

NOTES

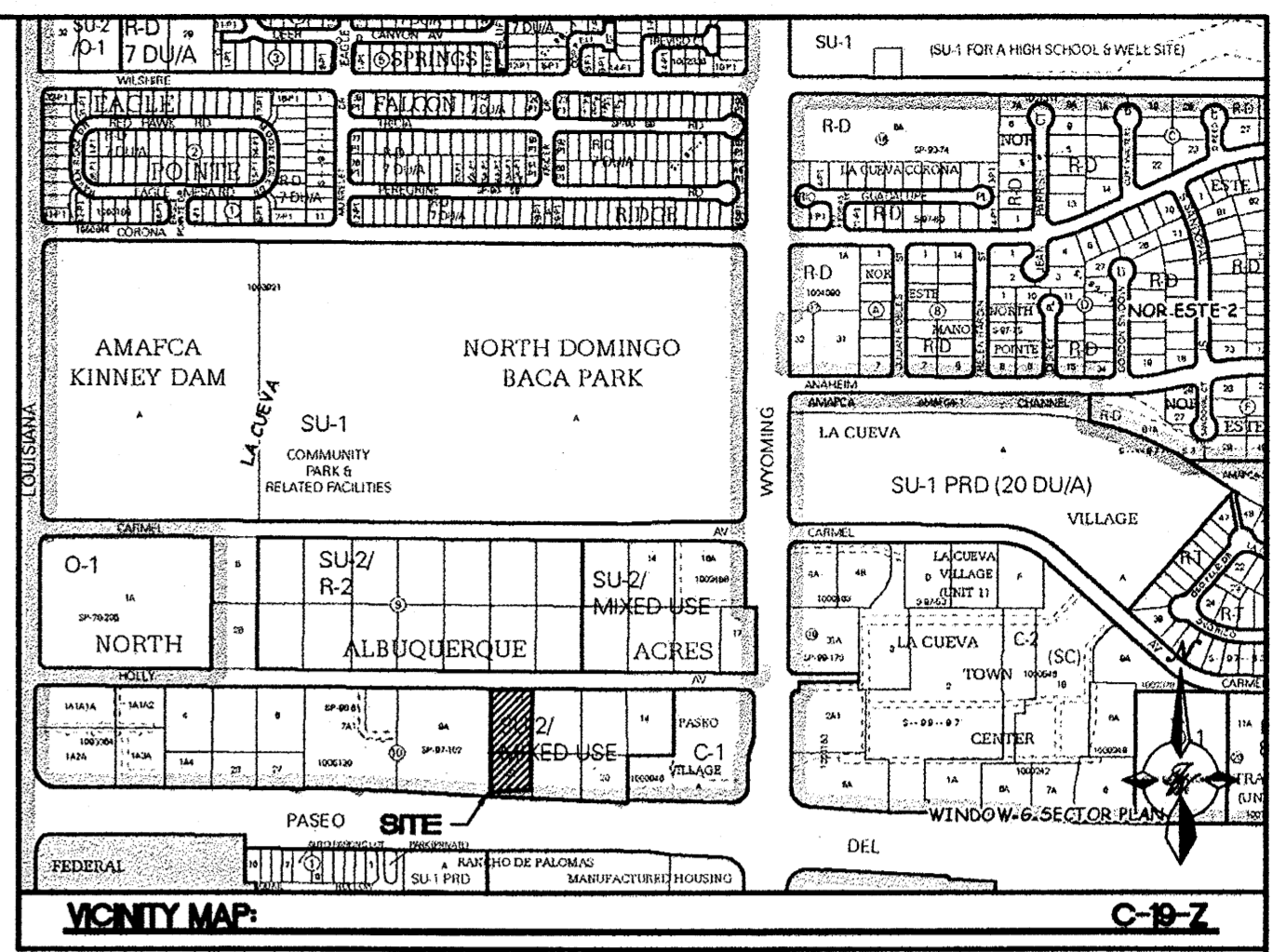
1. PRIMARY VEHICULAR ACCESS SHALL BE FROM HOLLY AVENUE THROUGH THE EXISTING PARKING LOT ON LOT 9A VIA EXISTING EASEMENT (NO. 17 THIS SHEET). ACCESS WILL ALSO BE PROVIDED THROUGH LOTS 20, 21, AND 22 VIA EXISTING MUTUAL ACCESS EASEMENT (NO. 18, THIS SHEET).
2. A PEDESTRIAN CONNECTION TO THE EXISTING PUBLIC SIDEWALK ON PASEO DEL NORTE TO THE SOUTH WILL BE CONSTRUCTED. A PEDESTRIAN CONNECTION TO THE PROPOSED DEVELOPMENT TO THE EAST WILL BE PROVIDED THROUGH STAIRS.
3. SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE (5) FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
4. HEIGHT: STRUCTURES SHALL NOT EXCEED 26 FEET.
5. LOT SIZE/MAX FAR: NO REQUIREMENTS.
6. MECHANICAL EQUIPMENT SHALL BE SCREENED.
7. FUTURE BUILDING DEVELOPMENT ON LOT 11 WILL REQUIRE APPROVAL BY THE EPC.
8. DEVELOPMENT SHALL COMPLY WITH THE REGULATIONS OF THE SU-2/MU (MIXED USE) ZONE AND THE COMMON DESIGN REGULATIONS FOR THE SU-2 ZONED PROPERTIES IN THE LA CUEVA SECTOR DEVELOPMENT PLAN (LCSDP).
9. THE SITE DEVELOPMENT PLAN SHALL COMPLY WITH THE LANDSCAPING REGULATIONS, SEC. 14-16-3-10.

SITE DATA: LOT 22 (PROPOSED LOT 22A)

PROPOSED USAGE: AUTO REPAIR (FIRESTONE)
 ZONING: SU-2 MIXED USE
 SITE AREA: ±0.53 ACRES (EXISTING)
 0.7239 ACRES (PROPOSED)
 PROPOSED LOT COVERAGE: 24.3 %

SITE DATA: LOT 11 (PROPOSED LOT 11A)

PROPOSED USAGE: FUTURE
 ZONING: SU-2 MIXED USE
 SITE AREA: 0.886 ACRES (EXISTING)
 0.6975 ACRES (PROPOSED)



LEGAL DESCRIPTION:
 LOT 22 AND LOT 11, BLOCK 10, NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

EASEMENT LEGEND

12. EXISTING NON-EXCLUSIVE BLANKET EASEMENT FOR UTILITIES UPON, OVER UNDER AND ACROSS COMMON AREA AND STORM SEWER (07/06/2010, DOC. NO. 2010064384) - NON PLOTTABLE
17. EXISTING PERPETUAL EASEMENT (PARKING ALLOCATION) FOR THE BENEFIT OF LOT 9A (07/01/2009, DOC. NO. 2009074133) TO BE VACATED BY DOCUMENT # _____
18. EXISTING MUTUAL EASEMENT FOR UTILITIES AND ACCESS FOR LOTS 11, 13, 14, 20, 21 AND 22, BLOCK 10 TRACT 2, OF UNIT 3 NORTH ALBUQUERQUE ACRES. THIS GRANT OF EASEMENT SHALL BE MUTUAL ENCUMBRANCE AND SHALL BE FOR THE MUTUAL BENEFIT OF LOTS DESCRIBED. UPON FINAL DEVELOPMENT OF THE LOTS, THIS GRANT OF EASEMENT SHALL BE AMENDED TO REFLECT EXACT LOCATION OF THE EASEMENT - NON PLOTTABLE

PROJECT NUMBER: 1003532
APPLICATION NUMBER: _____

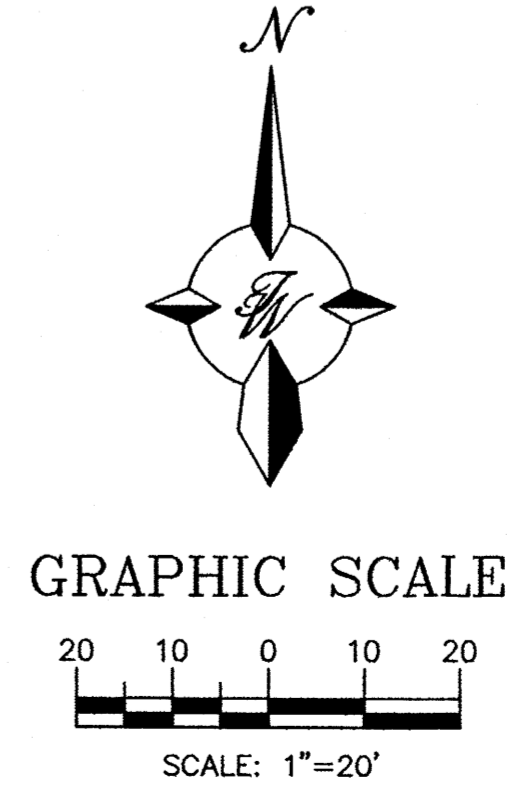
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

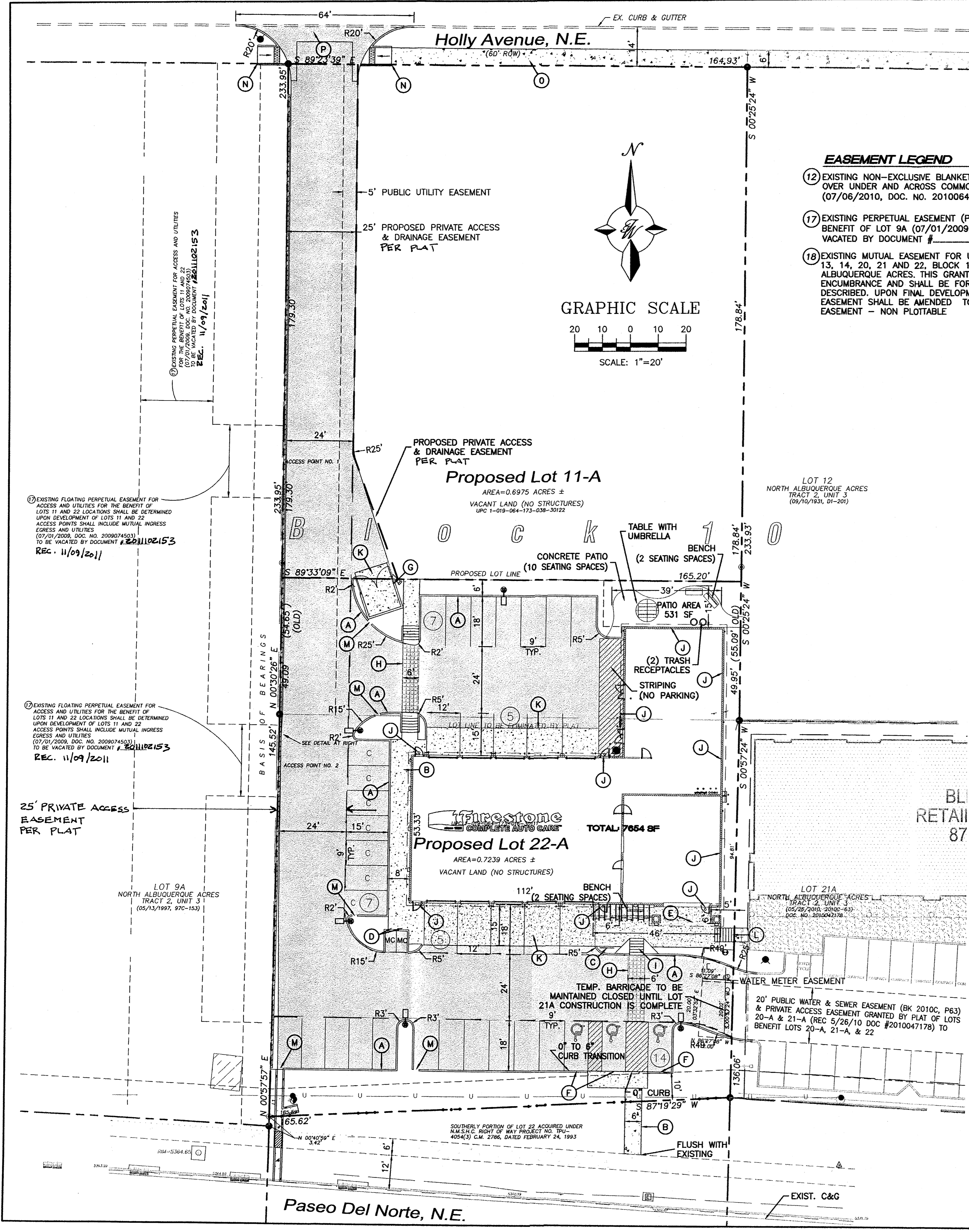
<i>[Signature]</i> Traffic Engineer, Transportation Division	01-03-12 Date
<i>[Signature]</i> Water Utility Development	11-09-11 Date
<i>[Signature]</i> Parks & Recreation Department	11-9-11 Date
<i>[Signature]</i> City Engineer	11-9-11 Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
<i>[Signature]</i> DRB Chairperson, Planning Department	1-3-12 Date

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
 - C2. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 - C3. PRELIMINARY GRADING AND DRAINAGE PLAN
 - C4. MASTER UTILITY PLAN
 - C5. DETAILS
 - L1. LANDSCAPE PLAN
 - A4. EXTERIOR ELEVATIONS



ENGINEER'S SEAL	FIRESTONE PASEO DEL NORTE & WYOMING BLVD	DRAWN BY JH
	SITE PLAN FOR SUBDIVISION	DATE 11-03-11
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	2995-SPSB
RONALD R. BOHANNAN P.E. #7868		SHEET # C1
		JOB # 29095

1003532



EASEMENT LEGEND

- 12 EXISTING NON-EXCLUSIVE BLANKET EASEMENT FOR UTILITIES UPON, OVER UNDER AND ACROSS COMMON AREA AND STORM SEWER (07/06/2010, DOC. NO. 2010064384) - NON PLOTTABLE
- 17 EXISTING PERPETUAL EASEMENT (PARKING ALLOCATION) FOR THE BENEFIT OF LOT 9A (07/01/2009, DOC. NO. 2009074133) TO BE VACATED BY DOCUMENT #
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LEGEND

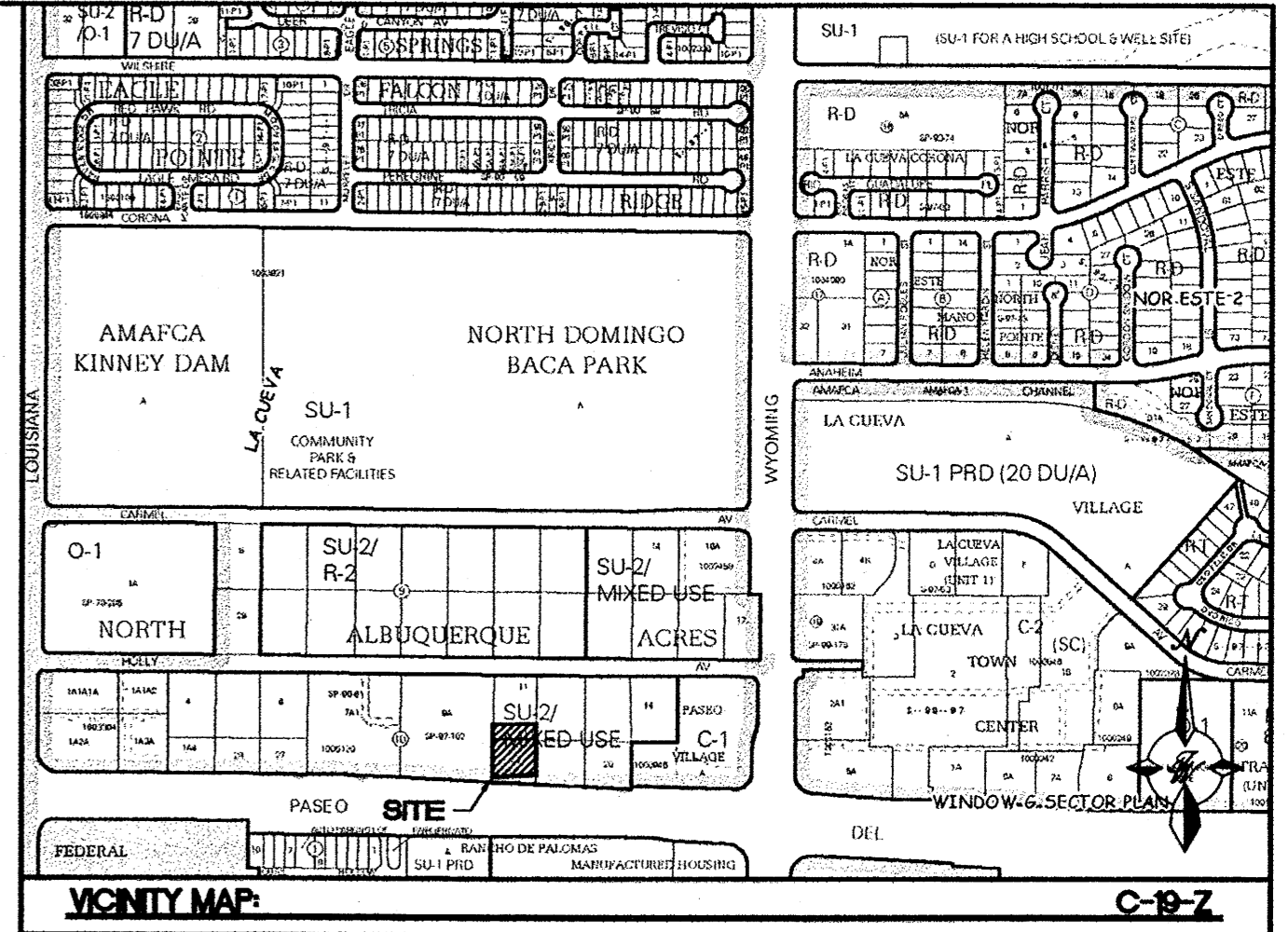
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING LANE
- EXISTING STRIPING
- BIKERACK
- HEAVY DUTY CONCRETE APRON
- AC PAVING (PRIVATE)

