

general notes:

1. VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
2. CURBS DIMENSIONED TO FACE OF CURB U.N.O.
3. PATCH AND REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTS AS NECESSARY IN COORDINATION WITH DRIVEWAY CONSTRUCTION.
4. VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS.
5. **SITE LIGHTING**
LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.

Site data:

LOCATION: 7300 HOLLY AVE. NE
ALBUQUERQUE, NM 87113

LEGAL DESCRIPTION: LOT 14, BLOCK 10, TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES

UPC #: 101908422103830119

OWNER: RESOLUTION EQUITIES, LLC
8220 SAN PEDRO NE
SUITE 500
ALBUQUERQUE NM 87113

CURRENT ZONING: SU-2/MIXED USE

SETBACK REQUIREMENTS: 5' FRONT YARD SETBACK
0-19

ZONE ATECS PAGE: 0-19

BUILDING CONSTRUCTION: 5B (NON-SPRINKLED)

APPLICABLE CODE: 2006 IBC
C.O.A. ZONING ORDINANCE
LA CUEVA SECTOR DEVELOPMENT PLAN

TOTAL LOT AREA: (0.886 AC) 38,617 S.F.

BUILDING FOOTPRINT AREA: 6,670 S.F.

NORTH BUILDING: 3150 S.F.

SOUTH BUILDING: 3520 S.F.

NET LOT AREA (LOT AREA-BLD. FOOTPRINT): 31,947 S.F.

FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA): 17.3 %

PAVED AREA: 17,578 S.F.

LANDSCAPE AREA: 14,396 S.F.

LANDSCAPE % NET LOT AREA: 45 %

LANDSCAPE TO PAVED AREA RATIO: 1 : 1.22

REQUIRED PARKING:

MEDICAL AND DENTAL OFFICE: 5 SPACES PER DOCTOR
(5 DENTISTS PER BUILDING)
10 DENTISTS X 5 SPACES = 50 SPACES

PARKING PROVIDED: 51 SPACES

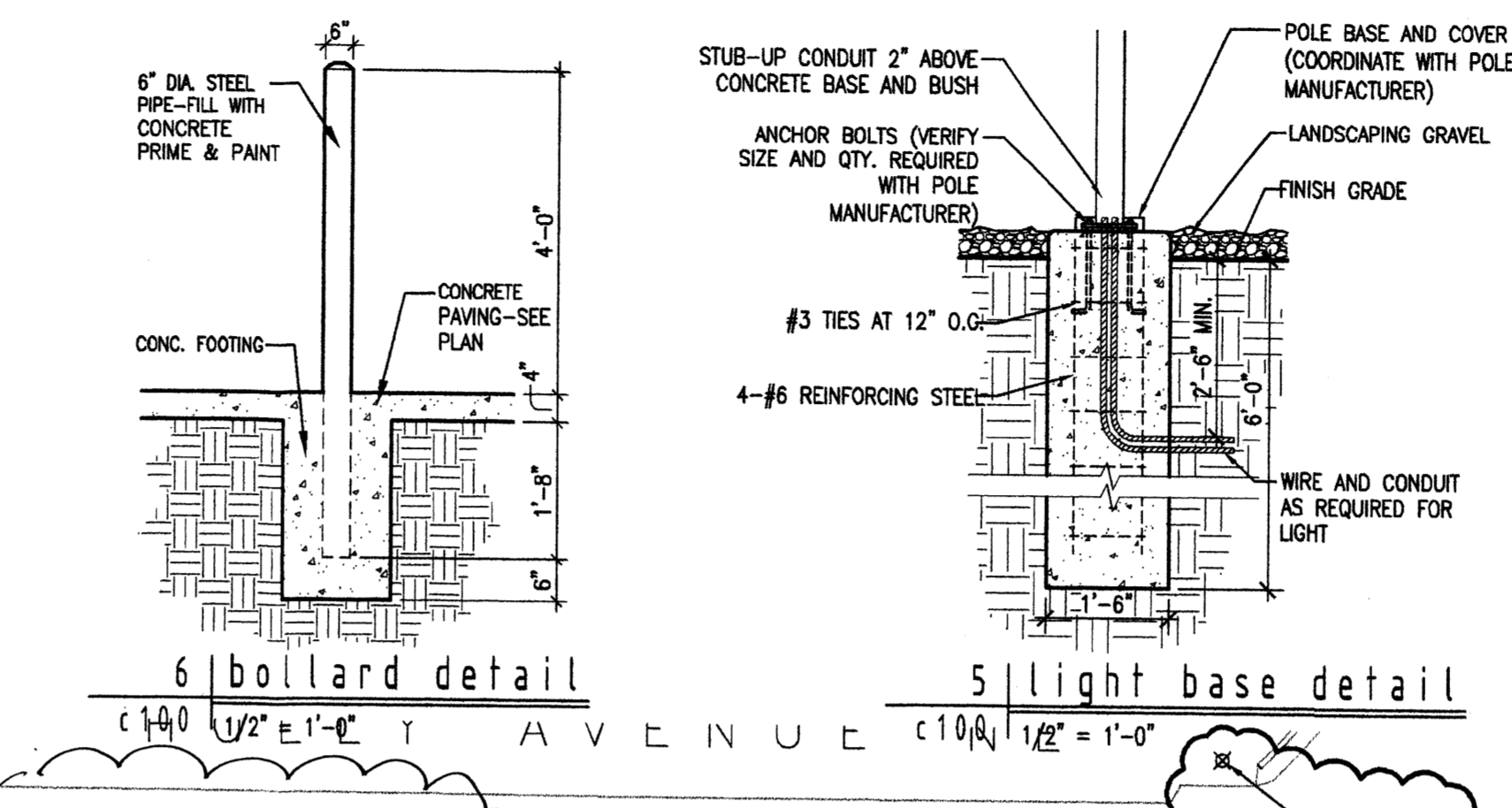
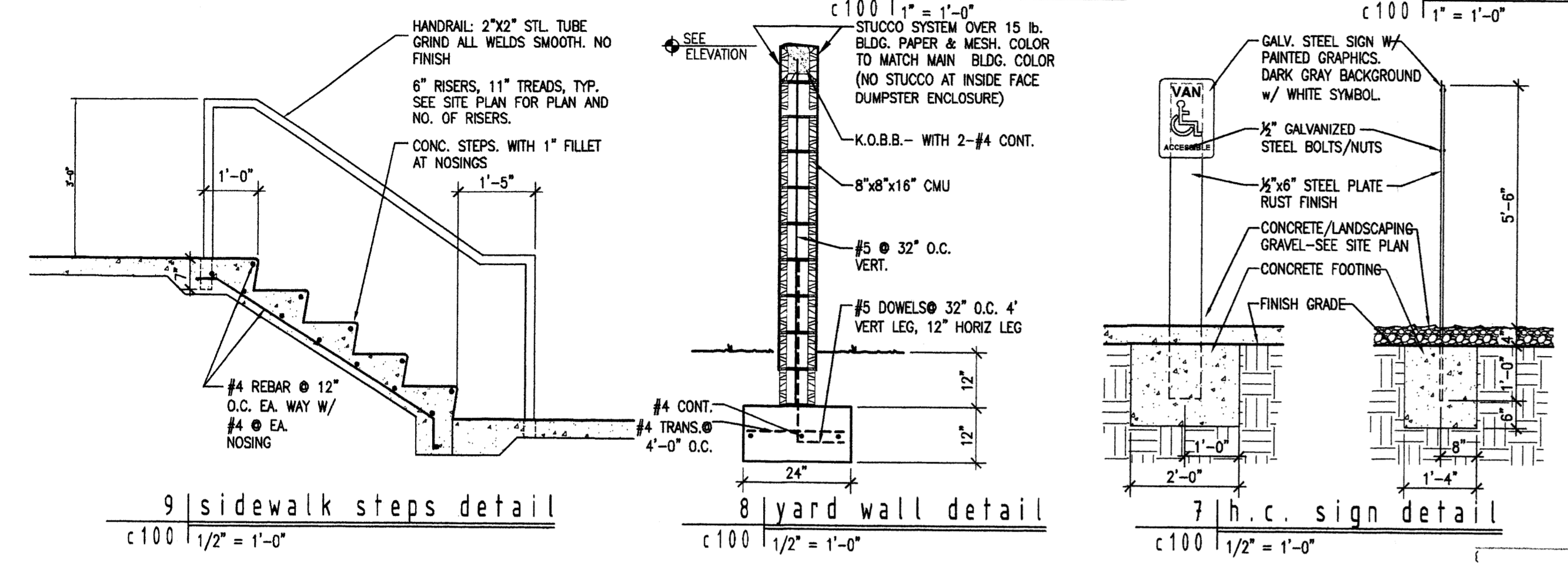
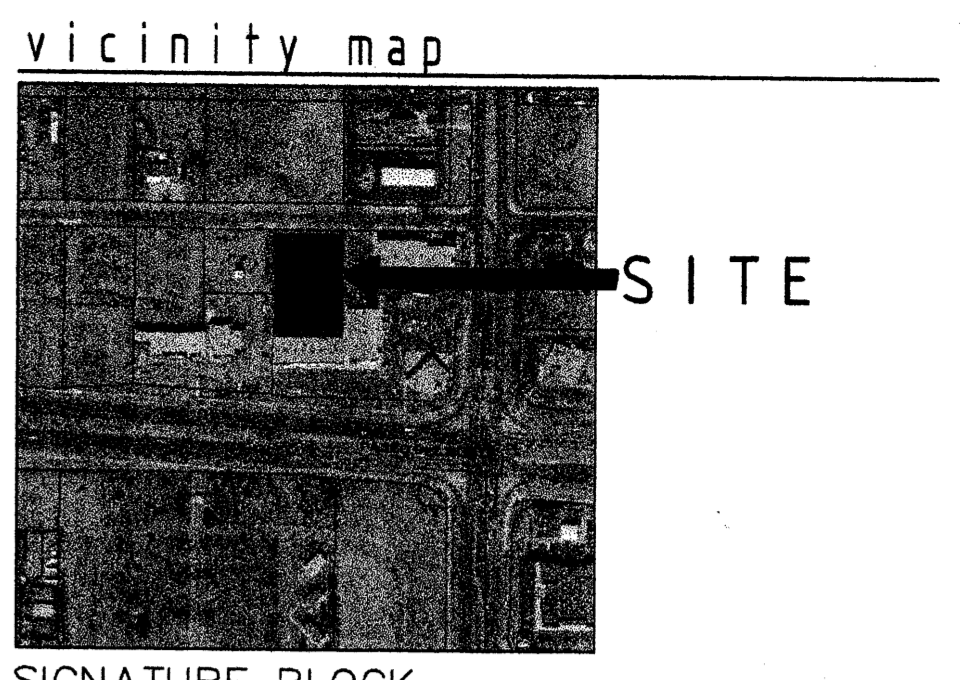
REQUIRED H.C. PARKING: 3 SPACES

