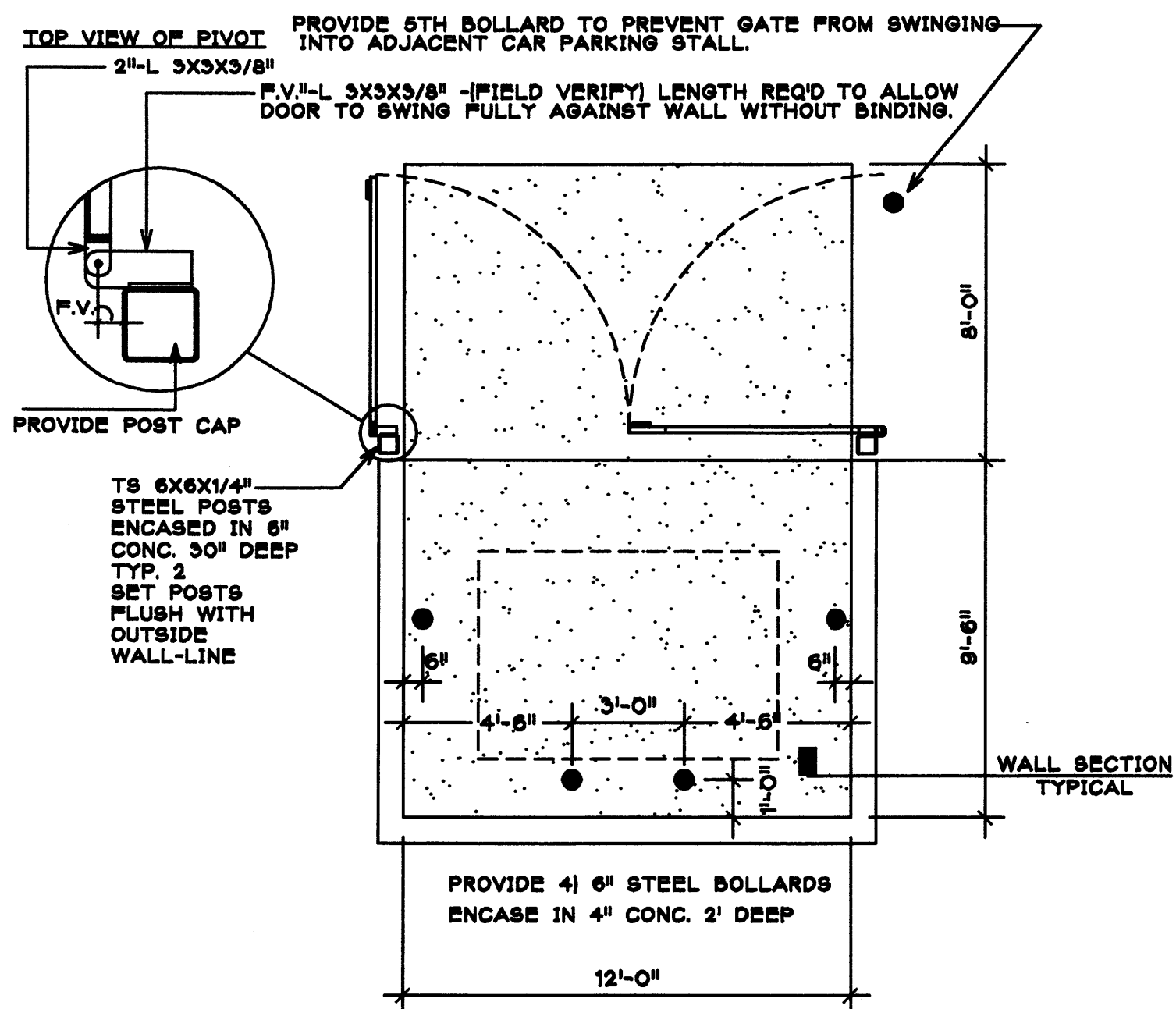


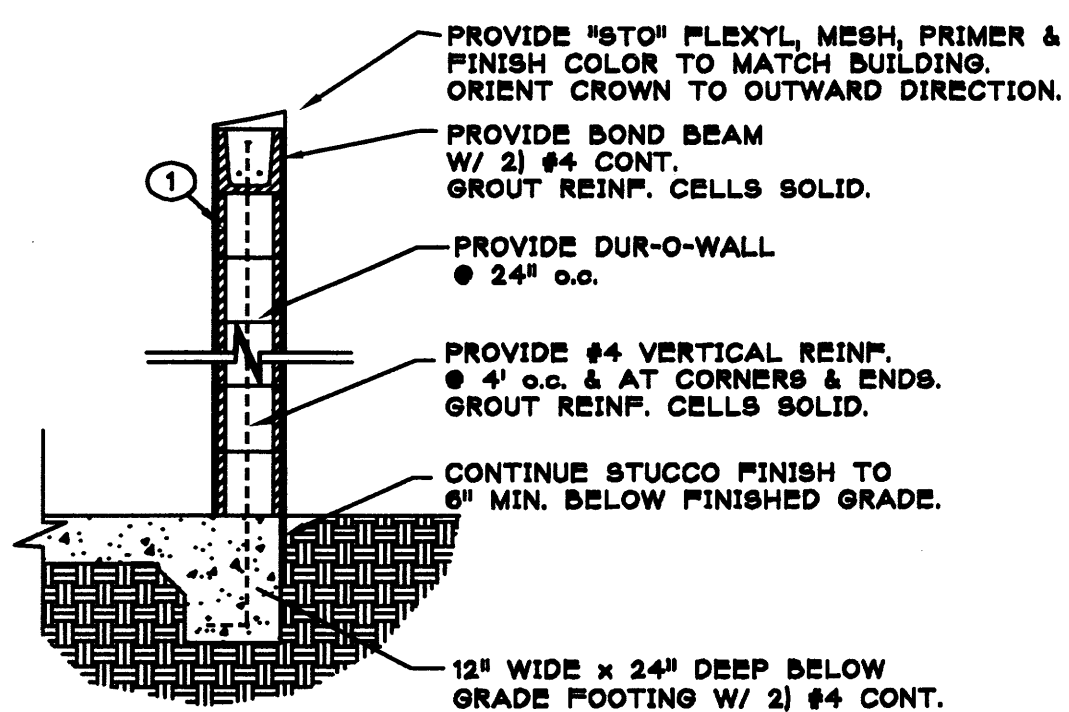
SITE DEVELOPMENT PLAN for BUILDING PERMIT