KEYED NOTE:

- (A) STANDARD CURB PER COA STD DWG #2415A
- (B) SIDEWALK
- (C) BIKE RACK (PER DETAIL SHEET C5)
- (D) MOTORCYCLE SIGN
- (E) COVERED CANOPY/TRELLIS
- (F) HANDICAP PARKING SIGN
- (G) TRASH ENCLOSURE & DUMPSTERS
- (H) PEDESTRIAN PATHWAY (PER DETAIL SHEET C5)
- (I) ADA RAMP
- (J) WALL PACK LIGHTING
- (K) HEAVY DUTY CONCRETE APRON
- (L) STAIRS, 6' MIN. WIDTH
- (M) 2' CURB CUT
- (N) ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2426
- (O) 6' SIDEWALK PER COA STD DWG #2430
- (P) 6' VALLEY GUTTER PER COA STD DWG #2420

NOTES

1. PRIMARY VEHICULAR ACCESS SHALL BE FROM HOLLY AVENUE THROUGH THE EXISTING PARKING LOT ON LOT 9A VIA EXISTING EASEMENT (NO. 17 THIS SHEET). ACCESS WILL ALSO BE PROVIDED THROUGH LOTS 20,21, AND 22 VIA EXISTING MUTUAL ACCESS EASEMENT (NO 18, THIS SHEET).
2. A PEDESTRIAN CONNECTION TO THE EXISTING PUBLIC SIDEWALK ON PASEO DEL NORTE TO THE SOUTH WILL BE CONSTRUCTED. A PEDESTRIAN CONNECTION TO THE PROPOSED DEVELOPMENT TO THE EAST WILL BE PROVIDED THROUGH STAIRS.
3. SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE (5) FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
4. HEIGHT: STRUCTURES SHALL NOT EXCEED 26 FEET.
5. LOT SIZE/MAX FAR: NO REQUIREMENTS.
6. NO ROOF-MOUNTED EQUIPMENT IS PROPOSED. MECHANICAL EQUIPMENT SHALL BE SCREENED.
7. FUTURE BUILDING DEVELOPMENT ON LOT 11 WILL REQUIRE APPROVAL BY THE EPC.
8. SITE LIGHTING SHALL COMPLY WITH REG. 14-16-3-9.
9. DEVELOPMENT SHALL COMPLY WITH THE REGULATIONS OF THE SU-2/MU (MIXED USE) ZONE AND THE COMMON DESIGN REGULATIONS FOR SU-2 ZONED PROPERTIES IN THE LA CUEVA SECTOR DEVELOPMENT PLAN (LCSDP).
10. ALL OUTDOOR LIGHT FIXTURES SHALL BE EQUIPPED WITH LIGHT AND MOTION SENSORS AND/OR AUTOMATIC TIMING DEVICES.
11. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND OPERATED SO THAT THE AREA 10 FEET BEYOND THE PROPERTY LINE RECEIVES NO MORE THAN 0.25 OF A FOOT CANDLE (c) OF LIGHT FROM THE PREMISES LIGHTING SYSTEM.
12. THE SITE DEVELOPMENT PLAN SHALL COMPLY WITH THE LANDSCAPING REGULATIONS, SEC. 14-16-3-10.



LEGAL DESCRIPTION:
 REMAINING PORTION OF LOT 22 AND SOUTHERLY PORTION OF LOT 11, BLOCK 10, NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROJECT NUMBER: 1003532
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	01-03-12
Water Utility Development	11/09/11
Parks & Recreation Department	11-9-11
City Engineer	11-9-11
Environmental Health Department (conditional)	
Solid Waste Management	
DRB Chairperson, Planning Department	1-3-12
Environmental Health, if necessary	

SITE DATA

PROPOSED USAGE: FIRESTONE (AUTO REPAIR)
 LOT AREA: ±31,463 SF (.7223 AC) (NEW LOT AREA)
 LOT COVERAGE: 24.3%
 BUILDING AREA: 7,654 SF

PARKING REQUIRED: 38 SPACES (1 SPACE PER 200 SF BUILDING AREA)

PARKING PROVIDED: 38 SPACES (7 COMPACT, 10 SERVICE BAYS)
 HC PARKING REQUIRED: 3 SPACES
 HC PARKING PROVIDED: 3 SPACES
 1 SPACE VAN ACCESSIBLE

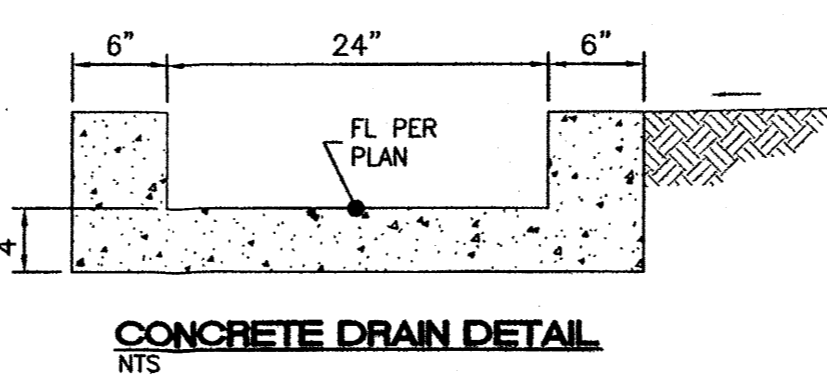
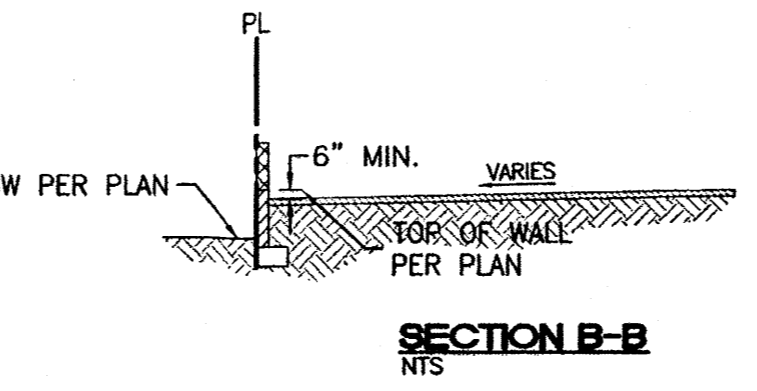
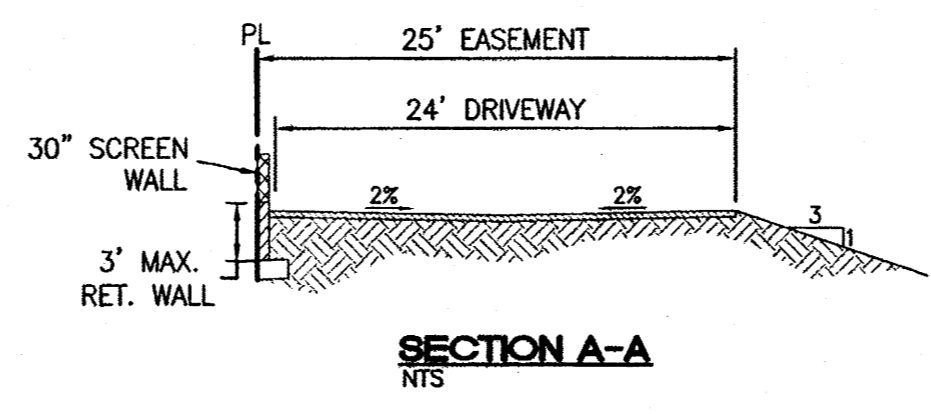
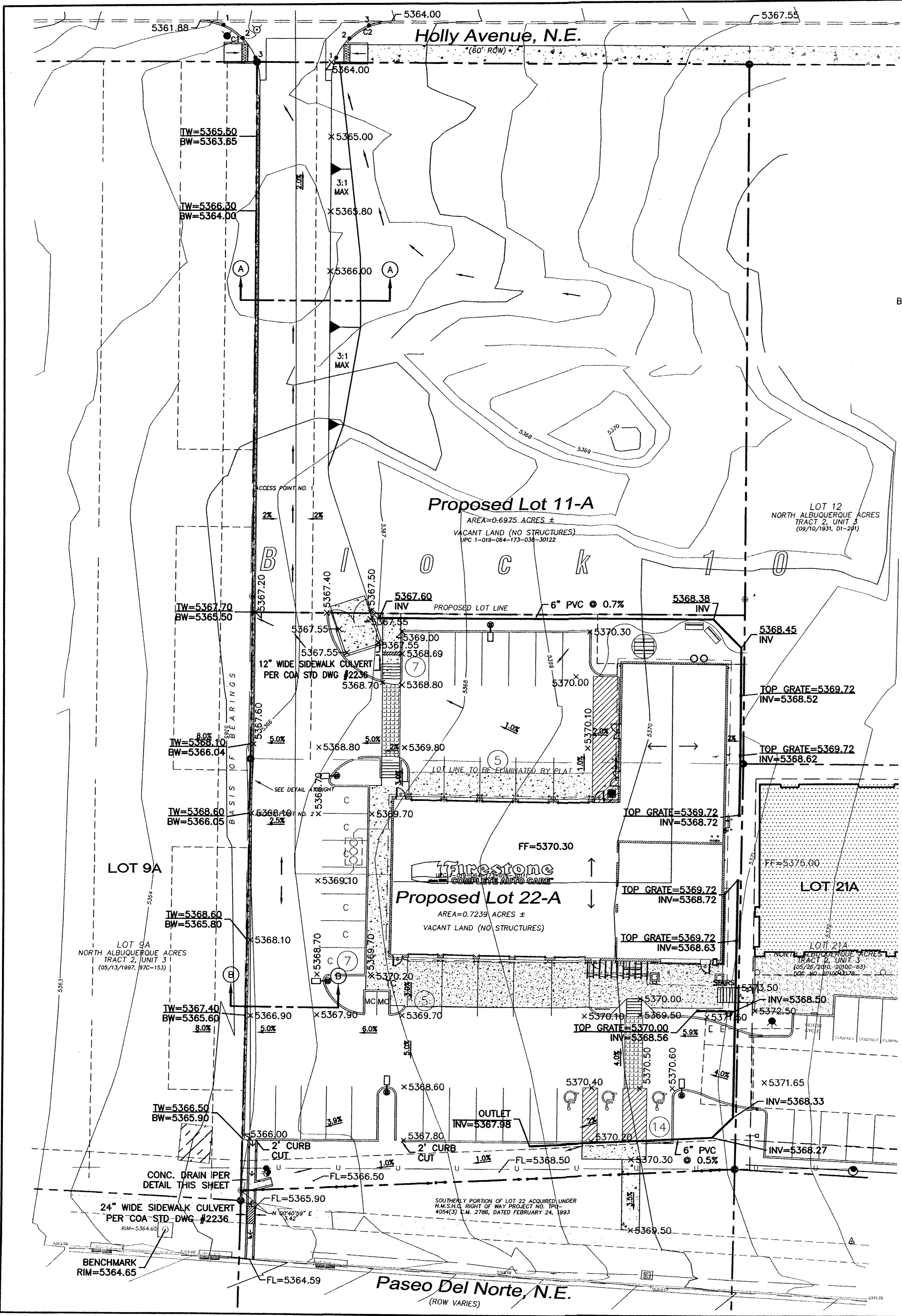
MC PARKING REQUIRED: 2 SPACES
 MC PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 2 SPACES
 BICYCLE PARKING PROVIDED: 5 SPACES

LANDSCAPE REQUIRED: 15% OF NET LOT AREA

TOTAL REQUIRED: 3,571 SF
 TOTAL PROVIDED: 4,945 SF

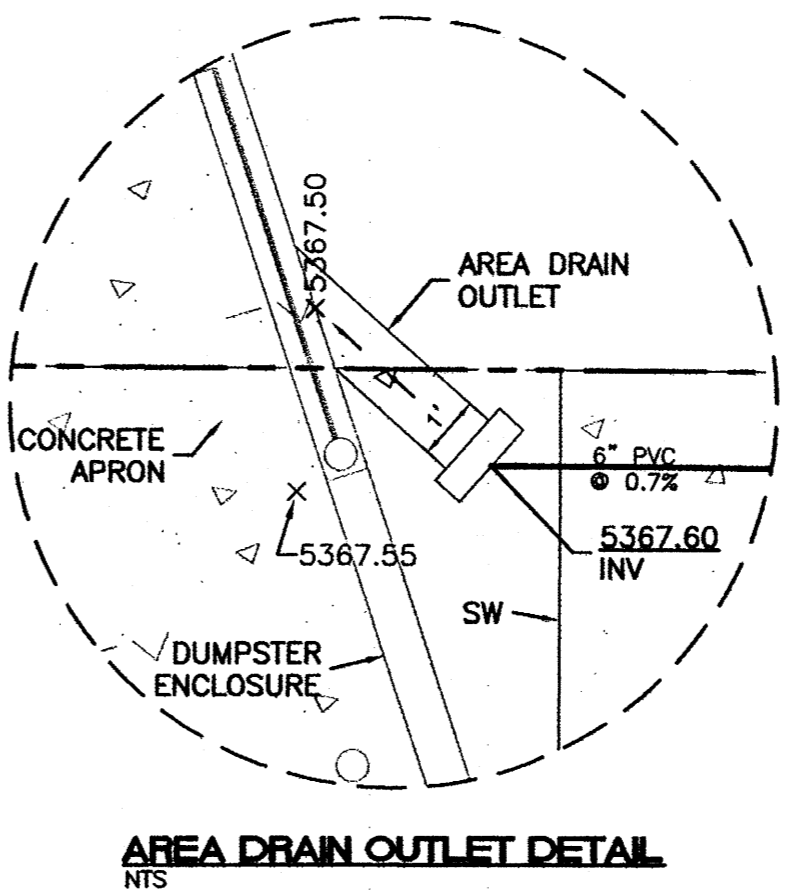
ENGINEER'S SEAL	FIRESTONE PASEO DEL NORTE & WYOMING BLVD	DRAWN BY JH
	SITE DEVELOPMENT PLAN FOR BLDG PERMIT	DATE 11-03-11
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 terrawestllc.com	2995-SPB
		SHEET # C2
		JOB # 29095



