre(s). [REF: ZA-99-017, ZA-79-214, ZA-78-225, ZA-84-226, ZA-78-143, ZA-14-95,, DRB-97-319, 05EPC-00024, 05EPC-00025] **[Carmen Marrone, EPC Case Planner]** *[Deferred from 10/12/05 & 10/26/05]* (H-20) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/9/05 THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES OF THE SITE PLANS AND TRANSPORTATION DEVELOPMENT FOR ENTRANCE AT BLACK ANGUS AND REMOVAL OF QWIK CURB.**

05DRB-01685 Minor-Prelim&Final Plat  
Approval

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1, 4 & 5, WYOMING MALL (to be known as **WALMART**) zoned C-2 (SC), located on WYOMING BLVD NE, between MENAUL BLVD NE and NORTHEASTERN ST NE containing approximately 31 acre(s). [REF: 05DRB-01550, 05DRB-01551] (H-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECORDING INFORMATION FOR "ECR'S" AND TO PLANNING FOR AGIS DXF FILE.**

12. **Project # 1000500**  
05DRB-01689 Minor-SiteDev Plan  
BldPermit/EPC

CITY PLANNING DEPARTMENT agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Block(s) 0000, CA SPORTS STADIUM PARK, (to be known as **ABQ SPORTS COMPLEX**) zoned SU-1 SPORTS COMPLEX, RESTAURANT, LOUNGE & RELATED FACILITIES, located on AVENIDA CESAR CHAVEZ SE, between UNIVERSITY BLVD SE and BUENA VISTA BLVD SE containing approximately 26 acre(s). [REF: Z-83-16] (L-15) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RESOLUTION OF PARKING RAMP ISSUES AND ADA RAMP NOTES.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

13. **Project # 1000029**  
05DRB-01681 Minor-Extension of Preliminary Plat
- BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND & TRUST request(s) the above action(s) for all or a portion of Lot(s) C, B-1A-1 OF **DUKE CITY LUMBER CO ADDITION** and Lot(s) D-1-A, of **ARBOLERA DE VIDA PHASE 2**, zoned S-M1, S-DR, located on BELLAMAH AVE NW, between 19TH ST NW and 18TH ST NW containing approximately 26 acre(s). [REF: 04DRB01651 ] (H-13) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**
14. **Project # 1000296**  
05DRB-01682 Minor-Ext of SIA for Temp Defer SDWK
- BYRD CONSTRUCTION INC request(s) the above action(s) for all or a portion of Lot(s) 106P1, **OXBOW PARK SUBDIVISION**, zoned R-1 residential zone, located on ALAMOGORDO DR NW, between ST JOSEPH NW and TUCSON NW containing approximately 1 acre(s). (G-11) **A ONE-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
15. **Project # 1002819**  
05DRB-01506 Minor-Prelim&Final Plat Approval
- TIM ALDRICH agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) E-6-A, **ALBUQUERQUE SOUTH UNIT 3**, zoned SU-1, R-2, R-T, located on 98<sup>TH</sup> STREET SW, between GIBSON BLVD SW and BLAKE RD SW containing approximately 31 acre(s). [REF: 03DRB-01183, 03DRB-01180] [*Deferred from 10/5/05 & 10/12/05 & 10/19/05 & 10/26/05*] (N-9) **WITHDRAWN AT THE AGENT'S REQUEST.**

16. **Project # 1003238**  
05DRB-01666 Major-Final Plat Approval

TIERRA WEST agent(s) for EVERGREEN DURANES LTD CO LLC request(s) the above action(s) for Lot(s) 42-AP1 and 44-AP1 thru 57-AP1, **FLORAL MEADOWS**, zoned R-LT residential zone, located on I-40, between RIO GRANDE NW and MONTOYA ST NW containing approximately 2 acre(s). [REF: Z-71-118, 04EPC-00156,, 04EPC-00157, 04DRB-00661, 04DRB-01227, 05DRB-01489] (H-12/H-13) **THE FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

17. **Project # 1004434**  
05DRB-01687 Minor-Prelim&Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for MS DEV ONE LLC request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF JACK F CULLY (to be known as **EL POTRERO PROPERTIES**) zoned RA-2, located on EL PORTERO RD NW, between TIERRA VIVA NW and MONTANO NW containing approximately 2 acre(s). [REF: 05DRB-01475] (F-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR M.R.G.C.D. SIGNATURE AND ESTATE CURB AND TO PLANNING FOR AGIS DXF FILE AND ZONING DATA.**

18. **Project # 1003883**  
05DRB-01000 Minor- Final Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for CARL J BETTINGER ETAL, request(s) the above action(s) for all or a portion of Lot(s) 9, Tract(s) 9-A-1A-2, JOURNAL CENTER PHASE 2, UNIT 1, (to be known as **JOURNAL CENTER LAW OFFICES**) zoned IP, located on TIBURON ST NE, between JEFFERSON ST NE and containing approximately 3 acre(s). [*Indef Deferred 6/22/05 for the S/A*] [Applicant's name has changed] (D-17) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

19. **Project # 1004454**  
05DRB-01670 Minor- Prelim&Final Plat  
Approval

PRECISION SURVEYS agent(s) for TIMOTHY & LORIE DROPPS request(s) the above action(s) for all or a portion of Block(s) B, Tract(s) 7, **SOUTH BROADWAY ACRES, UNIT 1**, zoned SU-2 MR, located on JOHN ST SE between BETHEL SE and WOODWARD ST SE containing approximately 1 acre(s). (M-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR 9-FOOT SETBACK FROM FACE OF CURB AND PLANNING FOR PROPERTY MANagements' SIGNATURE AND AGIS DXF FILE.**

20. **Project # 1004529**  
05DRB-01683 Minor-Prelim&Final Plat  
Approval

DONART BRONDER request(s) the above action(s) for all or a portion of Lot(s) 23 & 24, Block(s) L, **ATLANTIC & PACIFIC ADDITION**, zoned SU-2 NCR, located on ATLANTIC AVE SW, between 4<sup>TH</sup> ST SW and 3<sup>RD</sup> ST SW containing approximately 1 acre(s). (K-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR 2-FEET OF DEDICATION ALONG THE ALLEY AND PLANNING FOR CHANGE OF ZONING ON PLAT AND TO RECORD.**

21. **Project # 1003475**  
05DRB-01656 Minor-Final Plat Approval

WILSON & COMPANY INC agent(s) for FELIX RABADI request(s) the above action(s) for all or a portion of Tract(s) 1, **SUNDANCE ESTATES (to be known as PARADISE VIEW SUBDIVISION)** zoned R-LT residential zone, located on PARADISE BLVD NW, between JAMES MONROE MID-SCHOOL and ST JUDE CATHOLIC CHURCH containing approximately 23 acre(s). [REF: 04DRB01694, 04DRB01695, 04DRB01696] [*Deferred from 11/2/05 for SIA*] [*Deferred from 11/9/05*] (B-1011) **DEFERRED AT THE AGENT'S REQUEST TO 11/16/05.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

22. **Project # 1004521**  
05DRB-01663 Minor-Sketch Plat or Plan

ADIL RIZVI request(s) the above action(s) for all or a portion of Block(s) 30, Tract(s) A, **SONORA SUBDIVISION, UNIT B**, zoned RD, located on SIGNAL NE, between LOUISIANA NE and SAN PEDRO NE containing approximately 1 acre(s).(C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. **Project # 1004528**  
05DRB-01680 Minor-Sketch Plat or Plan

JOHN C LORENZO agent(s) for JOSE & NORA CHAVEZ request(s) the above action(s) for Tract(s) 180B2, 176A5B and 176B1, **LANDS OF JOE B AND NORA G CHAVEZ**, zoned RA-2 residential and agricultural zone, located on CAMILO LN NW and LEONORA NW and containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

24. **Project # 1004530**  
05DRB-01686 Minor-Sketch Plat or Plan

ISAAC BENTON & ASSOCIATES agent(s) for AMERI-CONTRACTORS request(s) the above action(s) for Tract(s) G-2, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 FOR PDA to include C-3 USES, located on MARNA LYNN AVE NW, between DAVENPORT ST NW and CACTUS TRAIL DR NW containing approximately 2 acre(s). [REF: DRB-89-465,DRB-94-624,DRB-94-616,Z-94-134](C-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

25. Approval of the Development Review Board Minutes for October 26, 2005.

ADJOURNED: 11:20 a.m.

*Defer to  
11/23/05*

# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003523 AGENDA#: 8 DATE: 11.9.05

1. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

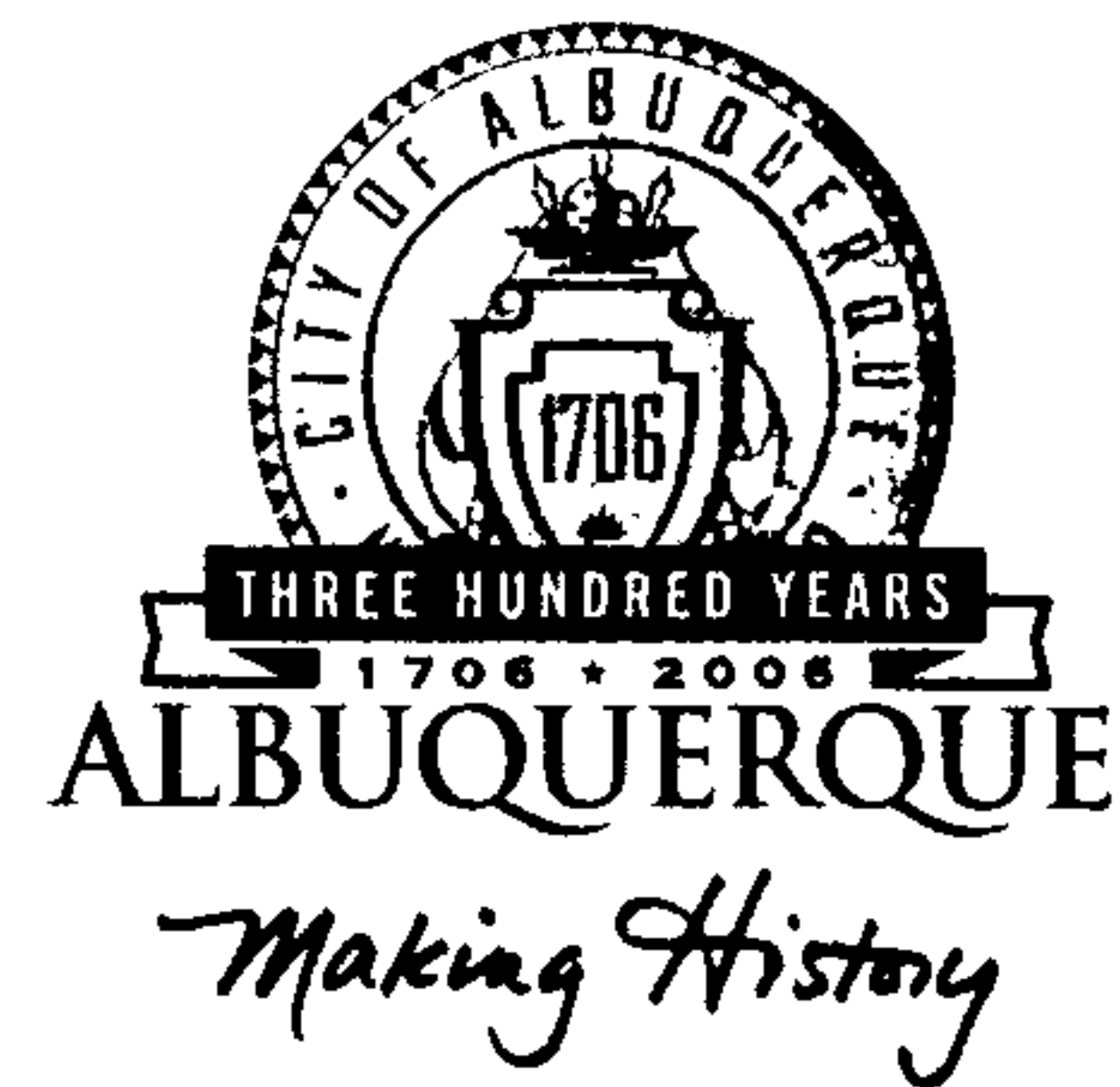
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003523**

**AGENDA ITEM NO: 8**

**SUBJECT:**

Site Plan for Subd  
Sidewalk Deferral  
Preliminary Plat

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

**ENGINEERING COMMENTS:**

Albuquerque

An approved drainage report is required for Preliminary Plat approval.  
An approved infrastructure list is required for Preliminary Plat approval.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED <sup>11-23-05</sup> X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** November 9, 2005



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 2, 2005

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.                      Adjourned: 10:15 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 1. **Project # 1003886**  
05DRB-01571 Major-Bulk Land Variance  
05DRB-01572 Minor-Prelim&Final Plat  
Approval

MARK GOODWIN & ASSOCIATES agent(s) for STILLBROOKE HOMES request(s) the above action(s) for all or a portion of Lot(s) C1 & C2, Block(s) 42, **MESA VILLAGE SUBDIVISION**, zoned R-3, located on LOMAS BLVD NE, between SELLERS DR NE and EASTERDAY DR NE containing approximately 6 acre(s)[REF:ZA-73-44,Z-77-53](J-20) **THE BULK LAND VARIANCE WAS WITHDRAWN. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF AND PROPERTY MANAGEMENT'S SIGNATURE. THE PREVIOUS PLAT APPLICATION #05DRB00908 WAS VOIDED BY THE BOARD.**



2. **Project # 1003523**  
05DRB-01369 Major-Preliminary Plat  
Approval  
05DRB-01368 Major-SiteDev Plan Subd  
05DRB-01370 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for GHP, LLC request(s) the above action(s) for LOT 30, 31, 32 and 33, LANDS OF ATRISCO GRANT, UNIT 3, (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2 FOR R-LT, located on 98<sup>TH</sup> ST NW, between ENDEE RD NW and I-25 NW containing approximately 17 acre(s). [REF:04EPC-01003, 04EPC-01352, 04EPC-01489] [*Deferred from 9/28/05 & 11/2/05*] (J-8)=**DEFERRED AT THE AGENT'S REQUEST TO 11/9/05.**

3. **Project # 1000560**  
05DRB-01501 Major-SiteDev Plan  
BldPermit

TIERRA WEST LLC agent(s) for IRONSTONE BANK request(s) the above action(s) for all or a portion of Tract(s) 1A2A1, JOURNAL CENTER (to be known as **IRONSTONE BANK**) zoned IP industrial park zone, located on LANG AVE NE, between JEFFERSON ST NE and HEADLINE BLVD NE containing approximately 5 acre(s). [REF: Z-72-33, 05DRB00680] [*Deferred from 10/26/05 & 11/2/05*](D-17)**DEFERRED AT THE AGENT'S REQUEST TO 11/9/05.**

4. **Project # 1004039**  
05DRB-01532 Major-Preliminary Plat  
Approval  
05DRB-01533 Minor-Sidewalk Waiver  
05DRB-01536 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for RUTLEDGE INVESTMENT COMPANY request(s) the above action(s) for Tract(s) 8A, HIGH DESERT (to be known as **THE LEGENDS @ HIGH DESERT**) zoned SU-2, C-1, located on ACADEMY BLVD NE, between CORTADERIA ST NE and HIGH DESERT PARK NE containing approximately 8 acre(s). [REF:05ZHE-00449, 05ZHE-00480, 05DRB-01074] [*Deferred from 10/26/05*] (E-23) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/2/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/29/05 THE PRELIMINARY PLAT WAS APPROVED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS**

5. **Project # 1004462**  
05DRB-01525 Major-Vacation of Public Easements  
05DRB-01524 Major-Preliminary Plat Approval  
05DRB-01526 Minor-Sidewalk Waiver  
05DRB-01527 Minor-Temp Defer SDWK
- BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for REPLAT OF Tract(s) A, ANDALUCIA AT LA LUZ, (to be known as **ANDALUCIA @ LA LUZ, UNIT 3**) zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 13 acre(s). [REF: 05EPC-01115, 05EPC-01117] [*Deferred from 10/26/06 & 11/2/05*] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 11/9/05.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

6. **Project # 1004393**  
05DRB-01354 Minor-Prelim&Final Plat Approval
- ISAACSON & ARFMAN PA agent(s) for HIGH ASSETS LAND CO LTD request(s) the above action(s) for all or a portion of Lot(s) 2-A-1-B-2 and 3A (to be known as **ALBUQUERQUE WEST, UNIT 2**, Lot(s) 3-A-1, 3-A-2, 2-A-1-B-2-A and 2-A-1-B-2-B), zoned SU-1 PDA TO INCLUDE C-3 USES, located on EAGLE RANCH RD NW, between PASEO DEL NORTE NW and ALL SAINTS RD NW containing approximately 8 acre(s). [REF: DRB-96-14, DRB-90-252] [*Indef Deferred from 9/7/05 & 11/2/05*] (C-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
- 05DRB-01657 Minor-SiteDev Plan BldPermit
- JIM MILLER ARCHITECTS agent(s) for MICHAEL BARTHELEMY & GEOFFREY ROMERO request(s) the above action(s) for all or a portion of Lot(s) 2A1B2A, **ALBUQUERQUE WEST, UNIT 2**, zoned SU-1 PDA TO INCLUDE C-3 USES, located on HIGH ASSETS WAY NW, between PASEO DEL NORTE NW and EAGLE RANCH NW containing approximately 1 acre(s). [REF: DRB-94-849] [*Indef Deferred from 11/2/05*] (C-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

7. **Project # 1000316**  
05DRB-01652 Minor-SiteDev Plan  
Subd/EPC

DEKKER PERICH SABATINI agent(s) for GSL PROPERTIES INC request(s) the above action(s) for all or a portion of Tract(s) A-C (formerly Tract(s) H, Parcel(s) A-C, (to be known as **COTTONWOOD APARTMENTS**) zoned SU-1 IP FOR C-2 & IP, located on SEVEN BAR LOOP NW, between OLD AIRPORT RD NW and COTTONWOOD DR NW containing approximately 17 acre(s). [REF: 00EPC00290, AX-85-28, Z-85-134, SD-78-3-2, Z-93-35] [**Carmen Marrone, EPC Case Planner**] *Indef Deferred from 11/2/05* (B-14) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

8. **Project # 1000809**  
05DRB-01658 Minor-Ext of SIA for Temp  
Defer SDWK

PATRICK PENNINGTON agent(s) for JOHN SANCHEZ request(s) the above action(s) for all or a portion of Lot(s) 1-23 AND Lot(s) 1-62, Unit(s) 1-2, **SUNSET FARMS**, zoned R-1, located on CENTRAL SW, between SUNSET FARMS SW and ATRISCO SW containing approximately 14 acre(s). [REF: DRB-97-408] (K-12) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

9. **Project # 1004392**  
05DRB-01650 Minor-Prelim&Final Plat  
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for AMBROSE E. & DONNA S. CHAVEZ request(s) the above action(s) for all or a portion of Lot(s) 9, Block (s) 1, **VOLCANO CLIFFS, UNIT 7**, zoned R-1, located on MOJAVE ST NW, between UNSER BLVD NW and SAN IDELFONSO DR NW containing approximately 1 acre(s). (E-10) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO CITY ENGINEER FOR SAD READJUSTMENT AND PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT.**

10. **Project # 1003475**  
05DRB-01656 Minor-Final Plat Approval

WILSON & COMPANY INC agent(s) for FELIX RABADI request(s) the above action(s) for all or a portion of Tract(s) 1, **SUNDANCE ESTATES (to be known as PARADISE VIEW SUBDIVISION)** zoned R-LT residential zone, located on PARADISE BLVD NW, between JAMES MONROE MID-SCHOOL and ST JUDE CATHOLIC CHURCH containing approximately 23 acre(s). [REF: 04DRB01694, 04DRB01695, 04DRB01696] [*Deferred from 11/2/05 for S/A*] (B-1011) **DEFERRED AT THE AGENT'S REQUEST TO 11/9/05.**

11. **Project # 1000469**  
05DRB-01556 Minor-Prelim&Final Plat Approval

ABQ ENGINEERING INC agent(s) for UNSER WEST TENANCY request(s) the above action(s) for all or a portion of Tract(s) L-1-C, **ATRISCO BUSINESS PARK**, zoned IP, located on UNSER BLVD NW, between BLUEWATER RD NW and LOS VOLCANES NW containing approximately 2 acre(s). [REF: 02DRB-01443, 01DRB-01787, 01DRB-01786, 01DRB-01325, 01DRB-00338, 01DRB-00336, 00DRB-01399, 00DRB-00532, 00DRB-01480] (K-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/2/05 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

- 05DRB-01651 Minor-Temp Defer SDWK

ABQ ENGINEERING INC agent(s) for UNSER WEST TENANCY, JACK CLIFFORD request(s) the above action(s) for all or a portion of Tract(s) L-1-C, **ATRISCO BUSINESS PARK**, zoned IP industrial park zone, located on UNSER BLVD NW, between BLUEWATER RD NW and LOS VOLCANOS RD NW containing approximately 2 acre(s). [REF: 05DRB01556] (K-10) **THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

12. **Project # 1000116**  
05DRB-01385 Minor- Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for WISZNIA ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) F-2A1-D, **BROADBENT BUSINESS PARK**, (to be known as Tract(s) F-2A1-D-1, F-2A1-D-2, F-2A1-D-3, F-2A1-D-4 and F-2A1-D-5) zoned M-1 light manufacturing zone, located on MENAUL BLVD NE, between LAMBERTON PL NE and BROADBENT PKWY NE containing approximately 8 acre(s). [REF: Z-73-138, Z-73-138-4] [*Deferred from 9/7/05 & 9/14/05 Indef Deferred for the SIA*] (H-15) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

**THERE ARE NO SKETCH PLATS THIS WEEK . . .**

13. Approval of the Development Review Board Minutes for October 19, 2005. **THE DRB MINUTES FOR OCTOBER 19, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:15 A.M.

*Deper 11/9/05*

# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003523 AGENDA#: 2 DATE: 11.2.05

1. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

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12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003523**

**AGENDA ITEM NO: 2**

**SUBJECT:**

Site Plan for Subd  
Sidewalk Deferral  
Preliminary Plat

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

**ENGINEERING COMMENTS:**

Albuquerque

An approved drainage report is required for Preliminary Plat approval.  
An approved infrastructure list is required for Preliminary Plat approval.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

11-9-05

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** November 1, 2005



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

September 28, 2005

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:45 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1004228**  
05DRB-01394 Major-Vacation of  
Public Easements

TERRAMETRICS OF NEW MEXICO agent(s) for HEADSTART ENTERPRISES request(s) the above action(s) for all or a portion of Tract(s) 11-14, **SUNRISE HEIGHTS**, zoned M-1 light manufacturing zone, located near Alameda Lateral south of Montano Rd NE. [REF:05DRB00888] (F-15) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH CONDITION: PNM SHALL SIGN THE PLAT PRIOR TO DRB APPROVAL.**



2. **Project # 1003573**  
05DRB-01379 Major-Amended  
Grading Plan Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 and 30, Block(s) 2, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01138, 04DRB01417, 05DRB00481] *[Deferred from 9/28/05]* (C-20) **DEFERRED AT THE BOARD'S REQUEST TO 10/5/05.**

~~3.~~ **Project # 1003523**  
05DRB-01369 Major-Preliminary Plat  
Approval  
05DRB-01368 Major-SiteDev Plan  
Subd  
05DRB-01370 Minor-Temp Defer  
SDWK

RIO GRANDE ENGINEERING agent(s) for GHP, LLC request(s) the above action(s) for LOT 30, 31, 32 and 33, LANDS OF ATRISCO GRANT, UNIT 3, (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2 FOR R-LT, located on 98<sup>TH</sup> ST NW, between ENDEE RD NW and I-25 NW containing approximately 17 acre(s). [REF:04EPC-01003, 04EPC-01352, 04EPC-01489] *[Deferred from 9/28/05]* (J-8) **DEFERRED AT THE AGENT'S REQUEST TO 11/2/05.**

4. **Project # 1002715**  
05DRB-01398 Major-Bulk Land  
Variance  
05DRB-01396 Major-Vacation of Pub  
Right-of-Way  
05DRB-01397 Major-Vacation of  
Public Easements  
05DRB-01399 Minor-Prelim&Final Plat  
Approval

ISAACSON & ARFMAN agent(s) for BOULEVARD LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3 & 4, Tract(s) H, LANDS OF HORIZON CORPORATION, (to be known as **BOULEVARD LTD**) zoned SU-1 FOR C-1, located on UNSER BLVD NE, between PARADISE BLVD NW and LYONS BLVD NW containing approximately 30 acre(s). [REF: 03EPC00918, 03EPC00919, 04DRB00964, 04DRB00965, 04DRB00965, 04DRB00967] (B-11) **THE BULK LAND VARIANCE WAS APPROVED.**

THE VACATION OF THE PUBLIC EASEMENT WAS WITHDRAWN AT THE AGENT'S REQUEST. THE VACATION OF RIGHT-OF-WAY WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EASEMENT ON EAST SIDE OF LOTS 3, 4 AND 6 AND PLANNING FOR 15-DAY APPEAL PERIOD, CORRECT ZONING ON PLAT, AA FOR SITE PLAN FOR SUBDIVISION, NMU INC SIGNATURE, PNM SIGNATURE, RECORDING OF THE PLAT AND THE AGIS DXF FILE AND PROPERTY MANAGEMENT'S SIGNATURE.

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1004250**  
05DRB-01432 Minor-SiteDev Plan  
BldPermit

PLANNERS & ENGINEERS COLLABORATIVE agent(s) for TROY MOORE request(s) the above action(s) for all or a portion of Tract(s) B-1-B, **MCBARK SUBDIVISION**, zoned C-2 community commercial zone, located on QUAIL ROAD NW, between COORS BLVD NW and CORONA DR NW containing approximately 1 acre(s). [REF: Z-97-128, 05EPC-00949][Stephanie Shumsky, EPC Case Planner] (H-11) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WTH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ADA RAMPS, 3 COPIES OF THE SITE PLAN AND 8-FOOT SIDEWALK OR 20-FOOT PARKING STALLS WITH BUMPERS AND UTILITIES DEVELOPMENT FOR EXECUTION AND RECORDING OF A NEW SANITARY SEWER EASEMENT THAT HAS BEEN SUBMITTED TO THE CITY FOR REVIEW AND COMMENT.**

6. **Project # 1000089**  
05DRB-01478 Minor-SiteDev Plan  
Subd/EPC  
05DRB-01479 Minor-SiteDev Plan  
BldPermit/EPC

GEORGE RAINHART ARCHITECT agent(s) for RIVERSIDE PLAZA LTD., CO request(s) the above action(s) for Tract(s) 1-A-2, **RIVERSIDE PLAZA**, zoned SU-1 FOR C-1, located on COORS BLVD NW, between MONTANO PLAZA DR NW and STONE BRIDGE NW containing approximately 2 acre(s). [REF: Z-98-27, DRB-97-477, 05EPC-01106, 05EPC05-01107] [**Stephanie Shumsky, EPC Case Planner**] [*Indef Deferred from 9/28/05*] (E-12) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

05DRB-01480 Minor-Prelim&Final Plat  
Approval

SURV-TEK INC agent(s) for RIVERSIDE PLAZA LTD CO request(s) the above action(s) for all or a portion of Tract(s) 1-A-2, **RIVERSIDE PLAZA**, zoned SU-1 FOR C-1, located on COORS BLVD NW, between STONE BRIDGE NW and MONTANO PLAZA DR NW containing approximately 2 acre(s). [REF: Z-98-27, DRB-97-477, 05EPC-01106, 05EPC-01107] [*Indef Deferred from 9/28/05*] (E-12) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

7. **Project # 1003983**  
05DRB-01482 Minor-SiteDev Plan  
BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for TIMOTHY WEAKS request(s) the above action(s) for all or a portion of Lot(s) 1, RICHFIELD PARK SUBDIVISION (to be known as **DWIGHT'S GLASS AND GLAZING**) zoned IP, located on ALAMEDA BLVD NE, between WASHINGTON ST NE and JEFFERSON ST NE containing approximately 2 acre(s). [REF: 05DRB-00344] [*Deferref from 9/28/05*] (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 10/5/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project # 1002051**  
05DRB-01474 Major-Final Plat  
Approval
- TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) the above action(s) for **CHAMISA RIDGE, UNIT 2**, zoned R-LT residential zone, located on PARADISE BLVD NW, between BIG SAGE DR NW and CONEFLOWER DR NW containing approximately 18 acre(s). [REF:02DRB00963, 03DRB02008,05DRB00091] (B-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA SIGNATURE, NMU INC. SIGNATURE, TO CALL OUT PRIVATE EASEMENT MAINTENANCE AND BENEFICIARIES, PUB DEDICATION TO CITY OF ALBUQUERQUE AND TO PLANNING TO RECORD.**
9. **Project # 1002473**  
05DRB-01472 Minor-Prelim&Final Plat  
Approval
- TIERRA WEST LLC agent(s) for D. R. HORTON INC request(s) the above action(s) for all or a portion of Tract(s) O, **DESERT VISTA SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on MENDOCINO DR NE, between HAMPTON AVE NE and SIGNAL AVE NE containing approximately 1 acre(s). [REF: Z-98-74, DRB-92-290, DRB-98-123, 05DRB00092] (C-20) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**
10. **Project # 1003264**  
05DRB-01481 Minor-Prelim&Final Plat  
Approval
- SURVEYS SOUTHWEST agent(s) for BILL WADE request(s) the above action(s) for all or a portion of Tract(s) 72-A & 73, **BREEZE @MOUNTAIN GATE**, zoned SU-1, located on SHAFFER CT SE, between KEESHA JO AVE SE and LANIER DR SE containing approximately 1 acre(s). [REF: DRB-98-45, 04DRB00224] (L-23) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

11. **Project # 1004433**  
05DRB-01469 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST agent(s) for BILL HENTHORN request(s) the above action(s) for all or a portion of Lot(s) A & B, Block (s) 1 and Lot(s) 7 & 8, Block(s) 5, MAYO & ROSS ADDITION (to be known as **JESUS ROMERO ADDITION**) zoned SU-2 NCR, located on EDITH BLVD NE, between LOMAS BLVD NE and BROADWAY NE containing approximately 1 acre(s). [REF: ZA-97-157] (J-14) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

12. **Project # 1001945**  
05DRB-01415 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for MADELINE DUNN request(s) the above action(s) for all or a portion of Tract(s) 297 and 298 (to be known as **LAND OF DUNN**) zoned R-LT residential zone, located on CARSON RD NW, between RIO GRANDE BLVD NW and ZEARING AVE NW containing approximately 1 acre(s). [REF: 02DRB00731, 05DRB00733] [*Deferred from 9/21/05*] (J-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/28/05 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

13. **Project # 1003685**  
05DRB-01477 Minor-Prelim&Final Plat  
Approval

BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO INC request(s) the above action(s) for all or a portion of Lot(s) 14A, Tract(s) O-1, (to be known as **WESTERN SHADOWS@ VENTANA RANCH WEST**) zoned R-LT residential zone, located on RAYNER DR NW, between VENTANA RIDGE RD NW and [REF: 04DRB01448] [*Deferred from 9/28/05*] (B-8) **DEFERRED AT THE AGENT'S REQUEST TO 10/5/05.**

14. **Project # 1000965**  
05DRB-01382 Minor-Final Plat  
Approval

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO., INC., request(s) the above action(s) for all or a portion of Tract(s) B & 2 LANDS OF RAY GRAHAM III, **VALLE PARAISO SUBDIVISION AT ANDALUCIA AT LA LUZ**, zoned SU-1 special use zone, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 33 acre(s). [REF: 04EPC00857] [*Deferred from 9/7/05 & 9/14/05 & 9/21/05 & 9/28/05*] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 10/12/05.**

15. **Project # 1004415**  
05DRB-01420 Minor-Prelim&Final Plat  
Approval  
05DRB-01419 Minor-Vacation of  
Private Easements

ROSS HOWARD COMPANY agent(s) for STEVE & EILEEN WHITE request(s) the above action(s) for all or a portion of Block(s) 2, Tract(s) 15-P1, **PALOMA DEL SOL SUBDIVISION**, zoned R-1 residential zone, located on AVENTURA CT NW, between MCMAHON BLVD NW and SAN TIMOTEO AVE NW containing approximately 1 acre(s). [REF: DRB-95-63, V-95-61, SV-95-25, S-95-15] [*Deferred from 9/21/05*] (A-12) **THE PRELIMINARY AND FINAL PLAT AND THE VACATION OF THE 30-FOOT PUBLIC SLOPE EASEMENT WAS DENIED WITH FINDINGS.**

16. **Project # 1003128**  
05DRB-01424 Minor-Prelim&Final Plat  
Approval

CONSENSUS PLANNING agent(s) for BANDALIER EQUITIES LTD CO request(s) the above action(s) for all or a portion of Lot(s) 1-5, Block(s) 11, Tract(s) 5, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 4 acre(s). [*Deferred from 9/21/05 & 9/28/05*] (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/5/05.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

17. **Project # 1004434**  
05DRB-01475 Minor-Sketch Plat or  
Plan

ISAACSON & ARFMAN PA agent(s) for MS DEV ONE LLC request(s) the above action(s) for Tract(s) 42B, LANDS OF PABLO ROMERO and Tract(s) A, LANDS OF JACK F CULLY (to be known as **EL POTRERO PROPERTIES**) zoned RA-2 residential and agricultural zone, located on MONTANO RD NW, between EL POTRERO RD NW and TIERRA VIIVA TR NW containing approximately 2 acre(s). (F-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. Approval of the Development Review Board Minutes for September 14, 2005. **THE DRB MINUTES FOR SEPTEMBER 14, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:45 A.M.

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003523 AGENDA#: 3 DATE: 9/28/05

1. Name: Dave Thompson Address: PO Box 65760 Zip: 87193  
ABQ, NM

2. Name: DAVID Soule Address: Progrande City Zip: \_\_\_\_\_

3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

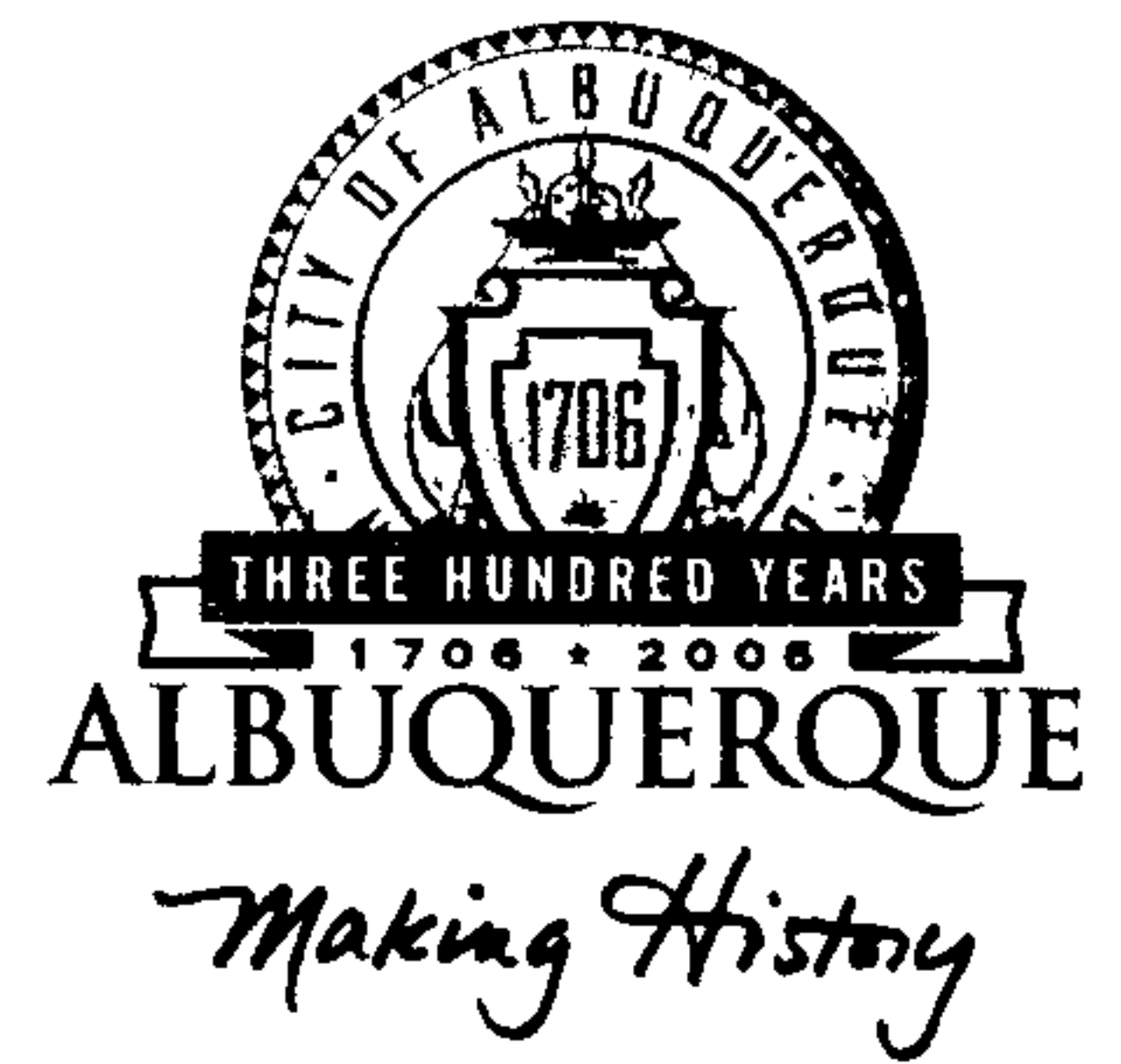
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_



# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003523**

**AGENDA ITEM NO: 3**

**SUBJECT:**

Site Plan for Subd  
Sidewalk Deferral  
Preliminary Plat

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

**ENGINEERING COMMENTS:**

Albuquerque

An approved drainage report by the City and AMAFCA is required for Preliminary Plat approval.  
An approved infrastructure list is required for Preliminary Plat approval.

New Mexico 87103

**RESOLUTION:**

11-2-05

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

www.cabq.gov

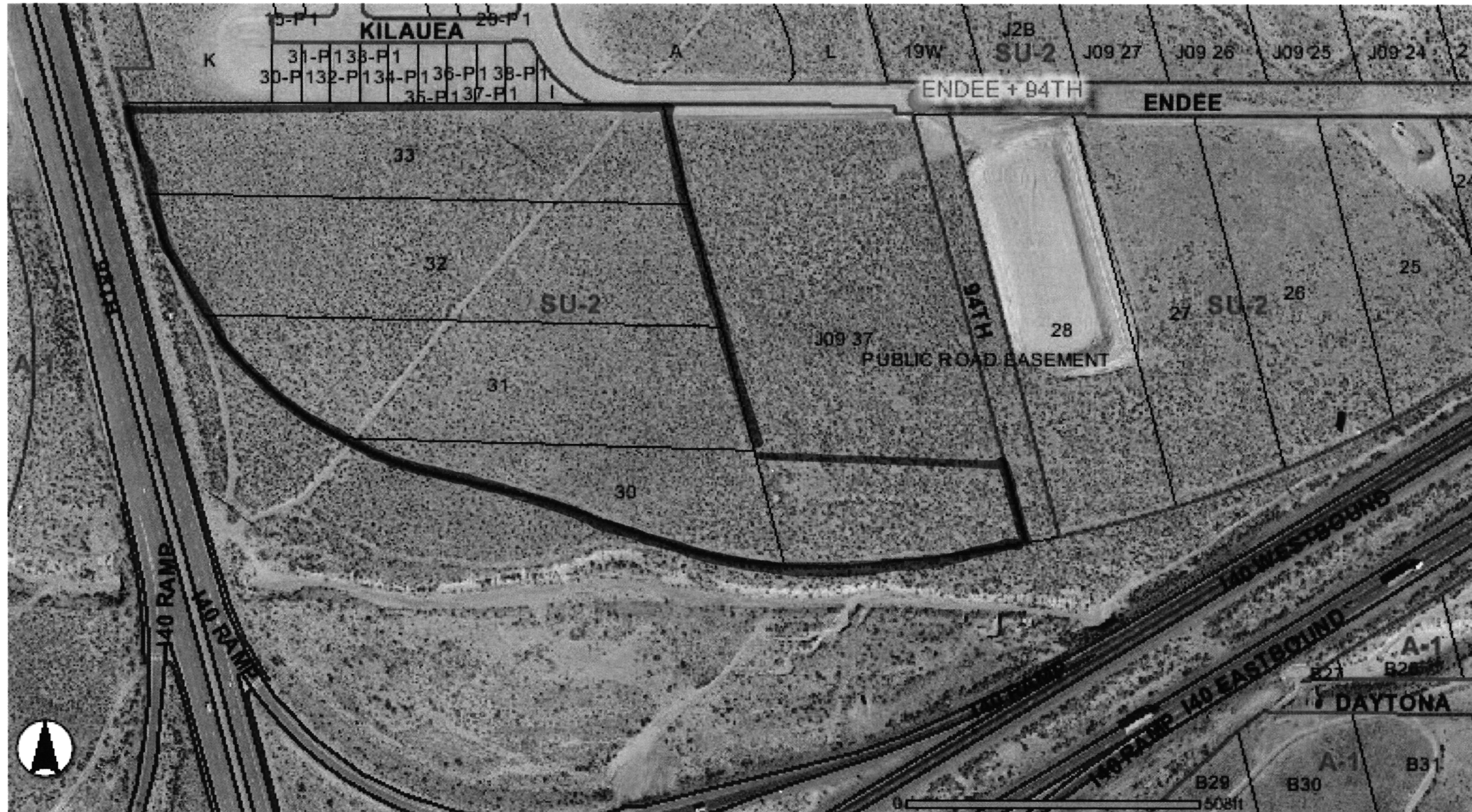
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** September 28, 2005



\*\*\*\*\*  
\*\*\* TX REPORT \*\*\*  
\*\*\*\*\*

TRANSMISSION OK

TX/RX NO 4096  
CONNECTION TEL 9p8722205  
SUBADDRESS  
CONNECTION ID  
ST. TIME 09/16 11:53  
USAGE T 01'21  
PGS. 3  
RESULT OK



### DEVELOPMENT REVIEW BOARD FAX FORM

TO: Dave Soule

FAX NUMBER: 872-2205 # PAGES 3

SENT BY: Sheran Matson, DRB Chair DATE: 9/16/05

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1003573 APPLICATION NO: \_\_\_\_\_

Shrine Entrada

\*\*\*\*\*

*My comments only.*



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, September 28, 2005, beginning at 9:00 a.m.** for the purpose of considering the following:

**Project # 1004228**  
05DRB-01394 Major-Vacation of Public Easements

TERRAMETRICS OF NEW MEXICO agent(s) for HEADSTART ENTERPRISES request(s) the above action(s) for all or a portion of Tract(s) 11-14, **SUNRISE HEIGHTS**, zoned M-1 light manufacturing zone, located near Alameda Lateral south of Montano Rd NE. [REF:05DRB00889] (F-15)

There is no objection to this vacation request.

Remember if the vacation action is approved by DRB, a replat of the property showing the vacation must be approved by DRB & recorded within 12 months of the DRB vacation approval date.

**Project # 1003573**  
05DRB-01379 Major-Amended Grading Plan Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 and 30, Block(s) 2, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01138, 04DRB01417, 05DRB00481] (C-20)

There is no objection to this request. Defer to the Hydrology Engineer.

**Project # 1003523**  
05DRB-01369 Major-Preliminary Plat Approval  
05DRB-01368 Major-SiteDev Plan Subd  
05DRB-01370 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for GHP, LLC request(s) the above action(s) for LOT 30, 31, 32 and 33, LANDS OF ATRISCO GRANT, UNIT 3, (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2 FOR R-LT, located on 98<sup>TH</sup> ST NW, between ENDEE RD NW and I-25 NW containing approximately 17 acre(s). [REF:04EPC-01003, 04EPC-01352, 04EPC-01489](J-8)

*\*TRACTS  
A, B, C, D, E, F*

*Cond #2  
of F.P.  
HOA  
President  
must sign  
final Plat.*

*Need I.D.  
on S.P.S.*

*20' max  
on showing  
SPS new HO*

There is no Zoning designation on the Preliminary Plat data legend. This will be a condition of final plat approval.

The plat and site plan appear to match.

No objection to the temporary deferral of sidewalk.

The site plan has the wrong signature block. This plan was not approved by EPC.

The perimeter wall does not have a maximum height listed on the site plan or the perimeter wall design.

The design standards on the site plan:

- Additional information is needed such as: maximum and minimum size lot and home, maximum building height and minimum building setbacks, architectural design standards, placement of mechanical units (if on roof,

shielded from public view, pedestrian amenities, accessory buildings, exterior building colors, and garage doors will be painted to match the house color rather than the trim color, roof colors & types.

- Substitute another ground cover such as creeping rosemary for the high allergen junipers. Rosemary has blue flowers and can be used in cooking & is not a high allergen plant.
- The crushed tan gravel should be a minimum of 3' deep. Indicate such on the site plan.

~

What are automated residential carts & why would these homeowners have them?

✓

The perimeter wall design needs a maximum wall height, zone atlas page, nearest intersection DRB Project #.

General Notes: The first sentence indicates that a site plan for building permit for each lot will go to DRB for approval through a public hearing process???

*BRy*

The issues with the site plan need resolution before the preliminary plat is approved. Be sure to submit a revised version of the site plan by noon on Monday, September 26<sup>th</sup> to avoid deferral for this reason.

X

~

Finally, an agent for an adjacent property owner has made Planning aware that there is a 30' property line dispute between him and the owners of this property. This will become an issue unless it is resolved prior to the DRB hearing.

**Project # 1002715**

- 05DRB-01398 Major-Bulk Land Variance
- 05DRB-01396 Major-Vacation of Pub Right-of-Way
- 05DRB-01397 Major-Vacation of Public Easements
- 05DRB-01399 Minor-Prelim&Final Plat Approval

ISAACSON & ARFMAN agent(s) for BOULEVARD LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3 & 4, Tract(s) H, LANDS OF HORIZON CORPORATION, (to be known as **BOULEVARD LTD**) zoned SU-1 FOR C-1, located on UNSER BLVD NE, between PARADISE BLVD NW and LYONS BLVD NW containing approximately 30 acre(s). [REF: 03EPC00918, 03EPC00919, 04DRB00964, 04DRB00965, 04DRB00965, 04DRB00967] (B-11)

Property Management will need to sign the final plat because of the vacation of right of way.

Planning defers to the Traffic Engineer on the vacation requests.

Chapter 2 of the DPM requires lots in a bulk land plat to meet a 40 acre minimum lot size requirement for non-residential uses unless the zoning requires site plan approval. In this case, the zoning as listed in AGIS is SU-1 for C-1 and SU-1 for PRD. This zoning requires site plan review. If the applicant plans to retain this zoning, the minimum 40 acre requirement is waived per the DPM.

The zoning must appear on the final plat under Subdivision Data. This will be a condition of final plat approval.

No objection to any of the requested actions. Defer to the Traffic Engineer on the right of way vacations.



CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

September 28, 2005

**Project # 1003523**

05DRB-01369 Major-Preliminary Plat Approval  
05DRB-01368 Major-SiteDev Plan Subd  
05DRB-01370 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for GHP, LLC request(s) the above action(s) for LOT 30, 31, 32 and 33, LANDS OF ATRISCO GRANT, UNIT 3, (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2 FOR R-LT, located on 98<sup>TH</sup> ST NW, between ENDEE RD NW and I-25 NW containing approximately 17 acre(s). [REF:04EPC-01003, 04EPC-01352, 04EPC-01489](J-8)

AMAFCA

AMAFCA does not approve Preliminary Plat until the Board of Directors approves the Funding Agreement for the future West I-40 Channel. This agreement will be on the October 27 meeting agenda.

COG

The Long Range Bikeway System map identifies a bike path alignment along the boundary of Interstate 40 and proposed project. Coordination with the City's DMD and the NMDOT should occur to ensure project inclusion as appropriate.

Transit

No objection to the request.

Zoning Enforcement

No adverse comments.

Neighborhood Coordination

Letters sent to Avalon NA (R), Parkway NA (R)

APS

The proposal to create 80 residential lots for the Prima Entrada Subdivision located south of Endee Road between 94<sup>th</sup> and 98<sup>th</sup> Street will impact Painted Sky Elementary, Carter Middle School, and West Mesa High School. All three schools are operating close to or above their capacities. (Note: 20<sup>th</sup> day count for Painted Sky Elementary was 953 students.)

APS

School	2005-06 Projections	Capacity	Space Available
PAINTED SKY ELE	856	1070	214
JIMMY CARTER MS	1187	890	-297
WEST MESA HS	2625	2410	-215

A new elementary school is planned for the area in 2006. A new high school is also planned to relieve West Mesa High. Please refer to additional comments below.

#### Police Department

A review of the following DRB case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Traffic Volume- New Construction will increase stressor traffic flow. Burglaries- Residential 8 a.m. to 5 p.m. Mon.-Friday; Auto 10 p. m. to 6 a. m. Mon. to Sun. Need for Neighborhood association/Explain: Neighborhood Watch. Other: Auto Theft 10 p.m.- 6 a.m. Mon.-Sun. Gang Activity

#### Fire Department

Fire Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

#### PNM Electric & Gas

Major Preliminary Plat: **NOT Approved.** PNM Transmission engineering must review and approve of encroachments to transmission line easements by proposed roads.

Major site Development Plan: APPROVED. Minor-Temporary Defer. SDWK: NO COMMENT.

Comcast

No comments received.

QWEST

No comments received.

Environmental Health

No comments received.

M.R.G.C.D.

No comments received.

Open Space Division

No adverse comments.

City Engineer

An approved drainage report is required for Preliminary Plat approval. Previous projects in the area have vacated half of 94<sup>th</sup> and this project may need to vacate the other portion.

Transportation Development

A traffic distribution map is needed to verify r/w widths. The DPM now requires a 47' r/w. Is this subject to impact fees? Provide a copy of the Annexation Agreement. Why are we deferring sidewalk along the open space tract? Where are the improvements to Endee and 94<sup>th</sup>? The terminus of 94<sup>th</sup> needs to be evaluated.

Parks & Recreation

The plat shows 3 areas identified as Tract B they should have separated designations. The tracts need to have the maintenance and beneficiaries noted on the plat.

Is the area to the south of the proposed subdivision Interstate ROW? Is the trail identified in the Trails and Bikeways Facility Plan constructed or in construction as part of the AMAFCA project in this corridor?

The detached open space table was received. Place the following note on the plat. All open space requirements are met on the lot with the dwelling per the provisions of Section 14-16-3-8 (A) (1). No objection to the site plan or sidewalk deferral.

Utilities Development

Preliminary Plat must be revised to allow a water line loop to Sundoro Unit 2 at the NW corner (Lot 1), otherwise no objection to Preliminary Plat approval. I did not receive a Site Plan for review. No objection to Sidewalk Deferral.

Planning Department

There is no Zoning designation on the Preliminary Plat data legend. This will be a condition of final plat approval.

The plat and site plan appear to match. No objection to the temporary deferral of sidewalk.

The site plan has the wrong signature block. This plan was not approved by EPC.



## Planning Department

The perimeter wall does not have a maximum height listed on the site plan or the perimeter wall design.

The design standards on the site plan:

- Additional information is needed such as: maximum and minimum size lot and home, maximum building height and minimum building setbacks, architectural design standards, placement of mechanical units (if on roof, shielded from public view, pedestrian amenities, accessory buildings, exterior building colors, and garage doors will be painted to match the house color rather than the trim color, roof colors & types.
- Substitute another ground cover such as creeping rosemary for the high allergen junipers. Rosemary has blue flowers and can be used in cooking & is not a high allergen plant.
- The crushed tan gravel should be a minimum of 3' deep. Indicate such on the site plan.

What are automated residential carts & why would these homeowners have them?

The perimeter wall design needs a maximum wall height, zone atlas page, nearest intersection DRB Project #.

General Notes: The first sentence indicates that a site plan for building permit for each lot will go to DRB for approval through a public hearing process????

The issues with the site plan need resolution before the preliminary plat is approved. Be sure to submit a revised version of the site plan by noon on Monday, September 26<sup>th</sup> to avoid deferral for this reason.

Finally, an agent for an adjacent property owner has made Planning aware that there is a 30' property line dispute between him and the owners of this property. This will become an issue unless it is resolved prior to the DRB hearing.

## Impact Fee Administrator

Construction of a new single family residence within the proposed subdivision will require payment of Impact Fees. Based on a house size of 2,000 square feet, it is estimated that impact fees will total approximately \$2,701 if a building permit is obtained by December 30, 2005, \$5,322 if a permit is obtained prior to December 29, 2006, and the full impact fee of \$7,943 would be payable thereafter.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

cc: GHP LLC, 7600 Pan American Freeway NE, 87109

Rio Grande Engineering, 1606 Central SE, Suite 201, 87106



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, September 28, 2005**, beginning at **9:00 a.m.** for the purpose of considering the following:

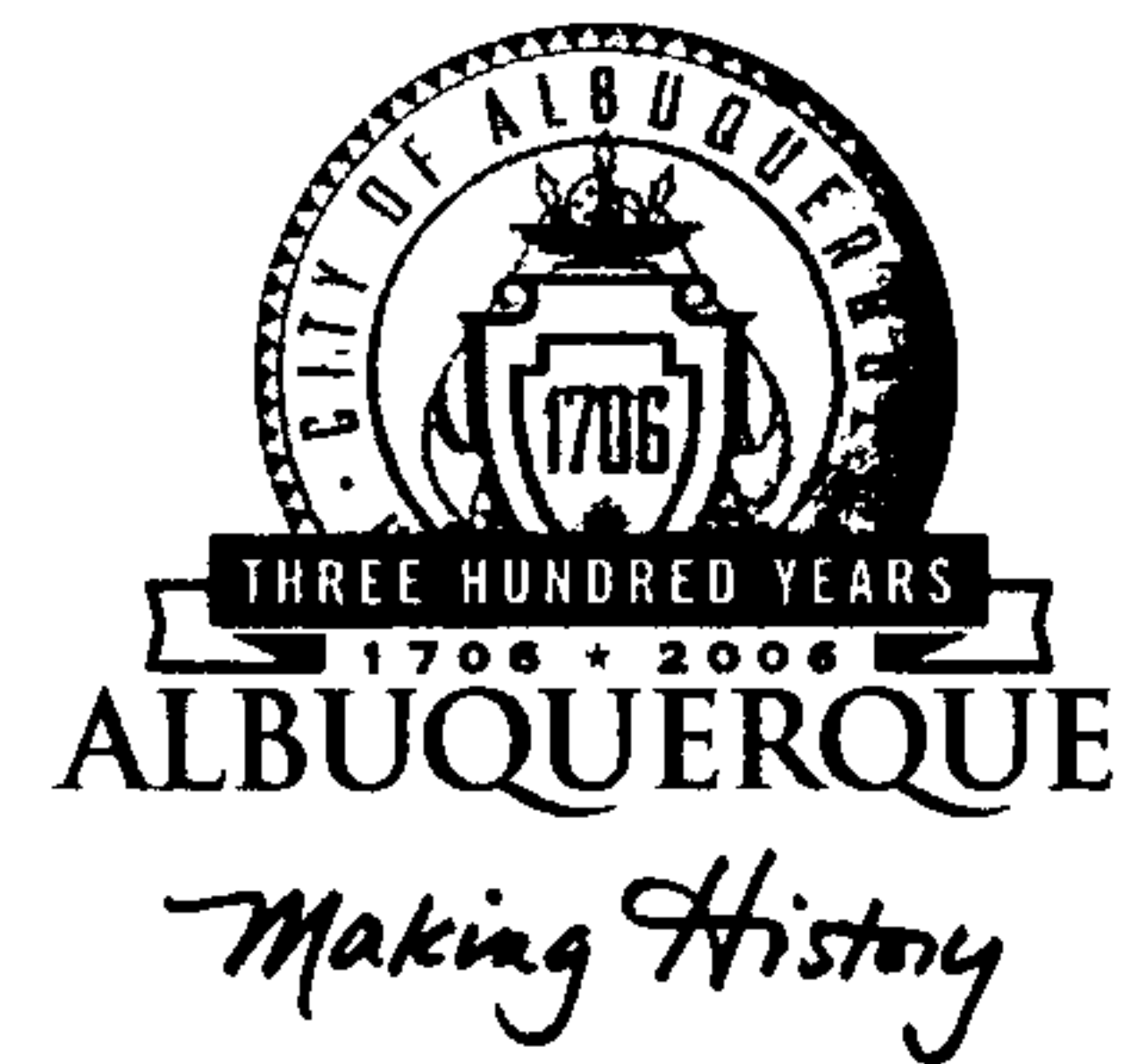
- Project # 1004228**  
05DRB-01394 Major-Vacation of Public Easements  
TERRAMETRICS OF NEW MEXICO agent(s) for HEADSTART ENTERPRISES request(s) the above action(s) for all or a portion of Tract(s) 11-14, **SUNRISE HEIGHTS**, zoned M-1 light manufacturing zone, located near Alameda Lateral south of Montano Rd NE. [REF:05DRB00888] (F-15)
- Project # 1003573**  
05DRB-01379 Major-Amended Grading Plan Approval  
RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 and 30, Block(s) 2, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01138, 04DRB01417, 05DRB00481] (C-20)
- Project # 1003523**  
05DRB-01369 Major-Preliminary Plat Approval  
05DRB-01368 Major-SiteDev Plan Subd  
05DRB-01370 Minor-Temp Defer SDWK  
RIO GRANDE ENGINEERING agent(s) for GHP, LLC request(s) the above action(s) for LOT 30, 31, 32 and 33, LANDS OF ATRISCO GRANT, UNIT 3, (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2 FOR R-LT, located on 98<sup>TH</sup> ST NW, between ENDEE RD NW and I-25 NW containing approximately 17 acre(s). [REF:04EPC-01003, 04EPC-01352, 04EPC-01489](J-8)
- Project # 1002715**  
05DRB-01398 Major-Bulk Land Variance  
05DRB-01396 Major-Vacation of Pub Right-of-Way  
05DRB-01397 Major-Vacation of Public Easements  
05DRB-01399 Minor-Prelim&Final Plat Approval  
ISAACSON & ARFMAN agent(s) for BOULEVARD LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3 & 4, Tract(s) H, LANDS OF HORIZON CORPORATION, (to be known as **BOULEVARD LTD**) zoned SU-1 FOR C-1, located on UNSER BLVD NE, between PARADISE BLVD NW and LYONS BLVD NW containing approximately 30 acre(s). [REF: 03EPC00918, 03EPC00919, 04DRB00964, 04DRB00965, 04DRB00965, 04DRB00967] (B-11)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

  
Sheran Matson, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, SEPTEMBER 12, 2005.**

**F Y I**



## **NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD**

September 14, 2005

**TO:** Miguel Maestas and Claudette Archuleta, Avalon NA  
Carol Cunningham and Mary Loughran, Parkway NA

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately seventeen (17) acre(s): Major Preliminary Plat Approval; Major Site Development Plan for Subdivision; and Minor Temporary Deferral for Sidewalks for Prima Entrada Subdivision .**

*Proposed by:* Rio Grande Engineering at 872-0999  
*Agent for:* GHP, LLC

P.O. Box 1293

*For property located:* On or near 98<sup>th</sup> Street NW between Endee Road NW and I-25 Freeway.

Albuquerque

*The case number(s) assigned is:* 05DRB- 01369, 01368, 01370, Project # 1003523.

City Planning accepted application for this request on August 26, 2005.

New Mexico 87103

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, September 28, 2005 in the **Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.**

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call Stephani Winklepleck at 924-3902 or by e-mail at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Sincerely,

***Stephani J. Winklepleck***

*Stephani I. Winklepleck*

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB  
Administrative Assistant**

**CITY OF PLANNING  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** SEPTEMBER 7, 2005  
**Zone Atlas Page:** J-9-Z  
**Notification Radius:** 100 Ft.

**Project# 1003523  
App# 05DRB-01368**

**Cross Reference and Location:** 98<sup>TH</sup> ST NW BETWEEN ENDEE RD NW AND INTERSTATE 25

**Applicant:** GHP, LLC  
**Address:** 7600 PAN AMERICAN FREEWAY  
ALBUQUERQUE, NM 87109

**Agent:** RIO GRANDE ENGINEERING  
1606 CENTRAL SE STE# 201  
ALBUQUERQUE, NM 87106

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day prior to the meeting.**

**Date Mailed:** SEPTEMBER 9, 2005

**Signature:** YVONNE SAAVEDRA

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP / LEGAL LIST**

Project# 1003523  
Application# 05PRB-01368

PAGE 1 OF 1

Zone Atlas Page #	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address
J-9	1009058	023-051	309-01	✓
	1008058	484-087	402-20	✓
	1009058	040-092	309-02	✓
		079-090	303-01	✓, Dup
		100-092	02	✓, Dup <sup>2</sup>
		135-070	06	✓
		120-095	03	✓ Dup <sup>2</sup>
		007-138	318-02	✓ Dup
		012-137	03	✓ Dup <sup>2</sup>
		017-134	04	✓ Dup
		008-154	317-01	✓ Dup <sup>2</sup>
		040-151	313-20	✓ Dup <sup>2</sup>
		015-156	06	✓ Dup <sup>2</sup>
		019-158	05	✓, Dup <sup>2</sup>
		024-159	04	✓ Dup <sup>2</sup>
		027-160	03	✓, Dup <sup>2</sup>
		031-161	02	✓, Dup <sup>2</sup>
		035-162	01	✓, Dup <sup>2</sup>
		062-157	30	✓ Dup <sup>2</sup>
		034-191	305-06	✓
		052-192	05	✓, Dup <sup>2</sup>
		069-193	04	✓, Dup <sup>2</sup>
		087-192	02	✓, Dup <sup>2</sup>
		104-190	03	✓



mainframe@coa1mp3.ca  
bq.gov  
09/07/2005 10:39 AM

To  
cc  
bcc  
Subject

1 R E C O R D S W I T H L A B E L S PAGE  
1  
01009058 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905802305130901 LEGAL: T10N R2E SEC 17&16 POR OF TR 30 & 31 & POR EAST  
PF LAND USE:  
PROPERTY ADDR: 00000 N/A  
OWNER NAME: DAVIS CHARLES & JOSEPH E CO-TR  
OWNER ADDR: 18765 ST MARKS AV  
95037  
MORGAN HILL CA  
0100805848408740220 LEGAL: T11N R2E SEC 17 & 16 TR SITUATED IN TRS 30 THRU  
33 LAND USE:  
PROPERTY ADDR: 00000 N/A  
OWNER NAME: PICKARD PHILLIP DAVID SR TRUSTEE  
OWNER ADDR: 7600 PAN AMERICAN FWY NE  
87109  
ALBUQUERQUE NM  
0100905804009230902 LEGAL: T10N R2E SEC 16 TR SITUATED IN TRS 31, 32 & 33  
TOW LAND USE:  
PROPERTY ADDR: 00000 N/A  
OWNER NAME: DRAGONFLY DEVELOPMENT INC  
OWNER ADDR: 12809 DONETTE CT NE  
87112  
ALBUQUERQUE NM  
0100905807909030301 LEGAL: NORT HERL Y PORTION OF TRACT B-28, UNIT 5, TOWN  
OF A LAND USE:  
PROPERTY ADDR: 00000 N/A  
OWNER NAME: WESTLAND DEVELOPMENT CO INC  
OWNER ADDR: 00401 COORS NW  
87121  
ALBUQUERQUE NM  
0100905810009230302 LEGAL: NORT HERL Y PORTION OF TRACT B-27 UNIT 5 TOWN OF  
ATR LAND USE:  
PROPERTY ADDR: 00000 N/A  
OWNER NAME: WESTLAND DEVELOPMENT CO INC  
OWNER ADDR: 00401 COORS NW  
87121  
ALBUQUERQUE NM  
0100905813507030306 LEGAL: S'LY POR TS TRS B-24 THRU B-28 UNIT 5 TOWN OF  
ATRIS LAND USE:  
PROPERTY ADDR: 00000  
OWNER NAME: A.M.A.F.C.A  
OWNER ADDR: 02600 PROSPECT NE  
87107  
ALBUQUERQUE NM  
0100905812009530303 LEGAL: NORT HERL Y PORTION OF TRACT B-26 UNIT 5 TOWN OF  
ATR LAND USE:  
PROPERTY ADDR: 00000 N/A  
OWNER NAME: WESTLAND DEVELOPMENT CO INC  
OWNER ADDR: 00401 COORS NW  
87121  
ALBUQUERQUE NM  
0100905800713831802 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905801213731803 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE

PAGE 2

0100905801713431804 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905800815431701 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905804015131320 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905801515631306 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905801915831305 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905802415931304 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905802716031303 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905803116131302 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905803516231301 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905806215731330 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905803419130506 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905805219230505 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE  
0100905806919330504 LEGAL: TR N TO WN OF ATRISCO GRANT SEC 16 T10N R2E  
CONT 5 LAND USE:

PROPERTY ADDR: 00000 N/A  
OWNER NAME: MYRICK EUNICE L  
OWNER ADDR: 02112 ALVARADO NE

ALBUQUERQUE NM 87110  
0100905808719230502 LEGAL: TR N TO WN OF ATRISCO GRANT T10N R2E SEC 16  
CONT 5 LAND USE:

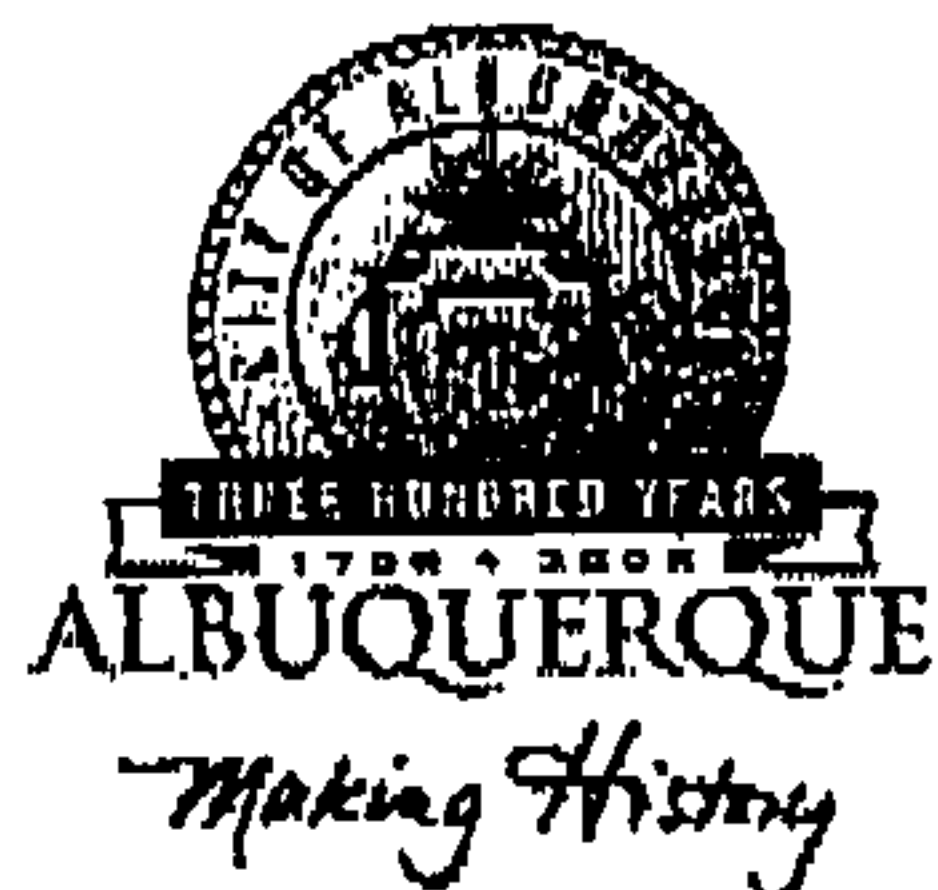
PROPERTY ADDR: 00000 N/A  
OWNER NAME: WESTLAND DEV CO INC  
OWNER ADDR: 00401 COORS BL NW

ALBUQUERQUE NM 87121  
0100905810419030503 LEGAL: TR N TO WN OF ATRISCO GRANT T10N R2E SEC 16  
CONT 5 LAND USE:

PROPERTY ADDR: 00000 N/A  
OWNER NAME: HERNANDEZ ALBINA ETAL  
OWNER ADDR: 01729 RICHMOND NE

ALBUQUERQUE NM 87106

QUIT



# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

August 19, 2005

David Soule  
Rio Grande Engineering  
1606 Central SE, Suite 201  
Phone: 872-0999/Fax: 872-2205

Dear David:

Thank you for your inquiry of **August 19, 2005** requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACTS 30, 31, 32, 33 TOWN OF ATRISCO GRANT, UNIT 5, LOCATED ON ENDEE ROAD NW, BETWEEN 98<sup>TH</sup> STREET AND 94<sup>TH</sup> STREET** zone map J-8-9.

