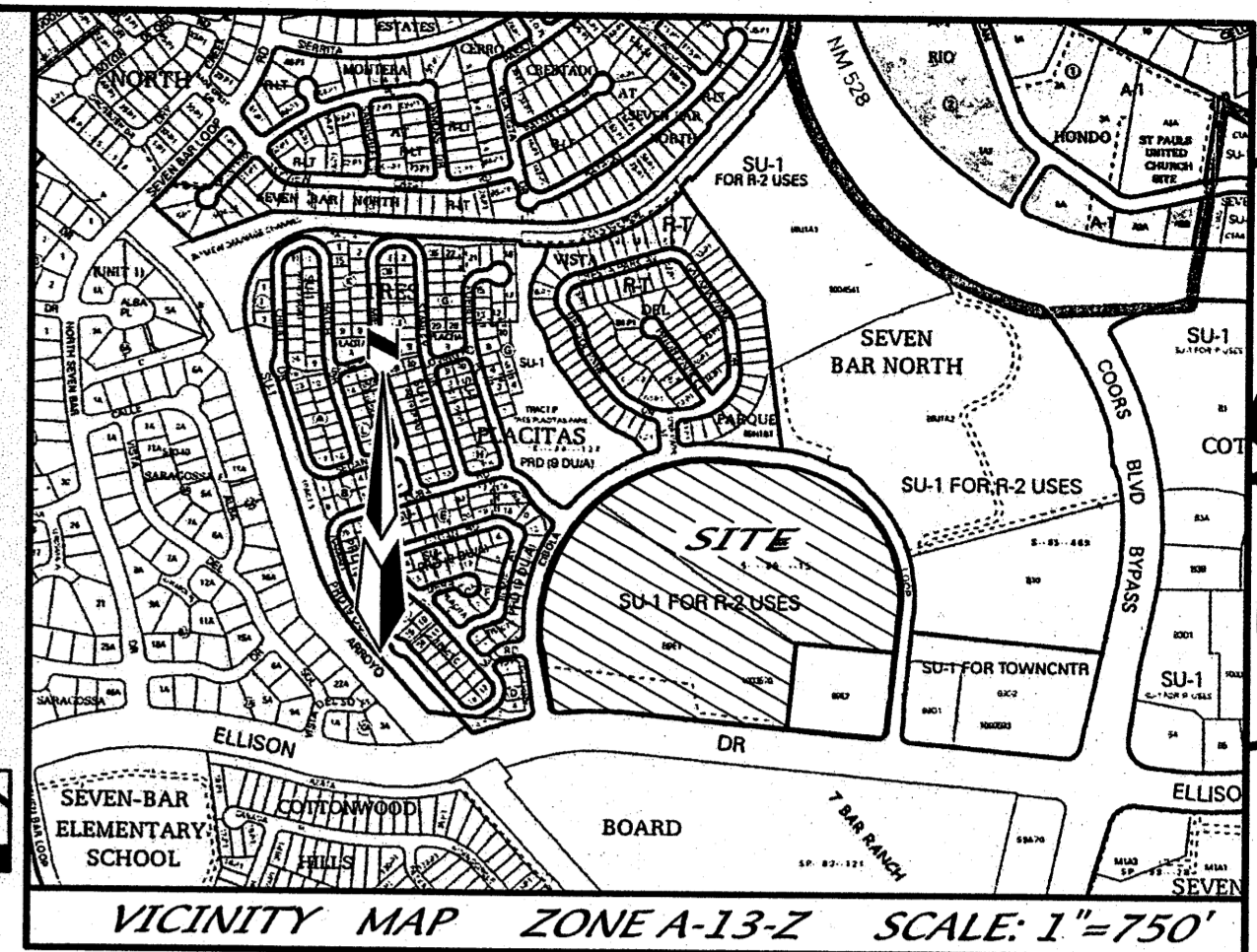
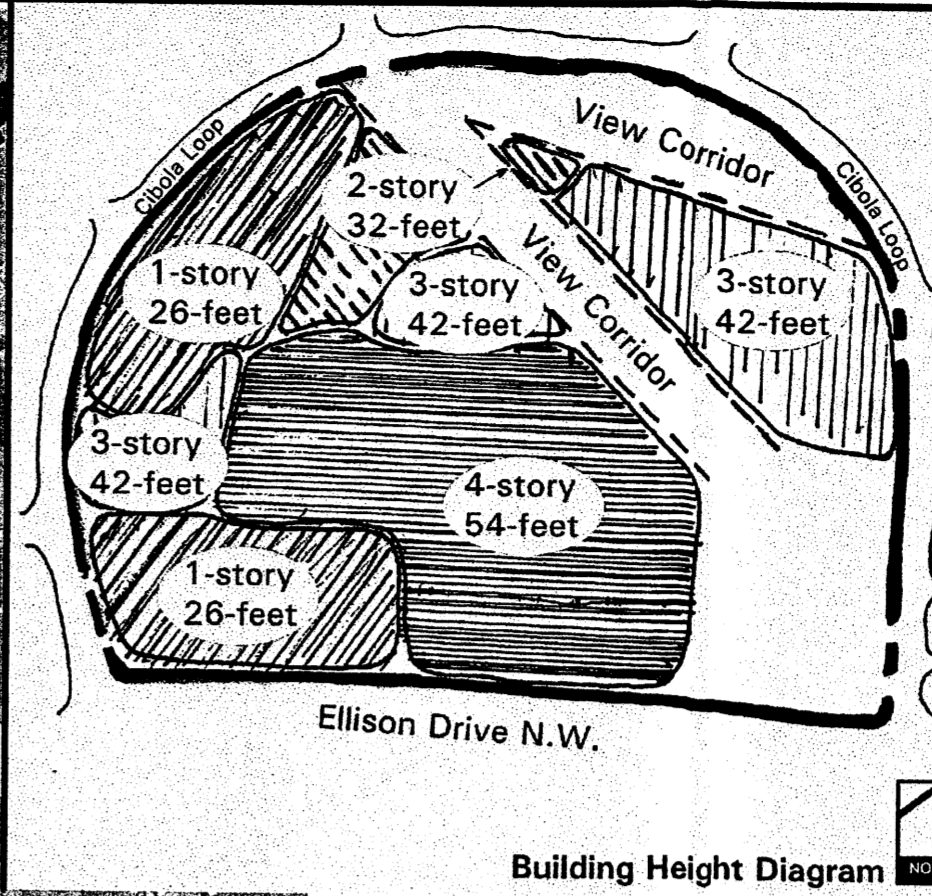


PROJECT # 1003570



THE SITE:
The site area is approximately 26.38 Acres and presently zoned SU-1 for R-2 Uses, being Tracts B-9E-1-A and B-9F-1, Seven Bar Ranch.

PROPOSED USE CHANGES:
Tract A is to be changed to SU-1 for Housing for Older Persons with Limited Medical Facilities, while Tract B is to be changed to C-1 Permissive Uses, with no drive-up service window. For Tract C the existing zoning is to remain unchanged.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access: Primary access will be from Ellison Drive via Cibola Loop through this site on internal private driveways and drive aisles, including the new right-in, right-out driveway on Ellison. Reciprocal cross-tract access will be afforded to each Tract on the subsequent subdivision plat.
Pedestrian, Bicycle and Trail Access: New sidewalks will meet the current Development Process Manual requirements. A new ten-foot wide, multi-purpose trail from Tres Placitas Park shall be extended south along the east side of West Cibola Loop to the existing trail on the north side of Ellison Dr. Another ten-foot wide paved trail shall be installed around the north side of the site from Tres Placitas Park extending east all the way to the NE corner of the new police substation. See Section 3 of the attached Design Standards for further information. At the time of Tract C development, a non-vehicular access route shall be built between Tract A and East Cibola Loop at the NE corner of the police substation to provide access to the new NW transit center located on the NE corner of Coors By-pass and Ellison Drive. The SW portion of Tract C shall also contain a distinctive non-vehicular access route to Tract B. The improvements shall be a ten-foot paved trail or a eight-foot concrete sidewalk.

Transit Access: Ellison Drive is designated as an Enhanced Transit Corridor, being serviced by Routes 92 and 157, with existing stops on each side of Ellison just west of both the East and West Cibola Loop intersections with Ellison. Currently under construction is the new NW Transit Center on the NW corner of Ellison and Coors By-pass, which is intended to provide regional access to metropolitan area. A Transit Feasibility and Access Plan for this request is provided within Section 2 of the Design Standards on Sheet 2 of this plan set.

INTERNAL CIRCULATION REQUIREMENTS:
The primary perimeter access points for vehicles (min. 30 feet in width) have been identified on this Plan for each of the parcels. For Tract A there shall be access to the right-in, right-out on Ellison by way of a future private driveway along the boundary between Tracts B and C. For Tract C there shall be access the Mill Road/Cibola Loop intersection by way of a future private driveway along the boundary between Tracts A and B. See circulation diagram on sheet 3.

Internal sidewalks shall be provided per the Design Standards at the time of site plan for building permit application.

BUILDING HEIGHTS AND SETBACKS:
Maximum allowed building heights shall be restricted to an elevation of 5,132 feet to the top of parapet and /or the top of screening elements for mechanical equipment and shall not exceed 54 feet for the residential uses, including the ancillary medical facilities and 26 feet for commercial uses. Buildings shall be located on each site according to the following minimum setback dimensions: 0 feet from the Ellison Drive right-of-way line. 20 feet from Cibola Loop right-of-way line. 10 feet from internal lot lines.

MAXIMUM TOTAL DWELLING UNITS AND MAXIMUM FAR:
Maximum total number of residential units shall be 430 on Tract A or Tract C, with a maximum total number of units not to exceed 800 for the subject site. Maximum floor area ratio (FAR) shall be 0.3 for Tract B.

LANDSCAPE STANDARDS:
For Landscaping information, see Section 5 on Sheet 2 of this plan set. All landscaping shall be per the City of Albuquerque Zoning Ordinance and shall comply with the Street Tree Ordinance.

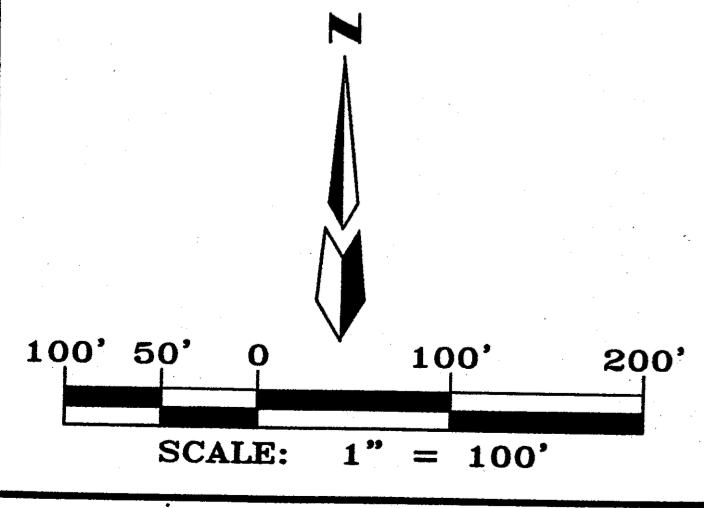
APPROVALS PROCESS:
Upon approval of this SITE PLAN FOR SUBDIVISION, Tracts A, B and C shall be required to obtain site development plan for building permit approval from EPC. Any subsequent subdivision of tracts A,B and C shall require approval from EPC.

