

7400 HOLLY AVE. NE  
60' R.O.W.

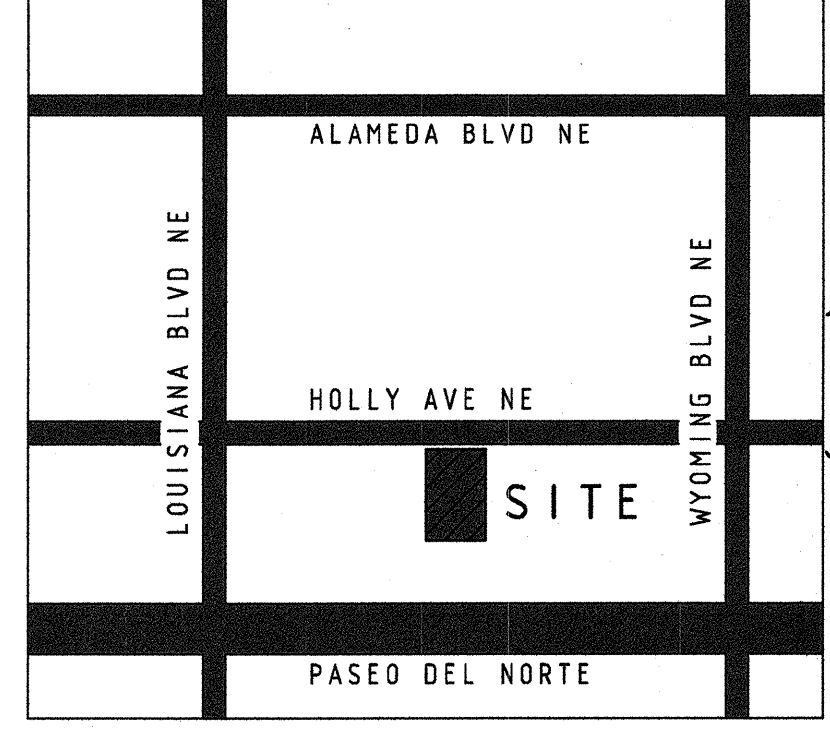
DENTAL OFFICE  
3391 S.F.

Parking Spaces (Typical)

**KEYED NOTES**

- 1 EXISTING DRIVEWAY, HCP RAMPS, CURB RETURNS AND SIDEWALK TO REMAIN
- 2 EXISTING ASPHALT DRIVEWAY TO REMAIN
- 3 EXISTING CURB AND GUTTER TO REMAIN
- 4 EDGE OF EXISTING ASPHALT PAVING, ASPHALT CURB TO BE REMOVED.
- 5 NEW ASPHALT PAVING PER SOILS REPORT RECOMMENDATION
- 6 NEW CURB AND GUTTER: SEE 17 3007
- 7 4" WIDE WHITE PARKING STRIPING
- 8 4" THK. CONC. WALK
- 9 BIKE RACK: SEE 13 3007
- 10 HCP PARKING SIGN: SEE 110 4007
- 11 HCP RAMP: SEE 15 3007
- 12 MOTORCYCLE PARKING SIGN: SEE 110 4007
- 13 2' WHITE BLOCKS, TEXT TO READ "NO PARKING"
- 14 2' WHITE BLOCKS, TEXT TO READ "MOTORCYCLE PARKING"
- 15 INTERNATIONAL HCP SYMBOL-BLUE
- 16 PARKING LOT LIGHT POLE: SEE 14 3007
- 17 EXISTING DUMPSTER ENCLOSURE FOR ADJACENT PROPERTY
- 18 NEW DUMPSTER ENCLOSURE: SEE 11 3007
- 19 MASONRY YARD WALL: SEE 18 3007
- 20 4" THK. CONCRETE PATIO W/ C.J. @ 5' O.C. (200 S.F.)
- 21 LANDSCAPE AREA: SEE LANDSCAPE PLAN
- 22 CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' & 8' TALL (MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- 23 TRANSFORMER LOCATION: SEE ELECTRICAL DRAWINGS
- 24 10' SANITARY SEWER EASEMENT
- 25 15' PUBLIC UTILITY EASEMENT
- 26 20' WATERLINE EASEMENT
- 27 25' ACCESS AND DRAINAGE EASEMENT
- 28 RECONSTRUCT EXISTING HCP RAMP TO ADD RAMP TO NEW SIDEWALK PER C.O.A. DRAWING 2441. PROVIDE TRUNCATED DOMES AT SLOPED SURFACES
- 29 EXISTING FIRE HYDRANT
- 30 EXISTING PROPERTY LINE
- 31 DASHED LINE INDICATES OVERHANG ABOVE
- 32 CONCRETE PARKING BUMPER
- 33 OUTDOOR FURNITURE PROVIDED BY OWNER

**vicinity map**



**SITE DATA:**

LOCATION:	7400 HOLLY AVE. NE ALBUQUERQUE, NM 87113
LEGAL DESCRIPTION:	LOT 11-A, BLOCK 10, TRACT 2, UNIT 3 NORTH ALBUQUERQUE ACRES
UPC #:	101906417404030122
CURRENT ZONING:	SU-2/MIXED USE
SETBACK REQUIREMENTS:	5' FRONT YARD SETBACK
ZONE ATLAS PAGE:	C-19
BUILDING CONSTRUCTION:	5B (NON-SPRINKLED)
APPLICABLE CODE:	2009 IBC C.O.A. ZONING ORDINANCE LA CUEVA SECTOR DEVELOPMENT PLAN
TOTAL LOT AREA:	(0.6975 AC) 30,383 S.F.
BUILDING FOOTPRINT AREA:	3391 S.F.
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	26,992 S.F.
FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA):	11.2 %
PAVED AREA:	15,840 S.F.
LANDSCAPE AREA:	11,152 S.F.
LANDSCAPE % NET LOT AREA:	41 %
LANDSCAPE TO PAVED AREA RATIO:	1 : 1.42
REQUIRED PARKING:	30 SPACES
MEDICAL AND DENTAL OFFICE:	5 SPACES PER DOCTOR 6 DENTISTS X 5 SPACES = 30 SPACES
PARKING PROVIDED:	33 SPACES
NOTE: 3 PARKING SPACES ARE DESIGNATED FOR USE BY FIRESONE PROPERTY TO THE SOUTH PER PREVIOUS SITE PLAN APPROVAL. THEREFORE THIS PROPERTY WILL HAVE 30 SPACES AVAILABLE.	
REQUIRED H.C. PARKING:	2 SPACES
H.C. PARKING PROVIDED:	2 SPACES
BICYCLE PARKING PROVIDED:	4 SPACES
REQUIRED MOTORCYCLE PARKING:	2 SPACES
MOTORCYCLE PARKING PROVIDED:	3 SPACES

**GENERAL NOTES:**

1. VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
2. CURBS DIMENSIONED TO FACE OF CURB U.N.O.
3. PATCH AND REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY IN COORDINATION WITH DRIVEWAY CONSTRUCTION.
4. VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS.
5. SITE LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.

PROJECT NUMBER: 1003532

APPLICATION NUMBER: 16-70152

Is an infrastructure list required? ( ) yes ( ) no. If yes, then a set of approved DRG plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

*Ronald Merrill* 5/18/16  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

*Walter Cadena* 05/18/16  
WATER UTILITY AUTHORITY DATE

*Sandoval* 5/18/16  
PARKS AND RECREATION DEPARTMENT DATE

*[Signature]* 5/24/16  
CITY ENGINEER DATE

SOLID WASTE MANAGEMENT DATE

*[Signature]* 5-24-16  
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

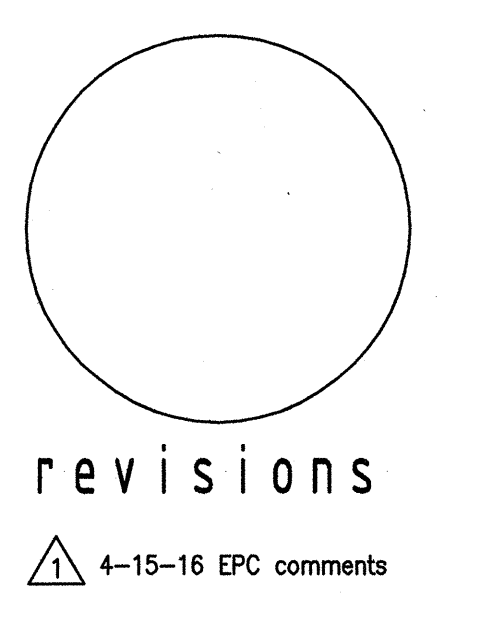
a new dental office development for:

**ROBERT C. KERSCHEN, DMD**

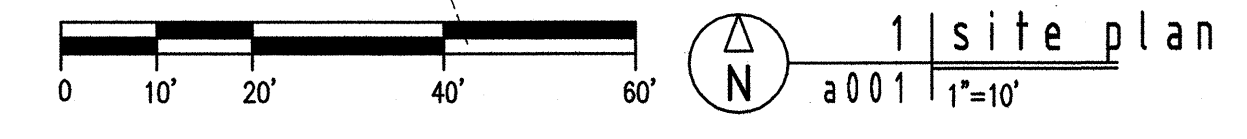
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albuquerque, new mexico

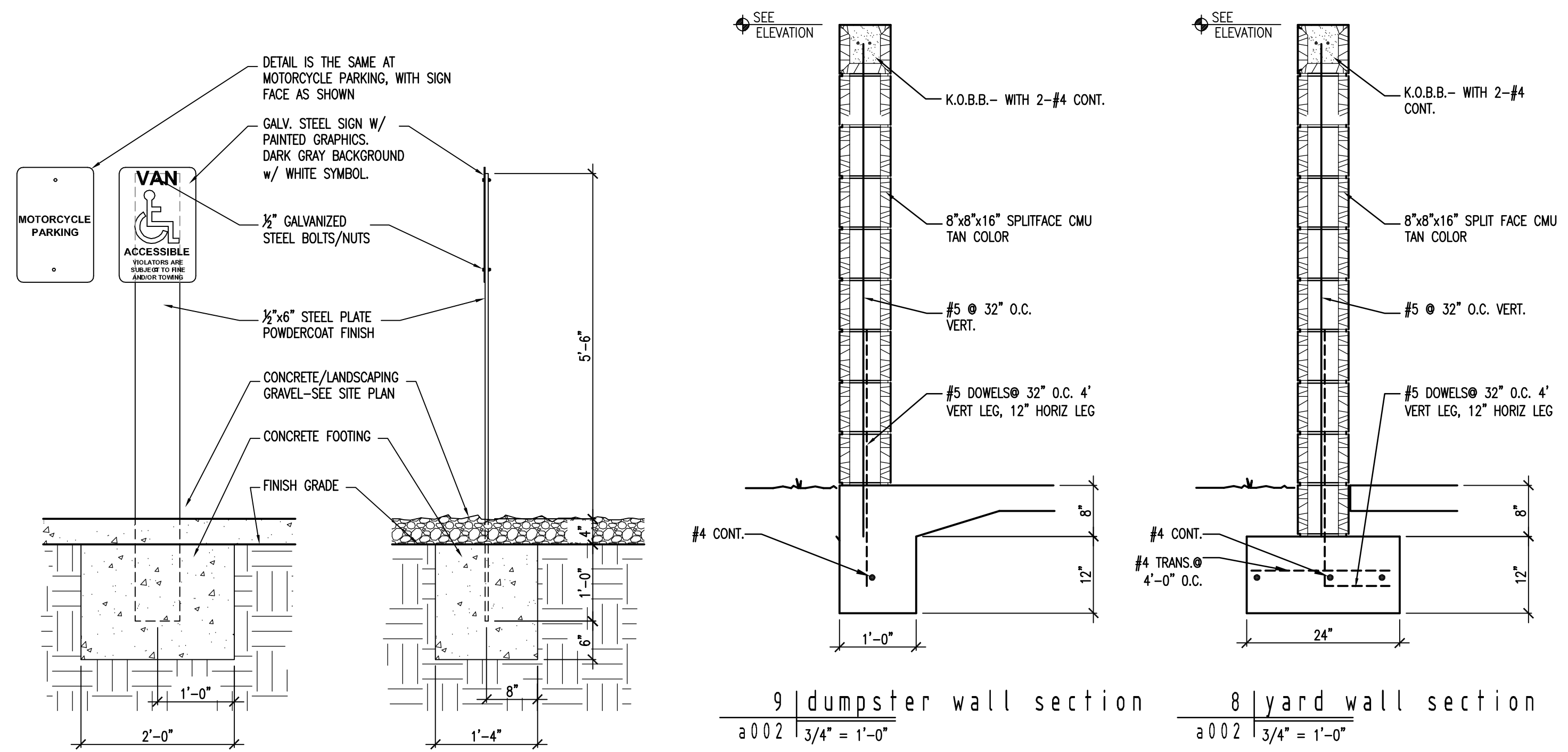
**slagleherrarchitects**  
413 second st sw  
albuquerque nm  
87102  
5052460870  
slagleherr.com