Our records indicate that the Recognized Neighborhood Association (s) affected by this proposal and the contact names are as follows:

**AVALON N.A. (AVA) "R"**  
Miguel Maestas *e-mail: [migmaestas@peoplepc.com](mailto:migmaestas@peoplepc.com)*  
9400 Harbor Rd. NW/87121 831-9629 (h) 242-7306 (w)  
Claudette Archuleta *e-mail: [claudette0513@hotmail.com](mailto:claudette0513@hotmail.com)*  
9308 Starboard Rd. NW/87121 831-1939 (h) 242-7306 (w)

**Council District: 1**  
**County District: 1**  
**Police Beat: 152WS**  
**Zone Map #: J-9-10, K-8-10, L-9**

**PARKWAY N.A. (PKW) "R"**  
Carol Cunningham *e-mail: [jscunning@comcast.net](mailto:jscunning@comcast.net)*  
8012 Bridgewater Pl. NW/87120 831-7187 (h)  
Mary Loughran *e-mail: [maryloughran@comcast.net](mailto:maryloughran@comcast.net)*  
8015 Fallbrook NW/87120 836-7841 (h)

**Council District: 1**  
**County District: 1**  
**Police Beat: 139WS/Z-C**  
**Zone Map #: H-J-9**

**See reverse side for additional Neighborhood Association Information: YES {} NO {X}**

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before the Planning Department will accept your application filing. IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD ASSOCIATION.**



# NOTICE TO APPLICANTS

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### **WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:**

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

\*\*\*\*\*

*(Below this line for ONC use only)*

Date of Inquiry: 8/19/05 Time Entered: 10:00am ONC Rep. Initials: DC

100905800713831802      LEGAL: LOT 37-P1 BLK 1 PLAT FOR SUNDOR SOUTH SUBDIVISION  
PROPERTY ADDR:            9604 KILAVEA AVE NW  
  
OWNERS NAME:            FULLER HOMES INC  
OWNERS ADDR:            PO BOX 13900  
                                 ALBUQUERQUE, NM 87192

100905801213731803      LEGAL: LOT 38-P1 BLK 1 PLAT FOR SUNDORO SOUTH SUBDIVISION  
PROPERTY ADDR:            9600 KILAUEA AVE NW  
  
OWNERS NAME:            FULLER HOMES INC  
OWNERS ADDR:            PO BOX 13900  
                                 ALBUQUERQUE, NM 87192

100905801713431804      LEGAL: TRACT 1 PLAT FOR SUNDOR SOUTH SUBDIVISION UNIT C  
PROPERTY ADDR:            N/A  
  
OWNERS NAME:            WESTLAND DEVELOPMENT CO INC.  
OWNERS ADDR:            401 COORS BLVD NW  
                                 ALBUQUERQUE, NM 87121

100905800815431701      LEGAL: LOT 20-P1 BLK 3 PLAT FOR SUNDORO SOUTH SUBDIVISION  
PROPERTY ADDR:            9601 KILAUEA AVE NW  
  
OWNERS NAME:            WESTLAND DEVELOPMENT CO INC  
OWNERS ADDR:            401 COORS BLVD NW  
                                 ALBUQUERQUE, NM 87121

100905804015131320      LEGAL: TRACT A PLAT FOR SUNDORO SOUTH SUBDIVISION UNIT AC  
PROPERTY ADDR:            N/A  
  
OWNERS NAME:            WESTLAND DEVELOPMENT CO INC  
OWNERS ADDR:            401 COORS BLVD NW  
                                 ALBUQUERQUE, NM 87121

100905801515631306      LEGAL: LOT 6-P1 BLK 6 CORRECTION PLAT FOR SUNDORO SOUTH UNIT 3  
PROPERTY ADDR:            9544 COLIMA AVE NW  
  
OWNERS NAME:            WESTLAND DEVELOPMENT CO INC  
OWNERS ADDR:            401 COORS BLVD NW  
                                 ALBUQUERQUE, NM 87121

100905801915831305      LEGAL: LOT 5-P1 BLK 6 CORRECTION PLAT FOR SUNDORO SOUTH UNIT 3  
PROPERTY ADDR:            9540 COLIMA AVE NW  
  
OWNERS NAME:            WESTLAND DEVELOPMENT CO INC  
OWNERS ADDR:            401 COORS BLVD NW  
                                 ALBUQUERQUE, NM 87121

100905802415931304      LEGAL: LOT 4-P1 BLK 6 CORRECTION PLAT FOR SUNDORO SOUTH UNIT 3  
PROPERTY ADDR:            9536 COLIMA AVE NW  
  
OWNERS NAME:            WESTLAND DEVELOPMENT CO INC  
OWNERS ADDR:            401 COORS BLVD NW  
                                 ALBUQUERQUE, NM 87121

100905802716031303      LEGAL: LOT 3-P1 BLK 6 CORRECTION PLAT FOR SUNDORO SOUTH UNIT 3  
PROPERTY ADDR:            9532 COLIMA AVE NW  
  
OWNERS NAME:            WESTLAND DEVELOPMENT CO INC  
OWNERS ADDR:            401 COORS BLVD NW  
                                 ALBUQUERQUE, NM 87121



Project # 1003523

GHP, LLC  
7600 PAN AMERICAN FREEWAY  
ALBUQUERQUE, NM 87106

RIO GRANDE ENGINEERING  
1606 CENTRAL SE STE# 201  
ALBUQUERQUE, NM 87106

MIGUEL MAESTAS  
Avalon N.A.  
9400 HARBOR RD NW  
ALBUQUERQUE, NM 87121

CLAUDETTE ARCHULATA  
Avalon N.A.  
9308 STARBOARD RD NW  
ALBUQUERQUE, NM 87121

CAROL CUNNINGHAM  
Parkway N.A.  
8012 BRIDGEWATER PL NW  
ALBUQUERQUE, NM 87120

MARY LOUGHRAN  
PARKWAY N.A.  
8015 FALLBROOK NW  
ALBUQUERQUE, NM 87120

100905802305130901

100805848408740220

100905804009230902

DAVIS CHARLES & JOSEPH E CO-T  
18765 ST MARKS AV  
MORGAN HILL CA 95037

PICKARD PHILLIP DAVID SR TRUSTEE  
7600 PAN AMERICAN FWY NE  
ALBUQUERQUE, NM 87109

DRAGONFLY DEVELOPMENT INC  
12809 DONETTE CT NE  
ALBUQUERQUE, NM 87112

100905807909030301

100905813507030306

100905806919330504

WESTLAND DEVELOPMENT CO INC  
401 COORS NW  
ALBUQUERQUE NM 87121

A.M.A.F.C.A  
2600 PROSPECT NE  
ALBUQUERQUE NM 87107

MYRICK EUNICE L  
2112 ALVARADO NE  
ALBUQUERQUE NM 87110

100905810419030503

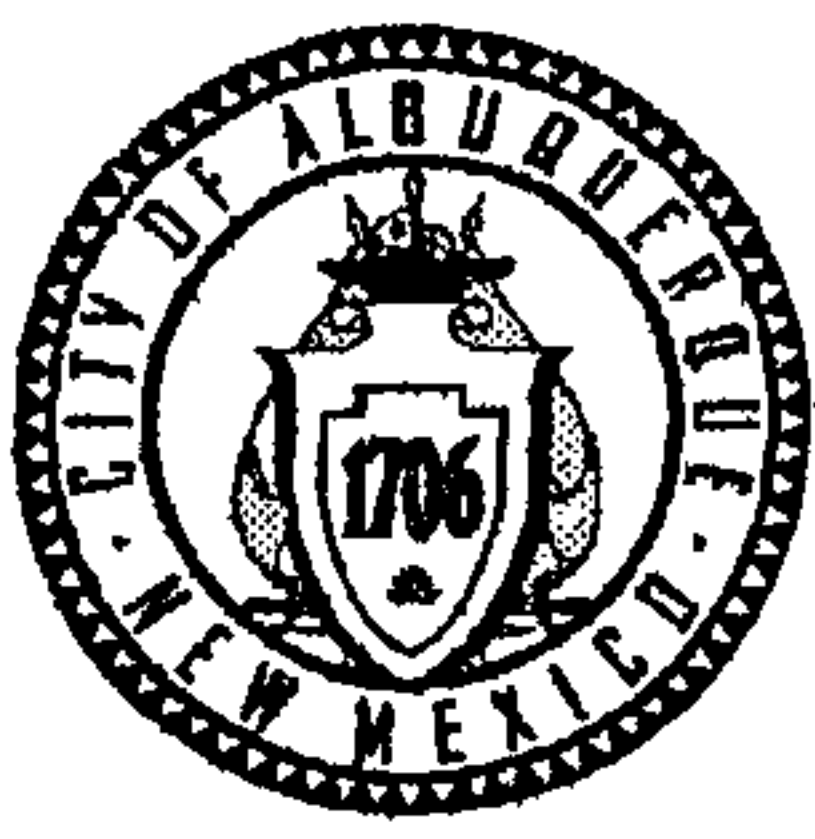
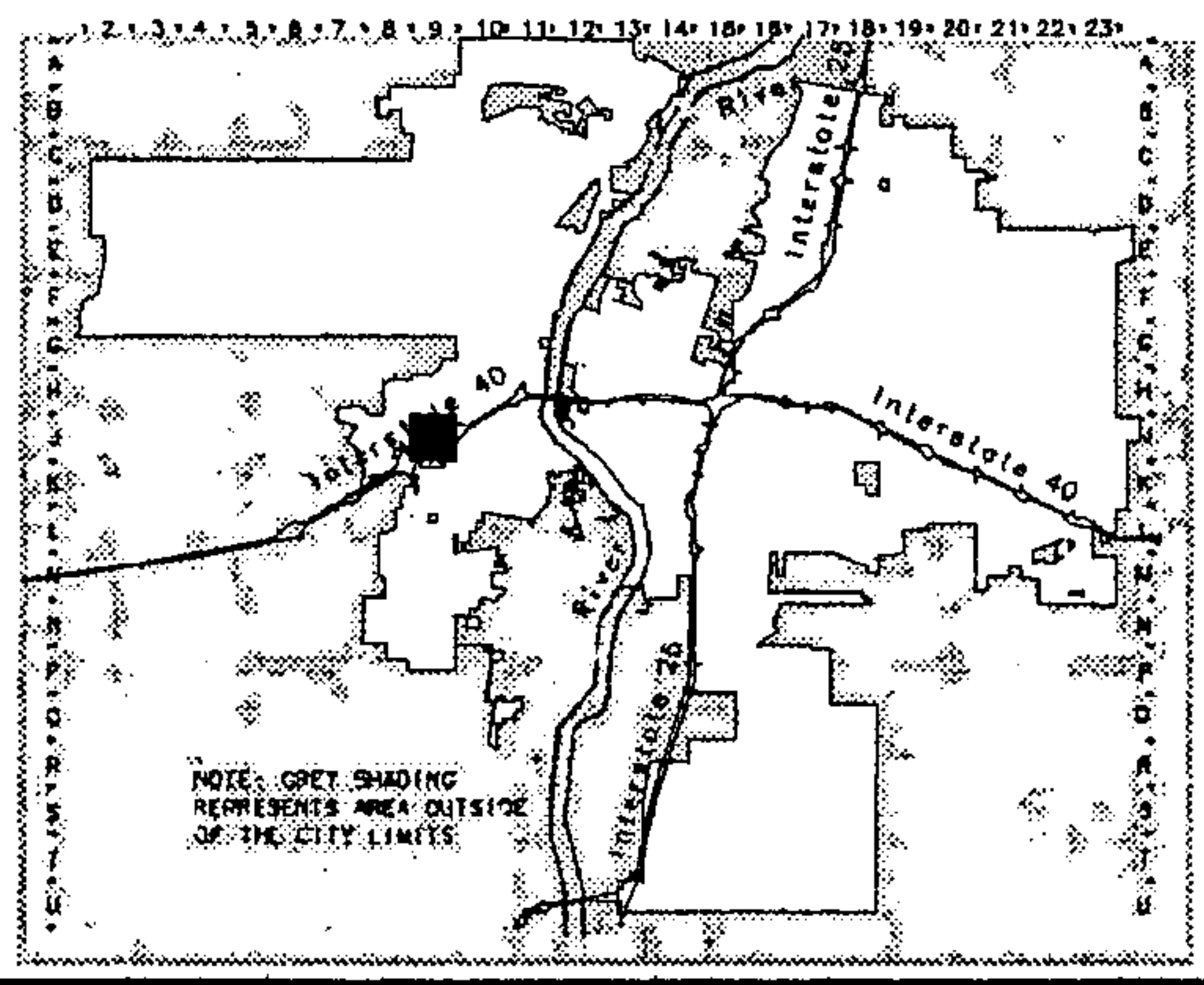
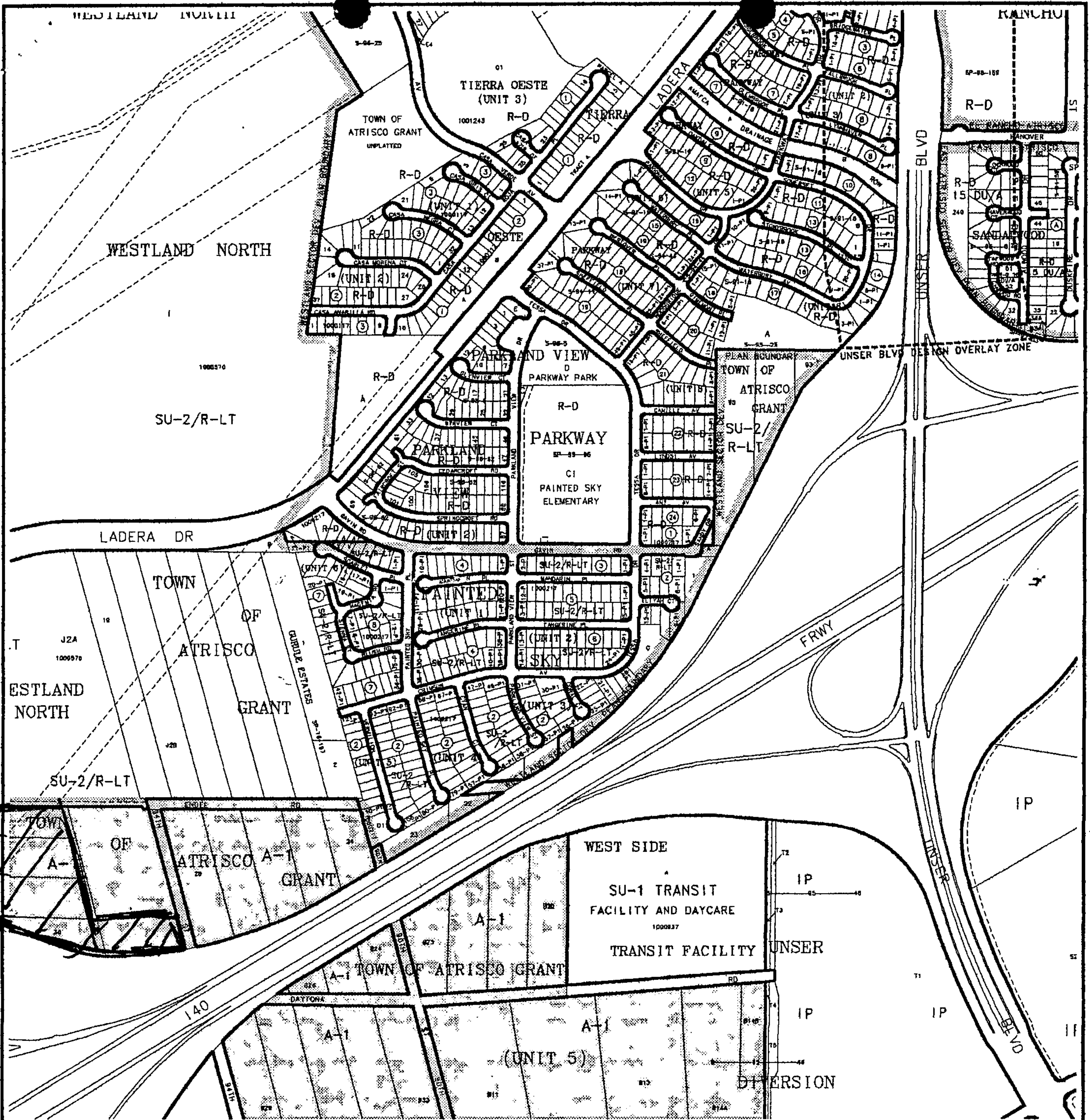
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HERNANDEZ ALBINA ETAL  
1729 RICHMOND NE  
ALBUQUERQUE NM 87106

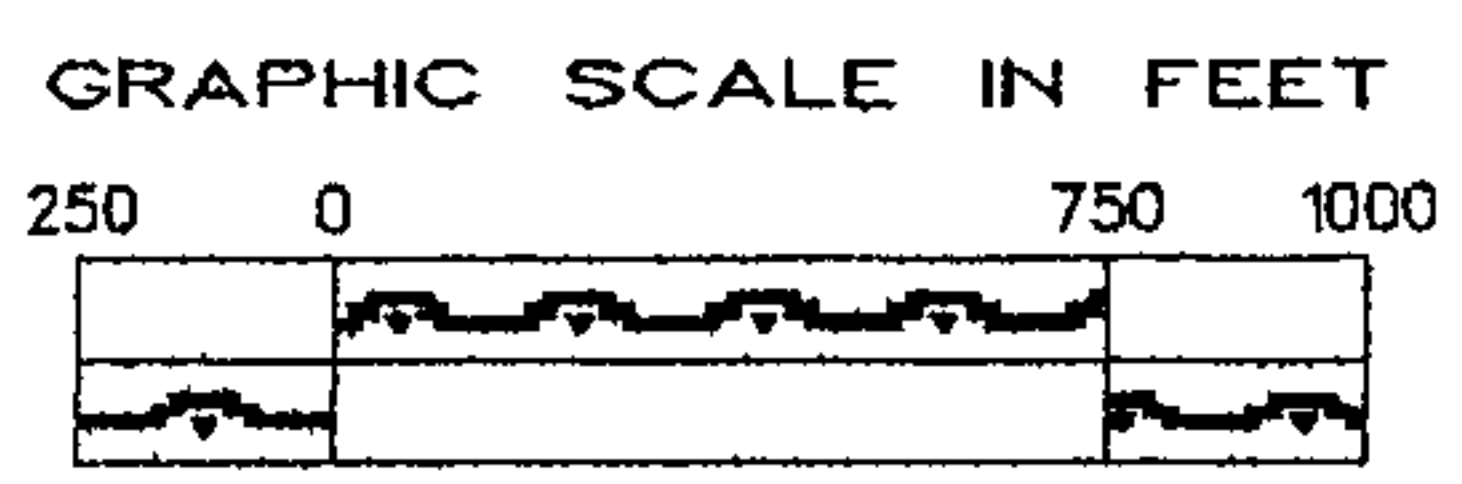
FULLER HOMES INC  
PO BOX 13900  
ALBUQUERQUE, NM 87192

HAHN JOE R  
4402 CANYON CT NE  
ALBUQUERQUE, NM 87121



**A G I S**  
 Albuquerque Geographic Information System  
 PLANNING DEPARTMENT

© Copyright 2004



**Zone Atlas Page**

**J-9-Z**

Map Amended through February 03, 2004



August 25, 2005

Ms Sheran Matson  
Chair- Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

**RE: Preliminary Plat and Site Development  
For subdivision Approval for  
Prima Entrada Subdivision  
Albuquerque, New Mexico**

Dear Ms. Matson:

Rio Grande Engineering, on behalf of the Owner of the reference property, requests approval of the enclosed Preliminary Plat, Site Development Plan, and temporary Deferral of internal sidewalks. This project was annexed with Bill O-05-102. As shown on the enclosed vicinity map, the property is located south of Endee road between 94<sup>th</sup> street and 98<sup>th</sup> Street. The property is zoned SU-2 for RLT. The property is located within the boundaries of the Westland Sector Plan.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE  
RIO GRANDE ENGINEERING  
1606 CENTRAL SE SUITE 201  
ALBUQUERQUE, NM 87106

Enclosures

cc: Phil Pickard  
Miguel Maestas  
Claudette Archuleta  
Carol Cunningham  
Mary Loughran

JN: 2321  
ds

preplatlter082505



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, September 28, 2005**, beginning at **9:00 a.m.** for the purpose of considering the following:

**Project # 1004228**

05DRB-01394 Major-Vacation of Public Easements

TERRAMETRICS OF NEW MEXICO agent(s) for HEADSTART ENTERPRISES request(s) the above action(s) for all or a portion of Tract(s) 11-14, **SUNRISE HEIGHTS**, zoned M-1 light manufacturing zone, located near Alameda Lateral south of Montano Rd NE. [REF:05DRB00888] (F-15)

**Project # 1003573**

05DRB-01379 Major-Amended Grading Plan Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 and 30, Block(s) 2, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01138, 04DRB01417, 05DRB00481] (C-20)

**Project # 1003523**

05DRB-01369 Major-Preliminary Plat Approval  
05DRB-01368 Major-SiteDev Plan Subd  
05DRB-01370 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for GHP, LLC request(s) the above action(s) for LOT 30, 31, 32 and 33, **LANDS OF ATRISCO GRANT, UNIT 3**, (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2 FOR R-LT, located on 98<sup>TH</sup> ST NW, between ENDEE RD NW and I-25 NW containing approximately 17 acre(s). [REF:04EPC-01003, 04EPC-01352, 04EPC-01489](J-8)

**Project # 1002715**

05DRB-01398 Major-Bulk Land Variance  
05DRB-01396 Major-Vacation of Pub Right-of-Way  
05DRB-01397 Major-Vacation of Public Easements  
05DRB-01399 Minor-Prelim&Final Plat Approval

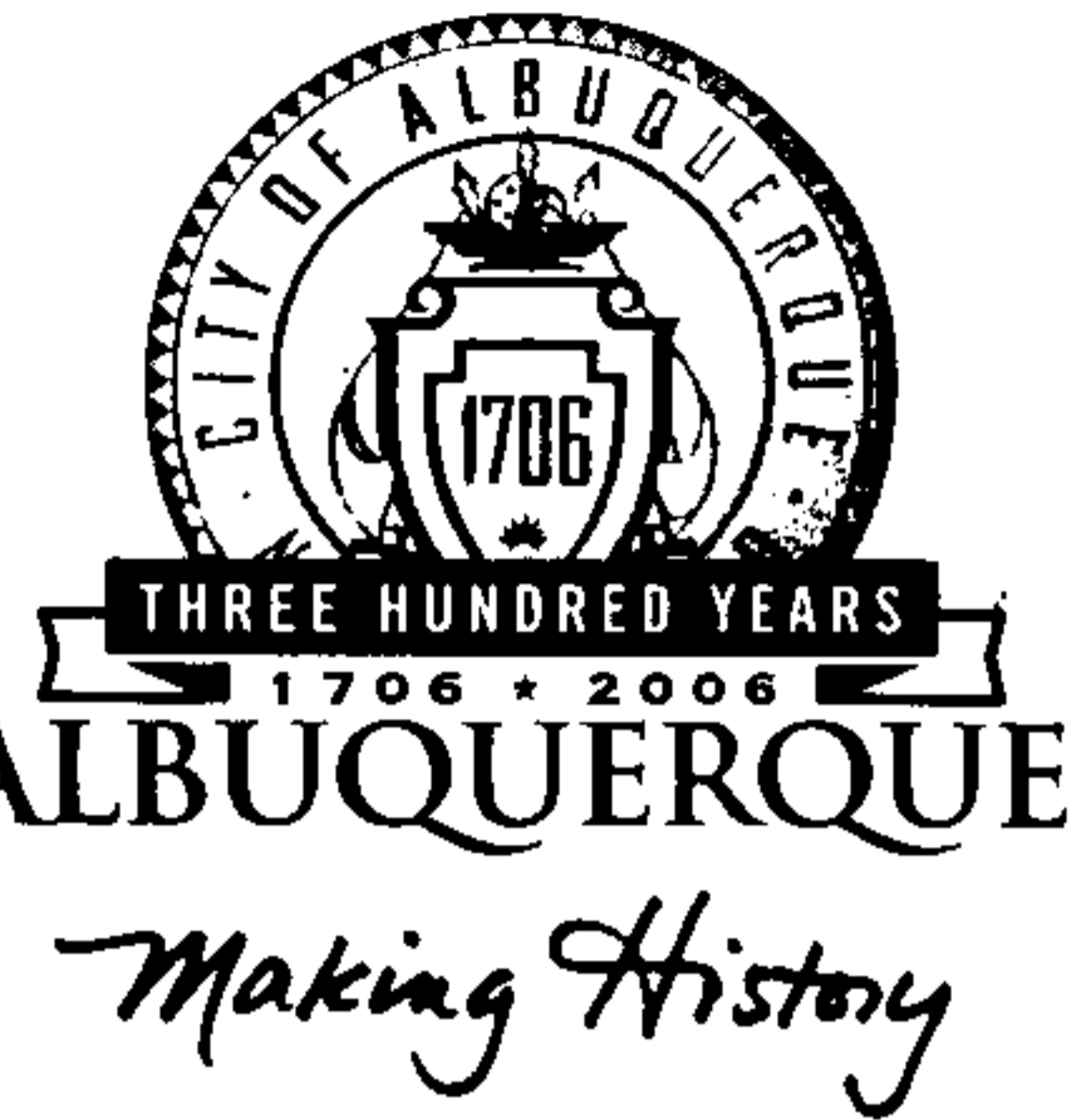
ISAACSON & ARFMAN agent(s) for BOULEVARD LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3 & 4, Tract(s) H, **LANDS OF HORIZON CORPORATION**, (to be known as **BOULEVARD LTD**) zoned SU-1 FOR C-1, located on UNSER BLVD NE, between PARADISE BLVD NW and LYONS BLVD NW containing approximately 30 acre(s). [REF: 03EPC00918, 03EPC00919, 04DRB00964, 04DRB00965, 04DRB00965, 04DRB00967] (B-11)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

  
Sheran Matson, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, SEPTEMBER 12, 2005.**

# CITY OF ALBUQUERQUE



Planning Department

P.O. Box 1293

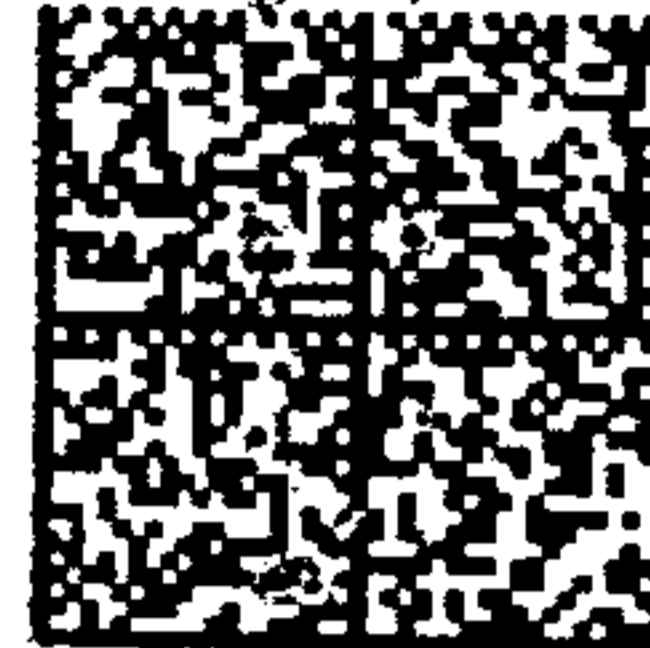
Albuquerque, NM 87103

RETURN  
TO SENDER  
NOT DELIVERABLE  
AS ADDRESSED  
UNABLE TO FORWARD

*DRB*

Project # 1003523

GHP, LLC  
7600 PAN AMERICAN FREEWAY  
ALBUQUERQUE, NM 87106



02 1A  
0004329277 SEP 08 2005  
MAILED FROM ZIP CODE 87102  
\$ 0.37<sup>0</sup>

87106/3333





Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

**D** Street Name Change (Local & Collector)

**L A APPEAL / PROTEST of...**

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): \_\_\_\_\_ PHONE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_

CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

APPLICANT: Monterey Land Group II LLC PHONE: 975-1154

ADDRESS: 122 Tulane Dr SE FAX: \_\_\_\_\_

CITY: Alb STATE NM ZIP 87106 E-MAIL: Tim@TSMcNaney.com

Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_

**DESCRIPTION OF REQUEST:**

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. \_\_\_\_\_ Block: \_\_\_\_\_ Unit: \_\_\_\_\_

Subdiv/Addn/TBKA: Prima Entrada

Existing Zoning: \_\_\_\_\_ Proposed zoning: \_\_\_\_\_ MRGCD Map No \_\_\_\_\_

Zone Atlas page(s): J-8 & 9 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? \_\_\_\_\_

No. of existing lots: \_\_\_\_\_ No. of proposed lots: \_\_\_\_\_ Total site area (acres): \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: NE corner of Arroyo Vista

Between: \_\_\_\_\_ and # 1-40

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT) . Review Date: \_\_\_\_\_

SIGNATURE TMW DATE 12/20/12

(Print Name) TIM McNaney Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>12DRB - 70392</u>	<u>ESIA</u>	_____	<u>\$ 50.00</u>
_____	<u>CMT</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____

Hearing date Jan. 9, 2012

Revised: 4/2012

Total \$ 70.00

Project # 1003523

12-20-12  
Staff signature & Date

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE (DRB04)

(PUBLIC HEARING CASE)

- \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
- \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
- \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- \_\_\_ Sign Posting Agreement
- \_\_\_ Fee (see schedule)
- \_\_\_ List any original and/or related file numbers on the cover application

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

VACATION OF PUBLIC EASEMENT (DRB27)

VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)

- \_\_\_ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
- \_\_\_ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
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Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

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SIDEWALK VARIANCE (DRB20)

SIDEWALK WAIVER (DRB21)

- \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver
- \_\_\_ List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)

- \_\_\_ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the variance
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- \_\_\_ Sign Posting Agreement
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TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)

- \_\_\_ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the deferral or extension
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**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF PRIVATE EASEMENT (DRB26)

VACATION OF RECORDED PLAT (DRB29)

- \_\_\_ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
- \_\_\_ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

\_\_\_\_\_  
Tim McNaney  
Applicant name (print)  
\_\_\_\_\_  
JM / 12/20/12  
Applicant signature / date



Form revised 4/07

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
12-DRB-70392  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Planner signature / date  
12-20-12  
Project # 1003523



Supplemental Form (SF)

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- Major subdivision action
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- Vacation
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Revised: 4/2012		
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_____	_____	\$ _____
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[Signature] 12-20-12  
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Project # 1003523

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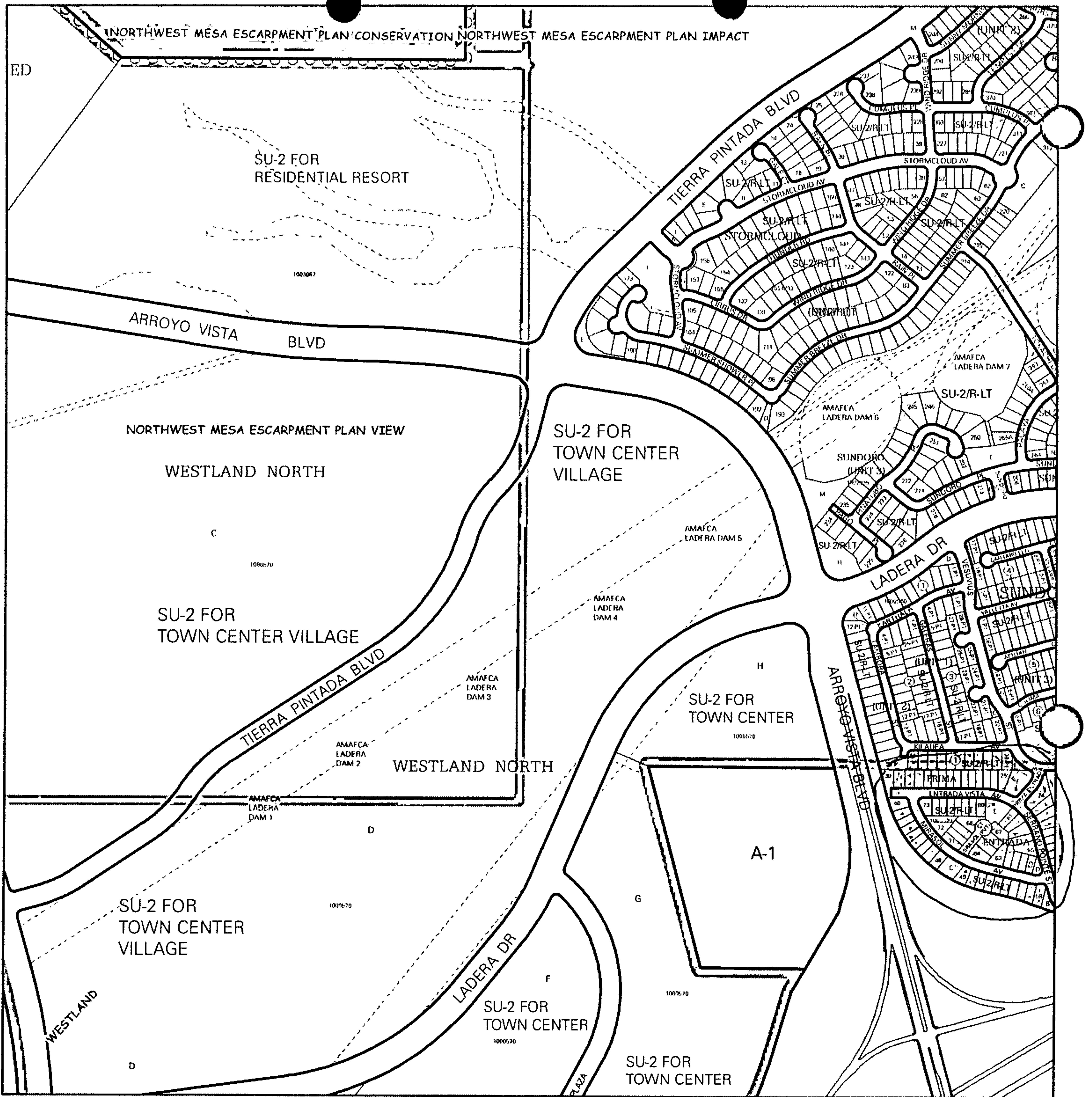
Tim McNaney  
 Applicant name (print)  
 JM 12/20/12  
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- Checklists complete
- Fees collected
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Application case numbers  
 12-DRB-70392

Form revised 4/07  
 Planner signature / date  
 Project # 1003523



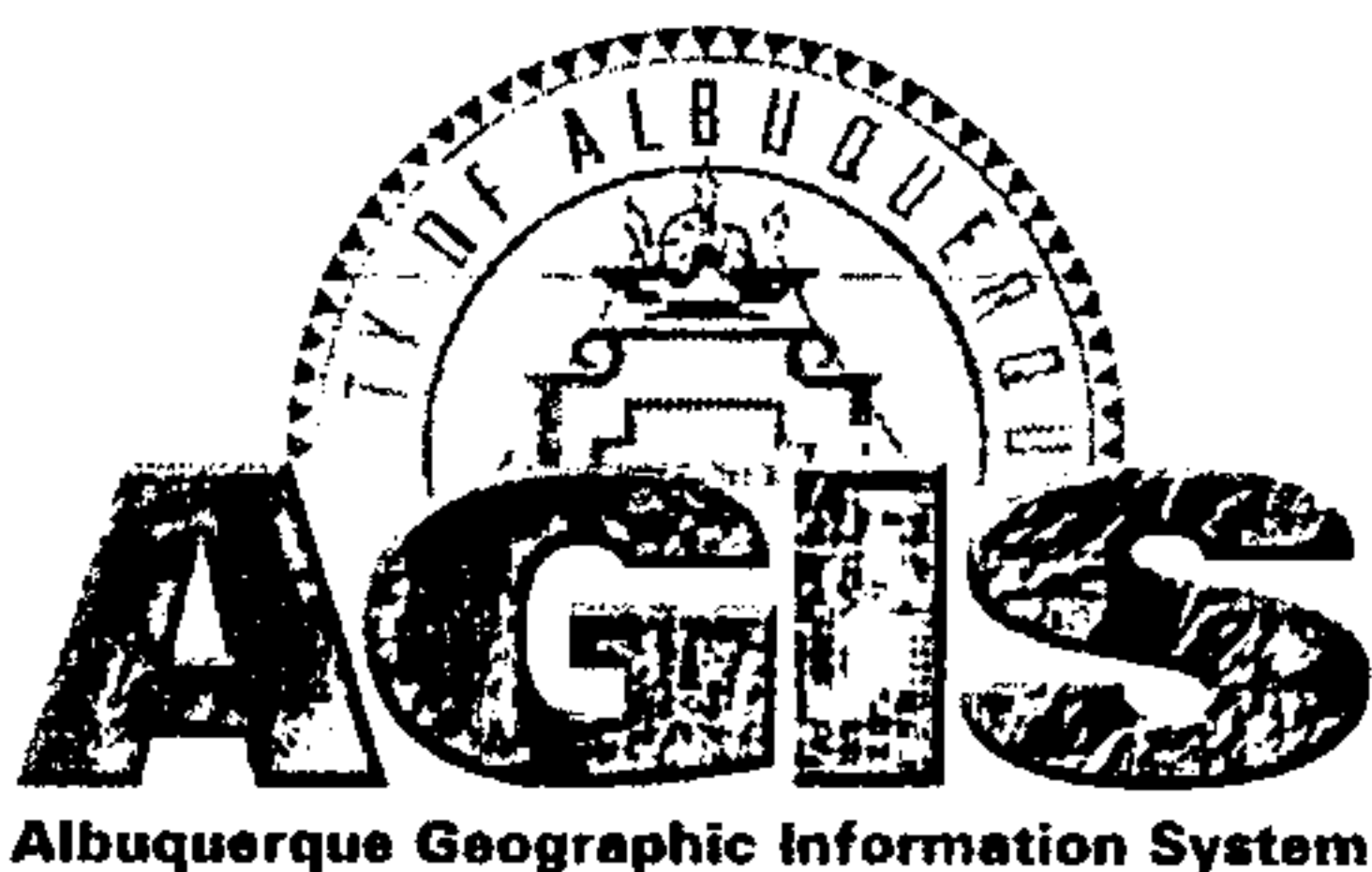
For more current information and more details visit: <http://www.cabq.gov/gis>

Zone Atlas Page:

**J-08-Z**

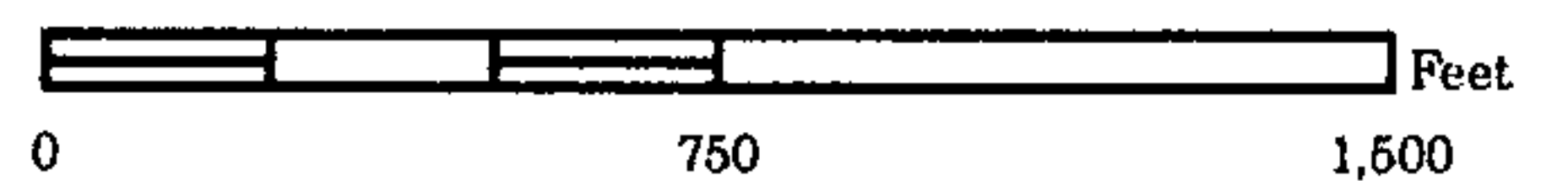
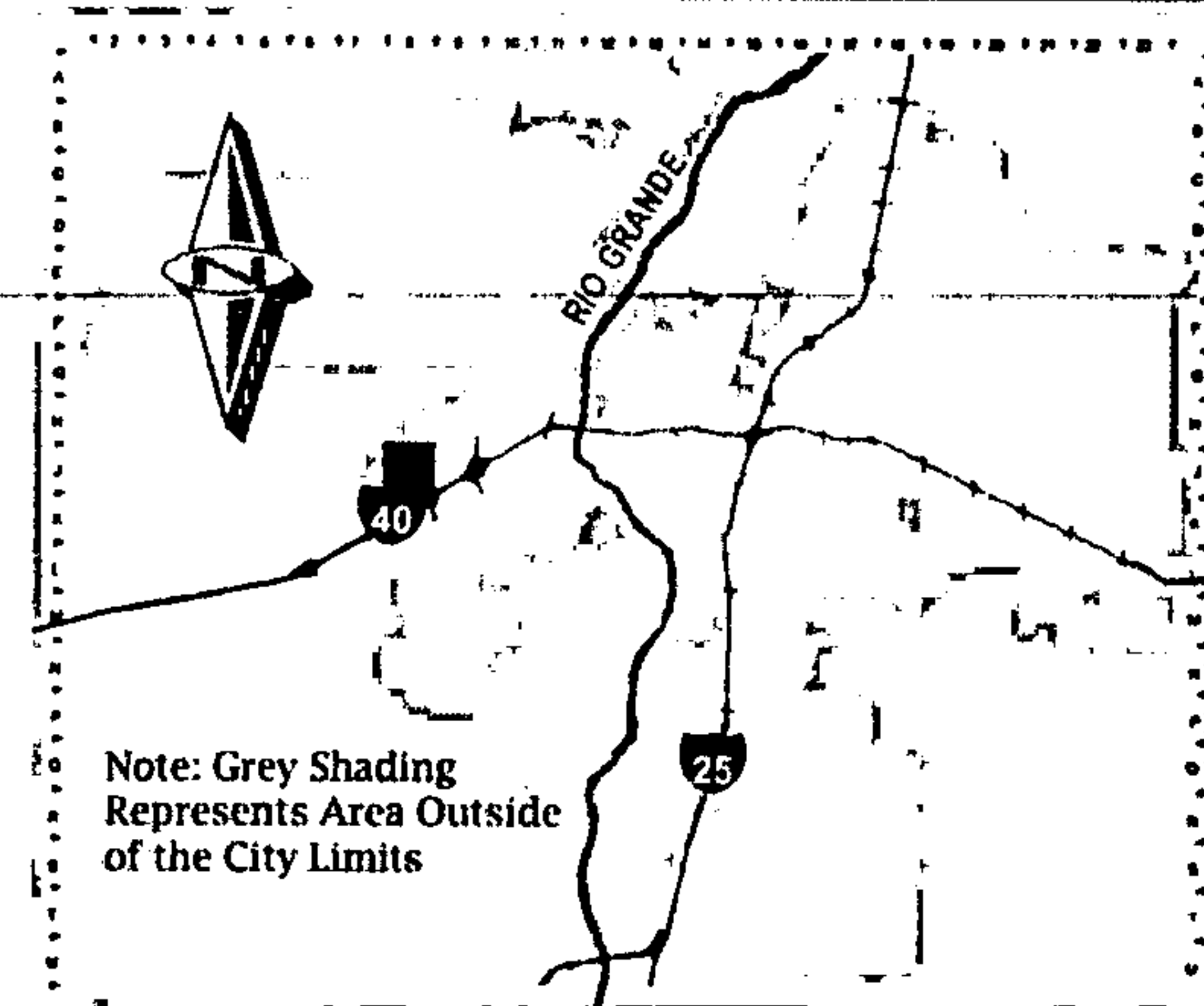
Selected Symbols

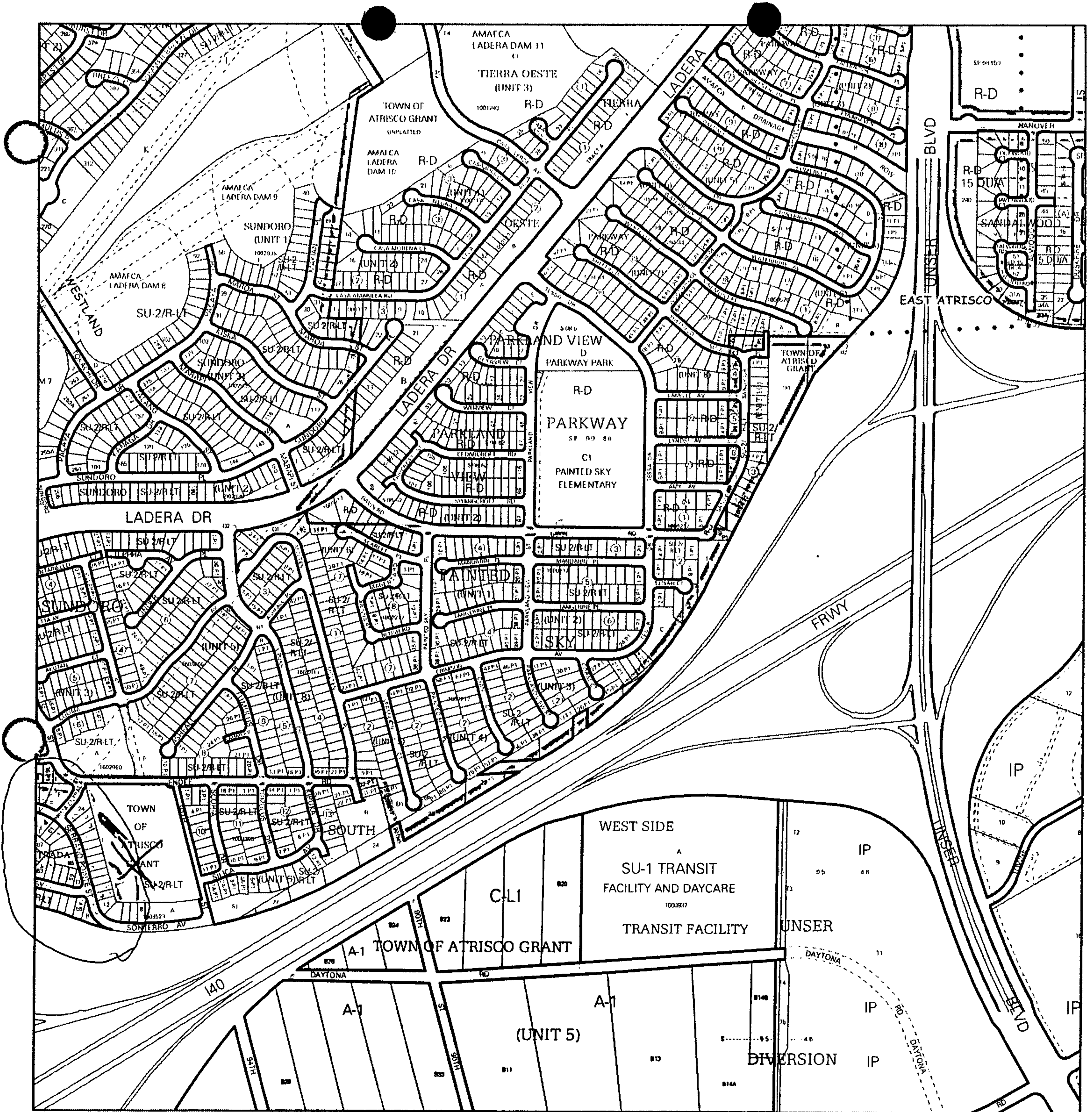
- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits





For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**J-09-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

**EXTENSION AGREEMENT**

**SIDEWALK DEFERRAL**

PROJECT NO.: \_\_\_\_\_

This Agreement made this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, by and between the City of Albuquerque, New Mexico, a municipal corporation ("City") and (name of developer:) **Monterey Land Group II, LLC** ("Developer"), whose address is **122 Tulane Dr. SE**, and whose telephone number is **975-1154**, is made in Albuquerque, New Mexico and is entered into as of the date of final execution of this Agreement.

WHEREAS, the City and the Developer entered into an Agreement on the **9** day of **October, 2006**, which was recorded in the office of the Clerk of Bernalillo County, New Mexico on **October 10, 2006**, in Book **A125**, pages **3854** through **3854**, as Document No. **2006154262** ("Earlier Agreement"), by which the Developer agreed to complete the construction of certain infrastructure improvements on or before the **15** day of **December, 2007** and

WHEREAS, the Earlier Agreement was amended by a **1st** Extension to Agreement dated **July 15, 2008** recorded on **July 15, 2008**, pages **1 of 4**, as Document No. **2008079940** in the records of Bernalillo County Clerk, State of New Mexico, extending the construction deadline **December 15, 2009**; and

WHEREAS, the Earlier Agreement was amended by a **2nd** Extension to Agreement dated **September 23, 2010** recorded on **September 23, 2010**, pages **1 of 4**, as Document No. **2010095616** in the records of Bernalillo County Clerk, State of New Mexico, extending the construction deadline to **August 18, 2011**; and

WHEREAS, the Earlier Agreement was amended by a **3rd** Extension to Agreement dated **October 25, 2011** recorded on **October 31, 2011**, pages **1 of 3**, as Document No. **2011098765** in the records of Bernalillo County Clerk, State of New Mexico, extending the construction deadline to **August 18, 2012**; and

WHEREAS, it appears that the Developer will be unable to complete construction of the improvements by the deadline specified in the Agreement; and

WHEREAS, the City is willing to grant Developer an extension of time in which to complete construction of all or part of the improvements, provided the Developer posts an acceptable financial guaranty, as required by the City's Subdivision Ordinance and the Development Process Manual; and

WHEREAS, the Developer is able to provide the required financial guaranty.

NOW THEREFORE in consideration of the above and the mutual promises contained herein, the parties agree:

County Clerk's Recording Label

1. The required completion date for construction of the improvements, as set forth in the attached **Exhibit A**, is extended (Complete either A or B:)

A. For all improvements, the 18 day of August, 2013

B. On portions of the improvements as follows:

<u>IMPROVEMENTS</u>	<u>COMPLETION DATE</u>
_____	_____
_____	_____
_____	_____

2. With this Extension Agreement, Developer has provided the City with the following financial guaranty:

Type of Financial Guaranty: Subdivision Improvement Bond No.

Amount: \$ 42,113.06

Name of Financial Institution or Surety providing Guaranty: \_\_\_\_\_

Date City first able to call Guaranty (Construction Completion Deadline): August 18, 2013

If Guaranty is a Letter of Credit or Loan Reserve, then last day City able to call Guaranty is: \_\_\_\_\_

Additional information: \_\_\_\_\_

3. The parties agree that all terms and conditions of the Earlier Agreement are not in conflict with this Extension Agreement and shall remain valid, in force, and binding upon the parties. By executing this Agreement, the parties only intention is to extend the construction completion deadline established in the Earlier Agreement and establish a revised financial guaranty for the benefit of the City.

Executed on the date stated in the first paragraph of this Agreement.

DEVELOPER: Monterey Land Group II, LLC

CITY OF ALBUQUERQUE:

By [signature]: \_\_\_\_\_

By: \_\_\_\_\_

Name [print]: Tim McNaney

Richard Dourte, City Engineer

Title: Manager

Dated: \_\_\_\_\_

Dated: \_\_\_\_\_



DEVELOPER'S NOTARY

STATE OF New Mexico )  
 ) ss.  
COUNTY OF Bernalillo )

This instrument was acknowledged before me on \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
by [name of person:] Tim McNaney, [title or capacity, for instance, "President" or "Owner"]  
Manager of [Developer:] Monterey Land Group II, LLC.

(SEAL)

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_

CITY'S NOTARY

STATE OF NEW MEXICO )  
 ) ss.  
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
by Richard Dourte, City Engineer of the City of Albuquerque, a municipal corporation, on behalf  
of said corporation.

(SEAL)

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_

**SIDEWALK VERIFICATION**  
**AND**  
**CALCULATIONS**

PROJECT NO.: 784481

PROJECT NAME: Prima Entrada

**CALCULATIONS:**

<u>1,771.12</u> (Total Linear Feet)	X 4	= <u>7,084.48</u> (Square Feet)	: 9	= <u>787.16</u> (Square Yards)	
<u>\$40.00</u> (Unit Price)	=	<u>\$31,486.40</u> (Base Price)	X	<u>7.00%</u> (Gross Rcpt. Tax Rate)	=
<u>\$2,204.05</u> (Gross Rcpt. Amt.)	+	<u>\$31,486.40</u> (Base Price)	=	<u>\$33,690.45</u> (Total Cost of Const.)	
<u>\$33,690.45</u> (Total Cost of Const.)	X	125%	=	<u>\$42,113.06</u> (Amount of Financial Guaranty)	

REVIEWED/APPROVED:

Marilyn Maldonado  
Marilyn Maldonado,  
Contract Specialist  
Design Review Section

Verification Performed By: Henry Blair

Date of Verification: 09/28/2012

Gross Receipts Tax Rates:  
City Tax Rate = 7.00%

# CITY OF ALBUQUERQUE



August 20, 2012

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

Tim McNaney, Manager  
**MONTEREY LAND GROUP II, LLC**  
122 Tulane Drive SE  
Albuquerque, NM 87106

RE: NOTICE OF FAILURE TO COMPLETE IMPROVEMENTS, DEFAULT AND  
CITY'S INTENTION TO CALL FINANCIAL GUARANTY-SIDEWALK  
**DEFERRAL AGREEMENT**

**PROJECT: PRIMA ENTRADA**  
**PROJECT NO: 784481**

**Dear Mr. McNaney:**

I am the Assistant City Attorney who represents the City of Albuquerque ("City") in matters relating to construction of infrastructure by developers. As you are aware, **Monterey Land Group II, LLC** ("Developer") signed a **SIDEWALK DEFERRAL AGREEMENT**, ("Agreement") requiring the Developer to construct certain sidewalk improvements by **August 18, 2012** ("Construction Deadline"). I have been informed that the Developer failed to meet the Construction Deadline and failed to obtain timely extension from the Development Review Board ("D.R.B.") before the Construction Deadline. The construction has not been completed and the Developer has not requested and received an extension from the D.R.B. and submitted an Extension Agreement and related financial guaranty to the City's Planning Department, Design Review Section. The Construction Deadline has passed and the requirements were not met.

THIS LETTER PROVIDES THE REQUIRED NOTICE TO DEVELOPER AND THE SURETY NAMED BELOW THAT THE DEVELOPER AGREEMENT WITH THE CITY IS IN DEFAULT, AND THE CITY HOLDS THE DEVELOPER AND THE SURETY JOINTLY AND SEVERALLY LIABLE. THIRTY DAYS AFTER MAILING THIS LETTER THE CITY WILL BE CALLING ON THE FINANCIAL GUARANTY PROVIDED BY THE SURETY, AND THE CITY WILL DEMAND THAT THE SURETY PAY THE CITY 125% OF THE COST OF COMPLETING THE IMPROVEMENTS.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions regarding this matter, please contact the Project Administrator Marilyn Maldonado at 924-3997, Design Review Section.

Very truly yours,



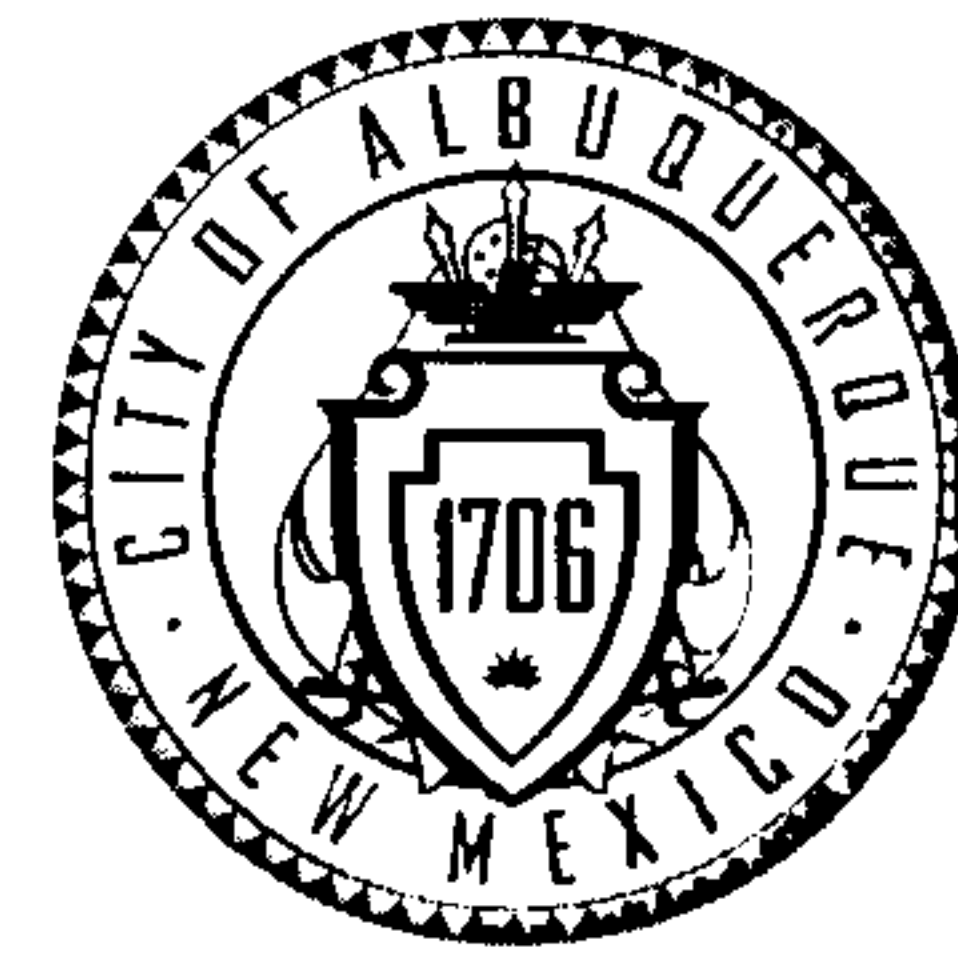
Blake Whitcomb  
Assistant City Attorney

THIS LETTER IS SENT TO CONFORM TO THE REQUIREMENTS OF THE CITY'S  
SUBDIVISION ORDINANCE.

cc: U.S. Specialty Insurance Company, 13403 Northwest Freeway, Houston Texas,  
77040

BW/pcl

#4-SW



July 18, 2012

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

Tim McNaney, Manager  
**MONTEREY LAND GROUP II, LLC**  
122 Tulane Drive SE  
Albuquerque, NM 87106

RE: NOTICE OF UPCOMING DEADLINE FOR COMPLETION OF IMPROVEMENTS  
AND CITY'S INTENTION TO CALL FINANCIAL GUARANTY –**SIDEWALK  
DEFERRAL AGREEMENT**

**PROJECT: PRIMA ENTRADA**  
**PROJECT NO: 784481**

Dear Mr. McNaney:

I am the Assistant City Attorney who represents the City of Albuquerque ("City") in matters relating to construction of infrastructure by developers. As you are aware, **Monterey Land Group II, LLC** ("Developer") signed a **SIDEWALK DEFERRAL AGREEMENT**, ("Agreement") requiring the developer to construct certain infrastructure improvements by **August 18, 2012** ("Construction Deadline"). The Developer has utilized the maximum period allowed by the City's Subdivision Ordinance for completion of the required sidewalk construction.

If sidewalk construction will not be completed by the Construction Deadline, the City may grant an extension of time to complete construction if the Developer obtains approval for an extension from the City's Development Review Board ("D.R.B.") **before** the Construction Deadline, in accordance with D.R.B. requirements and Section 14-14-5-3 of the City's Subdivision Ordinance as amended. If granted, the D.R.B. approval will specify the extended deadline for completion. The Developer then must immediately submit an acceptable Extension Agreement and revised financial guaranty to the Planning Department, Design Review Section. All the above steps must be successfully completed by the Construction Deadline.

THIS LETTER PROVIDES NOTICE TO THE DEVELOPER THAT IF: (1) THE SIDEWALK CONSTRUCTION IS NOT COMPLETED BY THE CONSTRUCTION DEADLINE; OR (2) AN EXTENSION IS NOT OBTAINED AND THE RELATED EXTENSION AGREEMENT AND REVISED FINANCIAL GUARANTY ARE NOT SUBMITTED BY THE CONSTRUCTION DEADLINE, THEN THE CITY MAY DECLARE THE AGREEMENT TO BE IN DEFAULT AND WILL HOLD THE DEVELOPER AND THE SURETY JOINTLY AND SEVERALLY LIABLE FOR 125% OF THE COST OF COMPLETING THE IMPROVEMENTS.

Page 2 of 2  
July 18, 2012

**PROJECT: PRIMA ENTRADA**  
**PROJECT NO: 784481**

Please immediately contact the Project Administrator, Marilyn Maldonado, at (505) 924-3997 and let her know whether: (1) the sidewalk construction will be completed by the Construction Deadline date; or (2) the Developer will be submitting a written request for extension to the D.R.B. and, if an extension is granted, will be submitting an Extension Agreement and related revised financial guaranty to the Development & Building Services, Design Review Section by the Construction Deadline date.

Very truly yours,



Blake Whitcomb  
Assistant City Attorney

BW/pcl

#3-SW

Angelica  
924-  
3946  
DRB

Jack 924 -  
3880  
cloud

**Manuel Lujan Insurance, Inc.**

4801 Indian School Rd  
PO Box 3727  
Albuquerque, NM 87190-3727  
Phone: (505) 266-7771  
Fax: (505) 255-8140

<b>INVOICE #63843</b>	Amount Paid
	Account Number
<b>MONTLAN-01</b>	Invoice Date
	<b>7/26/2012</b>

Monterey Land Group II LLC  
Tim McNaney  
122 Tualne Drive SE  
Albuquerque, NM 87106

Remit To:  
Manuel Lujan Insurance, Inc.  
PO Box 3727  
Albuquerque, NM 87190

Invoice #: 63843	Date Paid:	Check #:	Amount Paid:
Contract Bond	Policy #: 1000855125	Effective: 8/18/2012 to 8/18/2013	
Company: US Specialty Insurance Company	Producer: David Mitchie		

Item #	Trans Eff Date	Due Date	Trans	Description	Amount
646999	8/18/2012	8/18/2012	RENB	Subdivision / Sidewalk Deferral for COA Prima Entrada	\$1,335.00

Premium must be received in our office by 8/18/12 for renewal to remain effect.  
Thank you.