APPLICATION NUMBER: 09DRB-70130 PROJECT NUMBER: 1003570

City Approvals:

	04/17/09 Date
	4-8-09 Date
	4/8/09 Date
	4/24/09 Date

TERMINATED
Per Section 14-16-3-11
of the Zoning Code



PREPARED FOR:
THE HASKELL COMPANY
PO BOX 44100
JACKSONVILLE, FL
PH: (904) 357-4923
FAX: (904) 475-7518

PREPARED BY:
D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

LEGEND

	NEW PAVED ASPHALTIC CONCRETE TRAIL		EXIST. OVERHEAD UTIL. LINES
	NEW CURB AND GUTTER		EXIST. PERMANENT CURB
	NEW SIDEWALK		EXIST. ASPHALT CURB
	EXIST. EASEMENT LINE		PROPERTY LINE
	EXIST. PAVED TRAIL		VEHICULAR DRIVEWAY
	NON-VEHICULAR CROSSWALK THERMO PLASTIC MARKINGS OR TEXTURED CONCRETE 8 FEET WIDE. (SEE SECTION 4 OF DESIGN STANDARDS)		PEDESTRIAN/BIKE ACCESS

PLAN INDEX

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Revision One 06/06/08
Revision Two 07/01/08
Revision Three 03/30/09

CIBOLA LOOP

SITE PLAN FOR SUBDIVISION

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 1 of 5
Scale: 1" = 100'	Date: 3/24/2009	Job: A08016	

CIBOLA LOOP SUBDIVISION
ALBUQUERQUE, NEW MEXICO
DEVELOPMENT DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist developers and designers to understand the Owner's goals and objectives to create a high quality neighborhood commercial and residential retirement center. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Cibola Loop community. These standards are to be used as a supplement to the City of Albuquerque Zone Code and other pertinent city ordinances. These standards shall apply to all properties within the Cibola Loop Subdivision. They are also to be used to supplement the requirements of the restrictive covenant contained in the Quitclaim deed from the City of Albuquerque, dated April 13, 2007, particularly that Tracts A, B and C shall contain, in either a single structure or multiple structures, no more than an aggregate total of 14,000 square feet of office or retail space. (See Section 14-16-3-1 of the City Code.) Tract A is to be changed to SU-1 for Housing for Older Persons with Limited Medical Facilities, while Tract B is to be changed to C-1 Permissive Uses, with no drive-up service window. For Tract C the existing zoning is to remain unchanged.

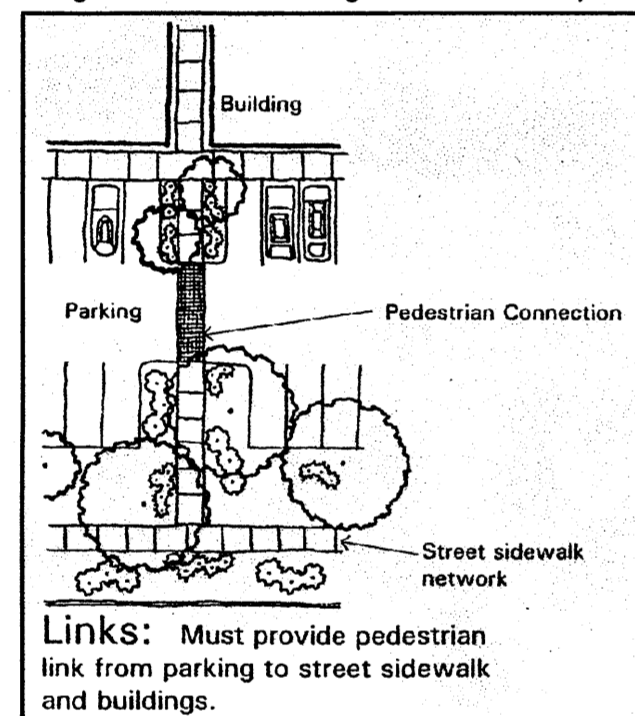
Table of Headings

1. Site Objectives
2. Transit Feasibility Plan
3. Parking and Circulation Standards
4. Sidewalks and Bikeway Standards
5. Landscaping Standards
6. Architectural Standards
7. Screening Walls and Fencing Standards
8. Lighting Standards
9. Signage Standards
10. Utility Standards
11. Open Space
12. Proposed Approvals Process

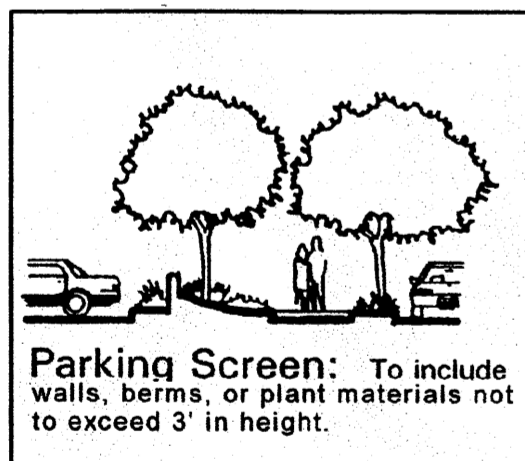
1. Site Objectives

The creation of an active pedestrian environment in the Cibola Loop Subdivision is dependent upon creative site and architectural design. It is the Owner's desire to have the individual sites within the subdivision linked together as well as the surrounding neighborhoods. Important to the formation of a pedestrian-oriented development is the relationship between the buildings and the street.

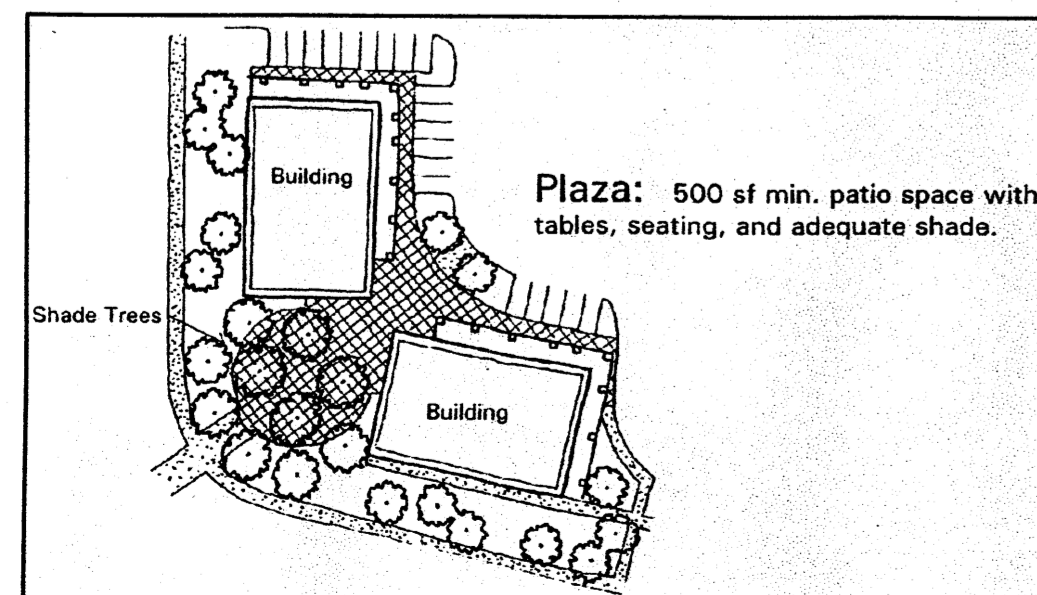
- 1-A Buildings shall be arranged so as to provide meaningful open space for gathering by occupants and by visitors.
- 1-B Pedestrian connections shall be clearly visible and their surfaces shall be constructed of textured, colored concrete and / or thermoplastic, or other comparable surface.
- 1-C Parking areas shall be designed to include a pedestrian connection to the street sidewalk network.



- 1-D All parking facilities adjacent to the streets shall be screened with low walls and/or landscaping. Such screening shall not exceed a height of 3 feet.



- 1-E All pedestrian paths shall be designed to be accessible to the handicapped (See Americans with Disabilities Act criteria for barrier free design).
- 1-F Pedestrian access and circulation shall provide direct connections from sidewalks to building entrances that minimize pedestrian/vehicular conflicts.
- 1-G All non-residential sites shall provide public space in compliance with Section 14-16-3-18 of the Zoning Code.
- 1-H For restaurants equal to or greater than 2000 square feet, an outdoor patio space that is a minimum of 500 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or a shade structure that is consistent with building architecture.



- 1-I Restaurants of less than 2000 square feet shall provide a minimum of 200 square feet shaded seating area.
- 1-J Maximum total number of residential units shall be 430 on Tract A or 430 on Tract C, with a maximum number of units not to exceed 800 on the subject site. Floor area ratio (FAR) shall be 0.3 for Tract B.
- 1-K Adequate shading shall be defined as shade covering at least 50% of the area.

2. Transit Feasibility and Access Plan

The proposed on-site dwelling density for the residential portions of this property is 34 units per acre, which must be occupied by older persons in accord with provision of the restrictive covenant contained in the Quitclaim Deed identified on sheet 3 of this plan. Existing bus stops are located just west of each corner Cibola Loop has with Ellison Drive. Developers of Tracts A, B, and C shall integrate pedestrian-friendly access routes from each of the on-site buildings to these bus stops, as identified on sheet one of this site plan for subdivision. A new regional transit center is also located just east of the subject site, and so these same access mandates shall apply to a route to the east as well. An example of these connections would be construction of a minimum 10-foot wide asphalt trail and/or 6-foot wide concrete sidewalk. These routes shall be lighted during winter evenings and located within public easements where they cross property lines to increase utilization. Each of the proposed on-site senior apartments and/or condos shall contain a circulation plan that would enable on-site service by full-size buses with an allowance for interconnection between Tracts A and C. Non-residential buildings on Tract B shall have front entrances not further than 52 feet from the Ellison Drive right of way line, with well-marked pedestrian routes to bus and transit stops on Ellison Drive. Parking between these front entrances and Ellison Drive shall be prohibited. Buildings shall be sited close to Ellison Drive with entrance facing the street and parking along the side or rear of buildings.

3. Parking and Circulation Standards

- 3-A The minimum required off-street parking shall be in accordance with section 14-6-3-1 of the Zoning Code. For the residential units associated with providing limited medical services on Tract A, there shall be one space per four residents.
- 3-B Parking shall not exceed the required parking plus 10% for the nonresidential uses.
- 3-C Pedestrian connection crossings of vehicular entrances and internal drive aisles shall be a minimum of 8 feet in width and consist of textured, colored concrete and/or thermoplastic pavement markings, or other comparable surface.
- 3-D Except for deliveries, parking of commercial truck shall not be permitted.
- 3-E For all non-residential buildings a standard sidewalk that is a minimum of 8 feet wide shall be provided along the main entrance side of the building and shall increase in width pursuant to section 14.16.3.18(c)(1) of the zone code. Shade trees shall be provided at intervals of at least 30' on center.
- 3-F Parking areas shall be setback a minimum of 15 feet from the Cibola Loop R/W, 20 feet from the Ellison Drive R/W, 10 feet from all other R/W or internal drive aisles, and 10 feet from internal lot lines.
- 3-G Parking for the commercial uses shall be prohibited between south-facing building facades and Ellison Drive.
- 3-H Parking areas shall be permitted to have more than one pedestrian connection to the street sidewalk network.
- 3-I Parking areas shall be visually and functionally segmented into smaller subareas by landscaping and/or pedestrian connections. No single subarea shall exceed 100 parking spaces.

