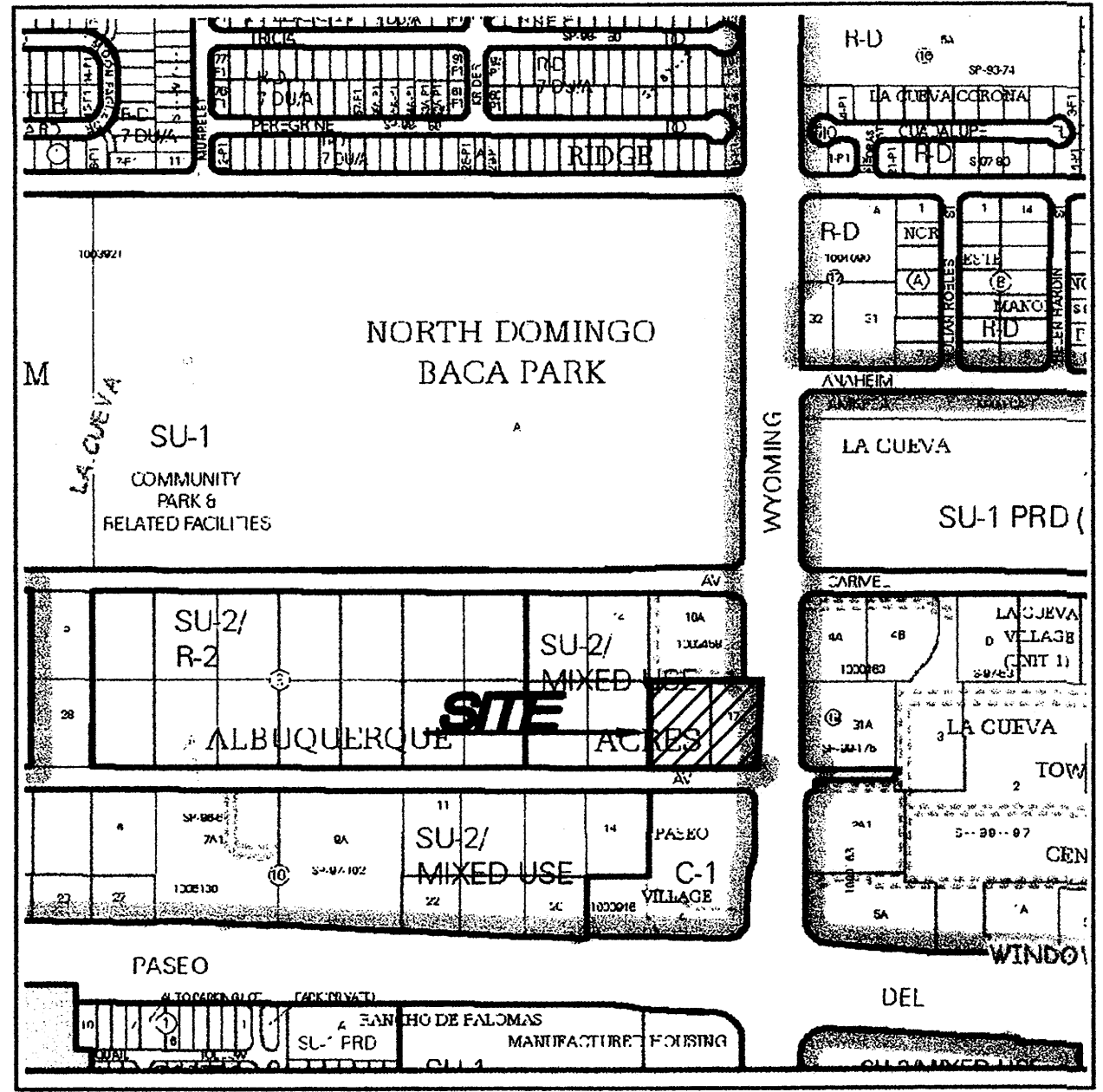


PLAT OF
LOTS 17-A, 17-B AND 17-C
BLOCK 9, TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES

(BEING A REPLAT OF LOTS 17 AND 18, BLOCK 9
 TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES)

SITUATE WITHIN
 THE ELENA GALLEGOS GRANT
 IN
 PROJECTED SECTION 18
 TOWNSHIP 11 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2010



VICINITY MAP
 Not To Scale

GENERAL NOTES

- Bearings are New Mexico State Plane grid bearings, Central Zone - NAD83.
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated.
- U.C.L.S. Log Number 2010168010
- City of Albuquerque Zone Atlas: Page C-19-Z

DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:

- Plat entitled "TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO, SCALE: 1 INCH = 400 FEET", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 10, 1931, in Volume D1, Folio 20.
- Warranty Deed from Bandelier Equities Ltd. Co. to The City of Albuquerque, filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 22, 2003, in Book A65, Page 3501.

SUBDIVISION DATA	
Total number of existing Lots:	2
Total number of new Lots created:	3
Gross Subdivision acreage:	1.6101 acres.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS
 "No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:
101906425507030216, 101906423706830215

V-Mod LLC

Bernalillo County Treasurer **Greg Hall 427111**

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico (PNM), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive nor release any easement or easement rights to which it may have been granted by prior plat, replat or other document and which are not shown on this plat.

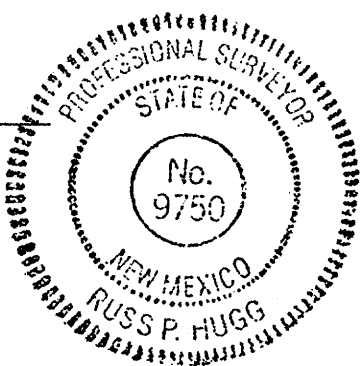
PURPOSE OF PLAT:

The Purpose of this plat is to create 3 new Lots from existing Lots 17 and 18, Block 9, Tract 2, Unit 3, North Albuquerque Acres and grant the public and private easements as shown hereon.

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 August 10, 2010



PROJECT NUMBER: **1003532**

Application Number: _____

PLAT APPROVAL

Utility Approvals:

- | | |
|--|--------------------------|
| <i>Lorenzo Vigil</i>
Public Service Company of New Mexico (PNM) | <u>8-23-10</u>
Date |
| <i>M.A.</i>
New Mexico Gas Company (NMGC) | <u>9-22-2010</u>
Date |
| <i>Indalecio Ramirez</i>
QWest Corporation | <u>08-16-10</u>
Date |
| <i>Robert Martin</i>
Comcast | <u>9-24-10</u>
Date |

City Approvals:

- | | |
|--|-------------------------|
| <i>[Signature]</i>
City Surveyor
Department of Municipal Development | <u>8-13-10</u>
Date |
| N/A
Real Property Division | Date |
| N/A
Environmental Health Department | Date |
| <i>[Signature]</i>
Traffic Engineering, Transportation Division | <u>09-08-10</u>
Date |
| <i>[Signature]</i>
A.B.C.W.U.A. | <u>9-8-10</u>
Date |
| <i>Christina Sandoval</i>
Parks and Recreation Department | <u>9/8/10</u>
Date |
| <i>Bradley L. Bingham</i>
AMAFA | <u>9/8/10</u>
Date |
| <i>Bradley L. Bingham</i>
City Engineer | <u>9/8/10</u>
Date |
| <i>[Signature]</i>
DOB Chairperson, Planning Department | <u>1-27-11</u>
Date |

DOCH 2011009829
 01/27/2011 12:04 PM Page: 1 of 3
 City: PLAT R:517.00 S: 2011C P: 0087 N: Toulous Olivere, Bernalillo Cou

SURV+TEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3388 Fax: 505-897-3377

**PLAT OF
LOTS 17-A, 17-B AND 17-C
BLOCK 9, TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES**

(BEING A REPLAT OF LOTS 17 AND 18, BLOCK 9
TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES)

**SITUATE WITHIN
THE ELENA GALLEGOS GRANT
IN
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2010**

LEGAL DESCRIPTION

That certain parcel of land situate within the Elena Gallegos Grant in Projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Lots 17 and 18, Block 9, Tract 2, Unit 3, North Albuquerque Acres, as the same is shown and designated on the plat entitled "TRACT 2 UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO, SCALE: 1 INCH = 400 FEET", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 10, 1931, in Volume D1, Folio 20, more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the southwesterly corner of the parcel herein described (a 5/8" rebar with cap stamped "LS 9750" set in place), said point also being the southwesterly corner of said Lot 18, and also being a point on the northerly right of way line of Holly Avenue N.E., whence Albuquerque Control Survey Monument "HEAVEN" bears S 15°43'55" W, 647.54 feet distant; Thence,

N 00°20'37" E, 233.87 feet to the northwesterly corner of the parcel herein described (a 5/8" rebar with cap stamped "LS 9750" set in place), said point also being the northwesterly corner of said Lot 18; Thence,

S 89°41'35" E, 299.69 feet to a point (a concrete nail with brass disk stamped "LS 9750" set in place), said point also being the northeasterly corner of said Lot 17, and also being a point on the westerly right of way line of Wyoming Boulevard N.E.; thence,

S 00°18'25" W, 234.06 feet to a point (a concrete nail with brass disk stamped "LS 9750" set in place), said point also being the point of intersection of said northerly right of way line of Holly Avenue N.E. and said westerly right of way line of Wyoming Boulevard N.E.; Thence,

N 89°39'23" W, 299.84 feet to the point of beginning.

Said parcel contains 1.6101 acres, more or less

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF LOTS 17-A, 17-B AND 17-C, BLOCK 9, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES (BEING A REPLAT OF LOTS 17 AND 18, BLOCK 9, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby grant the easement(s) as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to Lots 17-A and 17-B as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER(S)

LOT 18 AND WESTERLY PORTION OF LOT 17
V-MOD, LLC, a New Mexico limited liability company

Jabeen Vagh
By: **JABEEN VAGH -
MANAGING MEMBER**

FREE CONSENT

SURVEYED AND REPLATTED and now comprising "PLAT OF LOTS 17-A, 17-B AND 17-C, BLOCK 9, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES (BEING A REPLAT OF LOTS 17 AND 18, BLOCK 9, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner and proprietor. Said owner and proprietor does hereby consent to all of the foregoing and does hereby certify that it is authorized to so act.

EASTERLY PORTION OF LOT 17
CITY OF ALBUQUERQUE

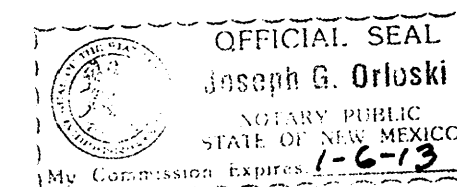
David S. Campbell *8/13/10*
By: **David S. Campbell, Chief Administrative Officer, City of
Albuquerque, a New Mexico Municipal Corporation.**

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 13TH
day of August, 2010, by JABEEN VAGH

[Signature] My commission expires 1-6-13
Notary Public

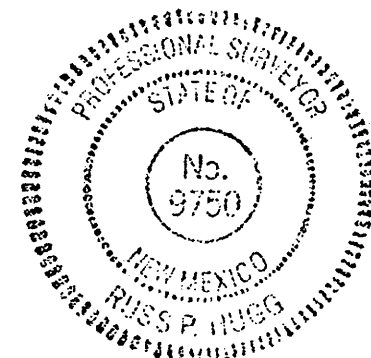
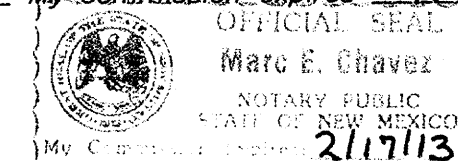


ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 13th
day of August, 2010, by David S. Campbell, Chief
Administrative Officer, City of Albuquerque, a New Mexico Municipal
Corporation.

Marc E. Chavez My commission expires 2/17/13
Notary Public



DOCH 2011009829
01/27/2011 12:04 PM Page: 2 of 3
PLAT R:317.00 B: 2011C P: 0007 M: Toulous Olivere, Bernalillo Cou

SURV TEK, INC.

Consulting Surveyors Phone: 505-897-3366
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

CURVE LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	39.29'	25.00'	35.37'	N45°19'31"E	90°02'12"

Albuquerque Control Survey Monument "HEAVEN"
New Mexico State Plane Coordinates
Central Zone (NAD 83)
North = 1,518,799.515
East = 1,547,297.145
Elevation = 5,378.235 (NAVD 1989)
Delta Alpha = -00°10'46.22"
Ground-to-Cord Factor = 0.999655810

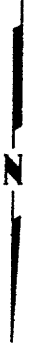
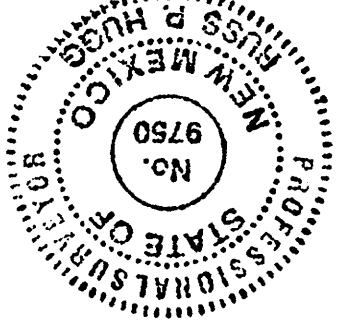
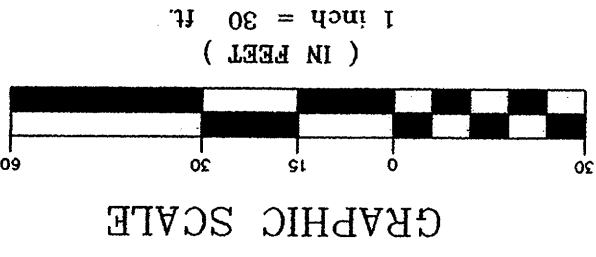
TRACT A
PASO VILLAGE
Filed 2-15-2001 in Plat Book 2001C, Page 52
Document Number 2001015755

DOCH 2011009829
PLAT R-317 00 B: 2011C P: 0087 M
Tolous Olive, Bernalillo Co
01/27/2011 12:04 PM Page: 3 of 3

100276.dwg

SURV TEK, INC.
Consulting Surveyors
6984 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

SHEET 3 OF 3



LINE	LENGTH	BEARING
L1	99.01	S00°19'41"W
L2	41.95	S03°13'31"E
L3	46.80	N89°40'19"W
L4	33.12	S00°19'41"W
L5	10.15	N00°19'41"E
L6	14.44	S89°40'19"E
L7	20.73	N44°11'24"E
L8	109.90	N00°19'41"E
L9	99.03	N00°19'41"E
L10	23.00	S89°39'23"E
L11	25.60	S89°39'23"E
L12	10.43	S89°39'23"E
L13	60.00	S00°19'41"W
L14	25.66	S89°39'23"E
L15	10.00	S00°20'37"W

Note:
A private cross lot drainage easement for the benefit of Lots 17-A and 17-B is hereby granted by this plat. Maintenance of said easement to be the responsibility of the owner(s) of said Lots 17-A and 17-B.

PLAT OF
LOTS 17-A, 17-B AND 17-C
BLOCK 9, TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES
(BEING A REPLAT OF LOTS 17 AND 18, BLOCK 9
TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES)
SITUATE WITHIN
THE ELENA GALLEGOS GRANT
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2010

TRACT 2, UNIT 3, BLOCK 19
NORTH ALBUQUERQUE ACRES
Filed 09-15-09 in Plat Book 99C, Page 270
Document No. 1999119859

WYOMING
BOULEVARD
N. E.
R/W Width Varies

* Note:
Lot 17-C is Public Street right of way owned by the City of Albuquerque

PORTION OF LOT 17
CONVEYED TO THE CITY OF ALBUQUERQUE BY
WARRANTY DEED
Filed 9-22-2003 in Book 465, Page 3501
as Document Number 2003173865

Existing Permanent Easement granted by Albuquerque by February 2, 2007 in Book A130, Page 474, as Document No. 2007000474.

Existing Overhead Easement granted by document filed February 1, 1990 in Book BCR 90-2, Page 6457, as Document No. 90-8454.

Corner not set - falls within street

Corner not set - falls within street

Stamped L.S. 9750

Stamped L.S. 9750

Stamped L.S. 9750

Stamped L.S. 9750

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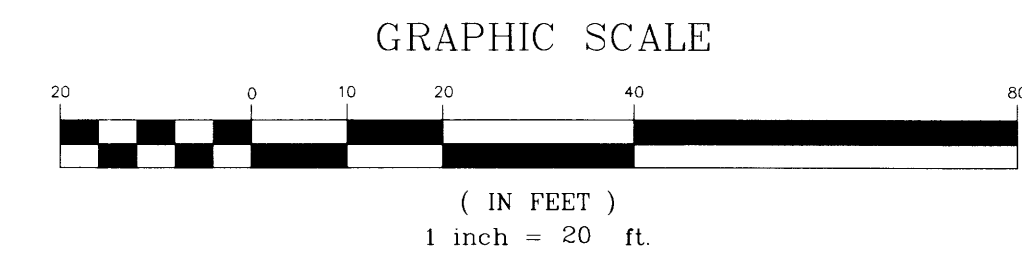
Stamped L.S. 9750

Stamped L.S. 9750

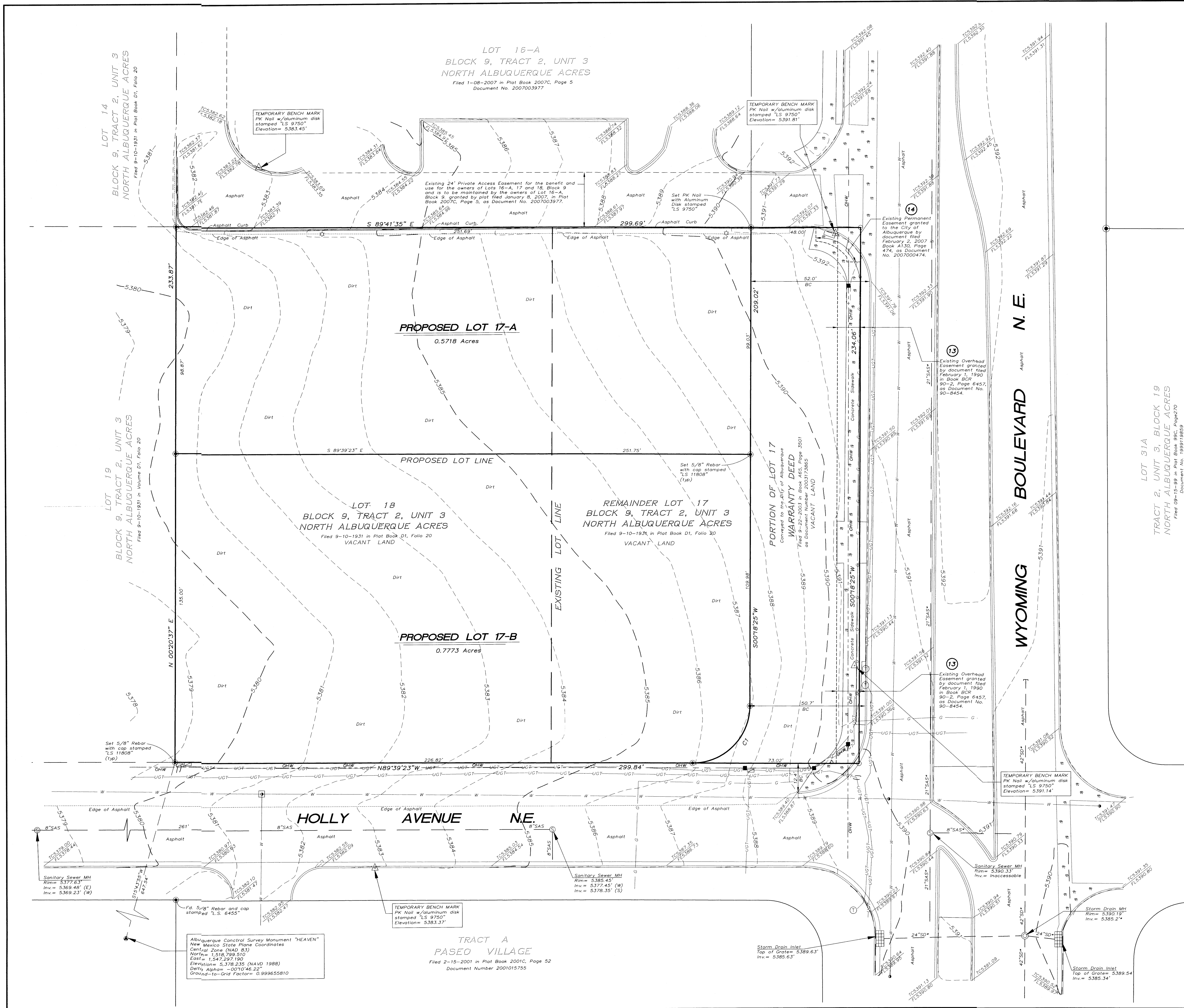
ALTA/AC.S.M. LAND TITLE SURVEY
 LOTS 17 AND 18, BLOCK 9
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 SITUATE WITHIN
 THE ELENA GALLEGOS GRANT
 IN
 PROJECTED SECTION 18
 TOWNSHIP 11 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2010

LEGEND

- ⊙ Storm Drain Manhole
- ⊙ Sanitary Sewer Manhole
- SAS— Sanitary Sewer Line
- SD— Storm Drain Line
- SAS*— Sanitary Sewer Line From Provided Plans
- SD*— Storm Drain Line From Provided Plans
- Storm Drain Inlet
- Power Pole
- Guy Wire
- OHW— Overhead Wires
- UGT— Telephone Line
- G— Gas Line
- W— Water Line
- ⊠ Water Meter
- ⊙ Water Valve
- ⊙ Hydrant
- ⊙ Cable Pedestal
- ⊙ Electric Pedestal
- ⊙ Electric Transformer
- ⊙ Traffic Box
- ⊙ Traffic Light Post
- ⊙ Utility Box
- ⊙ Light Pole
- ⊙ Concrete Symbol
- ⊙ Utility Pedestal
- ⊙ Set 5/8" Rebar with cap stamped "LS 11808" unless otherwise indicated



CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	CHORD
C1	39.29'	25.00'	25.02'	35.37'
			CHORD BEARING	DELTA
			N45°19'31"E	90°02'12"



Albuquerque Control Survey Monument "HEAVEN"
 New Mexico State Plane Coordinates
 Central Zone (NAD 83)
 North = 1,518,799.510
 East = 1,547,297.190
 Elevation = 5,378.235 (NAVD 1988)
 Delta Alpha = -00°10'46.22"
 Ground-to-Grid Factor = 0.999855810

TRACT A
 PASEO VILLAGE
 Filed 2-15-2001 in Plat Book 2001C, Page 52
 Document Number 2001015755

LOT 14
 BLOCK 9, TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 Filed 9-10-1931 in Plat Book D1, Folio 20

LOT 19
 BLOCK 9, TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 Filed 9-10-1931 in Volume D1, Folio 20

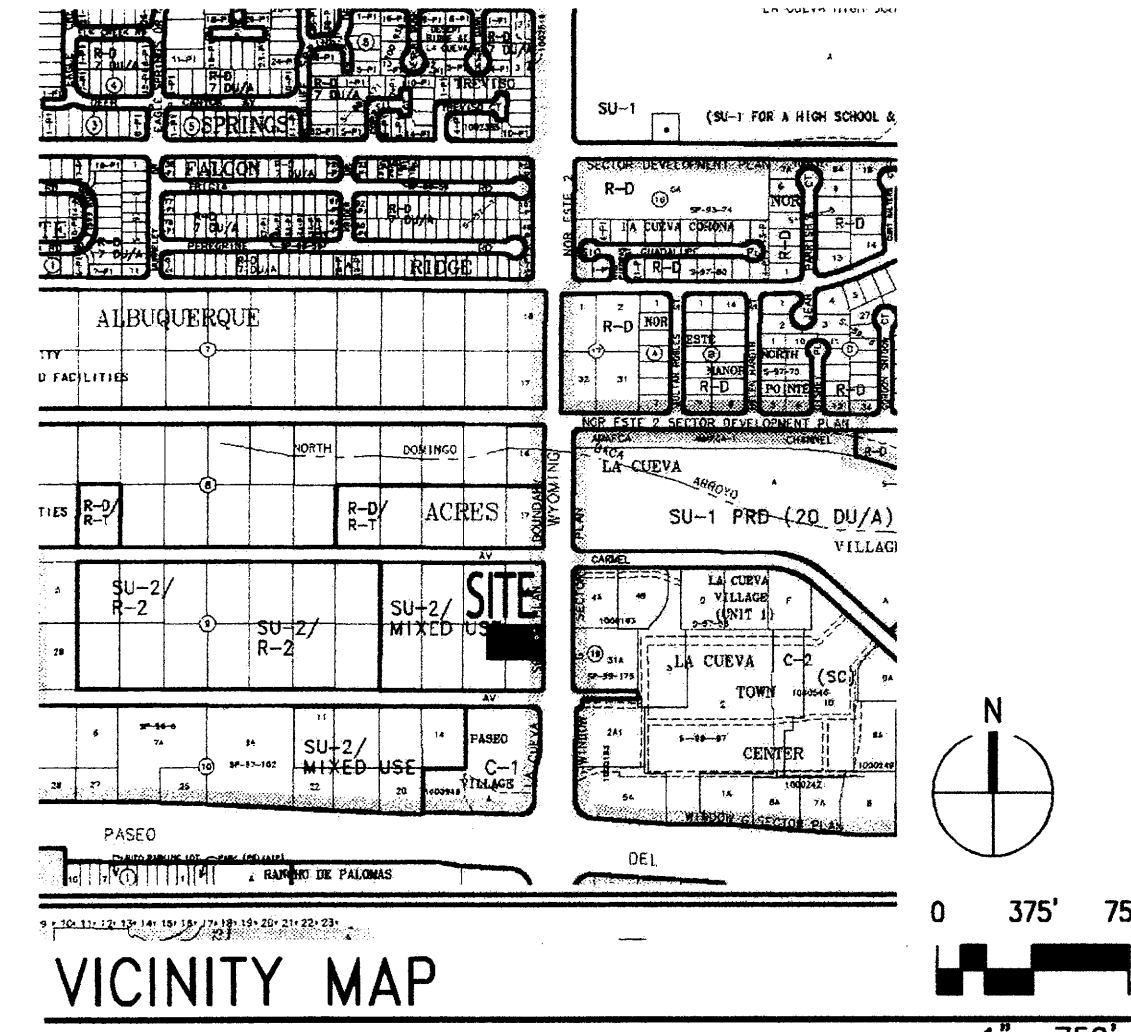
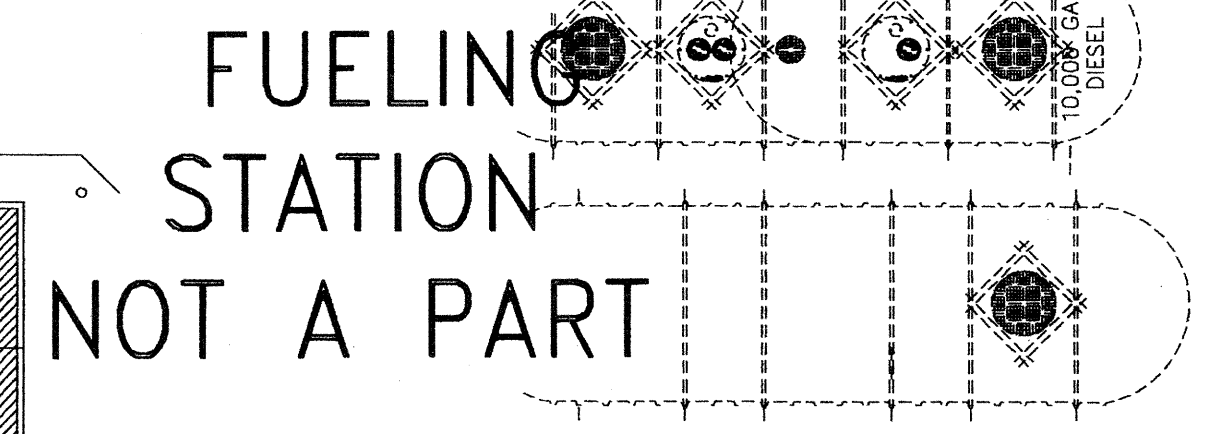
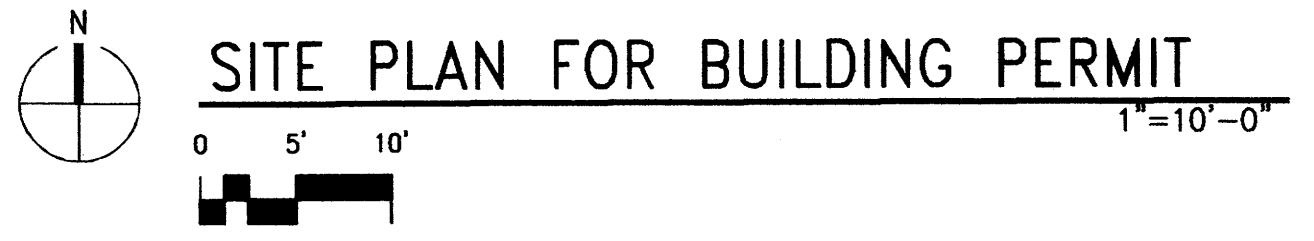
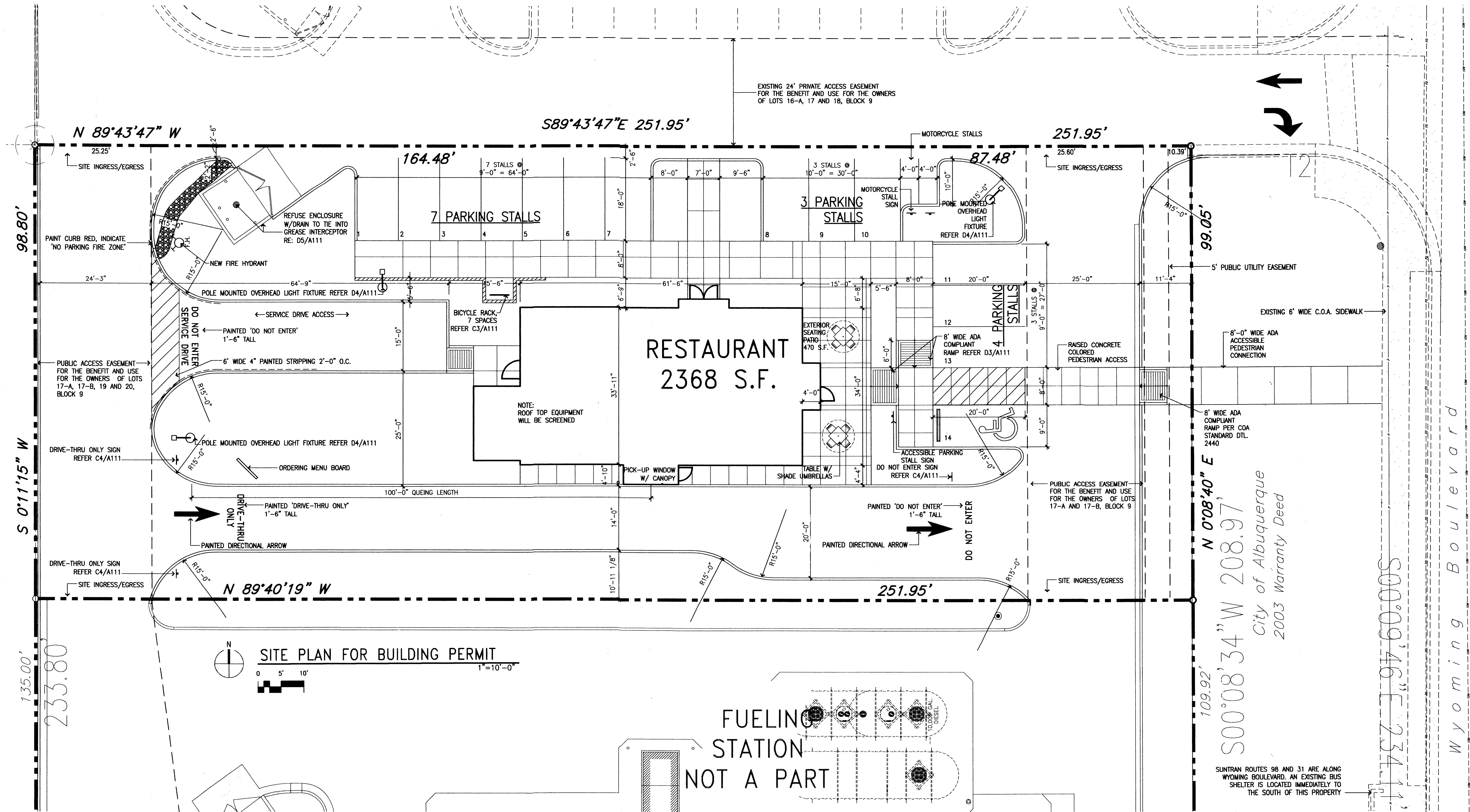
LOT 16-A
 BLOCK 9, TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 Filed 1-08-2007 in Plat Book 2007C, Page 5
 Document No. 2007003977

LOT 18
 BLOCK 9, TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 Filed 9-10-1931 in Plat Book D1, Folio 20
 VACANT LAND

REMAINDER LOT 17
 BLOCK 9, TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 Filed 9-10-1931 in Plat Book D1, Folio 20
 VACANT LAND

PORTION OF LOT 17
 Conveyed to the City of Albuquerque
 WARRANTY DEED
 Filed 9-25-2003 in Book A45, Page 3201
 as Document Number 200312885
 VACANT LAND

LOT 31A
 TRACT 2, UNIT 3, BLOCK 19
 NORTH ALBUQUERQUE ACRES
 Filed 09-15-99 in Plat Book 99C, Page 270
 Document No. 100010885



WRITTEN PROJECT SUMMARY

The proposed project is single story restaurant with a drive through service window to be built in a single phase. The building will be approximately 2,365 square feet and the parking lot and associated features will be completed within this phase. The existing zoning is SU-2 mixed use. All elements of the site plan and building elevations comply with the design guidelines of La Cueva Sector Development Plan.

NOTES:

- THE SITE PLAN SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONE CODE, SECTION 14-16-3-9 AND THE LIGHTING DESIGN REGULATIONS OF THE LA CUEVA SECTOR DEVELOPMENT PLAN, 14R-1 TO 14R-7
- MAINTENANCE OF THE OUTDOOR AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

PROJECT DATA

LEGAL DESCRIPTION:
Lot 17A, Plat of Lots 17A, 17B & 17C Block 9, Tract 2, Unit 3 Albuquerque Acres

ZONING:
SU-2 MIXED USE

AREAS:
TRACT AREA: 24,929 SQ. FT. (.572 ACRES)
BUILDING FOOTPRINT: 2,368 SF
F.A.R.: .09

PROPOSED USE:
RESTAURANT WITH DRIVE THROUGH SERVICE WINDOW

PARKING:
PARKING REQUIRED (1 Per 4 SEATS) 12
48 SEATS PROVIDED
PARKING PROVIDED 14
ADA PARKING REQUIRED 1
ADA PARKING PROVIDED 1
BICYCLE PARKING REQUIRED (1:20 AUTOS) 1
BICYCLE PARKING PROVIDED 7
MOTORCYCLE PARKING REQUIRED 1
MOTORCYCLE PARKING PROVIDED 2

PROJECT NUMBER: 1003532
Application Number: 10 EPC-40064

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 12/9/10 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date

Environmental Health Department (conditional) Date
Joe White 2-3-11
Solid Waste Management Date

DRB Chairperson, Planning Department Date

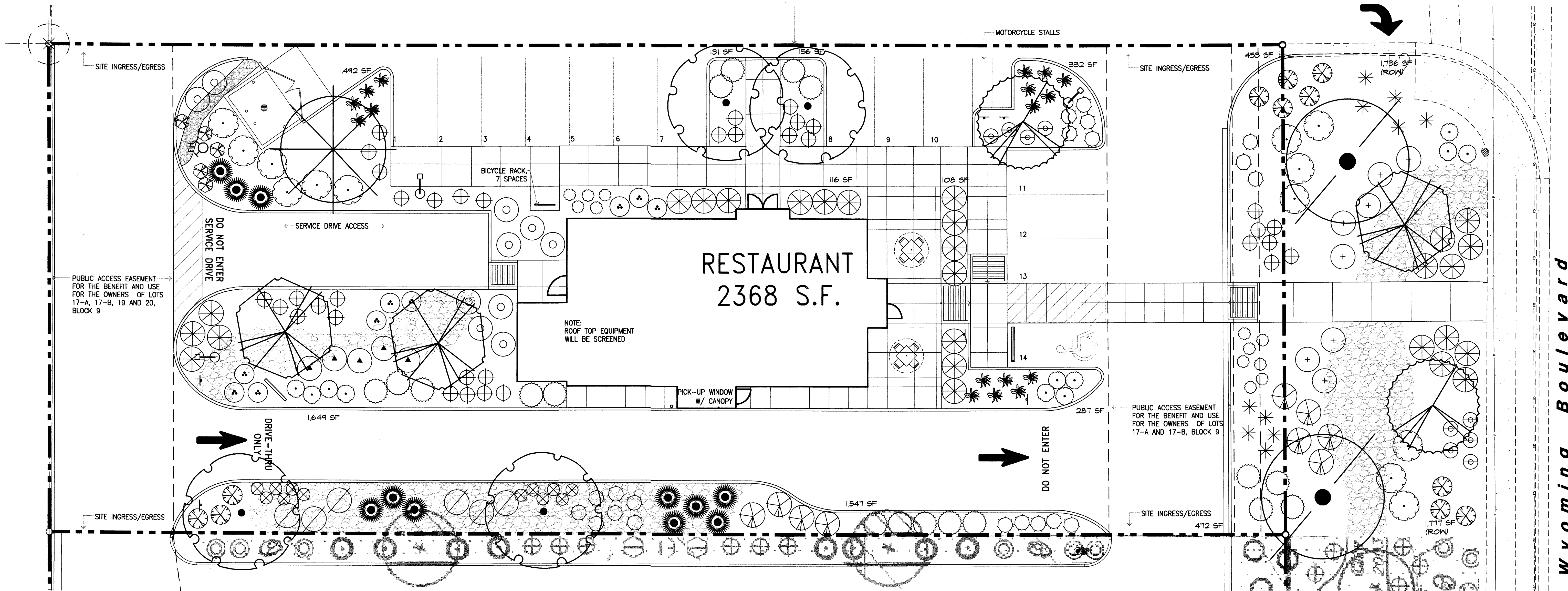
Twisters Restaurant
Lot 17A, Plat of Lots 17A, 17B & 17C
Block 9, Tract 2, Unit 3 Albuquerque Acres, Albuquerque NM

peter butterfield architect
13013 glenwood hills ct. ne
albuquerque nm 87111 (ph) 505 352 9323 (fax) 212 0801

STATE OF NEW MEXICO
PETER BUTTERFIELD
REGISTERED ARCHITECT
NO. 3850
1/5/11

DRAWING NAME: REVISIONS

A001
January 11, 2011



RESTAURANT
2368 S.F.

NOTE: ROOF TOP EQUIPMENT
WILL BE SCREENED

Wyoming Boulevard

LANDSCAPE PALETTE

QTY.	SYMBOL	BOTANICAL NAME / COMMON NAME	INSTALLED SIZE	MATURE SIZE WATER USE	QTY.	SYMBOL	BOTANICAL NAME / COMMON NAME	INSTALLED SIZE	MATURE SIZE WATER USE	QTY.	SYMBOL	BOTANICAL NAME / COMMON NAME	INSTALLED SIZE	MATURE SIZE WATER USE	QTY.	SYMBOL	BOTANICAL NAME / COMMON NAME	INSTALLED SIZE	MATURE SIZE WATER USE	
2	(Symbol)	TREES GERGIS RENIFORMIS 'OKLAHOMA' OKLAHOMA REDBUD	25-GAL. (10' HT. MIN.)	25' X 25' MEDIUM	12	(Symbol)	SHRUBS/GROUNDCOVERS ARTEMISIA PONIS CASTLE PONIS CASTLE SAGE	1-6AL.	36" X 30" MEDIUM	9	(Symbol)	FALLISIA PARADOXA APACHE PLUME	5-GAL.	60" X 60" LOW	10	(Symbol)	ROSMARINUS OFFICINALIS PROSTRATE ROSEMARY	1-6AL.	24" X 60" LOW	
3	(Symbol)	CHILOPSIS LINEARIS 'LUCRETIA HAMILTON' DESERT WILLOW	25-GAL. (10' HT. MIN.)	20' X 25' LOW	18	(Symbol)	BACCHARIS 'STARN THOMPSON' DWARF COYOTE BUSH	1-6AL.	24" X 60" LOW	12	(Symbol)	GALLARDIA GRANDIFLORA 'FANFAIR' BLANKET FLOWER	1-6AL.	30" X 30" LOW	35	(Symbol)	SALVIA GREGGII CHERRY SAGE	5-GAL.	36" X 36" MEDIUM	
2	(Symbol)	ROBINIA X AMBISIA PURPLE ROBE LOCUST	2" B4B	35' X 30' MEDIUM+	4	(Symbol)	BUDDLEIA DAVIDII 'NANHOENSIS' BUTTERFLY BUSH	5-GAL.	48" X 56" MEDIUM	17	(Symbol)	HALIMILUM LASIANTHUM YELLOW ROCKROSE	1-6AL.	24" X 36" MEDIUM	27	(Symbol)	ORNAMENTAL GRASSES MISCANTHUS SINENSIS MAIDEN HAIR GRASS	5-GAL.	60" X 60" MEDIUM+	
1	(Symbol)	PINUS ELDARICA AFGHAN PINE	B4B (8' HT. MIN.)	40' X 35' MEDIUM	13	(Symbol)	CAESALPINA GILLESII BIRD OF PARADISE	5-GAL.	46" X 72" LOW	6	(Symbol)	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	1-6AL.	60" X 60" MEDIUM	11	(Symbol)	ACCENTS DASYLIRION WHEELERI SOTOL	5-GAL.	48" X 60" LOW	
4	(Symbol)	QUERCUS BUCKLEYI TEXAS RED OAK	2" B4B	25' X 25' MEDIUM	11	(Symbol)	GARYOPTERIS GLANDONENSIS BLUE MIST	5-GAL.	48" X 48" LOW	20	(Symbol)	POTENTILLA FRUTICOSA SHRUBBY CINQUEFOI	5-GAL.	36" X 36" MEDIUM+	10	(Symbol)	HESPERALOE PARVIFLORA RED/YELLOW FLOWERING YUCCA	5-GAL.	36" X 36" MEDIUM	
					7	(Symbol)	CHRYSOTHAMNUS NAUSEOSUS CHAMISA	5-GAL.	60" X 60" LOW	9	(Symbol)	RHUS AROMATICA 'SRO-LOW' PROSTRATE SUMAC	5-GAL.	24" X 48" LOW+						
					5	(Symbol)	CYTISUS X LENA' LENA'S BROOM	5-GAL.	24" X 36" LOW	5	(Symbol)	RHUS TRILOBATA THREE-LEAF SUMAC	5-GAL.	48" X 60" LOW+						
					11	(Symbol)	ERICAMERIA LARICIFOLIA DWARF TURPENTINE BUSH	1-6AL.	36" X 42" LOW+											

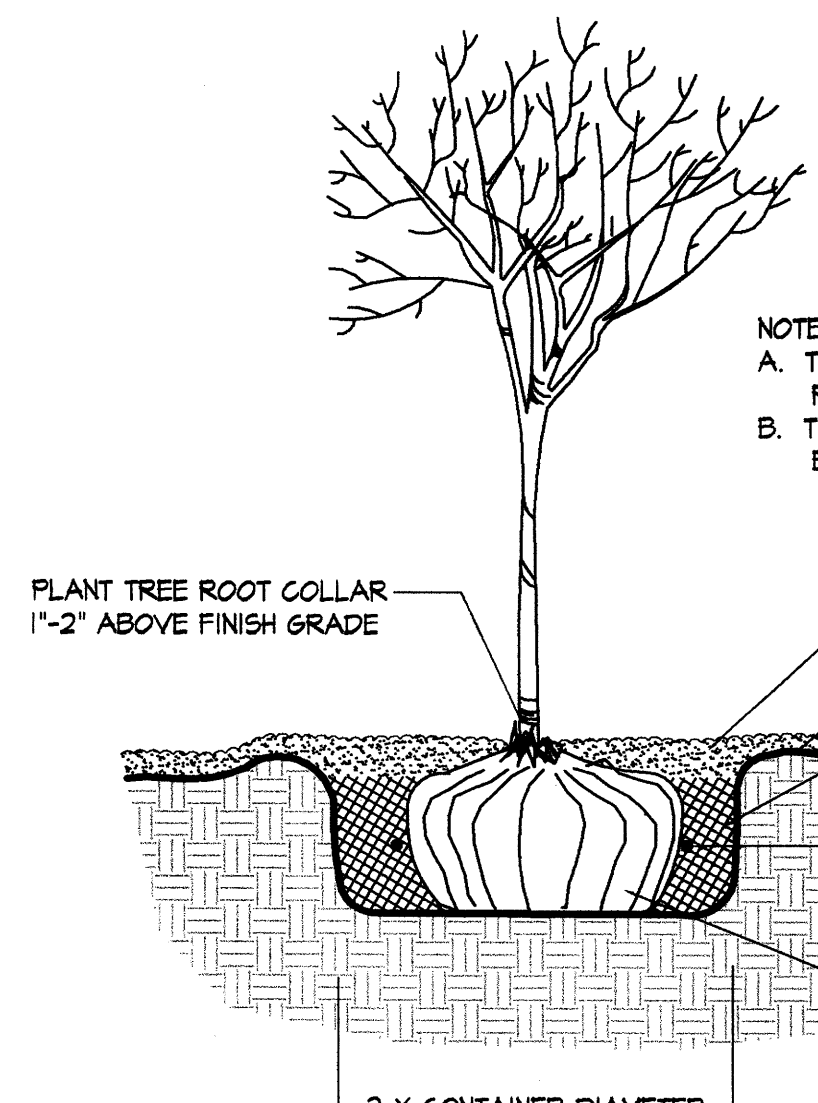
GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH A COMBINATION OF SANTA ANA TAN ROCK MULCH, SANTA FE BROWN ROCK MULCH AND 2"-4" BUILDOLGY BROWN COBBLE.

IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.M., SHALL BE THE RESPONSIBILITY OF THE OWNER.

WATER CONSERVATION ORDINANCE COMPLIANCE
THE LANDSCAPE PLAN FOR THIS SITE SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPE AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

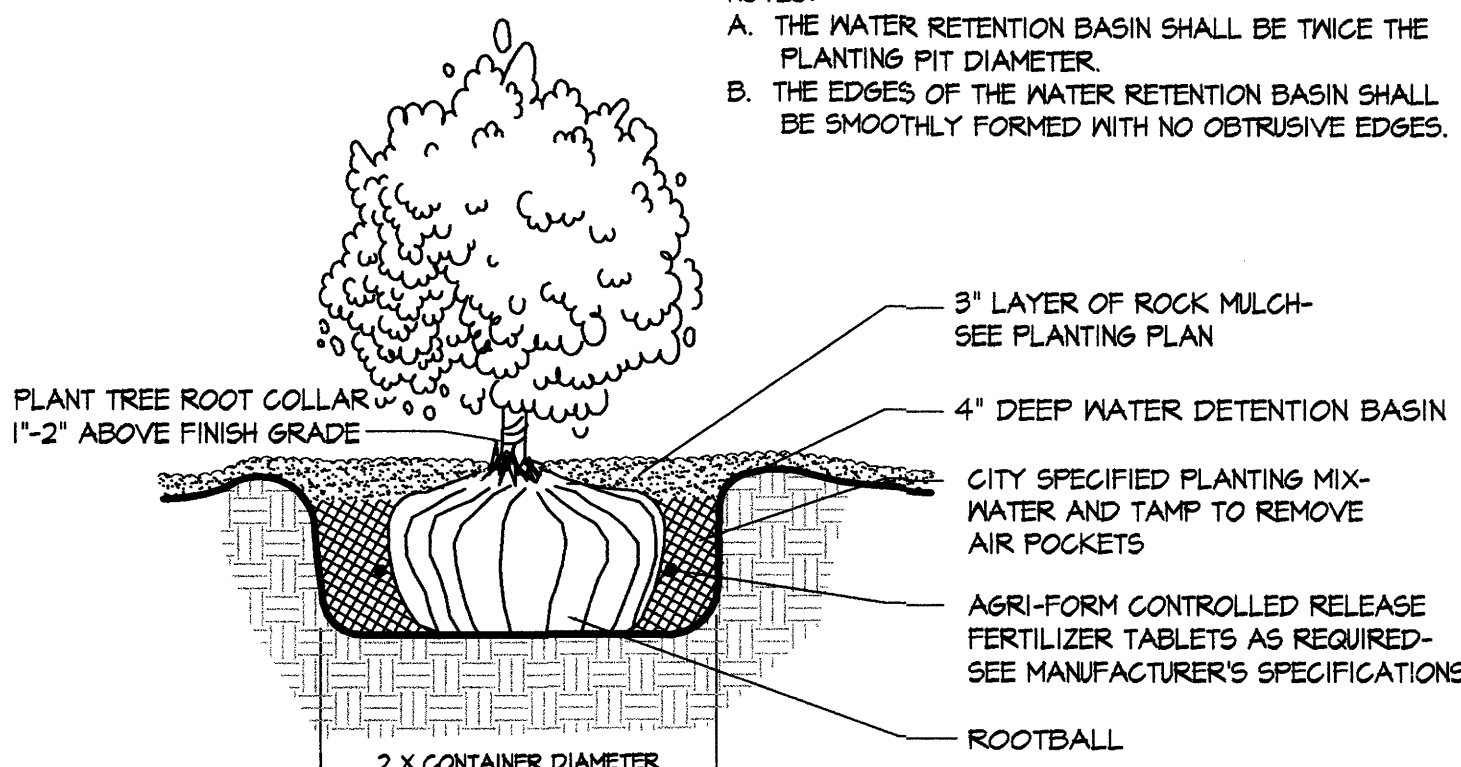


PNM COORDINATION: COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENINGS WILL BE DESIGN TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

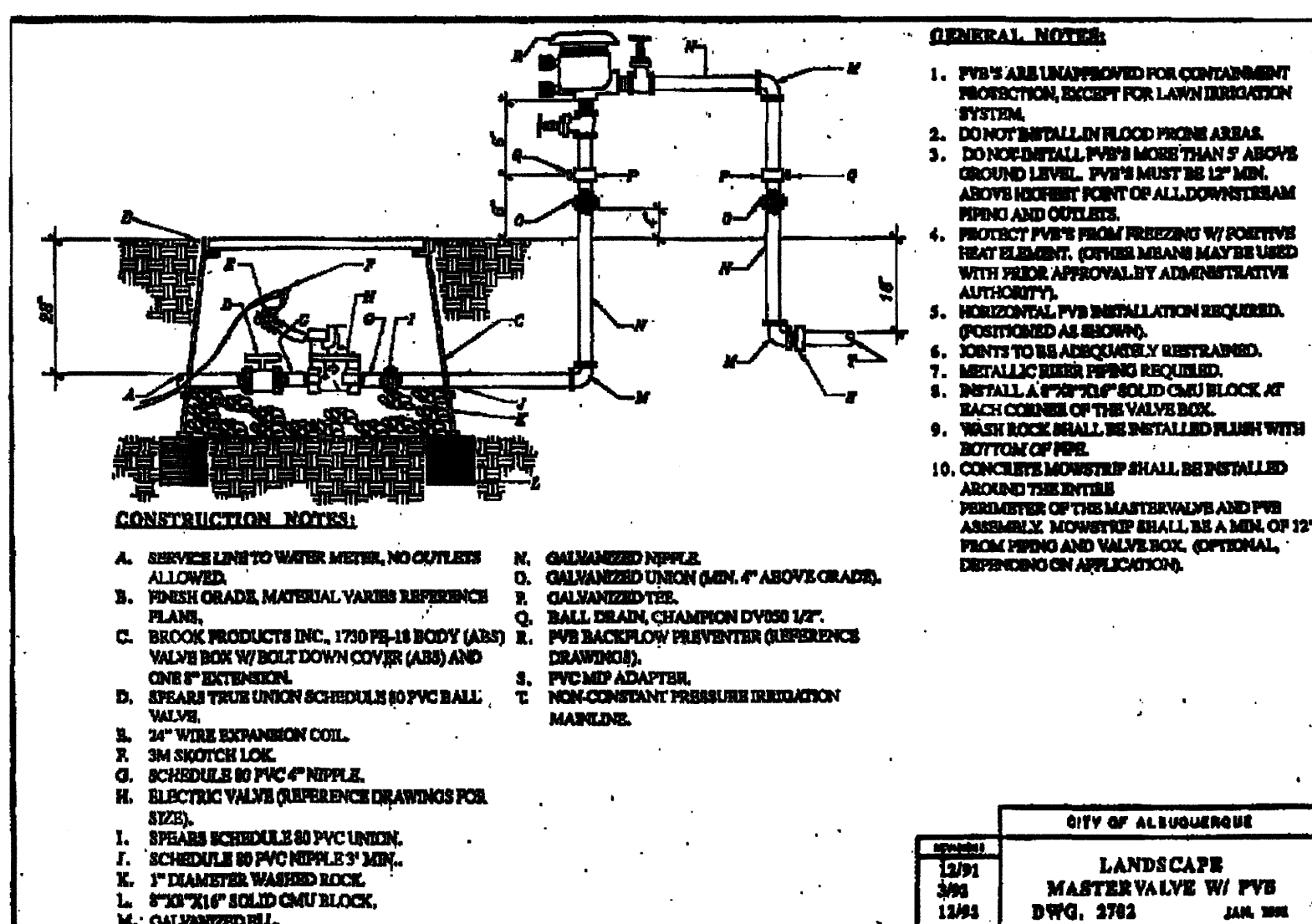
NOTES:
A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.

