

ZONE ATLAS  
J-8-Z AND J-9-Z

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEYS.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON THE ACS CONTROL MONUMENTS REWARD AND 3-H10, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE RECORD
6. GROSS ACREAGE: ~~14.34~~
7. NUMBER OF EXISTING TRACTS/LOTS: 2
8. NUMBER OF TRACTS/LOTS CREATED: 80
9. ACREAGE OF ROAD DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS: 2.1456 ACRES
10. ZONING:
11. RECORDS USED:
12. CITY OF ALBUQUERQUE ZONE ATLAS PAGE: J-8-Z AND J-9-Z
13. UCLS LOG NUMBER: 2005022564
14. ALL CORNERS FOUND AND USED IN THIS SURVEY WERE TAGGED WITH A BRASS DISK STAMPED "JGI 8911" UNLESS OTHERWISE INDICATED.
15. ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH PLASTIC CAP STAMPED "JGI 8911" OR A CONCRETE NAIL WITH A BRASS DISK STAMPED "JGI 8911".
16. FIELD SURVEY WERE PERFORMED IN THE MONTH OF AUGUST 2005
17. MILEAGE OF ROAD CREATED: 2.1456 ACRES

PUBLIC UTILITY EASEMENTS ON THE PLAT ARE THE COMMON JOINT USE OF

- A. PNM ELECTRICAL SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICES
- B. PNM GAS SERVICES FOR INSTALLATION MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS
- C. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES NECESSARY TO PROVIDE COMMUNICATIONS SERVICE, INCLUDED BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE TO PROVIDE CABLE TV SERVICE

INCLUDE THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND THE PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUB-SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING OR OTHER SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE RESPONSIBLE FOR CORRECTING AND VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY THE CONSTRUCTION OF POOLS, DECKING, OR AND STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

A TRACT OF LAND BEING DESCRIBED AS PORTION OF TRACT 29 AND ALL OF TRACT 30, 31, 32 AND 33 OF THE TOWN OF ATRISCO GRANT, UNIT 5, SITUATED WITHIN PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED ALSO BEING A POINT OF THE EASTERLY RIGHT OF WAY OF I-40, WHENCE FOR A TIE TO THE ACS MONUMENT REWARD BEARS S12°10'28"W, 1358.59 FEET DISTANCE TO A POINT; THENCE, S14°59'23"E, 161.80 FEET DISTANCE TO A POINT OF CURVATURE; THENCE, 730.10 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID CURVE HAVING A RADIUS OF 680.51 FEET AND A CHORD BEARING OF S45°43'22"E, 695.59 FEET DISTANCE) TO A POINT OF TANGENCY; THENCE, S76°26'35"E, 202.41 FEET TO A POINT; THENCE, S70°18'12"E, 197.43 FEET DISTANCE TO A POINT OF CURVATURE; THENCE, 260.23 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID CURVE HAVING A RADIUS OF 718.51 AND A CHORD BEARING OF S80°41'11"E, 258.81 FEET DISTANCE) TO A POINT OF COMPOUND CURVATURE; THENCE, 374.87 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE LEFT (SAID CURVE HAVING A RADIUS OF 2314.64 AND A CHORD BEARING OF N84°17'53"E, 374.46 FEET DISTANCE) TO A POINT OF TANGENCY AND BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF 94TH STREET NORTHWEST; THENCE, N14°58'18"W, 176.35 FEET DISTANCE LEAVING I-40 RIGHT OF WAY, ALONG 94TH STREET RIGHT OF WAY TO A POINT; THENCE, S89°58'45"W, 382.81 FEET DISTANCE LEAVING SAID RIGHT OF WAY TO A POINT; THENCE, N14°41'53"W, 606.84 FEET DISTANCE TO A POINT, ALSO BEING A POINT ON THE SOUTHERLY RIGHT OF WAY OF ENDEE ROAD NORTHWEST; THENCE, N89°48'03"W, 968.19 FEET DISTANCE TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED AND PLACE OF BEGINNING AND CONTAINING ~~14.34~~ ACRES, MORE OR LESS.

*FOR G.H.P. LLC 8-19-05*

*Revised*  
**PRELIMINARY PLAT OF  
PRIMA ENTRADA  
TOWN OF ATRISCO GRANT  
PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
ALBUQUERQUE, NEW MEXICO  
JULY 2005**

**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO CREATE EIGHT (80) LOTS FROM TWO (5) EXISTING TRACTS

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

CITY SURVEYOR

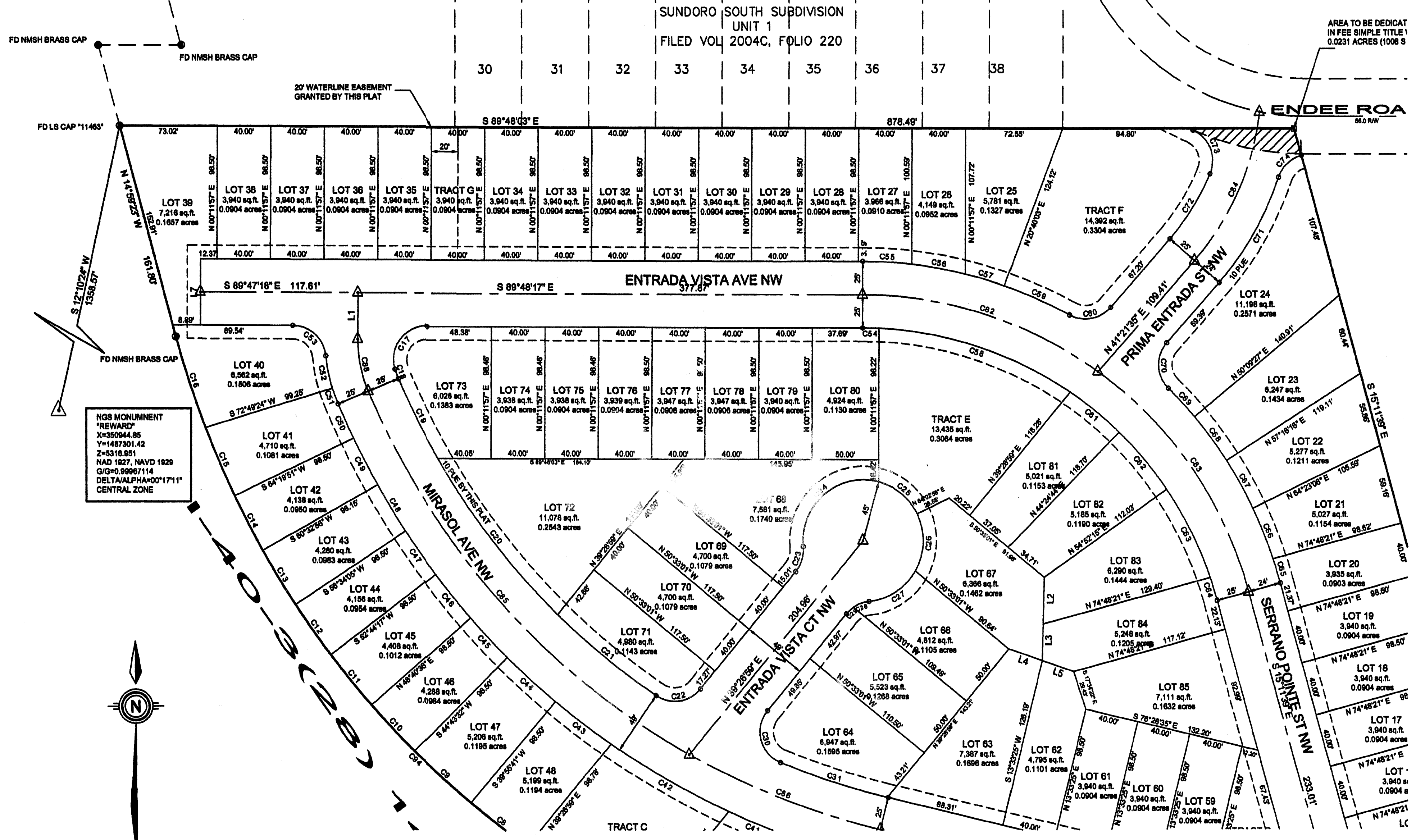
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DATE



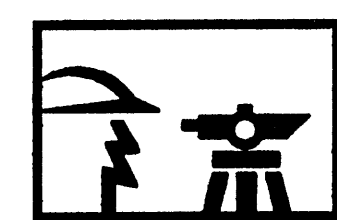
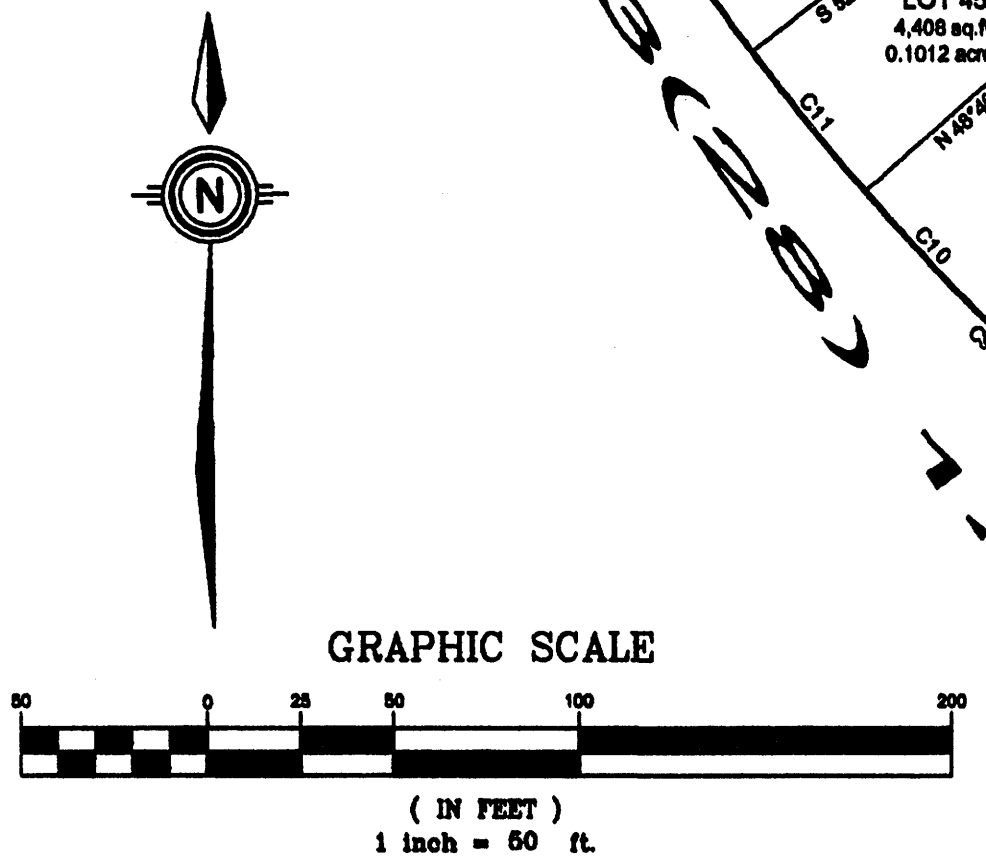
JORDAN AND GALLEGOS INC  
PO BOX 92584  
ALBUQUERQUE, NEW MEXICO 87199  
505-975-4567  
FAX 505-898-0816

**SHEET 1 OF 5**

**PLAT OF  
PRIMA ENTRADA  
TOWN OF ATRISCO GRANT  
PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
ALBUQUERQUE, NEW MEXICO  
JULY 2005**

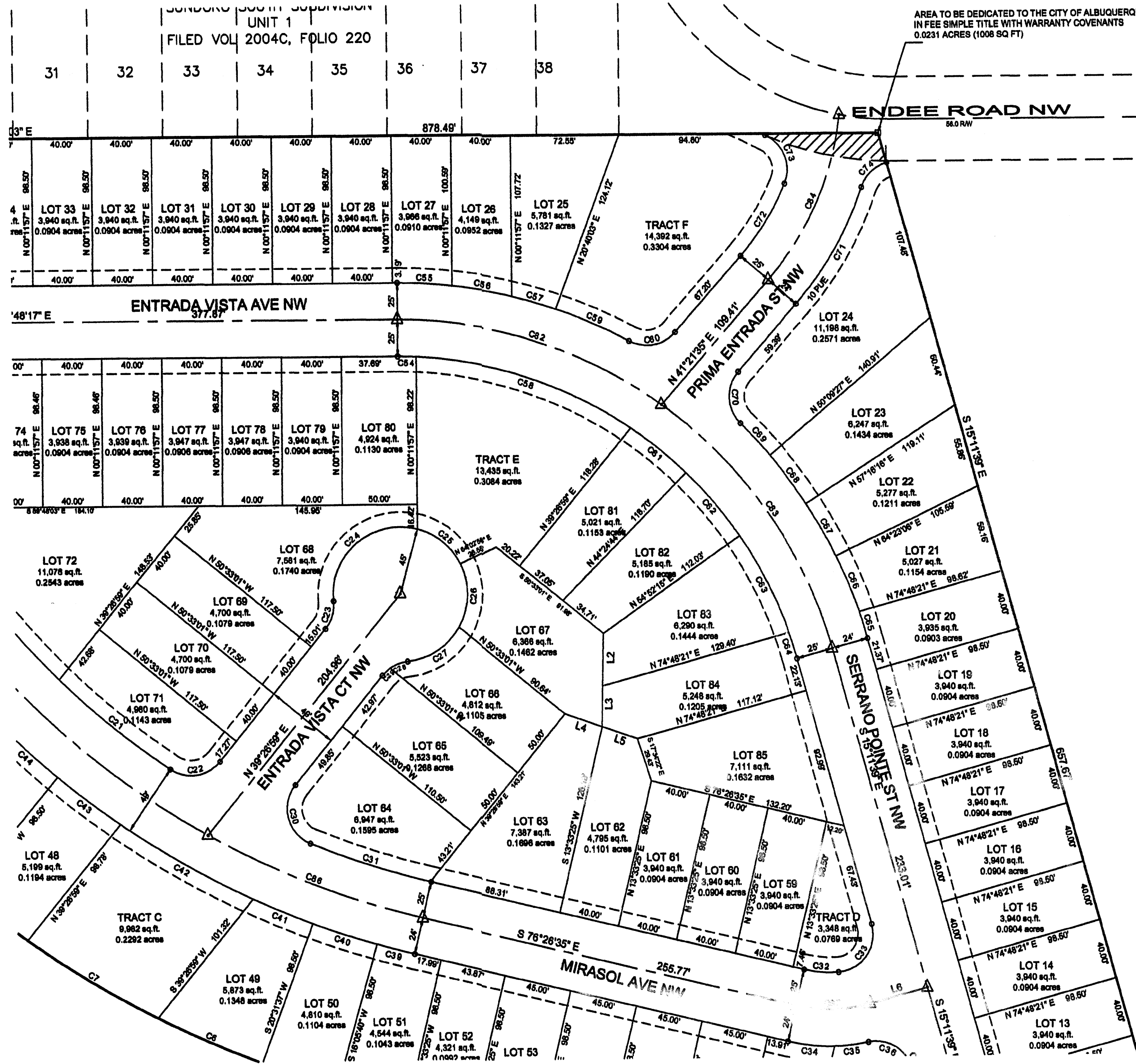


NGS MONUMENT "REWARD"  
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Y=1487301.42  
Z=5316.951  
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G/G=0.89967114  
DELTA/ALPHA=00°17'11"  
CENTRAL ZONE



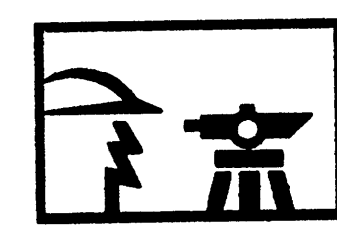
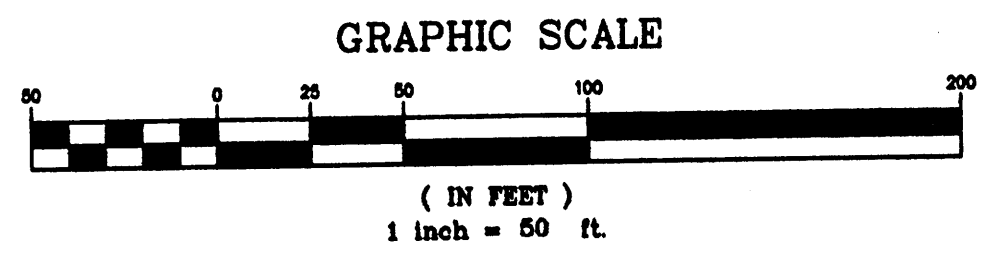
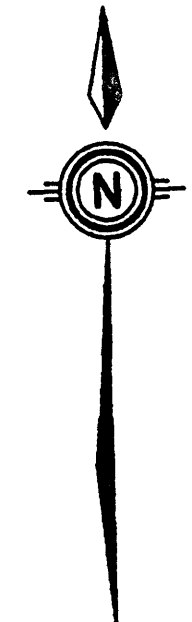
JORDAN AND GALLEGOS INC  
PO BOX 62584  
ALBUQUERQUE, NEW MEXICO 87169  
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PLAT OF  
PRIMA ENTRADA  
TOWN OF ATRISCO GRANT  
PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
ALBUQUERQUE, NEW MEXICO  
JULY 2005



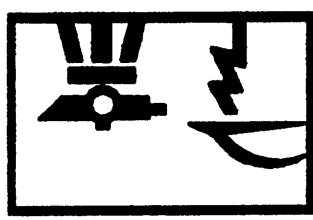
AREA TO BE DEDICATED TO THE CITY OF ALBUQUERQUE  
IN FEE SIMPLE TITLE WITH WARRANTY COVENANTS  
0.0231 ACRES (1008 SQ FT)

LANDS OF GRIEGO  
QUITCLAIM DEED  
(08/28/84, DOC#8474711)

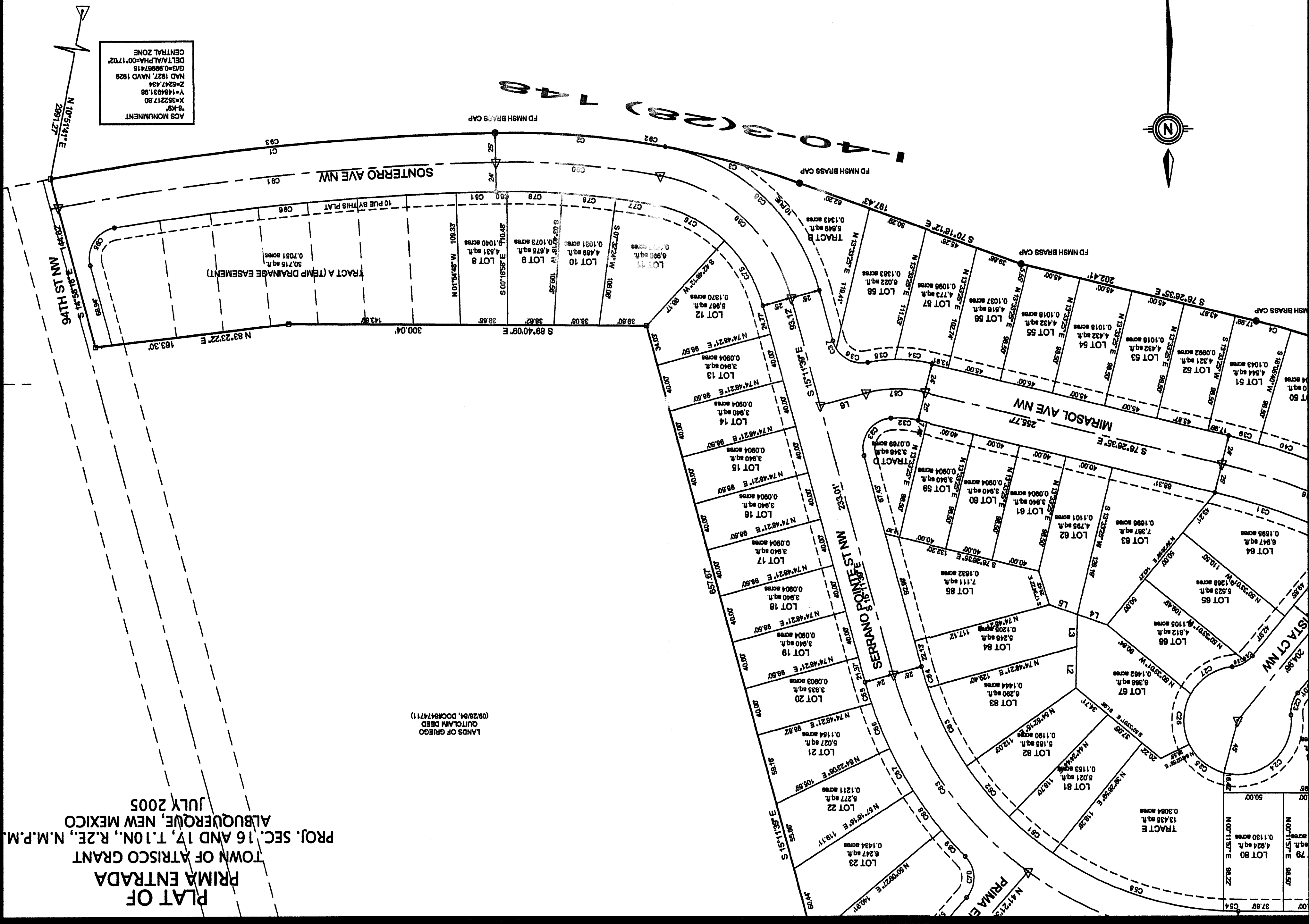
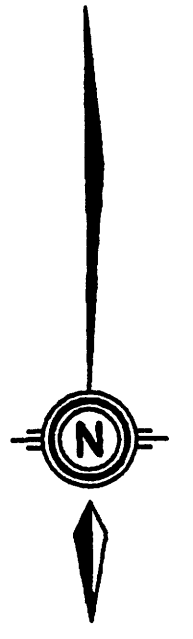
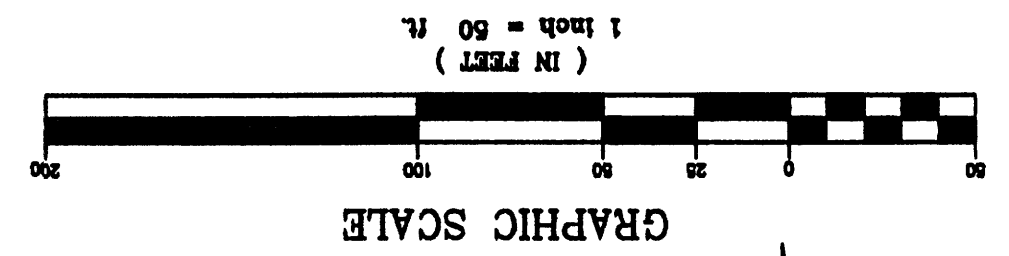