QUARTER POINTS

C1	FL	ELEV.	C2	FL	ELEV.
1		5362.09	1		5363.81
2		5362.77	2		5363.70
3		5363.23	3		5363.75

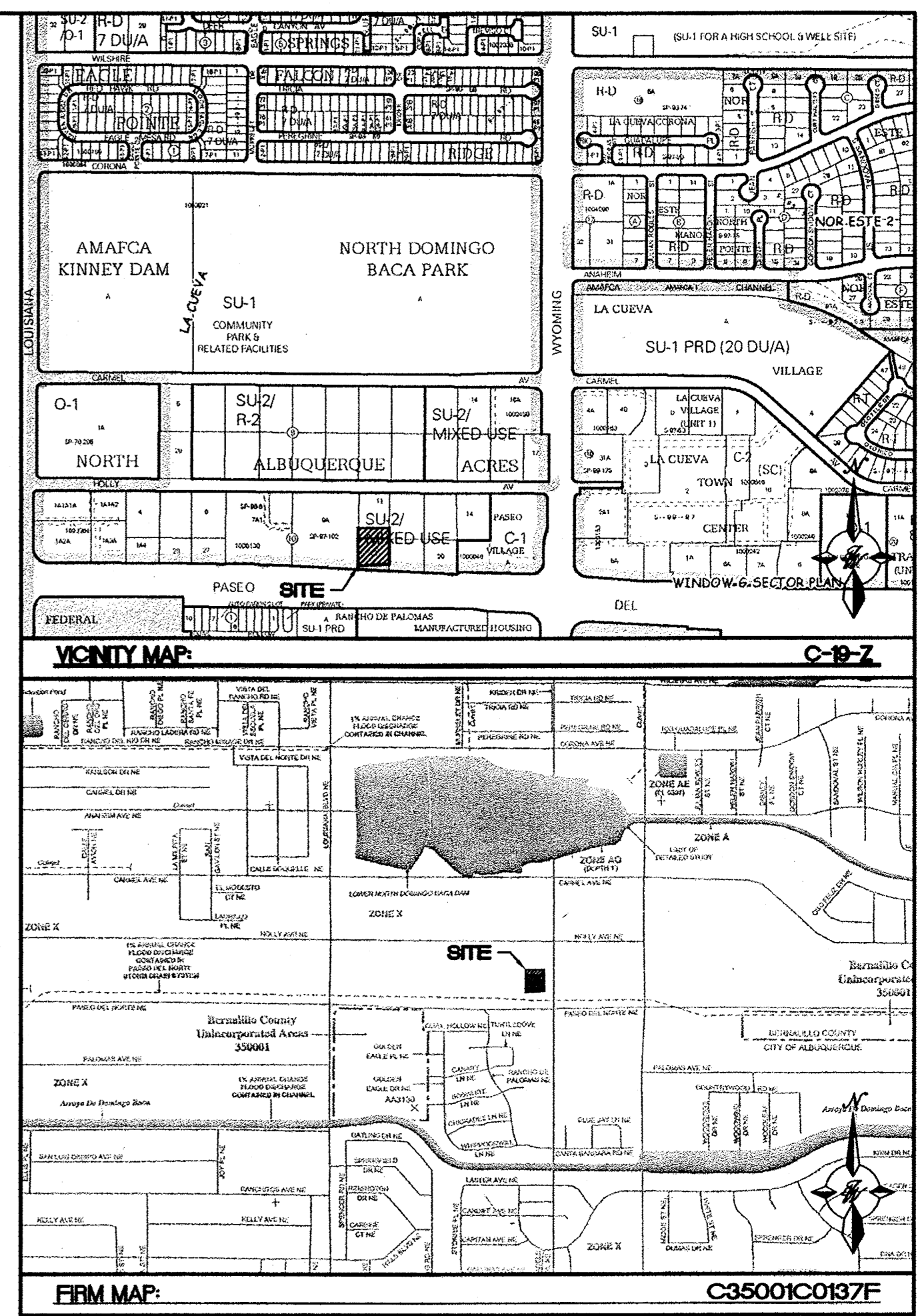
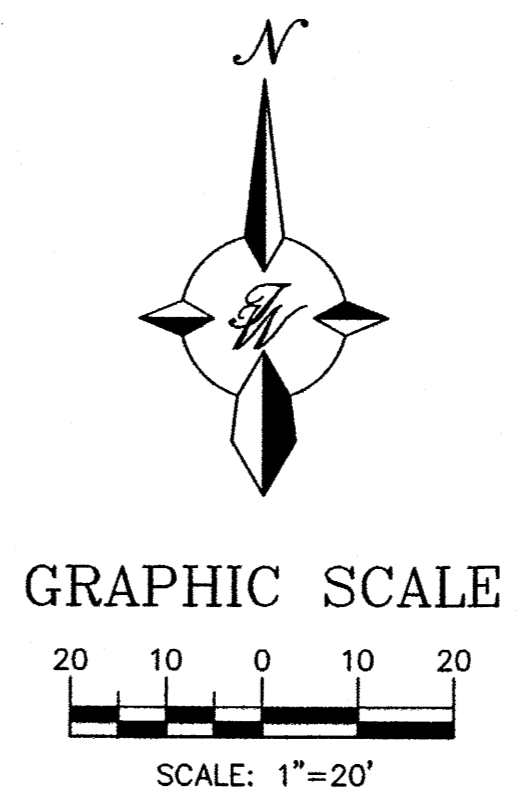
- LEGEND**
- CURB & GUTTER
 - - - BOUNDARY LINE
 - - - EASEMENT
 - - - CENTERLINE
 - - - RIGHT-OF-WAY
 - ▭ BUILDING
 - ▭ SIDEWALK
 - 5010 — CONTOUR MAJOR
 - 5011 — CONTOUR MINOR
 - x 5048.25 SPOT ELEVATION
 - FLOW ARROW
 - - - EXISTING CURB & GUTTER
 - - - EXISTING BOUNDARY LINE
 - - - 5010 — EXISTING CONTOUR MAJOR
 - - - 5011 — EXISTING CONTOUR MINOR
 - x 5048.25 EXISTING SPOT ELEVATION
 - ▭ NEW LANDSCAPING
 - ▭ PROPOSED INLET
 - - - SCREEN WALL
 - ▭ RETAINING WALL



EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- ALL SITES OVER 1 ACRE DISTURBANCE REQUIRE FEDERAL NPDES PERMIT.

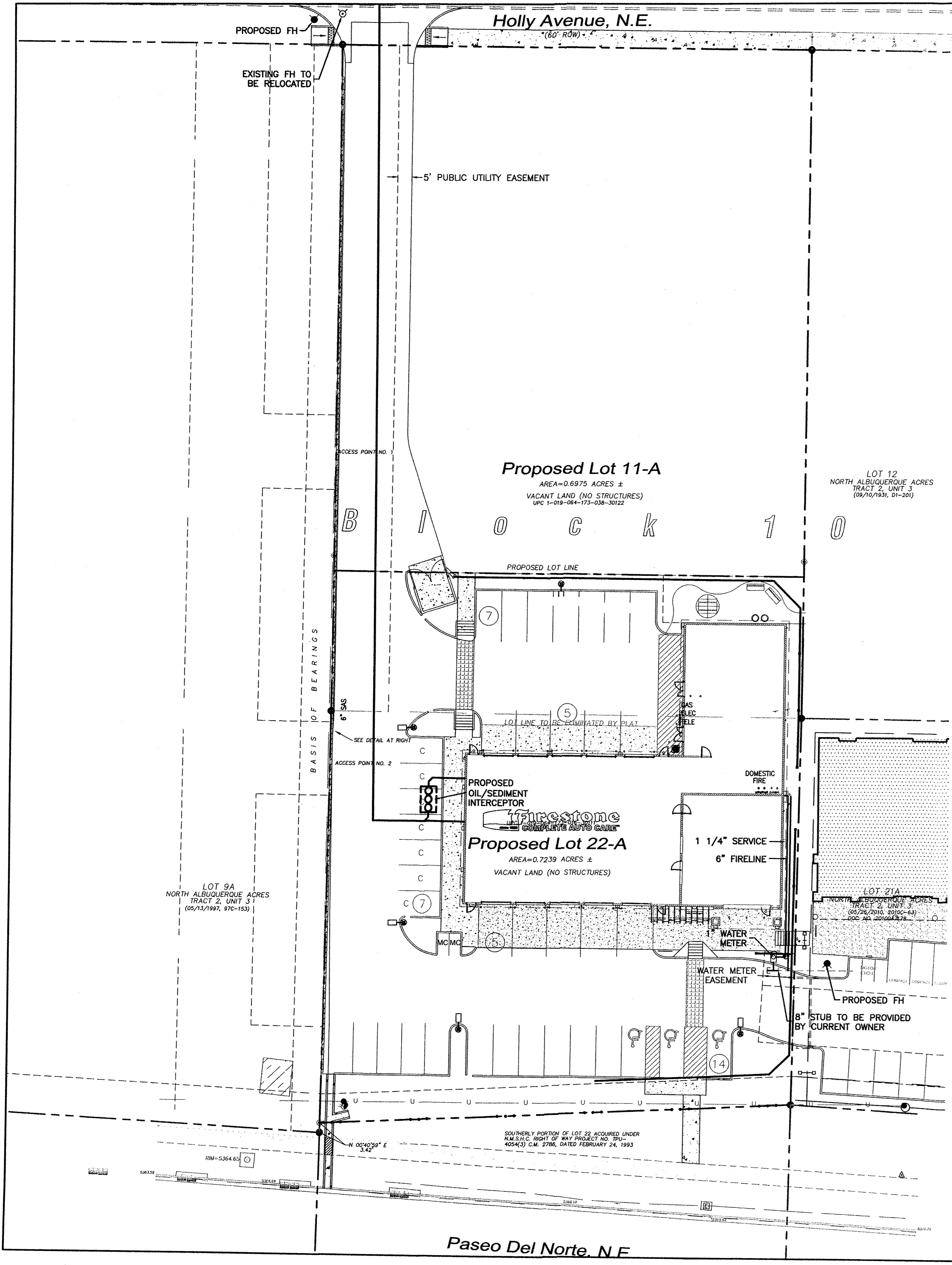
CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH THE ENGINEER AND APPROVED BY THE CITY.



- NOTES:**
- GRADES ON CURB LINE ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.
 - LANDSCAPE AREAS SHALL BE DEPRESSED.
 - ANY CHANGES TO THIS PLAN SHALL BE COORDINATED AND APPROVED BY THE CITY.
 - CURB NOTCHES/CUTS SHALL BE USED AT LOCATION SHOWN ON PLAN.
 - TO THE EXTENT THAT THE DRAINAGE PATTERN CROSSES ON TO AN ADJACENT SITE, AN APPROPRIATE CROSS-DRAINAGE AGREEMENT SHALL EXIST.
 - PERMIT APPROVAL WILL BE REQUIRED FROM NMDOT FOR WORK WITHIN PASEO DEL NORTE RIGHT-OF-WAY.

ROUGH GRADING APPROVAL _____ DATE _____

ENGINEER'S SEAL	FIRESTONE PASEO DEL NORTE & WYOMING BLVD	DRAWN BY JH
	GRADING AND DRAINAGE PLAN	DATE 12-07-11
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	2995-GRB
		SHEET # C3
RONALD R. BOHANNAN P.E. #7868		JOB # 29095



CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GENERAL NOTES:

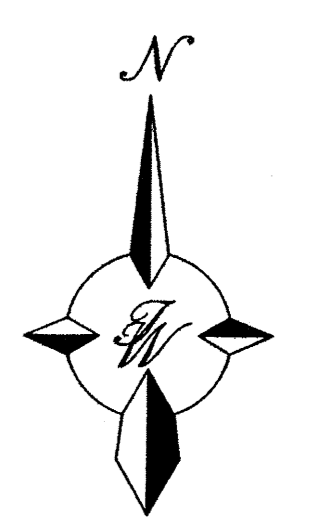
1. ALL UTILITIES SERVING THE BUILDING SHALL BE PLACED UNDERGROUND. 4' MINIMUM BURY DEPTH REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

LEGEND

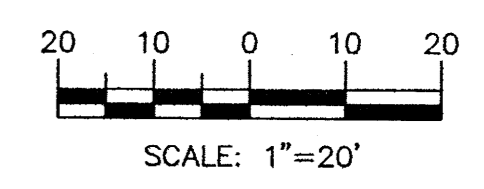
- ===== CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- ===== BUILDING
- ===== SIDEWALK
- ===== SCREEN WALL
- ===== RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 36" SD ----- STORM SEWER LINE
- 8" SAS ----- SANITARY SEWER LINE
- 8" WL ----- WATERLINE
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EX. UGE ----- EXISTING UNDERGROUND UTILITIES
- EX. 2" GAS ----- EXISTING GAS
- EX. 8" SAS ----- EXISTING SANITARY SEWER LINE
- EX. 8" WL ----- EXISTING WATER LINE
- EX. 18" RCP ----- EXISTING STORM SEWER LINE

NOTICE TO CONTRACTORS

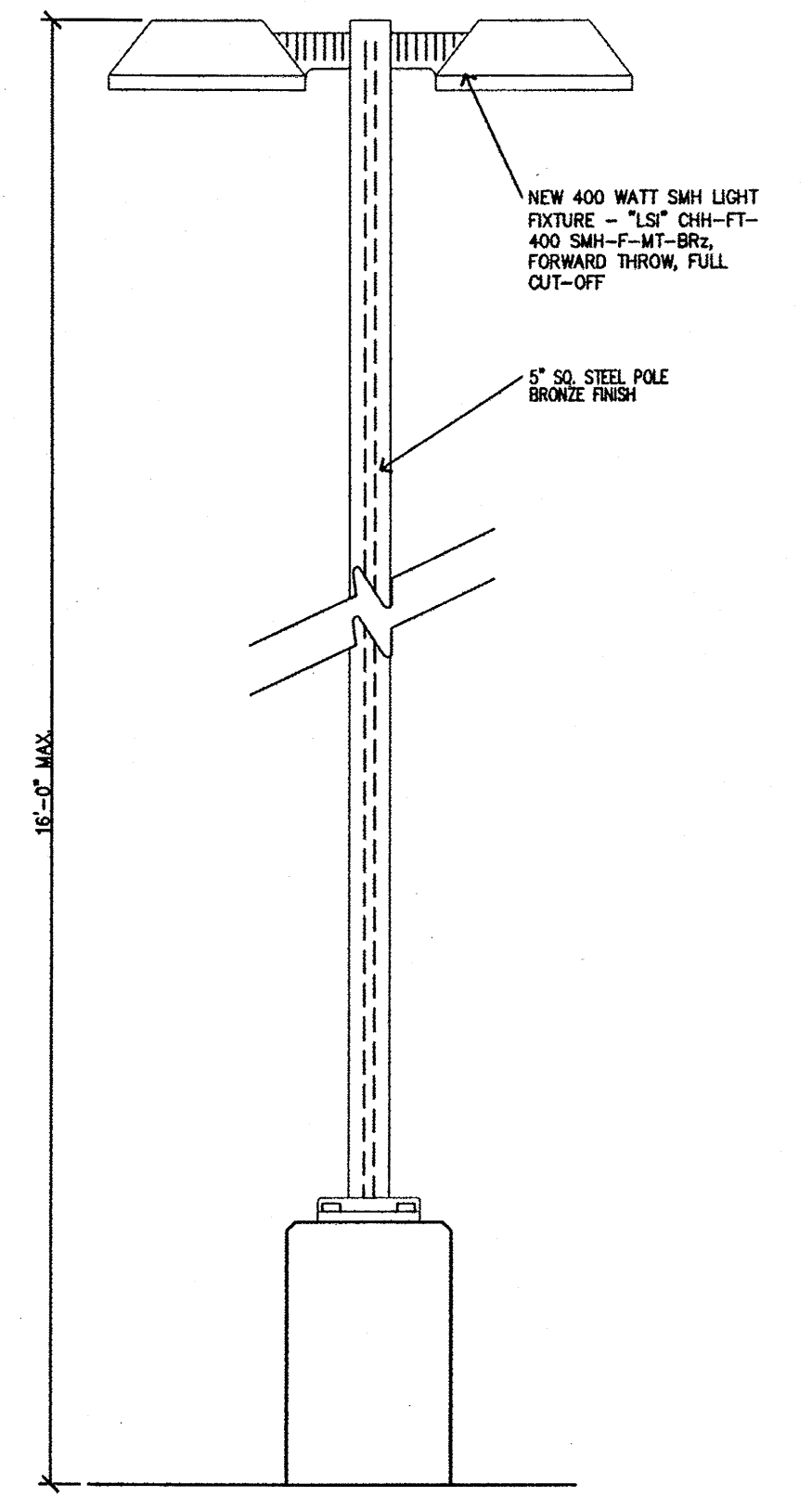
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



