



Supplemental Form (SF)

SUBDIVISION

- ☐ Major subdivision action
☐ Minor subdivision action
☐ Vacation
☐ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ☒ for Subdivision
☒ for Building Permit
☐ Administrative Amendment (AA)
☐ Administrative Approval (DRT, URT, etc.)
☐ IP Master Development Plan
☐ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- ☐ Annexation

☒ V ☐ Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
☒ P ☐ Adoption of Rank 2 or 3 Plan or similar
☐ Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

- ☒ D ☐ Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- ☐ Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.

Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Joe Slagle, Slagle Herr Architects PHONE: 246-0870

ADDRESS: 413 2nd St. SW. FAX: _____

CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: joe@slagleherr.com

APPLICANT: Robert C. and Katie Kerschen PHONE: 898-7440

ADDRESS: 2600 American Road SE FAX: _____

CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: katiekerschen@yahoo.com

Proprietary interest in site: Owners List all owners: Robert C. and Katie Kerschen

DESCRIPTION OF REQUEST: Site plan for building permit approval for a 3391 sf dental office

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☐ No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 11, Tract 2 Block: 10 Unit: 3

Subdiv/Addn/TBKA: North Albuquerque Acres

Existing Zoning: SU2-mixed use Proposed zoning: same MRGCD Map No na

Zone Atlas page(s): C19 UPC Code: 101906417404030122

CASE HISTORY:

List **any** current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1003532

CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? no

No. of **existing** lots: 1 No. of **proposed** lots: 1 Total site area (acres): .6975

LOCATION OF PROPERTY BY STREETS: On or Near: Holly ave NE

Between: Louisiana NE and Wyoming NE

Check if project was previously reviewed by: Sketch Plat/Plan ☐ or Pre-application Review Team(PRT) ☒ Review Date: 1-26-2016

SIGNATURE _____ DATE _____

(Print Name) Joe Slagle Applicant: ☐ Agent: ☒

FOR OFFICIAL USE ONLY

Revised: 11/2014

☐ INTERNAL ROUTING

- ☐ All checklists are complete
☐ All fees have been collected
☐ All case #s are assigned
☐ AGIS copy has been sent
☐ Case history #s are listed
☐ Site is within 1000ft of a landfill
☐ F.H.D.P. density bonus
☐ F.H.D.P. fee rebate

Application case numbers

Action

S.F.

Fees

\$ _____
 \$ _____
 \$ _____
 \$ _____
 \$ _____
 Total
 \$ _____

Hearing date _____

Project # _____

Staff signature & Date _____

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.

Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

X A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan

X B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 – SITE PLAN

A. General Information

- X 1. Date of drawing and/or last revision
- X 2. Scale:
1.0 acre or less 1" = 10' Over 5 acres 1" = 50'
1.0 - 5.0 acres 1" = 20' Over 20 acres 1" = 100'
[other scales, if approved by staff]
- X 3. Bar scale
- X 4. North arrow
- X 5. Vicinity map
- na 6. Signature Block (for DRB site dev. plans)
- X 7. Property lines (clearly identify)
- X 8. Existing easements on the site and within 20 ft. of the site with recording information;
proposed easements on the site
- X 9. Phases of development including location and square footages of structures, circulation,
parking and landscaping
- X 10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development

1. Structural

- x 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- x 2. Dimensions and square footage of each structure
- x 3. Proposed use of each structure
- x 4. Walls, fences, and screening: indicate height, length, color and materials
- na 5. Loading facilities
- x 6. Conceptual site lighting (indicate general location & maximum height)
- x 7. Location of refuse container and enclosure
- x 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- x A. Parking layout with spaces numbered per aisle and totaled.
 - x 1. **Location and typical dimensions**, including handicapped spaces
 - x 2. **Calculations:** spaces required: 10 provided: 32

Handicapped spaces (included in required total) required: 1 provided: 1
Motorcycle spaces (in addition to required total) required: 1 provided: 1
- x B. Bicycle parking & facilities
 - x 1. Bicycle racks, spaces required: 2 provided: 4
 - na 2. Bikeways and other bicycle facilities, if applicable
- na C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- x D. Pedestrian Circulation
 - x 1. Location and dimensions of all sidewalks and pedestrian paths
 - x 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- x E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
 - x 1. Ingress and egress locations, including width and curve radii dimensions
 - x 2. Drive aisle locations, including width and curve radii dimensions
 - x 3. End aisle locations, including width and curve radii dimensions
 - x 4. Location & orientation of refuse enclosure, with dimensions
 - na 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - na 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - na 8. Location of traffic signs and signals related to the functioning of the proposal
 - na 9. Identify existing and proposed medians and median cuts

3. Phasing – This is required information if phasing of project is anticipated

- na Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- X 1. Scale - must be same as scale on sheet #1 - Site Plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- X 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- X 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- X 9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
- X 10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
- X 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- X 12. Verification of adequate sight distance
- X 13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

- X 1. Scale - must be same as Sheet #1 - Site Plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Building footprints
- X 6. Location of Retaining walls

B. Grading Information

- X 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- X 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- X 3. Identify whether ponding is required
- X 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

X 5. Cross Sections

Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.

na 6. In addition to the above, the following must be provided for DRB applications:

A. Conceptual onsite drainage system

B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

X 1. Fire hydrant locations, existing and proposed.

X 2. Distribution lines

X 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.

X 4. Existing water, sewer, storm drainage facilities (public and/or private).

X 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

X 1. Scale (minimum of 1/8" or as approved by Planning Staff)

X 2. Bar Scale

X 3. Detailed Building Elevations for each facade

X a. Identify facade orientation (north, south, east, & west)

X b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)

X c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.

X d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)

X 4. Dimensions, colors and materials of Refuse Enclosure

na 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

X 1. Site location(s)

X 2. Sign elevations to scale

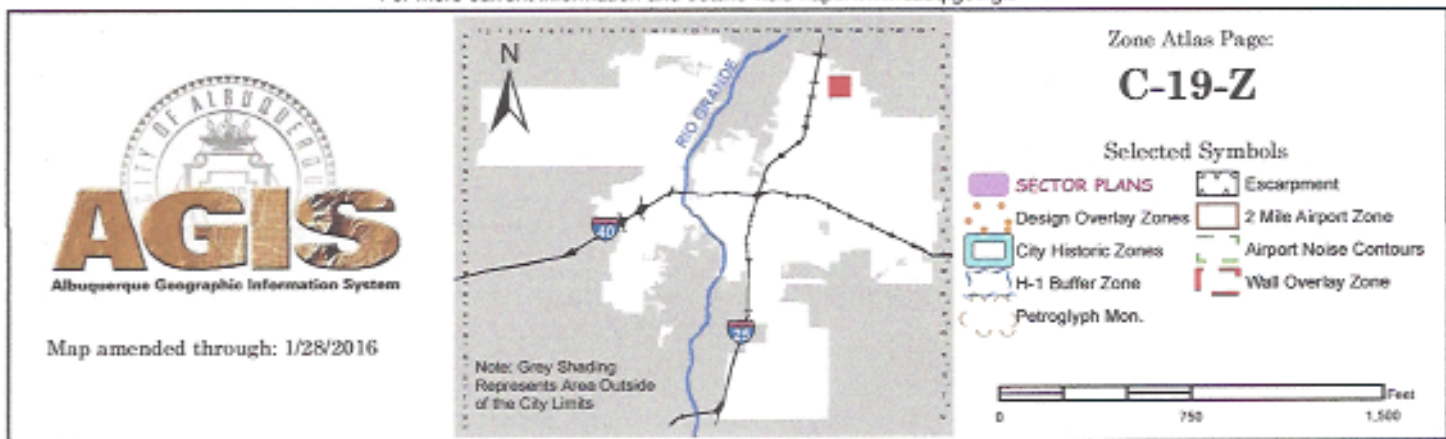
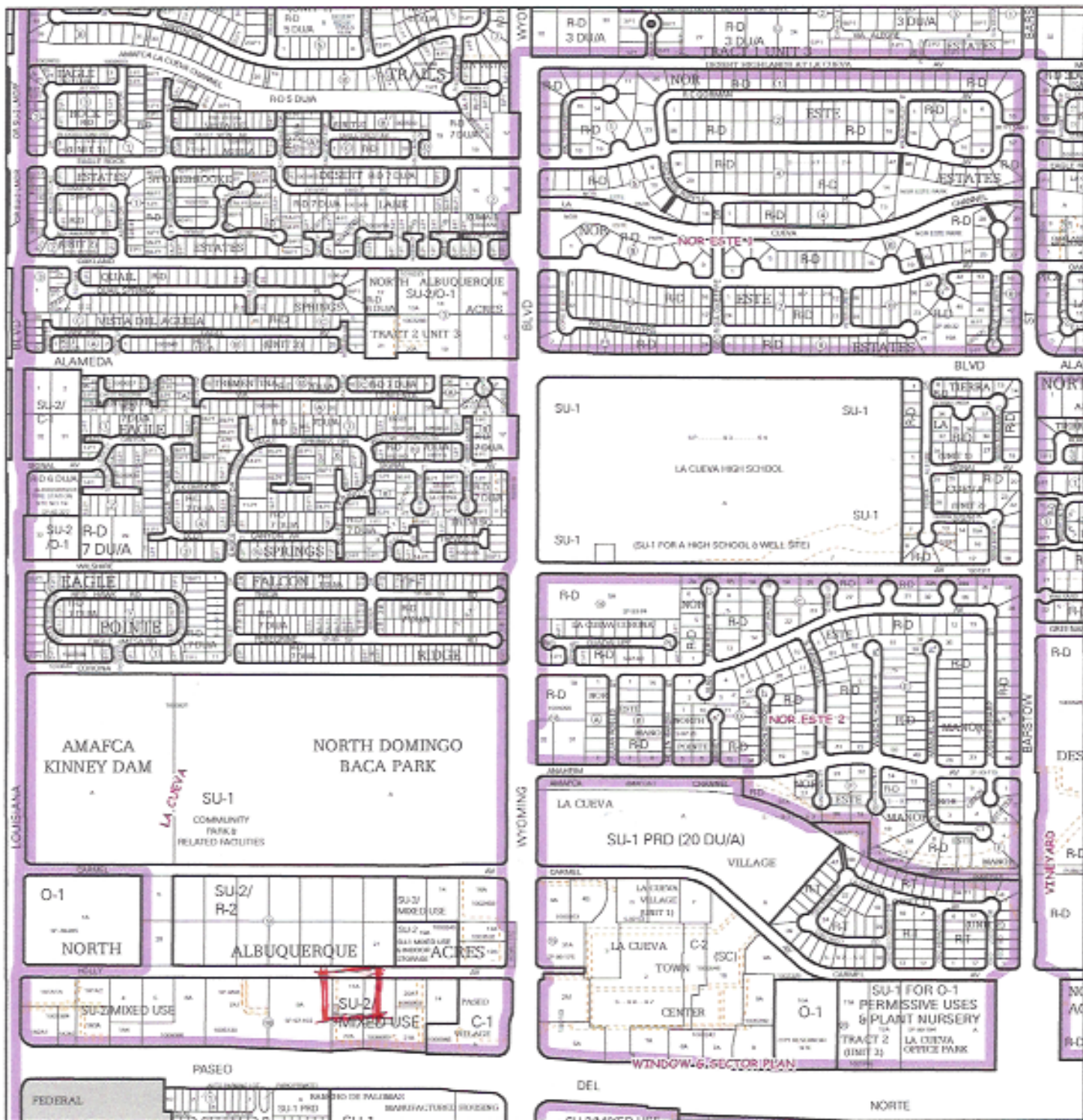
X 3. Dimensions, including height and width

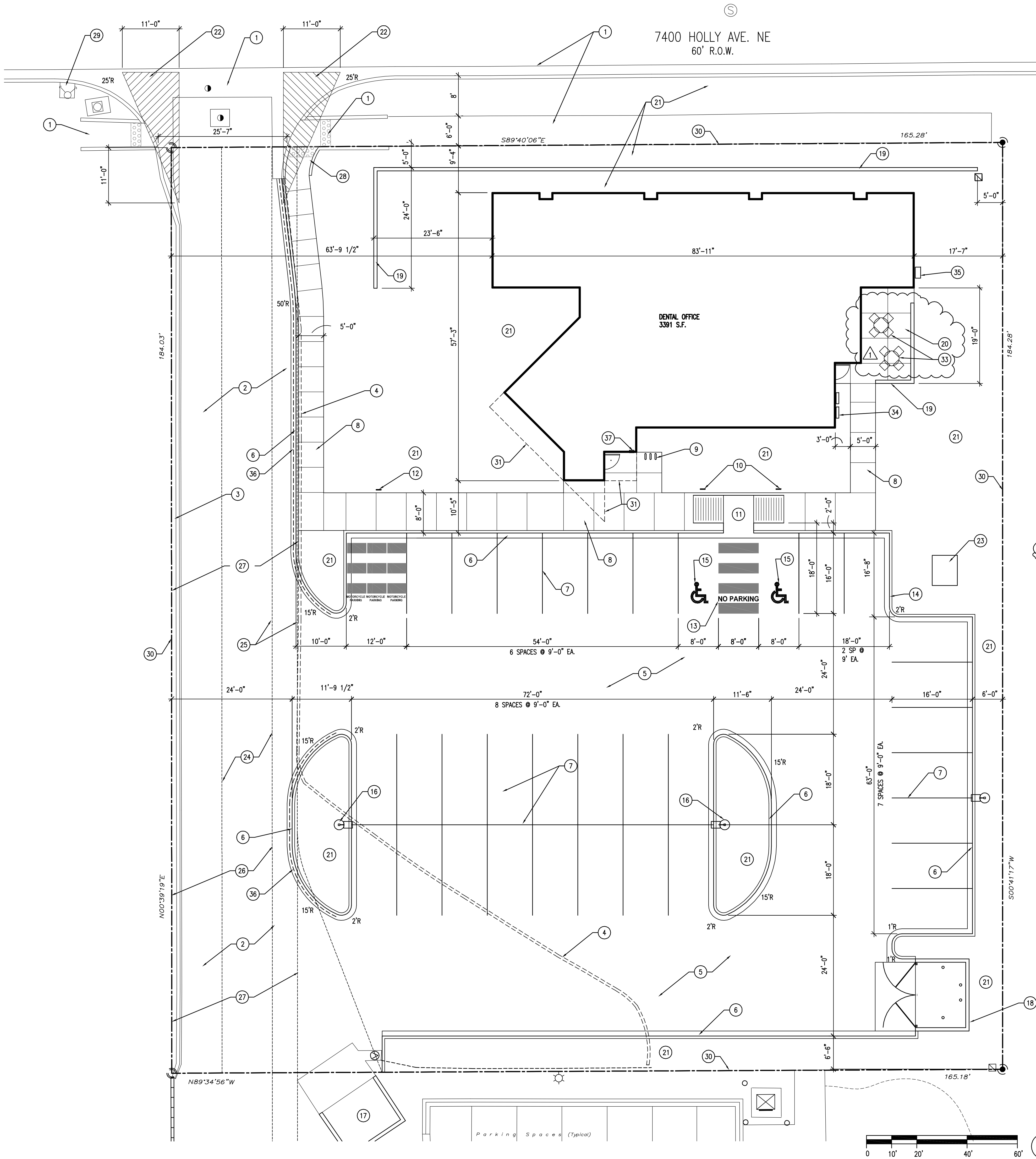
X 4. Sign face area - dimensions and square footage clearly indicated