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JORDAN AND GALLEGOS INC  
P.O. BOX 93564  
ALBUQUERQUE, NEW MEXICO 87199  
505-975-4567  
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ACS MONUMENT  
6-K9  
Z=5247.434  
Y=144931.98  
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NAD 1987, NAVD 1929  
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CENTRAL ZONE

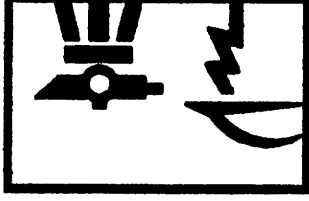


LANDS OF GREGO  
QUITCLAIM DEED  
(08/28/04, DOC#474711)

PLAT OF  
TOWN OF ATRISCO GRANT  
PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
ALBUQUERQUE, NEW MEXICO  
JULY 2005



JORDAN AND GALLEGO INC  
 PO BOX 22584  
 ALBUQUERQUE, NEW MEXICO 87189  
 505-875-1587  
 FAX 505-888-0816



CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD DISTANCE
C01	374.87	2301.47	9.1937	N84.1733E	374.86
C02	143.41	718.51	11.2808	S85.2040E	143.17
C03	116.82	718.51	9.1937	S74.8747E	116.89
C04	30.32	660.51	2.3310	S75.1056E	30.32
C05	62.65	660.51	4.2657	S71.4122E	62.63
C06	78.10	660.51	6.2426	S66.1810E	78.08
C07	101.14	660.51	8.3096	S58.4830E	101.08
C08	63.19	660.51	4.2842	S52.1840E	63.18
C09	66.86	660.51	4.4781	S47.4024E	66.86
C10	46.83	660.51	3.8704	S43.1756E	46.82
C11	48.24	660.51	4.0341	S38.1733E	48.23
C12	48.88	660.51	3.8498	S35.2048E	48.88
C13	48.81	480.84	3.817	S31.0128E	48.89
C14	43.29	480.40	3.3143	S28.0127E	43.27
C15	66.10	660.51	4.3822	S23.2086E	66.09
C16	71.77	660.51	6.0233	S18.0031E	71.73
C17	46.83	28.00	107.1888	S36.3228W	40.27
C18	7.84	78.00	6.4746	S20.0046E	7.63
C19	65.84	633.01	7.0818	S26.2726E	65.80
C20	146.88	633.01	16.4826	S37.6247E	146.12
C21	84.89	633.01	10.1238	S50.9148E	84.86
C22	36.91	28.00	84.3494	N81.4426E	33.64
C23	18.63	28.00	44.8498	N16.8704E	18.13
C24	66.86	48.00	110.3888	S48.4808W	73.99
C25	38.48	48.00	48.8931	N80.2828W	37.32
C26	43.80	48.00	66.4848	N01.6631E	42.09
C27	42.81	48.00	64.3804	N87.0746E	41.30
C28	12.81	28.00	80.0844W	S70.0844W	12.38
C29	7.12	28.00	18.1842	S47.3848W	7.10
C30	48.81	28.00	108.4888	S13.8731E	40.18
C31	64.11	633.01	9.0231	S71.5318E	64.03
C32	23.18	78.00	17.3438	S68.1354E	23.07
C33	44.15	28.00	101.1028	N38.2334E	38.63
C34	31.42	124.50	14.2735	S63.4023E	31.34
C35	22.80	124.50	10.3217	N83.4841E	22.87
C36	30.87	28.00	70.4836	N66.0338W	28.95
C37	9.76	28.00	18.2812	N22.8618W	8.74
C38	184.89	184.50	64.2857	S47.2437E	175.40
C39	28.83	662.01	2.3310	S78.1056E	28.83
C40	48.03	662.01	4.2657	S71.4122E	48.02
C41	43.12	662.01	4.4427	S67.2102E	43.11
C42	101.87	662.01	6.8887	S60.1342E	101.44
C43	62.38	662.01	6.0826	S62.3801E	62.37
C44	48.73	662.01	4.4781	S47.4024E	48.72
C45	40.14	662.01	3.8704	S43.1756E	40.13
C46	41.28	662.01	4.0341	S38.1733E	41.28
C47	38.80	662.01	3.8498	S35.2048E	38.80
C48	40.08	662.01	3.8638	S31.2736E	40.08
C49	38.78	662.01	3.4808	S24.1128E	38.78
C50	28.00	662.01	2.1822	S24.1128E	27.99
C51	12.46	124.50	8.4411	S20.0241E	12.46
C52	28.22	124.50	11.3820	S11.2226E	28.17
C53	38.78	28.00	84.1347	N47.1089W	38.83
C54	12.31	278.50	2.3326	N85.3114W	12.31
C55	38.88	324.50	6.3046	N66.3240W	38.87
C56	40.66	324.50	7.1043	N78.4158W	40.63
C57	30.38	324.50	6.2186	N73.2838W	30.38
C58	182.81	278.50	31.4801	N71.2028W	180.88
C59	63.38	324.50	9.2838	N66.0148W	63.33
C60	33.74	28.00	77.1828	N60.0118E	31.24
C61	47.37	278.50	9.8108	N50.3050W	47.32
C62	68.28	278.50	11.2855	N39.6019W	68.20
C63	72.97	278.50	18.1032	N28.3008W	72.78
C64	17.88	278.50	3.4310	N17.1418W	17.88
C65	324.50	3.1731	N18.8024W		18.64
C66	40.38	324.50	7.0744	N22.0327W	40.38
C67	48.29	324.50	7.8848	N28.1018W	48.28
C68	324.50	7.0848	N36.1708W		40.28
C69	29.10	324.50	8.0818	N42.2442W	28.08
C70	37.87	28.00	88.2028	S01.4838E	34.21
C71	80.08	224.50	22.8868	N28.8206E	88.48
C72	68.88	178.50	18.3346	N32.0443E	68.81
C73	38.70	28.00	88.4088	N21.3238W	34.88
C74	24.37	28.00	88.6188	N46.1818W	23.42
C75	63.41	118.80	31.2728	S30.8822E	62.62
C76	66.47	118.80	32.8830	S63.0821E	66.86
C77	33.11	668.81	2.8000	S81.0238E	33.11
C78	48.20	668.81	3.8206	S84.2338E	48.18
C79	48.20	668.81	3.8206	S7.2306	48.20
C80	8.11	668.81	0.7	N8.2306E	8.11
C81	328.38	328.38			328.38
C82	280.23	718.81	20.4808	S80.4111E	288.81
C83	374.87	2314.84	9.1846	N84.1733E	374.88
C84	730.10	680.81	81.2818	S45.4322E	688.89
C85	41.88	28.00	88.8848	N32.4818E	37.18
C86	288.04	2288.84	7.1703	N84.2840E	287.89

LINE	LENGTH	BEARING
L1	34.44	N00.1187E
L2	34.87	S01.1828W
L3	27.80	S01.1828W
L4	26.10	S70.1437E
L5	26.91	S70.1437E
L6	38.71	N74.831E
L7	48.00	S00.0000E

PLAT OF  
 PRIMA ENTRADA  
 TOWN OF ATRISCO GRANT  
 PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
 ALBUQUERQUE, NEW MEXICO  
 JULY 2005







**PRIMA ENTRADA  
DESIGN STANDARDS**

**GENERAL REQUIREMENTS**

- 1.) Only single family detached residents. No home retail or service type businesses that generate additional traffic, group homes or assisted living facilities.
- 2.) One lot, one house. No further subdivision or combining of lots.
- 3.) Minimum heated square footage (excludes garages, storage sheds, covered patios, porches, breezeways etc.) shall be 1300 square feet.
- 4.) Homes or any other structures placed on any lot may not exceed two stories and shall be limited to a maximum height of 26 feet. The height of a structure is considered to be the vertical difference between the lot pad elevation as shown on the approved subdivision grading and drainage plan and the elevation of the highest point on the roof line.
- 5.) The front yard setback for any two story structure is 25 feet rather than the usual 20 feet. No more than two out of three consecutive two story homes that are on the same side of the street may be placed at the same front setback; at least one of the three must have a setback that is at least two feet greater than the other two.
- 6.) All homes must have at least a two car garage.
- 7.) Three car garages are allowed only if the combined width of the front facade of all the garage doors does not exceed 50% of the total width of the lot at the front setback line.
- 8.) The maximum allowable height of the garage door of a third garage bay that will be used for RV storage is 9 feet.
- 9.) Garages may not be enclosed to convert them to living space.
- 10.) Within the front yard area, but set back at least 15 feet from the front property line, homeowners may display a standard sized American Flag from a wall mounted standard or from a residentially sealed flag pole, not to exceed 18 feet in height. Proper flag etiquette must be observed (flag not torn or faded, right side up, lighted at night etc.)

**COLORS, MATERIALS, ARCHITECTURAL STYLE**

- 11.) The primary exterior finishes of all residences, structures or improvements on the lots shall be either stucco, stone or brick in white, natural earthen colors or other subdued colors that would be compatible with pre existing adjacent homes and compatible to the standard established to the neighborhood. Wood, adobe and rock may be used as secondary exterior finishes in a more limited capacity as trim or accent materials provided they do not clash with the parent structure, are compatible with pre existing adjacent homes and complimentary to the standard established for the neighborhood.
- 12.) Allowable roofing materials for homes with pitched roofs are clay or concrete tiles in subdued earthen colors, flat slate, clay or concrete tile in subdued earthen colors and deep shadow composites shingles in subdued earthen colors; except that composite shingle roofs may not be used on lots that are adjacent to Ladera Drive or Arroyo Vista Blvd. No metal roofs are allowed.
- 13.) Patio covers, elevated decks, cabanas, gazebos and storage buildings that are constructed subsequent to the initial home construction, shall be of scale, architectural style, materials colors and textures that are compatible with the original home and complimentary to the standard established for the neighborhood and they must be reviewed and approved by the Architectural Committee prior to construction.
- 14.) Air conditioning, heating and other machinery and mechanical equipment may not be located on those portions of the roof where they would be visible to a person driving on the public streets. It would be preferable to have such mechanical equipment ground mounted on a pad located in the rear yard or side yard behind the return walls.
- 15.) All roof mounted machinery, mechanical equipment, vent pipes, duct work, exhaust fans and other protrusions must be painted to match the finish color of the house, the house trim or the roof covering material so that it blends in and is compatible with the parent structure. On flat roofed pueblo or territorial style homes, the parapets should be high enough to screen these items from the view of a person driving on the public streets.

**WALLS**

- 16.) All internal rear yard and side yard property line walls shall be coral colored CMU construction and shall be built to a minimum height of six courses plus cap above the finished grade on the high-side of the wall.

- 17.) All side yard return walls shall be constructed of either coral, cibola red or basalt black split face block with the split surface facing the street, or smooth black stucco to match the house, or stone or brick masonry that matches the house and is complementary to the standard established for the neighborhood.
- 18.) Courtyard walls shall not extend forward of the front of the front setback line and shall be constructed of either coral, cibola red or basalt black split face block with the split surface facing the street, or smooth black stucco to match the house, or stone or brick masonry that matches the house and is complementary to the standard established for the neighborhood.
- 19.) If a side yard return wall or a courtyard wall is subsequently raised or otherwise modified, it must either be finished to match the original wall or completely reconstructed to one of the approved standards stated herein.
- 20.) Rear yard gates and courtyard gates must be constructed of either wrought iron or wood pickets painted to match the house. Wrought iron gates may be backed with extruded metal mesh painted the same color as the gate. Chain link, split cedar or corrugated metal or composite gates are not allowed.
- 21.) No chain link, welded wire, smooth wire, barbed wire, welded pipe or split cedar fences are allowed to be constructed on any lot in a location where they would be visible to a person driving on the public streets.

**PARKING**

- 22.) No storage or long term parking of boats, campers, trailers, recreational or commercial vehicles is permitted on any lot, except they may be stored within an enclosed garage or in side and rear yard areas where they would not be visible to a person driving on the public streets. Short term, infrequent parking (not to exceed 24 hours) of these vehicles is permitted for loading, unloading, cleaning or maintenance.
- 23.) No long term parking (more than four days) of inoperable motorized vehicles of any kind is allowed on the streets within the subdivision or on any lot in an area where there would be visible to a person driving on the public streets.

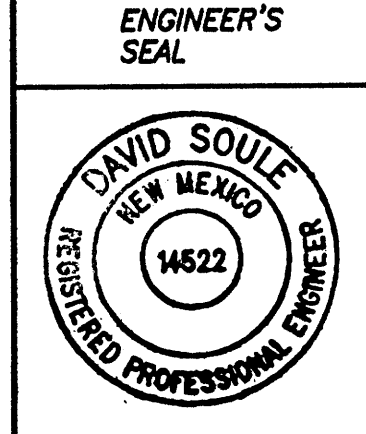
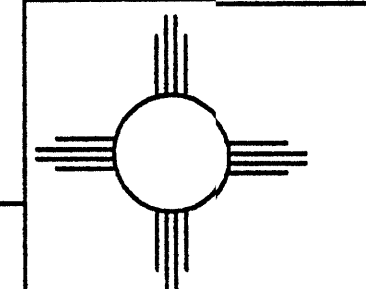
**LANDSCAPING**

- 24.) Immediately upon completion of construction of the home thereon, all front yards and side yards on corner lots shall be landscaped to comply with the following minimum standards:

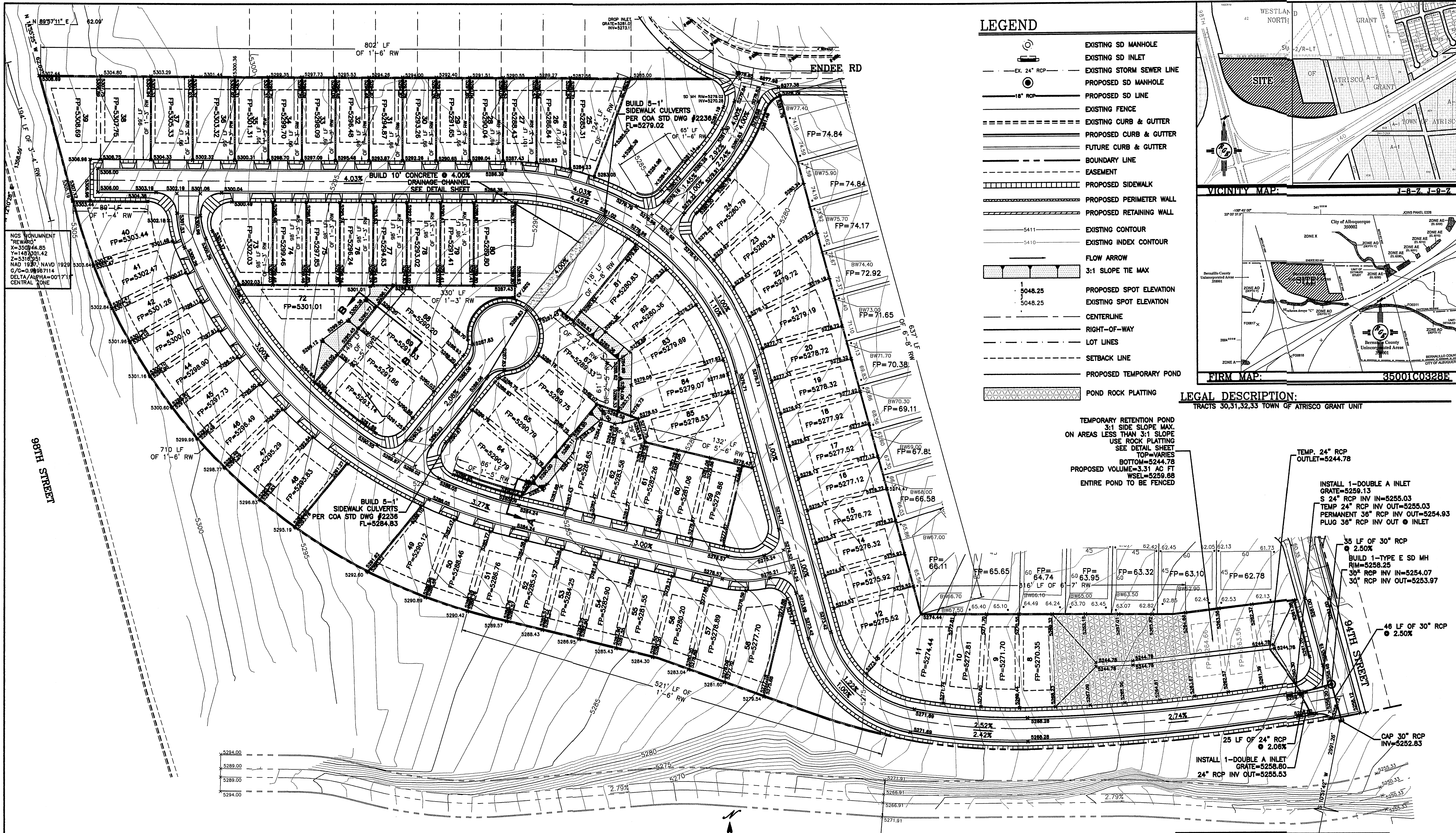
- The landscape area includes the entirety of the area located in front of the side yard wall returns that is not covered by concrete lead walks and drive pads. It also includes that portion of the public street right-of-way that lies between the back of the curb and the front edge of the sidewalk, which the homeowner is required to maintain.
- Not more than 75% of the landscape area may be covered with gravel or crushed rock.
- When gravel ground cover is used adjacent to drive pads, sidewalks or the curb, the ground must be lowered at least 5" below the top surface of the concrete for a distance of at least 30" back from the edge of the pavement so that the top surface of the gravel ground cover will be at least 2" below the top surface of the adjacent pavement.
- Light weight volcanic rock or colored scoria that can be easily blown, washed or kicked out of place may not be placed within 48" from the edge of any drive pads, sidewalks or the curb. Only minimum 3/4" diameter aggregate may be used in these areas.
- The use of larger cobbles and aggregates of contrasting subdued earthen colors is encouraged.
- The use of red colored aggregate should be limited to accents only; white, green, blue or other bright colored aggregates are not permitted.
- Tree bark or wood chips are not permitted for use as ground cover, except they may be used in limited amounts as a mulching material in planting beds or tree rings.
- At least 25% of the landscape area must be covered with a living ground cover and/or committed to planting beds, xeric gardens or ornamental landscape features. Landscape boulders, mounding and vertical elements less than 3 feet high are encouraged. Species selected from the approved plant list are recommended.
- A minimum of one deciduous or evergreen tree of a species selected from the approved plant list is required for each 1,000 square feet of landscape area or any remaining portion thereof.

- A minimum of one five-gallon plant or shrub is required for each 150 square feet of landscape area or any remaining portion thereof, with a minimum of 3 required on every lot. Species selected from the approved plant list are recommended.
- A minimum of one one-gallon plant is required for each 75 square feet of landscape area or any remaining portion thereof, with a minimum of 10 required on every lot. Species selected from the approved plant list are recommended.
- The required plant minimums listed herein must be maintained by all lot owners; required plants that die must be replaced as soon as weather conditions and growing seasons allow.
- Immediately upon the completion of the home thereon, all lots having rear yards that abut or adjoin Ladera Drive or 98th Street/ Arroyo Vista Boulevard shall have planted in the rear yard at least one 2" caliper deciduous or evergreen tree of a species selected from the approved plant list. The owners of these lots shall be required to permanently maintain these required trees and if necessary, to replace any that die.