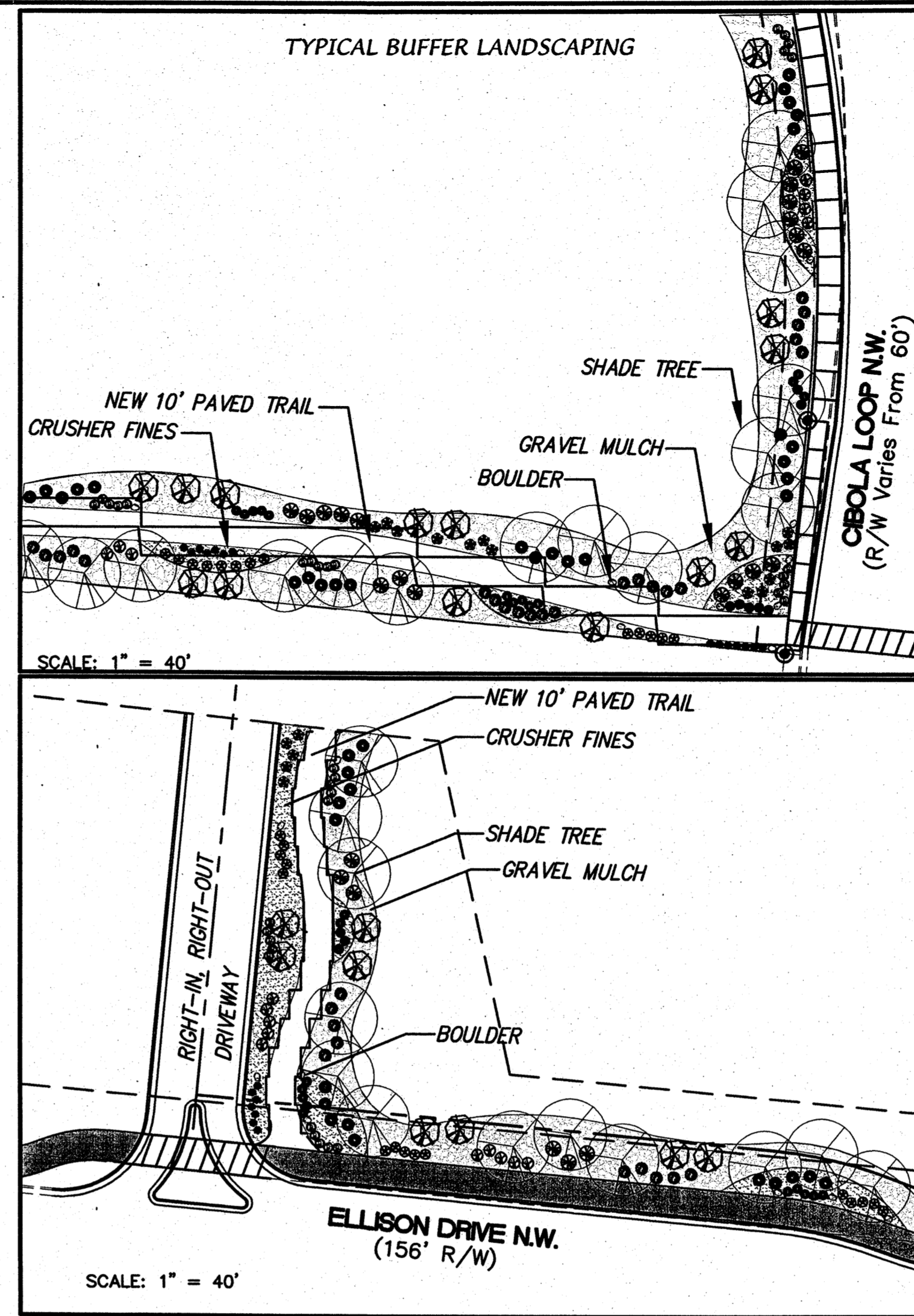
4. Sidewalks and Bikeway Standards

To encourage and enhance the pedestrian activity, sidewalks and / or bikeways are required in certain areas as an integral element of the streetscape. All streets and driveways are required to have sidewalks or pedestrian trails running parallel on at least one of its sides.

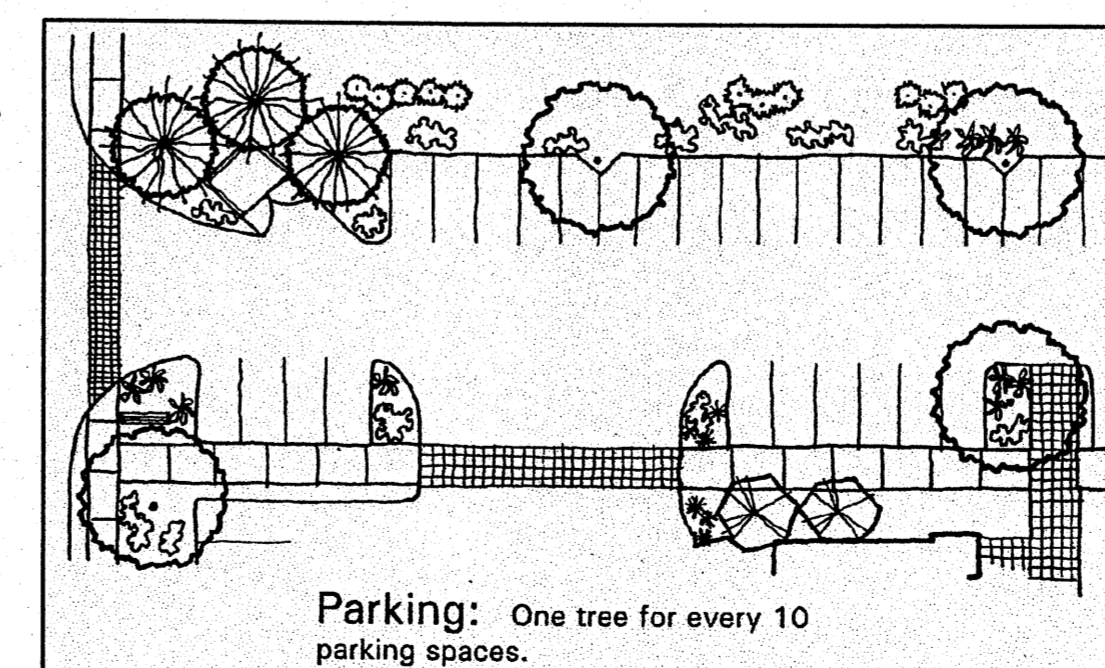
- 4-A Sidewalks shall be provided along public rights-of-way at a minimum of 6 feet in width and shaded by trees planted 30 feet on center. Paved pedestrian trails must be a minimum of 10 feet in width.
- 4-B Convenient pedestrian connections shall be provided from each building to the internal circulation system, to adjacent roadways and across public streets. Pedestrian and bicycle crossings of vehicular paths shall be a minimum of 8 feet wide and designated by textured, colored concrete and/or thermoplastic pavement markings or other comparable materials.
- 4-C Internal pedestrian access shall be provided with a clear 8-foot wide path and adjacent trees spaced at approximately 25 feet on center with planters that have a minimum surface area of 36 square feet and a minimum width of four feet.
- 4-D Pedestrian sidewalks, no less than 8 feet wide, shall be provided adjacent to and along the full length of building fronts. A minimum width of 6 feet shall remain clear and unobstructed for pedestrian use at all times.
- 4-E Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas.
- 4-F Pedestrian features must meet the requirements for Pedestrian Connections pursuant to Off-Street Parking regulations of the Zoning Code (Section 14-16-3-1) and the regulations for sidewalks pursuant to the General Building and Site Design Regulations (Section 14- 16-3-18) for all sites within the proposed development.
- 4-G Pedestrian connections from parking areas to the street sidewalk network shall be short and direct, not circuitous.
- 4-H The existing 10-foot paved trail along Ellison Dr. shall be connected across East and West Cibola Loop by installing minimum 8-foot wide textured, colored concrete surfacing and/or thermoplastic pavement markings within the existing roadway.
- 4-I The material for the new paved trail (as shown on sheet 1) shall consist of asphaltic concrete.

5. Landscaping Standards

Development of an overall landscape concept shall establish a framework that unifies the individual sites within the Cibola Loop Subdivision. To achieve a totally unified development, all areas of design shall be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project and fall within the existing constraints imposed by the numerous power line, drainage, and utility easements that cross the site. Strategically-placed landscape roadway buffers shall be utilized to create a unified and "highly landscaped streetscape image." Ellison Drive will contain Raywood Ash & Chinese Pistache tree groupings in accordance with the Street Tree Ordinance.



- 5-A Deciduous shade trees shall be used within parking areas. Buffer areas shall include primarily evergreen trees. Parking and outdoor storage areas beneath overhead power lines or over underground water and sewer lines shall not be permitted to contain trees that will grow to over 20 feet in height.
- 5-B A landscape buffer of no less than 10 feet shall be maintained between a parking area and the street right-of-way.
- 5-C Trees shall be capable of reaching a mature height of at least twenty-five feet, unless they are below power lines. Parking area trees and street trees shall be deciduous and canopy-forming. Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet.
- 5-D A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with street-side exposure and / or adjacent to residential properties.
- 5-E A 10-foot landscaped buffer shall be required between commercial and residential properties, and along the west, north and east sides of the detention pond. The buffer shall consist primarily of evergreen trees which must be at least 10 feet tall when planted and be capable of reaching a mature height of twenty-five feet. The trees shall be spaced at an average of 25 feet on center. The buffer width along the west side of Tract B fronting West Cibola Loop and the full length of Ellison shall be at least 20 feet.
- 5-F Appropriate landscape headers shall be used to separate the turf and groundcover areas. Header curbs shall be 6" x 6" concrete, brick (side by side). Turf areas shall be relatively flat with cross slopes of not more than 6%.
- 5-G 80% of landscaped areas over 36 square feet in size shall be covered with living vegetative material. Drought tolerant and native plant material shall be required.
- 5-H One tree is required for each thirty linear feet of main public access roadways on average. If clustered, trees shall be planted with not more than a fifty-foot gap between groupings.
- 5-I Off-Street parking areas shall have one shade tree for every ten (10) parking spaces.



- 5-J Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper and shrubs shall be a five-gallon container. Ground-covers and perennials shall be a one gallon container size and turf grasses shall be capable of providing complete ground coverage within one growing season after installation.
- 5-K An automatic underground irrigation system is required to support all required landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
- 5-L All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, or similar materials, which extends completely under the plant material. All plant material, including trees, shrubs, ground-covers, turf, wild-flowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds.
- 5-M The landscape treatment at prominent entries and intersections shall be intensified from the standpoint of density, pattern, texture, scale, or form in order to highlight these areas.
- 5-N Xeriscape principles shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas.
- 5-O A landscape / screening buffer shall be provided along areas where the subject property abuts a residential zone in order to minimize noise and sight impact of the non-residential activities, pursuant to Landscaping/Screening Requirements (Section 14-16-3-10) of the Zone Code.
- 5-P A water conserving turf mix shall be permitted.
- 5-Q Landscape Palette

Common Name	Scientific Name	Water Usage	Allergenic Potential
Trees			
Austrian Pine	Pinus Nigra	Medium	Low
Bur Oak	Quercus macrocarpa	Medium	Moderate
Chaste Tree	Vitex agnus-castus	Medium	Low
Chinaberry	Melia azedarach	Low +	Low
Chinese Pistache	Pistacia chinensis	Medium	Low
Chitalpa	Chilopsis X Catalpa	Medium	Low
Desert Live Oak	Quercus turbinella	Low +	Moderate
Desert Willow	Chilopsis linearis	Low +	Low
Netleaf Hackberry	Celtis reticulata	Medium	Low
Shumard Oak	Quercus shumardii	Medium	Moderate
Mexican Elder	Sambucus mexicana	Low +	Low
New Mexico Olive	Forestiera neomexicana	Medium	Low
Pinon Pine	Pinus edulis	Medium	Low
Velvet Mesquite	Prosopis velutina	Low +	Low
Curl Leaf Mtn. Mahogany	Cercocarpus ledifolius	Low	Low
Serviceberry	Amelanchier Utahensis	Medium	Low
Accents & Shrubs			
Scotch Broom	Cytisus scoparius	Medium	Low
Apache Plume	Fallugia paradoxa	Low	Low
Blue Mist Spirea	Caryopteris x clandonensis	Medium	Low
Catmint	Nepeta mussini	Medium	Low
Chamisa	Chrysothamnus nauseosus	Low	Low
Fembush	Chamaebatiaria millefolium	Low +	Low
Mexican Evening Primrose	Oenothera bielandieri	Low +	Low
Mountain Mahogany	Cercocarpus montanus	Low +	Low
New Mexico Yucca	Yucca neomexicana	Low	Low
Red Yucca	Hesperaloe parviflora	Low +	Low
Switch Grass	Panicum virgatum	Medium	Low
Terpentine Bush	Ericameria laricifolia	Low +	Low
Western Sand Cherry	Prunus besseyi	Medium	Low
Rosewood	Vauquelinia spp.	Low	Low
Silverberry	Elaeagnus pungens	Medium	Low
Red Tip Photinia	Photinia fraseri	Medium	Low
Flowers			
Penstemon	Penstemon spp.	Low +	Low
Chocolate Flower	Berlandiera lyrata	Low	Moderate
Sand Verbena	Abronia sp.	Low	Low
Sunset Hyssop	Agastache rupestris	Low	Low