H.C. PARKING PROVIDED: 3 SPACES

BICYCLE PARKING PROVIDED: 10 SPACES

REQUIRED MOTORCYCLE PARKING: 3 SPACES

MOTORCYCLE PARKING PROVIDED: 4 SPACES



SIGNATURE BLOCK

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an infrastructure list required? () yes () no If yes, then a set of approved DRG plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

[Signature] DATE: 5-15-13
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

[Signature] DATE: 05/15/13
UTILITIES DEVELOPMENT

[Signature] DATE: 5/15/13
PARKS AND RECREATION

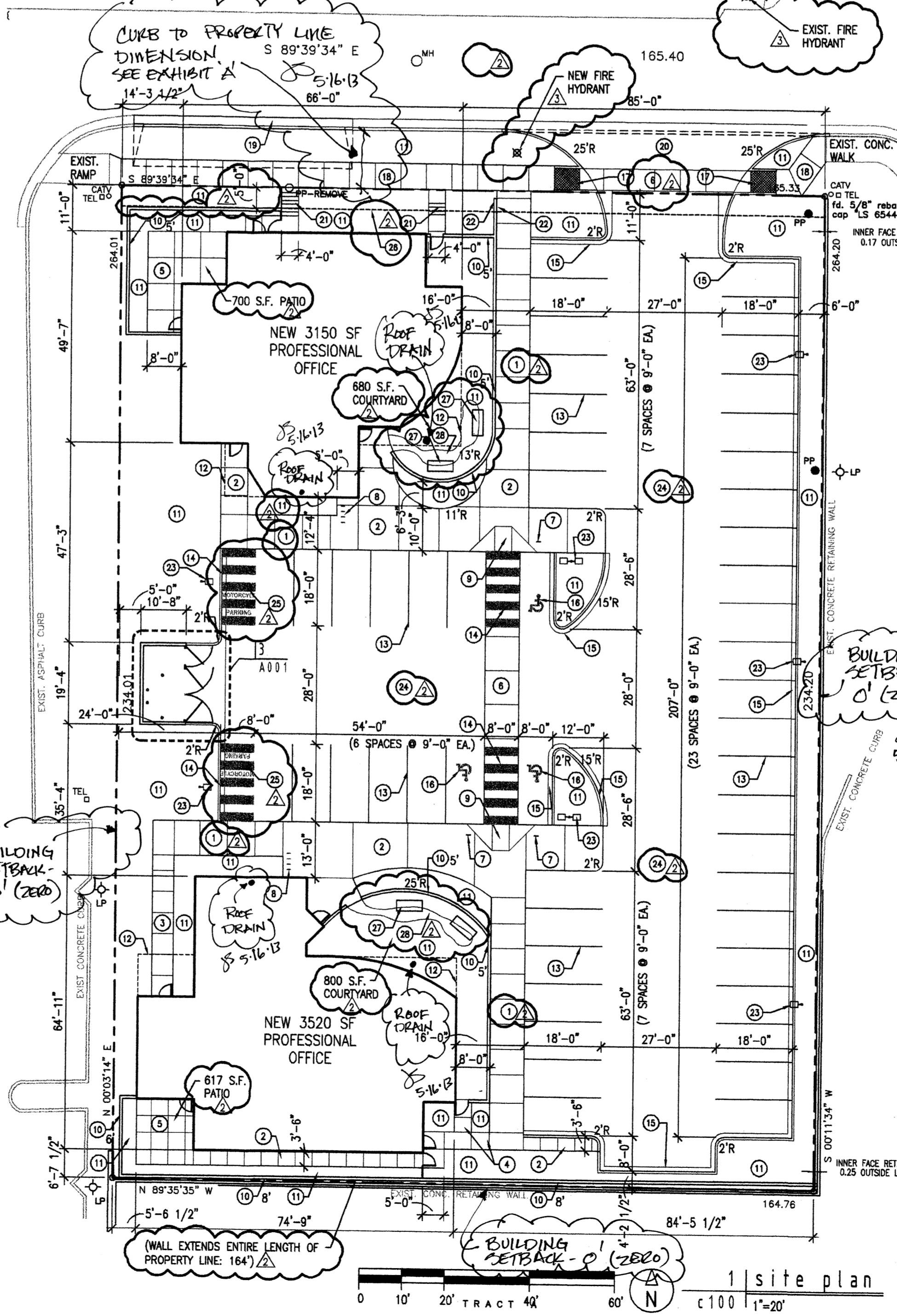
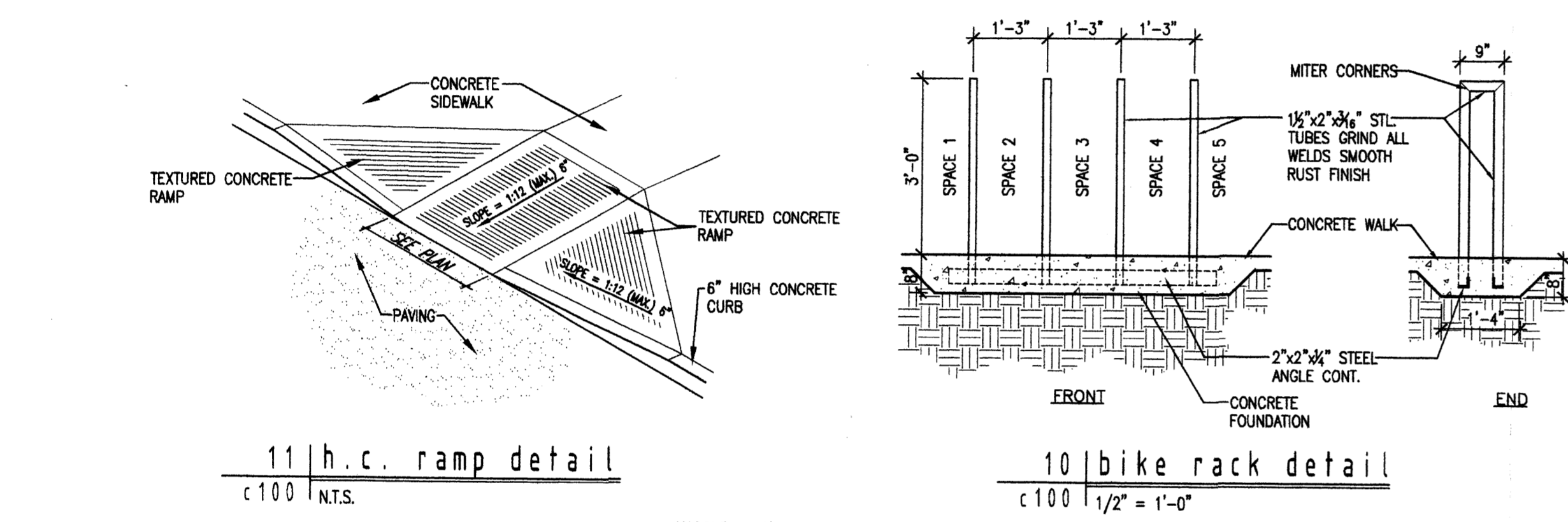
[Signature] DATE: 5-16-13
CITY ENGINEER

ENVIRONMENTAL HEALTH DEPT. (if required) DATE: _____

SOLID WASTE MANAGEMENT DATE: 5/16/13

DRG CHAIRPERSON, PLANNING DEPARTMENT DATE: _____

NEW MEXICO UTILITIES DATE: _____



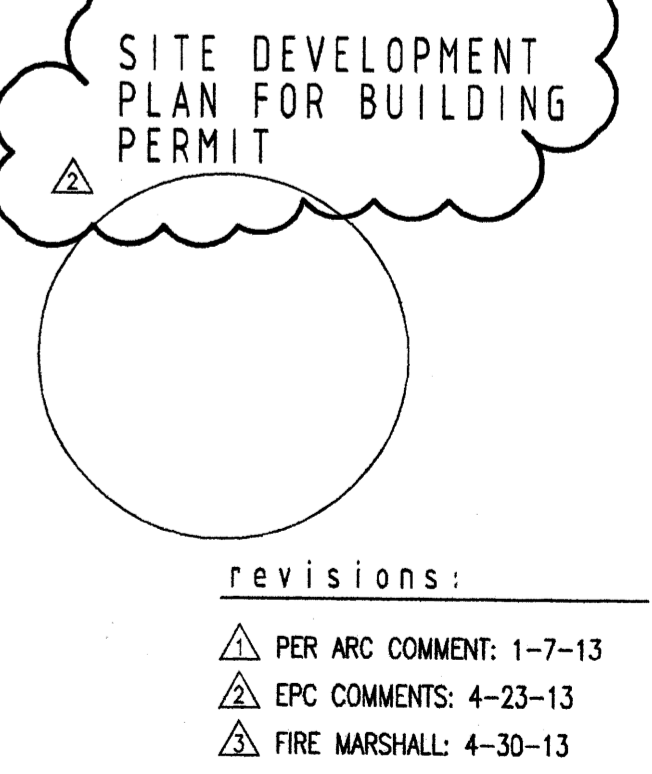
- SITE PLAN KEY NOTES:**
- 1 8" WIDE 4" THK. CONC. WALK WITH TURN-DOWN EDGE-SEE E1187
 - 2 4" THK. CONC. WALK (WIDTH AS SHOWN) WITH TURN-DOWN EDGE-SEE E1187
 - 3 5" WIDE 4" THK. CONC. WALK WITH TURN-DOWN EDGE-SEE E1187
 - 4 4" WIDE 4" THK. CONC. WALK WITH TURN-DOWN EDGE-SEE E1187
 - 5 4" THK. CONC. COLORED CONC. PATIO
 - 6 6" THK. CONC. COLORED CONC. WALK FLUSH W/ ASPHALT; SEE E1187
 - 7 HCP PARKING SIGN: LOCATE 2'-6" BEHIND CURB CENTERED ON HCP PARKING SPACE; SEE E1187
 - 8 BIKE RACK: SEE E1187
 - 9 HCP RAMP: SEE E1187
 - 10 CMU WALL W/STUCCO FINISH TO MATCH BUILDING. HEIGHT AS SHOWN; SEE E1187
 - 11 LANDSCAPE: SEE LANDSCAPE PLAN
 - 12 LINE OF OVERHANG ABOVE
 - 13 4" WIDE WHITE STRIPING (TYP.)
 - 14 24" WIDE WHITE STRIPING W/ 24" GAP BTWN. (TYP.)
 - 15 CONC. CURB & GUTTER: SEE E1187
 - 16 WHITE PAINT HCP PARKING SYMBOL
 - 17 NEW H.C. RAMP PER C.O.A. STANDARDS (TYP.)-DWG. #2426. H.C. RAMPS IN CITY R.O.W. SHALL RECEIVE TRUNCATED DOMES (AMOR-TILE, ADA-S-3660 LIGHT GRAY)
 - 18 6" WIDE 4" THK. CONC. WALK PER C.O.A. STD. 2432
 - 19 REMOVE EXIST DRIVE CUT AND INSTALL NEW CONC. CURB & GUTTER TO MATCH EXIST. PER C.O.A. STD.
 - 20 NEW DRIVEWAY AND APRON PER C.O.A. STANDARDS (TYP.) -DWG. #2426
 - 21 CONC. STEPS: SEE E1187
 - 22 SIGNAGE ON YARD WALL: SEE ELEVATIONS
 - 23 SITE LIGHTING: SEE E1187
 - 24 ASPHALT PAVING PER SOILS REPORT RECOMMENDATIONS
 - 25 MOTORCYCLE PARKING. PAINT STRIPES AND LETTERS WHITE AS SHOWN
 - 26 5' FRONT YARD BUILDING SETBACK
 - 27 BENCH
 - 28 CRUSHER FINE PATH