X 5. Lighting

X 6. Materials and colors for sign face and structural elements

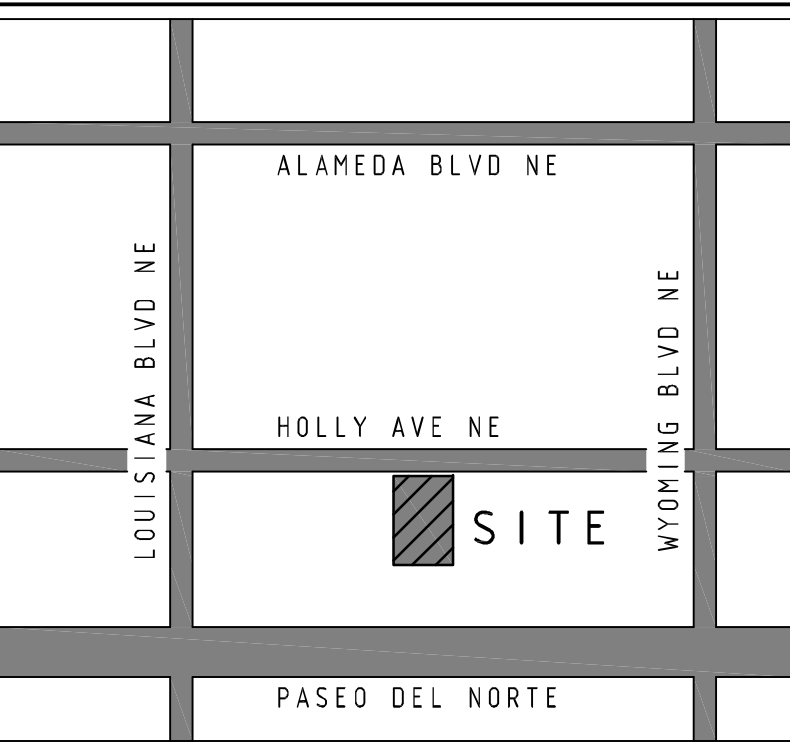
X 7. Verification of adequate sight distance





- KEYED NOTES**
- EXISTING DRIVEWAY, HCP RAMPS, CURB RETURNS AND SIDEWALK TO REMAIN
 - EXISTING ASPHALT DRIVEWAY TO REMAIN
 - EXISTING CURB AND GUTTER TO REMAIN
 - EDGE OF EXISTING ASPHALT PAVING. ASPHALT CURB TO BE REMOVED
 - NEW ASPHALT PAVING PER SOILS REPORT RECOMMENDATION
 - NEW CURB AND GUTTER: SEE $\frac{17}{2002}$
 - 4" WIDE WHITE PARKING STRIPING
 - 4" THK. CONC. WALK
 - BIKE RACK: SEE $\frac{13}{2002}$
 - HCP PARKING SIGN: SEE $\frac{110}{2002}$
 - HCP RAMP: SEE $\frac{15}{2002}$
 - MOTORCYCLE PARKING SIGN: SEE $\frac{110}{2002}$
 - 2' WHITE BLOCKS, TEXT TO READ "NO PARKING"
 - 2' WHITE BLOCKS, TEXT TO READ "MOTORCYCLE PARKING"
 - INTERNATIONAL HCP SYMBOL-BLUE
 - PARKING LOT LIGHT POLE: SEE $\frac{16}{2002}$
 - EXISTING DUMPSTER ENCLOSURE FOR ADJACENT PROPERTY
 - NEW DUMPSTER ENCLOSURE: SEE $\frac{11}{2002}$
 - MASONRY YARD WALL: SEE $\frac{8}{2002}$
 - 4" THK CONCRETE PATIO W/ C.J. @ 5' O.C. (200 S.F.)
 - LANDSCAPE AREA: SEE LANDSCAPE PLAN
 - CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' & 8' TALL (MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 - TRANSFORMER LOCATION: SEE ELECTRICAL DRAWINGS
 - 10' SANITARY SEWER EASEMENT
 - 15' PUBLIC UTILITY EASEMENT
 - 20' WATERLINE EASEMENT
 - 25' ACCESS AND DRAINAGE EASEMENT
 - RECONSTRUCT EXISTING HCP RAMP TO ADD RAMP TO NEW SIDEWALK PER C.O.A. DRAWING 2441. PROVIDE TRUNCATED DOMES AT SLOPED SURFACES
 - EXISTING FIRE HYDRANT
 - EXISTING PROPERTY LINE
 - DASHED LINE INDICATES OVERHANG ABOVE
 - CONCRETE PARKING BUMPER
 - OUTDOOR FURNITURE PROVIDED BY OWNER
 - ELECTRICAL SERVICE GEAR LOCATION
 - GAS METER LOCATION
 - DASHED LINE INDICATES RED STRIPING WITH TEXT: "FIRE LANE"
 - KNOX BOX LOCATION

vicinity map



SITE DATA:

LOCATION:	7400 HOLLY AVE. NE ALBUQUERQUE, NM 87113
LEGAL DESCRIPTION:	LOT 11-A, BLOCK 10, TRACT 2, UNIT 3 NORTH ALBUQUERQUE ACRES
UPC #:	101906417404030122
CURRENT ZONING:	SU-2/MIXED USE
SETBACK REQUIREMENTS:	5' FRONT YARD SETBACK
ZONE ATLAS PAGE:	C-19
BUILDING CONSTRUCTION:	5B (NON-SPRINKLED)
APPLICABLE CODE:	2009 IBC C.O.A. ZONING ORDINANCE LA CUEVA SECTOR DEVELOPMENT PLAN
TOTAL LOT AREA:	(0.6975 AC) 30,383 S.F.
BUILDING FOOTPRINT AREA:	3391 S.F.
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	26,992 S.F.
FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA):	11.2 %
PAVED AREA:	15,840 S.F.
LANDSCAPE AREA:	11,152 S.F.
LANDSCAPE % NET LOT AREA:	41 %
LANDSCAPE TO PAVED AREA RATIO:	1 : 1.42
REQUIRED PARKING:	30 SPACES
MEDICAL AND DENTAL OFFICE:	5 SPACES PER DOCTOR 6 DENTISTS X 5 SPACES = 30 SPACES
PARKING PROVIDED:	33 SPACES
NOTE:	3 PARKING SPACES ARE DESIGNATED FOR USE BY FIRESONE PROPERTY TO THE SOUTH PER PREVIOUS SITE PLAN APPROVAL, THEREFORE THIS PROPERTY WILL HAVE 30 SPACES AVAILABLE.
REQUIRED H.C. PARKING:	2 SPACES
H.C. PARKING PROVIDED:	2 SPACES
BICYCLE PARKING PROVIDED:	4 SPACES
REQUIRED MOTORCYCLE PARKING:	2 SPACES
MOTORCYCLE PARKING PROVIDED:	3 SPACES

GENERAL NOTES:

- VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
 - CURBS DIMENSIONED TO FACE OF CURB U.N.O.
 - PATCH AND REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY IN COORDINATION WITH DRIVEWAY CONSTRUCTION.
 - VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS.
 - SITE LIGHTING
- LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.

PROJECT NUMBER: 1003532

APPLICATION NUMBER:

Is an infrastructure list required? () yes () no. If yes, then a set of approved DRG plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

WATER UTILITY AUTHORITY DATE

PARKS AND RECREATION DEPARTMENT DATE

CITY ENGINEER DATE

SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

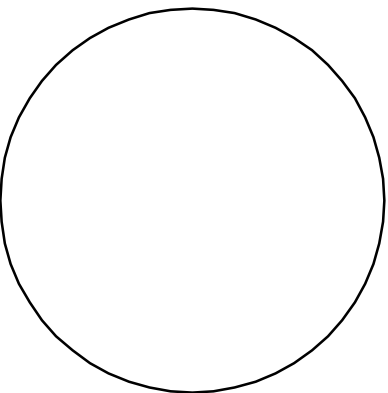
a new dental office
development for:

**ROBERT C.
KERSCHEN, DMD**

7400 holly avenue ne
albuquerque, new mexico



SITE PLAN



revisions

1 4-15-16 EPC comments

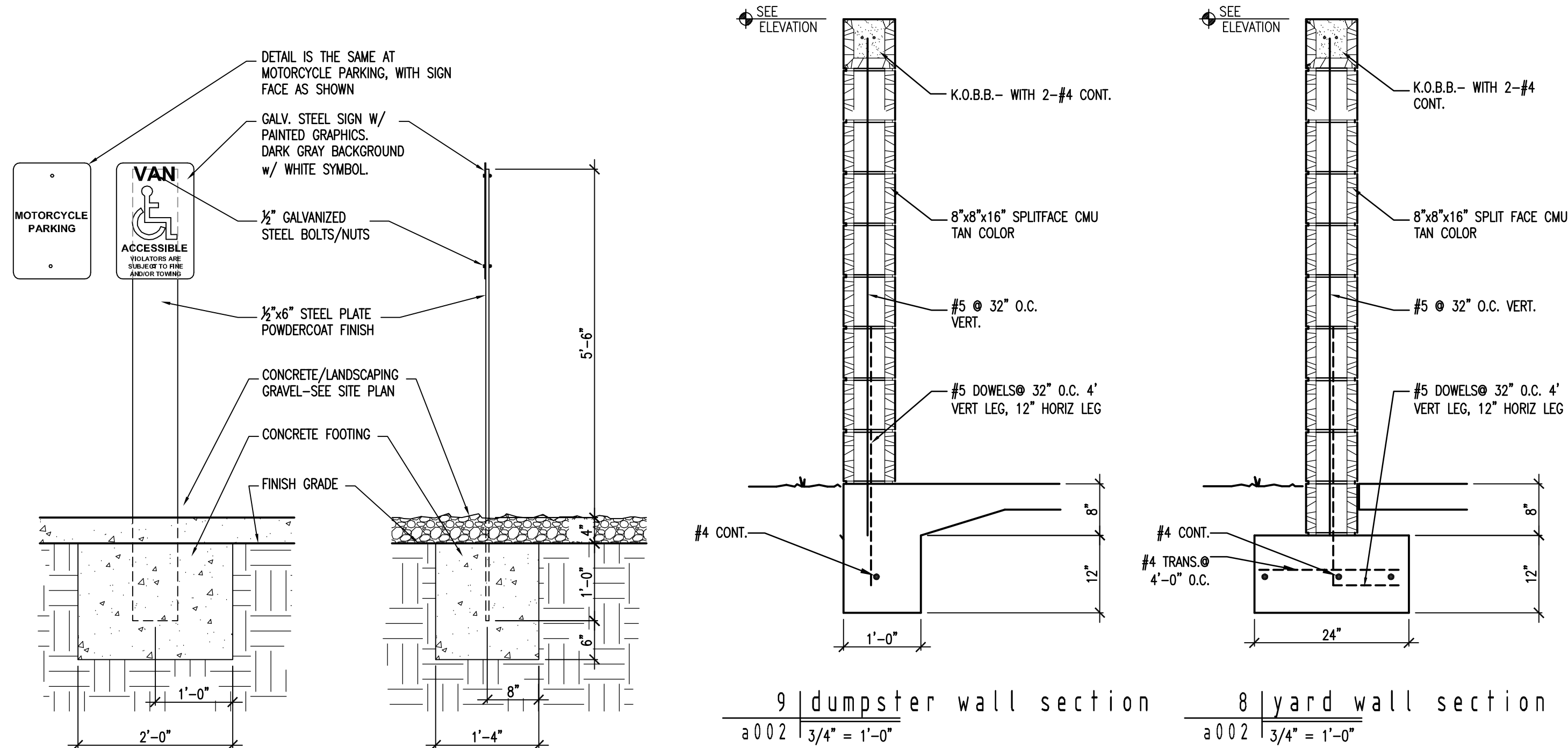
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4-7-16