- 5-R Trees and shrubs shall be irrigated by an automated drip system. Any turf areas will be irrigated with spray heads arranged with uniform coverage and without runoff onto hardscape areas. An irrigation controller with a moisture sensor will be utilized to conserve water used for landscape purposes. All irrigation shall be in compliance with the City Water Conservation Ordinance.
- 5-S In areas around residential structures, trees shall be provided at not less than a rate of one tree per ground-floor dwelling unit and one tree per two second-story dwelling units.
- 5-T Tree planters shall have a minimum surface area of 36 square feet.
- 5-U Pursuant to the Street Tree Ordinance, street trees shall be placed between the curb and the public sidewalk, unless traffic safety requires different locations as specified therein.

CIBOLA LOOP

SITE PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Revision One 06/06/08
Revision Two 07/01/08
Revision Three 03/30/09

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 2 of 5
Scale: N/A	Date: 3/25/2009	Job: A08016	

6 Architectural Standards

The architectural objective is to create a site that is visually integrated through the use of a few select architectural styles. The recommended styles have many similarities of scale, proportion, massing, and color. Stucco, stacked stone, split face or masonry textured block shall be used as the primary surface treatment. Metal siding is not allowed as a primary surface but is allowed as an accent feature.

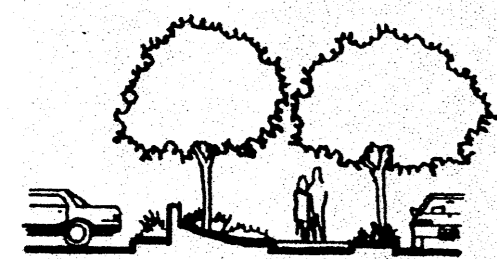
Additionally, all buildings shall conform to the following requirements:

- 6-A Pueblo, Territorial, New Mexico Traditional or Southwest Contemporary building styles.
- 6-B Buildings and structures erected within the site shall comply with all applicable zoning and building code requirements as well as other local applicable codes.
- 6-C Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations.
- 6-D Finished building materials must be applied to all exterior sides of buildings and structures.
- 6-E Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- 6-F Entries to structures shall portray an aesthetically pleasing appearance while being architecturally tied into the overall mass and building composition.
- 6-G Windows and doors are key elements of any structure's form and shall relate to the scale of the elevation on which they appear. The use of recessed openings shall be employed to help to provide depth and contrast on elevation planes.
- 6-H The primary building colors shall be sensitive to and compatible with colors of nearby surrounding buildings. Alteration of colors shall not be allowed to produce very light or very dark contrasts that are outside the middle range of reflectance.
- 6-I The staggering of planes and/or distinct articulation of building facades is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual facades.
- 6-J The roof line at the top of the structure shall incorporate offsets to prevent continuous planes from occurring.
- 6-K All accessory buildings and canopies shall be architecturally integrated and compatible in material and design with the main structure. All rooftop and ground mounted equipment shall be screened from the public view by materials of the same nature as the building's basic materials.
- 6-L No freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.
- 6-M No plastic or vinyl building panels, awnings, or canopies are permitted (metal panels are permitted as an accent feature only).
- 6-N Parapets and/or architecture must be modified to reflect appropriate region architectural style.
- 6-O Franchise architecture must be modified to reflect appropriate region architectural style.
- 6-P Wall material shall be chosen to withstand abuse by vandals and be easily repaired when accidentally damaged.
- 6-Q ATMs shall be architecturally integrated with building design.
- 6-R The treatment of vertical building planes with regard to color, material architectural details, and trim materials shall be consistent (SBRSDP, Appendix 6).
- 6-S Major architectural elements such as roof-line, articulation of building fenestration and articulation of massing shall be consistent (SBRSDP, Appendix 6).
- 6-T The primary building mass shall be of an earth-tone color regardless of materials. Colors other than earth tone palette shall be used only for decorative elements (SBRSDP, Appendix 6).
- 6-U Materials shall generally be non-reflective, cementitious in visual quality, and no more than three materials shall be combined in a given building elevation (SBRSDP, Appendix 6).

7. Screening, Walls and Fencing Standards

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions shall be away from any residential street area or pedestrian area. The standards established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening and architectural function within the landscape element of the Development. The following are standards to ensure effective screening of negative site elements:

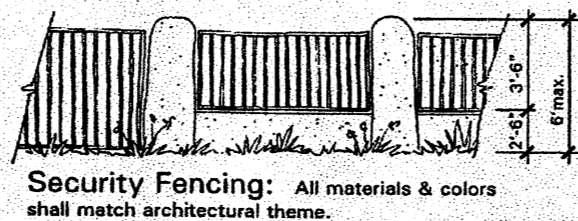
- 7-A All parking areas shall be screened from adjacent streets with a combination of plant materials, walls, and/or earthen berms. Such screening shall not exceed a maximum height of 3 feet. Employee and customer parking areas shall be screened from adjacent properties. Appropriate signage and/or highlighted landscaping shall be used to direct visitors.



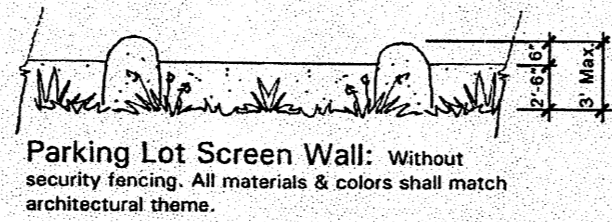
Parking Screen: To include walls, berms, or plant materials not to exceed 3' in height.

- 7-B Screen walls for parking areas shall include wall openings to facilitate pedestrian circulation.
- 7-C All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure, which is large enough to contain all refuse generated between collections.
- 7-D The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building using compatible materials and colors. All refuse enclosures shall be gated.
- 7-E Refuse collection areas shall not be allowed between the street and building front.

- 7-F When security fencing is required, it shall be a combination of masonry pillars or short wall segments combined with or without fencing.



Security Fencing: All materials & colors shall match architectural theme.



Parking Lot Screen Wall: Without security fencing. All materials & colors shall match architectural theme.

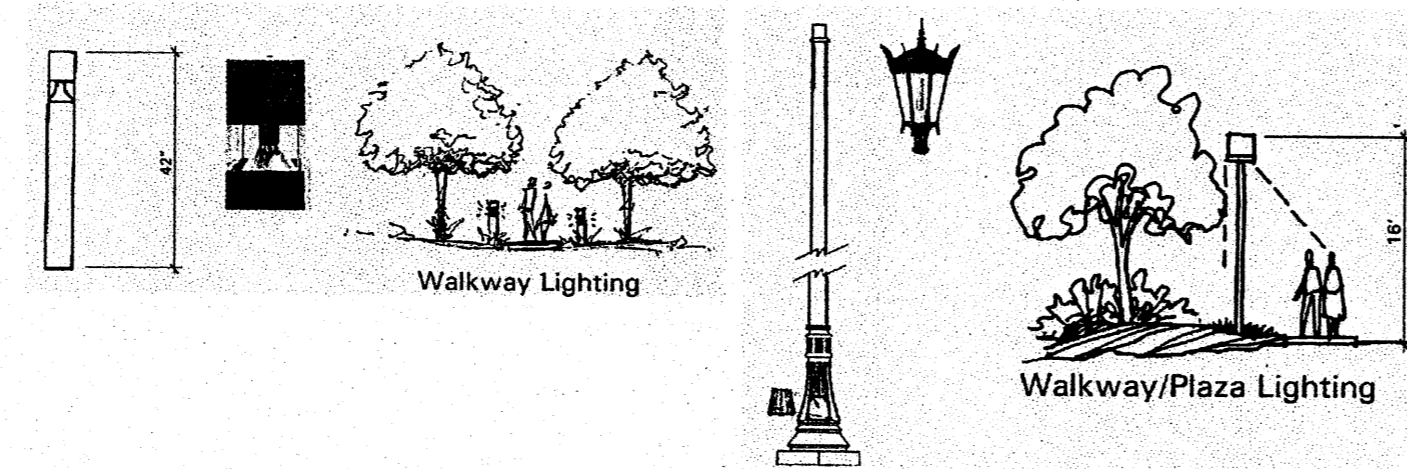
- 7-G The use of chain-link fencing, wood, barbed or concertina wire shall not be allowed.
- 7-H Loading docks shall not be visible from residential areas and shall be screened by walls which match building architecture, materials and color.
- 7-I Unfinished CMU block shall be prohibited.
- 7-J Service functions shall be oriented away from any street, pedestrian area, and/or residential area.
- 7-K Fencing around a portion of, or the entirety of, the perimeter of Cibola Loop is prohibited.

8. Lighting Standards

In order to enhance the safety, security and visual aesthetics of this retirement center, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development. A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

The maximum height for lighting fixtures (measured from top to grade) shall be:

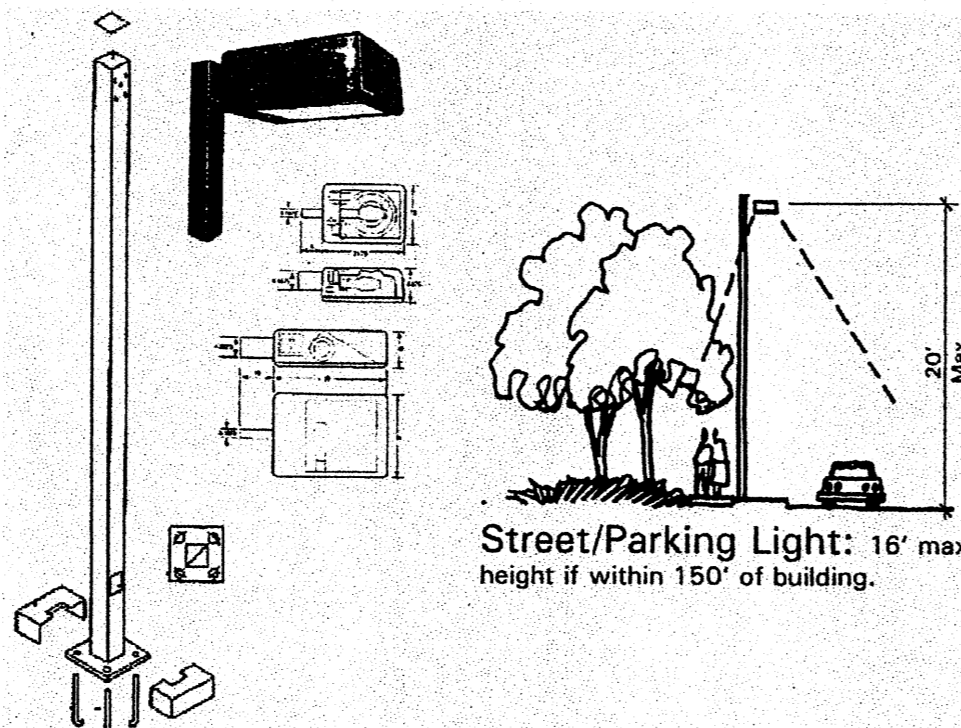
- 8-A 16-foot height for all walkways and entry plazas lighting fixtures.