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Albuquerque, New Mexico

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
SIGNATURE & DATE: *[Signature]* 04/30/13

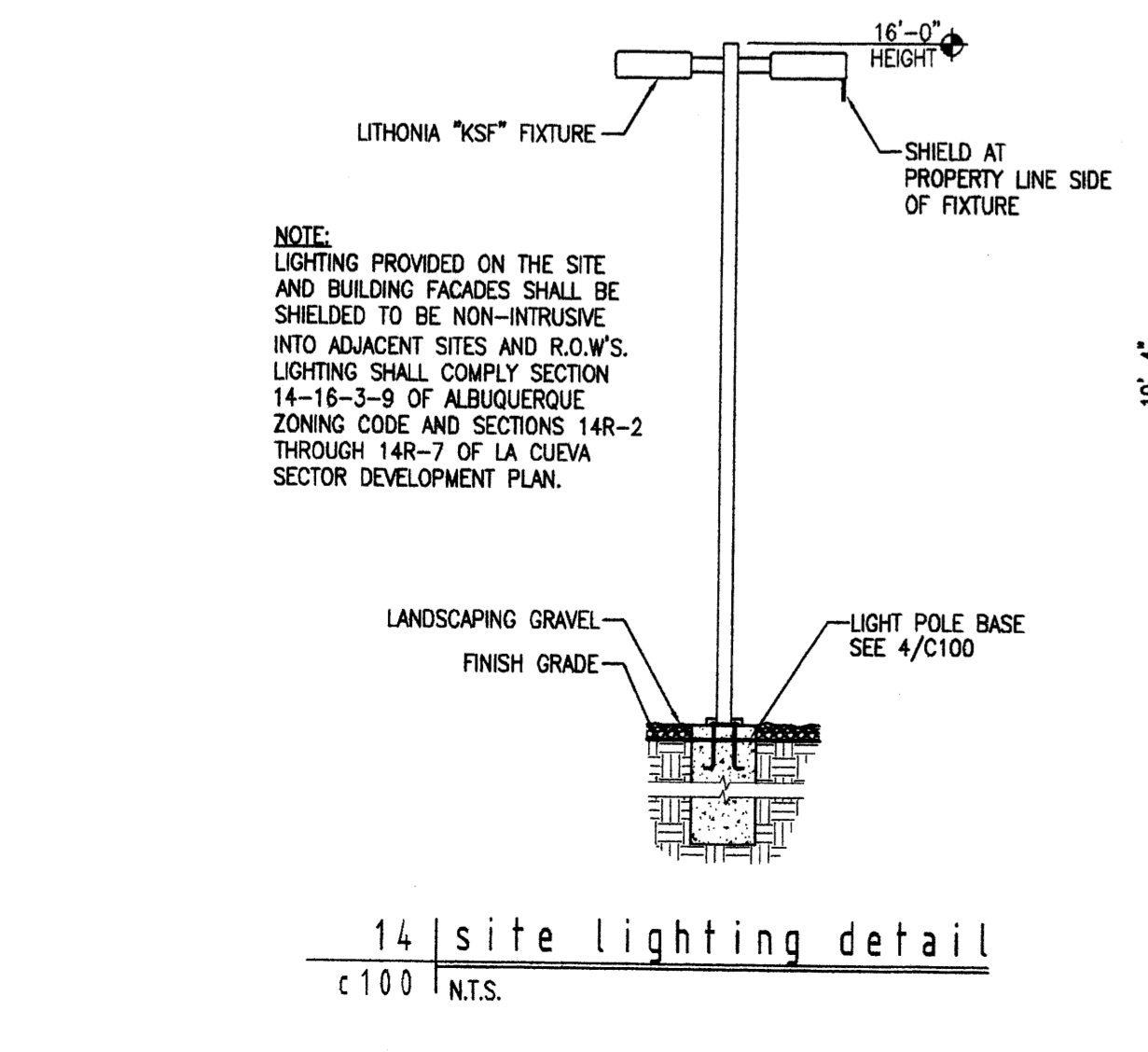
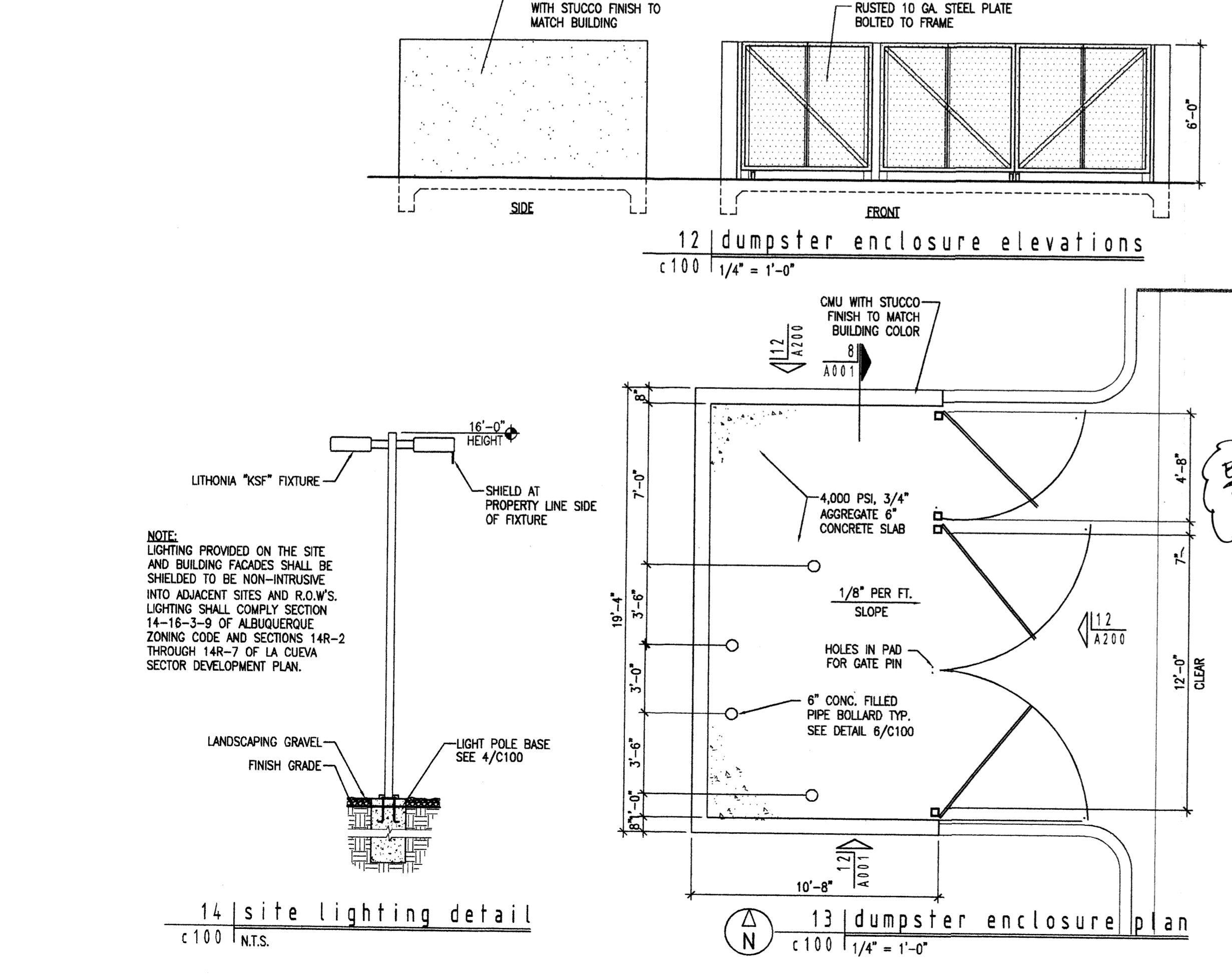
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new mexico 87104
fax 505 246 0637
slabherri.com