NOTES:
A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.



1 TREE PLANTING @ GRADE

2 SHRUB PLANTING @ GRADE



LANDSCAPE CALCULATIONS

SITE AREA:	527 AC.	2496 SF
BUILDING AREA:		2368 SF
TOTAL NET:		2259 SF
IMPERVIOUS AREA:		15805 SF
REQUIRED LANDSCAPE (15%):		3382 SF
PROVIDED LANDSCAPE:		6148 SF (30%)
ON-SITE -	6148 SF (30%)	
R.O.M. -	3218 SF	
	10256 SF	
PROVIDED ON-SITE LANDSCAPE:	6148 SF	
LESS USABLE UNPLANTED COBBLE AREAS:	-1514 SF	
TOTAL PROVIDED LANDSCAPE BEDS:	5224 SF	
REQUIRED LIVE VEGETATIVE COVER (15%):	3422 SF	
PROVIDED LIVE VEGETATIVE COVER (82%):	4312 SF	

SCALE: 1" = 10'

STREET TREES
WYOMING STREET FRONTAGE IS 31'. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C.

REQUIRED: 4
PROVIDED: 4

CITY OF ALBUQUERQUE

15071	LANDSCAPE
306	MAINTENANCE W/ PVS
15083	DWG. 2782
	JAN. 2008

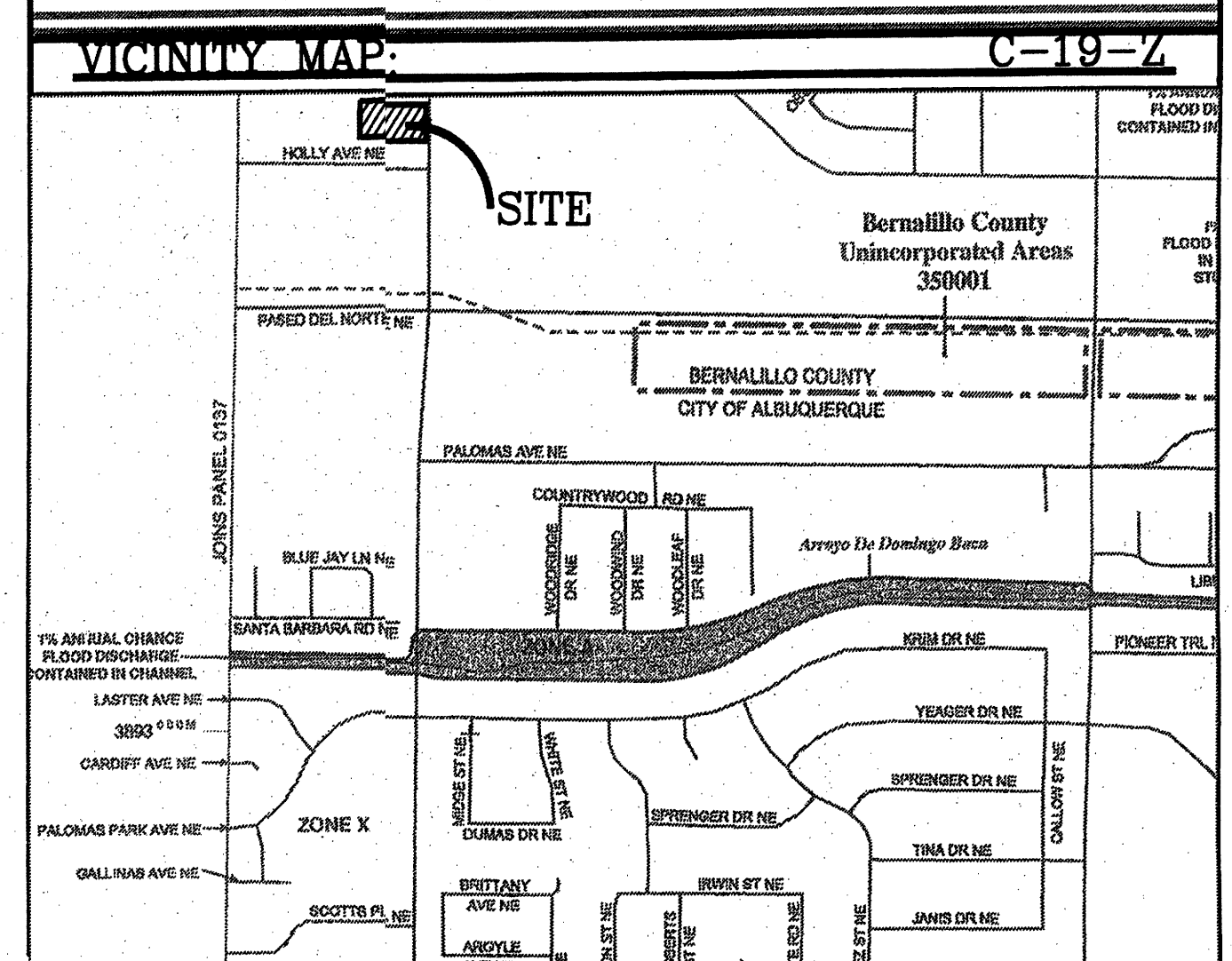
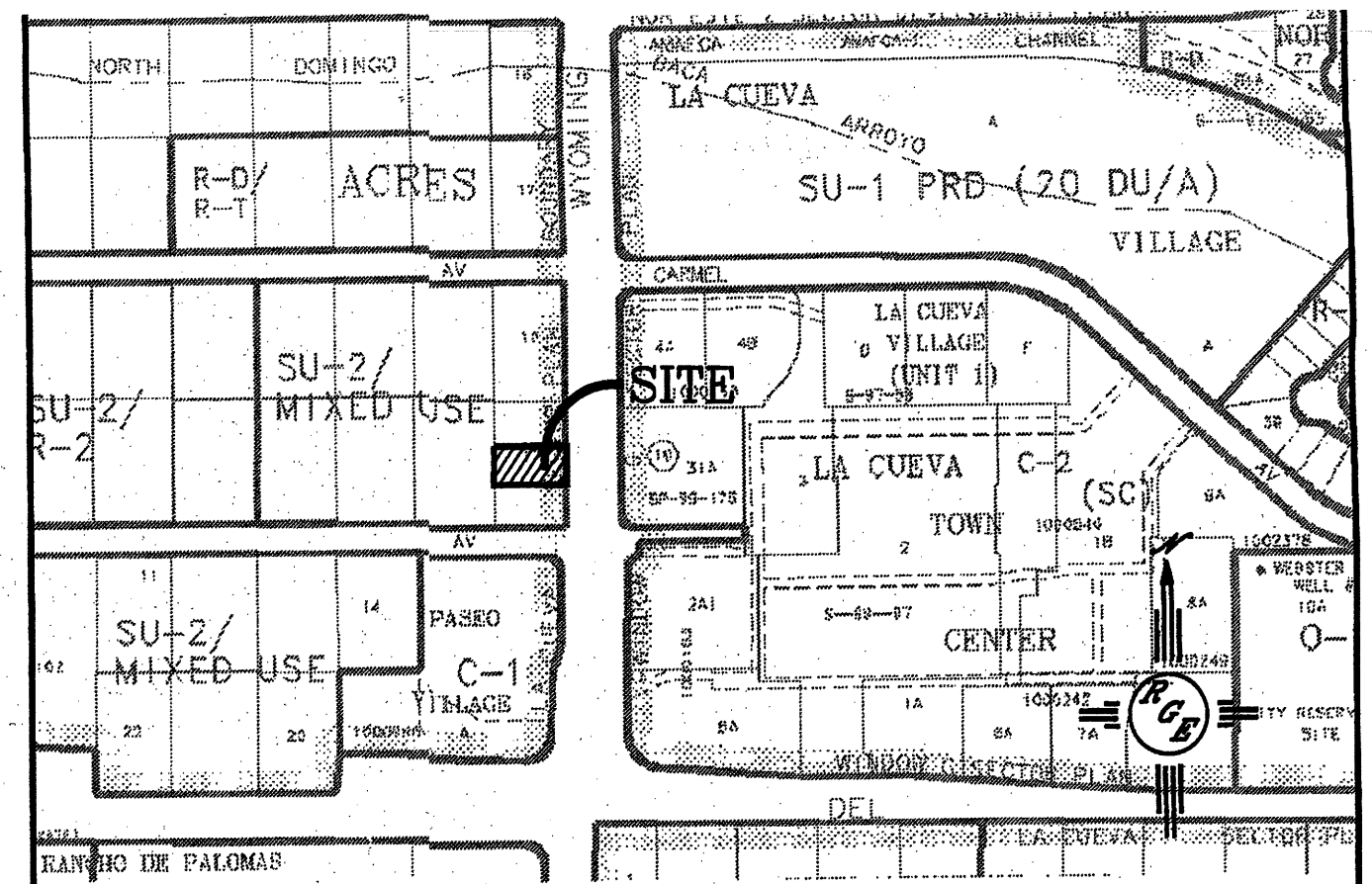
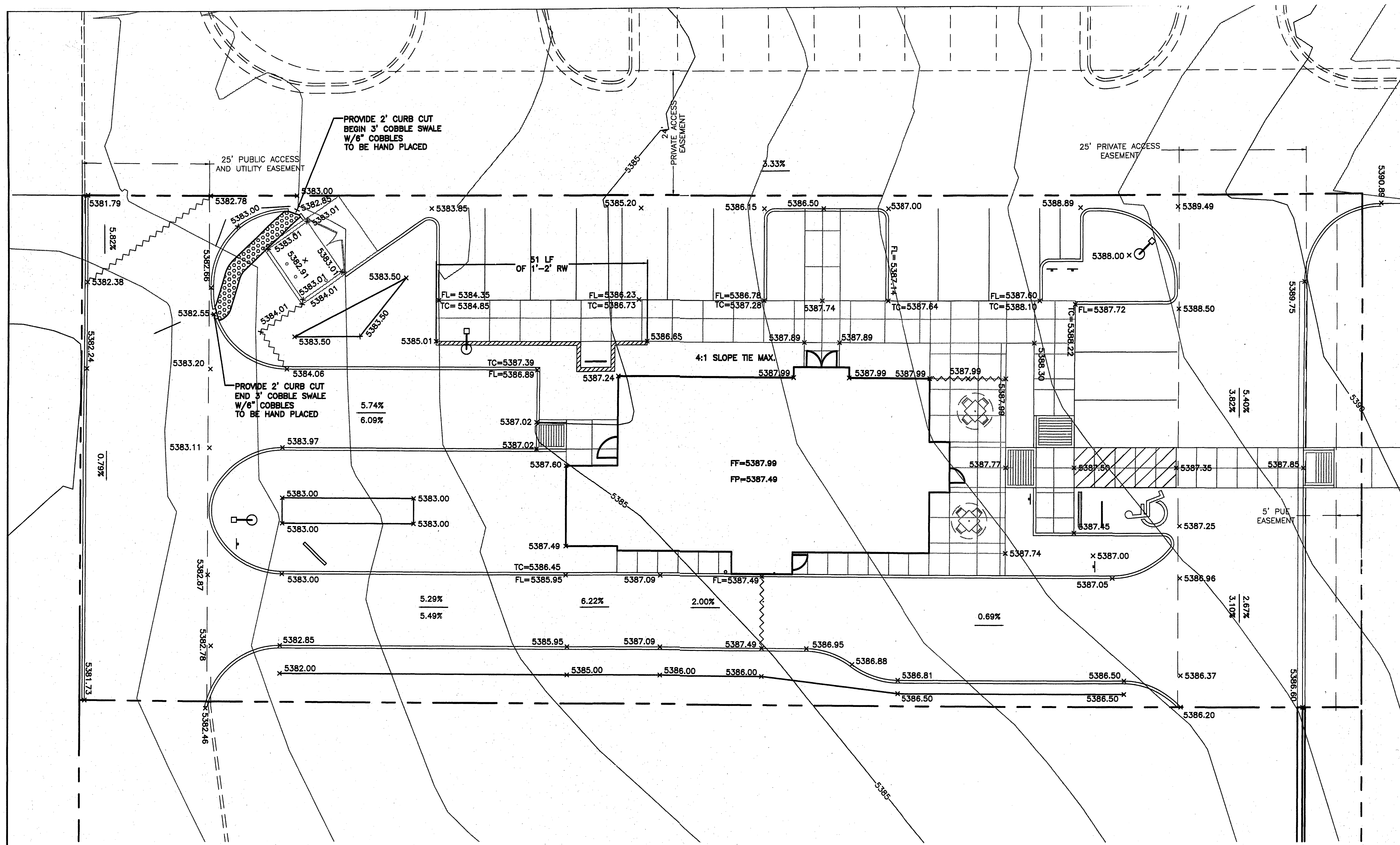
peter butterfly
architect
13013 glenwood hills ct. ne
albuquerque nm 87111 (ph) 505-332-9923 (fax) 212-0901

DRAWING NAME
REVISIONS

Twisters Restaurant
Lot 17A, Plat of Lots 17A, 17B & 17C
Block 9, Tract 2, Unit 3 Albuquerque Acres, Albuquerque NM

L101
January 6, 2011

CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com



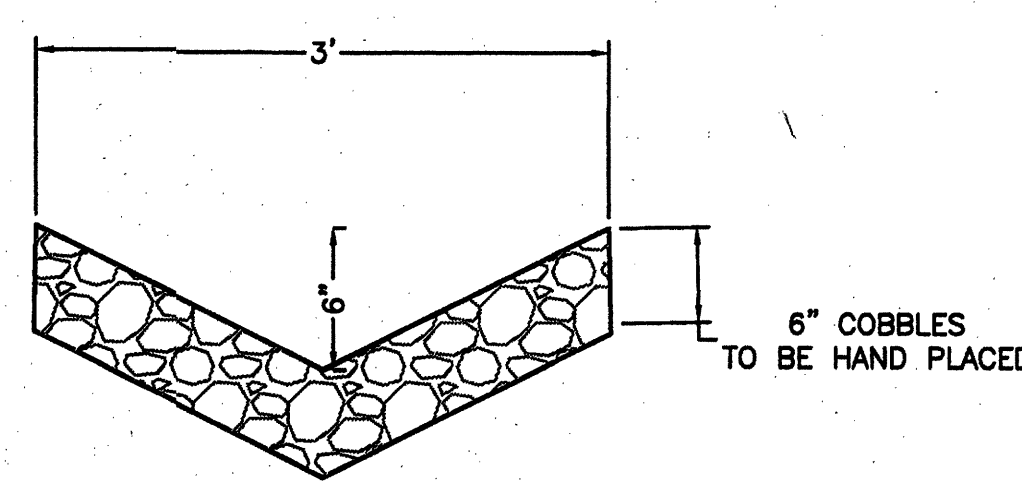
LEGAL DESCRIPTION:
 LOT 17, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL CURB SHALL BE 6" UNLESS OTHERWISE NOTED.
 3. CONTRACTOR SHALL DEPRESS ALL LANDSCAPE AREAS AS SHOWN TO PROVIDE FOR WATER HARVESTING.

DRAINAGE NARRATIVE:
 THIS SITE IS LOCATED WITHIN THE DOMINGO BACA DRAINAGE AREA AND NORTH ALBUQUERQUE ACRES DRAINAGE MANAGEMENT PLAN. THIS SITE IS ALLOWED FREE DISCHARGE. SITE DRAINAGE WILL FLOW TO THE WEST AND EXIT THE SITE VIA THE COMMON ACCESS EASEMENT DRAINING TO HOLLY. FLOWS SHALL BE CONVEYED WITHIN HOLLY TO THE WEST, ENTERING THE DOMINGO BACA REGIONAL DAM.

LEGEND

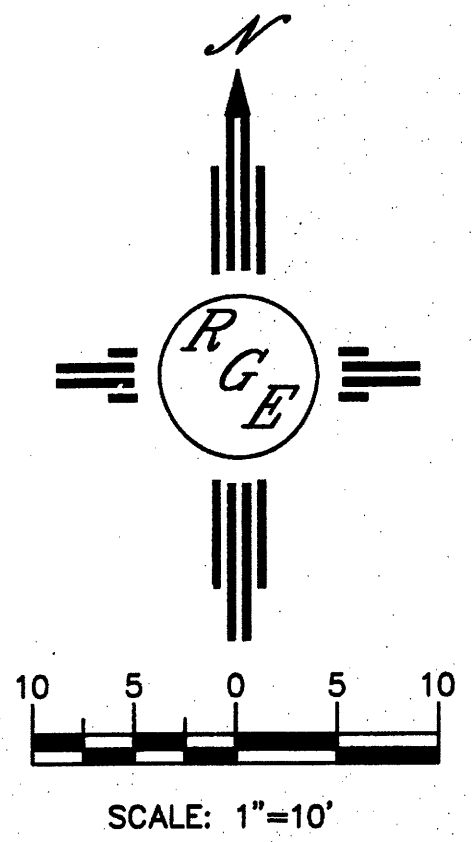
— 5394 —	EXISTING CONTOUR
— 5395 —	EXISTING INDEX CONTOUR
▲	SLOPE TIE
• 4048.25	EXISTING SPOT ELEVATION
• 4048.25	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	LIMITS OF CONSTRUCTION
---	PROPOSED CURB
---	EXISTING CURB


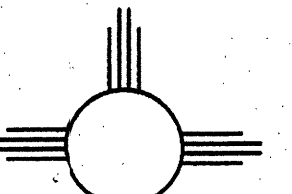


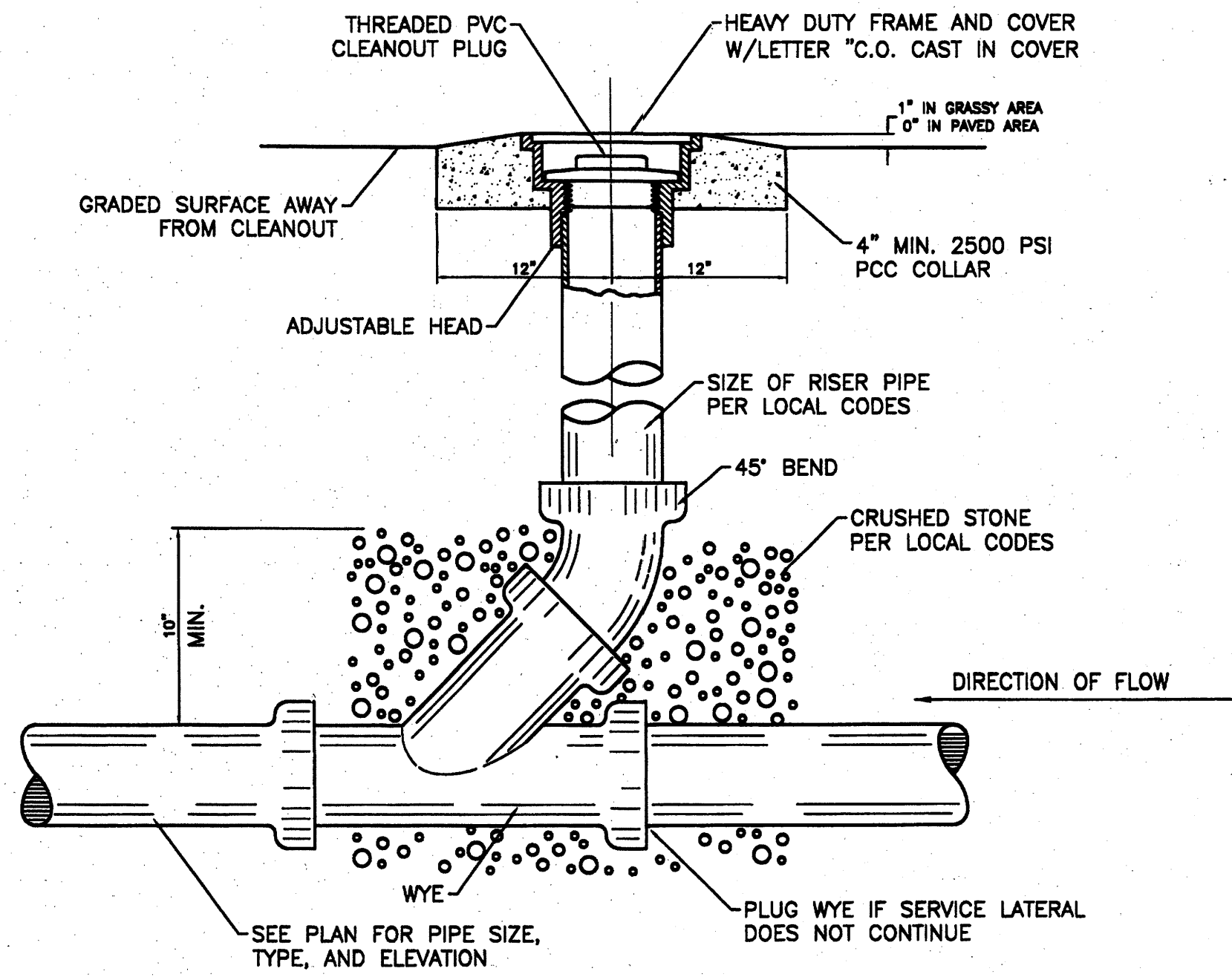
COBBLE SWALE DETAIL
 NTS

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

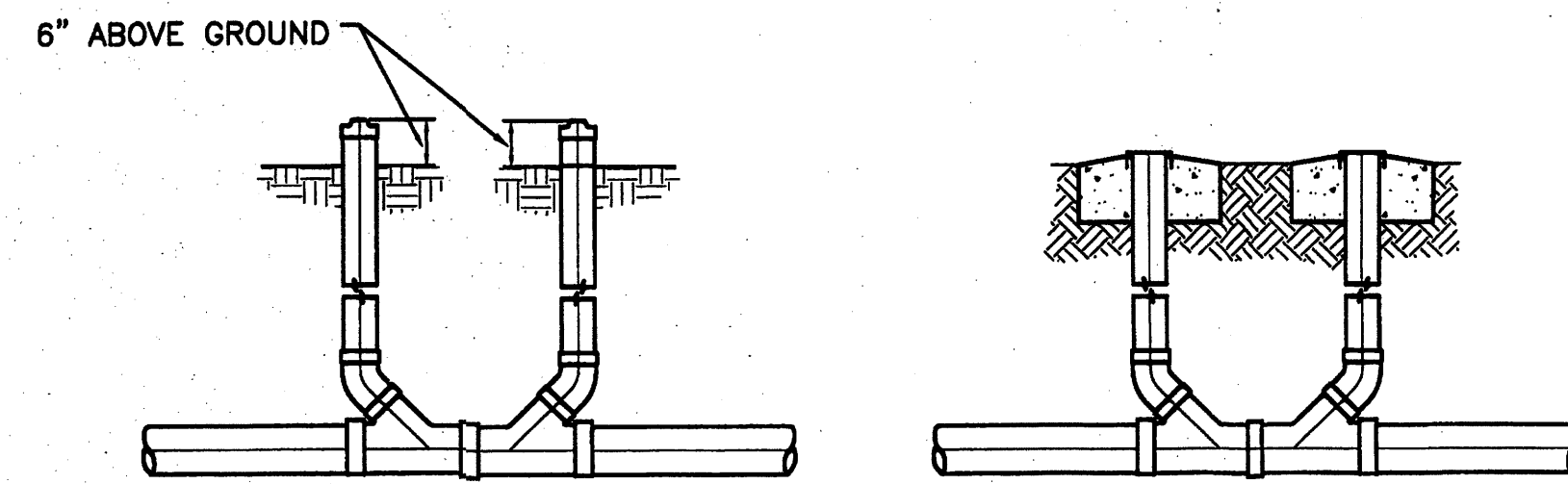


ENGINEER'S SEAL  DAVID SOULE P.E. #14522	TWISTERS	DRAWN BY WCUJ DATE 1-24-11 2143-LR007-10-10
	GRADING AND DRAINAGE PLAN  Rio Grande Engineering 1808 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0888	SHEET # JOB # 2143



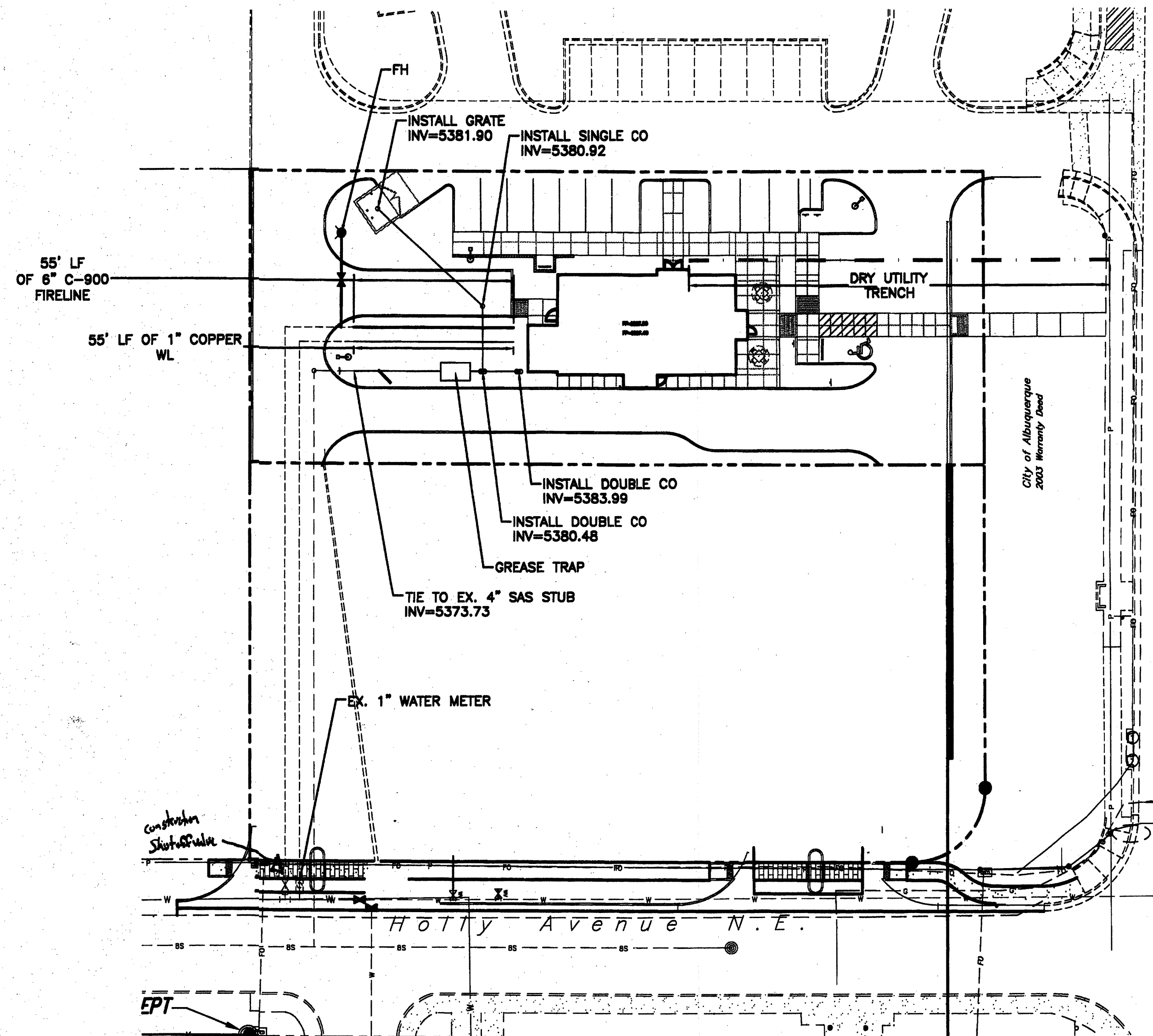
SANITARY SEWER CLEAN-OUT

NTS

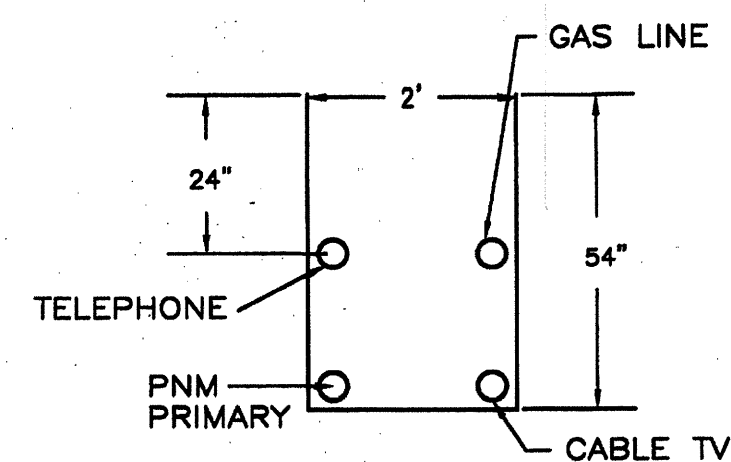


SANITARY SEWER DOUBLE CLEAN-OUTS

NTS



- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
 8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
 9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
 10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER. IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
 11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
 12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
 13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
 14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
 15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
 16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.



UTILITY TRENCH DETAIL

NTS

WATER SHUTOFF PLAN

SHUTOFF VALVES:

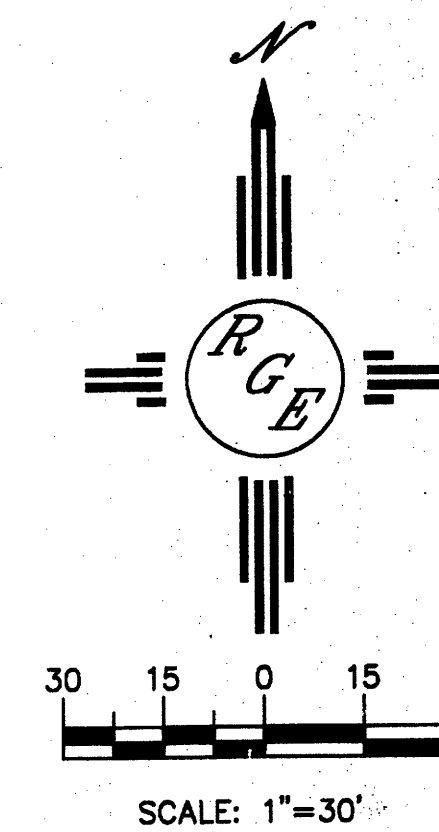
- NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
 2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 3. NOTIFY NEW MEXICO UTILITIES (898-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
 4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
 5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
 6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

LEGEND

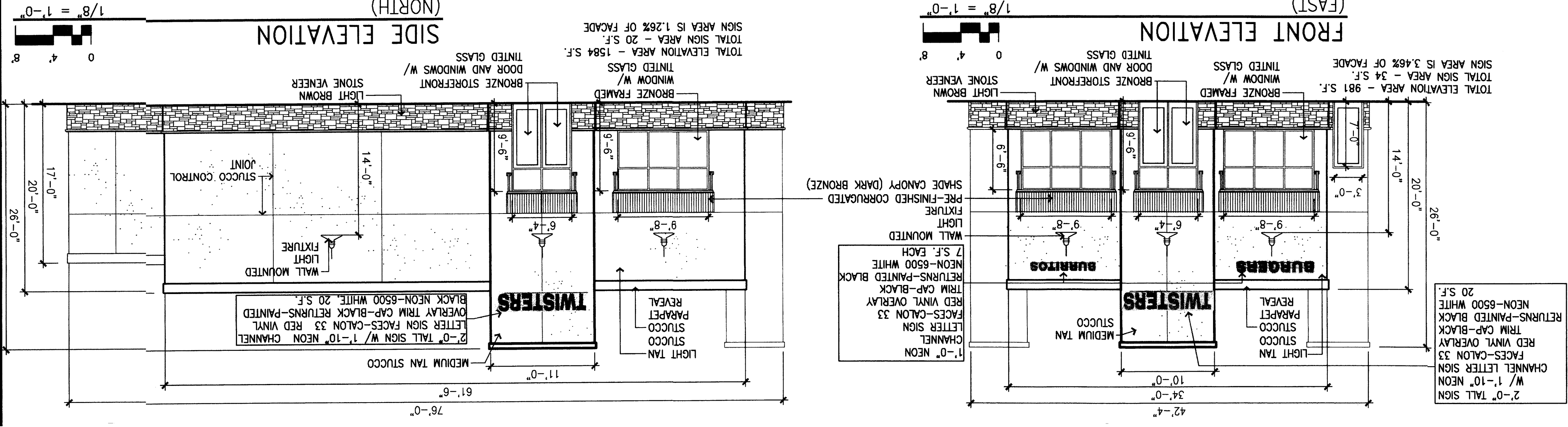
- EXISTING SAS MANHOLE
- - - - - EX. 8" SAS - - - - - EXISTING SANITARY SEWER LINE
- PROPOSED SAS MANHOLE
- PROPOSED SAS CLEANOUT
- - - - - 8" SAS - - - - - PROPOSED SANITARY SEWER LINE
- - - - - SANITARY SEWER SERVICE LINE
- - - - - EX. 12" WL - - - - - EXISTING WATER LINE
- PROPOSED METER
- ◀ PROPOSED VALVE W/BOX
- ◀ PROPOSED FIRE HYDRANT
- - - - - WATER SERVICE LINE
- - - - - 8" WL - - - - - PROPOSED WATER LINE
- - - - - PROPOSED STORM SEWER LINE
- - - - - EXISTING CURB & GUTTER
- - - - - PROPOSED CURB & GUTTER
- - - - - CENTERLINE
- - - - - RIGHT-OF-WAY
- - - - - DRY UTILITY TRENCH
- - - - - BOUNDARY LINE
- - - - - EASEMENT

GENERAL NOTES:

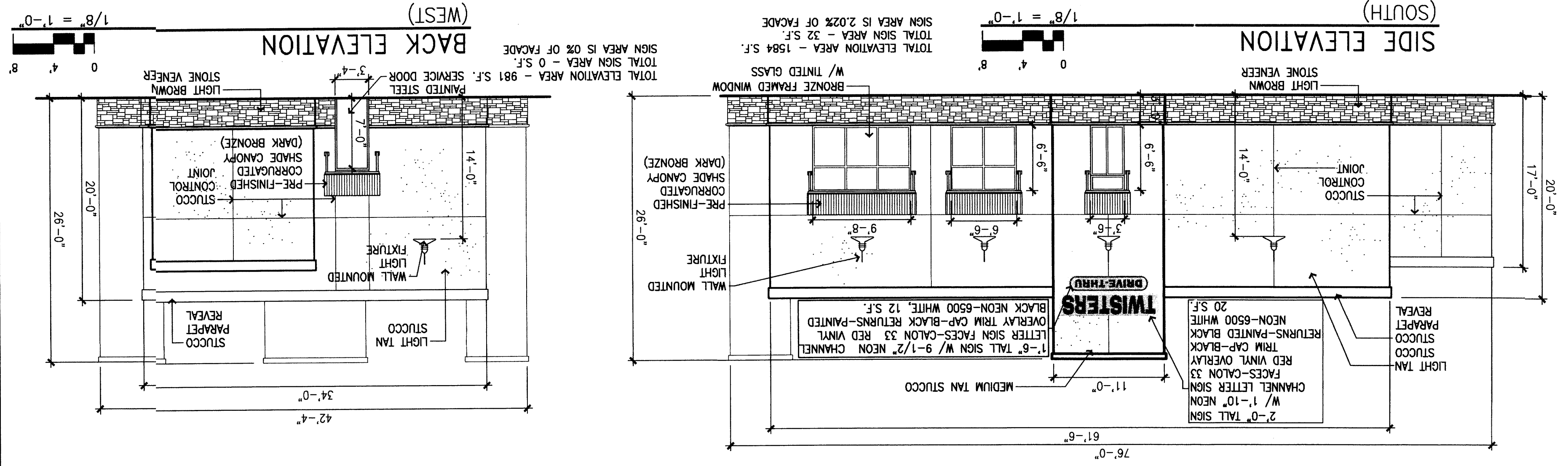
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.



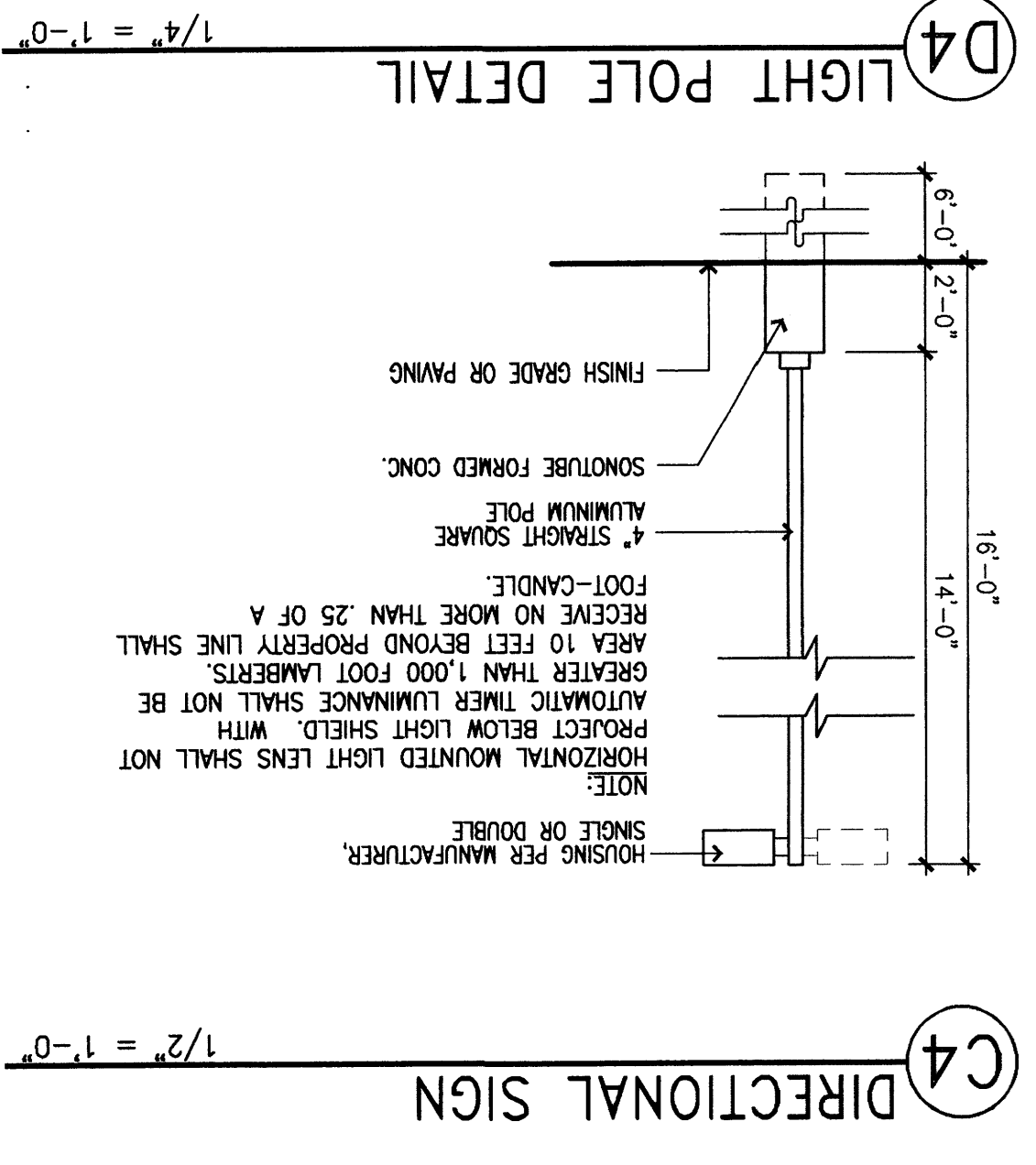
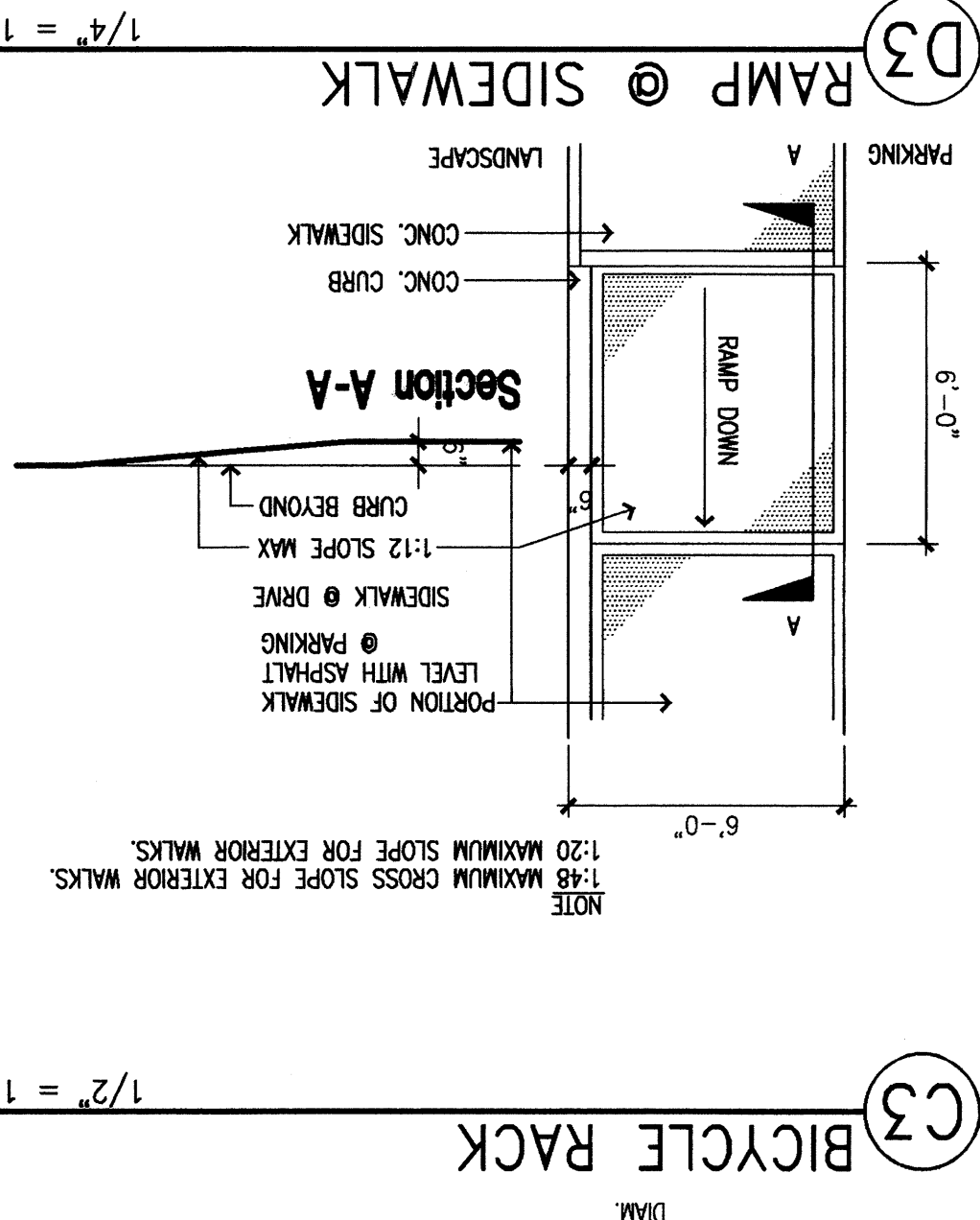
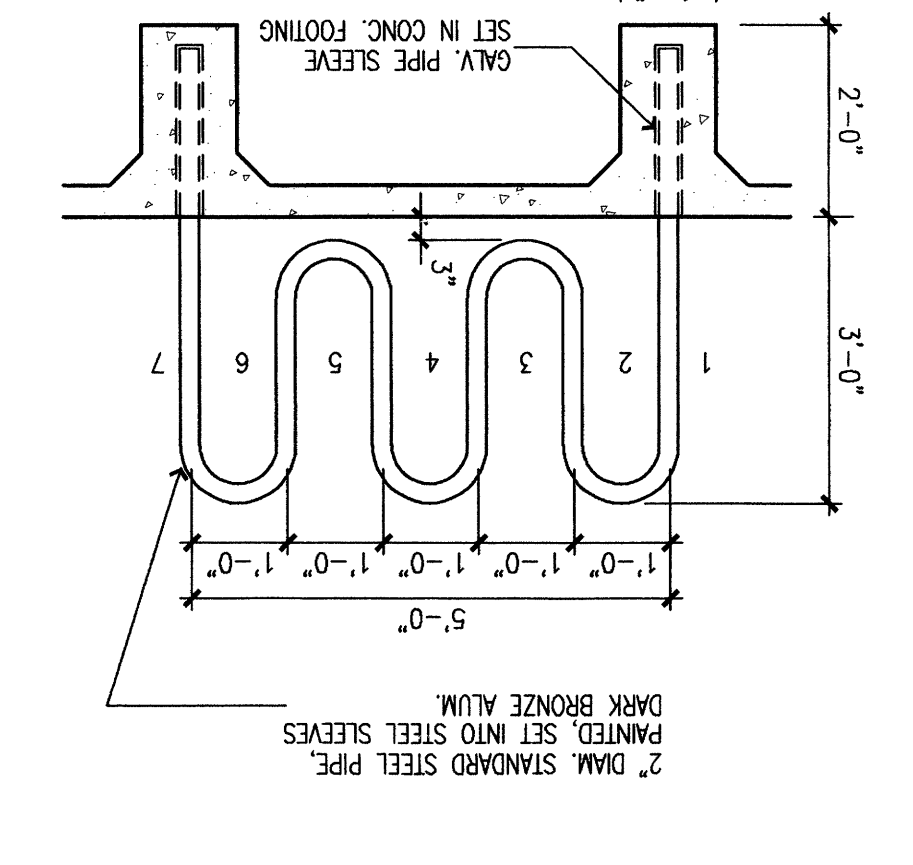
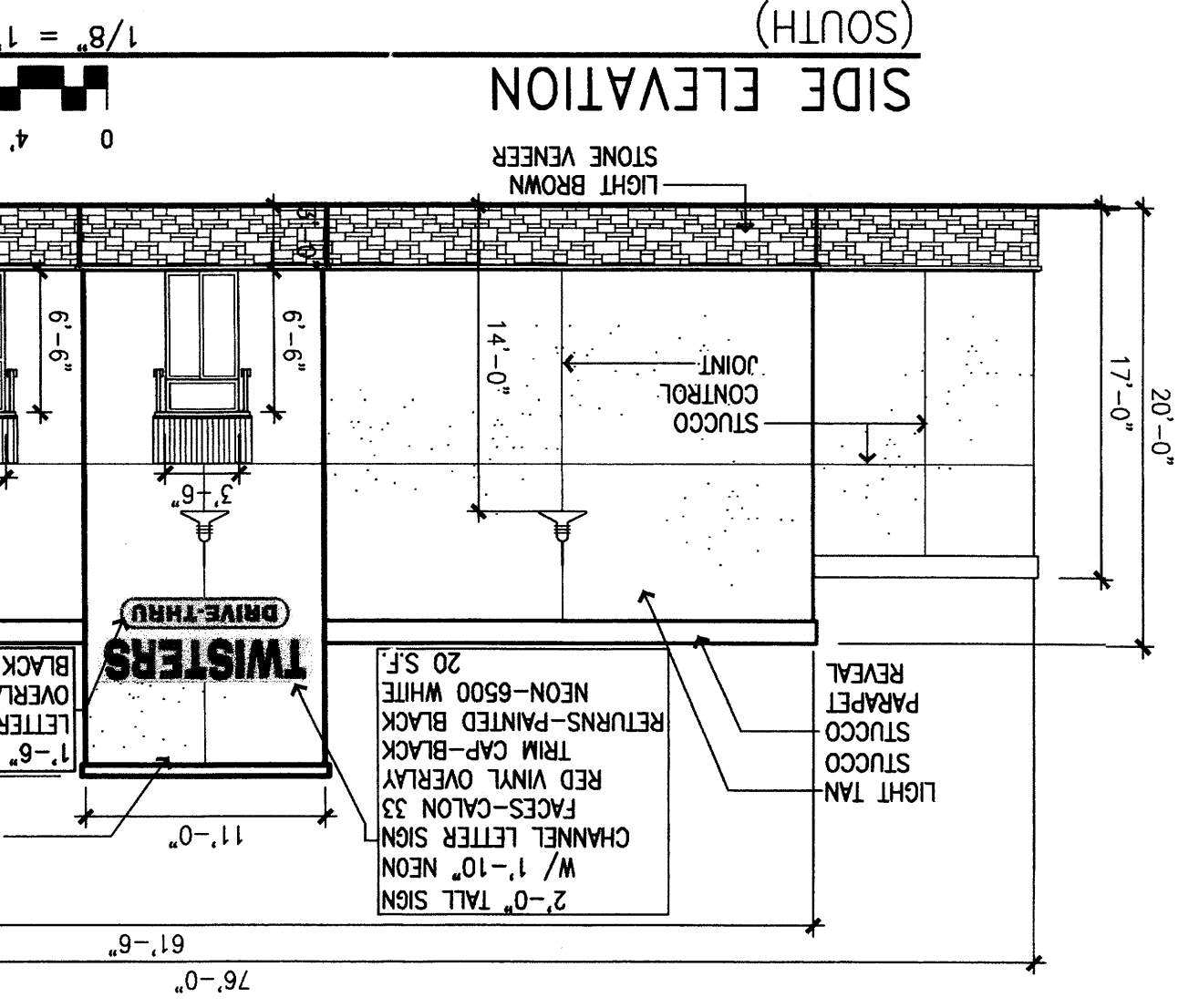
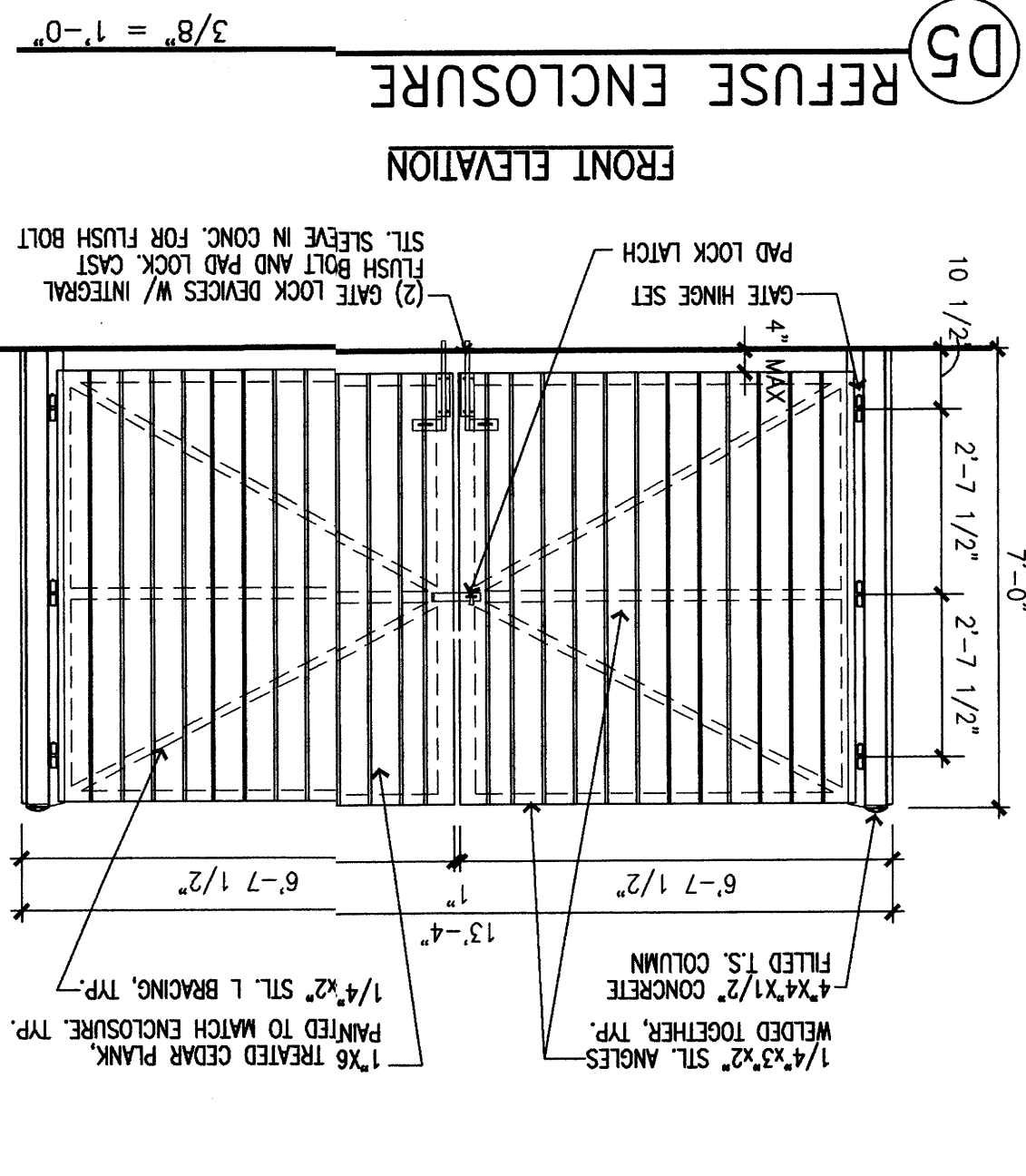
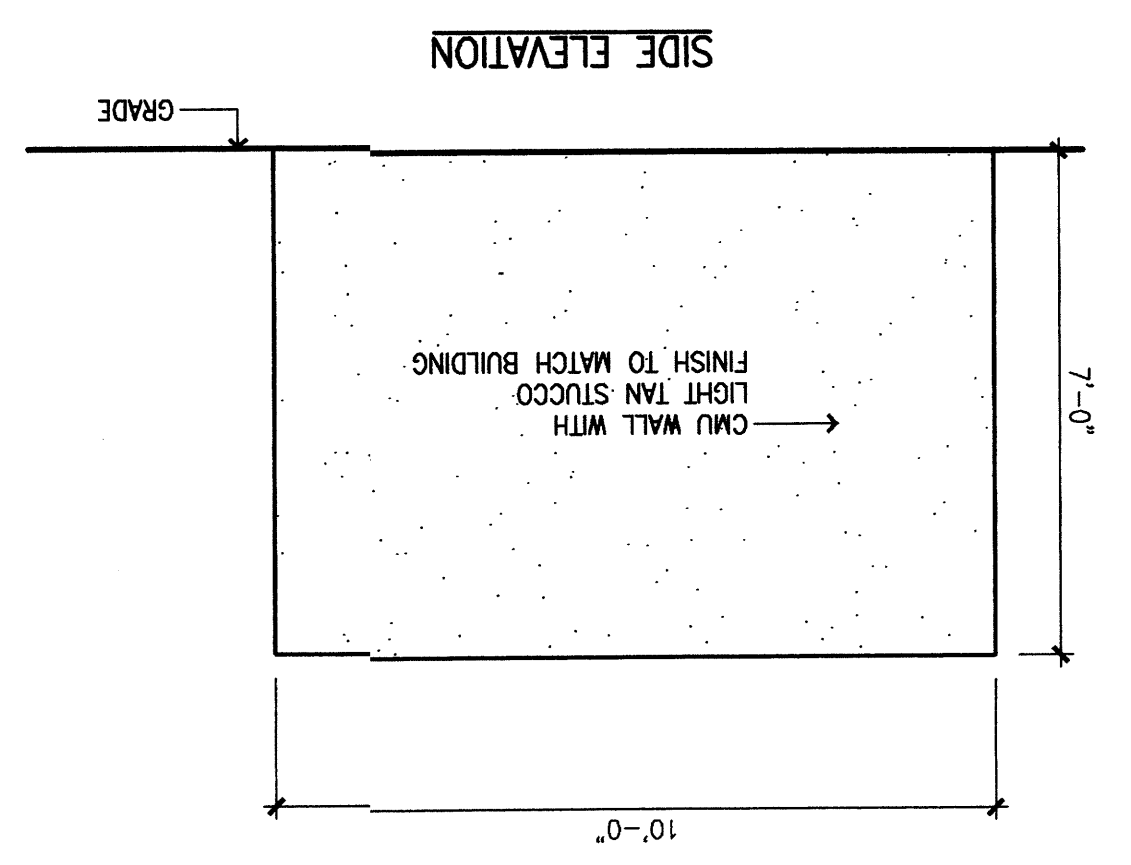
ENGINEER'S SEAL 	TWISTERS DATE 1-17-11	DRAWN BY WCKJ
	MASTER UTILITY PLAN	2143-LAYOUT-10-18-10
 Rio Grande Engineering 1808 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0899	SHEET #	JOB # 2143
	DAVID SOULE P.E. #14522	