**Total Invoice Balance: \$1,335.00**

January 9<sup>th</sup> 2013





Supplemental form

<b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
Major Subdivision action			Annexation
<input checked="" type="checkbox"/> Minor Subdivision action			County Submittal
Vacation	<b>V</b>		EPC Submittal
Variance (Non-Zoning)			Zone Map Amendment (Establish or Change Zoning)
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>		Sector Plan (Phase I, II, III)
for Subdivision			Amendment to Sector, Area, Facility or Comprehensive Plan
for Building Permit			Text Amendment (Zoning Code/Sub Regs)
Administrative Amendment (AA)			Street Name Change (Local & Collector)
IP Master Development Plan	<b>D</b>		
Cert. of Appropriateness (LUCC)	<b>L</b>	<b>A</b>	<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE (Form D)</b>			Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Monterey Law Group II LLC PHONE: ---  
 ADDRESS: 5111 San Mateo Ste A FAX: ---  
 CITY: Alb STATE NM ZIP 87109 E-MAIL: ---

APPLICANT: Rio Grande Engineering PHONE: 321-9099  
 ADDRESS: P.O. Box 6224 FAX: 872-2205  
 CITY: Alb STATE NM ZIP 87198 E-MAIL: javderiograndeengineering.com  
 Proprietary interest in site: owner/Develp. List all owners: Monterey Law & Fuller Horn

DESCRIPTION OF REQUEST: Extension of Deferred Sidewalks

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Prima Entrada Block: --- Unit: ---  
 Subdiv/Addn/TBKA: Prima Entrada  
 Existing Zoning: SU2 R-LT Proposed zoning: SU2 MRGCD Map No ---  
 Zone Atlas page(s): 58 UPC Code: 100905307 806 333 018

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX\_Z, V, S, etc.): 1003523

**CASE INFORMATION:**

Within city limits?  Yes  No Within 1000FT of a landfill?  Yes  No  
 No. of existing lots: 85 No. of proposed lots: 85 Total area of site (acres): 9.41  
 LOCATION OF PROPERTY BY STREETS: On or Near: 9th St. NW  
 Between: I-40 and Endra NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: ---

SIGNATURE DM DATE 2/18/10  
 (Print) David Sodu Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>10DRB 70057</u>	<u>ESIA</u>		<u>\$ 50.00</u>
	<u>CMF</u>		<u>\$ 20.00</u>
			<u>\$</u>
			<u>\$</u>
			<u>\$</u>
			<u>\$</u>
			<u>\$</u>
			<u>\$</u>
			<u>Total</u>
			<u>\$ 70.00</u>

Hearing date 03/03/10  
Sandy Handley 02/18/10 Project # 1003523  
 Planner signature / date

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
    - \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
    - \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
    - \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
    - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - \_\_\_ Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
  - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
    - \_\_\_ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
    - \_\_\_ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the request
    - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - \_\_\_ Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- SIDEWALK VARIANCE (DRB20)**
  - SIDEWALK WAIVER (DRB21)**
    - \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
    - \_\_\_ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the variance
    - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - \_\_\_ Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
  - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
    - Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
    - Zone Atlas map with the entire property(ies) clearly outlined
    - Letter briefly describing, explaining, and justifying the deferral or extension
    - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
  - VACATION OF RECORDED PLAT (DRB29)**
    - \_\_\_ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
    - \_\_\_ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
    - \_\_\_ Letter of authorization from the grantors and the beneficiaries (private easement only)
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Salk  
Applicant name (print)

[Signature]  
Applicant signature / date



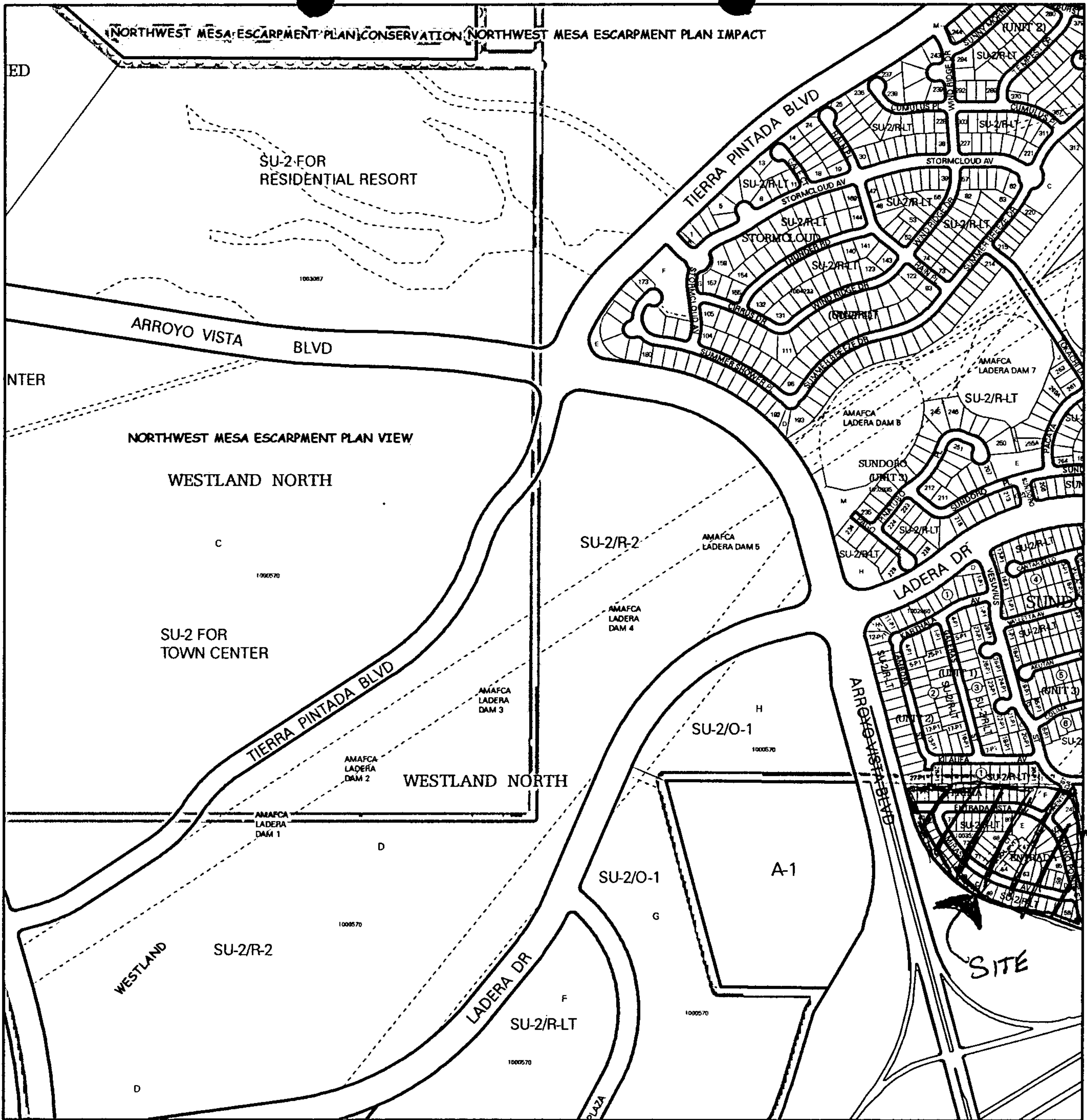
Form revised 4/07

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
100CB-70057  
 \_\_\_\_\_  
 \_\_\_\_\_

Sandy Handley 02/01  
 Planner signature / date

Project # 1003523



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**J-08-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

February 18, 2010

Mr. Jack Cloud  
Chair- Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

**RE: Extension of SIA and deferred sidewalks  
Prima Entrada Subdivision  
PROJECT # 1003523  
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests a two year extension to the SIA for deferred sidewalks. The project has been very slow to complete due to the current economic conditions.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE  
RIO GRANDE ENGINEERING  
PO Box 67305  
ALBUQUERQUE, NM 87193

Enclosures

JN: 2514





FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
Proposed Infrastructure List
Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
Design elevations & cross sections of perimeter walls 3 copies (11" x 17" maximum)
Zone Atlas map with the entire property(ies) clearly outlined
Letter briefly describing, explaining, and justifying the request
Property owner's and City Surveyor's signature on the proposed plat
FORM DRWS Drainage Report, Water & Sewer availability statement filing information
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
Signed Pre-Annexation Agreement if Annexation required.
TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
Fee (see schedule)
List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
Zone Atlas map with the entire property(ies) clearly outlined
Letter briefly describing, explaining, and justifying the request
Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- X Zone Atlas map with the entire property(ies) clearly outlined
X Letter briefly describing, explaining, and justifying the request
X Plat or plan reduced to 8.5" x 11"
X Official D.R.B. Notice of the original approval
X Approved Infrastructure List. If not applicable, please initial.
X Previous SIA extension notice, if one has been issued. If not applicable, please initial.
X Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
X List any original and/or related file numbers on the cover application
Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Sork
Applicant name (print)
Applicant signature / date



Form revised October 2007

- Checklists complete
Fees collected
Case #s assigned
Related #s listed

Application case numbers
081213 - 70011

Sandy Hurdler 01/11/08
Planner's signature / date
Project # 1003523

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE) 24 copies
    - \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements.
    - \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
    - \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
    - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - \_\_\_ Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
  - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
    - \_\_\_ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for City owned public right-of-way.)
    - \_\_\_ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") 24 copies
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the request
    - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - \_\_\_ Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

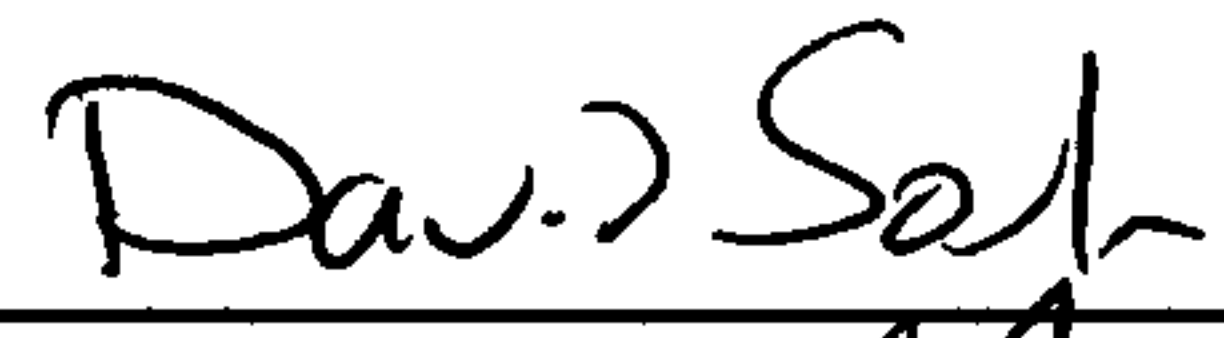

- SIDEWALK VARIANCE (DRB20)**
  - SIDEWALK WAIVER (DRB21)** 6 copies
    - \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14")
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
    - \_\_\_ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") 24 copies
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter briefly describing, explaining, and justifying the variance
    - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - \_\_\_ Sign Posting Agreement
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
  - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)** 6 copies
    - Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14")
    - Zone Atlas map with the entire property(ies) clearly outlined
    - Letter briefly describing, explaining, and justifying the deferral or extension
    - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
  - VACATION OF RECORDED PLAT (DRB29)** 6 copies
    - \_\_\_ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14")
    - \_\_\_ Scale drawing showing the easement to be vacated (8.5" by 11")
    - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
    - \_\_\_ Letter/documents briefly describing, explaining, and justifying the vacation
    - \_\_\_ Letter of authorization from the grantors and the beneficiaries (private easement only)
    - \_\_\_ Fee (see schedule)
    - \_\_\_ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

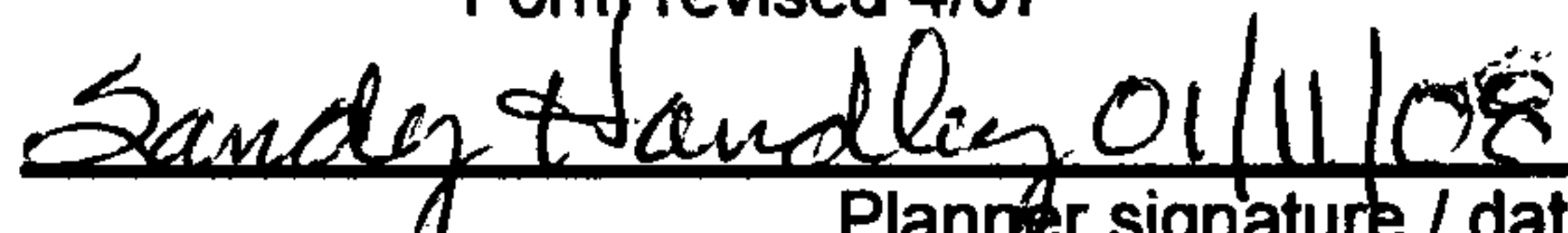
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

  
 \_\_\_\_\_  
 Applicant name (print)  
  
 \_\_\_\_\_  
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 08 DRB - 7012  
 \_\_\_\_\_  
 \_\_\_\_\_

Form revised 4/07  
  
 \_\_\_\_\_  
 Planner signature / date  
 Project # 1003523



# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from JAN. 22, 2008 To FEB. 6, 2008

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

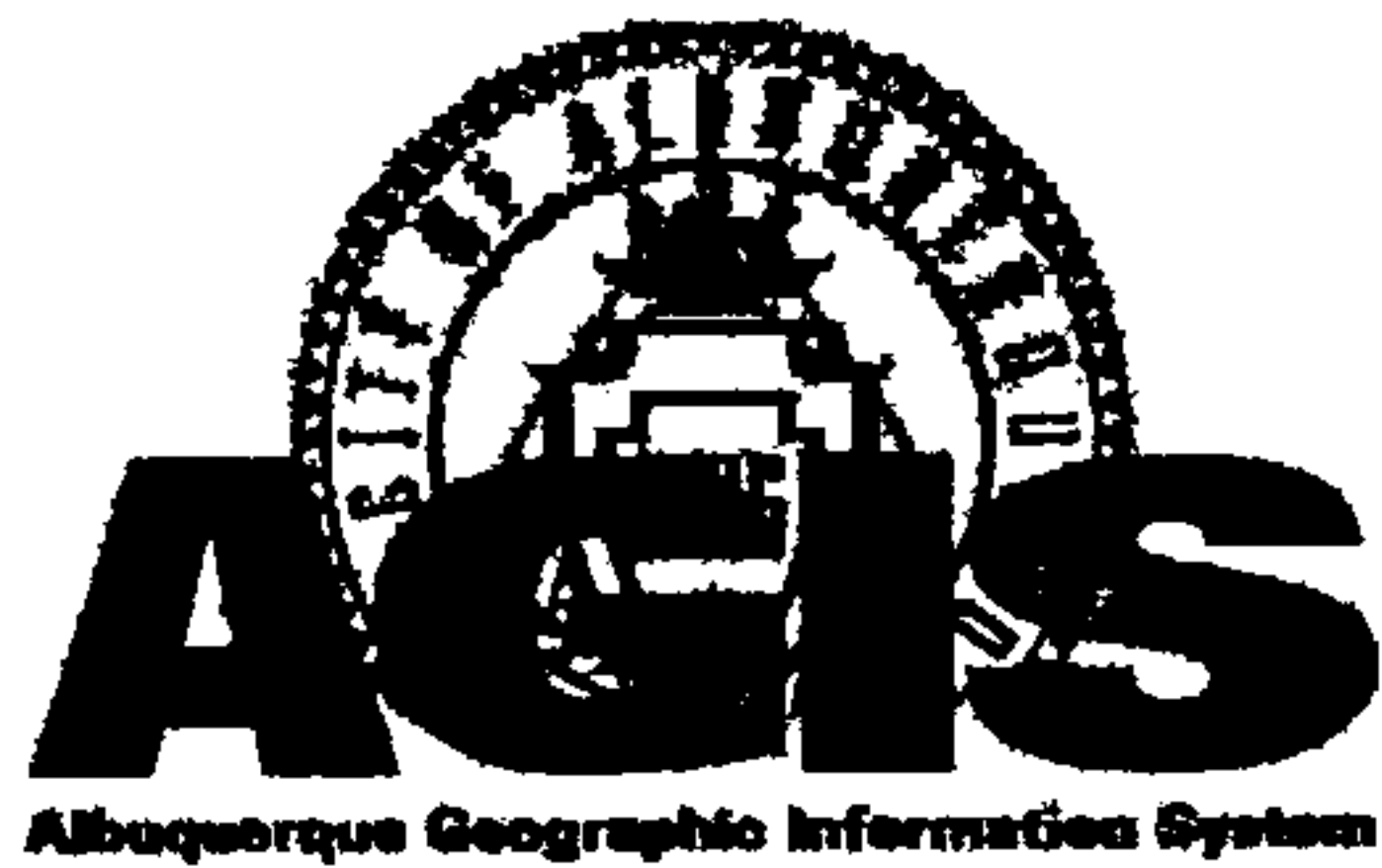
[Signature] 1-11-08  
(Applicant or Agent) (Date)

I issued 2 signs for this application, 01/11/08 Sandy Handley  
(Date) (Staff Member)

DRB PROJECT NUMBER: 1003523



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 9/6/2007

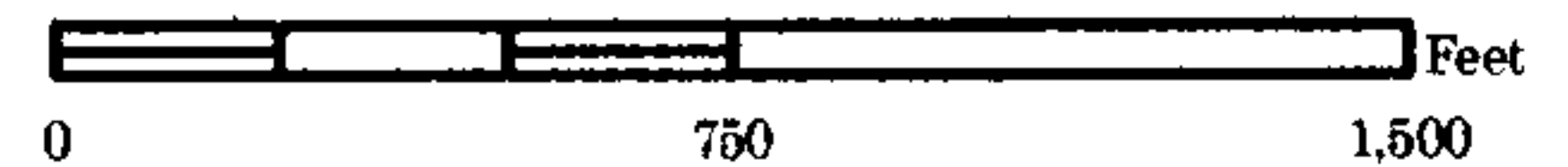


Zone Atlas Page:

**J-08-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





**Rio Grande  
Engineering**

**Land Development and Civil Engineering Services**

January 8, 2008

Ms. Sheran Matson  
Chair-Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**RE: Extension of SIA and Sidewalks  
Prima Entrada Subdivision,  
Project # 1003523  
Albuquerque, New Mexico**

Dear Ms. Matson:

Rio Grande Engineering, on behalf of Monterrey Land Group II, LLC, Inc., requests a one year extension for the subdivision Improvement agreement and a two year extension of the deferral of internal sidewalks. The project infrastructure is significantly complete. The one year extension will allow adequate time for final completion. The two year deferral of sidewalks will allow for the home construction to be completed.

Should you have any questions regarding this submittal, please do not hesitate to call me.

Sincerely,

David Soule, PE

Cc: Neighborhood Associations

PLAT OF  
PRIMA ENTRADA

TOWN OF ATRISCO GRANT

PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.

ALBUQUERQUE, NEW MEXICO

OCTOBER 2006

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO CREATE SEVENTY-EIGHT (78) LOTS AND SIX (6) OPEN SPACE TRACTS FROM FIVE (5) EXISTING TRACTS, DEDICATE ADDITIONAL RIGHT OF WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE TITLE WITH WARRANTY COVENANTS AND GRANT ADDITIONAL PUBLIC UTILITY EASEMENTS AND ALL PUBLIC ACCESS, WATER AND SEWER EASEMENTS.

PROJECT NUMBER: 1003523

APPLICATION NUMBER: 06 DRB-01529

UTILITY APPROVALS:

*Donald Balil* 10/20/06  
QWEST DATE

*Thomas Barber* 10-27-06  
COMCAST CABLE DATE

*Paul G. Marks* 10-30-06  
PNM ELECTRICAL AND GAS SERVICES DATE

CITY APPROVALS:

*[Signature]* 10-18-06  
CITY SURVEYOR DATE

*[Signature]* 10-30-06  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

*[Signature]* 10-25-06  
UTILITIES DEVELOPMENT DATE

*Christina Dandoveral* 10/25/06  
PARKS AND RECREATION DEPARTMENT DATE

*[Signature]* 10-27-06

PARKS AND RECREATION DEPARTMENT

10/25/06

DATE

*Lynn M. Meyer*  
A.M.A.F.C.A.

10-27-06

DATE

*Bradley D. Bigham*  
CITY ENGINEER

10/25/06

DATE

*D. Watson*

10/30/06

DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

N/A

REAL PROPERTY DIVISION

DATE



Mary Herrera

Bern. Co. PLAT

R 27.00

2006105208  
6552852

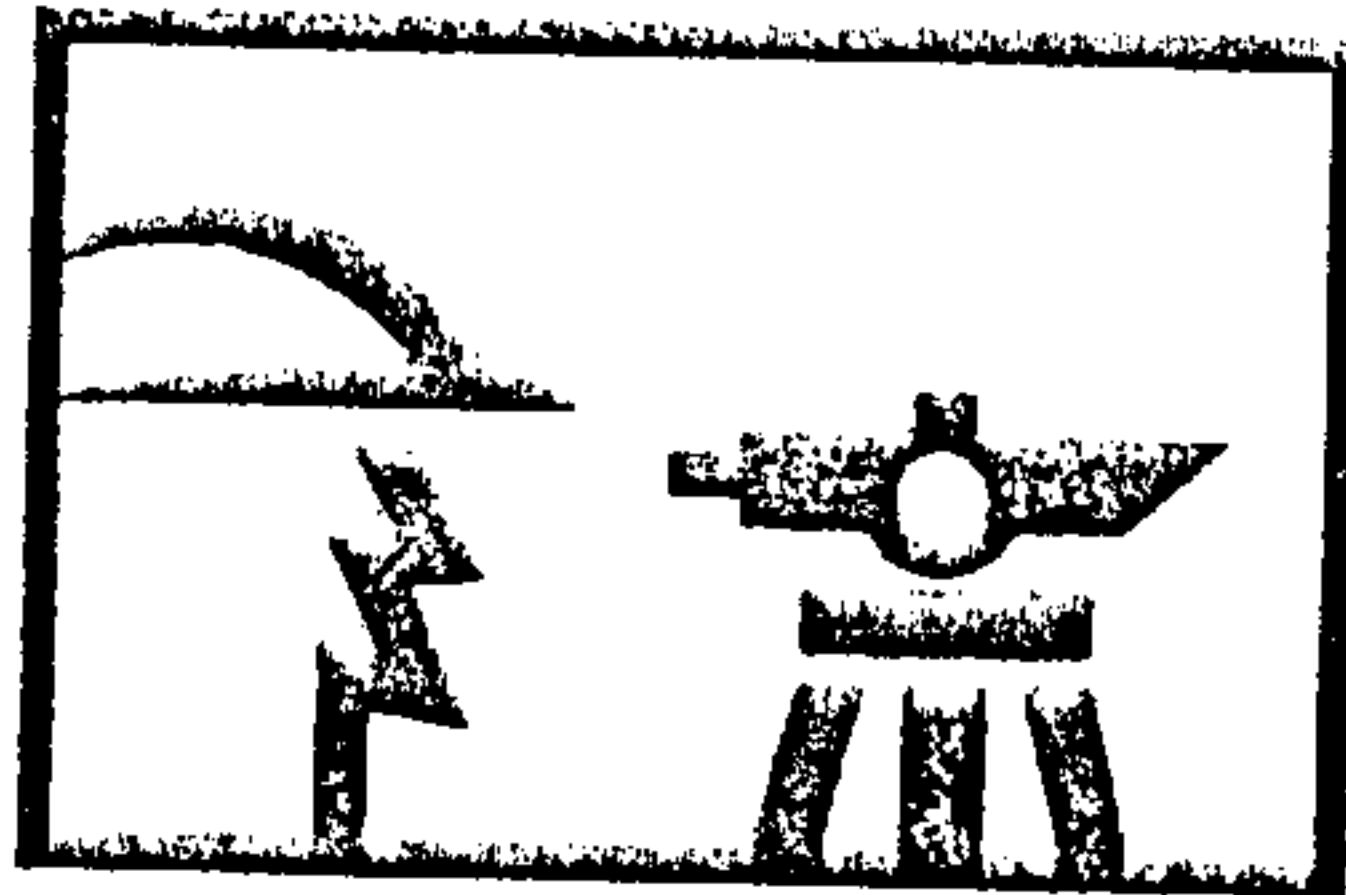
Page: 1 of 5

10/30/2006 03:16P

Bk-2006C Pg-332

PNM STAMP

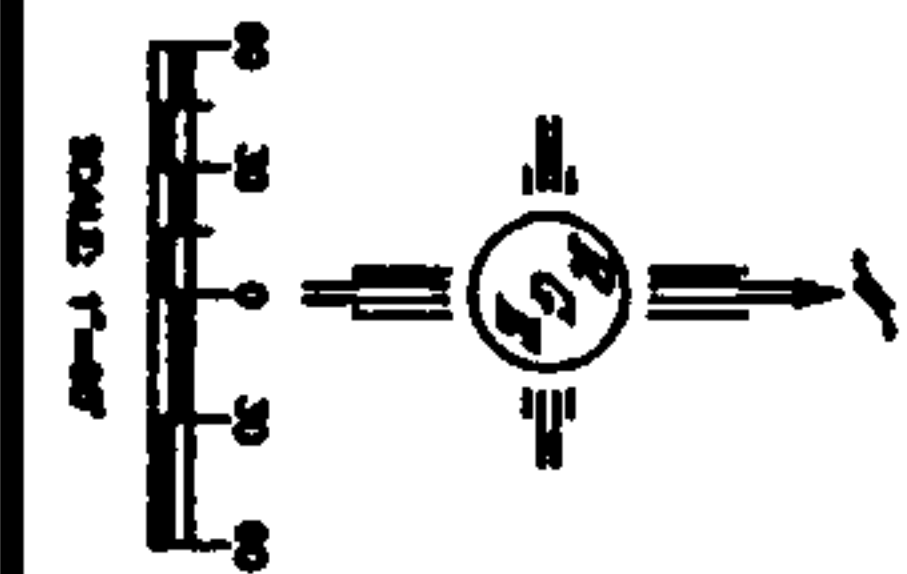
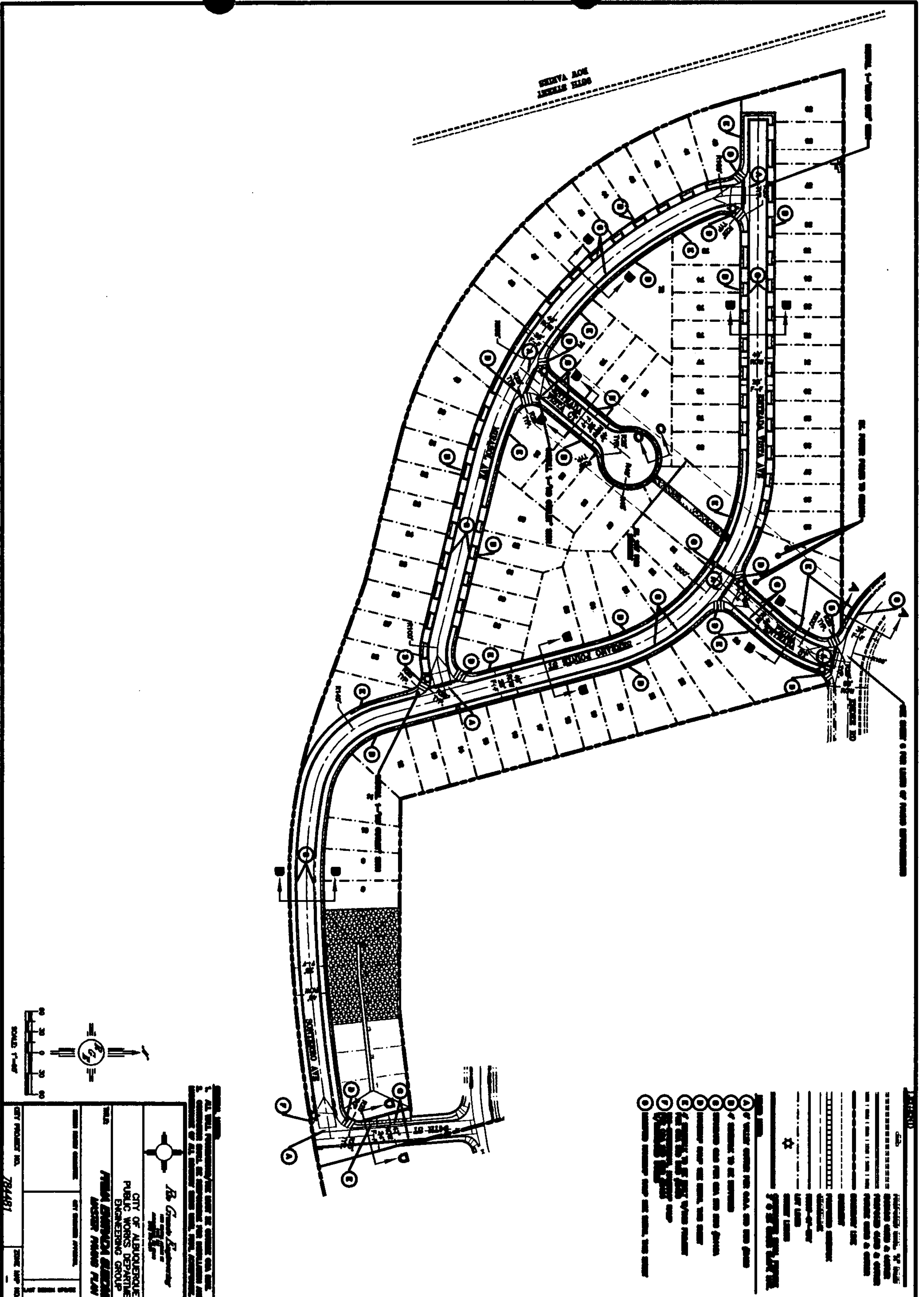
IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE AND EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



GEO-SURVCO, INC  
PO BOX 65717  
ALBUQUERQUE, NEW MEXICO 87193-5717  
505-975-4567  
FAX 505-898-0616

SHEET 1 OF 5

PLAT OF  
PRIMA ENTRADA  
TOWN OF ATRISCO GRANT  
PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
ALBUQUERQUE, NEW MEXICO  
OCTOBER 2006



**REVISIONS**  
 ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP MASTER PLAN.

**DESIGNED BY** WOU  
**DRAWN BY** WOU  
**CHECKED BY** WOU

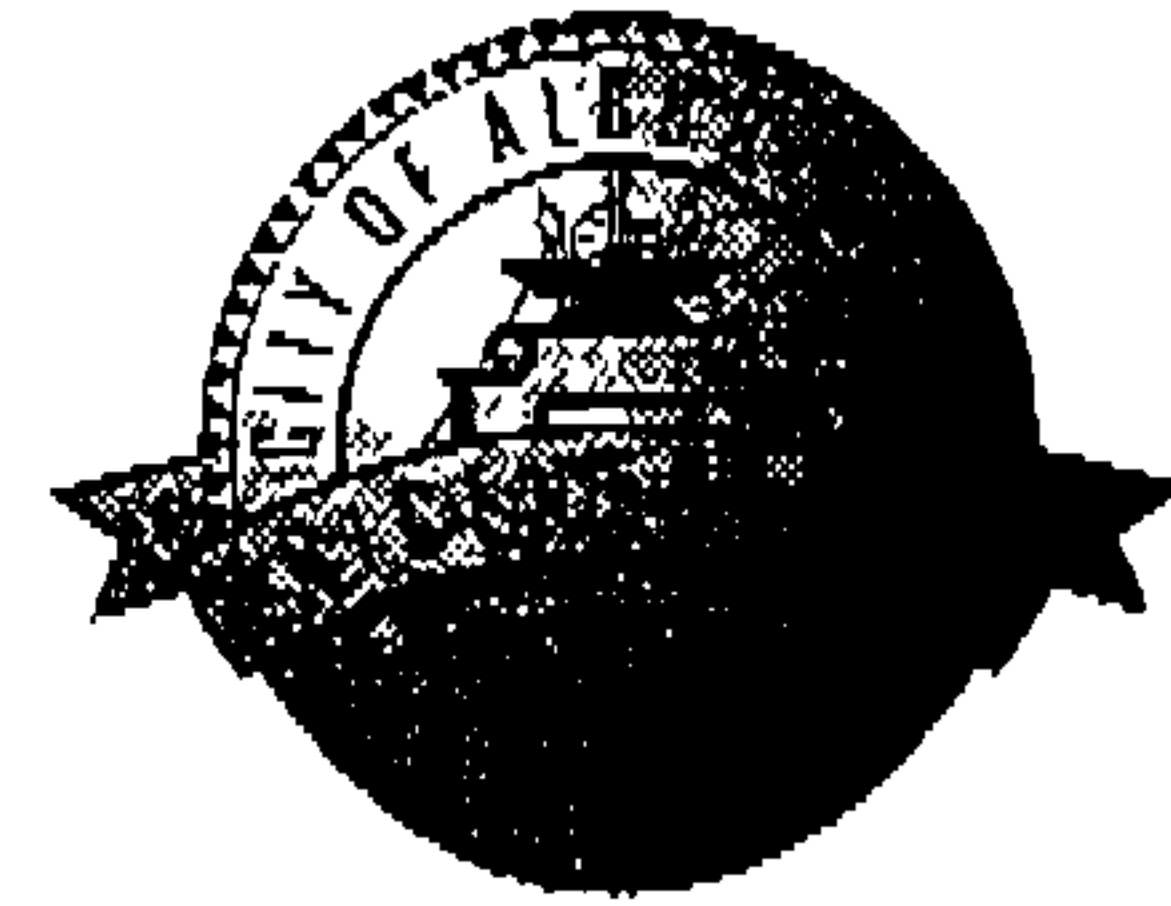
**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING GROUP**  
**SEWER MAIN PLAN**

**NO.** **DATE** **REVISION** **BY**

NO.	DATE	REVISION	BY
DESIGNED BY	DATE	1-24-08	WOU
DRAWN BY	DATE	1-24-08	WOU
CHECKED BY	DATE	1-24-08	WOU

REVISIONS		FIELD NOTES		AS BUILT	
NO.	DATE	NO.	DATE	NO.	DATE

# CITY OF ALBUQUERQUE



December 18, 2007

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

Tim McNaney, Managing Member  
MONTEREY LAND GROUP II, LLC  
5111 San Mateo Blvd. NE, Suite A-1  
Albuquerque, NM 87110

RE: NOTICE OF FAILURE TO COMPLETE IMPROVEMENTS, DEFAULT AND CITY'S  
INTENTION TO CALL FINANCIAL GUARANTY - **SUBDIVISION IMPROVEMENTS  
AGREEMENT, PROCEDURE E**

PROJECT: **PRIMA ENTRADA** PROJECT NO. 784481

Dear Mr. McNaney:

I have been informed that **MONTEREY LAND GROUP II, LLC** (the "Subdivider") has failed to meet the **December 15, 2007** "Construction Deadline", as required by the Subdivision Ordinance and the Subdivider's agreement with the City, and that the Subdivider failed to obtain a timely extension of the Construction Deadline. The Construction Deadline has passed and the requirements were not met.

P.O. Box 1293

THIS LETTER PROVIDES THE REQUIRED NOTICE TO THE SUBDIVIDER AND THE SURETY NAMED BELOW THAT THE SUBDIVIDER'S AGREEMENT WITH THE CITY IS IN DEFAULT AND THE CITY HOLDS THE SUBDIVIDER AND THE SURETY JOINTLY AND SEVERALLY LIABLE. THIRTY DAYS AFTER MAILING THIS LETTER THE CITY WILL BE CALLING ON THE FINANCIAL GUARANTY PROVIDED BY THE SURETY, AND THE CITY WILL DEMAND THAT THE SURETY PAY THE CITY 125% OF THE COST OF COMPLETING THE IMPROVEMENTS.

Albuquerque

New Mexico 87103

If you have any questions regarding this matter, please contact the Project Administrator; Marilyn Maldonado at (505) 924-3997, Project Review Section, Design/Const. Division, Engineering Group.

[www.cabq.gov](http://www.cabq.gov)

Very truly yours,

A handwritten signature in black ink, appearing to read "Kevin J. Curran".

Kevin J. Curran  
Assistant City Attorney

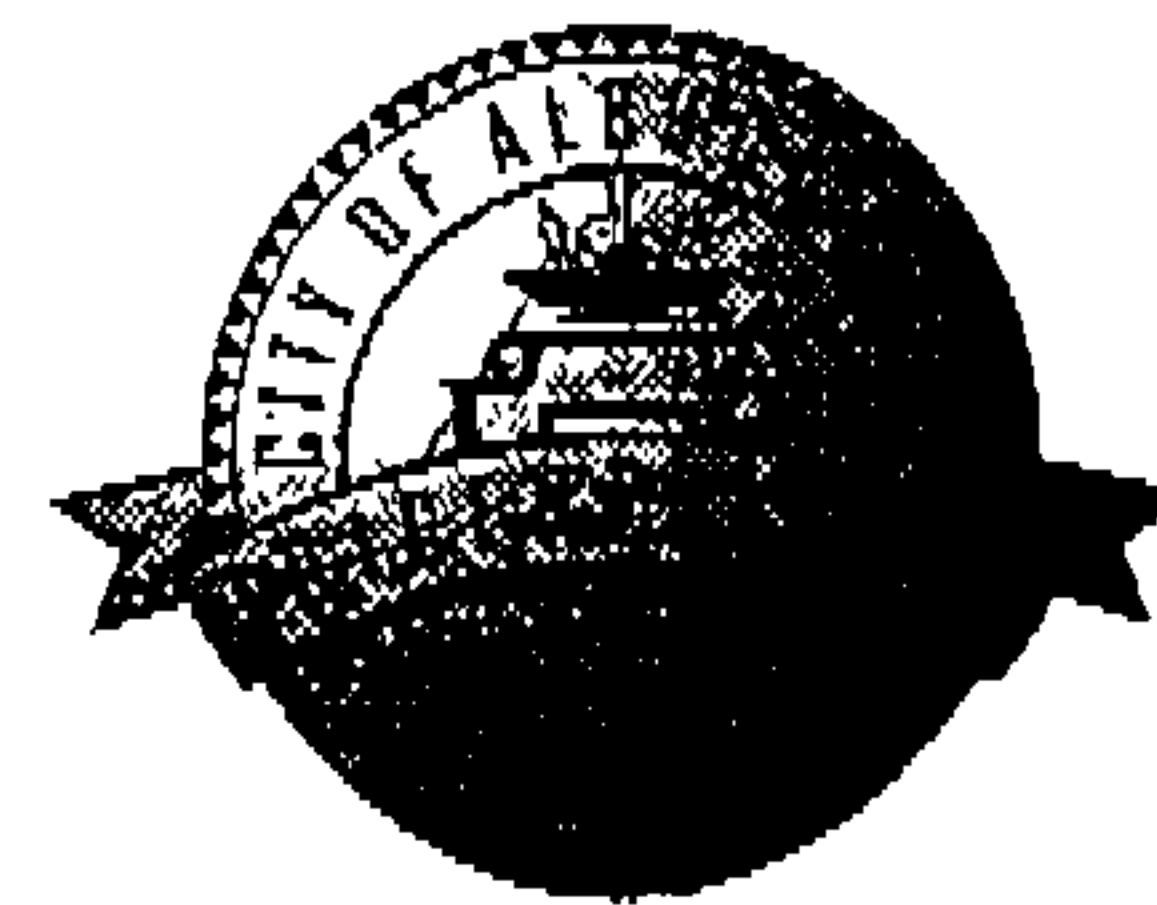
THIS LETTER IS SENT TO CONFORM TO THE REQUIREMENTS OF THE SUBDIVISION  
ORDINANCE.

CC: First Community Bank, PO 3686, Albuquerque, NM 87190

KJC/pcl #2

*Albuquerque - Making History 1706-2006*

# CITY OF ALBUQUERQUE



December 18, 2007

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

Tim McNaney, Managing Member  
MONTEREY LAND GROUP II, LLC  
5111 San Mateo Blvd. NE, Suite A-1  
Albuquerque, NM 87110

RE: NOTICE OF FAILURE TO COMPLETE IMPROVEMENTS, DEFAULT AND CITY'S  
INTENTION TO CALL FINANCIAL GUARANTY - **SIDEWALK DEFERRAL AGREEMENT**

PROJECT: **PRIMA ENTRADA** PROJECT NO. **784481**

Dear Mr. McNaney:

I have been informed that **MONTEREY LAND GROUP II, LLC** ("Subdivider") has failed to meet the **December 15, 2007** "Construction Deadline", as required by the Subdivision Ordinance and the Subdivider's agreement with the City, and that the Subdivider failed to obtain a timely extension of the Construction Deadline. The Construction Deadline has passed and the requirements were not met.

THIS LETTER PROVIDES THE REQUIRED NOTICE TO THE SUBDIVIDER AND THE SURETY NAMED BELOW THAT THE SUBDIVIDER'S AGREEMENT WITH THE CITY IS IN DEFAULT, AND THE CITY HOLDS THE SUBDIVIDER AND THE SURETY JOINTLY AND SEVERALLY LIABLE. THIRTY DAYS AFTER MAILING THIS LETTER THE CITY WILL BE CALLING ON THE FINANCIAL GUARANTY PROVIDED BY THE SURETY, AND THE CITY WILL DEMAND THAT THE SURETY PAY THE CITY 125% OF THE COST OF COMPLETING THE IMPROVEMENTS.

If you have any questions regarding this matter, please contact the Project Administrator; Marilyn Maldonado at (505) 924-3997, Project Review Section, Design/Const. Division, Engineering Group.

Very truly yours,

A handwritten signature in black ink, appearing to read "K. Curran".

Kevin J. Curran  
Assistant City Attorney

THIS LETTER IS SENT TO CONFORM TO THE REQUIREMENTS OF THE SUBDIVISION ORDINANCE.

CC: First Community Bank, PO Box 3686, Albuquerque, NM 87190  
KJC/pcl #2

*Albuquerque - Making History 1706-2006*





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

November 30, 2005

### 5. Project # 1003523

05DRB-01369 Major-Preliminary Plat Approval  
05DRB-01368 Major-SiteDev Plan Subd  
05DRB-01370 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for GHP, LLC request(s) the above action(s) for LOT 30, 31, 32 and 33, LANDS OF ATRISCO GRANT, UNIT 3, (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2 FOR R-LT, located on 98<sup>TH</sup> ST NW, between ENDEE RD NW and I-25 NW containing approximately 17 acre(s). [REF:04EPC-01003, 04EPC-01352, 04EPC-01489] [*Deferred from 9/28/05 & 11/2/05 & 11/9/05 & 11/23/05*](J-8)

At the November 30, 2005, Development Review Board meeting, with the signing of the infrastructure list dated 11/30/05 and approval of the grading plan engineer stamp dated 11/21/05 the preliminary plat was approved with the following conditions of final plat approval:

P-1 lot designations.

Entrada Vista Court shall become a private access easement. Maintenance and Beneficiary Statement shall be placed on the plat.

A sidewalk waiver shall be applied for.

The Home Owners Association or the owner's signature is required on the final plat.

The zoning designation shall be on the final plat.

The site plan for subdivision was approved with final sign off delegated to Planning for the 15-day appeal period and 3 copies of the site plan.

The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by December 15, 2005, in the manner described below.



## OFFICIAL NOTICE OF DECISION

PAGE 2

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Sheran Matson, AICP, DRB Chair

Cc:GHP, LLC, 7600 Pan American Freeway, 87109  
Rio Grande Engineering, 1606 Central SE, Suite 201, 87106  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
File

*revised 5/9/06*  
*87-06*  
*1-3-07*

**ORIGINAL**

**INFRASTRUCTURE LIST**  
**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**PRIMA ENTRADA SUBDIVISION**  
**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**TRACT 30,31,32,33, UNIT 5, LANDS OF ATRISCO GRANT**  
**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		8"	Water line	Prima Entrada St.	Endee road	Serrano Point St.	/	/	/
		8"	Waterline	Sonterro Ave	94th	Serrano Pointe St.	/	/	/
		8"	waterline	Serrano Pointe St.	Sonterro Ave	Prima Entrada St	/	/	/
		8"	waterline	Entrada Vista Ave	Lot 40	Prima Entrada St	/	/	/
		8"	waterline	Public Waterline Easmt (lot 38)	Entrada Vista Ave	existing stub	/	/	/
		8"	Waterline	Mirasol Ave	Entrada Vista Ave	Serrano Pointe St	/	/	/
		8"	Waterline	Entrada vista Court	Mirasol Ave	Terminus	/	/	/
		8"	Waterline	94th Street	Sonterro Ave	existing Waterline	/	/	/
		8"	<del>Sewerline</del>	<del>Prima Entrada St.</del>	<del>Endee road</del>	<del>Serrano Point St.</del>	/	/	/
		8"	Sewerline	Sonterro Ave	94th	Serrano Pointe St.	/	/	/
		8"	Sewerline	Serrano Pointe St.	Sonterro Ave	Prima Entrada St	/	/	/
		8"	Sewerline	Entrada Vista Ave	Lot 40	Prima Entrada St	/	/	/
		8"	Sewerline	Mirasol Ave	Entrada Vista Ave	Serrano Pointe St	/	/	/

*Delete*

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		8"	Sewer line	Entrada vista Court	Mirasol Ave	Terminus	/	/	/
		8"	Sewerline	94th Street	Sonterro Ave	Existing Sewerline	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Prima Entrada St.	Endee road	Serrano Point St.	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk, <i>North Side only</i>	Sonterro Ave	94th	Serrano Pointe St.	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Serrano Pointe St.	Sonterro Ave	Prima Entrada St	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Entrada Vista Ave	Lot 40	Prima Entrada St	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Mirasol Ave	Entrada Vista Ave	Serrano Pointe St	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Entrada vista Court	Mirasol Ave	Terminus	/	/	/
		<del>28'</del> <i>24'</i> F-F	Residential Road with Curb and Gutter including <del>4'</del> <i>6'</i> Sidewalk- <del>both sides</del> <i>WEST SIDE</i>	94th Street	Sonterro Ave	North Property Line	/	/	/
		24' F-E	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Endee	lot 25	east Property line	/	/	/
		36"	RCP storm drain and appurtanances retention pond with covenents	Sonterro Ave	Pond	94th Street	/	/	/
		NA	<i>Temporary Ret. Pond</i> Public drainage easement <del>agreement</del> with <del>pond</del> covenents	Tract A	entire parcel	entire parcel	/	/	/
		TBD	<i>1-40</i> West Bluff Channel Contribution To AMAFCA, including trail Paid to Amerpa prior to final Plat.				/	/	/

ORIGINAL

NAME OF PLAT AND/OR SITE PLAN PRIMA ENTRADA SUDIVISION

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		10'	concrete Drainage Channel	Tract E	Entrada Vista Ct.	Entrada Vista Ave.	/	/	/
		varies	Landscape meter)	Landscape tracts	N/A	N/A	/	/	/
							/	/	/
							/	/	/

NOTES

- 1 Engineers Certification of Grading required for release of SIA and Financial Guarantee
- 2 site lighting shall be installed per DPM Standards.  
\* All internal Sidewalks deferred per exhibit C in DRB file 11/23/05 (2)
- 3 Landscape agreement between Prima Entrada Home Owners Association and the City of Albuquerque must be executed prior to release of Financial Guarantee

AGENT OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

David Soule  
NAME (print)

Rio Grande Engineering  
FIRM

MM 11/30/05  
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: \_\_\_\_\_

[Signature] 11/30/05  
DRB CHAIR - date

Christina Sandoval 11/30/05  
PARKS & GENERAL SERVICES - date

[Signature] 11-30-05  
TRANSPORTATION DEVELOPMENT - date

[Signature] 11/30/05  
UTILITY DEVELOPMENT - date

Bradley A. Byham 11/30/05  
CITY ENGINEER - date

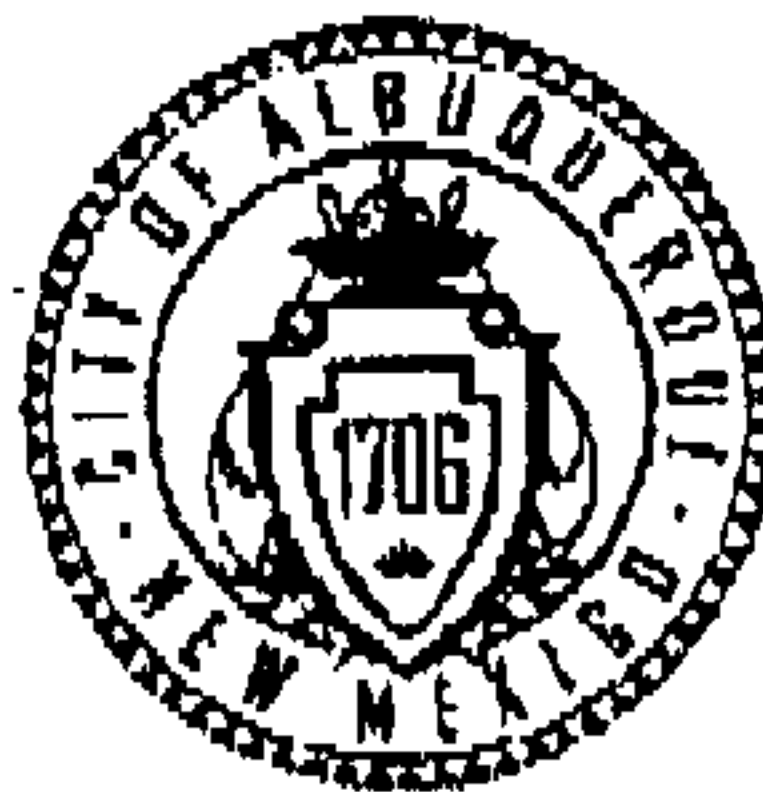
\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
- date

\_\_\_\_\_  
- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER
<u>A</u>	5/9/06	<u>[Signature]</u>	<u>[Signature]</u>	<u>[Signature]</u>
<u>B</u>	8/3/06	<u>[Signature]</u>	<u>[Signature]</u>	<u>[Signature]</u>
<u>C</u>	1-3-07	<u>[Signature]</u>	<u>[Signature]</u>	<u>[Signature]</u>



# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: January 9, 2008

TO CONTACT NAME: David Soule  
 COMPANY/AGENCY: Rio Grande Engineering  
 ADDRESS/ZIP: 1606 Central SE Suite 201  
 PHONE/FAX #: 872-0999 / 872-2205

Thank you for your inquiry of January 9, 2008 (date) requesting the names of **ALL Affected**

**Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at Prima Entrada Subdivision extension  
S/A located on 98th NW between Entrada Rd and I-40  
 zone map page(s) J-8

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

Parkway NA.  
 Neighborhood or Homeowner Association  
 Contacts: Carol Cunningham  
8012 Bridgewater NW 87120  
831-7187(h) 480-5914(c)  
Palmira Perea-Hay  
8039 Waterbury NW 87120  
839-8123 (h)

Neighborhood or Homeowner Association  
 Contacts: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**See reverse side for additional Neighborhood and/or Homeowner Associations Information:**

YES { } NO {  }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Stephanie [Signature]  
 OFFICE OF NEIGHBORHOOD COORDINATION

**ATTENTION:** Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

# NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS** PRIOR TO FILING THE APPLICATION TO THE **PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

## WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.

## INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

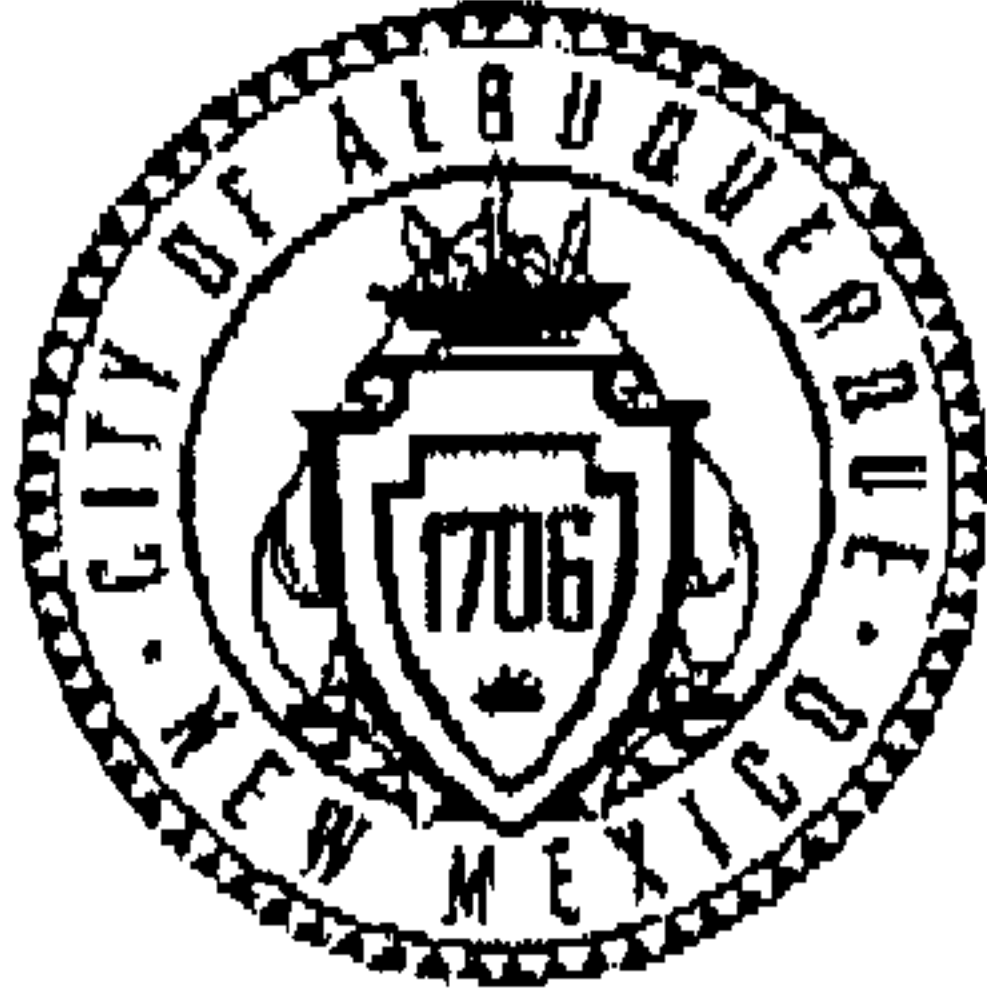
\*\*\*\*\*

(Below this line for ONC use only)

Date of Inquiry: 01.09.08

Time Entered: 10:38 AM

ONC Rep. Initials: 



# DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: **(505) 924-3913** – will need the following information **BEFORE** neighborhood and/or homeowner association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at **(505) 924-3914**. **Your Developer Inquiry is for the following:**

Cell Tower & Type: [ ] Free-Standing Tower -OR- [ ] Concealed Tower

Private Development  (i.e., EPC, DRB, LUCC, Liquor Submittal)

City Project [ ]

CONTACT NAME: David Sode  
COMPANY NAME: R.O Grande Engineering  
ADDRESS/ZIP: 1606 Central SE, Site 201  
PHONE: 321-9099 FAX: 872-2205

### LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:

Prima Entrada a Subdivision.

LOCATED ON 99th Street NW LEGAL DESCRIPTION  
STREET NAME OR OTHER IDENTIFYING LANDMARK  
BETWEEN EnJee Rd NW AND  
STREET NAME OR OTHER IDENTIFYING LANDMARK  
I-40  
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (58).  
**(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)**  
**(Zone Map MUST be provided with request)**



January 8, 2008

Ms. Sheran Matson  
Chair-Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

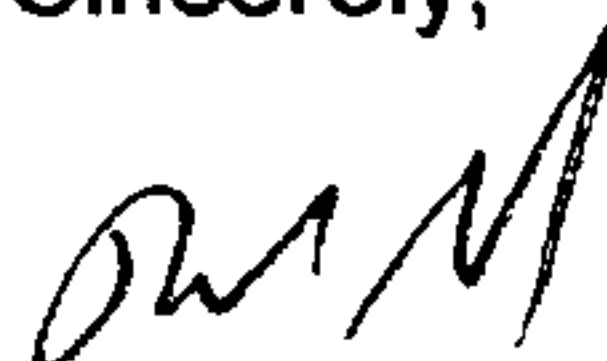
**RE: Extension of SIA and Sidewalks  
Prima Entrada Subdivision,  
Project # 1003523  
Albuquerque, New Mexico**

Dear Ms. Matson:

Rio Grande Engineering, on behalf of Monterrey Land Group II, LLC, Inc., requests a one year extension for the subdivision Improvement agreement and a two year extension of the deferral of internal sidewalks. The project infrastructure is significantly complete. The one year extension will allow adequate time for final completion. The two year deferral of sidewalks will allow for the home construction to be completed.

Should you have any questions regarding this submittal, please do not hesitate to call me.

Sincerely,



David Soule, PE

Cc: Neighborhood Associations

7005 1820 0008 1961 1258

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only, No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87120 **OFFICIAL USE**

Postage	\$ 0.97	0101
Certified Fee	\$2.65	05
Return Receipt Fee (Endorsement Required)	\$2.15	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.77	01/10/2008

Sent To Palmira Perea-Hox  
 Street, Apt. No.,  
 or PO Box No. 9039 Waterbury  
 City, State, ZIP+4 Alb NM 87120  
 PS Form 3800, June 2002 See Reverse for Instructions

7005 1820 0008 1961 1241

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only, No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87120 **OFFICIAL USE**

Postage	\$ 0.97	0101
Certified Fee	\$2.65	05
Return Receipt Fee (Endorsement Required)	\$2.15	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.77	01/10/2008

Sent To Carol Cunningham  
 Street, Apt. No.,  
 or PO Box No. 9012 Broadway NW  
 City, State, ZIP+4 Alb NM 87120  
 PS Form 3800, June 2002 See Reverse for Instructions





AA

APPLICATION NO. 07AA-10016	PROJECT NO. 100 3523
PROJECT NAME PRIMA ENTRADA	
APPLICANT / AGENT RIO GRANDE ENGR.	PHONE NO. 872-0999
ZONE ATLAS PAGE 18 / 1-9	DATE SUBMITTED 7-2-07

# ONE STOP CASE TRACKING LOG

(This tracking log is for DRB Delegation Actions / Over the Counter Routing)  
(rev. 7/03)

TYPE OF APPROVAL	TRANSP DEV	UTILITY DEV	PARKS & REC	HYD DEV (City Engr)	PLANNING	
					CASE PLANNER	DRB CHAIR
SDP-Building Permit / SDP-Subdivision	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____
Administrative Amendments (AA's)	F: 7/2/07 D: _____ F: _____ D: _____ A: 7/2/07	F: 7/3/07 D: _____ F: _____ D: _____ A: 7/3/07		F: 7/3/07 D: _____ F: _____ D: _____ A: 7/3/07	DEB LAAIR F: 8/21/07 D: _____ F: _____ D: _____ A: 8/21/07	
Minor Plat / Major Final Plat	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____
Vacation-Private Easement	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____

Project Number 100 3523

FORWARDED TO APRIL 7/5/07 & S:

She returned it & we found an empty desk 30 days later. Bwm.

First Review- Total City Days	
Second Review- Total City Days	
Third Review- Total City Days	
Subtotal	
Total Number of Developer Days (from back of form)	
Total Days	

\*Business Days  
\*\*Pulled by Agent (P)  
  
F = forwarded  
D = disapproved  
A = approved

**PLANS RELEASED TO APPLICANT OR AGENT TO CORRECT REJECTS**

Called Applicant: _____	<b>First Review</b>	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	<b>Second Review</b>	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	<b>Third Review</b>	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	<b>Fourth Review</b>	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		



Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

**L A APPEAL / PROTEST of...**

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

Professional/Agent (if any): Rio Grande Engineering PHONE: 872-0999  
 ADDRESS: 1606 CENTRAL AVE Suite 201 FAX: 872-2205  
 CITY: Albuquerque STATE NM ZIP 87106 E-MAIL: will@riograndeengineering.com

APPLICANT: David Soule PHONE: 872-0999  
 ADDRESS: 1606 CENTRAL AVE Suite 201 FAX: 872-2205  
 CITY: Albuquerque STATE NM ZIP 87106 E-MAIL: will@riograndeengineering.com  
 Proprietary interest in site: Agent List all owners: Monterey Land Group LLC

DESCRIPTION OF REQUEST: Administrative Amendment

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Prima Entrada Subdivision Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: lots 1-83  
 Existing Zoning: S02 RLT Proposed zoning: S02-RLT  
 Zone Atlas page(s): 58 & 59 UPC Code: \_\_\_\_\_ MRGCD Map No. \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
1003523

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? no  
 No. of existing lots: 83 No. of proposed lots: 83 Total area of site (acres): 14.35 AC  
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th & ENDEE  
 Between: Endra and I-40

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 7-02-07  
 (Print) Will Jones Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07AA</u>	<u>AA</u>	<u>7CA</u>	\$ <u>45.00</u>
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date			Total
	<u>7/2/07</u>			\$ <u>45.00</u>

Planner signature / date [Signature] Project # 1003523

FORM P(4): SITE PLAN REVIEW - ADMINISTRATIVE APPROVAL OR AMENDMENT

*nk*

SITE DEVELOPMENT PLAN - BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE (AA01)

- Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
- Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Solid Waste Management Department signature on Site Plan if relevant
- Blue-line copy of Site Plan with Fire Marshal's stamp
- Copy of the LUCC approval if the site is in an historic overlay zone
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

- AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (AA02)
- AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION (AA03)
- CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY (AA04)

NOTE: The requirements specified below apply to the previous 3 plan types, unless otherwise noted.

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) 1 copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Notice of Decision (not required for WTF)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area

*nk*

- Notifying letter & certified mail receipts addressed to owners of adjacent properties
- Office of Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

*nk*

NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in addition to all those listed above:

- Co-location evidence as described in *Zoning Code* §14-16-3-17(A)(5)
- Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- Registered Engineer's stamp on the Site Development Plans
- Office of Community & Neighborhood Coordination inquiry response as above based on 1/4 mile radius

PLEASE NOTE; If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Debbie Stover at 924-3940 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DAVID SOULE  
 Applicant name (print)  
6/19/07  
 Applicant signature / date



Form revised June 04, October 2004

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
02117 - - -  
 - - -  
 - - -

MSIS  
 Planner signature / date  
 Project # 1003523



Monterey Land Group II, LLC  
5111 San Mateo Blvd. NE Ste. A-1  
Albuquerque, NM 87109

June 29, 2007

Re: Prima Entrada Subdivision  
ALBUQUERQUE, NEW MEXICO

To Whom It May Concern:

As the OWNER/DEVELOPER by contract, I hereby grant David Soule and Rio Grande Engineering to act as agent on behalf of Monterey Land Group II, LLC on matters pertaining to the development of Prima Entrada Subdivision project.



Tim McNaney  
Managing Member

June 29, 2007  
(Date)





**Rio Grande  
Engineering  
Land Development and Civil Engineering Services**

July 2, 2007

Mrs. Sharon Matson  
DRB Chairperson  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

RE: Prima Entrada Subdivision  
COA project #1003523

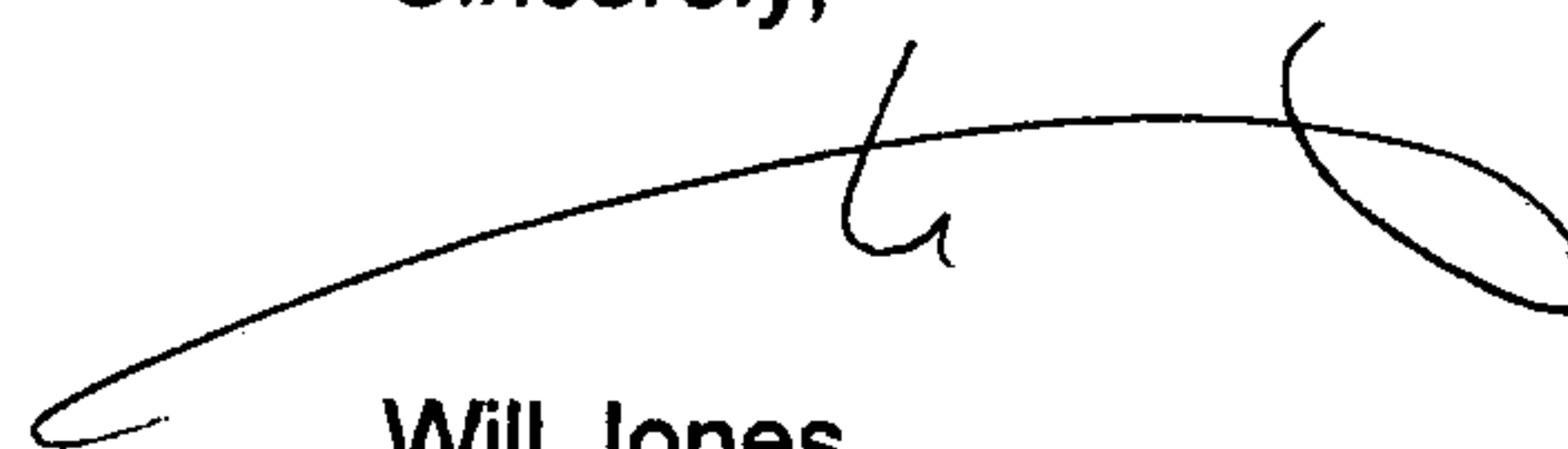
Dear Janet:

Rio Grande Engineering on behalf of Monterey Land Group II, LLC, requests approval of an Administrative Amendment to the Site Plan for Subdivision and Design Guidelines for Prima Entrada Subdivision.

The owner has requested to amend note number 5 of the design guidelines to change the front setback requirements, to allow for more floor plan variation throughout the site.

Should you have any further questions, please do not hesitate to contact me.

Sincerely,



Will Jones

JN:2421





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

November 30, 2005

**5. Project # 1003523**

05DRB-01369 Major-Preliminary Plat Approval  
05DRB-01368 Major-SiteDev Plan Subd  
05DRB-01370 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for GHP, LLC request(s) the above action(s) for LOT 30, 31, 32 and 33, LANDS OF ATRISCO GRANT, UNIT 3, (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2 FOR R-LT, located on 98<sup>TH</sup> ST NW, between ENDEE RD NW and I-25 NW containing approximately 17 acre(s). [REF:04EPC-01003, 04EPC-01352, 04EPC-01489] *[Deferred from 9/28/05 & 11/2/05 & 11/9/05 & 11/23/05](J-8)*

At the November 30, 2005, Development Review Board meeting, with the signing of the infrastructure list dated 11/30/05 and approval of the grading plan engineer stamp dated 11/21/05 the preliminary plat was approved with the following conditions of final plat approval:

P-1 lot designations.

Entrada Vista Court shall become a private access easement. Maintenance and Beneficiary Statement shall be placed on the plat.

A sidewalk waiver shall be applied for.

The Home Owners Association or the owner's signature is required on the final plat.

The zoning designation shall be on the final plat.

The site plan for subdivision was approved with final sign off delegated to Planning for the 15-day appeal period and 3 copies of the site plan.

The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by December 15, 2005, in the manner described below.