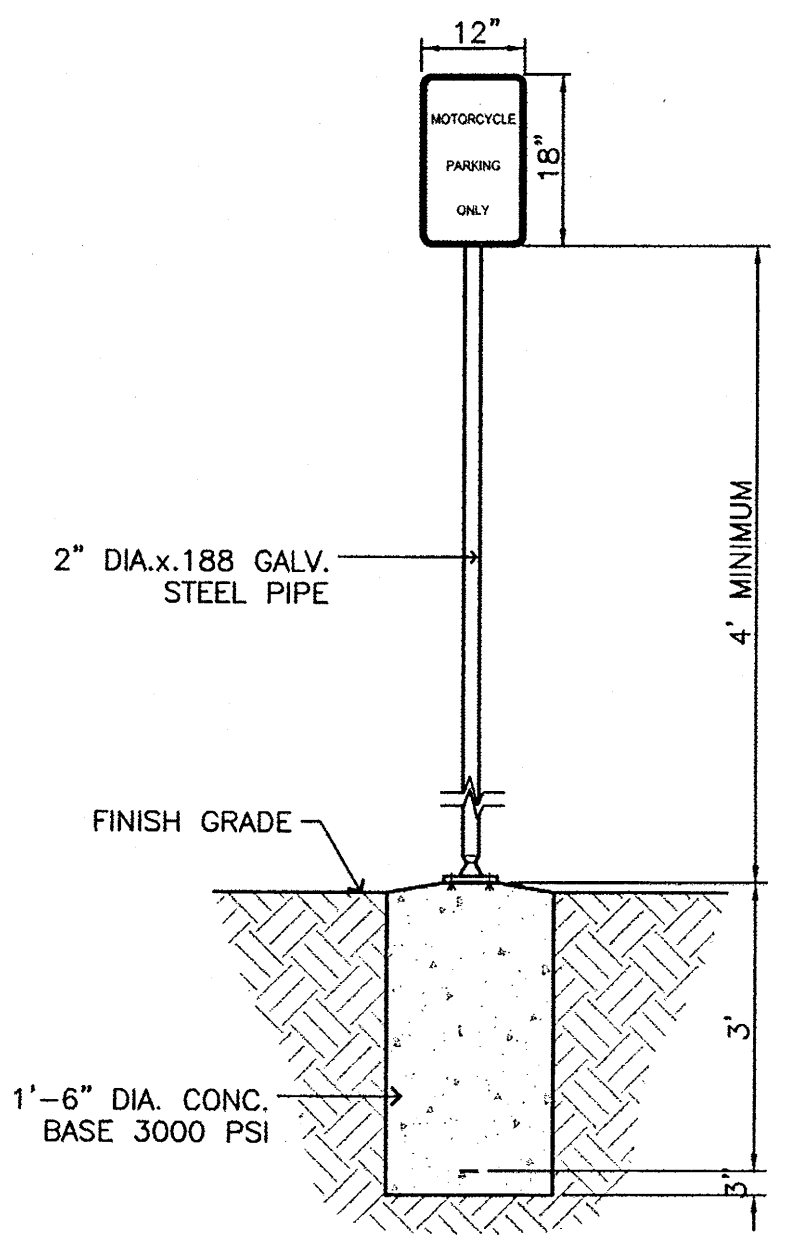
GRAPHIC SCALE



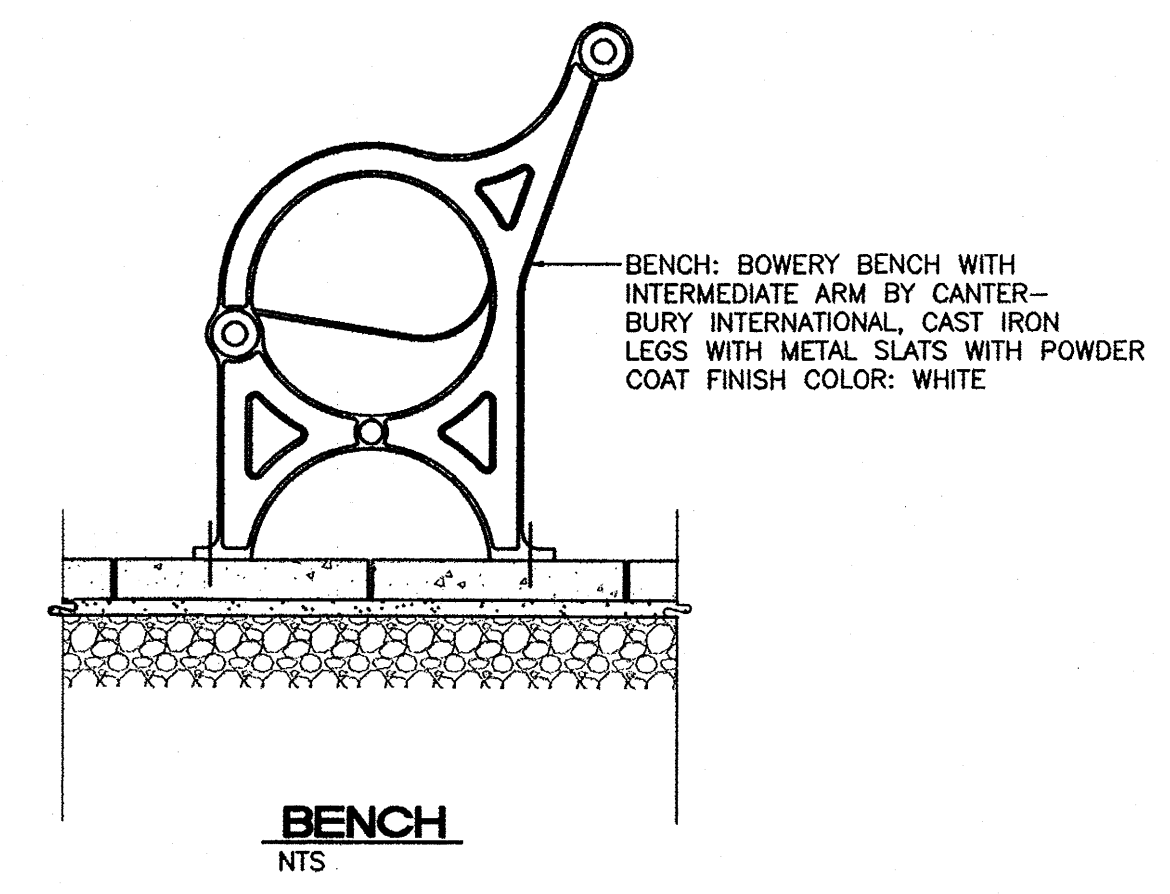
ENGINEER'S SEAL	FIRESTONE PASEO DEL NORTE & WYOMING BLVD	DRAWN BY JH
	MASTER UTILITY PLAN	DATE 11-03-11
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	2995-MUB
		SHEET # C4
		JOB # 29095