2'-0" TALL SIGN
W/ 1"-10" NEON
CHANNEL LETTER SIGN
FACES-CALSON 33
RED VINYL OVERLAY
TRIM CAP-BLACK
RETURNS-PAINTED BLACK
NEON-6500 WHITE
7 S.F. EACH
PRE-FINISHED CORRUGATED
METAL CANOPY (DARK BRONZE)
WALL MOUNTED
LIGHT
FITTURE
STUCCO
REVEAL
PAPER
STUCCO
LIGHT TAN
1'-0" TALL SIGN
MEDIUM TAN STUCCO
11'-0"



2'-0" TALL SIGN
W/ 1"-10" NEON
CHANNEL LETTER SIGN
FACES-CALSON 33
RED VINYL OVERLAY
TRIM CAP-BLACK
RETURNS-PAINTED BLACK
NEON-6500 WHITE
20 S.F.
1'-8" TALL SIGN W/ 9-1/2" NEON
CHANNEL
LETTER SIGN FACES-CALSON 33 RED VINYL
OVERLAY TRIM CAP-BLACK
RETURNS-PAINTED
BLACK
TRIM CAP-BLACK
11'-0"
MEDIUM TAN STUCCO
1'-0" TALL SIGN
W/ 1-10" NEON
CHANNEL
LETTER SIGN
FACES-CALSON 33
RED VINYL OVERLAY
TRIM CAP-BLACK
RETURNS-PAINTED BLACK
NEON-6500 WHITE
12 S.F.
1'-8" TALL SIGN W/ 9-1/2" NEON
CHANNEL
LETTER SIGN FACES-CALSON 33 RED VINYL
OVERLAY TRIM CAP-BLACK
RETURNS-PAINTED
BLACK
TRIM CAP-BLACK
PRE-FINISHED
CORRUGATED
METAL CANOPY (DARK BRONZE)
WALL MOUNTED
LIGHT
FITTURE
STUCCO
REVEAL
PAPER
STUCCO
LIGHT TAN
2'-0" TALL SIGN
MEDIUM TAN STUCCO
11'-0"

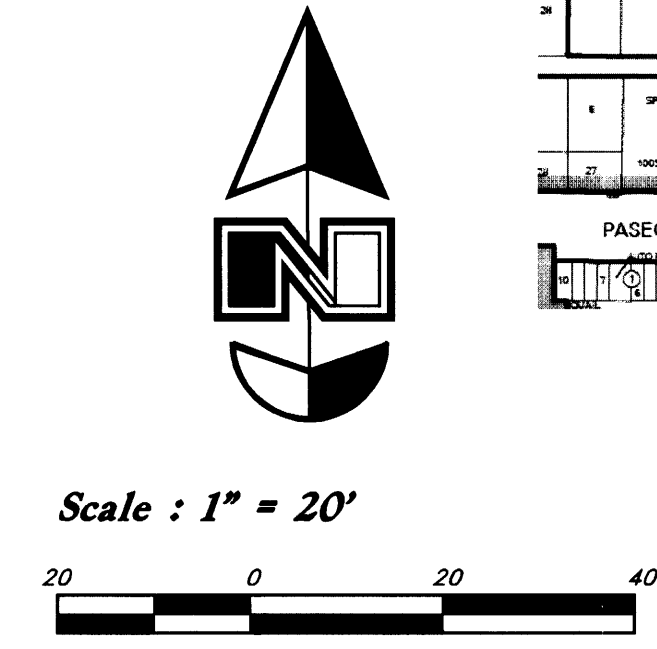
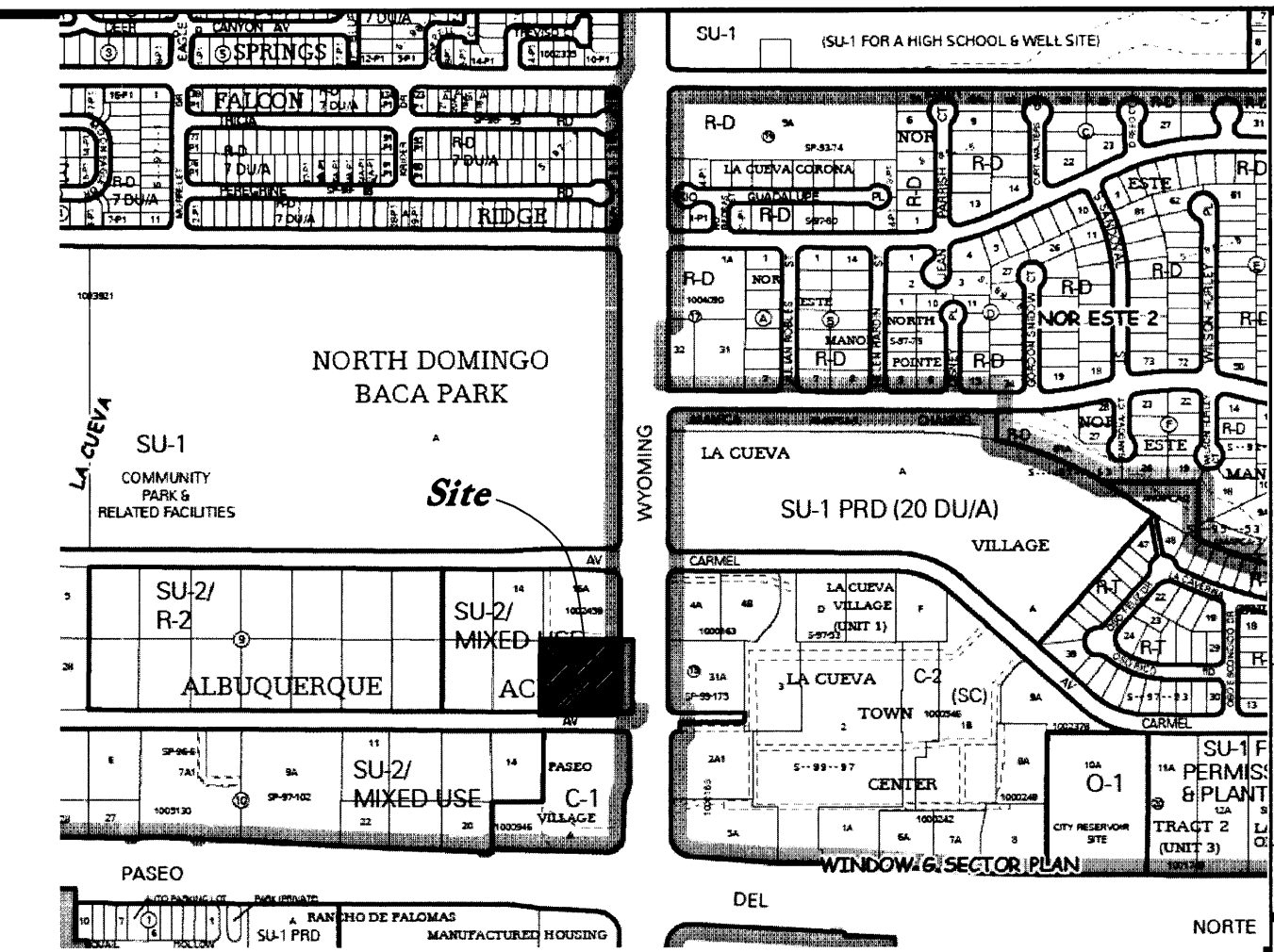
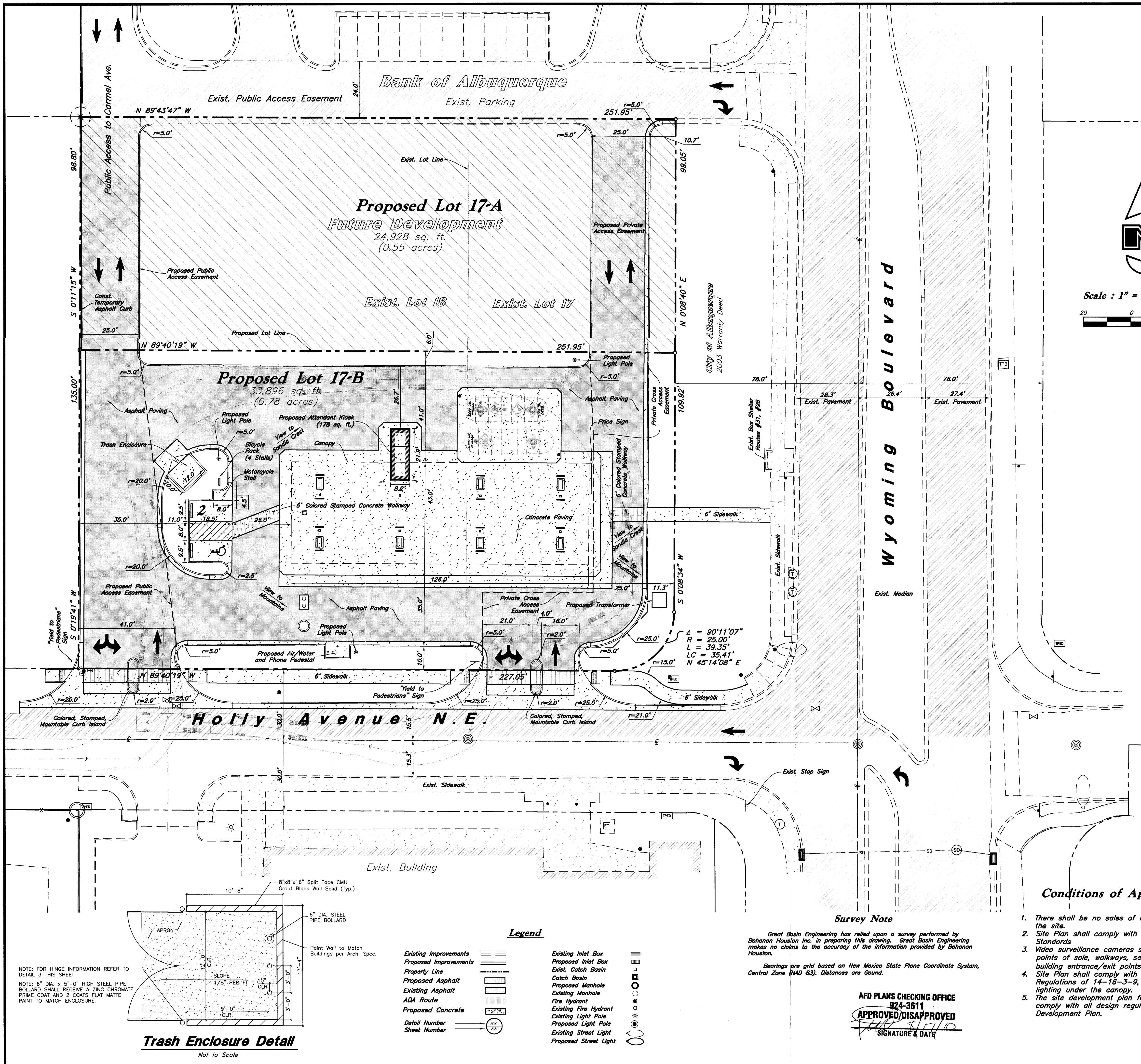


SHEET NO.

Twisters Restaurant
 Lot 17A, Plat of Lots 17A, 17B & 17C
 Block 9, Tract 2, Unit 3 Albuquerque Acres, Albuquerque NM



peter butterfield
 architect 13013 Glenwood Hills dr ne
 albuquerque nm 87111 (ph) 505 332 9323 (fax) 212 0901



Vicinity Map
Zone Atlas Page: C-19-Z

Description

The South 135' of Lot 17 and 18, Block 9, Tract 2, Unit 3 of the North Albuquerque Acres, City of Albuquerque, Bernalillo County, New Mexico.

Site Data

- Total Site Area = 33,896 Sq. Ft. (0.78 Acres)
- Kiosk Area = 178 Sq. Ft.
- Canopy Area = 5,418 Sq. Ft.
- Parking Required = 1 Stall
- Parking Provided = 1 Stall + 1 Accessible Stall
- Motorcycle Parking = 1 Stall Provided
- Bicycle Parking = 4 Stalls Provided
- Maximum Building Height = 36'
- Minimum Building Setback = 5'

Landscape Analysis

- Net Site Area = 27,442 Sq. Ft.
- Landscape Required = 4,116 Sq. Ft. (15%)
- Landscape Provided = 4,757 Sq. Ft. (17%)

PROJECT #

EPC Application #: 1003532 Case #5 10EPC-40035, -40036
DRB Application #:
DRB Project #:

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on July 8, 2010 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with.

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks and Recreation Department	Date
Public Works Water Utilities Division	Date
City Engineer, Engineering Division / AMAFC	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque Planning Division	Date
Joe White	8/10
Site Waste	Date
Fire Department	Date

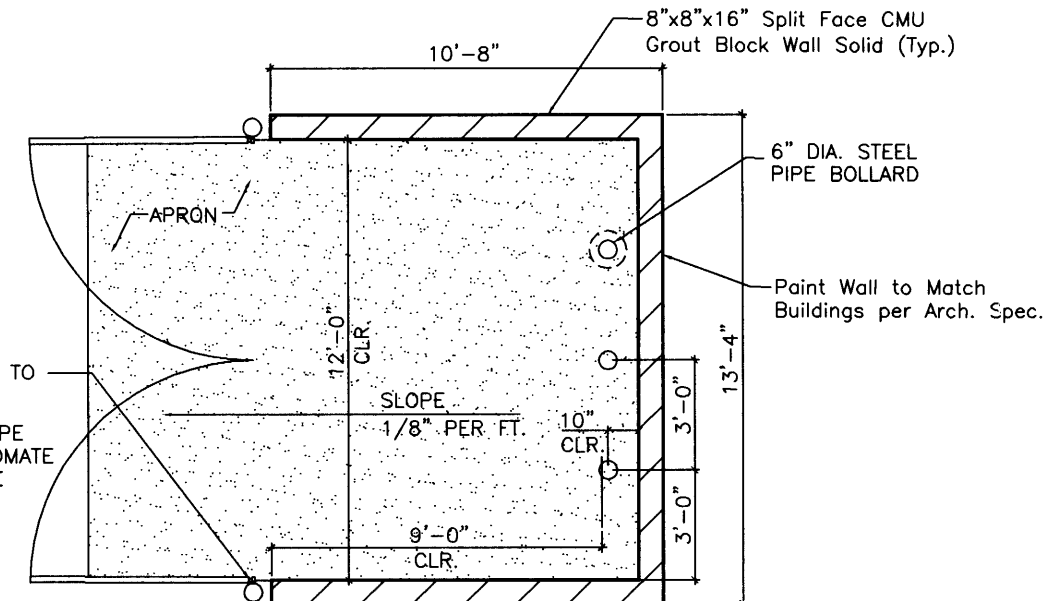
Conditions of Approval

1. There shall be no sales of alcohol from the kiosk on the site.
2. Site Plan shall comply with and be designed per DPM Standards
3. Video surveillance cameras shall be installed to view all points of sale, walkways, service islands, dumpsters and building entrance/exit points.
4. Site Plan shall comply with the General Lighting Regulations of 14-16-3-9, specifically in reference to lighting under the canopy.
5. The site development plan for building permit shall comply with all design regulations of the LaCueva Sector Development Plan.

Survey Note

Great Basin Engineering has relied upon a survey performed by Bohanan Houston Inc. in preparing this drawing. Great Basin Engineering makes no claims to the accuracy of the information provided by Bohanan Houston.
Bearings are grid based on New Mexico State Plane Coordinate System, Central Zone (NAD 83). Distances are Ground.

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
SIGNATURE & DATE



Legend

- | | |
|-----------------------|-----------------------|
| Existing Improvements | Existing Inlet Box |
| Proposed Improvements | Proposed Inlet Box |
| Property Line | Exist. Catch Basin |
| Proposed Asphalt | Proposed Manhole |
| Existing Asphalt | Existing Manhole |
| ADA Route | Fire Hydrant |
| Proposed Concrete | Existing Fire Hydrant |
| Detail Number | Existing Light Pole |
| Sheet Number | Proposed Light Pole |
| | Existing Street Light |
| | Proposed Street Light |

GREAT BASIN ENGINEERING - SOUTH
 CONSULTING ENGINEERS and LAND SURVEYORS
 2010 North Redwood Road, P.O. Box 16747
 Salt Lake City, Utah 84116
 Salt Lake City (801) 951-8529 Ogden (801) 394-2288 Fax (801) 951-8551

Site Development Plan for Building Permit / Subdivision Plat
Smith's Fuel Center
 Wyoming Boulevard and Holly Avenue NE
 Albuquerque, New Mexico



12 Aug, 2010

Smith's
FOOD & DRUG STORES
 1550 South Redwood Road
 Salt Lake City, Utah 84104
 Telephone (801) 974-1400
#459
 Albuquerque, New Mexico

PLAT OF
 LOTS 17-A, 17-B AND 17-C
 BLOCK 9, TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES

(BEING A REPLAT OF LOTS 17 AND 18, BLOCK 9
 TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES)

SITUATE WITHIN
 THE ELENA GALLEGOS GRANT
 IN

PROJECTED SECTION 18
 TOWNSHIP 11 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2010

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

Public Service Company of New Mexico (PNM) _____ Date _____

New Mexico Gas Company (NMGC) _____ Date _____

Indie Ramiel
 QWest Corporation _____ Date **08-16-10**

Comcast _____ Date _____

City Approvals: _____ Date _____

Russ P. Hugg
 City Surveyor _____ Date **8-13-10**
 Department of Municipal Development

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

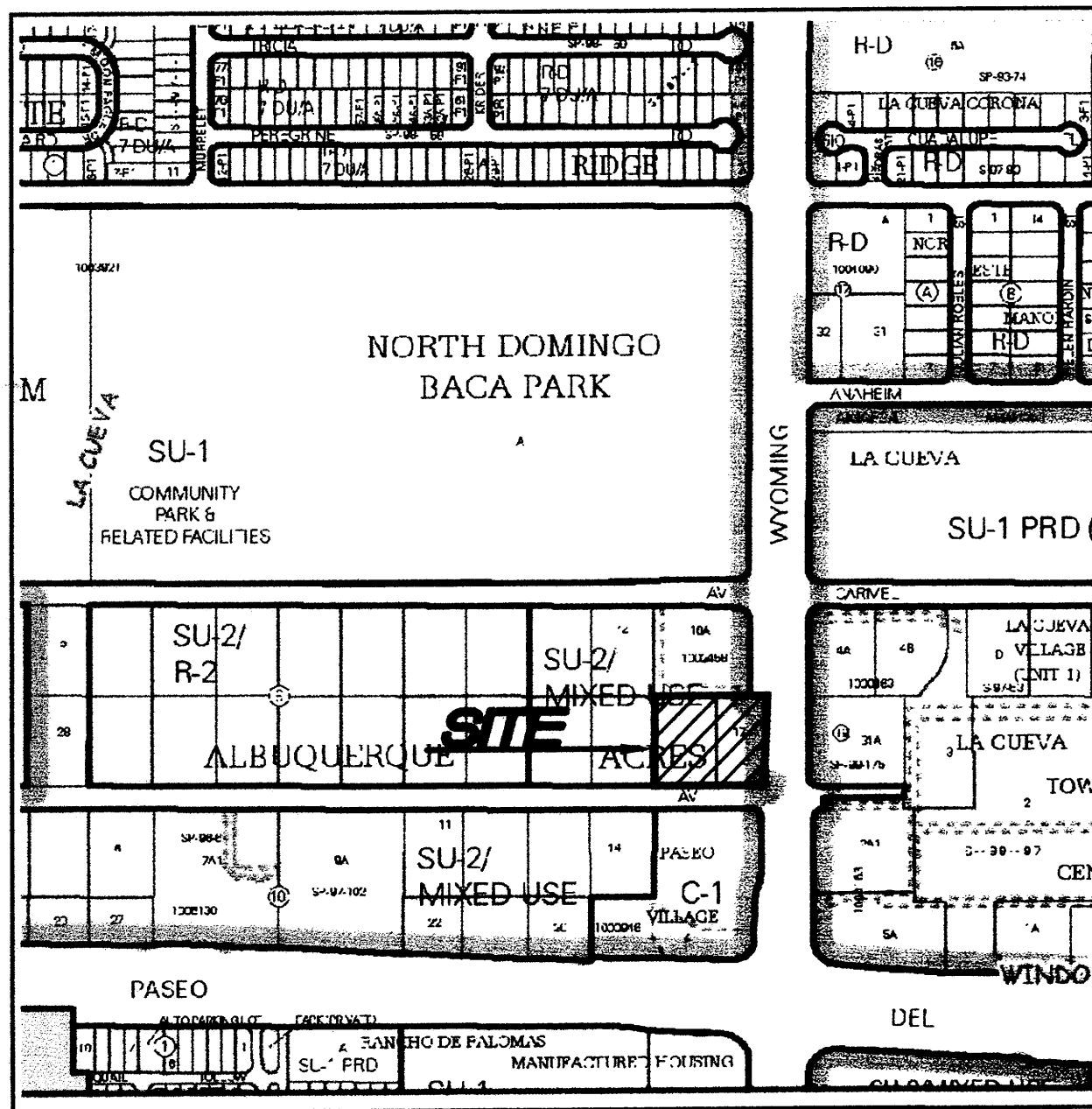
A.B.C.W.U.A. _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____



VICINITY MAP
 Not To Scale

GENERAL NOTES

- Bearings are New Mexico State Plane grid bearings, Central Zone - NAD83.
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated.
- U.C.L.S. Log Number 2010168010
- City of Albuquerque Zone Atlas: Page C-19-Z

DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:

- Plat entitled "TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO, SCALE: 1 INCH = 400 FEET", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 10, 1931, in Volume D1, Folio 20.
- Warranty Deed from Bandelier Equities Ltd. Co. to The City of Albuquerque, filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 22, 2003, in Book A65, Page 3501.

SUBDIVISION DATA

Total number of existing Lots: 2
 Total number of new Lots created: 3
 Gross Subdivision acreage: 1.6101 acres.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico (PNM), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive nor release any easement or easement rights to which it may have been granted by prior plat, replat or other document and which are not shown on this plat.

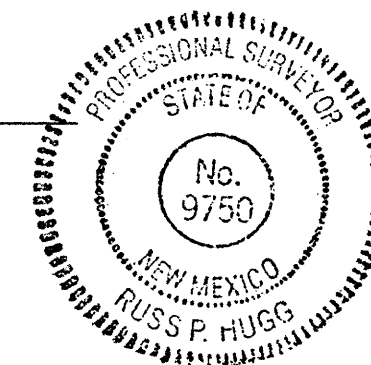
PURPOSE OF PLAT:

The Purpose of this plat is to create 3 new Lots from existing Lots 17 and 18, Block 9, Tract 2, Unit 3, North Albuquerque Acres and grant the public and private easements as shown hereon.

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 August 10, 2010



SURV TEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377

PLAT OF
LOTS 17-A, 17-B AND 17-C
BLOCK 9, TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES

(BEING A REPLAT OF LOTS 17 AND 18, BLOCK 9
 TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES)

SITUATE WITHIN
THE ELENA GALLEGOS GRANT

IN
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2010

LEGAL DESCRIPTION

That certain parcel of land situate within the Elena Gallegos Grant in Projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Lots 17 and 18, Block 9, Tract 2, Unit 3, North Albuquerque Acres, as the same is shown and designated on the plat entitled "TRACT 2 UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO, SCALE: 1 INCH = 400 FEET", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 10, 1931, in Volume D1, Folio 20, more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the southwesterly corner of the parcel herein described (a 5/8" rebar with cap stamped "LS 9750" set in place), said point also being the southwesterly corner of said Lot 18, and also being a point on the northerly right of way line of Holly Avenue N.E., whence Albuquerque Control Survey Monument "HEAVEN" bears S 15°43'55" W, 647.54 feet distant; Thence,

N 00°20'37" E, 233.87 feet to the northwesterly corner of the parcel herein described (a 5/8" rebar with cap stamped "LS 9750" set in place), said point also being the northwesterly corner of said Lot 18; Thence,

S 89°41'35" E, 299.69 feet to a point (a concrete nail with brass disk stamped "LS 9750" set in place), said point also being the northeasterly corner of said Lot 17, and also being a point on the westerly right of way line of Wyoming Boulevard N.E.; thence,

S 00°18'25" W, 234.06 feet to a point (a concrete nail with brass disk stamped "LS 9750" set in place), said point also being the point of intersection of said northerly right of way line of Holly Avenue N.E. and said westerly right of way line of Wyoming Boulevard N.E.; Thence,

N 89°39'23" W, 299.84 feet to the point of beginning.

Said parcel contains 1.6101 acres, more or less

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF LOTS 17-A, 17-B AND 17-C, BLOCK 9, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES (BEING A REPLAT OF LOTS 17 AND 18, BLOCK 9, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby grant the easement(s) as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to Lots 17-A and 17-B as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER(S)

LOT 18 AND WESTERLY PORTION OF LOT 17

V-MOD, LLC, a New Mexico limited liability company

Jabeen Vagh
 By: **JABEEN VAGH**
 MANAGING MEMBER

FREE CONSENT

SURVEYED AND REPLATTED and now comprising "PLAT OF LOTS 17-A, 17-B AND 17-C, BLOCK 9, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES (BEING A REPLAT OF LOTS 17 AND 18, BLOCK 9, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner and proprietor. Said owner and proprietor does hereby consent to all of the foregoing and does hereby certify that it is authorized to so act.

EASTERLY PORTION OF LOT 17
 CITY OF ALBUQUERQUE

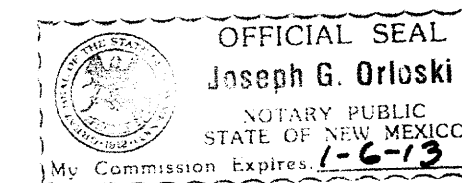
David S. Campbell
 By: **David S. Campbell**, Chief Administrative Officer, City of Albuquerque, a New Mexico Municipal Corporation.

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 13TH day of August, 2010, by JABEEN VAGH

[Signature]
 Notary Public My commission expires 1-6-13

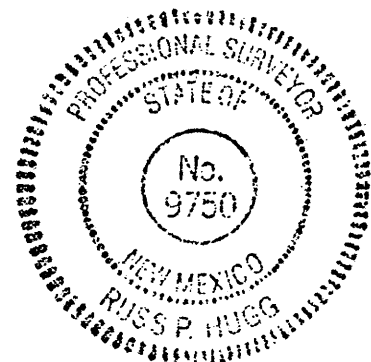
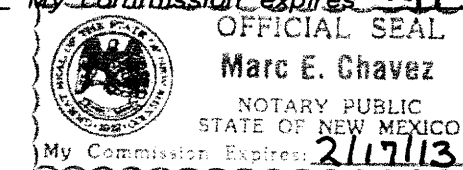


ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 13th day of August, 2010, by David S. Campbell, Chief Administrative Officer, City of Albuquerque, a New Mexico Municipal Corporation.

Marc E. Chavez
 Notary Public My commission expires 2/17/13



PLAT OF
LOTS 17-A, 17-B AND 17-C
BLOCK 9, TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES

(BEING A REPLAT OF LOTS 17 AND 18, BLOCK 9 TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES)

SITUATE WITHIN
THE ELENA GALLEGOS GRANT

IN
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2010

LOT 14
 BLOCK 9, TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 Filed 9-10-1931 in Plat Book D1, Folio 20

LOT 19
 BLOCK 9, TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 Filed 9-10-1931 in Volume D1, Folio 20

LOT 16-A
 BLOCK 9, TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES

Filed 1-08-2007 in Plat Book 2007C, Page 5
 Document No. 2007003977

Existing 22' Public Access Easement granted by plat filed January 8, 2007, in Plat Book 2007C, Page 5, as Document No. 2007003977.

Existing 24' Private Access Easement for the benefit and use for the owners of Lots 16-A, 17 and 18, Block 9 and is to be maintained by the owners of Lot 16-A, Block 9, granted by plat filed January 8, 2007, in Plat Book 2007C, Page 5, as Document No. 2007003977.

Set 5/8" Rebar and cap stamped "L.S. 9750" (typical)

Corner not set - falls within street

Existing Permanent Easement granted to the City of Albuquerque by document filed February 2, 2007 in Book A130, Page 474, as Document No. 2007000474.

Set 5/8" Rebar and cap stamped "L.S. 9750" (typical)

Public Access Easement granted by this plat for the benefit and use of the owners of Lots 17-A, 17-B and Lots 19 and 20, Block 9 and is to be maintained by the respective owners of said Lots 17-A, 17-B, 19 and 20.

LOT 17-A
 0.5718 Acres

Private Access Easement granted by this plat for the benefit and use of the owners of Lots 17-A and 17-B Block 9 and is to be maintained by the respective owners of said Lots 17-A and 17-B.

Lot Line Eliminated by this plat.

5' Public Utility Easement granted by this plat

* **LOT 17-C**
 0.2610 Acres

* Note:
 Lot 17-C is Public Street right of way owned by the City of Albuquerque

LOT 18
 BLOCK 9, TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 Filed 9-10-1931 in Plat Book D1, Folio 20

REMAINDER LOT 17
 BLOCK 9, TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 Filed 9-10-1931 in Plat Book D1, Folio 20

LOT 17-B
 0.7773 Acres

Private Access Easement granted by this plat for the benefit and use of the owners of Lots 17-A and 17-B Block 9 and is to be maintained by the respective owners of said Lots 17-A and 17-B.

PORTION OF LOT 17
 Conveyed to the City of Albuquerque by
WARRANTY DEED
 Filed 9-22-2003 in Book 465, Page 3501
 as Document Number 2003173865

Existing Overhead Easement granted by document filed February 1, 1990 in Book BCR 90-2, Page 6457, as Document No. 90-8454.

Set 5/8" Rebar and cap stamped "L.S. 9750" (typical)

5' Public Utility Easement granted by this plat

Set 5/8" Rebar and cap stamped "L.S. 9750" (typical)

Corner not set - falls within street

HOLLY AVENUE N.E.
 60' R/W

WYOMING BOULEVARD N.E.
 R/W Width Varies

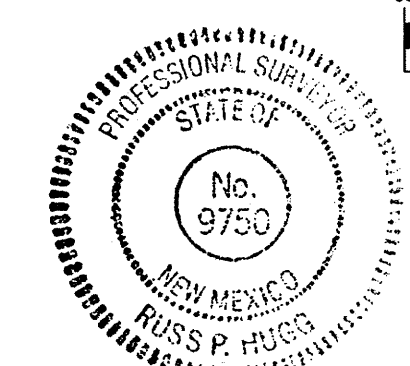
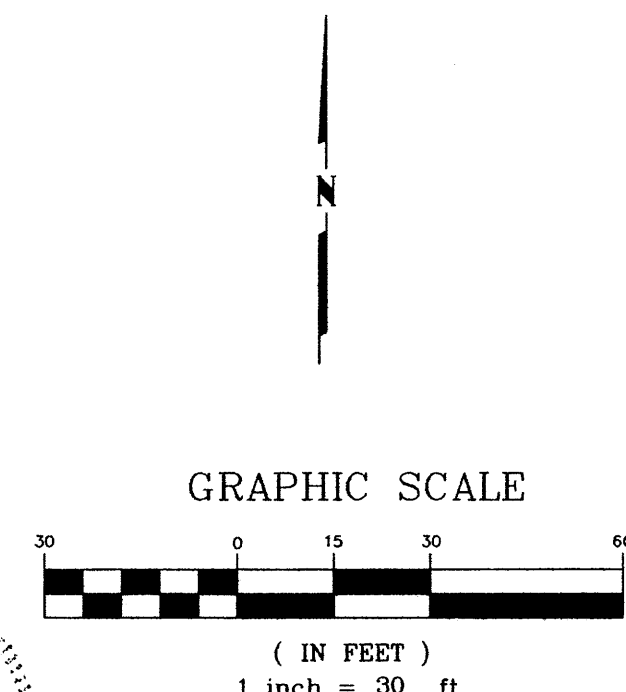
LOT 31A
 TRACT 2, UNIT 3, BLOCK 19
 NORTH ALBUQUERQUE ACRES
 Filed 09-15-99 in Plat Book 99C, Page 270
 Document No. 199919859

LINE	LENGTH	BEARING
L1	99.01	S00°19'41"W
L2	41.95	S03°13'31"E
L3	46.80	N89°40'19"W
L4	33.12	S00°19'41"W
L5	10.15	N00°19'41"E
L6	14.44	S89°40'19"E
L7	20.73	N44°11'24"E
L8	109.90	N00°19'41"E
L9	99.03	N00°19'41"E
L10	23.00	S89°39'23"E
L11	25.60	S89°39'24"E
L12	10.43	S89°39'23"E
L13	60.00	S00°19'41"W

Albuquerque Central Survey Monument "HEAVEN"
 New Mexico State Plane Coordinates
 Central Zone (NAD 83)
 North = 1,518,799.515
 East = 1,547,297.145
 Elevation = 5,378.235 (NAVD 1988)
 Delta Alpha = -00°10'46.22"
 Ground-to-Grid Factor = 0.999655810

TRACT A
PASEO VILLAGE
 Filed 2-15-2001 in Plat Book 2001C, Page 52
 Document Number 2001015755

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	39.29'	25.00'	25.02'	35.37'	N45°19'31"E	90°02'12"

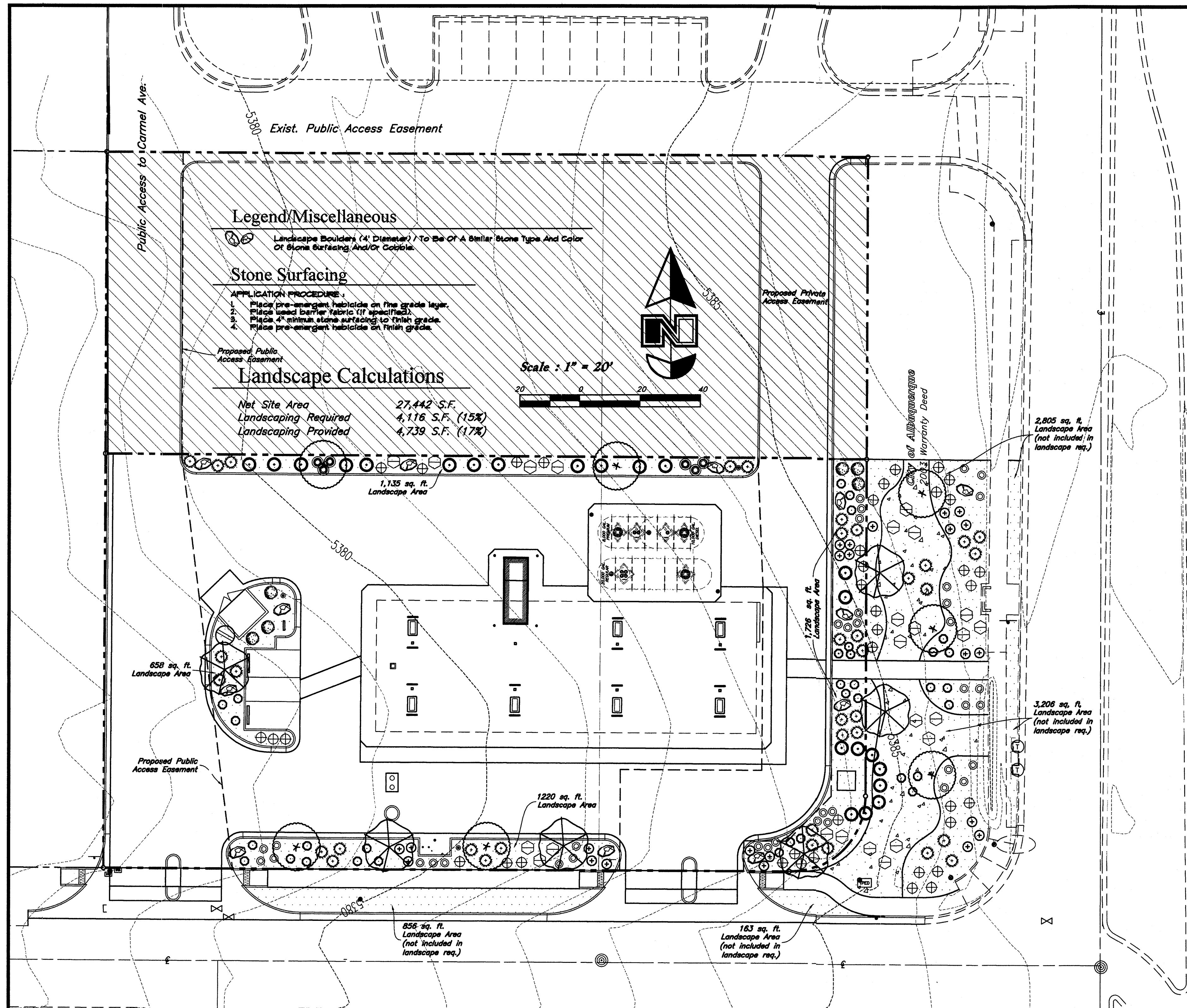


SHEET 3 OF 3

SURV TEK, INC.

Consulting Surveyors
 8984 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3388 Fax: 505-897-3377

100276.dwg



Plant List (TREES)

Quan.	Symbol	Botanical Name	Common Name	Size	20 Yr. Ht.	20 Yr. Spd.
6		Fraxinus velutina	Arizona Ash	2" Caliper / 10"-12" Ht.	40 Ft.	40 Ft.
7		Ulmus parvifolia	Lacebark Elm	2" Caliper / 10"-12" Ht.	40 Ft.	40 Ft.

Plant List (SHRUBS)

Quan.	Symbol	Botanical Name	Common Name	Size	5 Yr. Ht.	5 Yr. Spd.
33		Caryopteris x clandonensis	Blue Mist Spirea	5 Gallon / 18"-24" Ht.	3 Ft.	4 Ft.
6		Chrysothamnus nauseosus	Rubber Rabbitbrush	5 Gallon / 15"-18" Ht.	5 Ft.	5 Ft.
38		Hebea parviflora	Red Flowering Yucca	5 Gallon / 15"-18" Ht.	3 Ft.	4 Ft.
36		Juniperus sabina 'Broadmoor'	Broadmoor Juniper	5 Gallon / 18"-24" Spd.	3 Ft.	6 Ft.
22		Photinia fraseri	Red Tip Photinia	5 Gallon / 18"-24" Ht.	8 Ft.	8 Ft.
23		Salvia dorrii	Desert Sage	5 Gallon / 15"-18" Ht.	2 Ft.	3 Ft.

Plant List (ORNAMENTAL GRASSES/VINES)

Quan.	Symbol	Botanical Name	Common Name	Size	5 Yr. Ht.	5 Yr. Spd.
1		Eriarthus ravensae	Raven Grass	5 Gallon / 24"-30" Ht.	12 Ft.	9 Ft.
44		Helleotrichon sempervirens	Blue Avena Grass	5 Gallon / 15"-18" Ht.	2 Ft.	1 Ft.
24		Miscanthus gracillimus	Gracillimus Maiden Grass	5 Gallon / 24"-30" Ht.	5 Ft.	5 Ft.

Legend / Materials

Symbol	Item	Description / Remarks
	Decorative Stone Surfacing 2" Minus Size / Washed (Tan Color)	Place To A Uniform Depth Of 4 Inches Over Approved Weed Barrier Fabric (Optional). The Sub-grade Shall Be Raked Smooth & Clear Of All Material Over 1" In Size. (Contractor to Submit Samples to Engineer Before Installation)
	Decorative Stone Surfacing 4" Minus Size / Washed (Red or Dark Brown Color)	Place To A Uniform Depth Of 4 Inches Over Approved Weed Barrier Fabric (Optional). The Sub-grade Shall Be Raked Smooth & Clear Of All Material Over 1" In Size. (Contractor to Submit Samples to Engineer Before Installation)

Planting Notes

- All new planting and stone surfacing areas shall be sub-graded to a depth of 4 inches below the ultimate finish grade, allowing for the installation of a 4 inch layer of either bark mulch for plant water wells and/or the installation of stone surfacing and weed barrier fabric.
- All plant material holes shall be dug a minimum 2 times the diameter of the rootball and (6") inches deeper. Excavated material shall be removed from the site, or used for other grading purposes on the site.
- Plant backfill mixture shall be composed of 4 parts (80%) topsoil to 1 part (20%) humus mulch additive, and shall be rotary mixed on-site prior to installation.
- Plant fertilizer shall be 'Agrifom' brand 21 gram tablets used as per manufacturer's recommendations.
- Upon completion of planting operations, all shrub and tree wells shall receive a (3") inch minimum depth of the ground bark in the planting pit. The overall shrub areas (beyond the planting pit), shall receive a 3 inch depth of the type of stone surfacing or cobble rock as specified.
- All areas where different types of stone surfacing are adjacent, shall be neatly placed together, matching a uniform transition from one material type to the other. It is not the intent to any type of edger for this.
- The project shall be swept clean of dirt and debris prior to completion of the project.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of final completion and acceptance.

General Notes

- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 3/4" below the top of all surrounding walks, curbs, etc.
- The contractor shall stake the location of all plants for approval prior to planting. Trees shall be located equidistant from all surrounding plant material. Shrubs and ground covers shall be triangular and equally spaced.
- The plant materials list is provided as an indication of the specific requirements of the plants specified, wherever in conflict with the planting plan, the planting plan shall govern.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications. The Owner/Landscape Architect decision will be final.
- The contractor shall keep the premises, storage areas and paving areas neat and orderly at all times. Remove trash, sweep, clean, hose, etc. daily.
- The contractor shall plant all plants per the planting details, stakes/guy as shown. The top of root balls shall be planted flush with finish grade.
- The contractor shall not impede drainage in any way. The contractor shall always maintain positive drainage away from the building, walks, etc.
- The contractor shall maintain all work until all work is complete and accepted by the Owner. In addition, the contractor shall maintain and guarantee all work for a period of ONE YEAR from the date of final acceptance by the Owner. The contractor shall provide a bond for 20% of the landscape and irrigation work for the same ONE YEAR maintenance and guarantee period. Maintenance shall include mowing, weeding, fertilizing, cleaning, insecticides, herbicides, etc.
- It shall be the contractor's responsibility to ensure that any damaged or disturbed landscaping from the construction of this project is to be returned to as good or better condition.
- It shall be the responsibility of the property owner to maintain all landscaping and irrigation facilities after construction at the end of the contractor warranty period.