**SITE PLAN**

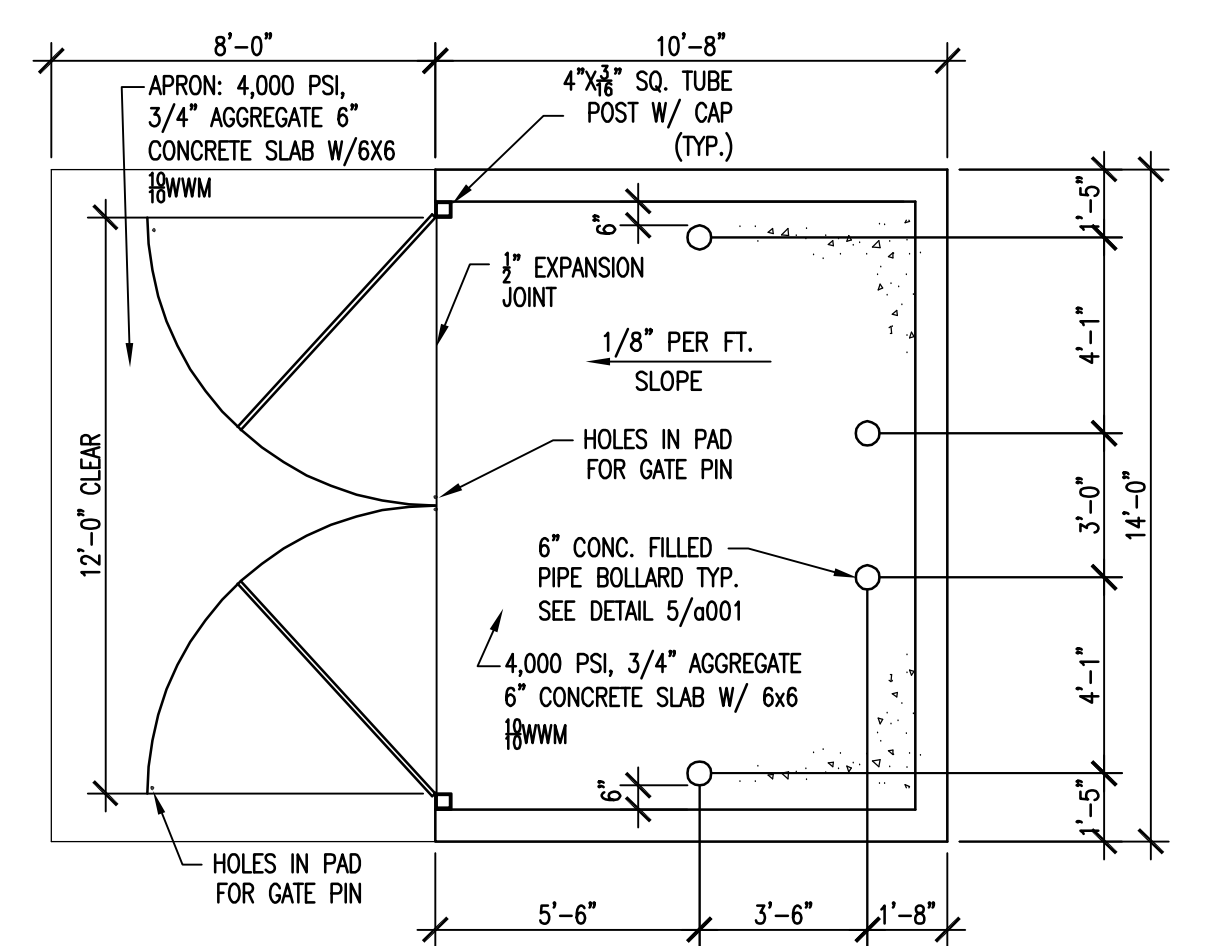
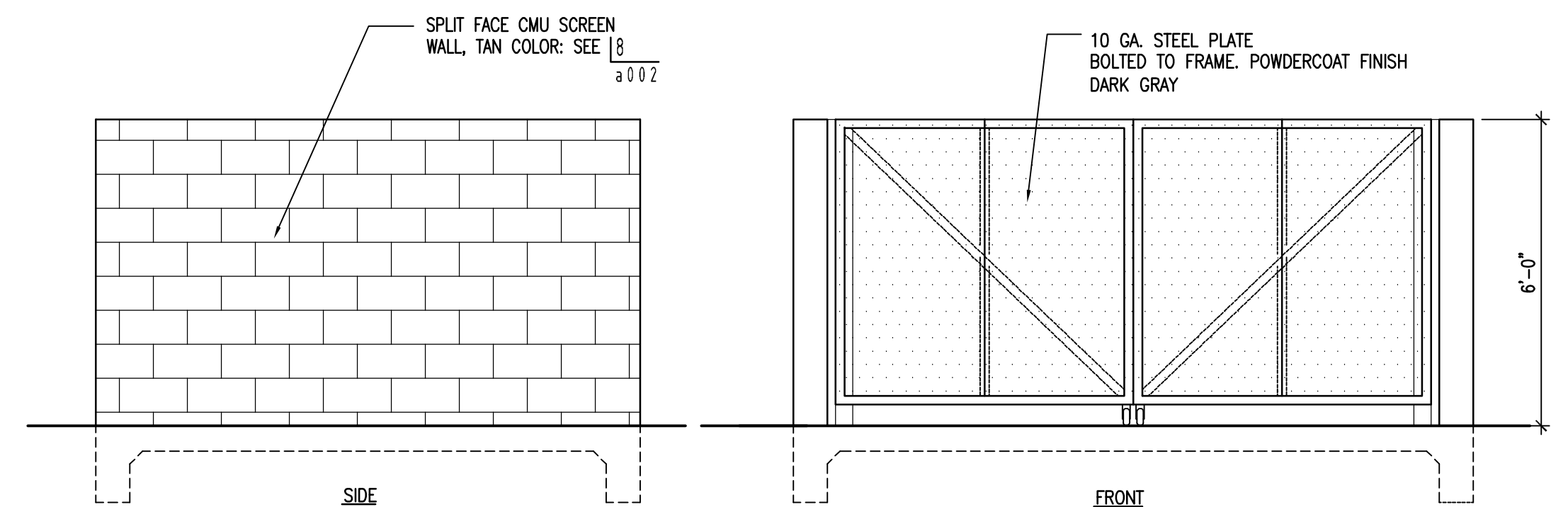
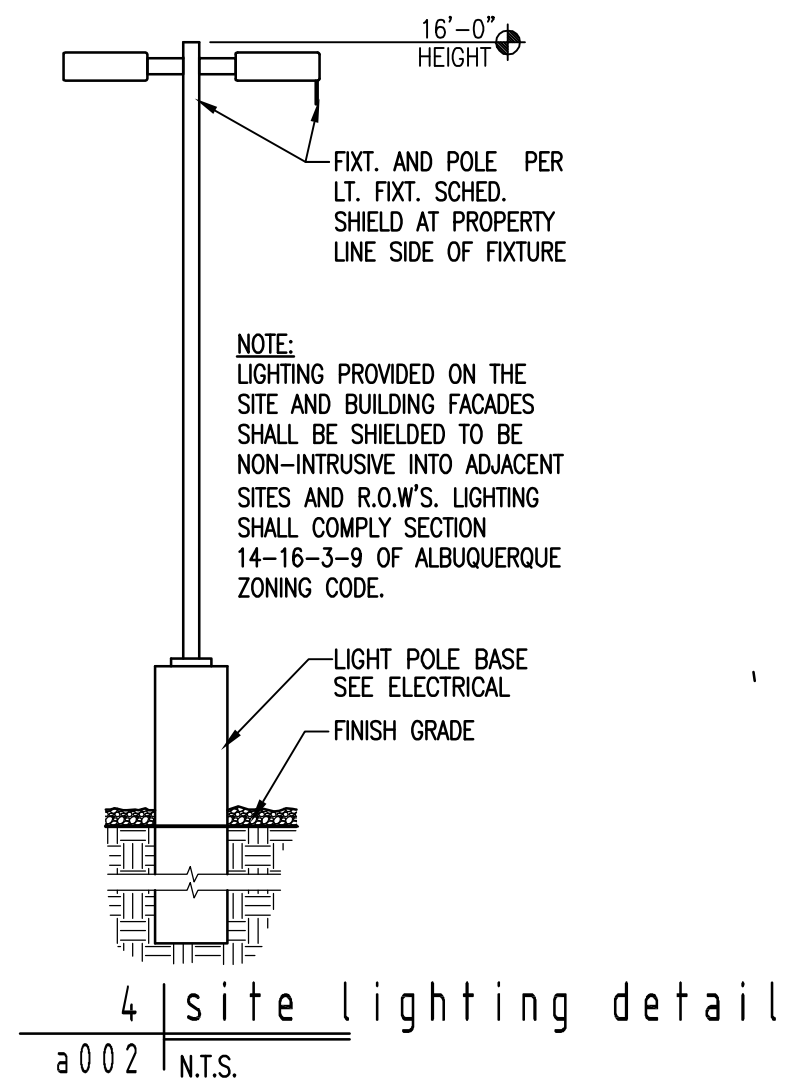
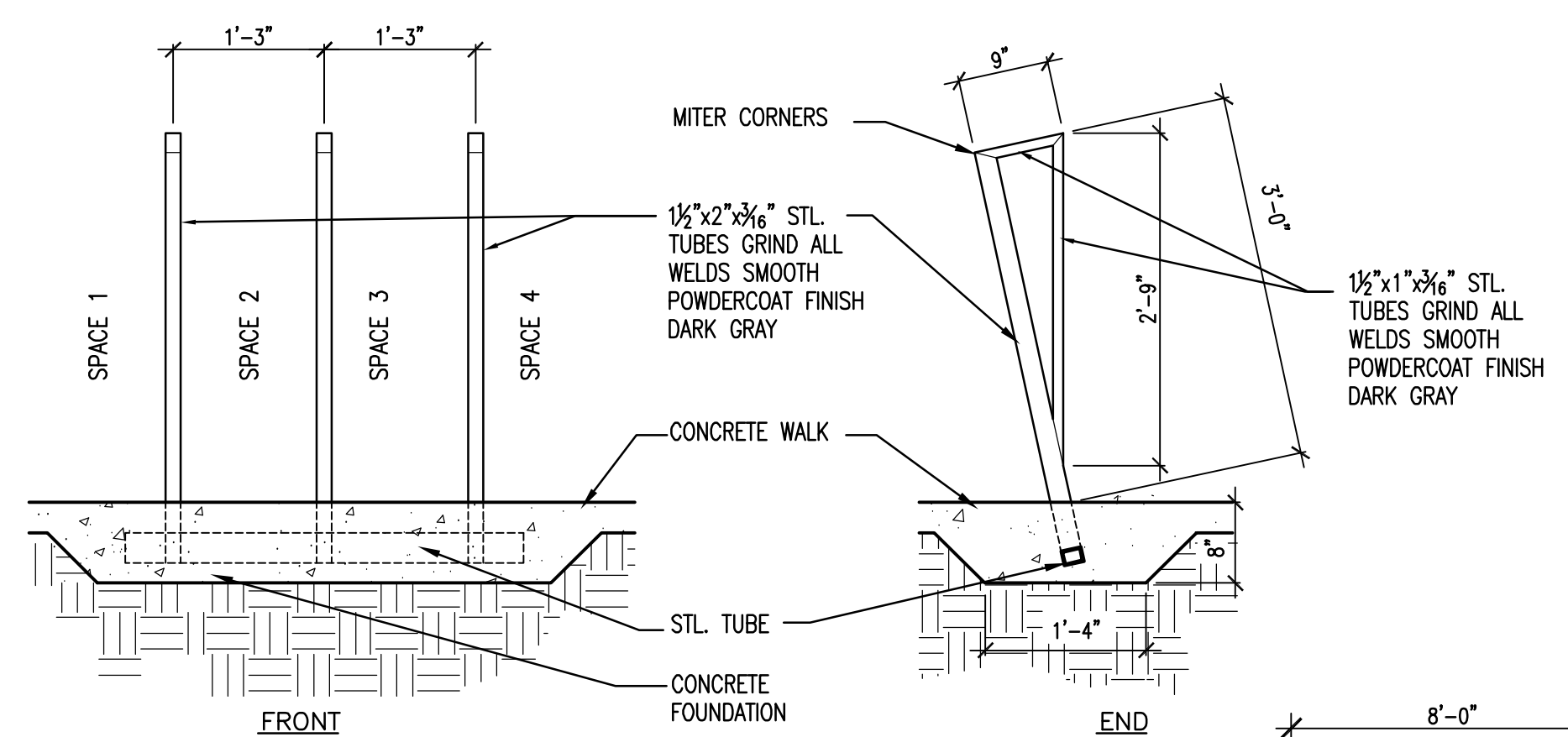
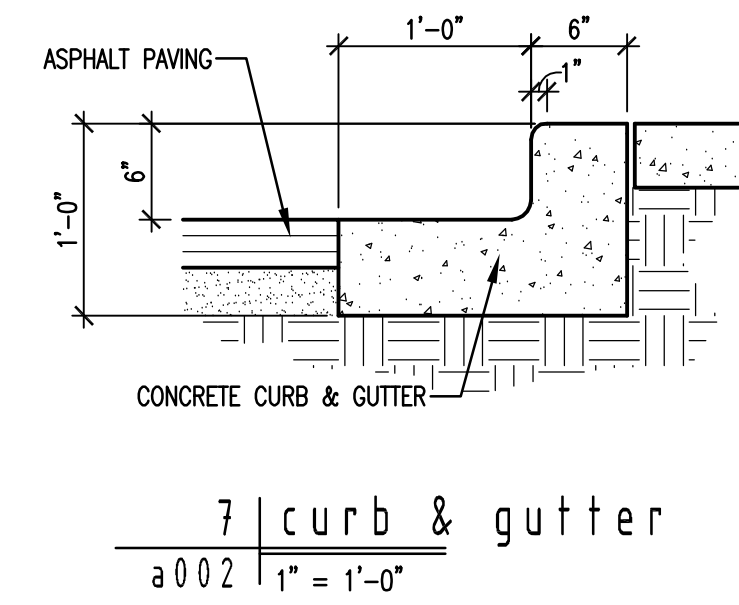
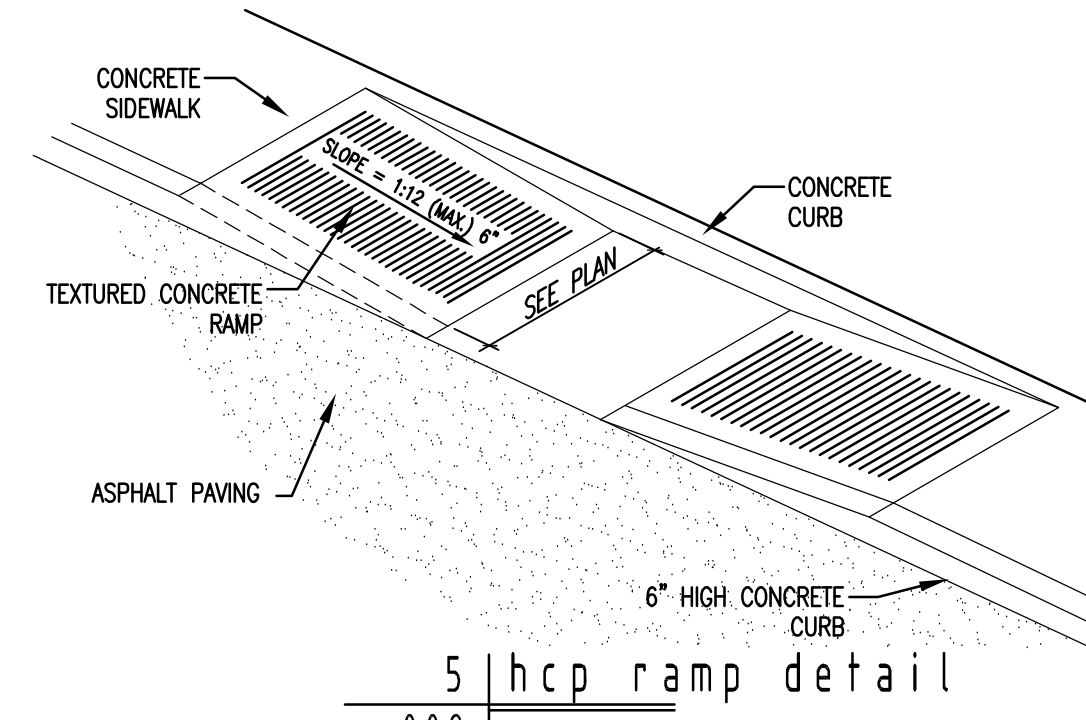
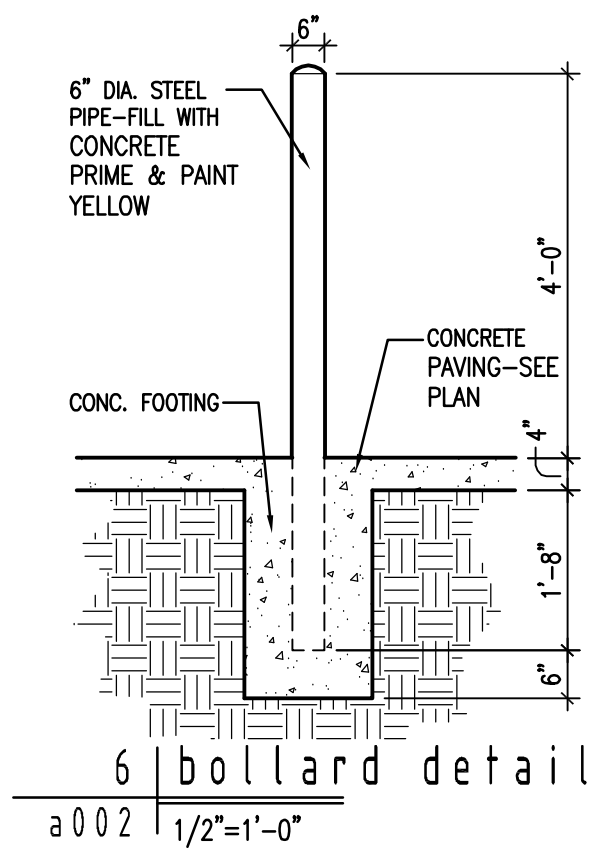