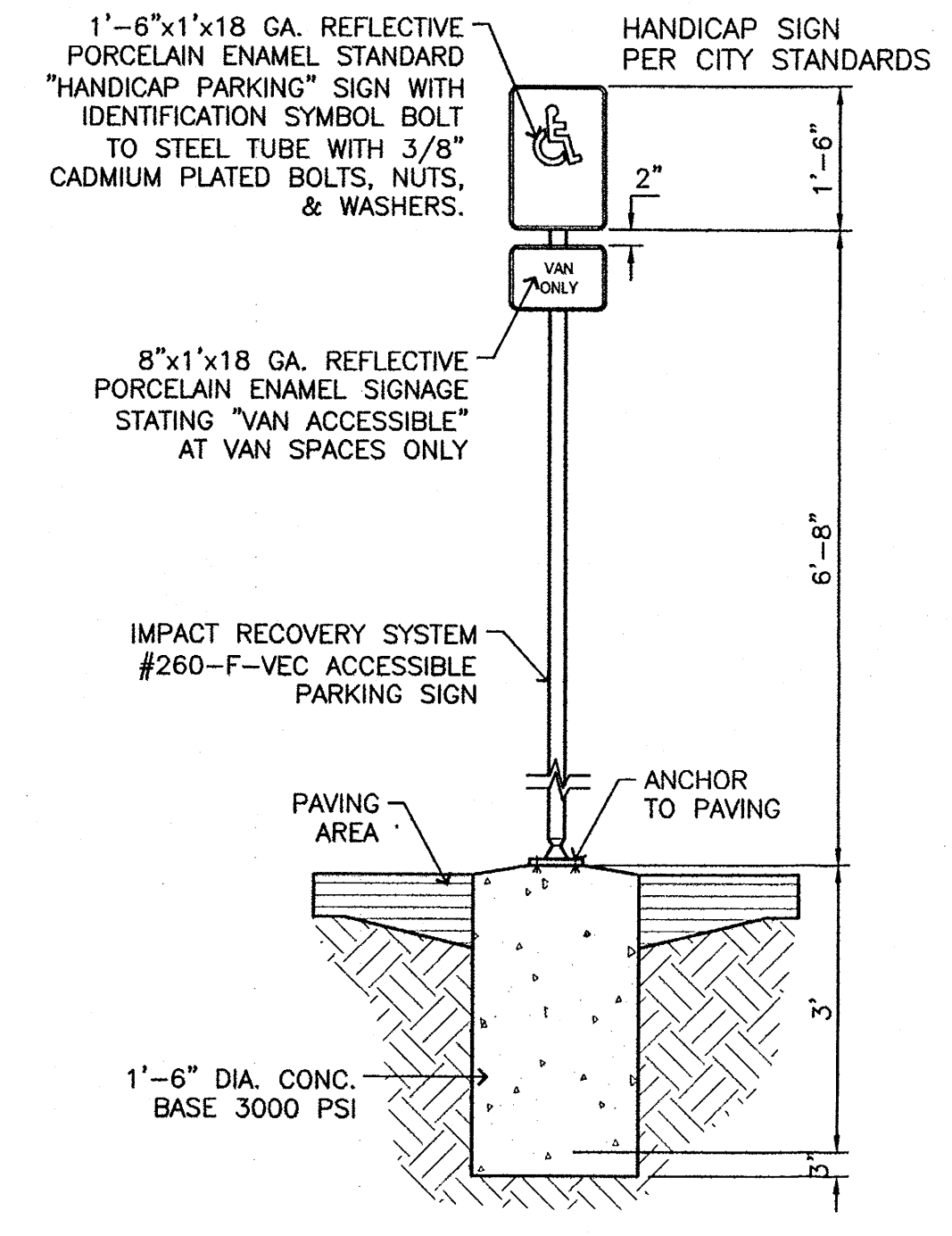
4 AREA LIGHT ELEVATION
SCALE: NTS



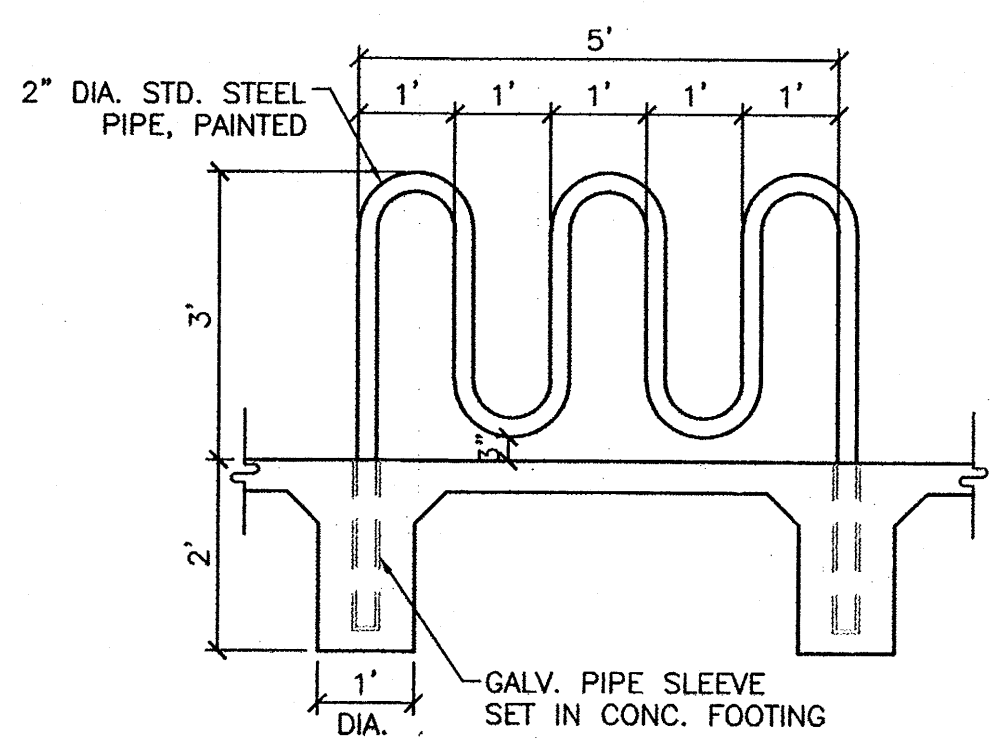
MOTORCYCLE PARKING SIGN
SCALE: NTS



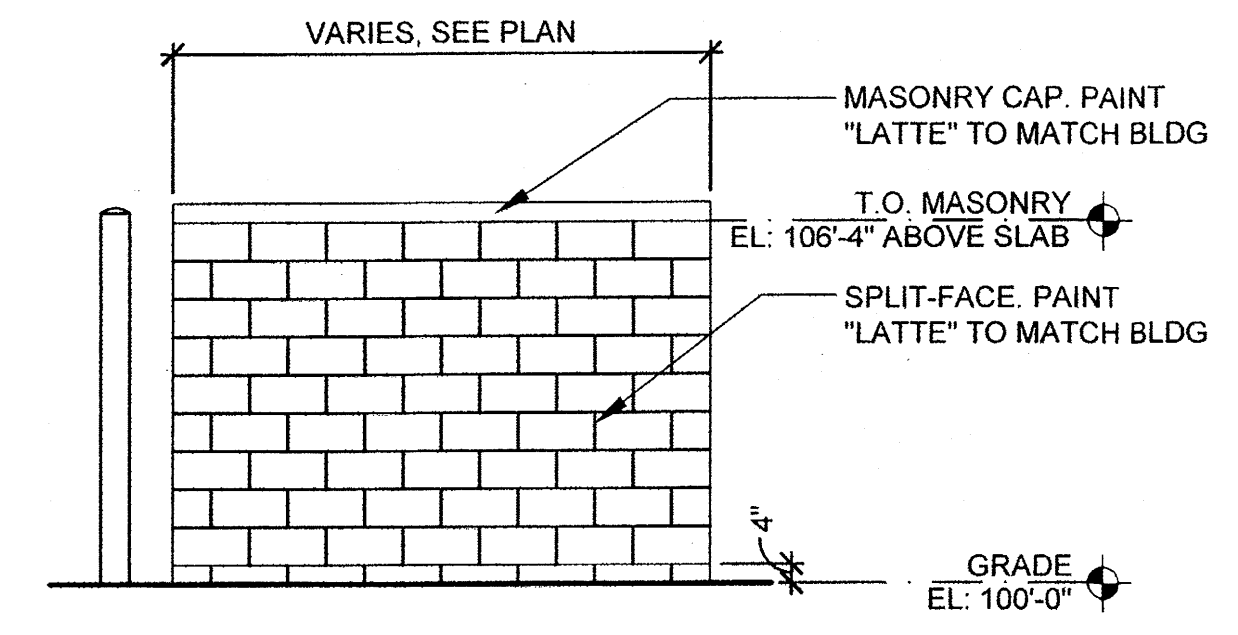
BENCH
NTS



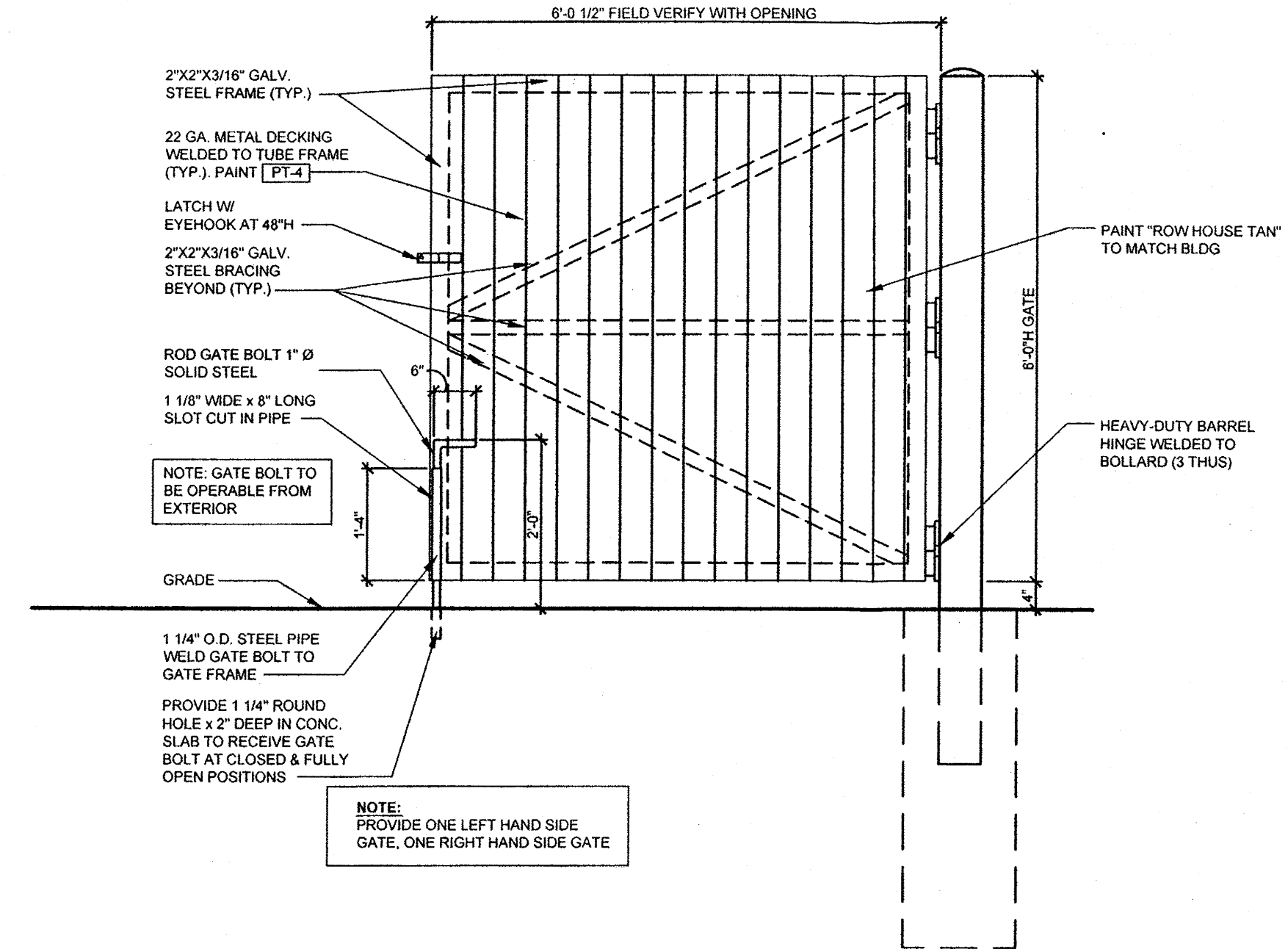
HANDICAP SIGN
SCALE: NTS



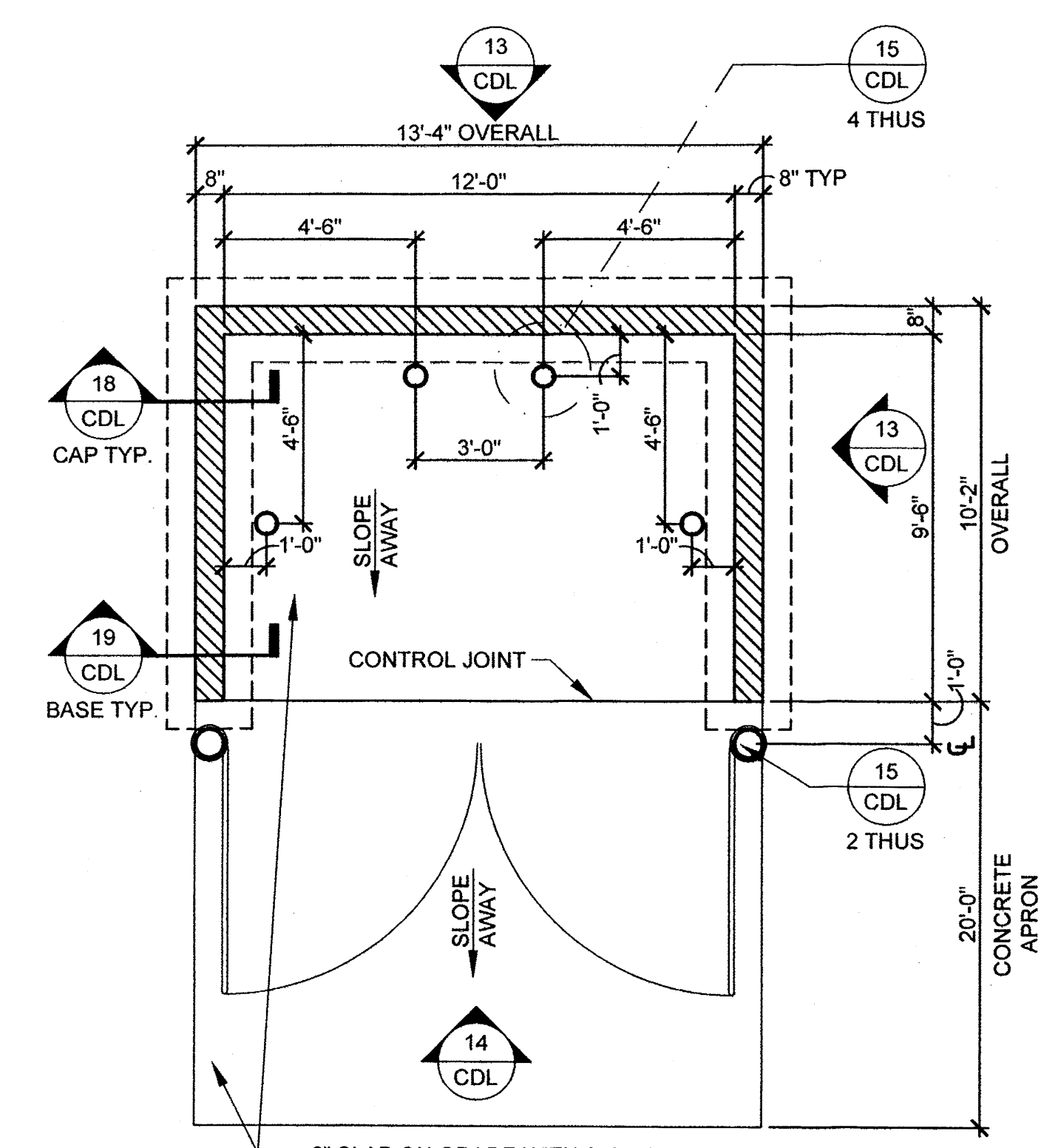
BIKE RACK DETAIL
SCALE: 1/2" = 1'-0"



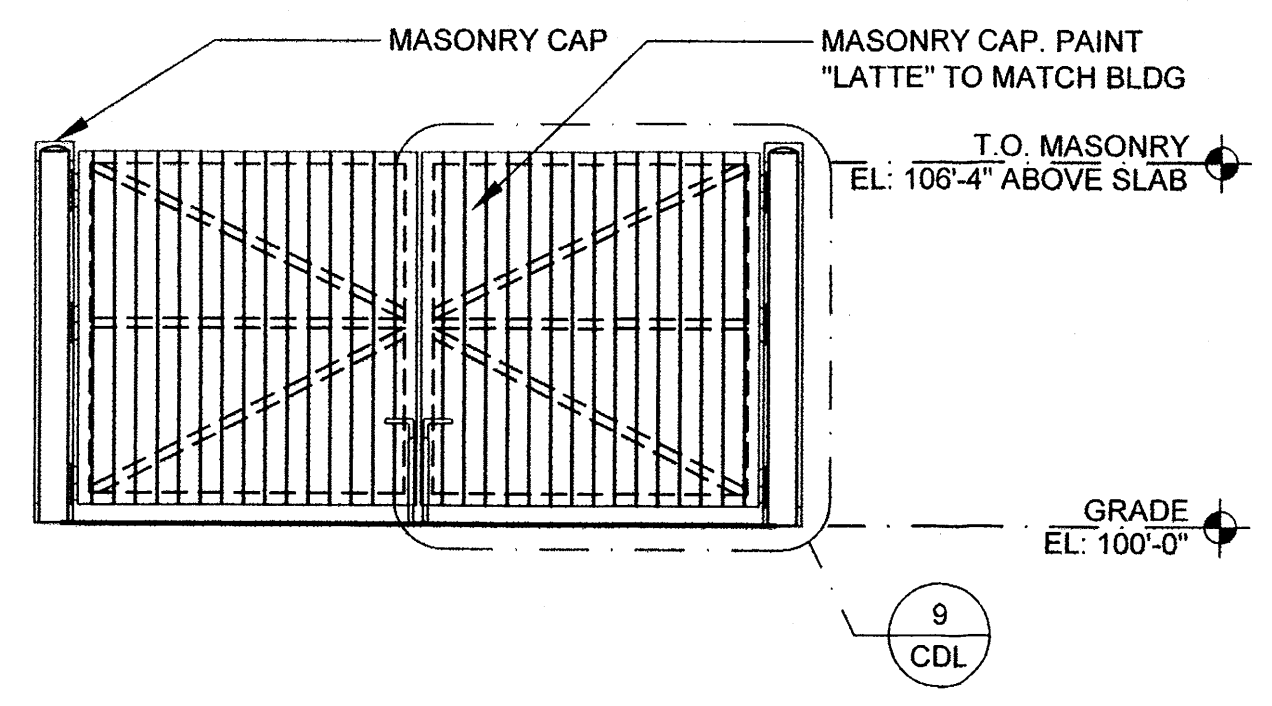
13 TRASH ENCLOSURE ELEV.
CDL SCALE: 1/4" = 1'-0"



NOTE: PROVIDE ONE LEFT HAND SIDE GATE, ONE RIGHT HAND SIDE GATE

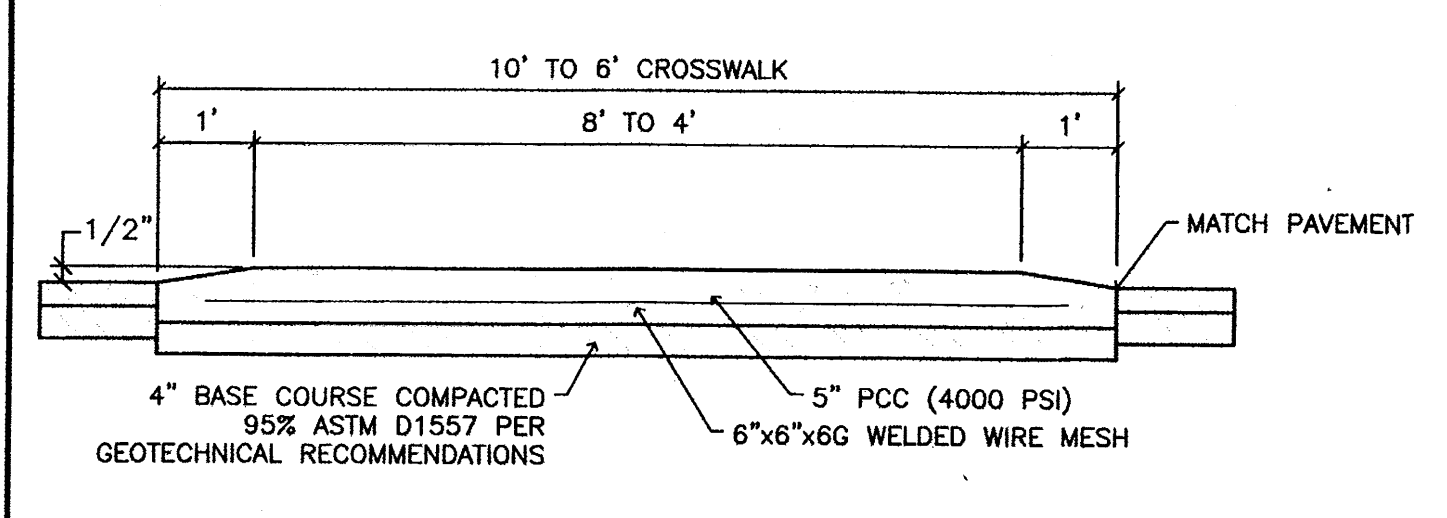


8 TRASH ENCLOSURE PLAN
CDL SCALE: 1/4" = 1'-0"

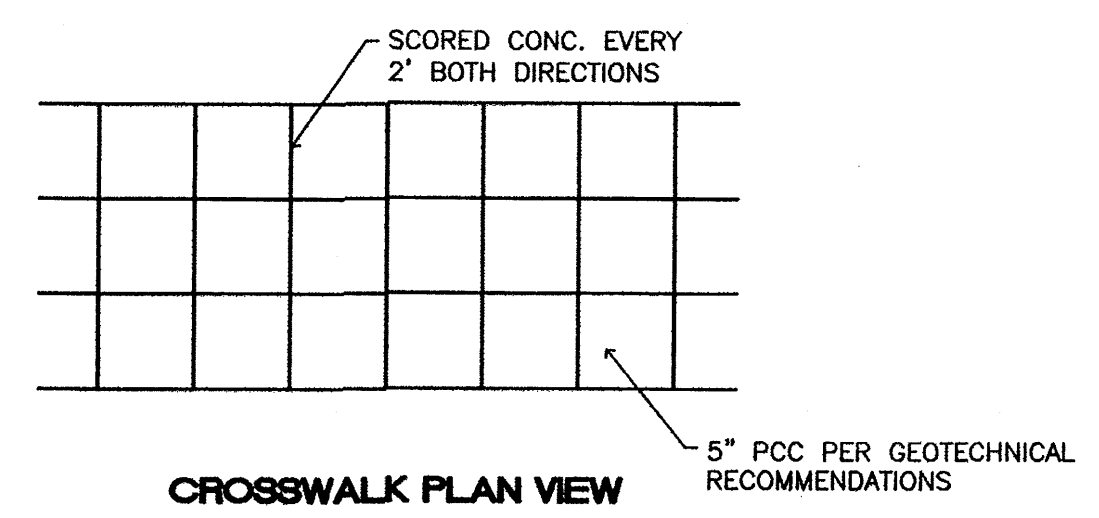


9 CDL

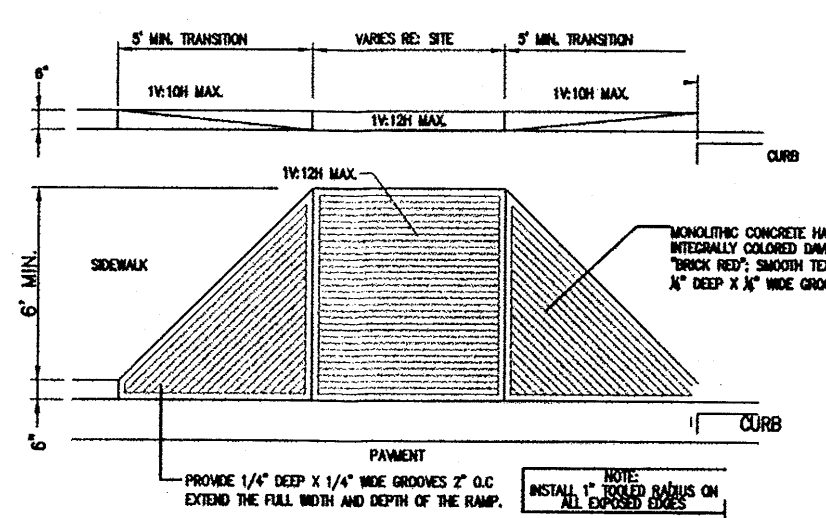
14 TRASH ENCLOSURE ELEV.
CDL SCALE: 1/4" = 1'-0"