## OFFICIAL NOTICE OF DECISION

PAGE 2

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

  
Sheran Matson, AICP, DRB Chair

Cc:GHP, LLC, 7600 Pan American Freeway, 87109  
Rio Grande Engineering, 1606 Central SE, Suite 201, 87106  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
File

AA

APPLICATION NO. 07AA-10016	PROJECT NO. 1003523
PROJECT NAME PRIMA ENTRADA	
EPC APPLICATION NO.	
APPLICANT / AGENT RIO GRANDE ENG.	PHONE NO. 872-0999
ZONE ATLAS PAGE J-8/J-9	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
<b>ONE STOP COMMENT FORM LOG</b>	

<b>HYDROLOGY DEV (505) 924-3986</b>			
PLANS DISAPPROVED	DATE	DATE	
PLANS APPROVED <i>BBB</i>	DATE <i>7/3/07</i>	DATE	
COMMENTS:			

<b>UTILITY DEV (505) 924-3989</b>			
PLANS DISAPPROVED	DATE	DATE	
PLANS APPROVED <i>BBB</i>	DATE <i>7/3/07</i>	DATE	
COMMENTS:			

<b>TRANSPORTATION DEV (505) 924-3990</b>			
PLANS DISAPPROVED	DATE	DATE	
PLANS APPROVED <i>NSF</i>	DATE <i>7/2/07</i>	DATE	
COMMENTS:			

<b>PARKS AND REC (505) 768-5328</b>			
PLANS DISAPPROVED	DATE	DATE	
PLANS APPROVED	DATE	DATE	
COMMENTS:			

<b>PLANNING (505) 924-3858</b>			
PLANS DISAPPROVED	DATE	DATE	
PLANS APPROVED <i>DM</i>	DATE <i>8/2/07</i>	DATE	
COMMENTS:			

Revised 3/3/04

(Return form with plat / site plan)

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

### SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

### STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

### Supplemental form

### S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICATION INFORMATION:

Professional/Agent (if any): RIO GRANDE. MONTEREY LAND GROUP II LLC PHONE: 991-4060  
 ADDRESS: 5111 SAN MATEO STE A FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: \_\_\_\_\_

APPLICANT: MONTEREY LAND GROUP II LLC PHONE: 991-4060  
 ADDRESS: 5111 SAN MATEO STE A FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: SOLE OWNER List all owners: SOLE OWNER

DESCRIPTION OF REQUEST: SIDEWALK VARIANCE

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

### SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. PRIMA ENTRADA Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: LAND OF ATRILCO GRANT  
 Existing Zoning: SU-2 FOR RL Proposed zoning: SU-2 FOR RL MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): 5-8 & 5-9 UPC Code: 100905803306030911

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): 1003523

### CASE INFORMATION:

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 80 No. of proposed lots: 80 Total area of site (acres): 5.5  
 LOCATION OF PROPERTY BY STREETS: On or Near: 94th Street NW  
 Between: ENDER ROAD NW and SANTERRO AVE. NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 7-23-07  
 (Print) Will JONES Applicant:  Agent:

### FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07PRB-70154</u>	<u>SV</u>	<u>V</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CME</u>		\$ <u>20.00</u>
<input type="checkbox"/> All case #s are assigned				\$ _____
<input type="checkbox"/> AGIS copy has been sent				\$ _____
<input type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>8-1-07</u>			Total \$ <u>20.00</u>

[Signature] 7/23/07  
 Planner signature / date

Project # 1003523

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE) 24 copies
- Application for Minor Plat on FORM S-3, including those submittal requirements.
  - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
  - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for City owned public right-of-way.)
  - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") 24 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)** 6 copies
- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14")
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") 24 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the variance
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
- The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") 6 copies
  - Scale drawing showing the easement to be vacated (8.5" by 11") 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter/documents briefly describing, explaining, and justifying the vacation 6 copies
  - Letter of authorization from the grantors and the beneficiaries (private easement only)
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Will Jones  
 Applicant name (print)

[Signature] 7-23-07  
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

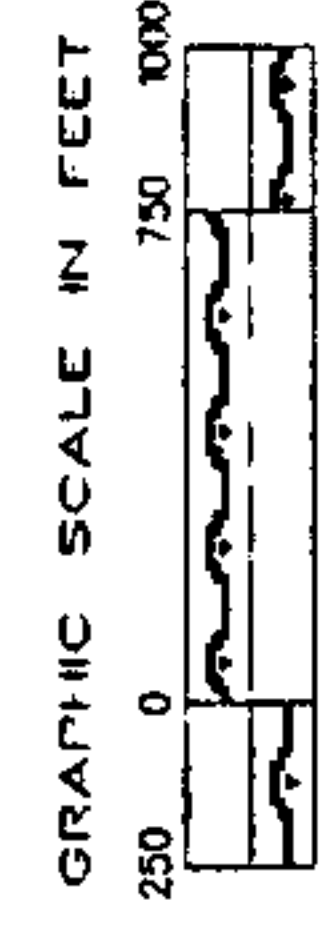
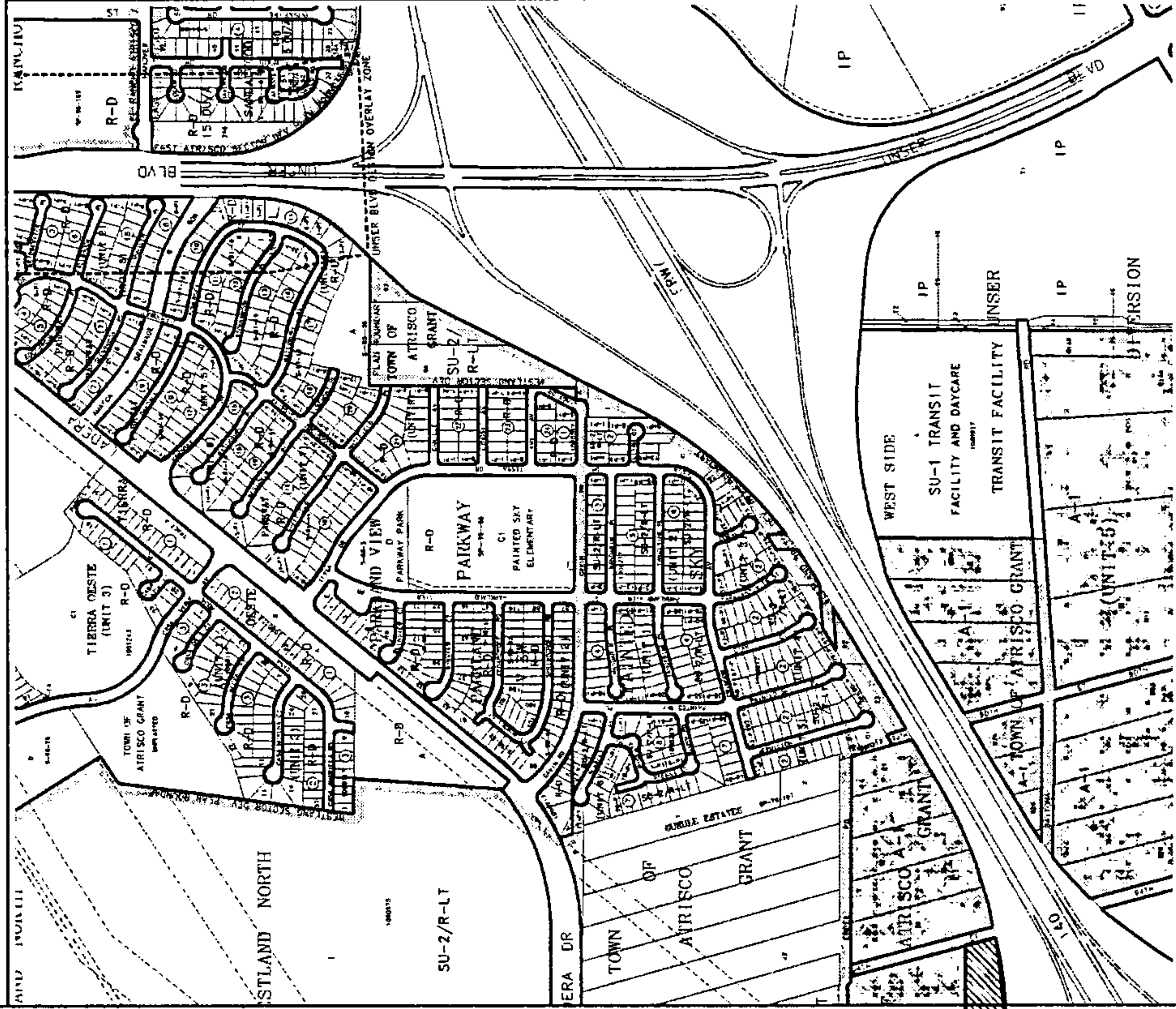
Application case numbers  
07022 - 70154

Form revised 4/07

[Signature] 7/23/07  
 Planner signature / date

Project # 1003523





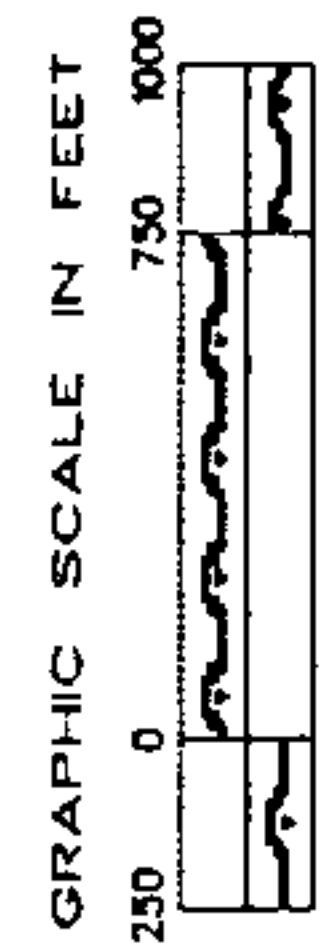
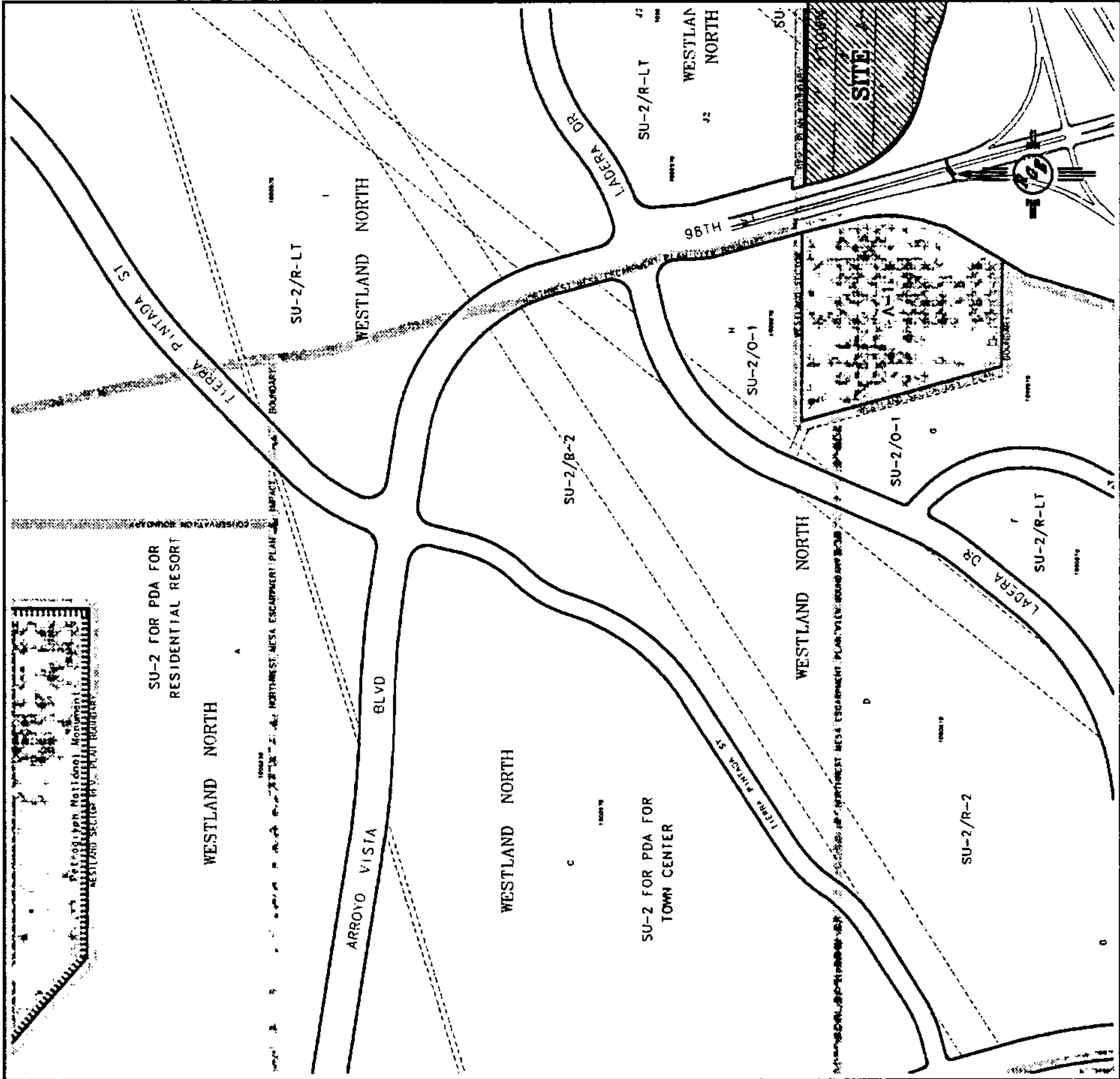
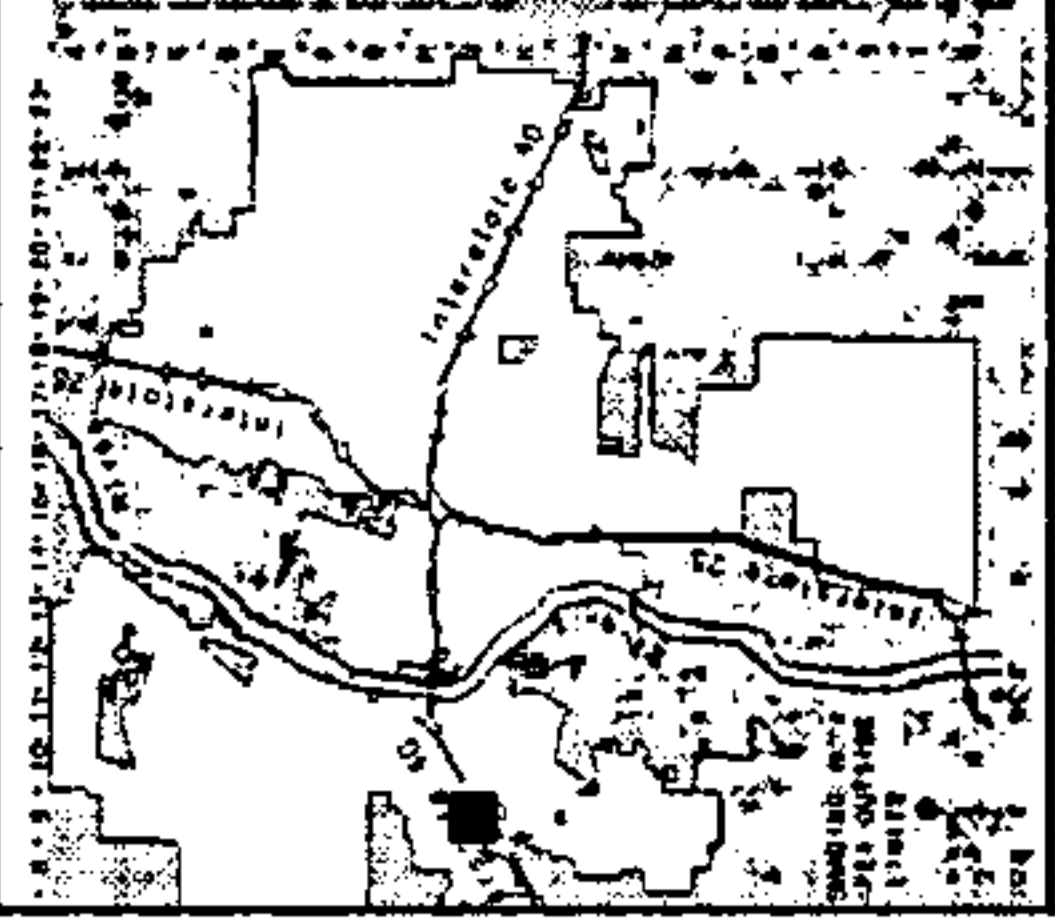
Zone Atlas Page

**J-9-Z**

Map Amended through August 01, 2003



CITY OF  
Albuquerque  
Aurora  
Garcia  
Ivanhoe  
S  
PLANNING DEPARTMENT  
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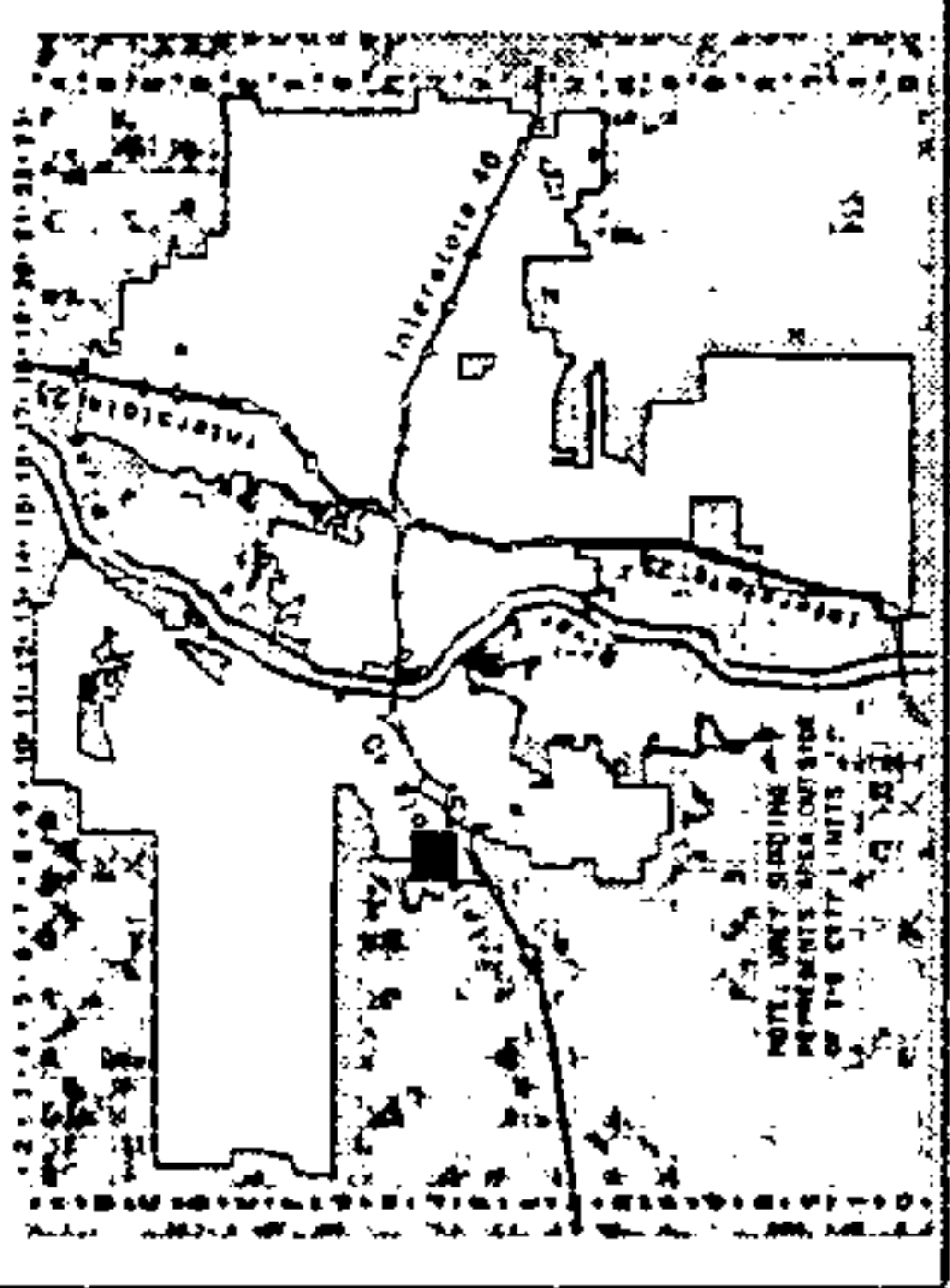
Zone Atlas Page

**J-8-Z**

Map Amended through August 01, 2003



CITY OF  
Albuquerque  
Aurora  
Garcia  
Ivanhoe  
S  
PLANNING DEPARTMENT  
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**Rio Grande  
Engineering  
Land Development and Civil Engineering Services**

July 23, 2007

Ms. Sheran Matson  
Chair-Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**RE: Prima Entrada  
Sidewalk variance,  
Project # 1003523  
Albuquerque, New Mexico**

Dear Ms. Matson:

Rio Grande Engineering, on behalf of the developer, requests a variance to the sidewalk minimum standards. Based upon field comment, we feel the construction of the southerly most sidewalk is not warranted nor beneficial to the public. We therefore wish to terminate the sidewalk at the common area park rather than continue it.

Should you have any questions regarding this submittal, please do not hesitate to call me.

Sincerely,

David Soule, PE

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

07/23/2007 Issued By: PLNABG

**Permit Number: 2007 070 154** **Category Code 910**

**Application Number: 07DRB-70154, Sidewalk Variance**

**Address:**

**Location Description: 98TH ST BETWEEN ENDEE RD & 98TH ST**

**Project Number: 1003523**

**Applicant**

Monterey Land Group ll Llc

**Agent / Contact**

511 San Mateo Ste A  
Albuquerque, NM 87109  
991-4060

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
<b>TOTAL:</b>		<b>\$20.00</b>

City Of Albuquerque  
Treasury Division

7/23/2007 2:15PM LOC: ANNX  
WS# 006 TRANS# 0014  
RECEIPT# 00079943-00079943  
PERMIT# 2007070154 TRSCCS  
Trans Amt \$20.00  
Conflict Manag. Fee \$20.00  
CK \$20.00  
CHANGE \$0.00

Thank You

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

### SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

### STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

### Supplemental form

### S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...
- D Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICANT INFORMATION:

NAME: Monterrey Land Group II, LLC PHONE: 338-2286  
 ADDRESS: 5111 San Mateo NE Suite A-1 FAX: 872-2205  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: -  
 Proprietary interest in site: owner List all owners: Sole owner  
 AGENT (if any): Rio Grande Engineering PHONE: 872-0999  
 ADDRESS: 2105 Golf Course Rd Suite B FAX: 872-2205  
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: 262@riograndeengineering.com

DESCRIPTION OF REQUEST: Final Plat Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

### SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 30, 31, 32, 33 Block: NA Unit: 3  
 Subdiv. / Addn. Lands of Arisco Grant Prisma Entrada Smm  
 Current Zoning: SU-2 (REMOVED) RL1 Proposed zoning: SU-BLT  
 Zone Atlas page(s): 58 & 59 No. of existing lots: - No. of proposed lots: 80  
 Total area of site (acres): 14.35 Density if applicable: dwellings per gross acre: 5.5 dwellings per net acre: 5.7  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill?   
 UPC No. 100805848408740 220, 100905802305130901, 100905802305130 MRGCD Map No. 901  
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street NW  
 Between: Endicott Rd NW and Interstate 25

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_V\_S, etc.): 1003523

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: 10/16/06

SIGNATURE DM DATE 10/16/06  
 (Print) David Solis Applicant  Agent

### FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers  
06DRB - 01529  
 Hearing date 10/25/06

Action	S.F.	Fees
<del>SE3</del> FP	<u>5(3)</u>	\$ <u>0</u>
CME		\$ <u>20.00</u>
		\$ <u>    </u>
		\$ <u>    </u>
		\$ <u>    </u>
		\$ <u>    </u>
		Total
		\$ <u>20.00</u>

Andrew Garcia 10/17/06 Project # 1003523

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

**SKETCH PLAT REVIEW AND COMMENT**

**YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

**MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT**

**Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

**Extensions are not reviewed through internal routing.**

Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Design elevations & cross sections of perimeter walls 3 copies (SUBMITTED AS PRELIMINARY PLAT)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

**DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**AMENDMENT TO PRELIMINARY PLAT (with minor changes)**

**Your attendance is required.**

**AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**

**AMENDMENT TO GRADING PLAN (with minor changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
  - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

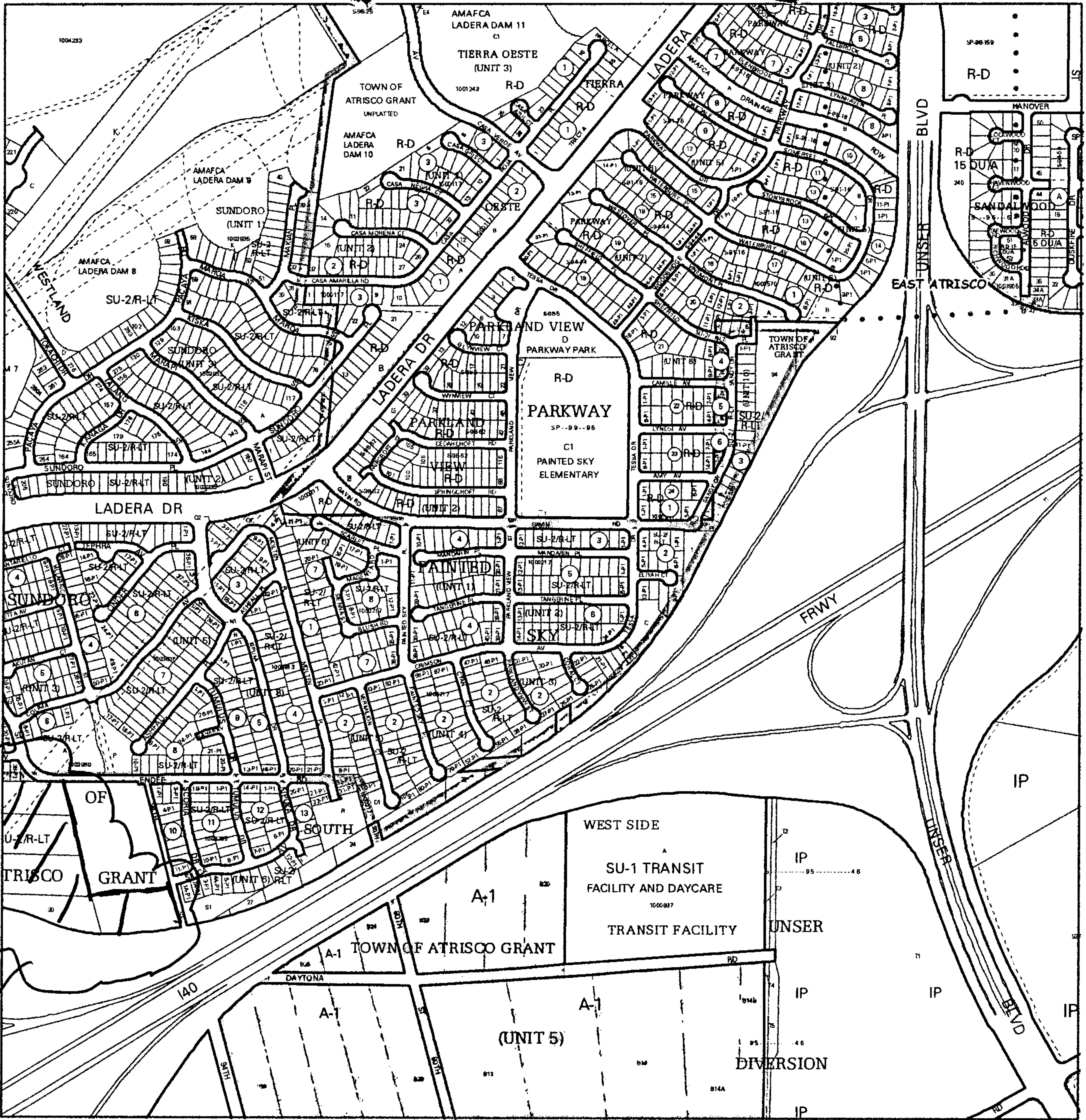
David  
Applicant name (print)  
DMM  
Applicant signature / date  
10/17/06



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

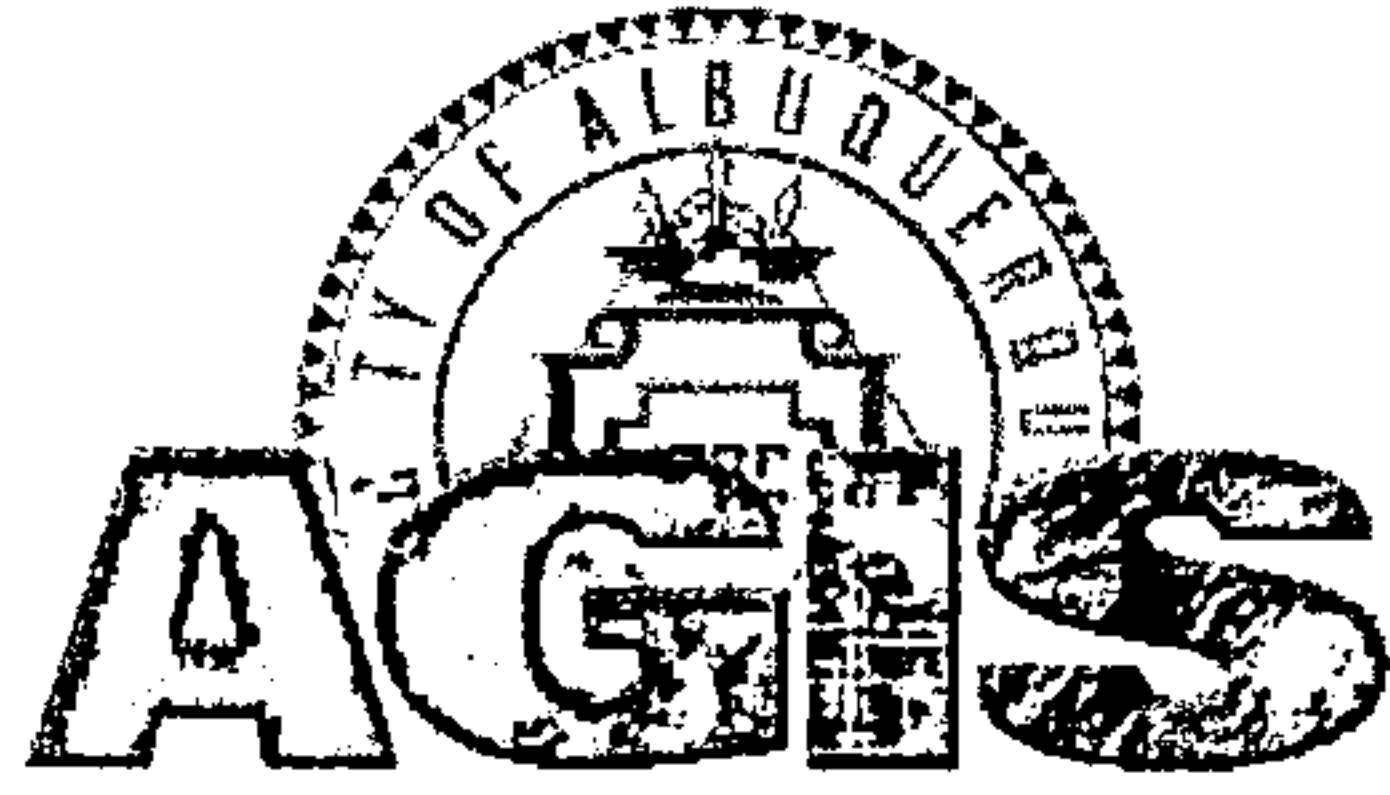
Application case numbers  
06 DRB - 01529

Form revised 8/04, 1/05 & 10/05  
Andrew Jones  
Planner signature / date  
10/17/06  
**Project # 1003523**

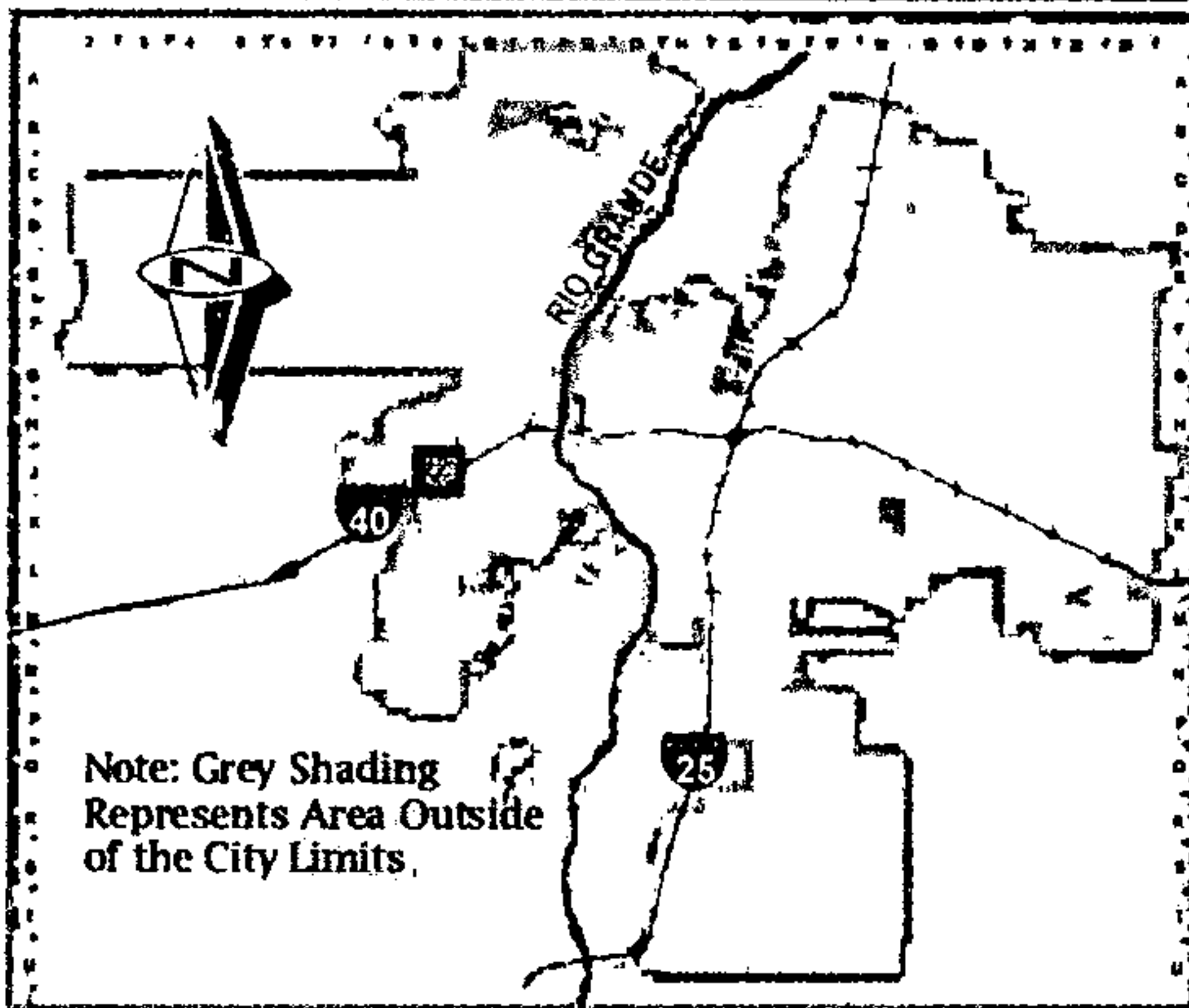


For more current information and more details visit: <http://www.cabq.gov/gis>

SITE



Map amended through: 9/5/2006



Note: Grey Shading Represents Area Outside of the City Limits.

Zone Atlas Page:

**J-09-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



No. of Lots: 85  
Nearest Major Streets  
98th NW & Encino NW

FIGURE 12

**SUBDIVISION IMPROVEMENTS  
AGREEMENT-PUBLIC AND/OR PRIVATE  
(Procedure B)**

AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 9th day of October, 2006, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Montrey Land Group II, LLC ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] NM Limited Liability Company whose address is 5111 San Mateo NE Suite A-1, ALBANY and whose telephone number is 338-2286, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Tracts 30, 31, 32, 33 Unit 5 Lands of Arisco Grant, recorded on Dec 5, 1944 in the records of the Bernalillo County Clerk at Book \_\_\_\_\_, pages \_\_\_\_\_ through \_\_\_\_\_ (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Montrey Land Group II, LLC ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Prima Entrada describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 15 day of December, 2006 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 7844.81.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

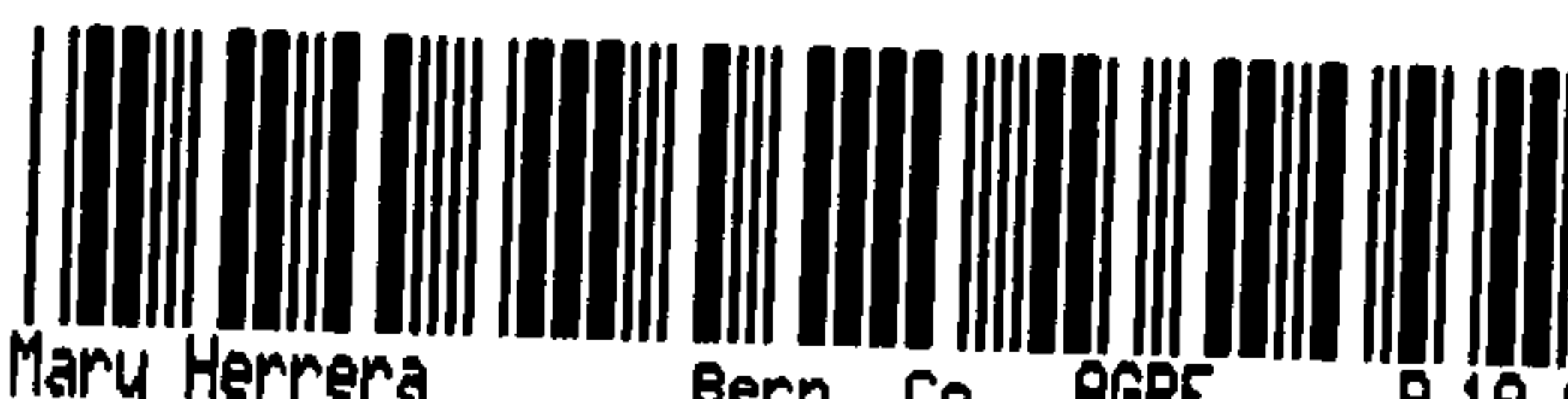
<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Surv-Tek, Inc, and construction surveying of the private Improvements shall be performed by Surv-Tek, Inc. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Rio Grande Engineering, and inspection of the private Improvements shall be performed by Rio Grande Engineering, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider





shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Geo-Test, Inc., and field testing of the private Improvements shall be performed by Geo-Test, Inc., both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

First Community Bank

Type of Financial Guaranty: Loan Reserve Letter No. 2342  
Amount: \$ 982,934.75 Name of Financial Institution or Surety  
Date City first able to call Guaranty: Dec 15 2006  
[Construction Completion Deadline]: Dec 15 20 06  
If Guaranty other than a Bond, last day City able to call Guaranty is:  
Feb. 15, 2007  
Additional information: \_\_\_\_\_

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

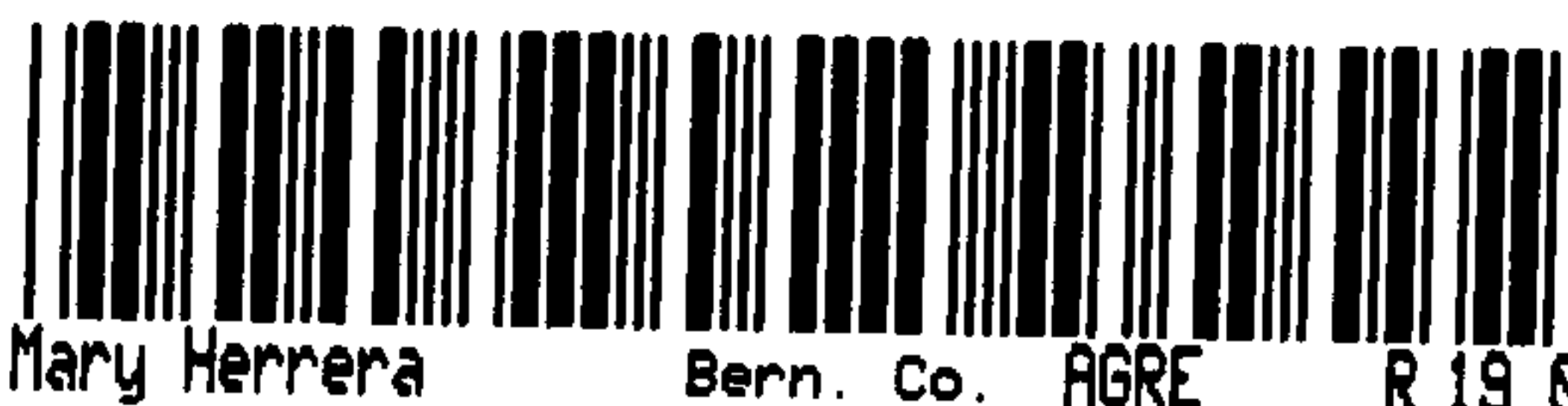
(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

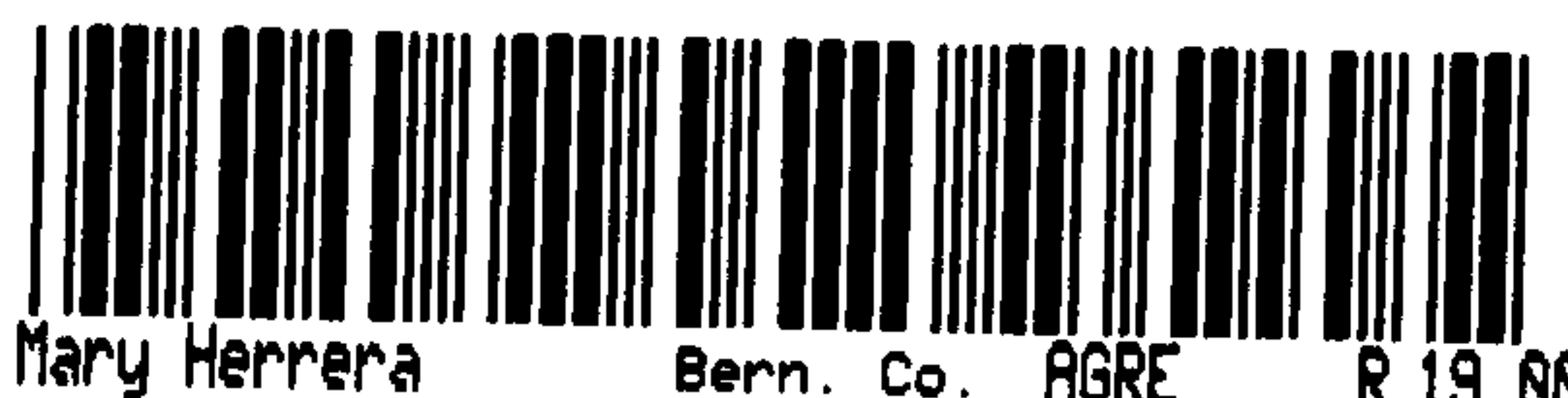
17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:

By [Signature]: Tim McNaney  
Name: Tim McNaney  
Title: Managing Member  
Dated: 9/14/06

CITY OF ALBUQUERQUE

Richard Dourte  
City Engineer  
Dated: 10-09-06

He 10/10/06  
10-4-06

SUBDIVIDER'S NOTARY

STATE OF New Mexico )  
COUNTY OF Bernalillo ) ss.

This instrument was acknowledged before me on 14<sup>th</sup> day of September, 2006 by [name of person:] Tim McNaney, [title or capacity, for instance, "President" or "Owner":] Managing Member of [Subdivider:] Monterey Land Group II, LLC

[Signature]  
Notary Public

My Commission Expires:  
10/29/2007

CITY'S NOTARY

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) ss.

This instrument was acknowledged before me on 9<sup>th</sup> day of October, 2006 by Richard Dourte, City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Gloria Saavedra  
Notary Public

My Commission Expires:  
11-25-2007

EXHIBIT A AND POWER OF ATTORNEY ATTACHED



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6541827  
Page: 6 of 6  
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**FIRST  
COMMUNITY  
BANK**

September 22, 2006

Dr. Bruce J. Pearlman, PhD  
Chief Administrative Officer  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**LOAN RESERVE LETTER No. 2342**

RE: Loan Reserve for Monterey Land Group, II LLC  
City of Albuquerque, Project ID# 784481  
Project Name: Prima Entrada Subdivision  
Loan Reserve Amount: Nine Hundred Eighty Two Thousand  
Nine Hundred Thirty Six Dollars and 75/100,  
(\$982,936.75)

Dear Dr. Pearlman:

This is to advise the City of Albuquerque ("City") that, at the request of Monterey Land Group, II LLC ("Borrower"), First Community Bank, ("Financial Institution") in , New Mexico, commits the sum of Nine Hundred Eighty Two Thousand Nine Hundred Thirty Six Dollars and 75/100, (\$982,936.75) ("Loan Reserve") for the exclusive purpose of providing the financial guarantee which the City requires Monterey Land Group, II LLC, ("Subdivider") to provide for the installation of the improvements which must be constructed at Tracts 30, 31, 32, 33, Unit 5, Lots of Atrisco Grant , Project No.784481 (Project)". The Amount of the Loan Reserve is 125% of the City's estimated cost of the Project, as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 10-10-06 in the records of the Clerk of Bern County, New Mexico, in Book Misc. A125 at pages 3855 to 3855, ("Agreement").

1. Reduction of Commitment. If the City Engineer, or that person's authorized designee, determines that it is appropriate to release a specified amount of the Loan Reserve as the result of the Subdivider's construction of a portion of the required infrastructure, then the City Engineer, or that person's authorized designee, may execute an "Authorization to Reduce" which will authorize the Financial Institution to release a specified amount from the Loan Reserve.

The Authorization to Reduce will state the amount of the "Reduced Loan Reserve Balance" which must be maintained following the reduction. The Reduced Loan Reserve Balance shall not be reduced by more than 90% of the City's estimated cost of the Project until the Project is accepted by the City. When the Financial Institution receives the Authorization to Reduce, which has been signed by the City, the Financial Institution may reduce the Loan Reserve to the Reduced Loan Reserve Balance.

2. Liability of Financial Institution. Although the City may approve the Financial Institution's release of a part of the Loan Reserve, the approval will not constitute the City's final acceptance of part or all of the Project. However, no matter what agreement exists between the Subdivider and the City, the total liability of the Financial Institution to the City with respect to the Loan Reserve established pursuant to this Loan Reserve Letter shall at all times be limited to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City, and the Financial Institution's liability to the City under this Loan Reserve Letter shall cease upon termination of the Loan Reserve as provided in Section 4 herein.
  
3. Draw on Reserve. If by December 15, 2006, the improvements described in the Agreement have not been fully installed, inspected, approved and accepted by the City, then, upon presentation between December 15, 2006 and February 15, 2007, inclusive, the City may demand payment from the Financial Institution up to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The City may demand payment by delivering to the Financial Institution a certified "Demand for Payment" executed by the CAO which shall state that the Subdivider has failed to comply with the terms of the Agreement and also shall state the estimated cost of completing the improvements specified in the Agreement ("Estimated Cost of Completion"). Upon receipt of the Demand for Payment, the Financial Institution promptly shall draw from the Loan Reserves cashier's check to the City of Albuquerque the amount of 125% of the estimated cost of completion, not to exceed the lesser of the total Loan Reserve amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The Financial Institution shall

deliver the cashier's check promptly to the City.

4. Termination of Reserve. This Loan Reserve is for the benefit of the City and shall be irrevocable until the occurrence of one of the following:

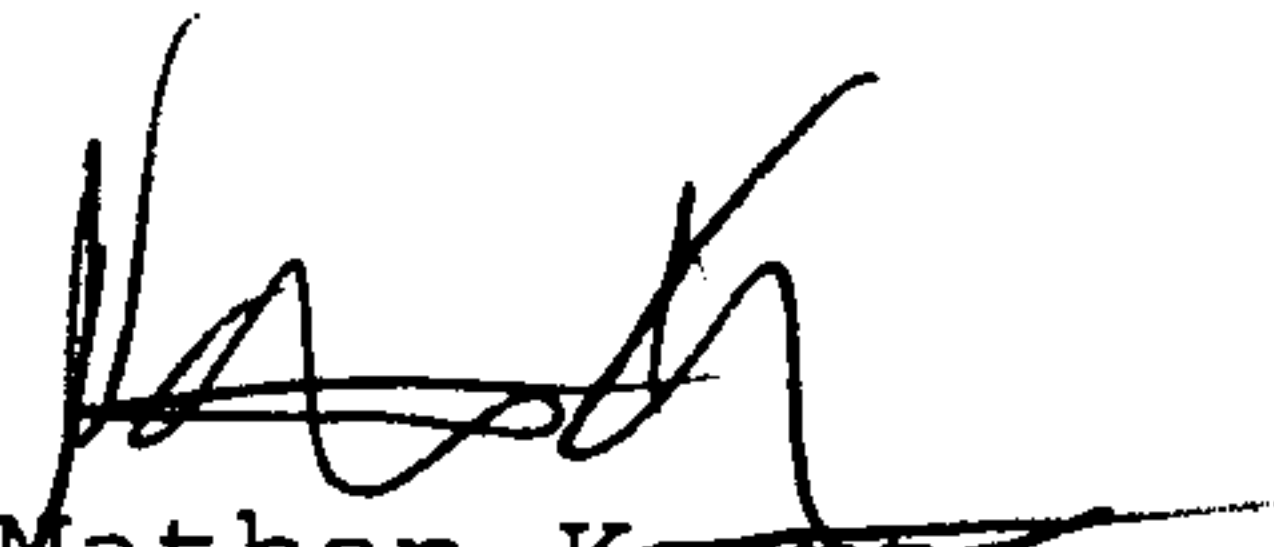
A. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or

B. City delivery of the Demand for Payment and the Financial Institution's payment to the City of cashier's check as required in Section 3 herein; or

C. Expiration of the date February 15, 2007; or


D. Written termination of this Loan Reserve Letter, signed by the Chief Administrative Officer of the City.

Very truly yours,

  
Nathan Koontz,  
Vice President

ACCEPTED:

City of Albuquerque

By:   
Chief Administrative Officer  
Or authorized designee

Title: City Engineer

Dated: 10-09-06

*WJ Pearlman*

*10-4-06*

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: 11/21/05  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: 11/30/05  
Date Preliminary Plat Expires: 11/30/06  
DRB Project No.: 1003523  
DRB Application No.: 05-01369

**ORIGINAL**

**INFRASTRUCTURE LIST**  
**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**PRIMA ENTRADA SUBDIVISION**  
**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**TRACT 30,31,32,33, UNIT 5, LANDS OF ATRISCO GRANT**  
**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<u>B</u>	<u>784481</u>	8"	Water line	Prima Entrada St. <u>2101</u>	Endee road	Serrano Point St.	<u>/</u>	<u>/</u>	<u>/</u>
<u>A</u>	<u>4</u>	8"	Waterline	Sonterro Ave <u>720'</u>	94th	Serrano Pointe St.	<u>/</u>	<u>/</u>	<u>/</u>
<u>A</u>	<u>4</u>	8"	waterline	Serrano Pointe St. <u>440</u>	Sonterro Ave	Prima Entrada St	<u>/</u>	<u>/</u>	<u>/</u>
<u>A</u>	<u>4</u>	8"	waterline	Entrada Vista Ave <u>650</u>	Lot 40	Prima Entrada St	<u>/</u>	<u>/</u>	<u>/</u>
<u>A</u>	<u>4</u>	8"	waterline	Public Waterline Easmt (lot 38) <u>120</u>	Entrada Vista Ave	existing stub	<u>/</u>	<u>/</u>	<u>/</u>
<u>A</u>	<u>4</u>	8"	Waterline	Mirasol Ave <u>710'</u>	Entrada Vista Ave	Serrano Pointe St	<u>/</u>	<u>/</u>	<u>/</u>
		8"	Waterline	Entrada vista Court <u>200'</u>	Mirasol Ave	Terminus	<u>/</u>	<u>/</u>	<u>/</u>
		8"	Waterline	94th Street <u>230'</u>	Sonterro Ave	existing Waterline	<u>/</u>	<u>/</u>	<u>/</u>
		8"	Sewerline	Prima Entrada St.	Endee road	Serrano Point St.	<u>/</u>	<u>/</u>	<u>/</u>
<u>B</u>	<u>784481</u>	8"	Sewerline	Sonterro Ave <u>760</u>	94th	Serrano Pointe St.	<u>/</u>	<u>/</u>	<u>/</u>
<u>A</u>	<u>4</u>	8"	Sewerline	Serrano Pointe St. <u>420'</u>	Sonterro Ave	Prima Entrada St	<u>/</u>	<u>/</u>	<u>/</u>
<u>A</u>	<u>4</u>	8"	Sewerline	Entrada Vista Ave <u>610</u>	Lot 40	Prima Entrada St	<u>/</u>	<u>/</u>	<u>/</u>
<u>A</u>	<u>4</u>	8"	Sewerline	Mirasol Ave <u>280</u>	Entrada Vista Ave	Serrano Pointe St	<u>/</u>	<u>/</u>	<u>/</u>

*NOT TO BE BUILT - IL NEEDS TO BE CHANGED*



SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
6	784481	8"	Sewer line	Entrada vista Court 210'	Mirasol Ave	Terminous	/	/	/
9	9	8"	Sewerline	94th Street 235'	Sonterro Ave	Existing Sewerline	/	/	/
9	4	28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Prima Entrada St. 210'	Endee road	Serrano Point St.	/	/	/
9	4	28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk, North Side only	Sonterro Ave 720'	94th	Serrano Pointe St.	/	/	/
9	9	28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Serrano Pointe St. 435'	Sonterro Ave	Prima Entrada St	/	/	/
9	4	28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Entrada Vista Ave 670	Lot 40	Prima Entrada St	/	/	/
6	4	28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Mirasol Ave 420'	Entrada Vista Ave	Serrano Pointe St	/	/	/
6	9	28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Entrada vista Court 160' + 140'	Mirasol Ave	Terminous	/	/	/
6	9	28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	94th Street 245'	Sonterro Ave	North Property Line	/	/	/
7	9	24' F-E	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Endee 160'	lot 25	east Property line	/	/	/
9	4	36"	RCP storm drain and appurtanances retention pond with covenents	Sonterro Ave	Pond	94th Street	/	/	/
9	9	NA	Temporary Red. Area Public drainage easement with pond covenents	Tract A	entire parcel	entire parcel	/	/	/
		TBD	West Bluff Channel Contribution to AMAFCA, including trail Paid to Amafca prior to final Plat.	<i>Brad - No Financial Guarantee needed. 5/3/2006 mp</i> <i>\$100,000 according to Brad</i>			/	/	/

NAME OF PLAT AND/OR SITE PLAN PRIMA ENTRADA SUDIVISION

SIA Sequence #	COA DRC Project #
<u>B</u>	<u>784481</u>
<u>A</u>	<u>U</u>

Size	Type of Improvement	Location	From	To
10'	concrete Drainage Channel	Tract E	Entrada Vista Ct.	Entrada Vista Ave.
varies	Landscape meters	Landscape tracts	N/A	N/A

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/

**NOTES**

- 1 Engineers Certification of Grading required for release of SIA and Financial Guarantee
- 2 site lighting shall be installed per DPM Standards.
- 3 Landscape agreement between Prima Entrada Home Owners Association and the City of Albuquerque must be executed prior to release of Financial Guarantee

**AGENT OWNER**

David Soule  
NAME (print)

Rio Grande Engineering  
FIRM

MM 11/30/05  
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: \_\_\_\_\_

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

[Signature] 11/30/05  
DRB CHAIR - date

Christina Dandora 11/30/05  
PARKS & GENERAL SERVICES - date

[Signature] 11.30.05  
TRANSPORTATION DEVELOPMENT - date

[Signature] 11/30/05  
UTILITY DEVELOPMENT - date

Bradley L. Bigham 11/30/05  
CITY ENGINEER - date

AMAFCA - date  
\_\_\_\_\_- date  
\_\_\_\_\_- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

# FINANCIAL GUARANTY AMOUNT

05/09/2006

Type of Estimate: SIA Procedure - B - w/F.G.

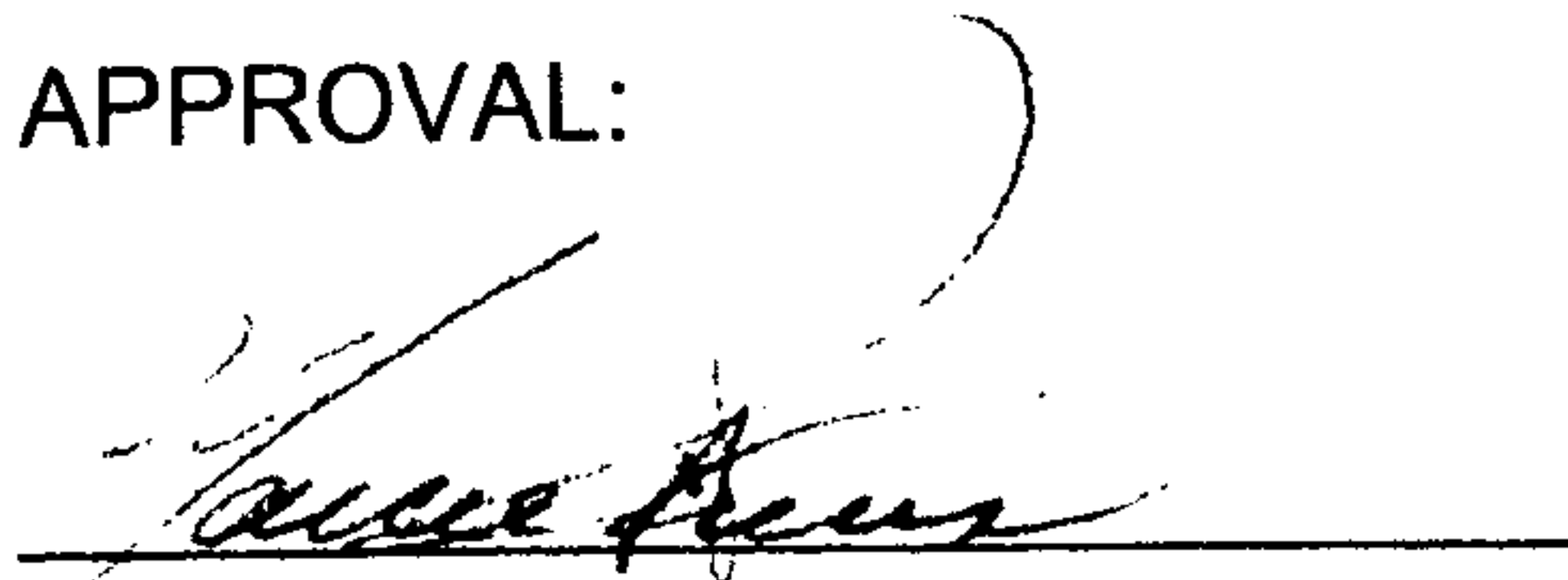
Project Description:

**Project ID #: 784481, Prima Entrada Subdivision, Phase/Unit #: 1**

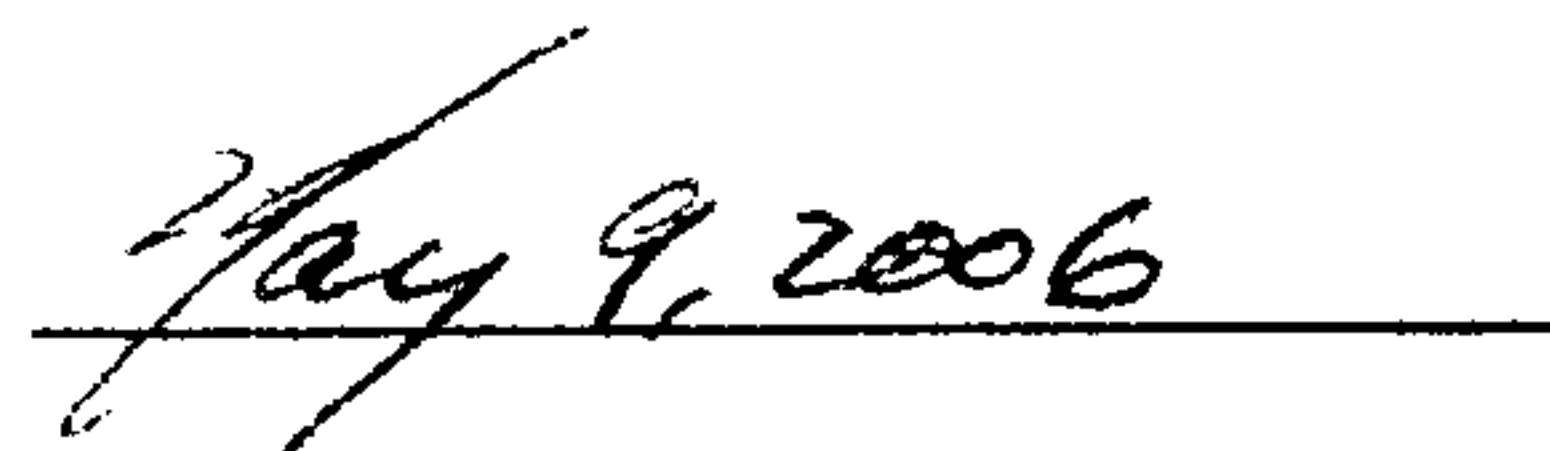
Requested By: **David Soule, P.E.**

Approved estimate amount:		\$616,630.74
Contingency Amount:	10.00%	\$61,663.07
Subtotal:		\$678,293.81
NMGRT	6.75%	\$45,784.83
Subtotal:		\$724,078.64
Engineering Fee	6.60%	\$47,789.19
Testing Fee	2.00%	\$14,481.57
Subtotal:		\$786,349.40
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
<b>TOTAL FINANCIAL GUARANTY REQUIRED</b>		<b><u>\$982,936.75</u></b>

APPROVAL:

  
\_\_\_\_\_

DATE:

  
\_\_\_\_\_

Notes: Prima Entrada Subdivision



No. of Lots: 85  
Nearest Major Streets  
90th NW & E 21st NW

FIGURE 19  
SIDEWALK DEFERRAL AGREEMENT  
PROJECT NO. 7844.81

THIS AGREEMENT is made this 9th day of October, 2007, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P.O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103 and Madison Lane Group II, LLC ("Developer"), whose address is 5111 San Mateo NE, Suite A1 Albuquerque NM 87109 and whose telephone number is 338-2286, a (state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.): NM Limited Liability Company, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

WHEREAS, the Developer is developing certain lands within the City of Albuquerque, County of Bernalillo, State of New Mexico, known as (existing legal description) Tracts 30, 31, 32, 33 units, Arviso Grant (the "Subdivision"); and

WHEREAS, the Developer has submitted and the City has approved Developer's development plans and (state "preliminary" or "final":) Preliminary plat, to be identified as (state name of plat:): Prima Entrada; and

WHEREAS, Developer has requested and the City has determined that it is acceptable for the Developer to defer construction of the sidewalks within the Subdivision until after construction of other required infrastructure; and

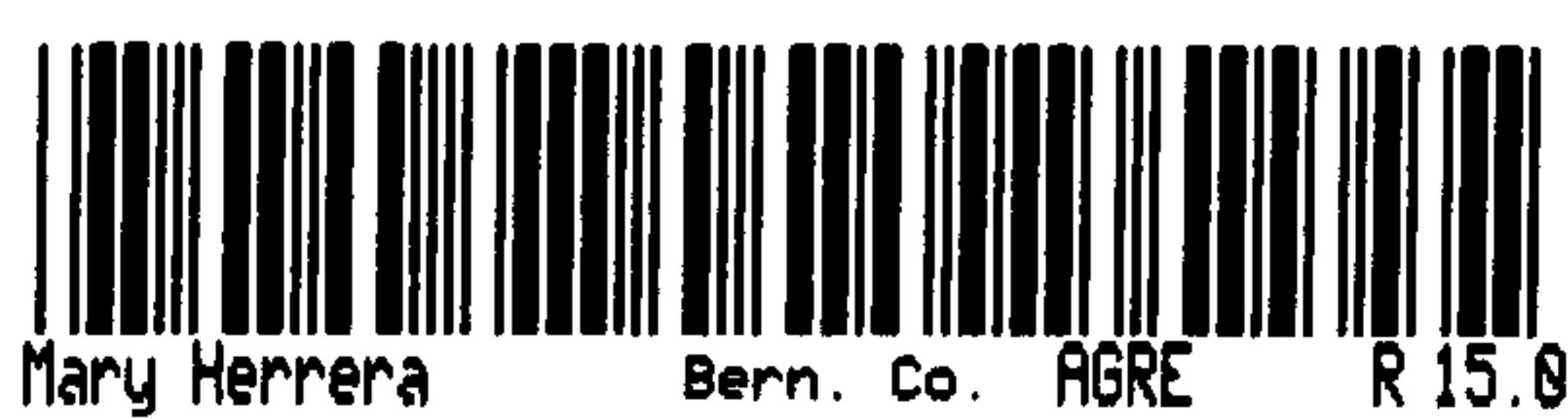
WHEREAS, the Subdivision Ordinance requires all sidewalks to be completed within four (4) years after execution of the Agreement to Construct Subdivision Improvements; and

WHEREAS, the Developer must execute and deliver to the City an Agreement and an acceptable financial guaranty to provide funds for construction of the sidewalk improvements in case the Developer does not complete the construction as required.

THEREFORE, the City and the Developer agree:

1.A. Sidewalk Construction Deadline. Developer has obtained a sidewalk deferral, as shown in the attached Exhibit "A", which is a copy of the Development Review Board's decision regarding the deferral granted. Developer agrees to utilize the City's sidewalk permit process and complete the sidewalk to the satisfaction of the City by Dec 15, 2007 ("Sidewalk Construction Deadline").

B. Request for Extension. If this Sidewalk Deferral Agreement establishes a Sidewalk Construction Deadline which is less than four (4) years after execution of the Subdivision Improvements Agreement, the Developer may request an extension from the Project Review Section for an additional period of time, which shall not exceed a total of four years after execution of the Subdivision Improvements Agreement. The form of the Financial Guaranty extension and the amount must be approved by the City, but shall not exceed 125% of the City's estimate of the cost of construction at the time Developer requests an extension. If the Developer will need more than four (4) years after execution of the Subdivision Improvements Agreement to construct the sidewalks, the Developer must request and obtain an extension from the Development Review Board and submit the required documentation to the Design Review Section before expiration of the four (4) years.



2. Financial Guaranty. Developer will provide a financial guaranty in an amount of not less than 125% of the cost of constructing the sidewalk improvements within the Subdivision, as determined by the City. The financial guaranty must be irrevocable and may be in the form of a City-approved bond, letter of credit, escrow deposit or loan reserve letter issued by a federally insured financial institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Sidewalk Construction Deadline. To meet the Subdivision Ordinance requirements, the Developer has provided the following "Financial Guaranty":

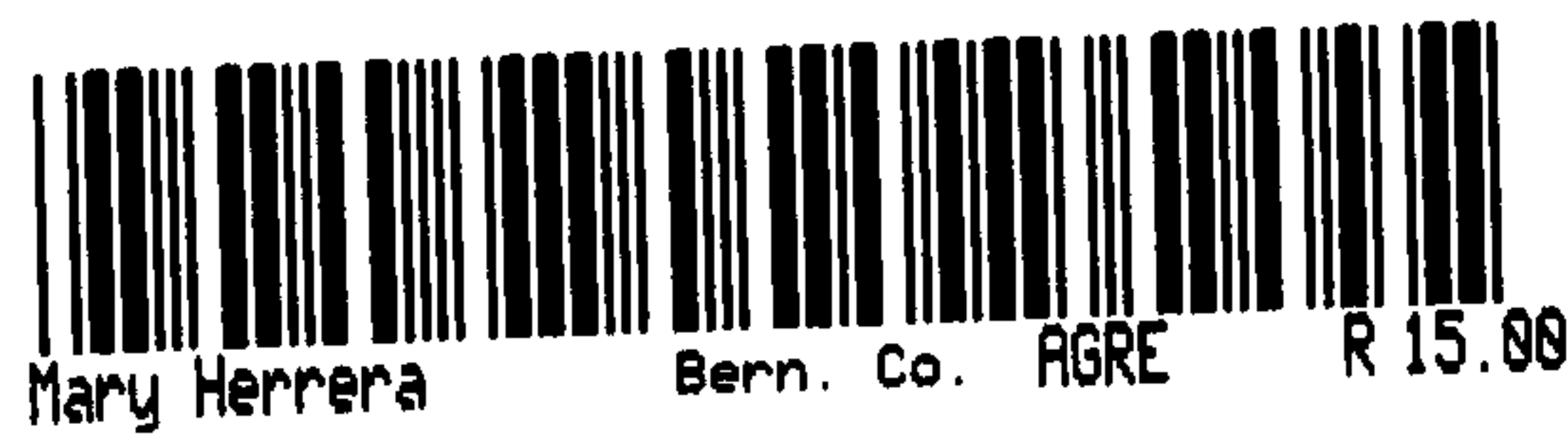
Type of Financial Guaranty: Loan Reserve Letter NO 2343  
Amount: \$53,392.68 Name of Financial Institution or  
Surety providing Guaranty: First Community Bank  
Date City first able to call Guaranty (Sidewalk Construction  
Deadline): DEC 15, 2007.  
If Guaranty other than a Bond, last day City able to call  
Guaranty is: FEB 15, 2008.  
Additional Information: \_\_\_\_\_

3. Completion, Acceptance and Release. The Developer shall report completion of sidewalk construction in writing to the City. The City shall inspect the sidewalks to verify completion. Upon acceptance of the improvements, the City shall promptly release the financial guaranty and Sidewalk Deferral Agreement.

4. Conveyance of Property Rights. When the sidewalks have been constructed, if the City does not own the real property upon which the sidewalks are constructed, the Developer shall convey to the City the real property rights required by the City together with the improvements, free and clear of all claims, encumbrances and liens, before the City will release the Financial Guaranty and Sidewalk Variance Agreement. Conveyance may be by dedication on the final plat of the Subdivision.

5. Indemnification. Until the sidewalks are accepted by the City, the Developer shall be solely responsible for maintaining the premises upon which the sidewalks are being constructed in a safe condition. The Developer agrees to defend, indemnify and hold harmless the City and its officers, agents and employees from and against all suits, actions or claims of any kind brought because of any injury or damage arising out of the design or construction of the sidewalks, or by reason of any act, omission or misconduct of the Developer, its agents or employees. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico. Provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the City, or the agents or employees of the City; or (2) the giving of or the failure to give directions or instructions by the City, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

6. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Developer and the express written concurrence of financial institution or surety which has undertaken to guaranty the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.



