

Note: 1 The 7 acre park sited in the Rio Bravo SDP is not a part of this site development plan.

CEJA VISTA COMMERCIAL CENTER DEVELOPMENT DESIGN STANDARDS

The purpose of these Design standards is to provide a framework to assist developers and designers to understand the Owner's goals and objectives to create a high quality commercial development. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Ceja Vista Community. These standards are to be used as a supplement to the City of Albuquerque, Zone Code and other pertinent city ordinances. These standards shall apply to all properties within the Ceja Vista Commercial Center.

1. LANDSCAPE CONCEPT

Development of an overall landscape concept will establish a framework that unifies the individual sites within the subdivision. To achieve a totally unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project and fall within the potential constraints imposed by drainage, and utility easements that cross the site.

The following are minimum standards for the development of specific site landscape plans:

- 1-A A mix of evergreen (coniferous and deciduous trees) shall be used within parking areas. Buffer areas shall include a mix of evergreen and deciduous trees. Parking and outdoor storage areas beneath the existing power lines shall not be permitted to have trees.
- 1-B A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way.
- 1-C Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet.
- 1-D A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with street-side exposure and or adjacent to residential properties.
- 1-E As a minimum, a 15 foot landscaped buffer is required between commercial uses and residential properties. The buffer shall consist primarily of evergreen trees which must be at least 10 feet tall when planted and be capable of reaching a mature height of twenty-five feet. The trees shall be spaced at an average of 25 feet on center.
- 1-F Appropriate landscape headers shall be used to separate the turf and groundcover areas. Header curbs shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.
- 1-G Landscaping regulations require that 75% of landscaped areas over 36 square feet in size must be covered with living vegetative material. High-water use turf is discouraged and shall be limited to 20% of the landscaped area. Xeriscape plant material is strongly encouraged.
- 1-H One tree is required for each thirty linear feet of main public access roadways. The required trees should be informally clustered with not more than a fifty-foot gap between groupings and shall have a 60/40 mix of deciduous to evergreen trees.
- 1-I Off-Street parking areas shall have one tree for every ten (10) parking spaces except in those areas beneath the existing power lines (within the easements). In the parking areas within the existing power line, easements shall include parking islands planted with shrubs and ground cover for every ten (10) parking spaces.
- 1-J Minimum plant sizes at time of installation shall be as follows: Trees shall have a 1-1/2" caliper, or be 10 to 12 in height; shrubs and ground-covers shall be a one gallon container, and turf grasses shall be capable of providing complete ground coverage within one growing season after installation.
- 1-K An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- 1-L All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, or similar materials, which extends completely under the plant material. All plant material, including trees, shrubs, ground-covers, turf, wild-flowers, etc. shall be maintained by the owner in a living, attractive conditions. All areas shall be maintained free of weeds through the use of chemical spray or pervious filter material.
- 1-M The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale, or form to highlight these areas.
- 1-N Xeriscape principles shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical.

2. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streets-capes. Required within these setbacks will be pedestrian walkways, screening devices and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of The Ceja Vista Commercial Center.

Building Setbacks

Buildings shall be located on each site according to the following setback dimensions:

- 2-A-1 25 feet from the Dennis Chavez Boulevard and 98th Street rights-of-way and 20' for internal roadways rights-of-way.
- 2-A-2 25 feet from the property line of a residential zone.
- 2-A-3 10 feet from internal lot lines.