Walkway Lighting

Walkway/Plaza Lighting

- 8-B 20-foot height for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.



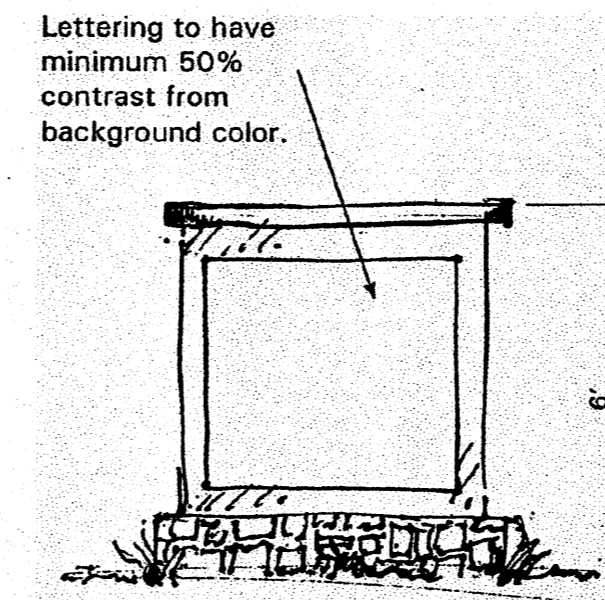
Street/Parking Light: 16' max height if within 150' of building.

- 8-C Exterior elevations of any building fronting a street or private internal driveway are encouraged to contain feature lighting to enhance the identity of the building and the appealing ambience of the total community.
- 8-D The use of spread lighting fixtures are required to accent landscapes and walkways. Up-lighting fixtures are not permitted.
- 8-E Placement of fixtures and standards shall conform to state and local safety and illumination requirements
- 8-C Exterior elevations of any building fronting a street or private internal driveway are encouraged to contain feature lighting to enhance the identity of the building and the appealing ambience of the total community.
- 8-D The use of spread lighting fixtures are required to accent landscapes and walkways. Up-lighting fixtures are not permitted.
- 8-E Placement of fixtures and standards shall conform to state and local safety and illumination requirements
- 8-F All light fixtures shall be shown as fully shielded horizontal lamps with no light, lens, or bulb protruding below the bottom of the cut-off fixture so that no fugitive light shall escape beyond the property line and no "site illumination" light source shall be visible from the site perimeter.
- 8-G High pressure sodium lighting shall be prohibited.

9. Signage Standards

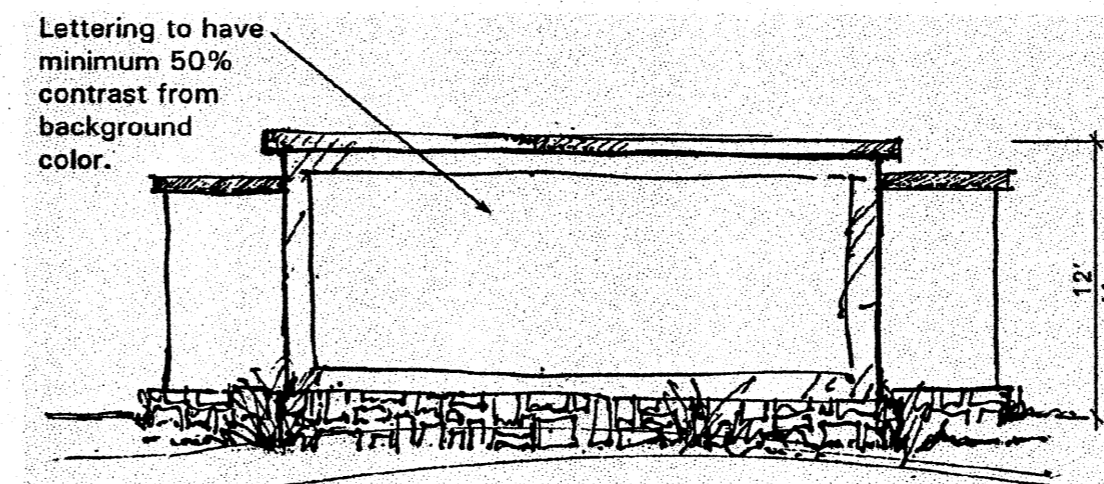
The signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within the Cibola Loop Subdivision. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development. The following are general standards for signage design and placement:

- 9-A No off-premise signs are allowed.
- 9-B Signs shall be limited to building-mounted wall signs and free-standing monument signs.
- 9-C All elements of a sign shall be maintained in a visually appealing manner.
- 9-D One building-mounted sign shall be permitted per façade, per business, provided it does not face residential areas.
- 9-E One free-standing business monument sign shall be permitted for each Tract.



Business Monument Sign: Sign face not to exceed 32 sq. ft.

- 9-F The height of a business monument sign shall not exceed 6 feet and the sign face shall not exceed 32 square feet.
- 9-G Individual buildings are allowed facade mounted signs provided they do not exceed 6% of the area of the facade to which it is applied.
- 9-H The height of a wall sign shall not exceed the height of the wall to which it is attached.
- 9-I The subdivision is allowed one Project Entry sign at the centralized right-in, right-out driveway on Ellison Drive. The height of the free-standing Project Entry sign shall not exceed 12 feet. The size of the sign face shall not exceed 75 square feet. Project entry signs' area shall not exceed 15 square feet per business in the Subdivision, pursuant to Section 14-16-3-5, General Sign Regulations.



Project Entry Sign: Sign face not to exceed 75 sq. ft.

- 9-J No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights (including searchlights used for promotional events).
- 9-K Signs that are portable, fixed on a moveable stand, self-supporting without being firmly embedded in the ground, supported by other objects, mounted on wheels or moveable vehicles, or easily moveable in any manner are not permitted.
- 9-L Signs located on rocks, trees, or other natural features are not permitted.
- 9-M Vinyl banner signs, vehicles used as sign mediums, roof mounted signs, and time/temperature signs are not permitted.
- 9-N All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- 9-O No sign shall overhang into the public right-of-way or extend above the building roof line.

10. Utility Standards

To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of the Cibola Loop Subdivision the following standards shall apply:

- 10-A All new electric distribution lines within the area shall be placed underground.
- 10-B When an above-ground back-flow prevention device is required, the heated enclosure shall be constructed of materials compatible with the architectural materials used with the main building.
- 10-C Transformers, utility pads, and telephone boxes shall be screened with walls and vegetation.
- 10-D All rooftop and ground-mounted equipment shall be screened from the public view by materials of the same nature as the building's basic materials.
- 10-E The top of all rooftop equipment shall be below the top of parapet or screened from view.
- 10-F Screen walls shall conceal all ground-mounted equipment with the top of equipment below the top of screen wall.
- 10-G If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

11. Open Space

On-site open space shall be provided to residents living on Tracts A and C as follows: 300 SF/bed for skilled nursing, Alzheimer living, and dementia care units, 400 SF for efficiencies and one bedroom apartments, 500 SF for two bedroom units and 600 SF for three bedroom units.

Open Space areas shall be a minimum of 20 feet wide in order to be considered for meeting the minimum open space area requirement.

Open Space areas around residential structures shall contain pedestrian amenities that encourage walking from one residence to another. Open areas larger than 10,000 SF in size shall also contain benches and/or outside seating for a minimum of 3 occupants per 10,000 SF of area.

12. Approvals Process

Upon approval of this SITE PLAN FOR SUBDIVISION, Tracts A, B, and C shall be required to obtain individual site development plan for building permit approval from EPC. Any subsequent subdivision of tracts A, B and C shall require approval from EPC.

13. Building Heights and Setbacks

Maximum allowed building heights shall be restricted to an elevation of 5,132 feet to the top of parapet and/or the top of screening elements for mechanical equipment and shall not exceed 54 feet for the residential uses, including the ancillary medical facilities and 26 feet for commercial uses. Buildings shall be located on each site according to the following minimum setback dimensions: 0 feet from the Ellison Drive right-of-way line. 20 feet from Cibola Loop right-of-way line. 10 feet from internal lot lines.

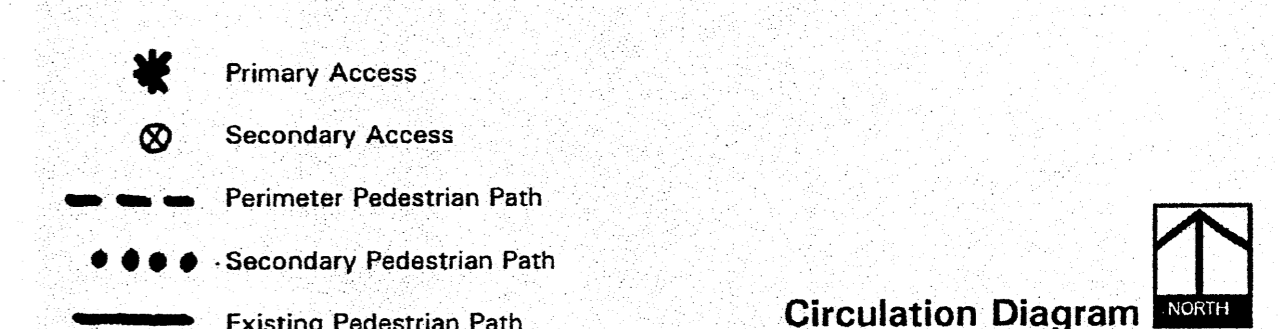
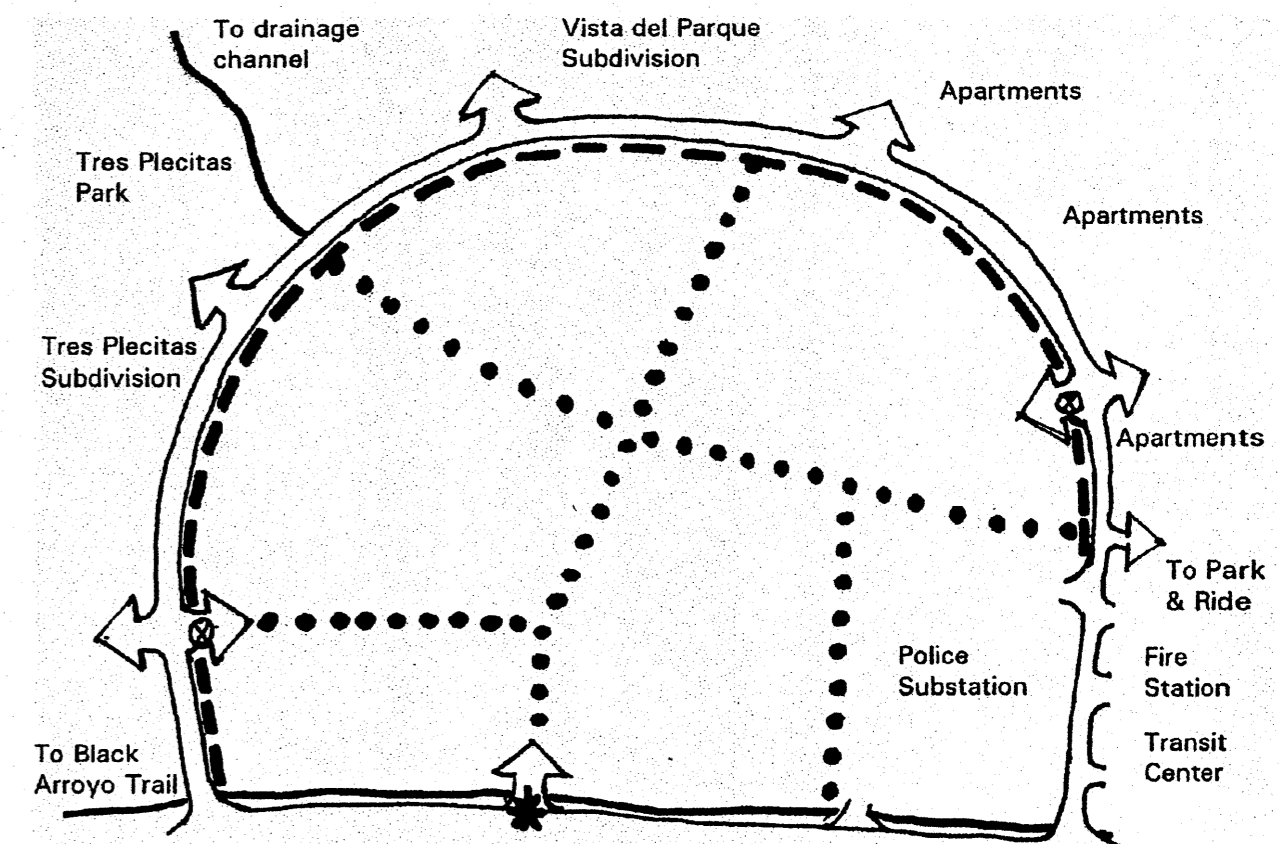
14. Restrictive Covenant Encumbrance