PEDESTRIAN PATHWAY
SCALE: NTS

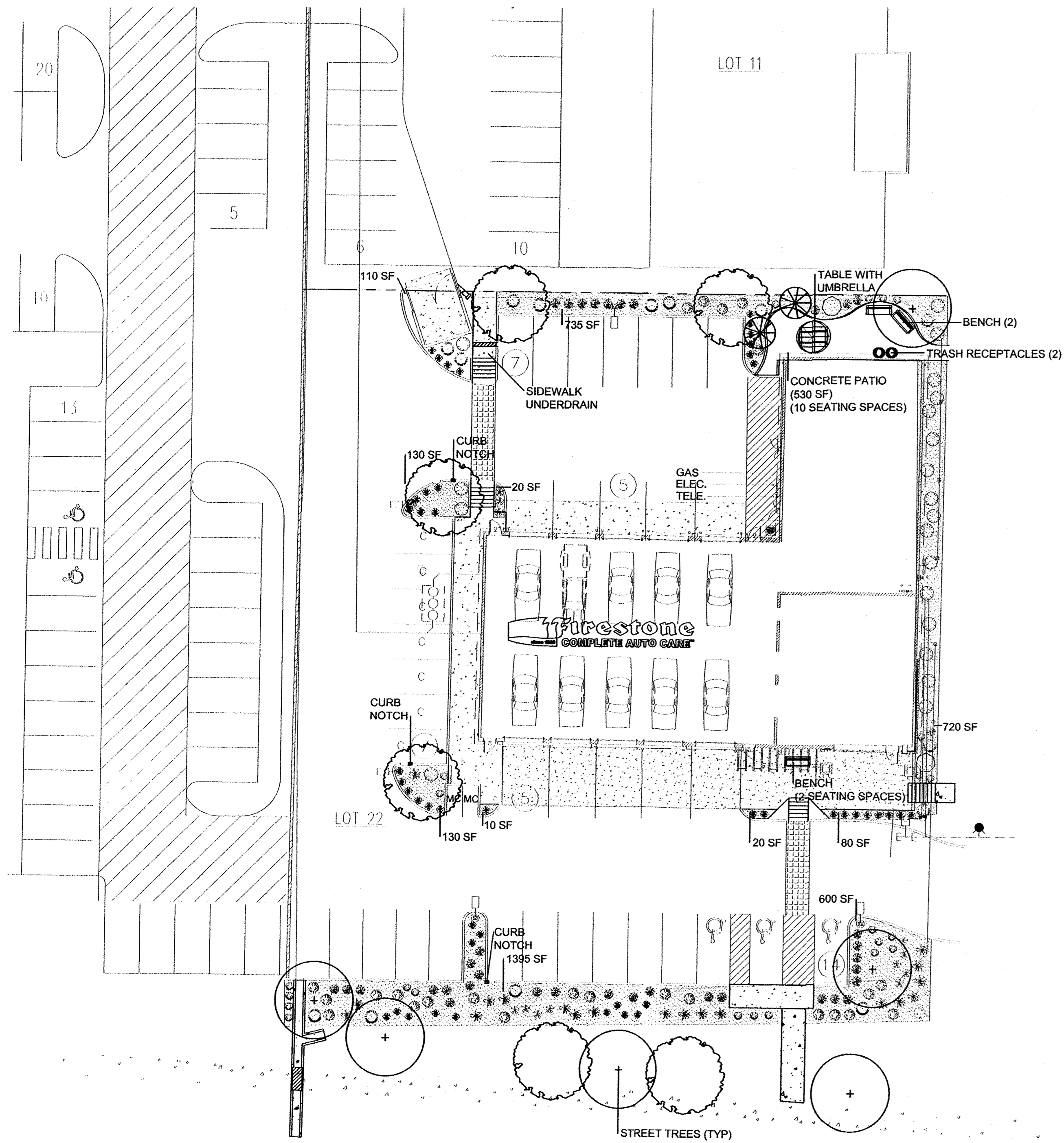


CROSSWALK PLAN VIEW



FLARED HC RAMP
NOT TO SCALE

ENGINEER'S SEAL	FIRESTONE PASEO DEL NORTE & WYOMING BLVD	DRAWN BY JH
		DATE 11-03-11
	DETAILS	2995-DETAILS
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrewestllc.com	SHEET # C5
RONALD R. BOHANNAN P.E. #7868		JOB # 29095



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use	Drip Emitters (See Irrigation Note)
Trees					
6	○	Fraxinus oxycarpa 'Raywood' Raywood Ash	2" B&B	Medium+	6-2 GPH
6	○	Pistacia chinensis Chinese Pistache	2" B&B	Medium +	6-2 GPH
2	○	Vitex agnus-castus Chaste Tree	15-Gal	Medium	6-2 GPH
Shrubs/Groundcovers					
2	○	Buddleia davidii Butterfly Bush	5-Gal	Medium	2-2 GPH
24	○	Caryopteris clandonensis Blue Mist	5-Gal	Medium	2-2 GPH
12	○	Hesperaloe parviflora Red Yucca	1-Gal	Low+	2-2 GPH
14	○	Pinus mugo Mugo Pine	5-Gal	Medium	2-2 GPH
24	○	Potentilla fruticosa Shrubby Cinquefoil	5-Gal	Medium+	2-2 GPH
20	○	Rhus trilobata Three-leaf Sumac	5-Gal	Low+	2-2 GPH
19	○	Rosmarinus officinalis Rosemary	5-Gal	Low +	2-2 GPH
Ornamental Grasses					
46	○	Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium	2-2 GPH
37	○	Muhlenbergia capillaris 'Regal Mist' Regal Mist	5-Gal	Medium	2-2 GPH

CALCULATIONS

Qty.	Scientific Name	Common Name	SF Coverage	Total SF Coverage
2	Buddleia davidii	Butterfly Bush	20	40
23	Caryopteris clandonensis	Blue Mist	15	345
12	Hesperaloe parviflora	Red Yucca	20	240
14	Pinus mugo	Mugo Pine	30	420
24	Potentilla fruticosa	Shrubby Cinquefoil	10	240
20	Rhus trilobata	Three-leaf Sumac	30	600
19	Rosmarinus officinalis	Rosemary	30	570
46	Calamagrostis acutiflora	Karl Foerster Grass	10	460
37	Muhlenbergia capillaris 'Regal Mist'	Regal Mist	12	444
Total SF Provided				3359
Proposed Landscape Area				3950
75% Live Groundcover Required				2963

SITE DATA

GROSS LOT AREA	31,463 SF
LESS BUILDING(S)	7,654 SF
NET LOT AREA	23,809 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	3,571 SF
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	3,950 SF 16 %
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	1066 SF
PROPOSED HIGH WATER USE TURF PERCENT OF LANDSCAPE AREA	0 SF 0 %

REQUIRED STREET TREES
PROVIDED AT 30' O.C. SPACING ALONG STREET 5
REQUIRED PARKING LOT TREES
PROVIDED AT 1 PER 10 SPACES (1 SPACES/10) 4

PLANTING RESTRICTIONS APPROACH

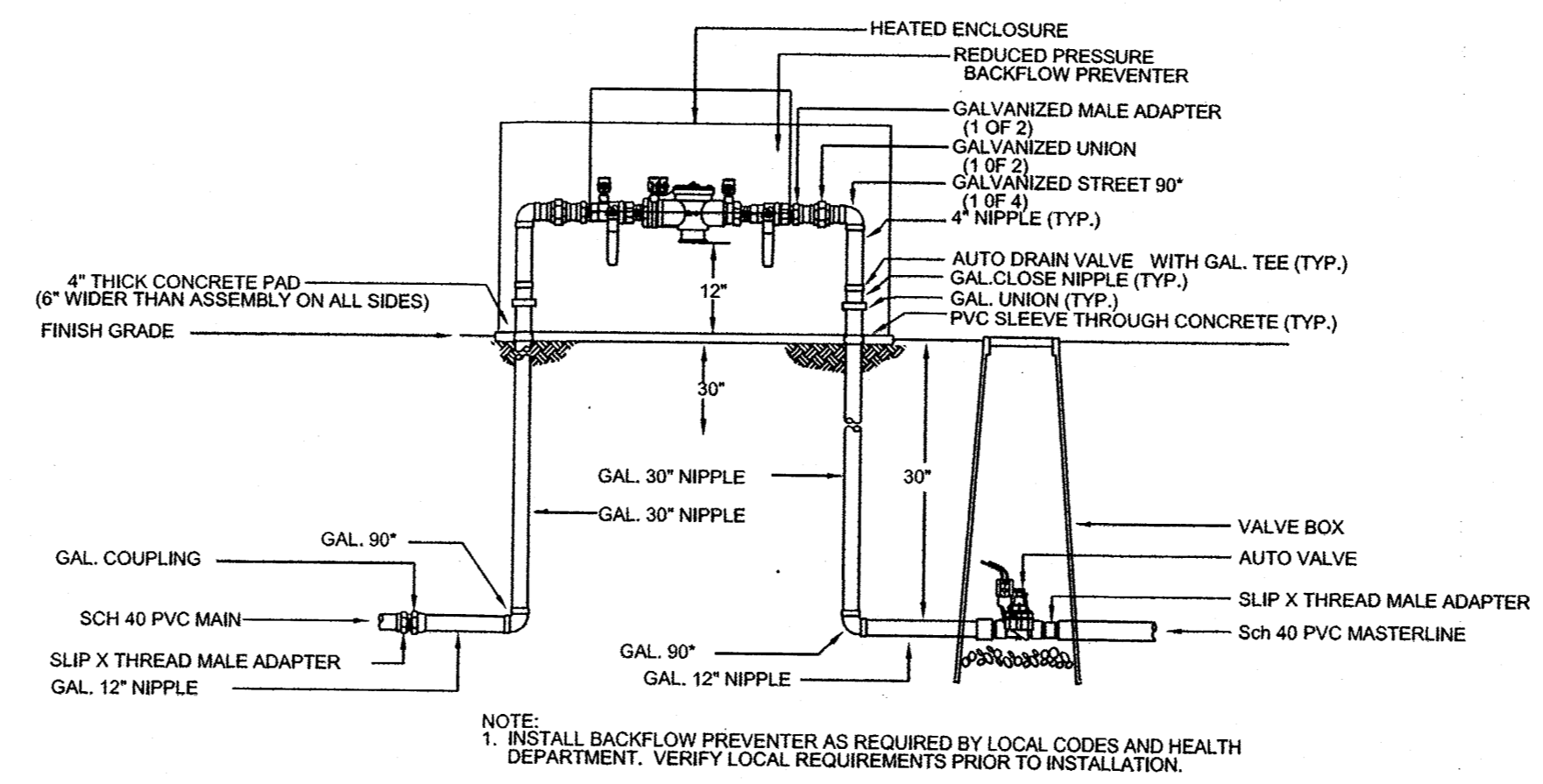
A MINIMUM OF 80% OF THE PLANTINGS TO BE
LOW OR MEDIUM WATER USE PLANTS
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
HIGH WATER USE TURF

IRRIGATION NOTE

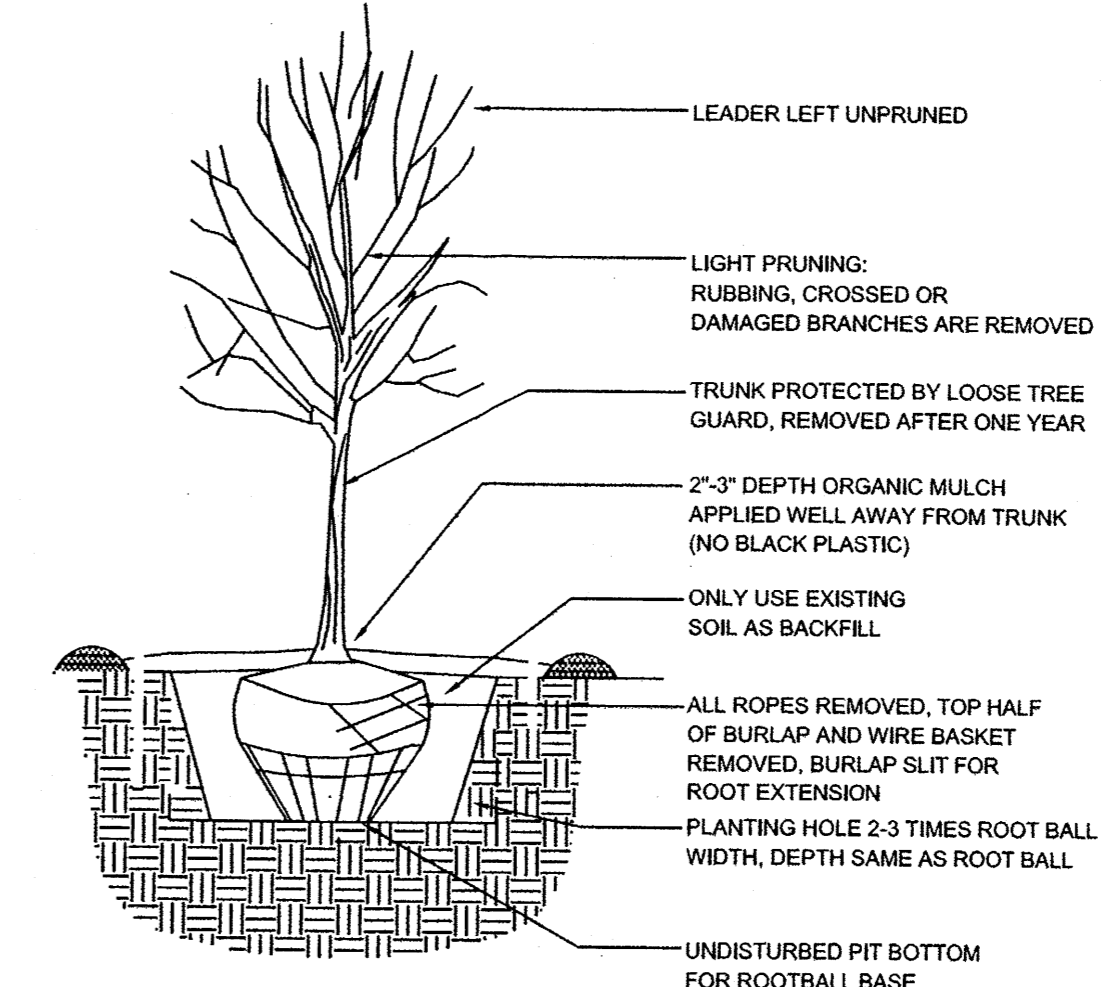
DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING AND SPRING:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

NOTES

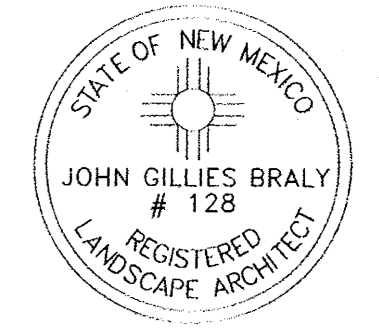
- MAINTENANCE OF LANDSCAPE AND IRRIGATION IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE. DRIP EMITTERS SHALL BE 6 - 2 GPH DRIP EMITTERS PER TREE AND 2 - 2 GPH DRIP EMITTERS PER SHRUB.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXCEPTION FROM THE WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY.
- LANDSCAPE AREAS TO BE MULCHED WITH LIGHT OR MEDIUM BROWN GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS.
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.