- 25.) The use of non living objects such as driftwood, petrified wood, animal skulls, wagon wheels, and other similar items, for landscape accent materials is generally discouraged and will only be allowed with specific approval of the ACC.

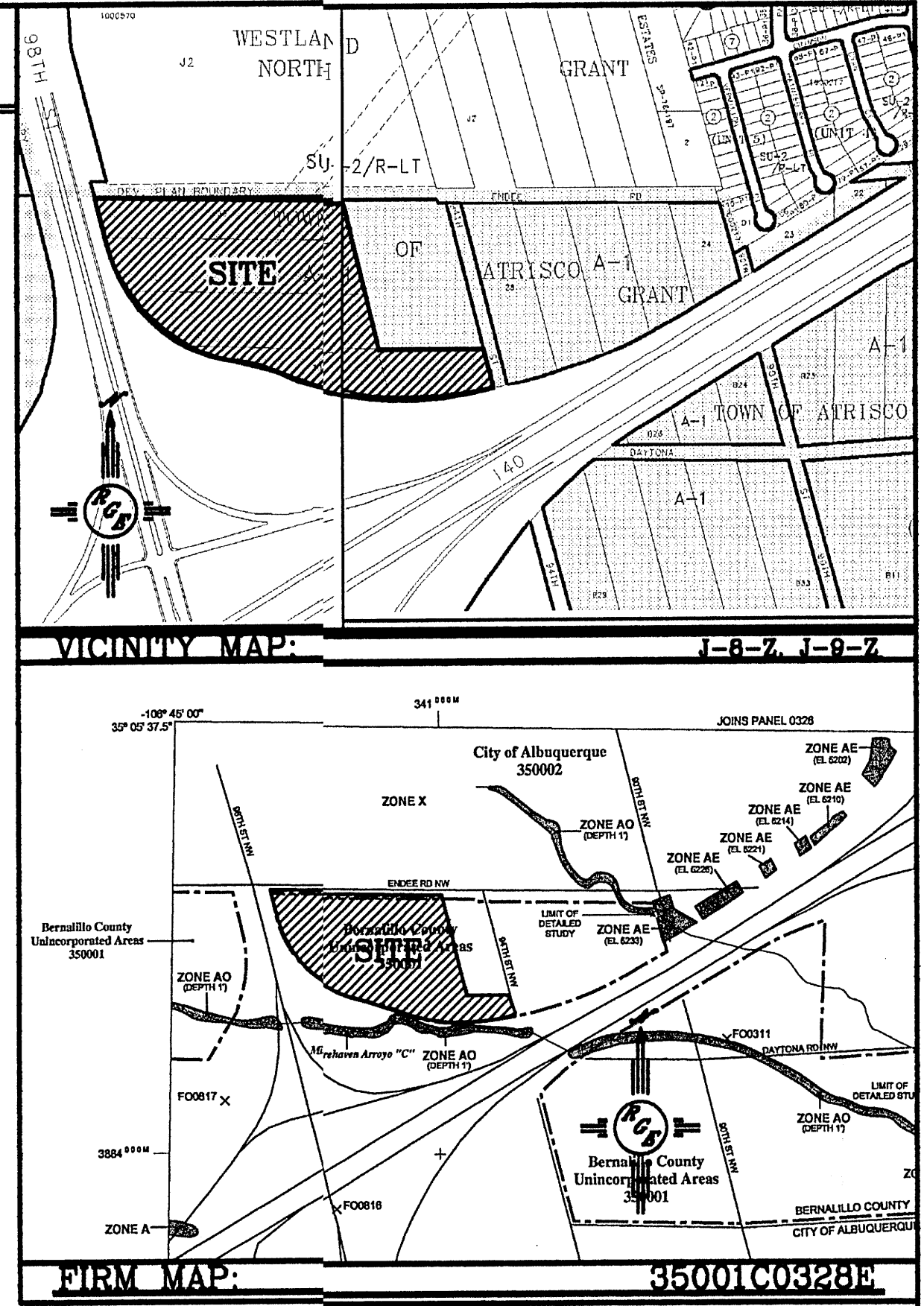
	PRIMA ENTRADA	DRAWN BY WCVJ
	DESIGN GUIDELINES	DATE 11-21-05
	Rio Grande Engineering	2421-SPB-11-14-05X
	1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0888	SHEET # 2 OF 5
DAVID SOULE P.E. #14522		JOB # 2421





**LEGEND**

	EXISTING SD MANHOLE
	EXISTING SD INLET
	EXISTING STORM SEWER LINE
	PROPOSED SD MANHOLE
	PROPOSED SD LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	FUTURE CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	PROPOSED RETAINING WALL
	PROPOSED PERIMETER WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	FLOW ARROW
	3:1 SLOPE TIE MAX
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	SETBACK LINE
	PROPOSED TEMPORARY POND
	POND ROCK PLATING



**LEGAL DESCRIPTION:**  
TRACTS 30,31,32,33 TOWN OF ATRISCO GRANT UNIT

TEMPORARY RETENTION POND  
3:1 SIDE SLOPE MAX.  
ON AREAS LESS THAN 3:1 SLOPE  
USE ROCK PLATING  
SEE DETAIL SHEET  
TOP=VARIES  
BOTTOM=5244.78  
PROPOSED VOLUME=3.31 AC FT  
WSEL=5259.88  
ENTIRE POND TO BE FENCED

TEMP. 24" RCP  
OUTLET=5244.78

INSTALL 1-DOUBLE A INLET  
GRATE=5259.13  
S 24" RCP INV IN=5255.03  
TEMP 24" RCP INV OUT=5255.03  
PERMANENT 36" RCP INV OUT=5254.93  
PLUG 36" RCP INV OUT @ INLET

35 LF OF 30" RCP @ 2.50%  
BUILD 1-TYPE E SD MH  
RIM=5258.25  
36" RCP INV IN=5254.07  
30" RCP INV OUT=5253.97

46 LF OF 30" RCP @ 2.50%

CAP 30" RCP  
INV=5252.83

25 LF OF 24" RCP @ 2.06%  
INSTALL 1-DOUBLE A INLET  
GRATE=5258.80  
24" RCP INV OUT=5255.53

- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

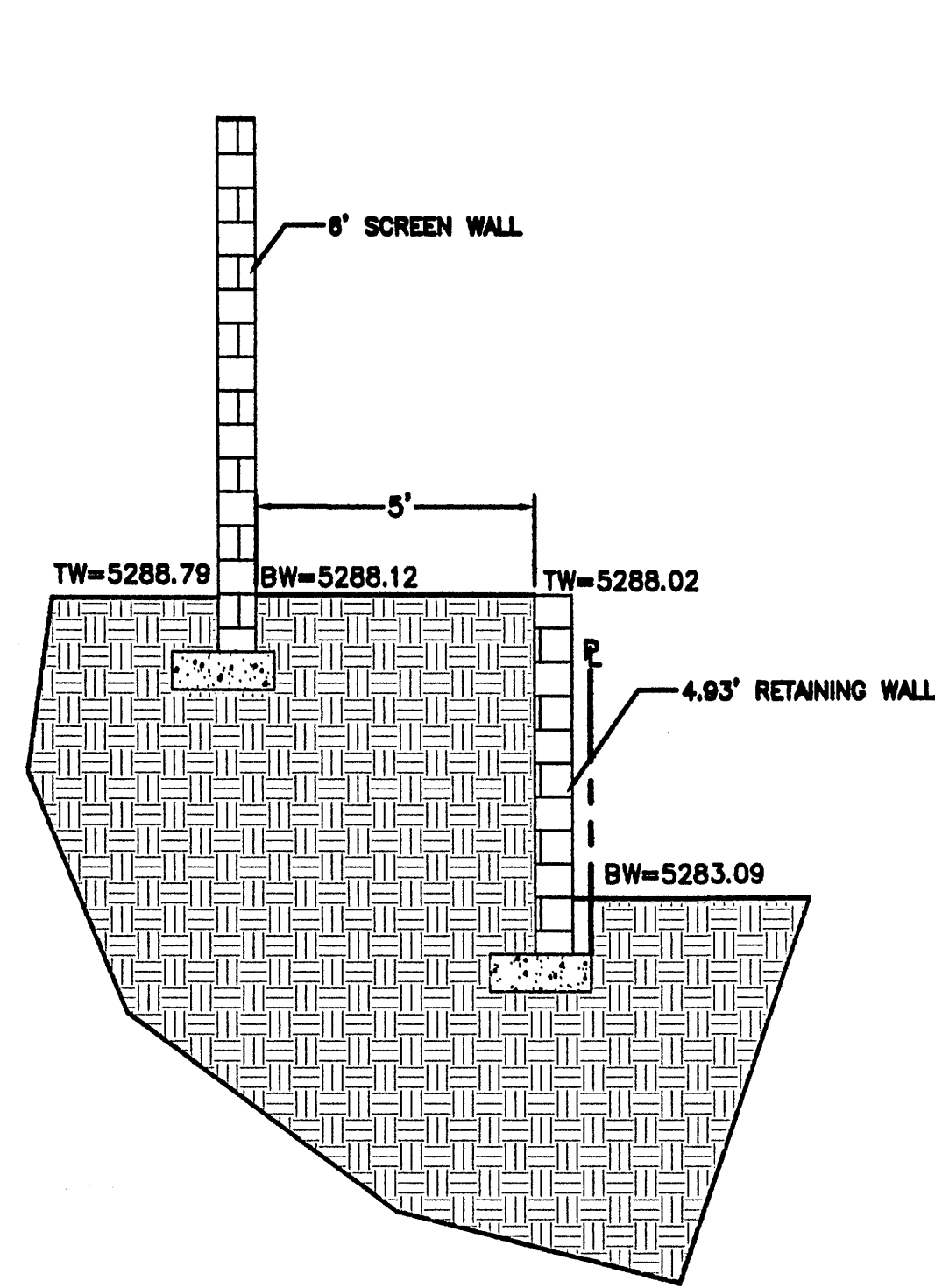
- NOTES:**
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
  - ALL CURB AND GUTTER TO BE STANDARD PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.
  - ALL PADS SHALL BE BUILT PER FOOTPRINT SHOWN.
  - ALL DRIVEPADS SHALL BE BUILT WHERE SHOWN.

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

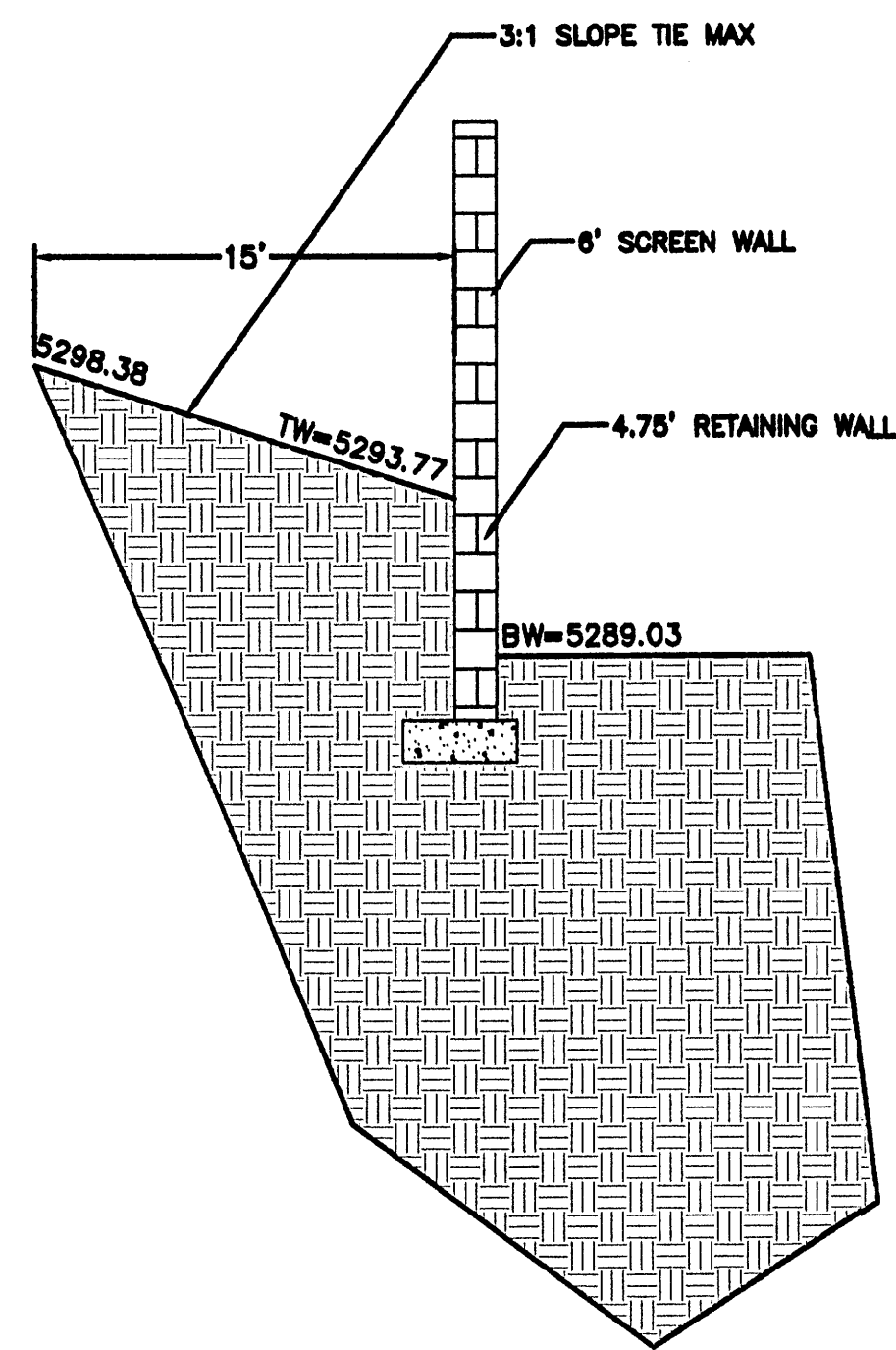
ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEER'S SEAL 	PRIMA ENTRADA	DRAWN BY WCUJ
	GRADING AND DRAINAGE PLAN	DATE 11-21-05
	<i>Rio Grande Engineering</i> 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	2421-GRB-11-14-05X
DAVID SOULE P.E. #14522		SHEET # 3 OF 5
		JOB # 2421

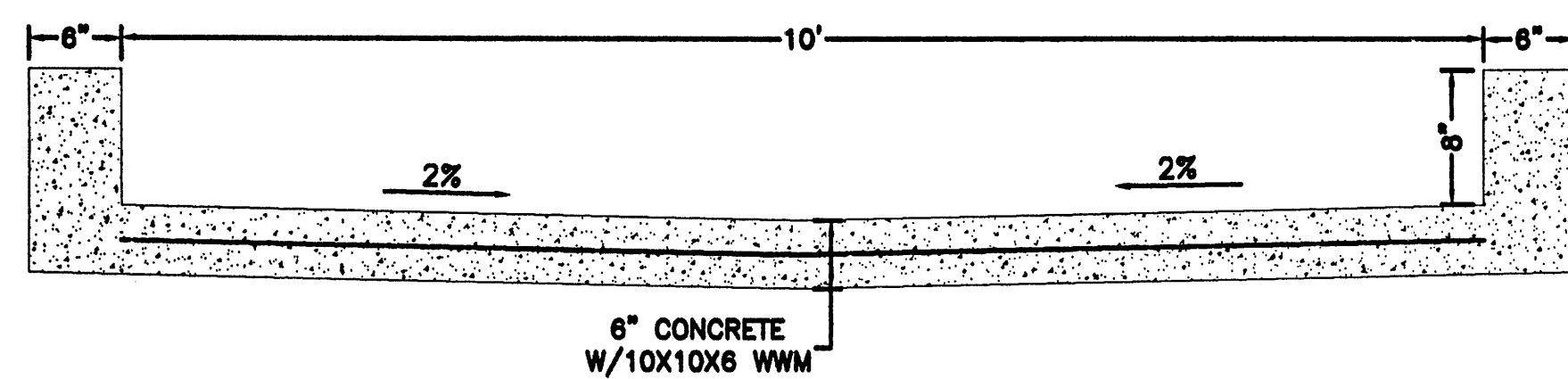




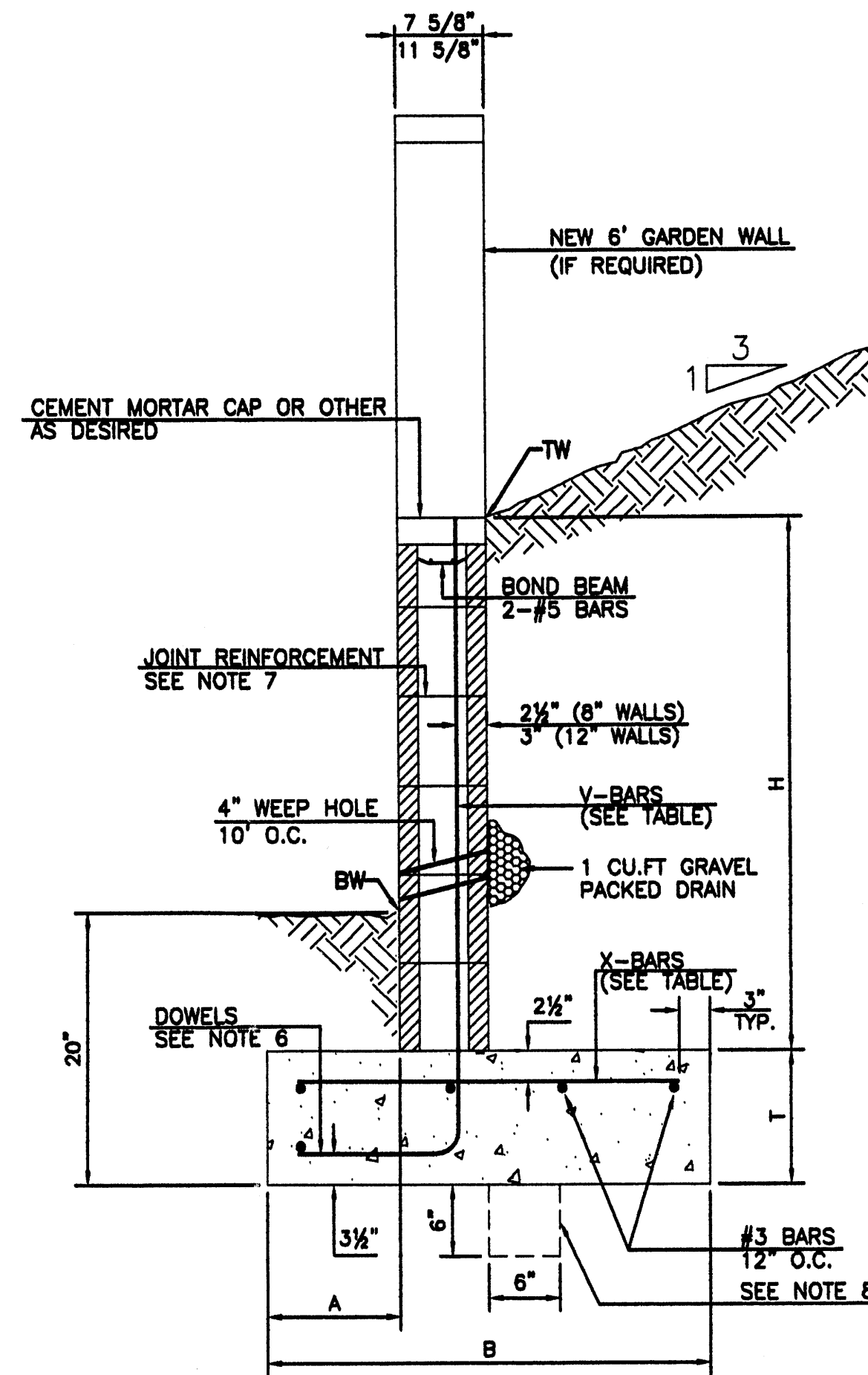
SECTION A-A



SECTION B-B



10' CONCRETE CHANNEL DETAIL



RETAINING WALL DETAIL

8 INCH REINFORCED CONCRETE MASONRY WALL

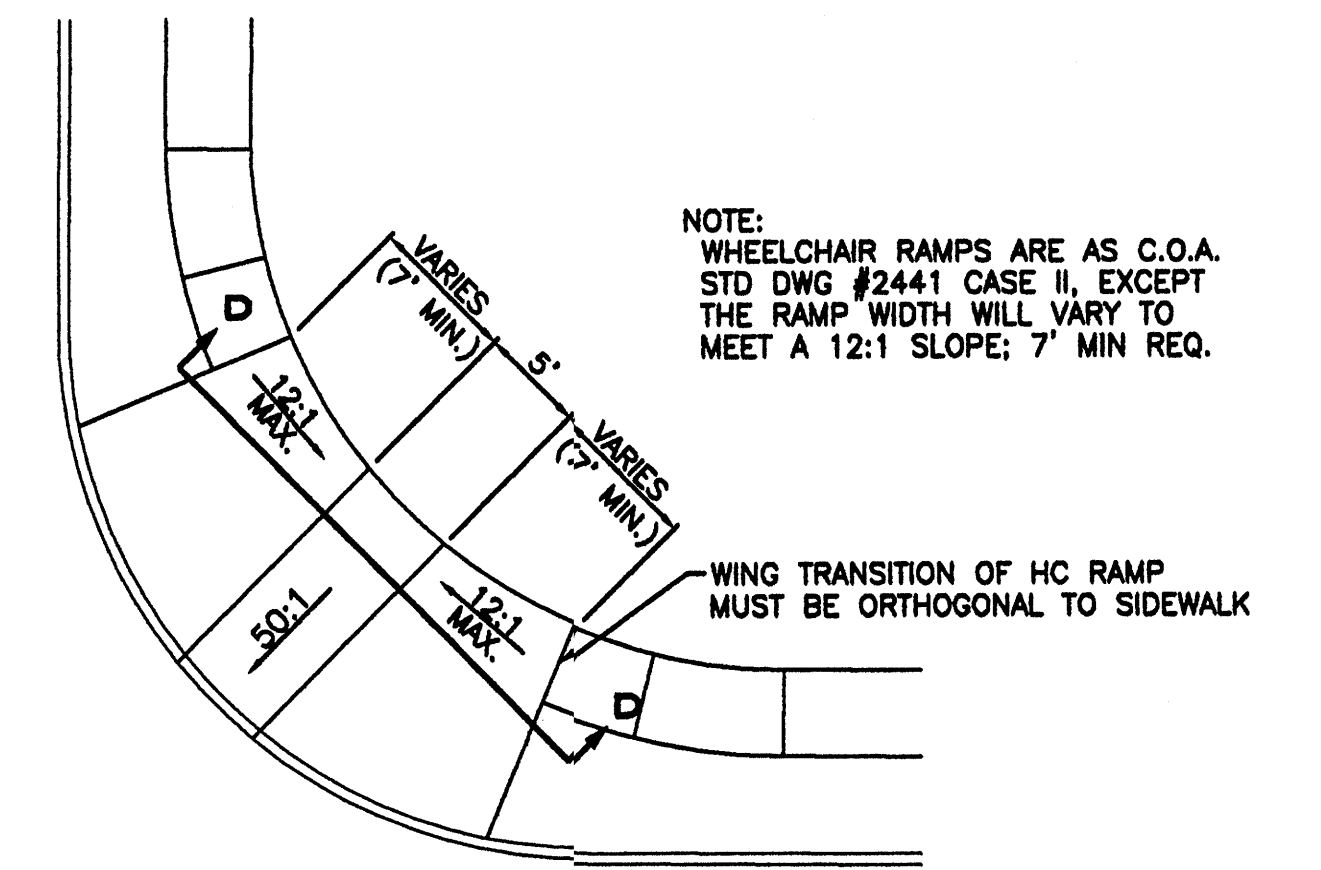
H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @34" O.C.
4'-0"	10"	2'-9"	9"	#4 @32" O.C.	#4 @36" O.C.
4'-8"	12"	3'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
5'-4"	14"	3'-8"	10"	#4 @16" O.C.	#4 @16" O.C.
6'-0"	16"	4'-2"	12"	#4 @16" O.C.	#4 @16" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