CONCRETE SLAB IN ENCLOSURE: 6" THK. 4,000 PSI, 3/4" AGG.
W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MIN.
CONCRETE APRON SLAB: 6" THK. X12' X 8', 4,000 PSI, 3/4" AGG.
W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MIN.
CMU WALL: SEE WALL SECTION



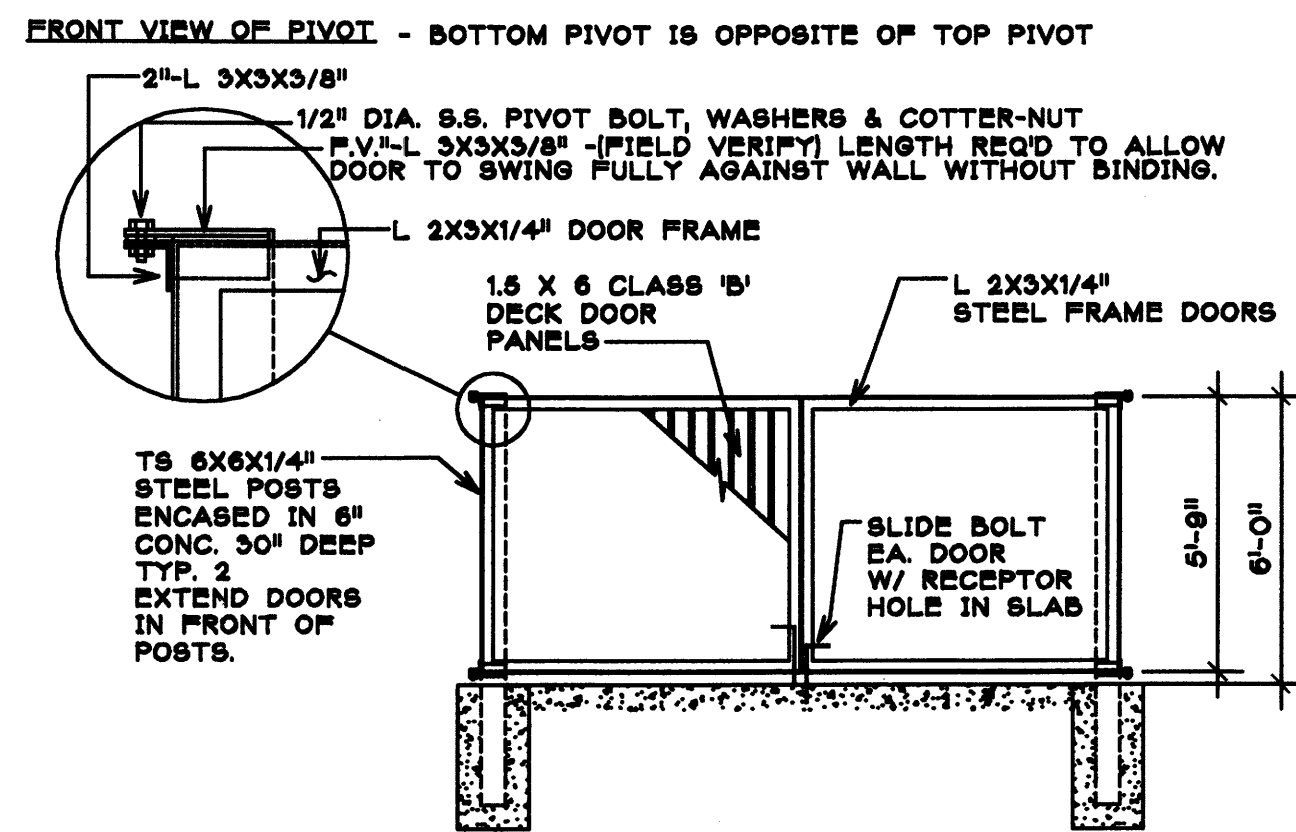
TYPICAL PLAN
SCALE 1/4"=1'-0"

