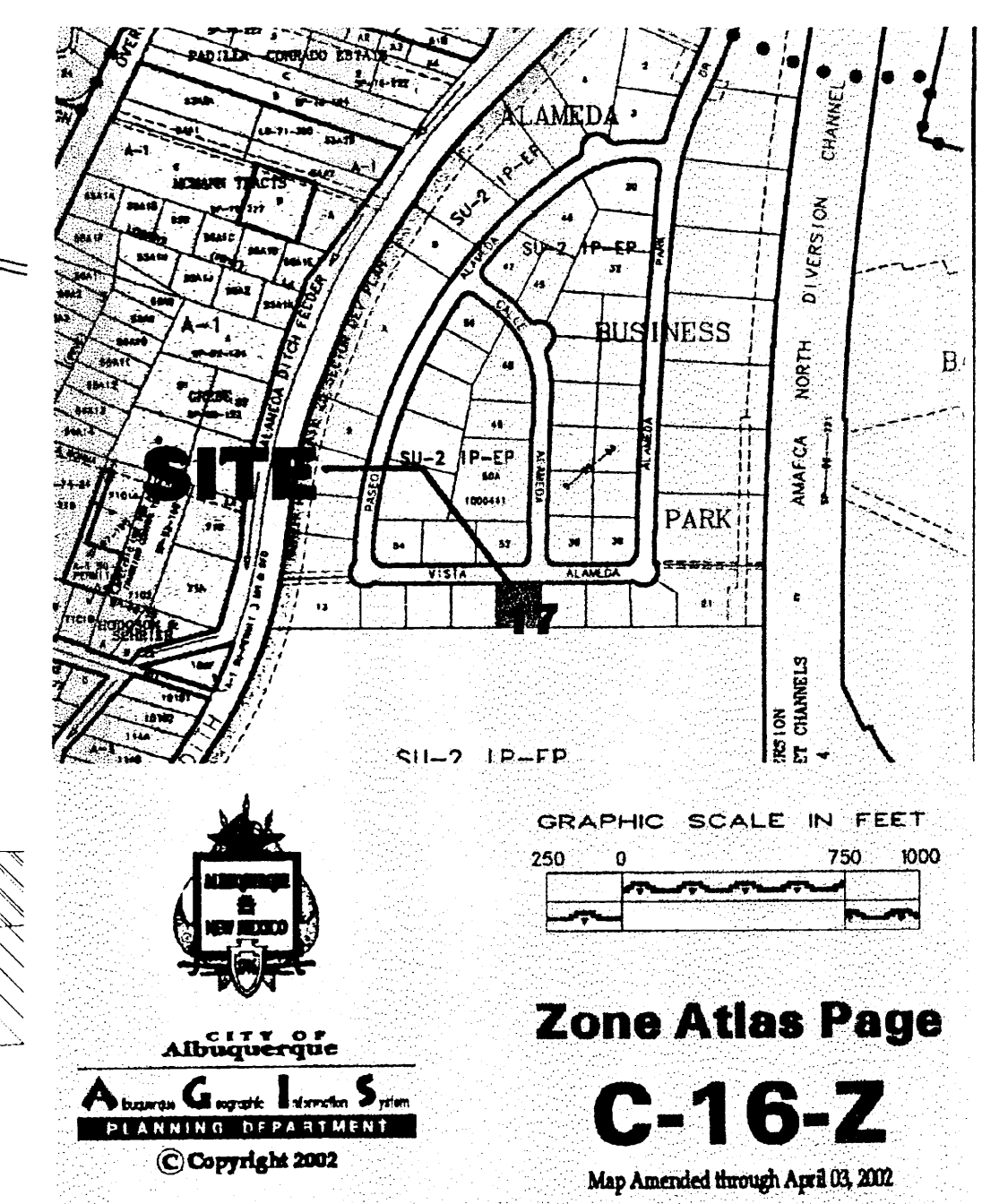
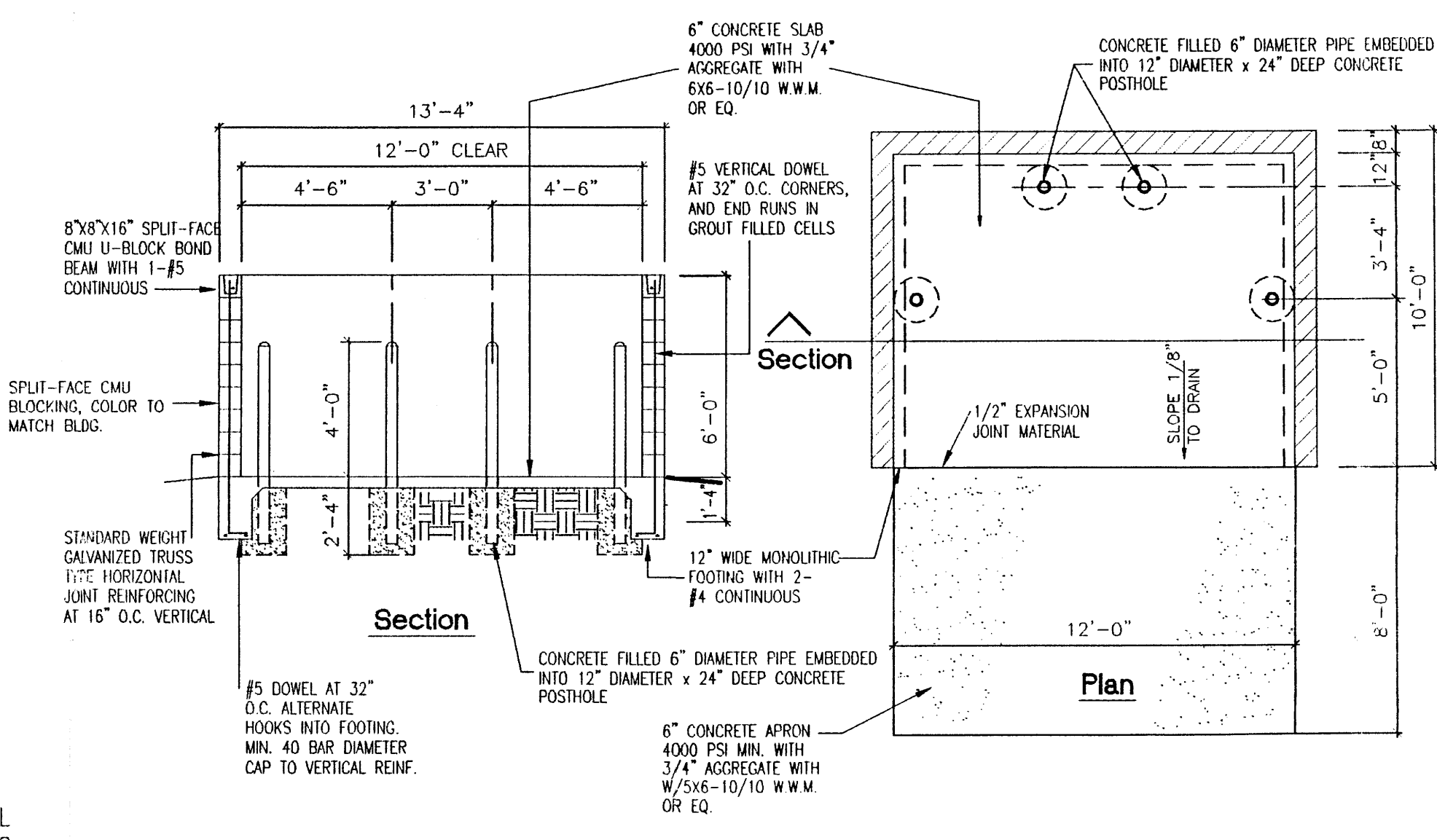




VISTA ALAMEDA NE



PROJECT DATA:	
CONSTRUCTION TYPE:	VN
OWNER:	UPC #1 016 064 383 179 40121 WASHINGTON ST. INVESTMENTS LLC 8813 SMD ST NW ALBUQUERQUE, NM 87114
ARCHITECT:	RICK BENNETT ARCHITECTS 1104 PARK AVENUE SW ALBUQUERQUE, NM 87102
SITE ADDRESS:	3416 VISTA ALAMEDA NW ALBUQUERQUE, NM 87106
OCCUPANCY GROUP:	OFFICE - B WAREHOUSE - S2
SQUARE FOOTAGE:	OFFICE = 2,765 S.F. WAREHOUSE = 3,927 S.F. TOTAL = 6,692 S.F.
ROOF LIVE LOAD:	20 PSF (NON-REDUCABLE)
WIND LOAD:	75 MPH
EXPOSURE:	C
SEISMIC ZONE:	2B
LEGAL DESCRIPTION:	
LOT 17 PLAT OF ALAMEDA BUSINESS PARK (A REPLAT OF TRACT B-1-A-1 LANDS OF SPRINGER BUILDING MATERIALS CORPORATION) CONT .5165 AC	



OCCUPANT LOAD	
OFFICE:	2,765 SF/100 = 28 OCCUPANTS
WAREHOUSE:	3,927 SF/500 = 8 OCCUPANTS

LANDSCAPING REQUIREMENTS	
LOT AREA	22,500 S.F.
BUILDING AREA	-6,692 S.F.
NET LOT AREA	= 15,808 S.F.
REQUIRED:	15,808 x .15% = 2,371 S.F. OF LANDSCAPING
PROVIDED:	2,600 S.F. OF LANDSCAPING

PARKING CALCULATIONS	
REQUIRED	
OFFICE:	2,765 SF/200 = 14 SPACES
WAREHOUSE:	3,927 SF/1,000 = 4 SPACES
H.C.:	< 50 SPACES = 1
PROVIDED	
REGULAR:	18 (1 H.C.)
TOTAL	18

(D) TYPICAL SLAB AT DUMPSTER

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	22,500 square feet
TOTAL BUILDING AREA	6,692 square feet
OFFICE AREA	2 square feet
NET LOT AREA	15,808 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	2,371 square feet
TOTAL LANDSCAPE PROVIDED	2,600 square feet

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance, Water Management, or the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Water Conservation Landscaping and Water Waste Ordinance. In general, water-conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% tree ground cover at maturity.

Subsoil Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trickle to receive (2) 3.0 GPH Drip Emitters and Sinks to receive (2) 3.0 GPH Drip Emitters. Drip and Dripper systems to be tied to 1/2" polytubes with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is shown at current line and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided.