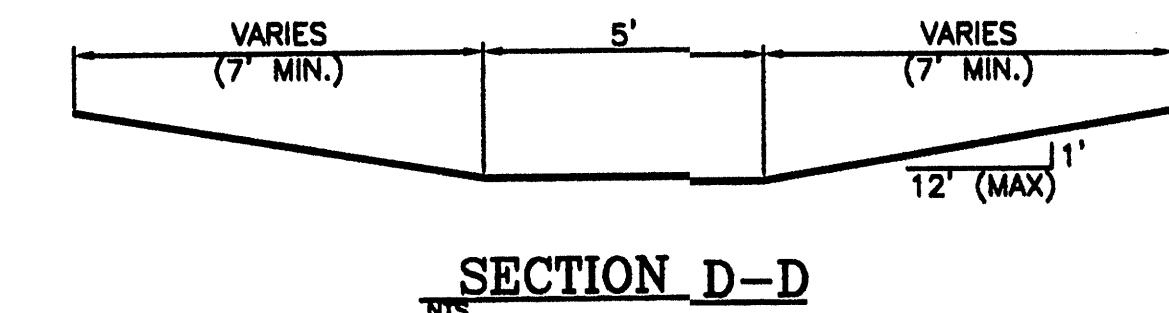
H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#4 @24" O.C.	#4 @16" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @16" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#4 @16" O.C.
7'-4"	18"	5'-0"	14"	#6 @16" O.C.	#5 @16" O.C.
8'-0"	20"	5'-6"	14"	#7 @24" O.C.	#5 @16" O.C.

GENERAL NOTES:

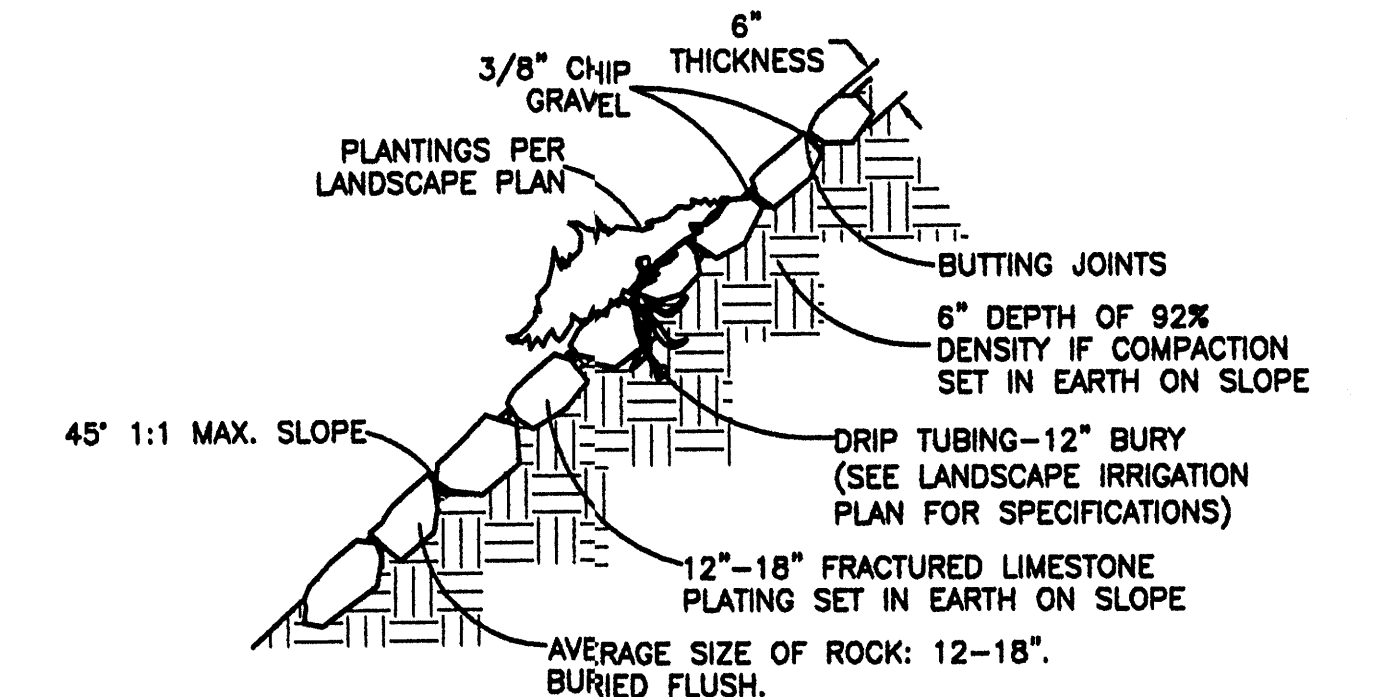
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- JOINT REINFORCEMENT CONSISTING OF 9GA. LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 5'-0"
- USE EITHER EXPANSION JOINTS ON 20" CENTERS OR PILASTERS EVERY 16'.



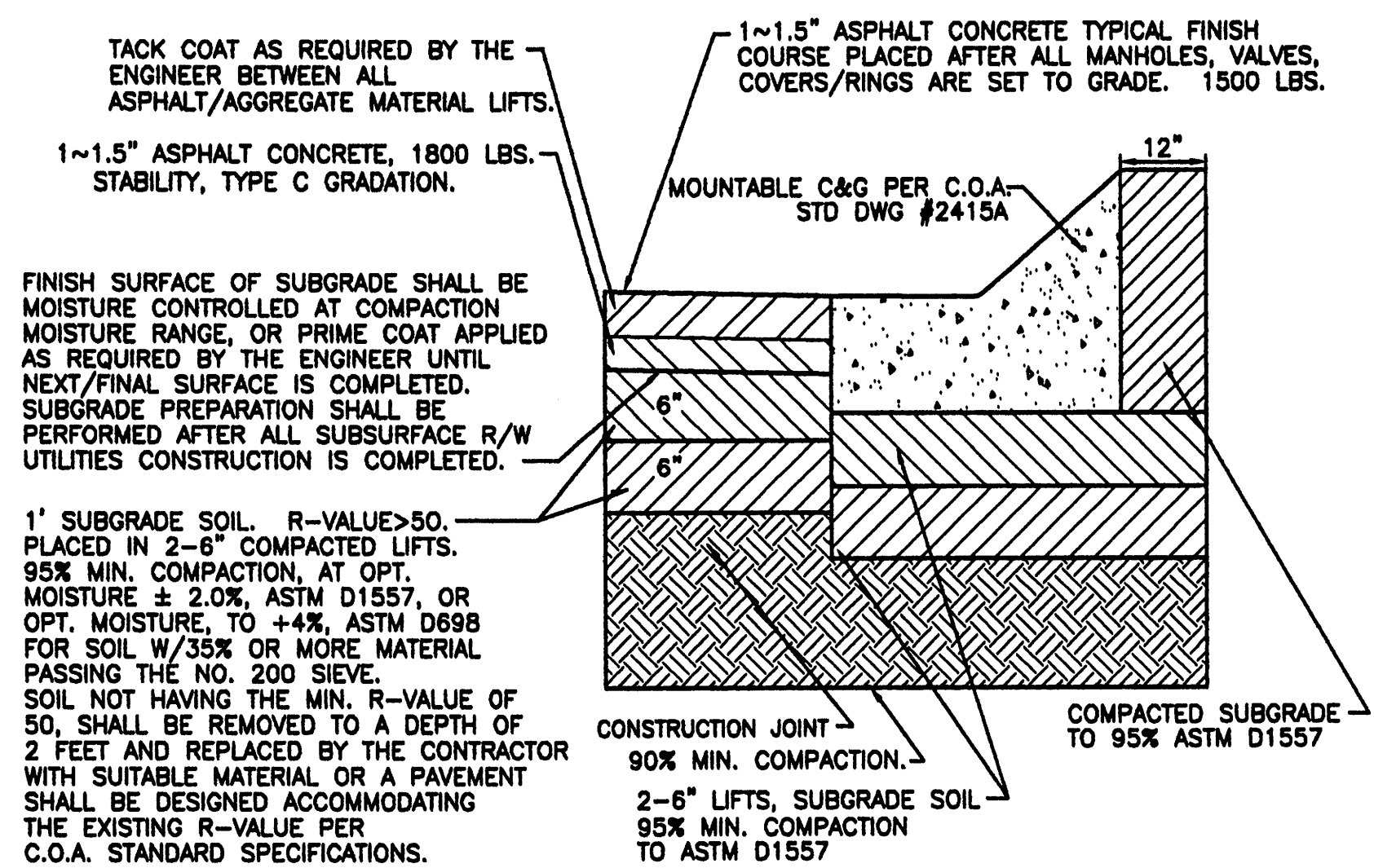
WHEELCHAIR RAMP DETAIL (TYP.)



SECTION D-D

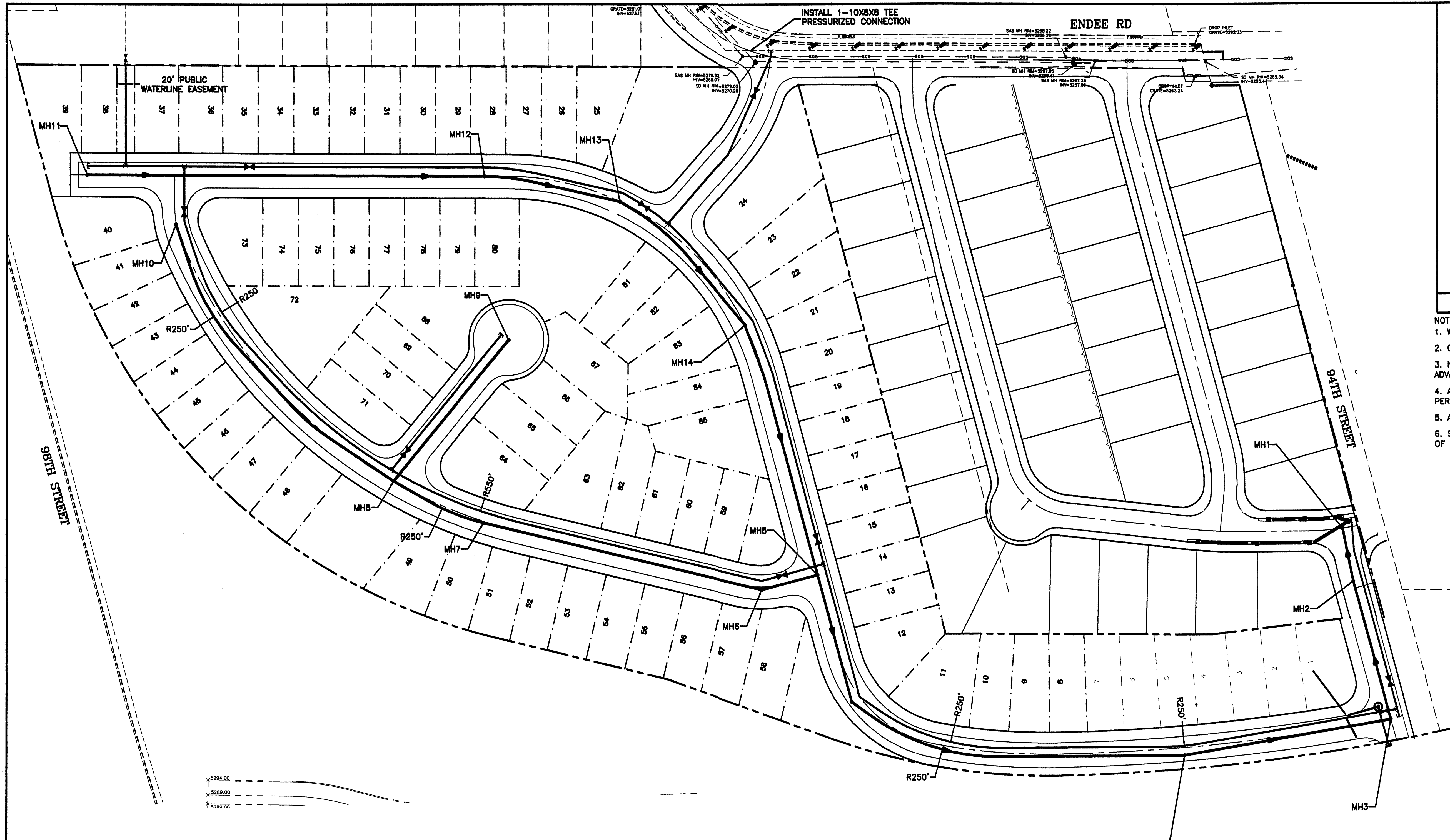


ROCK PLATING DETAIL



RESIDENTIAL PAVING SECTION (MOUNTABLE CURB)

ENGINEER'S SEAL	PRIMA ENTRADA	DRAWN BY WCUJ
	<b>GRADING AND DRAINAGE DETAILS</b> <i>Rio Grande Engineering</i> 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0888	DATE 10-27-05
		2421-GRB-8-16-05X
		SHEET # 4 OF 5
DAVID SOULE P.E. #14522		JOB # 2421



**WATER SHUTOFF PLAN** SHUTOFF VALVES:

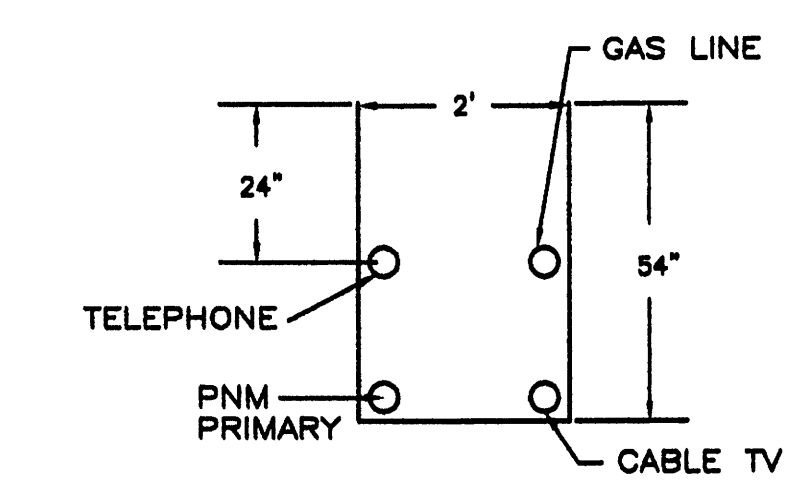
- NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
  2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  3. NOTIFY NEW MEXICO UTILITIES (898-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
  4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
  5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
  6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

**LEGEND**

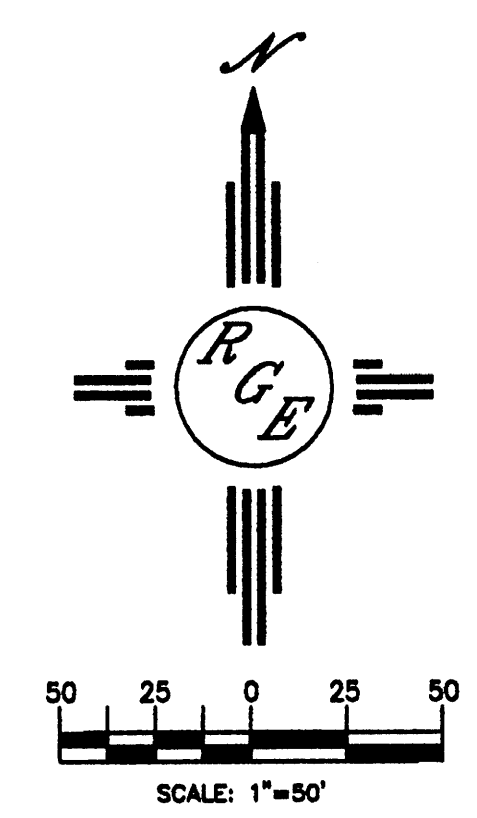
- EXISTING SAS MANHOLE
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- PROPOSED SAS MANHOLE
- PROPOSED SAS CLEANOUT
- 8" SAS --- PROPOSED SANITARY SEWER LINE
- SANITARY SEWER LINE
- EX. 10" WL --- EXISTING WATER LINE
- PROPOSED METER
- ⊗ PROPOSED VALVE W/BOX
- PROPOSED FIRE HYDRANT
- WATER SERVICE LINE
- 8" WL --- PROPOSED WATER LINE
- PROPOSED STORM SEWER LINE
- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- CENTERLINE
- RIGHT-OF-WAY
- DRY UTILITY TRENCH
- BOUNDARY LINE
- EASEMENT

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.