Quitclaim Deed

The property is conveyed subject to the following restriction which is a covenant running with the land in perpetuity:

The property shall be intended and operated for occupancy pursuant to the "Housing for Older Persons Act of 1995, as codified in part at 42 USC §3607(b)(2)(C) of the Fair Housing Act. The real property is intended and operated for occupancy by persons 55 years of age or older in that (i) at least 80 percent of the occupied units, regardless of ownership, must be occupied by at least one person 55 years of age or older; and (ii) the housing facility or community publishes and adheres to policies and procedures that demonstrate the intent required under this restrictive covenant; and (iii) the housing facility or community complies with rules issued by the Secretary of United States Housing and Urban Development (HUD) Department for verification of occupancy, which shall (I) provide for verification by reliable surveys and affidavits; and (II) include examples of the types of policies and procedures relevant to a determination of compliance with the requirements of (ii). Such surveys and affidavits shall be admissible in administrative and judicial proceedings for the purpose of such verification. This restrictive covenant may be enforced by the City of Albuquerque (City), HUD or any one or more of the owners of the real property subject to this restrictive covenant, their successors, heirs and representatives.

This restriction contemplates and does not prevent the use of the subject land for a planned residential community that includes single unit dwellings, multi-unit dwellings, a combination of types of dwellings as well as a (1) a community or recreational facility open only to residents and their guests so long as such facility with its grounds does not exceed 5% of the total acreage of subject to this restriction; (2) common area gardens and walkways; (3) an institution which includes various levels of independent and assisted living facilities up to and including limited care, nursing home, rest home and hospice as well as townhouses, condos and apartments which are part of such facilities, whether units are owned individually or owned by a corporate entity and leased to residents, as well as the related amenities of such a residential facility; and (4) a stand-alone office-retail structure or multiple stand-alone office or retail structures on a single or multiple pads, not to exceed 14,000 square feet in the aggregate intended to provide services to the residences of the community. All uses must be consistent with approved zoning.



CIBOLA LOOP
SITE PLAN FOR SUBDIVISION

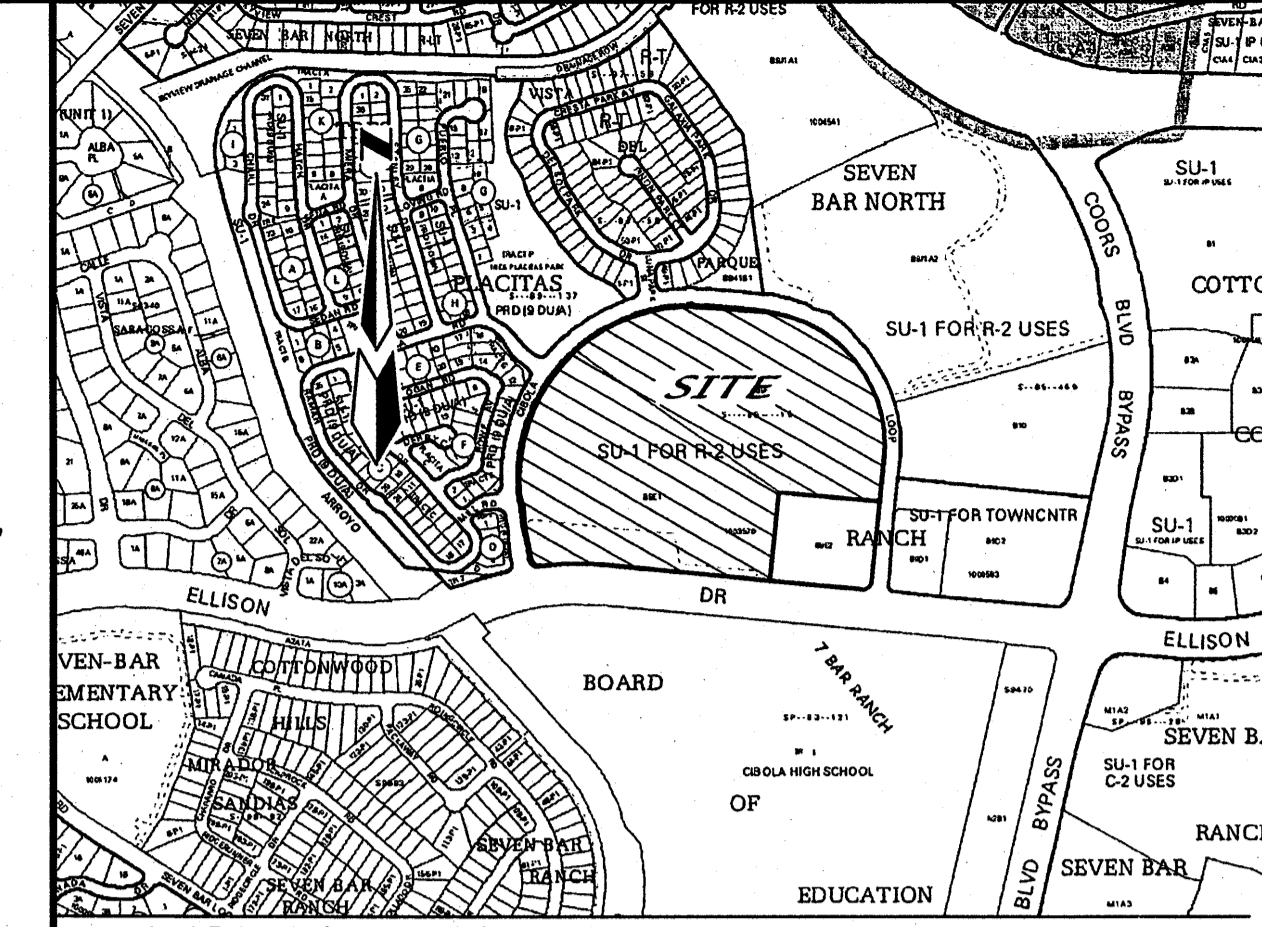
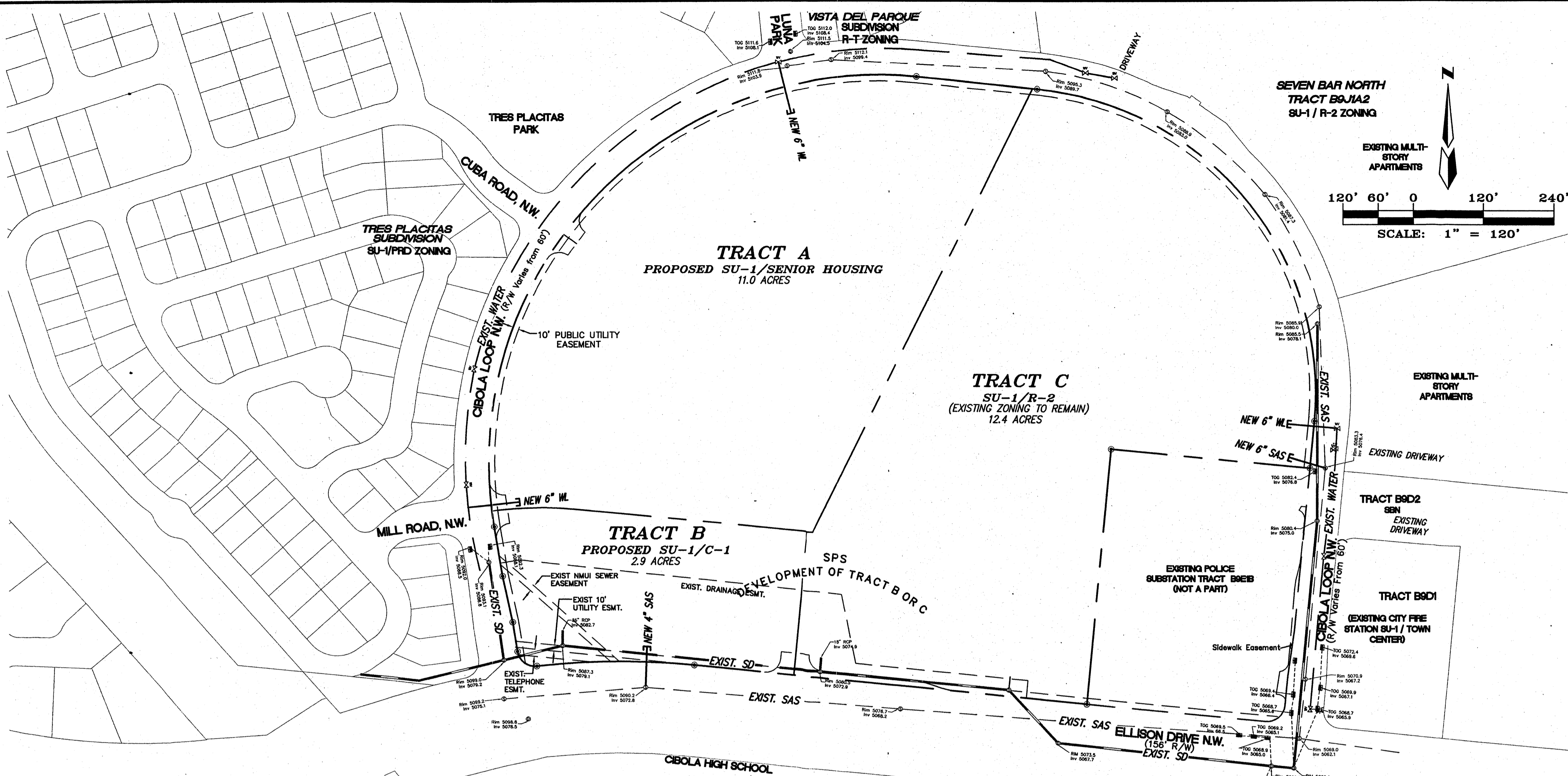
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Revision One 06/06/08
Revision Two 07/01/08
Revision Three 03/30/09

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 3 of 5
Scale: 1" = 100'	Date: 6/26/2008	Job: A08016	

1. THIS SITE IS LOCATED WITHIN THE NEW MEXICO UTILITIES, INC. SERVICE AREA. N.M.U.I. HAS ISSUED A LETTER OF AVAILABILITY INDICATING THAT IT IS ABLE TO SERVE THIS DEVELOPMENT.
2. THERE IS CURRENTLY EXISTING WATER AND SEWER INFRASTRUCTURE SURROUNDING THE SUBJECT PROPERTY.
3. THE FINAL LOCATING OF FIRE HYDRANTS WILL BE SUBJECT TO THE APPROVAL OF THE C.O.A. FIRE MARSHALL.