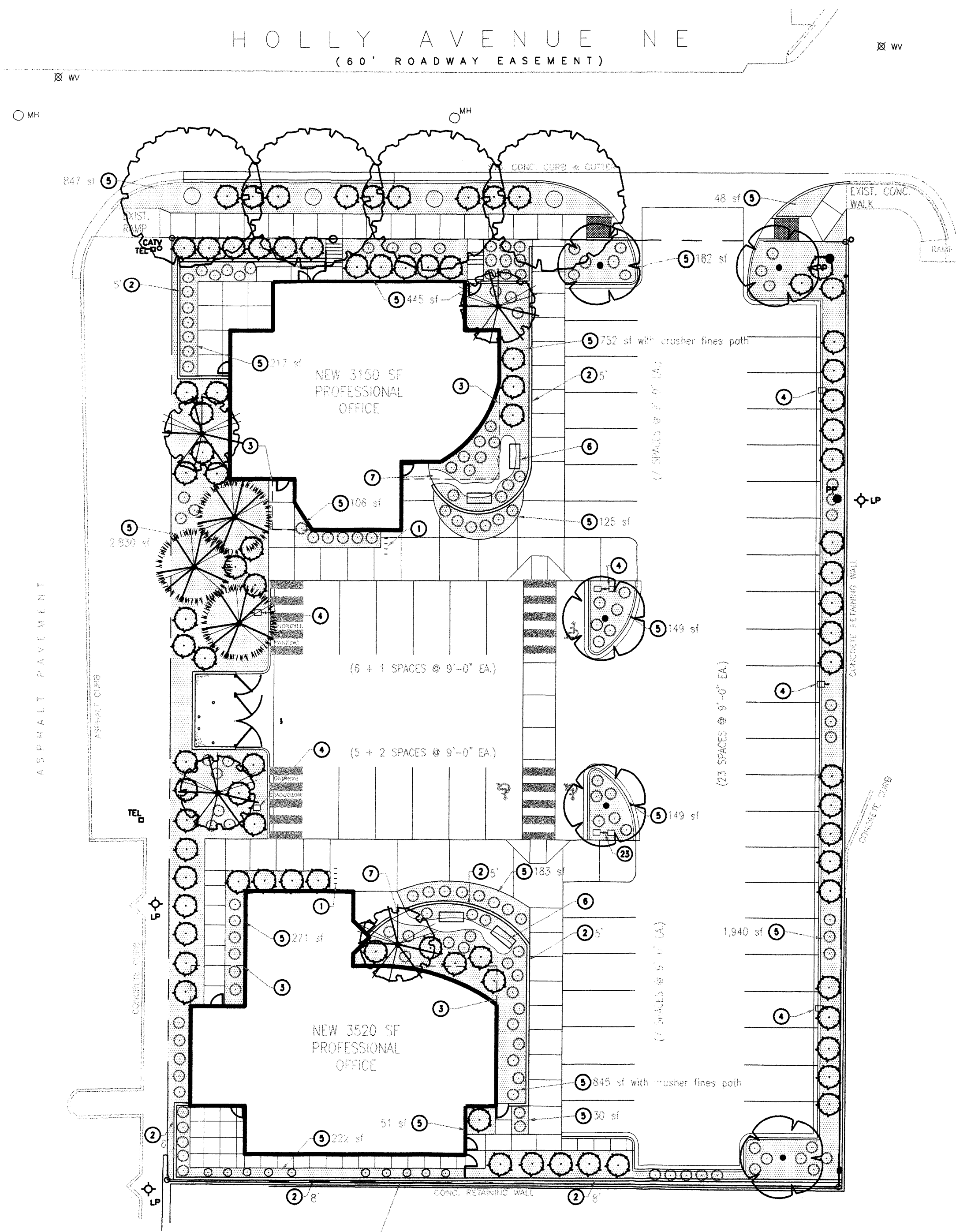


revisions:
 △ PER ARC COMMENT: 1-7-13
 △ EPC COMMENTS: 4-23-13
 △ FIRE MARSHALL: 4-30-13

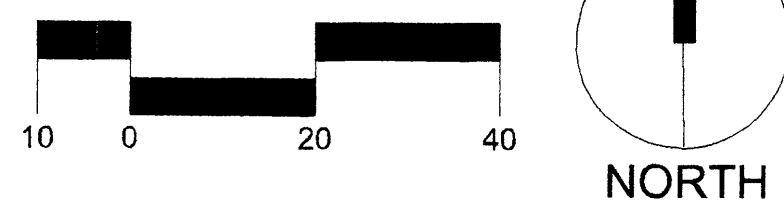
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sheet: C100



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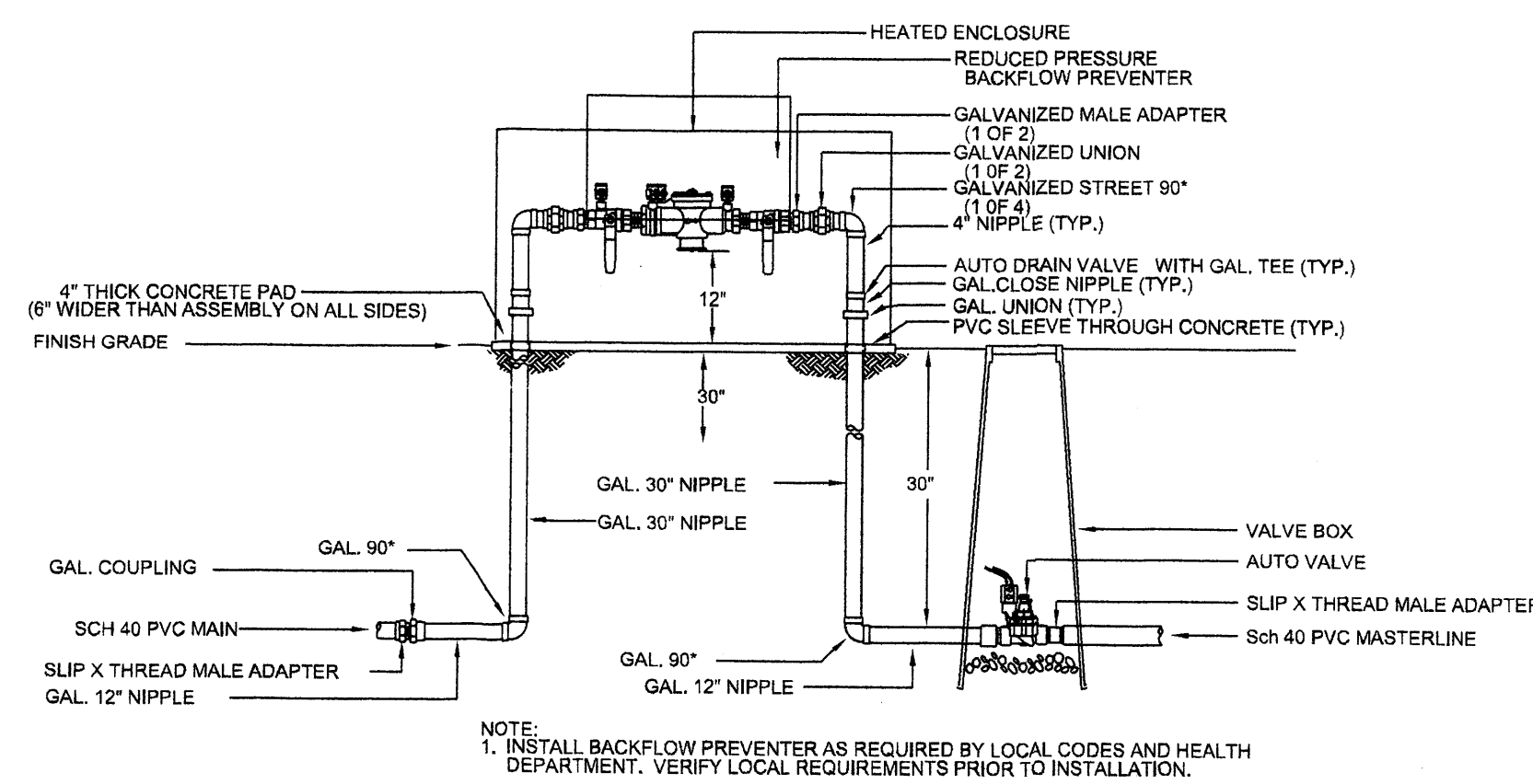


Scale: 1" = 20'



SITE PLAN KEY NOTES:

- 1 BIKE RACK
- 2 CMU WALL W/STUCCO FINISH TO MATCH BUILDING HEIGHT AS SHOWN
- 3 LINE OF OVERHANG ABOVE
- 4 SITE LIGHTING
- 5 LANDSCAPE AREA, SQUARE FOOTAGE AS SHOWN
- 6 BENCH (4 TOTAL)
- 7 CRUSHER FINES PATH



1 RP BACKFLOW/MASTER VALVE DETAIL

N.T.S.

PLANT SCHEDULE

STREET TREES	QTY	SIZE	EXAMPLES
	4	2" B&B	Gleditsia triacanthos inermis/Thornless Honey Locust 50' x 45' mature size, Medium+ water use Pistachia chinensis/Chinese Pistache 60' x 60' mature size, Medium water use Sophora japonica/Japanese Pagoda Tree 35' x 35' mature size, Medium water use
ORNAMENTAL TREES	QTY	SIZE	EXAMPLES
	4	24" box	Chilopsis linearis/Desert Willow 20' x 25' mature size, Low water use Forestiera Neomexicana/New Mexican Olive 15' x 15' mature size, Medium water use Vitex agnus castus/Chaste Tree 20' x 20' mature size, Medium water use
	5	2" B&B	Quercus gambelii/Gambel Oak 25' x 25' mature size, Medium water use Crataegus laevigata/English Hawthorn 20' x 20' mature size, Medium water use Prunus cerastifera/Purpleleaf Plum 20' x 20' mature size, Medium water use
EVERGREEN TREES	QTY	SIZE	EXAMPLES
	3	6' - 8'	Pinus stroboformis/White Pine 30' x 20' mature size, Medium+ water use Quercus turbinella/Desert Oak 20' x 20' mature size, Low+ water use
SHRUBS/GRASSES GROUNDCOVERS	QTY	SIZE	EXAMPLES
	80	1 gal/5 gal	Vauquelinia sp./Arizona Rosewood 12' x 10' mature size, Low+ water use Perovskia atriplicifolia/Russian Sage 5' x 5' mature size, Medium water use Pinus mugo mugo/Dwarf Mugo Pine 5' x 10' mature size, Medium water use Hesperaloe parviflora/Red Yucca 3' x 4' mature size, Low+ water use Yucca recurvifolia/Soft-leaf Yucca 5' x 4' mature size, Low+ water use Buddleia davidii/Butterfly Bush 5' x 5' mature size, Medium water use Spartium junceum/Spanish Broom 8' x 8' mature size, Medium water use Miscanthus sp./Maiden Grass 5' x 5' mature size, Medium+ water use Nolina microcarpa/Beargrass 5' x 6' mature size, Low water use Juniperus sp./Blue Chip Juniper - female 2' x 5' mature size, Low+ water use
	154	1 gal/5 gal	Lavandula angustifolia/English Lavender 3' x 3' mature size, Medium water use Calamagrostis 'Karl Foester'/Reed Grass 2' x 2' mature size, Medium water use Muhlenbergia capillaris/Gulf Muhly 3' x 3' mature size, Medium water use Panicum virgatum/Switchgrass 4' x 3' mature size, Medium water use Caryopteris x clandonensis/Blue Mist Spirea 3' x 3' mature size, Low+ water use Salvia greggii/Cherry Sage 2' x 3' mature size, Low+ water use
VINES	QTY	SIZE	EXAMPLES
	10	1 gal/5gal	Hedera helix/English Ivy Climbing x 12' mature size, Medium water use Parthenocissus quinquefolia/Virginia Creeper Climbing x 40' mature size, Medium+ water use Parthenocissus tricuspidata/Boston Ivy Climbing x 40' mature size, Medium water use Vitis arizonica/Canyon Grape Climbing x 20' mature size, Medium water use