**UTILITY TRENCH DETAIL**

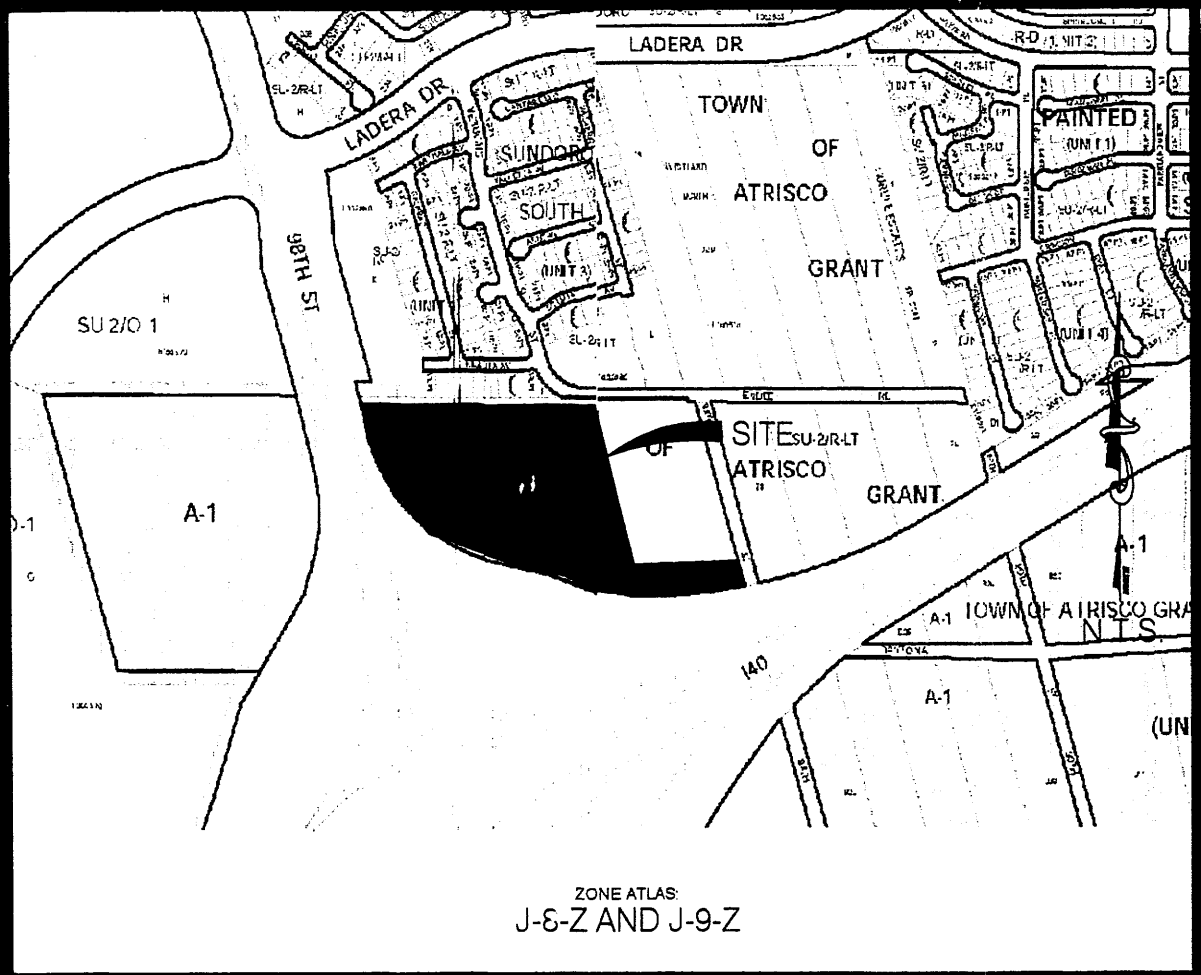


**GENERAL NOTES:**

1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

	PRIMA ENTRADA	DRAWN BY WCVJ
	CONCEPTUAL MASTER UTILITY PLAN	DATE 11-21-05
	SHEET #	2421-MUB-11-21-05X
	5 OF 5	JOB # 2421





**PLAT OF  
PRIMA ENTRADA  
TOWN OF ATRISCO GRANT  
PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
ALBUQUERQUE, NEW MEXICO  
MAY 2006**

*FINAL*  
**PRELIMINARY PLAT  
APPROVED BY DRB  
ON 10/25/06**

**LEGAL DESCRIPTION**

A TRACT OF LAND BEING IDENTIFIED AS A 14.5337 ACRE TRACT AND COMPRISING OF TRACTS NUMBERED 29, 30, 31, 32 AND 33, UNIT 5, TOWN OF ATRISCO GRANT, SITUATED WITHIN PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, TOGETHER WITH THAT VACATED PORTION OF 94TH STREET NORTHWEST (VAC05DRB-00107) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A POINT ON THE EASTERLY I-40 RIGHT OF WAY, WHENCE FOR A TIE TO THE NGS MONUMENT "REWARD", BEARS S12°10'24"W, 1358.57 FEET DISTANCE; THENCE, S89°48'03"E, 878.49 FEET DISTANCE, LEAVING SAID RIGHT OF WAY TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, S15°11'39"E, 657.87 FEET DISTANCE TO A POINT; THENCE, S89°40'09"E, 300.04 FEET DISTANCE TO A POINT; THENCE, N83°23'22"E, 193.58 FEET DISTANCE TO A POINT; THENCE, S14°59'23"E, 142.81 FEET DISTANCE TO A POINT, ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF I-40, ALSO BEING A POINT ON A CURVE; THENCE, 404.98 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE RIGHT, (SAID ARC HAVING A CENTRAL ANGLE OF 10°01'29" AND A CHORD BEARING OF S83°56'54"W, 404.46') FEET DISTANCE TO A POINT OF COMPOUND CURVATURE; THENCE, 280.23 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A CENTRAL ANGLE OF 20°45'05" AND A CHORD BEARING OF N80°41'11"W, 258.81') FEET DISTANCE TO A POINT; THENCE, N70°18'12"W, 197.43 FEET DISTANCE TO A POINT; THENCE, N76°26'35"W, 202.41 FEET DISTANCE TO A POINT, ALSO BEING A POINT ON A CURVE; THENCE, 730.10 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A CENTRAL ANGLE OF 61°28'16" AND A CHORD BEARING OF N45°43'22"W, 695.59') FEET DISTANCE TO A POINT OF TANGENCY; THENCE, N14°59'23"W, 161.80 FEET DISTANCE TO A POINT AND PLACE OF BEGINNING AND CONTAINING 14.5337 ACRES, MORE OR LESS

**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO CREATE SEVENTY-EIGHT (78) LOTS AND SIX (6) OPEN SPACE TRACTS FROM FIVE (5) EXISTING TRACTS, DEDICATE ADDITIONAL RIGHT OF WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE TITLE WITH WARRANTY COVENANTS AND GRANT ADDITIONAL PUBLIC UTILITY EASEMENTS AND ALL PUBLIC ACCESS, WATER AND SEWER EASEMENTS.

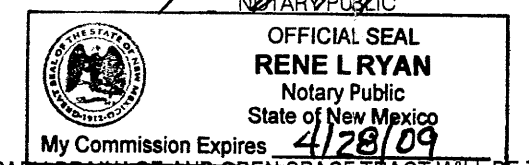
**FREE CONSENT**

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY VACATE EASEMENTS AS SHOWN, GRANT ADDITIONAL EASEMENTS AS SHOWN AND DO HEREBY DEDICATE STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEYS.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON THE ACS CONTROL MONUMENTS REWARD AND 3-H10, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD
5. BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE RECORD
6. GROSS ACREAGE: 14.3557
7. NUMBER OF EXISTING TRACTS/LOTS: 5
8. NUMBER OF TRACTS/LOTS CREATED: 78 LOTS, 6 OPEN SPACE AND 1 TEMPORARY DRAINAGE TRACT
9. ACREAGE OF ROAD DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS:
10. ZONING: SU-2
11. RECORDS USED:
  - A. PLAT OF SUNDORO SOUTH BOOK 2004C, FOLIO 220
  - B. PLAT OF SUNDORO SOUTH UNIT 6, BOOK 2005C, FOLIO 302
  - C. ASSESSORS MAP PROVIDED BY ASSESSOR
  - D. TITLE SEARCH BY LANDAMERICA/ALBUQUERQUE TITLE #243695BB
  - E. TITLE SEARCH BY FIDELITY NATIONAL TITLE #06-13004309-B-SS
  - F. BOOK D348, PAGE 43, 04-12-56
  - G. BOOK A111, PAGE 7878
  - H. BOOK A110, PAGE 5017
12. CITY OF ALBUQUERQUE ZONE ATLAS PAGE: J-8-Z AND J-9-Z
13. UCLS LOG NUMBER:
14. ALL CORNERS FOUND AND USED IN THIS SURVEY WERE TAGGED WITH A BRASS DISK STAMPED "JGI 8911" UNLESS OTHERWISE INDICATED.
15. ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH PLASTIC CAP STAMPED "JGI 8911" OR A CONCRETE NAIL WITH A BRASS DISK STAMPED "JGI 8911".
16. FIELD SURVEY WERE PERFORMED IN THE MONTH OF AUGUST 2005
17. MILEAGE OF ROAD CREATED: 1.265

OWNER(S) SIGNATURE: Tim McNaney DATE: 10-17-06  
 OWNER(S) PRINT NAME: TIM MCNANEY, MANAGING MEMBER, MONTEREY LAD GROUP II, LLC TRACT:  
 ADDRESS:  
 ACKNOWLEDGMENT STATE OF NEW MEXICO )  
 ) SS  
 COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 17th DAY OF October, 2006.  
 BY: Tim McNaney  
 MY COMMISSION EXPIRES: April 28, 09



**MAINTENANCE AGREEMENT**  
 MAINTENANCE AND OWNERSHIP OF TEMPORARY DRAINAGE AND OPEN SPACE TRACT WILL BE THE RESPONSIBILITY OF PRIMA ENTRADA HOME OWNERS ASSOCIATION.

Tim McNaney  
 TIM MCNANEY, MANAGING MEMBER, MONTEREY LAND GROUP II, LLC

**SURVEYORS CERTIFICATION**

I, DAVID R VIGIL, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR NUMBER 8911, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS IN OCTOBER 2000 AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED THE SUBDIVISION ORDINANCE OF THE CITY OF ALBUQUERQUE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

David R. Vigil  
 DAVID R VIGIL  
 NEW MEXICO PROFESSIONAL SURVEYOR 8911  
 DATE: Oct 17, 06

**TREASURERS CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURENT ON THE FOLLOWING PROPERTY

UPC#S \_\_\_\_\_

PROJECT NUMBER: _____	DATE
APPLICATION NUMBER: _____	DATE
UTILITY APPROVALS:	
QWEST	DATE
COMCAST CABLE	DATE
PNM ELECTRICAL AND GAS SERVICES	DATE
CITY APPROVALS: <u>[Signature]</u>	DATE: <u>10-17-06</u>
CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
REAL PROPERTY DIVISION	DATE

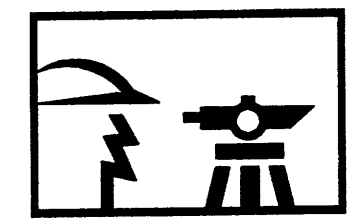
**PUBLIC UTILITY EASEMENTS**

- PUBLIC UTILITY EASEMENTS ON THE PLAT ARE THE COMMON JOINT USE OF
- A. PNM ELECTRICAL SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICES
  - B. PNM GAS SERVICES FOR INSTALLATION MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITATES REASONABLY NECESSARY TO PROVIDE NATURAL GAS
  - C. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITATES NECESSARY TO PROVIDE COMMUNICATIONS SERVICE, INCLUDED BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
  - D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE TO PROVIDE CABLE TV SERVICE

INCLUDE THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND THE PRIVILEGE TO TRIM AND REMOVE TRESS, SHRUBS, BUSHES WITCH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING OR OTHER SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE RESPONSIBLE FOR CORRECTING AND VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY THE CONSTRUCTION OF POOLS, DECKING, OR AND STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

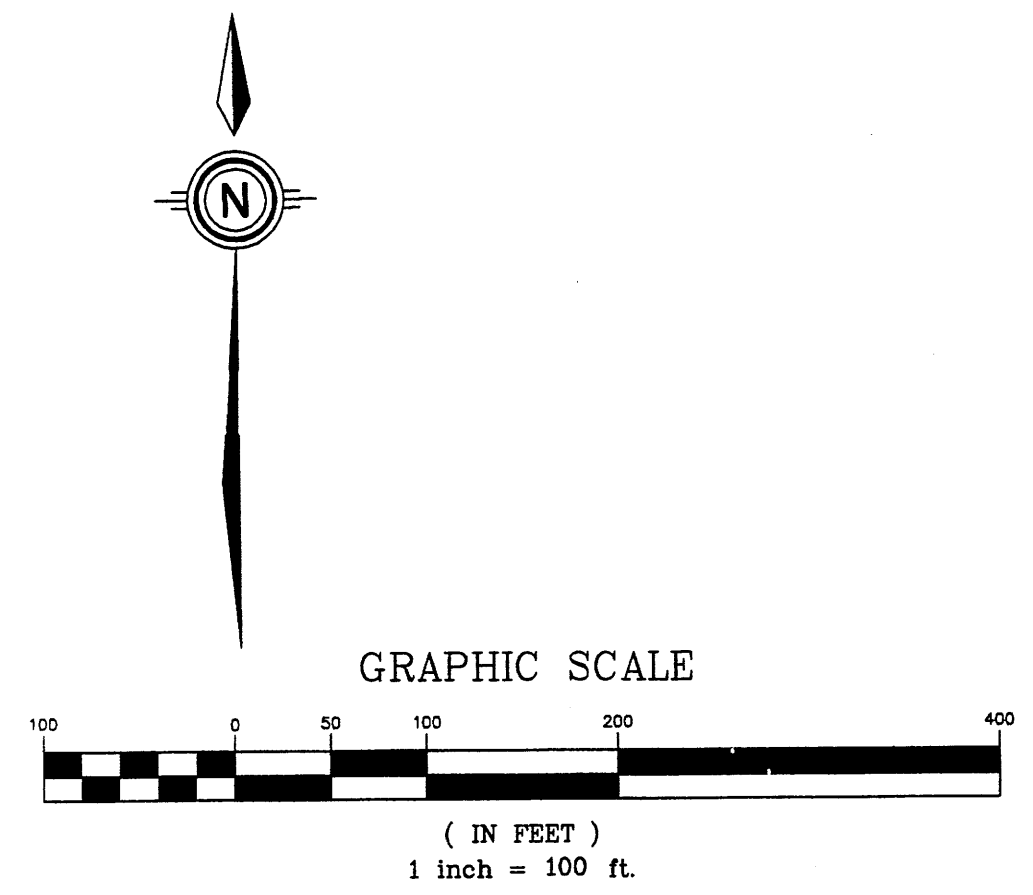
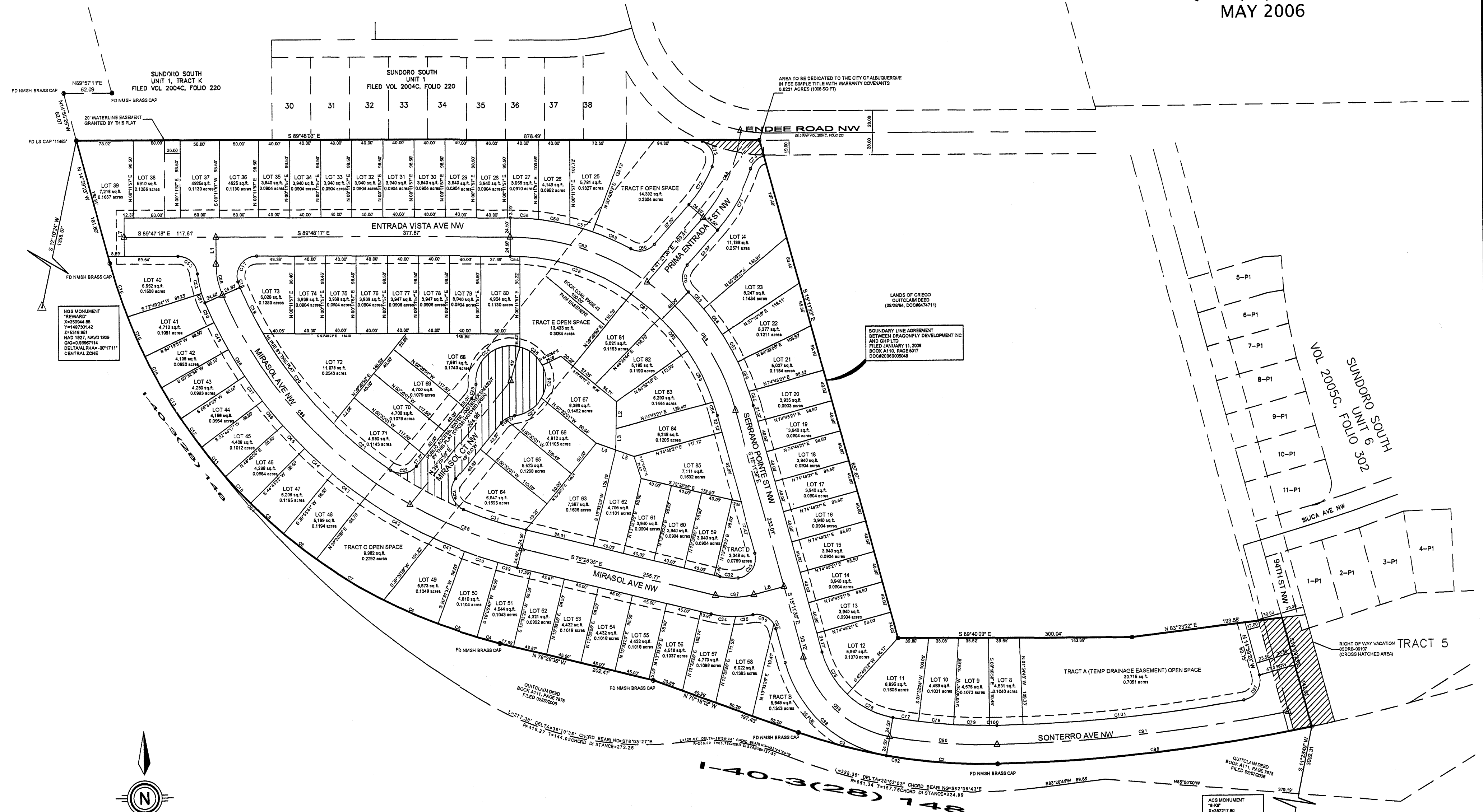
PNM STAMP

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE AND EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



GEO-SURVCO, INC  
 PO BOX 65717  
 ALBUQUERQUE, NEW MEXICO 87193-5717  
 505-975-4567  
 FAX 505-898-0616

PLAT OF  
PRIMA ENTRADA  
TOWN OF ATRISCO GRANT  
PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
ALBUQUERQUE, NEW MEXICO  
MAY 2006



GEO-SURVCO, INC  
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SHEET 2 OF 5



# PLAT OF PRIMA ENTRADA

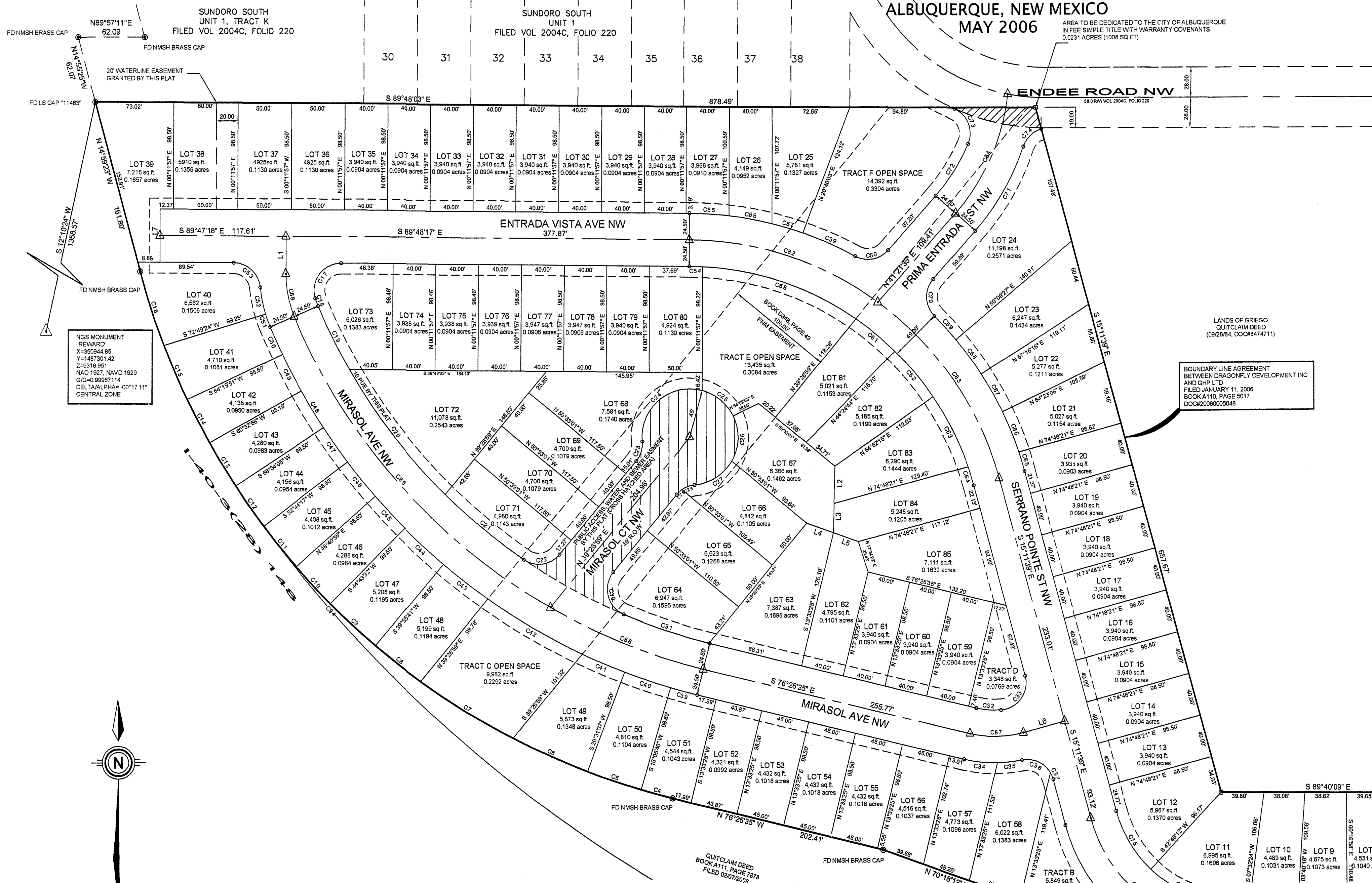
TOWN OF ATRISCO GRANT

PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.