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**4-7-16**  
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**A001**





10 | hcp sign detail  
a 0 0 2 | 3/4" = 1'-0"



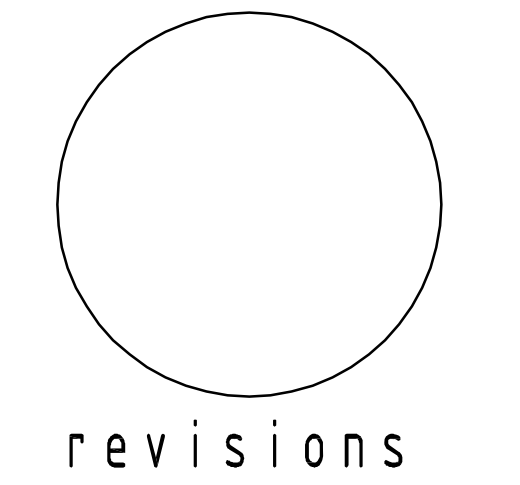
a new dental office development for:

**ROBERT C. KERSCHEN, DMD**

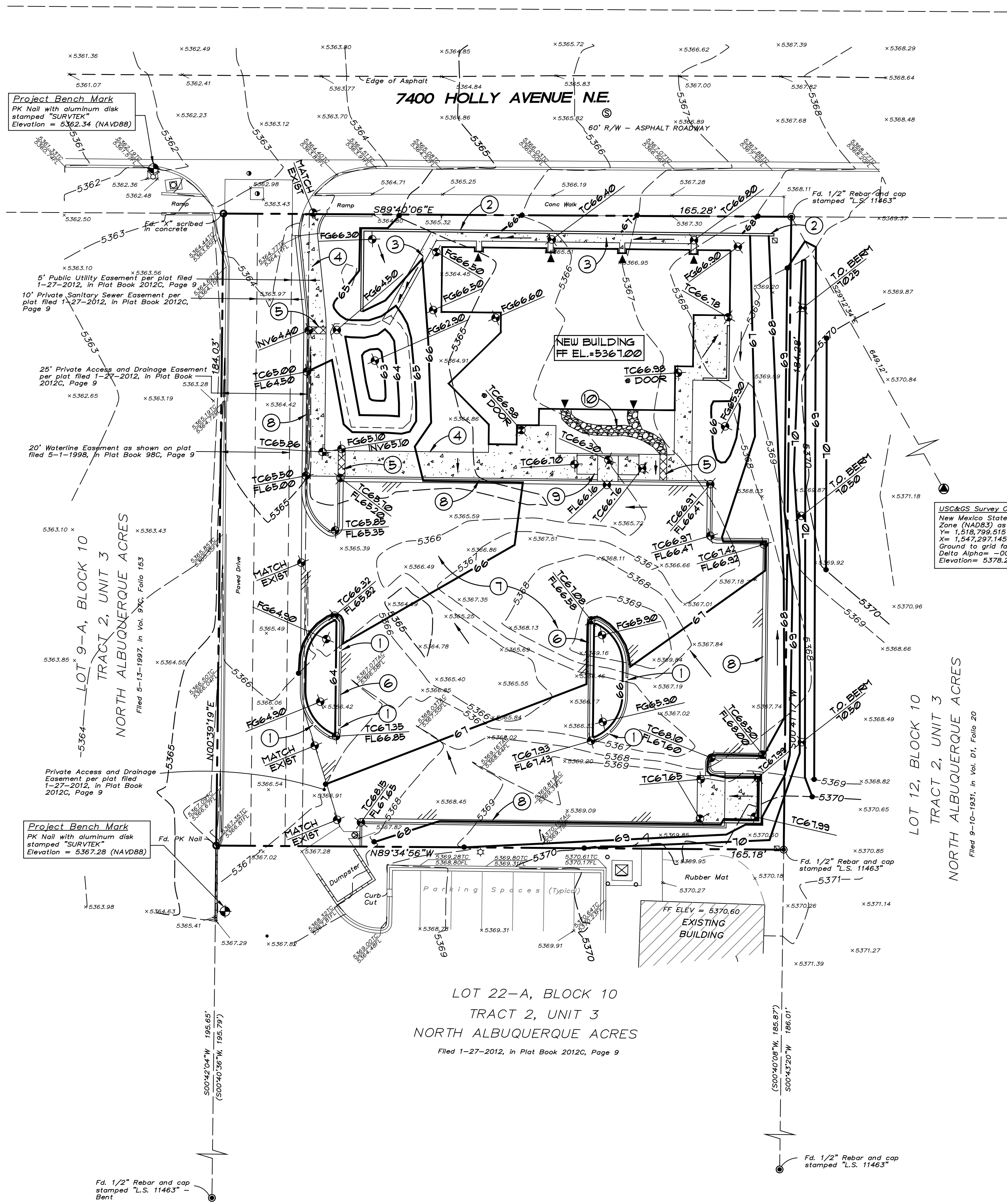
7400 holly avenue ne  
albuquerque, new mexico