(plant sizes = height x width)

NOTES:

1. In case of discrepancies in plant quantities shown on the plant schedule and those shown on the plan, the quantities shown on the plan shall prevail.
2. Plants to be irrigated by auto drip irrigation system supplied by drip irrigation system protected with reduced pressure backflow preventer.
3. Maintenance of the landscape and irrigation is the sole responsibility of the owner. Water management is the sole responsibility of the property owner.
4. Boulders, if proposed, are to be Moss Rock and varying sizes from 6 CF - 18 CF.
5. Steel edging (color green) is to be used between all areas of turf and gravel.
6. Landscape areas to be mulched with gravel mulch at 2" - 3" depth over filter fabric.
7. Positive drainage away from all structures is to remain after all landscape work is completed.
8. No parking space shall be more than 100' from a tree.
9. Use only LOW or MEDIUM/MEDIUM+ water use plants.
10. The landscape plan is designed to comply with the General Landscaping Regulations §14-16-3-10, including provision of a minimum of 75% live ground coverage, measured at maturity, of all required landscape areas.
11. Plant materials and signing will not interfere with clear sight requirements. Therefore signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) are not acceptable in 'clear sight' areas.

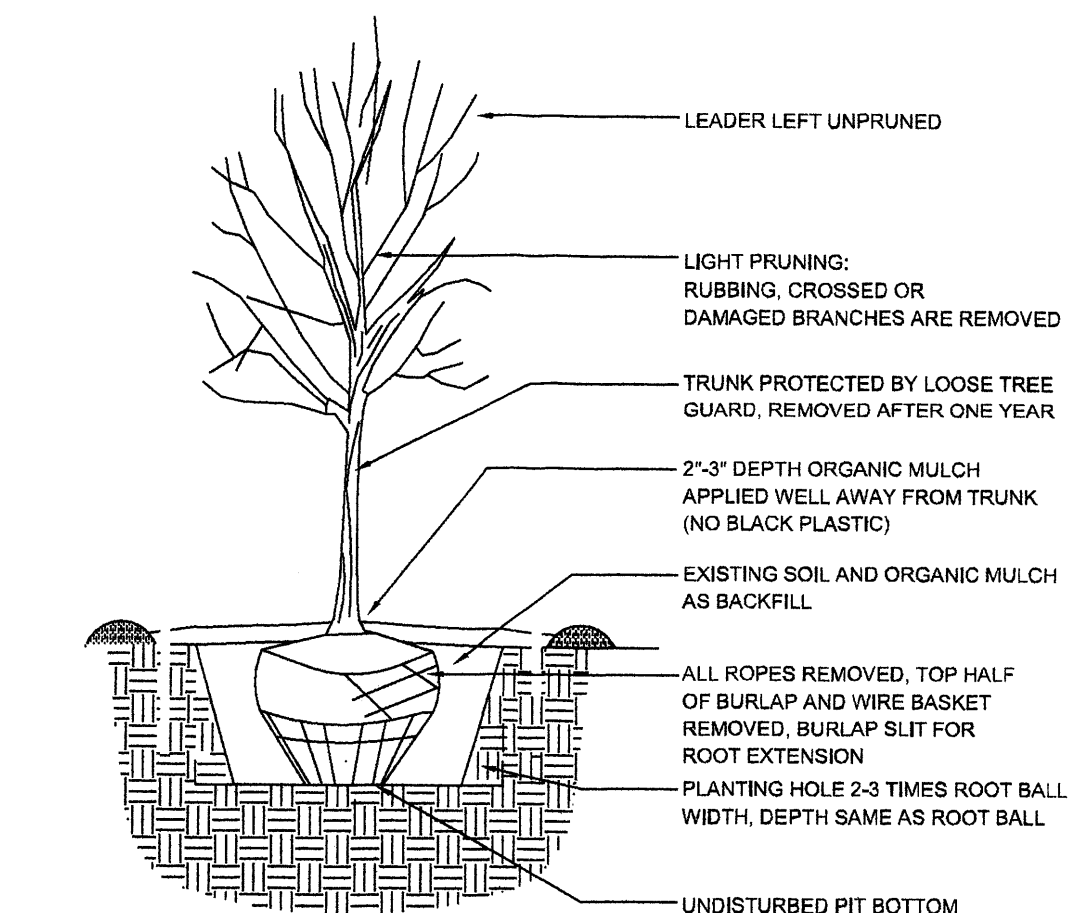
SITE DATA:

GROSS LOT AREA	.....43,670 sf
BUILDINGS	.....6,670 sf
NET LOT AREA	.....37,000 sf

REQUIRED LANDSCAPE (15% of NET LOT AREA)	.....5,550 sf
PROPOSED LANDSCAPE	.....9,392 sf
percent of NET LOT AREA	.....25 %

REQUIRED STREET TREES	.....4
provided at 30' o.c. spacing	.....4
REQUIRED PARKING LOT TREES	.....5
1 tree per 10 spaces/51 parking spaces total	.....5
provided parking lot trees	.....5

REQUIRED LANDSCAPE COVERAGE = 75%	
provided: 77% of proposed landscape comprised of live plant coverage; measured at full maturity	
SHRUBS REQUIRED	.....235
shrubs provided242
(242 shrubs = 7,260 sf = 77% of PROPOSED LANDSCAPE)	

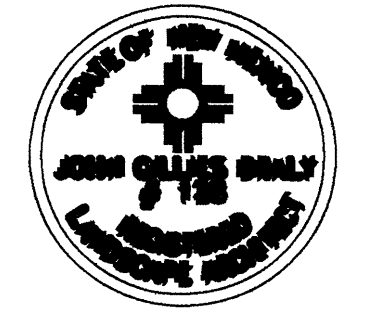


2 TREE PLANTING DETAIL

N.T.S.

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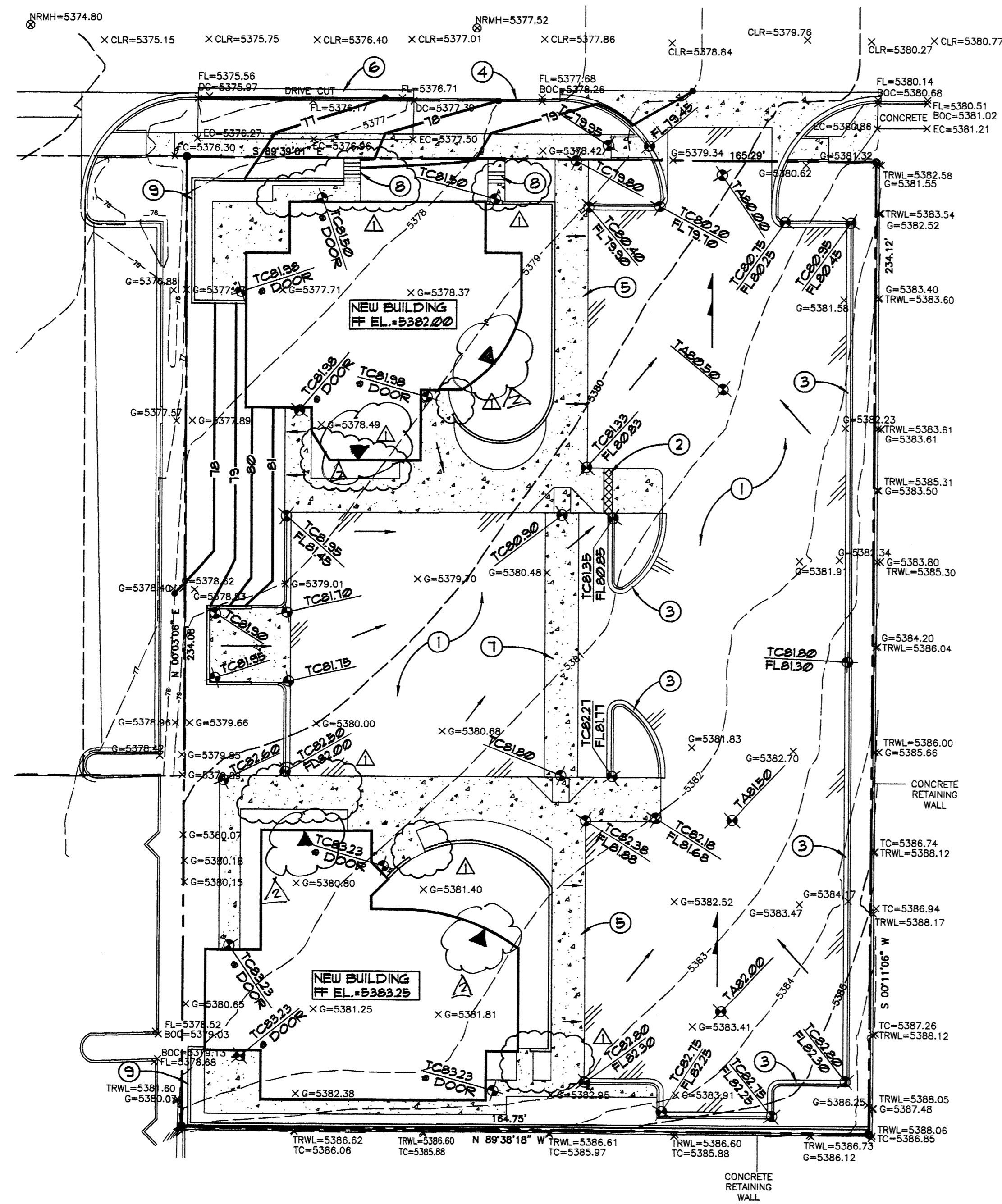
S I A B L E
H E A R