- PLANT LEGEND**
- FLOWERING PEAR (M) 6
Pyrus calleryana
2" Cal.
 - RED YUCCA (L) 10
Hesperaloe parviflora
5 Gal.
 - MAIDENHAIR (M) 21
Miscanthus sinensis
5 Gal. 16oz
 - RUSSIAN SAGE (M) 14
Perovskia atriplicifolia
5 Gal.
 - ROSEMARY (M) 6
Rosmarinus officinalis
2 Gal. 3oz
 - SANTA FE BROWN GRAVEL WITH FILTER FABRIC

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

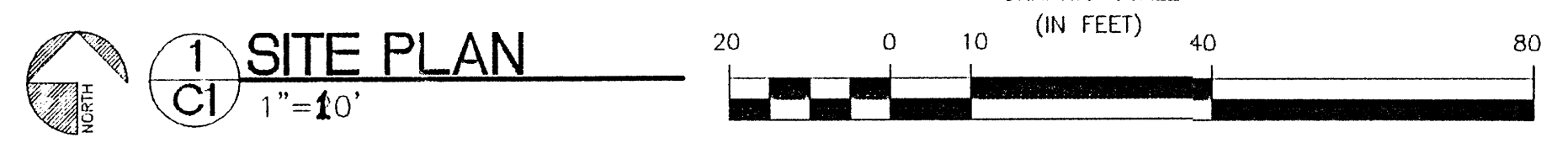
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and that the findings and conditions in the official notice: Notification of Decision have been complied with.

Site Development Plan Approval:

Environmental Health Department - Conditional	Date _____
Fire Marshal <i>Eric C. Gilman</i>	Date 6-29-04
Solid Waste Management	Date _____
Traffic, Engineering, Transportation Division	Date _____
Utilities Development	Date _____
Parks and Recreation Department	Date _____
AMAFCA	Date _____
City Engineer	Date _____

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

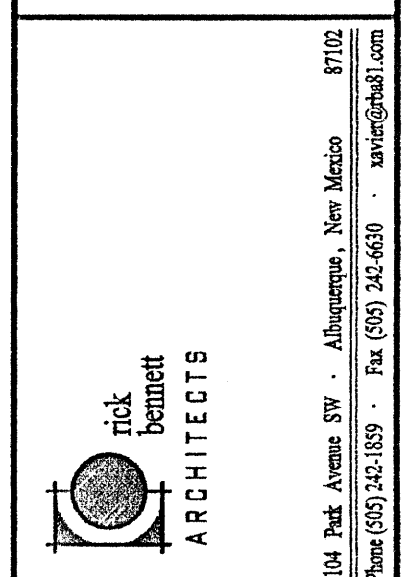
AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
6-29-04
SIGNATURE & DATE

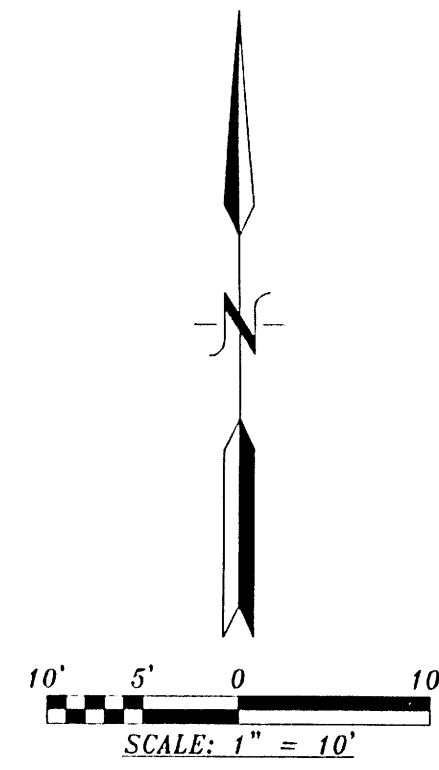


1 SITE PLAN
1" = 10'

OFFICE/WAREHOUSE BUILDING
SITE PLAN
3416 VISTA ALAMEDA NE
ALBUQUERQUE, NM
PROJECT #0425

REVISION DATE	
06-24-04	
DATE	
06-23-04	
SHEET NUMBER	
C-1	



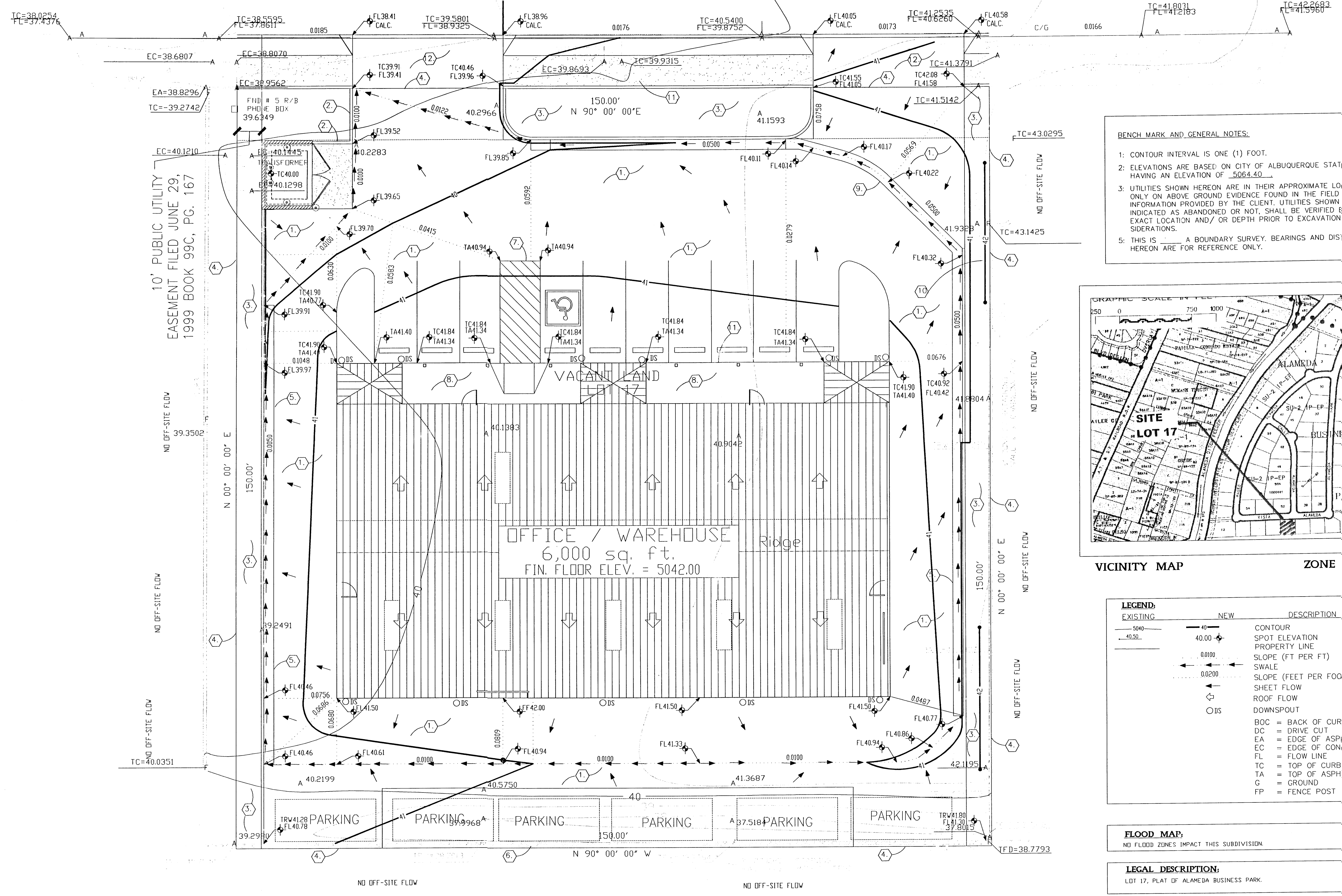


- KEYED NOTES**
1. NEW ASPHALT PAVEMENT.
 2. NEW 6" CURB.
 3. LANDSCAPING.
 4. PROPERTY LINE.
 5. CONC. CURB & GUTTER.
 6. BUILD NEW RETAINING WALL ON TOP OF EXISTING RETAINING WALL, IF FEASIBLE.
 7. ACCESSIBLE PARKING SP. W/ 8.0' ACCESS AISLE.
 8. COVERED ENTRY.
 9. CONCRETE VALLEY GUTTER. (SEE DETAIL SHT. 2 OF 2)
 10. TREATED TIMBER RET. WALL, AS REQUIRED.
 11. NEW CONCRETE SIDEWALK.
 12. NEW DRIVEPAD.

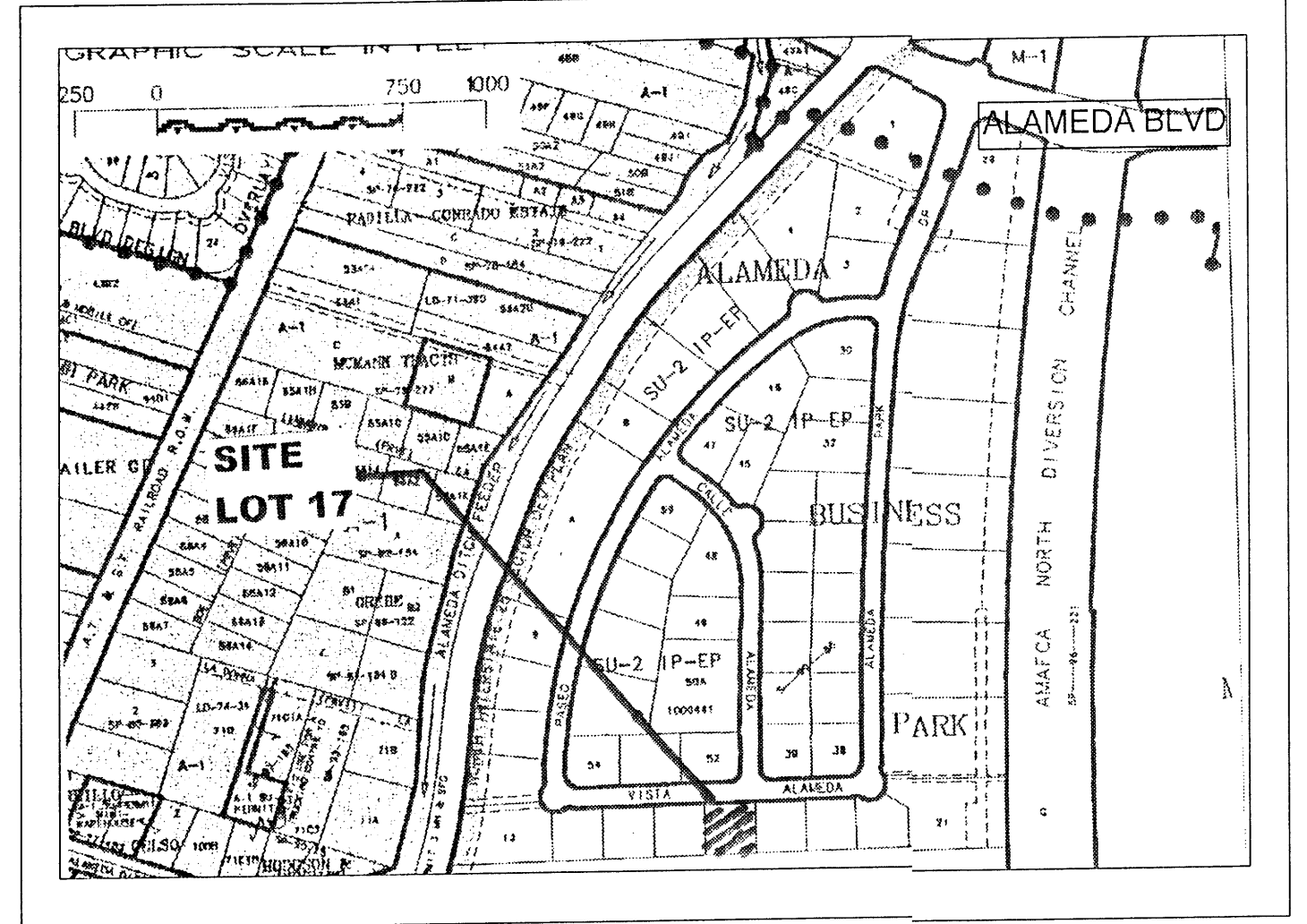
- EROSION CONTROL NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE FOLLOWING:
1. NO SEDIMENT-BEARING WATER SHALL BE ALLOWED TO DISCHARGE FROM THE SITE DURING CONSTRUCTION.
 2. DURING GRADING OPERATIONS AND UNTIL THE PROJECT HAS BEEN COMPLETED, ALL ADJACENT PROPERTY, RIGHTS-OF-WAY, AND EASEMENTS SHALL BE PROTECTED FROM FLOODING BY RUNOFF FROM THE SITE.
 3. SHOULD THE CONTRACTOR FAIL TO PREVENT SEDIMENT-BEARING WATER FROM ENTERING PUBLIC RIGHT-OF-WAY, HE SHALL PROMPTLY REMOVE FROM THE PUBLIC RIGHT-OF-WAY ANY AND ALL SEDIMENT ORIGINATING FROM THE SITE.
 4. CONTROL OF SEDIMENT-LADEN WATERS WILL BE ACCOMPLISHED BY USE OF A COMPACTED EARTH BERM OF ADEQUATE HEIGHT. THE BERM SHALL BE LOCATED ALONG THE DOWNSTREAM PERIMETER OF THE PROPERTY.