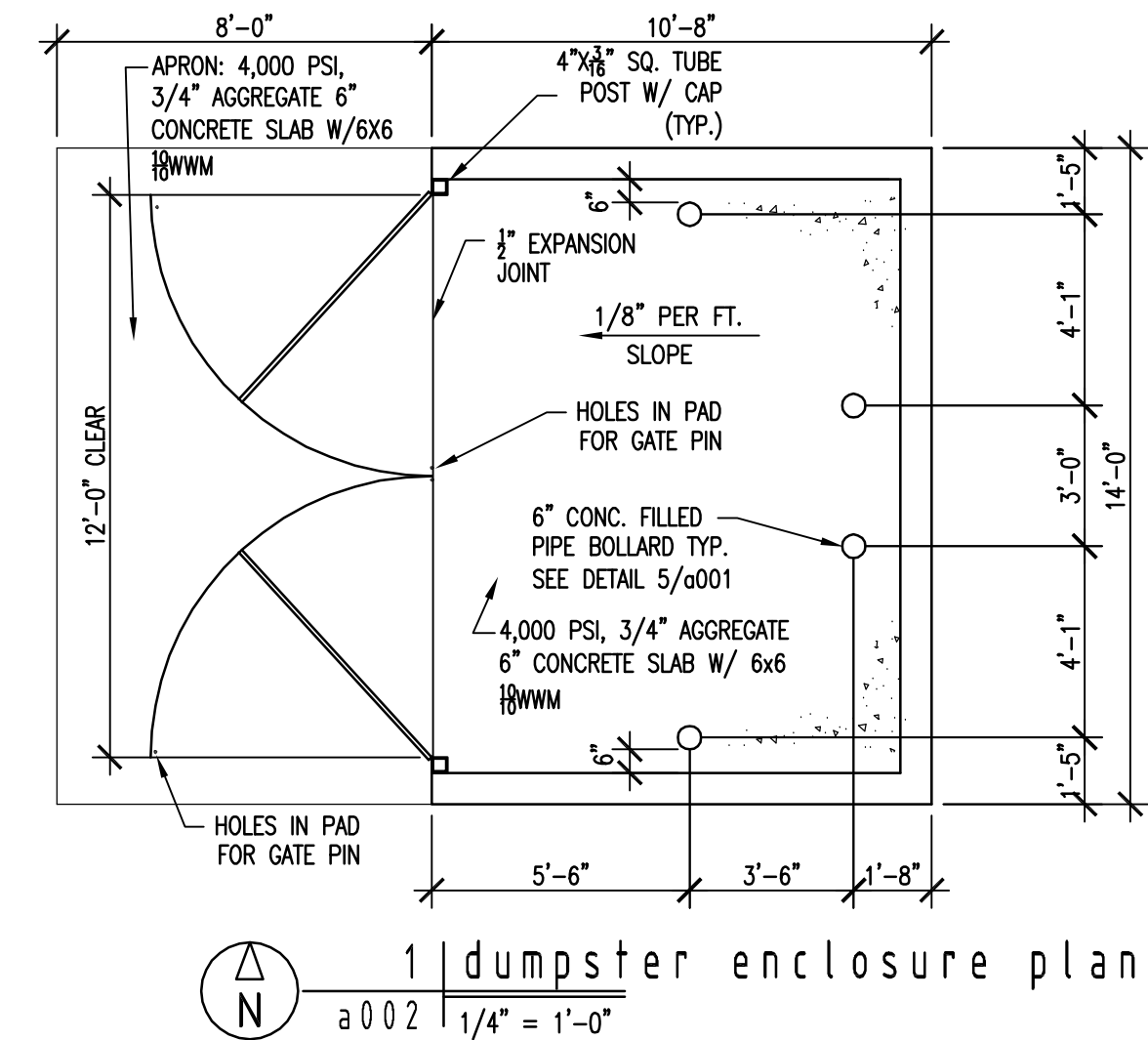
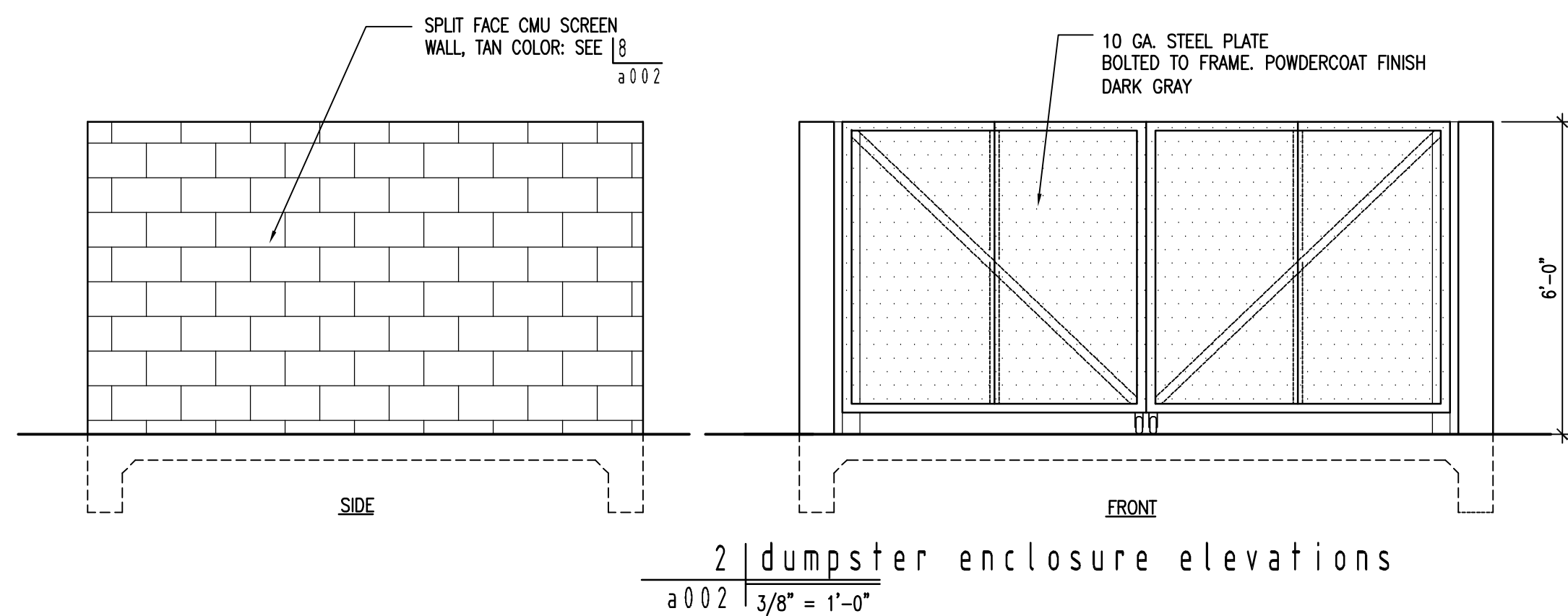
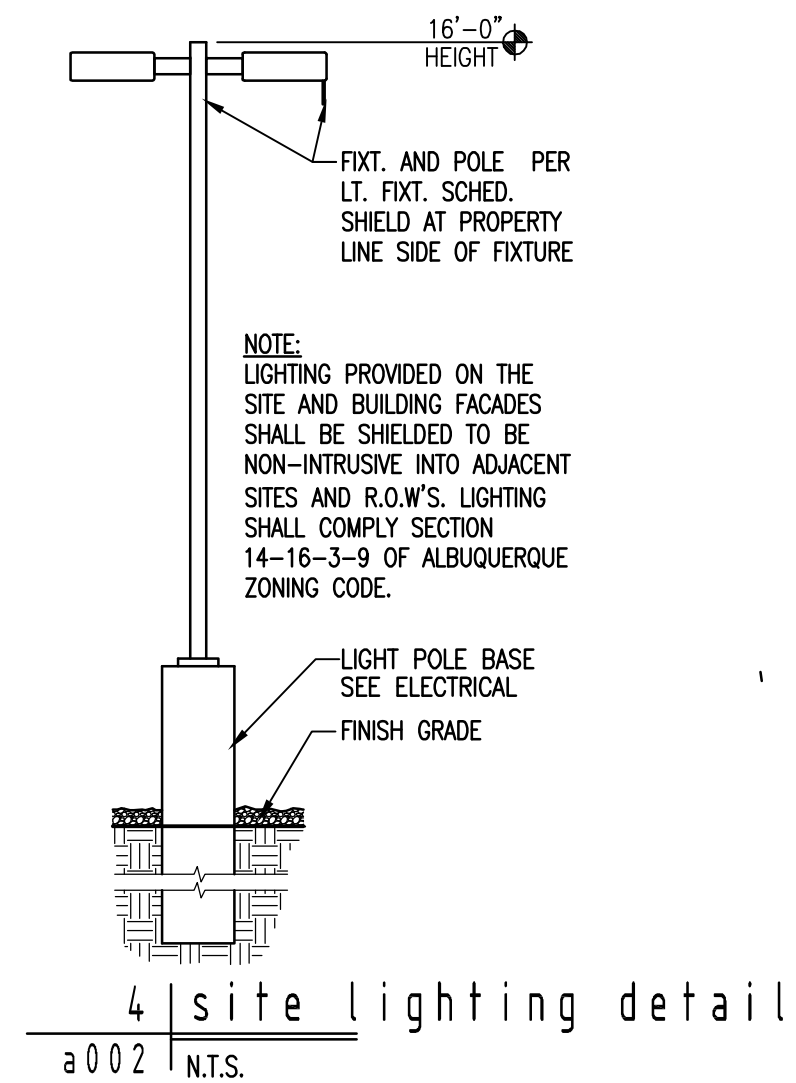
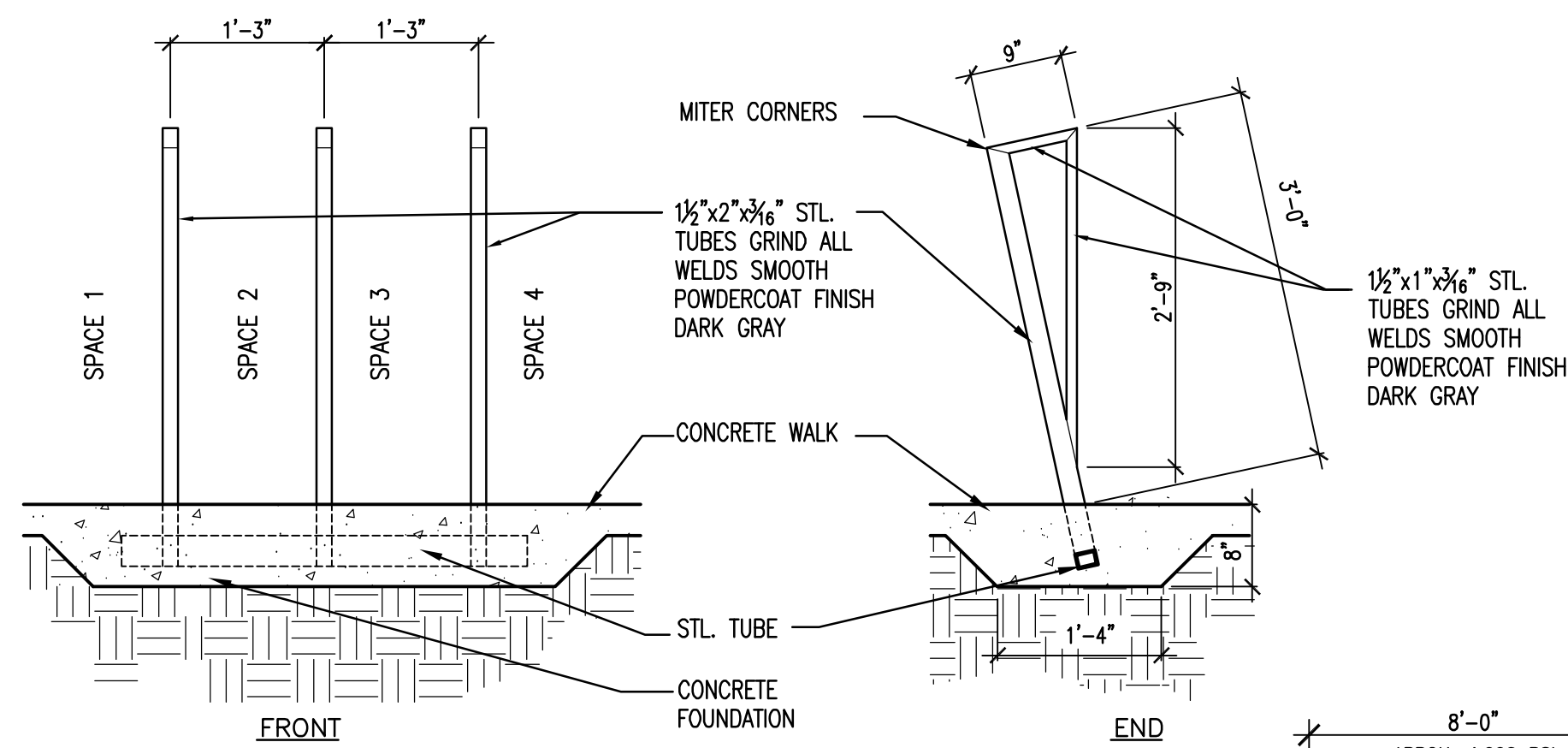
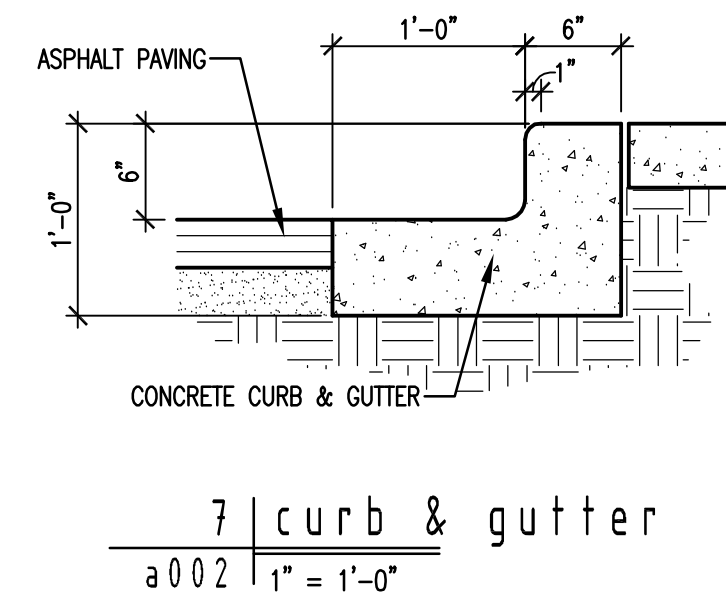
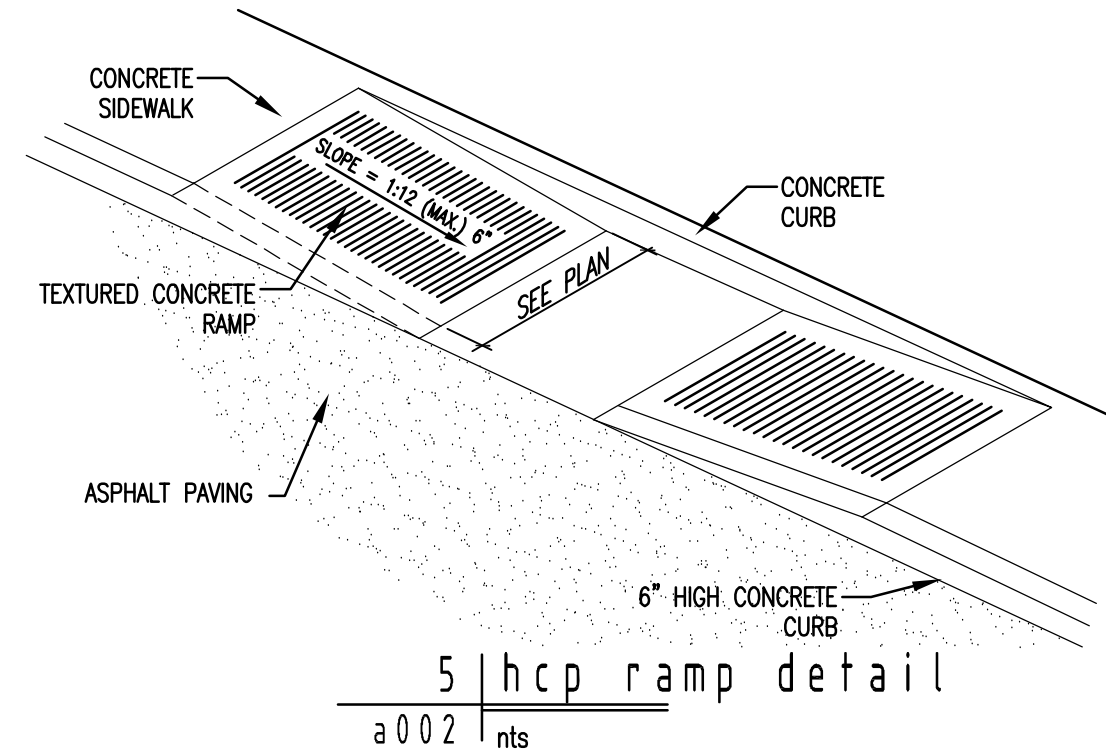
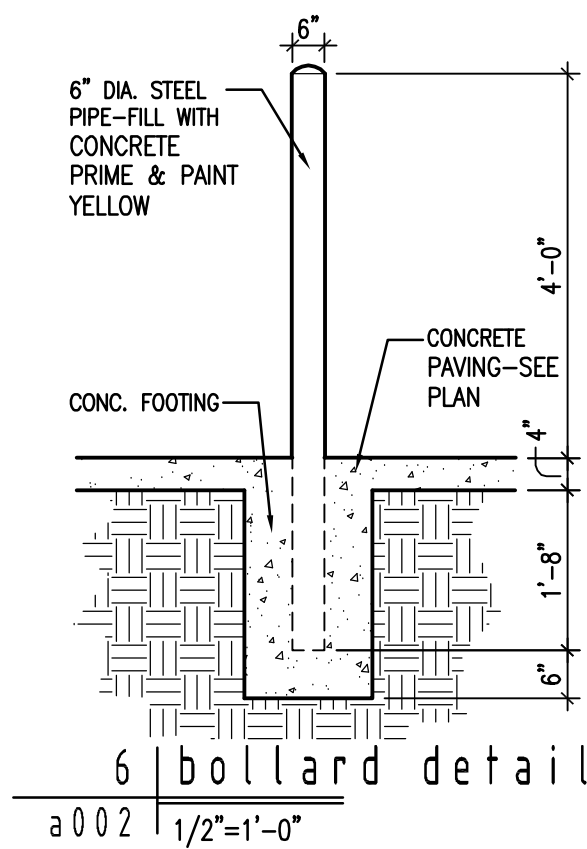
sheet