Sub-Grade Requirements

- SHRUB/STONE AREAS: Four (4) inches below finish grade. This will allow for the installation of the required depth of decorative stone surfacing, leaving the grade slightly below finish grade of concrete areas.

Irrigation Notes

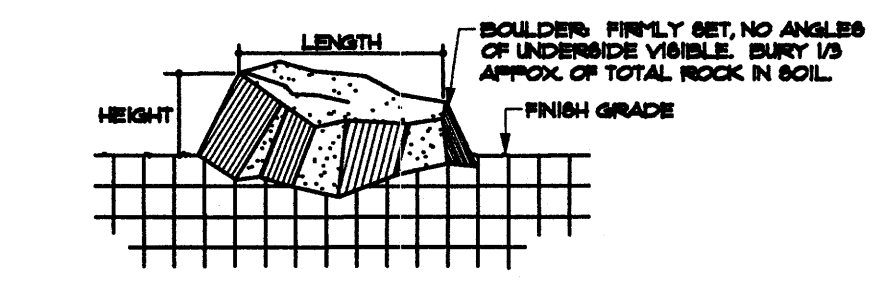
- All plant materials shown on the drawing shall be serviced by an automatic underground irrigation system. The contractor is to have a qualified irrigation system specialist prepare a design for an automatic underground irrigation system and submit drawings to the engineer for approval at least 30 days prior to the system installation. Underground irrigation system drawings shall be prepared on 24"x36" sheets, neatly drawn and very legible. Drawings are to include head spacing, types of heads, piping with sizes, valves, fitting, drip irrigation system, backflow prevention detail and all other items required for proper installation of the system.
- The landscape contractor shall be responsible for the installation of all irrigation sleeves prior to placement of hard improvements. Coordinate with the general contractor.
- The utility contractor is to provide an irrigation system connection to either the culinary or secondary waterline, as applicable, within state and local jurisdictional codes.
- The irrigation contractor is responsible to coordinate this item with the utility contractor.
- The irrigation control box shall be located or relocated at the direction of the project manager.

Note Of Ordinance Compliance

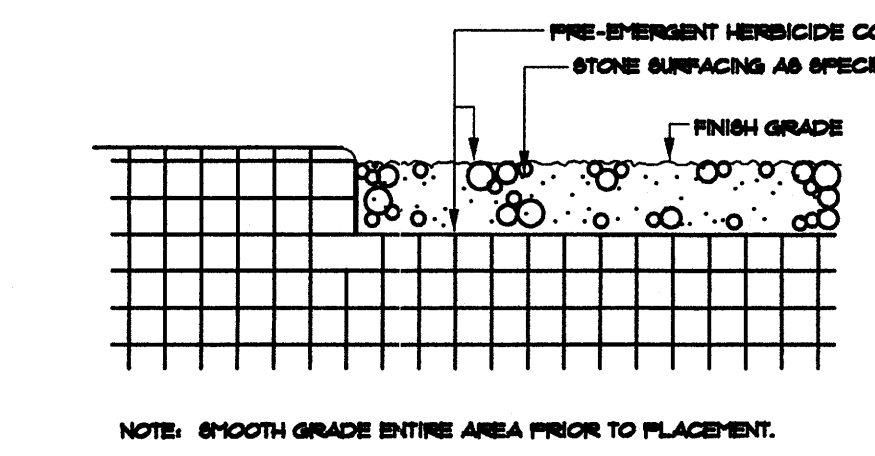
- All New Landscaping Shall Be In Compliance With The Water Conservation Landscaping And Water Waste Ordinance.
- 75% of Living Ground Cover Is Provided at 5 Year Maturity.

Street Trees Notes

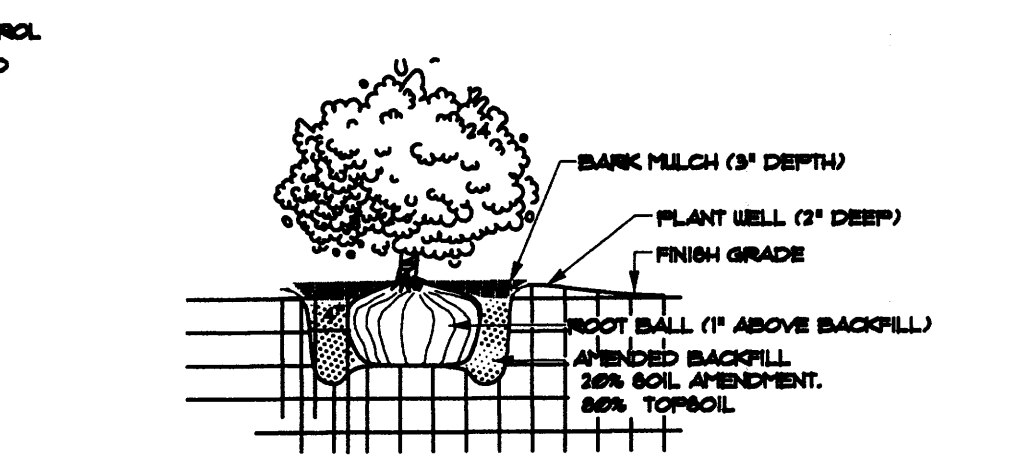
- The Development Has Provided The Minimum Requirement Of Street Trees For All Major Streets.



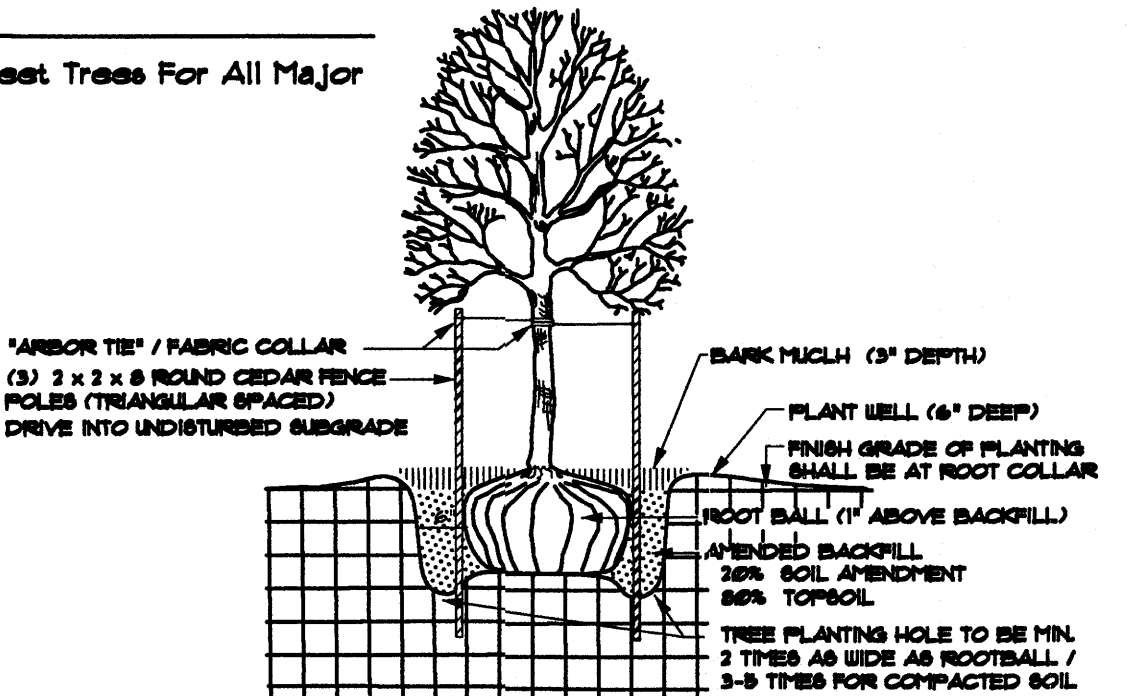
1 Decorative Boulder
N.T.S.



2 Stone Surfacing
N.T.S.



3 Shrub Planting
N.T.S.



4 Tree Planting
N.T.S.

DESIGNED BY: BPH
 DRAFTED BY: BPH
 CLIENT NAME: Smith's Food and Drug
 SMC459GAS-EPG-LS

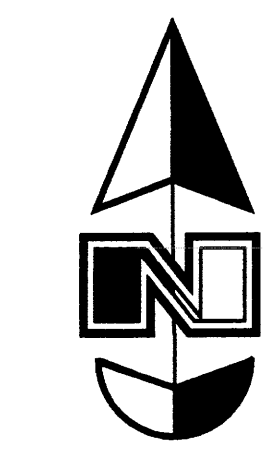
GREAT BASIN ENGINEERING - SOUTH
 CONSULTING ENGINEERS and LAND SURVEYORS
 2010 North Redwood Road, P.O. Box 16747
 Salt Lake City, Utah 84116
 Salt Lake City (801) 581-8829 Ogden (801) 394-7288 Fax (801) 581-8851

Preliminary Landscape Plan
Smith's Fuel Center
 Wyoming Boulevard and Holly Avenue NE
 Albuquerque, New Mexico

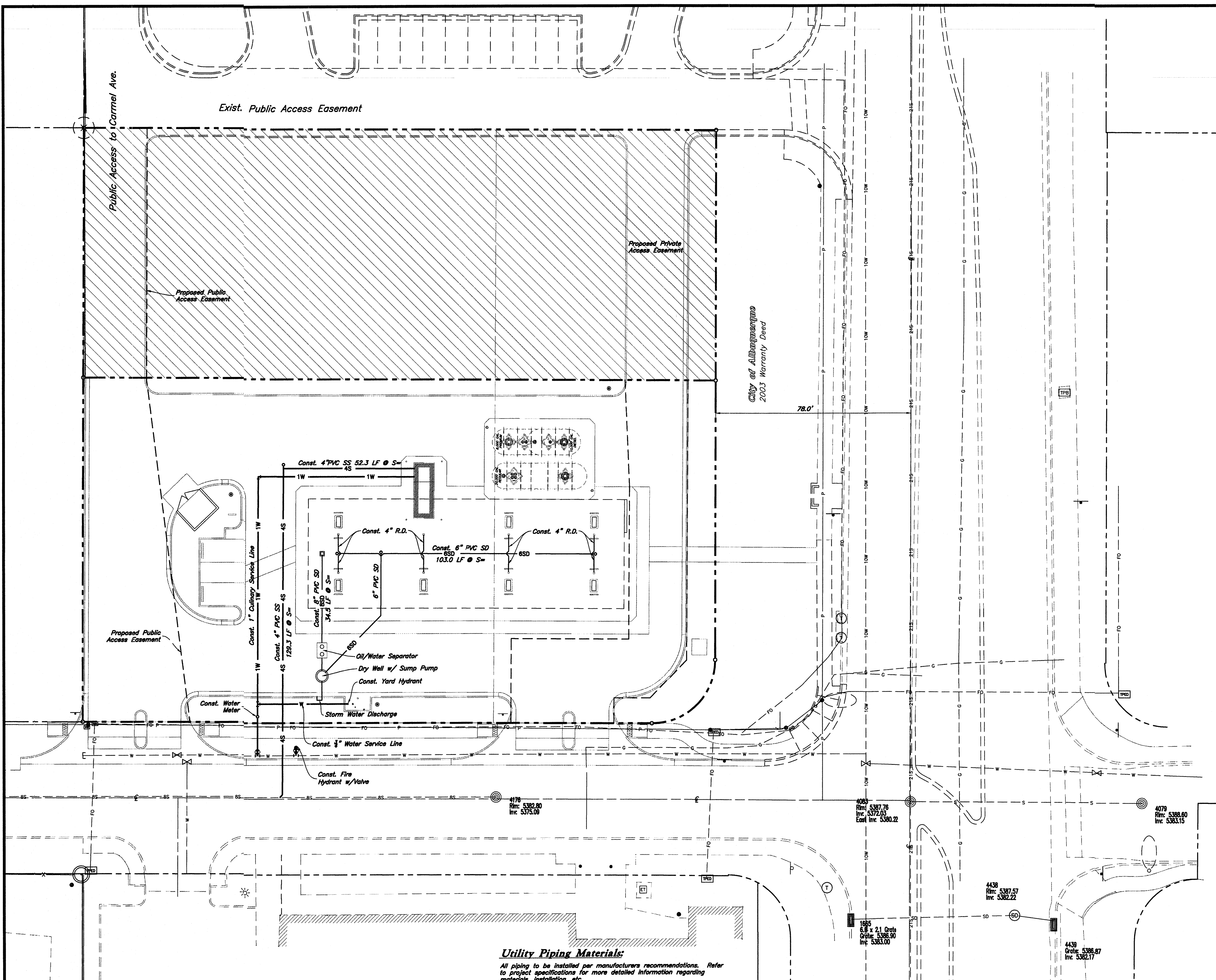
12 Aug, 2010
 SHEET NO. **2**

Smith's
 FOOD & DRUG STORES
 1550 South Redwood Road
 Salt Lake City, Utah 84104
 Telephone (801) 974-1400

#459
 Albuquerque, New Mexico



Scale: 1" = 20'



General Utility Notes:

- All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
- Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basin and inlet box grates are to be bicycle proof.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans.
- Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
- Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:
 All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

- Culinary Service Laterals**
- Pipe material as shown on utility plan view and/or to meet city standards.
- Water Main Lines and Fire Lines**
- Pipe material as shown on utility plan view and/or to meet city standards.
- Sanitary Sewer Lines**
- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35
- Storm Drain Lines**
- 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
 - 12" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

Building Data	
Type:	x
Square Footage:	x
Fire Sprinkled:	x
Building Height:	x
Fire Flow Required:	x
Building Occupancy:	x

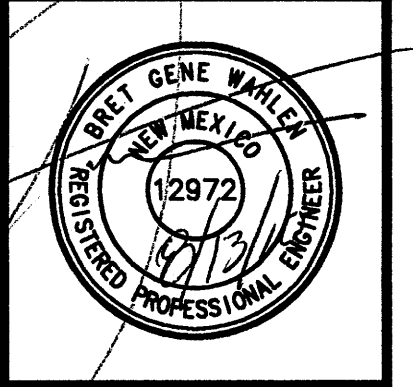
CAUTION:
 The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

REV.	DATE	DESCRIPTION

Designed by: BPH
 Drafted by: BPH
 Client Name:
 Smith's Food and Drug
 SMC450GAS-EPG-UT

GREAT BASIN ENGINEERING - SOUTH
 CONSULTING ENGINEERS and LAND SURVEYORS
 2010 North Redwood Road, P.O. Box 16747
 Salt Lake City, Utah 84116
 Salt Lake City (801)921-8629 Ogden (801)994-7988 Provo (801)921-9951

Preliminary Utility Plan
Smith's Fuel Center
 Wyoming Boulevard and Holly Avenue NE
 Albuquerque, New Mexico



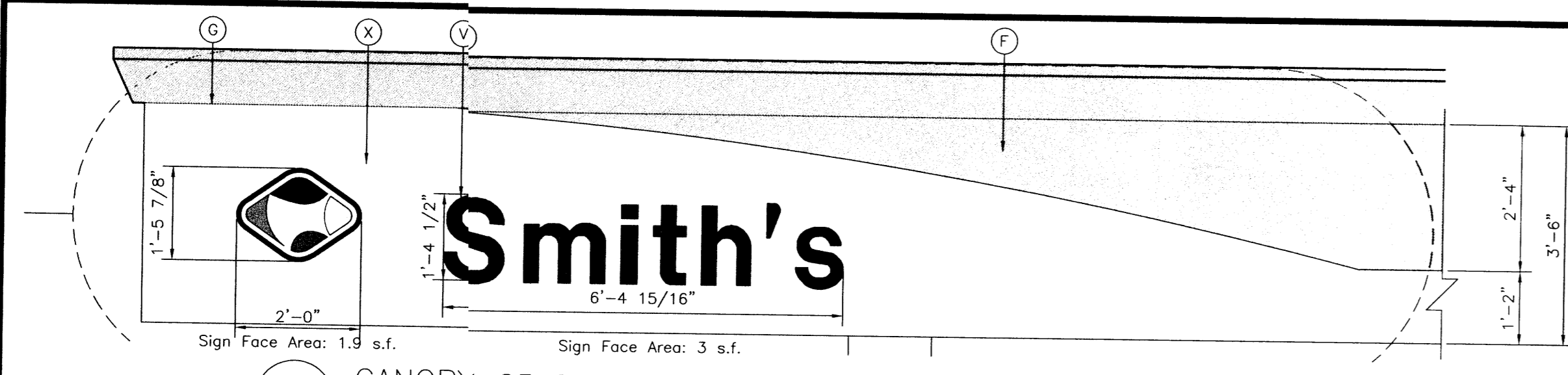
13 Aug, 2010
 SHEET NO.

4

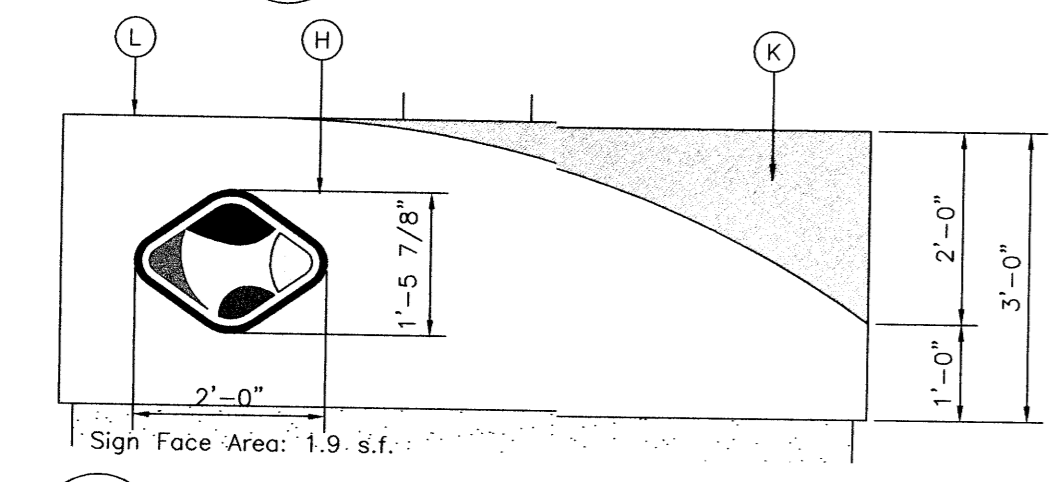
New Mexico One Call, Inc.

 Professional Resources for Damage Prevention
 1-800-321-ALERT

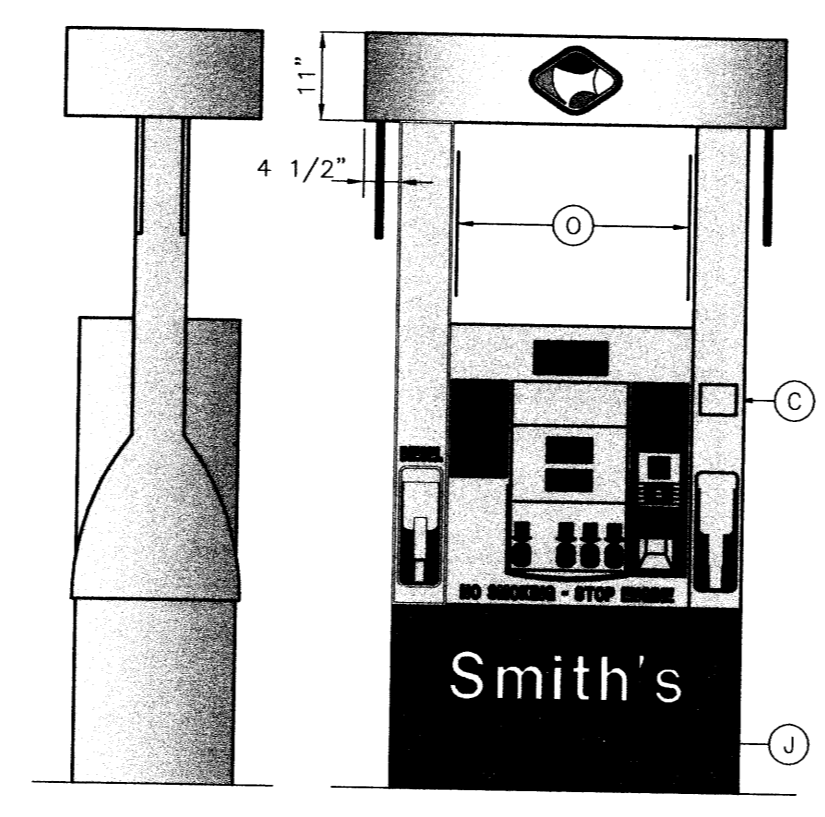
Smith's
FOOD & DRUG STORES
 1550 South Redwood Road
 Salt Lake City, Utah 84104
 Telephone (801) 974-1400
#459
 Albuquerque, New Mexico



1 CANOPY GRAPHICS
SCALE: 1/2"=1'-0"

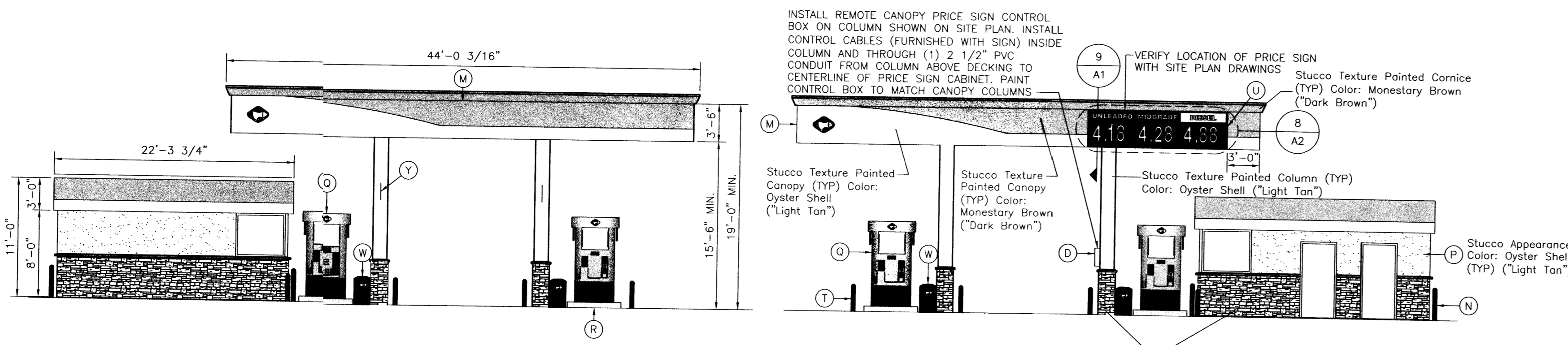


2 KIOSK GRAPHICS
SCALE: 1/2"=1'-0"



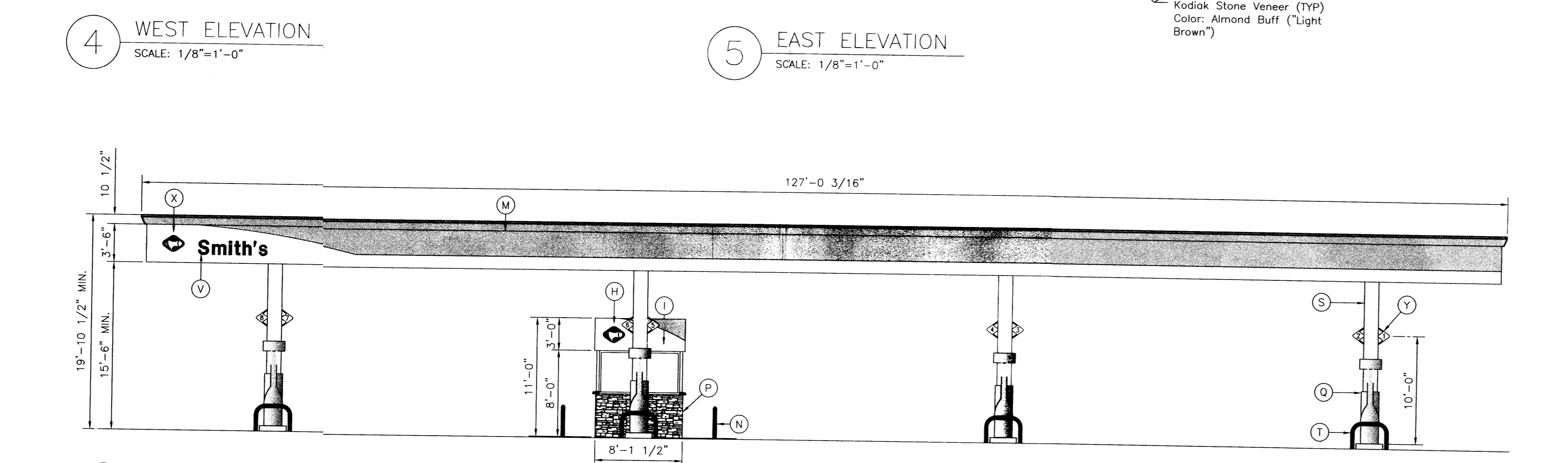
3 DISPENSER ELEVATION
SCALE: 1/2"=1'-0"

ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	INTERNALLY ILLUMINATED IDENTIFICATION SIGN		DUALITE		OWNER	SIGN INSTALLER
B	INTERNALLY ILLUMINATED REMOTE CONTROL PRICE SIGN		SKYLINE PRODUCTS, INC.		OWNER	SIGN INSTALLER
C	STATIC WARNING DECAL		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
D	REMOTE PRICE SIGN CONTROL BOX		SKYLINE PRODUCTS, INC.		OWNER	SIGN INSTALLER
E	SIGN POLE - G.C. TO PAINT	BLACK	DUALITE		OWNER	SIGN INSTALLER
F	CANOPY FASCIA	Monestary Brown			CANOPY FABRICATOR	CANOPY FABRICATOR
G	CANOPY FASCIA	OYESTER SHELL			CANOPY FABRICATOR	CANOPY FABRICATOR
H	LOGO - NON-ILLUMINATED (28" H x 37 1/2" W)		DUALITE		OWNER	GENERAL CONTRACTOR
I	PRE-CUT BLACK VINYL ADDRESS DECALS PER LOCAL AUTHORITY SPECIFICATIONS, IF REQUIRED				GENERAL CONTRACTOR	GENERAL CONTRACTOR
J	DISPENSER DOOR GRAPHICS	RED WITH WHITE LETTERS	WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
K	KIOSK FASCIA	Monestary Brown			OWNER	GENERAL CONTRACTOR
L	KIOSK FASCIA	OYESTER SHELL			OWNER	GENERAL CONTRACTOR
M	CANOPY				CANOPY FABRICATOR	CANOPY FABRICATOR
N	6" DIAMETER BOLLARD - G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
O	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
P	KIOSK	OYESTER SHELL			GENERAL CONTRACTOR	GENERAL CONTRACTOR
Q	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
R	ISLAND FORMS - G.C. TO PAINT	GRAPHITE	OPW		OWNER	GENERAL CONTRACTOR
S	CANOPY COLUMNS - G.C. TO PAINT	ESSENTIAL GRAY SW6002			CANOPY FABRICATOR	CANOPY FABRICATOR
T	U-SHAPED BOLLARD - G.C. TO PAINT	SAFETY RED	RIVERSIDE		OWNER	GENERAL CONTRACTOR
U	PRICE SIGN, SEE DETAIL 8, THIS SHEET		SKYLINE PRODUCTS, INC.		OWNER	SIGN INSTALLER
V	ILLUMINATED CHANNEL LETTERS		DUALITE		OWNER	SIGN INSTALLER
W	WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER				OWNER	SIGN INSTALLER
X	ILLUMINATED LOGO SIGN		DCI MARKETING		OWNER	GENERAL CONTRACTOR
Y	PUMP NUMBER FLAG		DUALITE		OWNER	SIGN INSTALLER

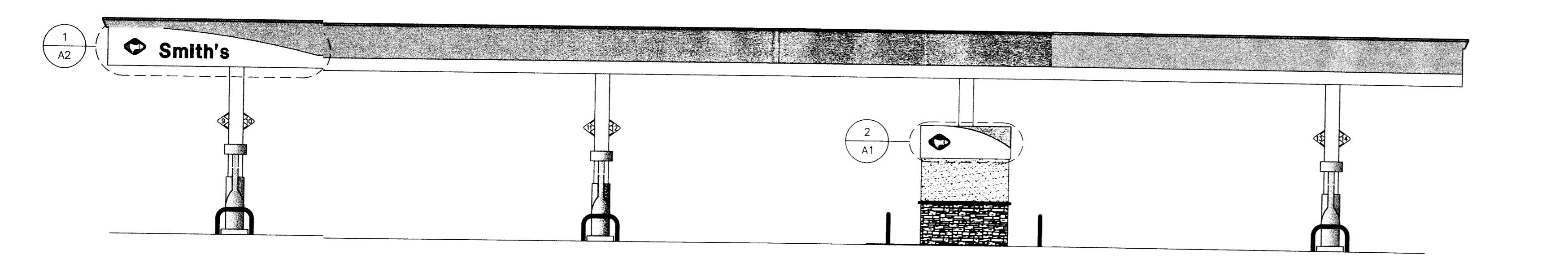


4 WEST ELEVATION
SCALE: 1/8"=1'-0"

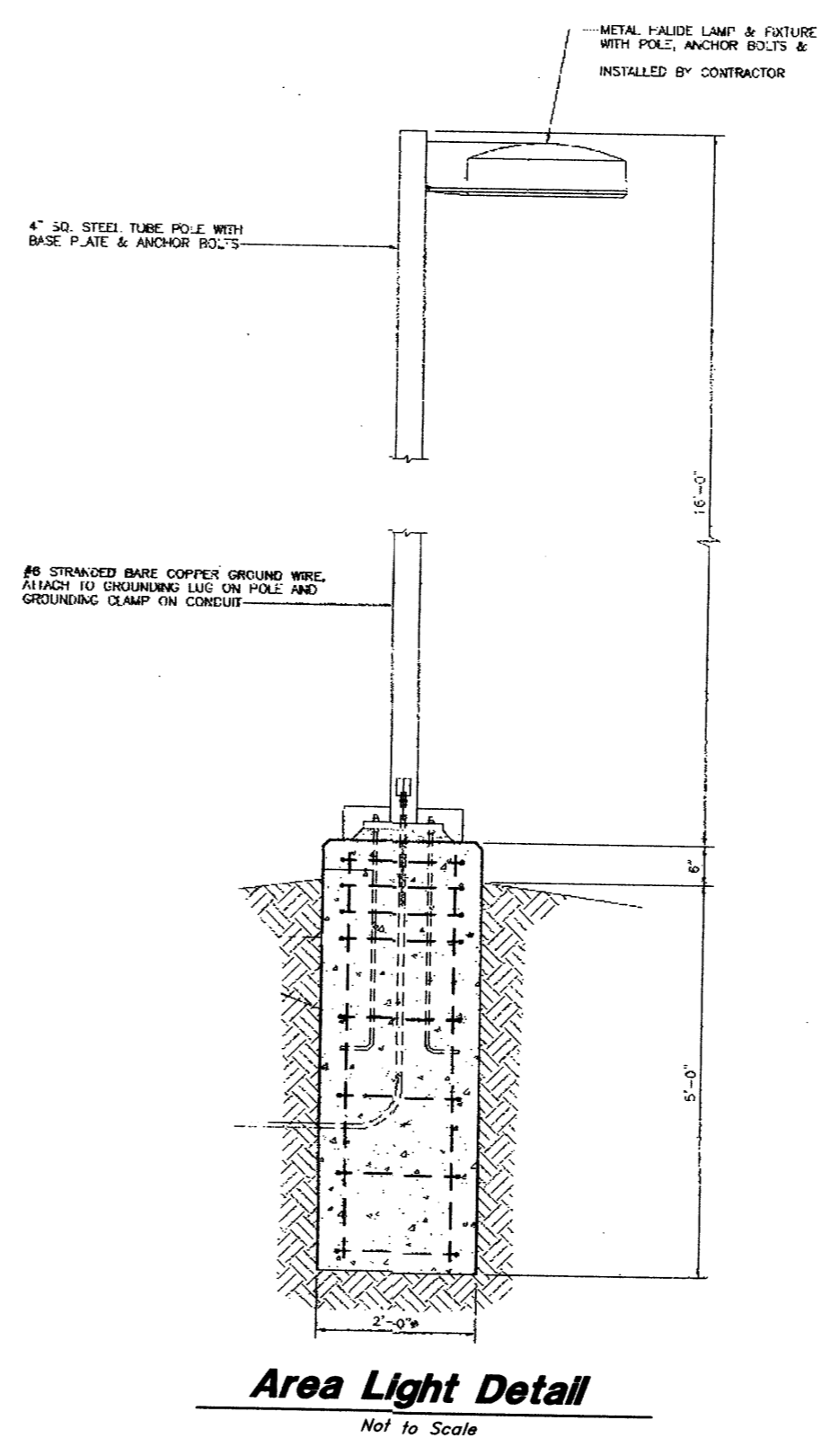
5 EAST ELEVATION
SCALE: 1/8"=1'-0"



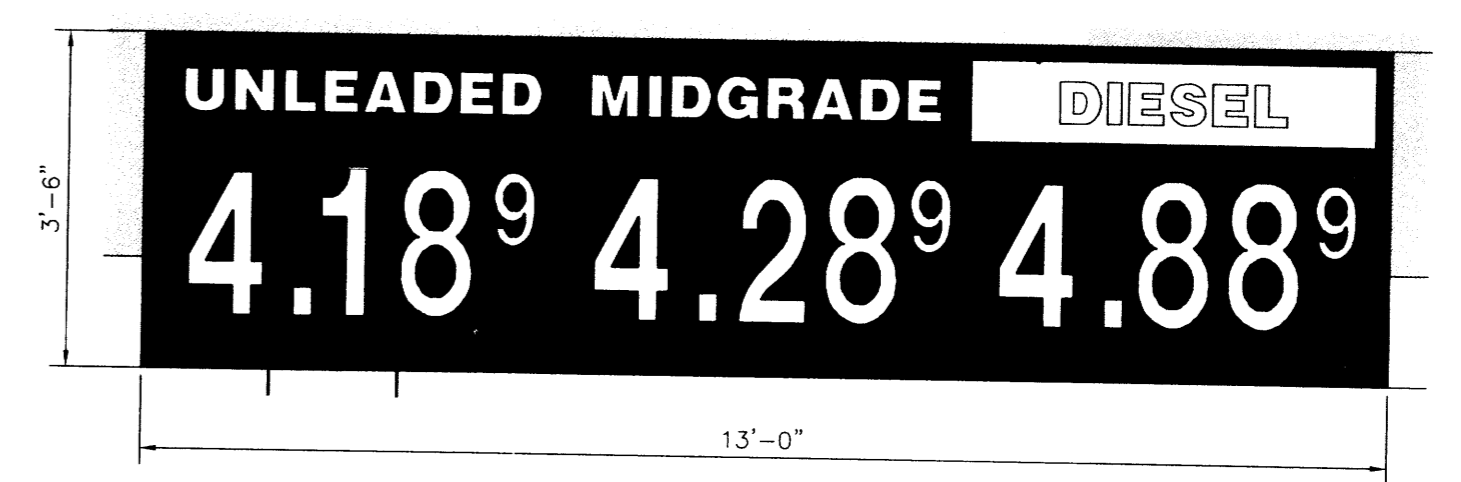
6 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



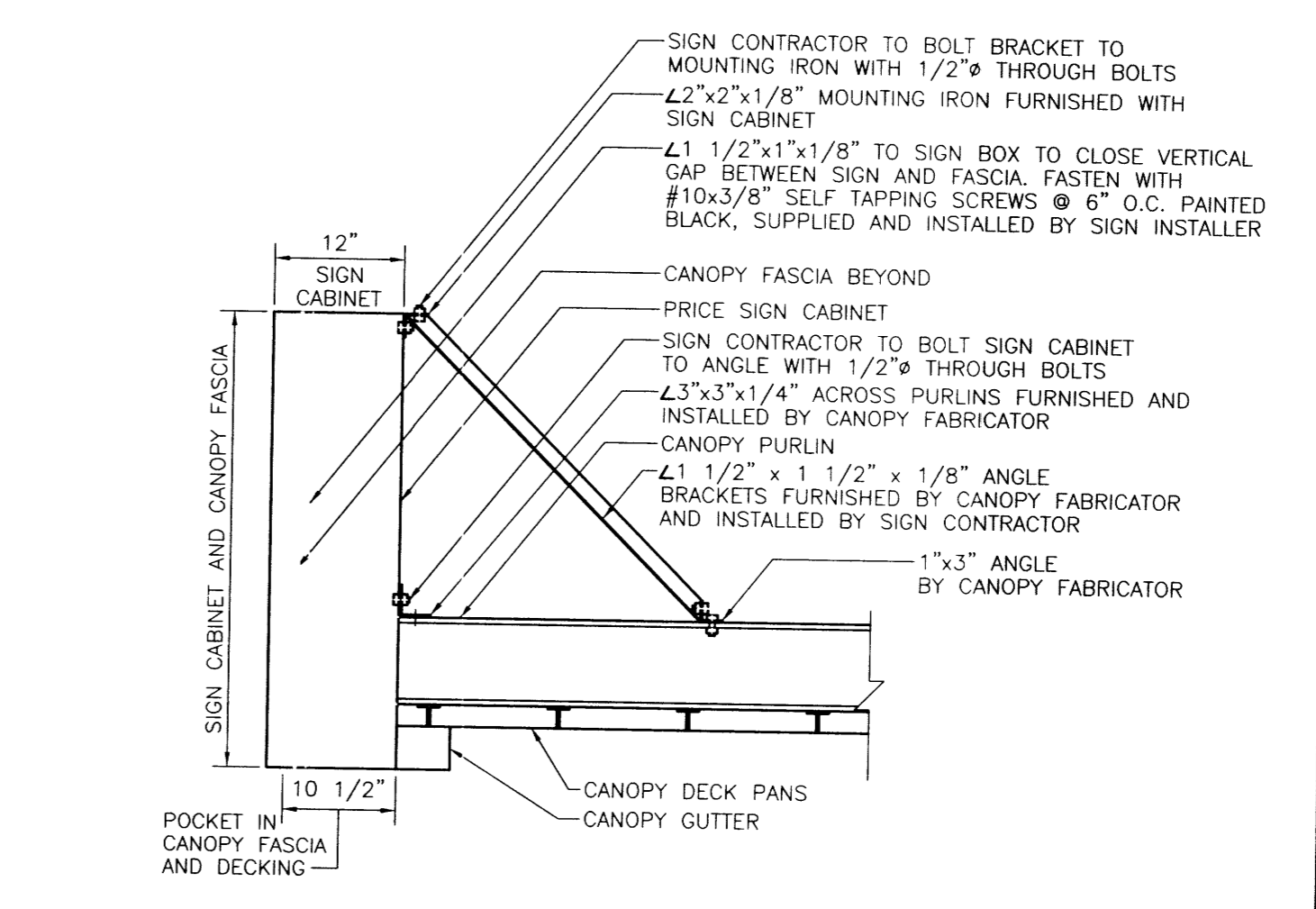
7 NORTH ELEVATION
SCALE: 1/8"=1'-0"



Area Light Detail
Not to Scale



8 CANOPY PRICE SIGN GRAPHICS
SCALE: 1/2"=1'-0"



9 SECTION AT CANOPY SIGN
NOT TO SCALE

THIS DRAWING IS AND SHALL REMAIN THE PROPERTY OF THE KROGER COMPANY REPRODUCTION OR ALTERATION OF THIS DRAWING WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE KROGER COMPANY IS PROHIBITED. (NOT PUBLISHED; ALL RIGHTS RESERVED)

NOTE TO CONTRACTOR:
THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE INTENDED TO BE USED IN CONJUNCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING FEDERAL A.D.A. REQUIREMENTS. THIS SET ASSUMES THAT THERE ARE NO UNUSUAL SOIL CONDITIONS OR WIND LOADS. THE FAILURE OF THIS CONDITION MAY REQUIRE SIGNIFICANT CHANGES TO THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFORM TO ALL APPLICABLE CODES AND TO INFORM THE OWNERS/ARCHITECTS OF ANY QUESTIONS OR CLARIFICATIONS WHICH ARE DESIRED. CONTRACTORS SHALL ALSO VISIT THE SITE BEFORE BIDDING. CONTRACTORS ARE REQUIRED TO KNOW ALL OBSERVABLE CONDITIONS AND APPLICABLE CODES.

Galloway
Planning, Architecture, Engineering
303.770.8884
303.770.3636 F
www.galloway05.com

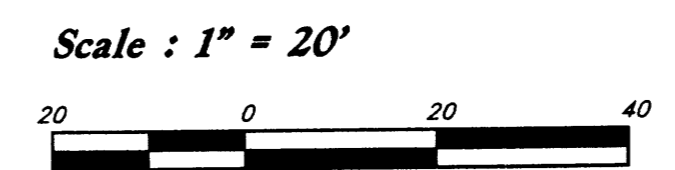
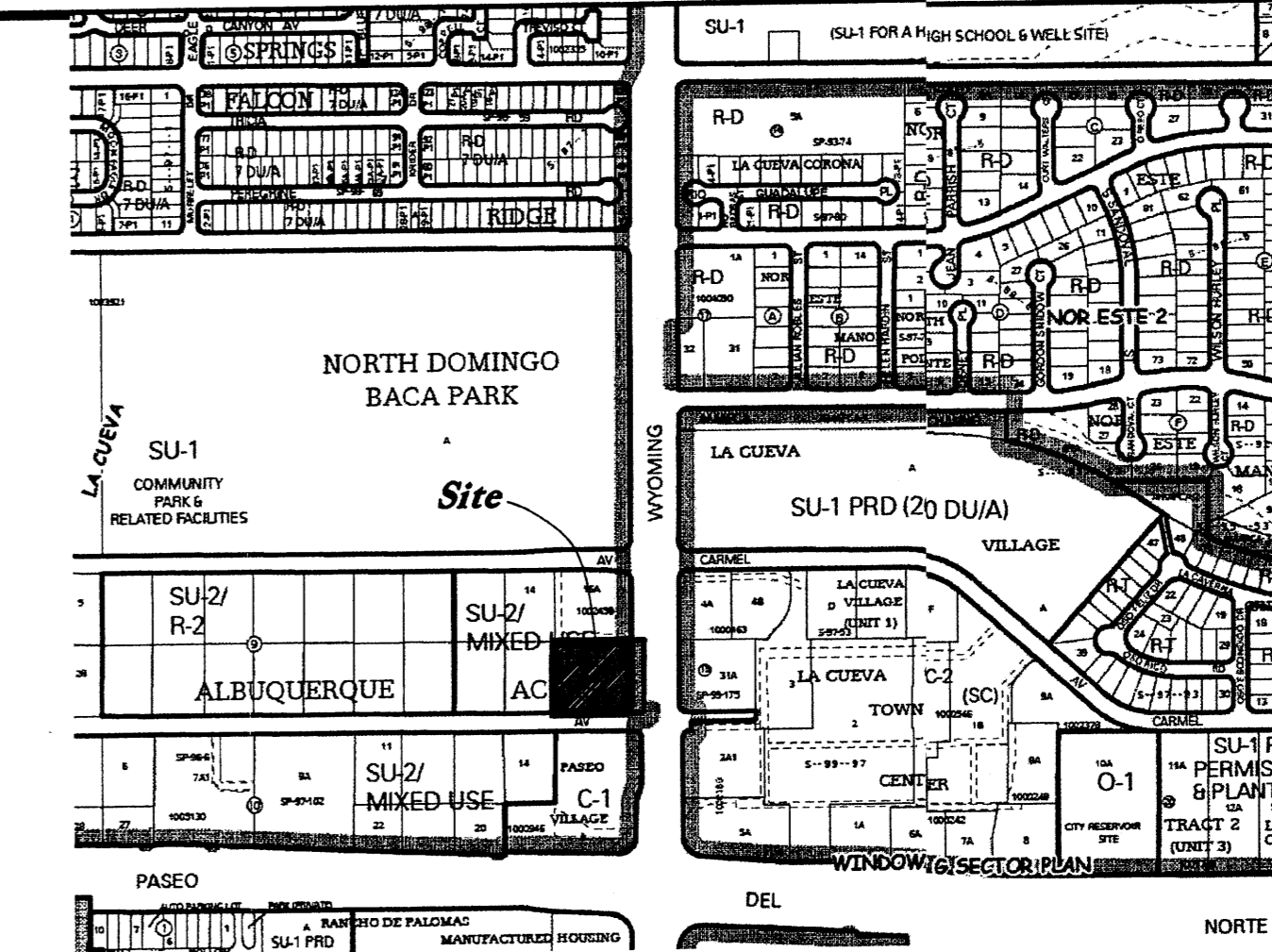
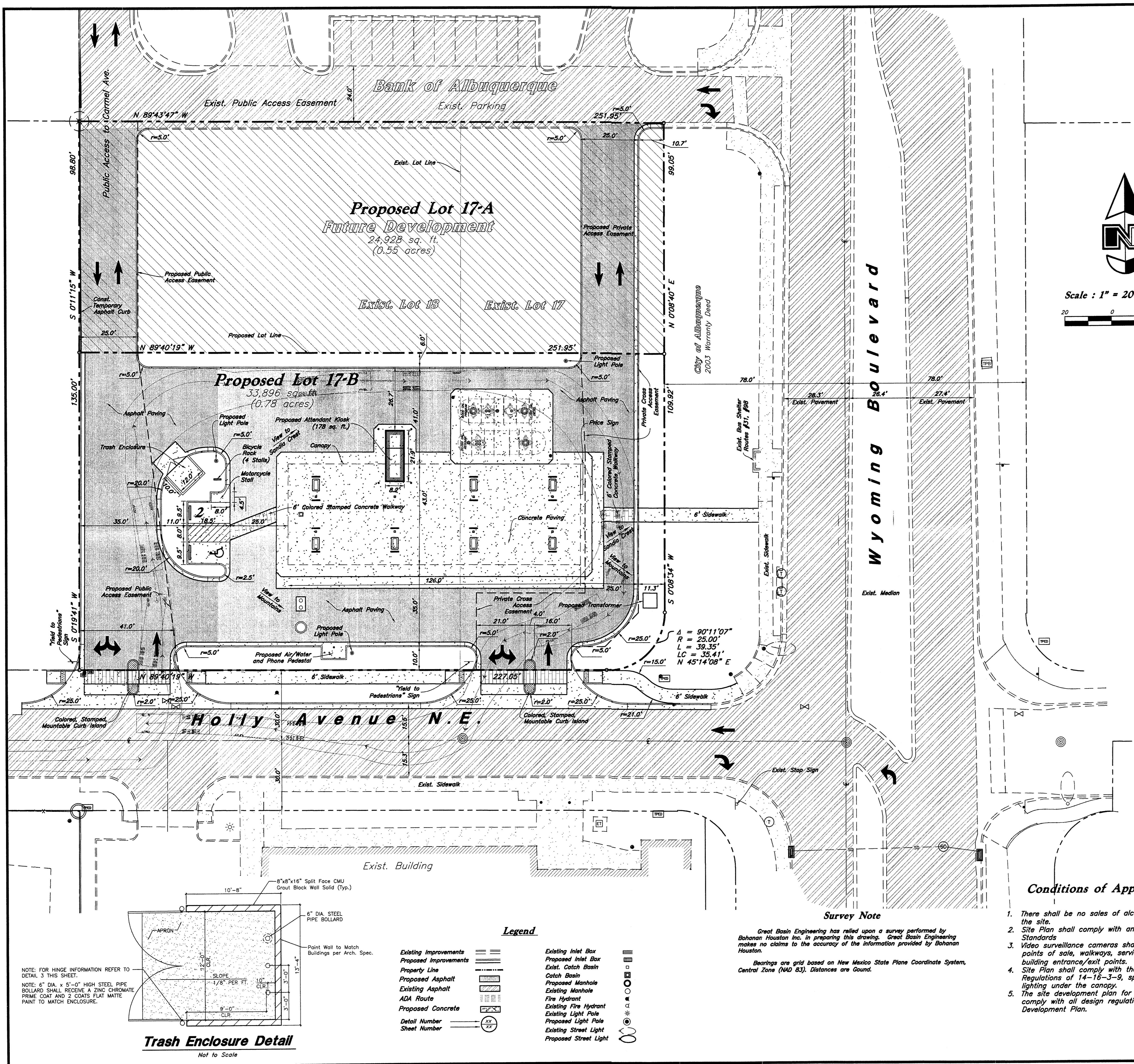
Smith's

Kroger
The Kroger Co.
Denver, CO 80239
Phone: (303) 733-5617
Fax: (303) 733-5665

NO.	DESCRIPTION	DESIGNED BY	DRAWN BY	DATE

Project #: #XXXX
Designed By: DLJ
Drawn By: JMG
Checked By: DLJ
Date: 12 Aug 2010
Scale: FULL
Disk File: 459gaselev.dwg
Model: 7 (GD)

Address: XXXX
XXXX
EXTERIOR ELEVATIONS AND SIGNAGE
Drawing No.: A1



Description

The South 135' of Lot 17 and 18, Block 9, Tract 2, Unit 3 of the North Albuquerque Acres, City of Albuquerque, Bernalillo County, New Mexico.

Site Data

- Total Site Area = 33,896 Sq. Ft. (0.78 Acres)
- Kiosk Area = 178 Sq. Ft.
- Canopy Area = 5,418 Sq. Ft.
- Parking Required = 1 Stall
- Parking Provided = 1 Stall + 1 Accessible Stall
- Motorcycle Parking = 1 Stall Provided
- Bicycle Parking = 4 Stalls Provided
- Maximum Building Height = 36'
- Minimum Building Setback = 5'

Landscape Analysis

- Net Site Area = 27,442 Sq. Ft.
- Landscape Required = 4,116 Sq. Ft. (15%)
- Landscape Provided = 4,757 Sq. Ft. (17%)

PROJECT #

EPC Application #: 1003532 Case #5 10EPC-40035, -40036
 DRB Application #:
 DRB Project #:

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on July 8, 2010 and that the findings and conditions in the Official Notice, Notification of Decision, have been complied with.