TEMPORARY BENCH MARK (TBM):
 N. RIM OF SAS MANHOLE
 ELEVATION = 5041.9055

VISTA ALAMEDA N.E.
 60' R/W



- BENCH MARK AND GENERAL NOTES:**
1. CONTOUR INTERVAL IS ONE (1) FOOT.
 2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "NDC 7-1B2", HAVING AN ELEVATION OF 5064.40
 3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 5. THIS IS A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

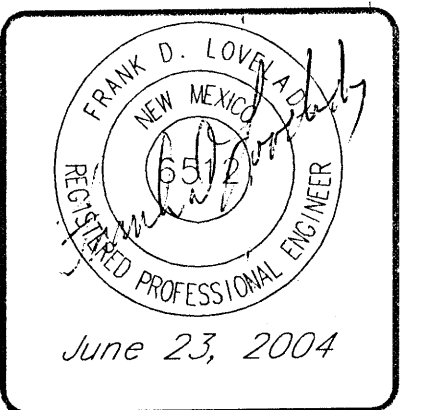


LEGEND:

EXISTING	NEW	DESCRIPTION
5040	40.00	CONTOUR
40.50	40.00	SPOT ELEVATION
		PROPERTY LINE
	0.0100	SLOPE (FT PER FT)
	0.0200	SLOPE (FEET PER FOOT)
		SHEET FLOW
		ROOF FLOW
		DOWNSPOUT
		BOC = BACK OF CURB
		DC = DRIVE CUT
		EA = EDGE OF ASPHALT
		EC = EDGE OF CONCRETE
		FL = FLOW LINE
		TC = TOP OF CURB/CONCRETE
		TA = TOP OF ASPHALT
		G = GROUND
		FP = FENCE POST

FLOOD MAP:
 NO FLOOD ZONES IMPACT THIS SUBDIVISION.

LEGAL DESCRIPTION:
 LOT 17, PLAT OF ALAMEDA BUSINESS PARK.



CONCEPTUAL GRADING AND DRAINAGE PLAN
OFFICE/WAREHOUSE
 LOT 17, ALAMEDA BUSINESS PARK
 ALBUQUERQUE, NEW MEXICO

FRANK D. LOVELADY, P.E.
 (505) 345-2267 • Fax (505) 345-2115 • 300 ALAMOSA RD., SUITE 8700 • ALBUQUERQUE, NM 87107

JOB NO: 671
 DATE: June 23, 2004

REVISIONS

SHEET NO.
C-3

C:\ALLPROJ\671\Lot_17_C3.dwg (June 23, 2004)

DRAINAGE CALCULATIONS:

EXISTING CONDITIONS:

The site is located on the South side of Vista Alameda Drive, the first lot West of the center line of Calle Alameda Drive. The lot slopes from East to West at a slope of between 1.0 and 1.5 percent slope. The lots on the East side and West side of this site are developed. There is an existing retaining wall along the South boundary of the property. There is also a retaining wall along part of the East boundary of the site. There is a master grading plan for the subdivision. In accordance with that plan, all runoff from the site is conveyed by the street system to the detention pond. Due to the site being adjacent to the North Diversion Channel, on the downstream side, there are no FEMA Flood hazard areas in the subdivision.

DEVELOPED CONDITIONS:

It is proposed to construct a new office / warehouse building on the site as shown. Asphalt paving will surround the building on all sides. All storm runoff will be directed through the parking lot to the NW corner of the site where it will discharge into the street via the driveway.

DRAINAGE CRITERIA:

The calculations shown on this plan were prepared in accordance with Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, For the City of Albuquerque in cooperation with Bernalillo County, New Mexico and the Metropolitan Arroyo Flood Control Authority, January, 1993.

PRECIPITATION ZONE:

The site is between the Rio Grande River and San Mateo Blvd. and is, therefore, in Precipitation Zone 2.

LAND TREATMENT AREAS:

The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 2 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

LAND TREAT.	q(cfs/acre)		E (in)		Existing Site Areas		Developed Site Areas	
	100-yr.	10-yr.	100-yr.	10-yr.	%	Sq Ft.	%	Sq Ft.
A	1.56	0.38	0.53	0.13	0.0	0.0000	0.0	0.0000
B	2.28	0.95	0.78	0.28	0.0	0.0000	11.6	2,600
C	3.14	1.71	1.13	0.52	100.0	22,500	0.0	0.0000
D	4.70	3.14	2.12	1.34	0.0	0.0000	88.4	19,900
Totals					100.0	22,500	100.0	22,500

PEAK DISCHARGE:

EXISTING CONDITIONS:
 $Q_{100} = 0.5165 \times 3.14 = 1.62 \text{ cfs}$
 $Q_{10} = 0.5165 \times 1.71 = 0.88 \text{ cfs}$

DEVELOPED CONDITIONS:
 $Q_{100} = 0.0597 \times 2.28 + 0.4568 \times 4.70 = 2.28 \text{ cfs}$
 $Q_{10} = 0.0597 \times 0.95 + 0.4568 \times 3.14 = 1.49 \text{ cfs}$

VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR:

EXISTING CONDITIONS:
 $V_{100} = (22,500 \times 1.13) / 12 = 2,119 \text{ cf}$
 $V_{10} = (22,500 \times 0.52) / 12 = 975 \text{ cf}$

DEVELOPED CONDITIONS:
 $V_{100} = (2,600 \times 0.78 + 19,900 \times 2.12) / 12 = 3,685 \text{ cf}$
 $V_{10} = (2,600 \times 0.28 + 19,900 \times 1.34) / 12 = 2,283 \text{ cf}$

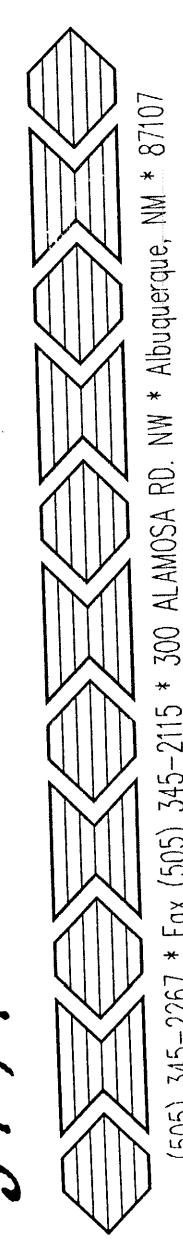
SUMMARY OF ON-SITE VOLUMES AND PEAK DISCHARGE RATES:

	V100(CF)	V10(CF)	Q100(CFS)	Q10(CFS)
DEVELOPED	3,685	2,283	2.28	1.49
EXISTING	2,119	975	1.62	0.88
INCREASE	1,566	1,308	0.66	0.61