7. Release. If the subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Developer from its obligations under this Agreement and will continue to hold the Developer responsible for all Improvements until a successor in interest to the Developer has posted a suitable financial guaranty and entered into a Sidewalk Improvements Agreement with the City. Thereafter, when the Developer's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

8. Payment for Incomplete Improvements. If the Developer fails to satisfactorily complete construction of the sidewalks by the Construction Completion Deadline, the City may construct or cause the sidewalks to be constructed as shown on the final plat and in the approved plans and specifications. The Developer shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Developer's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the Financial Guaranty, the Developer shall be liable to, and shall pay the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

9. Binding on Developer's Property. The provisions of this Agreement constitute covenants running with Developer's Subdivision for the benefit of the City and its successors and assigns until terminated, and are binding on the Developer and its heirs, successors and assigns.

10. Notice. For purposes of giving formal written notice, including notice of change of address, the Developer's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

11. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

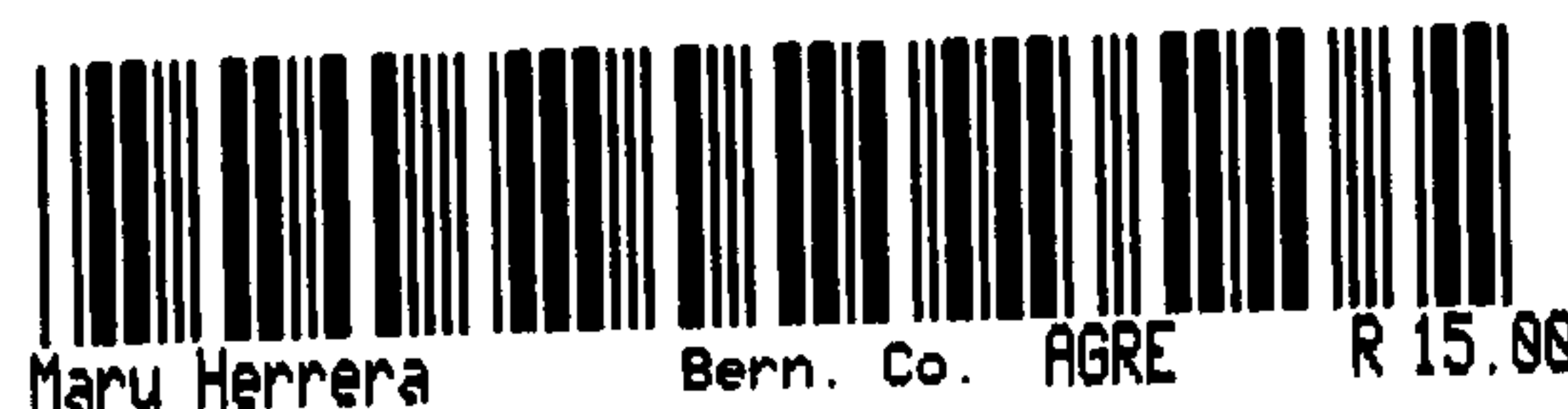
12. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

13. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

14. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meeting or construction of any of its provisions.

15. Form not Changes. Developer agrees that changes to this form are not binding unless initialed by the Developer and signed by the City's Legal Department on this form.

16. Authority to Execute. If the Developer signing below is not the Owner of the Subdivision, the owner must provide a Power of Attorney or other evidence of authority to execute this Agreement which is acceptable to the City.



Executed on the date stated in the first paragraph of this Agreement.

DEVELOPER:

CITY OF ALBUQUERQUE:

By (Signature): Tim McNaney  
Name: Tim McNaney  
Title: Managing Member  
Dated: 9/14/06

[Signature]  
City Engineer  
Dated: 10-09-06

Wfe 10/6/06

or  
10-4-06

DEVELOPER'S NOTARY

STATE OF New Mexico )  
COUNTY OF Bernalillo ) ss.

This instrument was acknowledged before me on 14th day of September, 2006 by (name of person:) Tim McNaney, (title or capacity, for instance, "President" or "Owner":) Managing Member of (Developer:) Monterey Land Group II, LLC.

[Signature]  
Notary Public

My Commission Expires:  
10/29/2007

CITY'S NOTARY

STATE OF New Mexico )  
COUNTY OF Bernalillo ) ss.

This instrument was acknowledged before me on 9th day of October, 2006 by Richard Douste, City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

[Signature]  
Notary Public

My Commission Expires:  
11-25-2007

EXHIBIT "A" ATTACHED





**FIRST  
COMMUNITY  
BANK**

September 22, 2006

Dr. Bruce J. Pearlman, PhD  
Chief Administrative Officer  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**LOAN RESERVE LETTER No. 2343**

RE: Loan Reserve for Monterey Land Group, II LLC  
City of Albuquerque, Project ID# 784481  
Project Name: Prima Entrada Subdivision  
Loan Reserve Amount: Fifty Three Thousand Three Hundred  
Ninety Two Dollars and 68/100 (\$53,392.68)

Dear Dr. Pearlman:

This is to advise the City of Albuquerque ("City") that, at the request of Monterey Land Group, II LLC ("Borrower"), First Community Bank, ("Financial Institution") in , New Mexico, commits the sum of Fifty Three Thousand Three Hundred Ninety Two Dollars and 68/100, (\$53,392.68) ("Loan Reserve") for the exclusive purpose of providing the financial guarantee which the City requires Monterey Land Group, II LLC, ("Subdivider") to provide for the installation of the improvements which must be constructed at Tracts 30, 31, 32, 33, Unit 5, Lots of Atrisco Grant, Project No.784481 (Project"). The Amount of the Loan Reserve is 125% of the City's estimated cost of the Project, as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 10/10/06 in the records of the Clerk of Ber County, New Mexico, in Book Misc. A125 at pages 3854 to 3854, ("Agreement").

1. Reduction of Commitment. If the City Engineer, or that person's authorized designee, determines that it is appropriate to release a specified amount of the Loan Reserve as the result of the Subdivider's construction of a portion of the required infrastructure, then the City Engineer, or that person's authorized designee, may execute an "Authorization to Reduce" which will authorize the Financial Institution to release a specified amount from the Loan Reserve.



The Authorization to Reduce will state the amount of the "Reduced Loan Reserve Balance" which must be maintained following the reduction. The Reduced Loan Reserve Balance shall not be reduced by more than 90% of the City's estimated cost of the Project until the Project is accepted by the City. When the Financial Institution receives the Authorization to Reduce, which has been signed by the City, the Financial Institution may reduce the Loan Reserve to the Reduced Loan Reserve Balance.

2. Liability of Financial Institution. Although the City may approve the Financial Institution's release of a part of the Loan Reserve, the approval will not constitute the City's final acceptance of part or all of the Project. However, no matter what agreement exists between the Subdivider and the City, the total liability of the Financial Institution to the City with respect to the Loan Reserve established pursuant to this Loan Reserve Letter shall at all times be limited to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City, and the Financial Institution's liability to the City under this Loan Reserve Letter shall cease upon termination of the Loan Reserve as provided in Section 4 herein.
  
3. Draw on Reserve. If by December 15, 2007, the improvements described in the Agreement have not been fully installed, inspected, approved and accepted by the City, then, upon presentation between December 15, 2007, and February 15, 2008, inclusive, the City may demand payment from the Financial Institution up to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The City may demand payment by delivering to the Financial Institution a certified "Demand for Payment" executed by the CAO which shall state that the Subdivider has failed to comply with the terms of the Agreement and also shall state the estimated cost of completing the improvements specified in the Agreement ("Estimated Cost of Completion"). Upon receipt of the Demand for Payment, the Financial Institution promptly shall draw from the Loan Reserves cashier's check to the City of Albuquerque the amount of 125% of the estimated cost of completion, not to exceed the lesser of the total Loan Reserve amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The Financial Institution shall deliver the cashier's check promptly to the City.

4. Termination of Reserve. This Loan Reserve is for the benefit of the City and shall be irrevocable until the occurrence of one of the following:

- A. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
- B. City delivery of the Demand for Payment and the Financial Institution's payment to the City of cashier's check as required in Section 3 herein; or
- C. Expiration of the date February 15, 2008; or
- D. Written termination of this Loan Reserve Letter, signed by the Chief Administrative Officer of the City.

Very truly yours,



Nathan Koontz,  
Vice President

**ACCEPTED:**

City of Albuquerque

By:   
Chief Administrative Officer  
Or authorized designee

Title: City Engineer

Dated: 10-09-06

*He 10/09/06*

*10-4-06*



EXHIBIT A

## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

November 30, 2005

5. **Project # 1003523**  
05DRB-01369 Major-Preliminary Plat Approval  
05DRB-01368 Major-SiteDev Plan Subd  
05DRB-01370 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for GHP, LLC request(s) the above action(s) for LOT 30, 31, 32 and 33, LANDS OF ATRISCO GRANT, UNIT 3, (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2 FOR R-LT, located on 98<sup>TH</sup> ST NW, between ENDEE RD NW and I-25 NW containing approximately 17 acre(s). [REF:04EPC-01003, 04EPC-01352, 04EPC-01489] [*Deferred from 9/28/05 & 11/2/05 & 11/9/05 & 11/23/05*](J-8)

At the November 30, 2005, Development Review Board meeting, with the signing of the infrastructure list dated 11/30/05 and approval of the grading plan engineer stamp dated 11/21/05 the preliminary plat was approved with the following conditions of final plat approval:

P-1 lot designations.

Entrada Vista Court shall become a private access easement. Maintenance and Beneficiary Statement shall be placed on the plat.

A sidewalk waiver shall be applied for.

The Home Owners Association or the owner's signature is required on the final plat.

The zoning designation shall be on the final plat.

The site plan for subdivision was approved with final sign off delegated to Planning for the 15-day appeal period and 3 copies of the site plan.

The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by December 15, 2005, in the manner described below.

# FINANCIAL GUARANTY AMOUNT

05/10/2006

Type of Estimate: Sidewalk Deferral

Project Description:

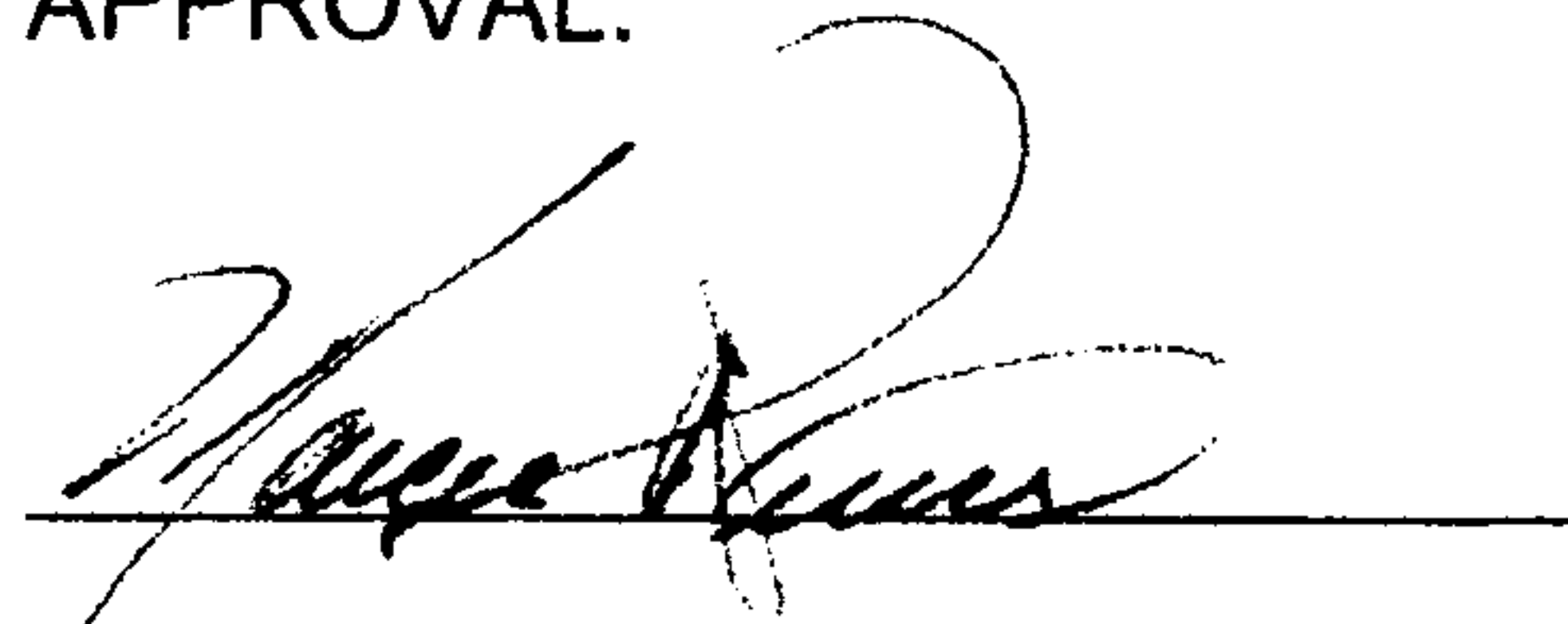
**Project ID #: 784481, Prima Entrada Subdivision, Phase/Unit #: 1**

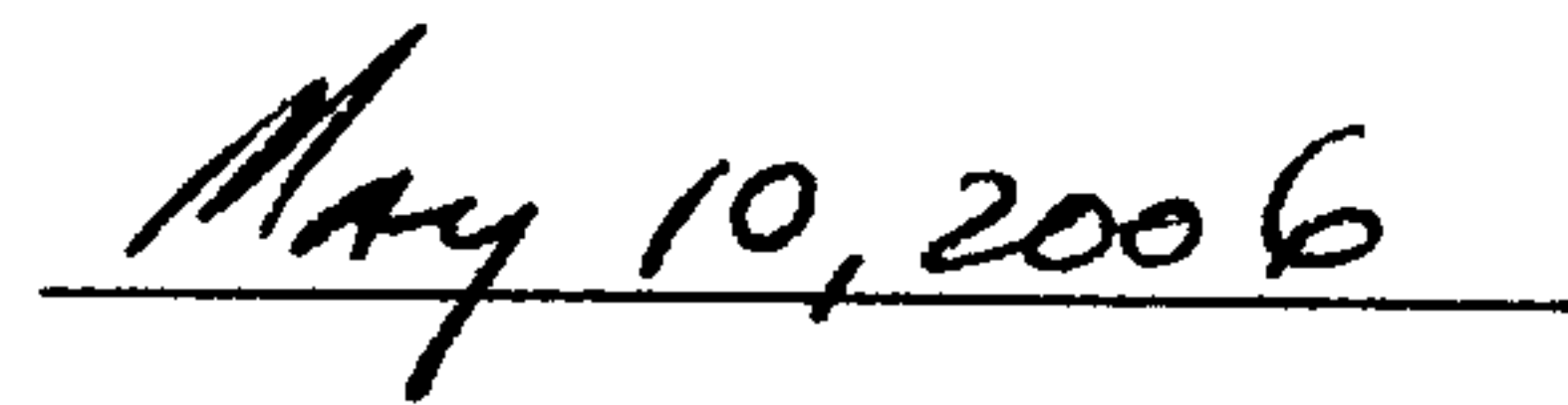
Requested By: **David Soule, P.E.**

Approved estimate amount:		\$40,013.25
NMGRT	6.75%	\$2,700.89
Subtotal:		\$42,714.14
125% FINANCIAL GUARANTY RATE		1.25
<b>TOTAL FINANCIAL GUARANTY REQUIRED</b>		<b>\$53,392.68</b>

APPROVAL:

DATE:

  
\_\_\_\_\_

  
\_\_\_\_\_

Notes:

**ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services**

**PAID RECEIPT**

APPLICANT NAME Monterrey Law Group II, LLC  
 AGENT Rio Grande Engineering  
 ADDRESS 2105 Golf Course Rd Suite B  
 PROJECT & APP # 1003523 / 06 DRB - 01529  
 PROJECT NAME Lands of Arisco Grant

\$ 20.<sup>00</sup> 441032/3424000 Conflict Management Fee  
 \$ \_\_\_\_\_ 441006/4983000 DRB Actions  
 \$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
 \$ \_\_\_\_\_ 441018/4971000 Public Notification  
 \$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
     ( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
     ( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
     ( ) Traffic Impact Study  
 \$ 20.<sup>00</sup> TOTAL AMOUNT DUE

\*\*\***NOTE:** If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City of Albuquerque  
Treasury Division

10/17/2005 12:57PM LDC: AB  
 X  
 RECEIPT# 00070270 LBN 007 RANEN 0018  
 Account 441.32 and 0110  
 Activity 342300 TREAS  
 Trans Amt \$20.00  
 324 Desc 000.00  
 10 000.00  
 CIP:GL 00.00  
 Trans for

# City of Albuquerque Planning Department

## One Stop Shop – Development and Building Services

01/11/2008 Issued By: PLNSDH

**Permit Number:** 2008 070 011 **Category Code 910**

**Application Number:** 08DRB-70011, Major - 2yr Subd Imp Agmt Ext (2yr Sia)

**Address:**

**Location Description:** 98TH ST NW BETWEEN ENTRAD RD NW AND I-40

**Project Number:** 1003523

**Applicant**

Monteray Land Group II LLC

5111 San Mateo  
Albuquerque NM 87104  
338-2286

**Agent / Contact**

Rio Grande Engineering  
David Soule  
1606 Central Ave Se Ste 201  
Albuquerque NM 87106

david@riograndeengineering.com

**Application Fees**

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
<b>TOTAL:</b>		<b>\$145.00</b>

City of Albuquerque  
Treasury Division

1/11/2008 12:00PM LOC: ANNA  
 WSH 00/ TRANS# 0019  
 RECEIPT# 00092647-00092647  
 PERMIT# 20080/0011 TRSMSP  
 Trans Amt \$145.00  
 AFN Fee \$75.00  
 Conflict Manaq. Fee \$20.00  
 LRB Actions \$50.00  
 CK \$145.00  
 CHARGE \$0.00

Thank You

#18

AGREEMENT TO SETTLE

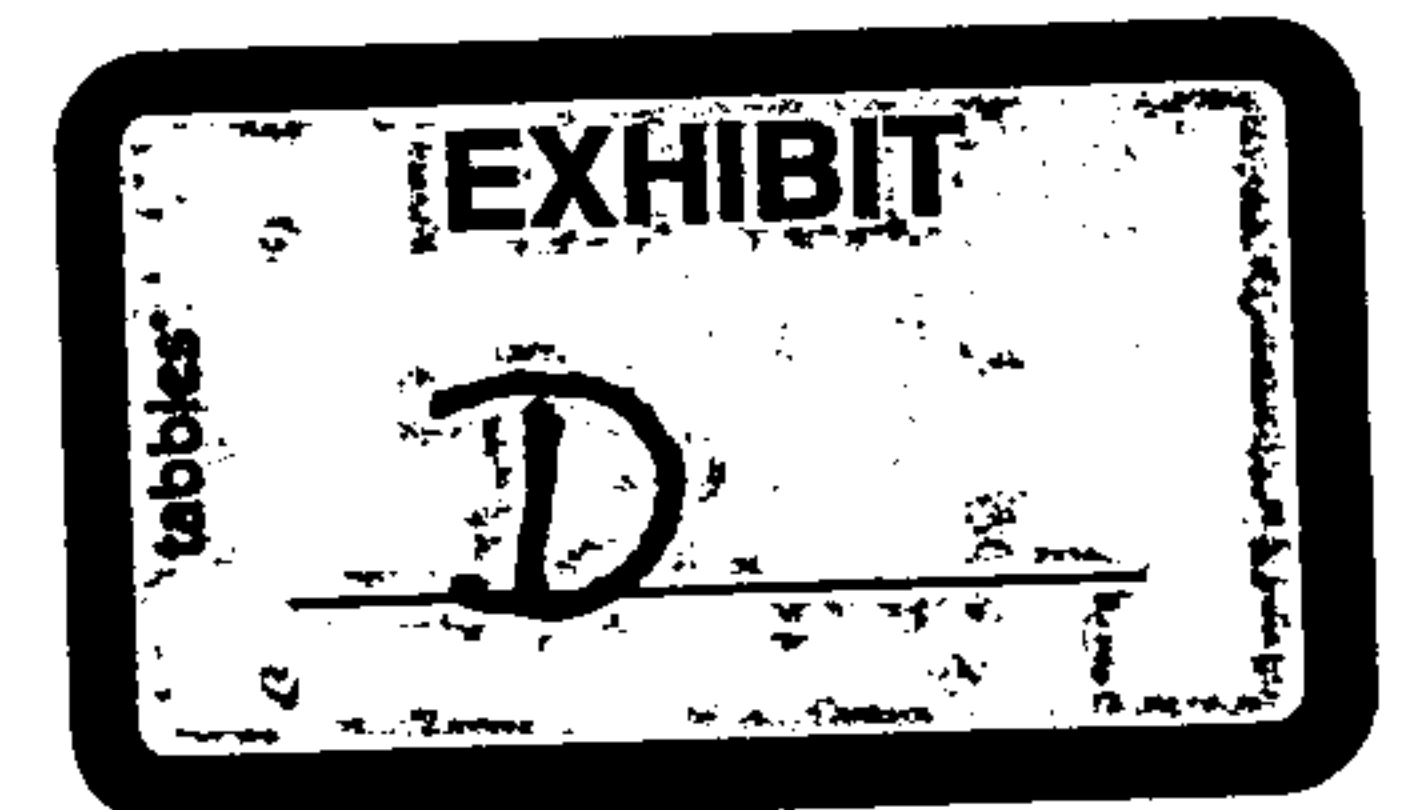
THIS AGREEMENT sets forth the essential terms of a settlement agreed to by the Plaintiff, Dragonfly Development, Inc., and the Defendant, GHP Ltd. Co., in the matter of *Dragonfly Development, Inc. v. GHP Ltd. Co.*; Cause No. CV-2006-3080, before the Second Judicial District Court of Bernalillo County, New Mexico.

This matter was mediated before Alan R. Wilson. In attendance were representatives of the Plaintiff, Dragonfly Development, Inc., and Joseph L. Werntz, its attorney, and a representative of the Defendant, GHP Ltd. Co., and Sylvain Segal, its attorney.

This matter involves complaints against Defendant for declaratory judgment and injunctive relief.

After extensive, good faith negotiations, the Plaintiff, Dragonfly Development, Inc., and the Defendant, GHP Ltd. Co., have agreed to a full and complete settlement of the captioned matter, in accordance with the following terms:

1. The Plaintiff, Dragonfly Development, Inc., agrees to pay to Defendant, GHP Ltd. Co. the sum of Forty Five thousand dollars (\$45,000.00).
2. The Plaintiff shall employ a licensed surveyor to ascertain the area, in square feet, of a portion of the property owned by Defendant that is adjacent to and south of Plaintiff's property (shown as "Parcel A" on Exhibit A attached hereto, and also called the "Depicted Area"), 1) Using the legal description of Plaintiff's property set forth in the deed into the Plaintiff for the purpose of establishing the location of the northern boundary of Parcel A (Plaintiff's southern boundary); and, 2) Using the legal description in the deed from Defendant into Fuller Homes of lands previously owned by Defendant



to establish the westerly and southern boundaries of Parcel A; and, 3) Using the western boundary of 94<sup>th</sup> as the eastern boundary of Parcel A. This calculation constitutes the "Actual Area" for purposes of this agreement. The surveyor's calculations shall be deemed acceptable to both parties, except for mathematical or transcription errors. Either party may bring to the surveyor's attention (with copy to the opposing party) such errors, and the final calculations by the surveyor shall be binding upon both parties for purposes of this Settlement. The surveyor shall then calculate the difference between the Actual Area as calculated above, and the Depicted Area of parcel A, as depicted on Exhibit A hereto. If the Actual Area is less than the Depicted Area, Plaintiff shall pay to defendant \$1.37 per square foot for the difference, up to a maximum of \$6,000.00.

3. The parties agree that upon satisfaction of this Agreement's requirements, the Boundary Agreement dated December 7, 2005, by and between the parties covering the subject property, shall be deemed null and void ab initio.

4. Defendant shall execute and deliver a quitclaim deed in favor of Plaintiff covering all property set forth in the approved preliminary plat of Sundoro South Subdivision, Unit 9. Plaintiff shall execute and deliver in favor of Defendant a quitclaim deed covering the Actual Area and the lands deeded by Defendant to Fuller Homes, as shown in that deed. Further, Defendant shall execute any documents requested by the City of Albuquerque to effectuate the dedication of a public roadway to the lands deeded by Defendant to Fuller Homes.

5. The Parties agrees to release and dismiss with prejudice all claims they may have asserted in this lawsuit against each other, their owners, principals, agents, attorneys and representatives. The Parties agree that they shall withdraw all objections,

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complaints, and appeals that may be pending against the other's applications for governmental approval of subdivisions or other actions on the subject properties, and that they shall not object, or cooperate with any objections, to the other party's submittals and applications in the future.

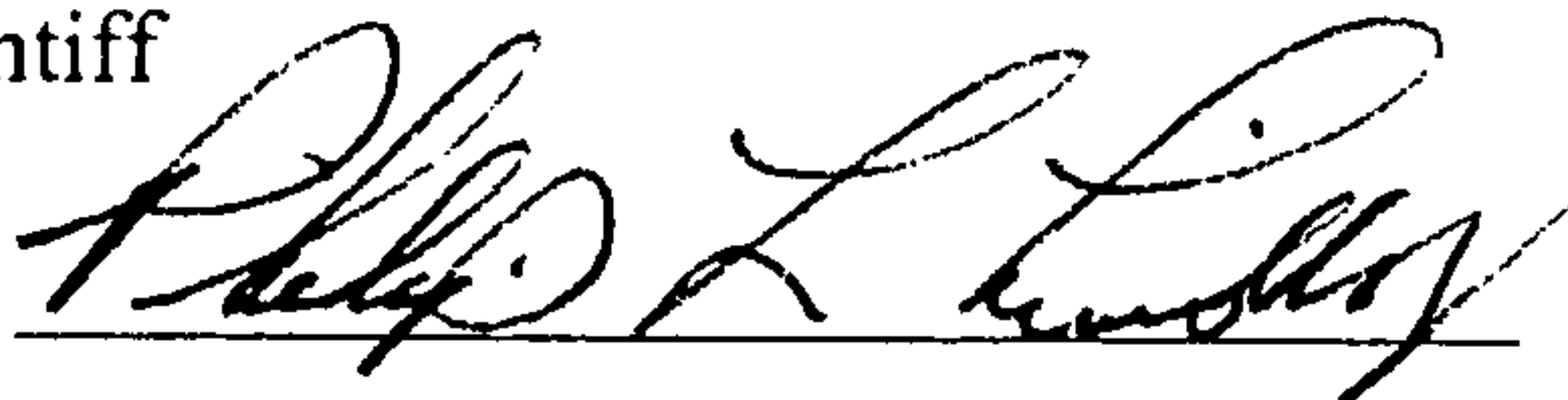
6. This is not an admission of liability on the part of either party or its officers, directors, shareholders, employees or agents, by whom liability is expressly denied.

7. Each party shall promptly perform each requirement of this Agreement, and the Agreement shall be fully performed no later than September 13, 2006.

8. Each party, Plaintiff, Dragonfly Development, Inc., and the Defendant, GHP Ltd. Co., will pay one-half (1/2) of the mediator's fee.


**DATED: August 23, 2006**

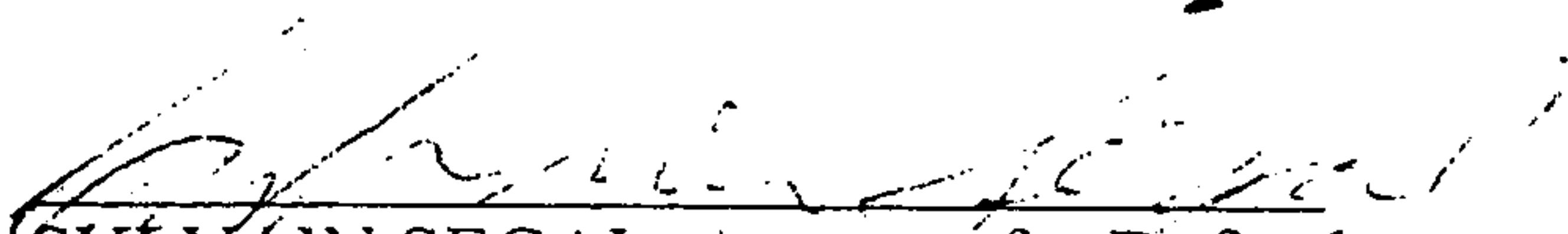
DRAGONFLY DEVELOPMENT, INC.,  
Plaintiff

By: 

  
JOSEPH L. WERNTZ, Attorney for Plaintiff

GHP LTD. CO.,  
Defendant

By:  PHILIP P. CLARK  
MANAGER

  
SYLVAIN SEGAL, Attorney for Defendant

---

Exhibit "A"

Richard A. Fuller

# EXHIBIT

### LEGAL DESCRIPTION

A TRACT OF LAND SITUATED WITHIN PROJECTED SECTIONS 16 AND 17 TOWNSHIP 10 NORTH, RANGE 2 EAST, M.P.M., TOWN OF ATRISCO GRANT, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING IDENTIFIED AS AREA A BEING A 1.6563 ACRE TRACT AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER, FOUND PREBAR WITH A CAP STAMPED "11463" IN PLACE, WHENCE FOR A TIE TO THE NCS MONUMENT "REWARD" BEARS S62°41'56"W 154.98 FEET DISTANCE; THENCE, S69°48'03"E, 69.70 FEET DISTANCE TO A POINT; THENCE, S14°41'53"E, 608.84 FEET DISTANCE; THENCE, N89°38'45"E, 342.81 FEET DISTANCE; THENCE, S14°58'18"E, 31.53 FEET DISTANCE; THENCE, S83°23'20"W, 163.30 FEET DISTANCE; THENCE, N89°40'08"W, 300.04 FEET DISTANCE TO A POINT AND PLACE OF BEGINNING AND CONTAINING 1.6563 ACRES, MORE OR LESS.

LAND OF RECORD  
 REFERENCE TO  
 PLAT AND  
 DEED RECORDS

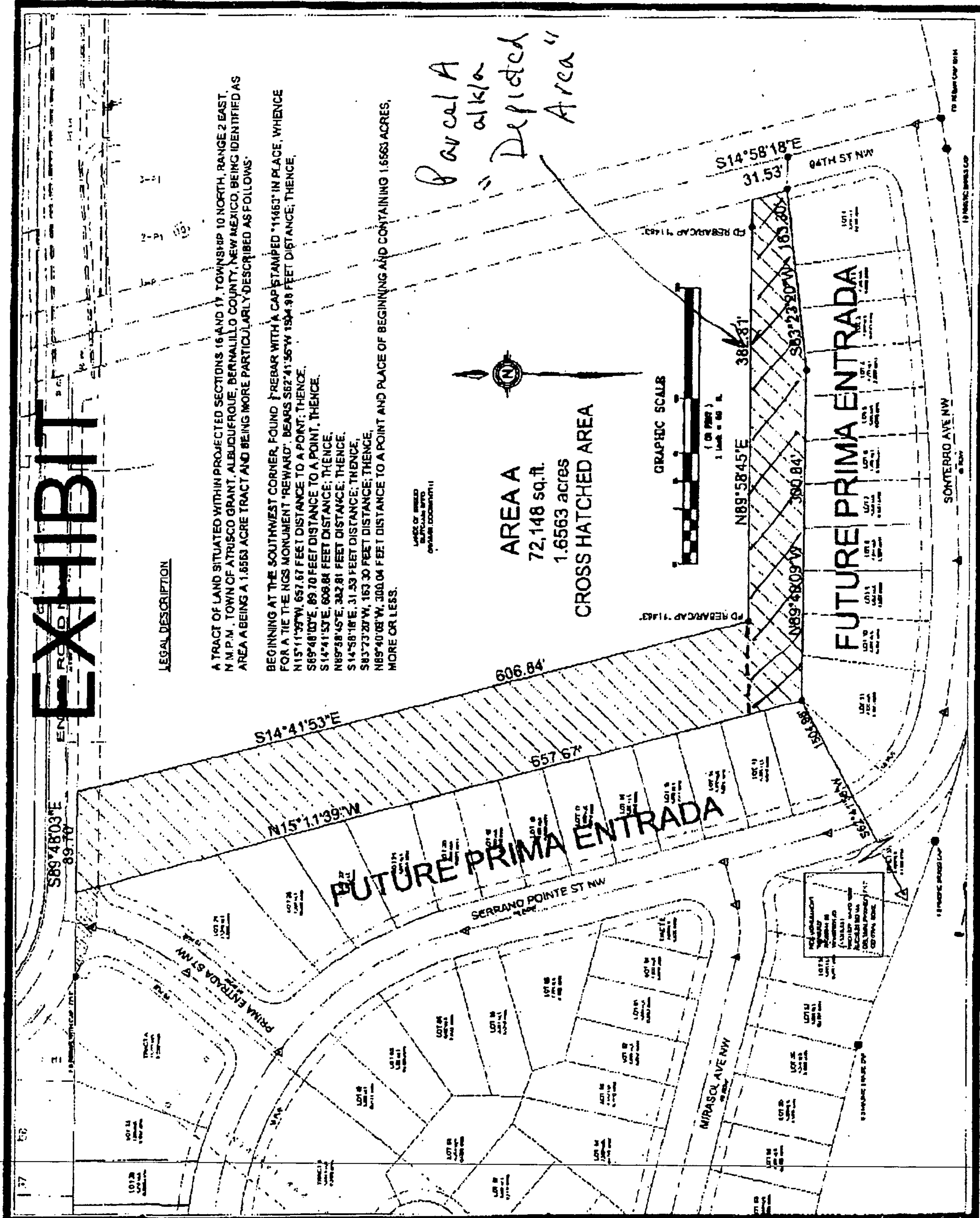
**AREA A**  
 72,148 sq.ft.  
 1.6563 acres

CROSS HATCHED AREA

*Parcel A  
 = "Depleted  
 Area"*



GRAPHIC SCALE



#18

#1003523

Received  
07/12/06

## BOUNDARY AGREEMENT

December 7, 2005

THIS BOUNDARY AGREEMENT is made as of the \_\_\_\_ day of ~~November~~ 2005, by and between DRAGONFLY DEVELOPMENT INC., a New Mexico corporation ("Dragonfly"), and GHP LTD. COMPANY, a New Mexico limited liability company ("GHP").

### RECITALS:

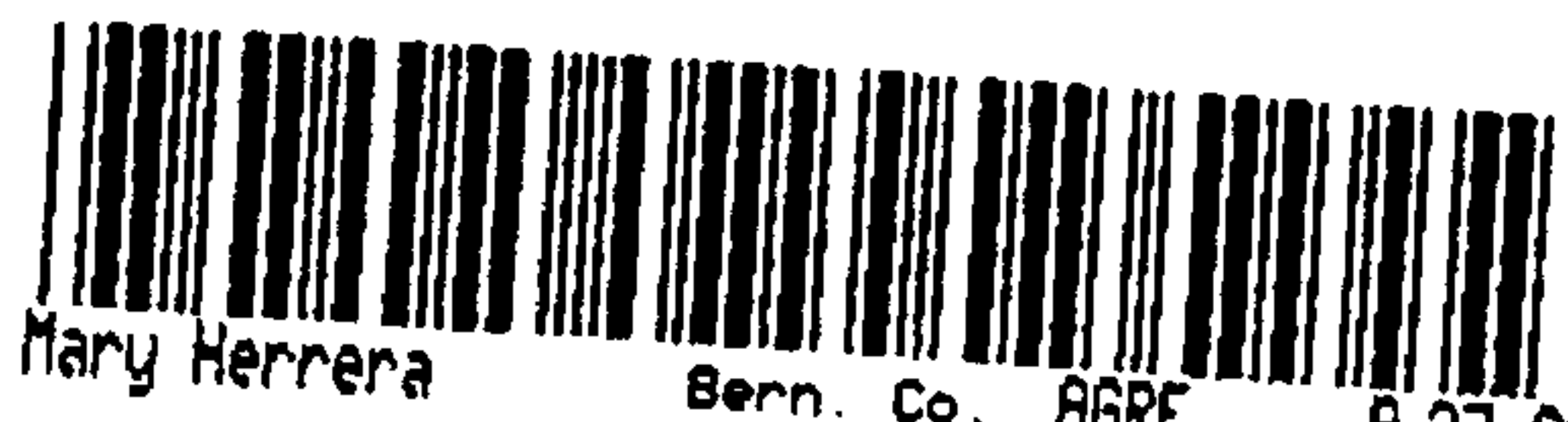
A. Dragonfly claims ownership of that certain real property (the "Dragonfly Property") described on the warranty deed attached hereto as **Exhibit 3**. The Dragonfly Property is also shown and described on that certain ALTA Survey dated August 6, 2004, by Wayjohn Surveying Inc.

B. GHP claims title to that certain real property (the "GHP Property") pursuant to that certain warranty deed attached hereto as **Exhibit 4**.

C. There is a dispute between GHP and Dragonfly as to the location of the boundaries of their respective properties. It further appears that the boundary of the Dragonfly Property and the boundary of the GHP Property conflicts and overlaps; however, there is also a dispute as to the location and amount of the conflict or overlap.

D. Both GHP and Dragonfly are in the process of developing their respective property as subdivisions, and time is of the essence.

E. GHP and Dragonfly wish to avoid the time, expense and uncertainty of further dispute over the location of their respective properties, and wish to establish by mutual agreement the location of the common boundaries of their respective properties as set forth in this Agreement.



**NOW, THEREFORE,** in consideration of the premises and mutual covenants contained herein and other good and valuable consideration. Dragonfly and GHP hereby agree as follows:

1. GHP has obtained and provided to Dragonfly a "Bulk Land Survey" performed by John Gallegos, showing the total amount of land comprising the Dragonfly Property and the GHP Property. A reduced copy of the Bulk Land Survey is attached hereto as **Exhibit 1**.

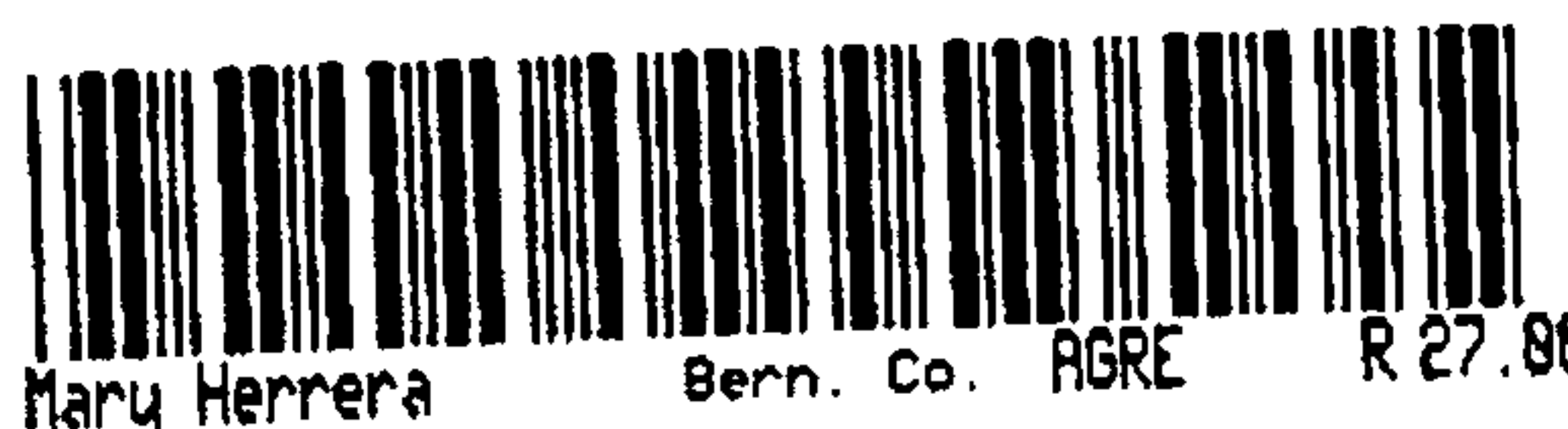
2. Dragonfly has obtained and provided to GHP a "Subdivision Plot Plan" prepared by Thompson Engineering Consultants Inc. for the combined Dragonfly Property and GHP Property based on the Bulk Land Survey, which tentatively and arbitrarily establishes the boundary between the Dragonfly Property and the GHP Property. The Subdivision Plot Plan is acceptable to both GHP and Dragonfly, as is the boundary established thereby for the Dragonfly Property and the GHP Property. A reduced copy of the Subdivision Plot Plan is attached hereto as **Exhibit 2**.

3. Dragonfly and GHP agree that the boundary between their respective properties shall be, and hereby is established as, the boundary as shown on the Subdivision Plot Plan.

4. An appropriate legal description for the Dragonfly Property and the GHP Property based upon the Bulk Land Survey and Subdivision Plot Plan shall be prepared by a licensed surveyor or engineer mutually agreeable to both Dragonfly and GHP, in consultation with Thompson Engineering Consultants Inc.

5. Dragonfly shall execute and deliver to GHP a quitclaim deed using the new legal description for the GHP Property as prepared pursuant to Paragraph 4 above.

6. GHP shall execute and deliver to Dragonfly a quitclaim deed using the new legal description for the Dragonfly Property as prepared pursuant to Paragraph 4 above.



7. Dragonfly and GHP each hereby release and discharge the other from any claims, damages, causes of action or liabilities relating to or arising out of the matters described herein, including but not limited to any claims for delay or lost profits.

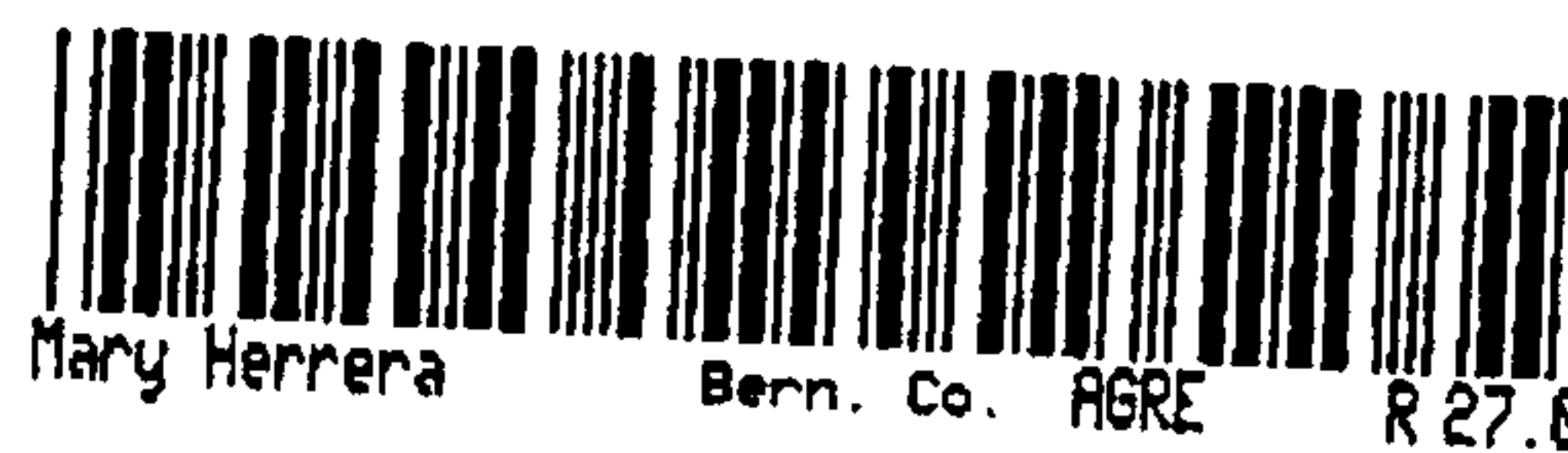
8. This Agreement constitutes the entire agreement between the parties with respect to the subject matter hereof and supersedes all prior and contemporaneous oral and written agreements and discussions. This Agreement may be amended only by an agreement in writing.

9. This Agreement is binding upon and shall inure to the benefit of the parties hereto and their heirs, assigns, successors, grantees, transferees and representatives.

10. The undersigned represent and warrant to each other that they are empowered and authorized to sign this Agreement.

[SIGNATURE PAGE FOLLOWS]

Boundary Agreement  
November 4, 2005



Mary Herrera

Bern. Co. AGRE

R 27.00

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Page: 3 of 10

01/11/2006 03:20P

Bk-A110 Pg-5017

DRAGONFLY DEVELOPMENT INC.

By Philip L. Lindberg  
Its President

GHP LTD. COMPANY

By Philip Pickard  
Its MANAGING PARTNER

STATE OF NEW MEXICO )  
 ) ss.  
COUNTY OF BERNALILLO )

This instrument was acknowledged before me on <sup>December</sup> ~~November~~ 7, 2005, by Philip L. Lindberg as President of DRAGONFLY DEVELOPMENT INC., a New Mexico corporation.

My commission expires 08/27/09.

J. Shost  
NOTARY PUBLIC

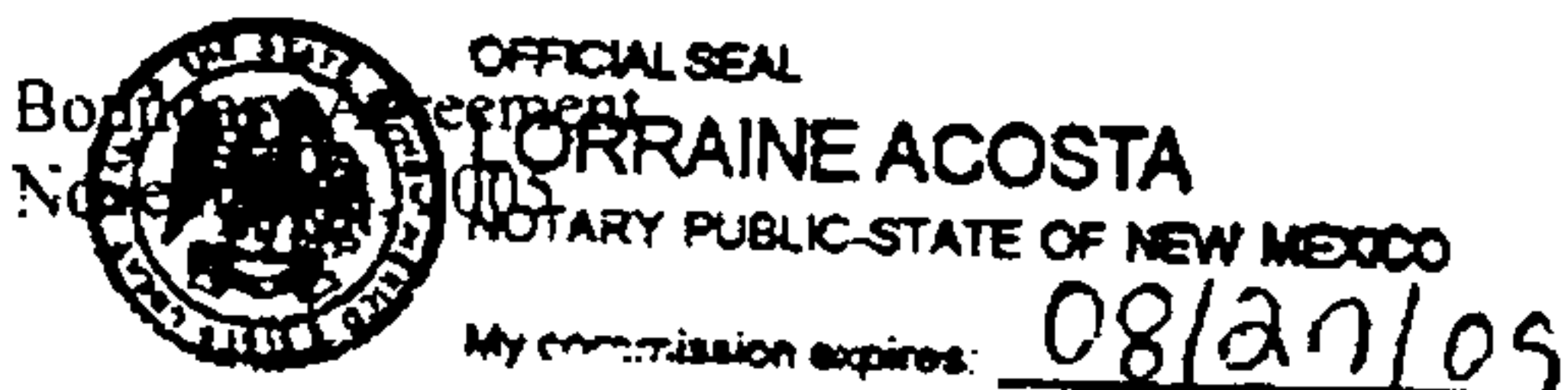


STATE OF NEW MEXICO )  
 ) ss.  
COUNTY OF BERNALILLO )

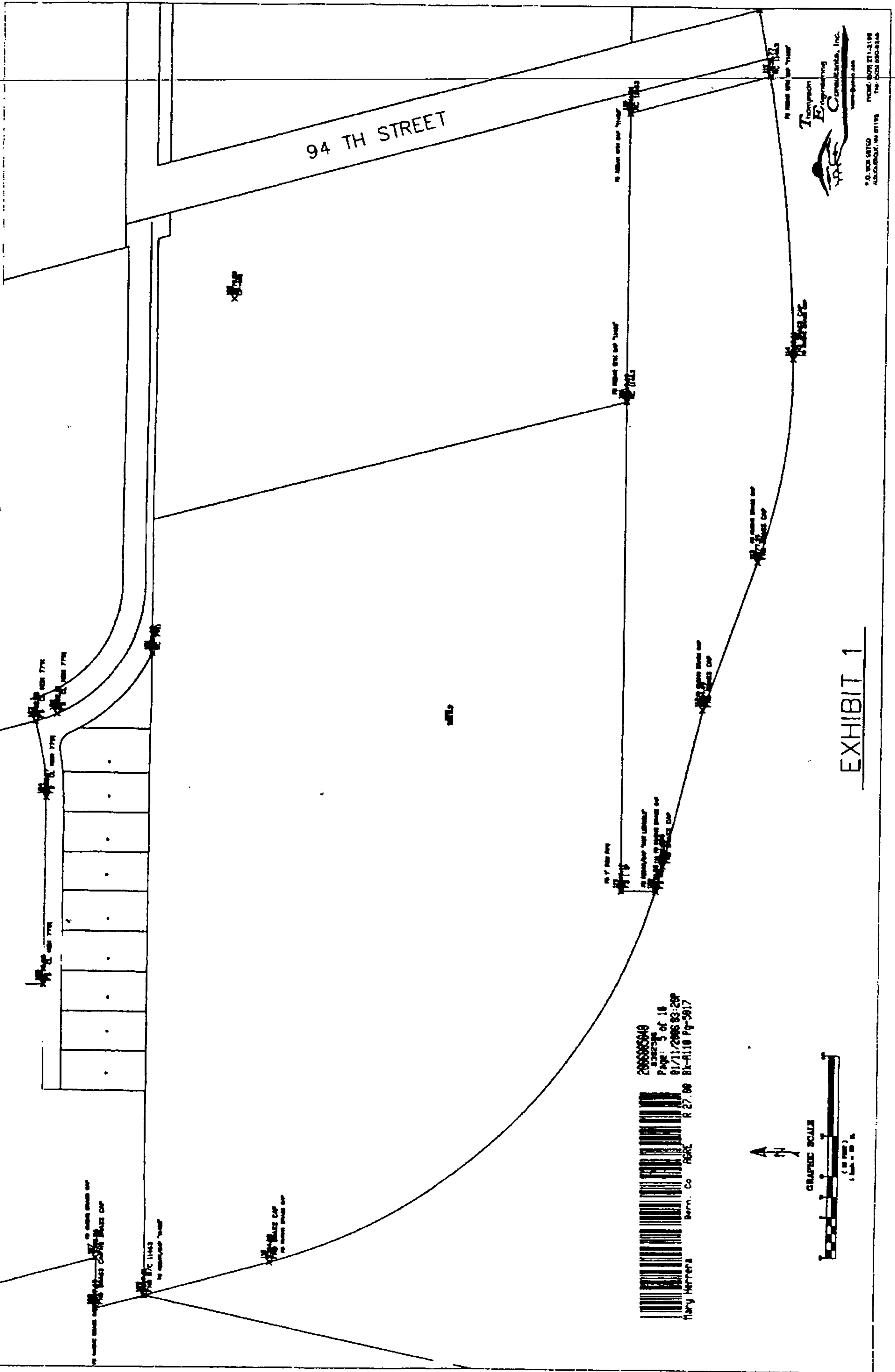
This instrument was acknowledged before me on <sup>December</sup> ~~November~~ 7, 2005, by Philip Pickard as Managing Partner of GHP LTD. COMPANY, a New Mexico limited liability company.

My commission expires 08/27/09.

J. Shost  
NOTARY PUBLIC



2006005048  
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Page: 4 of 18  
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Bk-A118 Pg-5017



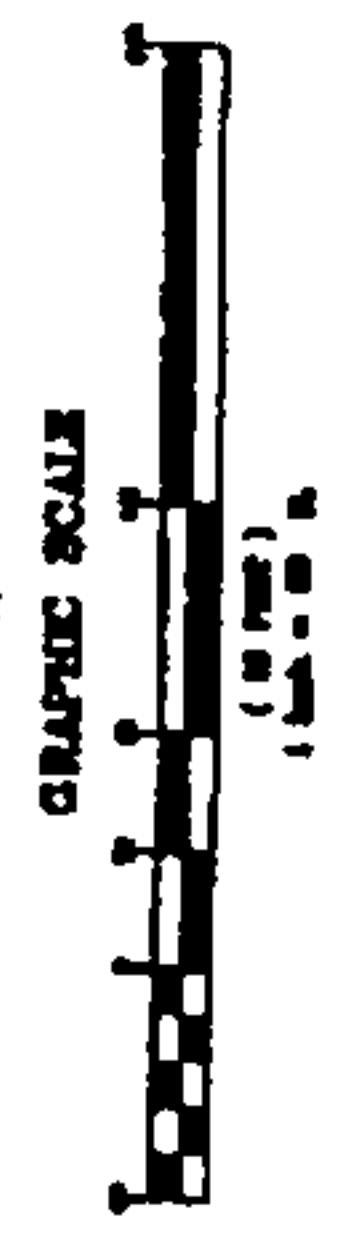
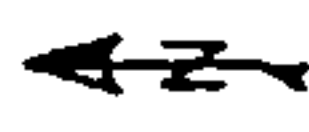
94 TH STREET

Thompson Engineering Consultants, Inc.

P.O. BOX 58700  
 ALBUQUERQUE, NM 87158  
 PHONE: 505/271-2199  
 FAX: 505/266-3146

EXHIBIT 1

200000040  
 03/20/00  
 Page: 5 of 18  
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 Gary Herrera Bern. Co. PERC R 27.00 BK-1110 Pg-5017



Unit 2

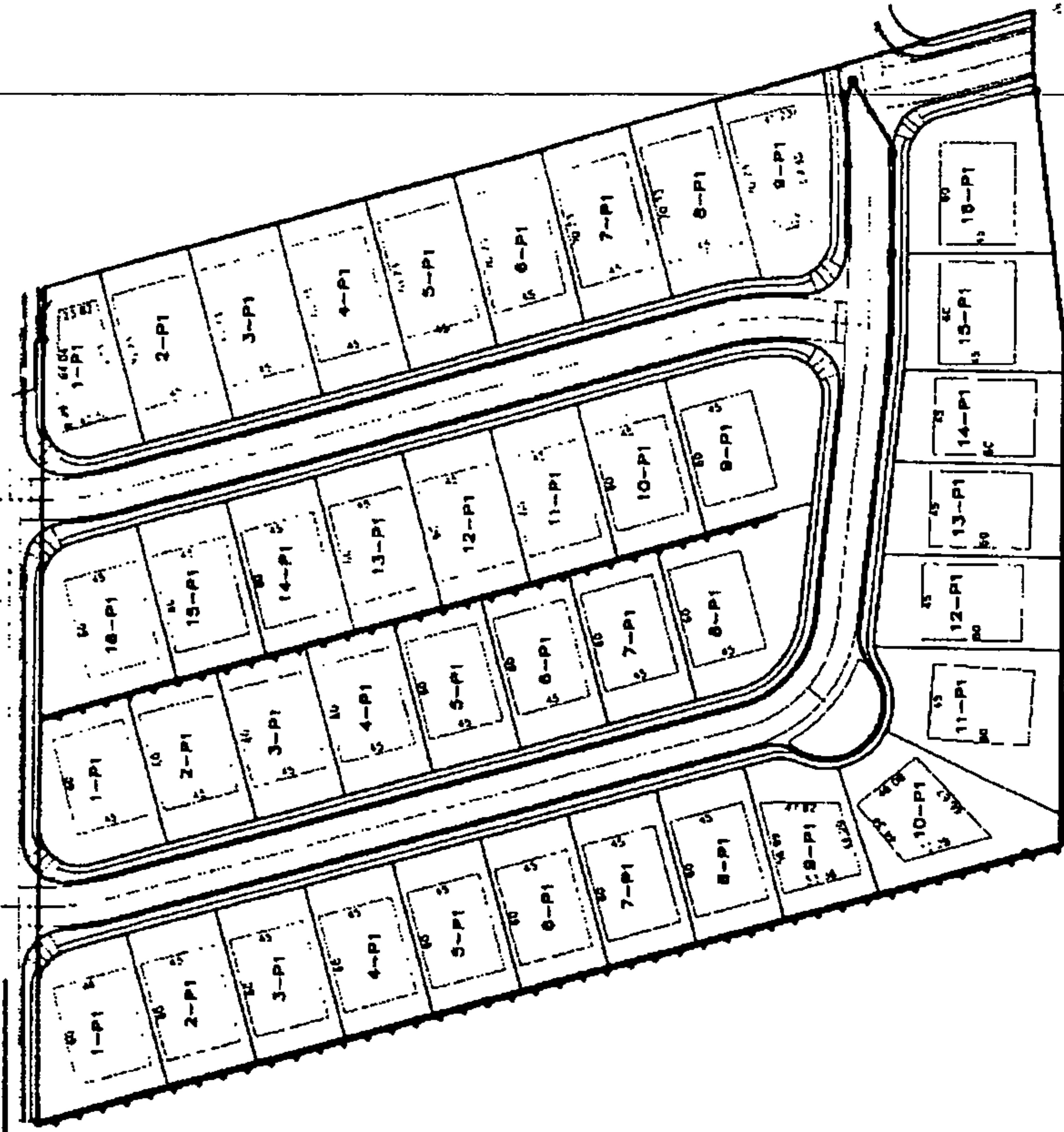




Exhibit 3

After recording return to:  
Rio Grande Title Company, Inc.

File No. 02404553 Heather Ewing Veitch

WARRANTY DEED

Pajarito Investment Properties LLC, a New Mexico limited liability company, for consideration paid, grants to Dragonfly Development Inc., a New Mexico corporation, whose address is 12809 Donette Court NE, Albuquerque, NM 87112, the following described real estate in BERNALILLO County, New Mexico:

A tract of land situate in Section 16, Township 10 North, Range 2 East, N.M.P.M., within the Town of Arisco Grant, Bernalillo County, New Mexico, and being more particularly described as follows;

Beginning at the Southeast corner of said tract, the Southwest corner of said Section 16 bears South 49° 35' 42" West and is 951.07 feet distant;  
Thence, from the above said point of beginning, North 89° 27' 55" West a distance of 469.87 feet to the Southwest corner of said tract;  
Thence North 14° 59' 25" West a distance of 617.21 feet to a point on the South right-of-way line of Endee Road Northwest, for the Northwest corner;  
Thence South 89° 35' 51" East along said right-of-way line a distance of 469.57 feet to the Northeast corner;  
Thence South 14° 59' 25" East a distance of 618.33 feet to the point of beginning.

SUBJECT TO reservations, restrictions and easements of record, and taxes for the year 2004 and subsequent years, with warranty covenants.

WITNESS my hand and seal this 26th day of August, 2004.

Pajarito Investment Properties, LLC, a New Mexico limited liability company

By: [Signature] (Seal) \_\_\_\_\_ (Seal)  
Eric E. Griego, Executive Member

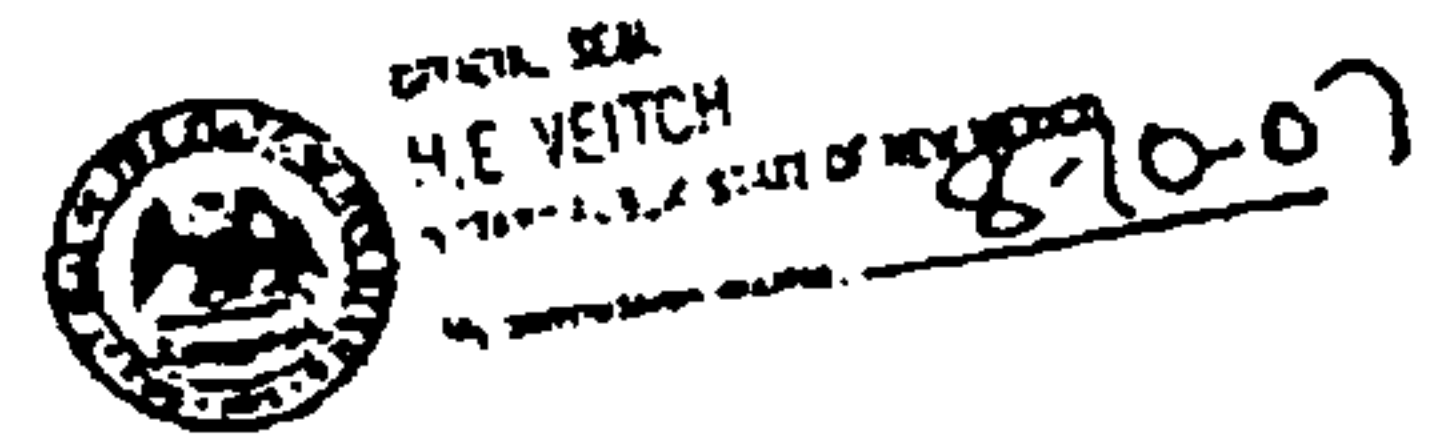
ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO }  
COUNTY OF BERNALILLO } ss.

This instrument was acknowledged before me this 26th day of August, 2004, by Eric E. Griego, Executive Member of Pajarito Investment Properties, LLC, a New Mexico limited liability company.

My commission expires: Aug. 10, 2007  
(Seal)

[Signature]  
Notary Public H. E. Veitch



Mary Herrera Bern. Co. HD R 9.00  
2684121427  
6134822  
Page: 1 of 1  
08/26/2004 03:14P  
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SHORT FORM WARRANTY DEED  
SFB Vision Form SDC01HM Rev. 07/08/98

Mary Herrera Bern. Co. RGRE R 27.00

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Page: 7 of 10  
01/11/2006 03:20P  
Bk-A110 Pg-5017

Exhibit 4

File No. 24725788

WARRANTY DEED

~~Highway~~ Philip David Pickard Sr., as Trustee of the D.C.L.P. Trust, under Trust Agreement dated October 1, 2004 for consideration paid grant(s) to

GHP Ltd Company a New Mexico limited liability company

whose address is 7600 Pan American Freeway NE, Albuquerque, NM 87109

the following described real estate in BERNALILLO County, New Mexico:

(Continued)

SUBJECT TO all patent and mineral reservations, restrictive covenants, restrictions and reservations of easements and rights-of-way of record, and all applicable zoning regulations, restrictions and requirements and all other matters of record and to taxes for the year 2004 and subsequent years: with warranty covenants.

WITNESS hand and seal this 27th day of October, 2004

[Signature]  
DCLP TRUST, Philip David Pickard, Sr, as Trustee

ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO } ss.  
COUNTY OF BERNALILLO

The foregoing instrument was acknowledged before me this 27 day of October, 2004 by DCLP/TRUST Philip David Pickard, Sr, as Trustee of the D.C.L.P. Trust under trust agreement dated October 1, 2004

My Commission Expires 7-12-13 [Signature] Notary Public

ACKNOWLEDGMENT FOR CORPORATION

STATE OF } ss.  
COUNTY OF

The foregoing instrument was acknowledged before me this \_\_\_ day of \_\_\_

By \_\_\_ (Name of Officer) (Title of Officer)  
of \_\_\_ (Name of Corporation) (State of Incorporation)  
corporation on behalf of

My Commission Expires: \_\_\_

Mary Herrera Bernal Co. AGRE R 27.00

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Page: 8 of 10  
01/11/2006 03:20P  
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Mary Herrera Bernal Co. MO R 13.00

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516835  
Page: 1 of 3  
11/01/2004 11:43A  
Bk-A86 Pg-2911

(Continued)  
PARCEL I:

A tract of land situate within the Sections 16 and 17, Township 10 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being more particularly described by survey of Elder Company in 1974, with bearings related to New Mexico Highway Department monumentation, as follows:

Beginning at the Northwest corner, a point which is the intersection of the Easterly line of 98th Street NW, with the Southerly of Endee Road NW, whence New Mexico Highway Department Traverse Station I-40-22C, a brass cap in concrete at New Mexico Plane Co-ordinates (Central Zone) X=351,570.46 and Y=1,486,959.08 bears S. 11°25'31" E., 1710.95 feet distant, and the corner common to Sections 16, 17, 20 and 21, Township 10 North, Range 2 East, N.M.P.M., marked by a Whiteman Engineering Company brass cap in place, bears S. 33°49'39" E., 1472.82 feet distant; Running from said beginning-point S. 89°35'51" E., along said Southerly line of Endee Road NW, 914.67 feet to the Northeast corner;  
Thence S. 14°59'25" E., leaving said road line, 617.21 feet to the Southeast corner, a point on the Northerly boundary of land of Charles Davis, originally known as the "Armijo" tract;  
Thence N. 89°27'55" W., along said tract line, 566.16 feet to the Northwest corner thereof;  
Thence S. 00°24'15" W., along the Westerly boundary of said Davis tract, 42.95 feet to a point on the Northeasterly right-of-way line of U.S. Highway I-40 at its interchange with 98th Street NW;  
Thence Northwesterly and to the right, following a curve in said right-of-way line having a radius of 680.51 feet and a central angle of 58°02'34" (the chord of said curve running N. 44°30'30" W., 660.04 feet) a distance along the arc of 689.38 feet to end of curve;  
Thence N. 14°54'45" W., along the Easterly line of 98th Street NW, 175.50 feet to the point of beginning.