LEGAL DESCRIPTION

TRACTS B-9F-1 AND B-9E-1-A OF SEVEN BAR RANCH, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO IN BOOK 2008C, PAGE 26, ON FEBRUARY 13, 2008.

Conceptual Drainage Plan

Existing Drainage Conditions:

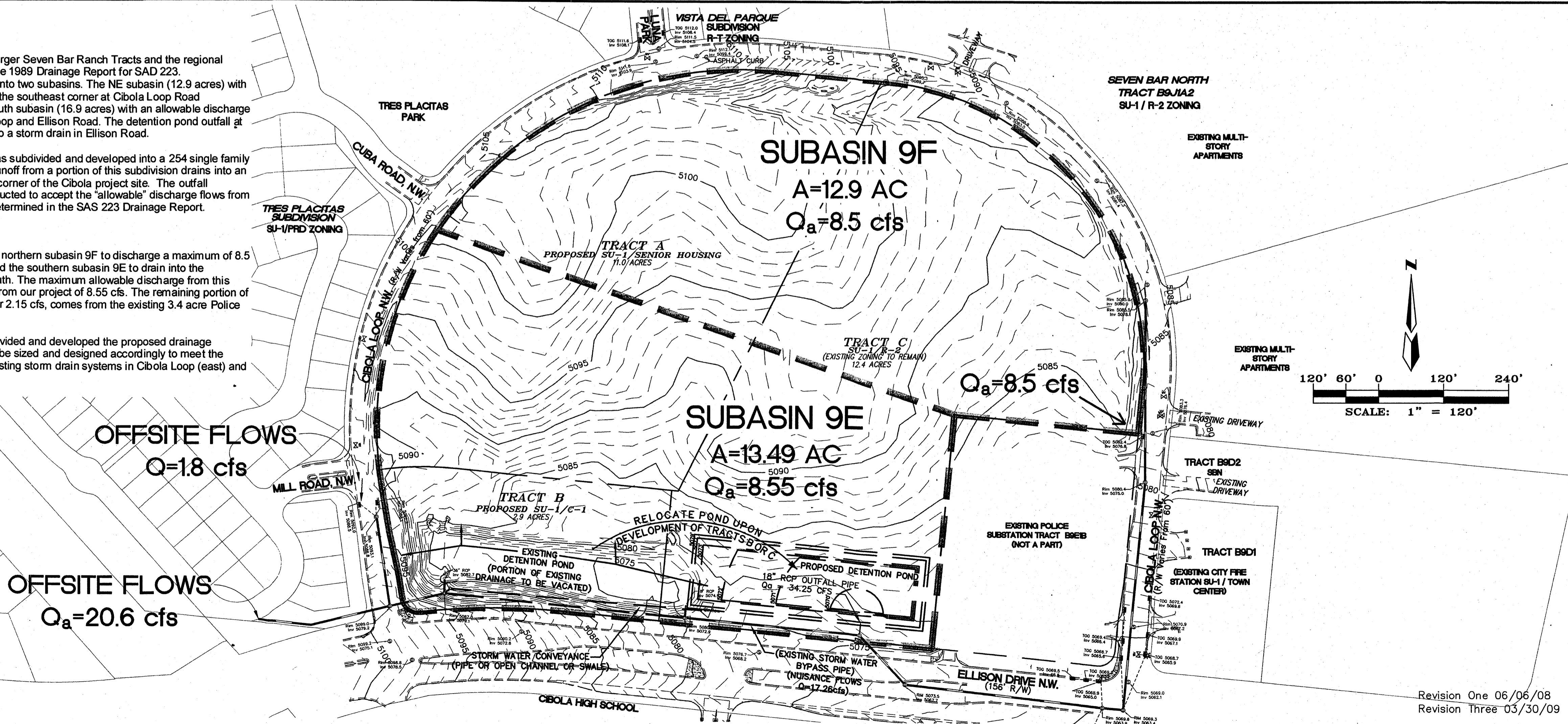
Originally the Cibola project site was part of the larger Seven Bar Ranch Tracts and the regional master drainage plan was developed as part of the 1989 Drainage Report for SAD 223. In that report, the Cibola project site was divided into two subbasins. The NE subbasin (12.9 acres) with an allowable discharge of 8.5 cfs was directed to the southeast corner at Cibola Loop Road approximately 200' north of Ellison Road. The South subbasin (16.9 acres) with an allowable discharge of 10.7 cfs was directed to the corner of Cibola Loop and Ellison Road. The detention pond offfall at the southeast corner of the pond conveys runoff to a storm drain in Ellison Road.

In 1998 the offsite area west of the project site was subdivided and developed into a 254 single family subdivision known as Tres Placitas. Developed runoff from a portion of this subdivision drains into an existing detention pond located at the southwest corner of the Cibola project site. The outfall structure from this pond was designed and constructed to accept the "allowable" discharge flows from Subbasin 9E. the allowable peak discharge was determined in the SAS 223 Drainage Report.

Proposed Drainage Conditions:

The proposed conceptual drainage plan is for the northern subbasin 9F to discharge a maximum of 8.5 cfs into the existing storm drain in Cibola Loop and the southern subbasin 9E to drain into the proposed and relocated detention pond to the south. The maximum allowable discharge from this pond is 34.25 cfs with the allowable contribution from our project of 8.55 cfs. The remaining portion of the allowable 10.7 cfs from the SAD 223 report, or 2.15 cfs, comes from the existing 3.4 acre Police Station to the east.

Depending on how this project site ultimately is divided and developed the proposed drainage subbasins will be revised and detention ponds will be sized and designed accordingly to meet the maximum allowable discharge criteria into the existing storm drain systems in Cibola Loop (east) and Ellison Road (south).