ENCLOSURE SIDE OUTWARD SIDE



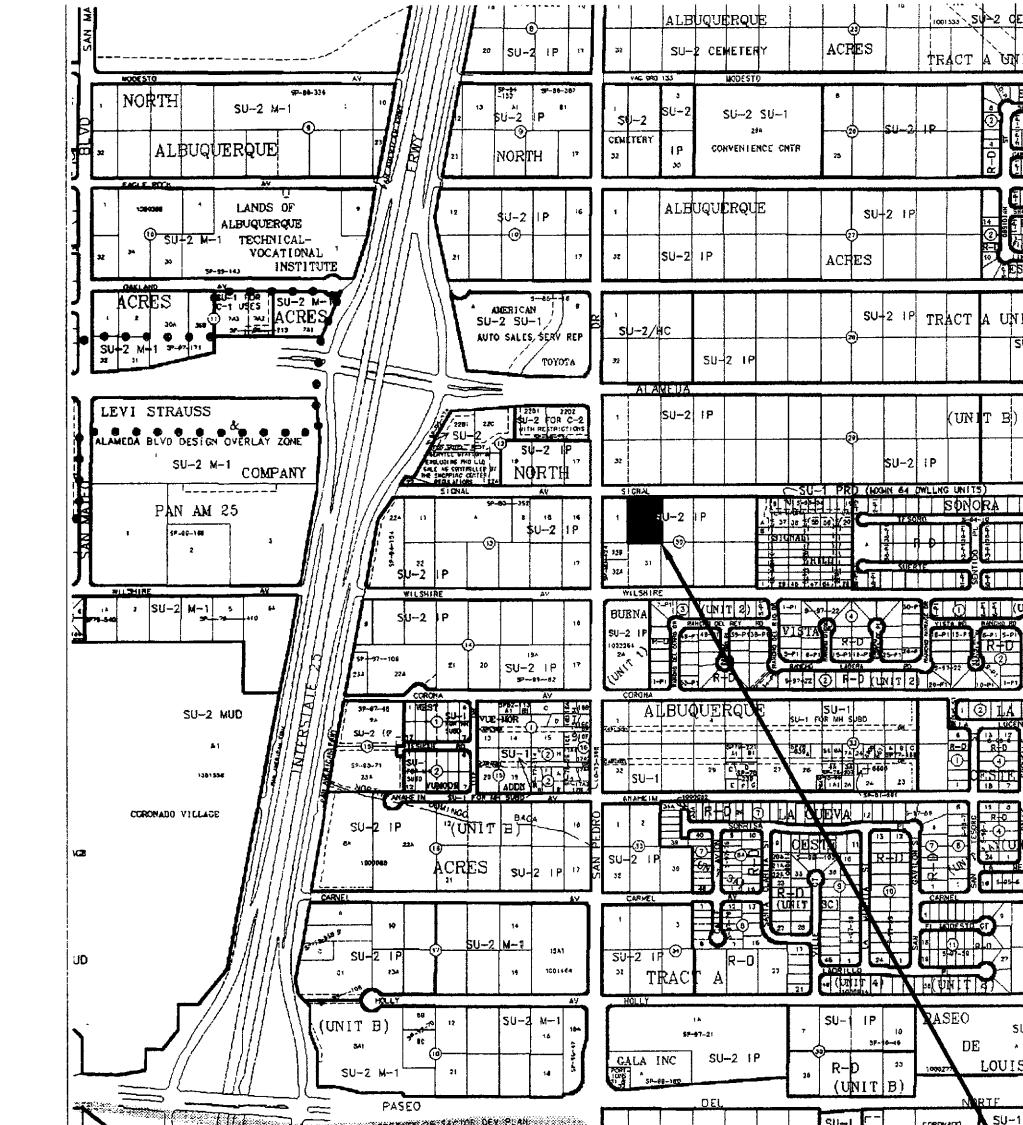
[1] PROVIDE 8" CMU WALL 6' HIGH @ DUMPSTER & AS NOTED OTHERWISE IN PLAN. FINISH W/ STUCCO SYSTEM TO MATCH BUILDING COLOR.

WALL SECTION
SCALE 1/2"=1'-0"



FRONT VIEW OF GATES
SCALE 1/4"=1'-0"

SECTION 1
SCALE: AS NOTED



SITE LOCATION 1" = 1000'

PROJECT DATA

LEGAL DESCRIPTION:
LOT NUMBERED TWO (2) IN BLOCK NUMBERED THREE (3) TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO.

ZONE ATLAS: C-18-Z
ZONE CLASSIFICATION: SU-2 IP

LAND USE DATA
LOT AREA: 0.8858 AC (38,585.88 SQ.FT.)
BUILDING FLOOR GROSS AREA: 10,000 SQ.FT.
NET LOT AREA: 28,585.88 SQ.FT.
LANDSCAPE AREA PROVIDED: SEE LANDSCAPE PLAN

OFFSTREET PARKING REQUIREMENTS-
NET LEASABLE AREA = 9,735.11 SQ.FT.
WHOLESALE AREA REQUIRED PARKING STALLS
9,735.11 SQ.FT. 10 STALLS REQ'D @ 11,000 SQ.FT.