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks and Recreation Department	Date
Public Works Water Utilities Division	Date
City Engineer, Engineering Division / AMAPC	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque Planning Division	Date
Solid Waste	Date
Fire Department	Date

Conditions of Approval

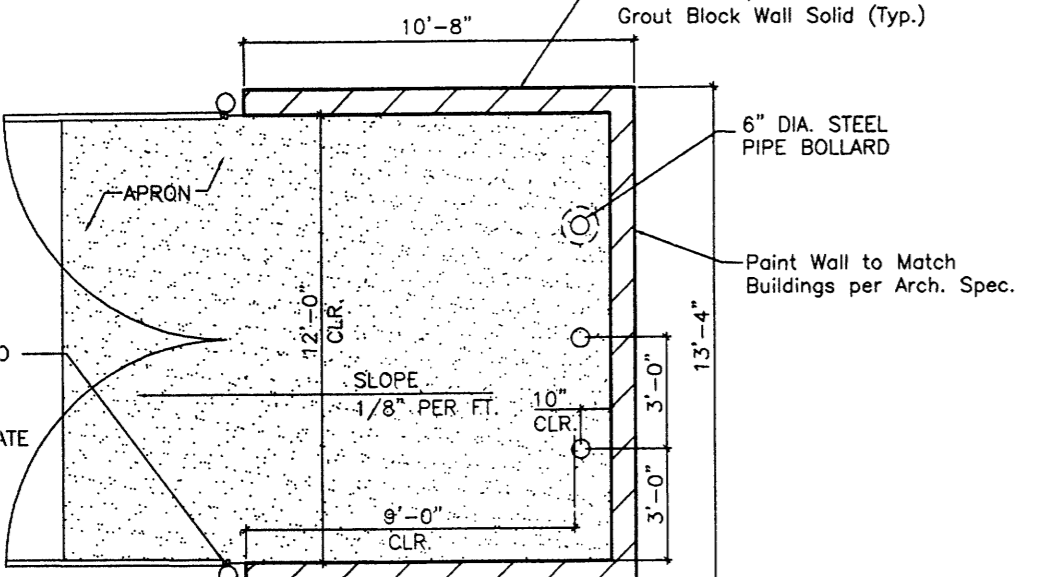
1. There shall be no sales of alcohol from the kiosk on the site.
2. Site Plan shall comply with and be designed per DPM Standards
3. Video surveillance cameras shall be installed to view all points of sale, walkways, service islands, dumpsters and building entrance/exit points.
4. Site Plan shall comply with the General Lighting Regulations of 14-16-3-9, specifically in reference to lighting under the canopy.
5. The site development plan for building permit shall comply with all design regulations of the LaCueva Sector Development Plan.

Survey Note

Great Basin Engineering has relied upon a survey performed by Bohannon Houston Inc. in preparing this drawing. Great Basin Engineering makes no claims to the accuracy of the information provided by Bohannon Houston.
 Bearings are grid based on New Mexico State Plane Coordinate System, Central Zone (NAD 83). Distances are Ground.

Legend

- Existing Improvements
- Proposed Improvements
- Property Line
- Proposed Asphalt
- Existing Asphalt
- ADA Route
- Proposed Concrete
- Detail Number
- Sheet Number
- Existing Inlet Box
- Proposed Inlet Box
- Exist. Catch Basin
- Catch Basin
- Proposed Manhole
- Existing Manhole
- Fire Hydrant
- Existing Fire Hydrant
- Existing Light Pole
- Proposed Light Pole
- Existing Street Light
- Proposed Street Light



Trash Enclosure Detail
Not to Scale

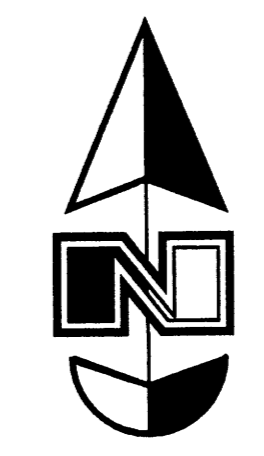
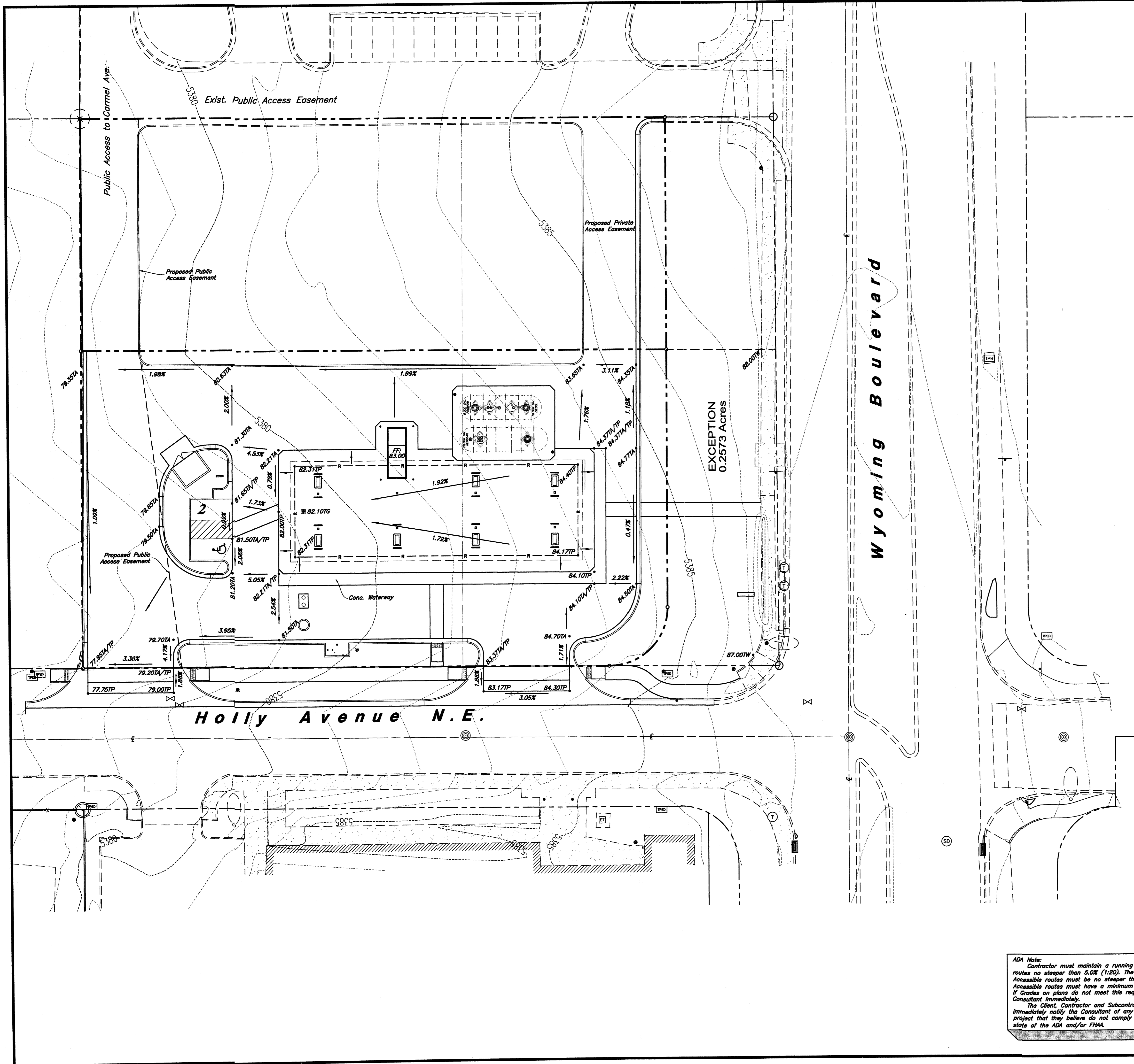
NOTE: FOR HINGE INFORMATION REFER TO DETAIL 3 THIS SHEET.
 NOTE: 4" DIA. x 5'-0" HIGH STEEL PIPE BOLLARD SHALL RECEIVE A ZINC CHROMATE PRIME COAT AND 2 COATS FLAT MATTE PAINT TO MATCH ENCLOSURE.

Designed by: BPH
 Drafted by: BPH
 Client Name: Smith's Food and Drug
 SMC459GAS-EPC-SP

GREAT BASIN ENGINEERING - SOUTH
 CONSULTING ENGINEERS and LAND SURVEYORS
 2010 North Redwood Road, P.O. Box 16747
 Salt Lake City, Utah 84116
 Salt Lake City (801)321-8629 Ogden (801)394-7888 Fax (801)321-9551

Site Development Plan for Building Permit / Subdivision Plat
Smith's Fuel Center
 Wyoming Boulevard and Holly Avenue NE
 Albuquerque, New Mexico

12 Aug, 2010
 SHEET NO. **1**



Scale : 1" = 20'



Grading Narrative

The natural topography of the site slopes downward towards the west. Proposed grading improvements include similar grading provided with the Bank of Albuquerque to the north of the proposed site.

General Grading Notes:

- All grading shall be in accordance with the project geotechnical study.
- Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
- Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
- Fills shall be benched into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified by a Geotechnical Engineer.
- A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
- The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
- Dust shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permittee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
- All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
- The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.
- The recommendations in the following Geotechnical Engineering Report by _____ are included in the requirements of grading and site preparation. The Report is titled: _____
Job No.: _____
Date: _____
- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.

Curb and Gutter Construction Notes:

- Open face gutter shall be constructed where drainage is directed away from curb.
- Open face gutter locations are indicated by shading and notes on the grading plan.
- It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
- Refer to the typical details for a standard and open face curb and gutter for dimensions.
- Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.

ADA Note:
Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). Accessible routes must have a minimum clear width of 36". If grades on plans do not meet this requirement notify Consultant immediately.
The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA and/or FHWA.

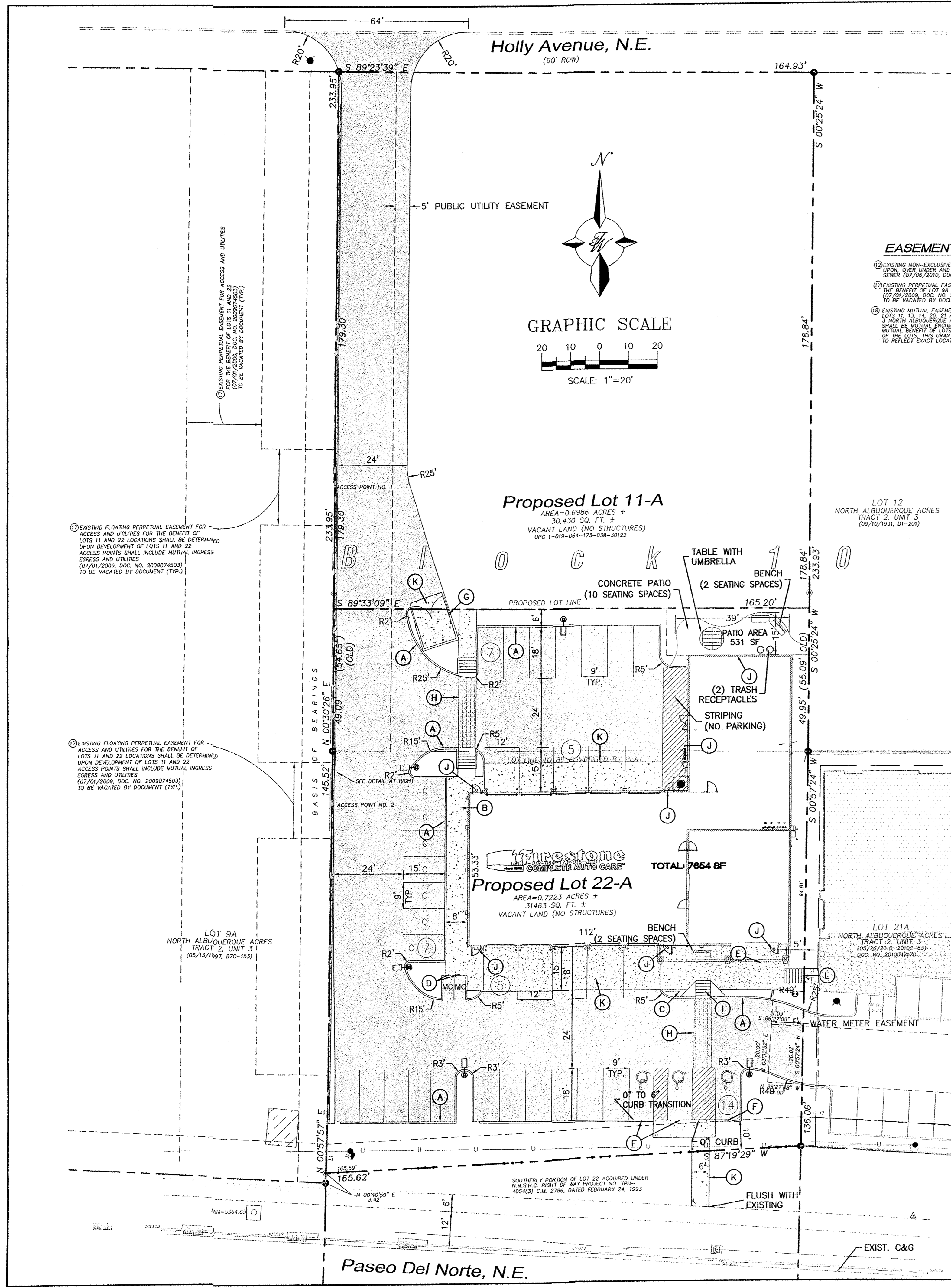
Smith's
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1550 South Redwood Road
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#459
Albuquerque, New Mexico

GREAT BASIN ENGINEERING - SOUTH
CONSULTING ENGINEERS and LAND SURVEYORS
2010 North Redwood Road, P.O. Box 16747
Salt Lake City, Utah 84116
Fax (801)521-6551
Salt Lake City (801)521-6529 Ogden (801)394-7288

Preliminary Grading Plan
Smith's Fuel Center
Wyoming Boulevard and Holly Avenue NE
Albuquerque, New Mexico



26 May, 2010
SHEET NO. **3**



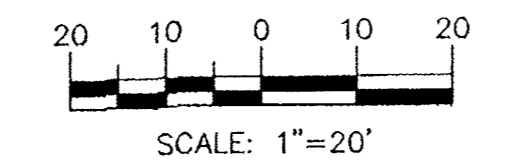
LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ SIDEWALK
- ☼ STREET LIGHTS
- - - LANE
- - - STRIPING
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - EXISTING LANE
- - - EXISTING STRIPING
- ▭ BIKERACK
- ▭ HEAVY DUTY CONCRETE APRON
- ▭ AC PAVING (PRIVATE)

EASEMENT LEGEND

- ⑫ EXISTING NON-EXCLUSIVE BLANKET EASEMENT FOR UTILITIES UPON, OVER, UNDER AND ACROSS COMMON AREA AND SEWER SEWER (07/08/2010, DOC. NO. 2010064384) - NON PLOTTABLE
- ⑬ EXISTING PERPETUAL EASEMENT (PARKING ALLOCATION) FOR THE BENEFIT OF LOT 9A (07/07/2009, DOC. NO. 2009074133) TO BE VACATED BY DOCUMENT (TYP.)
- ⑭ EXISTING MUTUAL EASEMENT FOR UTILITIES AND ACCESS FOR LOTS 11, 13, 14, 20, 21 AND 22 BLOCK TO TRACT 2, UNIT 3 OF LOT 9A NORTH ALBUQUERQUE ACRES. THIS GRANT OF EASEMENT SHALL BE MUTUAL ENCUMBRANCE AND SHALL BE FOR THE MUTUAL BENEFIT OF LOTS DESCRIBED UPON FINAL DEVELOPMENT OF THE LOTS. THIS GRANT OF EASEMENT SHALL BE AMENDED TO REFLECT EXACT LOCATION OF THE EASEMENT - NON PLOTTABLE

GRAPHIC SCALE

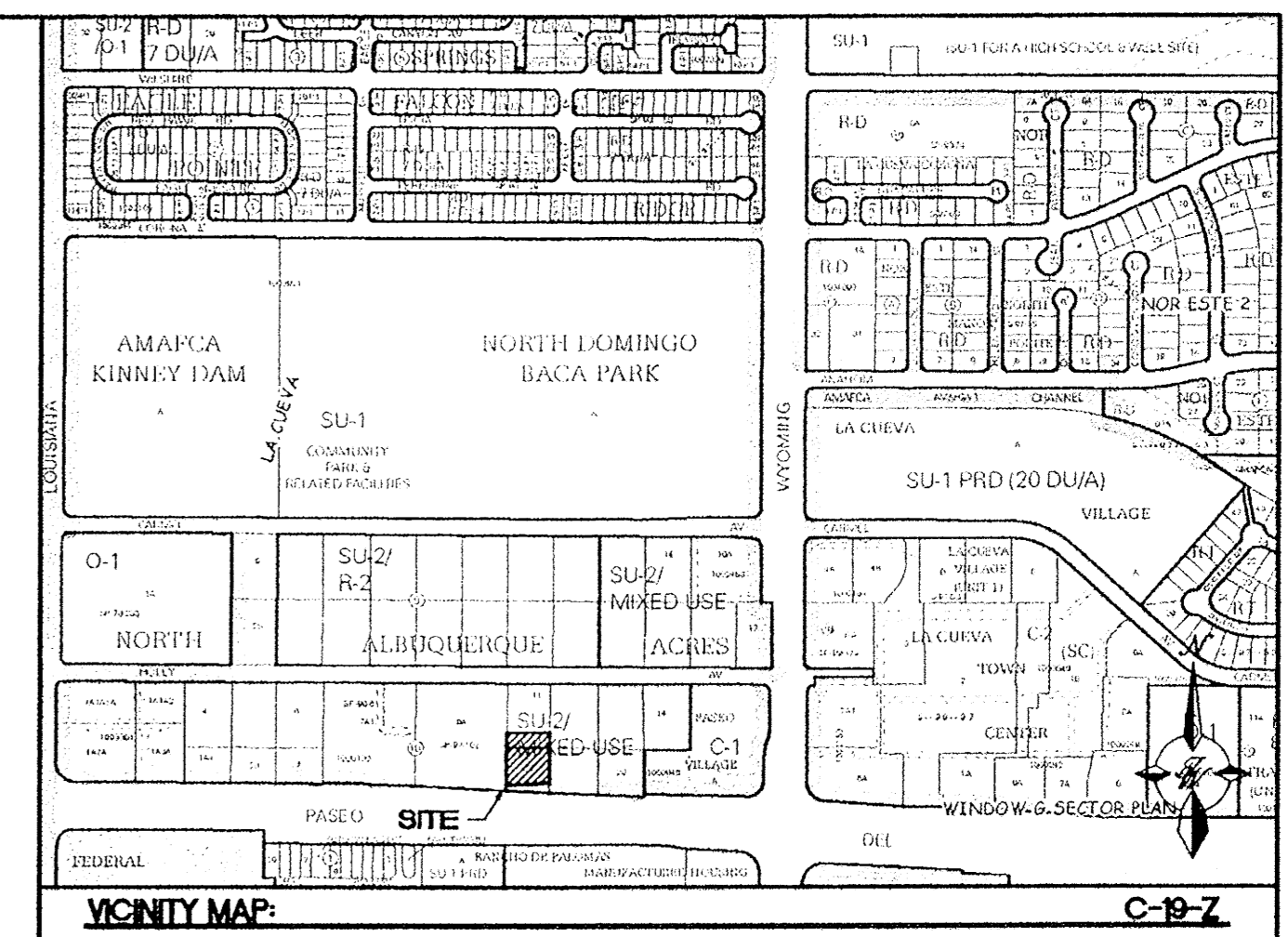


KEYED NOTE:

- (A) STANDARD CURB PER COA STD DWG #2415A
- (B) SIDEWALK
- (C) BIKE RACK (PER DETAIL SHEET C5)
- (D) MOTORCYCLE SIGN
- (E) COVERED CANOPY
- (F) HANDICAP PARKING SIGN
- (G) TRASH ENCLOSURE & DUMPSTERS
- (H) PEDESTRIAN PATHWAY (PER DETAIL SHEET C5)
- (I) ADA RAMP
- (J) WALL PACK LIGHTING
- (K) HEAVY DUTY CONCRETE APRON
- (L) STAIRS, 6' MIN. WIDTH

NOTES

1. PRIMARY VEHICULAR ACCESS SHALL BE FROM HOLLY AVENUE THROUGH THE EXISTING PARKING LOT ON LOT 9A VIA EXISTING EASEMENT (NO. 17 THIS SHEET). ACCESS WILL ALSO BE PROVIDED THROUGH LOTS 20, 21, AND 22 VIA EXISTING MUTUAL ACCESS EASEMENT (NO 18, THIS SHEET).
2. A PEDESTRIAN CONNECTION TO THE EXISTING PUBLIC SIDEWALK ON PASEO DEL NORTE TO THE SOUTH WILL BE CONSTRUCTED. A PEDESTRIAN CONNECTION TO THE PROPOSED DEVELOPMENT TO THE EAST WILL BE PROVIDED THROUGH STAIRS.
3. SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE (5) FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
4. HEIGHT: STRUCTURES SHALL NOT EXCEED 26 FEET.
5. LOT SIZE/MAX FAR: NO REQUIREMENTS.
6. NO ROOF-MOUNTED EQUIPMENT IS PROPOSED. MECHANICAL EQUIPMENT SHALL BE SCREENED.
7. FUTURE BUILDING DEVELOPMENT ON LOT 11 WILL REQUIRE APPROVAL BY THE EPC.
8. SITE LIGHTING SHALL COMPLY WITH REG. 14-16-3-9.
9. DEVELOPMENT SHALL COMPLY WITH THE REGULATIONS OF THE SU-2/MU (MIXED USE) ZONE AND THE COMMON DESIGN REGULATIONS FOR SU-2 ZONED PROPERTIES IN THE LA CUEVA SECTOR DEVELOPMENT PLAN (LCSDP).
10. ALL OUTDOOR LIGHT FIXTURES SHALL BE EQUIPPED WITH LIGHT AND MOTION SENSORS AND/OR AUTOMATIC TIMING DEVICES.
11. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND OPERATED SO THAT THE AREA 10 FEET BEYOND THE PROPERTY LINE RECEIVES NO MORE THAN 0.25 OF A FOOT CANDLE (c) OF LIGHT FROM THE PREMISES LIGHTING SYSTEM.



LEGAL DESCRIPTION:

REMAINING PORTION OF LOT 22 AND SOUTHERLY PORTION OF LOT 11, BLOCK 10, NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

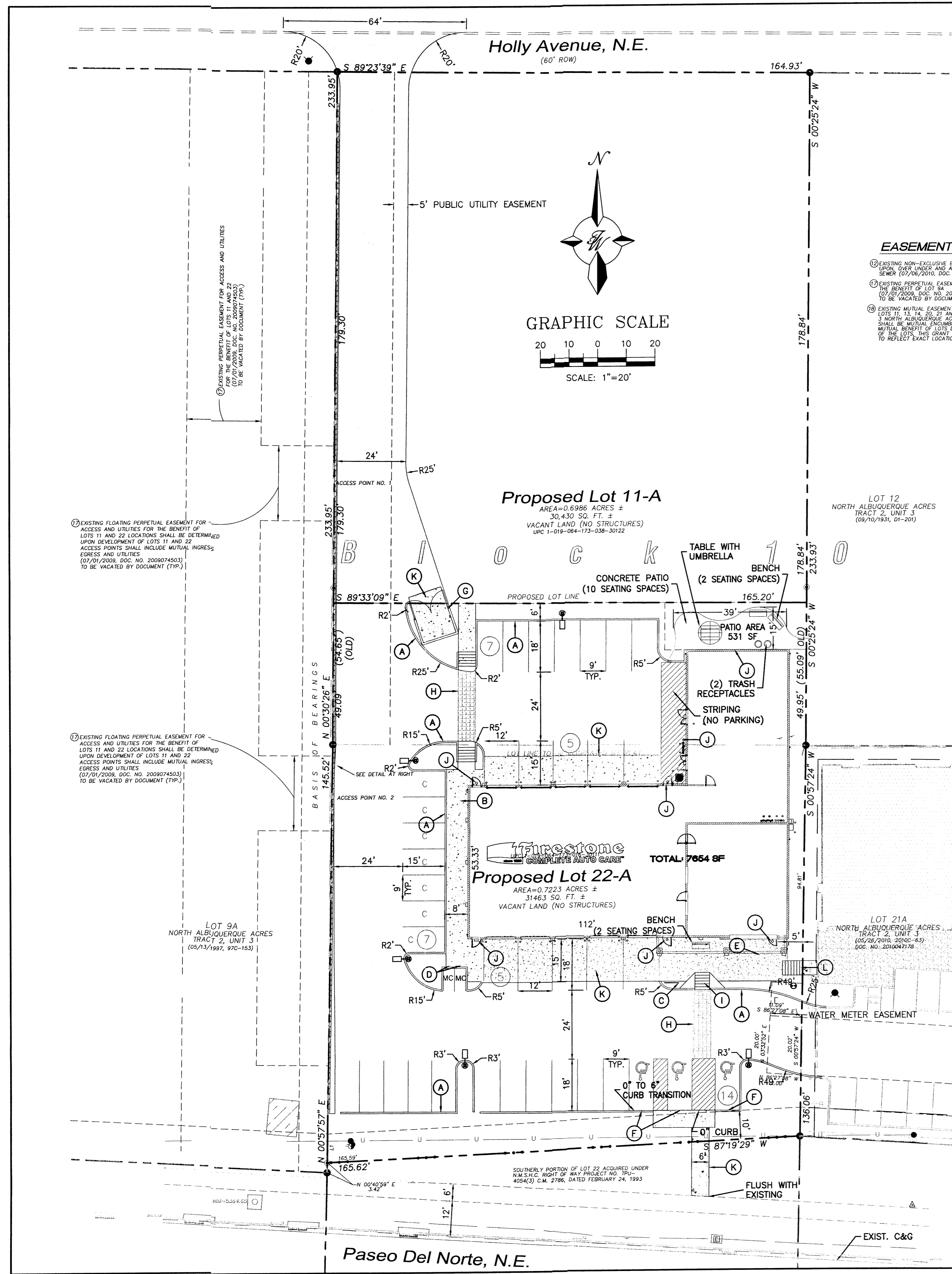
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
<i>Dana J. Smith</i> Solid Waste Management	09-22-11 Date
DRB Chairperson, Planning Department	Date

SITE DATA

PROPOSED USAGE:	FIRESTONE (AUTO REPAIR)
LOT AREA:	±31,463 SF (.7223 AC) (NEW LOT AREA)
LOT COVERAGE:	24.3%
BUILDING AREA:	7,654 SF
PARKING REQUIRED:	38 SPACES (1 SPACE PER 200 SF BUILDING AREA)
PARKING PROVIDED:	38 SPACES (7 COMPACT, 10 SERVICE BAYS)
HC PARKING REQUIRED:	3 SPACES
HC PARKING PROVIDED:	3 SPACES
	1 SPACE VAN ACCESSIBLE
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES
LANDSCAPE REQUIRED:	15% OF NET LOT AREA
TOTAL REQUIRED:	3,571 SF
TOTAL PROVIDED:	4,945 SF

ENGINEER'S SEAL	FIRESTONE PASEO DEL NORTE & WYOMING BLVD	DRAWN BY JH
	SITE DEVELOPMENT PLAN FOR BLDG PERMIT	DATE 09-27-11
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	2995-SPB
		SHEET # C2
		JOB # 29095



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	STREET LIGHTS
	LANE
	STRIPING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING LANE
	EXISTING STRIPING
	BIKERACK
	HEAVY DUTY CONCRETE APRON
	AC PAVING (PRIVATE)

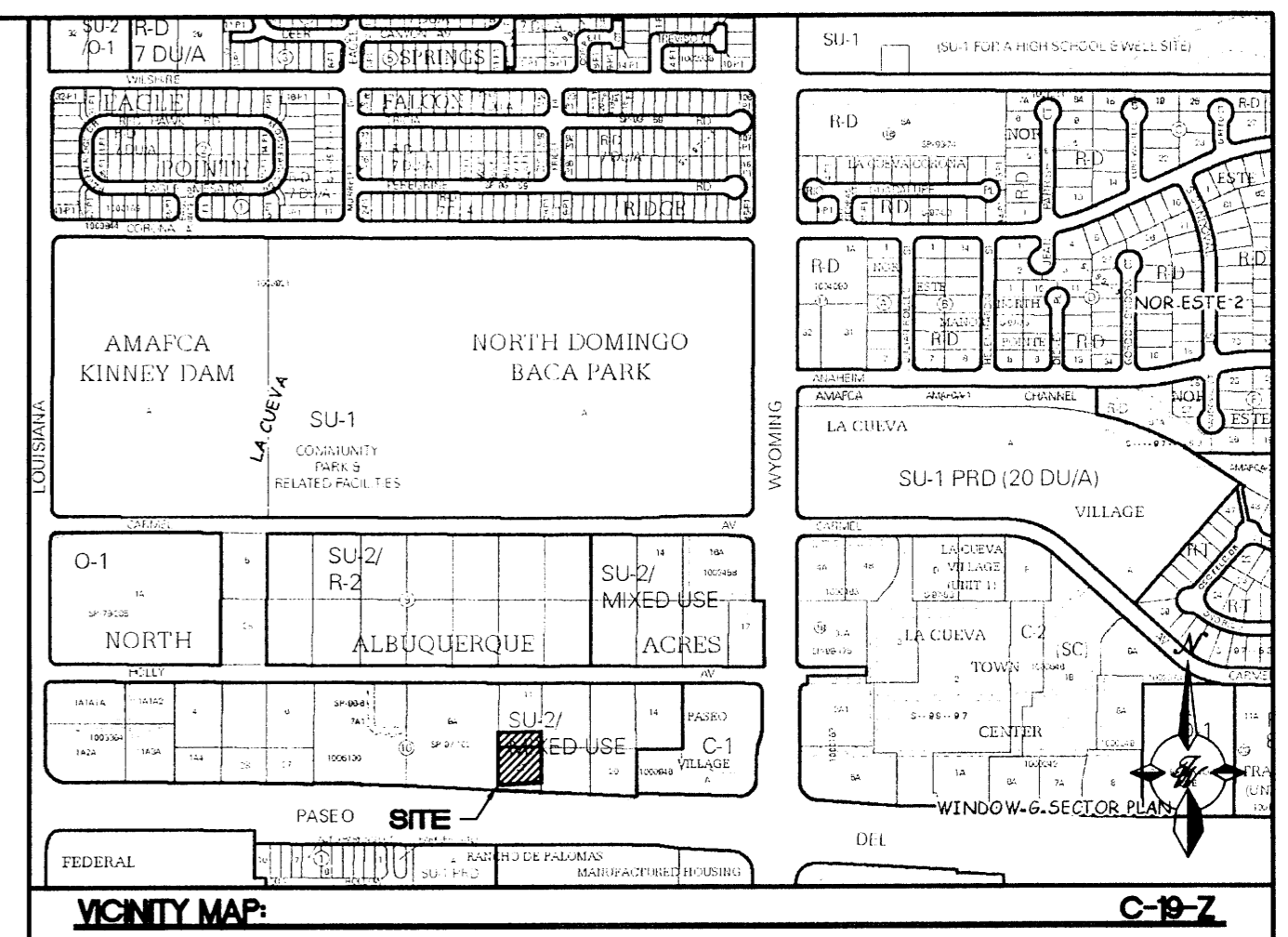
EASEMENT LEGEND

(1) EXISTING NON-EXCLUSIVE BLANKET EASEMENT FOR UTILITIES UPON, OVER, UNDER AND ACROSS COMMON AREA AND STORM SEWER (07/06/2009, DOC. NO. 200904384) - NON PLATTABLE

(2) EXISTING PERPETUAL EASEMENT (PARKING ALLOCATION) FOR THE BENEFIT OF LOT 9A (07/01/2009, DOC. NO. 2009074133) TO BE VACATED BY DOCUMENT (TYP.)

(3) EXISTING MUTUAL EASEMENT FOR UTILITIES AND ACCESS FOR LOTS 11, 18, 19, 20, 21 AND 22, BLOCK 10 TRACT 2, UNIT 3 NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3 (09/10/1931, 01-201)

(4) EXISTING MUTUAL EASEMENT FOR UTILITIES AND ACCESS FOR LOTS 11, 18, 19, 20, 21 AND 22, BLOCK 10 TRACT 2, UNIT 3 NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3 (09/10/1931, 01-201) SHALL BE MUTUAL ENCUMBRANCE AND SHALL BE FOR THE MUTUAL BENEFIT OF LOTS DESCRIBED. UPON FINAL DEVELOPMENT OF THE LOTS, THIS GRANT OF EASEMENT SHALL BE AMENDED TO REFLECT EXACT LOCATION OF THE EASEMENT - NON PLATTABLE



LEGAL DESCRIPTION:
 REMAINING PORTION OF LOT 22 AND SOUTHERLY PORTION OF LOT 11, BLOCK 10, NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

SITE DATA

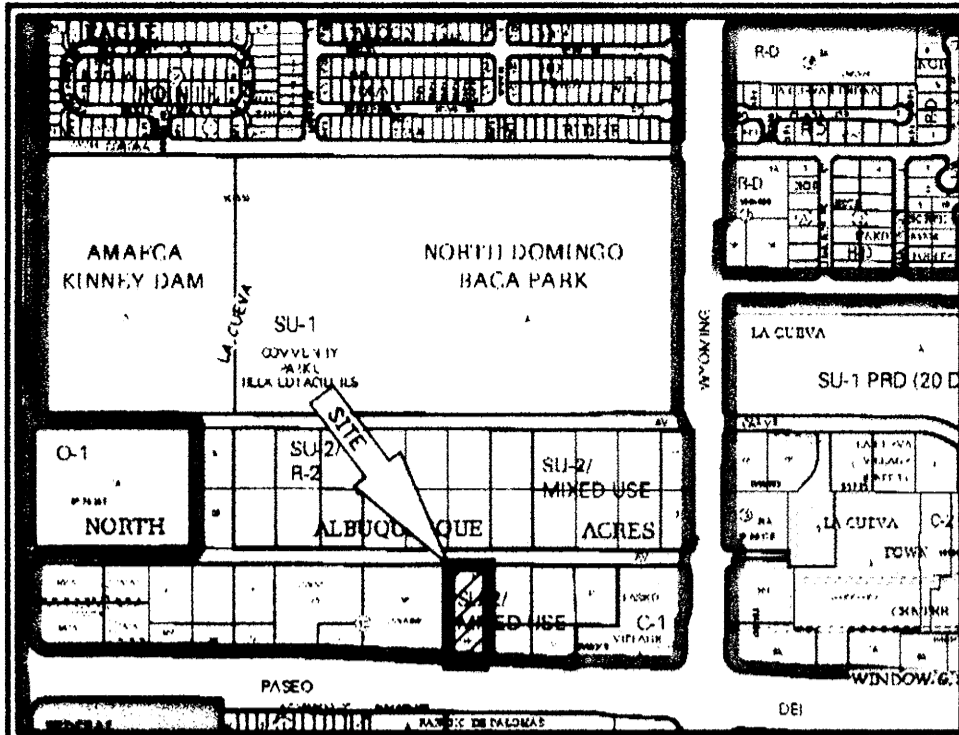
PROPOSED USAGE:	FIRESTONE (AUTO REPAIR)
LOT AREA:	±31,463 SF (.7223 AC) (NEW LOT AREA)
LOT COVERAGE:	24.3%
BUILDING AREA:	7,654 SF
PARKING REQUIRED:	38 SPACES (1 SPACE PER 200 SF BUILDING AREA)
PARKING PROVIDED:	38 SPACES (7 COMPACT, 10 SERVICE BAYS)
HC PARKING REQUIRED:	3 SPACES
HC PARKING PROVIDED:	3 SPACES
	1 SPACE VAN ACCESSIBLE
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES
LANDSCAPE REQUIRED:	15% OF NET LOT AREA
TOTAL REQUIRED:	3,571 SF
TOTAL PROVIDED:	4,945 SF

John Sarno 9-28-11

- KEYED NOTE:**
- (A) STANDARD CURB PER COA STD DWG #2415A
 - (B) SIDEWALK
 - (C) BIKE RACK (PER DETAIL SHEET C5)
 - (D) MOTORCYCLE SIGN
 - (E) COVERED CANOPY
 - (F) HANDICAP PARKING SIGN
 - (G) TRASH ENCLOSURE & DUMPSTERS
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 - (I) ADA RAMP
 - (J) WALL PACK LIGHTING
 - (K) HEAVY DUTY CONCRETE APRON
 - (L) STAIRS, 6' MIN. WIDTH

- NOTES**
1. PRIMARY VEHICULAR ACCESS SHALL BE FROM HOLLY AVENUE THROUGH THE EXISTING PARKING LOT ON LOT 9A VIA EXISTING EASEMENT (NO. 17 THIS SHEET). ACCESS WILL ALSO BE PROVIDED THROUGH LOTS 20,21, AND 22 VIA EXISTING MUTUAL ACCESS EASEMENT (NO 18, THIS SHEET).
 2. A PEDESTRIAN CONNECTION TO THE EXISTING PUBLIC SIDEWALK ON PASEO DEL NORTE TO THE SOUTH WILL BE CONSTRUCTED. A PEDESTRIAN CONNECTION TO THE PROPOSED DEVELOPMENT TO THE EAST WILL BE PROVIDED THROUGH STAIRS.
 3. SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE (5) FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
 4. HEIGHT: STRUCTURES SHALL NOT EXCEED 26 FEET.
 5. LOT SIZE/MAX FAR: NO REQUIREMENTS.
 6. NO ROOF-MOUNTED EQUIPMENT IS PROPOSED. MECHANICAL EQUIPMENT SHALL BE SCREENED.
 7. FUTURE BUILDING DEVELOPMENT ON LOT 11 WILL REQUIRE APPROVAL BY THE EPC.
 8. SITE LIGHTING SHALL COMPLY WITH REG. 14-16-3-9.
 9. DEVELOPMENT SHALL COMPLY WITH THE REGULATIONS OF THE SU-2/MU (MIXED USE) ZONE AND THE COMMON DESIGN REGULATIONS FOR SU-2 ZONED PROPERTIES IN THE LA CUEVA SECTOR DEVELOPMENT PLAN (LCSDP).
 10. ALL OUTDOOR LIGHT FIXTURES SHALL BE EQUIPPED WITH LIGHT AND MOTION SENSORS AND/OR AUTOMATIC TIMING DEVICES.
 11. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND OPERATED SO THAT THE AREA 10 FEET BEYOND THE PROPERTY LINE RECEIVES NO MORE THAN 0.25 OF A FOOT CANDLE (c) OF LIGHT FROM THE PREMISES LIGHTING SYSTEM.

ENGINEER'S SEAL	FIRESTONE PASEO DEL NORTE & WYOMING BLVD	DRAWN BY JH
	SITE DEVELOPMENT PLAN FOR BLDG PERMIT	DATE 09-27-11
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tiewestllc.com	2995-SPB
		SHEET # C2
		JOB # 29095



LEGAL DESCRIPTION

LOT NUMBERED ELEVEN (11) AND THE REMAINING PORTION OF LOT NUMBERED TWENTY-TWO (22) IN BLOCK NUMBERED TEN (10) OF TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1931 IN VOLUME D, FOLIO 201, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE NORTHERLY LINE OF PASEO DEL NORTE WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT "HEAVEN" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1988) X=1,547,297.145 AND Y=1,518,799.515 BEARS S 58°34'17" E, A DISTANCE OF 376.31 FEET RUNNING THENCE S 87°03'39" W, ALONG THE NORTHERLY LINE OF PASEO DEL NORTE, A DISTANCE OF 165.58 FEET TO THE SOUTHWEST CORNER; THENCE N 00°40'36" E, A DISTANCE OF 409.45 FEET TO THE NORTHWEST CORNER, BEING THE CENTERLINE OF HOLLY AVENUE; THENCE S 89°40'11" E, ALONG THE CENTERLINE OF HOLLY AVENUE, A DISTANCE OF 165.20 FEET TO THE NORTHEAST CORNER; THENCE S 00°40'08" W, A DISTANCE OF 400.01 FEET TO THE SOUTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 1.5352 ACRES MORE OR LESS.

**PLAT OF
LOTS 11-A AND 22-A, BLOCK 10
TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES**

WITHIN
ELENA GALLEGOS LAND GRANT
PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2011

VICINITY MAP No. C-19

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO RE-ALIGN THE LOT LINE BETWEEN LOTS 11 AND 22, DEDICATE ADDITIONAL RIGHT OF WAY AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 1.5352 ACRES.
- TALOS LOG NO. N/A
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: MAY, 2011
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgear, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer:
In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. AND DO HEREBY DEDICATE ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

Resolution Equities, LLC
by Gordon L. Skarvgaard DATE 6/27/11

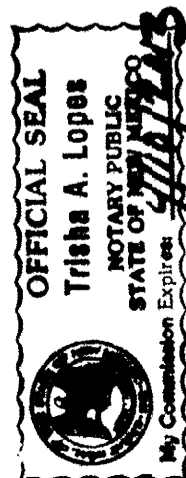
ACKNOWLEDGMENT

STATE OF NEW MEXICO) s.s.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 27th DAY OF June 20 11

BY: Resolution Equities LLC by Gordon L. Skarvgaard
OWNERS NAME

MY COMMISSION EXPIRES: 4/10/2013 BY: JLA. J
NOTARY PUBLIC



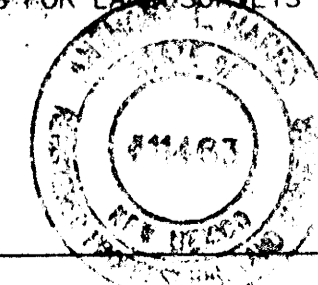
SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) s.s.
COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 27th DAY OF June, 2011.

Anthony L. Harris
ANTHONY L. HARRIS P.S. # 11483



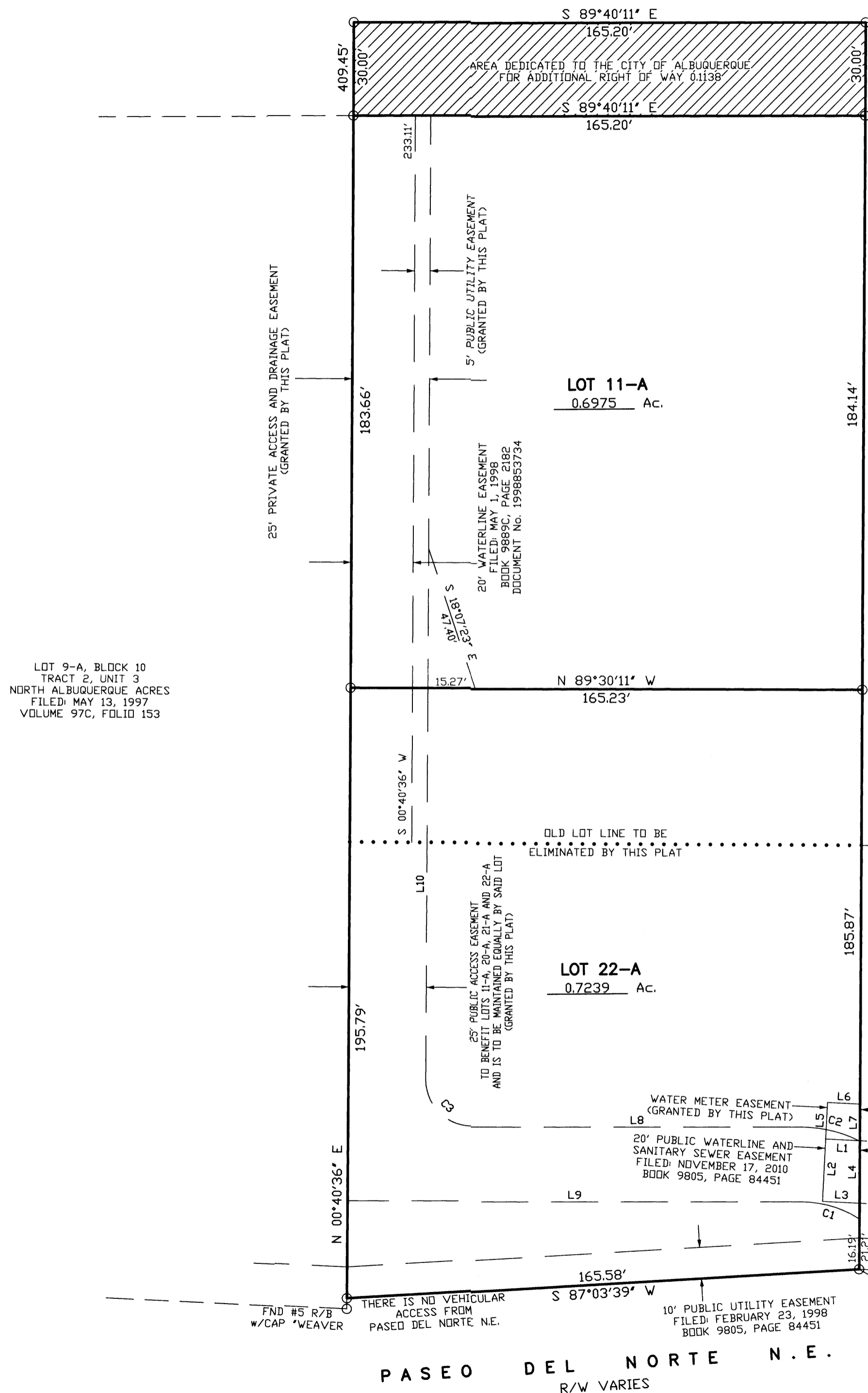
W&S SURVEYING, INC. PHONE: (505) 869-8866
1412 S. BOULEVARD STREET, N.E. FAX: (505) 869-8845
ALBUQUERQUE, NEW MEXICO 87110

11-0293.DWG (JUNE, 2011)

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# _____
PROPERTY OWNER OF RECORD: _____
BERNALILLO CO. TREASURER'S OFFICE: _____

PLAT OF
LOTS 11-A AND 22-A, BLOCK 10
TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES

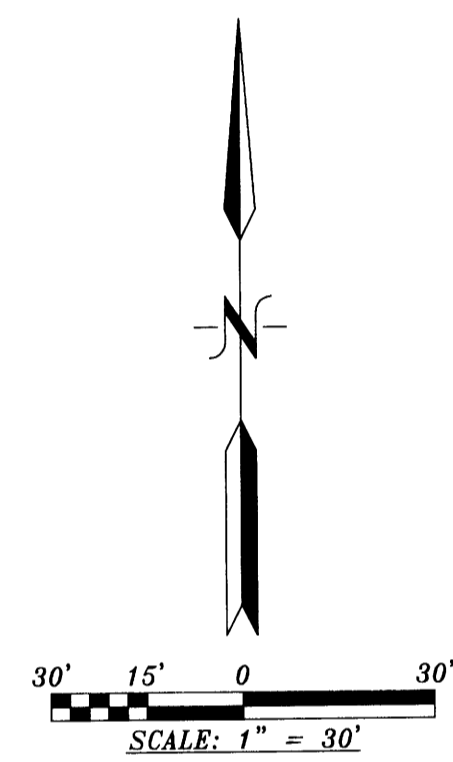
WITHIN
 ELENA GALLEGOS LAND GRANT
 PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2011



LOT 9-A, BLOCK 10
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 FILED: MAY 13, 1997
 VOLUME 97C, FOLIO 153

LOT 12, BLOCK 10
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 FILED: SEPTEMBER 10, 1931
 VOLUME D, FOLIO 201

LOT 21-A, BLOCK 10
 TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 FILED: MAY 26, 2010
 BOOK 2010C, PAGE 63



CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	31°57'18"	N 73°21'13" W	35.35	19.71	19.46
C2	26°25'04"	N 76°07'19" W	42.30	19.50	19.33
C3	90°16'28"	S 44°27'38" E	15.00	23.63	21.26

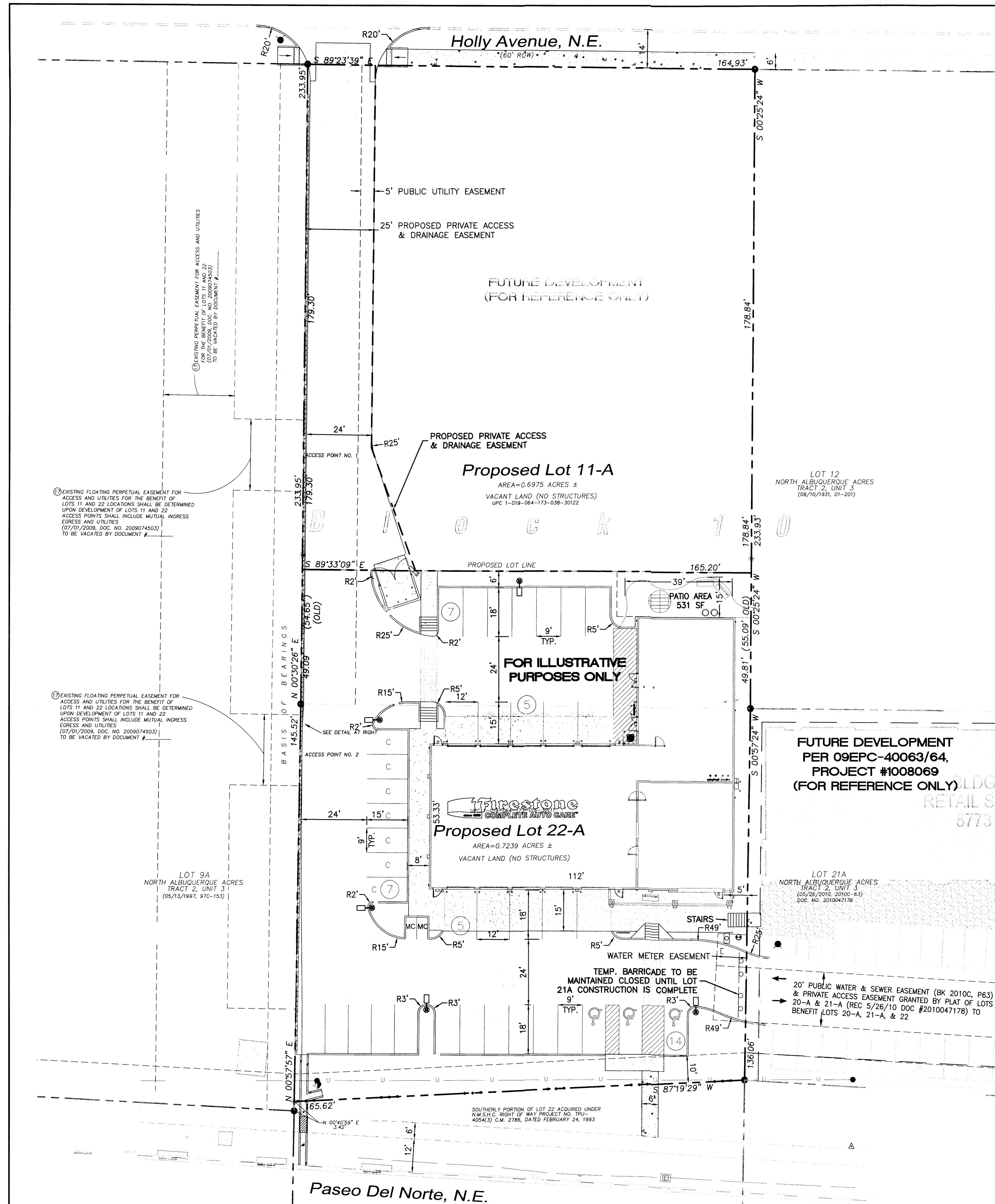
LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S 86°43'56" E	11.09'
L2	N 03°16'04" E	20.00'
L3	N 86°43'56" W	12.00'
L4	S 00°40'36" W	20.02'
L5	N 03°16'04" E	11.79'
L6	N 86°43'56" W	10.55'
L7	S 00°40'08" W	11.80'
L8	N 89°35'52" W	106.36'
L9	N 89°35'52" W	146.54'
L10	S 00°40'36" W	125.39'

ACS STATION "HEAVEN"
 X=1,547,297.145
 Y=1,518,799.515
 GRD TO GRID=0.999655810
 Δα = -00° 10' 46.22"
 CENTRAL ZONE, NAD 1983

11-02933.DWG (JUNE, 2011)

Created by Neevia docuPrinter trial version



LEGEND

---	CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	CENTERLINE
---	RIGHT-OF-WAY
---	BUILDING
---	SIDEWALK
○	PARKING LOT LIGHTS
---	LANE
---	STRIPING
---	EXISTING CURB & GUTTER
---	EXISTING BOUNDARY LINE
---	EXISTING LANE
---	EXISTING STRIPING
---	BIKERACK
---	HEAVY DUTY CONCRETE APRON
---	AC PAVING (PRIVATE)

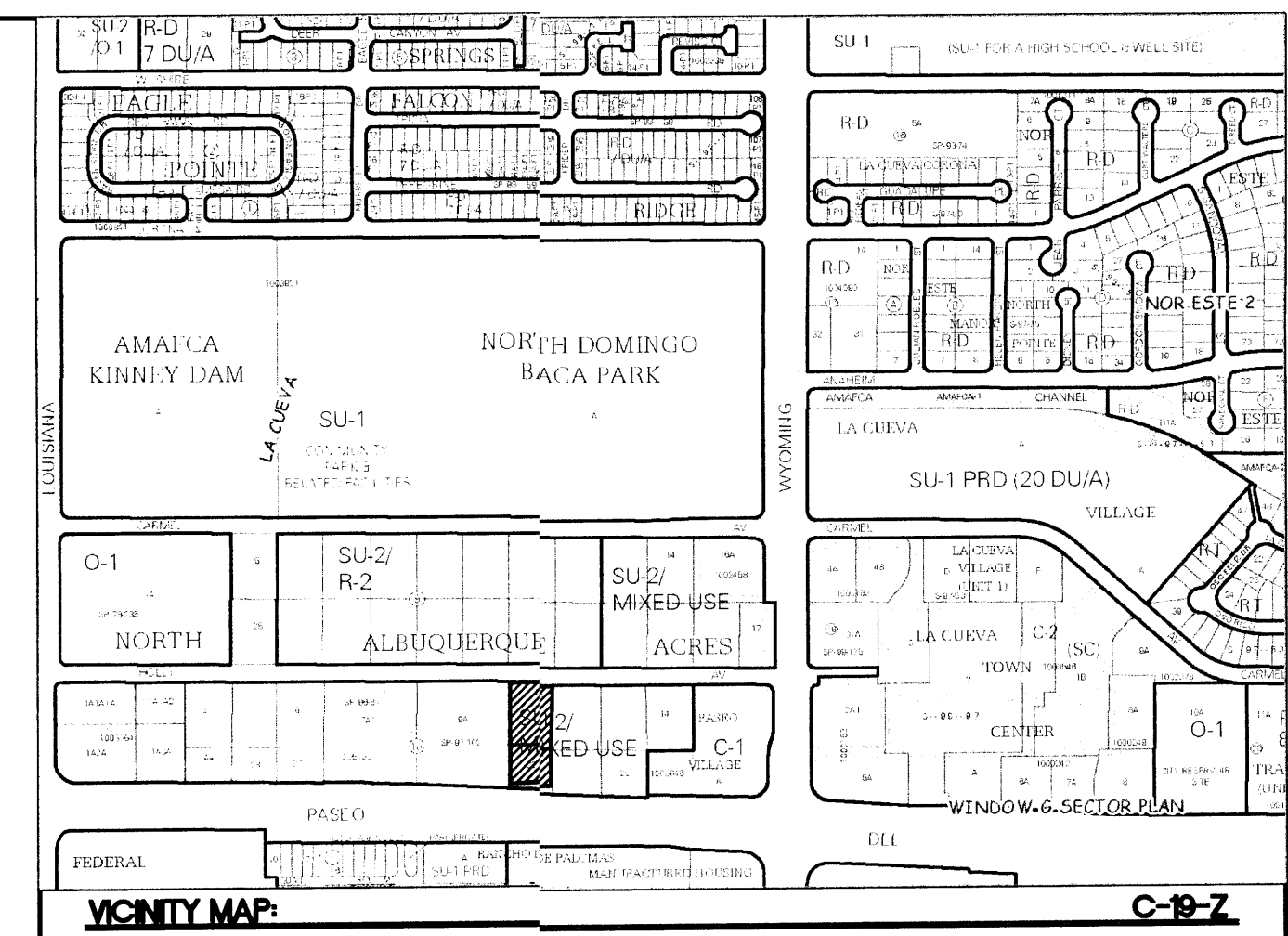
- NOTES**
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 - A PEDESTRIAN CONNECTION TO THE EXISTING PUBLIC SIDEWALK ON PASEO DEL NORTE TO THE SOUTH WILL BE CONSTRUCTED. A PEDESTRIAN CONNECTION TO THE PROPOSED DEVELOPMENT TO THE EAST WILL BE PROVIDED THROUGH STAIRS.
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 - HEIGHT: STRUCTURES SHALL NOT EXCEED 26 FEET.
 - LOT SIZE/MAX FAR: NO REQUIREMENTS.
 - MECHANICAL EQUIPMENT SHALL BE SCREENED.
 - FUTURE BUILDING DEVELOPMENT ON LOT 11 WILL REQUIRE APPROVAL BY THE EPC.
 - DEVELOPMENT SHALL COMPLY WITH THE REGULATIONS OF THE SU-2/MU (MIXED USE) ZONE AND THE COMMON DESIGN REGULATIONS FOR THE SU-2 ZONED PROPERTIES IN THE LA CUEVA SECTOR DEVELOPMENT PLAN (LCSDP).
 - THE SITE DEVELOPMENT PLAN SHALL COMPLY WITH THE LANDSCAPING REGULATIONS, SEC. 14-16-3-10.