RP BACKFLOW/MASTER VALVE DETAIL

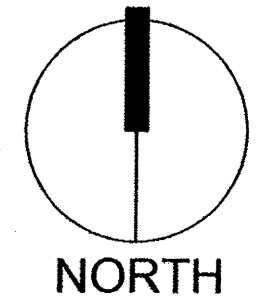


TREE PLANTING DETAIL



Date: 3/28/2011
Revisions:
▲ 04/05/2011
▲ 04/27/2011
▲ 04/27/2011 - 2
▲ 5/23/2011
▲ 09/26/11
11/04/11 12/14/11
Drawn by: mw
Reviewed by: jb

Firestone
Paseo Del Norte & Wyoming Blvd
Albuquerque, NM

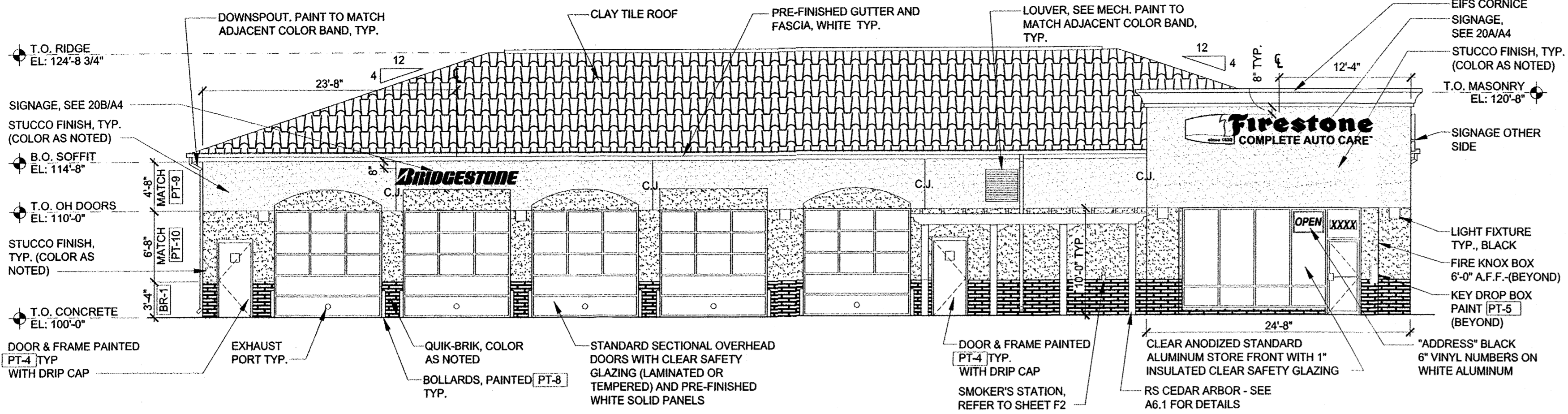


Scale: 1" = 20'
10 0 20 40

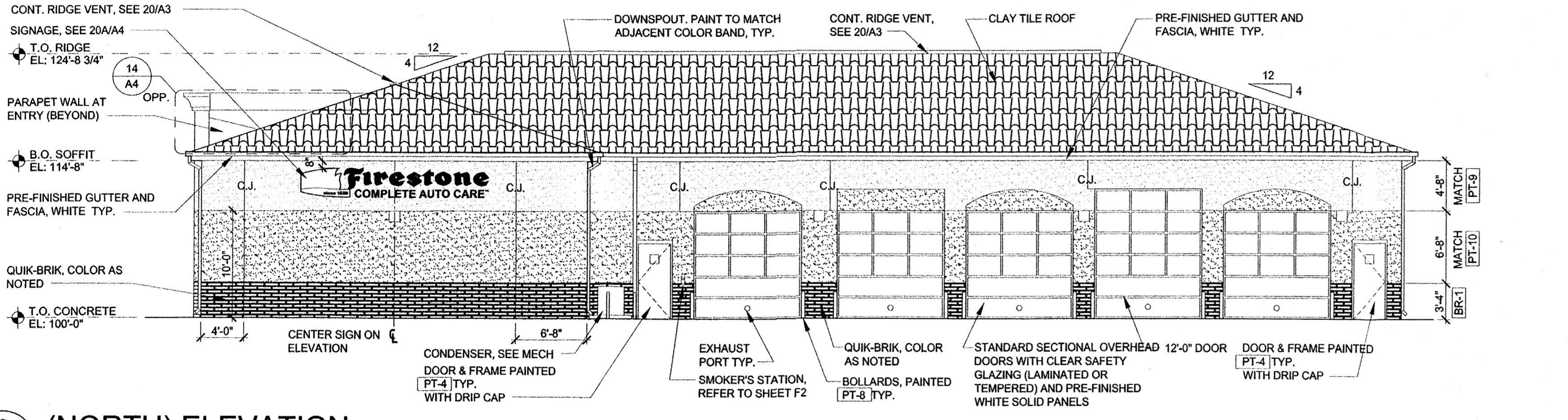
Sheet Title:
Landscape Plan

Sheet Number:

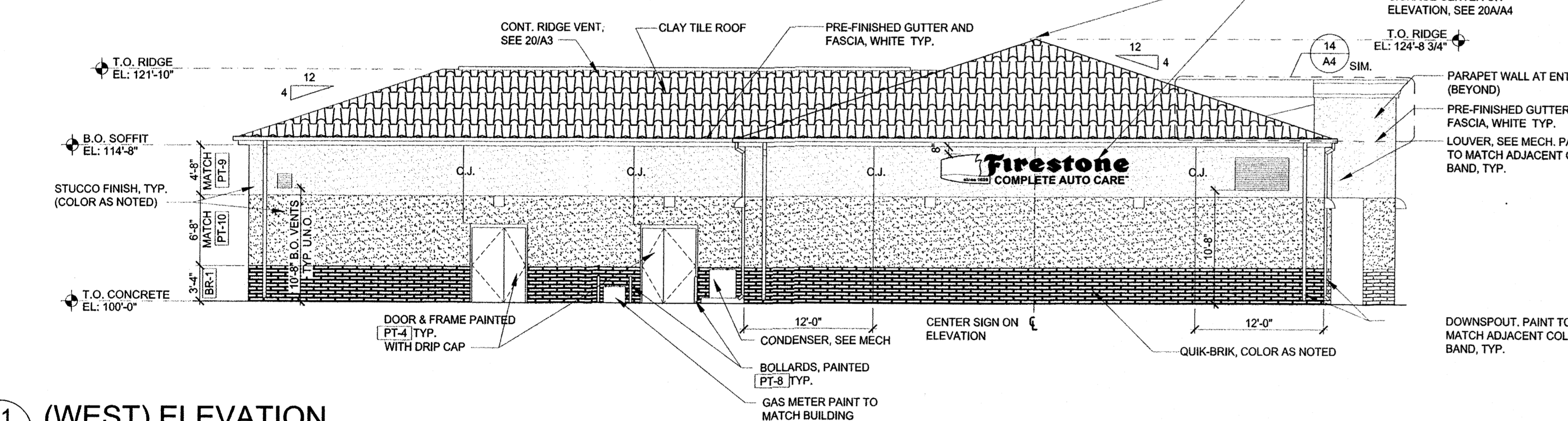
LS-01



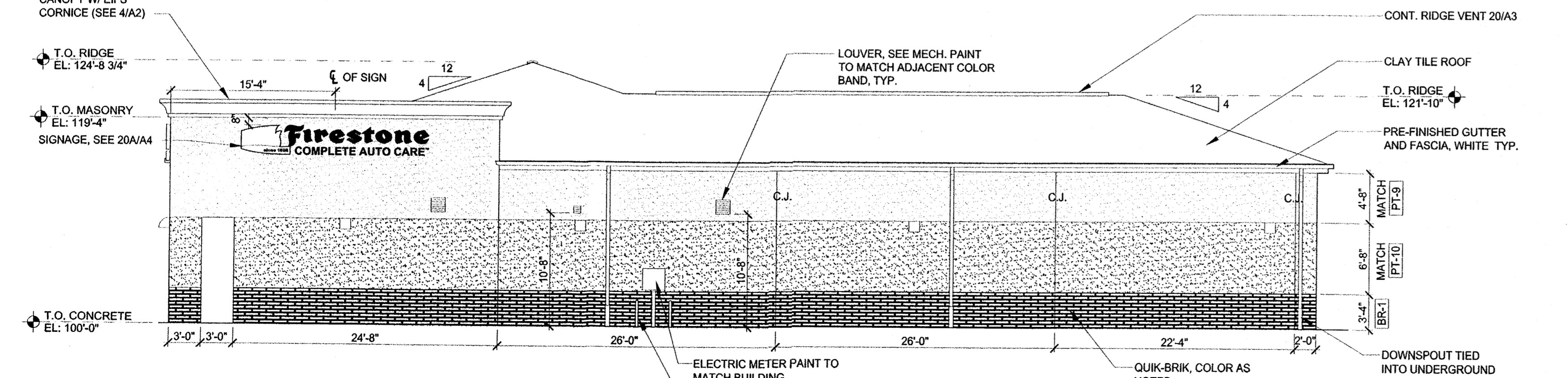
1 (SOUTH) ELEVATION
SCALE: 1/8" = 1'-0"



6 (NORTH) ELEVATION
SCALE: 1/8" = 1'-0"



11 (WEST) ELEVATION
SCALE: 1/8" = 1'-0"



16 (EAST) ELEVATION
SCALE: 1/8" = 1'-0"

PAIN T COLOR SCHEDULE:

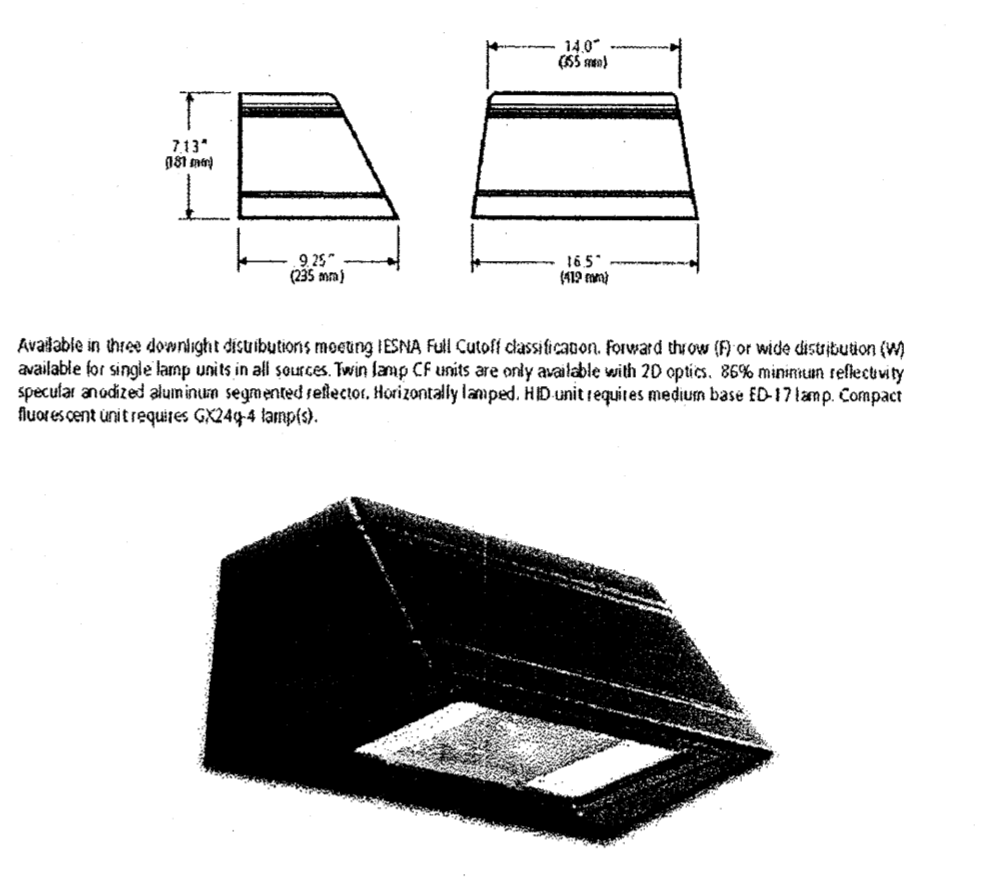
NOTE: ALL COLOR NAMES INDICATED ARE FOR SELECTION PURPOSES ONLY. SEE PAINT SPECS FOR SPECIFIC REQUIREMENTS

DESCRIPTION: (ALL "SHERWIN / WILLIAMS" NUMBERS 'SW' & 'CC'-CUSTOM COLORS)

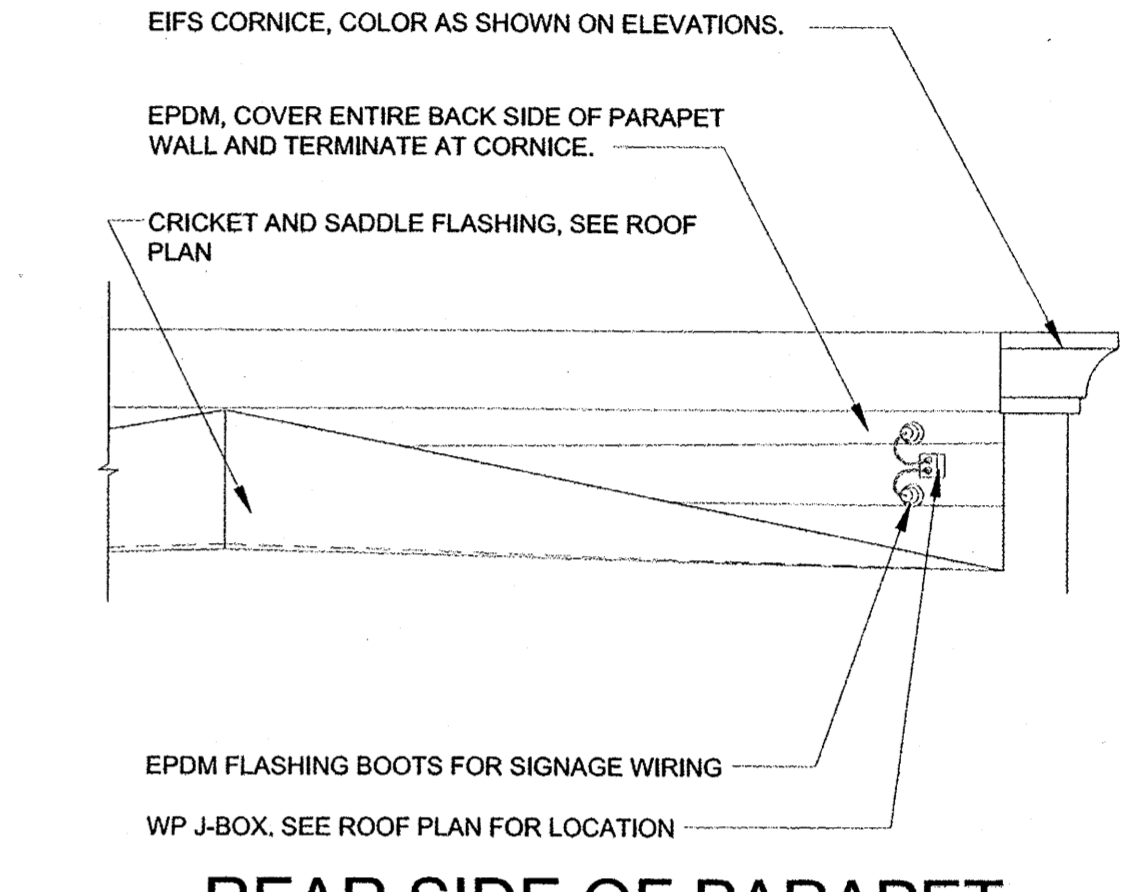
KEY:	COLOR:	COLOR FAM.	S.W. #	LRV
PT-1	"MEGA GREIGE"	GREY	-SW7031	38
PT-2	"HARBOR BLUE"	BLUE (INT)	-CC9001	±23
PT-3	NOT USED	NOT USED	NOT USED	-
PT-4	"BRANDYWINE"	BROWN	-SW7110	29
PT-5	"SAFETY RED"	RED	-SW4081	11
PT-6	NOT USED	NOT USED	NOT USED	-
PT-7	"BLACK"	BLACK	-CC9003	-
PT-8	"SAFETY YELLOW"	YELLOW	-SW4084	38
PT-9	"ROW HOUSE TAN"	BROWN/TAN	-SW7889	32
PT-10	"LATTE"	BROWN/TAN	-SW1018	39
PT-11	NOT USED	NOT USED	NOT USED	-
PT-12	"WARM STONE"	GREY (INT)	-SW7032	21
PT-13	"ANTIQUE WHITE"	WHITE	-SW6119	74

MATERIAL SCHEDULE:

- BR-1 QUIK-BRIK: COLOR TO BE "MARCUS" (BROWN/RED)
- GENERAL NOTES:**
- SEE DETAIL 17/A6 FOR CONTROL JOINT DETAIL
 - PROVIDE DRIP CAP OVER ALL MAN DOORS - SEE DETAIL 1H/A8
 - PAINT ALL EXPOSED LINTELS TO MATCH ADJACENT BUILDING COLOR.
 - SEE ELECTRICAL FOR SIGNAGE OPERATING TIME SETUP
 - ROOF TILES: US TILE - "S" MISSION TILE
"FAUX MISSION BLEND" - USING: 10% NEWPORT
10% RUSTIC NEWPORT
20% PALERMO
20% RUSTIC PALERMO
40% TUINO
20% TILE BOOST
 - INSTALLATION OF BUILDING SIGNS AND STREET SIGN BY SIGN VENDOR, G.C. TO PROVIDE WIRING. REFER ELECTRICAL.