**slagleherrarchitects**  
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a l b u q u e r q u e n m  
8 7 1 0 2  
5 0 5 2 4 6 0 8 7 0  
s l a g l e h e r r . c o m

**SITE DETAILS**



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**A002**



LOT 22-A, BLOCK 10  
TRACT 2, UNIT 3  
NORTH ALBUQUERQUE ACRES  
Filed 1-27-2012, in Plat Book 2012C, Page 9



### KEYED NOTES

- 1 1'-0" WIDE CURB BREAK FOR DRAINAGE
- 2 MASONRY RETAINING WALL PER DETAIL 5/C201
- 3 CONCRETE SWALE PER DETAIL 3/C201
- 4 4" THICK, 4000 PSI CONCRETE WALK
- 5 2'-0" WIDE SIDEWALK CULVERT PER C.O.A. STD. DRAWING 7236
- 6 DRAINAGE BASIN CONCRETE CURB PER DETAIL 4/C201
- 7 ASPHALT PAVING PER DETAIL 1/C201
- 8 STANDARD CONCRETE CURB AND GUTTER PER DETAIL 2/C201
- 9 HANDICAP RAMP - SEE ARCH.
- 10 LANDSCAPE ROCK LINED SWALE - COORDINATE WITH ARCH.

### LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- - - 5.366 - - - EXISTING CONTOUR
- NEW CONTOUR
- x 5.366.03 EXISTING SPOT ELEVATION
- 6630.0 NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE OR CURB
- FG FINISHED GRADE
- FL FLOW LINE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- B/F BOTTOM OF FOOTING
- INV INVERT
- [Pattern] NEW CONCRETE PAVING
- [Pattern] NEW AC PAVING
- ▲ ROOF DRAIN LOCATION
- ▲ SWALE

### HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 4  
DESIGN STORM: (IN)

	1hr	6hr	24hr	4day	10day
	2.23	2.30	3.65	4.70	5.95

EXISTING CONDITIONS

LAND TRITMNT (ACRE)	AREA %	P <sub>6</sub>	Q (CF)	Q (CF)	V <sub>6</sub> (CF)	V <sub>24</sub> (CF)	V <sub>4DAY</sub> (CF)	V <sub>10DAY</sub> (CF)
A	0.000	0%	0.80	2.20	0.00	0	0	0
B	0.606	86%	1.08	2.32	1.71	2.316	2.316	2.316
C	0.000	0%	1.46	3.13	0.00	0	0	0
D	0.101	14%	2.64	5.25	0.53	9.12	12.48	16.34
<b>TOTALS</b>	<b>0.707</b>	<b>100%</b>			<b>2.30</b>	<b>3.341</b>	<b>3.624</b>	<b>4.010</b>

PROPOSED CONDITIONS

LAND TRITMNT (ACRE)	AREA %	P <sub>6</sub>	Q (CF)	Q (CF)	V <sub>6</sub> (CF)	V <sub>24</sub> (CF)	V <sub>4DAY</sub> (CF)	V <sub>10DAY</sub> (CF)
A	0.000	0%	0.80	2.20	0.00	0	0	0
B	0.115	25%	1.08	2.32	0.51	6.86	6.86	6.86
C	0.000	0%	1.46	3.13	0.00	0	0	0
D	0.532	75%	2.64	5.25	2.79	5.098	6.541	8.514
<b>TOTALS</b>	<b>0.707</b>	<b>100%</b>			<b>3.30</b>	<b>5.784</b>	<b>7.233</b>	<b>9.260</b>

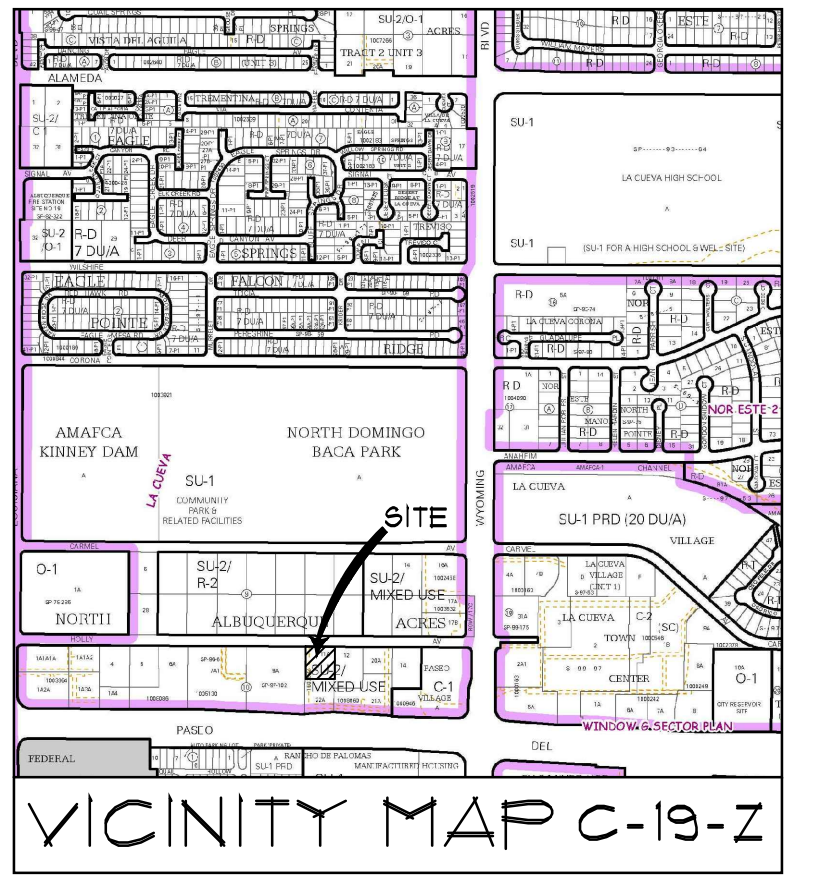
FIRST FLUSH: 22813 SF (ROOF + PAVING) x 0.44"/12 IN PER FT = 836 CF  
 POND VOLUME: 401 CF  
 DEPRESSED ISLANDS: 560 CF  
 TOTAL = 961 CF IS LESS THAN 836 CF

### LEGAL DESCRIPTION

LOT NUMBERED ELEVEN-A (11-A), IN BLOCK NUMBERED TEN (10) OF TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE FLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 27, 2012, IN PLAT BOOK 2012C, FOLIO 9.

### BENCHMARK

USCGS SURVEY CONTROL MONUMENT "HEAVEN"  
 NEW MEXICO STATE PLANE COORDINATES,  
 CENTRAL ZONE (NAD83) AS PUBLISHED:  
 Y = 1518,195,915  
 X = 154,129,145  
 GROUND TO GRID FACTOR = 0.999655810  
 DELTA ALPHA = -00'10.46.22"  
 ELEVATION = 5378.235 (NAVD88)

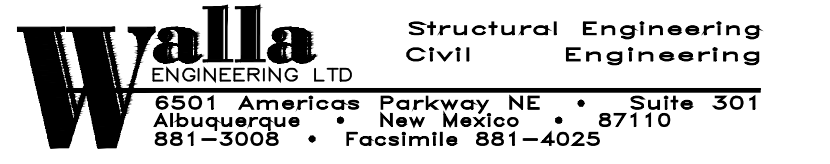


### DESIGN NARRATIVE

THIS 0.707 ACRE SITE IS CURRENTLY UNIMPROVED EXCEPT FOR A PAVED ACCESS ROAD ON THE WEST EDGE. THIS ROAD WILL REMAIN AS IT PROVIDES ACCESS FOR AN ADJACENT PROPERTY. THE ONSITE IMPROVEMENTS INCLUDE A NEW 4000 SF BUILDING AND NEW PAVED PARKING LOT. THE SUBJECT SITE CURRENTLY ACCEPTS A VERY SMALL AMOUNT OF OFFSITE RUNOFF FROM THE ADJACENT PROPERTY ON ITS EAST BORDER AND THE NEW IMPROVEMENTS WILL NOT PROHIBIT THIS FLOW. THE SITE WILL NOT IMPACT ANY ADJACENT PROPERTIES WITH DEVELOPED RUNOFF AND WILL BE CONSTRUCTED WITH DEPRESSED ISLANDS IN THE PARKING LOT AS WELL AS A SMALL POND TO COLLECT A FIRST FLUSH VOLUME OF RUNOFF. ROOF RUNOFF WILL BE DIRECTED TO THE POND VIA A CONCRETE SWALE ON THE NORTH SIDE OF THE NEW BUILDING. STORM VOLUMES GREATER THAN THE ONSITE CAPACITY WILL BE DIRECTED TO DOWNSTREAM FACILITIES IN HOLLY AVE. VIA THE EXISTING PAVED DRIVE. THESE FLOWS ULTIMATELY COLLECT IN AN AMAFCA POND ON THE NORTH SIDE OF HOLLY AVE, WEST OF THE SITE.