SITE DATA: LOT 22 (PROPOSED LOT 22A)

PROPOSED USAGE: AUTO REPAIR (FIRESTONE)
 ZONING: SU-2 MIXED USE
 SITE AREA: ±0.53 ACRES (EXISTING)
 0.7223 ACRES (PROPOSED)
 PROPOSED LOT COVERAGE: 24.3 %

SITE DATA: LOT 11 (PROPOSED LOT 11A)

PROPOSED USAGE: FUTURE
 ZONING: SU-2 MIXED USE
 SITE AREA: 0.886 ACRES (EXISTING)
 0.6975 ACRES (PROPOSED)



LEGAL DESCRIPTION:
 LOT 22 AND LOT 11, BLOCK 10, NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

- EASEMENT LEGEND**
- EXISTING NON-EXCLUSIVE BLANKET EASEMENT FOR UTILITIES UPON, OVER UNDER AND ACROSS COMMON AREA AND STORM SEWER (07/06/2010, DOC. NO. 2010064384) - NON PLOTTABLE
 - EXISTING PERPETUAL EASEMENT (PARKING ALLOCATION) FOR THE BENEFIT OF LOT 9A (07/01/2009, DOC. NO. 2009074133) TO BE VACATED BY DOCUMENT # _____
 - EXISTING MUTUAL EASEMENT FOR UTILITIES AND ACCESS FOR LOTS 11, 13, 14, 20, 21 AND 22, BLOCK 10 TRACT 2, OF UNIT 3 NORTH ALBUQUERQUE ACRES. THIS GRANT OF EASEMENT SHALL BE MUTUAL ENCUMBRANCE AND SHALL BE FOR THE MUTUAL BENEFIT OF LOTS DESCRIBED. UPON FINAL DEVELOPMENT OF THE LOTS, THIS GRANT OF EASEMENT SHALL BE AMENDED TO REFLECT EXACT LOCATION OF THE EASEMENT - NON PLOTTABLE

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

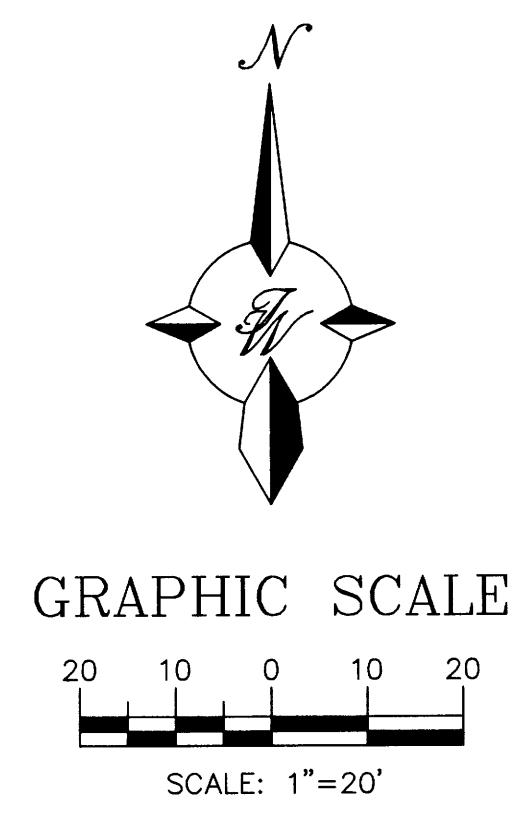
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

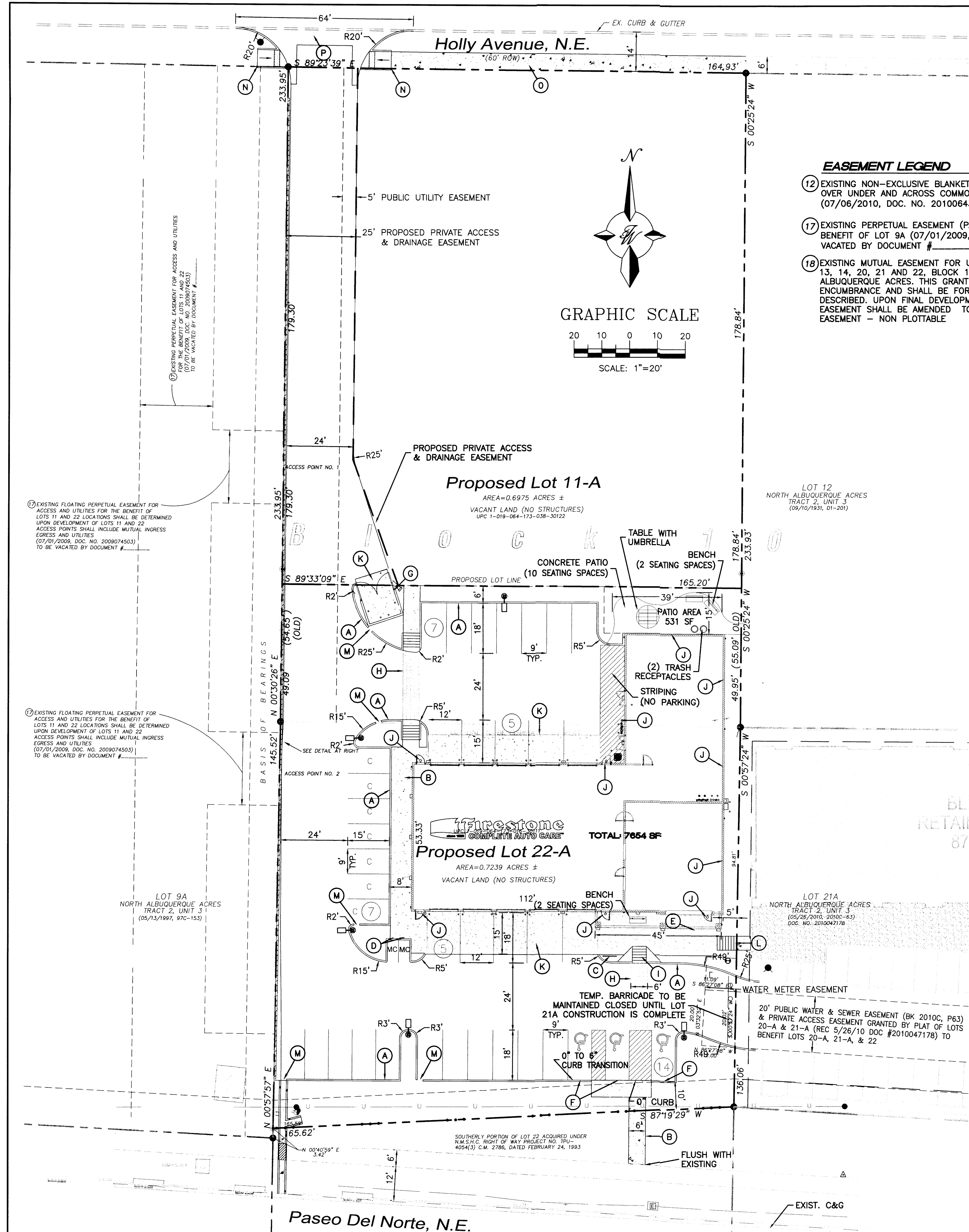
Traffic Engineer, Transportation Division	_____	Date
Water Utility Development	_____	Date
Parks & Recreation Department	_____	Date
City Engineer	_____	Date
* Environmental Health Department (conditional)	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date

* Environmental Health, if necessary

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
 - C2. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 - C3. PRELIMINARY GRADING AND DRAINAGE PLAN
 - C4. MASTER UTILITY PLAN
 - C5. DETAILS
 - L1. LANDSCAPE PLAN
 - A4. EXTERIOR ELEVATIONS



ENGINEER'S SEAL	FIRESTONE PASEO DEL NORTE & WYOMING BLVD	DRAWN BY JH
	SITE PLAN FOR SUBDIVISION	DATE 11-03-11
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 terrawestllc.com	2995-SPSB
RONALD R. BOHANNAN P.E. #7868		SHEET # C1
		JOB # 29095



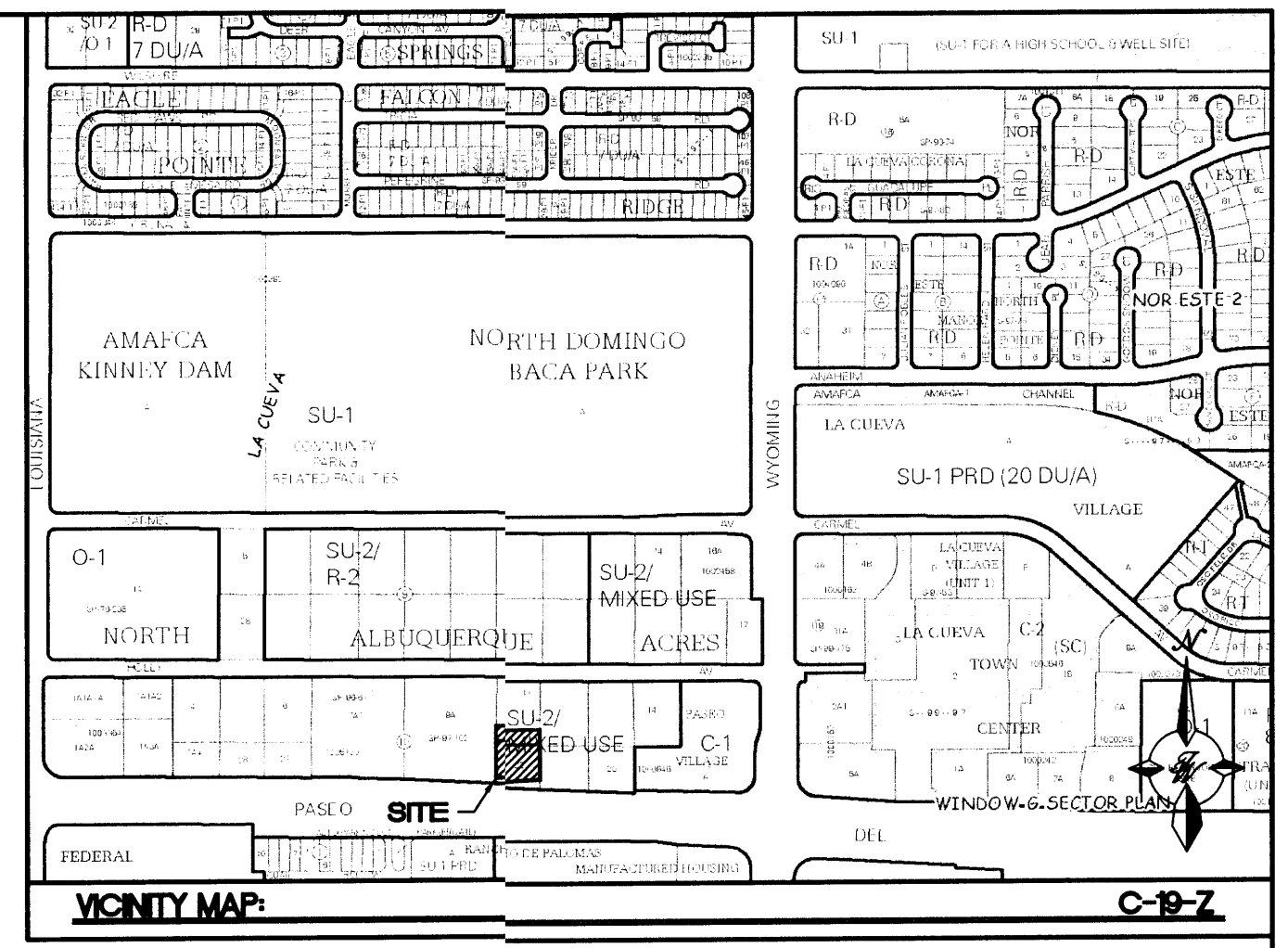
LEGEND

---	CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	CENTERLINE
---	RIGHT-OF-WAY
---	BUILDING
---	SIDEWALK
☉	STREET LIGHTS
---	LANE
---	STRIPING
---	EXISTING CURB & GUTTER
---	EXISTING BOUNDARY LINE
---	EXISTING LANE
---	EXISTING STRIPING
---	BIKERACK
---	HEAVY DUTY CONCRETE APRON
---	AC PAVING (PRIVATE)

- EASEMENT LEGEND**
- (12) EXISTING NON-EXCLUSIVE BLANKET EASEMENT FOR UTILITIES UPON, OVER UNDER AND ACROSS COMMON AREA AND STORM SEWER (07/06/2010, DOC. NO. 2010064384) - NON PLOTTABLE
 - (17) EXISTING PERPETUAL EASEMENT (PARKING ALLOCATION) FOR THE BENEFIT OF LOT 9A (07/01/2009, DOC. NO. 2009074133) TO BE VACATED BY DOCUMENT #
 - (18) EXISTING MUTUAL EASEMENT FOR UTILITIES AND ACCESS FOR LOTS 11, 13, 14, 20, 21 AND 22, BLOCK 10 TRACT 2, OF UNIT 3 NORTH ALBUQUERQUE ACRES. THIS GRANT OF EASEMENT SHALL BE MUTUAL ENCUMBRANCE AND SHALL BE FOR THE MUTUAL BENEFIT OF LOTS DESCRIBED. UPON FINAL DEVELOPMENT OF THE LOTS, THIS GRANT OF EASEMENT SHALL BE AMENDED TO REFLECT EXACT LOCATION OF THE EASEMENT - NON PLOTTABLE

- KEYED NOTE:**
- (A) STANDARD CURB PER COA STD DWG #2415A
 - (B) SIDEWALK
 - (C) BIKE RACK (PER DETAIL SHEET C5)
 - (D) MOTORCYCLE SIGN
 - (E) COVERED CANOPY
 - (F) HANDICAP PARKING SIGN
 - (G) TRASH ENCLOSURE & DUMPSTERS
 - (H) PEDESTRIAN PATHWAY (PER DETAIL SHEET C5)
 - (I) ADA RAMP
 - (J) WALL PACK LIGHTING
 - (K) HEAVY DUTY CONCRETE APRON
 - (L) STAIRS, 6' MIN. WIDTH
 - (M) 2' CURB CUT
 - (N) ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2426
 - (O) 6' SIDEWALK PER COA STD DWG #2430
 - (P) 6' VALLEY GUTTER PER COA STD DWG #2420

- NOTES**
- PRIMARY VEHICULAR ACCESS SHALL BE FROM HOLLY AVENUE THROUGH THE EXISTING PARKING LOT ON LOT 9A VIA EXISTING EASEMENT (NO. 17 THIS SHEET). ACCESS WILL ALSO BE PROVIDED THROUGH LOTS 20, 21, AND 22 VIA EXISTING MUTUAL ACCESS EASEMENT (NO 18, THIS SHEET).
 - A PEDESTRIAN CONNECTION TO THE EXISTING PUBLIC SIDEWALK ON PASEO DEL NORTE TO THE SOUTH WILL BE CONSTRUCTED. A PEDESTRIAN CONNECTION TO THE PROPOSED DEVELOPMENT TO THE EAST WILL BE PROVIDED THROUGH STAIRS.
 - SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE (5) FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
 - HEIGHT: STRUCTURES SHALL NOT EXCEED 26 FEET.
 - LOT SIZE/MAX FAR: NO REQUIREMENTS.
 - NO ROOF-MOUNTED EQUIPMENT IS PROPOSED. MECHANICAL EQUIPMENT SHALL BE SCREENED.
 - FUTURE BUILDING DEVELOPMENT ON LOT 11 WILL REQUIRE APPROVAL BY THE EPC.
 - DEVELOPMENT SHALL COMPLY WITH THE REGULATIONS OF THE SU-2/MU (MIXED USE) ZONE AND THE COMMON DESIGN REGULATIONS FOR SU-2 ZONED PROPERTIES IN THE LA CUEVA SECTOR DEVELOPMENT PLAN (LCSDP).
 - ALL OUTDOOR LIGHT FIXTURES SHALL BE EQUIPPED WITH LIGHT AND MOTION SENSORS AND/OR AUTOMATIC TIMING DEVICES.
 - ALL OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND OPERATED SO THAT THE AREA 10 FEET BEYOND THE PROPERTY LINE RECEIVES NO MORE THAN 0.25 OF A FOOT CANDLE (c) OF LIGHT FROM THE PREMISES LIGHTING SYSTEM.
 - THE SITE DEVELOPMENT PLAN SHALL COMPLY WITH THE LANDSCAPING REGULATIONS, SEC. 14-16-3-10.



LEGAL DESCRIPTION:
 REMAINING PORTION OF LOT 22 AND SOUTHERLY PORTION OF LOT 11, BLOCK 10, NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

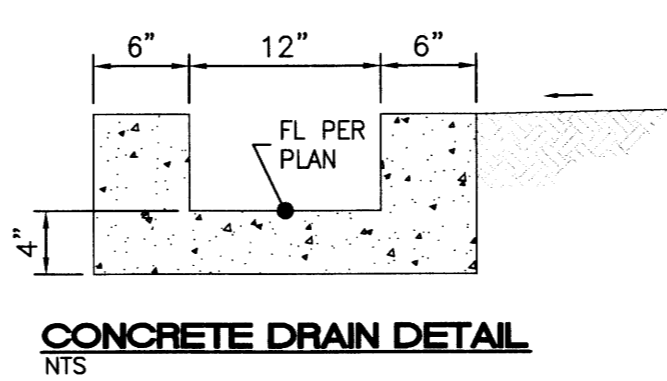
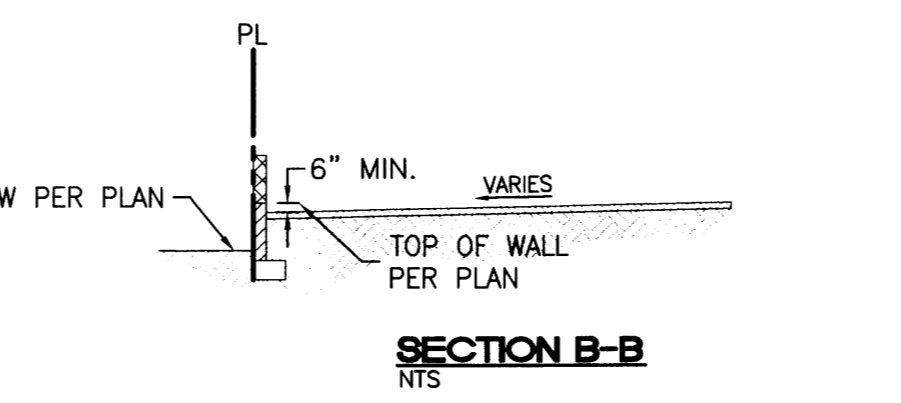
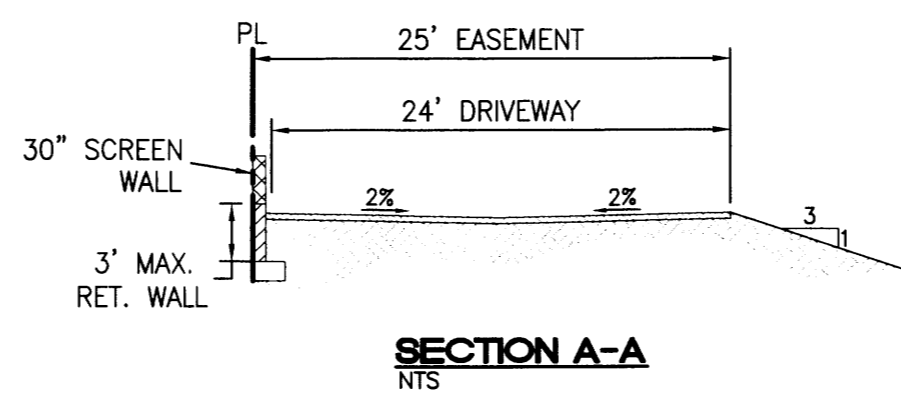
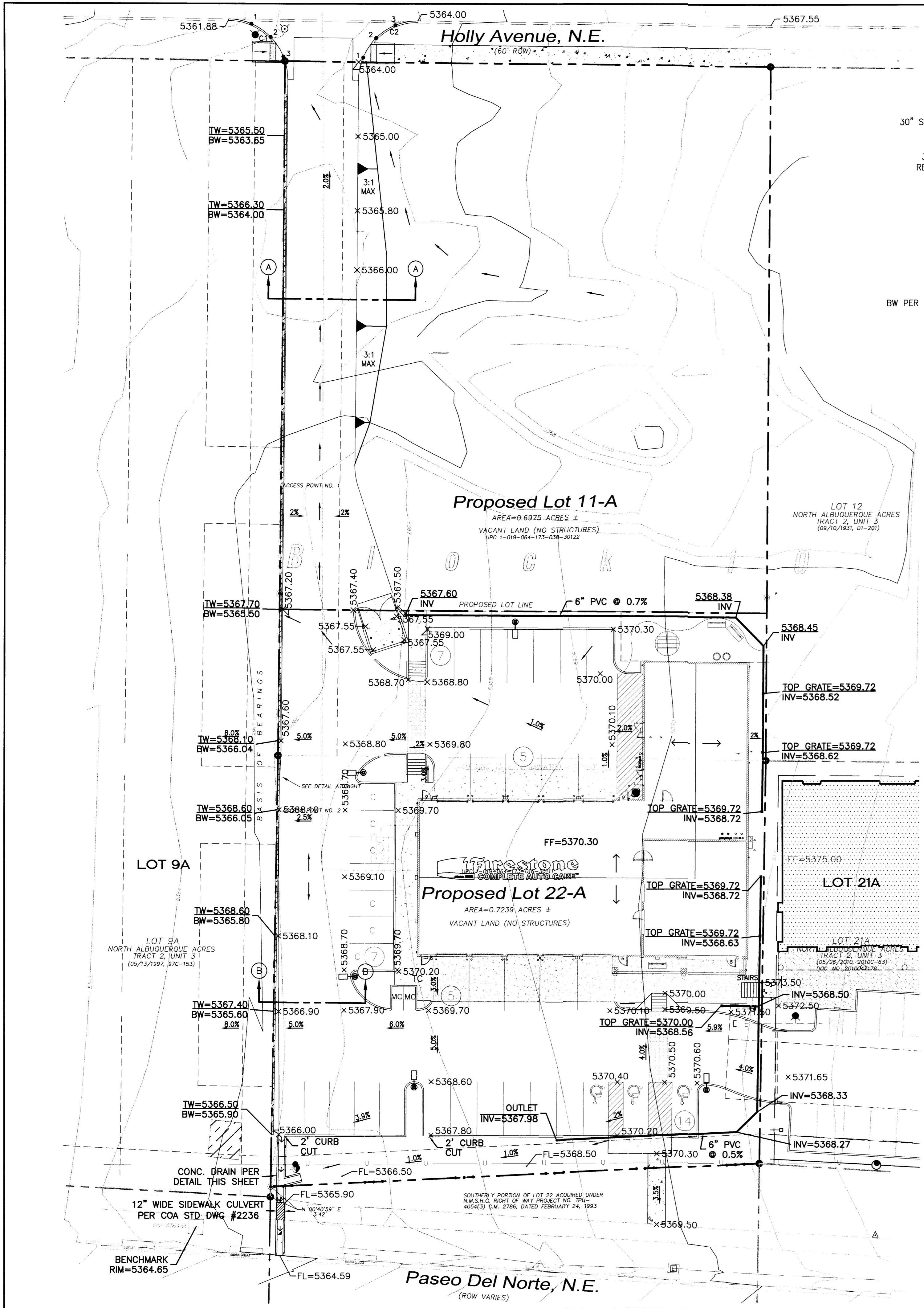
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

SITE DATA

PROPOSED USAGE:	FIRESTONE (AUTO REPAIR)
LOT AREA:	±31,463 SF (.7223 AC) (NEW LOT AREA)
LOT COVERAGE:	24.3%
BUILDING AREA:	7,654 SF
PARKING REQUIRED:	38 SPACES (1 SPACE PER 200 SF BUILDING AREA)
PARKING PROVIDED:	38 SPACES (7 COMPACT, 10 SERVICE BAYS)
HC PARKING REQUIRED:	3 SPACES
HC PARKING PROVIDED:	3 SPACES 1 SPACE VAN ACCESSIBLE
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES

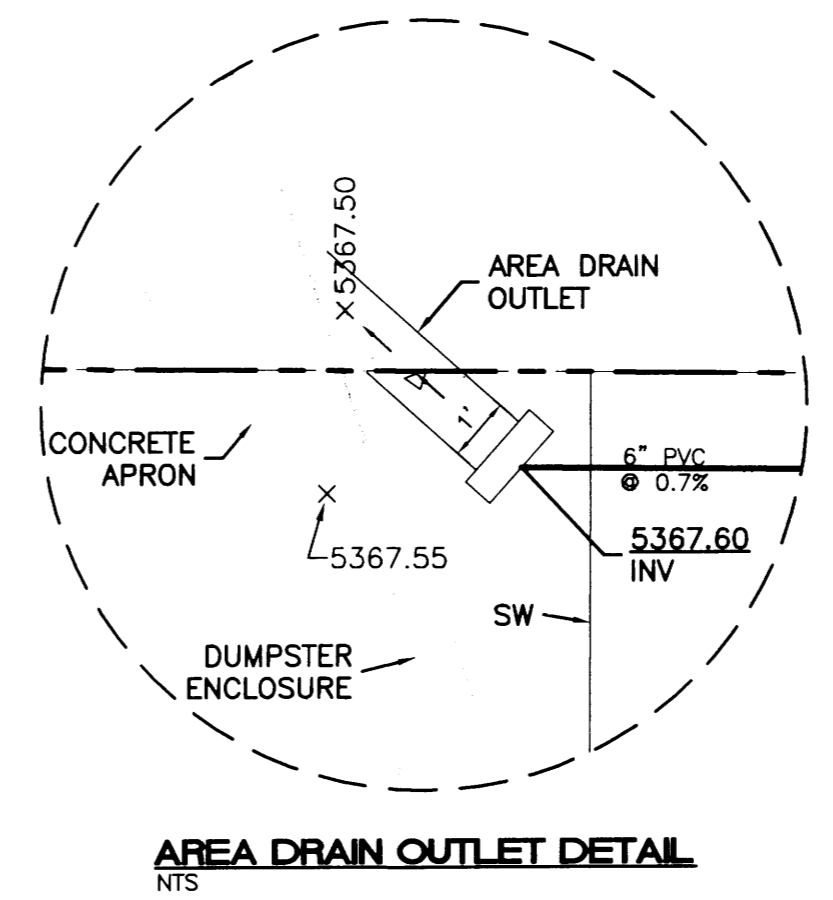
ENGINEER'S SEAL	FIRESTONE PASEO DEL NORTE & WYOMING BLVD	DRAWN BY JH
	SITE DEVELOPMENT PLAN FOR BLDG PERMIT	DATE 11-03-11
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tiewestllc.com	2895-SPB
		SHEET # C2
		JOB # 29095



QUARTER POINTS

C1	FL	ELEV.	C2	FL	ELEV.
	1	5362.09	1	5363.81	
	2	5362.77	2	5363.70	
	3	5363.23	3	5363.75	

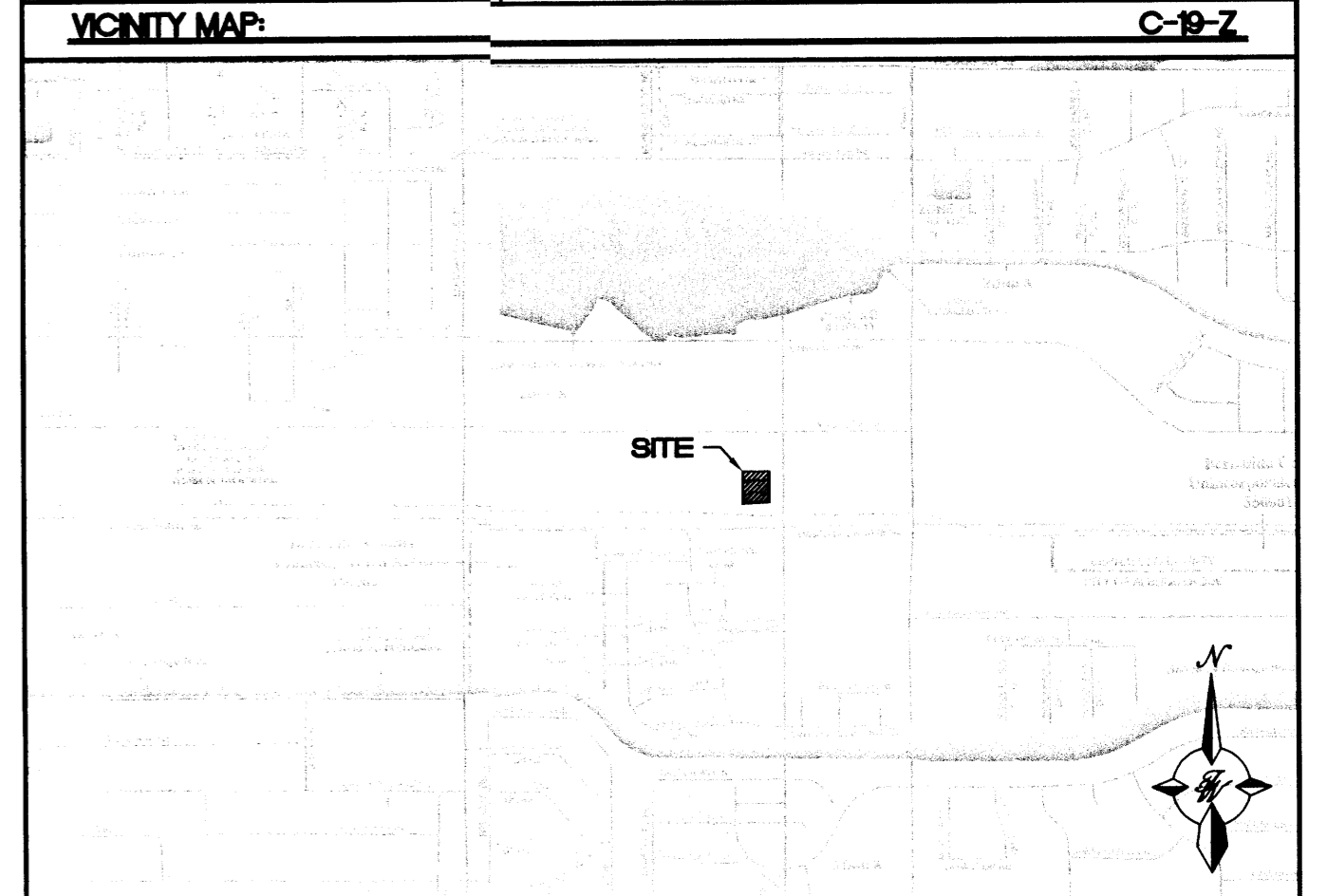
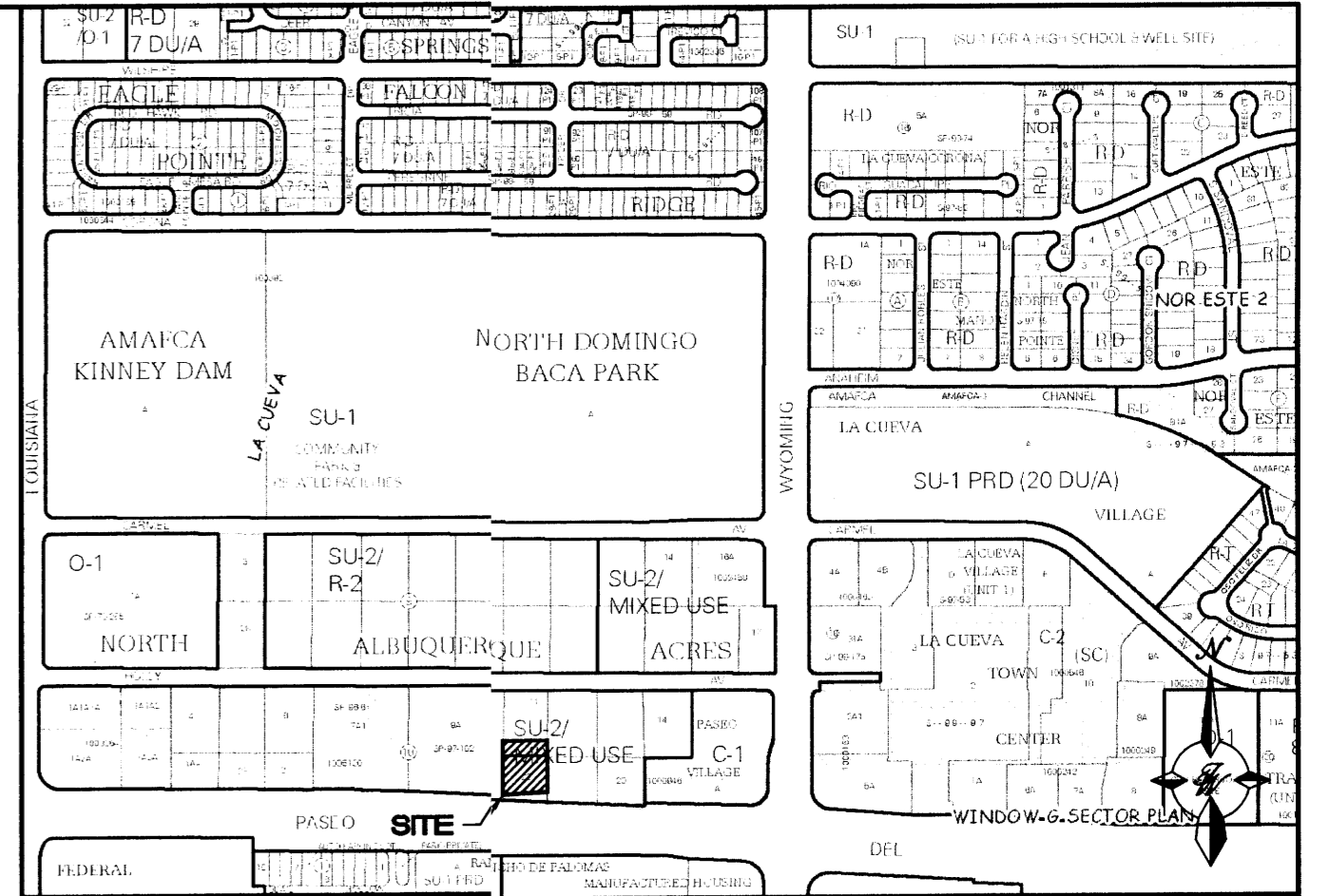
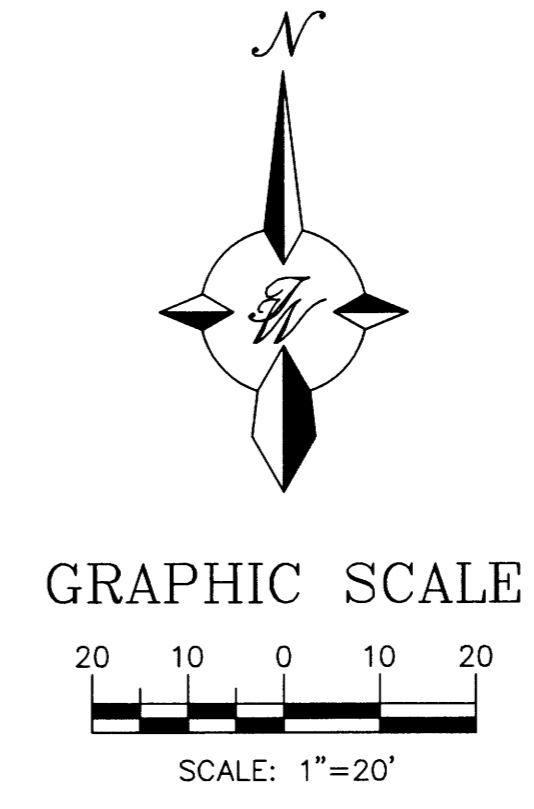
- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - - - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - x 5048.25 SPOT ELEVATION
 - FLOW ARROW
 - - - EXISTING CURB & GUTTER
 - - - EXISTING BOUNDARY LINE
 - - - EXISTING CONTOUR MAJOR
 - - - EXISTING CONTOUR MINOR
 - - - EXISTING SPOT ELEVATION
 - NEW LANDSCAPING
 - PROPOSED INLET
 - SCREEN WALL
 - RETAINING WALL



EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- ALL SITES OVER 1 ACRE DISTURBANCE REQUIRE FEDERAL NPDES PERMIT.

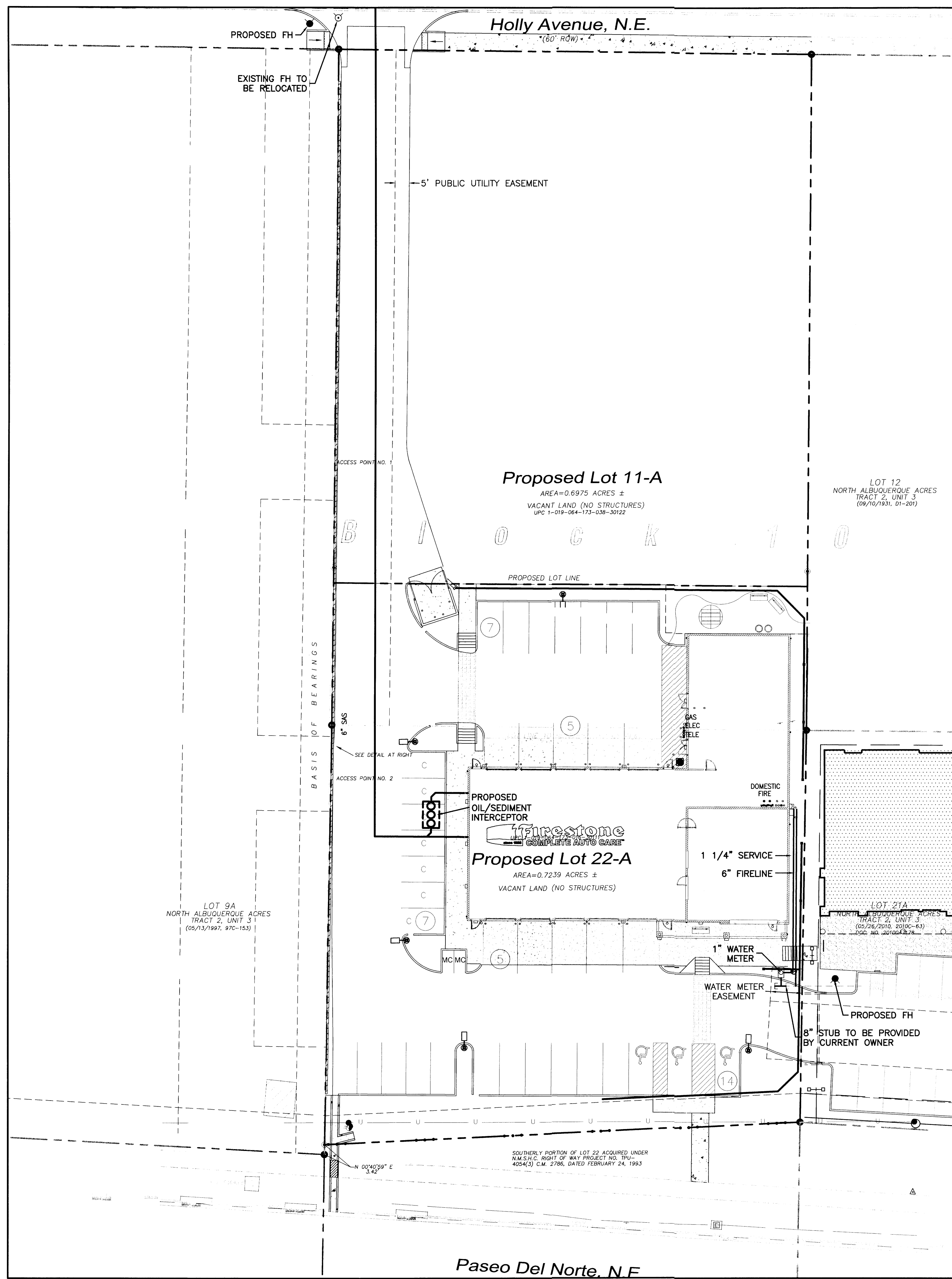
CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH THE ENGINEER AND APPROVED BY THE CITY.



- NOTES:**
- GRADES ON CURB LINE ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.
 - LANDSCAPE AREAS SHALL BE DEPRESSED.
 - ANY CHANGES TO THIS PLAN SHALL BE COORDINATED AND APPROVED BY THE CITY.
 - CURB NOTCHES/CUTS SHALL BE USED AT LOCATION SHOWN ON PLAN.
 - TO THE EXTENT THAT THE DRAINAGE PATTERN CROSSES ON TO AN ADJACENT SITE, AN APPROPRIATE CROSS-DRAINAGE AGREEMENT SHALL EXIST.