**DRAINAGE CALCULATIONS
 OFFICE / WAREHOUSE
 LOT 17, ALAMEDA BUSINESS PARK
 ALBUQUERQUE, NEW MEXICO**

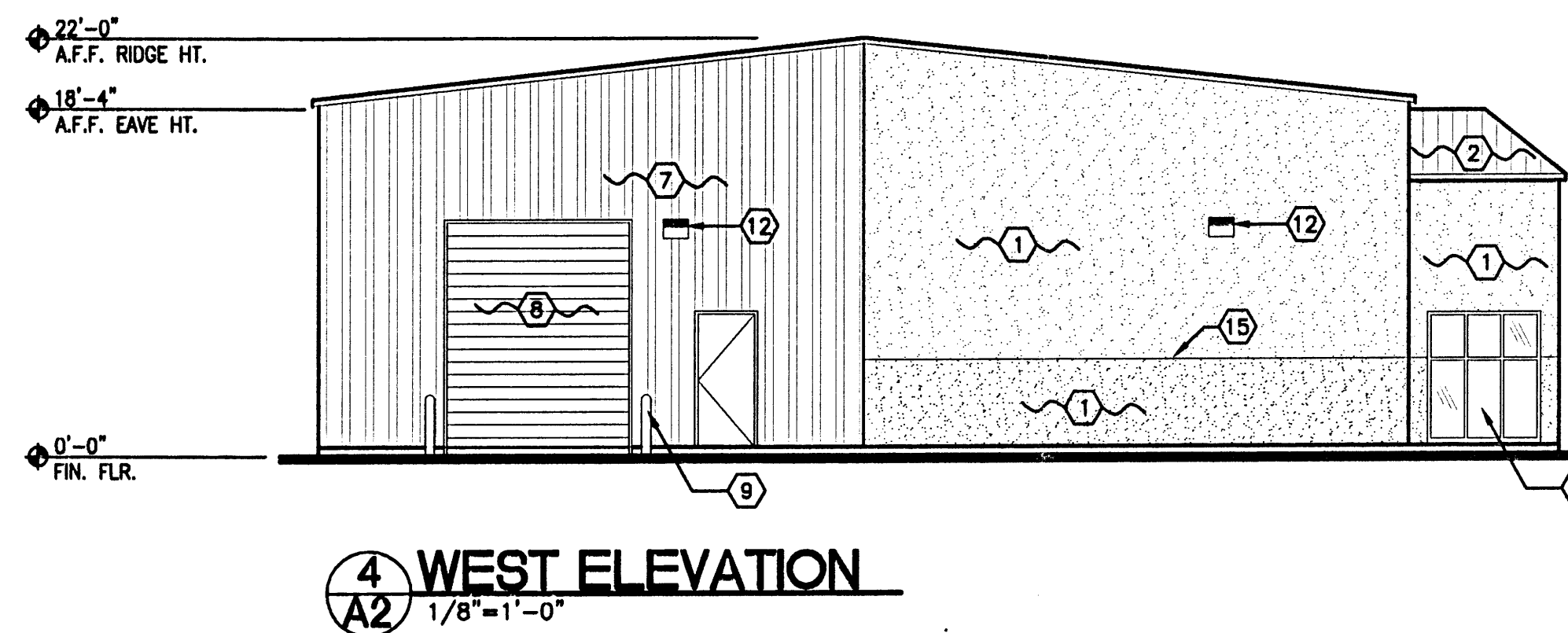
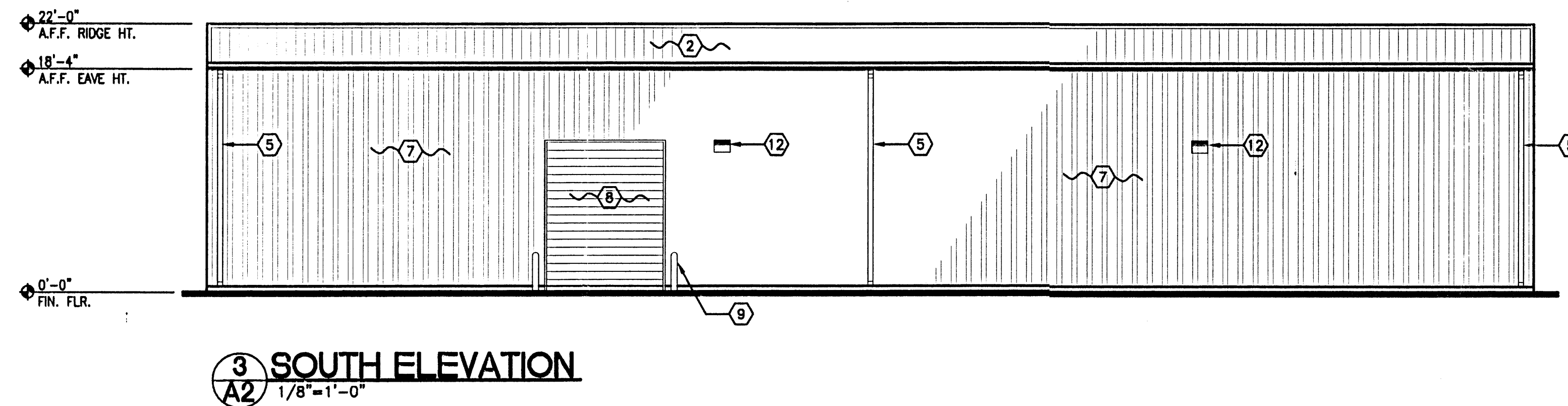
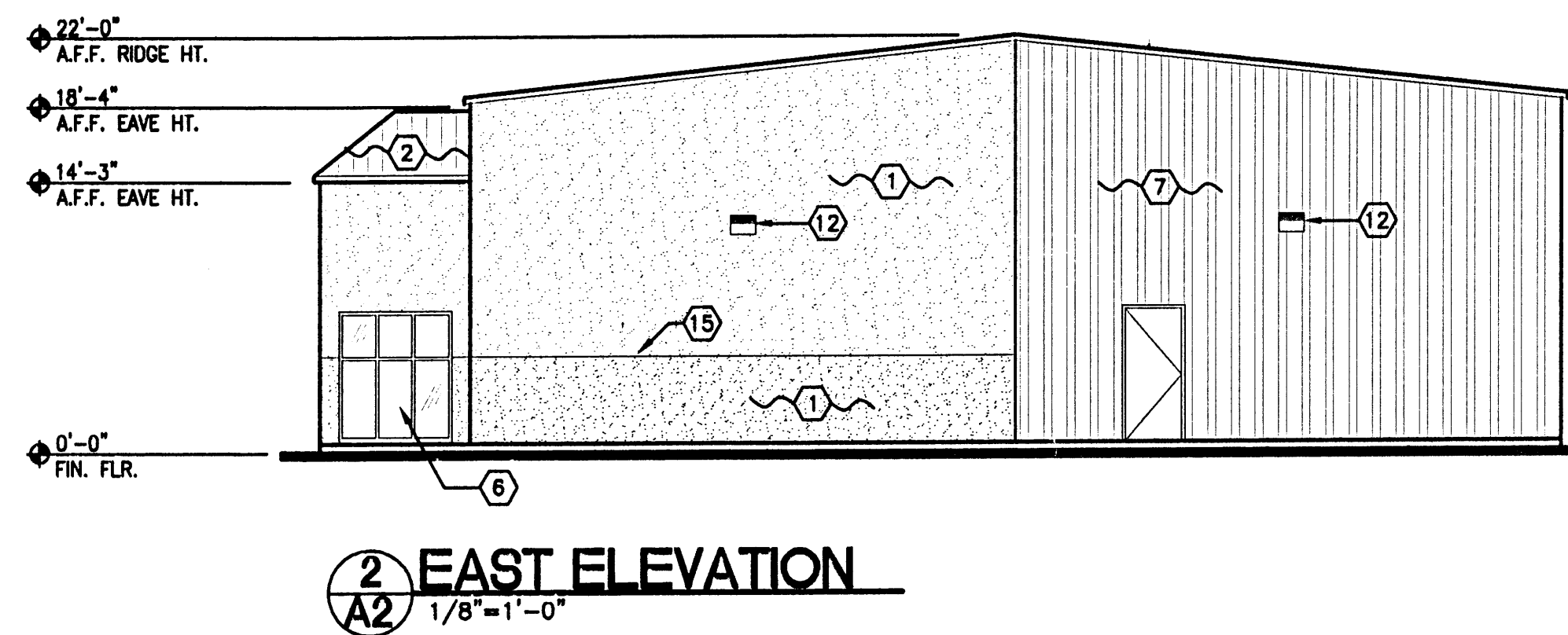
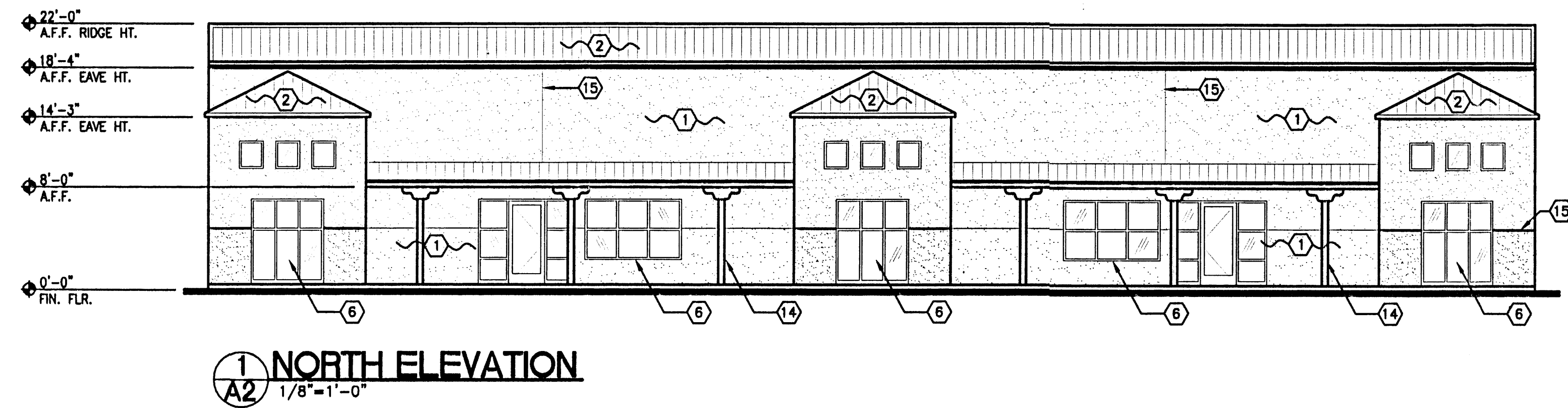
FRANK D. LOZADA, P.E.



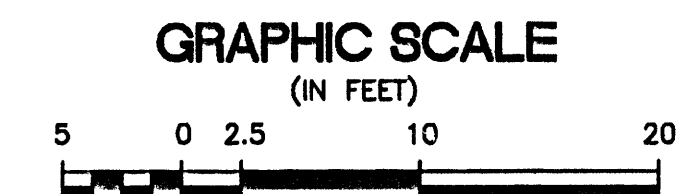
(505) 345-2267 • Fax (505) 345-2115 • 300 ALAMOSA RD. NW • ALBUQUERQUE, NM • 87107

JOB NO: 671
 DATE: June 23, 2004
 REVISIONS:

SHEET NO.
C-4



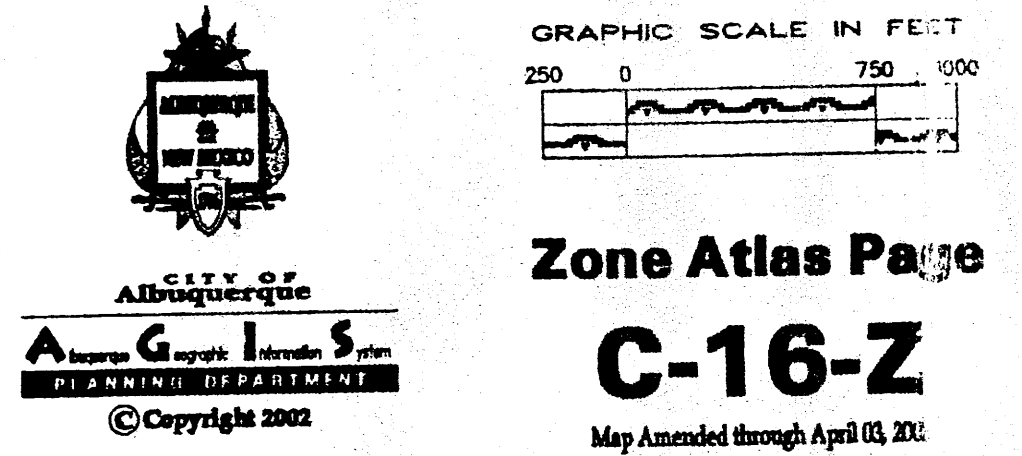
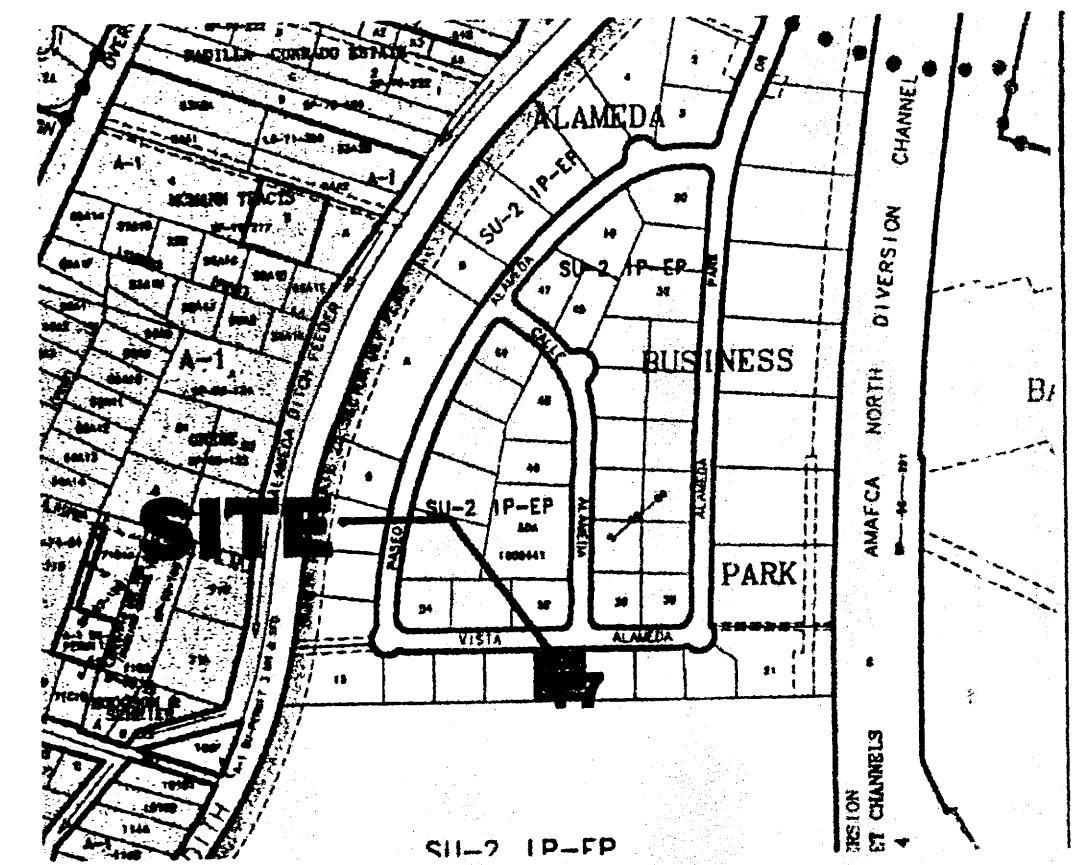
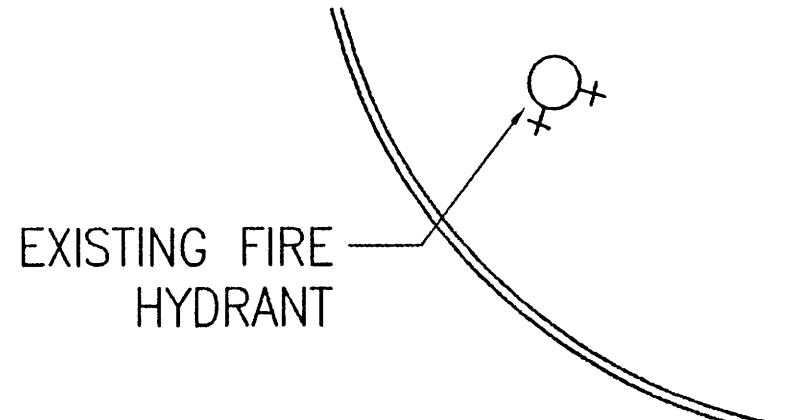
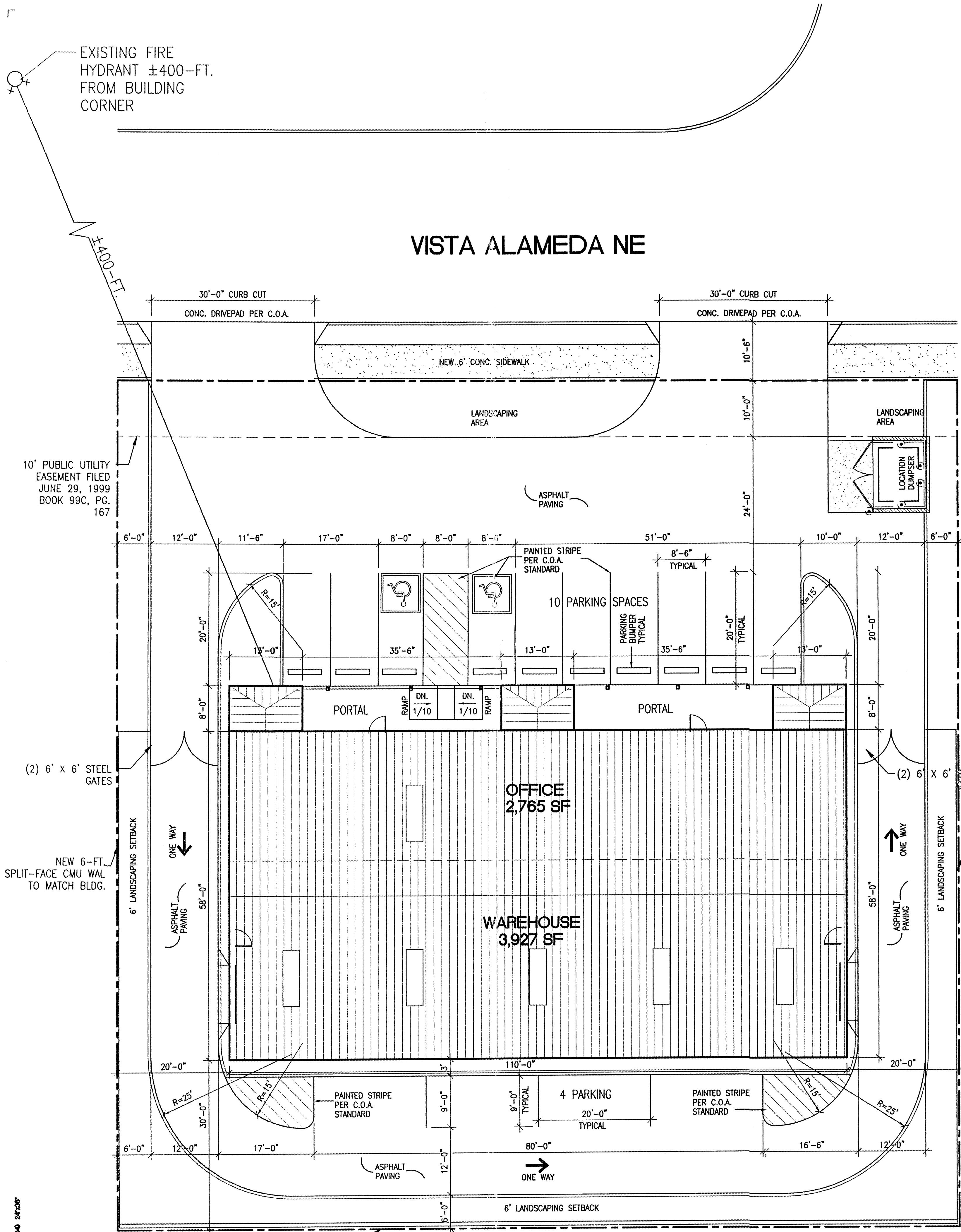
- KEYED NOTES:**
1. 2-COAT STUCCO SYSTEM- "HUSK" BASE, "SAGE" FIELD
 2. PRE-FINISHED MTL. ROOF PANEL TYP.- LIGHT BLUE
 3. NOT USED
 4. NOT USED
 5. METAL GUTTER AND DOWNSPOUT, TYP.- BLUE
 6. ALUM. STOREFRONT WINDOW, BRONZE. SEE WIN. & DR. SCHEDULE FOR SIZE AND LOCATION.
 7. PRE-FINISHED METAL BLDG. WALL PANEL, TYP.- WHITE
 8. OVERHEAD DR. FACTORY PAINT FINISH, TYP.- LIGHT BLUE
 9. 6" DIA. CONG.-FILLED BOLLARD AT ALL OVERHEAD DOORS.
 10. NOT USED
 11. NOT USED
 12. WALL MOUNTED LIGHT FIXTURE.
 13. NOT USED
 14. 6"x6" WD. COLUMN W/ CORBEL TYP. OF 6
 15. STUCCO CONTROL JOINT, TYP.



OFFICE/WAREHOUSE BUILDING
EXTERIOR ELEVATIONS
3416 VISTA ALAMEDA NE
ALBUQUERQUE, NM
PROJECT #0425

REVISION DATE	06-24-04
DATE	06-23-04
SHEET NUMBER	A-2

Rick Bennett Architects
 1114 Park Avenue SW • Albuquerque, New Mexico 87102
 Phone (505) 242-1159 • Fax (505) 242-6000 • www.rickbennett.com