### EROSION CONTROL PLAN

- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.



a new dental office development for:  
**ROBERT C. KERSCHEN, DMD**  
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### GRADING AND DRAINAGE PLAN



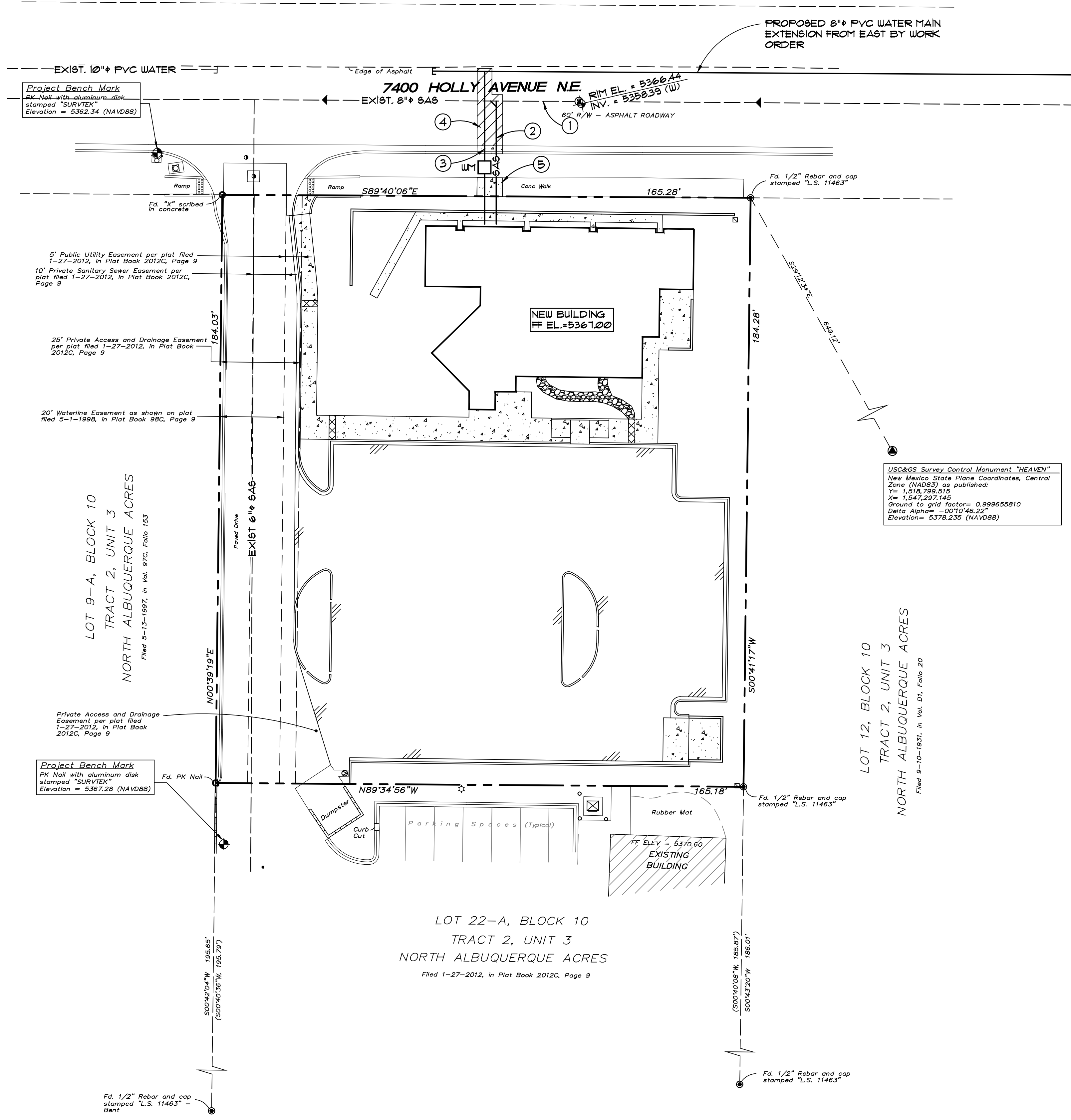
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**4-28-16**  
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**C101**

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1930, (N1 ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.

7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

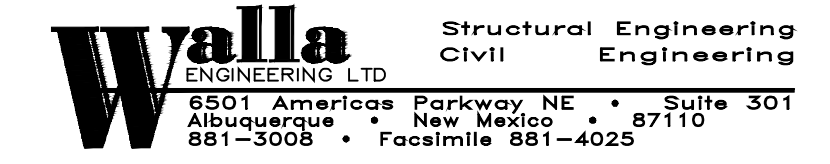


**KEYED NOTES**

- 1 EXISTING 8" SANITARY SEWER
- 2 NEW 4" SANITARY SEWER SERVICE CONNECTION
- 3 NEW 1/2" WATER SERVICE AND METER BOX PER ABCUWA STANDARD DRAWING #2362
- 4 SAWCUT, REMOVE AND REPLACE CURB AND GUTTER AND ASPHALT PAVING AT UTILITY CUT PER CITY OF ALBUQUERQUE STANDARD DRAWINGS #245A AND #2465
- 5 REMOVE SECTION OF EXISTING SIDEWALK TO NEAREST JOINT FOR UTILITY INSTALLATION AND REPLACE PER C.O.A. STANDARD DRAWING #2430

**LEGEND**

- SAS --- EXISTING SANITARY SEWER LINE
- SAS — SANITARY SEWER LINE
- W --- EXISTING WATER LINE
- W — WATER LINE
- UM WATER METER
- P --- PROPERTY LINE
- CO SEWER CLEAN OUT
- M --- EXISTING MANHOLE
- INV. INVERT ELEVATION



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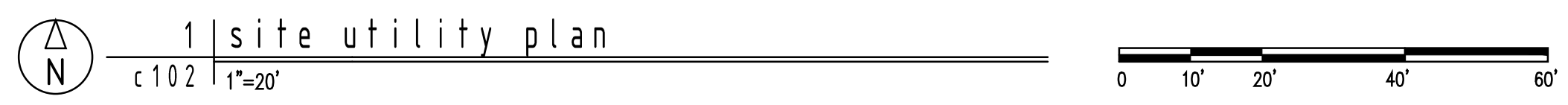


**SITE UTILITY PLAN**



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**C102**



**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
2		Forsythia neomexicana New Mexico Olive	15-Gal	15'/15'		Medium	6-2 gph
4		Fraxinus Autumn Purple Ash	2" B&B	40'/40'		Medium	+6-2 gph
4		Pyrus Flowering Pear	2" B&B	25'/15'		Medium	+6-2 gph
2		Pistacia chinensis Chinese Pistache	2" B&B	60'/60'		Medium	+6-2 gph
2		Gleditsia triacanthos inermis Honeylocust	2" B&B	80'/80'		Medium	6-2 gph

Shrubs/Groundcovers							
2		Buddleia davidii Butterfly Bush	1-Gal	5'/5'	50 sf=100 sf	Medium	2-2 gph
3		Caryopteris clandonensis Blue Mist	1-Gal	3'/3'	25 sf=75 sf	Medium	2-2 gph
20		Vauquelinia californica Arizona Rosewood	5-Gal	15'/8"	64 sf=1280 sf	Low +	2-2 gph
7		Rhus aromatica Gro Low Sumac	5-Gal	2'/6"	64 sf=448 sf	Low +	2-2 gph
10		Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	3'/4"	35 sf=350 sf	Low	2-1 gph
8		Salvia greggii Cherry Sage	1-Gal	3'/3'	15 sf=120 sf	Low	2-1 gph
12		Hesperaloe parviflora Red Yucca	5-Gal	3'/4"	30 sf=360 sf	Low+	2-2 gph
12		Lavandula Lavender	1-Gal	3'/3'	16 sf=192 sf	Medium	2-2 gph
13		Potentilla fruticosa Shrubby Cinquefoil	5-Gal	3'/3'	120 sf=260 sf	Medium+	2-2 gph
4		Prunus cistena Dwarf Red Leaf Plum	5-Gal	6'/6"	40 sf=160 sf	Medium+	2-2 gph
7		Rosmarinus officinalis Rosemary	5-Gal	6'/6"	64 sf=448 sf	Low +	2-2 gph
4		Mahonia Oregon Grape Holly	5-Gal	6'/6"	64 sf=256 sf	Low +	2-2 gph
3		Lagerstroemia Crape Myrtle	5-Gal	15'/15'	150 sf=450 sf	Medium	2-2 gph
4		Juniperus sabinna 'Buffalo' Buffalo Juniper (female)	5-Gal	2'/6"	50 sf=200 sf	Low +	2-2 gph
10		Nepeta Catmint	1-Gal	1'/3"	10 sf=100 sf	Medium	2-2 gph
7		Kniphofia Red Hot poker	1-Gal	3'/2"	10 sf=70 sf	Medium+	2-2 gph
7		Achillea Moonshine Yarrow	1-Gal	3'/3"	12 sf=84 sf	Medium	2-2 gph

Ornamental Grasses							
2		Nolina microcarpa Beargrass	5-Gal	5'/6"	64 sf=128 sf	RW	2-1 gph
4		Muhlenbergia Deer Grass	1-Gal	4'/4"	40 sf=160 sf	Medium	2-2 gph
23		Calamagrostis Karl Foerster Grass	5-Gal	30'/2"	10 sf=230 sf	Medium	2-2 gph
13		Panicum Switch Grass	5-Gal	6'/4"	36 sf=468 sf	Medium	2-2 gph
20		Nassella Threadgrass	1-Gal	3'/2"	12 sf=240 sf	Medium	2-2 gph

Total Landscape Coverage=6,179 SF

**MATERIALS LEGEND**

- 3/4" GRAY CRUSHED GRAVEL
- 2"-4" COBBLESTONE

**SITE DATA**

GROSS LOT AREA (.6975 ac)	30,383 SF
LESS BUILDING(S)	3,391 SF
NET LOT AREA	26,992 SF

REQUIRED LANDSCAPE  
15% OF NET LOT AREA  
4,049 SF  
PROPOSED LANDSCAPE  
6,225 SF  
PERCENT OF NET LOT AREA  
30 %

REQUIRED STREET TREES  
PROVIDED AT 30' O.C. SPACING ALONG STREET  
REQUIRED PARKING LOT TREES  
PROVIDED AT 1 PER 10 SPACES (32 SPACES/10)

TOTAL REQUIRED TREES  
TOTAL PROPOSED TREES (2" CAL OR 6' HT.)

HIGH WATER USE TURF  
NONE PROPOSED

REQUIRED LANDSCAPE COVERAGE  
75% LIVE VEGETATIVE MATERIAL  
(8,225 SF LANDSCAPE AREA x 75%)  
PROVIDED LANDSCAPE COVERAGE  
PERCENT LANDSCAPE COVERAGE  
OF REQUIRED LANDSCAPE AREAS  
75%

**PLANTING RESTRICTIONS APPROACH**

A MINIMUM OF 80% OF THE PLANTINGS TO BE  
LOW OR MEDIUM WATER USE PLANTS  
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE  
HIGH WATER USE TURF