A001

1 site plan
a 0 0 1 1"=10'



10 | hcp sign detail
a 0 0 2 | 3/4" = 1'-0"



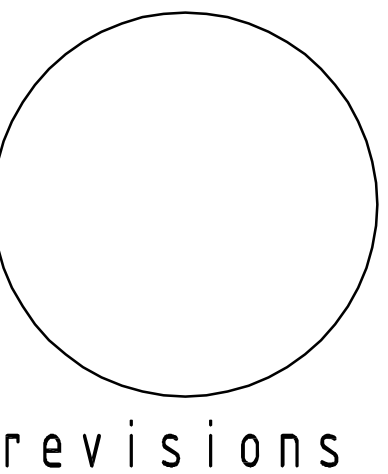
a new dental office development for:

ROBERT C. KERSCHEN, DMD

7400 holly avenue ne
albuquerque, new mexico

slagleherrarchitects
413 second st sw
albuquerque nm
87102
5052460870
slagleherr.com

SITE DETAILS



date
4-7-16
sheet
A002

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
Trees							
2		Forestiera neomexicana New Mexico Olive	15-Gal	15'/15'		Medium	6-2 gph
4		Fraxinus Autumn Purple Ash	2" B&B	40'/40'		Medium	+6-2 gph
4		Pyrus Flowering Pear	2" B&B	25'/15'		Medium	+6-2 gph
2		Pistacia chinensis Chinese Pistache	2" B&B	60'/60'		Medium	+6-2 gph
2		Gleditsia triacanthos inermis Honeylocust	2" B&B	80'/80'		Medium	6-2 gph

Shrubs/Groundcovers

2		Buddleia davidii Butterfly Bush	1-Gal	5'/5'	50 sf=100 sf	Medium	2-2 gph
3		Caryopteris clandonensis Blue Mist	1-Gal	3'/3'	25 sf=75 sf	Medium	2-2 gph
20		Vauquellinia californica Arizona Rosewood	5-Gal	15'/8'	64 sf=1280 sf	Low +	2-2 gph
7		Rhus aromatica Gro Low Sumac	5-Gal	2'/6"	64 sf=448 sf	Low +	2-2 gph
10		Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	3'/4'	35 sf=350 sf	Low	2-1 gph
8		Salvia greggii Cherry Sage	1-Gal	3'/3'	15 sf=120 sf	Low	2-1 gph
12		Hesperaloe parviflora Red Yucca	5-Gal	3'/4'	30 sf=360 sf	Low+	2-2 gph
12		Lavandula Lavender	1-Gal	3'/3'	16 sf=192 sf	Medium	2-2 gph
13		Potentilla fruticosa Shrubby Cinquefoil	5-Gal	3'/3'	120 sf=260 sf	Medium+	2-2 gph
4		Prunus cistena Dwarf Red Leaf Plum	5-Gal	6'/6"	40 sf=160 sf	Medium+	2-2 gph
7		Rosmarinus officinalis Rosemary	5-Gal	6'/6"	64 sf=448 sf	Low +	2-2 gph
4		Mahonia Oregon Grape Holly	5-Gal	6'/6"	64 sf=256 sf	Low +	2-2 gph
3		Lagerstroemia Crape Myrtle	5-Gal	15'/15'	150 sf=450 sf	Medium	2-2 gph
4		Juniperus sabina 'Buffalo' Buffalo Juniper (female)	5-Gal	2'/6"	50 sf=200 sf	Low +	2-2 gph
10		Nepeta Catmint	1-Gal	1'/3"	10 sf=100 sf	Medium	2-2 gph
7		Kniphofia Red Hot poker	1-Gal	3'/2"	10 sf=70 sf	Medium+	2-2 gph
7		Achillea Moonshine Yarrow	1-Gal	3'/3"	12 sf=84 sf	Medium	2-2 gph

Ornamental Grasses

2		Nolina microcarpa Beargrass	5-Gal	5'/6"	64 sf=128 sf	RW	2-1 gph
4		Muhlenbergia Deer Grass	1-Gal	4'/4"	40 sf=160 sf	Medium	2-2 gph
23		Calamagrotis Karl Foerster Grass	5-Gal	30"/2"	10 sf=230 sf	Medium	2-2 gph
13		Panicum Switch Grass	5-Gal	6'/4"	36 sf=468 sf	Medium	2-2 gph
20		Nassella Threadgrass	1-Gal	3'/2"	12 sf=240 sf	Medium	2-2 gph

Total Landscape Coverage=6,179 SF

MATERIALS LEGEND

	3/4" GRAY CRUSHED GRAVEL
	2"-4" COBBLESTONE

SITE DATA

GROSS LOT AREA (.6975 ac)	30,383 SF
LESS BUILDING(S)	3,391 SF
NET LOT AREA	26,992 SF

REQUIRED LANDSCAPE 15% OF NET LOT AREA	4,049 SF
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	8,225 SF 30 %

REQUIRED STREET TREES
PROVIDED AT 30' O.C. SPACING ALONG STREET
REQUIRED PARKING LOT TREES
PROVIDED AT 1 PER 10 SPACES (32 SPACES/10)

TOTAL REQUIRED TREES
TOTAL PROPOSED TREES (2" CAL OR 6" HT.)

HIGH WATER USE TURF
NONE PROPOSED

REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (8,225 SF LANDSCAPE AREA X 75%) PROVIDED LANDSCAPE COVERAGE PERCENT LANDSCAPE COVERAGE OF REQUIRED LANDSCAPE AREAS	6,168 SF MIN. 6,179 SF 75%
--	----------------------------------

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE
LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
HIGH WATER USE TURF

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION
SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER
PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY
OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE
AND WATER WASTE ORDINANCE 6-1-1.
PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.
75% LIVE GROUND COVER OF LANDSCAPE AREAS
AT MATURITY PER ORDINANCE 14-16-3-10

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL
MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE
OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE
C.O.A LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100'
FROM A TREE.

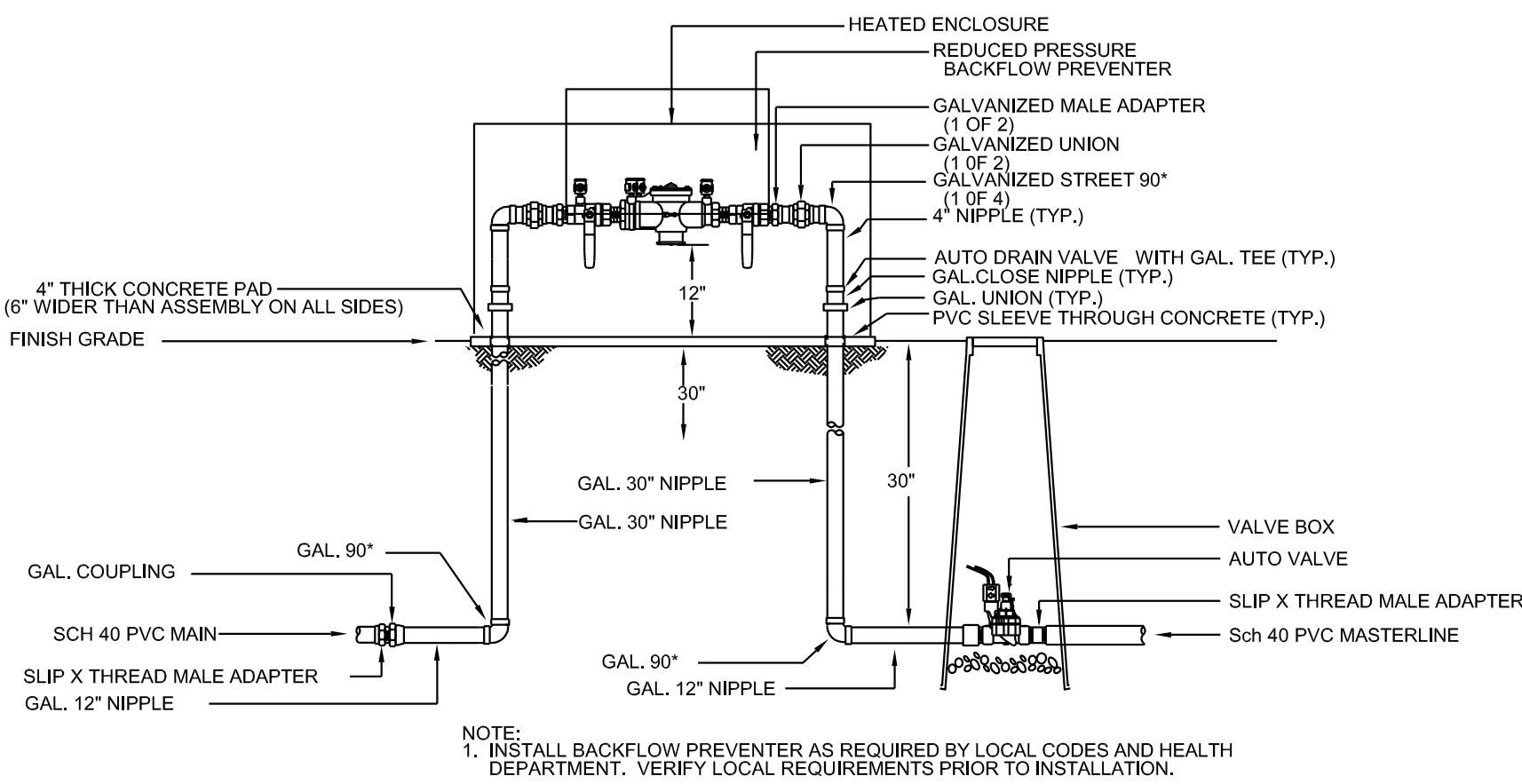
STREET TREES TO CONFORM TO STREET TREE ORDINANCE
6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE
14-16-3-10.