ROUGH GRADING APPROVAL _____ DATE _____

ENGINEER'S SEAL	FIRESTONE PASEO DEL NORTE & WYOMING BLVD	DRAWN BY JH
	GRADING AND DRAINAGE PLAN	DATE 11-02-11
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrewestllc.com	2995-GRB
		SHEET # C3
RONALD R. BOHANNAN P.E. #7868		JOB # 29095



CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

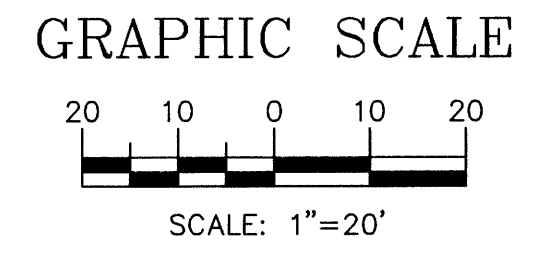
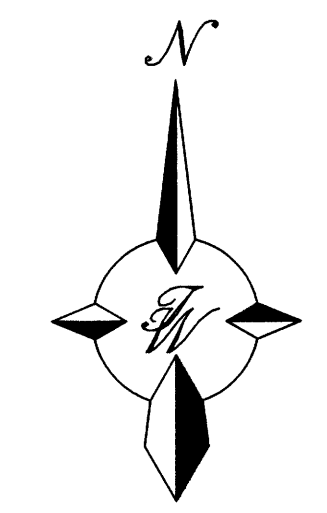
- GENERAL NOTES:**
1. ALL UTILITIES SERVING THE BUILDING SHALL BE PLACED UNDERGROUND. 4' MINIMUM BURY DEPTH REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
 3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 5. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
 6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

LEGEND

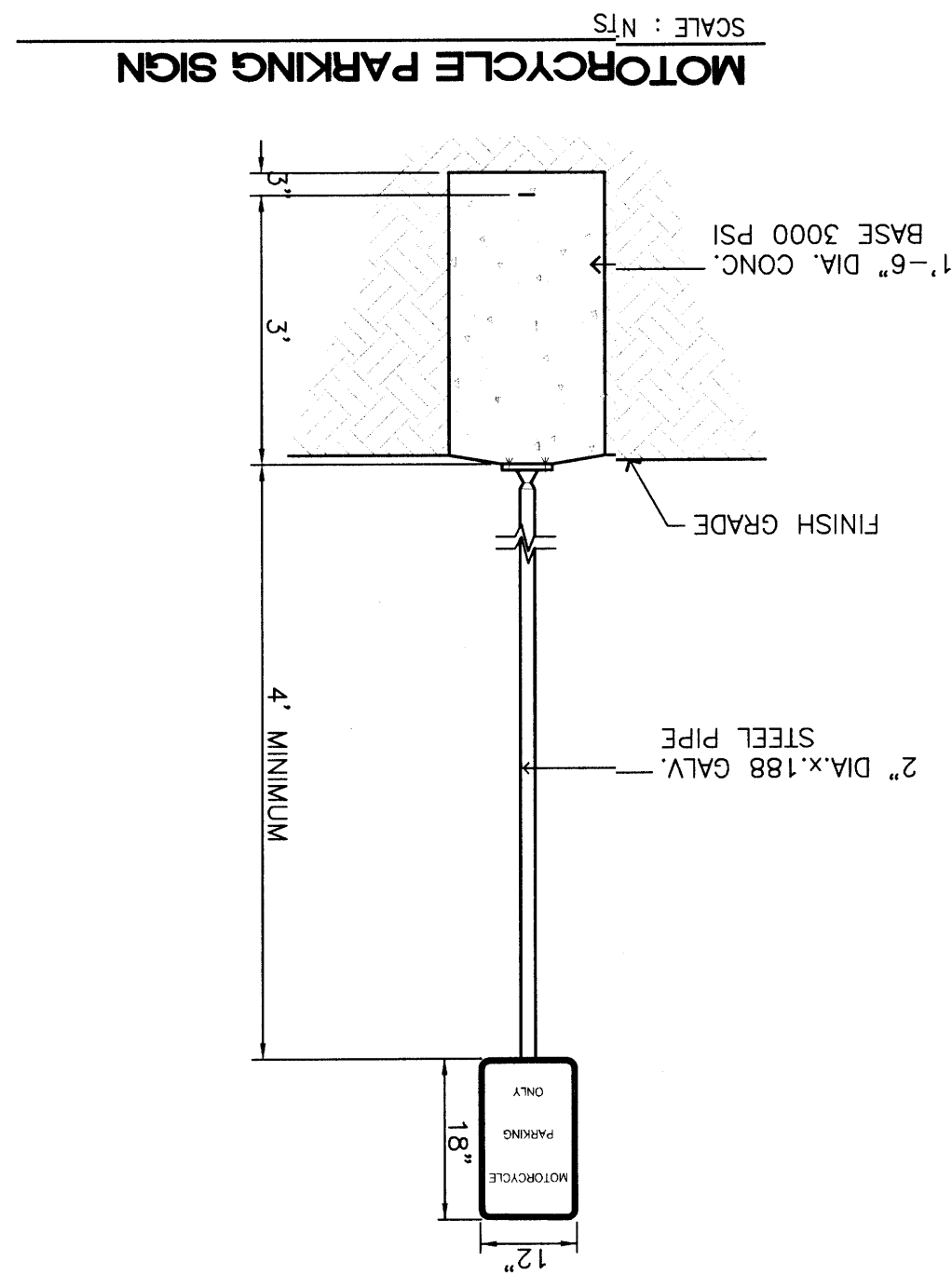
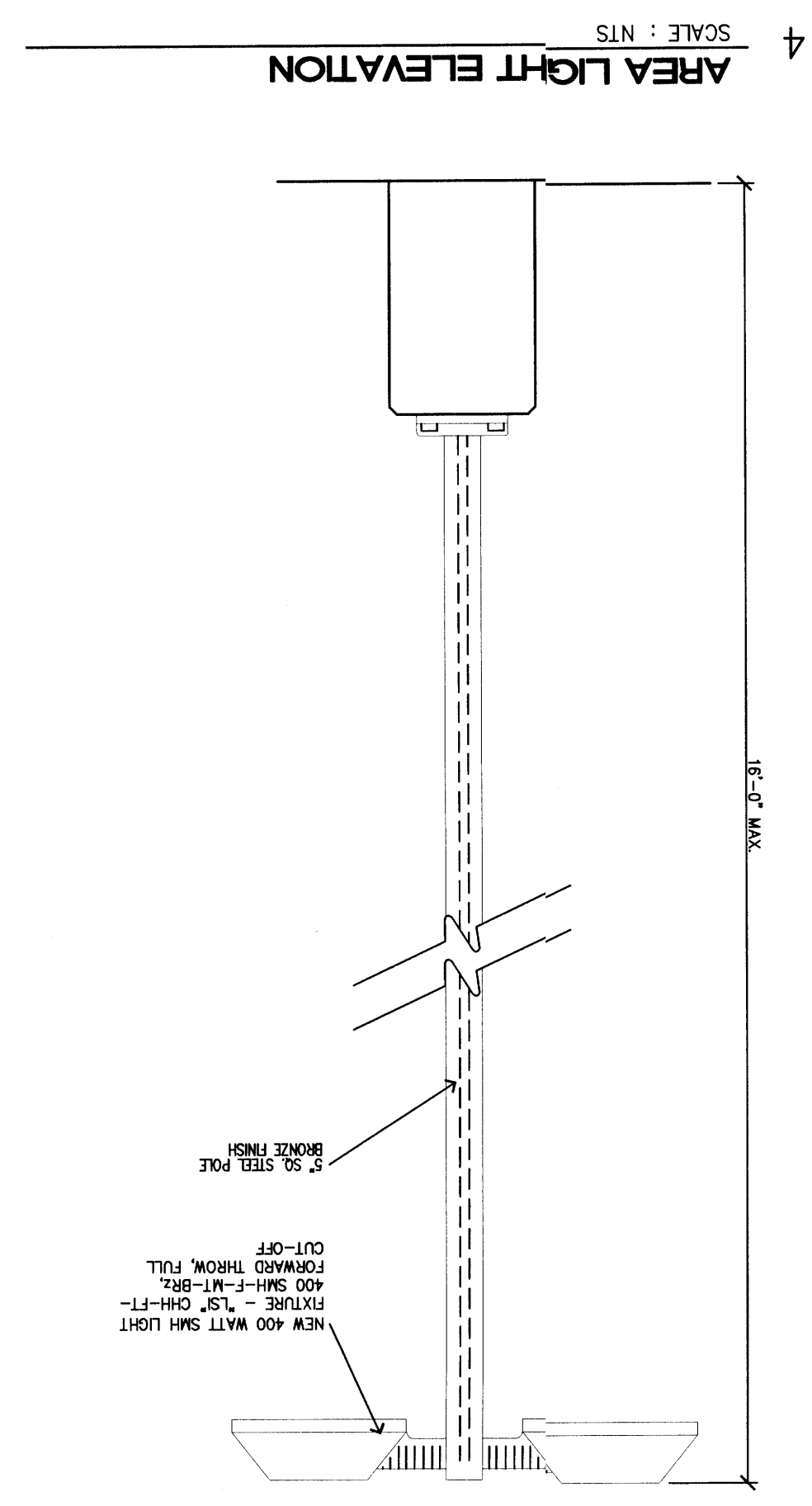
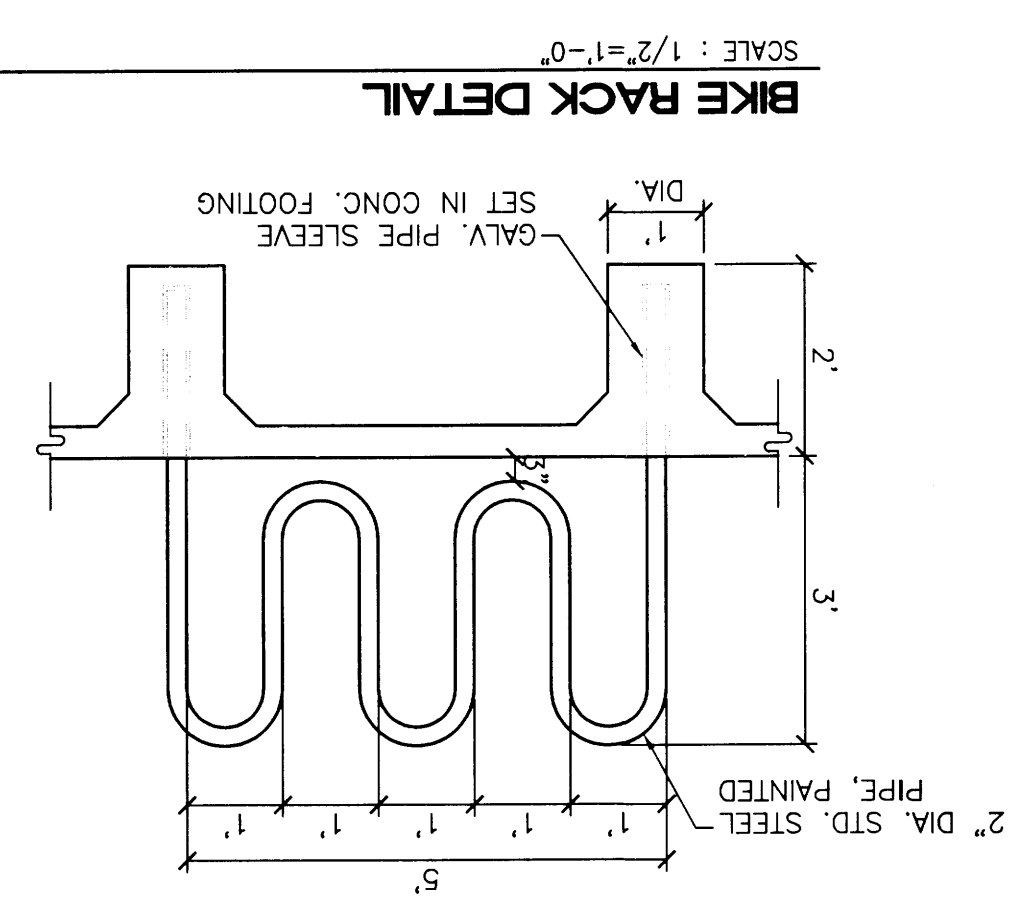
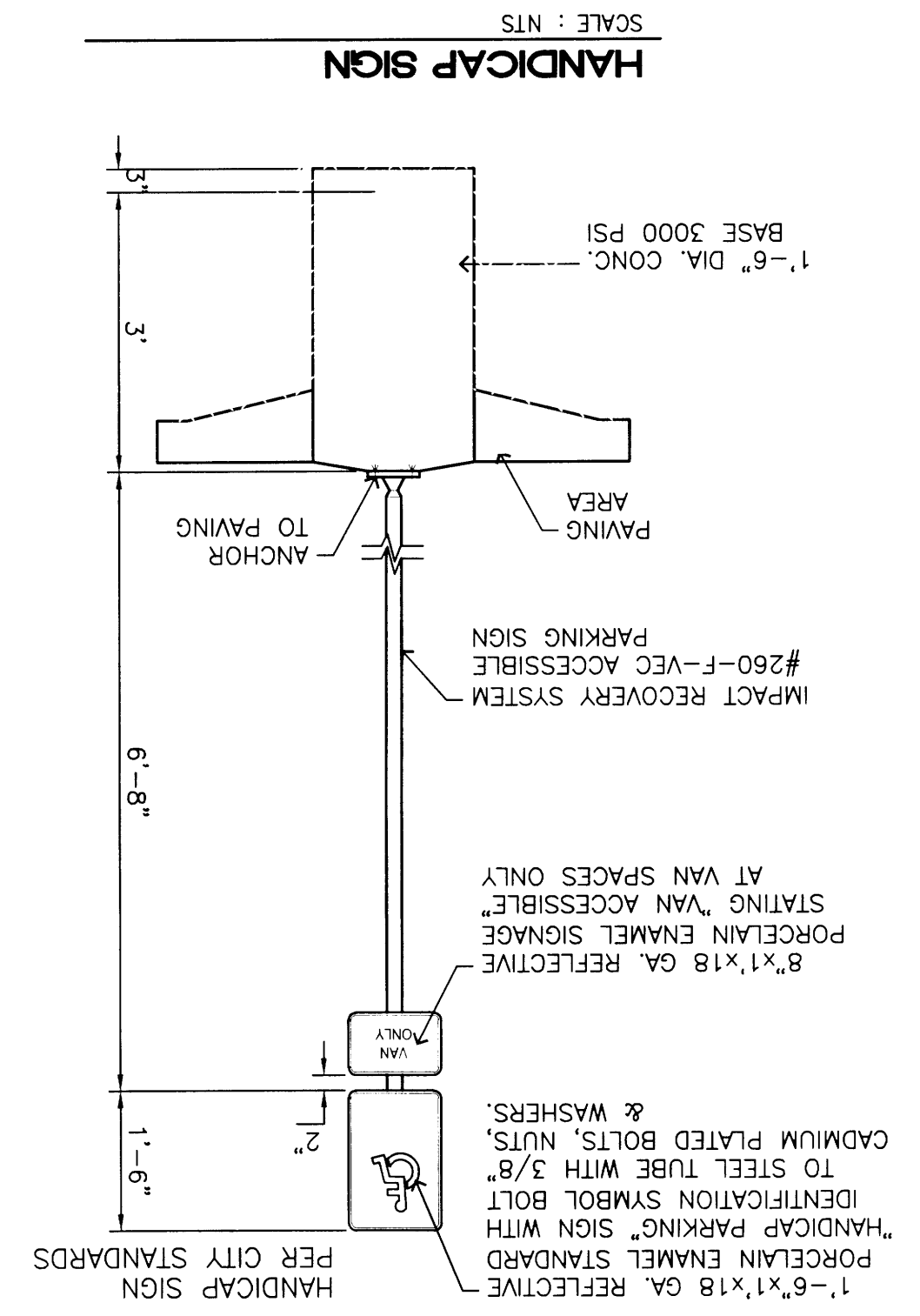
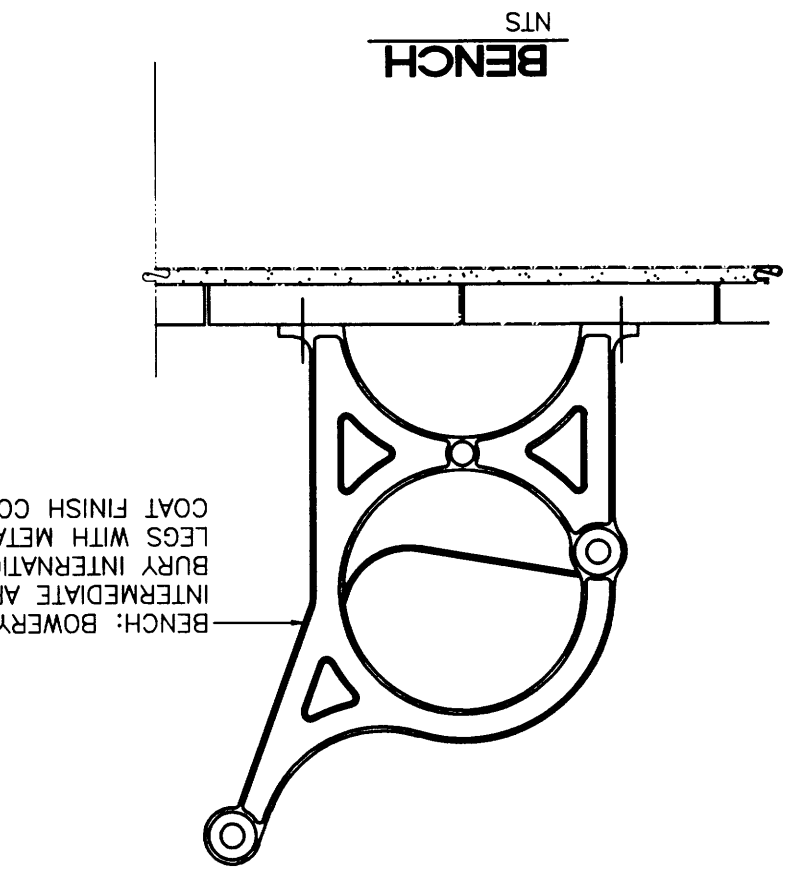
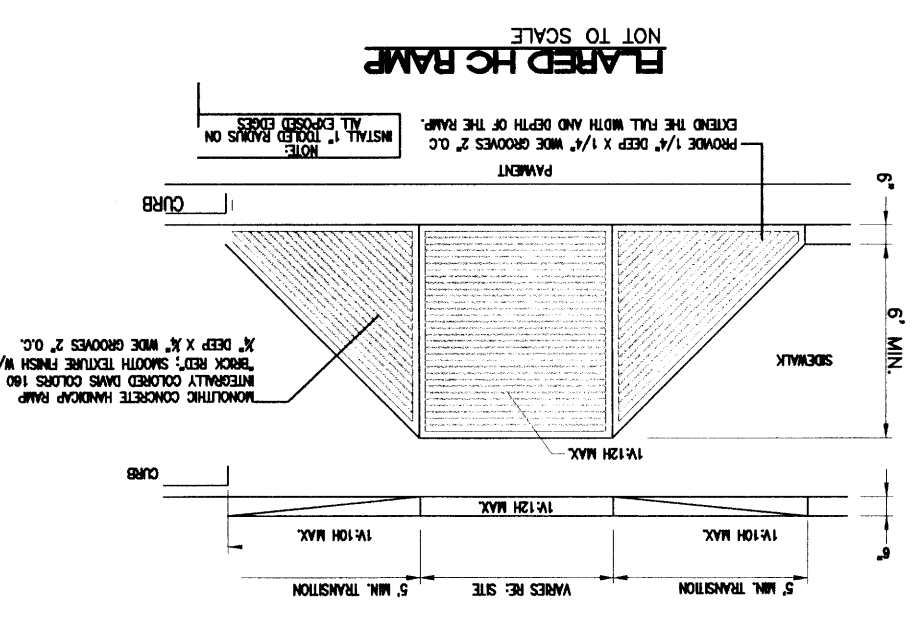
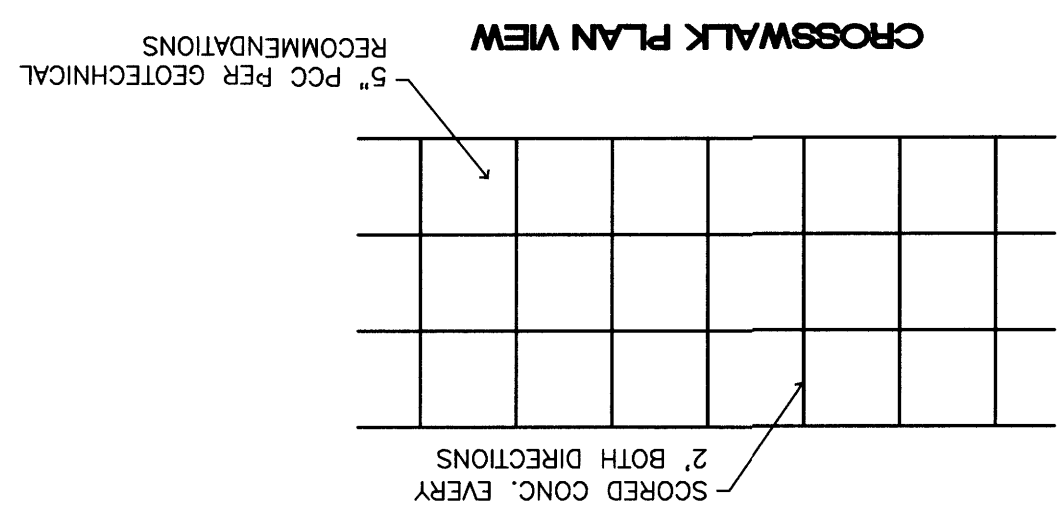
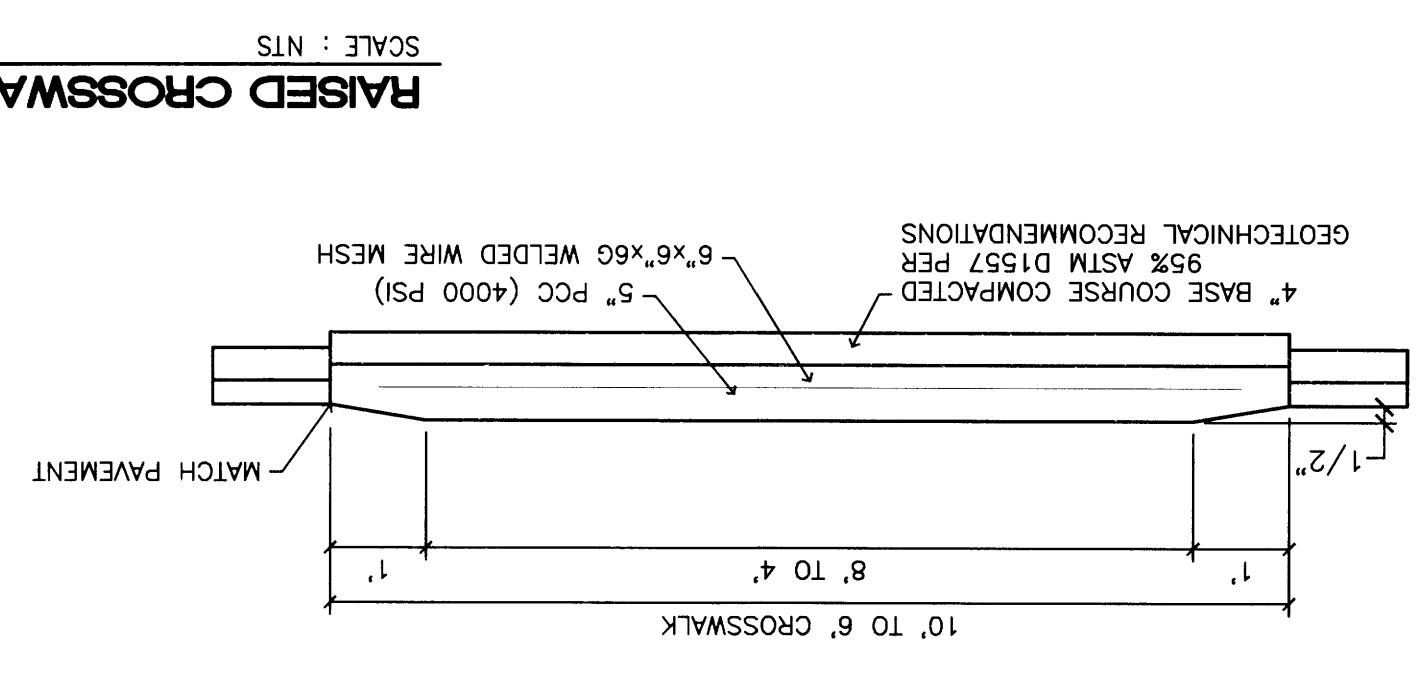
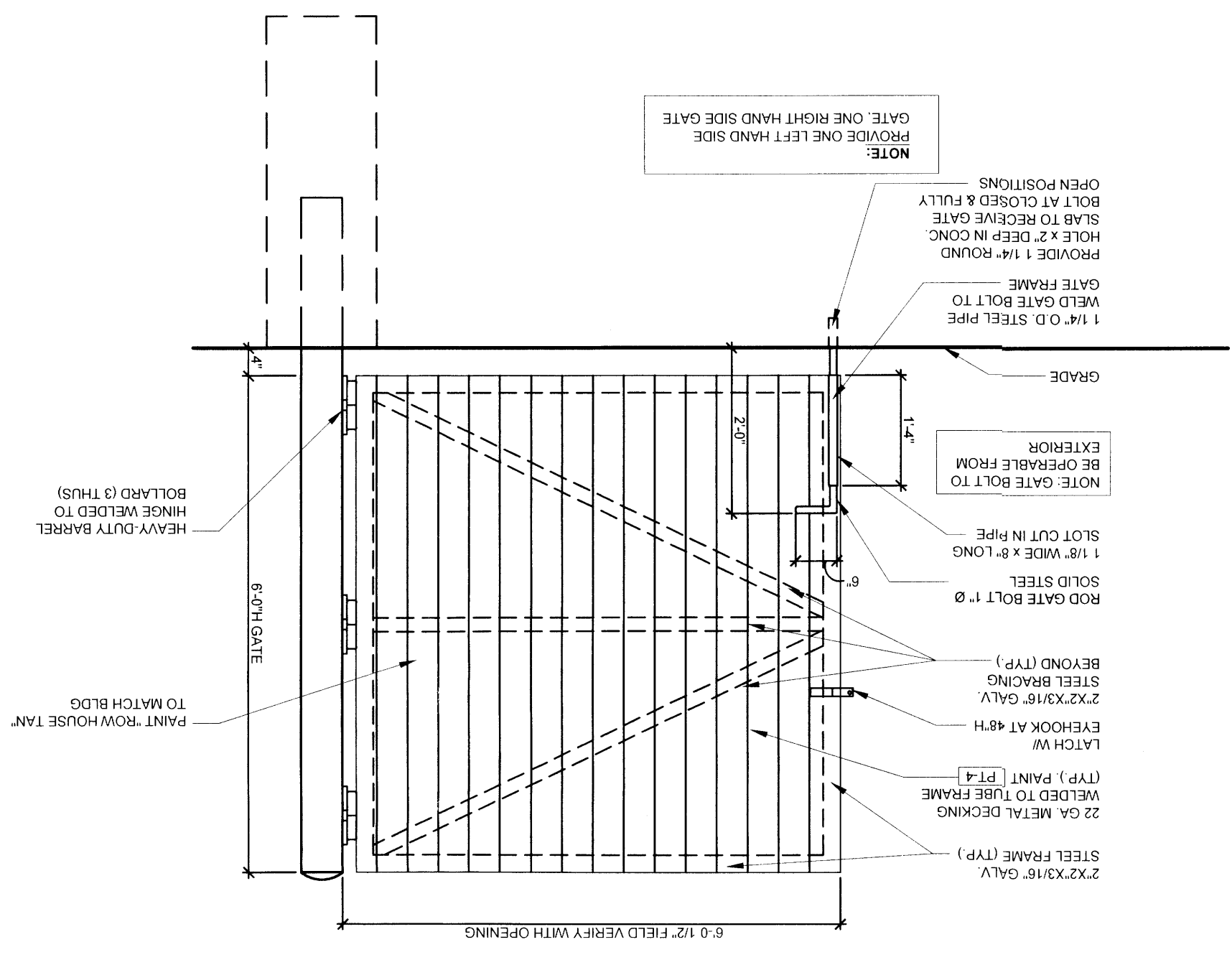
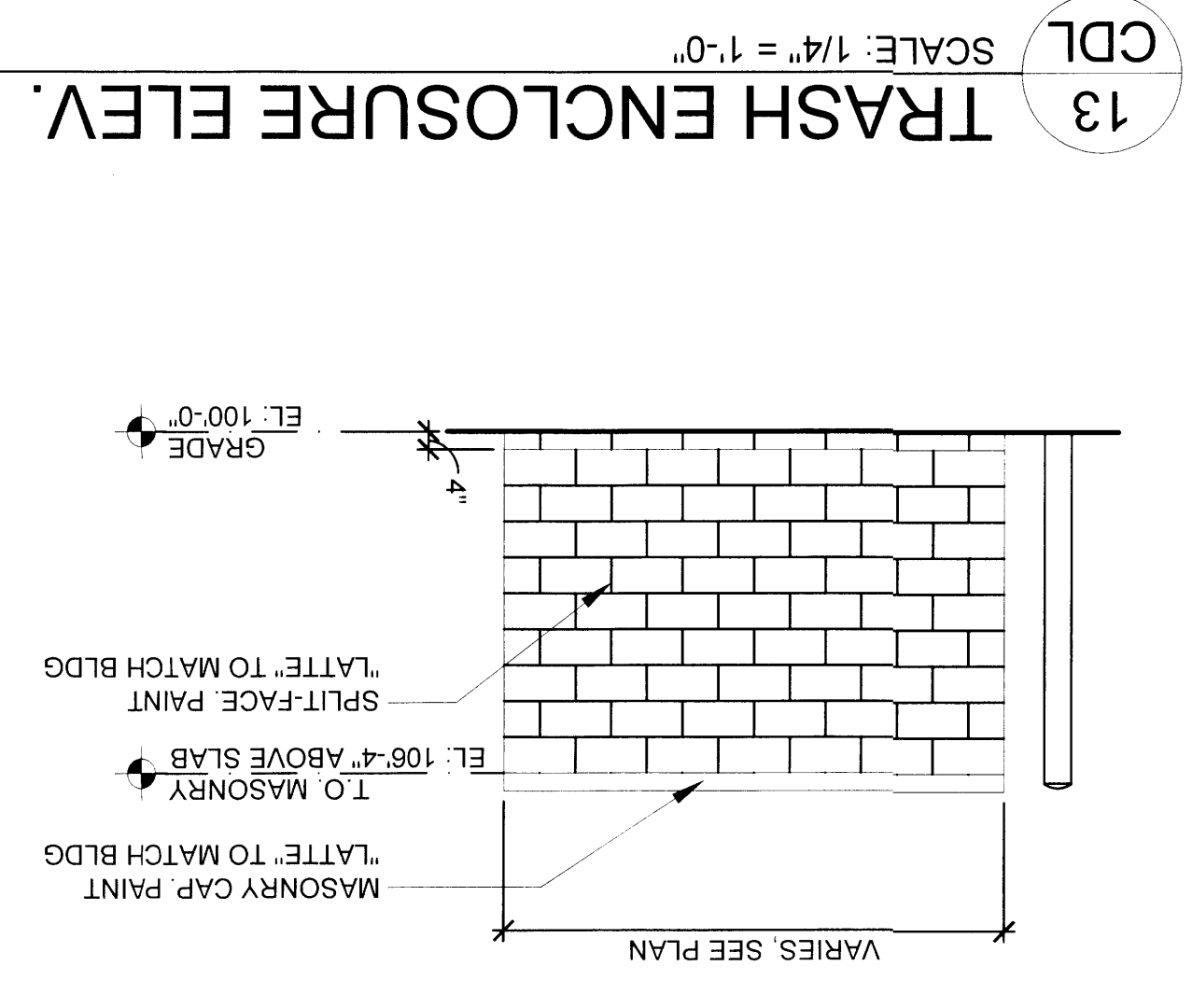
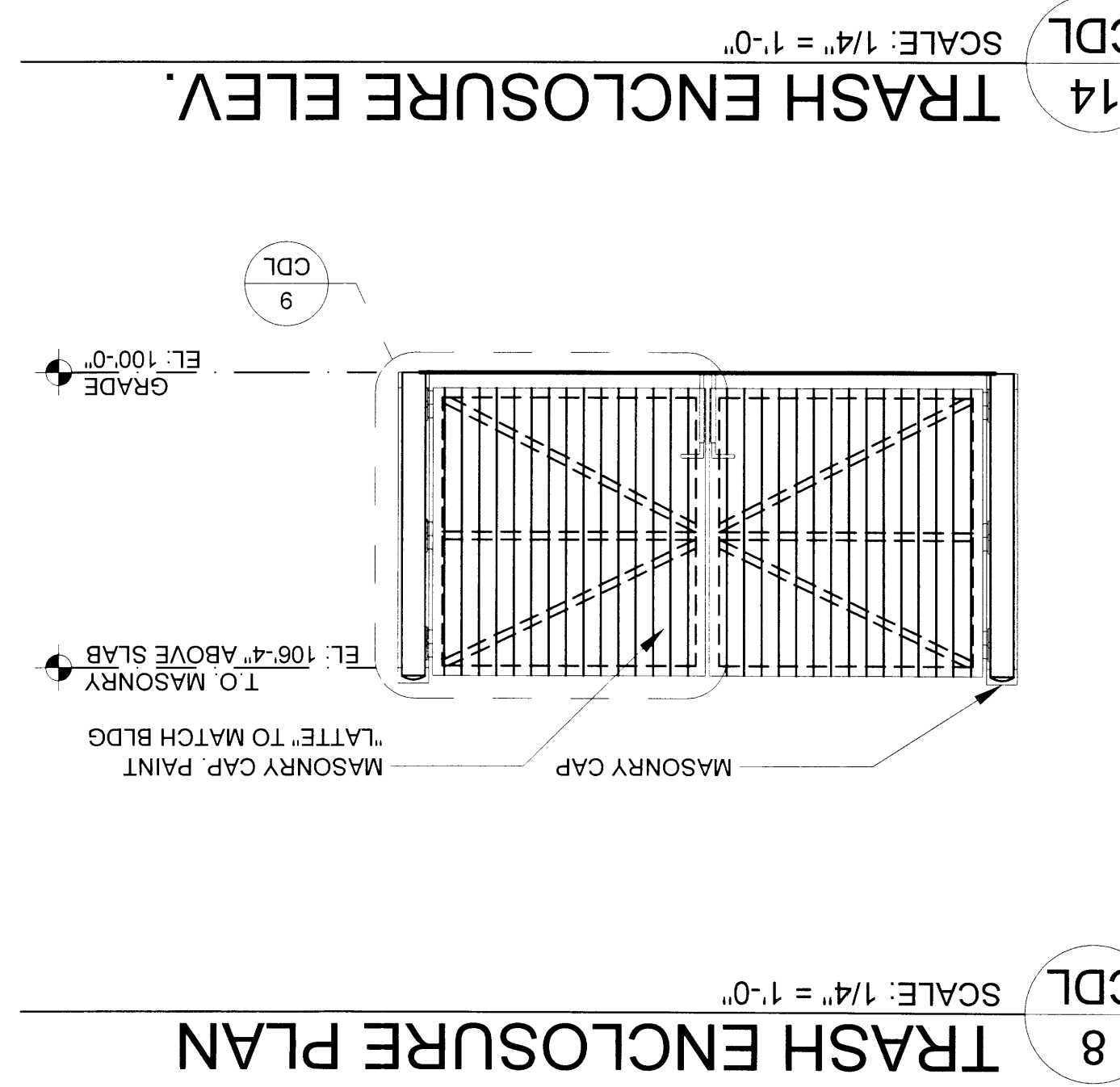
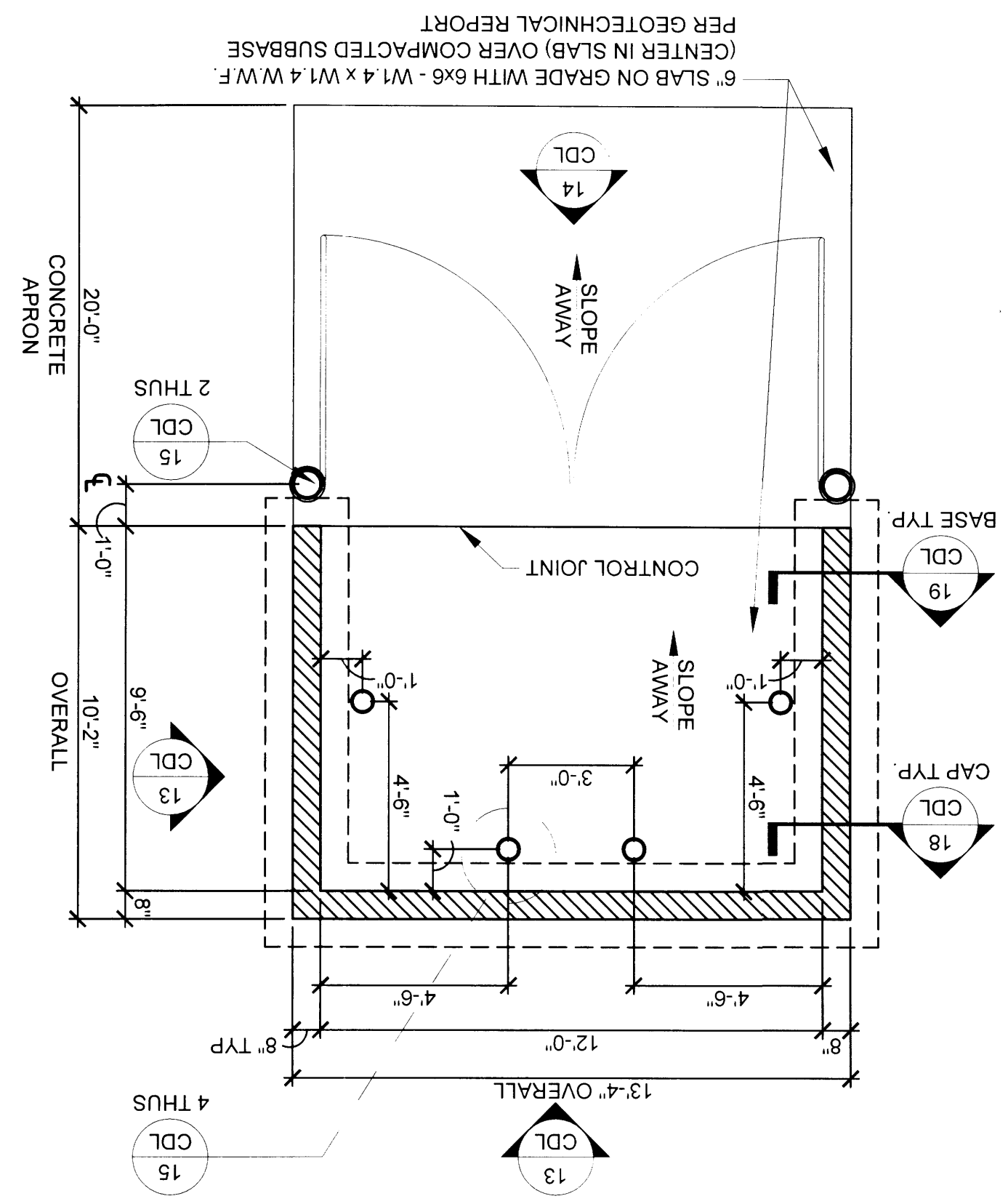
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	36" SD STORM SEWER LINE
	8" SAS SANITARY SEWER LINE
	8" WL WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EX. 8" SAS EXISTING SANITARY SEWER LINE
	EX. 8" WL EXISTING WATER LINE
	EX. 18" SD EXISTING STORM SEWER LINE

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

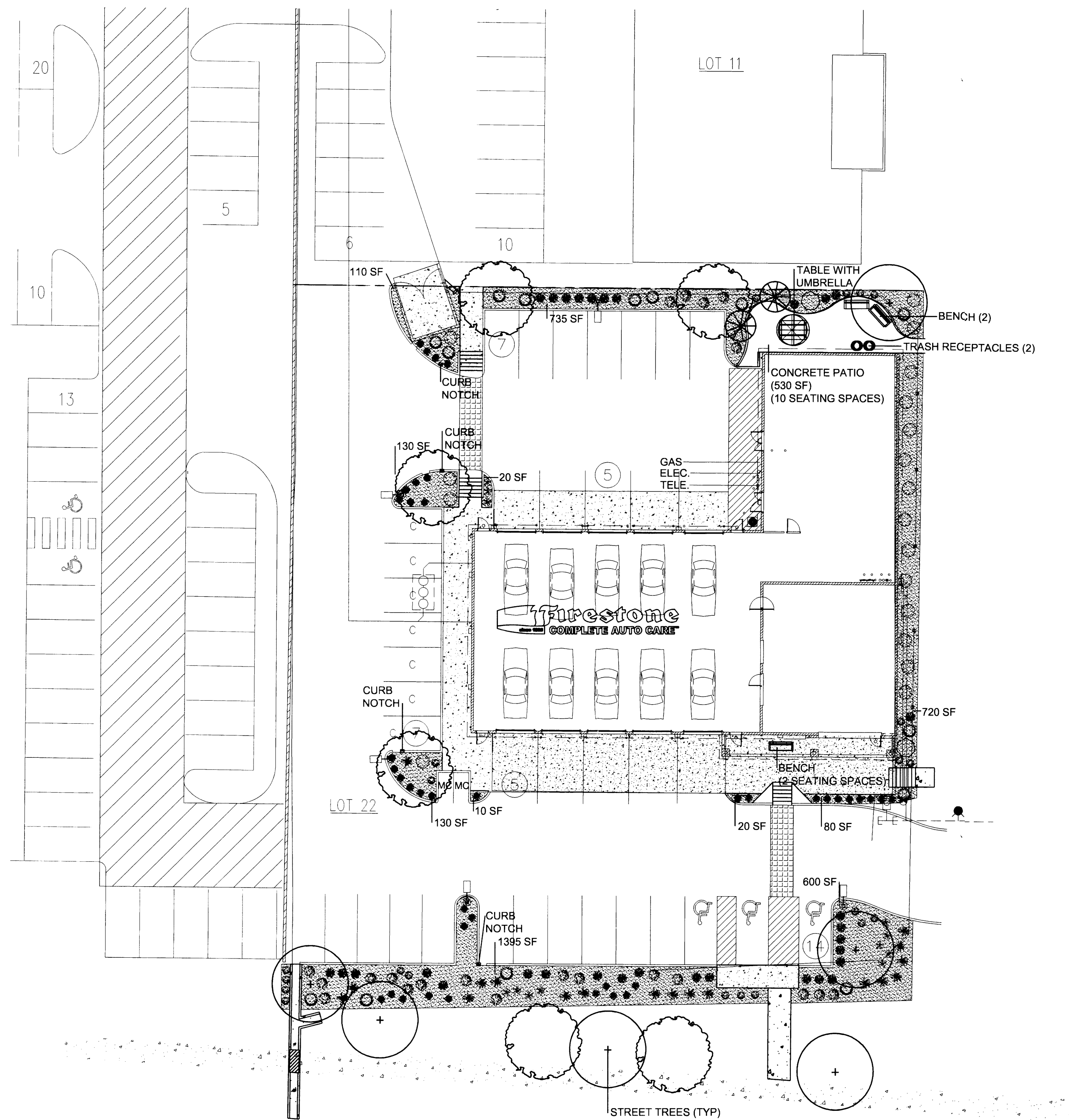


ENGINEER'S SEAL	FIRESTONE PASEO DEL NORTE & WYOMING BLVD	DRAWN BY JH
	MASTER UTILITY PLAN	DATE 11-02-11
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierreastllc.com	2995-MUB
		SHEET # C4
		JOB # 29095



ENGINEER'S SEAL	FIRESTONE PASO DEL NORTE & WYOMING BLVD
DATE	10-25-11
SHEET #	2995-DETAILS
JOB #	29095

RONALD R. BOHANNAN
P.E. #7868
TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
RR@TERRAWEST.COM



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use	Drip Emitters (See Irrigation Note)
Trees					
6	●	Fraxinus oxycarpa 'Raywood' Raywood Ash	2" B&B	Medium+	6-2 GPH
6	○	Pistacia chinensis Chinese Pistache	2" B&B	Medium +	6-2 GPH
2	⊗	Vitex agnus-castus Chaste Tree	15-Gal	Medium	6-2 GPH
Shrubs/Groundcovers					
2	○	Buddleia davidii Butterfly Bush	5-Gal	Medium	2-2 GPH
20	○	Caryopteris clandonensis Blue Mist	5-Gal	Medium	2-2 GPH
12	○	Hesperaloe parviflora Red Yucca	1-Gal	Low+	2-2 GPH
14	○	Pinus mugo Mugo Pine	5-Gal	Medium	2-2 GPH
22	○	Potentilla fruticosa Shrubby Cinquefoil	5-Gal	Medium+	2-2 GPH
18	○	Rhus trilobata Three-leaf Sumac	5-Gal	Low+	2-2 GPH
18	○	Rosmarinus officinalis Rosemary	5-Gal	Low +	2-2 GPH
Ornamental Grasses					
40	○	Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium	2-2 GPH
32	○	Muhlenbergia capillaris 'Regal Mist' Regal Mist	5-Gal	Medium	2-2 GPH

CALCULATIONS

Quantity	Scientific Name	Common Name	SF Coverage	Total SF
2	Buddleia davidii	Butterfly Bush	20	40
20	Caryopteris clandonensis	Blue Mist	15	300
12	Hesperaloe parviflora	Red Yucca	20	240
14	Pinus mugo	Mugo Pine	30	420
22	Potentilla fruticosa	Potentilla fruticosa	10	220
18	Rhus trilobata	Three-leaf Sumac	30	540
18	Rosmarinus officinalis	Rosemary	30	540
40	Calamagrostis acutiflora	Karl Foerster Grass	10	400
32	Muhlenbergia capillaris 'Regal Mist'	Regal Mist	12	384
Total SF Provided			3084	
Proposed Landscape Area			3950	
75% Live Groundcover Required			2963	

SITE DATA

GROSS LOT AREA	31,463 SF
LESS BUILDING(S)	7,654 SF
NET LOT AREA	23,809 SF

REQUIRED LANDSCAPE 15% OF NET LOT AREA	3,571 SF
PROPOSED LANDSCAPE	3,950 SF
PERCENT OF NET LOT AREA	16 %

HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	1066 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0 %

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET	5
REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (1 SPACES/10)	4

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

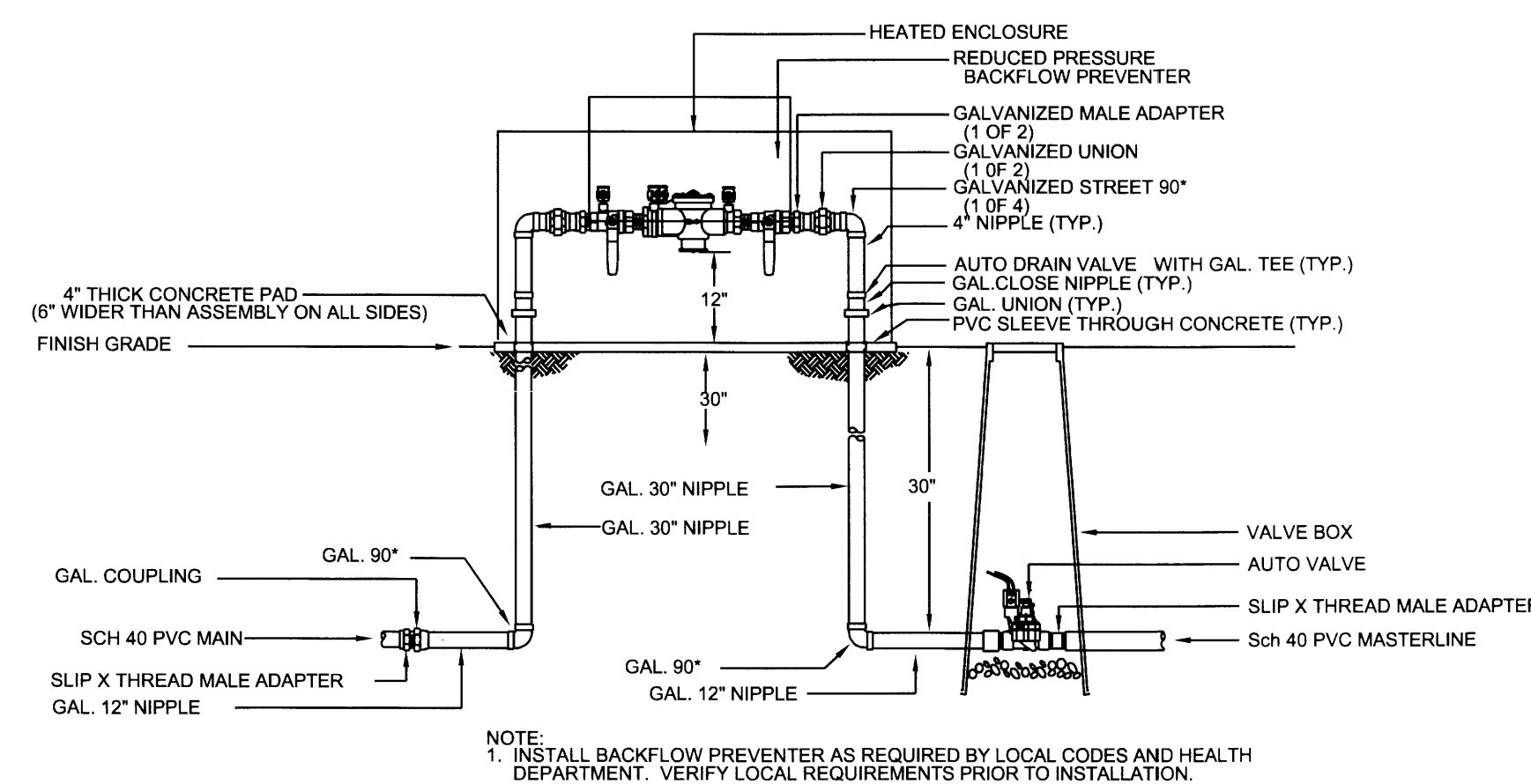
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

IRRIGATION NOTE

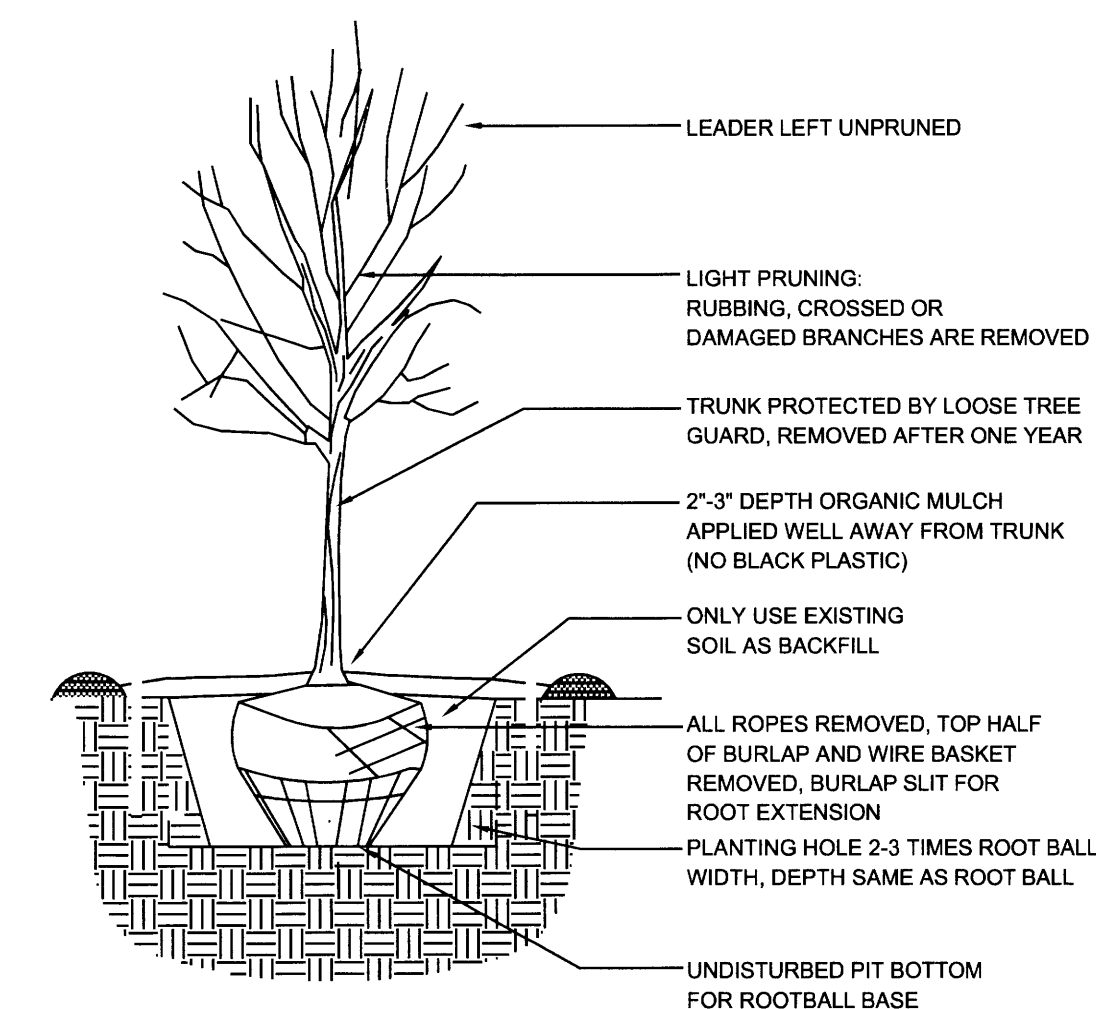
DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING AND SPRING:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

NOTES

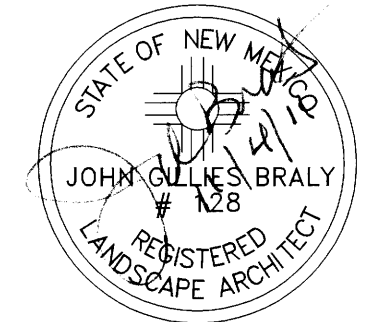
- MAINTENANCE OF LANDSCAPE AND IRRIGATION IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE. DRIP EMITTERS SHALL BE 6 - 2 GPH DRIP EMITTERS PER TREE AND 2 - 2 GPH DRIP EMITTERS PER SHRUB.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXCEPTION FROM THE WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY.
- LANDSCAPE AREAS TO BE MULCHED WITH LIGHT OR MEDIUM BROWN GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS.
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.