Parking/Circulation

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 2-B-1 15 feet from the Dennis Chavez and 98th right-of-way line; and 10 feet for internal roadways; and 10 feet from internal lot lines.
- 2-B-2 The maximum allowed parking shall be equal to the required parking plus 10% unless approval by the Planning Director.
- 2-B-3 ADA compliant parking shall be located adjacent to the building entry.
- 2-B-4 For office buildings, pedestrian crossings shall be a minimum ^{clear} width of 6 feet. They should be clearly demarcated with textured paving and shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
- 2-B-5 Shaded pedestrian access shall be provided including a clear 6 foot-wide path with adjacent trees spaced approximately 25 feet on center with planters that have a minimum interior dimension of 5 feet square (or equivalent).
- 2-B-6 Truck parking is not permitted on the interior streets within the Ceja Vista Commercial Center.
- 2-B-7 For office buildings, a shaded sidewalk that is a minimum of 15 feet wide shall be provided along the entrance side of the building.
- 2-B-8 For all other buildings, a standard sidewalk that is a minimum of 10 feet wide shall be provided along the entrance side of the building. Shade can be provided at intervals of approximately 25 feet on center in planters with a minimum interior dimension of 5 feet square (or equivalent).
- 2-B-9 For office or retail buildings over 10,000 square feet or groups of buildings on the same lot whose total floor area is over 10,000 square feet, an outdoor patio space that is a minimum of 500 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or shade structure that integrates with building architecture.
- 2-B-10 Convenient connections shall be provided from each building to the internal circulation system and to adjacent roadways.
- 2-B-11 Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas.

3. SIDEWALKS / BIKEWAYS

To encourage and enhance the pedestrian activity within the Ceja Vista Commercial Center, sidewalks and/or bikeways are required in certain areas as an integral element of the street-scape. All streets within the subdivision are required to have sidewalks. Pedestrian connections shall be provided to physically connect the subdivision to adjacent open space, trails, and neighborhoods.

- 3-A Sidewalks shall be provided along public rights-of-way at a minimum of 4 foot width and shaded by trees planted 25 feet on center.

SEE SHEET 2 OF 2 FOR CONTINUATION OF STANDARDS

APPROVED AND ACCEPTED BY:

As approved by the EPC on September 16, 2004 as - Project No. 1003530; Case No: 04EPC-01274 EPC Site Development Plan for Subdivision.