ALBUQUERQUE, NEW MEXICO

MAY 2006

AREA TO BE DEDICATED TO THE CITY OF ALBUQUERQUE  
IN FEE SIMPLE TITLE WITH WARRANTY COVENANTS  
0.0231 ACRES (1008 SQ FT)



NGS MONUMENT  
"REWARD"  
X=350944.85  
Y=1487301.42  
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NAD 1927, NAVD 1929  
G/G=0.99957114  
DELTA/ALPHA=-00°17'11"  
CENTRAL ZONE

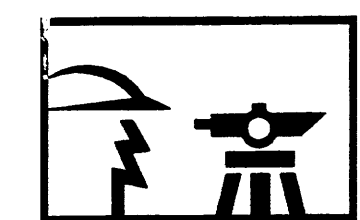
BOUNDARY LINE AGREEMENT  
BETWEEN DRAGONFLY DEVELOPMENT INC  
AND GHP LTD  
FILED JANUARY 11, 2006  
BOOK A110, PAGE 5017  
DOC#20060005048



GRAPHIC SCALE



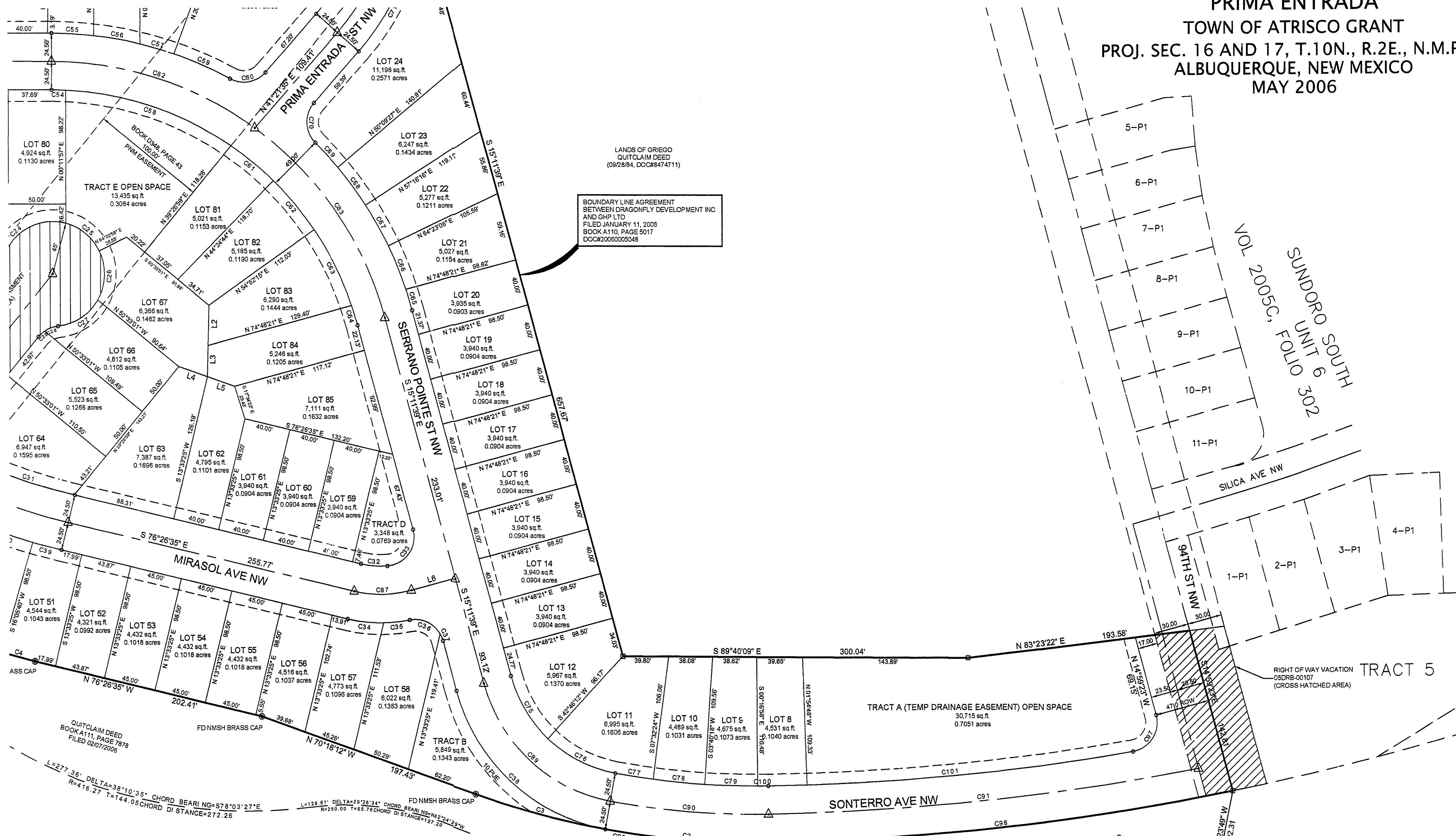
( IN FEET )  
1 inch = 60 ft.



GEO-SURVCO, INC  
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SHEET 3 OF 5

**PLAT OF  
PRIMA ENTRADA  
TOWN OF ATRISCO GRANT  
PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
ALBUQUERQUE, NEW MEXICO  
MAY 2006**

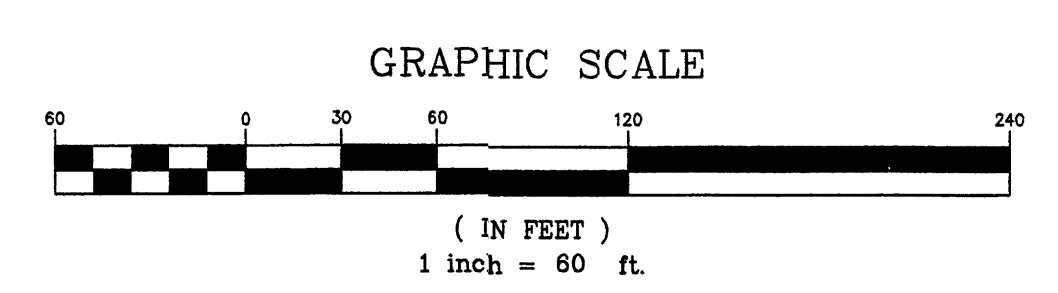
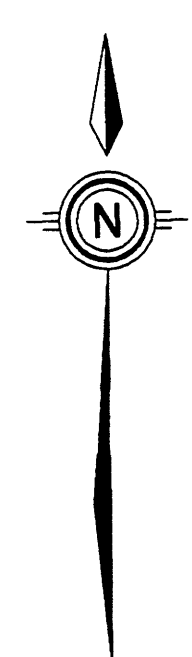


VOL 2005C, SUNDORO SOUTH  
UNIT 9 FOLIO 302

TRACT 5  
RIGHT OF WAY VACATION  
05DRB-00107  
(CROSS HATCHED AREA)

QUITCLAIM DEED  
BOOK A111, PAGE 7878  
FILED 02/07/2006

ACS MONUMENT  
"B-K9"  
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CENTRAL ZONE



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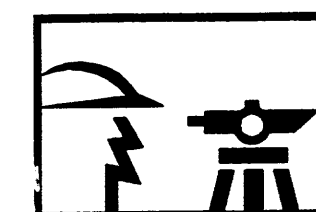
**SHEET 4 OF 5**



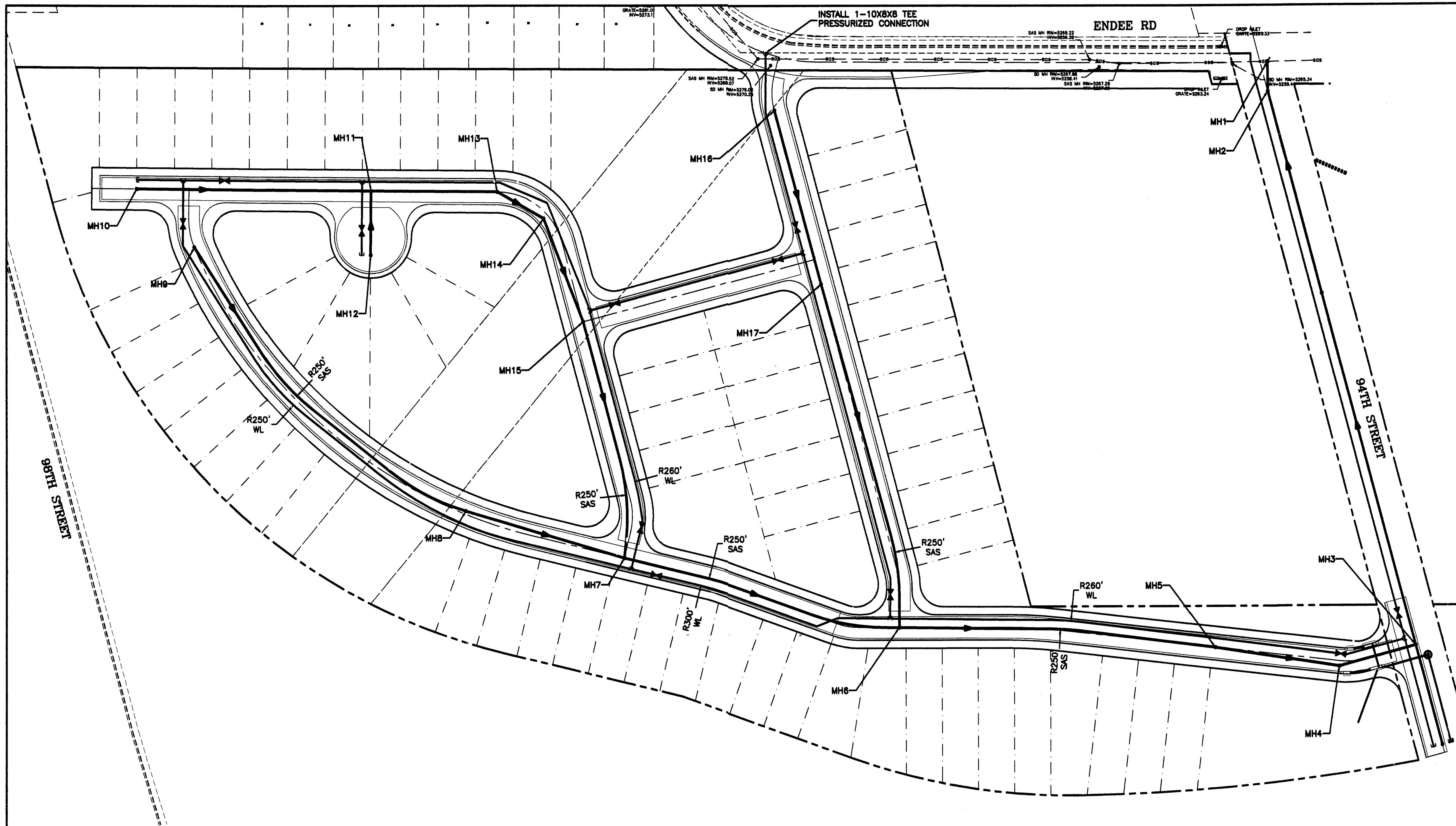
**PLAT OF**  
**PRIMA ENTRADA**  
**TOWN OF ATRISCO GRANT**  
 PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
 ALBUQUERQUE, NEW MEXICO  
 MAY 2006

LINE	LENGTH	BEARING
L1	34.44	N00°11'57"E
L2	34.57	S01°18'22"W
L3	27.00	S01°18'22"W
L4	28.40	S70°41'38"E
L5	24.91	S70°41'38"E
L6	39.71	N74°48'21"E
L7	49.00	S00°00'00"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD DISTANCE
C2	143.41	718.51	11°26'08"	S85°20'40"E	143.17
C3	118.82	718.51	9°18'57"	S74°58'07"E	116.89
C4	30.32	680.51	2°33'10"	S75°10'56"E	30.32
C5	52.65	680.51	4°25'57"	S71°41'22"E	52.63
C6	76.10	680.51	6°24'25"	S66°16'10"E	76.06
C7	101.14	680.51	8°30'56"	S58°48'30"E	101.05
C8	53.19	680.51	4°28'42"	S52°18'40"E	53.18
C9	56.98	680.51	4°47'51"	S47°40'24"E	56.96
C10	46.93	680.51	3°57'04"	S43°17'56"E	46.92
C11	48.24	680.51	4°03'41"	S39°17'33"E	48.23
C12	45.49	680.51	3°49'48"	S35°20'49"E	45.48
C13	46.91	480.94	5°35'17"	S31°01'28"E	46.89
C14	45.29	469.40	5°31'43"	S28°01'27"E	45.27
C15	55.10	680.51	4°38'22"	S23°20'58"E	55.09
C16	71.77	680.51	6°02'33"	S18°00'31"E	71.73
C17	46.83	25.00	107°18'58"	S36°32'28"W	40.27
C18	7.64	75.50	5°47'46"	S20°00'54"E	7.63
C19	65.94	533.01	7°05'18"	S26°27'26"E	65.90
C20	146.58	533.01	15°45'25"	S37°52'47"E	146.12
C21	94.99	533.01	10°12'38"	S50°51'49"E	94.86
C22	36.91	25.00	84°34'54"	N81°44'25"E	33.84
C23	19.63	25.00	44°59'49"	N16°57'04"E	19.13
C24	86.86	45.00	110°35'58"	S49°45'08"W	73.99
C25	38.48	45.00	48°59'51"	N50°28'58"W	37.32
C26	43.80	45.00	55°45'46"	N01°55'51"E	42.09
C27	42.91	45.00	54°38'04"	N57°07'46"E	41.30
C28	12.51	25.00	28°40'08"	S70°08'44"W	12.38
C29	7.12	25.00	18°19'42"	S47°38'49"W	7.10
C30	46.61	25.00	106°48'59"	S13°57'31"E	40.15
C31	84.11	533.01	9°02'31"	S71°53'18"E	84.03
C32	23.16	75.50	17°34'38"	S85°13'54"E	23.07
C33	44.15	25.00	101°10'26"	N35°23'34"E	38.63
C34	31.42	124.50	14°27'35"	S83°40'23"E	31.34
C35	22.90	124.50	10°32'17"	N83°49'41"E	22.87
C36	30.67	25.00	70°45'36"	N68°03'39"W	28.95
C37	6.76	25.00	15°29'12"	N22°56'15"W	6.74
C38	184.99	164.50	64°25'57"	S47°24'37"E	175.40
C39	25.93	582.01	2°33'10"	S75°10'56"E	25.93
C40	45.03	582.01	4°25'57"	S71°41'22"E	45.02
C41	43.12	582.01	4°14'42"	S67°21'02"E	43.11
C42	101.57	582.01	9°59'57"	S60°13'42"E	101.44
C43	52.38	582.01	5°09'25"	S52°39'01"E	52.37
C44	48.73	582.01	4°47'51"	S47°40'24"E	48.72
C45	40.14	582.01	3°57'04"	S43°17'56"E	40.13
C46	41.26	582.01	4°03'41"	S39°17'33"E	41.25
C47	38.90	582.01	3°49'48"	S35°20'49"E	38.90
C48	40.08	582.01	3°56'39"	S31°27'36"E	40.08
C49	38.79	582.01	3°49'08"	S27°34'43"E	38.78
C50	28.00	582.01	2°45'22"	S24°17'28"E	27.99
C51	12.46	124.50	5°44'11"	S20°02'41"E	12.46
C52	25.22	124.50	11°36'20"	S11°22'26"E	25.17
C53	36.75	25.00	84°13'47"	N47°41'09"W	33.53
C54	12.31	275.50	2°33'38"	N88°31'14"W	12.31
C55	36.89	324.50	6°30'46"	N88°32'40"W	36.87
C56	40.66	324.50	7°10'43"	N79°41'55"W	40.63
C57	30.39	324.50	5°21'56"	N73°25'36"W	30.38
C58	152.91	275.50	31°48'01"	N71°20'25"W	150.95
C59	53.39	324.50	9°25'39"	N68°01'48"W	53.33
C60	33.74	25.00	77°19'26"	N80°01'18"E	31.24
C61	47.37	275.50	9°51'08"	N50°30'50"W	47.32
C62	55.29	275.50	11°29'55"	N39°50'19"W	55.20
C63	72.97	275.50	15°10'32"	N26°30'05"W	72.76
C64	17.88	275.50	3°43'10"	N17°03'14"W	17.88
C65	18.64	324.50	3°17'31"	N16°50'24"W	18.64
C66	40.38	324.50	7°07'44"	N22°03'02"W	40.35
C67	40.29	324.50	7°08'49"	N29°10'19"W	40.28
C68	40.29	324.50	7°08'49"	N36°17'08"W	40.28
C69	29.10	324.50	5°08'18"	N42°24'42"W	29.09
C70	37.67	25.00	86°20'26"	S01°48'38"E	34.21
C71	90.05	224.50	22°58'58"	N28°52'08"E	89.45
C72	56.88	175.50	18°33'45"	N32°04'43"E	56.61
C73	38.70	25.00	88°40'58"	N21°32'39"W	34.95
C74	24.37	25.00	55°51'19"	S46°18'16"W	23.42
C75	63.41	115.50	31°27'26"	S30°55'22"E	62.62
C76	66.47	115.50	32°58'30"	S63°09'21"E	65.58
C77	33.11	689.51	2°50'00"	S81°02'36"E	33.11
C78	45.20	689.51	3°52'06"	S84°23'39"E	45.19
C79	46.21	689.51	3°57'16"	S88°18'20"E	46.20
C82	188.28	300.00	35°57'35"	N71°49'15"W	185.21
C83	202.35	300.00	38°38'49"	N34°31'03"W	198.54
C84	122.15	200.00	34°59'35"	N23°51'47"E	120.26
C85	366.90	557.51	37°42'22"	S41°45'58"E	360.31
C86	154.12	557.51	15°50'21"	S68°32'20"E	153.63
C87	50.18	100.00	28°45'04"	N89°10'53"E	49.66
C88	40.34	100.00	23°08'44"	S11°21'25"E	40.07
C89	157.44	140.00	64°25'57"	S47°24'37"E	149.27
C90	138.52	694.01	11°28'08"	S85°20'40"E	138.29
C91	375.43	2290.14	9°23'34"	N84°14'29"E	375.01
C92	280.23	718.51	20°45'05"	S80°41'11"E	258.81
C94	730.10	680.51	61°28'16"	S45°43'22"E	695.59
C97	41.84	25.00	95°52'50"	N32°57'03"E	37.12
C98	404.88	2314.64	10°01'28"	N83°58'54"E	404.46
C100	9.11	689.51	0°46'45"	N89°19'39"E	9.11
C101	318.24	2075.01	8°47'15"	N64°54'52"E	317.93



GEC-SURVCO, INC  
 PO BOX 65717  
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**WATER SHUTOFF PLAN** SHUTOFF VALVES:

- NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
  2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  3. NOTIFY NEW MEXICO UTILITIES (888-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
  4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
  5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
  6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

**LEGEND**

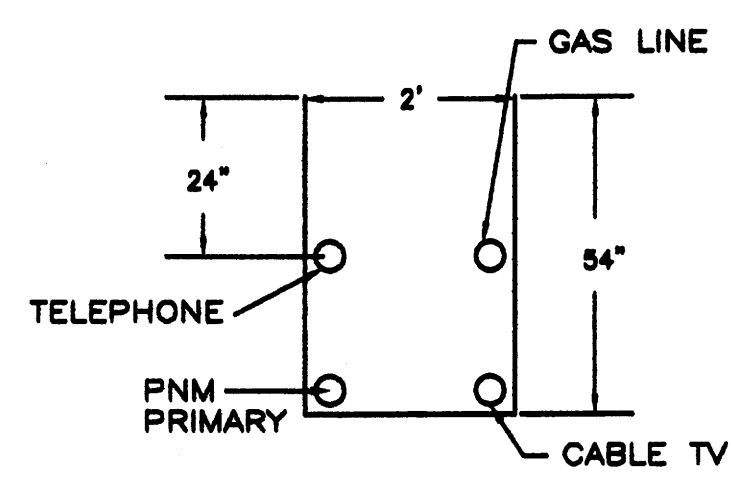
○	EXISTING SAS MANHOLE
— EX. 8" SAS —	EXISTING SANITARY SEWER LINE
●	PROPOSED SAS MANHOLE
○	PROPOSED SAS CLEANOUT
— 8" SAS —	PROPOSED SANITARY SEWER LINE
—	SANITARY SEWER SERVICE LINE
— EX. 10" WL —	EXISTING WATER LINE
⊠	PROPOSED METER
⊠	PROPOSED VALVE W/BOX
⊠	PROPOSED FIRE HYDRANT
—	WATER SERVICE LINE
— 8" WL —	PROPOSED WATER LINE
—	PROPOSED STORM SEWER LINE
=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
—	CENTERLINE
—	RIGHT-OF-WAY
—	DRY UTILITY TRENCH
—	BOUNDARY LINE
—	EASEMENT

**NOTICE TO CONTRACTORS**

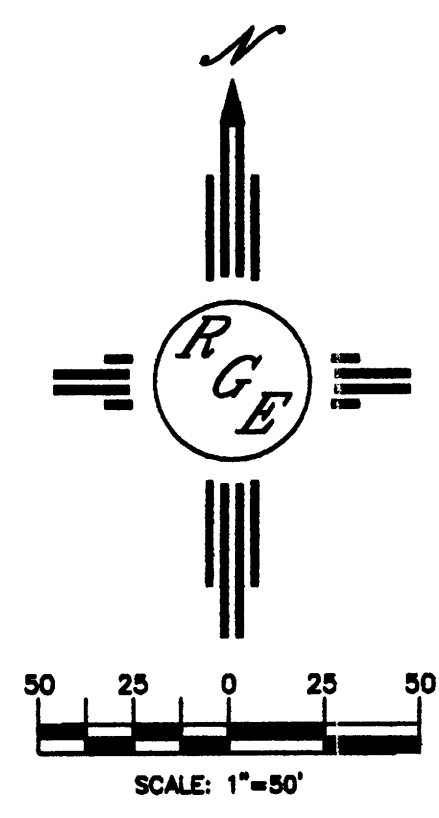
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLOGGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.