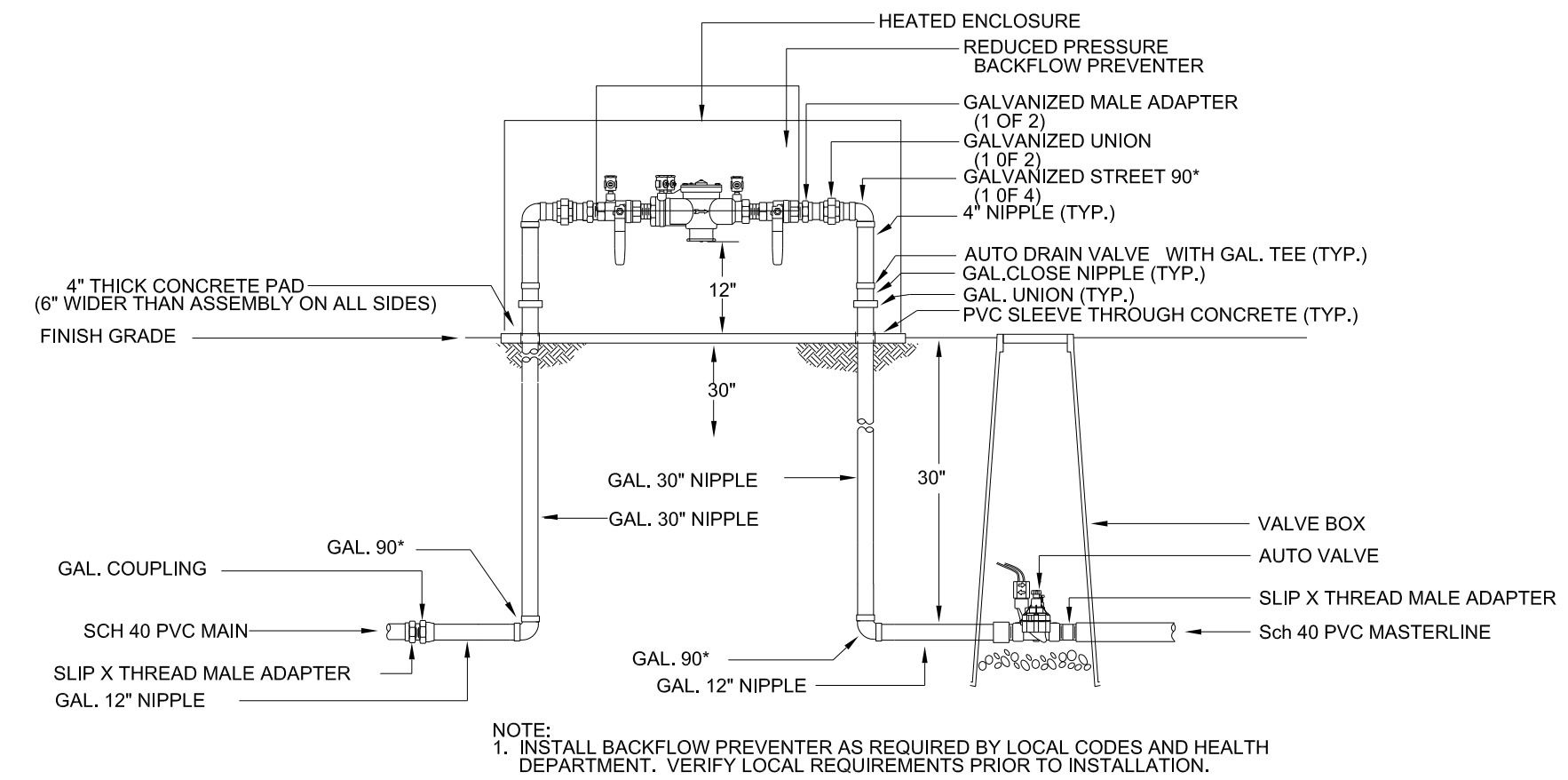
**NOTE**

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER  
PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION  
SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER  
PER CITY OF ALBUQUERQUE  
WATER MANAGEMENT IS THE SOLE RESPONSIBILITY  
OF THE PROPERTY OWNER  
THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE  
AND WATER WASTE ORDINANCE 6-1-1.  
PLANTING RESTRICTIONS APPROACH  
IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.  
75% LIVE GROUNDCOVER OF LANDSCAPE AREAS  
AT MATURITY PER ORDINANCE 14-16-3-10  
LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL  
MULCH AT 3" DEPTH OVER FILTER FABRIC

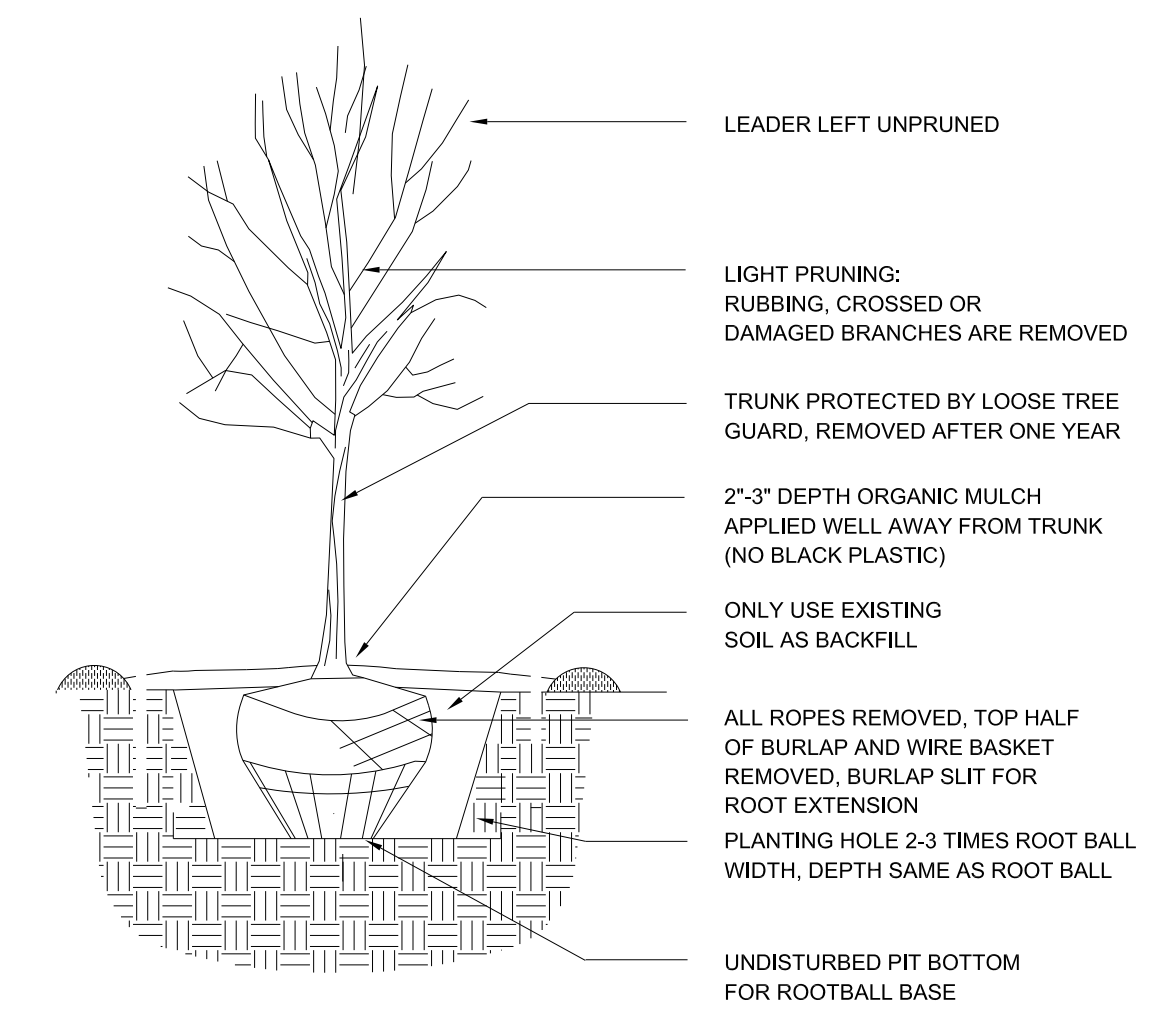
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE  
OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE  
C.O.A LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.  
NO PARKING SPACE SHALL BE MORE THEN 100'  
FROM A TREE.  
STREET TREES TO CONFORM TO STREET TREE ORDINANCE  
6-6-2.  
LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE  
14-16-3-10.  
LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH  
CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS,  
TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL  
(AS MEASURED FROM THE GUTTER PAN) WILL NOT BE  
ALLOWED IN THIS AREA.

**IRRIGATION NOTE**

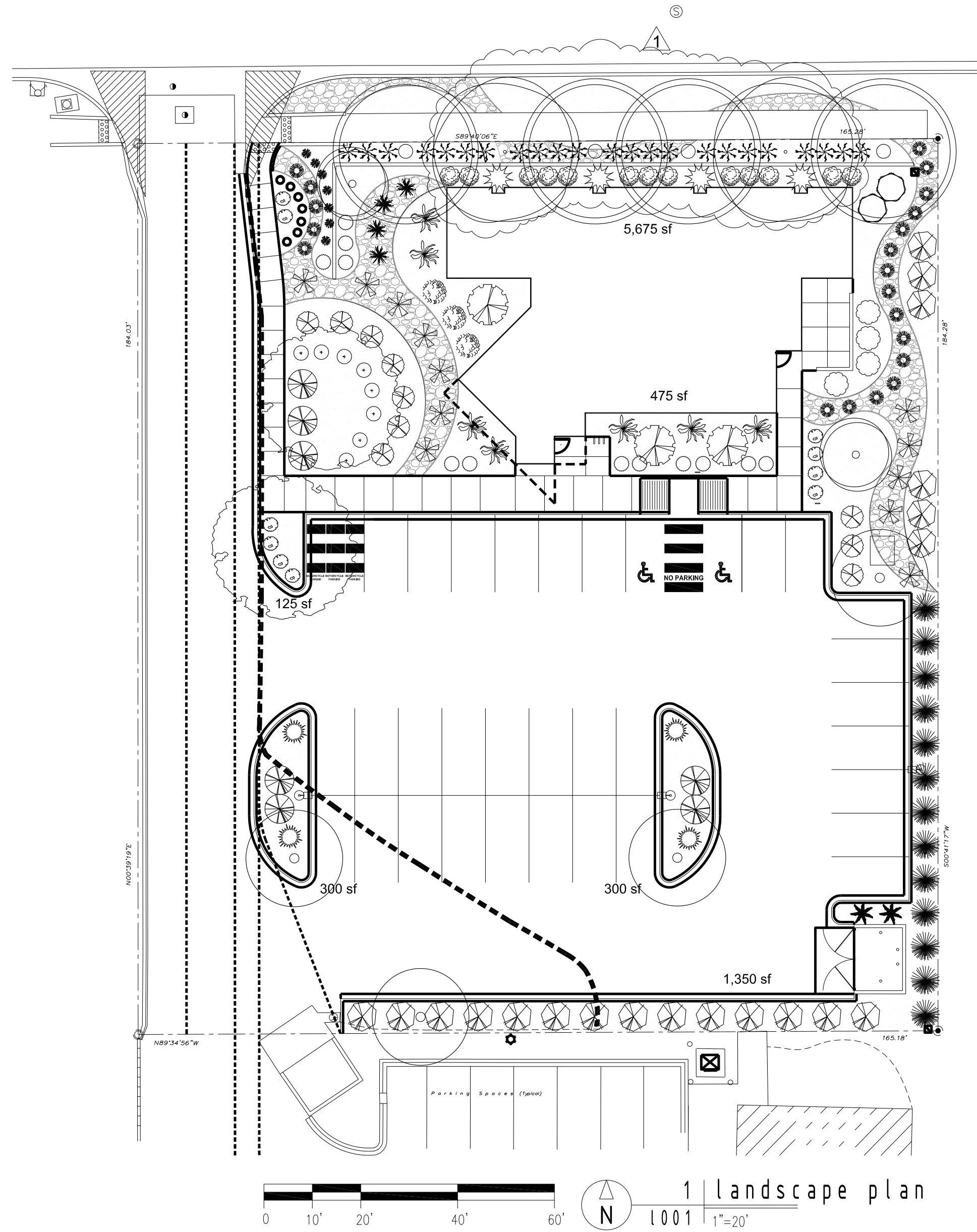
DRIP SYSTEM RUN CYCLES:  
ESTABLISHMENT AND SUMMER:  
1 HOUR/4 DAYS A WEEK  
SPRING:  
1 HOUR/2-3 DAYS A WEEK  
FALL:  
1 HOUR/2-3 DAYS A WEEK  
WINTER:  
1 HOUR/2 DAYS PER MONTH