Project No. 1003530
Application No. 05-0155Z

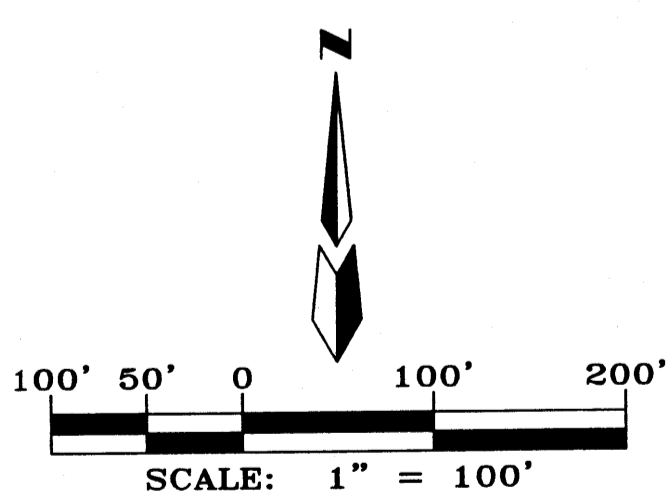
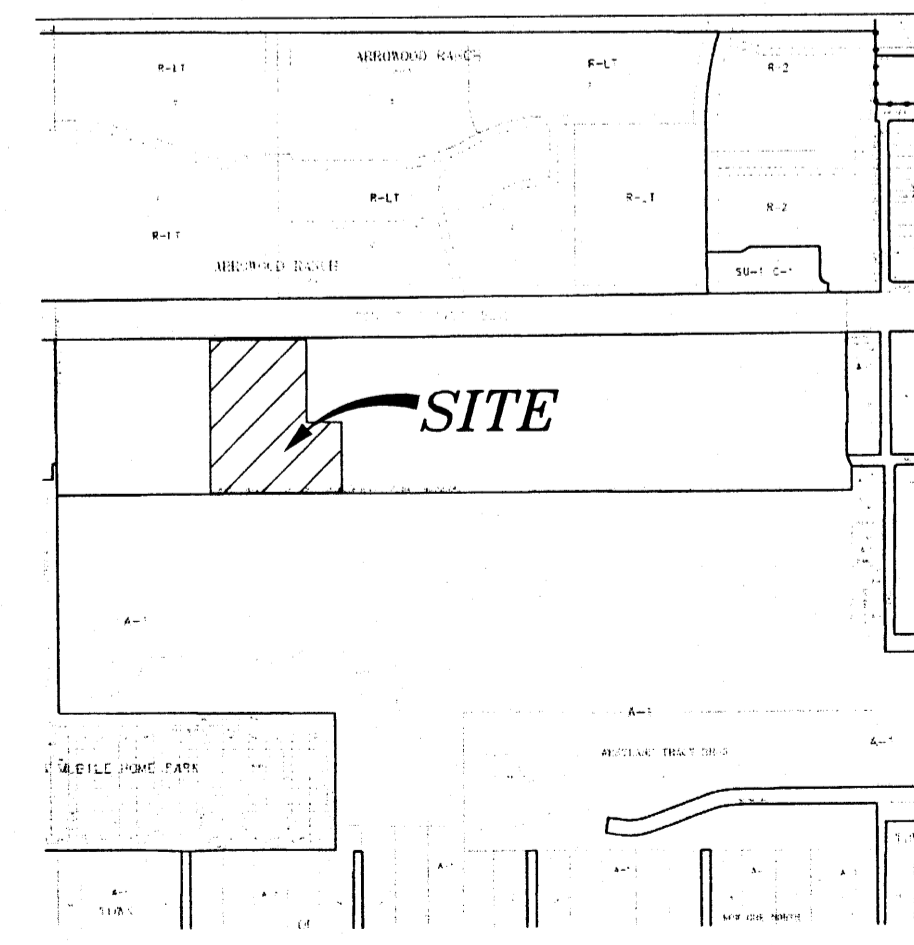
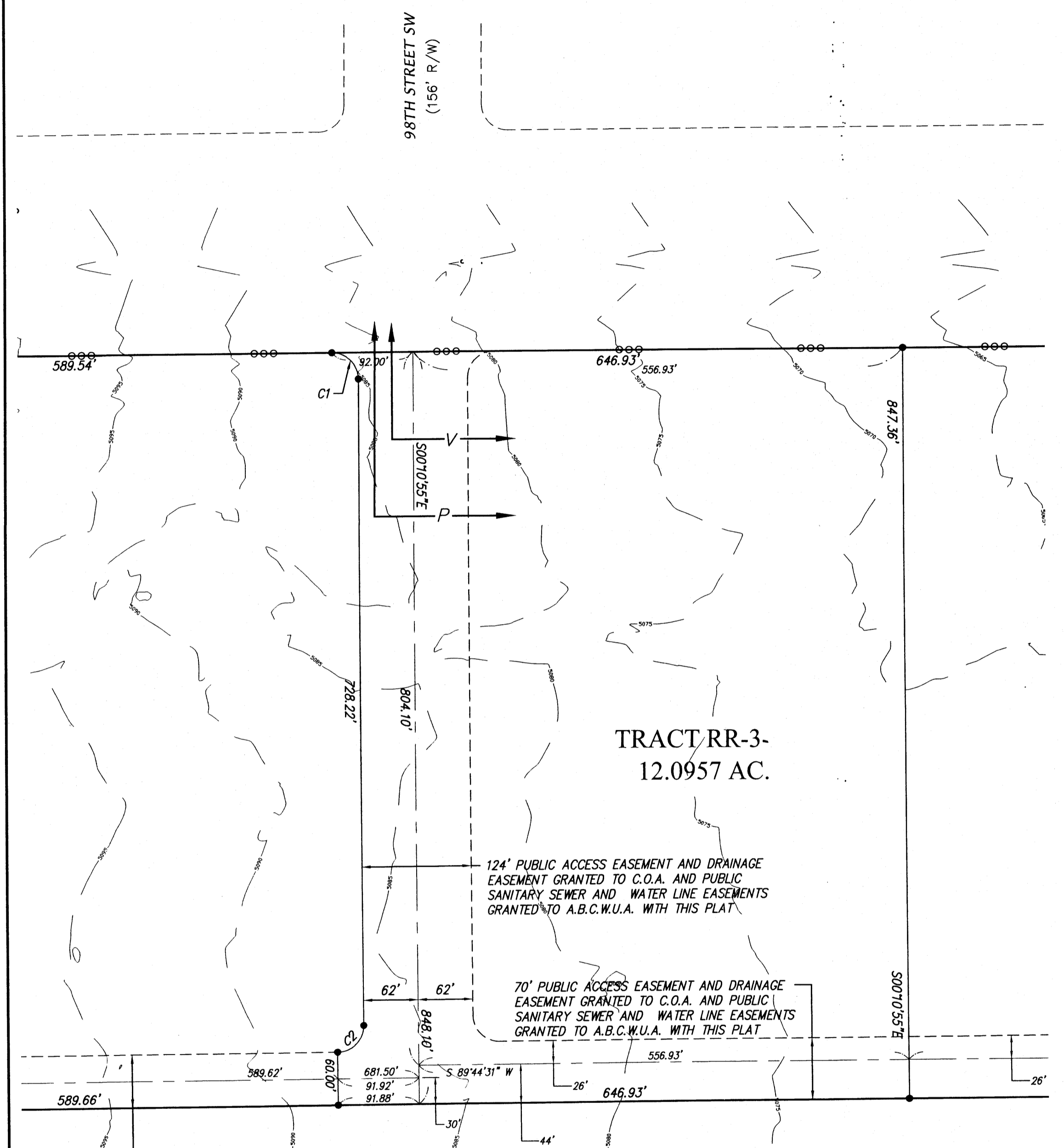
Andrew Garcia 10/18/05
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Christina Sandoval 10/12/05
Parks and Recreation