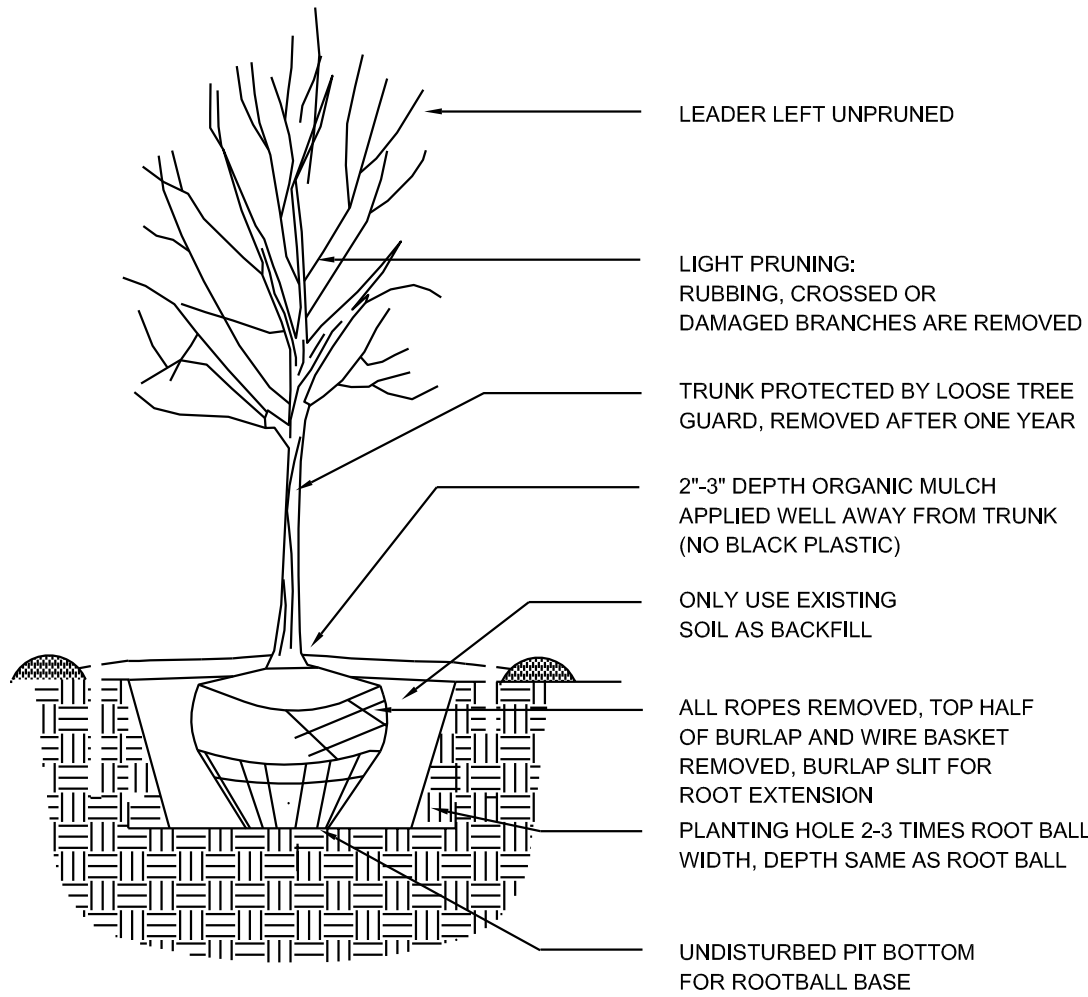
LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH
CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS,
TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL
(AS MEASURED FROM THE GUTTER PAN) WILL NOT BE
ALLOWED IN THIS AREA.

IRRIGATION NOTE

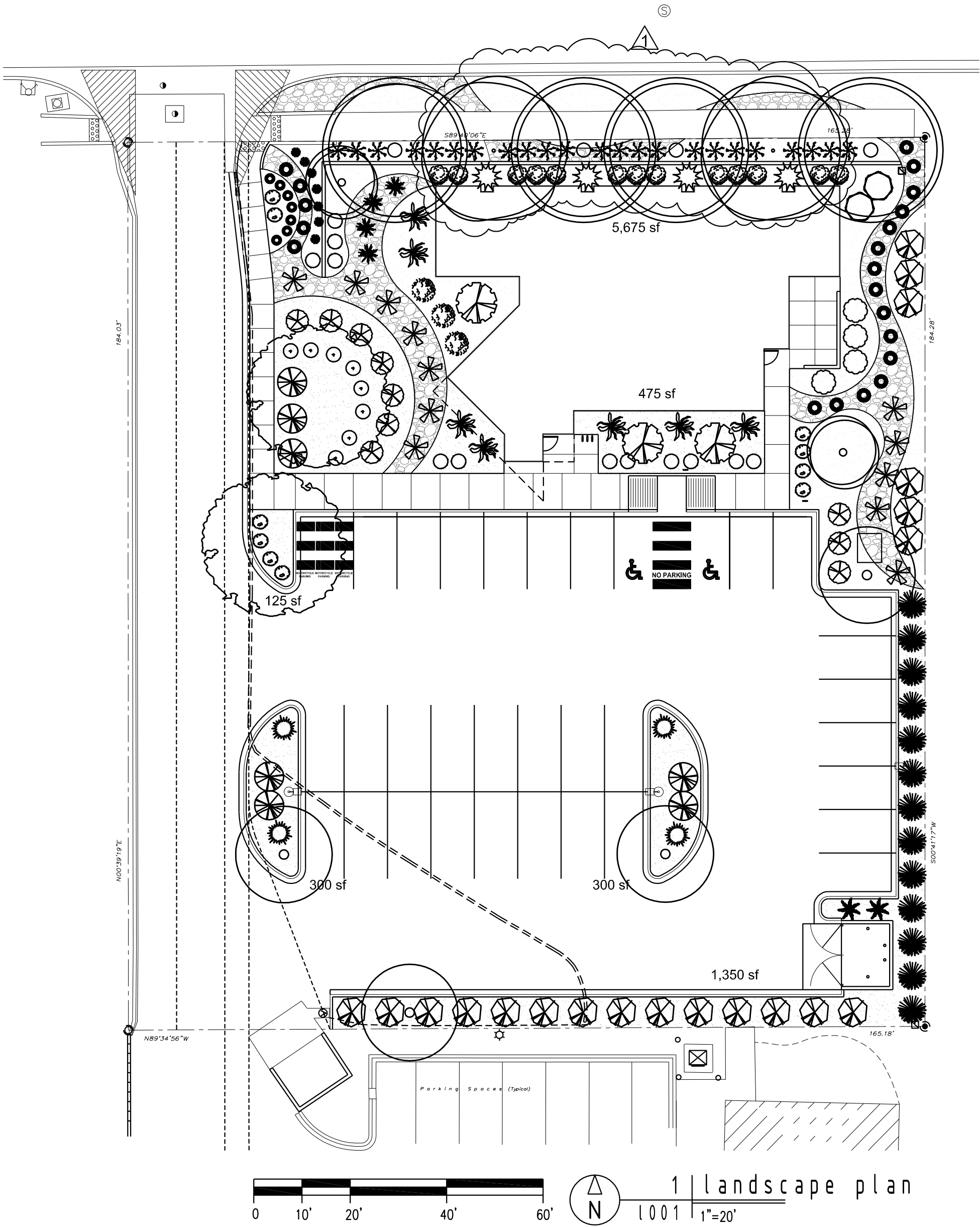
DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH



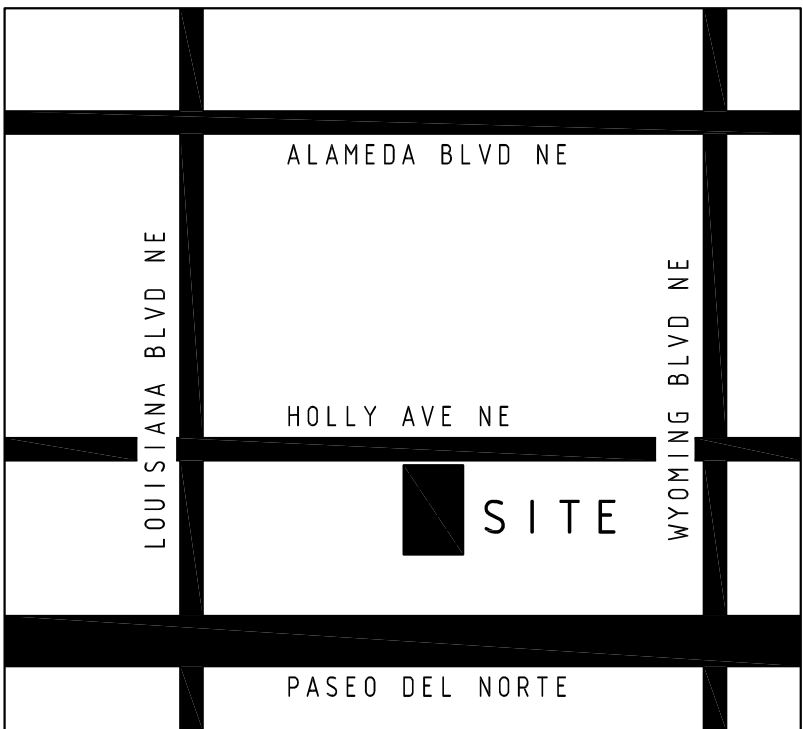
RP BACKFLOW/MASTER VALVE DETAIL



TREE PLANTING DETAIL



vicinity map



www.headsuplandscape.com

P O Box 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com

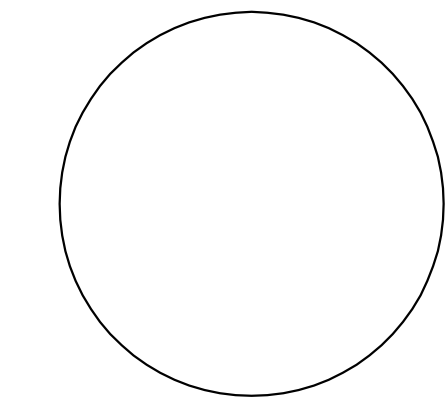
a new dental office
development for:

ROBERT C.
KERSCHEN, DMD

7400 holly avenue ne
albuquerque, new mexico

slagleherrarchitects
413 second st w
albuquerque nm
87102
5052460870
slagleherr.com

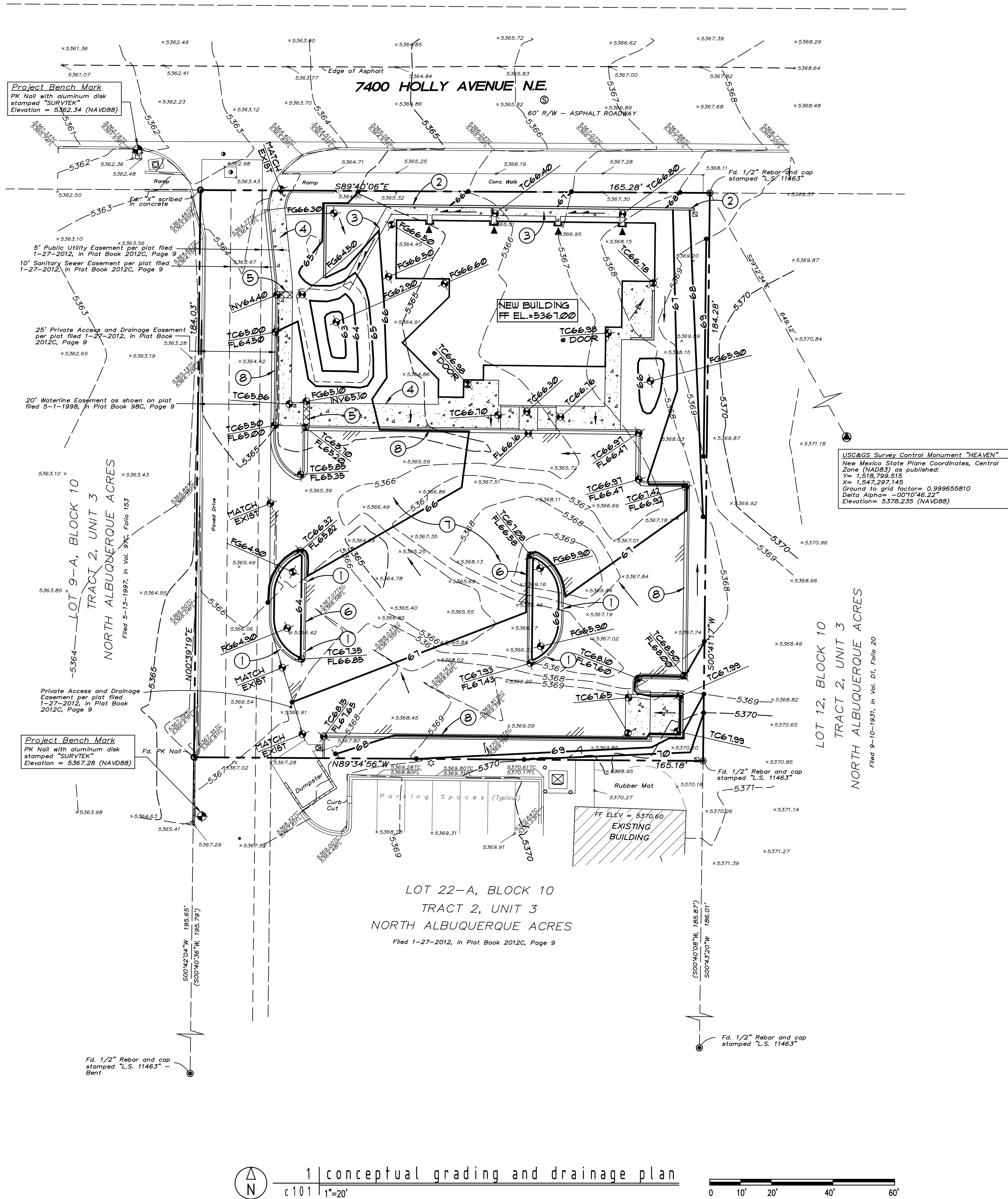
landscape
plan



revisions

3.21.16
4.15.16 (EPC Comment)