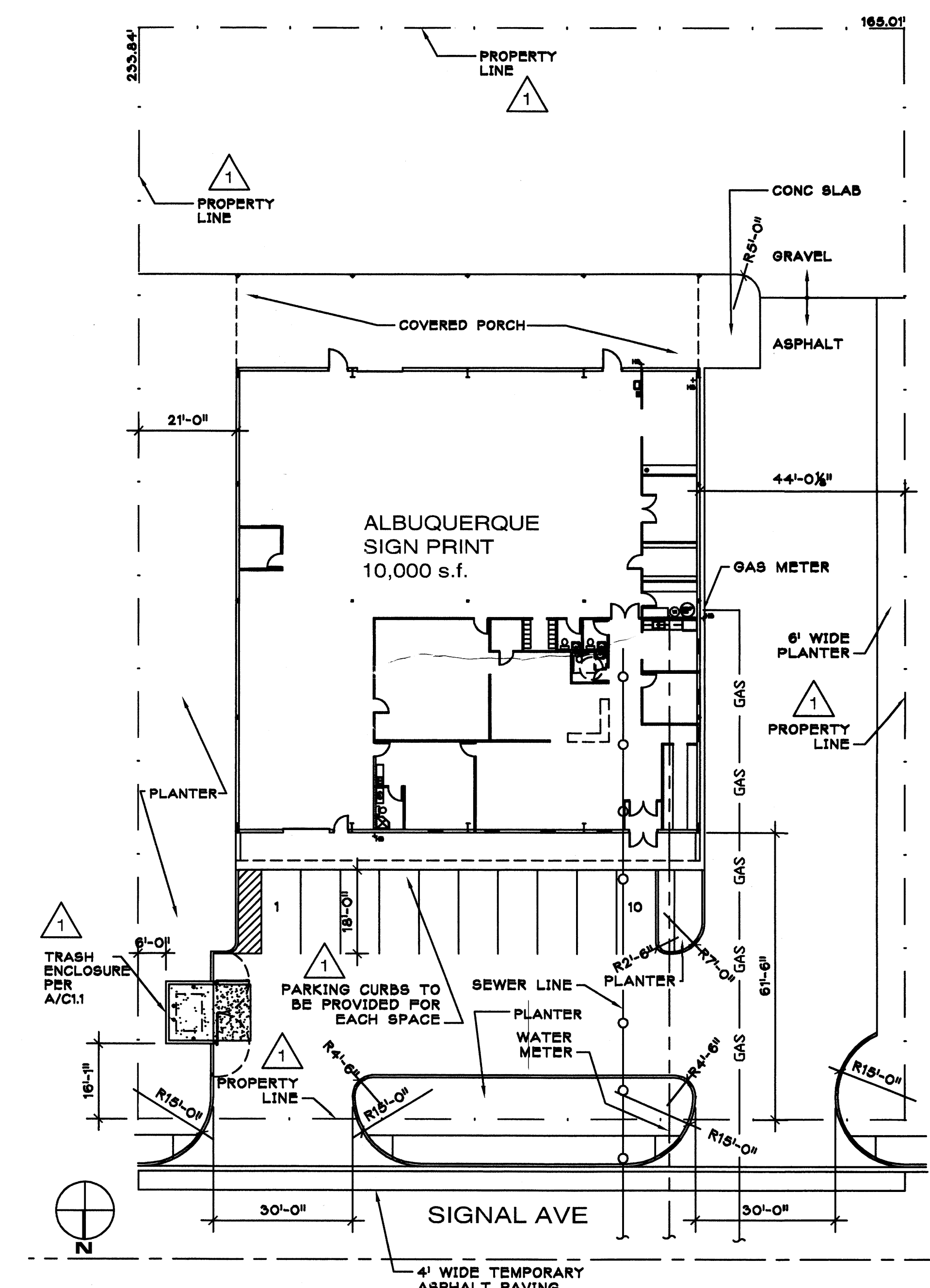
PARKING STALLS PROVIDED = 10 STALLS,
INCLUDES 1 REM'D VAN ACCESSIBLE STALL

REQUIRED & PROVIDED BICYCLE PARKING = 3 SPACES

SITE LIGHTING: SHALL BE PROVIDED BY BUILDING MOUNTED FIXTURES.

SIGNAGE: SHALL BE PROVIDED BY ONE MONUMENT SIGN C/ STANDARDS AND SIGNAGE ON BUILDING AS INDICATED ON BUILDING ELEVATIONS.

PRELIM APPROVAL



SITE PLAN
SCALE: 1" = 20' - 0"

DRAWING INDEX

- 1 C1.1 SITE PLAN
- 2 C2.1 DRAINAGE & GRADING PLAN
- 3 L1.1 LANDSCAPE PLAN
- 4 A1.1 FLOOR PLAN
- 5 A2.1 BUILDING ELEVATIONS

PROJECT NO. 1003550

APPLICATION NO.

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?
[X] YES [] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR F CONSTRUCTION OF PUBLIC IMPROVEMENTS.
DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL:

TRAFFIC ENGINEERING DATE
TRANSPORTATION DIVISION

UTILITY DEVELOPMENT DIVISION DATE

PARKS RECREATION DATE

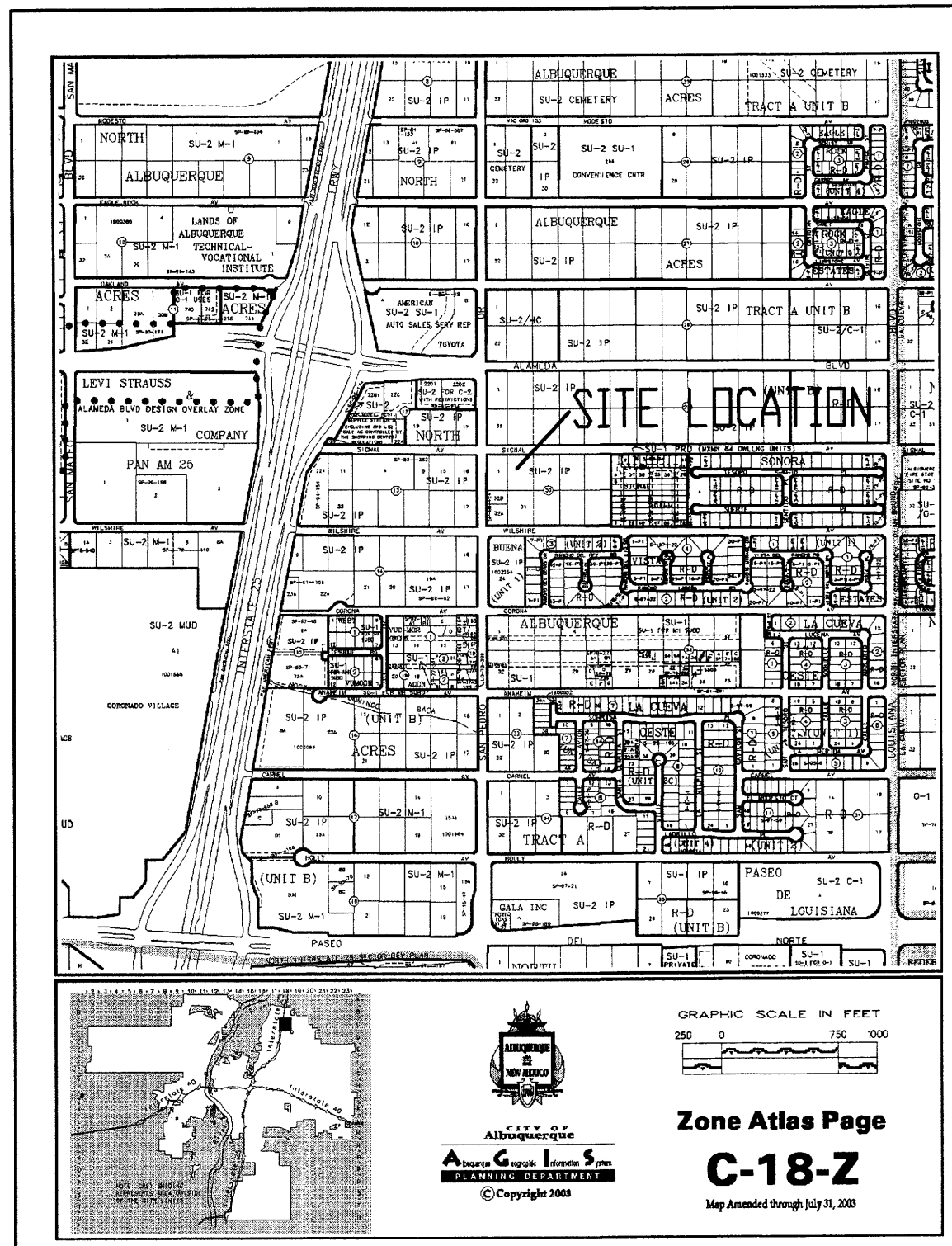
CITY ENGINEER DATE

ENVIRONMENTAL HEALTH (CONDITIONAL) DATE

SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPT. DATE

SIGNAL AVENUE N. E.
60.00' RIGHT OF WAY



VICINITY MAP C-18 FIRM PANEL 0137D

GRADING/DRAINAGE PLAN

THE PURPOSE OF THIS GRADING/DRAINAGE PLAN IS TO OBTAIN A BUILDING PERMIT AND SO 19 APPROVALS FOR LOT 2, BLOCK 30, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY.