LEGEND

- ← P = PEDESTRIAN ACCESS
 - ← V = VEHICULAR ACCESS
- PROPOSED USES: ALL PERMISSIVE & CONDITIONAL USES ALLOWED IN THE C-1 USE CATEGORY
- MAXIMUM BUILDING HEIGHT (26')
- MAXIMUM BUILDING SETBACK (PER 0-1 REQUIREMENTS)
- MAXIMUM FLOOR AREA RATIO (0.25 F.A.R.)

VICINITY MAP
N.T.S. P-9-Z

PROJECT # 1003530

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4. Screening Walls and Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery / storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions shall be away from any street or pedestrian area, whenever practical. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function within the within the Commercial Center landscape.

The following are standards to ensure effective screening of negative walls, and earthen berm elements:

4-A All parking areas shall be screened from adjacent streets with a combination of plant materials, walls, and earthen berms. Such screening shall have a minimum height of 3 feet. Employee and customer / client parking areas shall be screened from adjacent properties. Appropriate signage and/or highlighted landscaping should be used to direct visitors.

4-B Areas for the storage of high profile delivery / transport vehicles shall be screened from adjacent streets and properties with a masonry wall of no less than 6 feet in height above adjacent grade and have a maximum height of 10 feet.

4-C All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure, which is large enough to contain all refuse generated between collections.

4-D The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building with compatible materials and colors utilized. Refuse enclosures shall include gates if they are located adjacent to public rights-of-way.

4-E Refuse collection areas should not be allowed between the street and building front wherever practical.

4-F When security fencing is required, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. The use of chain link fencing or any kind of wood fencing is not permitted between the building and any street right-of-way. Security fencing shall be compatible with the architectural theme of the building.

4-G Outdoor storage areas are permitted provided they shall be fenced and screened from adjacent public rights-of-way with vines, solid fencing, and/or shrubs. Outdoor storage shall not be permitted on any lot adjacent to 98th Street.

4-H Barbed wire or concertina wire are not allowed in the Ceja Vista Commercial Center. Chain link fencing shall not be permitted adjacent to Dennis Chavez Boulevard or 98th Street.