LEGEND

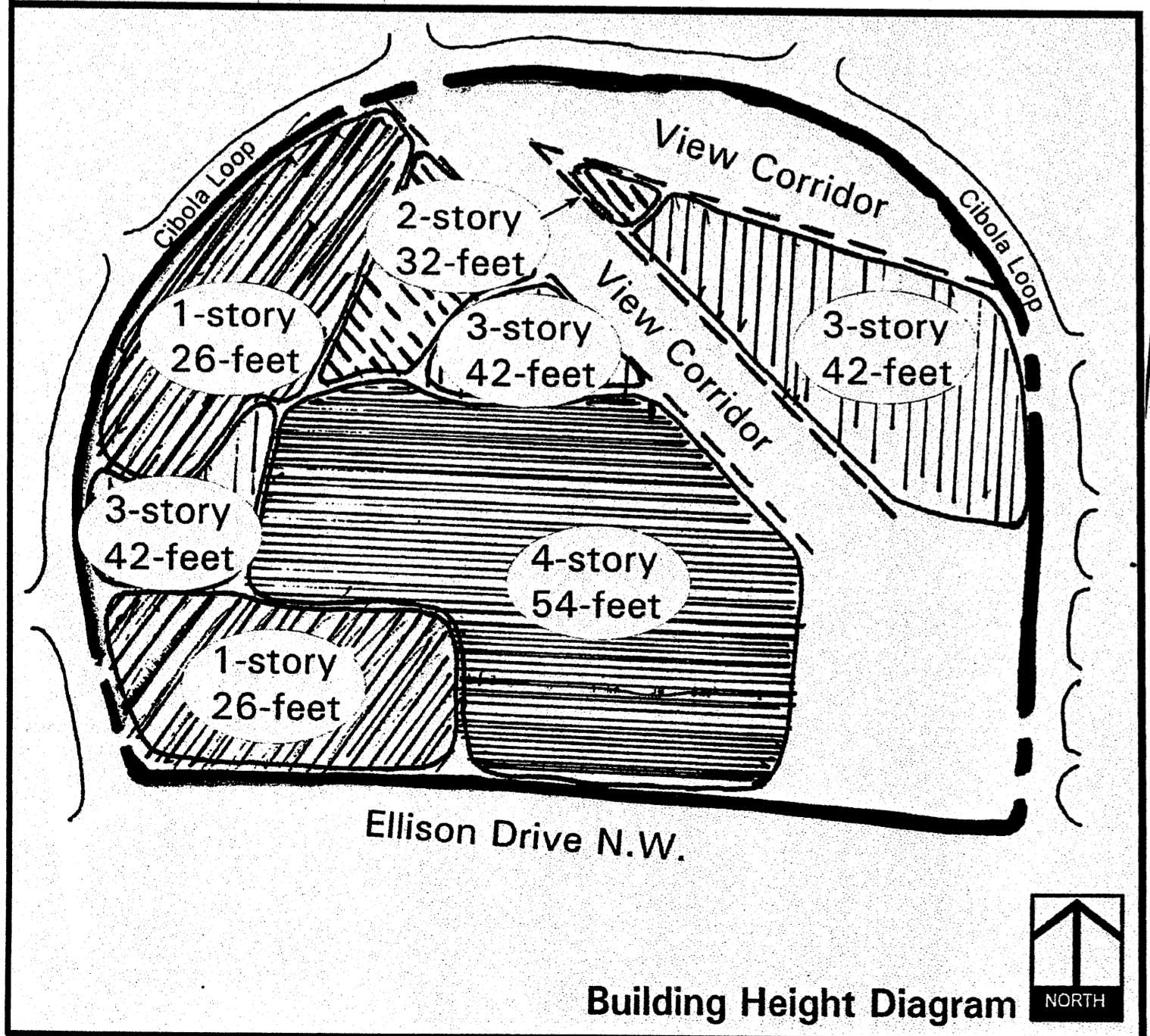
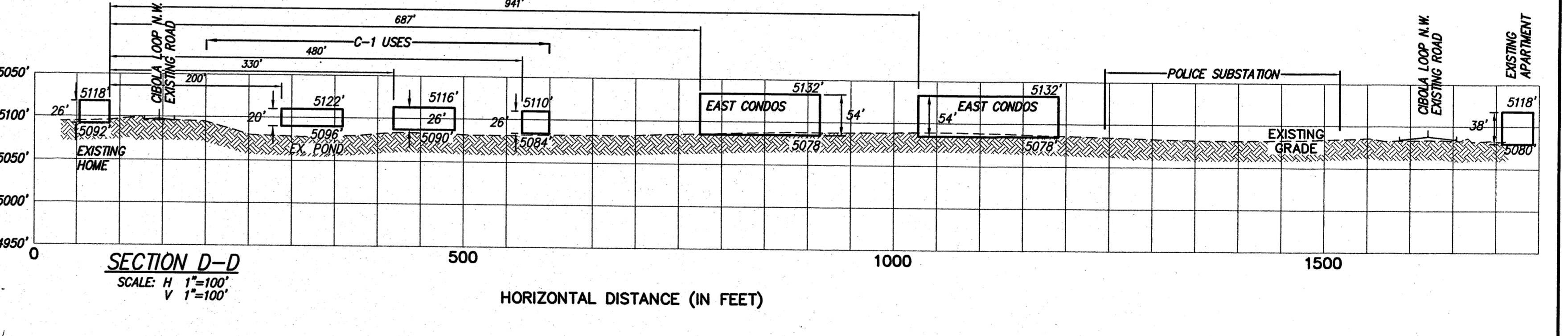
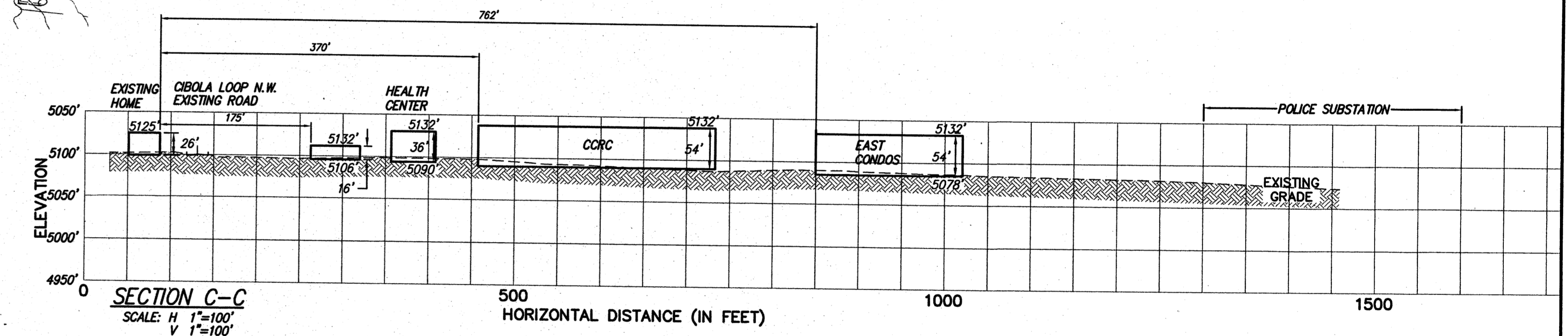
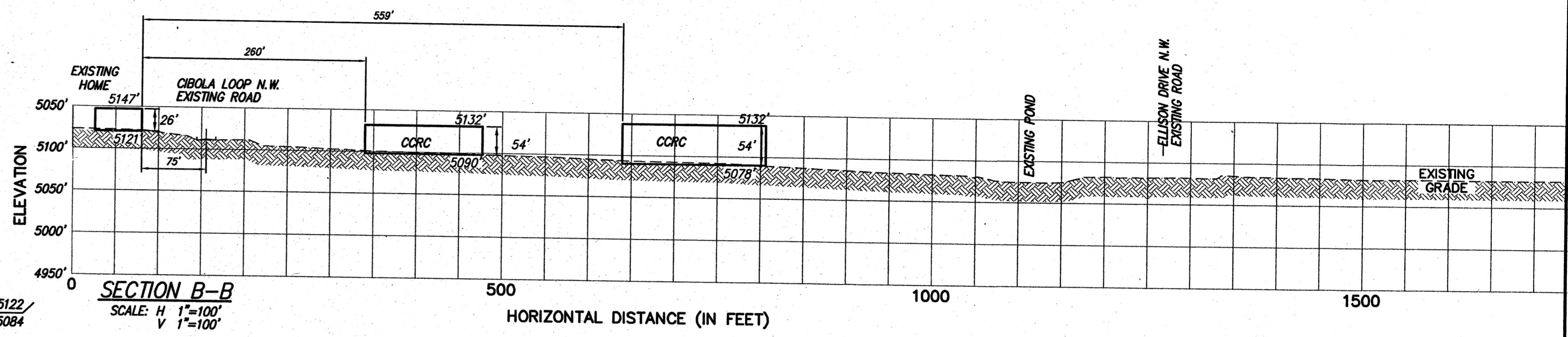
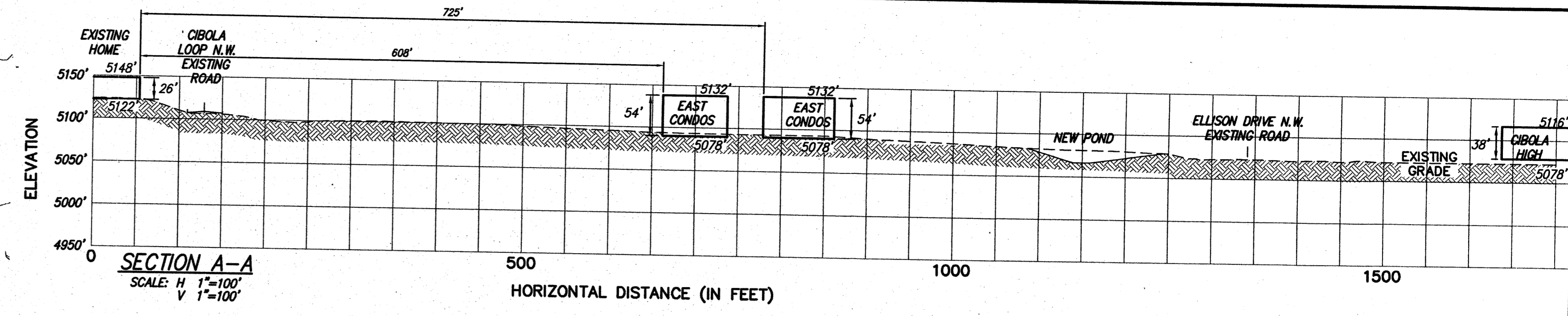
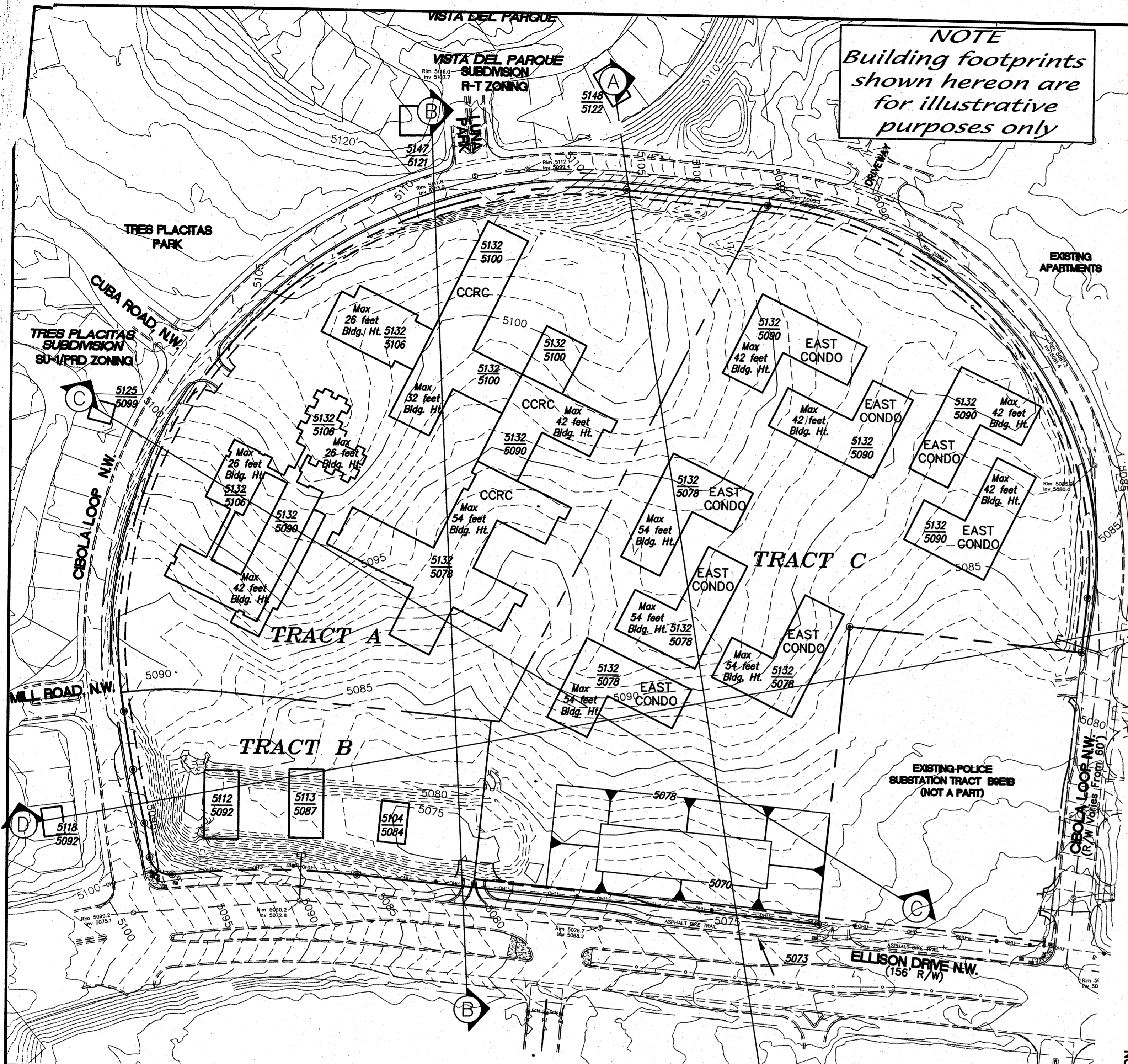
---	DRAINAGE BASIN BOUNDARY
---	NEW WL
---	NEW SAS
---	NEW WATER LINE
---	NEW SANITARY SEWER
●	NEW FIRE HYDRANT
●	NEW SAS MANHOLE
○	EXISTING SEWER MANHOLE
○	EXISTING STORM DRAIN MANHOLE
○	EXISTING UTILITY PEDESTAL
○	EXISTING WATER METER
○	EXISTING UTILITY POLE
○	EXISTING LIGHT POLE
○	EXISTING ANCHOR
○	EXISTING OVERHEAD UTILITY LINES
○	EXISTING EXIST. CURB
○	EXISTING CHAIN LINK FENCE
○	EXISTING TRAFFIC SIGNAL BOX
○	EXISTING FIRE HYDRANT
○	EXISTING WATER VALVE
○	EXISTING UNKNOWN MANHOLE
○	EXISTING CABLE SIGN
○	EXISTING SIGN

Q_a 100yr. ALLOWABLE DISCHARGE

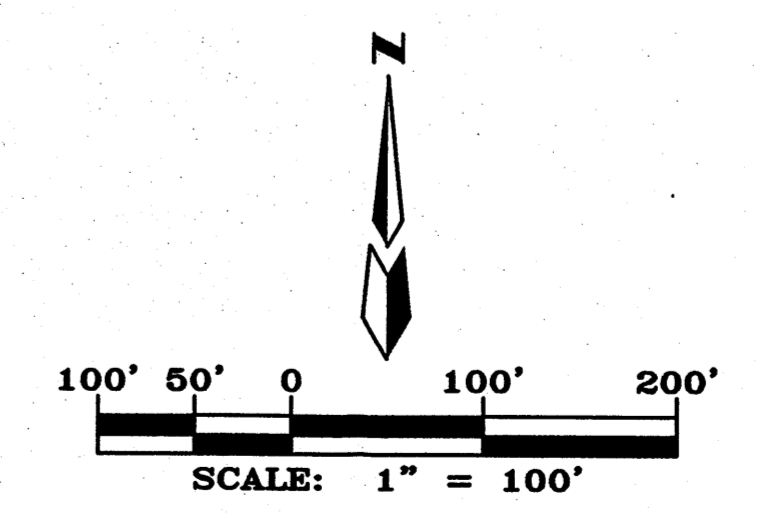
CIBOLA LOOP CONCEPTUAL UTILITY & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 4 of 5
Scale: 1" = 60'	Date: 3/25/2009	Job: A06040	



5132 MAX. TOP OF BUILDING ELEVATION
5091 FINISH FLOOR ELEVATION
(FLOORS MAY BE ADJUSTED UP OR DOWN TO ACCOMMODATE FINAL SITE GRADING NEEDS.)



CIBOLA LOOP
VIEW SHED/MAXIMUM BUILDING ELEVATIONS EXHIBIT

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Revision One 06/06/08
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Scale: 1" = 100'	Date: 3/25/2009	Job: A0816	