**GENERAL NOTES:**

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.



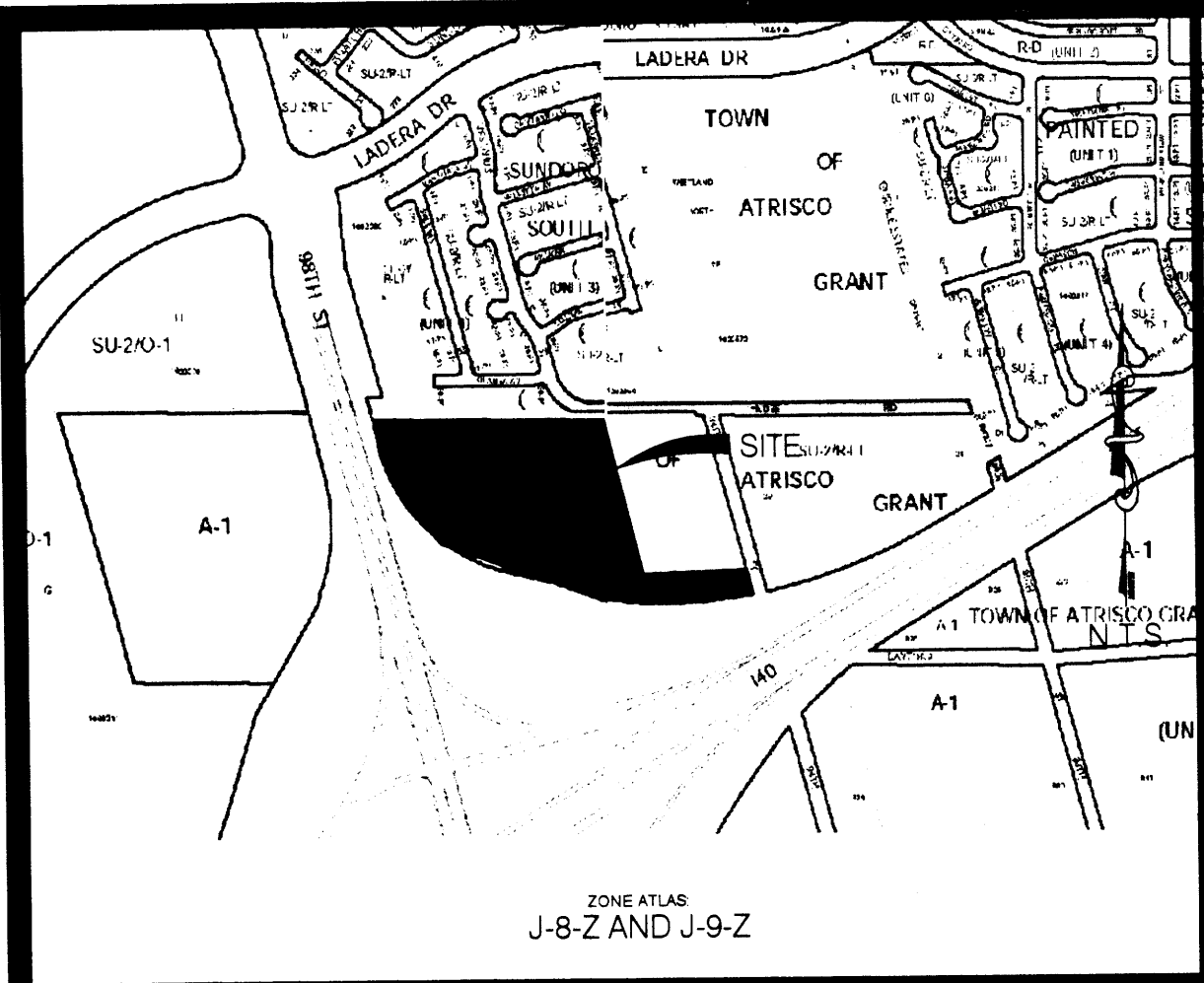
**UTILITY TRENCH DETAIL**  
NTS



ENGINEER'S SEAL	<b>PRIMA ENTRADA</b>	DRAWN BY WCVJ
	<b>MASTER UTILITY PLAN</b>	DATE 8-22-05
DAVID SOULE P.E. #14522	<i>Rio Grande Engineering</i> 1006 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0989	2421-MUB-8-18-05X
		SHEET # — JOB # 2421

*Planning*





**PLAT OF  
PRIMA ENTRADA  
TOWN OF ATRISCO GRANT  
PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
ALBUQUERQUE, NEW MEXICO  
OCTOBER 2006**

**LEGAL DESCRIPTION**

A TRACT OF LAND BEING IDENTIFIED AS A 14.5337 ACRE TRACT AND COMPRISING OF TRACTS NUMBERED 29, 30, 31, 32 AND 33, UNIT 5, TOWN OF ATRISCO GRANT, SITUATED WITHIN PROJECTED SECTIONS 16 AND 17, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, TOGETHER WITH THAT VACATED PORTION OF 94TH STREET NORTHWEST (VAC05DRB-00107) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A POINT ON THE EASTERLY I-40 RIGHT OF WAY, WHENCE FOR A TIE TO THE NGS MONUMENT "REWARD", BEARS S12°10'24"W, 1358.57 FEET DISTANCE; THENCE, S89°48'03"E, 878.49 FEET DISTANCE, LEAVING SAID RIGHT OF WAY TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, S15°11'39"E, 657.67 FEET DISTANCE TO A POINT; THENCE, S89°40'09"E, 300.04 FEET DISTANCE TO A POINT; THENCE, N83°23'22"E, 193.58 FEET DISTANCE TO A POINT; THENCE, S14°59'23"E, 142.81 FEET DISTANCE TO A POINT, ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF I-40, ALSO BEING A POINT ON A CURVE; THENCE, 404.98 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE RIGHT, (SAID ARC HAVING A CENTRAL ANGLE OF 10°01'29" AND A CHORD BEARING OF S83°56'54"W, 404.46) FEET DISTANCE TO A POINT OF COMPOUND CURVATURE; THENCE, 280.23 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A CENTRAL ANGLE OF 20°45'05" AND A CHORD BEARING OF N80°41'11"W, 258.81) FEET DISTANCE TO A POINT; THENCE, N70°18'12"W, 197.43 FEET DISTANCE TO A POINT; THENCE, N76°26'35"W, 202.41 FEET DISTANCE TO A POINT, ALSO BEING A POINT ON A CURVE; THENCE, 730.10 FEET DISTANCE ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARC HAVING A CENTRAL ANGLE OF 61°28'16" AND A CHORD BEARING OF N45°43'22"W, 696.59) FEET DISTANCE TO A POINT OF TANGENCY; THENCE, N14°59'23"W, 181.80 FEET DISTANCE TO A POINT AND PLACE OF BEGINNING AND CONTAINING 14.5337 ACRES, MORE OR LESS

**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO CREATE SEVENTY-EIGHT (78) LOTS AND SIX (6) OPEN SPACE TRACTS FROM FIVE (5) EXISTING TRACTS, DEDICATE ADDITIONAL RIGHT OF WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE TITLE WITH WARRANTY COVENANTS AND GRANT ADDITIONAL PUBLIC UTILITY EASEMENTS AND ALL PUBLIC ACCESS, WATER AND SEWER EASEMENTS.

PROJECT NUMBER: 1003523  
APPLICATION NUMBER: 06DRB-01529

UTILITY APPROVALS:		
QWEST	<i>David R. Vigil</i>	10/20/06
COMCAST CABLE	<i>Robbie Bullock</i>	10-27-06
PNM ELECTRICAL AND GAS SERVICES	<i>Sean G. M...</i>	10-30-06
CITY APPROVALS:		
CITY SURVEYOR	<i>David R. Vigil</i>	10-18-06
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	<i>Tom...</i>	10-25-06
UTILITIES DEVELOPMENT	<i>Christina Sandoval</i>	10/25/06
PARKS AND RECREATION DEPARTMENT	<i>Lynn M. Mason</i>	10-27-06
CITY ENGINEER	<i>Bradley B. B...</i>	10/25/06
DRB CHAIRPERSON, PLANNING DEPARTMENT	<i>D. Watson</i>	10/30/06
REAL PROPERTY DIVISION	N/A	



**PNM STAMP**

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE AND EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

**FREE CONSENT**

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY VACATE EASEMENTS AS SHOWN, GRANT ADDITIONAL EASEMENTS AS SHOWN AND DO HEREBY DEDICATE STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER(S) SIGNATURE: *Tim McNaney* DATE: 10-02-06  
OWNER(S) PRINT NAME: TIM MCNANEY, MANAGING MEMBER, MONTEREY LAND GROUP II, LLC  
ADDRESS: \_\_\_\_\_ TRACT: \_\_\_\_\_  
ACKNOWLEDGMENT  
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF October, 2006.  
BY: *Tim McNaney*  
MY COMMISSION EXPIRES: April 28, 09  
*René L. Ryan*  
OFFICIAL SEAL  
RENE L. RYAN  
Notary Public  
State of New Mexico  
My Commission Expires 4/28/09

**MAINTENANCE AGREEMENT**

MAINTENANCE AND OWNERSHIP OF ALL 100' TRACTS AND OPEN SPACE TRACTS WILL BE THE RESPONSIBILITY OF PRIMA ENTRADA HOME OWNERS ASSOCIATION. Private access easement for the benefit of Prima Entrada HOA. Said organization is responsible for all maintenance.

*Tim McNaney* 10-02-06  
TIM MCNANEY, MANAGING MEMBER, MONTEREY LAND GROUP II, LLC

**SURVEYORS CERTIFICATION**

I, DAVID R VIGIL, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR NUMBER 8911, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS IN OCTOBER 2000 AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED THE SUBDIVISION ORDINANCE OF THE CITY OF ALBUQUERQUE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*David R. Vigil*  
DAVID R VIGIL  
NEW MEXICO PROFESSIONAL SURVEYOR 8911  
DATE: 10-17-06



**TREASURERS CERTIFICATION**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT ON THE FOLLOWING PROPERTY

UPC#s 100905802305130901 & 1008058449408740220

*F. Juarez* 10-30-06

- PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEYS.
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON THE ACS CONTROL MONUMENTS REWARD AND 3-H10, AS SHOWN HEREON.
- DISTANCES ARE GROUND DISTANCES.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE RECORD
- GROSS ACREAGE: 14.3557
- NUMBER OF EXISTING TRACTS/LOTS 5
- NUMBER OF TRACTS/LOTS CREATED: 78 LOTS, 6 OPEN SPACE AND 1 TEMPORARY DRAINAGE TRACT
- ACREAGE OF ROAD DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS:
- ZONING: SU-2
- RECORDS USED:  
A. PLAT OF SUNDORO SOUTH BOOK 2004C, FOLIO 220  
B. PLAT OF SUNDORO SOUTH UNIT 6, BOOK 2005C, FOLIO 302  
C. ASSESSORS MAP PROVIDED BY ASSESSOR  
D. TITLE SEARCH BY LANDAMERICA/ALBUQUERQUE TITLE #2436958B  
E. TITLE SEARCH BY FIDELITY NATIONAL TITLE #06-13004309-B-SS  
F. BOOK D348, PAGE 43, 04-12-56  
G. BOOK A111, PAGE 7878  
H. BOOK A110, PAGE 5017
- CITY OF ALBUQUERQUE ZONE ATLAS PAGE: J 8-Z AND J 9-Z
- UCLS LOG NUMBER: 20061172256
- ALL CORNERS FOUND AND USED IN THIS SURVEY WERE TAGGED WITH A BRASS DISK STAMPED "GEO-SURV 8911" UNLESS OTHERWISE INDICATED.
- ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH PLASTIC CAP STAMPED "GEO-SURV 8911" OR A CONCRETE NAIL WITH A BRASS DISK STAMPED "JGI 8911".
- FIELD SURVEY WERE PERFORMED IN THE MONTH OF AUGUST 2005
- MILEAGE OF ROAD CREATED: 1.285

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS ON THE PLAT ARE THE COMMON JOINT USE OF

A. PNM ELECTRICAL SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICES

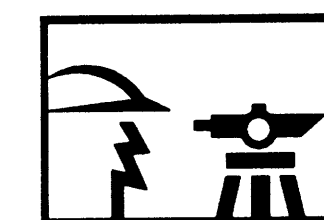
B. PNM GAS SERVICES FOR INSTALLATION MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITATES REASONABLY NECESSARY TO PROVIDE NATURAL GAS

C. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITATES NECESSARY TO PROVIDE COMMUNICATIONS SERVICE, INCLUDED BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.

D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE TO PROVIDE CABLE TV SERVICE

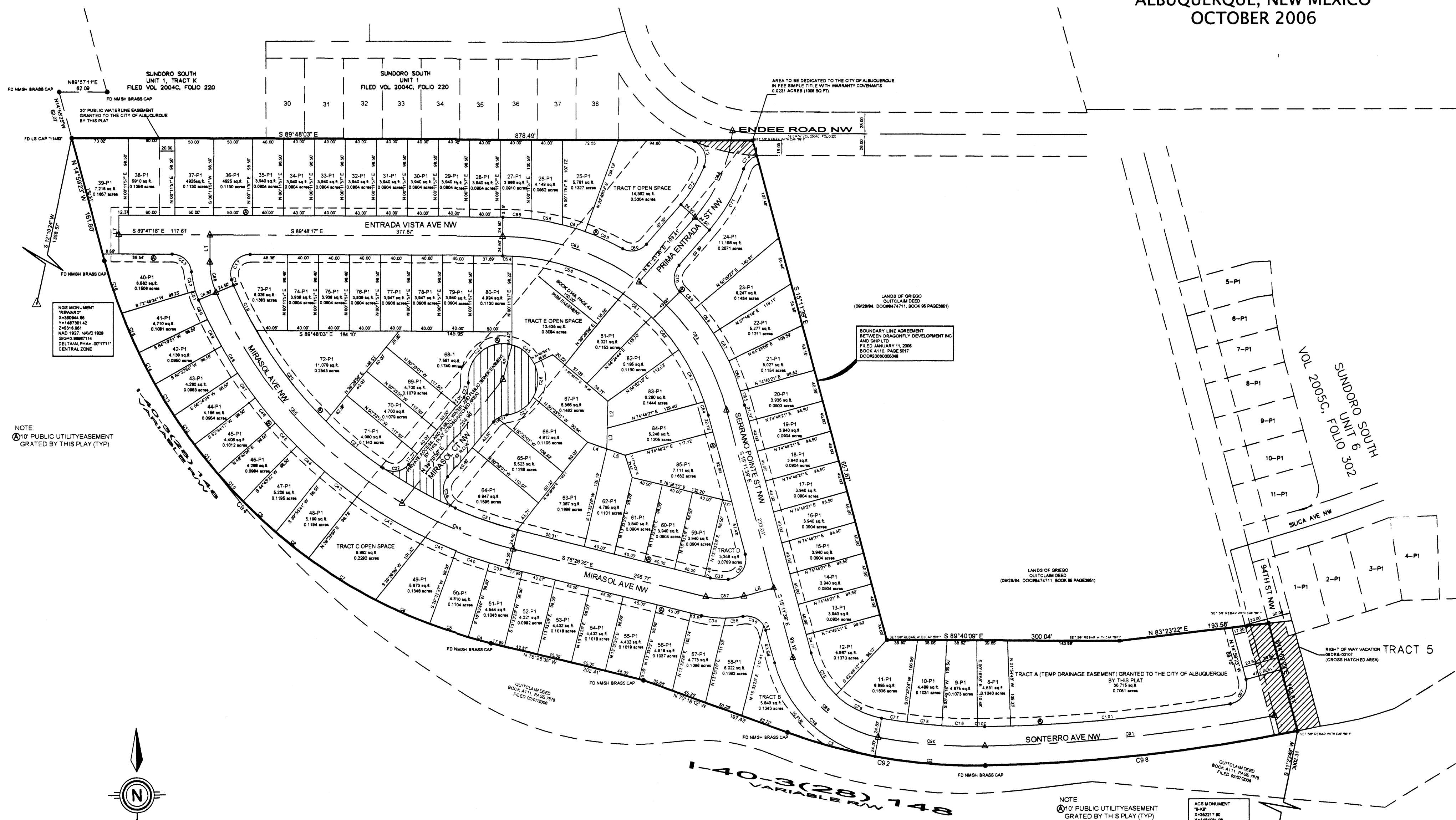
INCLUDE THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND THE PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING OR OTHER SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE RESPONSIBLE FOR CORRECTING AND VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY THE CONSTRUCTION OF POOLS, DECKING, OR AND STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

**E. NO PERMANENT STRUCTURES OR LANDSCAPING OVER 14" SHALL BE PERMITTED IN THE 100' PNM EASEMENT FILED IN BOOK D348, PG 43.**



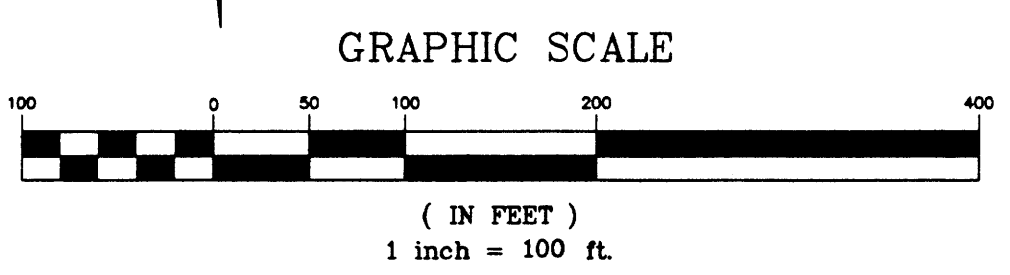
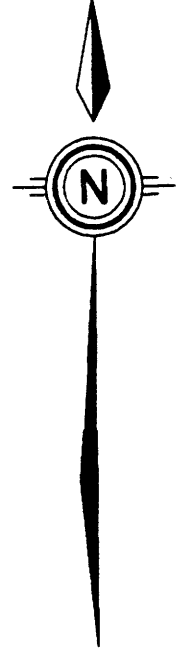
GEO-SURVCO, INC  
PO BOX 6517  
ALBUQUERQUE, NEW MEXICO 87193-5717  
505-975-4567  
FAX 505-898-0616

**PLAT OF  
PRIMA ENTRADA  
TOWN OF ATRISCO GRANT  
PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
ALBUQUERQUE, NEW MEXICO  
OCTOBER 2006**



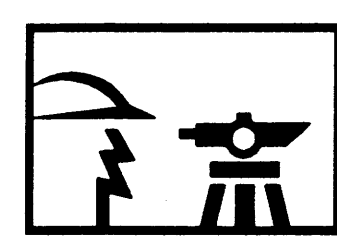
NOTE  
10' PUBLIC UTILITY EASEMENT  
GRANTED BY THIS PLAT (TYP)

NOTE  
10' PUBLIC UTILITY EASEMENT  
GRANTED BY THIS PLAT (TYP)