4-I Loading docks visible from residential areas shall be screened by walls which match building architecture, material, and color.

5. LIGHTING STANDARDS

In order to enhance the safety, security and visual aesthetics of the Ceja Vista Commercial Center, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development.

The maximum height for lighting fixtures shall be:

5-A 16 feet for all walkways and entry plazas.

5-B 20 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.

5-C Exterior elevations of any building fronting a street are encouraged to be feature light to enhance the identity of the building and the appealing ambiance of the total community.

5-D The use of spread lighting fixtures are required to accent landscapes and walkways. Up-lighting fixtures are not permitted.

5-E Required Street Light specifications: To be determined.

5-F All site lighting fixtures, shall be fully shielded of a full ^{cut-off} type. The color of fixtures must compliment the architecture.

In addition to the guidelines listed below, all lighting shall be consistent with the provisions of the State of New Mexico's Night Sky Ordinance. The following are additional standards for the design of the lighting system:

Site

5-G Placement of fixtures and standards shall conform to state and local safety and illumination requirements.

5-H All light fixtures shall be shown as fully shielded horizontal lamps with no light, lens, or bulb protruding below the bottom of the cut-off fixture in order that no fugitive light shall escape beyond the property line and no Asite illumination light source shall be visible from the site perimeter.

5-I All light fixtures for pole and building mounted lights shall be fully shielded in order to prevent light spillage, with no light lens or bulb protruding below the fixture.

5-J A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

6. SIGNAGE STANDARDS

The signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within the Ceja Vista Commercial Center. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

The following are general guidelines for signage design and placement:

6-A No off-premise signs are allowed.

6-B Signs shall be limited to wall signs and free-standing monument signs.

6-C All elements of a sign shall be maintained in a visually appealing manner.

6-D One wall sign shall be permitted per facade per business.

6-E One free-standing business monument sign shall be permitted per street frontage per premises; a second free-standing sign is permitted on any given street frontage greater than 1,500 linear feet.

6-F The height of a business monument sign shall not exceed 4 feet and the sign face shall not exceed 32 square feet.

6-G Individual buildings are allowed facade mounted signs whose area shall not exceed 6 area of the facade to which it is applied.

6-H Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.

6-I The height of a wall sign shall not exceed the height of the wall to which it is attached.

6-J The project is allowed two Project entry signs at the access points on 98th Street. The height of the free-standing Project entry signs shall not exceed 12 feet. The size of the sign face shall not exceed 75 square feet.

6-K No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights (including searchlights used for promotional events).

6-L Signs that are portable, fixed on a moveable stand, self-supporting without being firmly embedded in the ground, supported by other objects, mounted on wheels or moveable vehicles, or easily moveable in any manner are not permitted.

6-M Signs located on rocks, trees, or other natural features are not permitted.

6-N Vinyl banner signs, vehicles used as sign mediums, roof mounted signs, and time/temperature signs are not permitted.

6-O All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.

6-P No sign shall overhang into the public right-of-way or extend above the building roof line.

6-Q No illuminated signage shall face any residential area, except along 98th Street.

7. Site / Architectural Objectives

The creation of an active pedestrian environment in the Ceja Vista Commercial Center is dependent upon creative site and architectural design. It is the Owner's desire to have the individual sites within the Subdivision linked together as well as the surrounding neighborhoods. Important to the formation of a pedestrian-oriented development is the relationship between the buildings and the street.

7-A-1 Parking areas shall be designed so that pedestrians walk parallel to moving cars. Site layout should minimize the need for pedestrians to cross parking aisles and landscaped islands.

7-A-2 Pedestrian linkages shall be clearly visible and highlighted with enhanced paving.

7-A-3 Parking areas shall be designed to include a pedestrian link to the street sidewalk network.

7-A-4 All parking facilities adjacent to the streets be screened with low walls and/or landscaping. Such screening shall have a minimum height of 3 feet.