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED ON THE SOUTH SIDE OF SIGNAL AVENUE N.E. AND IS THE SECOND LOT EAST OF SAN PEDRO DRIVE N.E. THE SITE IS CURRENTLY ZONED SU-2 IP AND IS THEREFORE NOT SUBJECT TO SITE PLAN CONTROL. AT PRESENT, THE RUN-OFF GENERATED BY THIS SITE DRAINS FROM EAST TO WEST VIA SURFACE FLOW. THE SITE IS CURRENTLY UNDEVELOPED.

DEVELOPED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF AN OFFICE/WAREHOUSE TYPE BUILDING ALONG WITH ASSOCIATED PAVED PARKING AND LANDSCAPED AREAS. THERE EXISTS NO PREVIOUSLY APPROVED DRAINAGE PLAN FOR THIS SITE. HOWEVER, REVIEW OF THE ADJACENT SITE TO THE EAST (GRADING/DRAINAGE PLAN FOR EARTHGRAIN BAKERY PARKING LOT) INDICATES THE ALLOWABLE DESIGN CRITERIA FOR THIS AREA AS SET FORTH IN THE DRAINAGE REPORT FOR SIGNAL HILLS SUBDIVISION (BY AWD ENGINEERING DATED 9/27/1996) OF 1.41 CFS/ACRE. FURTHERMORE, THE DISCHARGE RATE FOR SIGNAL AVENUE FRONTAGE SHOULD BE CALCULATED AND THEN SUBTRACTED FROM THE 1.41 CFS/ACRE IN ORDER TO DETERMINE THE NET ALLOWABLE DISCHARGE RATE FOR THIS SITE. THIS SITE WILL BE GRADED SO AS TO POND THE REQUIRED VOLUME AFTER THE ALLOWABLE RELEASE FLOWRATE HAS BEEN ACCOUNTED FOR. THE CALCULATIONS CONTAINED HEREIN, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME GENERATED. ALSO CONTAINED HEREON ARE CALCULATIONS FOR THE HYDROGRAPH PER SECTION A-B, HYDROGRAPH FOR SMALL WATERSHEDS, AS DEMONSTRATED BY THESE CALCULATIONS AS WELL AS THOSE FOR INLET ORIFICE AND DISCHARGE CAPACITY. THE INCREASE IN RUN-OFF GENERATED BY THE PROPOSED IMPROVEMENTS WILL BE HANDLED THROUGH THE USE OF AN ADEQUATELY SIZED PONDING AREA WITHIN THE PAVED PARKING AREA TO THE NORTH. IN ADDITION, THE FLOWS EXITING THE SITE WILL BE REGULATED THROUGH THE USE OF A 4" ORIFICE PLATE THAT RESULTS IN FLOWS WELL BELOW THE ALLOWABLE DISCHARGE RATE.

CONCLUSION

THIS PROPOSED GRADING/DRAINAGE PLAN IS CONSISTENT WITH OTHERS IN THE AREA AND HAS FOLLOWED REQUIREMENTS SET FORTH BY THE HYDROLOGY DEPARTMENT.

ALLOWABLE DISCHARGE

1.41 CFS/ACRE - ROAD FRONTAGE RUN-OFF
1.41 CFS/ACRE - 0.40 CFS X 0.88521 ACRES = 0.8941 CFS

DETENTION PONDING CALCULATIONS

- A. INLET CONDITION (MAX W.S.L. = 5238.0)
 $Q = CA (2gh)^{1/2}$
 $C = 0.60$ $g = 32.2$ $h = 2.6'$ $A = 2.28$ (half clogged)
 $Q = (.60)(2.28)(2 \times 32.2 \times 2.28)^{1/2}$
 $Q = 15.71$ CFS >> $Q_{100} = 3.74$ CFS
- B. ENTRANCE CONDITION (4" ORIFICE)
 $Q = CA (2gh)^{1/2}$
 $C = 0.60$ $g = 32.2$ $h = 2.75'$ $A = 0.09$ sf
 $Q = (.60)(0.09)(2 \times 32.2 \times 2.75)^{1/2}$
 $Q = 0.72$ CFS = Q RELEASE << Q ALLOWABLE 0.8941 CFS
- C. POND VOLUME = 4100.0 CF

PROJECT AREA = 0.88581 ac.
 ALBUQUERQUE SIGN PRINT
 ZONE 3
 PRECIPITATION: 360 = 2.60 in.
 1440 = 3.1 in.
 10day = 4.9 in.

TREATMENT	EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.6 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.

TREATMENT	EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A	0 ac.	0 ac.
TREATMENT B	0 ac.	0.051 ac.
TREATMENT C	0.88581 ac.	0.289 ac.
TREATMENT D	0 ac.	0.5458 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.66)(0.00) + (0.92)(0.00) + (1.29)(0.89) + (2.36)(0.00) / 0.89 ac.
 = 1.29 in.
 $V_{100-360} = (1.29)(0.89) / 12 = 0.095225$ ac-ft = 4148 CF

EXISTING PEAK DISCHARGE:

$Q_{100} = (1.87)(0.00) + (2.60)(0.00) + (3.45)(0.89) + (5.02)(0.00) = 3.06$ CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.66)(0.00) + (0.92)(0.05) + (1.29)(0.29) + (2.36)(0.55) / 0.89 ac.
 = 1.93 in.
 $V_{100-360} = (1.93)(0.89) / 12.0 = 0.142318$ ac-ft = 6199 CF

$V_{100-1440} = (0.14) + (0.55)(3.10 - 2.60) / 12 = 0.165060$ ac-ft = 7190 CF

$V_{100-10day} = (0.14) + (0.55)(4.90 - 2.60) / 12 = 0.246930$ ac-ft = 10756 CF

PROPOSED PEAK DISCHARGE:

$Q_{100} = (1.87)(0.00) + (2.60)(0.05) + (3.45)(0.29) + (5.02)(0.55) = 3.74$ CFS

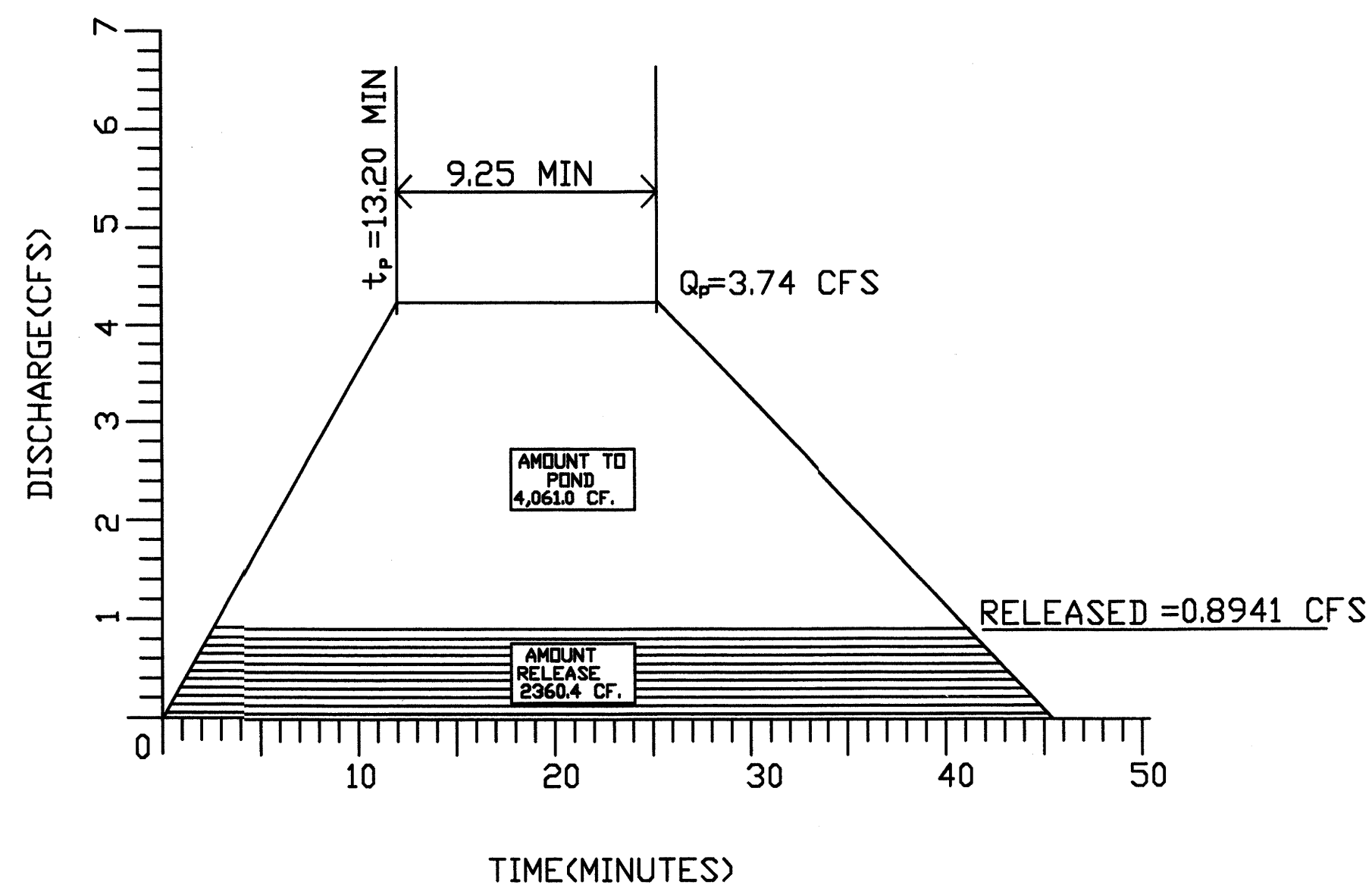
INCREASE 3.74 CFS - 3.06 CFS = 0.68 CFS

SO 19 APPROVAL BLOCK

APPROVALS	NAME	DATE
HYDROLOGY		

NOTE TO CONTRACTOR:

- An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
- All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
- Two working days prior to any excavation, contractor must contact line locating Services (780-1990) for locating existing sub-surface utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential constructions; Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay to the subject project.
- Backfill compaction shall be according to commercial use or soils report(s) recommendations.
- All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
- Maintenance of this facilities shall be the responsibility of the owner of the property it serves



HYDROGRAPH CALCULATIONS

GIVEN
 $Q_p = 3.74$ CFS $E = 1.93$ IN
 $A_p = 0.546$ AC $t_c = 0.2$ HRS
 $A_T = 0.88521$ AC

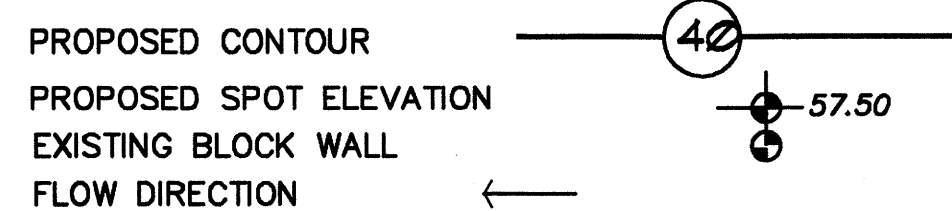
TIME TO PEAK
 $t_p = (0.7)(0.2) + 1.6 - A_p / A_T > 12$
 $t_p = (0.7)(0.2) + 1.6 - (0.546 / 0.88521) > 12$
 $t_p = (0.22)(60)$
 $t_p = 13.20$ MIN

CONTINUE THE PEAK CALCULATION

$0.25 \times A_p / A_T$
 $0.25 \times 0.546 / 0.88521$
 $0.154(60)$
 9.25 MIN

DURATION OF PEAK
 $2.107 \times 1.93 \times 0.88521 / 3.74 - (0.25 \times 0.546 / 0.88521)$
 $2.107 \times 1.93 \times 0.88521 / 3.74 - (0.154)$
 48.54 MIN