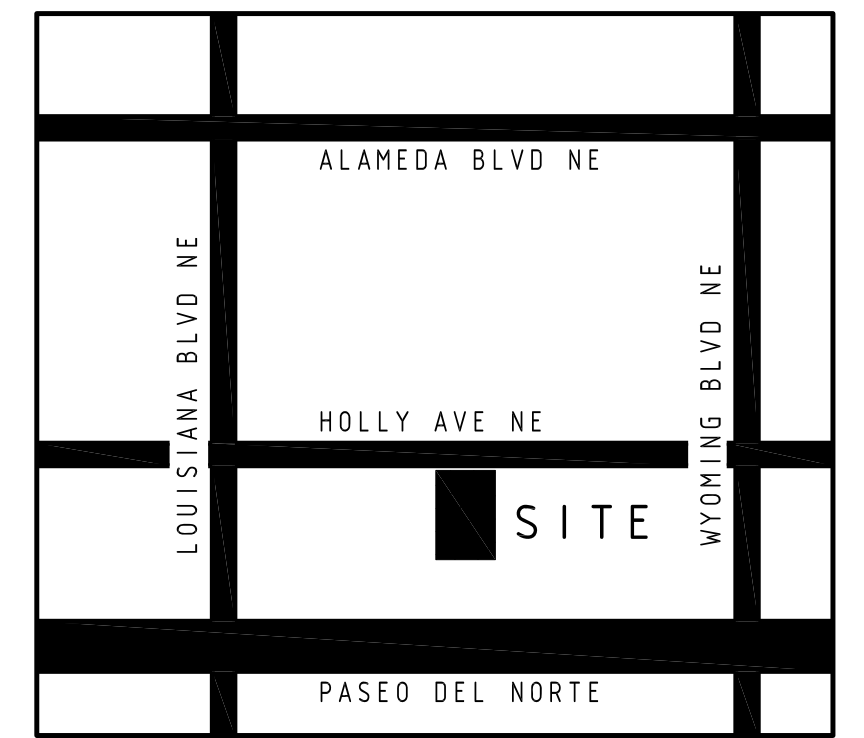
RP BACKFLOW/MASTER VALVE DETAIL



TREE PLANTING DETAIL



**vicinity map**



LANDSCAPE CONTRACTORS  
www.headsuplandscape.com

PO Box 10597  
Albuquerque, NM 87184  
505.898.9615  
505.898.2105 (fax)  
design@hulc.com

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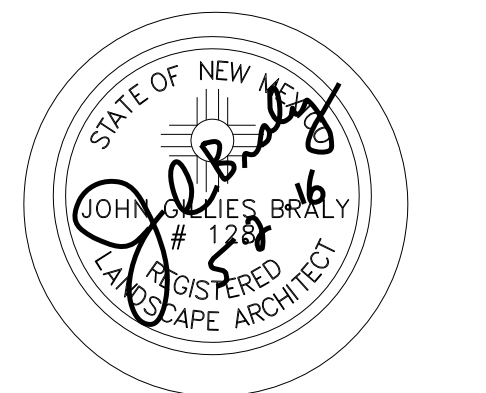
**ROBERT C. KERSCHEN, DMD**

7400 holly avenue ne  
albuquerque, new mexico



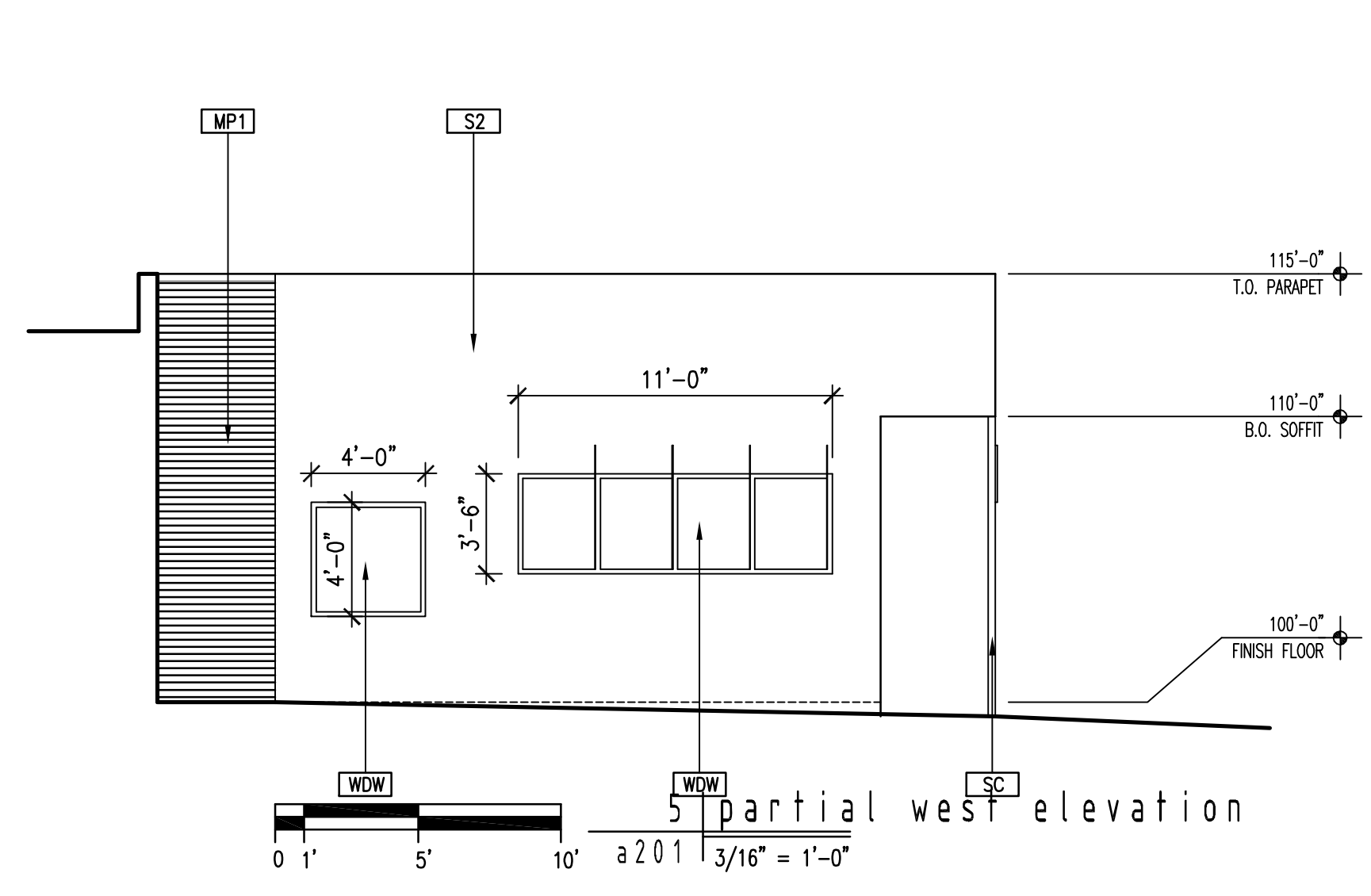
4 1 3 s e c o n d s t s w  
a l b u q u e r q u e n m  
8 7 1 0 2  
5 0 5 2 4 6 0 8 7 0  
s l a g l e h e r r . c o m

landscape plan

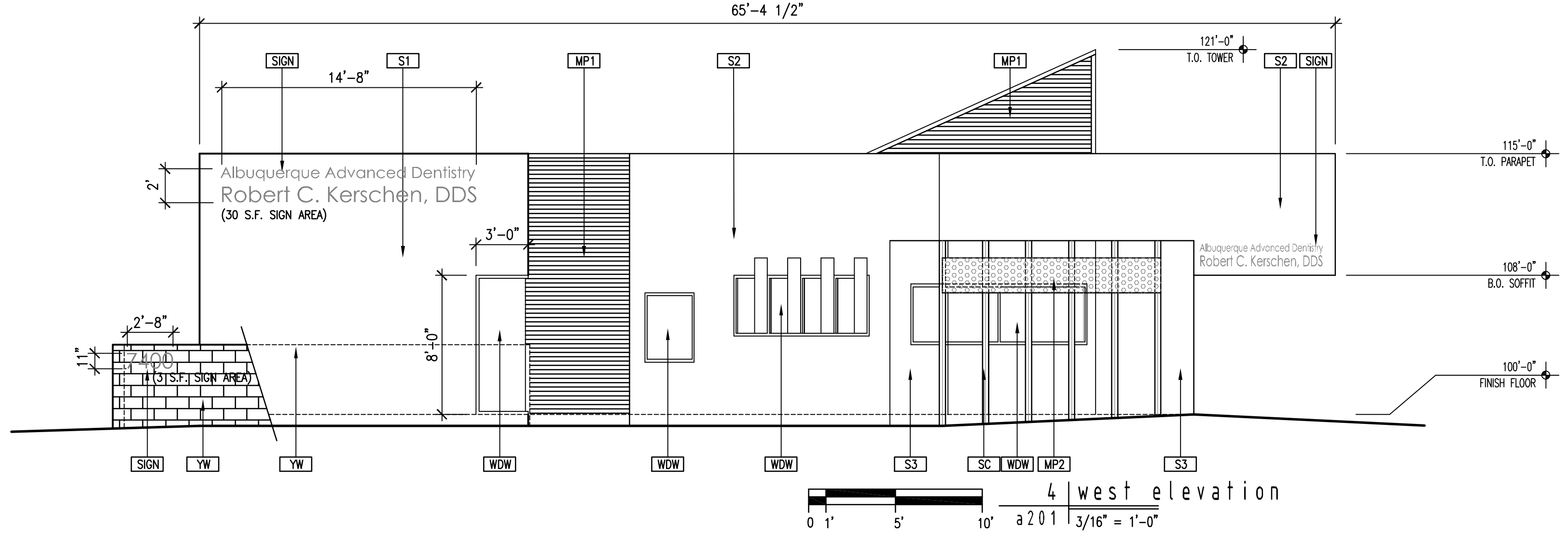


revisions  
3.21.16  
4.15.16 (EPC Comment)