date
2-25-16
sheet
L001



KEYED NOTES

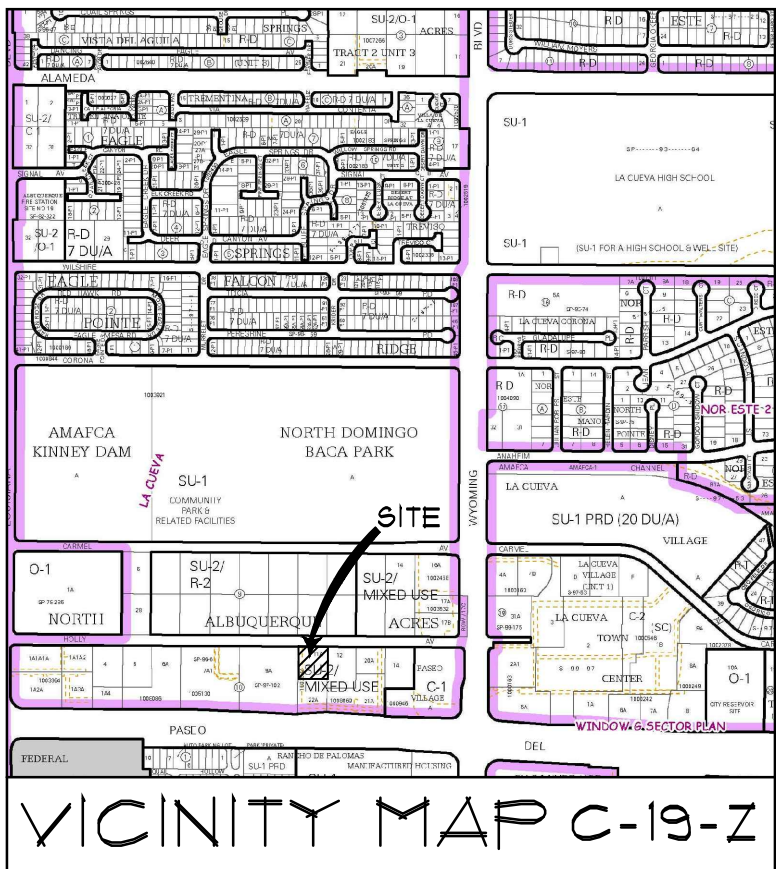
- 1'-0" WIDE CURB BREAK FOR DRAINAGE
- CONCRETE RETAINING WALL
- CONCRETE SWALE
- 4" THICK, 4000 PSI CONCRETE WALK
- 2'-0" WIDE SIDEWALK CULVERT
- DRAINAGE BASIN CONCRETE CURB
- ASPHALT PAVING
- STANDARD CONCRETE CURB AND GUTTER

LEGAL DESCRIPTION

LOT NUMBERED ELEVEN-A (11-A), IN BLOCK NUMBERED TEN (10) OF TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE FLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 27, 2012, IN FLAT BOOK 2012C, FOLIO 9.

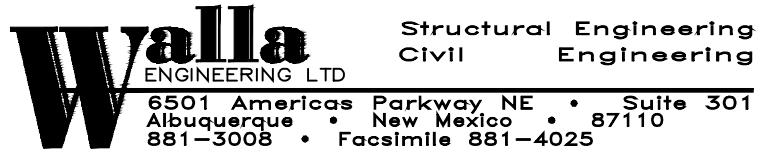
BENCHMARK

USC&GS SURVEY CONTROL MONUMENT "HEAVEN"
NEW MEXICO STATE PLANE COORDINATES,
CENTRAL ZONE (NAD83) AS PUBLISHED:
Y = 1,518,799.515
X = 1,541,297.145
GROUND TO GRID FACTOR = 0.999655810
DELTA ALPHA = -00°10'46.22"
ELEVATION = 5378.235 (NAVD88)



DESIGN NARRATIVE

THIS 0.101 ACRE SITE IS CURRENTLY UNIMPROVED EXCEPT FOR A PAVED ACCESS ROAD ON THE WEST EDGE. THIS ROAD WILL REMAIN AS IT PROVIDE ACCESS FOR AN ADJACENT PROPERTY. THE ONSITE IMPROVEMENTS INCLUDE A NEW 4000 SF BUILDING AND NEW PAVED PARKING LOT. THE SUBJECT SITE CURRENTLY ACCEPTS A VERY SMALL AMOUNT OF OFFSITE RUNOFF FROM THE ADJACENT PROPERTY ON ITS EAST BORDER AND THE NEW IMPROVEMENTS WILL NOT PROHIBIT THIS FLOW. THE SITE WILL NOT IMPACT ANY ADJACENT PROPERTIES WITH DEVELOPED RUNOFF AND WILL BE CONSTRUCTED WITH DEPRESSED ISLANDS IN THE PARKING LOT AS WELL AS A SMALL POND TO COLLECT A FIRST FLUSH VOLUME OF RUNOFF. ROOF RUNOFF WILL BE DIRECTED TO THE POND VIA A CONCRETE SWALE ON THE NORTH SIDE OF THE NEW BUILDING. STORM VOLUMES GREATER THAN THE ONSITE CAPACITY WILL BE DIRECTED TO DOWNSTREAM FACILITIES IN HOLLY AVE. VIA THE EXISTING PAVED DRIVE. THESE FLOWS ULTIMATELY COLLECT IN AN AMAFCA POND ON THE NORTH SIDE OF HOLLY AVE, WEST OF THE SITE.



a new dental office
development for:

ROBERT C.
KERSCHEN, DMD

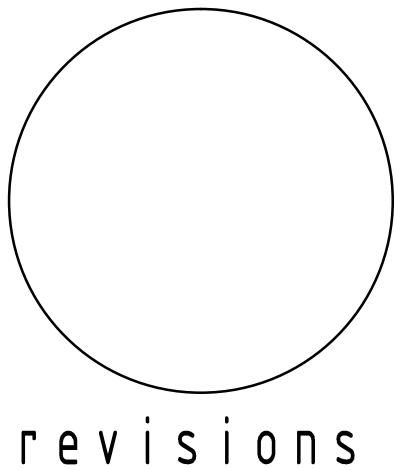
7400 holly avenue ne
albuquerque, new mexico

EROSION CONTROL PLAN

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.



CONCEPTUAL GRADING AND DRAINAGE PLAN



date
2-25-16
sheet
C101

LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- EXISTING CONTOUR
- NEW CONTOUR
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE OR CURB
- FG FINISHED GRADE
- FL FLOW LINE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- B/F BOTTOM OF FOOTING
- INV INVERT
- NEW CONCRETE PAVING
- NEW AC PAVING
- ROOF DRAIN LOCATION
- SWALE

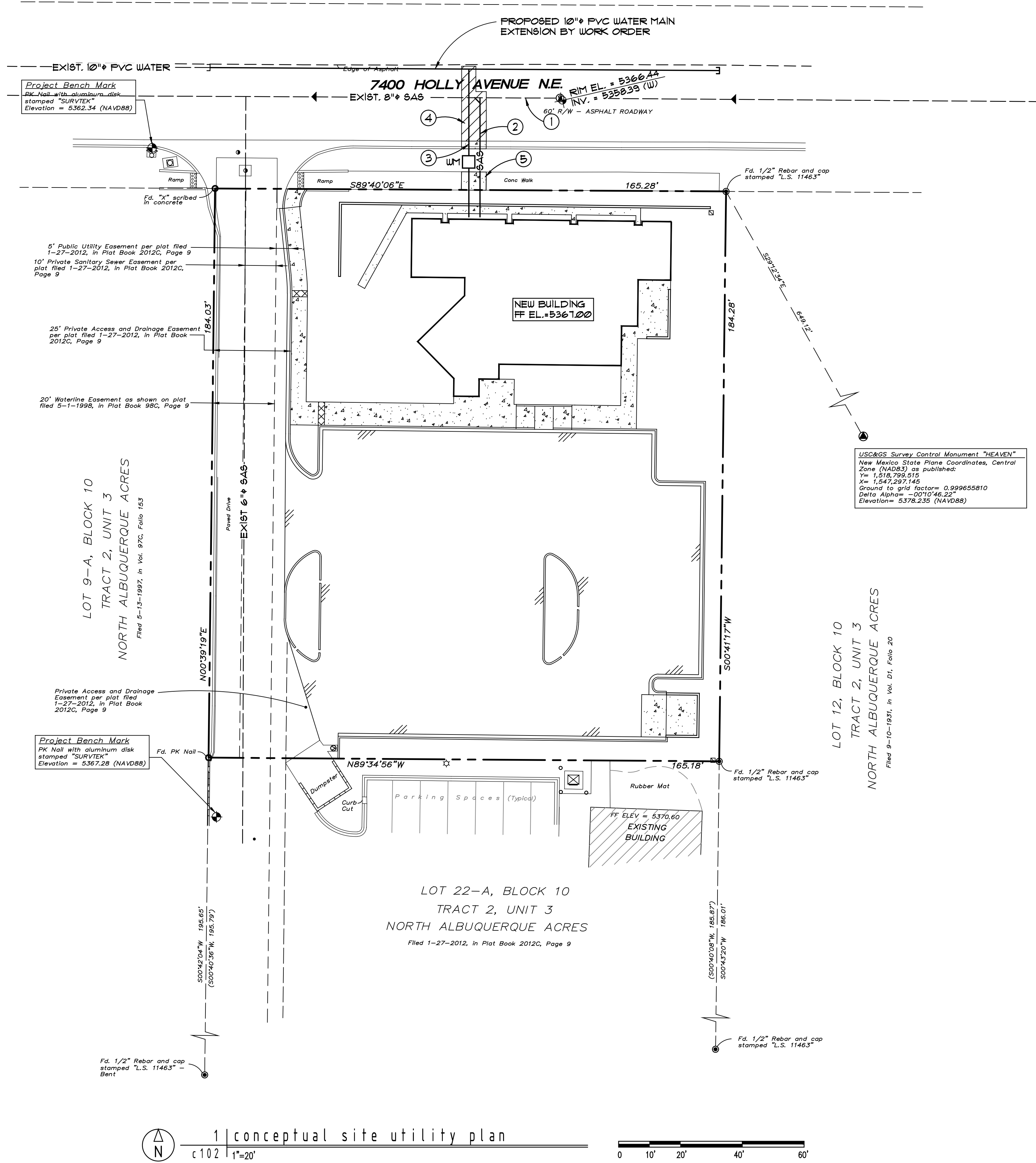
HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 4 DESIGN STORM: (IN)									
				1hr	6hr	24hr	4day	10day	
				2.23	2.30	3.65	4.10	5.95	
EXISTING CONDITIONS									
LAND TRITMT	AREA (ACRE)	AREA %	P6	Q (CF8/AC)	Q (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.80	2.20	0.00	0	0	0	0
B	0.606	86%	1.08	2.32	1.71	2.316	2.316	2.316	2.316
C	0.000	0%	1.46	3.13	0.00	0	0	0	0
D	0.101	14%	2.64	5.25	0.53	912	1248	1634	2094
TOTALS	0.707	100%			2.30	3.347	3.624	4.010	4.470
PROPOSED CONDITIONS									
LAND TRITMT	AREA (ACRE)	AREA %	P6	Q (CF8/AC)	Q (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.80	2.20	0.00	0	0	0	0
B	0.115	25%	1.08	2.32	0.51	686	686	686	686
C	0.000	0%	1.46	3.13	0.00	0	0	0	0
D	0.532	75%	2.64	5.25	2.19	5098	6547	8514	10988
TOTALS	0.707	100%			3.30	5.784	7233	9260	11674

FIRST FLUSH: 22813 SF (ROOF & PAVING) X 0.44"/12 IN PER FT = 836 CF
POND VOLUME: 401 CF
DEPRESSED ISLANDS: 560 CF
TOTAL = 967 CF IS LESS THAN 836 CF

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1930, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



KEYED NOTES

- EXISTING 8" SANITARY SEWER
- NEW 4" SANITARY SEWER SERVICE CONNECTION
- NEW 1/2" WATER SERVICE AND METER BOX PER ABCWA STANDARD DRAWING 2362
- SAWCUT, REMOVE AND REPLACE CURB AND GUTTER AND ASPHALT PAVING AT UTILITY CUT PER CITY OF ALBUQUERQUE STANDARD DRAWINGS 2415A AND 2465
- REMOVE SECTION OF EXISTING SIDEWALK TO NEAREST JOINT FOR UTILITY INSTALLATION AND REPLACE PER C.O.A. STANDARD DRAWING 2430

LEGEND

- SAS--- EXISTING SANITARY SEWER LINE
- SAS— SANITARY SEWER LINE
- W--- EXISTING WATER LINE
- W— WATER LINE
- WM WATER METER
- P.L.--- PROPERTY LINE
- CO. SEWER CLEAN OUT
- M.H.--- EXISTING MANHOLE
- INV. INVERT ELEVATION

Walla Structural Engineering
ENGINEERING LTD Civil Engineering
8501 American Parkway NE • Suite 301
Albuquerque, New Mexico • 87110
861-3508 • Facsimile 861-4025

a new dental office
development for:

**ROBERT C.
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albuquerque, new mexico

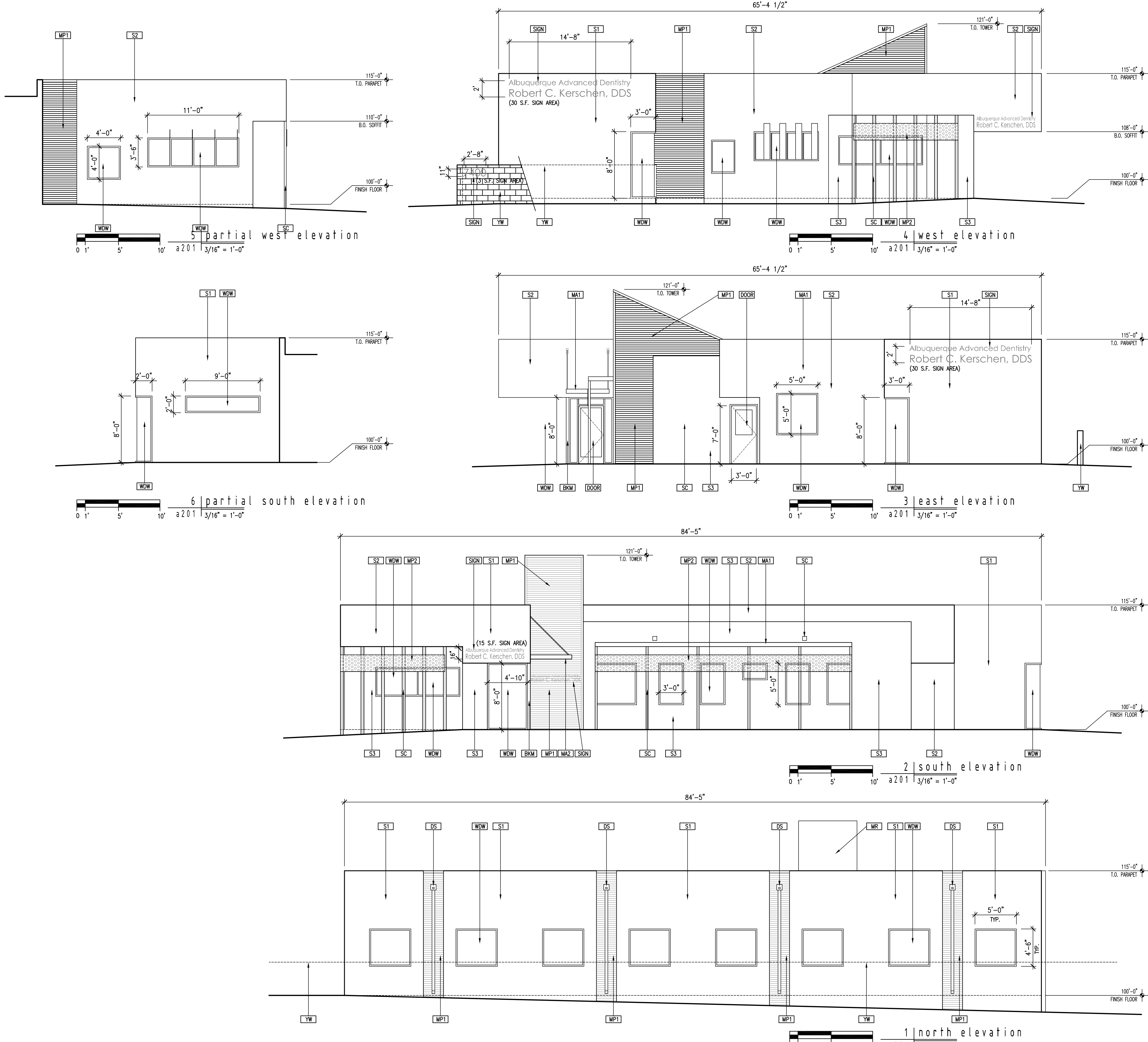
slagleherrarchitects
413 second st sw
albuquerque nm
87102
5052460870
slagleherr.com

CONCEPTUAL SITE UTILITY PLAN

revisions

ABCWA COMMENTS 3-23-16

date
3-11-16
sheet
C102



SIGNAGE NOTE: ALL SIGNAGE IS CONTROLLED BY THE C-1 ZONE OF THE ZONING CODE PER THE SU-2 MIXED USE ZONING OF THE LA QUEVA SECTOR DEVELOPMENT PLAN

KEYED NOTES:

- S1 NEW SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-LIGHT TAN
- S2 NEW SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-DARK BLUE GRAY
- S3 NEW SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-WHITE
- MP1 CORRUGATED METAL PANELS: MBOI PBC PANEL 26 GA. GALVALUME FINISH.
- MP2 PERFORATED METAL PANEL: SEE WALL SECTIONS
- WDW WINDOW PER SCHEDULE-CLEAR GLASS, SILVER FRAMES
- DOOR DOOR AND FRAME PER SCHEDULE-CLEAR GLASS, SILVER FRAMES
- BKM BREAK METAL TO MATCH WINDOW FRAMES
- MA1 METAL AWNING: PAINT OFF WHITE COLOR
- MA2 METAL AWNING: PAINT OFF WHITE COLOR
- SC STEEL COLUMN: PAINT OFF WHITE COLOR
- YW YARD WALL SHOWN DASHED FOR CLARITY. SPLIT FACE BLOCK-TAN COLOR, 4" HIGH AT INSIDE FACE/ALL WALLS SHALL COMPLY WITH SECTION 14-16-3-19 OF THE ALBUQUERQUE ZONING CODE.
- LF LIGHT FIXTURE: SEE ELECTRICAL
- SIGN BACK LIT REVERSE CHANNEL METAL SIGN LETTERS-SILVER COLOR; SIZE AS SHOWN
- DS BRAKE METAL LEADERHEAD AND DOWNSPOUT: GALVALUME FINISH TO MATCH METAL PANELS. PROVIDE OVERFLOW AT LEADERHEAD
- SC BRAKE METAL SCUPPER: GALVALUME FINISH TO MATCH METAL PANELS.

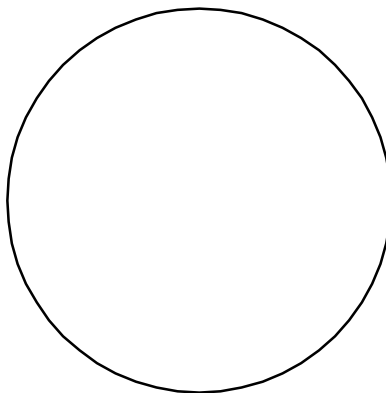
a new dental office development for:

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413 second st sw
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87102
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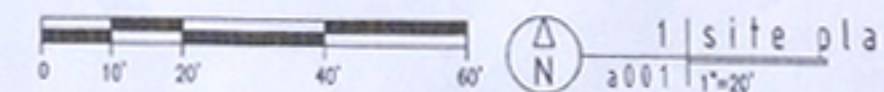
ELEVATIONS

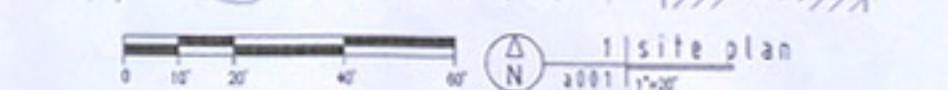
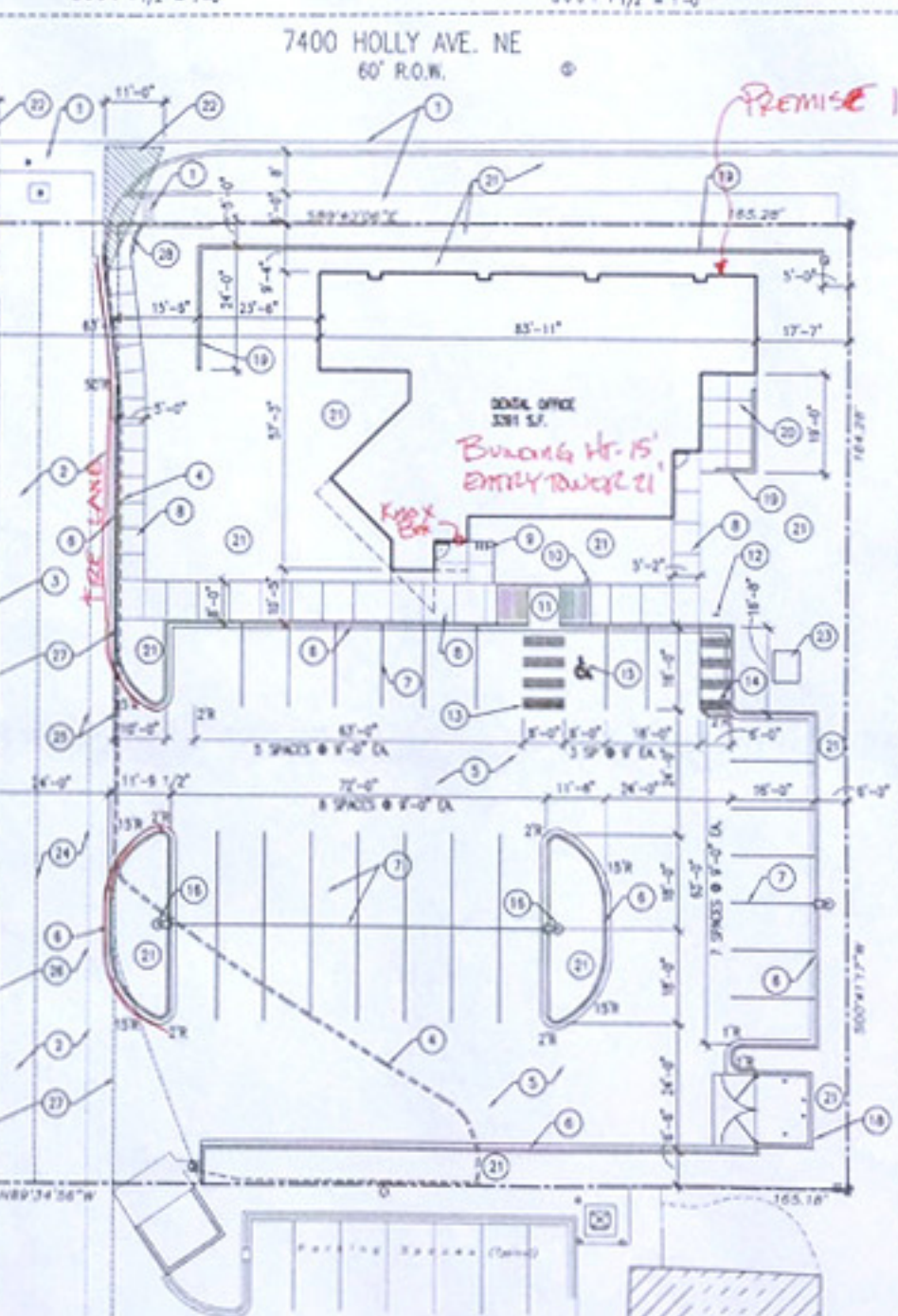
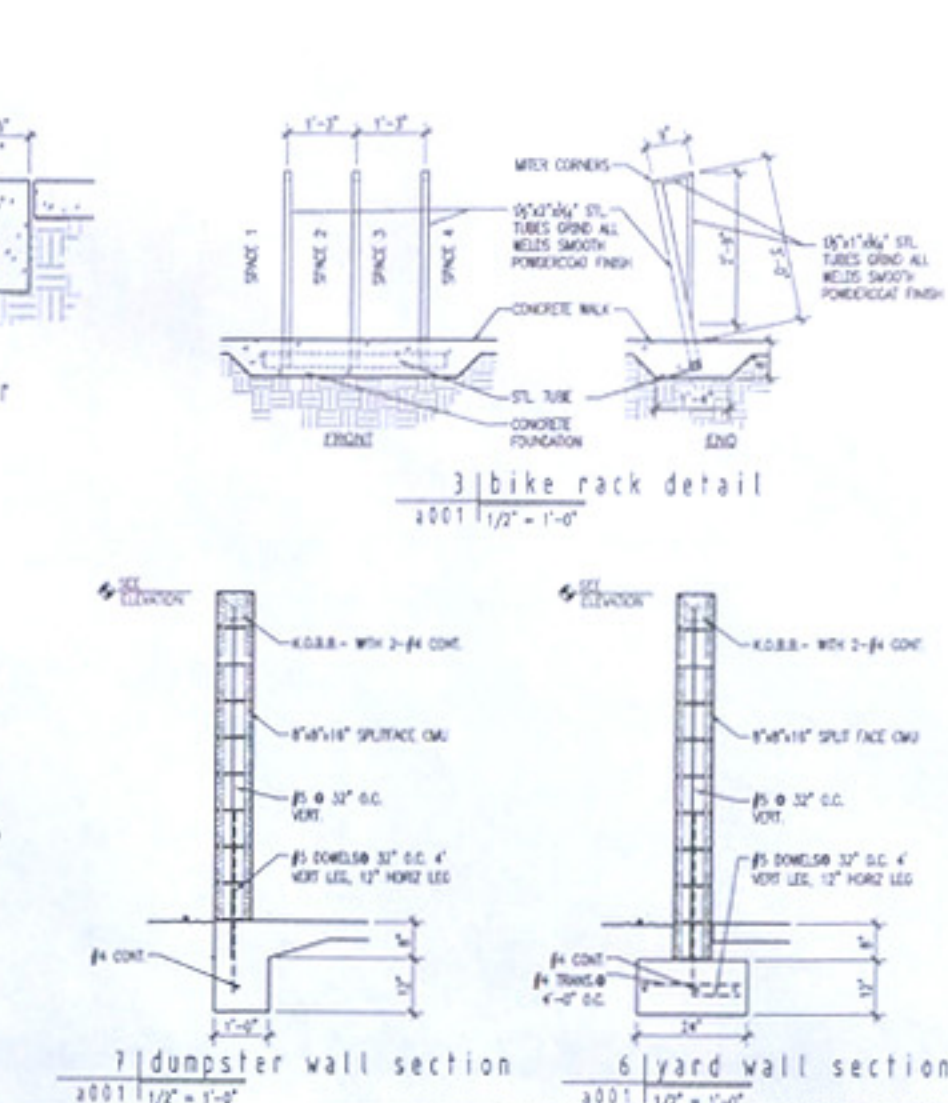
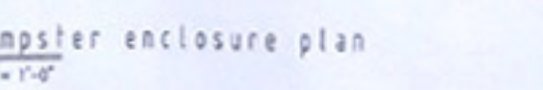
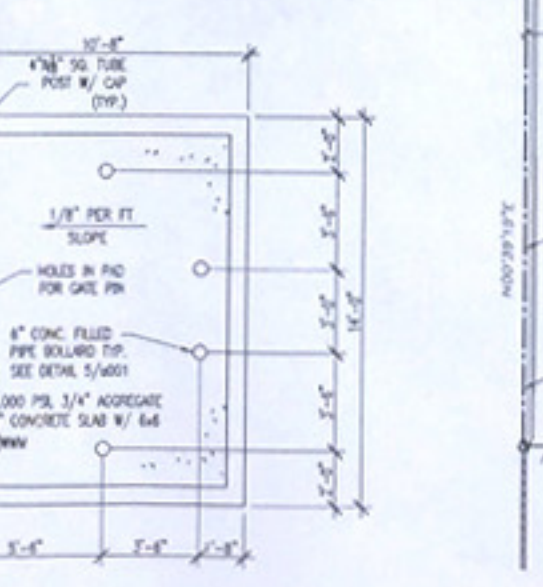
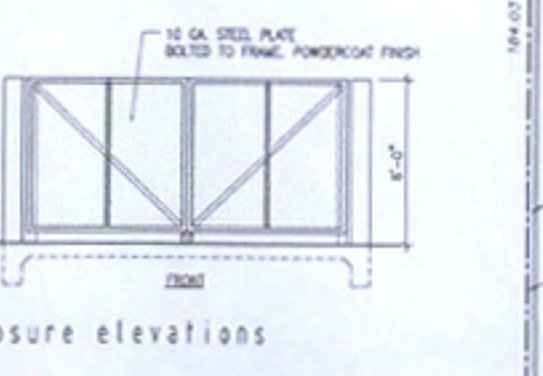
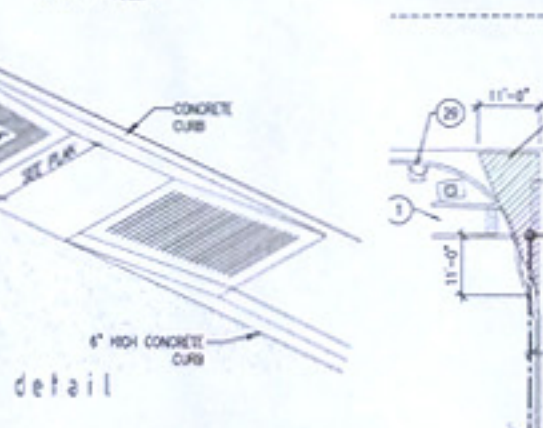
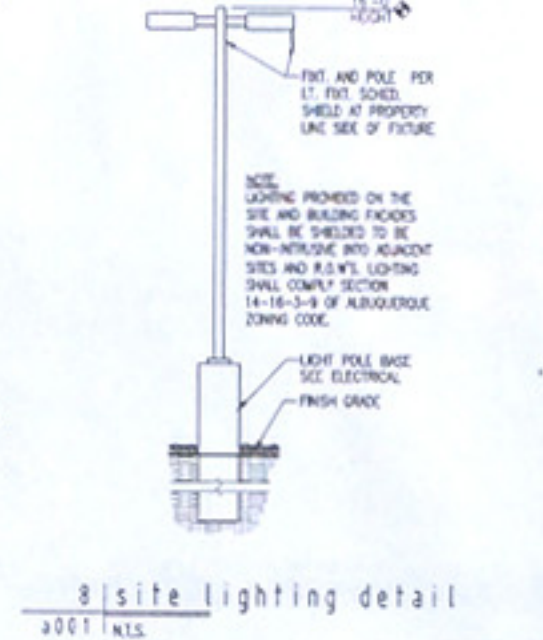
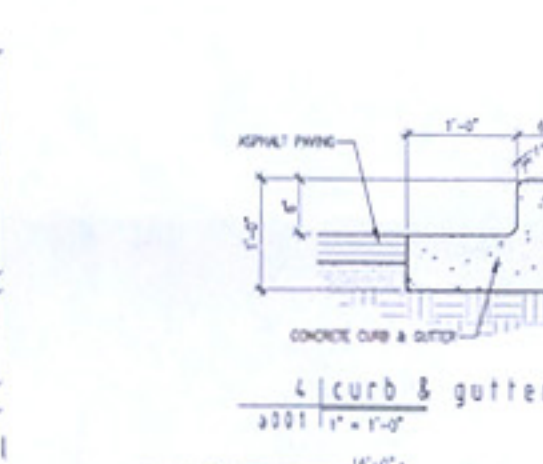
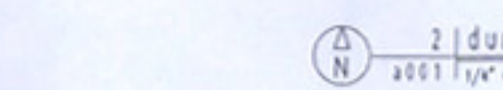
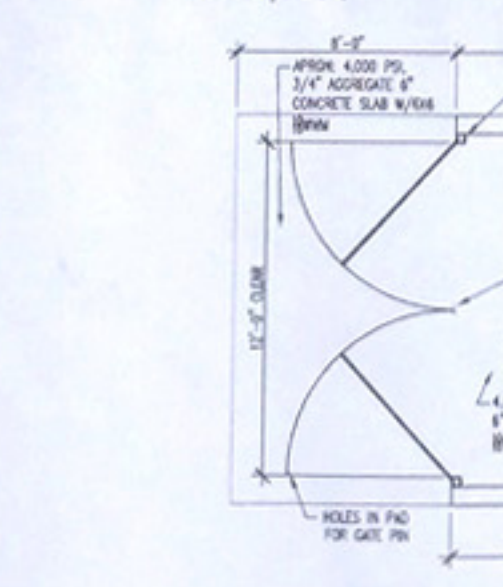
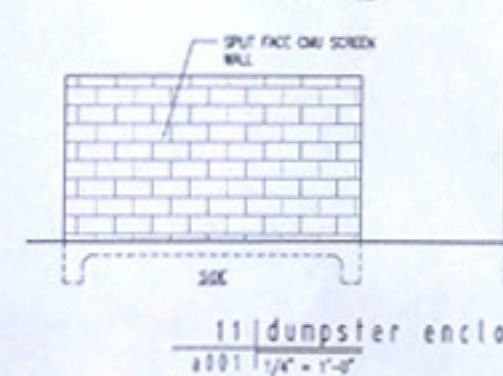
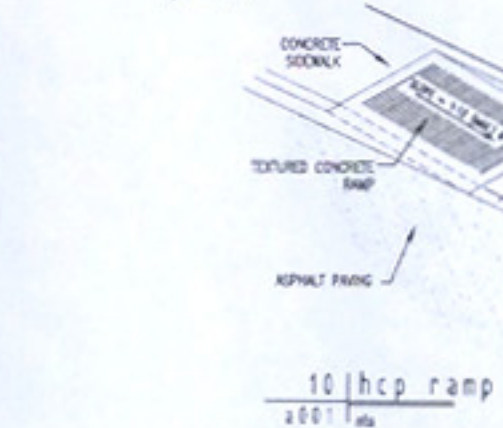
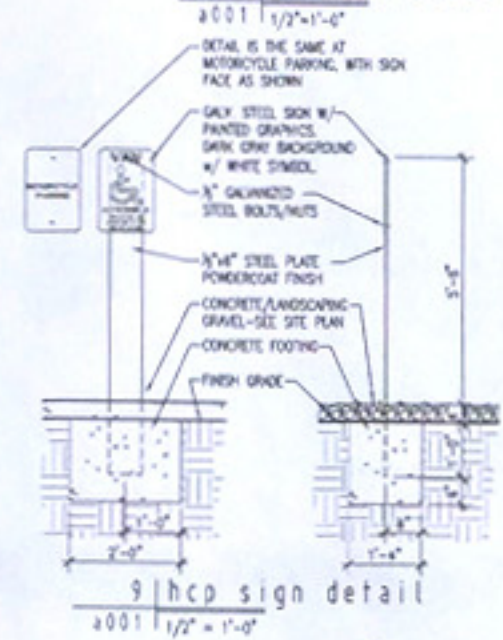
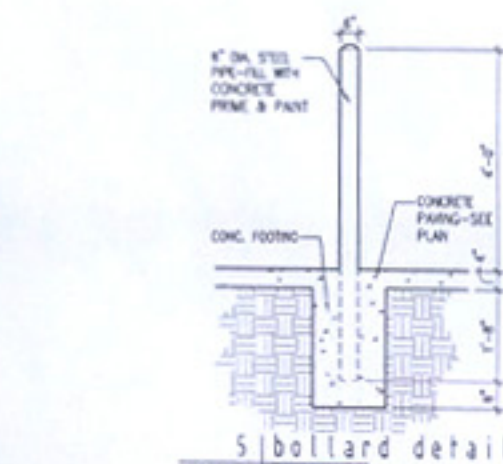