Architect
1600 Rio Grande NW
Albuquerque
New Mexico 87104
fax 505 246 0437

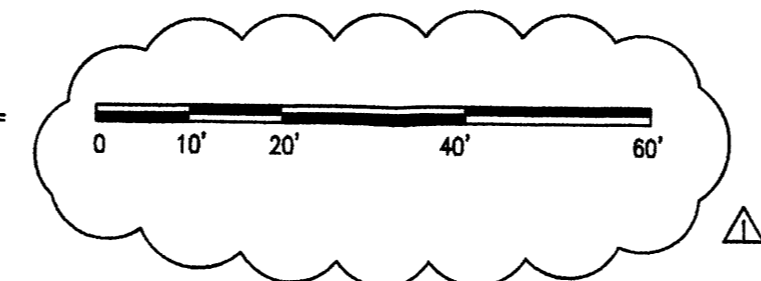
revisions: 4-26-13
revisions: 4-30-13

date:
2-28-13
sheet: C 101

HOLLY AVENUE NE



1 | conceptual grading and drainage plan
c101 | 1"=20'



KEYED NOTES

- 1 ASPHALT PAVING
- 2 2'-0" WIDE SIDEWALK CULVERT
- 3 CONCRETE CURB AND GUTTER
- 4 CONCRETE SIDEWALK PER C.O.A. STD. DRAWING 2430
- 5 SITE CONCRETE SIDEWALK WITH THICKENED EDGE
- 6 CONCRETE CURB AND GUTTER PER C.O.A. STD. DRAWING 2415A
- 7 CONCRETE PAVING
- 8 CONCRETE STAIRS ON GRADE
- 9 RETAINING WALL

LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- 5380 --- EXISTING CONTOUR
- NEW CONTOUR
- X G=5379.70 EXISTING SPOT ELEVATION
- G=5380.00 NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE OR CURB
- FG FINISHED GRADE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- FL FLOW LINE
- TG TOP OF GRATE
- INV INVERT
- [Pattern] NEW CONCRETE PAVING
- [Pattern] NEW AC PAVING
- [Symbol] ROOF DRAIN LOCATION
- [Symbol] SWALE

LEGAL DESCRIPTION

LOT NUMBERED FOURTEEN (14), IN BLOCK NUMBERED TEN (10), TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, A SUBDIVISION OF A TRACT OF LAND IN BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1931, IN PLAT BOOK D1, FOLIO 20RLY

BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "HEAVEN UNDERGROUND", HAVING AN ELEVATION OF 5218.235. NAVD 1988

DESIGN NARRATIVE

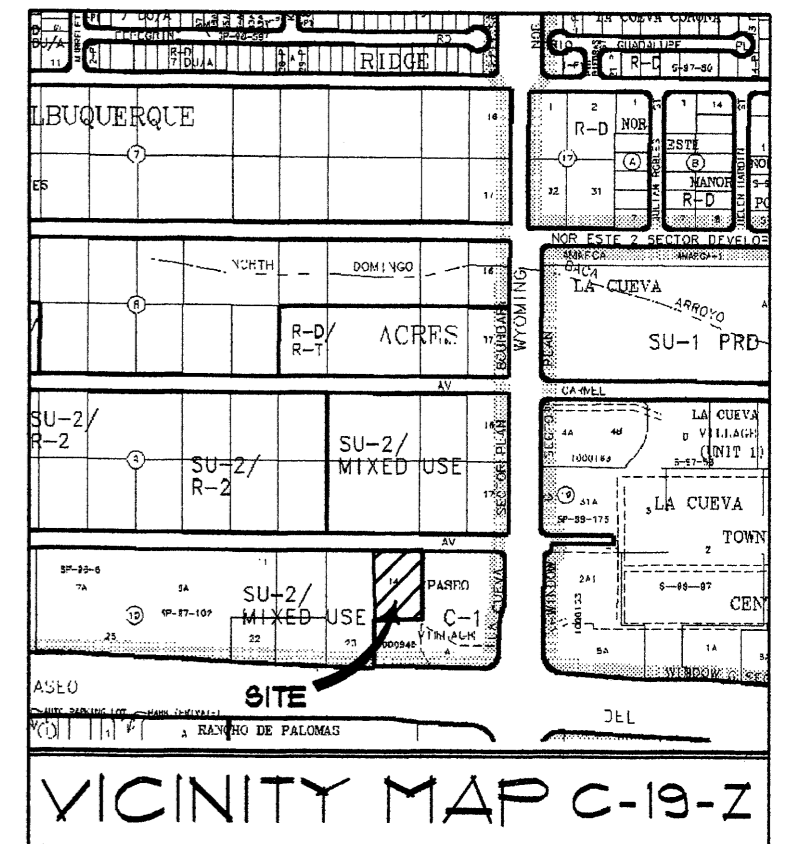
THE SUBJECT SITE IS AN UNIMPROVED 0.886 ACRE SITE. TWO SMALL SINGLE STORY BUILDINGS WILL BE CONSTRUCTED ON THE SITE ALONG WITH A NEW DRIVE ACCESS AND ASPHALT PAVED PARKING LOT. THE SITE CURRENTLY SLOPES FROM THE SE CORNER TO THE NW CORNER OF THE PROPERTY WITH A NET DROP OF APPROXIMATELY 8 FEET. MOST OF THE RUNOFF DEVELOPED ON THE CURRENT SITE FLOWS OUT THE CURRENT DRIVE ACCESS TO HOLLY AVE. OR ACROSS THE WEST PROPERTY LINT TO A SITE CURRENTLY BEING DEVELOPED. THE PROPOSED DEVELOPMENT WILL BE GRADED TO DIRECT STORM RUNOFF VIA SURFACE IMPROVEMENTS TO HOLLY AVE. BUILDING ROOF DRAINS WILL BE DIRECTED TO PAVED PARKING AND DRIVE PORTIONS OF THE SITE. THE PAVING WILL BE GRADED TO DIRECT FLOWS TO HOLLY AVE THROUGH THE DRIVE ENTRANCE. NO OFFSITE RUNOFF AFFECTS THIS SITE FROM UPSTREAM FACILITIES AND THE SUBJECT SITE WILL NOT INCREASE EXISTING RUNOFF TO THE ADJACENT WESTERN PROPERTY FROM A SMALL LANDSCAPED AREA. DOWNSTREAM STORM DRAIN FACILITIES IN HOLLY AVE. ARE ADEQUATE TO CONVEY RUNOFF TO AN EXISTING PONDING FACILITY.

EROSION CONTROL PLAN

- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

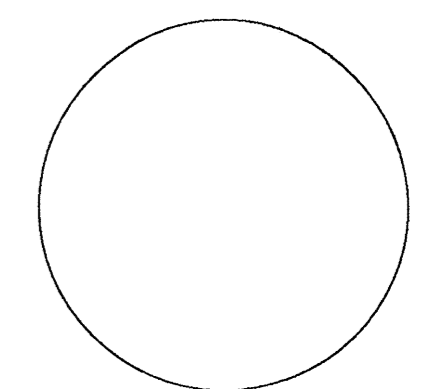


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CONCEPTUAL GRADING
and DRAINAGE PLAN



revisions:

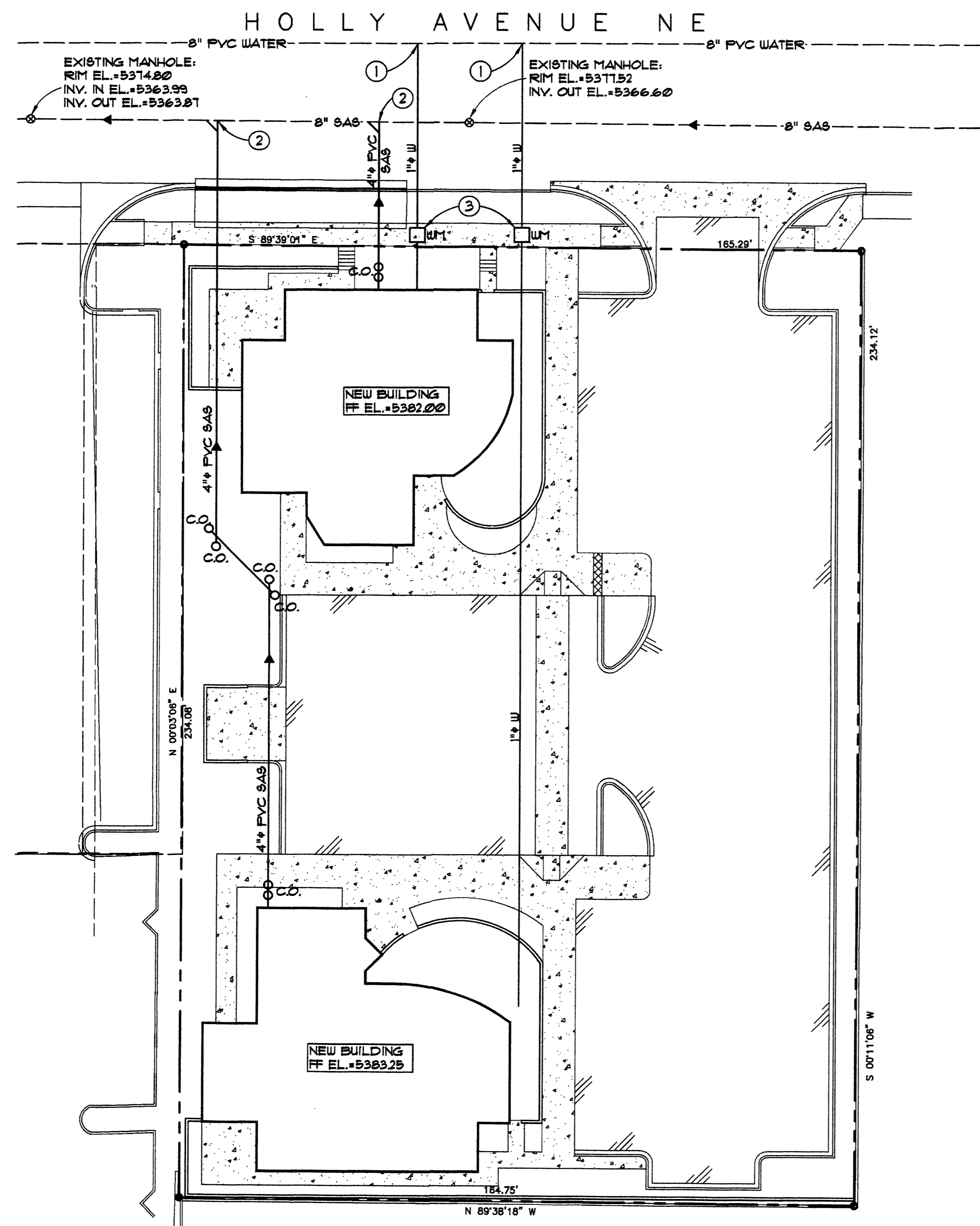
- △ EPC COMMENTS: 4-23-13
- △ ROOF DRAIN LOCATIONS E-16-13

date:
2/28/13

sheet:
C102

Walla Engineering Ltd.
Structural Engineering
Civil Engineering
8100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
881-3008 • Facsimile 881-4025