SYMBOL LEGEND

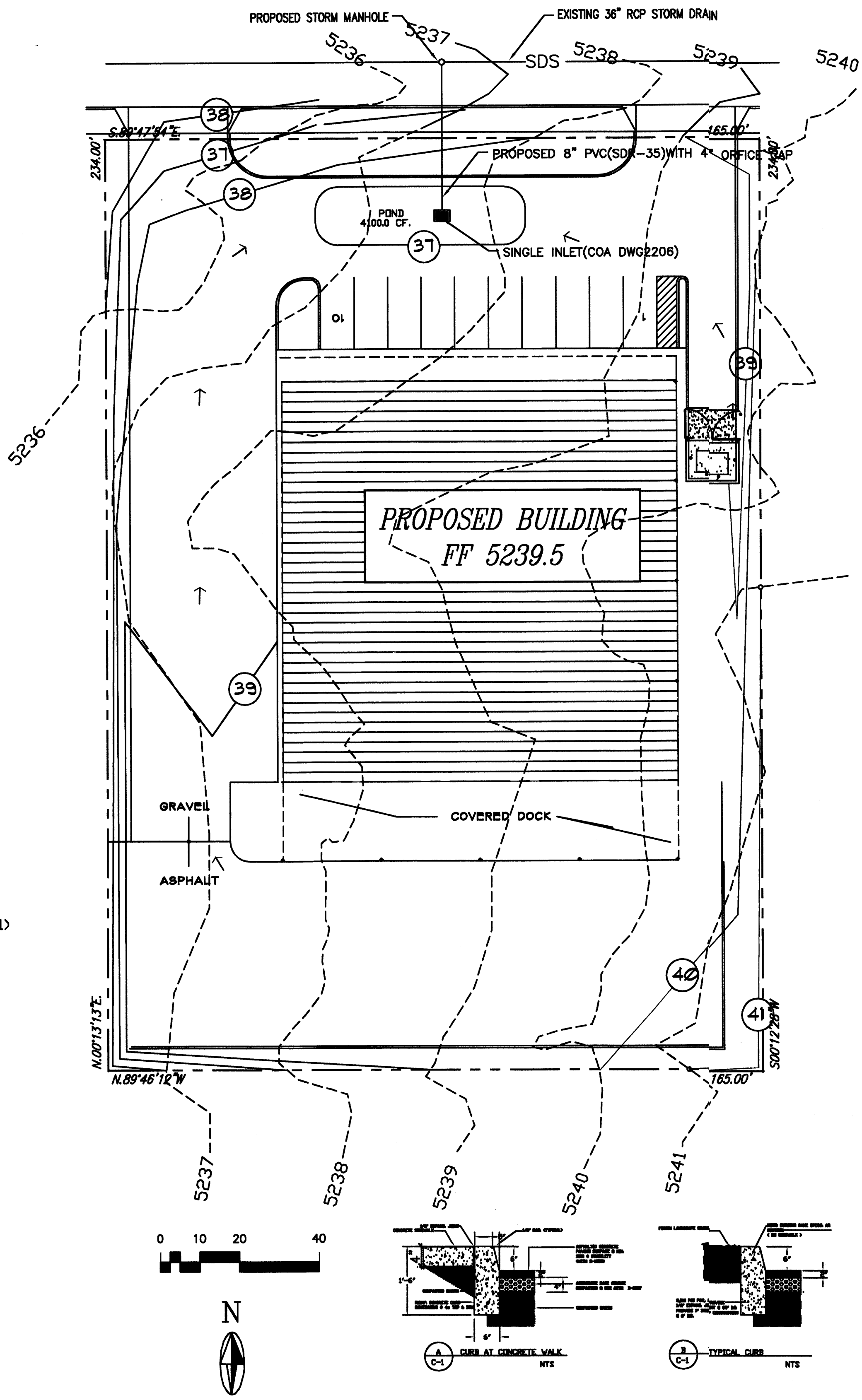


ABBREVIATION LEGEND

TOP OF CURB - TC = 57.25
 FLOWLINE - FL = 56.57
 TOP OF WALL - TW = 59.00
 EXISTING OR PROPOSED CONCRETE SURF

EROSION CONTROL MEASURES:

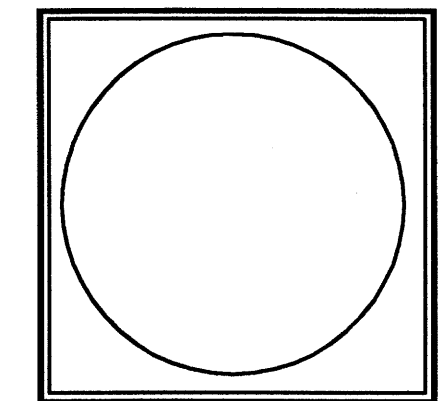
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
 - ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
 - ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THEREON.



SCALE: 1" = 20'

LEGAL DESCRIPTION

LOT NUMBERED TWO (2) IN BLOCK NUMBERED THIRTY (30) OF TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO.
 BENCHMARK:
 AN ACS ALUMINUM CAP STAMPED "9-C18" LOCATED IN THE S.W. QUADRANT OF THE INTERSECTION OF WILSHIRE AVE. AND SAN PEDRO N.E. ELEVATION 5229.79
 I.B.M.
 STORM DRAIN MANHOLE RIM LOCATED WITHIN SIGNAL AVE. APPROX. 45' FEET NORTHEAST OF THE NORTHEAST PROPERTY CORNER OF LOT 2 ELEVATION: 5237.49'