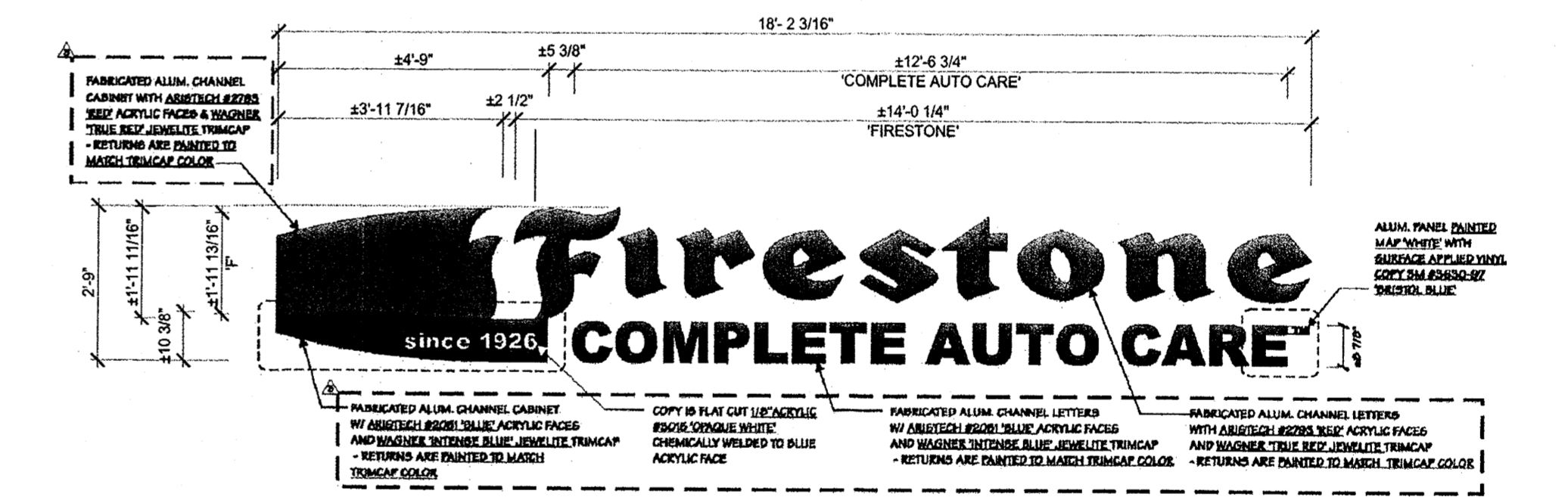
10 WALL PACK
SCALE: N.T.S.



14 REAR SIDE OF PARAPET WALL PERSPECTIVE
SCALE: N.T.S.

NOTE: ALL SIGNAGE MUST BE DESIGNED TO BE CONSISTENT AND COMPLIMENT THE MATERIALS, COLOR AND ARCHITECTURAL STYLE OF THE BUILDING OR SITE

NOTE: SIGNAGE SHALL BE INTERNALLY ILLUMINATED



20 SIGNAGE DETAIL
SCALE: 1/4" = 1'-0"



NEW FCAC STORE
"L 2010 - JUNE" L.H.
WYOMING BLVD. & PASEO DEL NORTE
ALBUQUERQUE, NM 87109

PROFESSIONAL OF RECORD
PRACTICING AS AN INDIVIDUAL

WILLIAM A BANDLE JR.
#2992 EXP. 12/31/11

ZONE APPROVAL (BY/DATE):

VP. _____

CONTR. _____

RM. _____

CM. _____

PROPERTY NO.: 000000

6 DIGIT: 000000

4 DIGIT: 0000

FILE NAME: L_L_A04.DWG

AOR PROJECT NUMBER: 211646

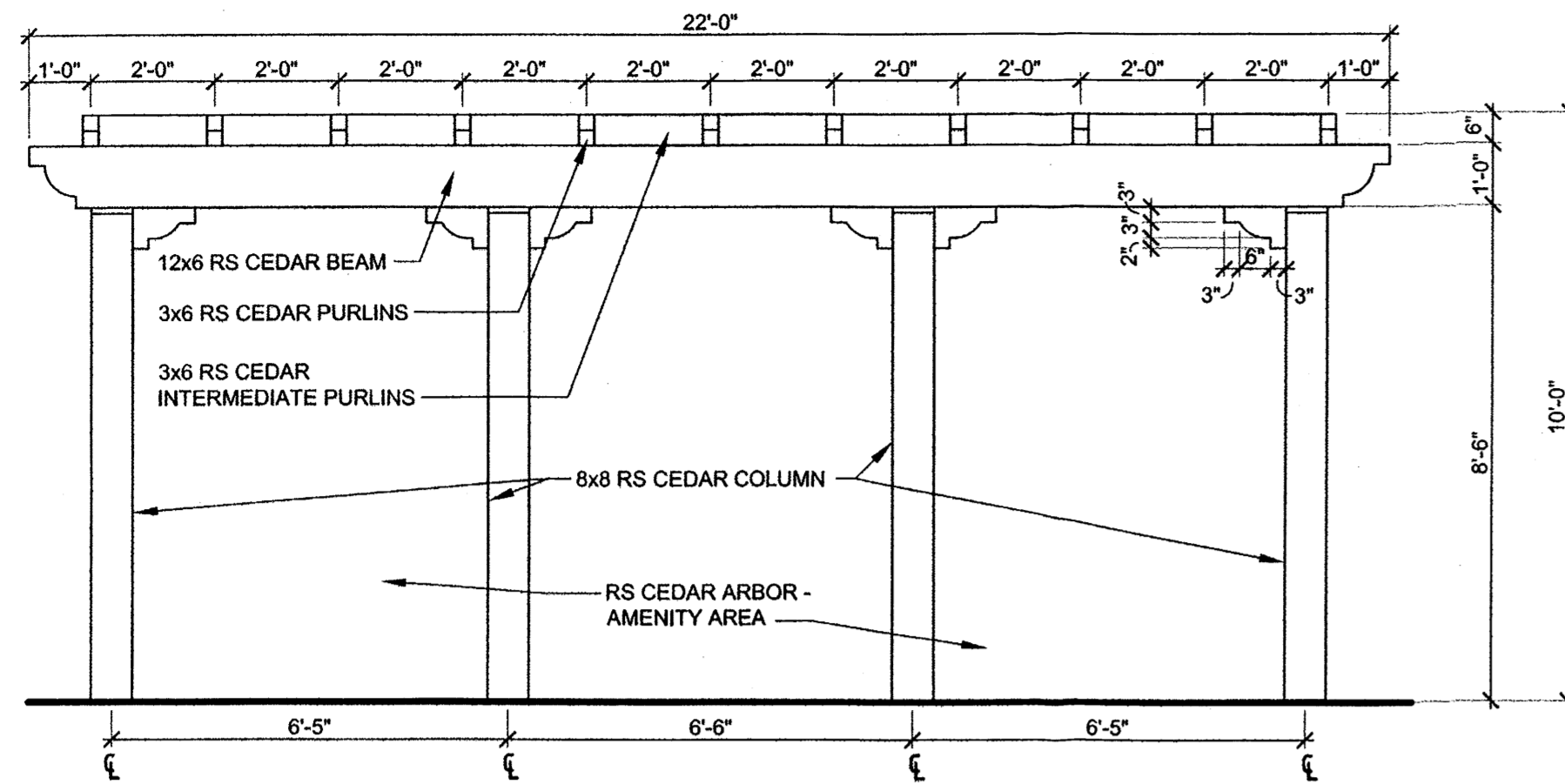
TO PERMIT: DATE: 06-01-11

TO OWNER: DATE: 06-01-11

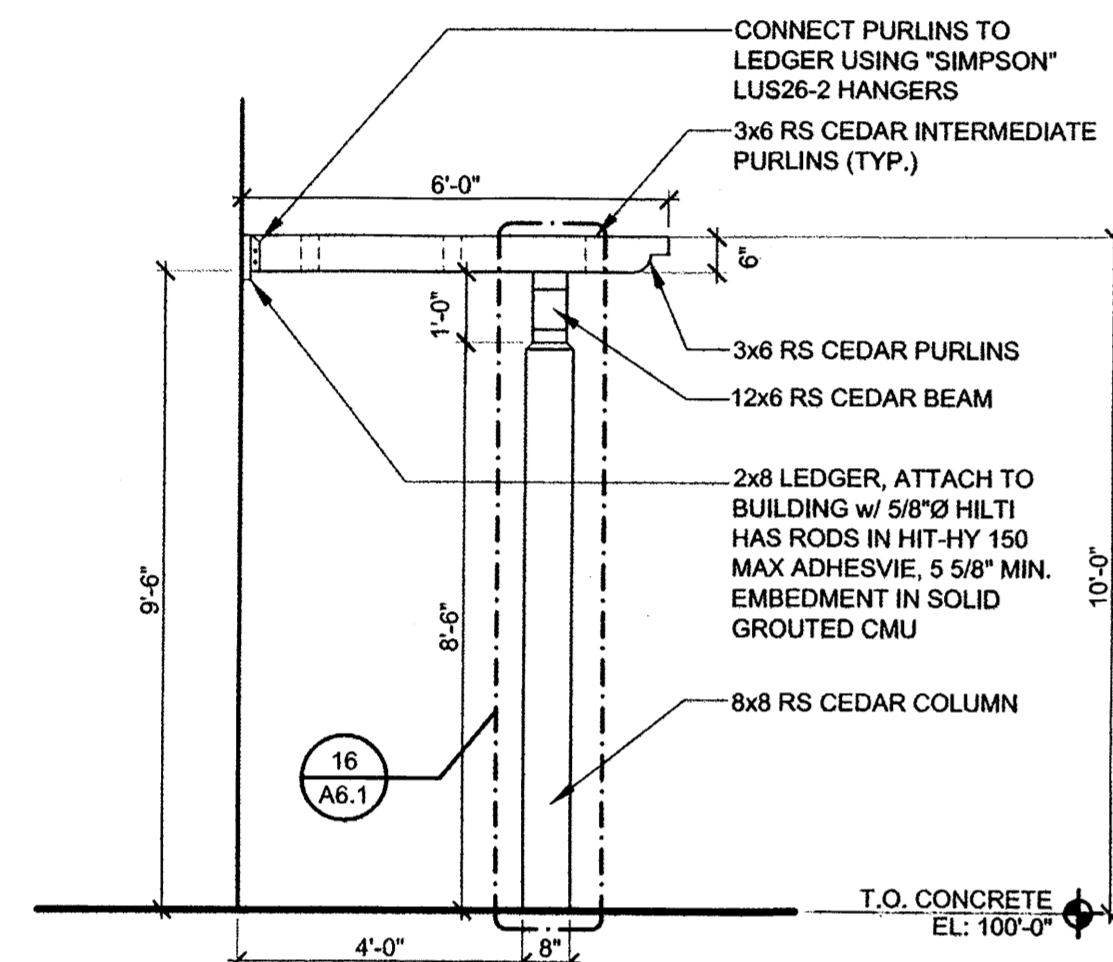
TO BID: DATE: ##-##-##

SHEET TITLE:
EXTERIOR ELEVATIONS & DETAILS

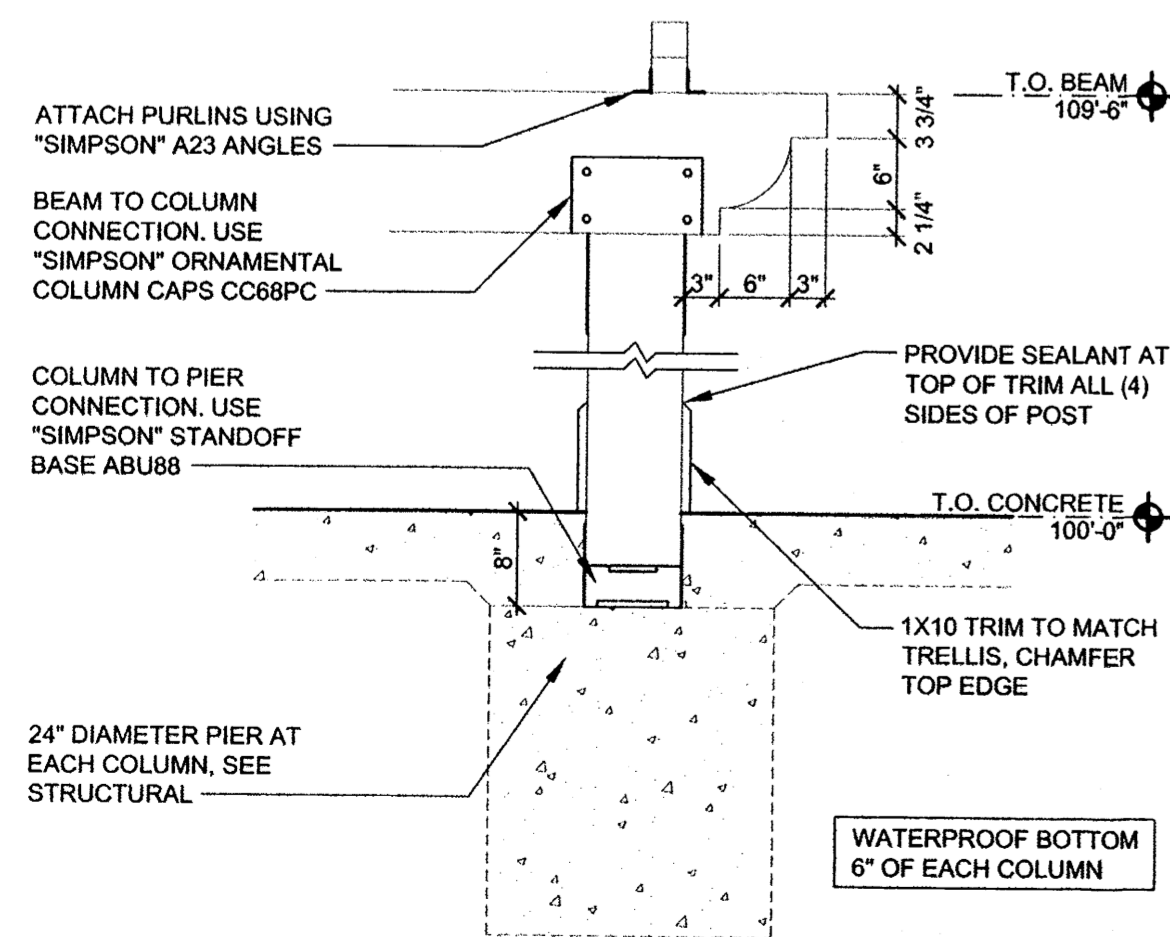
SHEET NUMBER:
DRB A4



1 TRELLIS FEATURE
A6.1 SCALE: 3/8" = 1'-0"



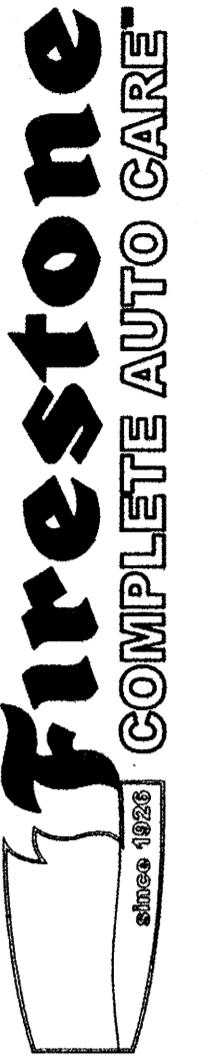
6 TRELLIS FEATURE
A6.1 SCALE: 3/8" = 1'-0"



16 TRELLIS POST DETAIL
A6.1 SCALE: 3/4" = 1'-0"



CASCO
10877 WATSON ROAD
ST. LOUIS, MO 63127
PROJECT MANAGERS



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ALBUQUERQUE, NM 87109

PROFESSIONAL OF RECORD
PRACTICING AS AN INDIVIDUAL

WILLIAM A BANDLE JR.
#2992 EXP. 12/31/11

ZONE APPROVAL (BY/DATE):
VP: _____
CONTR. _____
RM. _____
CM. _____

PROPERTY NO.: 000000
6 DIGIT: 000000
4 DIGIT: 0000
FILE NAME: RS_L_A06.DWG
AOR PROJECT NUMBER: 211646
TO PERMIT: DATE: 06-01-11
TO OWNER: DATE: 06-01-11
TO BID: DATE: ###-##-##

SHEET TITLE:
**WALL SECTIONS
AND DETAILS**

SHEET NUMBER:
A6.1