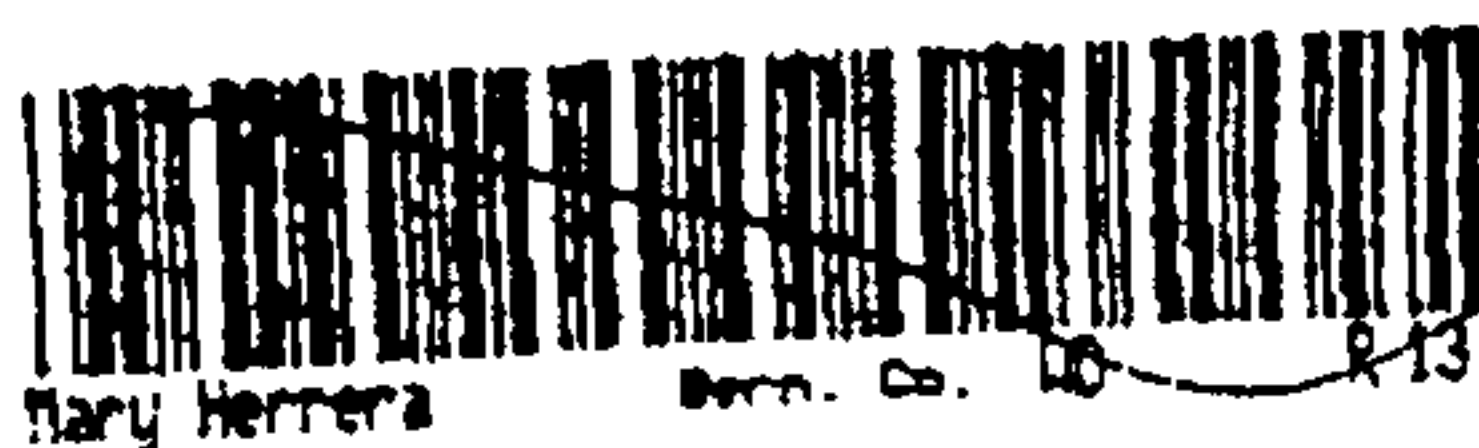
PARCEL II:

Beginning at the southwest corner, a point on the northeasterly right of way line of U.S. Highway I-40 at its intersection with 98th Street Northwest, whence New Mexico Highway Department Traverse Station I-40-22C, a brasscap in concrete at New Mexico Plane Coordinates X= 351,570.46 and Y= 1,486,959.08 (Central Zone) bears S 09° 15' 16" W, 1050.42 feet distant, and the corner common to Sections 16, 17, 20 and 21, Township 10 North, Range 2 East, N.M.P.M., marked by Whiteman Engineering Company brasscap in place, bears S 28° 09' 02" E, 661.42 feet distant; running from said beginning point  
N 00° 24' 15" E, leaving said right of way line, 42.95 feet to the northwest corner of the parcel herein described; thence  
S 89° 27' 55" E, 1036.02 feet to the northeast corner of the parcel herein described; thence  
S 00° 24' 15" W, 158.10 feet to the southeast corner, a point on said northeasterly right of way line of U.S. Highway I-40; thence westerly and to the right, following a curve in said right of way

(Continued)



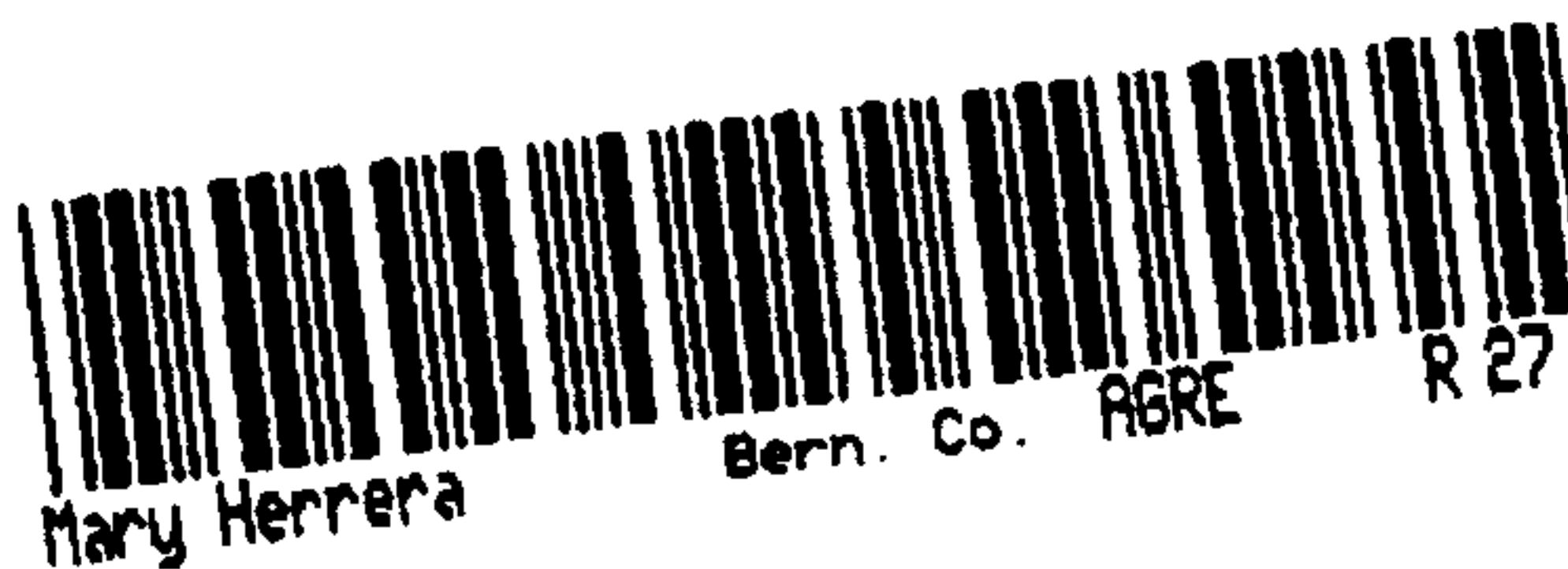
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Page: 9 of 18  
81/11/2006 03:28P  
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6188825  
Page: 2 of 3  
11/01/2004 11:43A  
Bk-A86 Pg-2911

(Continued)

line having a radius of 2314.64 feet and a central angle of  $8^{\circ} 40' 29''$  (the chord of said curve running  $S 83^{\circ} 21' 40'' W$ , 349.99 feet) a distance along the arc of 350.34 feet to a point of ~~compounding a curve; thence, westerly and to the right, following~~ a curve in said right of way line having a radius of 718.31 feet and a central angle of  $23^{\circ} 57' 47''$  (the chord of said curve running  $N 80^{\circ} 21' 16'' W$ , 298.24 Feet) a distance along the arc of a curve 300.42 feet to end of curve; thence  $N 71^{\circ} 01' W$ , along said right of way line, 199.89 feet; thence  $N 76^{\circ} 35' 20'' W$ , along said right of way line, 177.16 feet to a point of curve; thence, northwesterly and to the right, following a curve in said right of way line having a radius of 680.51 feet and a central angle of  $2^{\circ} 49' 04''$  the chord of said curve running  $N 74^{\circ} 02' 10'' W$ , 33.46 feet) a distance along the arc 33.47 feet to the point of beginning.



Mary Herrera

Bern. Co. AGRE

R 27.00

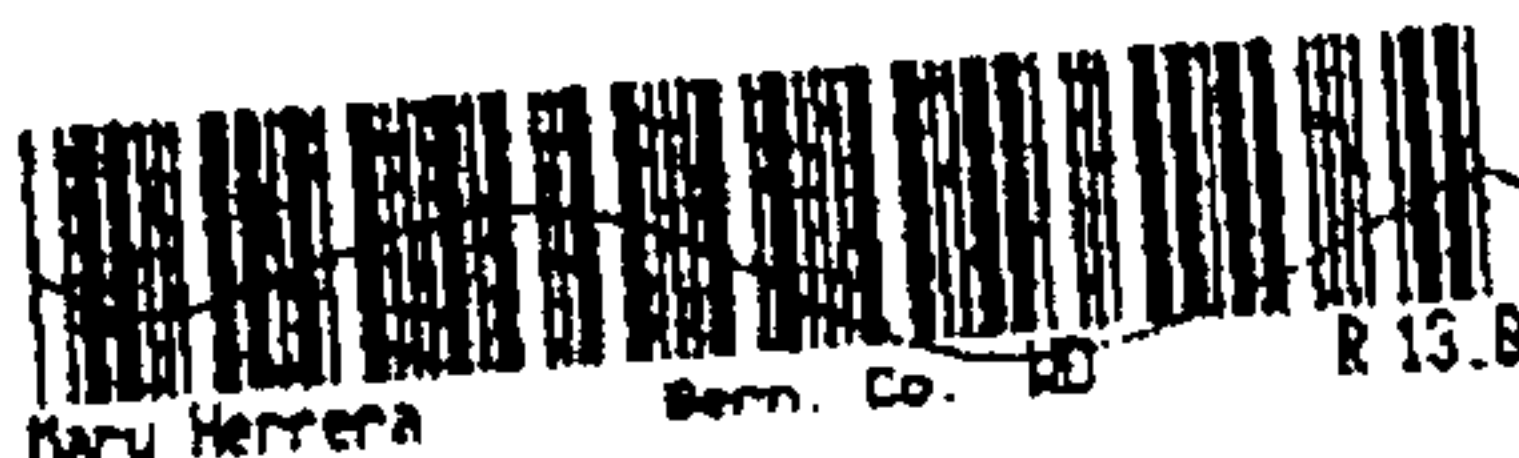
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Page: 18 of 18

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Mary Herrera

Bern. Co. RD

R 13.00

2004153337

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Page: 3 of 3

11/01/2004 11:43A

Bx-A05 Pg-2911

**PHILIP PICKARD**

**FACSIMILE TRANSMITTAL SHEET**

TO: <i>RICHARD DOURTE</i>	FROM: <i>PHILIP PICKARD</i>
COMPANY: <i>CITY OF ABQ</i>	DATE: <i>2.13.07</i>
FAX NUMBER: <i>924-3864</i>	TOTAL NO. OF PAGES INCLUDING COVER:
PHONE NUMBER:	SENDER'S REFERENCE NUMBER:
RE:	YOUR REFERENCE NUMBER:

- URGENT   
 FOR REVIEW   
 PLEASE COMMENT   
 PLEASE REPLY   
 PLEASE RECYCLE

NOTES/COMMENTS:

*Hi RICHARD,*

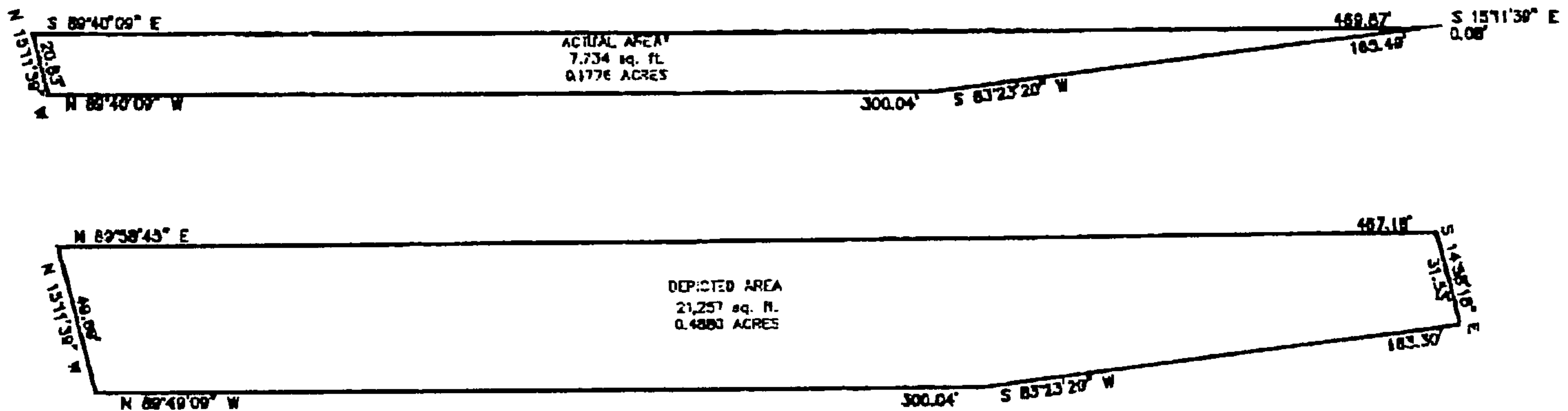
*ENCLOSED IS THE EXH.B.T  
FROM DRAGON FLY.*

*THANKS  
PHILIP*

*CALL WITH QUESTIONS.*

---

**7600 PAN AMERICAN FWY  
ALBUQUERQUE, NM 87109  
505.362.8200  
505.856.6220 F**



ACTUAL AREA  
7,734 sq. ft.  
0.1776 ACRES

DEPICTED AREA  
21,257 sq. ft.  
0.4883 ACRES

\* ACTUAL AREA CALCULATED USING THE DEEDS OF RECORD AND THE ALTA/ACSM SURVEY PREPARED BY JORDAN AND GALLEGOS INC. DATED DECEMBER 2005, SIGNED BY DAVID R. VIGIL, PLS 8911, PLAT OF SUNDORO SOUTH SUBDIVISION UNIT 9 PREPARED BY WAYJOHN SURVEYING INC. DATED AUGUST 2005 (UNSIGNED), WARRANTY DEED FROM GHP LTD COMPANY TO FULLER HOMES FILED 12/16/05, A108-4086 AND WARRANTY DEED FROM PAJARITO INVESTMENT PROPERTIES LLC TO DRAGONFLY DEVELOPMENT INC FILED 8/26/04, A53-1104 AND THE PLATS FOR SUNDORO UNITS 2, 5 AND 6 (ADJOINERS)

*Wayjohn Surveying*  
10/11/06

1003913?  
3523

September 23, 2005

Ms. Sheran Matson  
Development Services  
Planning Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**Re: PROPERTY BOUNDARY DISPUTE AFFECTING PRIMA ENTRADA  
SUBDIVISION - DRB PROJECT NO. 1003523**


Dear Ms. Matson:

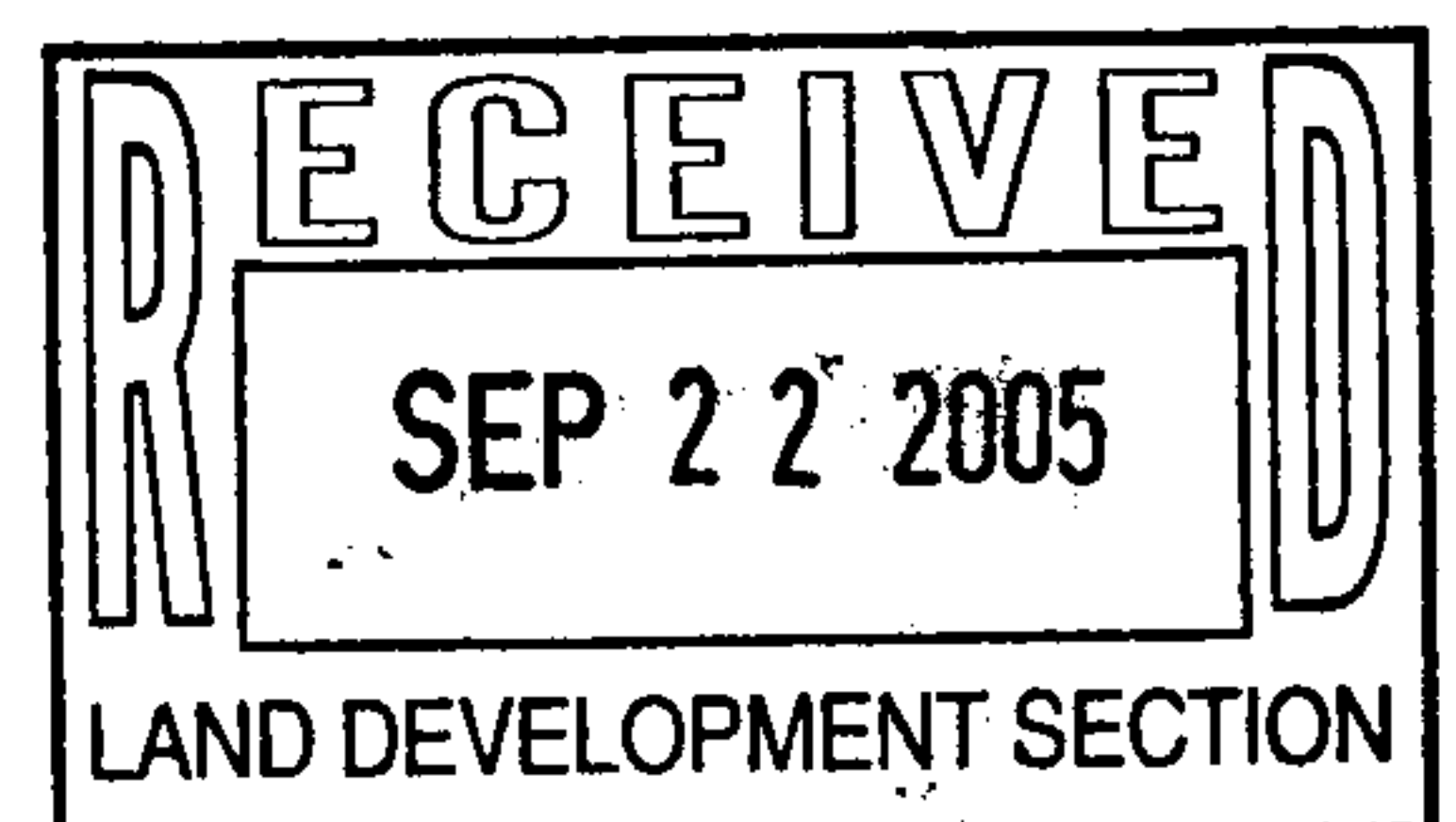
The above referenced subdivision will be heard at the DRB on September 28, 2005 for Preliminary Plat Approval. Thompson Engineering Consultants, Inc. (TEC) is an agent for Dragonfly Development, Inc. who owns the property directly east of the proposed Prima Entrada Subdivision. The enclosed letter from Rio Grande Title states that there is an overlap in the boundary between the two properties. Property deeds are attached to the Rio Grande Title letter. The eastern boundary of Prima Entrada Subdivision overlaps the western boundary of the property that Dragonfly owns by a minimum of 30 feet. Dragonfly Development, Inc. decided to delay submitting for Preliminary Plat for their property until the boundary dispute is resolved.

On behalf of Dragonfly Development, Inc., TEC respectfully requests that the Preliminary Plat Approval for Prima Entrada Subdivision be Deferred until the boundary dispute between the two properties is resolved.

If you should have any questions, please call me at 271-2199.

Sincerely,

  
David B. Thompson, P.E.







6400 Indian School Road NE  
Albuquerque, NM 87110

505.883.6969  
505.875.0990 Fax

---

September 21, 2005

To Whom It May Concern:

Dragonfly Development, Inc. ("Dragonfly") has been conveyed and is developing 2 parcels of land:

1. By warranty deed attached hereto as Exhibit A.
2. By quit claim deed attached hereto as Exhibit B.

GHP Ltd Company ("GHP") has been conveyed 2 parcels of land by warranty deed attached hereto as Exhibit C. The GHP parcels lie west and south of and abut in part the Dragonfly parcels.

Rio Grande Title Company has been advised by both the surveyor for Dragonfly, Wayjohn Surveying, Inc., and the surveyor for GHP, John Gallegos, that even though the legal descriptions in the deeds in Exhibit A and Exhibit C reflect coincidental boundary lines where they abut, an overlap exists between these parcels where they abut because there is insufficient land (see Exhibit D) to fully accommodate what is described in the above deeds.

Rio Grande Title Company, Inc.

By: \_\_\_\_\_

*Douglas Stewart*  
General Counsel

WARRANTY DEED

Pajarito Investment Properties LLC, a New Mexico limited liability company, for consideration paid, grants to Dragonfly Development Inc., a New Mexico corporation, whose address is 12809 Donette Court NE, Albuquerque, NM 87112, the following described real estate in BERNALILLO County, New Mexico:


A tract of land situate in Section 16, Township 10 North, Range 2 East, N.M.P.M., within the Town of Atrisco Grant, Bernalillo County, New Mexico, and being more particularly described as follows;

Beginning at the Southeast corner of said tract, the Southwest corner of said Section 16 bears South 49° 35' 42" West and is 951.07 feet distant;  
Thence, from the above said point of beginning, North 89° 27' 55" West a distance of 469.87 feet to the Southwest corner of said tract;  
Thence North 14° 59' 25" West a distance of 617.21 feet to a point on the South right-of-way line of Endee Road Northwest, for the Northwest corner;  
Thence South 89° 35' 51" East along said right-of-way line a distance of 469.57 feet to the Northeast corner;  
Thence South 14° 59' 25" East a distance of 618.33 feet to the point of beginning.

SUBJECT TO reservations, restrictions and easements of record, and taxes for the year 2004 and subsequent years, with warranty covenants.

WITNESS my hand and seal this 26th day of August, 2004.

Pajarito Investment Properties, LLC, a New Mexico limited liability company

 (Seal) \_\_\_\_\_ (Seal)  
By: Eric E. Griego, Executive Member

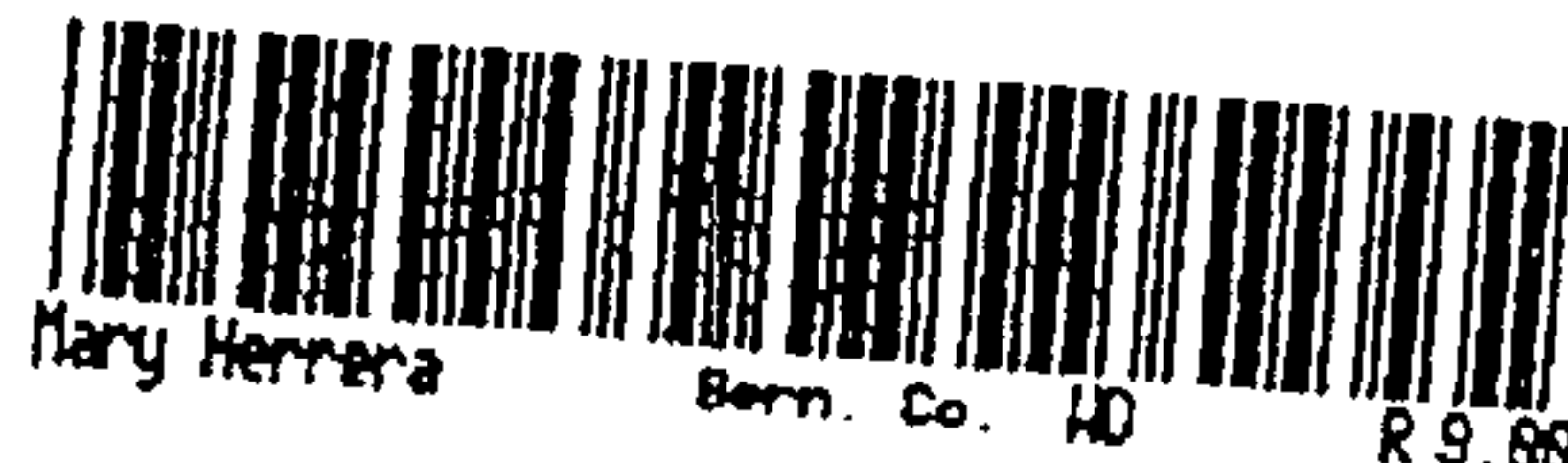
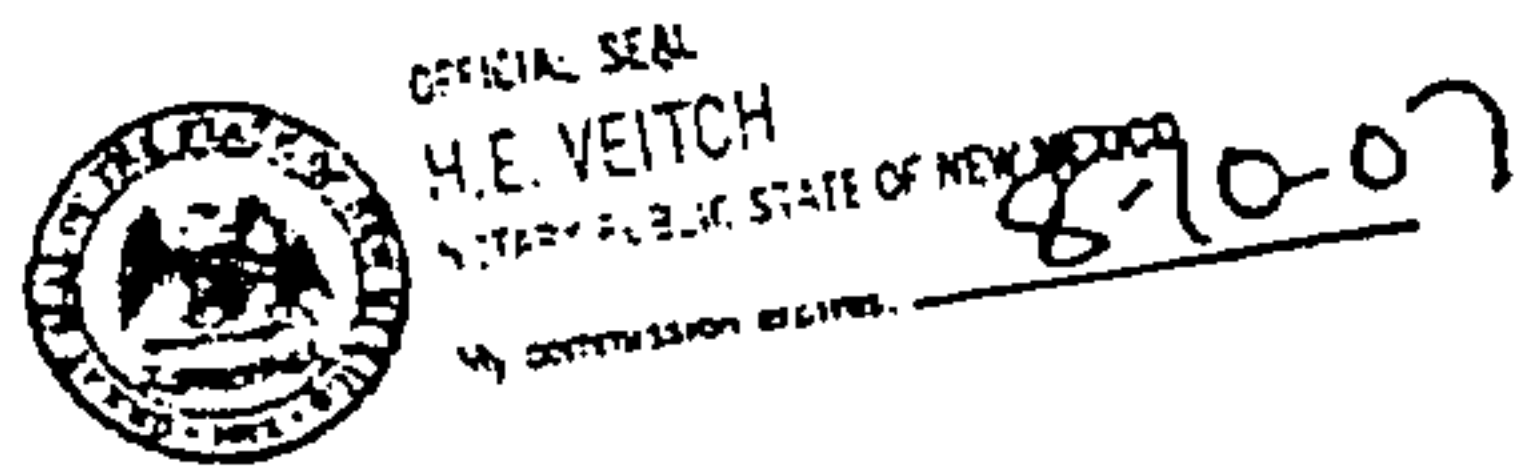
ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO }  
COUNTY OF BERNALILLO } ss.

This instrument was acknowledged before me this 26th day of August, 2004,  
by Eric E. Griego, Executive Member of Pajarito Investment Properties, LLC, a New Mexico limited liability company

My commission expires: Aug. 10, 2007  
(Seal)

  
Notary Public H. E. Veitch



2884121427  
6134822  
Page: 1 of 1  
88/26/2004 83:14P  
Bk-A83 Pg-1184

QUITCLAIM DEED

Westland Development Co., Inc., a New Mexico corporation, for consideration paid, quitclaims to Dragonfly Development Inc., a New Mexico corporation, whose address is 12809 Donette Court NE, Albuquerque, NM 87112, the following described real estate in BERNALILLO County, New Mexico:

Legal Description attached as Exhibit "A"

WITNESS my hand and seal this 18<sup>th</sup> day of August, 2005.

Westland Development Co., Inc., a New Mexico corporation

By: Barbara Page (Seal) \_\_\_\_\_ (Seal)  
Its: President & CEO

FOR RECORDER'S USE ONLY

ACKNOWLEDGMENT FOR CORPORATION

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

} ss.

This instrument was acknowledged before me this 18 day of August, 2005, by

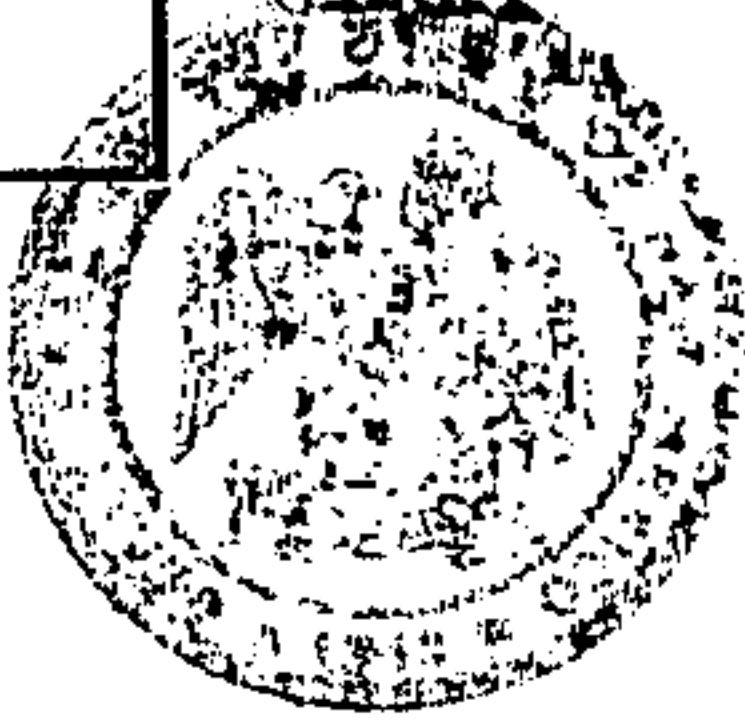
BARBARA PAGE  
(Name of Officer)

PRESIDENT & CEO  
(Title of Officer) of

Westland Development Co., Inc.  
(Name of Corporation Acknowledging)

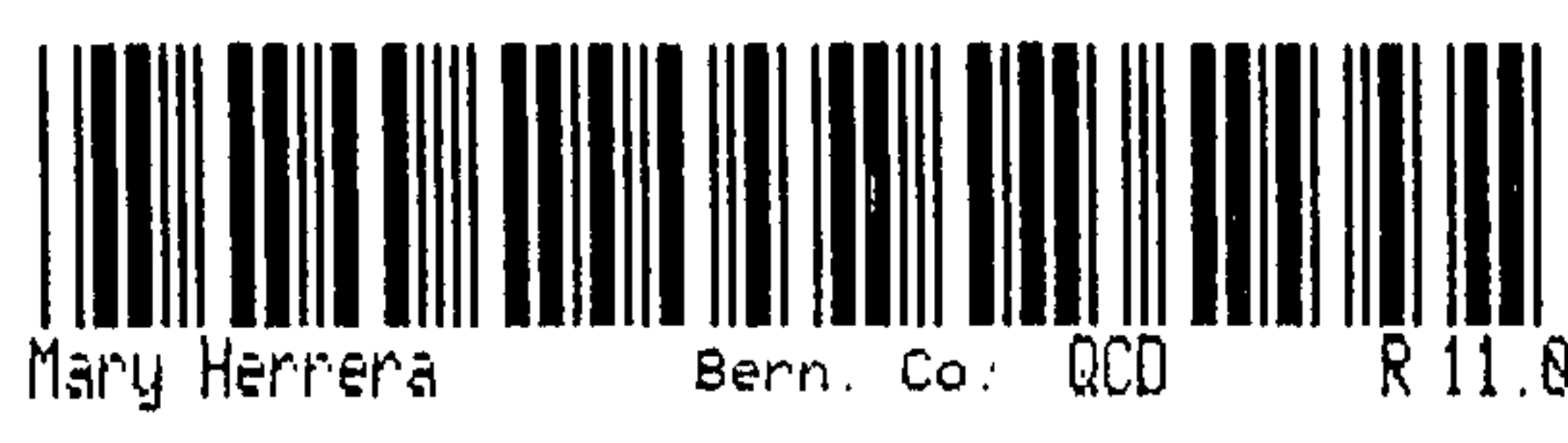
a New Mexico corporation, on behalf of said corporation.  
(State of Incorporation)

My commission expires: \_\_\_\_\_  
(Seal)



Linda J. Blair  
Notary Public

OFFICIAL STATE  
LINDA J. BLAIR  
NOTARY PUBLIC - STATE OF NEW MEXICO  
Notary Bond Filed with Secretary of State  
My Commission Expires 8/15/09



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6319476  
Page: 1 of 2  
08/24/2005 10:51A  
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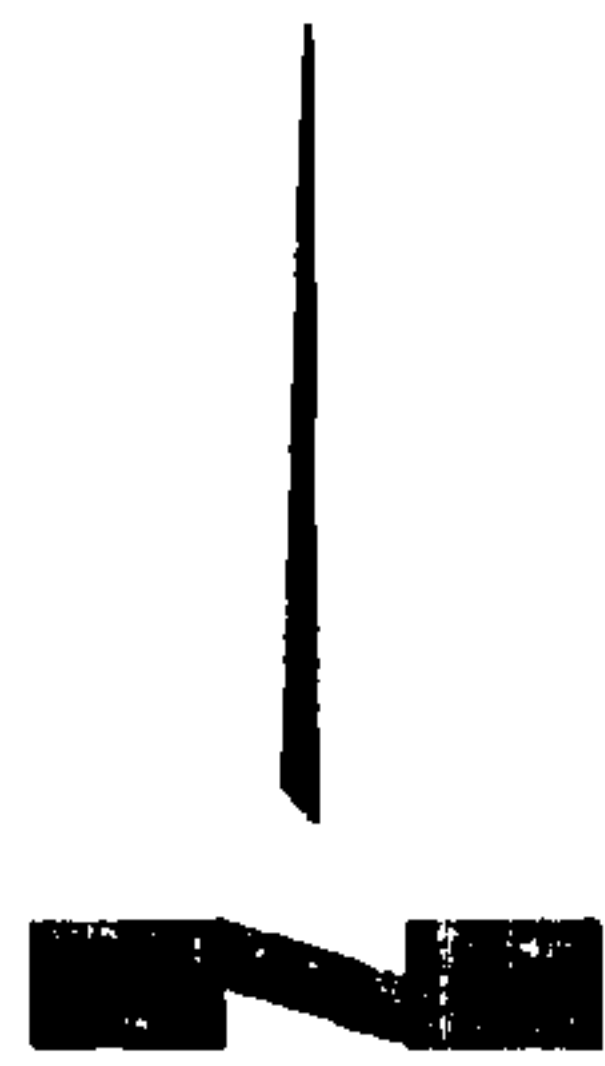
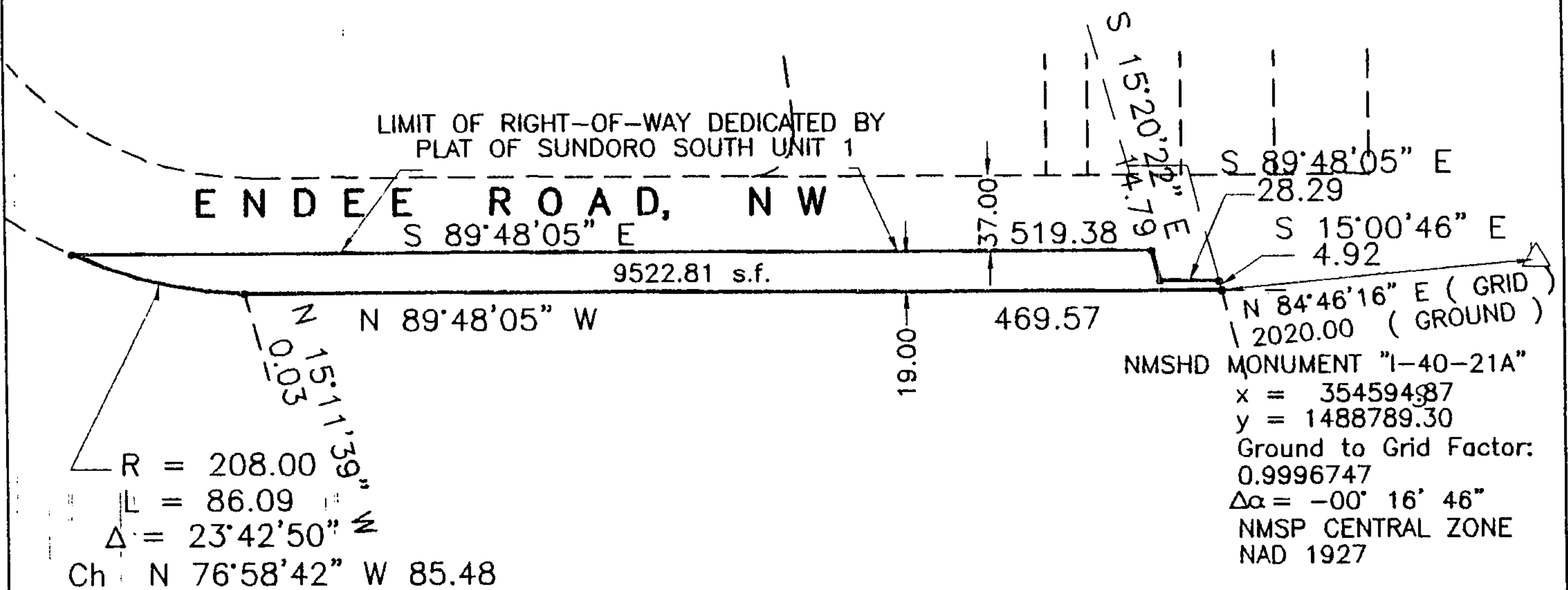
Mary Herrera Bern. Co. QCD R 11.00

# PARCEL DESCRIPTION

A parcel of land in Bernalillo County, New Mexico, within the Town of Atrisco Grant, projected Section 16, Township 10 North, Range 2 East, N.M.P.M., being more particularly described as follows:

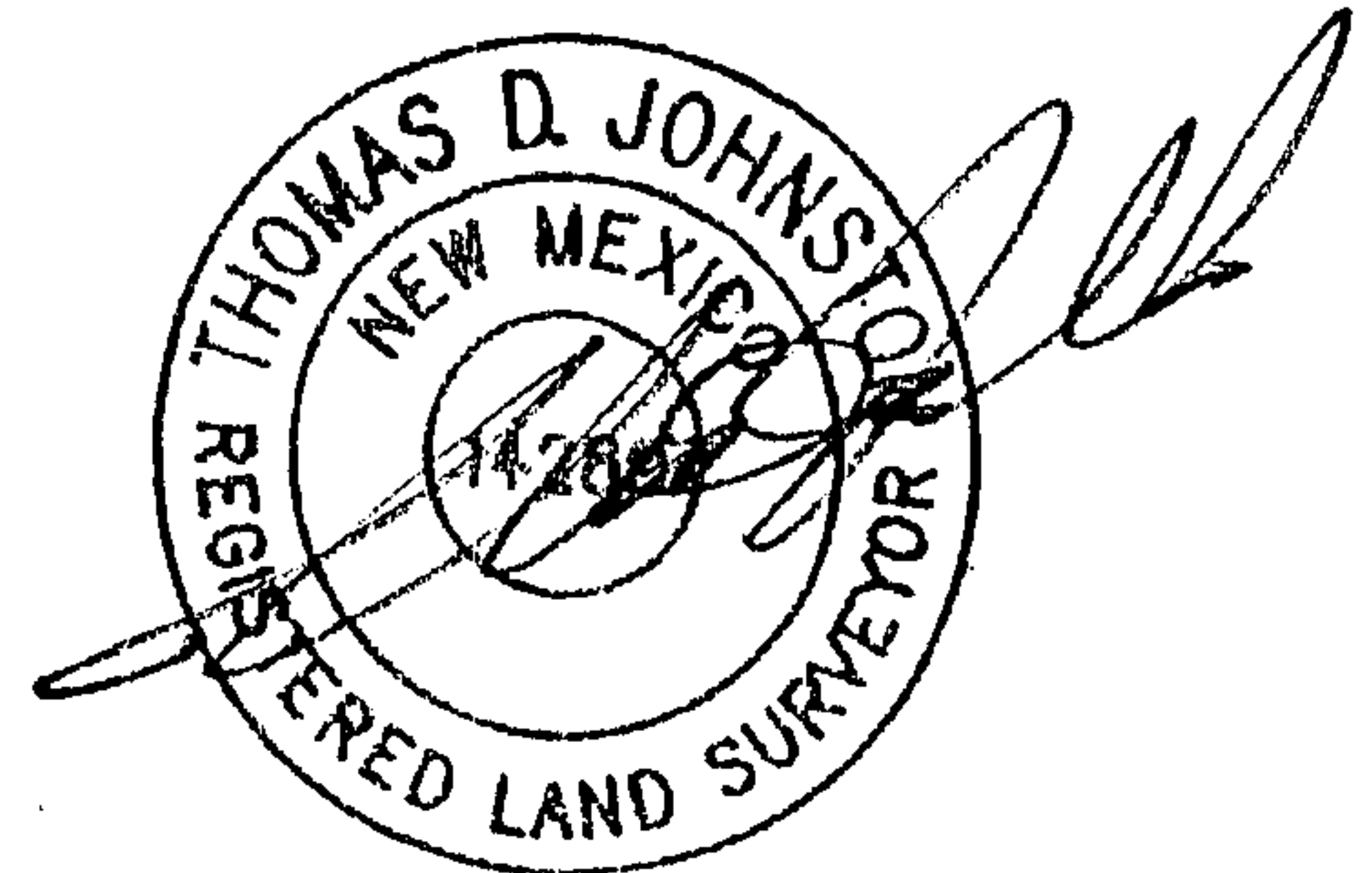
Beginning at the Southeast corner of the herein described parcel of land, from which point NMSHD Monument "I-40-21A" (X = 354594.87, Y = 1488789.30, New Mexico State Plane Grid, Central Zone, NAD 1927) bears N 84°46'16" E, a ground distance of 2020.00 feet, and running from said beginning point thence, N 89°48'05" W, a distance of 469.57 feet; thence, N 15°11'39" W, a distance of 0.03 feet; thence, following a curve to the right having a radius of 208.00 feet, a central angle of 23°42'50", chord bearing N 76°58'42" W, a distance of 85.48 feet, through an arc length of 86.09 feet to the westernmost point of the herein described parcel, said point being on the Southerly right-of-way line of Endee Road NW, as it appears on the plat for SUNDORO SOUTH SUBDIVISION, UNIT 1, filed in the office of the County Clerk of Bernalillo County, New Mexico on July 28, 2004 in Map Book 2004C, page 220; thence, following said right-of-way line, S 89°48'05" E, a distance of 519.38 feet; thence, S 15°20'22" E, a distance of 14.79 feet; thence, S 89°48'05" E, a distance of 28.29 feet; thence, departing said platted right-of-way, S 15°00'46" E, a distance of 4.92 feet to the Southeast corner and place of beginning, containing 9522.81 square feet, (0.2186 acres), more or less.

## SUNDORO SOUTH SUBDIVISION UNIT 1

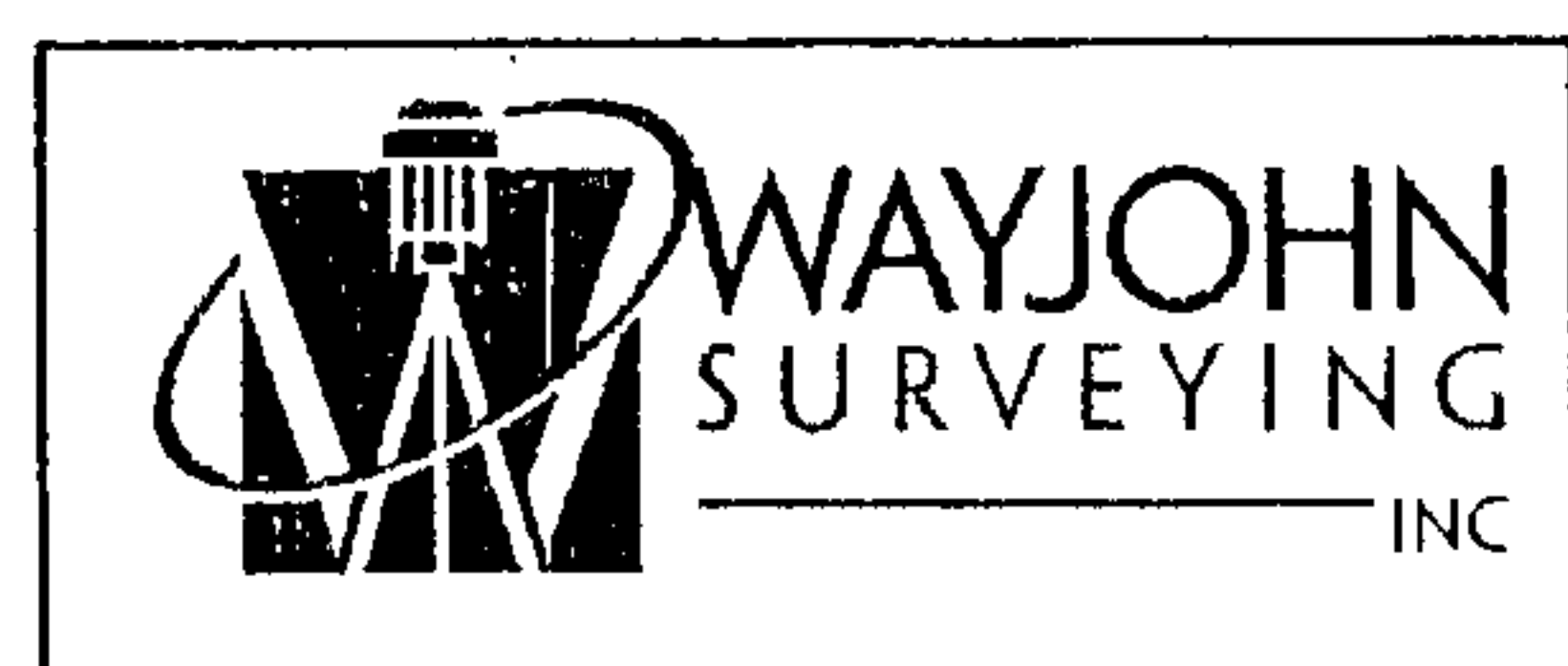


SCALE

1 INCH = 100 FEET



8.01.05



330 Louisiana Blvd, N.E.  
Albuquerque, NM 87108

Phone: (505) 255-2052 Fax: (505) 255-2887



Mary Herrera

Bern. Co. QCD

R 11.00

2005123427

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Page: 2 of 2

08/24/2005 10:51A

BK-A102 Pg-3064

New Mexico Statutory Form No. 5-75

WARRANTY DEED

~~Philip David Pickard Sr.~~ Philip David Pickard Sr., as Trustee of the D.C.L.P. Trust, under Trust Agreement dated October 1, 2004 for consideration paid grant(s) to

GHP Ltd Company, a New Mexico limited liability company

whose address is 7600 Pan American Freeway NE, Albuquerque, NM 87109

the following described real estate in BERNALILLO County, New Mexico:

(Continued)

SUBJECT TO all patent and mineral reservations, restrictive covenants, restrictions and reservations of easements and rights-of-way of record, and all applicable zoning regulations, restrictions and requirements and all other matters of record and to taxes for the year 2004 and subsequent years; with warranty covenants.

WITNESS hand and seal this 27th day of October, 2004

~~BCLP TRUST~~, Philip David Pickard, Sr, as Trustee

ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO

} ss.

COUNTY OF BERNALILLO

The foregoing instrument was acknowledged before me this 27 day of October, 2004 by ~~DCLP/TRUST~~ Philip David Pickard, Sr, as Trustee of the D.C.L.P. Trust under trust agreement, dated October 1, 2004

My Commission Expires: ~~7-12-05~~

*Dorothy E. Rostro*  
Notary Public

ACKNOWLEDGMENT FOR CORPORATION

STATE OF

} ss.

COUNTY OF

The foregoing instrument was acknowledged before me this \_\_\_ day of \_\_\_

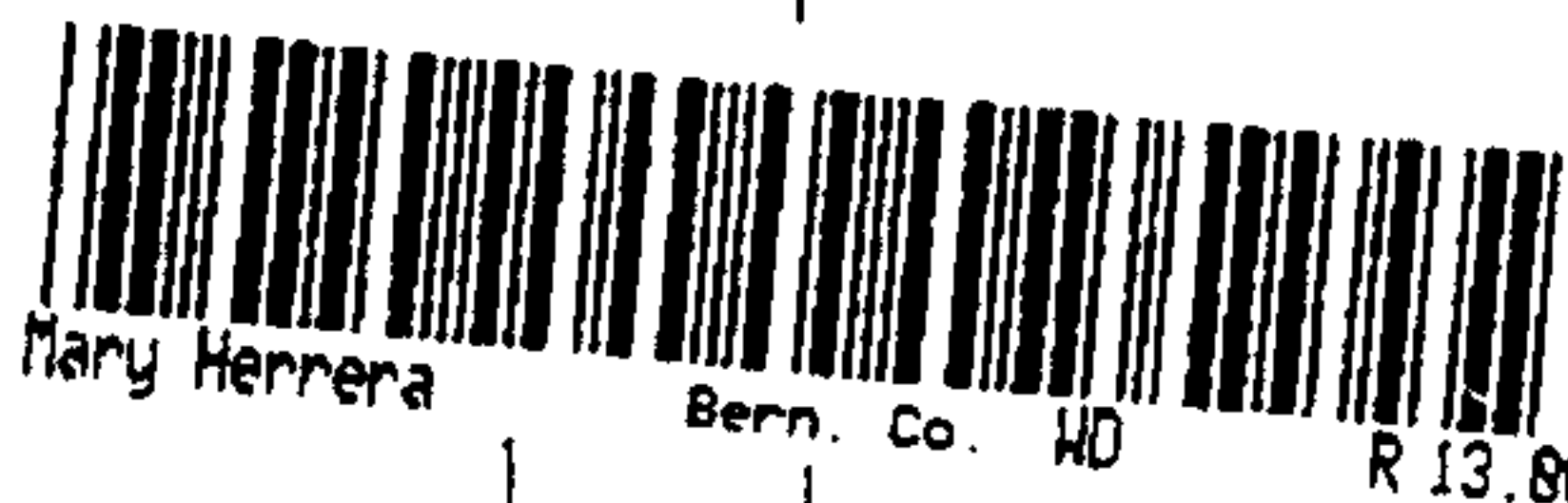
by \_\_\_ (Name of Officer) (Title of Officer) of \_\_\_ (Name of Corporation Acknowledging) a \_\_\_ (State of Incorporation) corporation on behalf of said corporation.

My Commission Expires: \_\_\_\_\_

Notary Public

[Notary Signature Box]

[Notary Signature Box]



2004153337  
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Page: 1 of 3  
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(Continued)  
PARCEL I:

A tract of land situate within the Sections 16 and 17, Township 10 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being more particularly described by survey of Elder Company in 1974, with bearings related to New Mexico Highway Department monumentation, as follows:

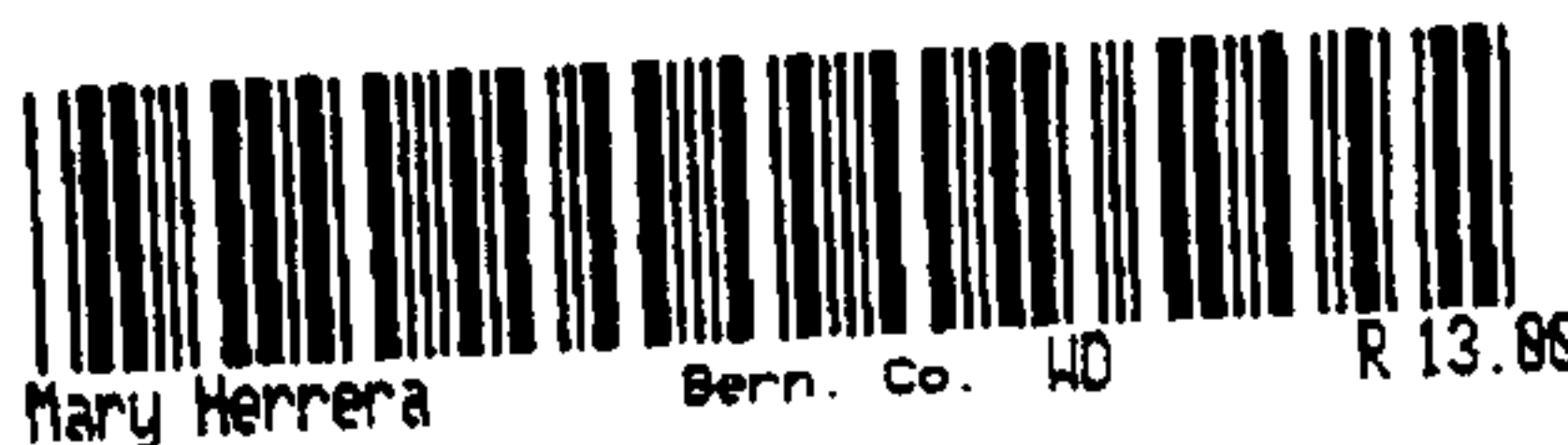
Beginning at the Northwest corner, a point which is the intersection of the Easterly line of 98th Street NW, with the Southerly of Endee Road NW, whence New Mexico Highway Department Traverse Station I-40-22C, a brass cap in concrete at New Mexico Plane Co-ordinates (Central Zone) X=351,570.46 and Y=1,486,959.08 bears S. 11°25'31" E., 1710.95 feet distant, and the corner common to Sections 16, 17, 20 and 21, Township 10 North, Range 2 East, N.M.P.M., marked by a Whiteman Engineering Company brass cap in place, bears S. 33°49'39" E., 1472.82 feet distant; Running from said beginning-point S. 89°35'51" E., along said Southerly line of Endee Road NW, 914.67 feet to the Northeast corner;

Thence S. 14°59'25" E., leaving said road line, 617.21 feet to the Southeast corner, a point on the Northerly boundary of land of Charles Davis, originally known as the "Armijo" tract; Thence N. 89°27'55" W., along said tract line, 566.16 feet to the Northwest corner thereof; Thence S. 00°24'15" W., along the Westerly boundary of said Davis tract, 42.95 feet to a point on the Northeasterly right-of-way line of U.S. Highway I-40 at its interchange with 98th Street NW; Thence Northwesterly and to the right, following a curve in said right-of-way line having a radius of 680.51 feet and a central angle of 58°02'34" (the chord of said curve running N. 44°30'30" W., 660.04 feet) a distance along the arc of 689.38 feet to end of curve; Thence N. 14°54'45" W., along the Easterly line of 98th Street NW, 175.50 feet to the point of beginning.

PARCEL II:

Beginning at the southwest corner, a point on the northeasterly right of way line of U.S. Highway I-40 at its intersection with 98th Street Northwest, whence New Mexico Highway Department Traverse Station I-40-22C, a brasscap in concrete at New Mexico Plane Coordinates X= 351,570.46 and Y= 1,486,959.08 (Ventral Zone) bears s 09° 15' 16" W, 1050.42 feet distant, and the corner common to Sections 16, 17, 20 and 21, Township 10 North, Range 2 East, N.M.P.M., marked by Whiteman Engineering Company brasscap in place, bears S 28° 09' 02" E, 661.42 feet distant; running from said beginning point N 00° 24' 15" E, leaving said right of way line, 42.95 feet to the northwest corner of the parcel herein described; thence S 89° 27' 55" E, 1036.02 feet to the northeast corner of the parcel herein described; thence S 00° 24' 15" W, 158.10 feet to the southeast corner, a point on said northeasterly right of way line of U.S. Highway I-40; thence westerly and to the right, following a curve in said right of way

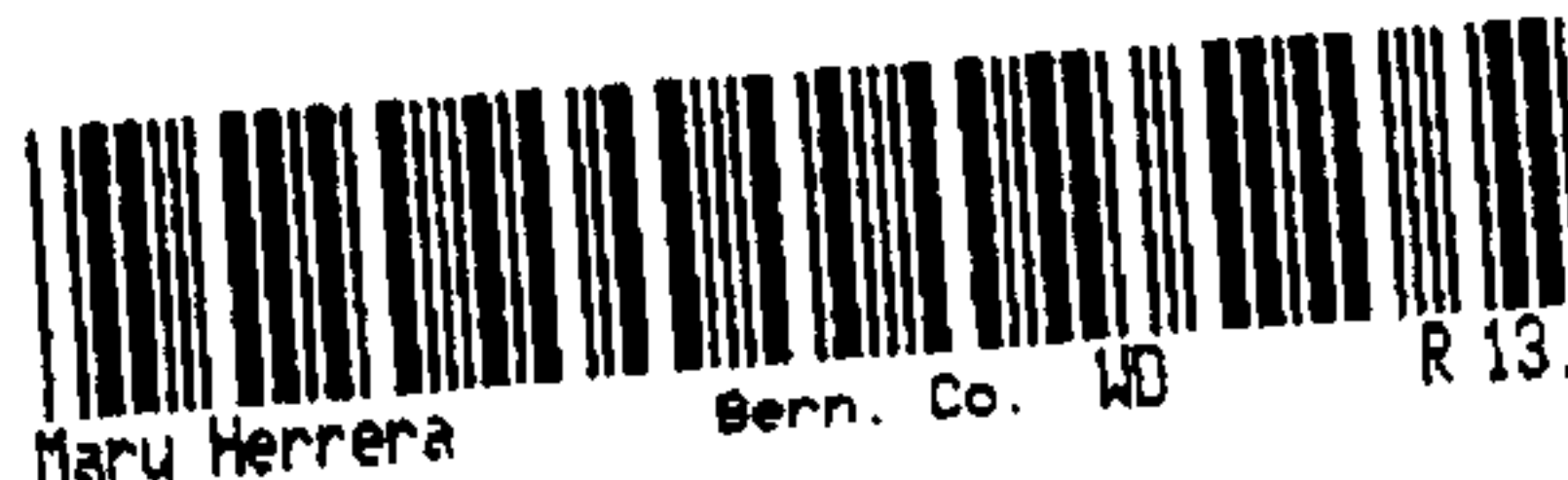
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Page: 2 of 3  
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(Continued)

line having a radius of 2314.64 feet and a central angle of  $8^{\circ} 40' 20''$  (the chord of said curve running  $S 83^{\circ} 21' 40'' W$ , 349.99 feet) a distance along the arc of 350.34 feet to a point of compounding a curve; thence, westerly and to the right, following a curve in said right of way line having a radius of 718.31 feet and a central angle of  $23^{\circ} 57' 47''$  (the chord of said curve running  $N 80^{\circ} 21' 16'' W$ , 298.24 Feet) a distance along the arc of a curve 300.42 feet to end of curve; thence  $N 71^{\circ} 01' W$ , along said right of way line, 199.89 feet; thence  $N 76^{\circ} 35' 20'' W$ , along said right of way line, 177.16 feet to a point of curve; thence, northwesterly and to the right, following a curve in said right of way line having a radius of 680.51 feet and a central angle of  $2^{\circ} 49' 04''$  the chord of said curve running  $N 74^{\circ} 02' 10'' W$ , 33.46 feet) a distance along the arc 33.47 feet to the point of beginning.