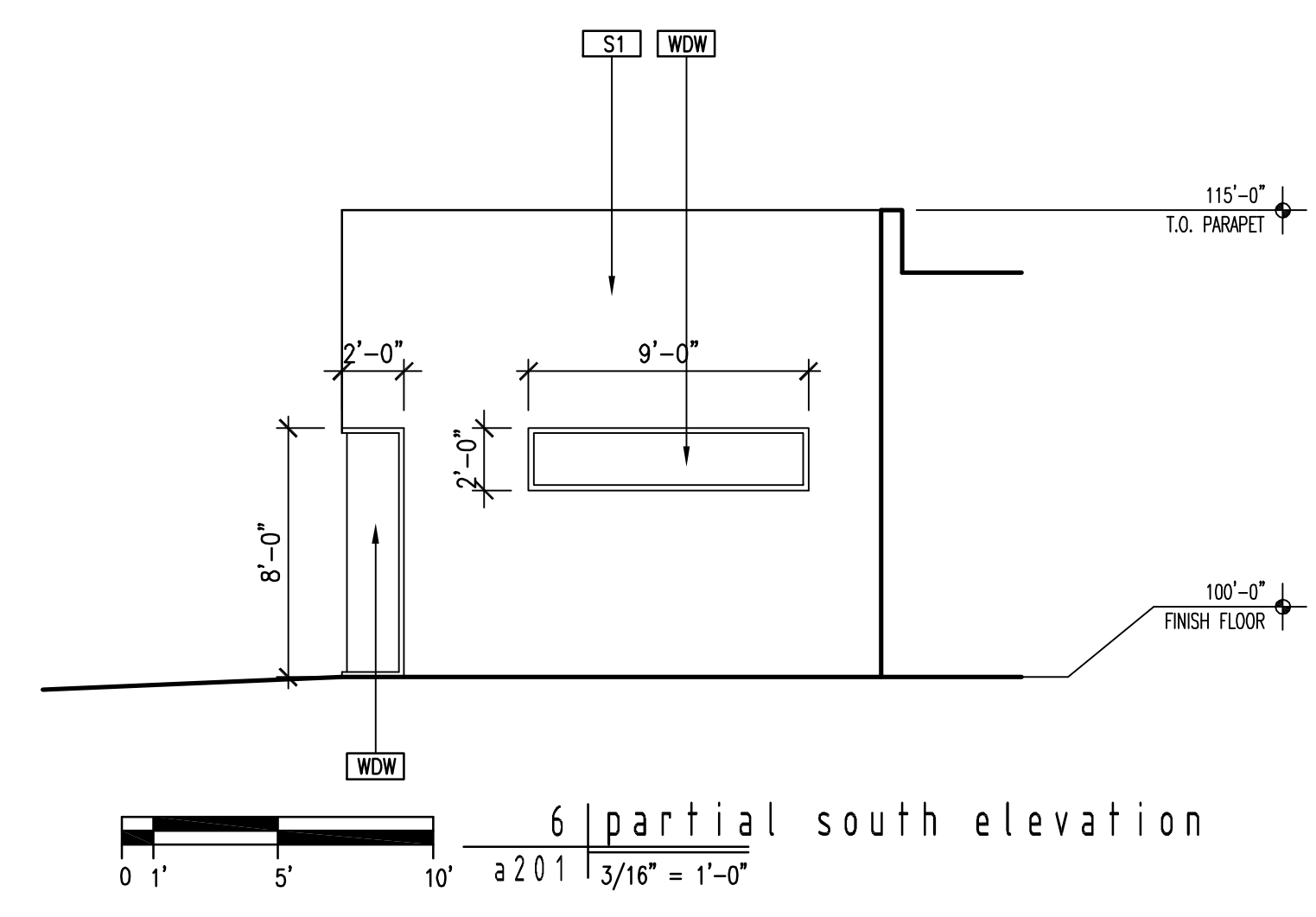
date  
2-25-16  
sheet  
L001



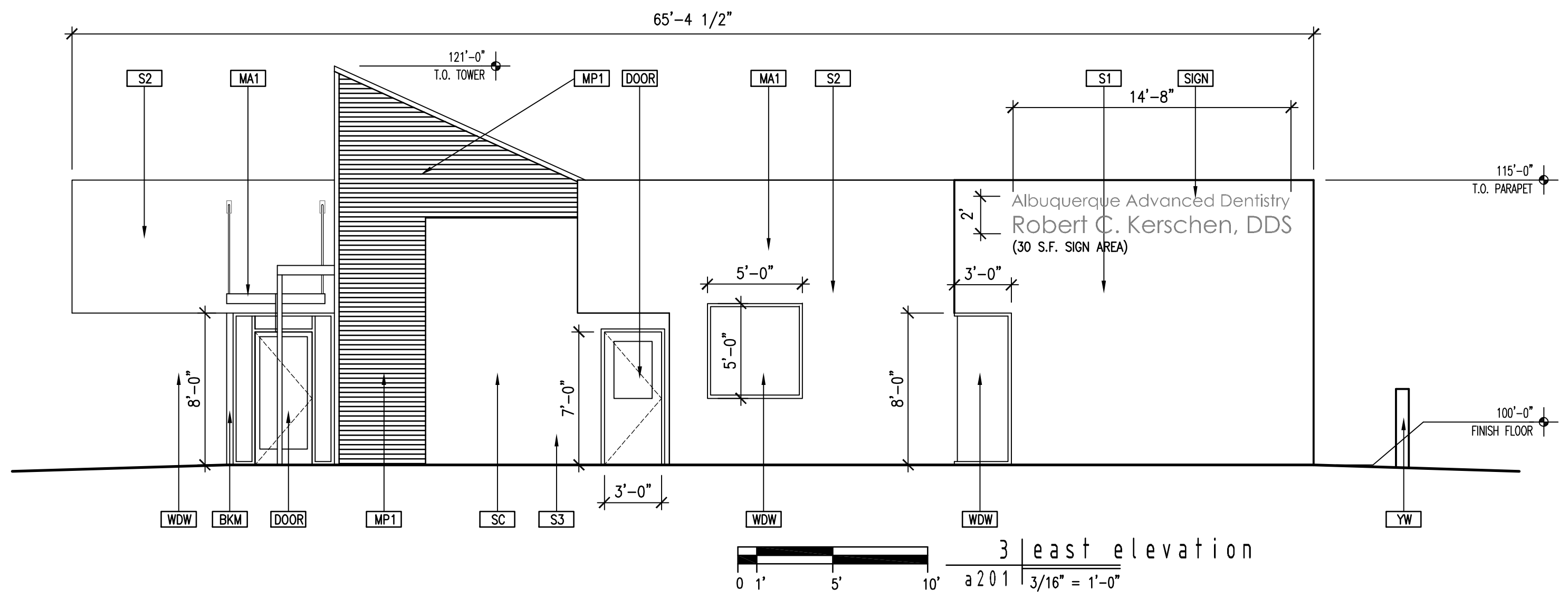
5 partial west elevation



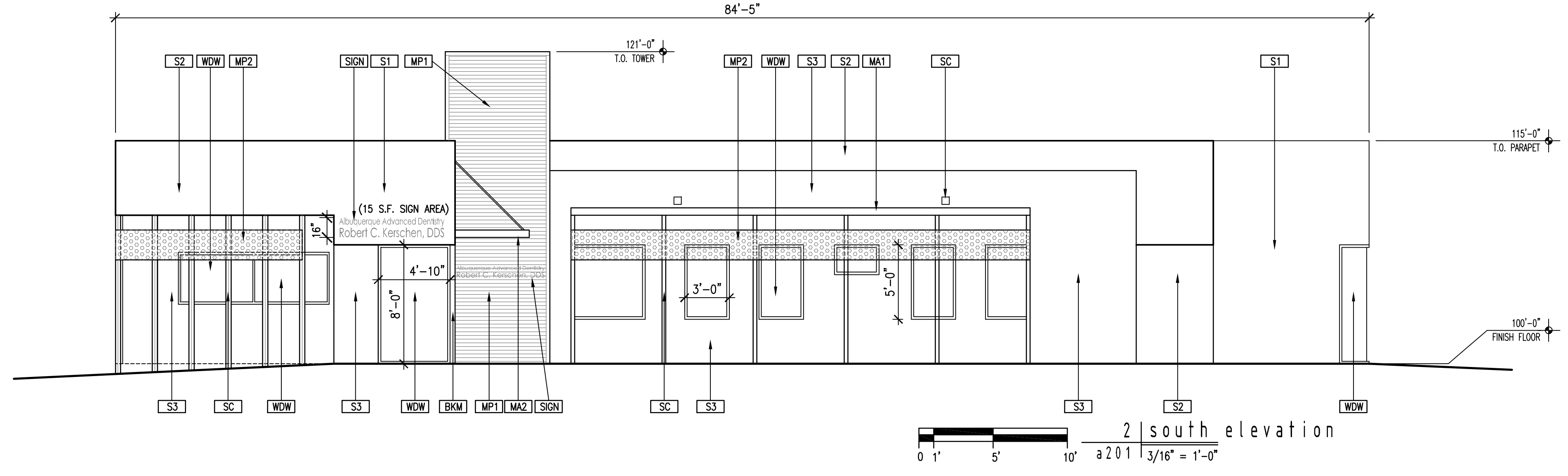
4 west elevation



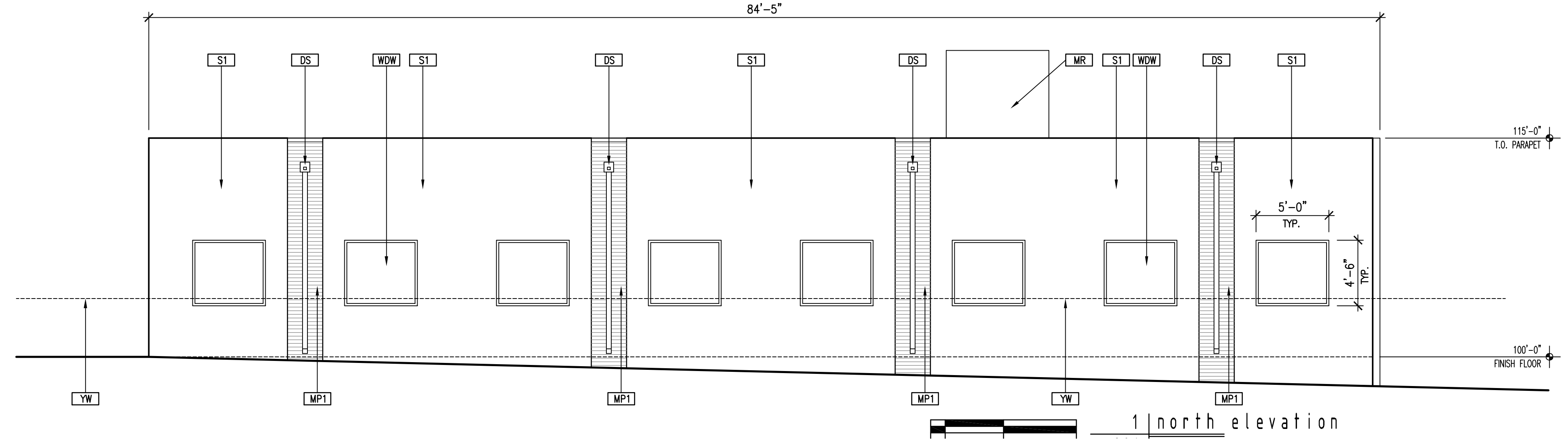
6 partial south elevation



3 east elevation



2 south elevation



1 north elevation

SIGNAGE NOTE: ALL SIGNAGE IS CONTROLLED BY THE C-1 ZONE OF THE ZONING CODE PER THE SU-2 MIXED USE ZONING OF THE LA QUEVA SECTOR DEVELOPMENT PLAN

- KEYED NOTES:**
- S1 NEW SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-LIGHT TAN
  - S2 NEW SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-DARK BLUE GRAY
  - S3 NEW SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-WHITE
  - MP1 CORRUGATED METAL PANELS: MCCI PBC PANEL 26 GA. GALVALUME FINISH.
  - MP2 PERFORATED METAL PANEL: SEE WALL SECTIONS
  - WDW WINDOW PER SCHEDULE-CLEAR GLASS, SILVER FRAMES
  - DOOR DOOR AND FRAME PER SCHEDULE-CLEAR GLASS, SILVER FRAMES
  - BKM BREAK METAL TO MATCH WINDOW FRAMES
  - MA1 METAL AWNING: PAINT OFF WHITE COLOR
  - MA2 METAL AWNING: PAINT OFF WHITE COLOR
  - SC STEEL COLUMN: PAINT OFF WHITE COLOR
  - YW YARD WALL SHOWN DASHED FOR CLARITY. SPLIT FACE BLOCK-TAN COLOR, 4" HIGH AT INSIDE FACE/ALL WALLS SHALL COMPLY WITH SECTION 14-16-3-19 OF THE ALBUQUERQUE ZONING CODE.
  - LF LIGHT FIXTURE: SEE ELECTRICAL
  - SIGN BACK LIT REVERSE CHANNEL METAL SIGN LETTERS-SILVER COLOR; SIZE AS SHOWN
  - DS BRAKE METAL LEADERHEAD AND DOWNSPOUT: GALVALUME FINISH TO MATCH METAL PANELS. PROVIDE OVERFLOW AT LEADERHEAD
  - SC BRAKE METAL SCUPPER: GALVALUME FINISH TO MATCH METAL PANELS.

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**ELEVATIONS**

revisions

4-15-16 EPC COMMENTS

date  
**4-7-16**  
sheet  
**A201**