7-A-5 All pedestrian paths shall be designed to be accessible to the handicapped (See Americans with Disabilities Act criteria for barrier free design).

7-A-6 Pedestrian access and circulation shall provide direct connections from sidewalks to building entrances that minimize pedestrian/vehicular conflicts. All pedestrian ways and paths shall be at least 6 feet clear and lined with shade trees in 5' x 5' planters, spaced 25 feet on center.

Architectural

The architectural objective is to create a site that is visually integrated through the use of a few select architectural styles. The recommended styles have many similarities of scale, proportion, massing, and color. Stucco, split face, or masonry block shall be used as the primary surface treatment. Metal siding is not allowed as a primary surface but is allowed as an accent feature.

Additionally, all buildings shall conform to the following requirements:

7-B-1 Pueblo, Territorial, Northern New Mexico or Contemporary building styles.

7-B-2 The maximum building height shall be 32 feet, which includes a parapet screening. All buildings along 98th Street shall be restricted to a height of 26 feet (including parapets) and have flat roofs with parapets.

7-B-3 Buildings and structures erected within the site shall comply with all applicable zoning and building code requirements as well as other local applicable codes.

7-B-4 Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations.

7-B-5 Finished building materials must be applied to all exterior sides of buildings and structures.

7-B-6 Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.

7-B-7 Entries to structures should portray a quality office appearance while being architecturally tied into the overall into mass and building composition.

7-B-8 Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.

7-B-9 The primary building colors shall be limited to: variations of Yellow Ochre, Brown, Dull Red, Blue-gray, and Grey-Greens however, sensitive alteration of colors and materials can produce diversity and enhance architectural forms. The middle range of reflectance is intended to avoid very light and very dark colors.

7-B-10 The staggering of planes and/or distinct articulation of building facades is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual façades.

7-B-11 Highly reflective surfaces (other than windows), exposed, untreated precision block walls, and materials with high maintenance requirements are undesirable and shall be avoided.

7-B-12 Earthen berms in conjunction with landscaping can be used at the building edge to reduce structure mass and height along facades.

7-B-14 The roof-line at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring.

7-B-15 All rooftop and ground mounted equipment shall be screened from the public view by materials of the same nature as the building's basic materials.

7-B-16 The top of all rooftop equipment shall be below the top of parapet or screened from view from the public rights-of-way.

7-B-17 Screen walls shall screen all ground mounted equipment with the top of equipment below the top of screen wall.

7-B-18 All out buildings and canopies shall be architecturally integrated and compatible in material and design.

7-B-19 No freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.

7-B-20 No plastic or vinyl building panels, awnings, or canopies are permitted (metal panels are permitted as an accent feature only).

7-B-21 Parapets and/or architectural tents shall be used to screen mechanical equipment and penetrations from the development into adjacent properties.

7-B-22 No generic franchise architecture shall be allowed.

7-B-23 Wall materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery.

7-B-24 ATM's shall be architecturally integrated with building design.

7-B-25 Outdoor storage is permitted within Ceja Vista Commercial Center and shall be screened from view from public rights-of-way with a solid fence or wall that is a minimum of 6 feet and a maximum of 10 feet in height. No outdoor storage is permitted on adjacent to 98th Street.

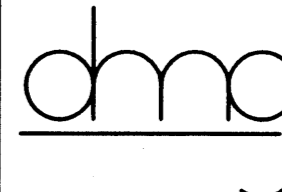
8. UTILITIES

To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of the Ceja Vista Commercial Center:

8-A All new electric distribution lines within the subdivision shall be placed underground.

8-B When an above-ground back-flow prevention device is required, the heated enclosure should be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

8-C Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and vegetation when viewed from the public right-of-way.

CEJA VISTA COMMERCIAL			
SITE PLAN FOR SUBDIVISION			
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Designed: DMG	Drawn: SPS	Checked: DMG	Sheet 2 of 2
Scale: 1" = 200'	Date: 05/18/05	Job: A04095	