Mary Herrera

Bern. Co. WD

R 13.00

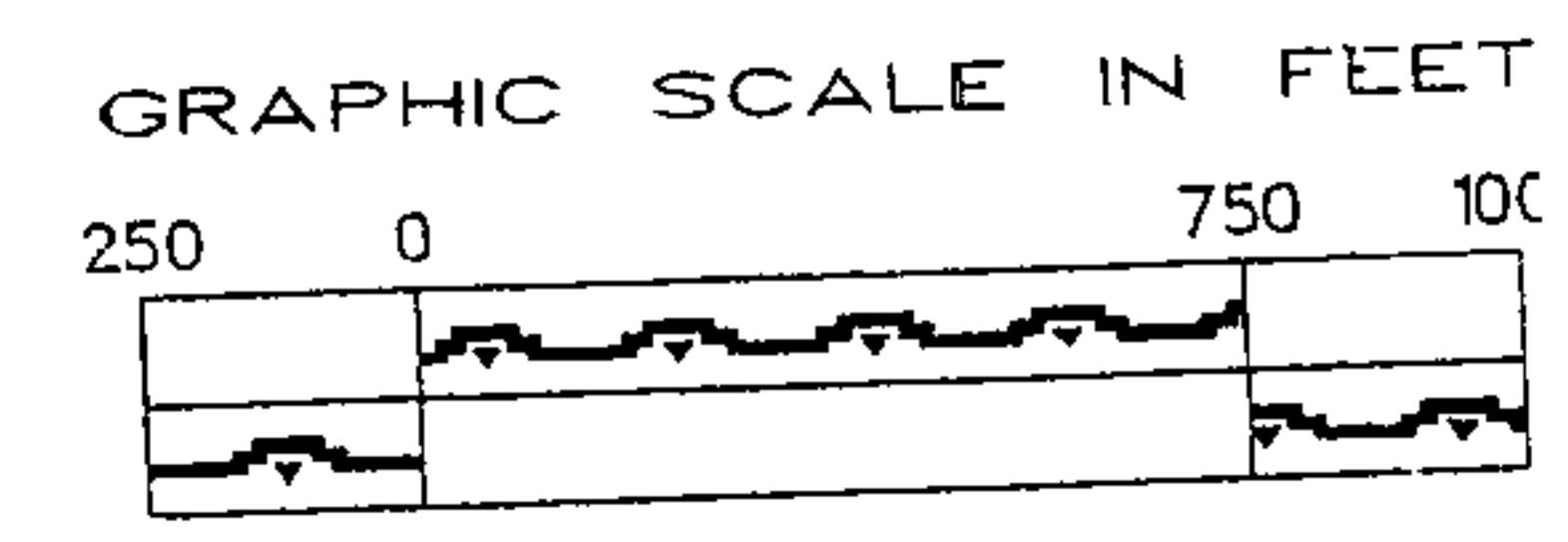
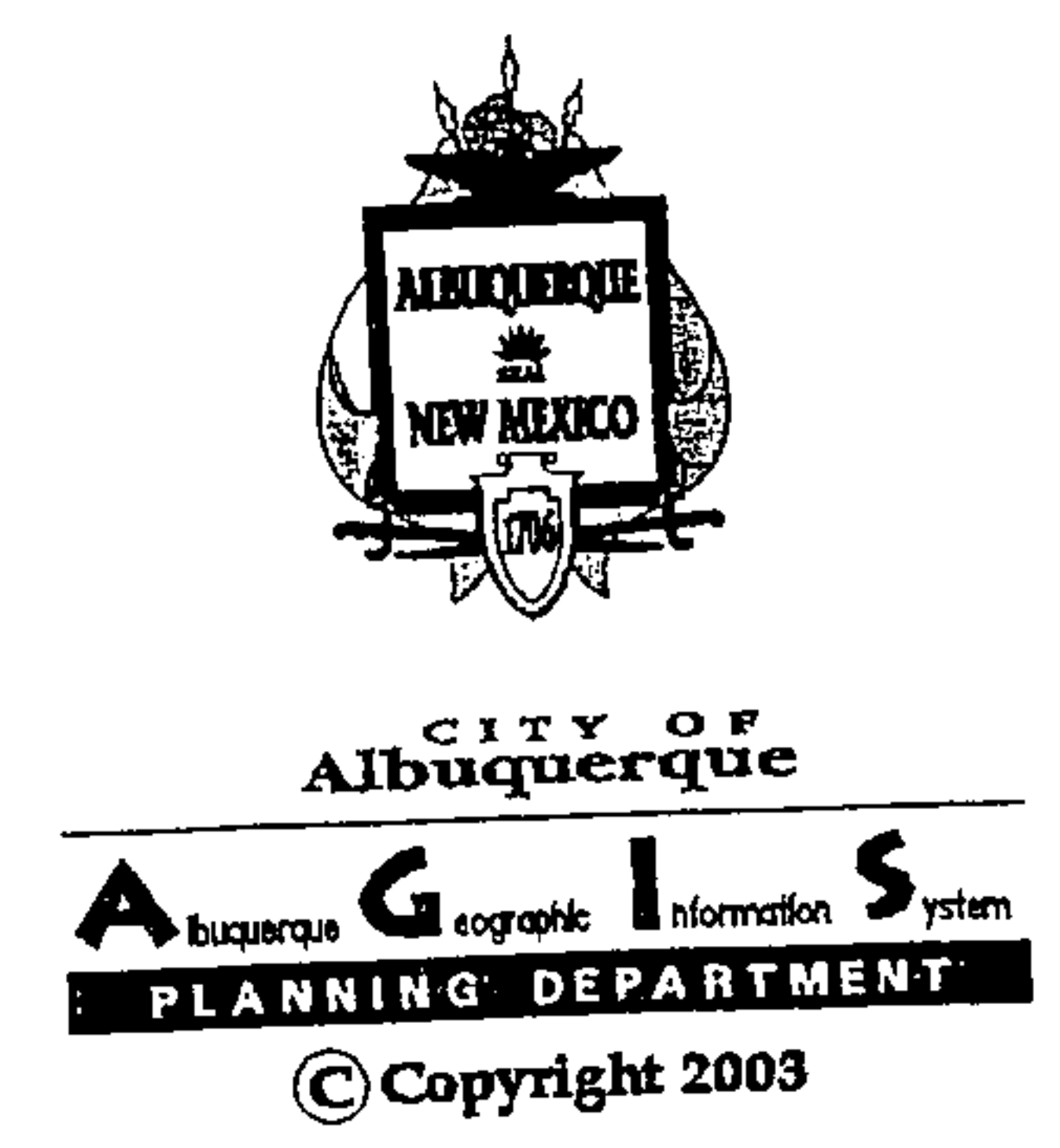
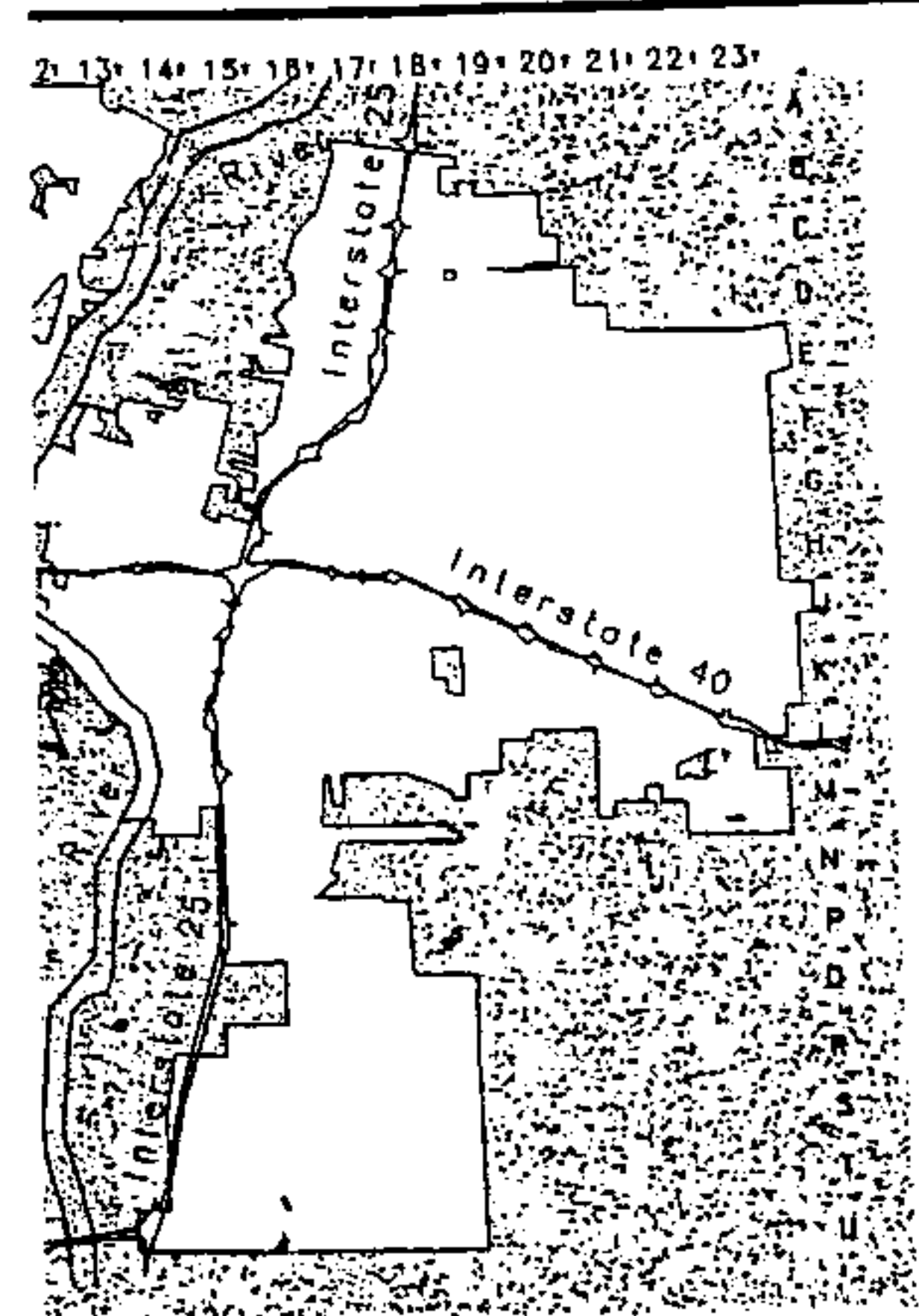
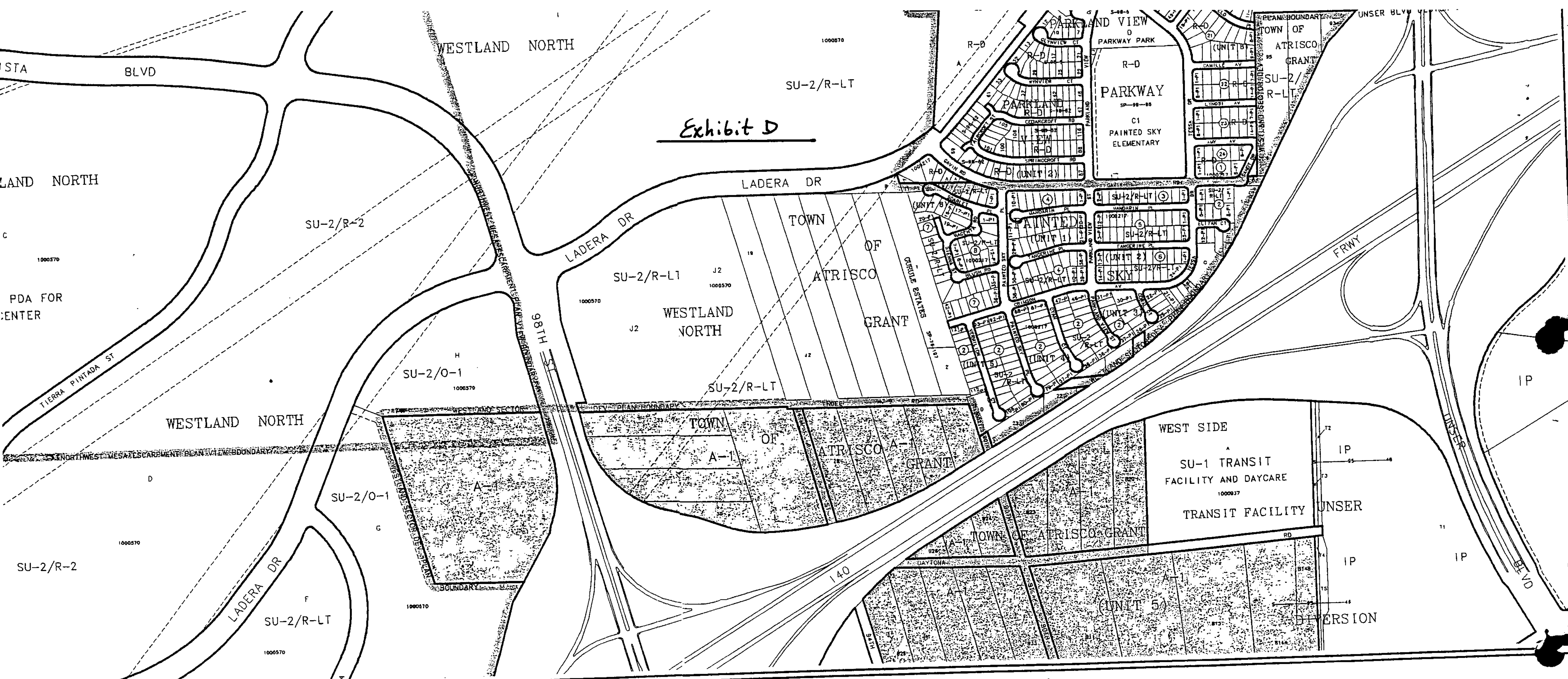
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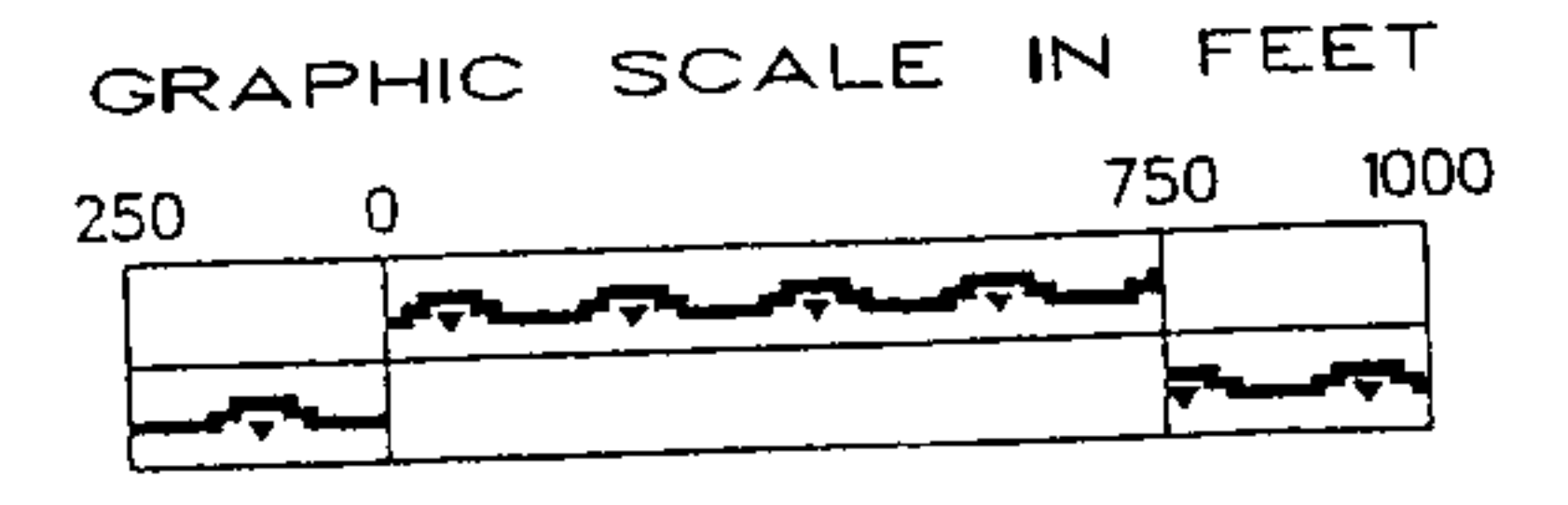
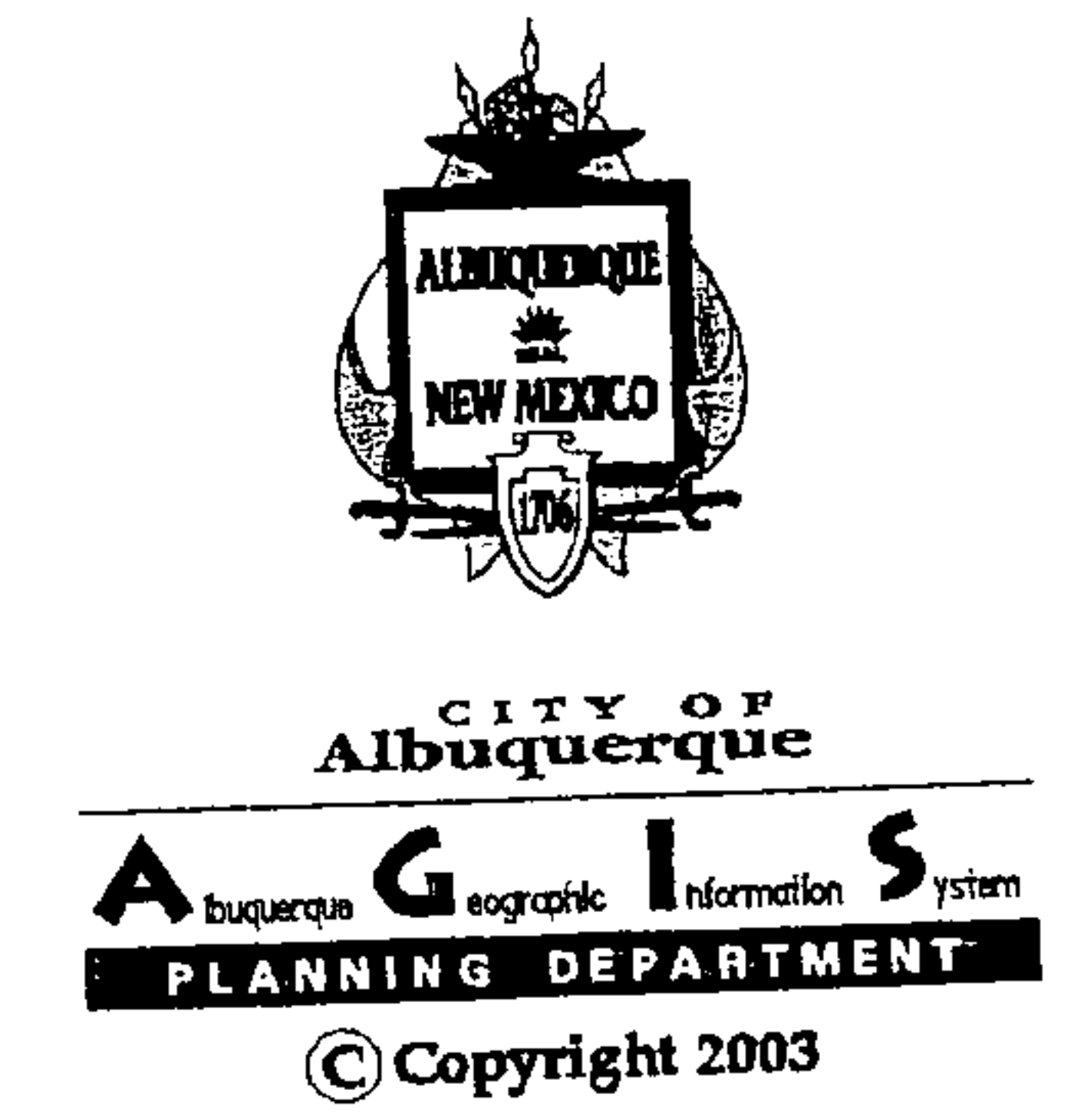
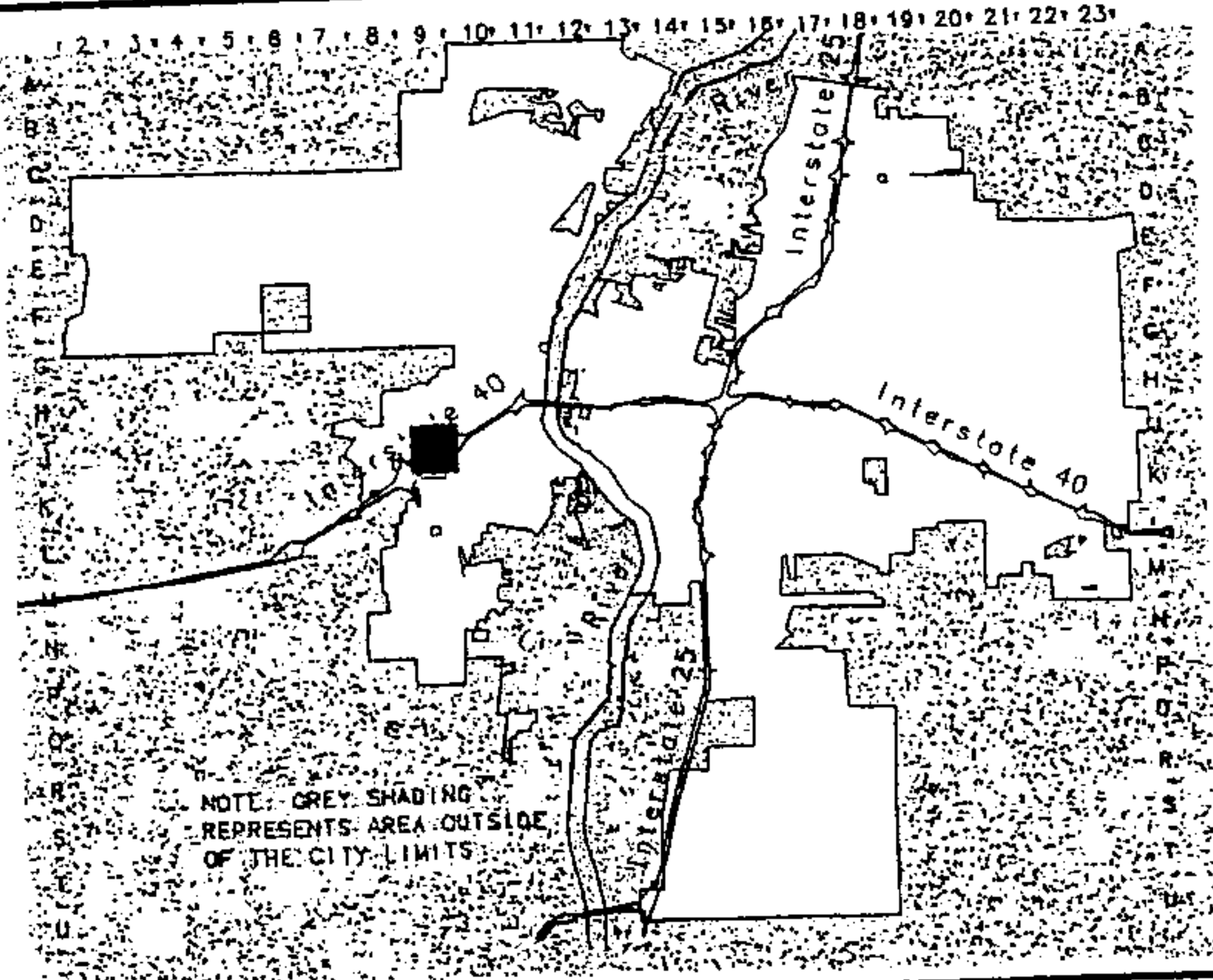
Page: 3 of 3

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**Zone Atlas Page**  
**J-8-Z**  
 Map Amended through January 21, 2003



**Zone Atlas Page**  
**J-9-Z**  
 Map Amended through January 21, 2003



**ORIGINAL**

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

PRIMA ENTRADA SUDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT 30,31,32,33, UNIT 5, LANDS OF ATRISCO GRANT

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

*revised 5/9/06*  
*87-06*  
*1-3-07*

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		8"	Water line	Prima Entrada St.	Endee road	Serrano Point St.	/	/	/
		8"	Waterline	Sonterro Ave	94th	Serrano Pointe St.	/	/	/
		8"	waterline	Serrano Pointe St.	Sonterro Ave	Prima Entrada St	/	/	/
		8"	waterline	Entrada Vista Ave	Lot 40	Prima Entrada St	/	/	/
		8"	waterline	Public Waterline Easmt (lot 38)	Entrada Vista Ave	existing stub	/	/	/
		8"	Waterline	Mirasol Ave	Entrada Vista Ave	Serrano Pointe St	/	/	/
		8"	Waterline	Entrada vista Court	Mirasol Ave	Terminus	/	/	/
		8"	Waterline	94th Street	Sonterro Ave	existing Waterline	/	/	/
		8"	<del>Sewerline</del>	<del>Prima Entrada St.</del>	<del>Endee road</del>	<del>Serrano Point St.</del>	/	/	/
		8"	Sewerline	Sonterro Ave	94th	Serrano Pointe St.	/	/	/
		8"	Sewerline	Serrano Pointe St.	Sonterro Ave	Prima Entrada St	/	/	/
		8"	Sewerline	Entrada Vista Ave	Lot 40	Prima Entrada St	/	/	/
		8"	Sewerline	Mirasol Ave	Entrada Vista Ave	Serrano Pointe St	/	/	/

*△ Delete*

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		8"	Sewer line	Entrada vista Court	Mirasol Ave	Terminus	/	/	/
		8"	Sewerline	94th Street	Sonterro Ave	Existing Sewerline	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Prima Entrada St.	Endee road	Serrano Point St.	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk, <i>North Side only</i>	Sonterro Ave	94th	Serrano Pointe St.	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Serrano Pointe St.	Sonterro Ave	Prima Entrada St	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Entrada Vista Ave	Lot 40	Prima Entrada St	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Mirasol Ave	Entrada Vista Ave	Serrano Pointe St	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Entrada vista Court	Mirasol Ave	Terminus	/	/	/
		<del>28' F-F</del> 24'	Residential Road with Curb and Gutter including <del>4'</del> Sidewalk- both sides <i>WEST SIDE</i>	94th Street	Sonterro Ave	North Property Line	/	/	/
		24' F-E	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Endee	lot 25	east Property line	/	/	/
		36"	RCP storm drain and appurtanances retention pond with covenents	Sonterro Ave	Pond	94th Street	/	/	/
		NA	<i>Temporary Ret. Pond</i> Public drainage easement with <del>pond</del> covenents	Tract A	entire parcel	entire parcel	/	/	/
		TBD	<i>140</i> West Bluff Channel Contribution To AMAFCA, including trail Paid to Amefca prior to final Plat.				/	/	/

NAME OF PLAT AND/OR SITE PLAN PRIMA ENTRADA SUBDIVISION

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		10'	concrete Drainage Channel	Tract E	Entrada Vista Ct.	Entrada Vista Ave.	/	/	/
		varies	Landscape Meter	Landscape trees	N/A	N/A	/	/	/
							/	/	/
							/	/	/

NOTES

- 1 Engineers Certification of Grading required for release of SIA and Financial Guarantee
- 2 site lighting shall be installed per DPM Standards.  
\* All internal Sidewalks Defered per exhibit C in DAB file 11/23/05 [2]
- 3 Landscape agreement between Prima Entrada Home Owners Association and the City of Albuquerque must be executed prior to release of Finacial Guarantee

<p><b>AGENT OWNER</b></p> <p><u>David Soule</u> NAME (print)</p> <p><u>Rio Grande Engineering</u> FIRM</p> <p><u>MM 11/30/05</u> SIGNATURE - date</p> <p>MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____</p>	<p><b>DEVELOPMENT REVIEW BOARD MEMBER APPROVALS</b></p> <p><u>[Signature] 11/30/05</u> DRB CHAIR - date</p> <p><u>Christina Sandoval 11/30/05</u> PARKS &amp; GENERAL SERVICES - date</p> <p><u>[Signature] 11-30-05</u> TRANSPORTATION DEVELOPMENT - date</p> <p><u>[Signature] 11/30/05</u> UTILITY DEVELOPMENT - date</p> <p><u>Bradley A. Byham 11/30/05</u> CITY ENGINEER - date</p> <p>_____ AMAFCA - date</p> <p>_____ - date</p> <p>_____ - date</p>
--	--

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT /OWNER
<u>A</u>	<u>5/9/06</u>	<u>[Signature]</u>	<u>[Signature]</u>	<u>[Signature]</u>
<u>B</u>	<u>8/3/06</u>	<u>[Signature]</u>	<u>[Signature]</u>	<u>[Signature]</u>
<u>C</u>	<u>1-3-07</u>	<u>[Signature]</u>	<u>[Signature]</u>	<u>[Signature]</u>

*Claire*

*revised 5/9/06*

**ORIGINAL**

**INFRASTRUCTURE LIST**

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**PRIMA ENTRADA SUDIVISION**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**TRACT 30,31,32,33, UNIT 5, LANDS OF ATRISCO GRANT**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		8"	Water line	Prima Entrada St.	Endee road	Serrano Point St.	/	/	/
		8"	Waterline	Sonterro Ave	94th	Serrano Pointe St.	/	/	/
		8"	waterline	Serrano Pointe St.	Sonterro Ave	Prima Entrada St	/	/	/
		8"	waterline	Entrada Vista Ave	Lot 40	Prima Entrada St	/	/	/
		8"	waterline	Public Waterline Easmt (lot 38)	Entrada Vista Ave	existing stub	/	/	/
		8"	Waterline	Mirasol Ave	Entrada Vista Ave	Serrano Pointe St	/	/	/
		8"	Waterline	Entrada vista Court	Mirasol Ave	Terminus	/	/	/
		8"	Waterline	94th Street	Sonterro Ave	existing Waterline	/	/	/
		8"	<del>Sewerline</del>	<del>Prima Entrada St</del>	<del>Endee road</del>	<del>Serrano Point St</del>	/	/	/
		8"	Sewerline	Sonterro Ave	94th	Serrano Pointe St.	/	/	/
		8"	Sewerline	Serrano Pointe St.	Sonterro Ave	Prima Entrada St	/	/	/
		8"	Sewerline	Entrada Vista Ave	Lot 40	Prima Entrada St	/	/	/
		8"	Sewerline	Mirasol Ave	Entrada Vista Ave	Serrano Pointe St	/	/	/

*revised* ~~Sewerline~~ *Delete*

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		8"	Sewer line	Entrada vista Court	Mirasol Ave	Terminous	/	/	/
		8"	Sewerline	94th Street	Sonterro Ave	Existing Sewerline	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Prima Entrada St.	Endee road	Serrano Point St.	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk, <i>North Side only</i>	Sonterro Ave	94th	Serrano Pointe St.	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Serrano Pointe St.	Sonterro Ave	Prima Entrada St	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Entrada Vista Ave	Lot 40	Prima Entrada St	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Mirasol Ave	Entrada Vista Ave	Serrano Pointe St	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Entrada vista Court	Mirasol Ave	Terminous	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	94th Street	Sonterro Ave	North Property Line	/	/	/
		24' F-E	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Endee	lot 25	east Property line	/	/	/
		36"	RCP storm drain and appurtanances retention pond with covenents	Sonterro Ave	Pond	94th Street	/	/	/
		NA	<i>Temporary Ret. Pond</i> Public drainage easement <i>agreement</i> with pond covenents	Tract A	entire parcel	entire parcel	/	/	/
		TBD	<i>140</i> West Bluff Channel Contribution To AMAFCA, including trail <i>Paid to Amafca prior</i> to final Plat.				/	/	/

NAME OF PLAT AND/OR SITE PLAN PRIMA ENTRADA SUBDIVISION

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		10'	concrete Drainage Channel	Tract E	Entrada Vista Ct.	Entrada Vista Ave.	/	/	/
		varies	Landscape Meter)	Landscape tracts	N/A	N/A	/	/	/
							/	/	/
							/	/	/

NOTES

- 1 Engineers Certification of Grading required for release of SIA and Financial Guarantee
- 2 site lighting shall be installed per DPM Standards.
- 3 Landscape agreement between Prima Entrada Home Owners Association and the City of Albuquerque must be executed prior to release of Finacial Guarantee

AGENT OWNER

David Soule  
NAME (print)

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 11/30/05 Christina Sandoval 11/30/05  
DRB CHAIR - date PARKS & GENERAL SERVICES - date

Rio Grande Engineers  
FIRM

[Signature] 11/30/05  
SIGNATURE - date

[Signature] 11-30-05  
TRANSPORTATION DEVELOPMENT - date

[Signature] 11/30/05  
UTILITY DEVELOPMENT - date

AMAFCA - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: \_\_\_\_\_

Bradley A. Byham 11/30/05  
CITY ENGINEER - date

\_\_\_\_\_ - date

\_\_\_\_\_ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER
1	5/9/06	<u>[Signature]</u>	<u>[Signature]</u>	<u>[Signature]</u>

*Claire*

**INFRASTRUCTURE LIST**

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT**

**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**PRIMA ENTRADA SUDIVISION**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

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		8"	waterline	Serrano Pointe St.	Sonterro Ave	Prima Entrada St	/	/	/
		8"	waterline	Entrada Vista Ave	Lot 40	Prima Entrada St	/	/	/
		8"	waterline	Public Waterline Easmt (lot 38)	Entrada Vista Ave	existing stub	/	/	/
		8"	Waterline	Mirasol Ave	Entrada Vista Ave	Serrano Pointe St	/	/	/
		8"	Waterline	Entrada vista Court	Mirasol Ave	Terminus	/	/	/
		8"	Waterline	94th Street	Sonterro Ave	existing Waterline	/	/	/
		8"	Sewerline	Prima Entrada St.	Endee road	Serrano Point St.	/	/	/
		8"	Sewerline	Sonterro Ave	94th	Serrano Pointe St.	/	/	/
		8"	Sewerline	Serrano Pointe St.	Sonterro Ave	Prima Entrada St	/	/	/
		8"	Sewerline	Entrada Vista Ave	Lot 40	Prima Entrada St	/	/	/
		8"	Sewerline	Mirasol Ave	Entrada Vista Ave	Serrano Pointe St	/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
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		8"	Sewerline	94th Street	Sonterro Ave	Existing Sewerline	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Prima Entrada St.	Endee road	Serrano Point St.	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk, <i>North Side only</i>	Sonterro Ave	94th	Serrano Pointe St.	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Serrano Pointe St.	Sonterro Ave	Prima Entrada St	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Entrada Vista Ave	Lot 40	Prima Entrada St	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Mirasol Ave	Entrada Vista Ave	Serrano Pointe St	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	Entrada vista Court	Mirasol Ave	Terminous	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk- both sides	94th Street	Sonterro Ave	North Property Line	/	/	/
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		36"	RCP storm drain and appurtanances retention pond with covenents	Sonterro Ave	Pond	94th Street	/	/	/
		NA	<i>Temporary Ret. Pond</i> Public drainage easement with <del>pond</del> covenents	Tract A	entire parcel	entire parcel	/	/	/
		TBD	<i>140</i> West Bluff Channel Contribution to AMAFCA, including trail <i>Paid to Amafca prior to final Plat.</i>				/	/	/



NAME OF PLAT AND/OR SITE PLAN PRIMA ENTRADA SUBDIVISION

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		10'	concrete Drainage Channel	Tract E	Entrada Vista Ct.	Entrada Vista Ave.	/	/	/
		varies	Landscape Meter)	Landscape tracts	N/A	N/A	/	/	/
							/	/	/
							/	/	/

NOTES

- 1 Engineers Certification of Grading required for release of SIA and Financial Guarantee
- 2 site lighting shall be installed per DPM Standards.
- 3 Landscape agreement between Prima Entrada Home Owners Association and the City of Albuquerque must be executed prior to release of Finacial Guarantee

<b>AGENT OWNER</b>	<b>DEVELOPMENT REVIEW BOARD MEMBER APPROVALS</b>		
<u>David Soule</u> NAME (print)	<u>[Signature]</u> 11/30/05 DRB CHAIR - date	<u>Christina Sandoval</u> 11/30/05 PARKS & GENERAL SERVICES - date	
<u>Rio Grande Engineers</u> FIRM	<u>[Signature]</u> 11-30-05 TRANSPORTATION DEVELOPMENT - date	_____ - date AMAFA - date	
<u>[Signature]</u> 11/30/05 SIGNATURE - date	<u>[Signature]</u> 11/30/05 UTILITY DEVELOPMENT - date	_____ - date	
MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____	<u>Bradley A. Bigham</u> 11/30/05 CITY ENGINEER - date	_____ - date	
<b>DESIGN REVIEW COMMITTEE REVISIONS</b>			

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

**ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services**

**PAID RECEIPT**

APPLICANT NAME \_\_\_\_\_

AGENT \_\_\_\_\_

ADDRESS \_\_\_\_\_

PROJECT & APP # \_\_\_\_\_

PROJECT NAME \_\_\_\_\_

RIO GRANDE ENGINEERING

1003523/05 DRB01369, 01368, 01370

PRIMA ENTRADA SUBDIVISION

DUPLICATE  
City of Albuquerque  
Treasury Division

11/8/05 12:08PM LOS ANM/  
RECEIVED USR 007 TRACER 0934  
ACCOUNT 441006 7000 010  
ACTIVITY 475300 TRACER  
TRANS AMT 110.00  
024 11/05

\$ \_\_\_\_\_ 441032/3424000 Conflict Management Fee

\$ 110.00 441006/4983000 DRB Actions DEFERRAL

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ \_\_\_\_\_ 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
 Major/Minor Subdivision  Site Development Plan  Bldg Permit  
 Letter of Map Revision  Conditional Letter of Map Revision  
 Traffic Impact Study

\$ 110.00 TOTAL AMOUNT DUE

**\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

Rio Grande Engineering  
1606 Central Ave SE Suite 201  
Albuquerque, NM 87106

BANK OF THE WEST  
THE ACADEMY OFFICE  
1-800-488-2265  
95-681/1070

10487  
11/8/2005

Pay to the Order of City of Albuquerque \$ 110.00 Dollars

One Hundred Ten and 00/100  
City of Albuquerque

*M M*

© 2003 INTUIT INC. # 145 1-800-433-8810

memo Deferral fees 1070068131 285027249



**Rio Grande  
Engineering  
Land Development and Civil Engineering Services**

November 8, 2005

Ms Sheran Matson  
Chair- Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

**RE: Preliminary Plat and Site Development  
For subdivision Approval for  
Prima Entrada Subdivision  
PROJECT # 1003523  
Albuquerque, New Mexico**

Dear Ms. Matson:

Rio Grande Engineering requests an additional 2-week deferral to November 23, 2005. The purpose of this deferral is to complete the plat in conformance to the agreed upon boundary between this property and the property to the east.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

David Soule, PE  
RIO GRANDE ENGINEERING  
1606 CENTRAL SE SUITE 201  
ALBUQUERQUE, NM 87106

Enclosures

cc: Phil Pickard

JN: 2321  
ds

prepladevtlter110805

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME RIO GRANDE ENGINEERING  
AGENT DAVID SAULE  
ADDRESS \_\_\_\_\_  
PROJECT & APP # 1003523/05 DRB 01369, 01368, 01370  
PROJECT NAME PRIMA ENTRADA SUBDIVISION

\$ \_\_\_\_\_ 441032/3424000 Conflict Management Fee  
\$ 220.00 441006/4983000 DRB Actions DEFERRAL  
\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$ \_\_\_\_\_ 441018/4971000 Public Notification  
\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 220.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City of Albuquerque  
Treasury Division

11/1/2005 11:23AM LOC: ANNX  
RECEIPT# 00052265 WSN 007 TRANS# 0022  
Account 441006 Fund 0110  
Activity 4983000 TRSASE  
Trans Amt \$220.00  
J24 Misc  
\$220.00  
CK \$220.00  
CHANGE \$0.00

Thank You



**Rio Grande  
Engineering  
Land Development and Civil Engineering Services**

November 1, 2005

Ms Sheran Matson  
Chair- Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

**RE: Preliminary Plat and Site Development  
For subdivision Approval for  
Prima Entrada Subdivision  
PROJECT # 1003523  
Albuquerque, New Mexico**

Dear Ms. Matson:

Rio Grande Engineering, on behalf of the Owner of the reference property, requests an additional 1-week deferral to November 9, 2005. The purpose of this deferral is to complete the plat in conformance to the agreed upon boundary between this property and the property to the east.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

David Soule, PE  
RIO GRANDE ENGINEERING  
1606 CENTRAL SE SUITE 201  
ALBUQUERQUE, NM 87106

Enclosures

cc: Phil Pickard

JN: 2321  
ds

prepladevtlter110105

**ORIGINAL**

**INFRASTRUCTURE LIST**

**EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**PRIMA ENTRADA SUDIVISION**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**TRACT 30,31,32,33, UNIT 5, LANDS OF ATRISCO GRANT**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		8"	Water line	Prima Entrada St.	Endee road	Mirasol St.	/	/	/
		8"	Waterline	Sonterro Ave	Prima Entrada St.	Serrano Pointe St.	/	/	/
		8"	waterline	Serrano Pointe St.	Sonterro Ave	Mirasol St	/	/	/
		8"	waterline	Entrada Vista Ave	lot 1	Sonterro Ave	/	/	/
		8"	waterline	Mirasol St.	Entrada Vista	94 Ave	/	/	/
							/	/	/
		8"	Sewerline	Prima Entrada St.	Endee road	Mirasol St.	/	/	/
		8"	Sewerline	Sonterro Ave	Prima Entrada St.	Serrano Pointe St.	/	/	/
		8"	Sewerline	Serrano Pointe St.	Sonterro Ave	Mirasol St	/	/	/
		8"	Sewerline	Entrada Vista Ave	lot 1	Sonterro Ave	/	/	/
		8"	Sewerline	Mirasol St.	Entrada Vista	94 Ave	/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk	Prima Entrada St.	Endee road	Mirasol St.	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk	Sonterro Ave	Prima Entrada St.	Serrano Pointe St.	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk	Serrano Pointe St.	Sonterro Ave	Mirasol St	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk	Entrada Vista Ave	lot 1	Sonterro Ave	/	/	/
		28' F-F	Residential Road with Curb and Gutter including 4' Sidewalk	Mirasol St.	Entrada Vista	94 Ave	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
		36"	RCP storm drain and appurtanances retention pond with covenents	Mirasol St	Lot 80	lot 85	/	/	/
		36"	RCP Storm Drain and appurtancances	94th street	Mirasol	NMDOT ROW	/	/	/
		\$43,512.00	West Bluff Channel Contribution				/	/	/

NAME OF PLAT AND/OR SITE PLAN PRIMA ENTRADA SUDIVISION

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

**NOTES**

- 1 Engineers Certification of Grading required for release of SIA and Financial Guarantee

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- 2 site lighting shall be installed per DPM Standards.

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- 3 Landscape agreement between Prima Entrada Home Owners Association and the City of Albuquerque must be executed prior to release of Finacial Guarantee

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**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

David Sork  
 NAME (print)  
Rio Grande Engineering  
 FIRM  
[Signature] 8/25/05  
 SIGNATURE - date

\_\_\_\_\_  
 DRB CHAIR - date  
 \_\_\_\_\_  
 TRANSPORTATION DEVELOPMENT - date  
 \_\_\_\_\_  
 UTILITY DEVELOPMENT - date  
 \_\_\_\_\_  
 CITY ENGINEER - date

\_\_\_\_\_  
 PARKS & GENERAL SERVICES - date  
 \_\_\_\_\_  
 AMAFCA - date  
 \_\_\_\_\_ - date  
 \_\_\_\_\_ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
 THE IMPROVEMENTS WITHOUT A DRB  
 EXTENSION: \_\_\_\_\_

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



# A City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

<p style="text-align: center;">Supplemental form</p> <p><b>SUBDIVISION</b> <span style="float: right;"><b>S</b></span></p> <p><input checked="" type="checkbox"/> Major Subdivision action</p> <p><input type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation <span style="float: right;"><b>V</b></span></p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p><b>SITE DEVELOPMENT PLAN</b> <span style="float: right;"><b>P</b></span></p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC) <span style="float: right;"><b>L</b></span></p>	<p style="text-align: center;">Supplemental form</p> <p><b>ZONING &amp; PLANNING</b> <span style="float: right;"><b>Z</b></span></p> <p><input checked="" type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input checked="" type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)</p> <p><b>APPEAL / PROTEST of...</b> <span style="float: right;"><b>A</b></span></p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
--	--

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: GHP, LLC PHONE: 362-8200

ADDRESS: 7600 PAN AMERICAN FREEWAY FAX: 856-6200

CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: \_\_\_\_\_

Proprietary interest in site: OWNER List all owners: SOLE OWNER BY CONTRACT

AGENT (if any): RIO GRANDE ENGINEERING PHONE: 872-0999

ADDRESS: 1606 CENTRAL SE, SUITE 201 FAX: 872-2205

CITY: ALBUQUERQUE STATE NM ZIP 87106 E-MAIL: david@riograndeengineering.com

DESCRIPTION OF REQUEST: PRELIMINARY PLAT & SITE DEVELOPMENT PLAN FOR SUBDIVISION

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 30,31,32,33 Block: \_\_\_\_\_ Unit: 3

Subdiv. / Addn. LANDS OF ATRISCO GRANT TBK PRIMA ENTRADA SUBDIVISION

Current Zoning: SU-2- FOR R/LT Proposed zoning: SU-2 FOR R-LT

Zone Atlas page(s): J-8 & J-9 No. of existing lots: 4 No. of proposed lots: 8

Total area of site (acres): 16.01 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: 5.5

Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill?  no

UPC No. 100805848408740220, 100905802305130901, 100905802305130901 MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: 98<sup>TH</sup> STREET NW

Between: ENDEE ROAD NW and INTERSTATE 25

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1003523, 04 EPC-01003, 04 EPC-01352, 04 EPC-01489

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE DAVID SOULE DATE \_\_\_\_\_

(Print) DAVID SOULE, PE \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<p><input type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><input checked="" type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input checked="" type="checkbox"/> F.H.D.P. density bonus</p> <p><input checked="" type="checkbox"/> F.H.D.P. fee rebate</p>	<p style="text-align: center;">Application case numbers</p> <p><u>05 DRB - -01368</u></p> <p><u>05 DRB - -01369</u></p> <p><u>05 DRB - -01370</u></p> <p>_____</p> <p>_____</p> <p>Hearing date: <u>9/28/05</u></p>	<p style="text-align: center;">Action</p> <p><u>SPB</u></p> <p><u>PP</u></p> <p><u>TDS</u></p> <p><u>CMF</u></p> <p><u>Adv.</u></p>	<p style="text-align: center;">S.F.</p> <p><u>P(2)</u></p> <p><u>S(2)</u></p> <p><u>V</u></p> <p>_____</p> <p>_____</p>	<p style="text-align: center;">Fees</p> <p><u>\$ 385.00</u></p> <p><u>\$ 1690.00</u></p> <p><u>\$ 0.00</u></p> <p><u>\$ 20.00</u></p> <p><u>\$ 75.00</u></p> <p>Total _____</p> <p><u>\$ 2170.00</u></p>
--	---	---	---	--

Andrew Garcia 8/26/05 Project # 1003523

**FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision and/or Building Permit Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24** copies for DRB public hearings
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision and/or Building Permit Checklist
  - Completed Site Plan for Building Permit Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Blue-line copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24** copies for DRB public hearings
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Sule  
Applicant name (print)

DM  
Applicant signature / date



Form revised May 2003

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 05DRB - \_\_\_\_\_ - 01368  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Andrew Ince 8/26/05  
Planner signature / date  
**Project #** 1003523

**FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL**

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
  - Proposed Infrastructure List
  - Design elevations & cross sections of perimeter walls
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Property owner's and City Surveyor's signature on the proposed plat
  - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.  
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
  - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.  
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

**MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT**  
**(Temporary sidewalk deferral uses FORM-V)**

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Soto  
 Applicant name (print)  
JMM  
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 05DRB - 01369

Form revised 10/03  
Andrew Garcia 8/26/05  
 Planner signature / date  
**Project # 1003523**

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

- BULK LAND VARIANCE (Public Hearing Case)**
- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. Variance and subdivision should be applied for simultaneously. (24 copies)
  - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
  - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
  - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- VACATION OF PUBLIC RIGHT-OF-WAY**
- VACATION OF PUBLIC EASEMENT**
- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
  - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)**
- SIDEWALK DESIGN VARIANCE**
- SIDEWALK WAIVER**
- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- VACATION OF PRIVATE EASEMENT**
- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
  - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the vacation
  - Letter of authorization from the grantors and the beneficiaries
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

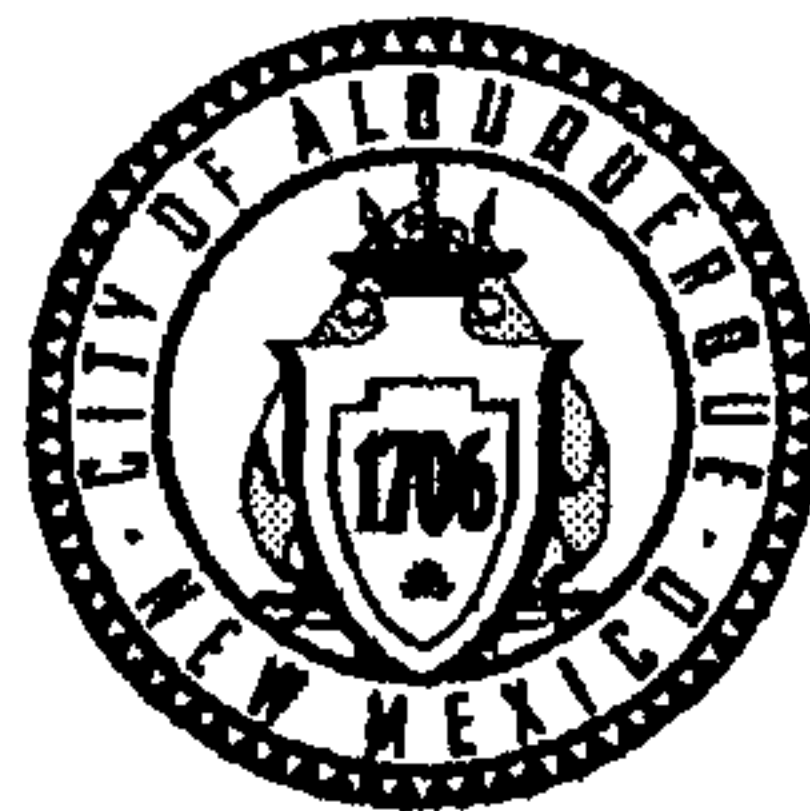
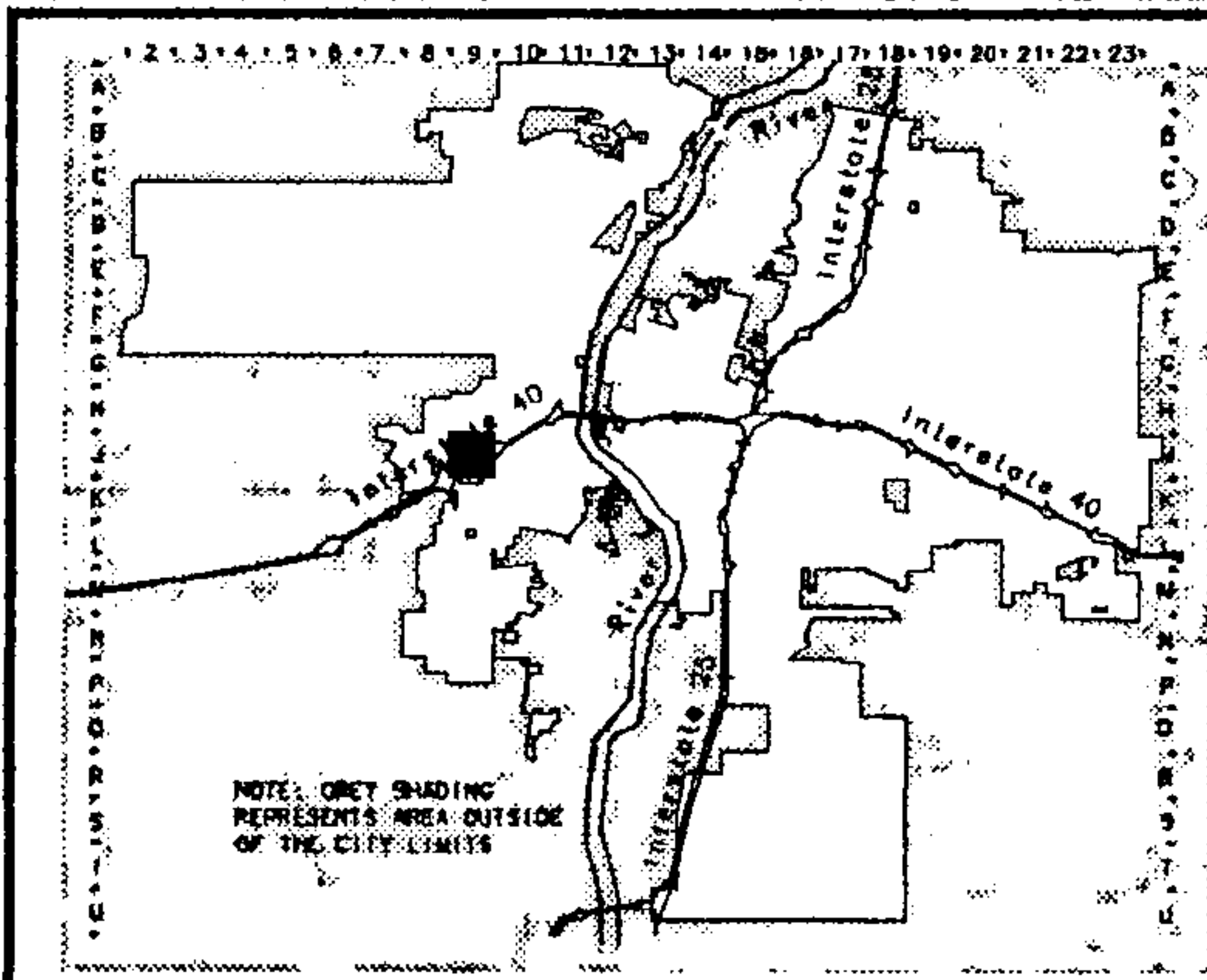
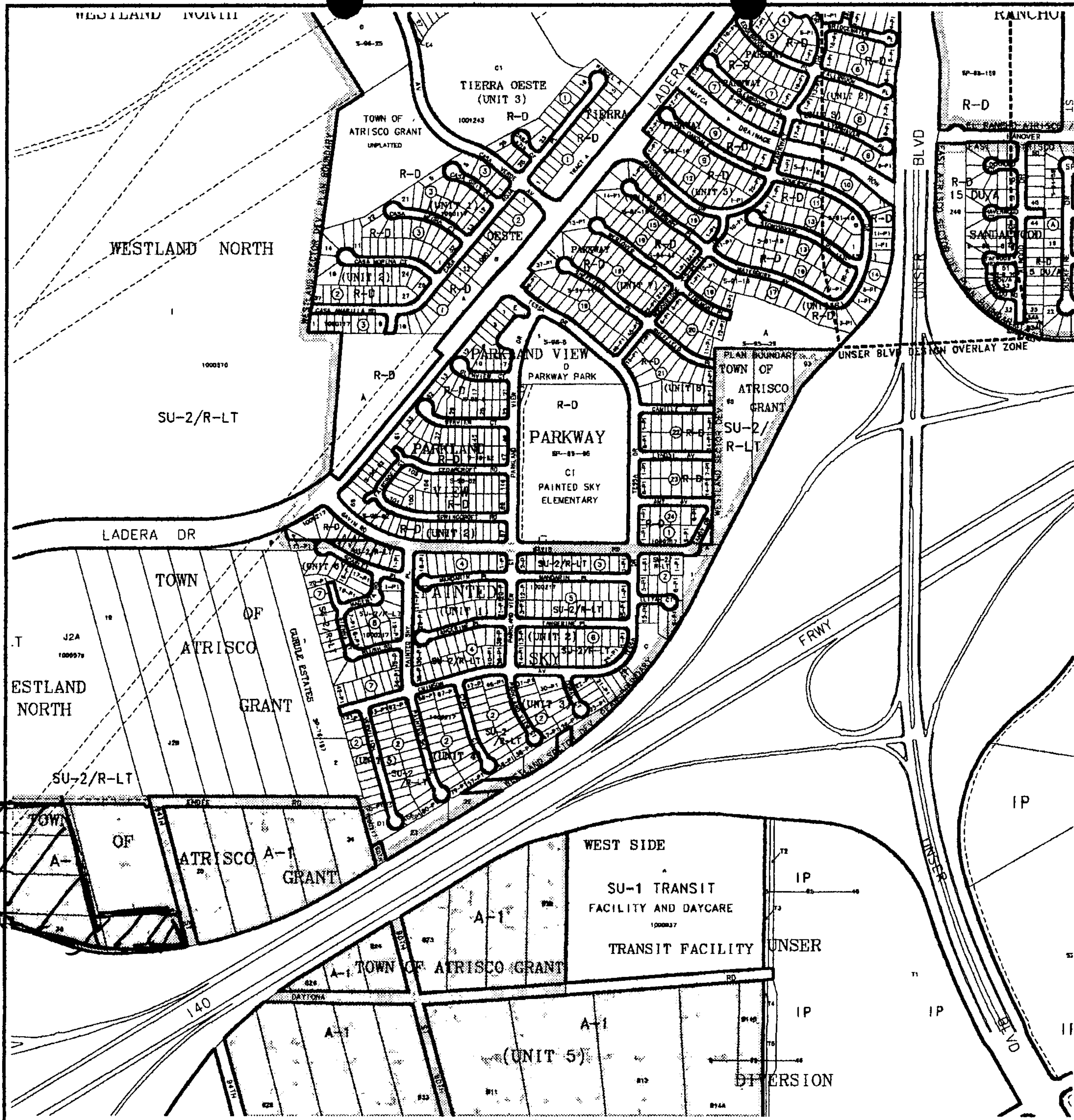
David Soule  
 \_\_\_\_\_  
 Applicant name (print)  
 DMM  
 8/25/05  
 \_\_\_\_\_  
 Applicant signature / date



Form revised April 2003

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 05DRB - \_\_\_\_\_ - 01370  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_  
 \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Andrew Smae  
 \_\_\_\_\_  
 Planner signature / date  
 8/26/05  
**Project # 1003523**



**A** **G** **I** **S**  
 Albuquerque Geographic Information System  
 PLANNING DEPARTMENT

© Copyright 2004

GRAPHIC SCALE IN FEET



**Zone Atlas Page**

**J-9-Z**

Map Amended through February 03, 2004



August 25, 2005

Ms Sheran Matson  
Chair- Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

**RE: Preliminary Plat and Site Development  
For subdivision Approval for  
Prima Entrada Subdivision  
Albuquerque, New Mexico**

Dear Ms. Matson:

Rio Grande Engineering, on behalf of the Owner of the reference property, requests approval of the enclosed Preliminary Plat, Site Development Plan, and temporary Deferral of internal sidewalks. This project was annexed with Bill O-05-102. As shown on the enclosed vicinity map, the property is located south of Endee road between 94<sup>th</sup> street and 98<sup>th</sup> Street. The property is zoned SU-2 for RLT. The property is located within the boundaries of the Westland Sector Plan.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

David Soule, PE  
RIO GRANDE ENGINEERING  
1606 CENTRAL SE SUITE 201  
ALBUQUERQUE, NM 87106

Enclosures

cc: Phil Pickard  
Miguel Maestas  
Claudette Archuleta  
Carol Cunningham  
Mary Loughran

JN: 2321  
ds

preplatlter082505

**FORM DRWS: DRAINAGE REPORT / WATER & SANITARY SEWER AVAILABILITY**  
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION  
FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME: Prima Entrada

AGIS MAP # J/8 1/2 9

LEGAL DESCRIPTIONS: Tr. 355 & 356 Lands of Aztec  
Grant, 1/2 Tr A 1/2 Lands of Rojo

**DRAINAGE REPORT**

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2<sup>nd</sup> Floor Plaza del Sol) on 8/26/05 (date).

[Signature]  
Applicant/Agent

8/26/05  
Date

[Signature]  
Hydrology Division Representative

8/26/05  
Date

**WATER AND SEWER AVAILABILITY STATEMENT**

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2<sup>nd</sup> floor, Plaza del Sol) on 6/02/04 (date).

[Signature]  
Applicant/Agent

[Signature]  
Utilities Division Representative

8/26/05  
Date

8-26-05  
Date


PROJECT # \_\_\_\_\_

August 18, 2005

Re: TRACTS 33,32,31,30  
LANDS OF ATRISCO GRANT, UNIT 5  
PRIMA ENTRADA SUBDIVISION  
ALBUQUERQUEY, NEW MEXICO

To Whom It May Concern:

As the OWNER/DEVELOPER by contract, I hereby grant David Soule and Rio Grande Engineering to act as agent on behalf of GHP, LLC on matters pertaining to the development of PRIMA ENTRADA SUBDIVISION project.

 FOR G.H.P., LLC.  
PHILLIP PICKARD  
OWNER

AUGUST 18, 2005  
(Date)



# NOTICE TO APPLICANTS

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

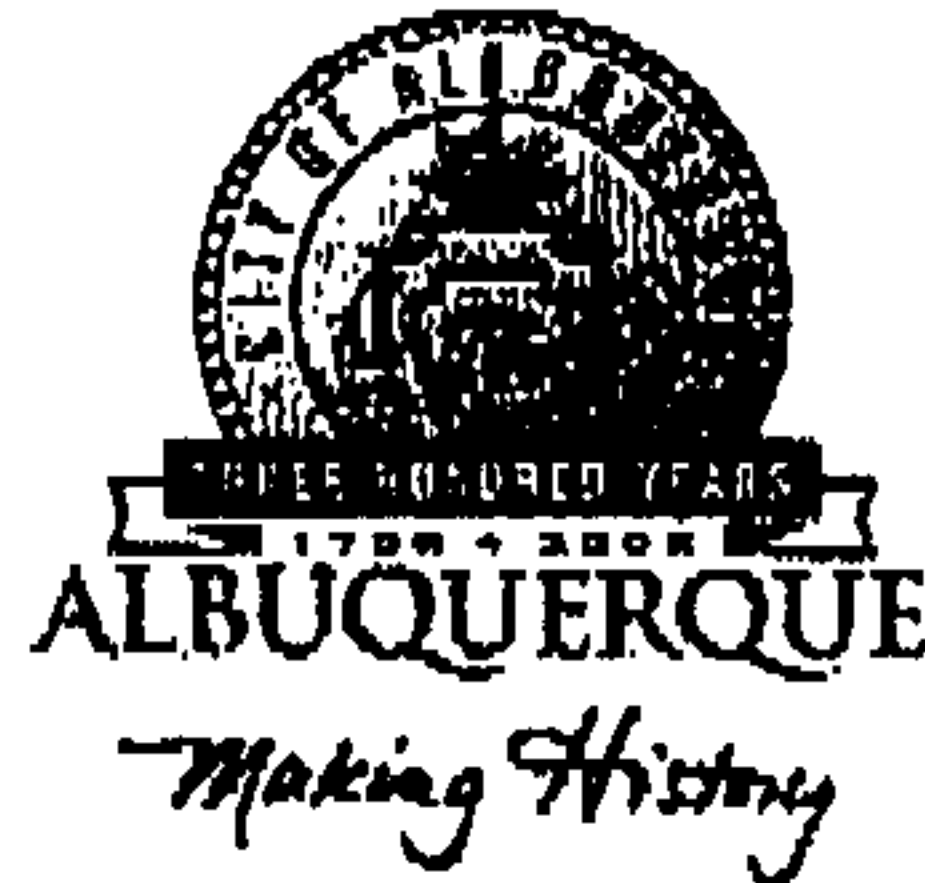
### **WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:**

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

\*\*\*\*\*

*(Below this line for ONC use only)*

Date of Inquiry: **8/19/05** Time Entered: **10:00am** ONC Rep. Initials: **DC**



## City of Albuquerque

August 19, 2005

David Soule  
Rio Grande Engineering  
1606 Central SE, Suite 201  
Phone: 872-0999/Fax: 872-2205

Dear David:

Thank you for your inquiry of August 19, 2005 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACTS 30, 31, 32, 33 TOWN OF ATRISCO GRANT, UNIT 5, LOCATED ON ENDEE ROAD NW, BETWEEN 98<sup>TH</sup> STREET AND 94<sup>TH</sup> STREET** zone map J-8-9.

Our records indicate that the Recognized Neighborhood Association (s) affected by this proposal and the contact names are as follows:

**AVALON N.A. (AVA) "R"**

Miguel Maestas e-mail: [migmaestas@peoplepc.com](mailto:migmaestas@peoplepc.com)  
9400 Harbor Rd. NW/87121 831-9629 (h) 242-7306 (w)  
Claudette Archuleta e-mail: [claudette0513@hotmail.com](mailto:claudette0513@hotmail.com)  
9308 Starboard Rd. NW/87121 831-1939 (h) 242-7306 (w)

**Council District: 1**  
**County District: 1**  
**Police Beat: 152WS**  
**Zone Map #: J-9-10, K-8-10, L-9**

**PARKWAY N.A. (PKW) "R"**

Carol Cunningham e-mail: [jscunning@comcast.net](mailto:jscunning@comcast.net)  
8012 Bridgewater Pl. NW/87120 831-7187 (h)  
Mary Loughran e-mail: [maryloughran@comcast.net](mailto:maryloughran@comcast.net)  
8015 Fallbrook NW/87120 836-7841 (h)

**Council District: 1**  
**County District: 1**  
**Police Beat: 139WS/Z-C**  
**Zone Map #: H-J-9**

**See reverse side for additional Neighborhood Association Information: YES { } NO {X}**

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested**, before the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days**. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**LETTERS MUST BE SENT TO  
BOTH CONTACTS OF EACH  
NEIGHBORHOOD ASSOCIATION.**

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.



**Rio Grande  
Engineering**

August 25, 2005

Ms Sheran Matson  
Chair- Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

**RE: Preliminary Plat and Site Development  
For subdivision Approval for  
Prima Entrada Subdivision  
Albuquerque, New Mexico**

Dear Ms. Matson:

Rio Grande Engineering, on behalf of the Owner of the reference property, requests approval of the enclosed Preliminary Plat, Site Development Plan, and temporary Deferral of internal sidewalks. This project was annexed with Bill O-05-102. As shown on the enclosed vicinity map, the property is located south of Endee road between 94<sup>th</sup> street and 98<sup>th</sup> Street. The property is zoned SU-2 for RLT. The property is located within the boundaries of the Westland Sector Plan.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

David Soule, PE  
RIO GRANDE ENGINEERING  
1606 CENTRAL SE SUITE 201  
ALBUQUERQUE, NM 87106

Enclosures

cc: Phil Pickard  
~~Miguel Maestas~~  
Claudette Archuleta  
Carol Cunningham  
Mary Loughran

JN: 2321  
ds

preplatiter082505



**Rio Grande  
Engineering**

August 25, 2005

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Chair- Development Review Board  
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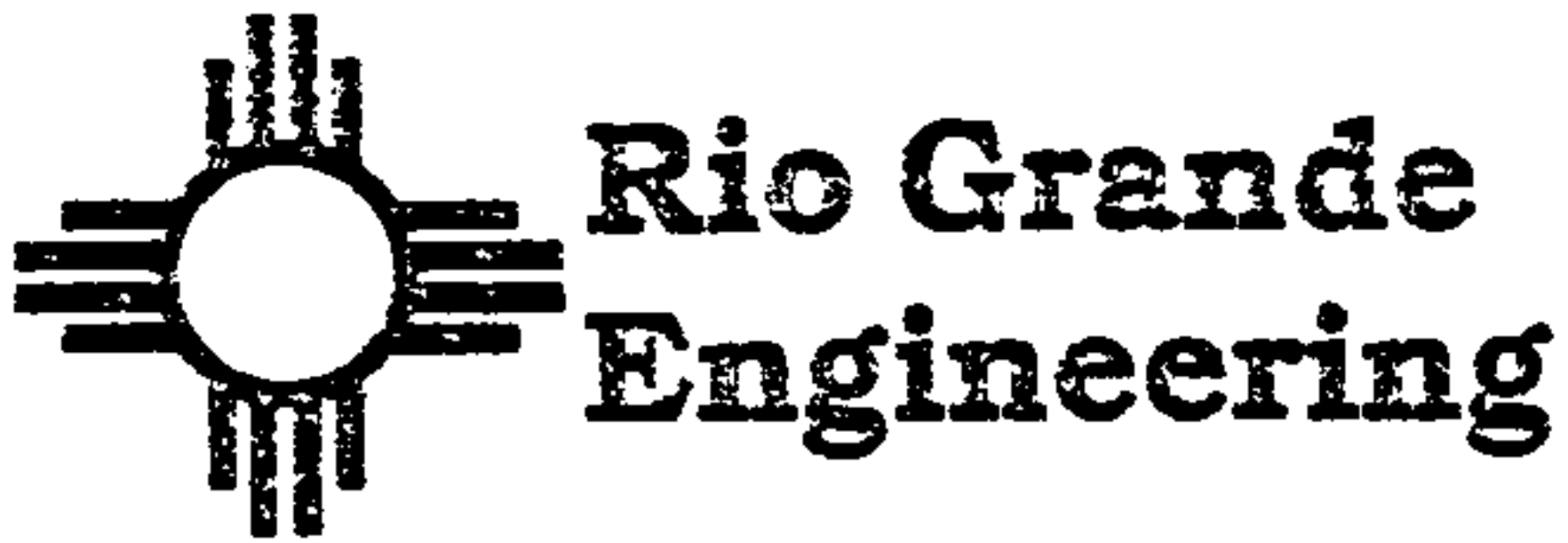
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Enclosures

cc: Phil Pickard  
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Claudette Archuleta  
~~Carol Cunningham~~  
Mary Loughran

JN: 2321  
ds

preplat1ter082505



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Engineering**

August 25, 2005

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City of Albuquerque  
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1606 CENTRAL SE SUITE 201  
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ds

preplatiter082505

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**OFFICIAL USE**

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Certified Fee	2.70
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 5.57</b>

Sent To **Miguel Murstias**  
 Street, Apt. No., or PO Box No. **9400 Huber (Rd.) NW**  
 City, State, ZIP+4 **Alb NM 87121**

UNIT 1B/0101  
 Postmark 26 2005  
 Clerk: KKP6XD  
 10169 08/26/05

Postage	\$ 1.52
Certified Fee	2.70
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 5.57</b>

Sent To **Miguel Murstias**  
 Street, Apt. No., or PO Box No. **9400 Huber (Rd.) NW**  
 City, State, ZIP+4 **Alb NM 87121**

UNIT 1B/0101  
 Postmark 26 2005  
 Clerk: KKP6XD  
 10169 08/26/05

2004 1160 0000 5114 6712

PS Form 3800, June 2002

2004 1160 0000 5114 6699

UNIT 1B/0101  
 Postmark 26 2005  
 Clerk: KKP6XD  
 10169 08/26/05

UNIT 1B/0101  
 Postmark 26 2005  
 Clerk: KKP6XD  
 10169 08/26/05

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Postage	\$ 1.52
Certified Fee	2.70
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 5.57</b>

Sent To **Cecilia Cunningham**  
 Street, Apt. No., or PO Box No. **2108 Bridgeway PL NW**  
 City, State, ZIP+4 **Alb NM 87121**

UNIT 1B/0101  
 Postmark 26 2005  
 Clerk: KKP6XD  
 10169 08/26/05

Postage	\$ 1.52
Certified Fee	2.70
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 5.57</b>

Sent To **Cecilia Cunningham**  
 Street, Apt. No., or PO Box No. **2108 Bridgeway PL NW**  
 City, State, ZIP+4 **Alb NM 87121**

UNIT 1B/0101  
 Postmark 26 2005  
 Clerk: KKP6XD  
 10169 08/26/05

2004 1160 0000 5114 6705

PS Form 3800, June 2002

2004 1160 0000 5114 6699

UNIT 1B/0101  
 Postmark 26 2005  
 Clerk: KKP6XD  
 10169 08/26/05

UNIT 1B/0101  
 Postmark 26 2005  
 Clerk: KKP6XD  
 10169 08/26/05

**SITE DEVELOPMENT PLAN  
FOR SUBDIVISION CHECKLIST**

Revised 10/20/04

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission (EPC). Since development proposals vary in type and scale, there may be application requirements that are not included here and others that may not be necessary. Nonetheless, it is the applicant's responsibility to provide a complete submittal. The EPC will not consider incomplete submittals. Incomplete submittals run the risk of not being scheduled for hearing until they are made complete. Site development plans should ordinarily be composed of the following plan sheets:

1. **Site Plan** (required)
2. **Conceptual Utility Plan** (required)
3. **Design requirements for future site development plans for building permit** (optional, but STRONGLY recommended)

The following checklist describes the minimum information necessary for each sheet. Most of the site plan requirements for *Sheet #1* are taken from the definition for "SITE DEVELOPMENT PLAN" as outlined in the Zoning Code (§ 14-16-1-1 et. seq.). **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

**Accompanying Material**

- A. Fee payment
- B. Complete application
- C. Written Summary of Request
- D. 8-1/2" x 11" reductions

**SHEET # 1 – SITE PLAN** (Required)

- 1. Scale: at least 1" = 100'
- 2. Bar Scale
- 3. North Arrow
- 4. Scaled Vicinity Map
- 5. The Site (property lines)
- 6. Proposed Use(s)
- 7. Pedestrian Ingress and Egress (Access)
- 8. Vehicular Ingress and Egress (Access)
- 9. Any Internal Circulation Requirements
- 10. For each lot:
  - a. Maximum Building Height
  - b. Minimum Building Setback
  - c. Maximum Total Dwelling Units and / or
  - d. Nonresidential Uses' Maximum Floor Area Ratio (F.A.R.)



**SHEET #2 – DESIGN REQUIREMENTS FOR ~~FUTURE~~ SITE DEVELOPMENT  
PLANS FOR BUILDING PERMIT (Optional) but STRONGLY  
recommended)**

- \_\_\_ 1. Overall Design Theme and Land Use Concept
- \_\_\_ 2. Off-Street Parking Requirements and Design (Automobile and Bicycle)
- \_\_\_ 3. Street Design
- \_\_\_ 4. Transit Facilities (benches, shelters, pedestrian connections, etc.)
- \_\_\_ 5. Landscape Design Requirements (plant list, buffer areas, locations, amounts, etc.)
- \_\_\_ 6. Architectural Design Requirements (façade elements, massing, colors, materials, etc.)
- \_\_\_ 7. Signage Design Requirements (face area, colors, materials, maximum height, etc.)
- \_\_\_ 8. Lighting Design Requirements (type, locations, colors materials, maximum height, etc.)
- \_\_\_ 9. Pedestrian Amenities (walkways, plazas, shade structures, etc.)

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Rio Grande Engineering DATE OF REQUEST: 8/19/05 ZONE ATLAS PAGE(S): 59

**CURRENT:**

ZONING SU2-PLT

PARCEL SIZE (AC/SQ. FT.) 16 AC

**LEGAL DESCRIPTION:**

LOT OR TRACT # 3931, 32, 33 BLOCK # \_\_\_\_\_

SUBDIVISION NAME Town of Arvico

**REQUESTED CITY ACTION(S):**

ANNEXATION [ ]	SECTOR PLAN [ ]	SITE DEVELOPMENT PLAN:	
COMP. PLAN [ ]	ZONE CHANGE [ ]	A) SUBDIVISION <input checked="" type="checkbox"/>	BUILDING PERMIT [ ]
AMENDMENT [ ]	CONDITIONAL USE [ ]	B) BUILD'G PURPOSES [ ]	ACCESS PERMIT [ ]
		C) AMENDMENT [ ]	OTHER [ ]

**PROPOSED DEVELOPMENT:**

NO CONSTRUCTION/DEVELOPMENT [ ]

NEW CONSTRUCTION

EXPANSION OF EXISTING DEVELOPMENT [ ]

**GENERAL DESCRIPTION OF ACTION: 1**

# OF UNITS: 98

BUILDING SIZE: 2000 (sq. ft.) each

**NOTES:** 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE [Signature] DATE \_\_\_\_\_  
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO  BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO  MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [ ]  
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]  
TRAFFIC ENGINEER

8-22-05  
DATE

**Air Quality Impact Analysis (AQIA) May Be Required:**

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [ ] NO [ ]

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. **Any subsequent changes to the development proposal identified above may require an update or new AQIA.**

[Signature]  
APPLICANT

8/19/05  
DATE

**Required TIS and/or AQIA must be completed prior to applying to the EPC.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED    /   /     
-FINALIZED    /   /   

TRAFFIC ENGINEER \_\_\_\_\_

DATE \_\_\_\_\_



[ + Bracketed/Underscored Material + ] - New  
[ - Bracketed/Strikethrough Material - ] - Deletion

1 Section 4. Therefore, the zone map adopted by Section 14-16-1-1 et. Seq.  
2 R.O.A. 1994 is hereby amended, establishing SU-2/R-LT zoning and densities  
3 of 5.5 dwelling units per acre for the area specified in Section 1 above.

4 Section 5. FINDINGS ACCEPTED. The Council shall adopt the following  
5 zone map amendment findings recommended by the Environmental Planning  
6 Commission on October 21, 2004:

7 1. This is a request for Establishment of SU-2/R-LT zoning for Tracts 30,  
8 31, 32, and 33, Town of Atrisco Grant, located on 98<sup>th</sup> Street NW  
9 between Endee Road NW and I-40 and containing approximately 14  
10 acres. The subject site is currently zoned County A-1.

11 2. The applicant requests SU-2/R-LT zoning in order to develop 77 homes  
12 on the site for an overall gross density of 5.5 dwelling units per acre.  
13 The proposed zoning and residential density is similar to surrounding  
14 zoning and densities.

15 3. The subject site is within the Developing Urban Area of the  
16 *Comprehensive Plan*. The request for SU-2/R-LT zoning furthers Policy  
17 5a of the *Comprehensive Plan* by proposing an appropriate residential  
18 density that will encourage a quality urban environment. The proposed  
19 zoning, SU-2/R-LT and densities of 5.5 dwelling units per acre, will  
20 respect existing neighborhood values as recommended in Policy 5d  
21 because the area surrounding the site is similarly zoned and  
22 developed/developing at a similar density.

23 4. The subject site is located in the Westland North Community of the  
24 *West Side Strategic Plan* (WSSP). The request for establishment of SU-  
25 2 for R-LT zoning allows residential densities that are within the  
26 densities allowed by the Planned Community Standards as  
27 recommended in Policy 3.54 of the WSSP. In addition, SU-2 for R-LT  
28 zoning will allow urban-style development and densities in the  
29 Westland North Community per Policy 3.59 of the WSSP.