RP BACKFLOW/MASTER VALVE DETAIL

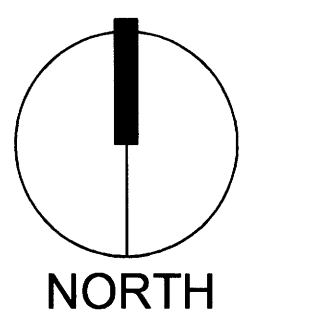


TREE PLANTING DETAIL



Date: 3/28/2011
Revisions:
▲ 04/05/2011
▲ 04/27/2011
▲ 04/27/2011 - 2
▲ 5/23/2011
▲ 09/26/11
▲ 10/24/11
▲ 11/04/11
Drawn by: mw
Reviewed by: jb

Firestone
Paseo Del Norte & Wyoming Blvd
Albuquerque, NM

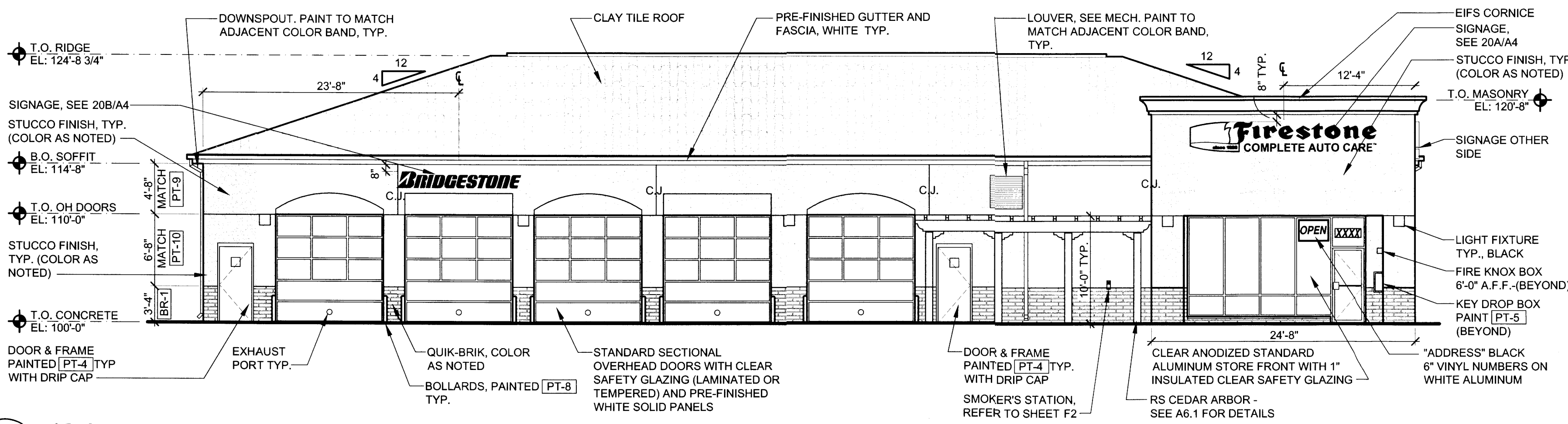


Scale: 1" = 20'
10 0 20 40

Sheet Title:
Landscape Plan

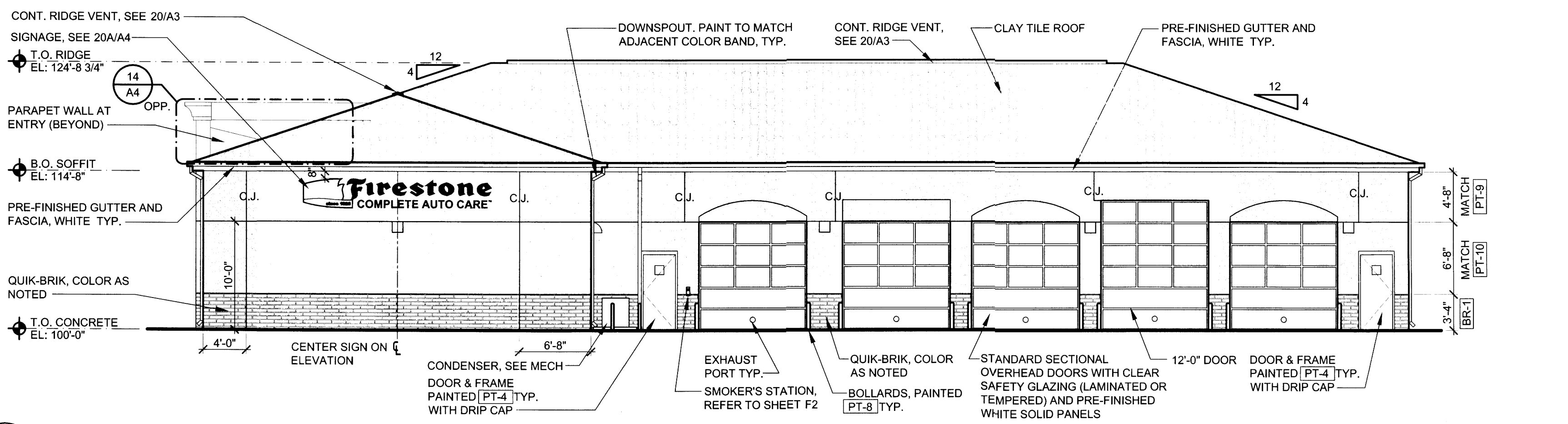
Sheet Number:

LS-01



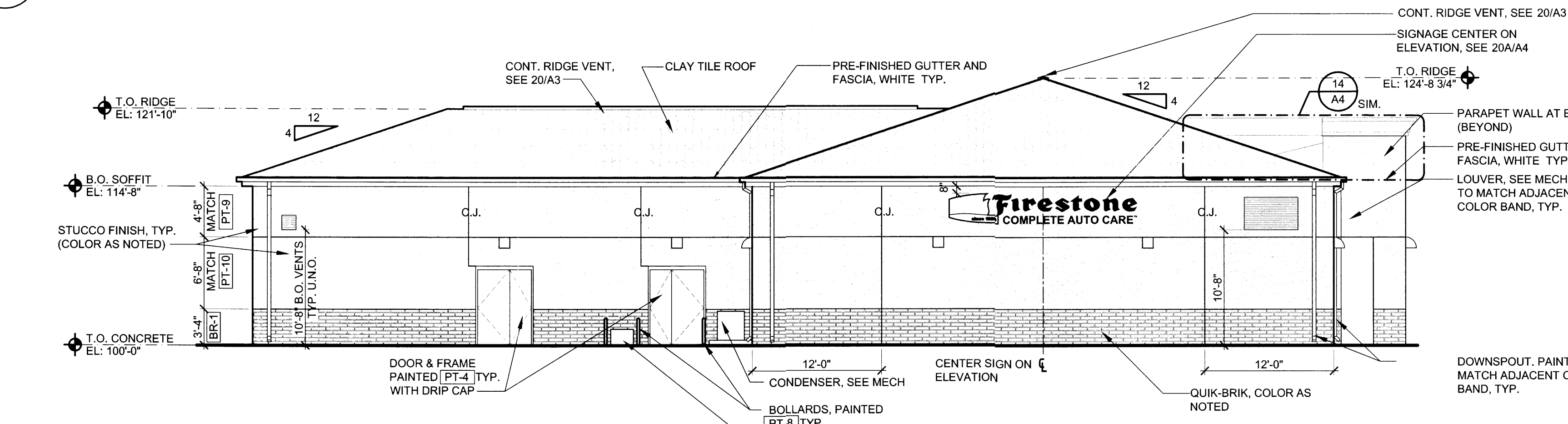
1 (SOUTH) ELEVATION

A4 SCALE: 1/8" = 1'-0"



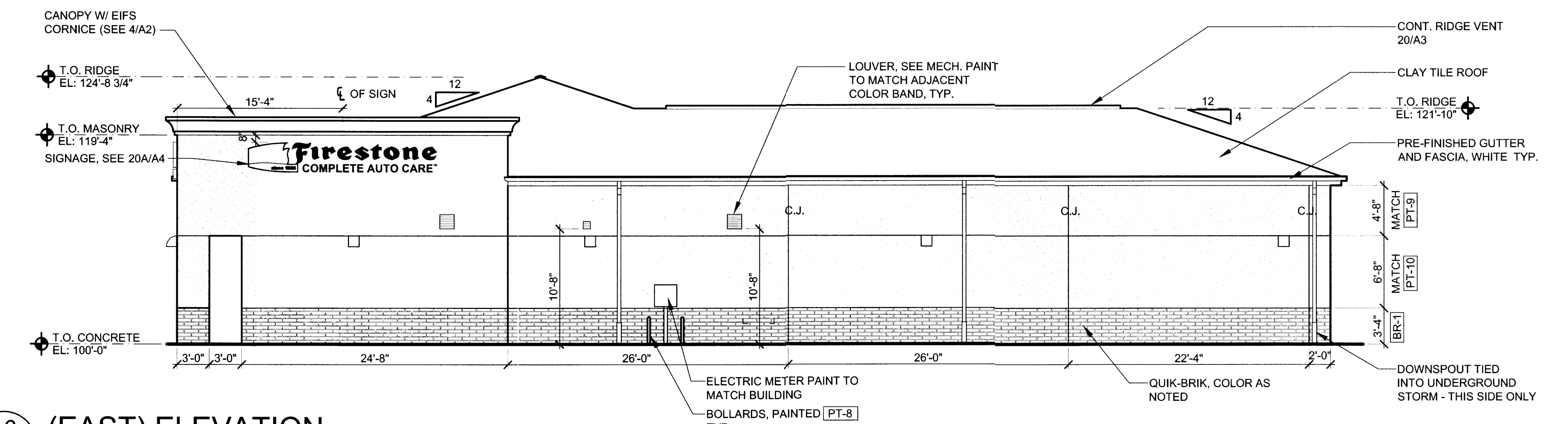
6 (NORTH) ELEVATION

A4 SCALE: 1/8" = 1'-0"



11 (WEST) ELEVATION

A4 SCALE: 1/8" = 1'-0"



16 (EAST) ELEVATION

A4 SCALE: 1/8" = 1'-0"

PAINT COLOR SCHEDULE:

NOTE: ALL COLOR NAMES INDICATED ARE FOR SELECTION PURPOSES ONLY. SEE PAINT SPECS FOR SPECIFIC REQUIREMENTS

DESCRIPTION: (ALL "SHERWIN / WILLIAMS" NUMBERS "SW" & "CC-CUSTOM COLORS")

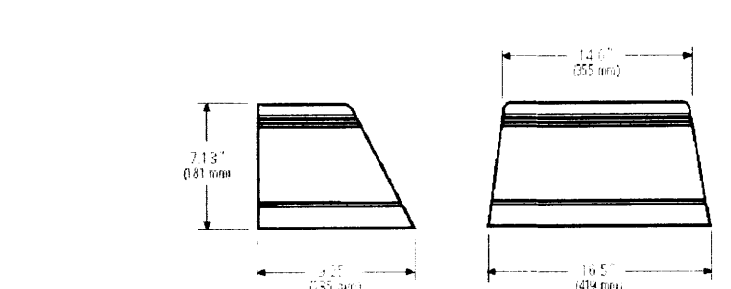
KEY:	COLOR:	COLOR FAM.	S.W. #	LRV
PT-1	"MEGA GREIGE"	GREY	-SW7031	38
PT-2	"HARBOR BLUE"	BLUE (INT)	-CC9001	223
PT-3	NOT USED	NOT USED	NOT USED	-
PT-4	"BRANDYWINE"	BROWN	-SW7710	29
PT-5	"SAFETY RED"	RED	-SW4081	11
PT-6	NOT USED	NOT USED	NOT USED	-
PT-7	"BLACK"	BLACK	-CC9003	-
PT-8	"SAFETY YELLOW"	YELLOW	-SW4084	38
PT-9	"ROW HOUSE TAN"	BROWN/TAN	-SW7689	32
PT-10	"LATTE"	BROWN/TAN	-SW6108	39
PT-11	NOT USED	NOT USED	NOT USED	-
PT-12	"WARM STONE"	GREY (INT)	-SW7032	21
PT-13	"ANTIQUÉ WHITE"	WHITE	-SW6119	74

MATERIAL SCHEDULE:

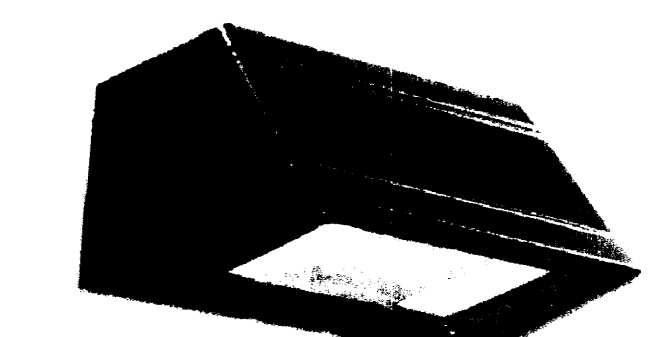
BR-1 QUIK-BRIK: COLOR TO BE "MARCUS" (BROWN/RED)

GENERAL NOTES:

- SEE DETAIL 17/A6 FOR CONTROL JOINT DETAIL
- PROVIDE DRIP CAP OVER ALL MAN DOORS - SEE DETAIL 11/A9
- PAINT ALL EXPOSED LINTELS TO MATCH ADJACENT BUILDING COLOR.
- SEE ELECTRICAL FOR SIGNAGE OPERATING TIME SETUP
- ROOF TILES:
 - US TILE - "S" MISSION TILE
 - "FAUX MISSION BLEND" - USING:
 - 10% NEWPORT
 - 10% RUSTIC NEWPORT
 - 20% PALERMO
 - 20% RUSTIC PALERMO
 - 40% TUINO
 - 20% TILE BOOST
- INSTALLATION OF BUILDING SIGNS AND STREET SIGN BY SIGN VENDOR, G.C. TO PROVIDE WIRING. REFER ELECTRICAL.

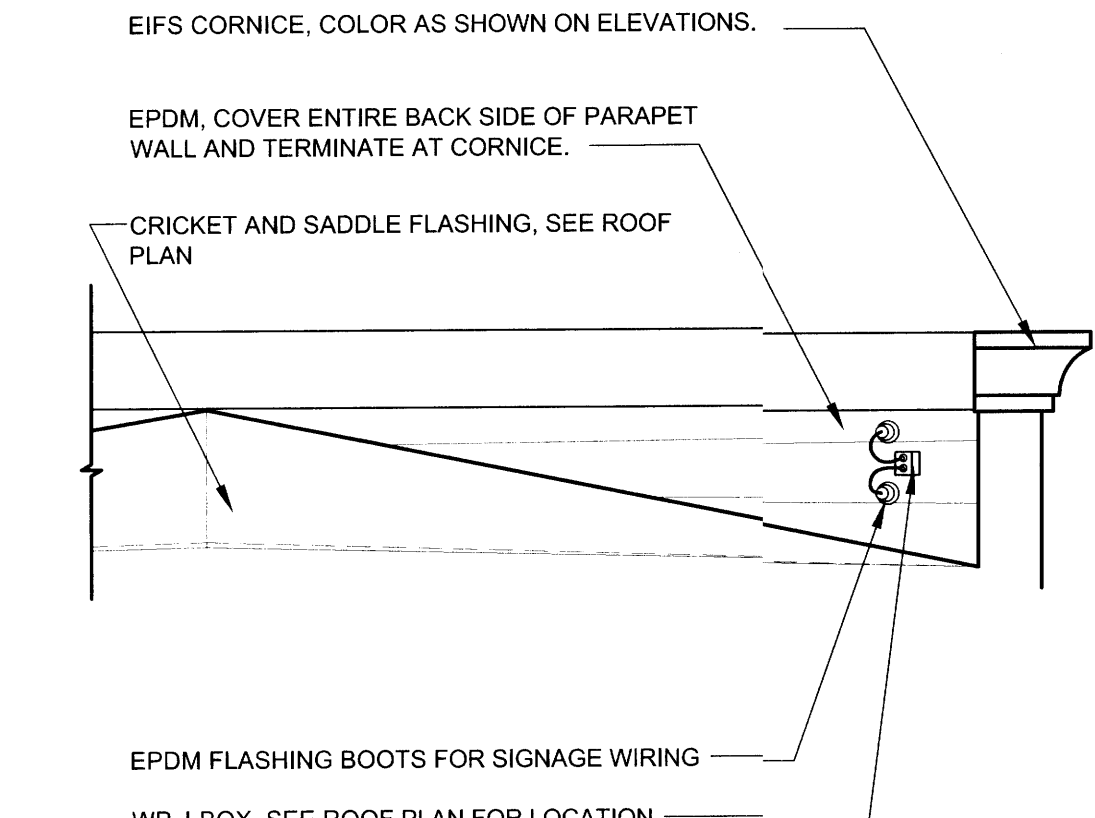


Available in three overlight (12, 18, 24 inch) and two underlight (12, 18 inch) configurations. Available in white, black, or stainless steel. Available for single lamp and dual lamp applications. For more information, please contact us at 1-800-368-7263. © 2010 Firestone Complete Auto Care. All rights reserved. Firestone Complete Auto Care is a registered trademark of Firestone Complete Auto Care, LLC. Firestone Complete Auto Care is a service mark of Firestone Complete Auto Care, LLC. Firestone Complete Auto Care is a service mark of Firestone Complete Auto Care, LLC. Firestone Complete Auto Care is a service mark of Firestone Complete Auto Care, LLC.



10 WALL PACK

A4 SCALE: N.T.S.

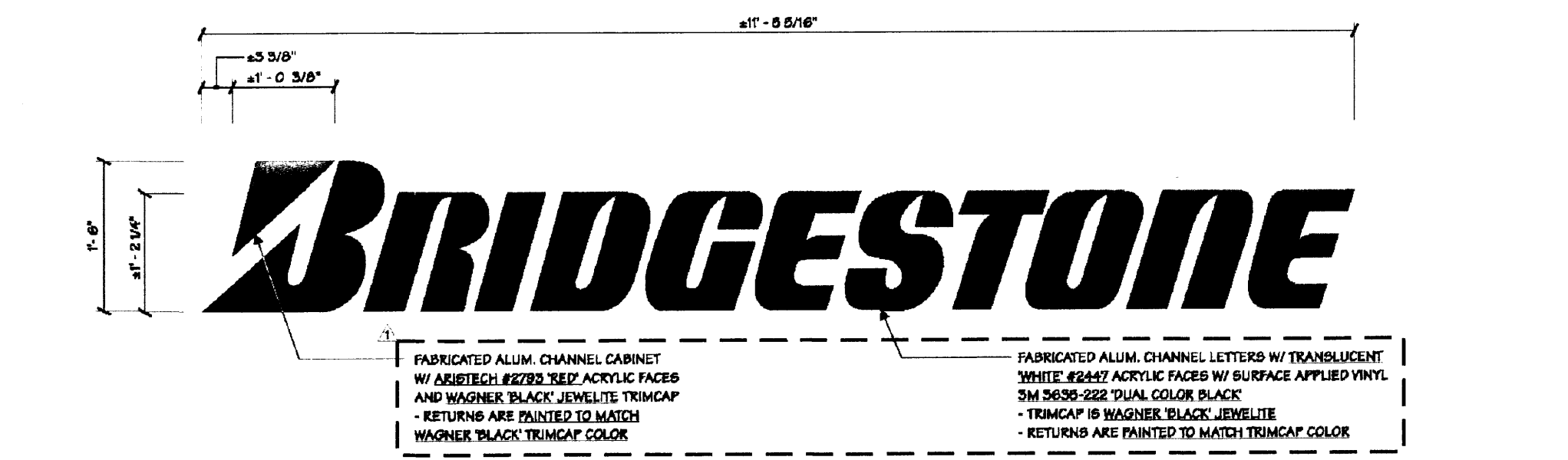
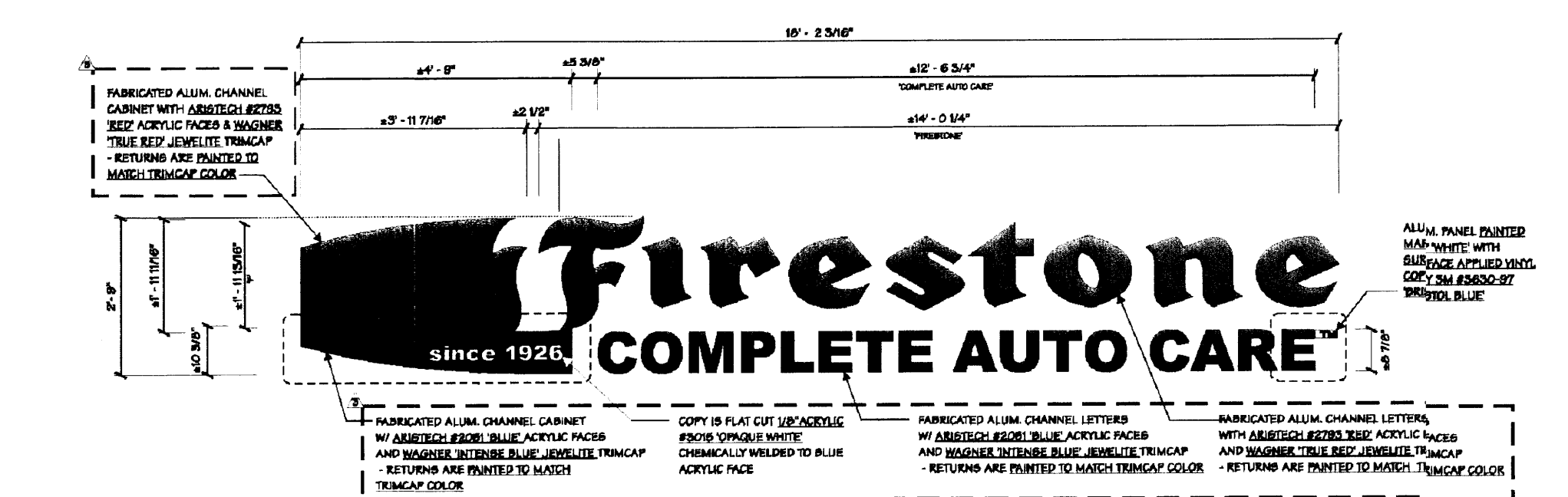


REAR SIDE OF PARAPET WALL PERSPECTIVE

A4 SCALE: N.T.S.

NOTE: ALL SIGNAGE MUST BE DESIGNED TO BE CONSISTENT AND COMPLEMENT THE MATERIALS, COLOR AND ARCHITECTURAL STYLE OF THE BUILDING OR SITE

NOTE: SIGNAGE SHALL BE INTERNALLY ILLUMINATED



20 SIGNAGE DETAIL

A4 SCALE: 1/4" = 1'-0"

CASCO
10877 WATSON ROAD
ST. LOUIS, MO 63127
PROJECT MANAGERS



NEW FCAC STORE
"L 2010 - JUNE" L.H.
WYOMING BLVD. & PASEO DEL NORTE
ALBUQUERQUE, NM 87109

PROFESSIONAL OF RECORD
PRACTICING AS AN INDIVIDUAL

WILLIAM A. BANDLE, JR.
#2992 EXP. 12/31/11

ZONE APPROVAL (BY/DATE):

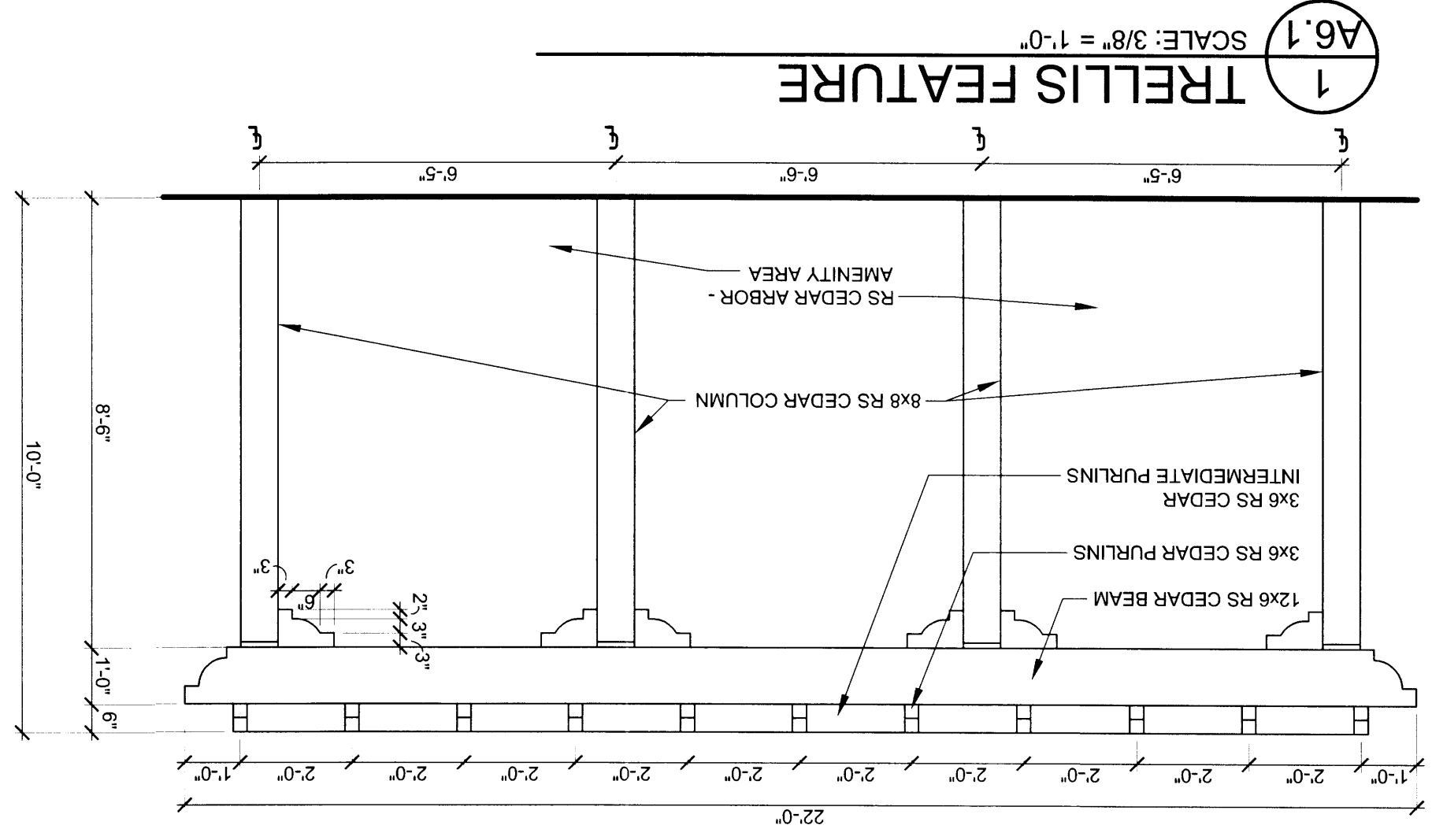
VP: _____
CONTR: _____
RM: _____
CM: _____

PROPERTY NO.: 000000
6 DIGIT: 000000
4 DIGIT: 0000

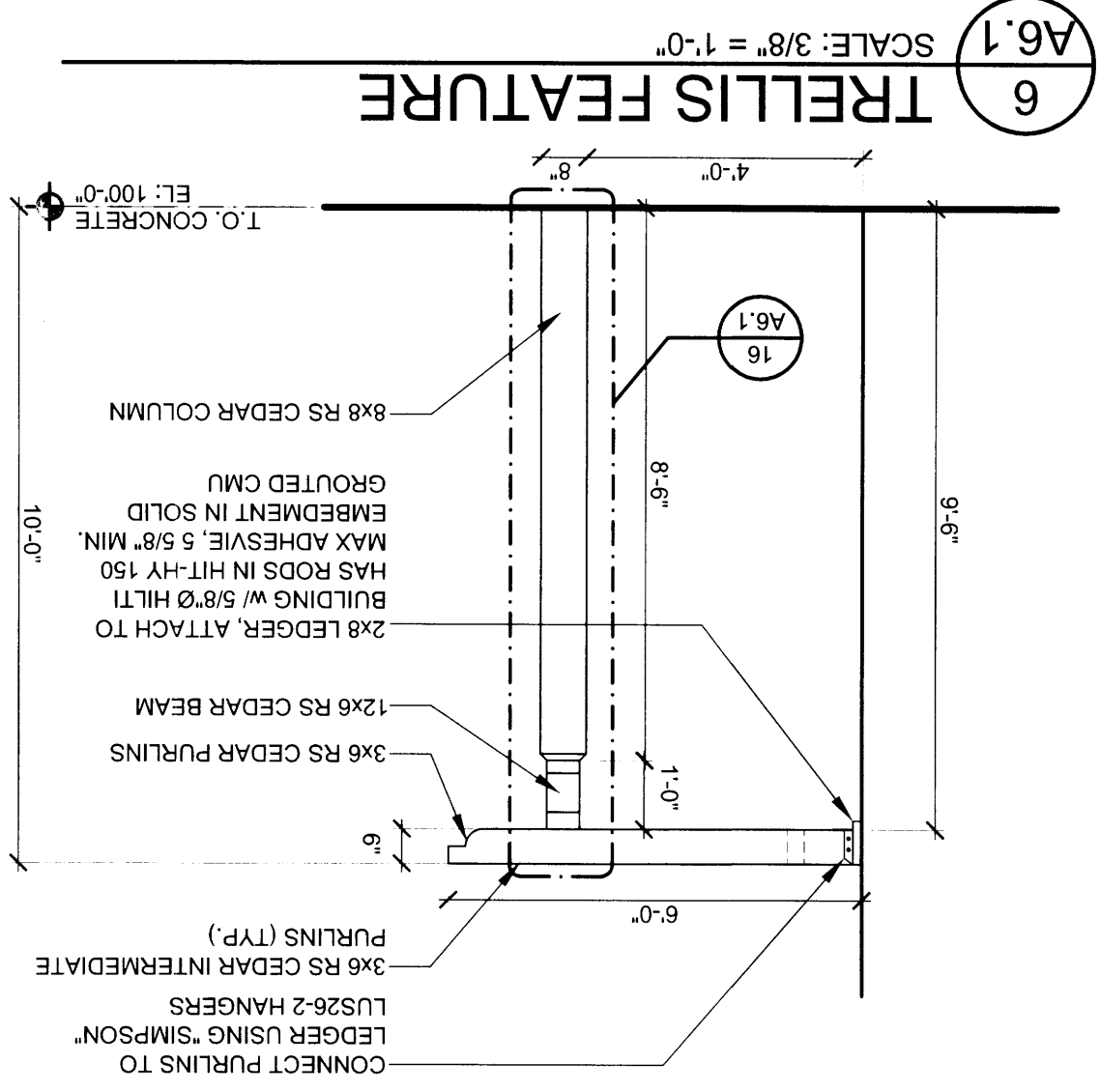
FILE NAME: L_L_A04.DWG
AOR PROJECT NUMBER: 211646
TO PERMIT: DATE: 06-01-11
TO OWNER: DATE: 06-01-11
TO BID: DATE: ##-##-##

SHEET TITLE:
EXTERIOR
ELEVATIONS &
DETAILS

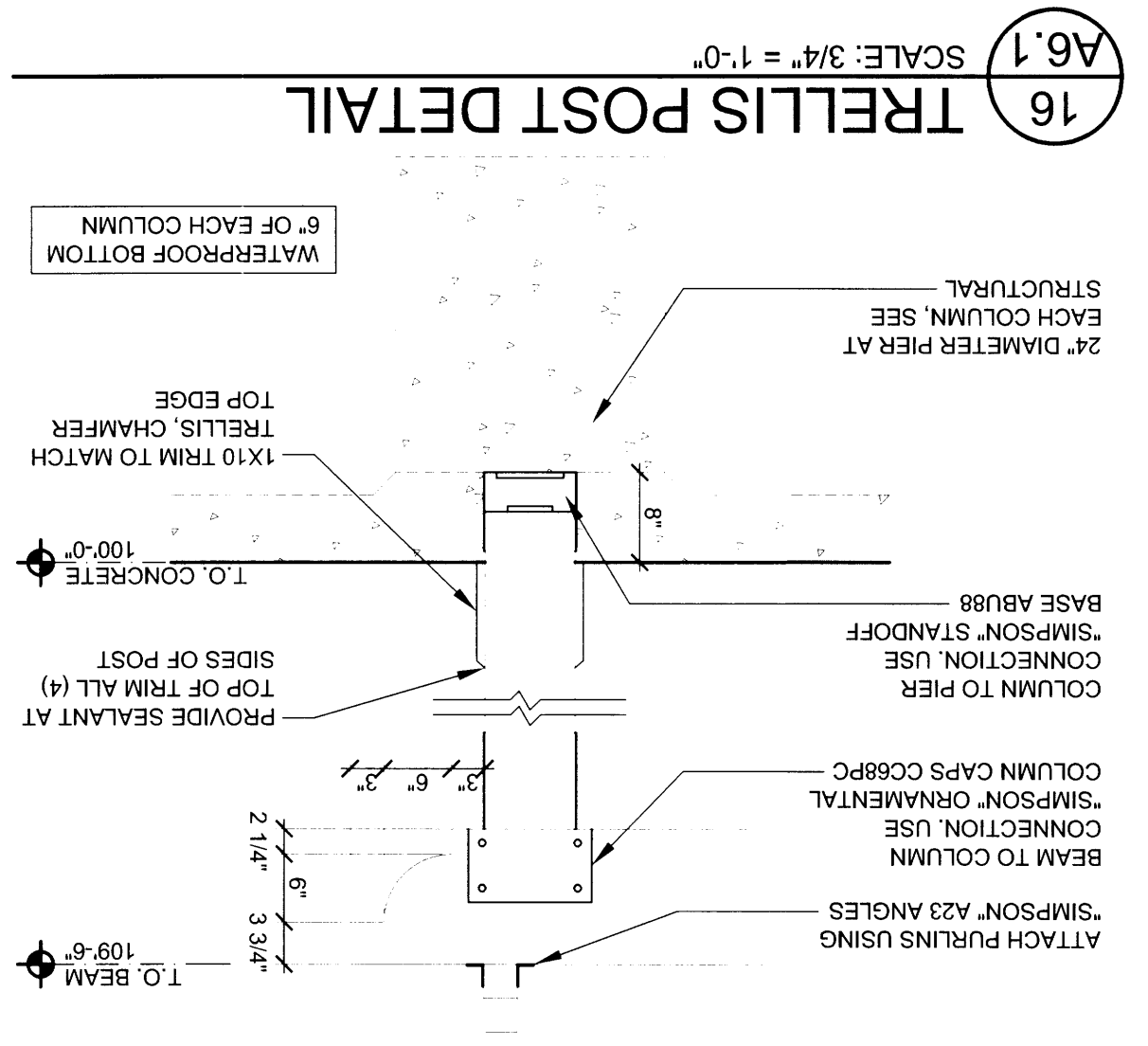
SHEET NUMBER:
DRB A4



1 TRELLIS FEATURE
SCALE: 3/8" = 1'-0"



6 TRELLIS FEATURE
SCALE: 3/8" = 1'-0"



16 TRELLIS POST DETAIL
SCALE: 3/4" = 1'-0"

Firestone
COMPLETE AUTO CARE

THIS DRAWING IS THE PROPERTY OF BRIDGESTONE RETAIL OPERATIONS, LLC AND IS LOANED ON THE EXPRESS CONDITION THAT THE ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN ACCEPTANCE OF THE FOREGOING CONDITIONS AND AS ADMISSION TO THE EXCLUSIVE OWNERSHIP BY AND TO THE DRAWING BY BRIDGESTONE RETAIL OPERATIONS, LLC.

PROJECT MANAGERS
10877 WATSON ROAD
ST. LOUIS, MO 63127

NEW FCAC STORE
"L 2010 - JUNE" L.H.
WYOMING BLVD. & PASEO DEL NORTE
ALBUQUERQUE, NM 87109

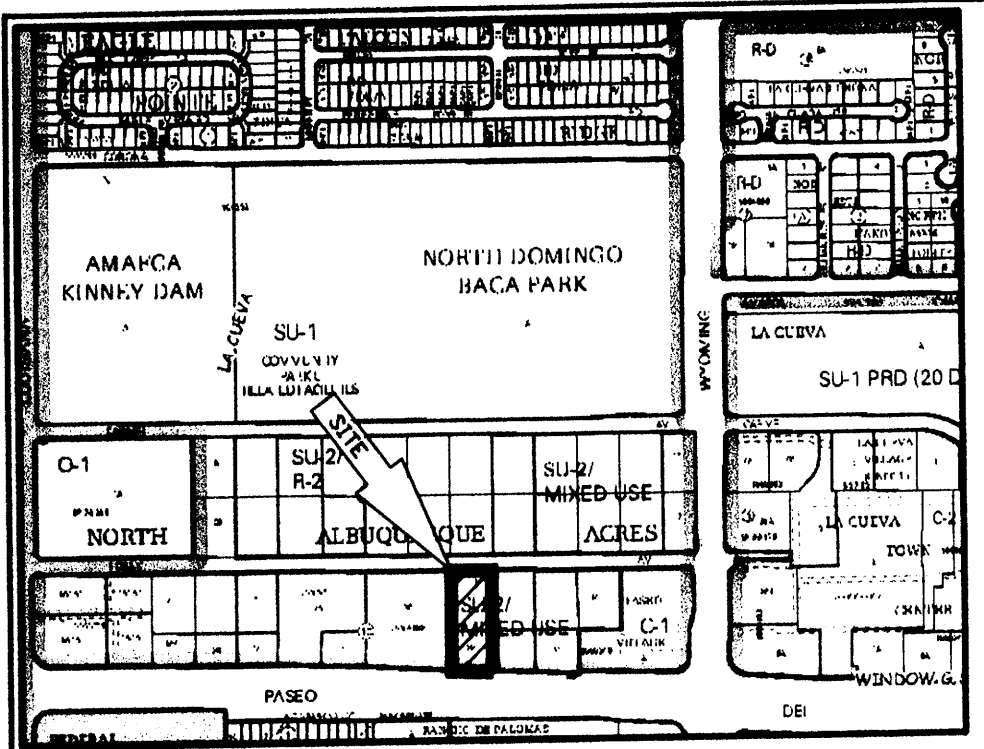
PROFESSIONAL OF RECORD
PRACTICING AS AN INDIVIDUAL
WILLIAM A BANDLE JR.
#2992 EXP. 12/31/11

ZONE APPROVAL (BY/DATE):
VP.
CONTR.
RM.
CM.
PROPERTY NO.: 000000
6 DIGIT: 000000
4 DIGIT: 0000
FILE NAME: RS_L_A06.DWG
AOR PROJECT NUMBER: 211646
TO PERMIT: DATE: 06-01-11
TO OWNER: DATE: 06-01-11
TO BID: DATE: ##-##-##

SHEET NUMBER:
A6.1
WALL SECTIONS
AND DETAILS

PLAT OF
LOTS 11-A AND 22-A, BLOCK 10
TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES

WITHIN
 ELENA GALLEGOS LAND GRANT
 PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2011



VICINITY MAP No. C-19

LEGAL DESCRIPTION
 LOT NUMBERED ELEVEN (11) AND THE REMAINING PORTION OF LOT NUMBERED TWENTY-TWO (22) IN BLOCK NUMBERED TEN (10) OF TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1931 IN VOLUME D, FOLIO 201, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE NORTHERLY LINE OF PASEO DEL NORTE WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT "HEAVEN" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) X=1,547,297.145 AND Y=1,518,799.515 BEARS S 58°34'17" E, A DISTANCE OF 376.31 FEET RUNNING THENCE S 87°03'39" W, ALONG THE NORTHERLY LINE OF PASEO DEL NORTE, A DISTANCE OF 165.58 FEET TO THE SOUTHWEST CORNER, THENCE N 00°40'36" E, A DISTANCE OF 409.45 FEET TO THE NORTHWEST CORNER, BEING THE CENTERLINE OF HOLLY AVENUE, THENCE S 89°40'11" E, ALONG THE CENTERLINE OF HOLLY AVENUE, A DISTANCE OF 165.20 FEET TO THE NORTHEAST CORNER, THENCE S 00°40'08" W, A DISTANCE OF 400.01 FEET TO THE SOUTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 1.5352 ACRES MORE OR LESS.

PURPOSE OF PLAT:
 THE PURPOSE OF THIS PLAT IS TO RE-ALIGN THE LOT LINE BETWEEN LOTS 11 AND 22, DEDICATE ADDITIONAL RIGHT OF WAY AND GRANT ANY EASEMENTS AS SHOWN.

- GENERAL NOTES:**
- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
 - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
 - TOTAL AREA OF PROPERTY: 1.5352 ACRES.
 - TALOS LOG NO. N/A
 - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
 - DISTANCES ARE GROUND, BEARINGS ARE GRID.
 - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
 - DATE OF FIELD WORK: MAY 2011
 - NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT

PUBLIC UTILITY EASEMENTS
 PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
 A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
 B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
 C. Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
 D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.
Disclaimer:
 In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PROJECT NUMBER: 1003532
 APPLICATION NUMBER: _____
 UTILITY APPROVALS:
Servando Vigil 10-21-11
 PUBLIC SERVICE COMPANY OF NEW MEXICO DATE
W. A. 10/21/2011
 NEW MEXICO GAS COMPANY DATE
Michael Sanchez 10-21-11
 QWEST TELECOMMUNICATIONS DATE
N/A _____
 COMCAST DATE

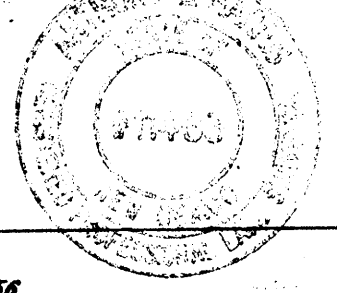
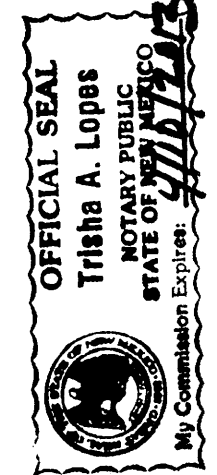
CITY APPROVALS:
G. B. Hall 6-28-11
 CITY SURVEYOR DATE
N/A _____
 *REAL PROPERTY DIVISION (CONDITIONAL) DATE
N/A _____
 **ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
 ABCWUA DATE
 PARKS AND RECREATION DEPARTMENT DATE
 AMAFCA DATE
 CITY ENGINEER DATE
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

FREE CONSENT
 THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. AND DO HEREBY DEDICATE ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.
Resolution Equities, LLC
 by Gordon L. Skarsgard DATE 6/27/11

ACKNOWLEDGMENT
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 27th DAY OF June, 2011
 BY: Resolution Equities LLC by Gordon L. Skarsgard
 OWNERS NAME
 MY COMMISSION EXPIRES: 4/10/2013 BY: J.L.A.
 NOTARY PUBLIC

SURVEYORS CERTIFICATE:
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)
 I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.
 GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 27th DAY OF June, 2011.
Anthony L. Harris
 ANTHONY L. HARRIS, P.S. # 11463
 HARRIS SURVEYING, INC. PHONE: (505) 889-8066
 4115-B HOLLAND STREET N.E. FAX: (505) 889-8845
 ALBUQUERQUE, NEW MEXICO 87110

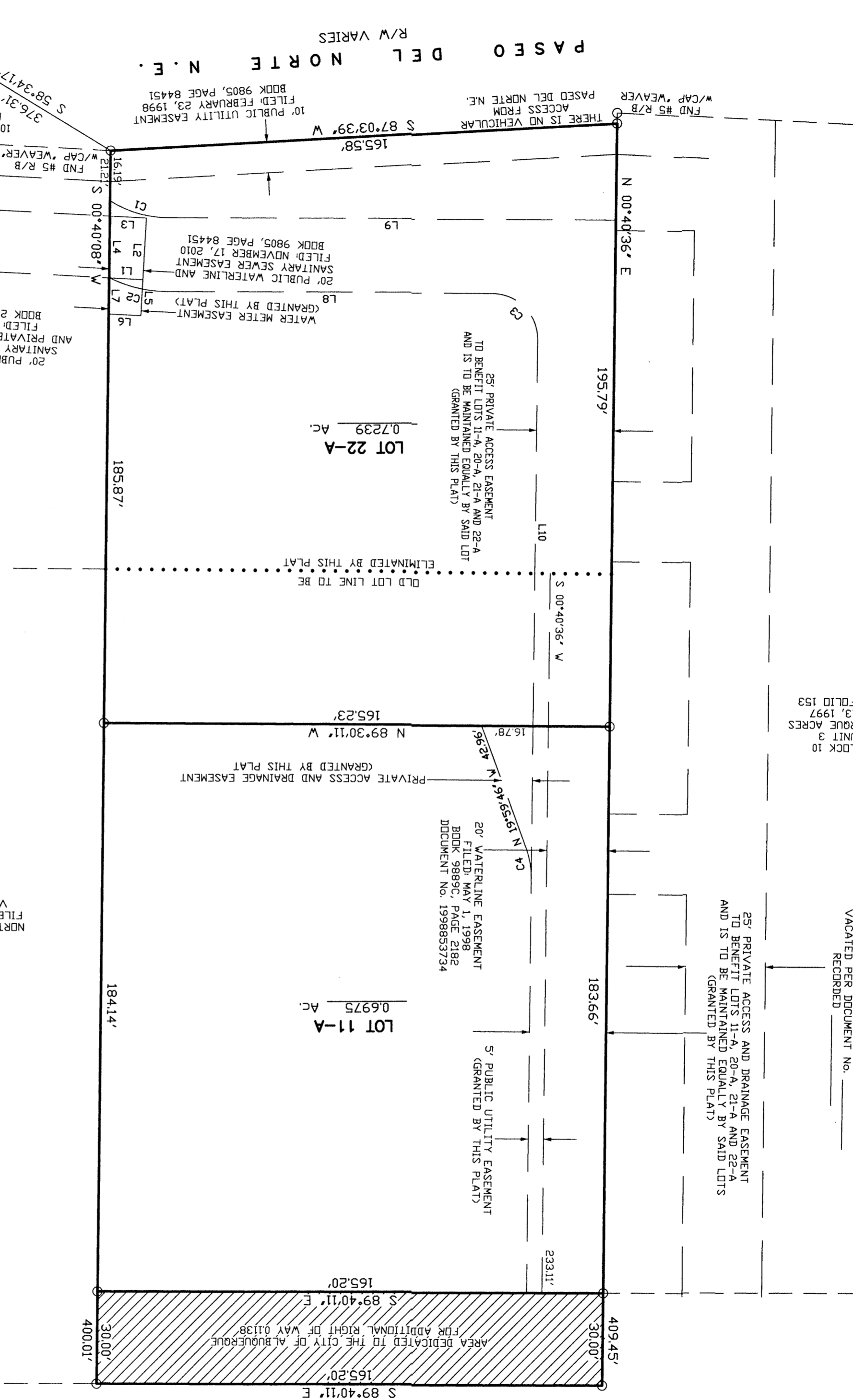
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO CO. TREASURER'S OFFICE: _____



**PLAT OF
LOTS 11-A AND 22-A, BLOCK 10
TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES**

ELENA GALLEGOS LAND GRANT
PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2011

HOLLY AVENUE N.E.
60' R/W



LOT 9-A, BLOCK 10
TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES
FILED MAY 13, 1997
VOLUME 97C, FOLIO 153

EXISTING ACCESS AND UTILITY EASEMENT
FILED: JULY 1, 2009
DOCUMENT NO. 2009074503
VACATED PER DOCUMENT NO. _____
RECORDED _____

25' PRIVATE ACCESS AND DRAINAGE EASEMENT
TO BENEFIT LOTS 11-A, 20-A, 21-A AND 22-A
(GRANTED BY THIS PLAT)

20' WATERLINE EASEMENT
FILED: MAY 1, 1998
BOOK 9889C, PAGE 2182
DOCUMENT NO. 1998853734

5' PUBLIC UTILITY EASEMENT
(GRANTED BY THIS PLAT)

PRIVATE ACCESS AND DRAINAGE EASEMENT
(GRANTED BY THIS PLAT)

25' PRIVATE ACCESS EASEMENT
AND IS TO BE MAINTAINED EQUALLY BY SAID LOT
(GRANTED BY THIS PLAT)

20' PUBLIC WATERLINE AND
SANITARY SEWER EASEMENT
FILED NOVEMBER 17, 2010
BOOK 9805, PAGE 84451

LOT 12, BLOCK 10
TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES
FILED SEPTEMBER 10, 1931
VOLUME D, FOLIO 201

LOT 21-A, BLOCK 10
TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES
FILED MAY 26, 2010
BOOK 2010C, PAGE 63

20' PUBLIC WATERLINE
AND PRIVATE ACCESS EASEMENT
FILED MAY 26, 2010
BOOK 2010C, PAGE 63

ACS STATION "HEAVEN"
X=1,547,297.145
Y=1,518,799.515
GRD TO GRID=0.999655810
Δα = -00°10'46.22"
CENTRAL ZONE, NAD 1983

PASEO DEL NORTE N.E.
R/W VARIES

CURVE TABLE

NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD LENGTH
C1	31°57'18"	N 73°21'13" W	35.35	19.71	19.46
C2	26°29'04"	N 76°07'19" W	42.30	19.50	19.33
C3	90°16'28"	S 44°27'38" E	15.00	23.63	21.26

LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S 86°43'56" E	110.9'
L2	N 03°16'04" E	20.00'
L3	N 86°43'56" W	12.00'
L4	S 00°40'36" W	20.02'
L5	N 03°16'04" E	11.79'
L6	N 86°43'56" W	10.55'
L7	S 00°40'08" W	11.80'
L8	N 89°35'52" W	106.36'
L9	N 89°35'52" W	146.54'
L10	S 00°40'36" W	125.39'