revisions

1 4-15-16 EPC COMMENTS

date
4-7-16
sheet
A201





SITE DATA:

LOCATION:	7400 HOLLY AVE. NE ALBUQUERQUE, NM 87113
LEGAL DESCRIPTION:	LOT 11-A, BLOCK 10, TRACT 2, UNIT 3 NORTH ALBUQUERQUE ACRES
MAP #:	12-300417-04030122
CURRENT ZONING:	SU-2/MIXED USE
SETBACK REQUIREMENTS:	5' FRONT YARD SETBACK
ZONE AREA CODE:	C-19
BUILDING CONSTRUCTION:	SB (NON-SPRINKLED)
APPLICABLE CODE:	2008 IBC C.O.A. ZONING ORDINANCE LA GUERRA SECTOR DEVELOPMENT PLAN
TOTAL LOT AREA:	10,897 S.F. (250.81 S.F.)
BUILDING FOOTPRINT AREA:	3,391 S.F.
NET LOT AREA (LOT AREA - BLD. FOOTPRINT):	7,506 S.F.
FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA):	11.2 S
PAVED AREA:	15,840 S.F.
LANDSCAPE AREA:	11,152 S.F.
LANDSCAPE % NET LOT AREA:	41.8
LANDSCAPE TO PAVED AREA RATIO:	1 : 1.42
REQUIRED PARKING:	10 SPACES
MEDICAL AND DENTAL OFFICE:	5 SPACES PER DOCTOR 6 DENTISTS X 5 SPACES = 30 SPACES
PARKING PROVIDED:	32 SPACES
REQUIRED H.C. PARKING:	1 SPACE
H.C. PARKING PROVIDED:	1 SPACE
BICYCLE PARKING PROVIDED:	4 SPACES
REQUIRED MOTORCYCLE PARKING:	1 SPACE
MOTORCYCLE PARKING PROVIDED:	1 SPACE

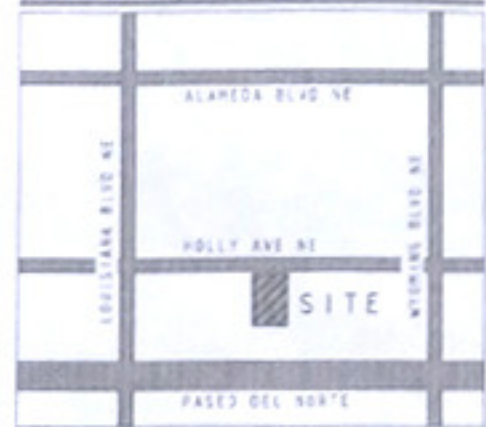
GENERAL NOTES:

1. VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
2. CURBS DIMENSIONED TO FACE OF CURB UNLESS NOTED OTHERWISE.
3. PATCH AND REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY IN COORDINATION WITH DRAINAGE CONSTRUCTION.
4. VERIFY ALL NEW DRAINAGE REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS.
5. SEE LIGHTING.
6. LIGHTING PROVIDED ON BUILDING EXCAVES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGGLED TO NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.

KEYED NOTES:

1. EXISTING DRIVEWAY, HCP RAMPS, CURB RETURN AND SECONDARY TO REMAIN
2. EXISTING ASPHALT DRIVEWAY TO REMAIN
3. EXISTING CURB AND GUTTER TO REMAIN
4. EDGE OF EXISTING ASPHALT PAVING, ASPHALT CURB TO BE REMOVED
5. NEW ASPHALT PAVING PER SOILS REPORT RECOMMENDATION
6. NEW CURB AND GUTTER: SEE 11
7. 4" WIDE WHITE PARKING STRIPING
8. 4" DIA. CONC. BULK
9. BIKE RACK: SEE 11
10. HCP PARKING SIGN: SEE 11
11. HCP RAMP: SEE 11
12. MOTORCYCLE PARKING SIGN: SEE 11
13. 2" WHITE BLOODS, TEXT TO READ "NO PARKING"
14. 2" WHITE BLOODS, TEXT TO READ "MOTORCYCLE PARKING"
15. INTERNATIONAL HCP SYMBOL-BLUE
16. PARKING LOT LIGHT POLE: SEE 11
17. EXISTING DUMPSTER ENCLOSURE FOR ADJACENT PROPERTY
18. NEW DUMPSTER ENCLOSURE: SEE 11
19. WASHOBY YARD WALL: SEE 11
20. 4" DIA. CONC. PILE W/ C.C. @ 5' O.C. (200 S.F.)
21. LANDSCAPE AREA: SEE LANDSCAPE PLAN
22. CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 5' & 8' TALL (MEASURED FROM THE GUTTER PAV) WILL NOT BE ACCEPTABLE IN THIS AREA.
23. TRANSFORMER LOCATION: SEE ELECTRICAL DRAWINGS
24. 15' SANITARY SEWER EXISTENT
25. 15' PUBLIC UTILITY EXISTENT
26. 20' WATERLINE EXISTENT
27. 25' ACCESS AND DRAINAGE EXISTENT
28. RECONSTRUCT EXISTING HCP RAMP TO ADD RAMP TO NEW SECONDARY PER C.O.A. DRAWING 2441. PROVIDE TRUNCATED DOWNS AT SLOPED SURFACES
29. EXISTING FIRE HYDRANT

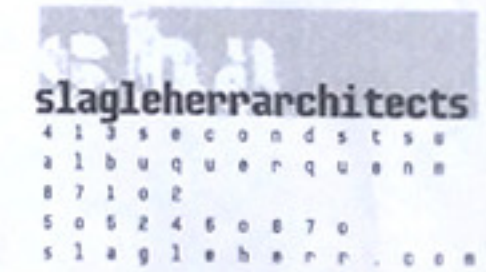
vicinity map



a new dental office development for:

ROBERT C. KERSCHEN, DMD

7400 holly avenue ne
albuquerque, new mexico



SITE PLAN SITE DETAILS



date
2-25-16
sheet
A001 Fire 1