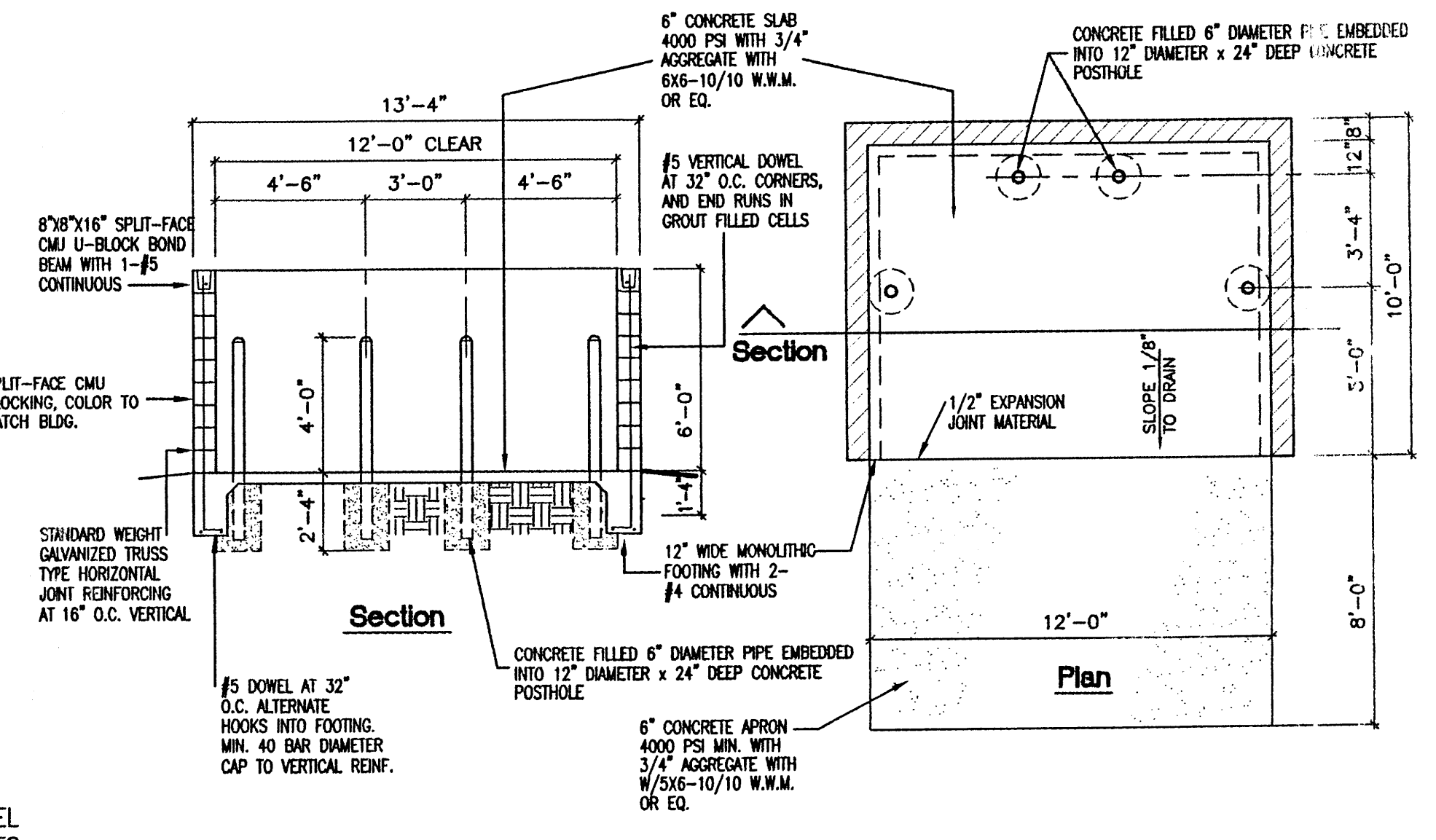


PROJECT DATA:	
CONSTRUCTION TYPE:	VN
OWNER:	UPC #1 016 064 383 179 40121 WASHINGTON ST. INVESTMENTS LLC 8813 SMD ST NW ALBUQUERQUE, NM 87114
ARCHITECT:	RICK BENNETT ARCHITECTS 1104 PARK AVENUE SW ALBUQUERQUE, NM 87102
SITE ADDRESS:	3416 VISTA ALAMEDA NW ALBUQUERQUE, NM 87106
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SQUARE FOOTAGE:	OFFICE ≈ 2,765 S.F. WAREHOUSE = 3,927 S.F. TOTAL = 6,692 S.F.
ROOF LIVE LOAD:	20 PSF (NON-REDUCIBLE)
WIND LOAD:	75 MPH
EXPOSURE:	C
SEISMIC ZONE:	2B
LEGAL DESCRIPTION:	
LOT 17 PLAT OF ALAMEDA BUSINESS PARK (A REPLAT OF TRACT B-1-A-1 LANDS OF SPRINGER BUILDING MATERIALS CORPORATION) CONT .5165 AC	

OCCUPANT LOAD	
OFFICE:	2,765 SF/100 = 28 OCCUPANTS
WAREHOUSE:	3,927 SF/500 = 8 OCCUPANTS

LANDSCAPING REQUIREMENTS	
LOT AREA	22,500 S.F.
BUILDING AREA	-6,692 S.F.
NET LOT AREA	= 15,808 S.F.
REQUIRED:	15,808 x .15% = 2,371 S.F. OF LANDSCAPING
PROVIDED:	2,600 S.F. OF LANDSCAPING

PARKING CALCULATIONS	
REQUIRED	
OFFICE (NET):	2,421 SF/200 = 12 SPACES
WAREHOUSE (NET):	3,688 SF/2,000 = 2 SPACES
H.C.:	< 50 SPACES = 1
PROVIDED	
REGULAR:	14 (2 H.C.)
TOTAL:	14



(D) TYPICAL SLAB AT DUMPSTER
(C1) NTS

PROJECT NUMBER: 1003524
APPLICATION NUMBER: 04DRB-01012

DRB Site Development Plan Approval:	
Traffic, Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department - Conditional	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
SIGNATURE & DATE

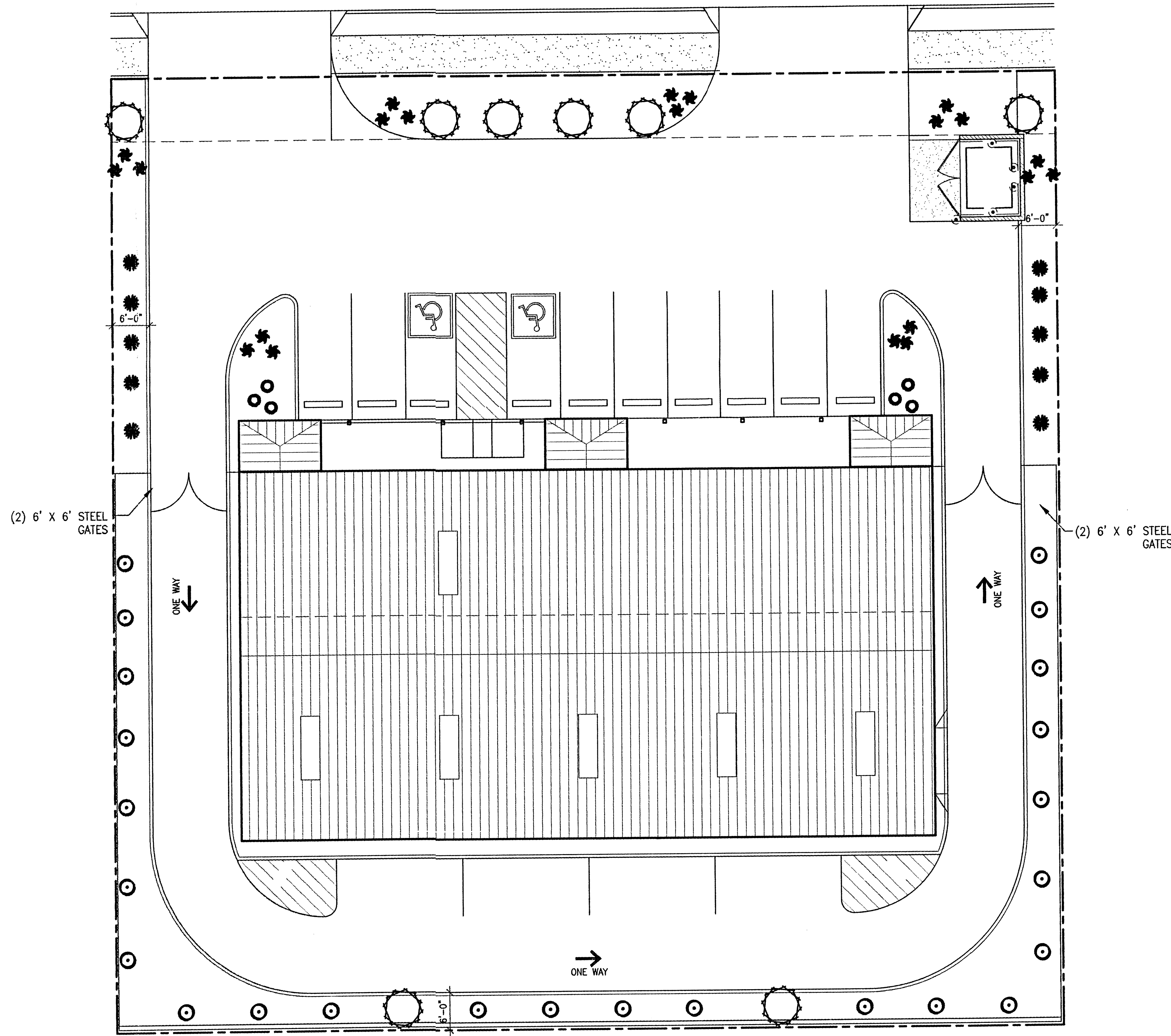
OFFICE/WAREHOUSE BUILDING
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
3416 VISTA ALAMEDA NE
ALBUQUERQUE, NM
PROJECT #0425

REVISION DATE	07-21-04
DATE	06-23-04
SHEET NUMBER	C-1

F.H.

F.H.

VISTA ALAMEDA NE



LANDSCAPING REQUIREMENTS	
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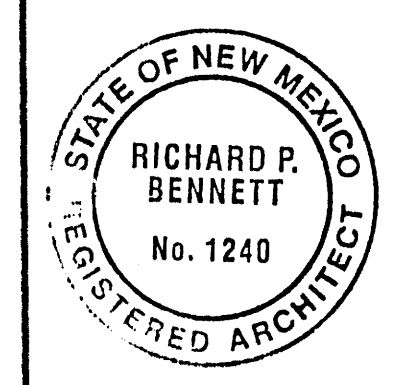
LANDSCAPE CALCULATIONS	
NET LANDSCAPE AREA	22,500 square feet
TOTAL LOT AREA	-6,692 square feet
TOTAL BUILDINGS AREA	-10,808 square feet
OFFSITE AREA	-193 square feet
NET LOT AREA	2,371 square feet
LANDSCAPE REQUIREMENT	2,600 square feet
TOTAL LANDSCAPE PROVIDED	2,600 square feet

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.
 Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance, Water Management is the sole responsibility of the Property Owner.
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 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
 Point of connection for irrigation system is shown at correct time and will be coordinated in the field.
 Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.