05-16-13



KEYED NOTES

- 1 1" WATER SERVICE CONNECTION PER ABCWA STD. DRAWING 2362
- 2 4" SANITARY SEWER SERVICE CONNECTION
- 3 NEW WATER METER (1") AND METER BOX PER ABCWA STD. DRAWING 2362

LEGEND

- SAS--- EXISTING SANITARY SEWER LINE
- SAS— SANITARY SEWER LINE
- W--- EXISTING WATER LINE
- W— WATER LINE
- UM WATER METER
- P--- PROPERTY LINE
- CO SEWER CLEAN OUT
- M--- EXISTING MANHOLE
- INV. INVERT ELEVATION

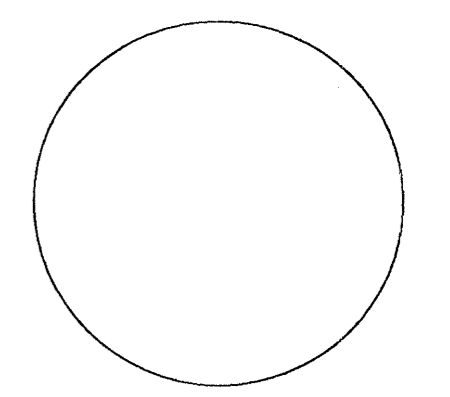
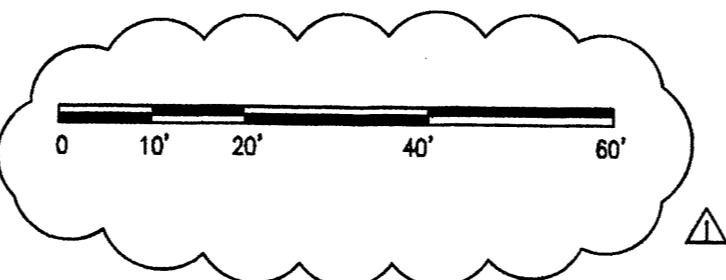
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 fax 505.246.0437
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CONCEPTUAL
 SITE UTILITIES PLAN

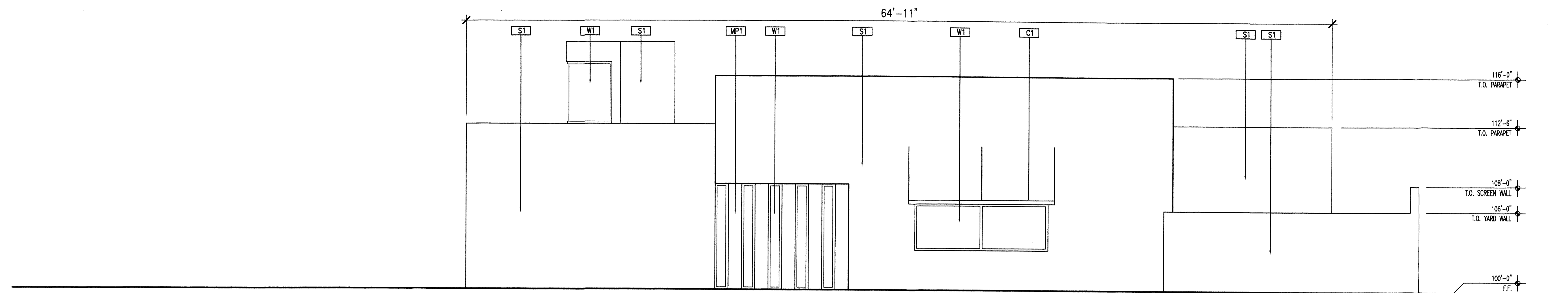
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 c102 1"=20'



revisions:
 EPC COMMENTS: 4-23-13

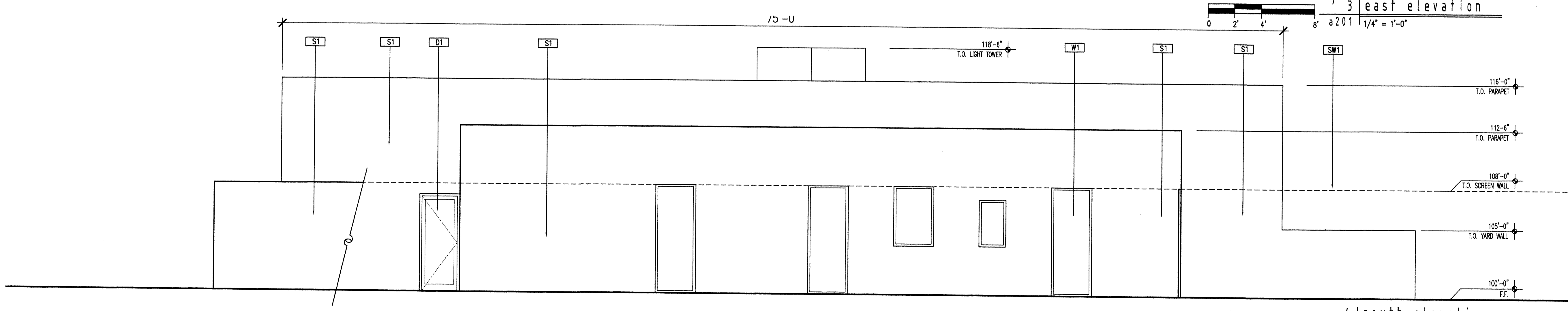
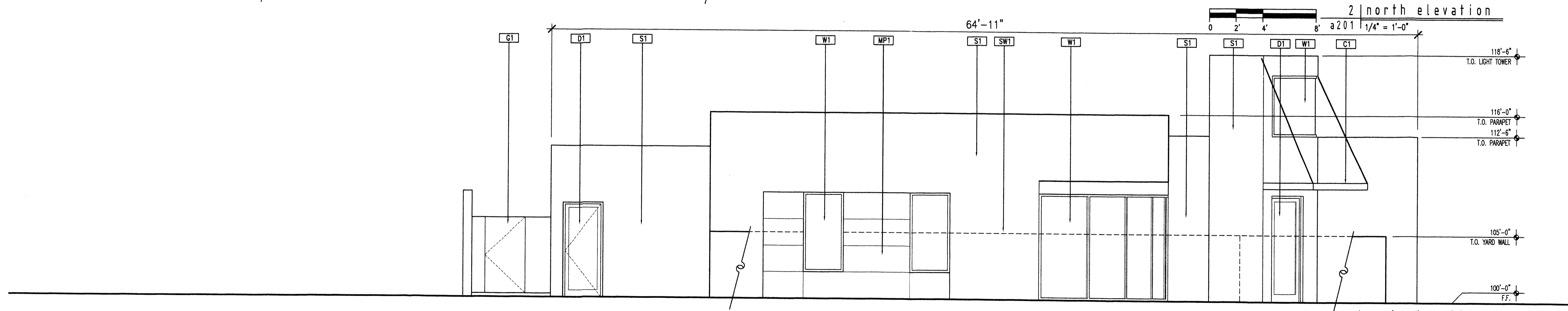
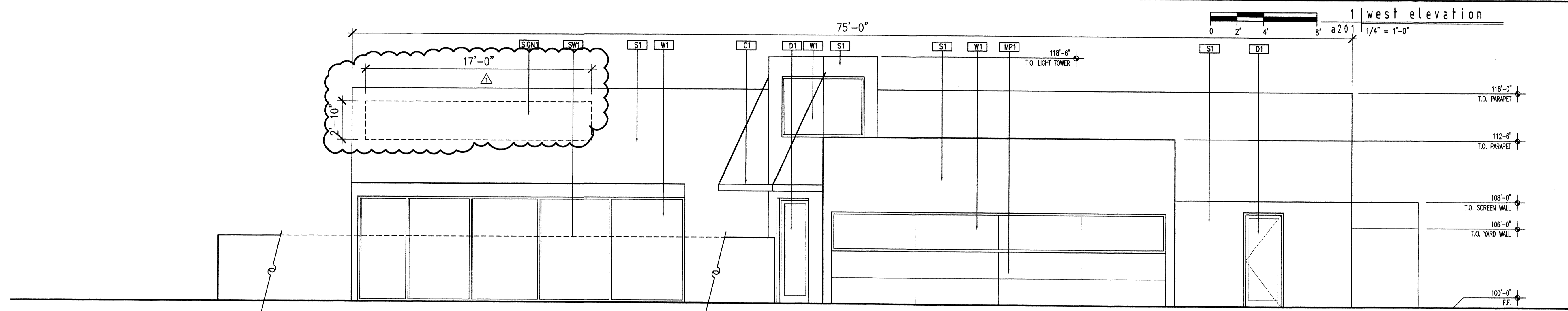
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 861-3008 • Facsimile 861-4025

date:
 2/28/13
 sheet:
 C103



- keyed notes:
- S1 STUCCO COLOR NO. 1. LIGHT EARTH BRONZE
 - W1 WINDOW: TINTED LOW-E GLASS IN DARK BRONZE ALUMINUM FRAME (TYP.)
 - D1 BRONZE STOREFRONT DOOR IN DARK BRONZE ALUMINUM FRAME
 - SW1 SCREEN WALL SHOWN DASHED FOR CLARITY. FINISH SHALL BE STUCCO TO MATCH BUILDING
 - G1 WEATHERED STEEL PLATE GATE
 - C1 CANOPY: STEEL CANOPY SUSPENDED WITH STEEL RODS. DARK EARTH RUST COLOR
 - SIGN1 BRUSHED ALUMINUM LETTERS ON 1" STAND-OFFS. BACK LIT W/ LED. 50 S.F. MAX.
 - MP1 METAL PANELS: 16 GA. WEATHERED STEEL. DARK RUST COLOR
 - FT1 METAL PANELS: 16 GA. WEATHERED STEEL. DARK RUST COLOR