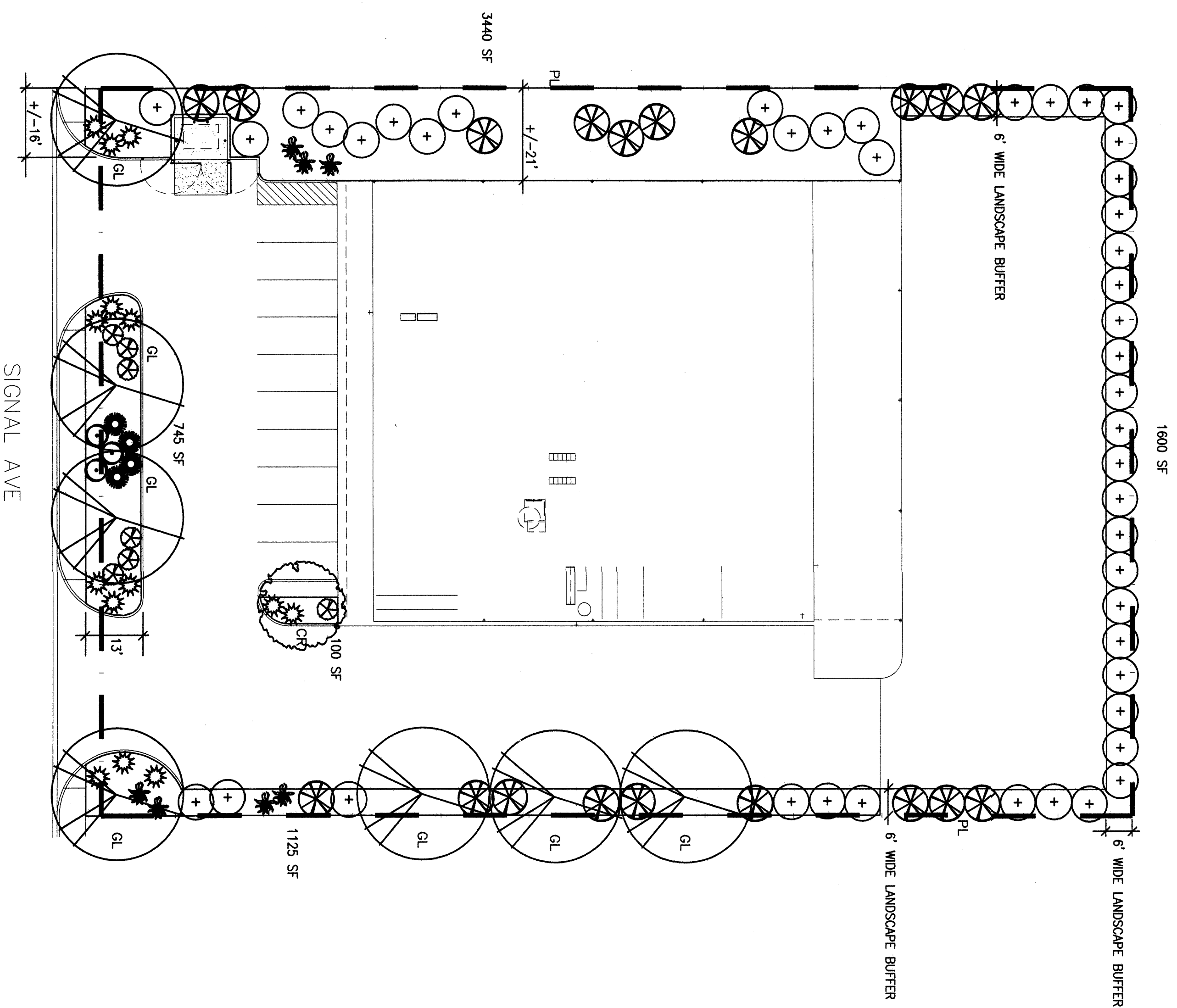
JOB NO:
 DATE: JULY 2004
 REVISIONS

Sheet Title
GRADING/DRAINAGE PLAN
 Drawn By: BJM
 Checked By:

Albuquerque, New Mexico

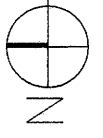
Project Name
 ALBUQUERQUE SIGN PRINT
 SIGNAL AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO 87111

SHEET NO.
 CP



LANDSCAPE PLAN

SCALE: 1" = 20' - 0"



PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
GL	7	GLEDITSIA	HONEY LOCUST	2" GAL	H
OR	1	CRATAEGUS	HAWTHORN	15 GAL	M
+	45	EUAZONIUS PUNGENS	SILVERBERRY	5 GAL	M
+	14	ROSMARINUS PRO.	CREEPING ROSEMARY	5 GAL	M
+	7	RAPHIOLEPIS INDICA	INDIA HAWTHORN	5 GAL	M
+	19	BUDDLEIA DAVIDII	BUTTERFLY BUSH	5 GAL	M
+	3	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL	M
+	4	MISCANTHUS SINENSIS	MAIDEN GRASS	5 GAL	M
+	7	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	M

SITE DATA

GROSS LOT AREA 38,985 SF
 LESS BUILDING 10,000 SF
 NET LOT AREA 28,985 SF
 REQUIRED LANDSCAPE 4,287 SF
 15% OF NET LOT AREA 7,010 SF
 PROPOSED LANDSCAPE 24.5%

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE PLANTS

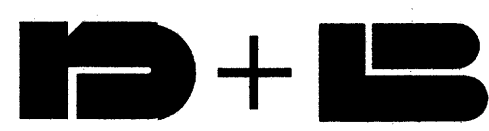
NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY COMPLETE AUTO. DRIP IRRIGATION SYSTEM. TREES TO RECEIVE 6-1 GPH AND SHRUBS TO RECEIVE 2-1 GPH EMITTERS TIED TO 3/4" POLY DRIP LINE WITH FLUSH CAPS AT ENDS.
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LINE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
 LANDSCAPE AREAS TO BE MULCHED WITH SANTA FE BROWN CRUSHER FINES AT 2"-3" DEPTH
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
 NO PARKING SPACE SHALL BE MORE THEN 50' FROM A TREE.

HeadsUp
 LANDSCAPE CONTRACTORS
 7525 SECOND ST. NW
 ALBUQUERQUE, NM
 (505) 898-8615
 (505) 898-8601
 www.headsuplandscape.com



ALBUQUERQUE
 SIGN PRINT, INC.
 SIGNAL AVE.
 ALBUQUERQUE, NM



RICHARD DORMAN F.A.I.A.
 ALBUQUERQUE, NM 505-299-5940

DORMAN and BREEN

LAURENCE BREEN A.I.A.
 SANTA FE, NM 505-982-9196

SHEET	1	OF	3
NO NUMBER	0330	DATE	7/20/04
REVISIONS		DATE	