2006165298  
655265  
Page: 2 of 5  
18/38/2006 03:16P  
Bk-2096C Pg-332

Mary Herrera Bern. Co. PLRT R 27.00



GEO-SURVCO, INC  
PO BOX 65717  
ALBUQUERQUE, NEW MEXICO 87193-5717  
505-975-4567  
FAX 505-898-0616

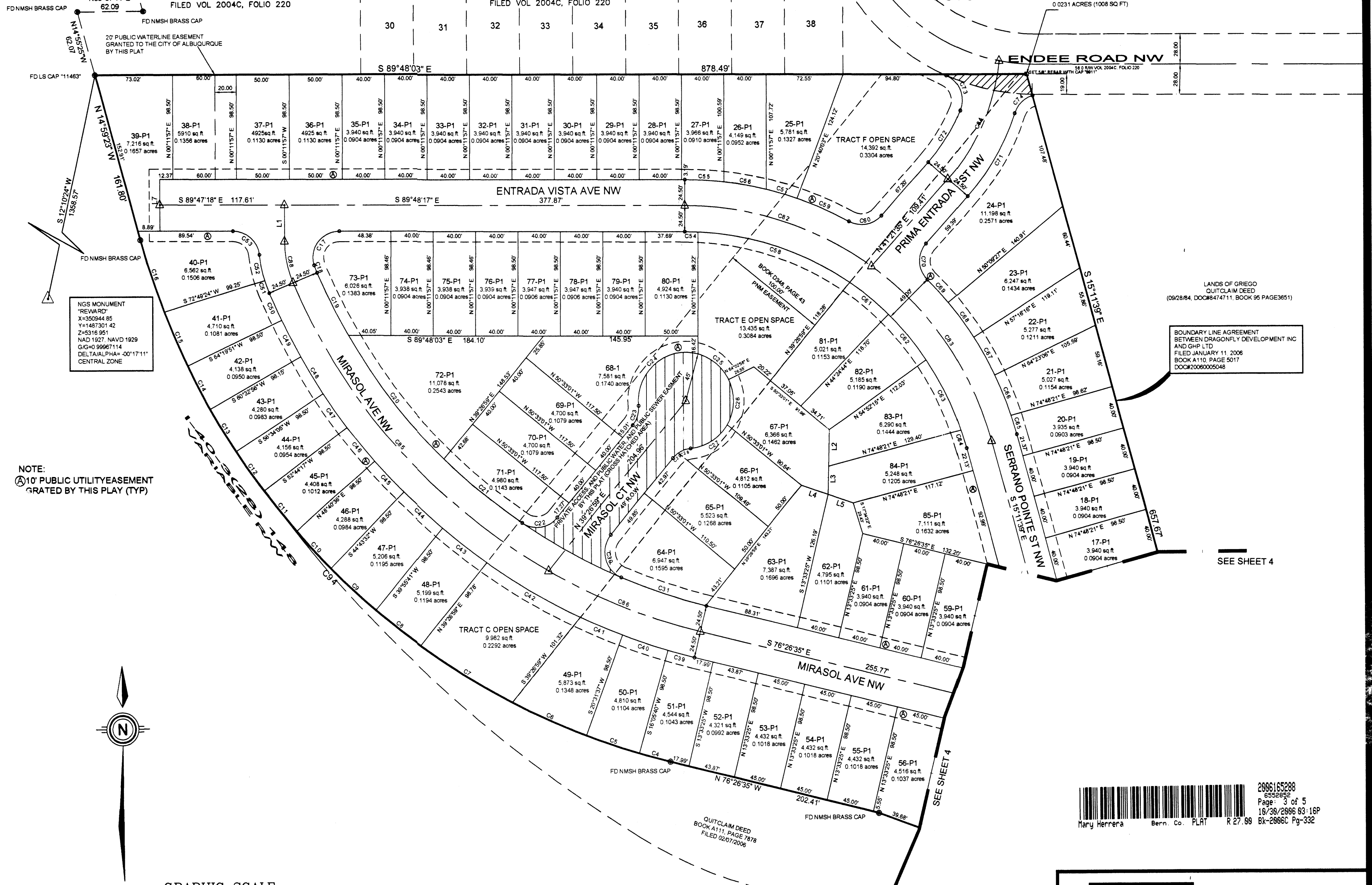


**PLAT OF  
PRIMA ENTRADA  
TOWN OF ATRISCO GRANT  
PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
ALBUQUERQUE, NEW MEXICO  
OCTOBER 2006**

AREA TO BE DEDICATED TO THE CITY OF ALBUQUERQUE  
IN FEE SIMPLE TITLE WITH WARRANTY COVENANTS  
0.0231 ACRES (1008 SQ FT)

SUNDORO SOUTH  
UNIT 1, TRACT K  
FILED VOL 2004C, FOLIO 220

SUNDORO SOUTH  
UNIT 1  
FILED VOL 2004C, FOLIO 220

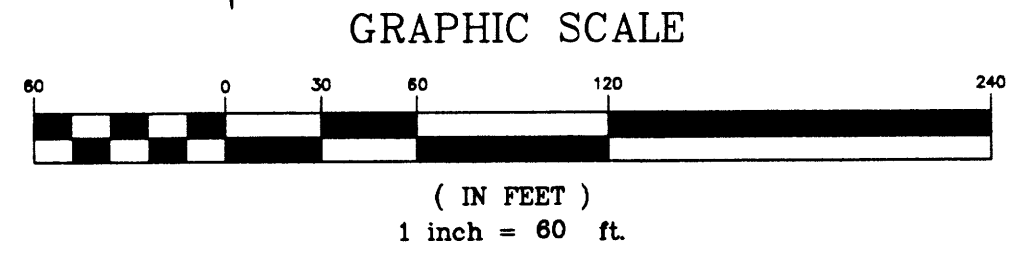
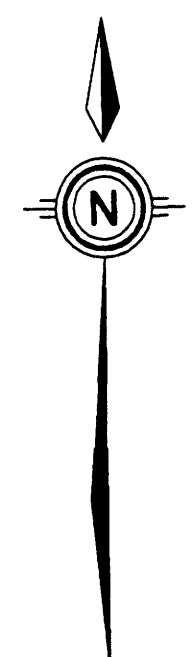


NGS MONUMENT  
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X=350944.85  
Y=1487301.42  
Z=5316.951  
NAD 1927, NAVD 1929  
GEOID 99967114  
DELTA ALPHA = -00°17'11"  
CENTRAL ZONE

NOTE:  
Ⓐ 10' PUBLIC UTILITY EASEMENT  
GRANTED BY THIS PLAT (TYP)

LANDS OF GRIEGO  
QUITCLAIM DEED  
(09/28/84, DOC#8474711, BOOK 95 PAGE3651)

BOUNDARY LINE AGREEMENT  
BETWEEN DRAGONFLY DEVELOPMENT INC  
AND GHP LTD  
FILED JANUARY 11, 2006  
BOOK A110, PAGE 5017  
DOC#2006005048



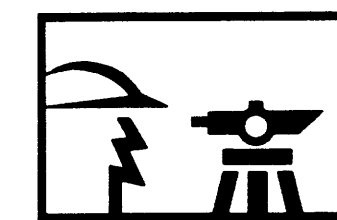
SEE SHEET 4

SEE SHEET 4

2006165288  
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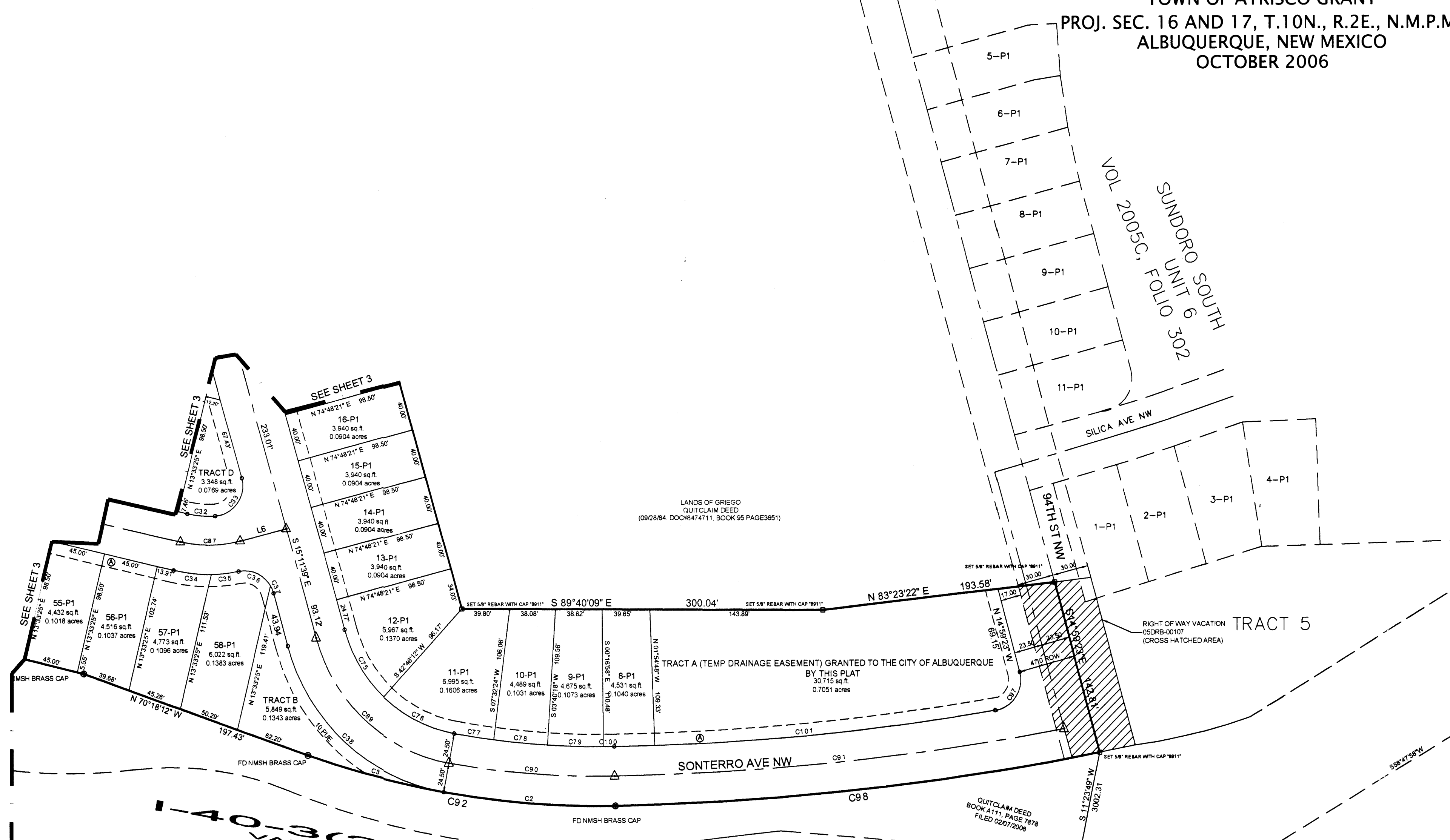
Mary Herrera Bern. Co. PLAT R 27.98

QUITCLAIM DEED  
BOOK A111, PAGE 7878  
FILED 02/07/2006



GEO-SURVCO, INC  
PO BOX 65717  
ALBUQUERQUE, NEW MEXICO 87193-5717  
505-975-4567  
FAX 505-898-0616

PLAT OF  
PRIMA ENTRADA  
TOWN OF ATRISCO GRANT  
PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.  
ALBUQUERQUE, NEW MEXICO  
OCTOBER 2006



LANDS OF GRIEGO  
QUITCLAIM DEED  
(09/28/84 DOC#8474711, BOOK 95 PAGE3651)

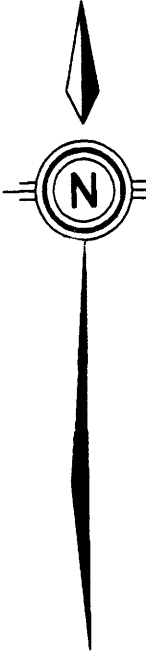
RIGHT OF WAY VACATION  
05DR8-00107  
(CROSS HATCHED AREA)

TRACT A (TEMP DRAINAGE EASEMENT) GRANTED TO THE CITY OF ALBUQUERQUE  
BY THIS PLAT  
30,715 sq. ft.  
0.7051 acres

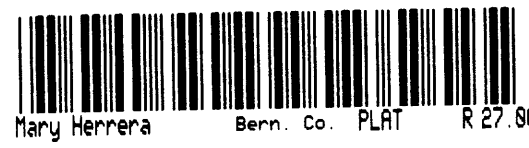
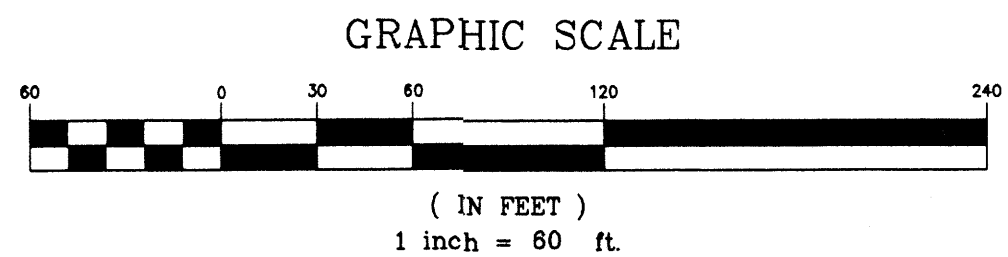
QUITCLAIM DEED  
BOOK A111, PAGE 7878  
FILED 02/07/2006

NOTE:  
Ⓐ 10' PUBLIC UTILITY EASEMENT  
GRANTED BY THIS PLAT (TYP)

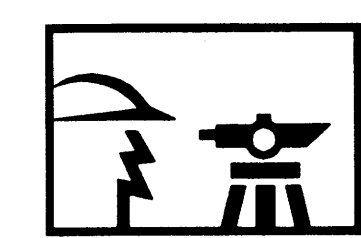
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NAD 1927, NAVD 1929  
G/G=0.99967415  
DELTA/ALPHA=-00°17'02"  
CENTRAL ZONE



I-40-3(28) 148  
VARIABLE RW 148



200615288  
6552852  
Page 4 of 5  
10/30/2006 03:16P  
Bk-2096C Pt-332



GEO-SURVCO, INC  
PO BOX 65717  
ALBUQUERQUE, NEW MEXICO 87193-5717  
505-975-4567  
FAX 505-898-0616

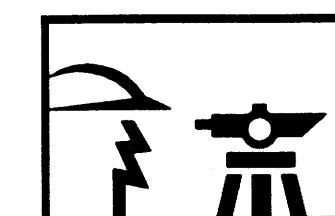


**PLAT OF**  
**PRIMA ENTRADA**  
**TOWN OF ATRISCO GRANT**  
**PROJ. SEC. 16 AND 17, T.10N., R.2E., N.M.P.M.**  
**ALBUQUERQUE, NEW MEXICO**  
**OCTOBER 2006**

LINE	LENGTH	BEARING
L1	34.44	N00°11'57"E
L2	34.57	S01°18'29"W
L3	27.00	S01°18'29"W
L4	26.40	S70°41'38"E
L5	24.91	S70°41'38"E
L6	39.71	N74°48'21"E
L7	49.00	S00°00'00"E

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD DISTANCE
C2	143.41	718.51	11°26'08"	S85°20'40"E	143.17
C3	116.82	718.51	9°18'57"	S74°58'07"E	116.69
C4	30.32	680.51	2°33'10"	S75°10'56"E	30.32
C5	52.65	680.51	4°25'57"	S71°41'22"E	52.63
C6	76.10	680.51	6°24'25"	S66°16'10"E	76.06
C7	101.14	680.51	8°30'56"	S58°48'30"E	101.05
C8	53.19	680.51	4°28'42"	S52°18'40"E	53.18
C9	56.96	680.51	4°47'51"	S47°40'24"E	56.96
C10	46.93	680.51	3°57'04"	S43°17'56"E	46.92
C11	48.24	680.51	4°03'41"	S39°17'33"E	48.23
C12	45.49	680.51	3°49'48"	S35°20'49"E	45.48
C13	46.91	480.94	5°35'17"	S31°01'28"E	46.89
C14	45.29	480.94	5°31'43"	S28°01'27"E	45.27
C15	55.10	680.51	4°38'22"	S23°20'58"E	55.09
C16	71.77	680.51	6°02'33"	S18°00'31"E	71.73
C17	46.83	25.00	107°18'58"	S36°32'28"W	40.27
C18	7.64	75.50	5°47'46"	S20°00'54"E	7.63
C19	65.94	533.01	7°05'18"	S26°27'26"E	65.90
C20	146.58	533.01	15°45'25"	S37°52'47"E	146.12
C21	94.99	533.01	10°12'38"	S50°51'49"E	94.86
C22	36.91	25.00	84°34'54"	N81°44'25"E	33.64
C23	19.63	25.00	44°59'49"	N16°57'04"E	19.13
C24	86.86	45.00	110°35'58"	S49°45'08"W	73.99
C25	38.48	45.00	48°59'51"	N50°26'58"W	37.32
C26	43.80	45.00	55°45'46"	N01°55'51"E	42.09
C27	42.91	45.00	54°38'04"	N57°07'46"E	41.30
C28	12.51	25.00	28°40'08"	S70°06'44"W	12.38
C29	7.12	25.00	18°19'42"	S47°36'49"W	7.10
C30	46.61	25.00	106°48'59"	S13°57'31"E	40.15
C31	84.11	533.01	9°02'31"	S71°53'18"E	84.03
C32	23.16	75.50	17°34'38"	S85°13'54"E	23.07
C33	44.15	25.00	101°10'26"	N35°23'34"E	38.63
C34	31.42	124.50	14°27'35"	S83°40'23"E	31.34
C35	22.90	124.50	10°32'17"	N83°49'41"E	22.87
C36	30.87	25.00	70°45'36"	N66°03'39"W	28.95
C37	6.78	25.00	15°29'12"	N22°56'15"W	6.74
C38	184.99	164.50	64°25'57"	S47°24'37"E	175.40
C39	25.93	582.01	2°33'10"	S75°10'56"E	25.93
C40	45.03	582.01	4°25'57"	S71°41'22"E	45.02
C41	43.12	582.01	4°14'42"	S67°21'02"E	43.11
C42	101.57	582.01	9°59'57"	S60°13'42"E	101.44
C43	52.38	582.01	5°09'25"	S52°39'01"E	52.37
C44	48.73	582.01	4°47'51"	S47°40'24"E	48.72
C45	40.14	582.01	3°57'04"	S43°17'56"E	40.13
C46	41.26	582.01	4°03'41"	S39°17'33"E	41.25
C47	38.90	582.01	3°49'48"	S35°20'49"E	38.90
C48	40.06	582.01	3°56'39"	S31°27'36"E	40.06
C49	38.79	582.01	3°49'08"	S27°34'43"E	38.78
C50	28.00	582.01	2°45'22"	S24°17'28"E	27.99
C51	12.46	124.50	5°44'11"	S20°02'41"E	12.46
C52	25.22	124.50	11°36'20"	S11°22'26"E	25.17
C53	36.75	25.00	84°13'47"	N47°41'09"W	33.53
C54	12.31	275.50	2°33'38"	N88°31'14"W	12.31
C55	36.89	324.50	6°30'46"	N86°32'40"W	36.87
C56	40.66	324.50	7°10'43"	N79°41'55"W	40.63
C57	30.39	324.50	5°21'56"	N73°25'36"W	30.38
C58	152.91	275.50	31°48'01"	N71°20'25"W	150.95
C59	53.39	324.50	9°25'39"	N66°01'48"W	53.33
C60	33.74	25.00	77°19'26"	N80°01'18"E	31.24
C61	47.37	275.50	9°51'08"	N50°30'50"W	47.32
C62	55.29	275.50	11°29'55"	N39°50'19"W	55.20
C63	72.97	275.50	15°10'32"	N26°30'05"W	72.76
C64	17.88	275.50	3°43'10"	N17°03'14"W	17.88
C65	18.64	324.50	3°17'31"	N16°50'24"W	18.64
C66	40.38	324.50	7°07'44"	N22°03'02"W	40.35
C67	40.29	324.50	7°06'49"	N29°10'19"W	40.28
C68	40.29	324.50	7°06'49"	N36°17'08"W	40.26
C69	29.10	324.50	5°08'18"	N42°24'42"W	29.09
C70	37.67	25.00	86°20'26"	S01°48'38"E	34.21
C71	90.05	224.50	22°58'58"	N29°52'06"E	89.45
C72	56.86	175.50	18°33'45"	N32°04'43"E	56.81
C73	38.70	25.00	88°40'58"	N21°32'39"W	34.95
C74	24.37	25.00	55°51'19"	S46°18'16"W	23.42
C75	63.41	115.50	31°27'26"	S30°55'22"E	62.62
C76	66.47	115.50	32°58'30"	S63°08'21"E	65.56
C77	33.11	669.51	2°50'00"	S81°02'36"E	33.11
C78	45.20	669.51	3°52'06"	S84°23'39"E	45.19
C79	46.21	669.51	3°57'16"	S88°18'20"E	46.20
C82	188.28	300.00	35°57'35"	N71°49'15"W	185.21
C83	202.35	300.00	38°38'49"	N34°31'03"W	198.54
C84	122.15	200.00	34°59'35"	N23°51'47"E	120.26
C85	366.90	557.51	37°42'22"	S41°45'58"E	360.31
C86	154.12	557.51	15°50'21"	S68°32'20"E	153.63
C87	50.18	100.00	28°45'04"	N89°10'53"E	49.66
C88	40.34	100.00	23°06'44"	S11°21'25"E	40.07
C89	157.44	140.00	64°25'57"	S47°24'37"E	149.27
C90	138.52	694.01	11°26'08"	S85°20'40"E	138.29
C91	375.43	2290.14	9°23'34"	N84°14'29"E	375.01
C92	280.23	718.51	20°45'05"	S80°41'11"E	258.81
C94	730.10	680.51	61°28'16"	S45°43'22"E	695.59
C97	41.84	25.00	95°52'50"	N32°57'03"E	37.12
C98	404.98	2314.64	10°01'29"	N83°56'54"E	404.46
C100	9.11	669.51	0°46'45"	N89°19'39"E	9.11
C101	318.24	2075.01	8°47'15"	N84°54'52"E	317.93

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