- PLANT LEGEND**
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Pyrus calleryana
2" Gal.
 - RED YUCCA (L) 10
Hesperaloe parviflora
5" Gal.
 - MAIDENCRASS (M) 21
Miscanthus spurius
5" Gal. 10sf
 - RUSSIAN SAGE (M) 2B
Perovskia atriplicifolia
5" Gal.
 - ROSEMARY (M) 6
Rosmarinus officinalis
2" Gal. 30sf
 - SANTA FE BROWN GRAVEL WITH FILTER FABRIC

OFFICE/WAREHOUSE BUILDING
 LANDSCAPE PLAN
 3416 VISTA ALAMEDA NE
 ALBUQUERQUE, NM
 PROJECT #0425

REVISION DATE
 07-21-04



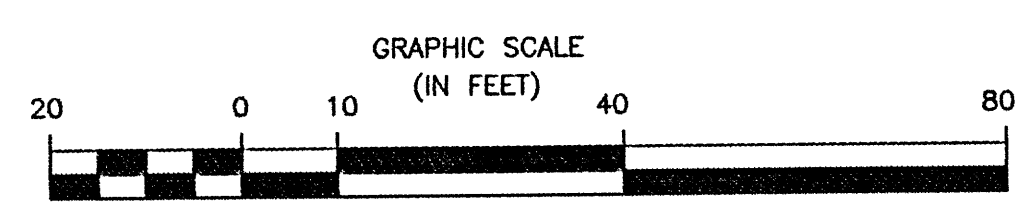
rick
 benett
 ARCHITECTS

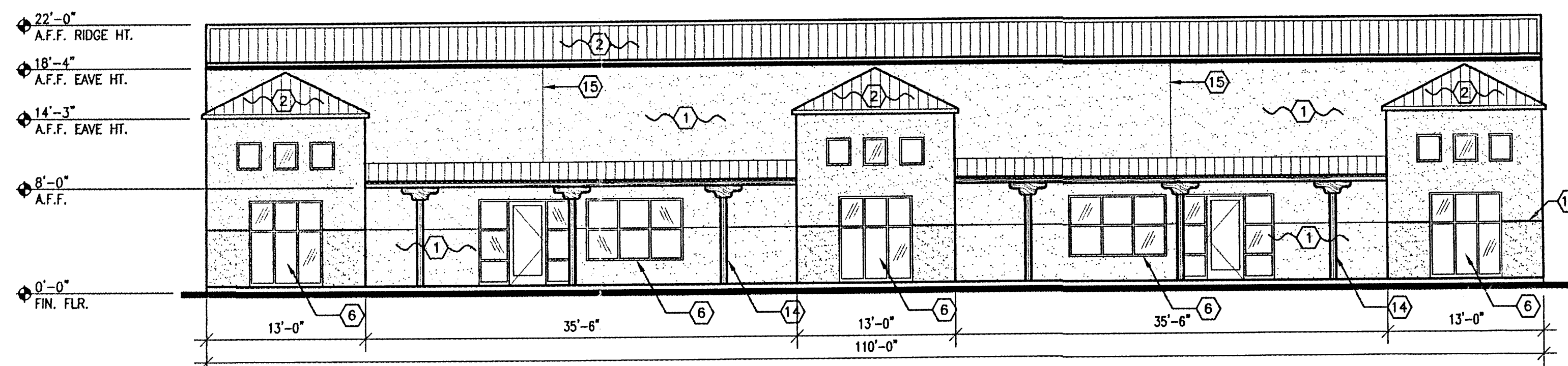
1104 Park Avenue SW - Albuquerque, New Mexico 87102
 Phone: (505) 243-1857 - Fax: (505) 243-6238 - www.rickbenett.com

DATE
 06-23-04

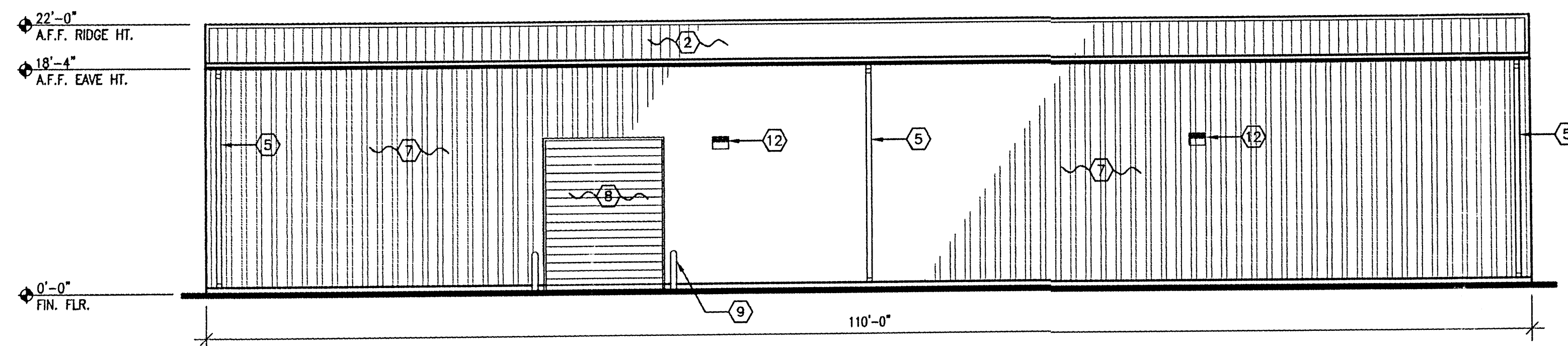
SHEET NUMBER
 L-1

LANDSCAPE PLAN
 1"=20'

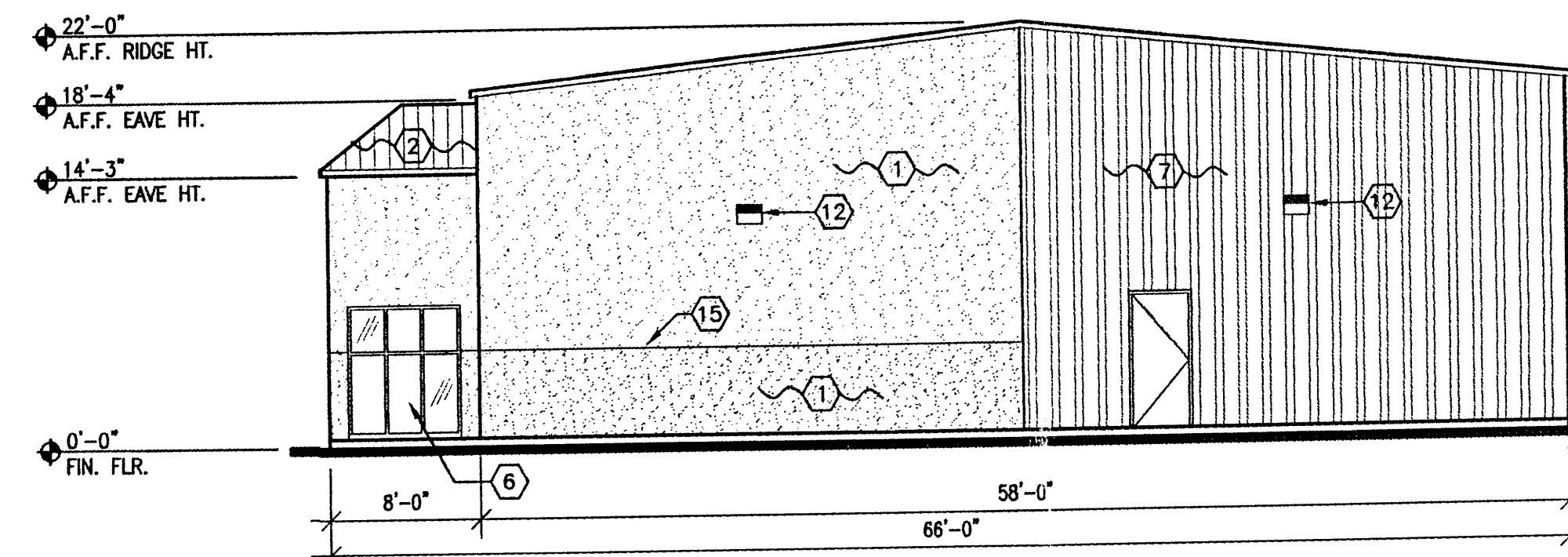




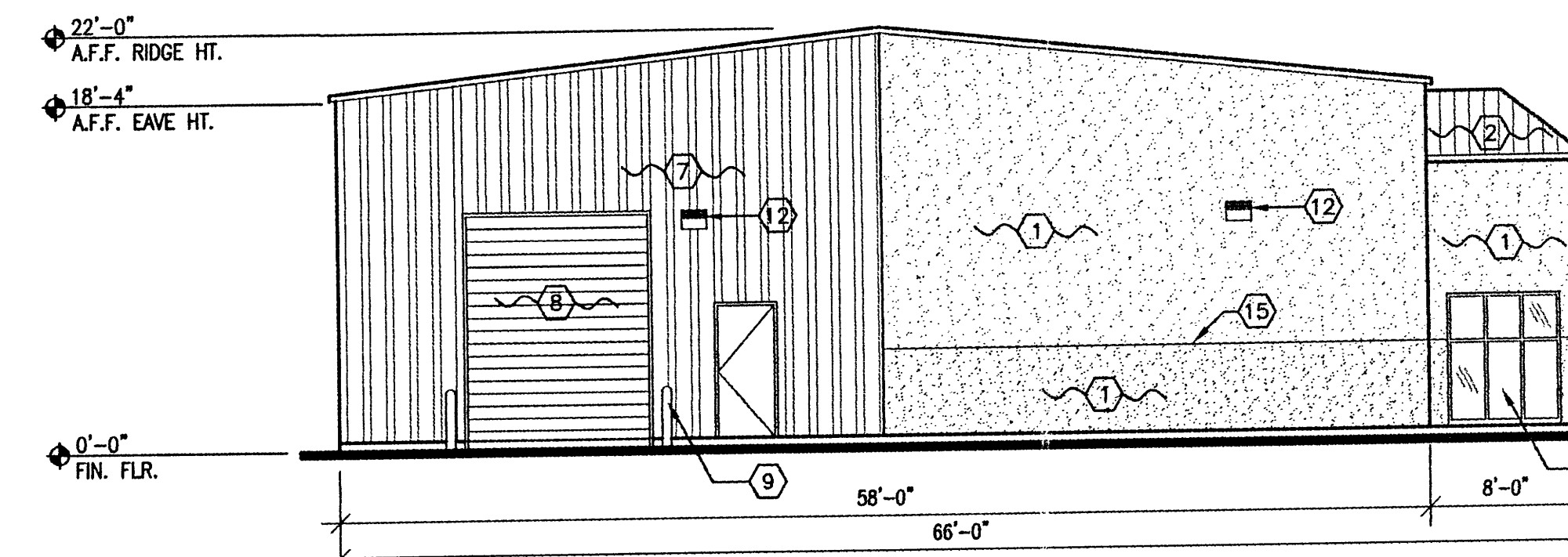
1 NORTH ELEVATION
A2 1/8"=1'-0"



3 SOUTH ELEVATION
A2 1/8"=1'-0"



2 EAST ELEVATION
A2 1/8"=1'-0"



4 WEST ELEVATION
A2 1/8"=1'-0"

KEYED NOTES:

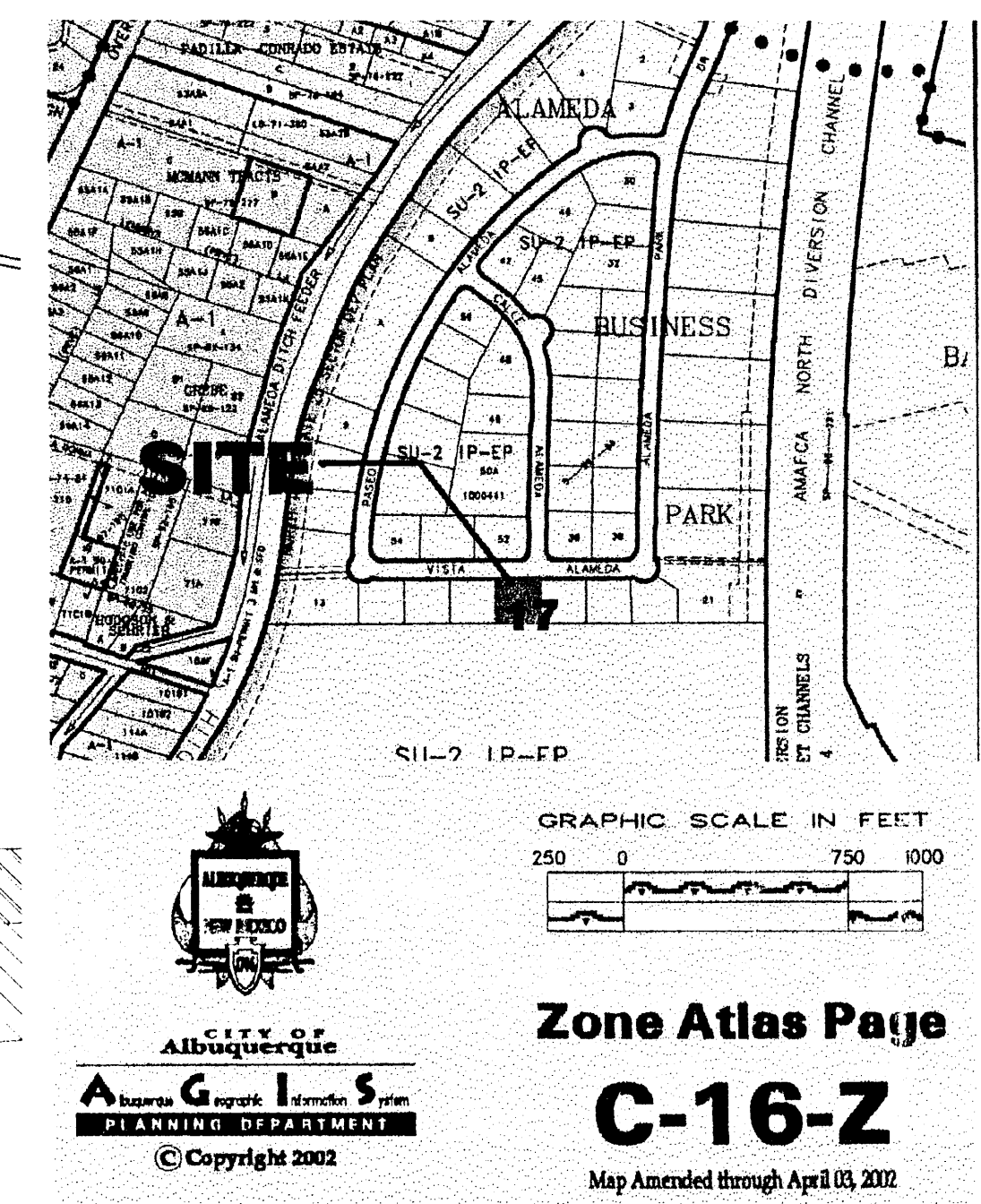
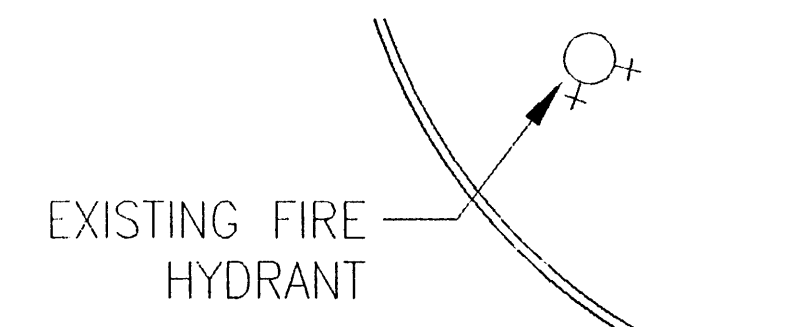
1. 2-COAT STUCCO SYSTEM- "HUSK" BASE, "SAGE" FIELD
2. PRE-FINISHED RIBBED MTL. ROOF PANEL TYP.- LIGHT BLUE
3. NOT USED
4. NOT USED
5. METAL CUTTER AND DOWNSPOUT, TYP.- BLUE
6. ALUM. STOREFRONT WINDOW, BRONZE. SEE WIN. & DR. SCHEDULE FOR SIZE AND LOCATION.
7. PRE-FINISHED METAL BLDG. WALL PANEL, TYP.- WHITE
8. OVERHEAD DR. FACTORY PAINT FINISH, TYP.- LIGHT BLUE
9. 6" DIA. CONG.-FILLED BOLLARD AT ALL OVERHEAD DOORS.
10. NOT USED
11. NOT USED
12. WALL MOUNTED LIGHT FIXTURE.
13. NOT USED
14. 6"x6" WD. COLUMN W/ CORBEL TYP. OF 6
15. STUCCO CONTROL JOINT, TYP.

GRAPHIC SCALE
(IN FEET)

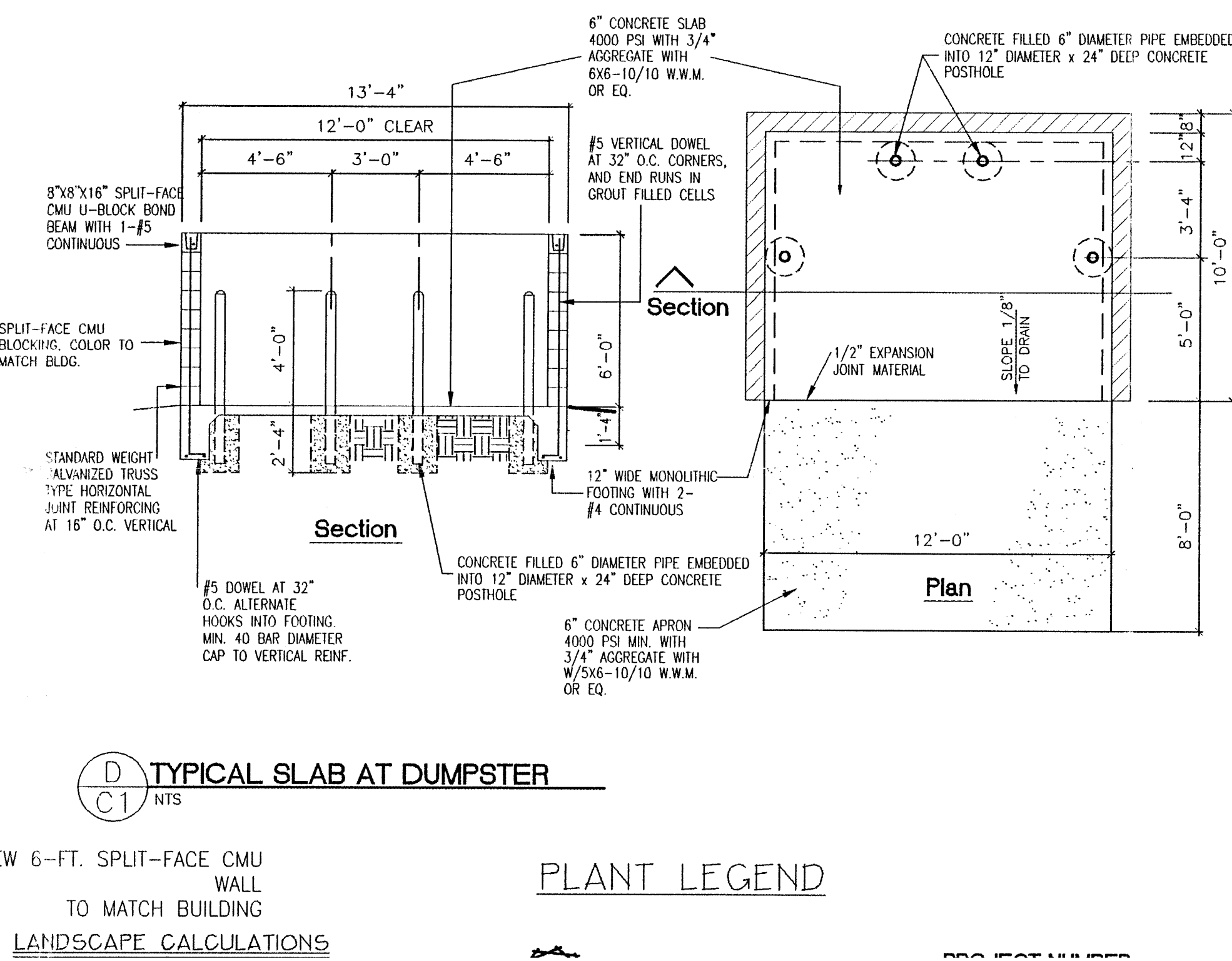


OFFICE/WAREHOUSE BUILDING
EXTERIOR ELEVATIONS
3416 VISTA ALAMEDA NE
ALBUQUERQUE, NM
PROJECT #0425

REVISION DATE	07-21-04
DATE	06-23-04
SHEET NUMBER	A-2



PROJECT DATA:	
CONSTRUCTION TYPE:	VN
OWNER:	UPC #1 016 064 383 179 40121 WASHINGTON ST. INVESTMENTS LLC 8813 SND ST NW ALBUQUERQUE, NM 87114
ARCHITECT:	RICK BENNETT ARCHITECTS 1104 PARK AVENUE SW ALBUQUERQUE, NM 87102
SITE ADDRESS:	3416 VISTA ALAMEDA NW ALBUQUERQUE, NM 87106
OCCUPANCY GROUP:	OFFICE- B WAREHOUSE- S2
SQUARE FOOTAGE:	OFFICE = 2,765 S.F. WAREHOUSE = 3,927 S.F. TOTAL = 6,692 S.F.
ROOF LIVE LOAD:	20 PSF (NON-REDUCIBLE)
WIND LOAD:	75 MPH
EXPOSURE:	C
SEISMIC ZONE:	2B
LEGAL DESCRIPTION:	
LOT 17 PLAT OF ALAMEDA BUSINESS PARK (A REPLAT OF TRACT B-1-A-1 LANDS OF SPRINGER BUILDING MATERIALS CORPORATION) CONT .5165 AC	



OCCUPANT LOAD	
OFFICE:	2,765 SF/100 = 28 OCCUPANTS
WAREHOUSE:	3,927 SF/500 = 8 OCCUPANTS
LANDSCAPING REQUIREMENTS	
LOT AREA	22,500 S.F.
BUILDING AREA	-6,692 S.F.
NET LOT AREA	= 15,808 S.F.
REQUIRED:	15,808 x .15% = 2,371 S.F. OF LANDSCAPING
PROVIDED:	2,600 S.F. OF LANDSCAPING
PARKING CALCULATIONS	
REQUIRED	
OFFICE:	2,765 SF/200 = 14 SPACES
WAREHOUSE:	3,927 SF/1,000 = 4 SPACES
H.C.:	< 50 SPACES = 1
PROVIDED	
REGULAR:	18 (1 H.C.)
TOTAL	18

OFFICE/WAREHOUSE BUILDING
SITE PLAN
3416 VISTA ALAMEDA NE
ALBUQUERQUE, NM
PROJECT #0425

REVISION DATE
06-24-04