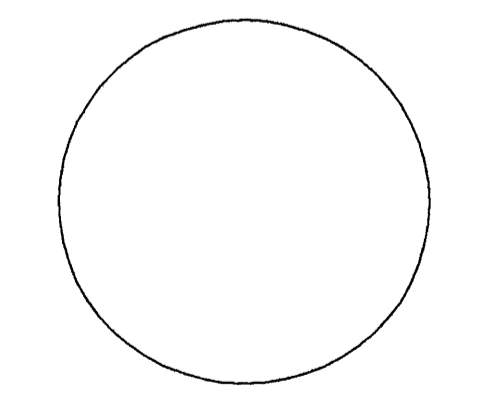
SIGNAGE NOTE: THE MAXIMUM LETTER SIZE SHALL NOT EXCEED 2 FEET IN HEIGHT AND THE MAXIMUM LOGO SIZE SHALL NOT EXCEED 2 FEET IN HEIGHT AND WIDTH SHALL COMPLY WITH THE LSCDIP SIGN DESIGN REGULATIONS, 13R-9 AND 13R-9.



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Dental Office
 Development at:
 7500 Holly Avenue NE
 Albuquerque, New Mexico

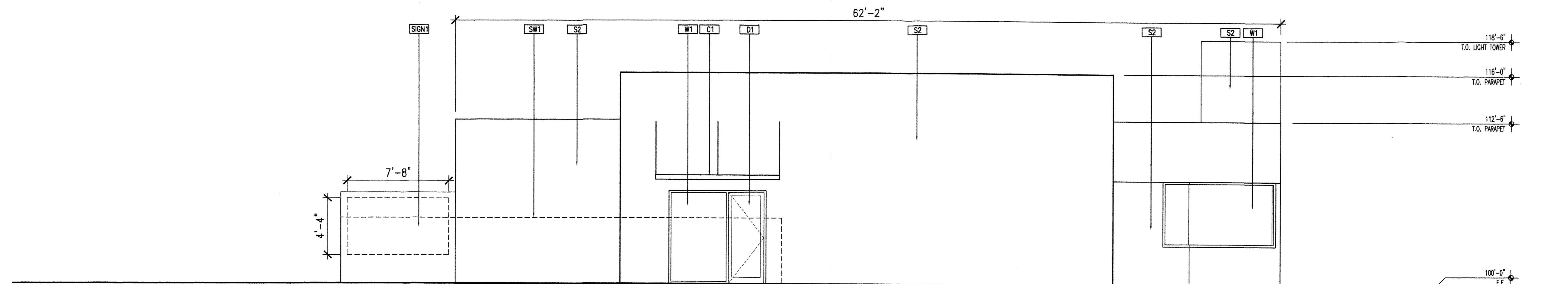
s l a g l e
HERR
 Architects
 1600 rio grande nw
 albuquerque
 new mexico 87104
 phone 505 246 0431
 fax 505 246 0433
 s.l.a.g.l.e.h.e.r.r.c.o.m

south building
 exterior elevations



revisions:
 △ EPC COMMENTS: 4-23-13

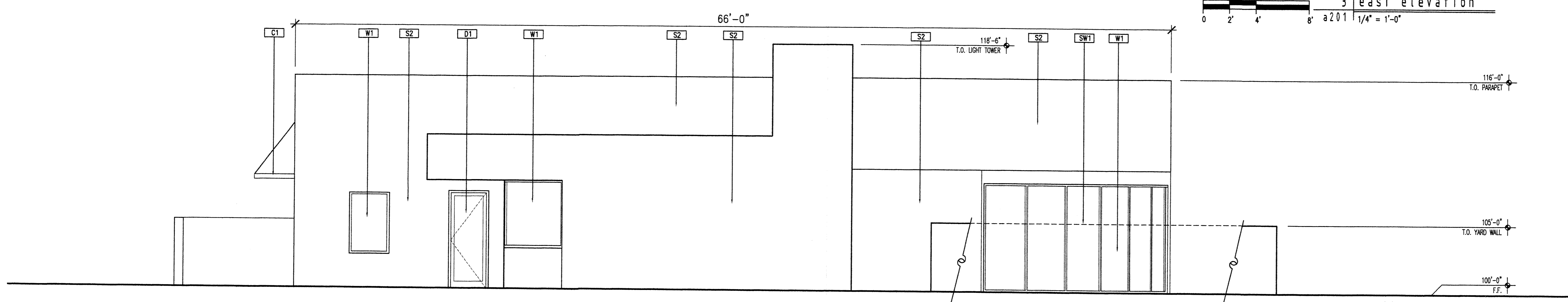
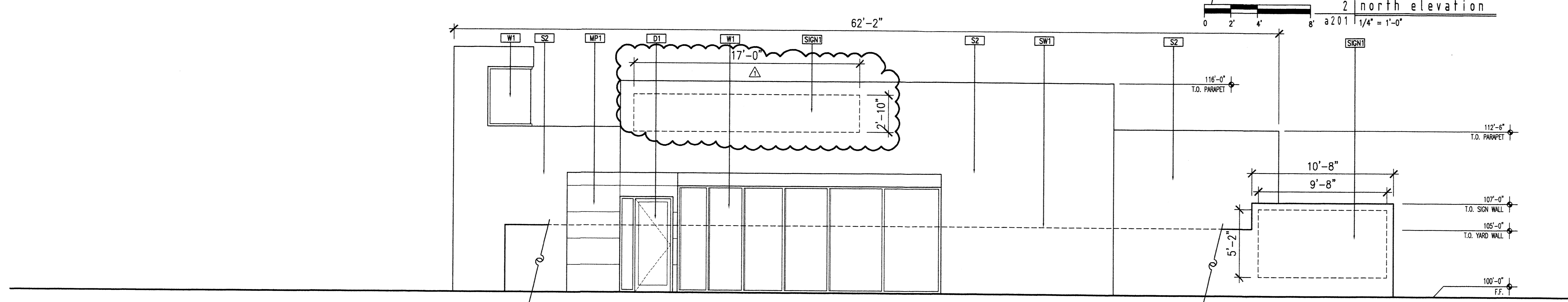
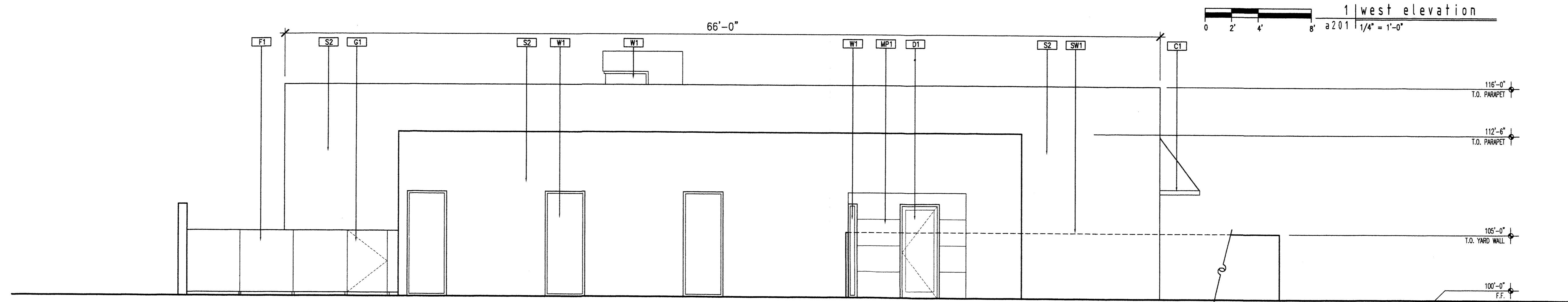
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 2-28-13
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 c 104



keyed notes:

- S2** STUCCO COLOR NO. 2 EARTH GREEN
- W1** WINDOW: TINTED LOW-E GLASS IN DARK BRONZE ALUMINUM FRAME (TYP.)
- D1** BRONZE STOREFRONT DOOR IN DARK BRONZE ALUMINUM FRAME
- SW1** SCREEN WALL SHOWN DASHED FOR CLARITY. FINISH SHALL BE STUCCO TO MATCH BUILDING
- G1** WEATHERED STEEL PLATE GATE
- C1** CANOPY: STEEL CANOPY SUSPENDED WITH STEEL RODS. DARK EARTH RUST COLOR
- SIGN1** BRUSHED ALUMINUM LETTERS ON 1" STAND-OFFS. BACK LIT W/ LED. 50 S.F. MAX.
- MP1** METAL PANELS: 16 GA. WEATHERED STEEL. DARK RUST COLOR
- F1** METAL PANELS: 16 GA. WEATHERED STEEL. DARK RUST COLOR

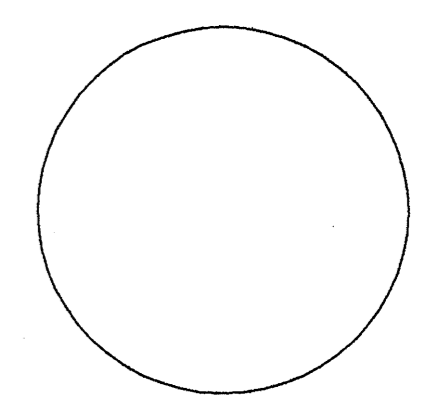
SIGNAGE NOTE: THE MAXIMUM LETTER SIZE SHALL NOT EXCEED 2 FEET IN HEIGHT AND THE MAXIMUM LOGO SIZE SHALL NOT EXCEED 2 FEET IN HEIGHT AND WIDTH SHALL COMPLY WITH THE LCDSP SIGN DESIGN REGULATIONS, 13R-8 AND 13R-9.



a new
Dental Office
 Development at:
 7500 Holly Avenue NE
 Albuquerque, New Mexico

s l a g l e
H E R R
 ARCHITECTS
 1600 RIO GRANDE NW
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north building
 exterior elevations



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