30 5. Policy 2.5 of the *West Side Strategic Plan* recommends that the City  
31 Planning Department consider whether local public schools have  
32 sufficient capacity to support an increase in the number of homes. The  
33 site is located within the West Mesa High School, Jimmy Carter Middle



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1 School, and Painted Sky Elementary School Districts, all of which are  
2 experiencing overcrowding.

3 6. The request for SU-2 for R-LT is consistent with the Land Use and  
4 Zoning Plan (Exhibit 10, page 39) of the *Westland Master Plan* that  
5 recommends overall residential densities of 5.5 dwelling units per acre  
6 on the subject site.

7 7. There is no known opposition to this request.

8 Section 6. The following conditions are imposed on this annexation and  
9 shall be satisfied before final platting of the property annexed through this  
10 ordinance.

11 1. The maximum residential densities shall be 5.5 dwelling units per  
12 acre as shown on exhibit A, attached hereto.

13 2. The interior face of the subdivision perimeter walls that abut public  
14 right of way shall be separated from the right of way by a landscaped planting  
15 strip. The planting strip width and the type of vegetation shall be submitted to  
16 the Design Review Board for approval with the application for preliminary plat  
17 approval.

18 3. The applicant before final platting will provide the Albuquerque  
19 Public Schools \$100.00 per lot sold in the subdivision. These funds shall be  
20 distributed to the Albuquerque Public Schools whose service boundaries  
21 encompass the subdivision. The Design Review Board will verify such  
22 payment has been made to these schools before platting is finalized. If the  
23 Albuquerque Public Schools choose not to accept such assistance from the  
24 applicant and the Design Review Board can verify such the applicant is  
25 released from the provisions of this condition.

26 Section 7. SEVERABILITY CLAUSE. If any section, paragraph, sentence,  
27 clause, word or phrase of this ordinance is for any reason held to be invalid or  
28 unenforceable by any court of competent jurisdiction, such decision shall not  
29 affect the validity of the remaining provisions of this ordinance. The Council  
30 hereby declares that it would have passed this ordinance and each section,  
31 paragraph, sentence, clause, word or phrase thereof irrespective of any  
32 provisions being declared unconstitutional or otherwise invalid.



**Section 8. EFFECTIVE DATE AND PUBLICATION. This ordinance shall take effect five days after publication by title and general summary and when a plat of the territory hereby annexed is filed in the office of the County Clerk.**

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Mary Herrera

Bern. Co. ORDN

R 19.00

2005090518  
6286566  
Page: 4 of 6  
06/24/2005 02:44P  
BK-A99 Pg-245

1 PASSED AND ADOPTED THIS 6th DAY OF June, 2005  
2 BY A VOTE OF: 6 FOR 3 AGAINST.

3  
4 Yes: 6  
5 No: Cadigan, Griego, O'Malley

6  
7 Brad Winter  
8  
9 Brad Winter, President  
10 City Council

11  
12  
13 APPROVED THIS 23 DAY OF June, 2005

14  
15  
16 Bill No. O-05-102

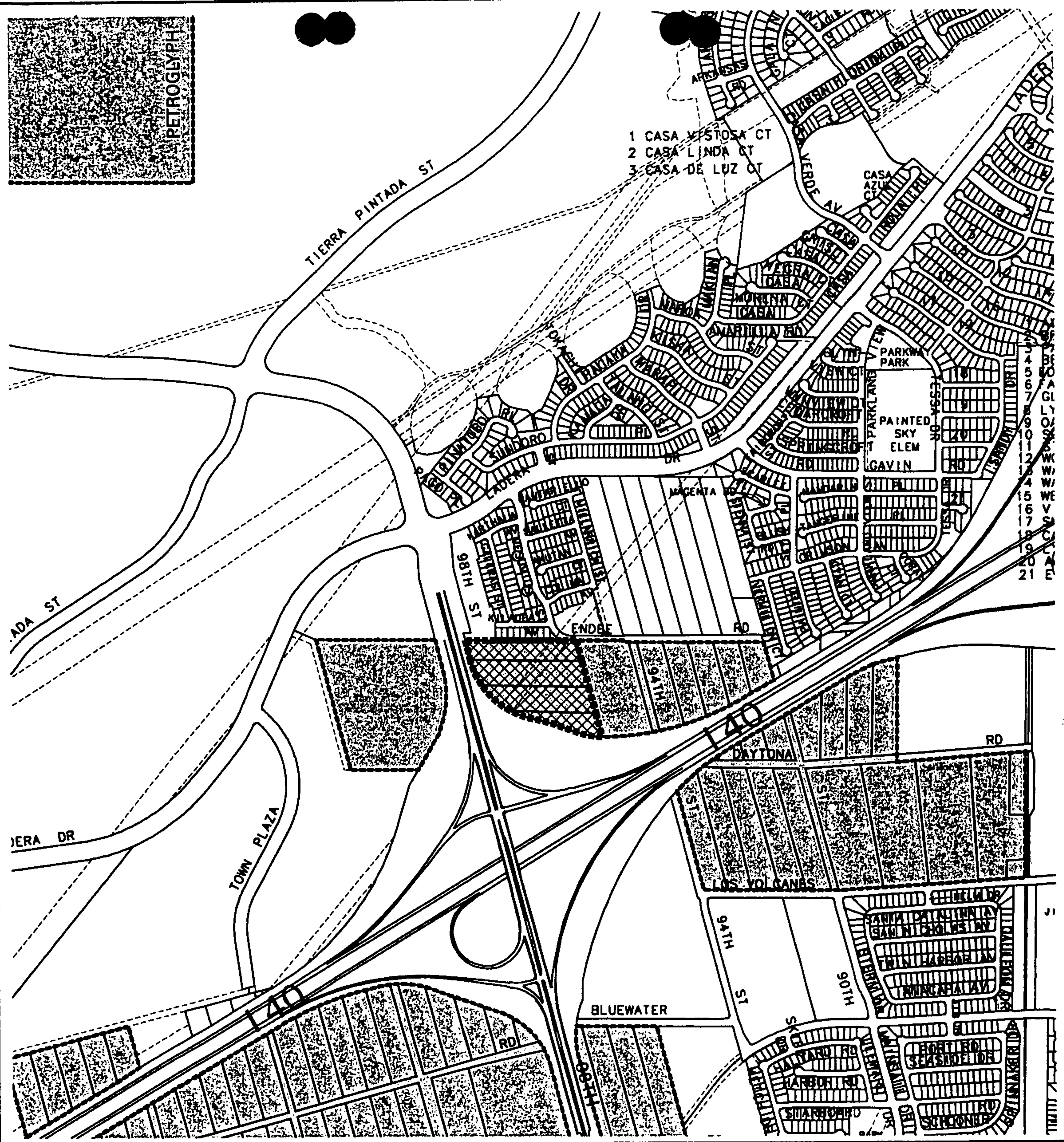
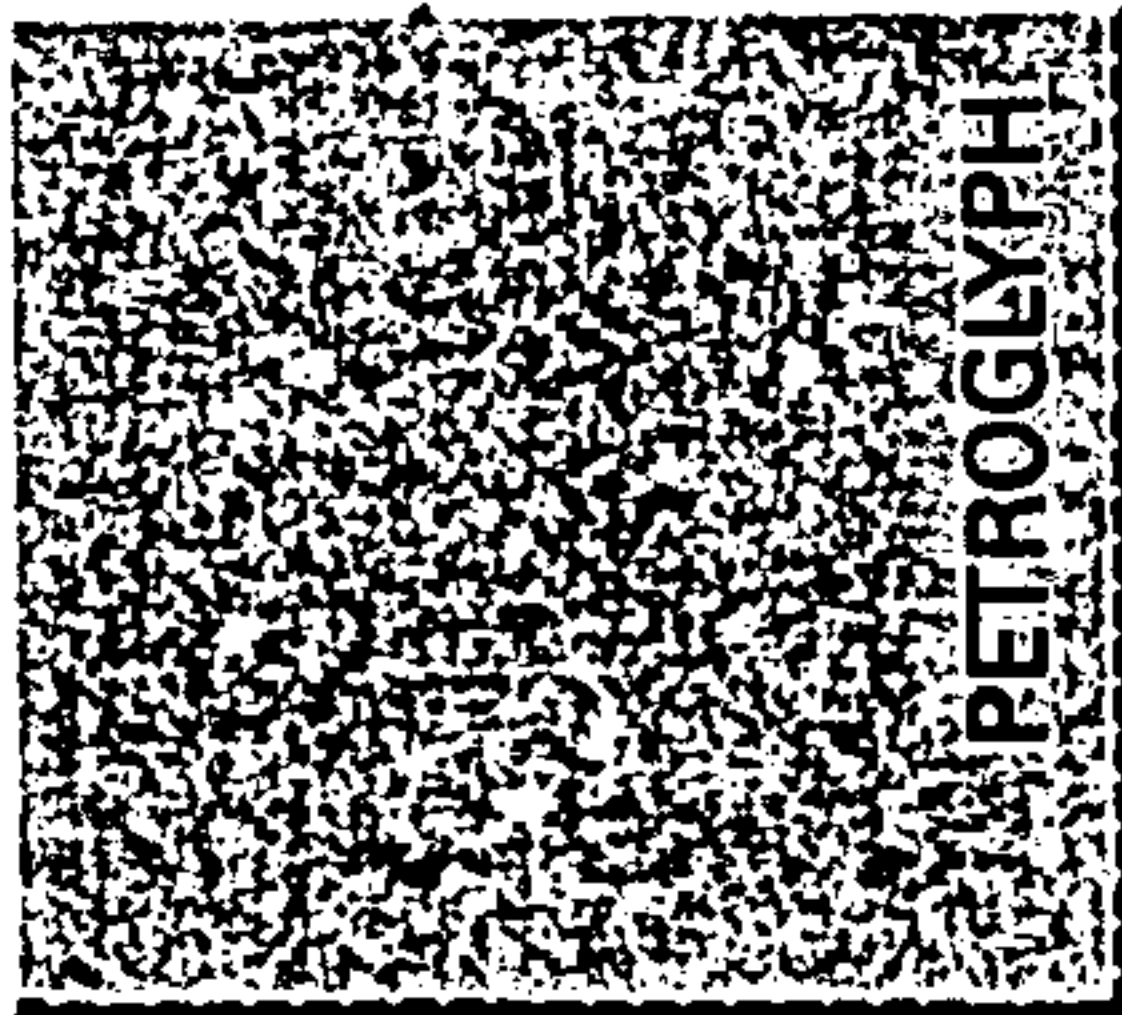
17  
18 Martin J. Chavez  
19 Martin J. Chavez, Mayor  
20 City of Albuquerque

21  
22 ATTEST:

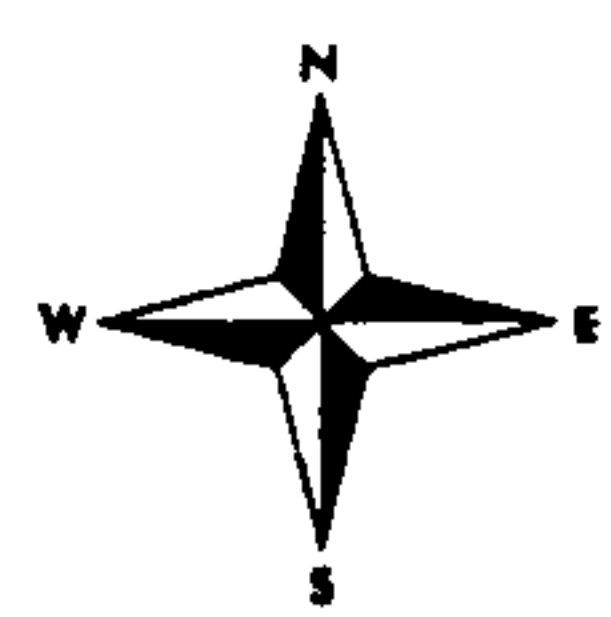
23  
24 [Signature]  
25 City Clerk

[ + Bracketed/Underscored Material + ] - New  
[- Bracketed/Strikethrough Material - ] - Deletion

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Proposed annexation in Zone Map J-9  
1003523



Map Scale: 1" = 1100'

- MUNICIPAL
-  AREA PROP
-  GRAY SHADING INDICATES COUNTY



Mary Herrera Bern. Co. ORON R 19.00

2005090518  
6286566  
Page: 6 of 6  
06/24/2005 02:44P  
Bk-A99 Pg-245





1 Section 2. FINDINGS ACCEPTED. The following findings for the Sector Plan  
2 amendment are adopted by the City Council:

- 3 1. This is a request for a map amendment to the *Westland Sector*  
4 *Development Plan* to include Tracts 30, 31, 32, and 33, Town of Atrisco  
5 Grant in the boundaries of the *Westland Sector Development Plan*. The  
6 subject site is located on 98<sup>th</sup> Street between I-40 and Endee Road NW  
7 and contains approximately 14 acres.
- 8 2. The *Westland Sector Development Plan* was adopted in 1999 (City  
9 Council Enactment No. 63-1999) as two maps: a land use map and a  
10 zoning map. The *Westland Sector Plan* establishes City zoning  
11 categories for approximately 1,700 acres and refers to the *Westland*  
12 *Master Plan* for design guidelines and allowed uses.
- 13 3. The *Westland Sector Plan* surrounds the subject site. The site was one  
14 of several holdout parcels that were excluded from the sector plan when  
15 it was adopted in 1999.
- 16 4. Inclusion of the subject site into the boundaries of the *Westland Sector*  
17 *Plan* will ensure consistent development and design in the immediate  
18 area.
- 19 5. There is no opposition to this request.

20 Section 3. SEVERABILITY CLAUSE. If any section, paragraph, sentence,  
21 clause, word or phrase of this resolution is for any reason held to be invalid or  
22 unenforceable by any court of competent jurisdiction, such decision shall not  
23 affect the validity of the remaining provisions of this resolution. The Council  
24 hereby declares that it would have passed this resolution and each section,  
25 paragraph, sentence, clause, word or phrase thereof irrespective of any  
26 provisions being declared unconstitutional or otherwise invalid.

[ + Bracketed/Underscored Material + ] - New  
[ - Bracketed/Strikethrough Material - ] - Deletion

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ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME GHP, LLC  
AGENT Rio Grande Engineering  
ADDRESS 1606 Central SE, Suite 201  
PROJECT & APP # ~~1003523~~ 1003523  
PROJECT NAME grading & Drainage Plan

\$            441032/3424000 Conflict Management Fee

\$            441006/4983000 DRB Actions

\$            441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$            441018/4971000 Public Notification

\$ 800.<sup>00</sup> 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

\$ 800.<sup>00</sup> TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque  
Treasury Division

9/2/2005 11:19AM LOC: ANNX  
RECEIPT# 00048863 WSH 007 TRANSH 0038  
Account 441006 Fund 0110  
Activity 4983000 TRSEJA  
Trans Amt. \$800.00  
J24 Misc

\$800.00

MC \$800.00  
CHANGE \$0.00

Thank You

**ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services**

**PAID RECEIPT**

APPLICANT NAME GHP, LLC  
 AGENT Pio Grande Engineering  
 ADDRESS 1606 Central SE, Suite 201  
 PROJECT & APP # 1003523/05 DRB 01368, 01369, 01370  
 PROJECT NAME lands of Arisco Grant 2421

City of Albuquerque  
Treasury Division

8/26/2005 12:32PM LOC: ANNX  
 RECEIPT# 00045165 WSH 008 TRANSH 0017  
 Account 441018 Fund 0110  
 Activity 4971000 TRSCCS  
 Trans Amt \$2,170.00  
 J24 Misc

- \$ 20.00 441032/3424000 Conflict Management Fee
- \$ 2075.00 441006/4983000 DRB Actions
- \$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ 75.00 441018/4971000 Public Notification
- \$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
 Major/Minor Subdivision  Site Development Plan  Bldg Permit  
 Letter of Map Revision  Conditional Letter of Map Revision  
 Traffic Impact Study
- \$ 2170.00 TOTAL AMOUNT DUE

CK \$2,170.00  
 CHANGE \$0.00  
 \$75.00  
 Thank You

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

**Pio Grande Engineering**  
 1606 Central Ave SE Suite 201  
 Albuquerque New Mexico 87106

BANK OF THE WEST  
 THE ACADEMY OFFICE  
 1-800-488-2265  
 95-681/1070

10382

8/26/05

Pay to the Order of City of Albuquerque \$ 2170.00

Two thousand one hundred seventy dollars and 00/100

RECEIPT# 00045163 WSH 008 TRANSH 0017  
 Account 441032 Fund 0110  
 Activity 3424000 TRSCCS  
 Trans Amt \$2,170.00  
 J24 Misc

# 2421 Grant Vista

⑈010382⑈ ⑈107006813⑈ 285027249⑈

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from September 6, 2005 To September 21, 2005

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature]  
(Applicant or Agent)

8/26/05  
(Date)

I issued 2 signs for this application,

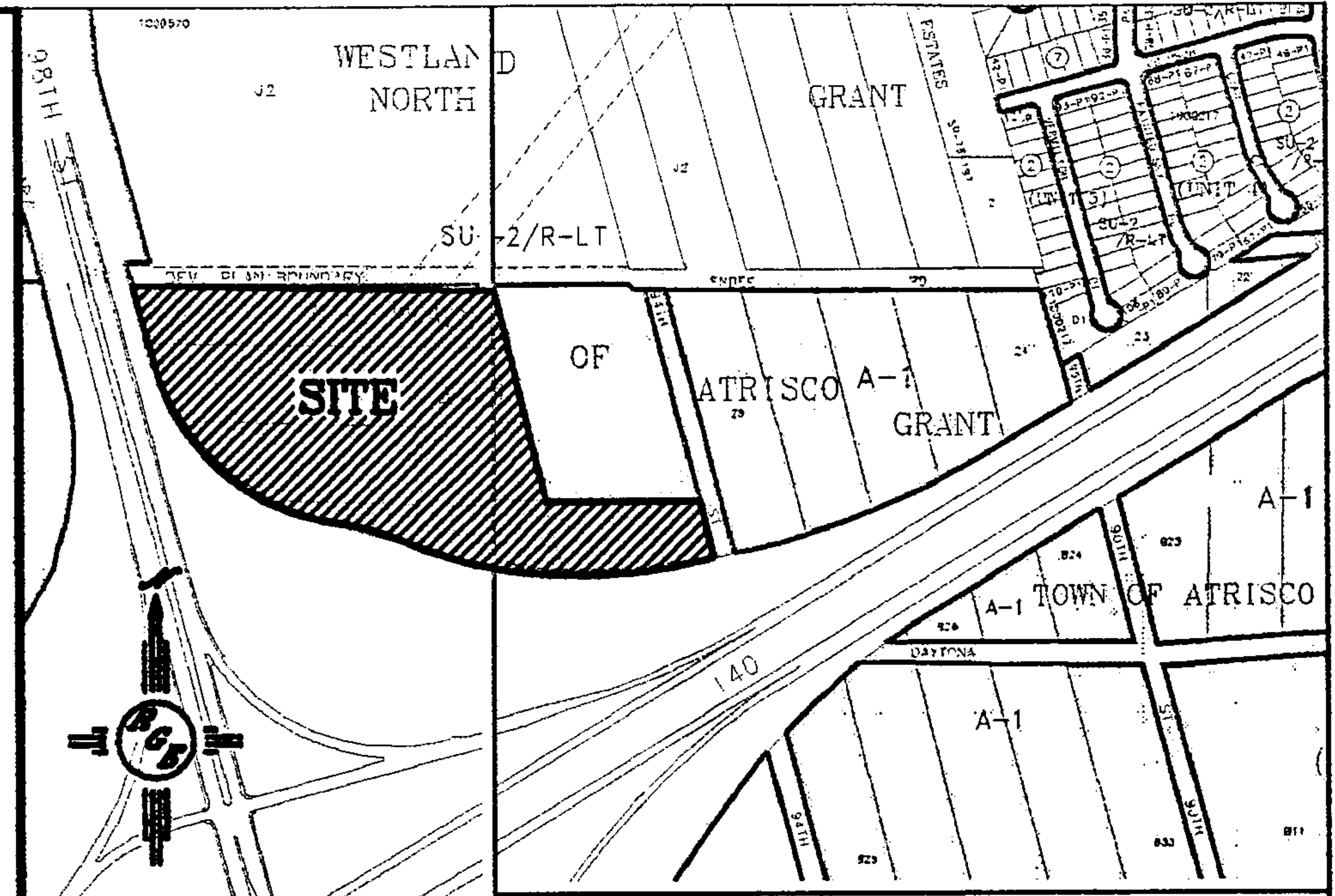
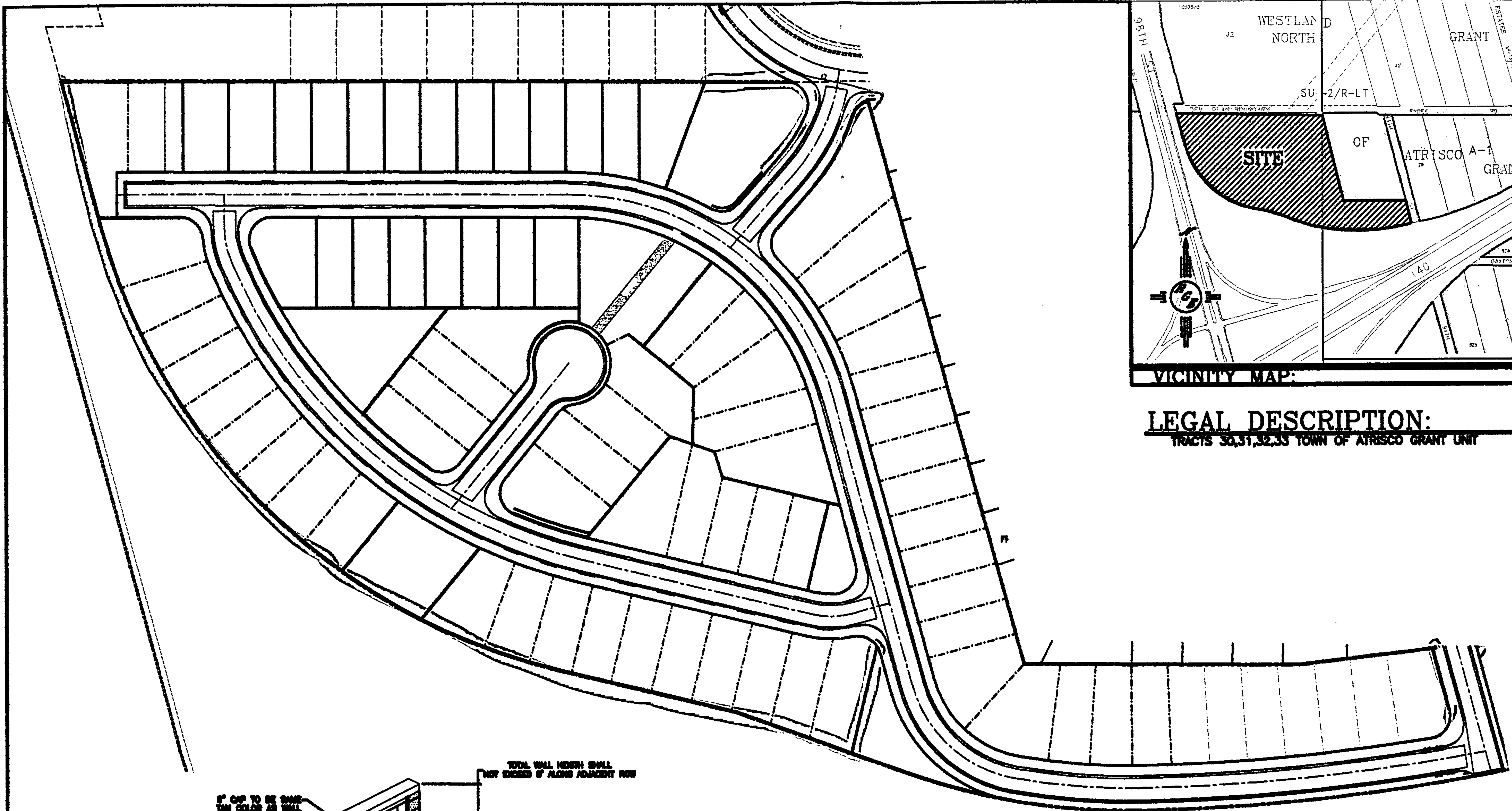
8/26/05  
(Date)

[Signature]  
(Staff Member)

DRB PROJECT NUMBER: 1003523





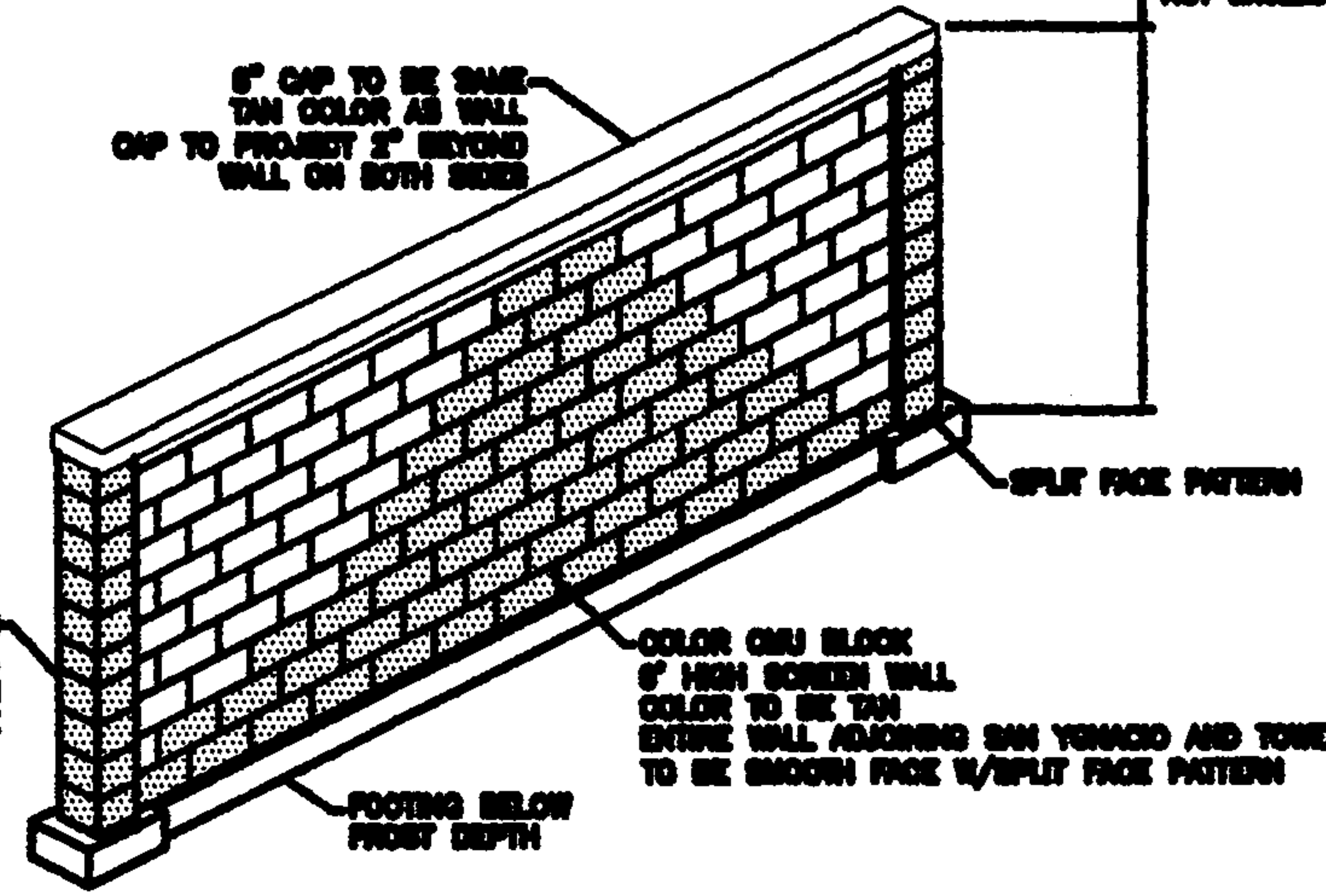


VICINITY MAP: J-8-7, J-9-7

**LEGAL DESCRIPTION:**  
 TRACTS 30,31,32,33 TOWN OF ATRISCO GRANT UNIT

6" CAP TO BE SAME TAN COLOR AS WALL  
 CAP TO PROJECT 2" BEYOND WALL ON BOTH SIDES

TOTAL WALL HEIGHT SHALL NOT EXCEED 6' ALONG ADJACENT ROW



12" BLOCK PLASTER @ 20' O.C.  
 PLASTER TO PROJECT 2" ON PUBLIC SIDE

COLOR GRU BLOCK 6" HIGH SCREEN WALL  
 COLOR TO BE TAN ENTIRE WALL ADJOINING SAN YERACIO AND TOWER TO BE SMOOTH FACE W/SPLIT FACE PATTERN

FOOTING BELOW FROST DEPTH

SPLIT FACE PATTERN

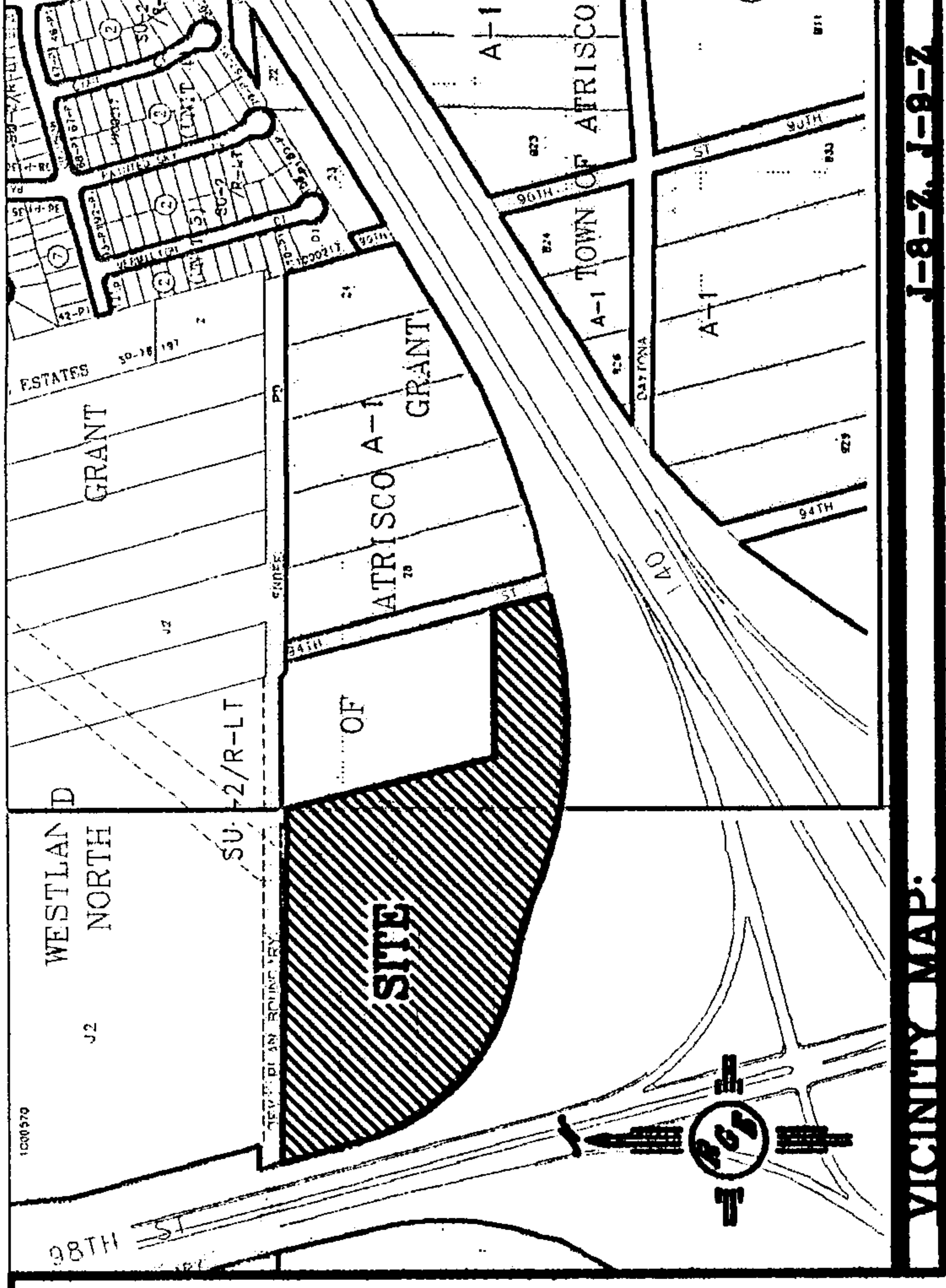
**6' SPLIT FACE TAN SCREEN WALL DETAIL**

**LEGEND**

- BOUNDARY LINE
- DOTTING BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY
- ===== SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED SCREEN WALL
- PROPOSED LOT LINE
- ===== PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER

ENGINEER'S SEAL	<b>PRIMA ENTRADA</b>	DRAWN BY WCHU
		DATE 11-14-05
	<b>WALL EXHIBIT</b>	2001-05-050-MU-001
	<i>Pio Grande Engineering</i>	SHEET 1
	1000 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 505.271.0000	JOB #
DAVID SOULE		DATE

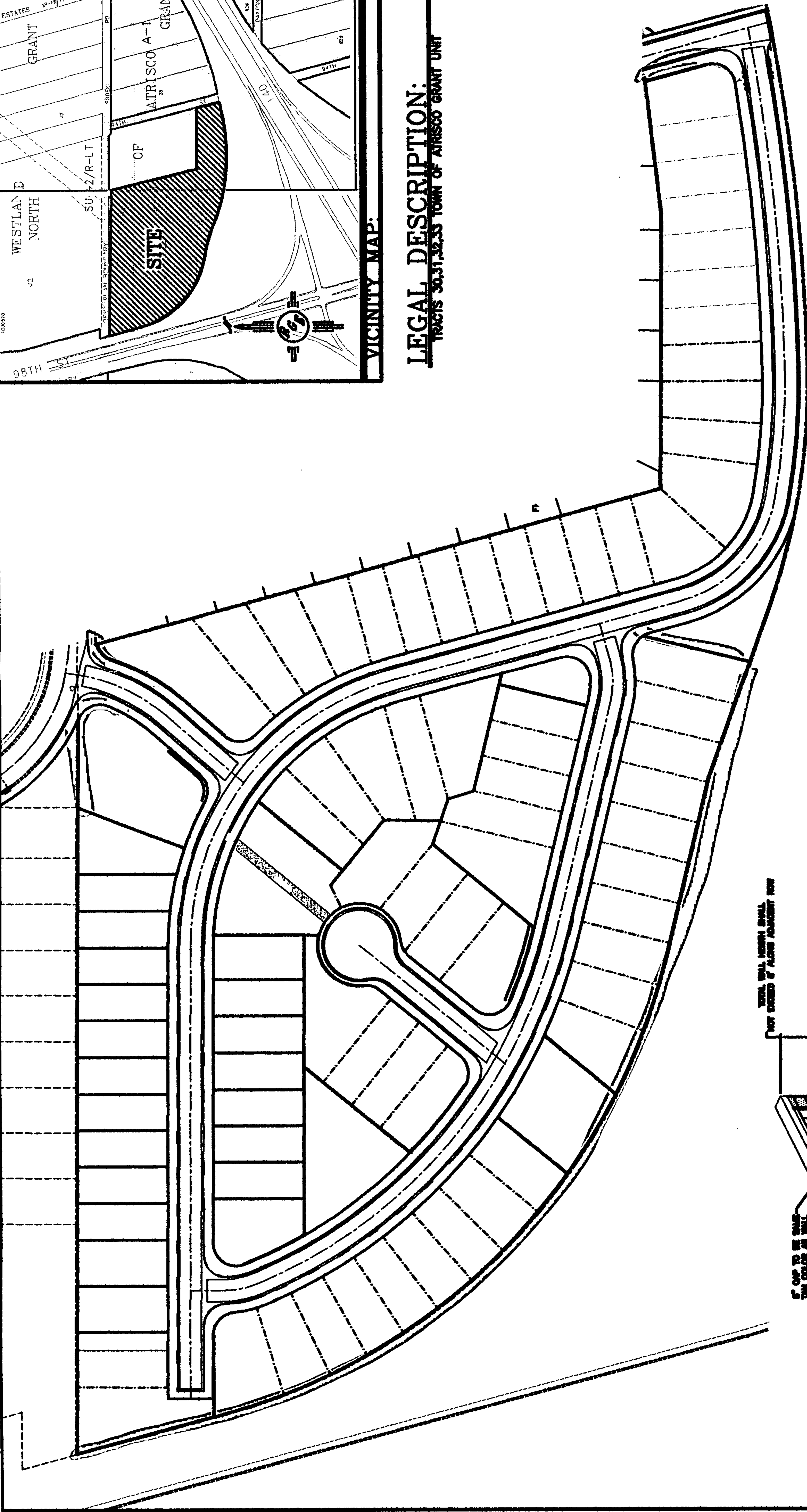




VICINITY MAP: J-8-Z, J-9-Z

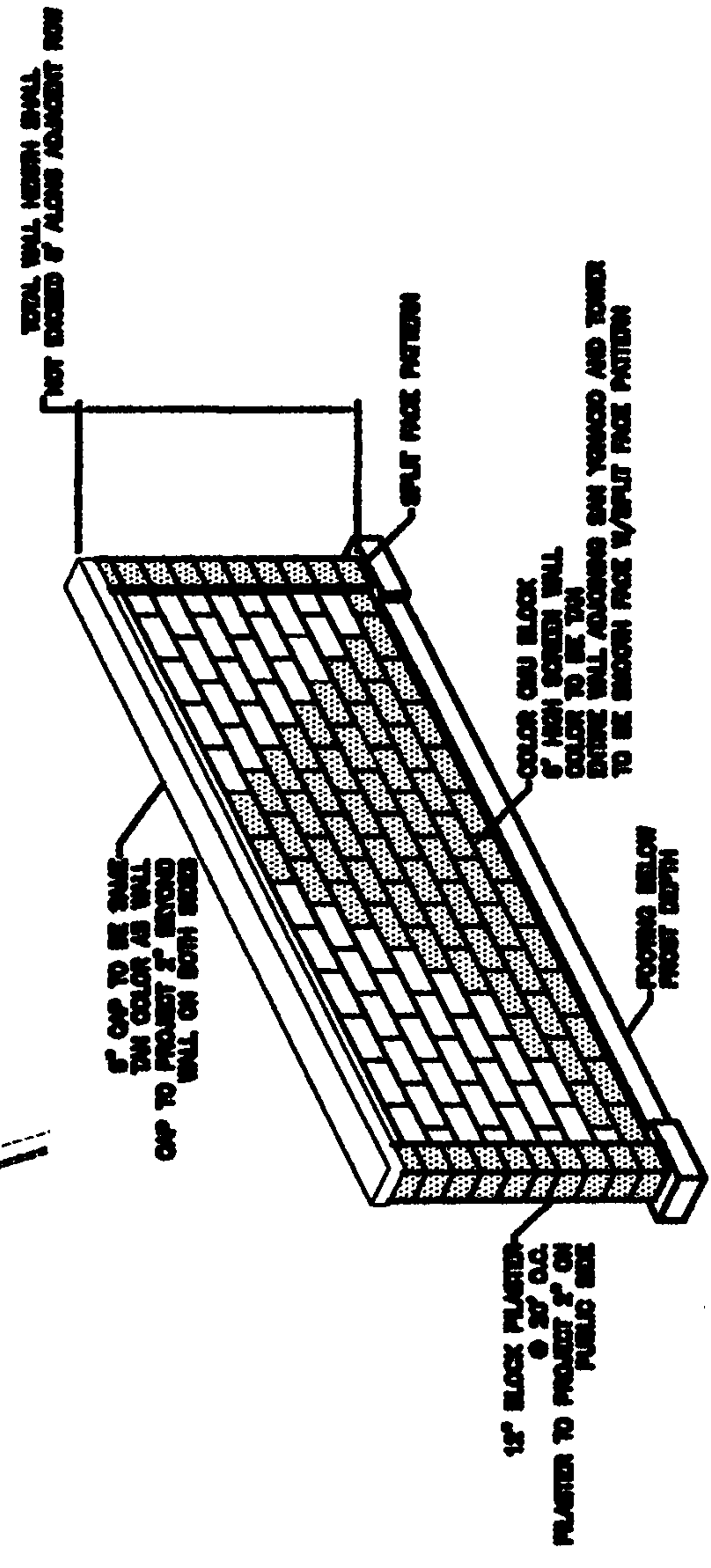
**LEGAL DESCRIPTION:**

TRACTS 30.31, 32.30 TOWN OF ATRISCO GRANT UNIT



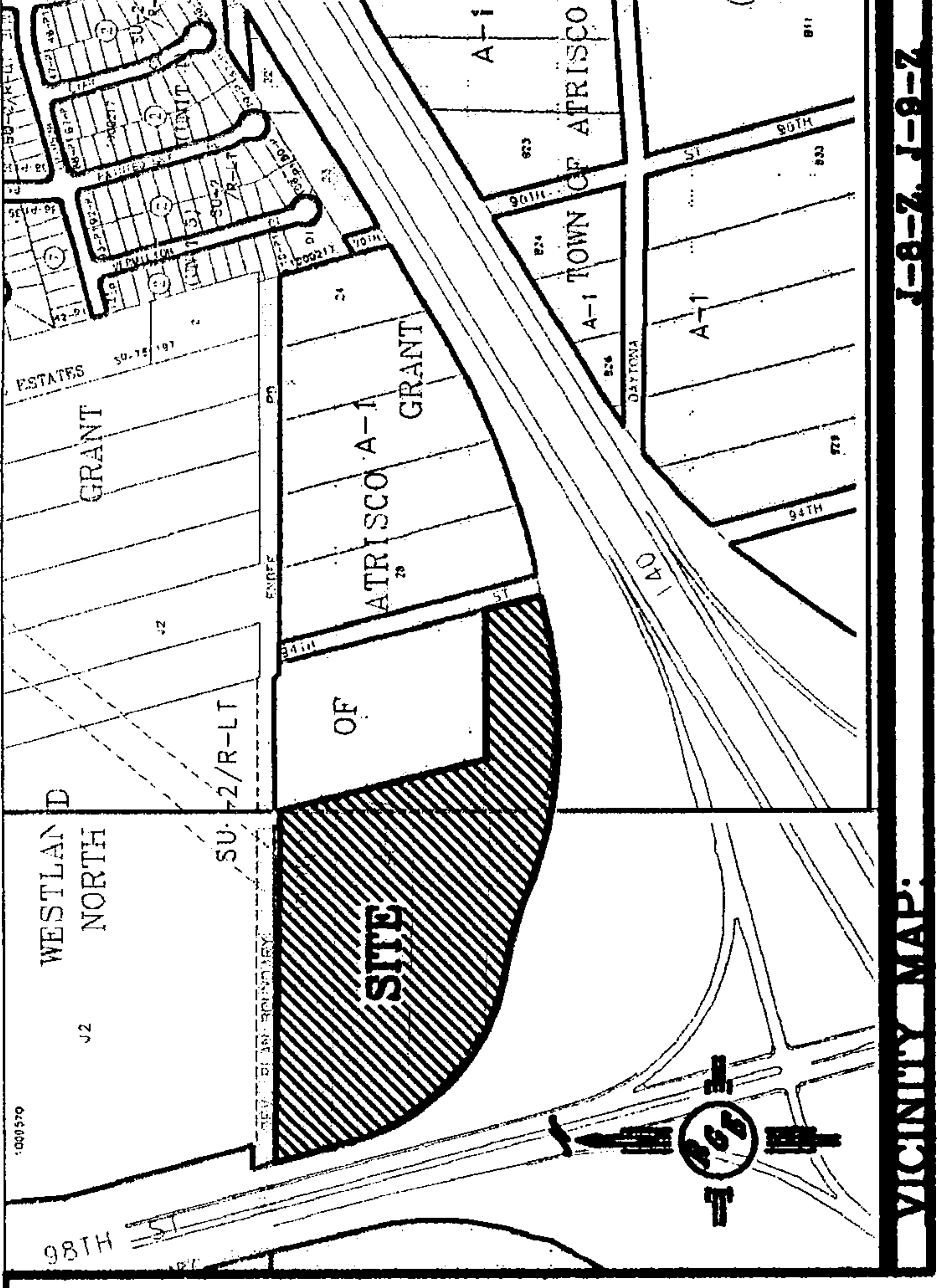
**LEGEND**

- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY
- SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED SCREEN WALL
- PROPOSED LOT LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER



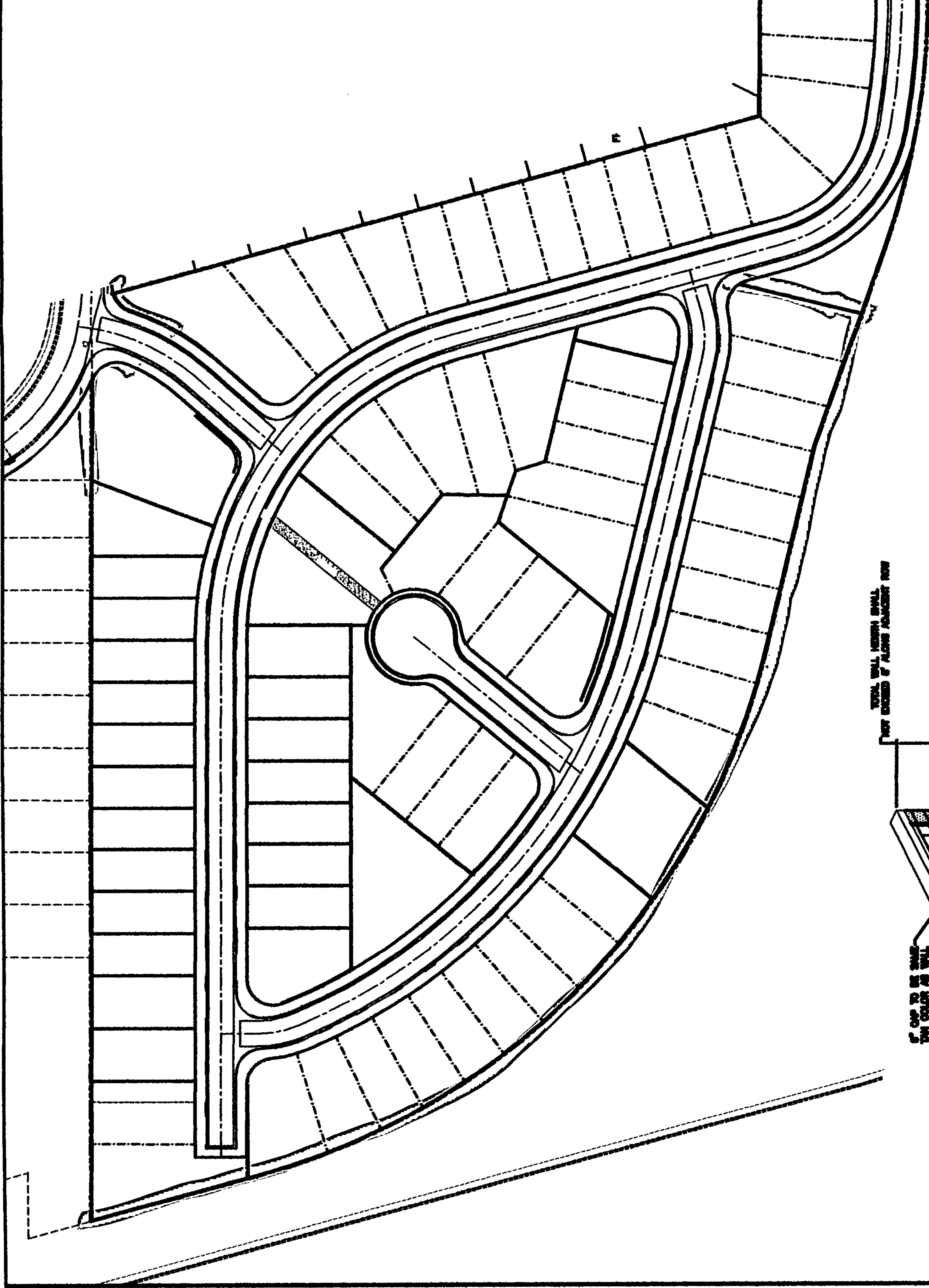
6' SPLIT FACE TAN SCREEN WALL DETAIL

ENGINEER'S SEAL	PRIMA ENTRADA	DESIGN BY MCMU	DATE	SHEET #	JOB #
			11-14-08		
				Rio Grande Engineering 1000 CENTRAL AVENUE SE ALBUQUERQUE, NM 87105 PHONE 505-261-1111	
				DWG. SCALE	



VICINITY MAP: J-8-7, J-9-7

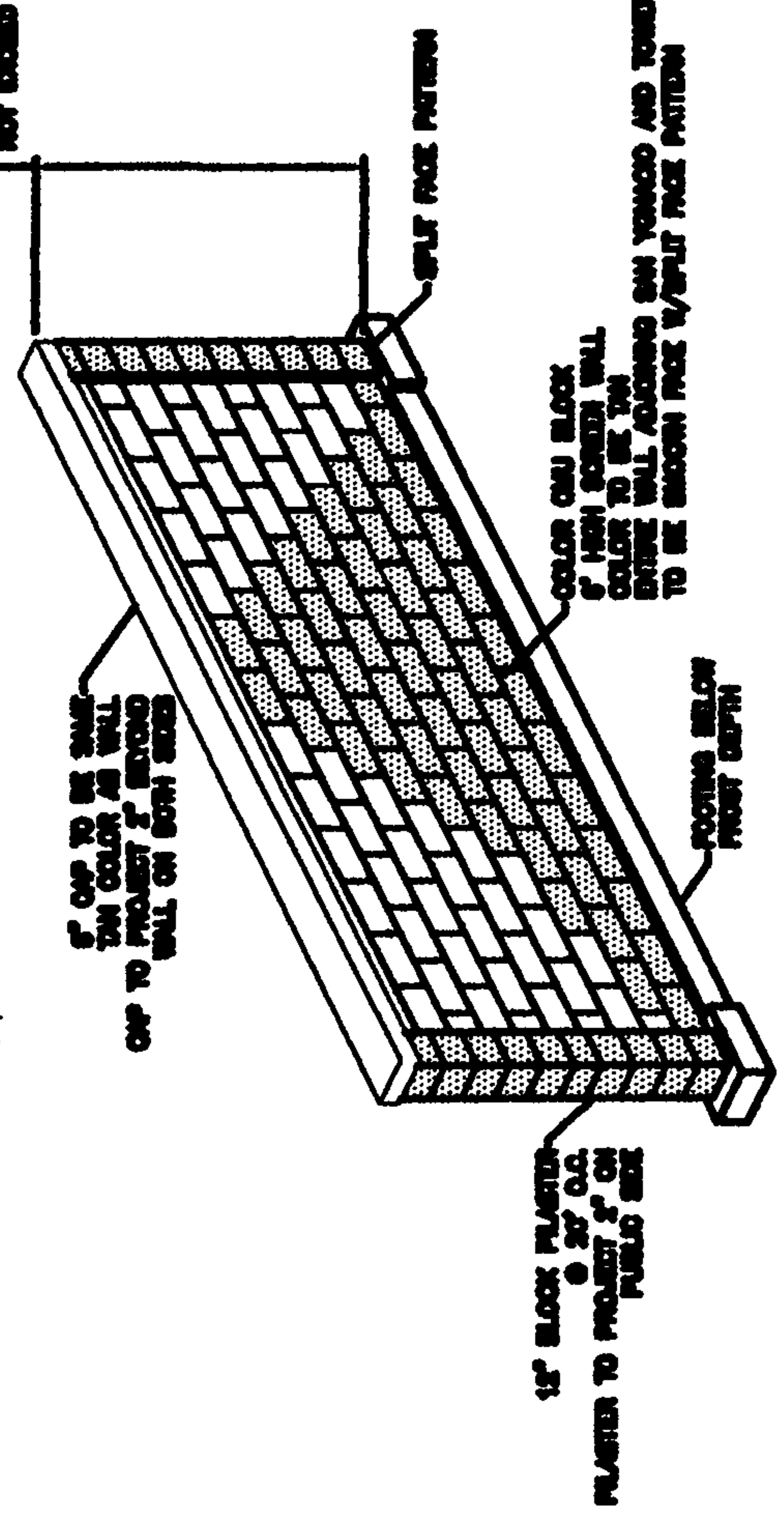
**LEGAL DESCRIPTION:**  
 TRACTS 30.31, 32.33 TOWN OF ATRISCO GRANT UNIT



**LEGEND**

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- CENTERLINE
- RIGHT-OF-WAY
- SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED SCREEN WALL
- PROPOSED LOT LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER

TOTAL WALL HEIGHT SHALL NOT EXCEED 6' ALONG ADJACENT ROW



6' CURB TO BE SAME AS EXISTING WALL ON TO PREVENT 2" SETBACK WALL ON BOTH SIDES

1 1/2" BLACK PLASTER @ 3/4" O.C. PLASTER TO PROJECT 1/2" ON PUBLIC SIDE

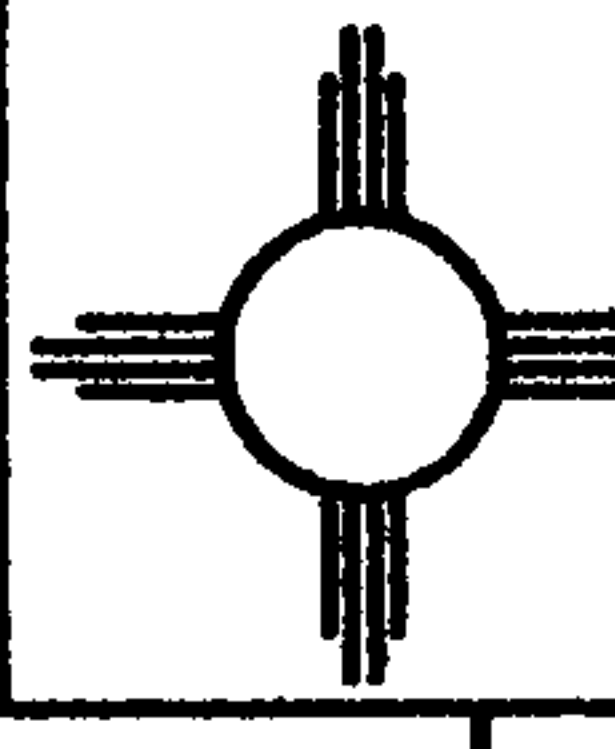
COLOR ORN BLOCK OF MAIN SCREEN WALL SHALL BE THE SAME AS EXISTING WALL ALONG ROW YANACCO AND TOWER TO BE SMOOTH FACE 1/4" RILEY FACE PATTERN

POSTING BELOW FOOTING CURB

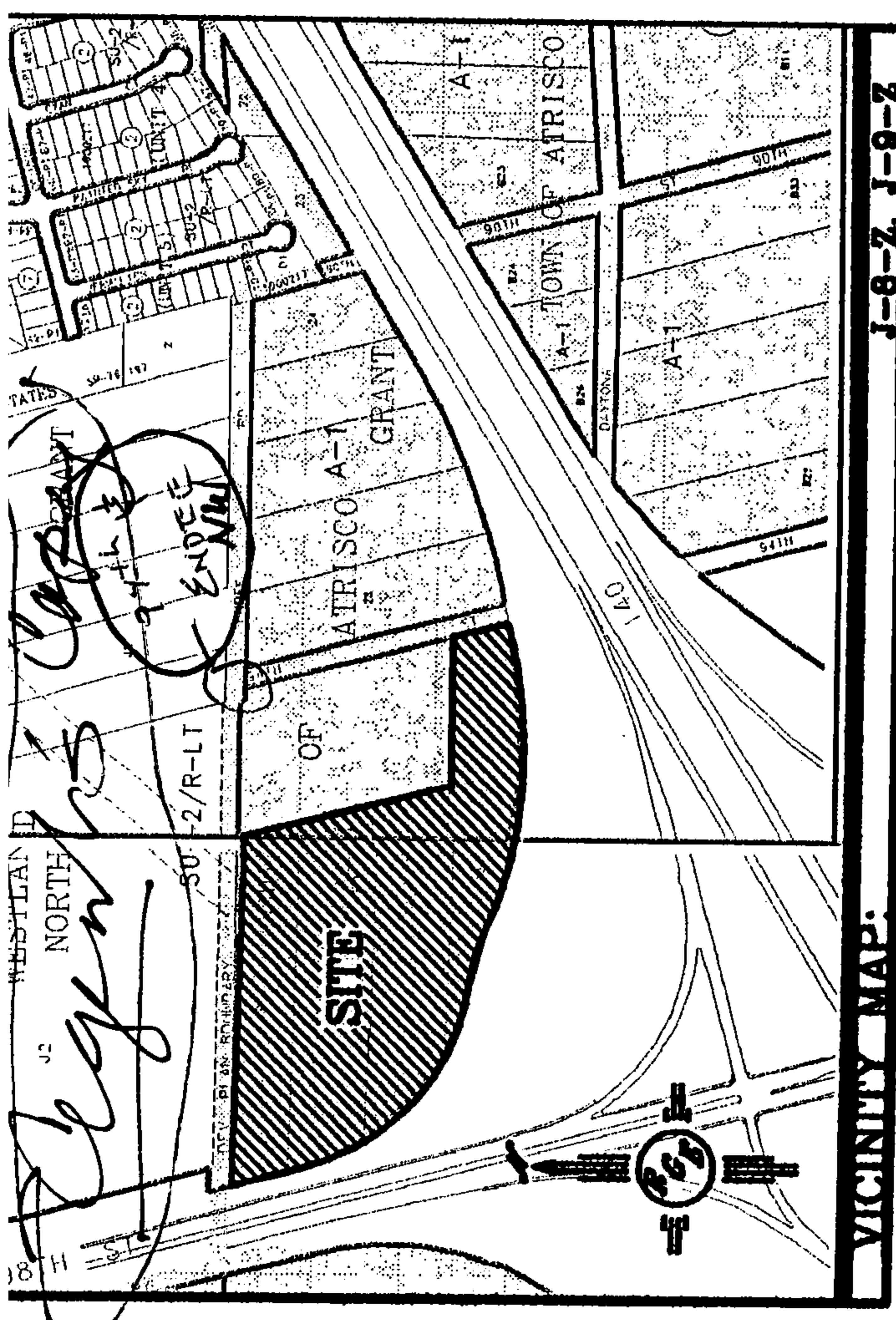
SPLIT FACE PATTERN

6' SPLIT FACE TAN SCREEN WALL DETAIL

ENGINEER'S SEAL	PRIMA ENTRADA	DRAWN BY MCMU
	WALL EXHIBIT	DATE 11-14-08
		100-08-000-000-000
		SHEET 1
		JOB #
		DATE



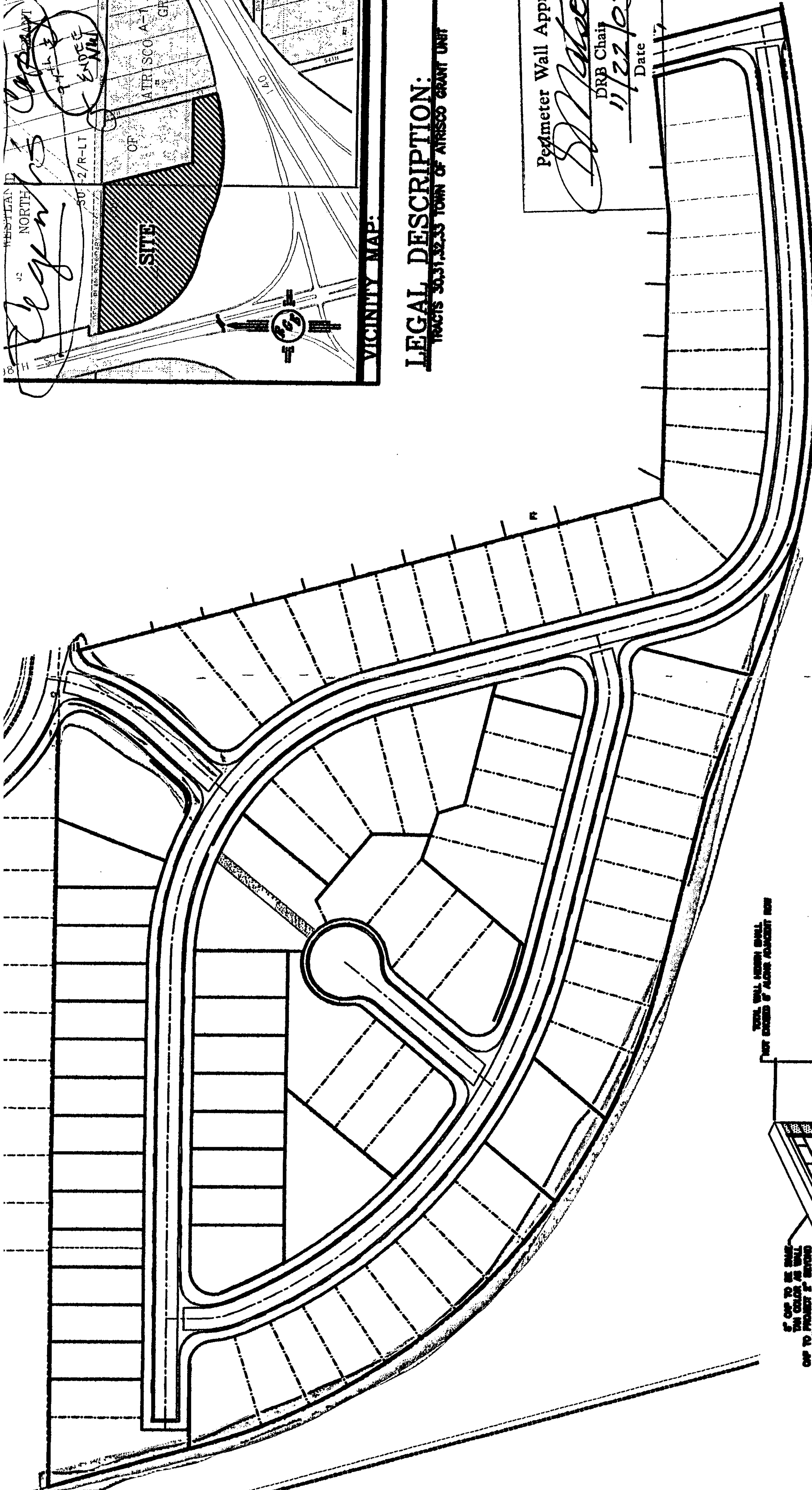
**Rio Grande Engineering**  
 1400 CANTON AVENUE SE  
 SUITE 201  
 ALBUQUERQUE, NM 87106  
 (505) 262-5200



VICINITY MAP: J-8-7. J-9-7

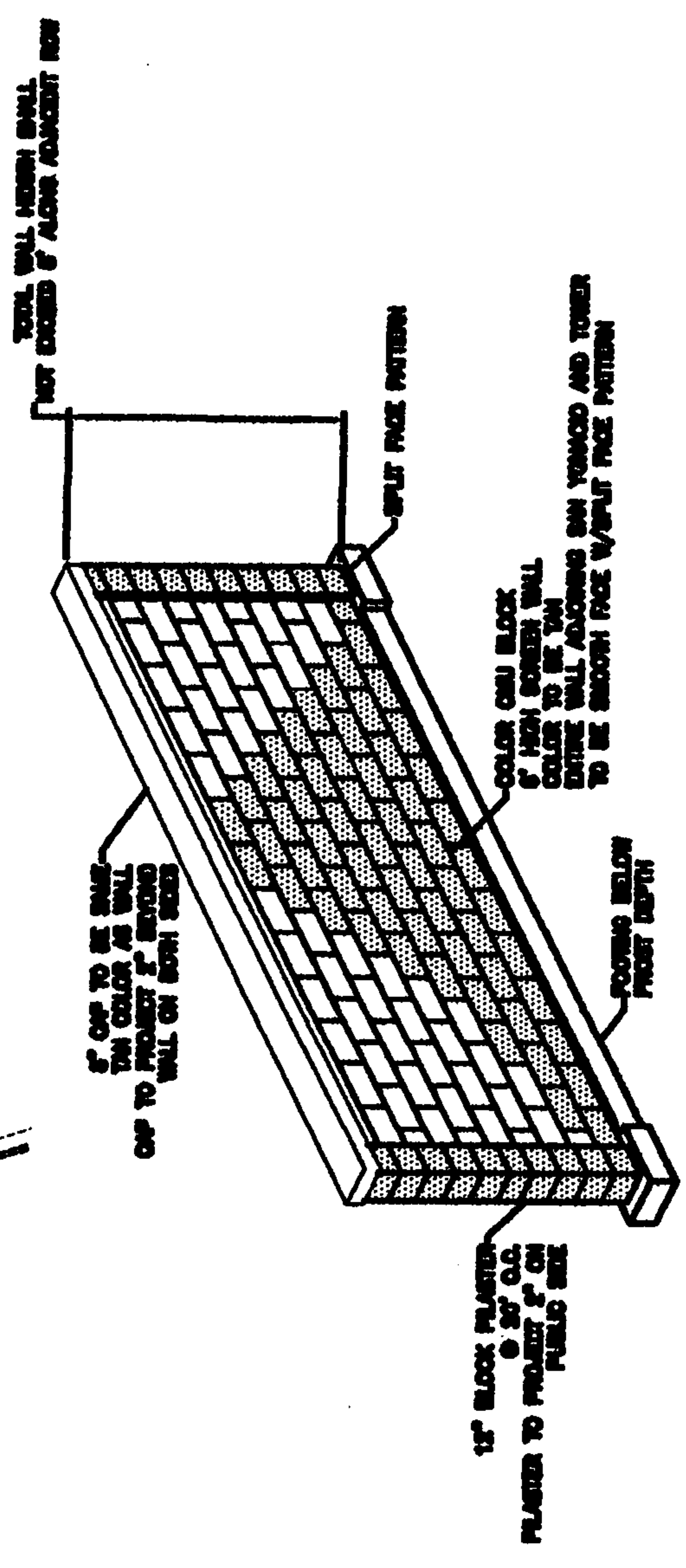
**LEGAL DESCRIPTION:**  
TRACTS 3031, 3233 TOWN OF ATARISCO GRANT UNIT

Pedimeter Wall Approved  
*[Signature]*  
 DRB Chair  
 11/22/05  
 Date



**LEGEND**

- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY
- SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED SCREEN WALL
- PROPOSED LOT LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER



6' SPLIT FACE TAN SCREEN WALL DETAIL

**DRB 10031523**

ENGINEER'S SEAL	PRIMA ENTRADA	DRAWN BY WCRU	SHEET #
	WALL EXHIBIT	DATE 11-14-05	---
		10031523-001-001	JOB # 2421
DAVID SULLIVAN P.E. #14322		<i>Rio Grande Engineering</i> 1905 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87105 (505) 261-2822	