

SUBDIVISION DATA

GROSS ACREAGE	26.3794 Acres
ZONE ATLAS NO.	A-13-Z
NO. OF EXISTING TRACTS	2
NO. OF TRACTS CREATED	3
AREA DEDICATED TO CITY OF ALBUQUERQUE	0.0667 Acres
DATE OF SURVEY	MARCH, 2008
TALOS LOG NUMBER	2006372552

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public right-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Vientecillo, LLC
Michael E. Malouff
Managing Member

Michael E. Malouff Managing Member **3-12-09**
Michael E. Malouff, Managing Member DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on **3-12-2009**
By Michael E. Malouff, Managing Member, Vientecillo LLC, a New Mexico Limited Liability Company on behalf of said Company

Michael E. Malouff **4-5-2011**
NOTARY PUBLIC MY COMMISSION EXPIRES

LEGAL DESCRIPTION

A certain parcel of land situate within projected Section 6, Township 11 North, Range 3 East, NMPM, Town of Alameda Grant, being comprised of Tracts B-9F-1 and B-9E-1-A, Seven Bar Ranch, as the same are shown and designated on the plat thereof, filed in the office of the county clerk of Bernalillo County, New Mexico on February 13, 2008 in Book 2008C, Page 26 and being described by metes and bounds as follows:

Beginning at a point on the Northerly Right of Way of Ellison Drive NW, being the Southeast corner of the herein described parcel, whence a tie to ACS monument "NM 448-N12" bears S 69°19'30" E, a distance of 4610.88 feet;

Thence, from the point of beginning, coinciding said right of way the following two courses:

N 84°30'17" W, a distance of 675.76 feet to a point of curvature;
269.61 feet along an arc to the left, having a radius of 1278.00 feet, a delta of 12°05'14" and a chord of S 89°27'06" W, a distance of 269.11 feet to a point of reverse curvature;

Thence, 45.66 feet along an arc to the right, having a radius of 30.00 feet, a delta of 87°11'44" and a chord of N 52°59'39" W, a distance of 41.38 feet to a point on the easterly right of way of Cibola Loop N.W., being a point of tangency;

Thence, coinciding said Cibola Loop right of way the following 7 courses:

N 09°23'51" W, a distance of 50.00 feet to an angle point;
N 12°15'36" W, a distance of 80.10 feet to an angle point;
N 09°23'51" W, a distance of 86.26 feet to a point of curvature;
1226.05 feet along an arc to the right, having a radius of 670.00 feet, a delta of 104°50'50" and a chord of N 43°01'34" E, distance of 1062.01 feet to a point of tangency;
S 84°33'01" E, a distance of 206.75 feet to a point of curvature;
823.10 feet along an arc to the right, having a radius of 524.00 feet, a delta of 90°00'01" and a chord of S 39°33'00" E, a distance of 741.05 feet to a point of tangency;
S 05°27'00" W, a distance of 81.53 feet;

Thence, leaving said right of way, N 84°30'47" W, a distance of 340.16 feet to an angle point;

Thence, S 05°29'12" W, a distance of 438.45 feet to the point of beginning, containing 26.3794 acres (1,149,085 sq. ft.) more or less.

"NOTICE OF SUBDIVISION PLAT VARIANCE"

Tracts A, B and C, Cibola Loop
Albuquerque, Bernalillo County, New Mexico

The plat for Tracts A, B, and C, Cibola Loop, Albuquerque, Bernalillo County, New Mexico, has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning site development plan approvals, and development permits may be conditioned upon dedication of rights-of-way and easements, and/or upon infrastructure improvements by the owner of water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified or removed when future plats and/or site development plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; and excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all or from a portion of the area within the subject subdivision.

PURPOSE OF PLAT

- SUBDIVIDE TWO (2) TRACTS INTO THREE (3) TRACTS
- GRANT NEW EASEMENTS AS SHOWN HEREON
- DEDICATE RIGHT-OF-WAY AS SHOWN HEREON

NOTES

- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES THE ACS MONUMENTS SHOWN HEREON, HAVING STATE PLANE COORDINATES (GRID-NAD83).
- SOLAR NOTE:** No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being install on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

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**BULK LAND PLAT FOR
CIBOLA LOOP SUBDIVISION
WITHIN
TOWN OF ALAMEDA GRANT
PROJECTED SECTION 6,
TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO
PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2009**

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1003570

Application Number: 09DRB 70108

PLAT APPROVAL

Utility Approvals:

<i>Lernando Vigil</i> Public Service Company of New Mexico	<u>4-20-09</u> Date
<i>Chris [Signature]</i> New Mexico Gas Company	<u>4/20/2009</u> Date
<i>Michael Ramirez</i> Qwest Telecommunications	<u>04/20/09</u> Date
<i>Robert Martin</i> Comcast	<u>4-20-09</u> Date

City Approvals:

<i>[Signature]</i> City Surveyor	<u>3-12-09</u> Date
N/A Real Property Division	<u>04/17/09</u> Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	<u>4-8-09</u> Date
<i>[Signature]</i> Albuquerque Bernalillo Water Utility Authority	<u>4/8/09</u> Date
<i>Christina Sandoval</i> Parks and Recreation Department	<u>4/8/09</u> Date
<i>Bradley B. Bingham</i> AMAFCA	<u>4/8/09</u> Date
<i>Bradley B. Bingham</i> City Engineer	<u>4/29/09</u> Date
<i>Jack Cloud</i> DRB Chairperson, Planning Department	<u>4/29/09</u> Date

SURVEYOR'S CERTIFICATION:

"I, Will W. Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Will Plotner 3/12/09
Will W. Plotner Jr. R.P.S. No. 14271 Date



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

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Scale: AS SHOWN	Date: 2/17/2009	Job: A08016	

**BULK LAND PLAT FOR
CIBOLA LOOP SUBDIVISION**

WITHIN
TOWN OF ALAMEDA GRANT
PROJECTED SECTION 6,
TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO
PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2009

DOCH 2009046789
04/29/2009 03:21 PM Page: 2 of 3
PLAT R: \$17.00 B: 2009C P: 0055 N: Toulous Olivera, Bernalillo Cour

Easement Notes

- ① EXISTING 10 FOOT UTILITY EASEMENT AS SHOWN ON THE PLAT "TRACTS B-9D THRU B-9K" (12/21/89, VOL. C40, FOL. 75)
- ② EXISTING 10 FOOT PNM AND MOUNTAIN BELL EASEMENT (2/21/86, BK. 323A, PG. 942)
- ③ EXISTING DRAINAGE EASEMENT (5/5/99, BK. 9906, PG. 9917)
- ④ EXISTING 12' MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO. EASEMENT (11/8/85, BK. C28, PG. 161)
- ⑤ EXISTING 50' RADIUS TEMPORARY TURNING EASEMENT PER PLAT (11/8/85, BK. C28, PG. 161)
- ⑥ EXISTING NEW MEXICO UTILITIES SEWER EASEMENT (12/5/74, BK. 397, PG. 673)

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. New Mexico Gas Company for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
2. Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonable necessary to provide electrical service.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Cable TV for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

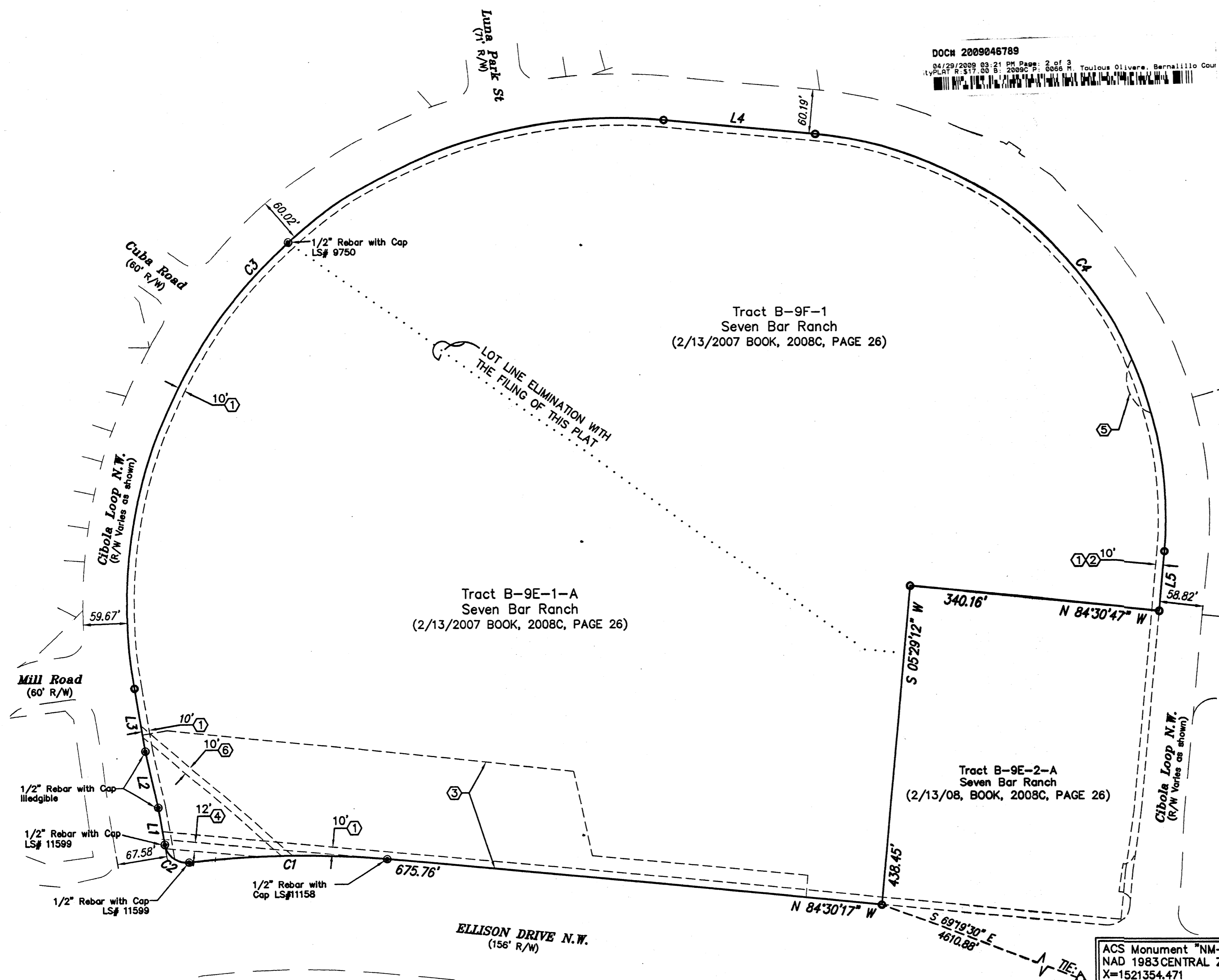
Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from, and over said right of way and easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, and to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon.

Disclaimer:
In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.



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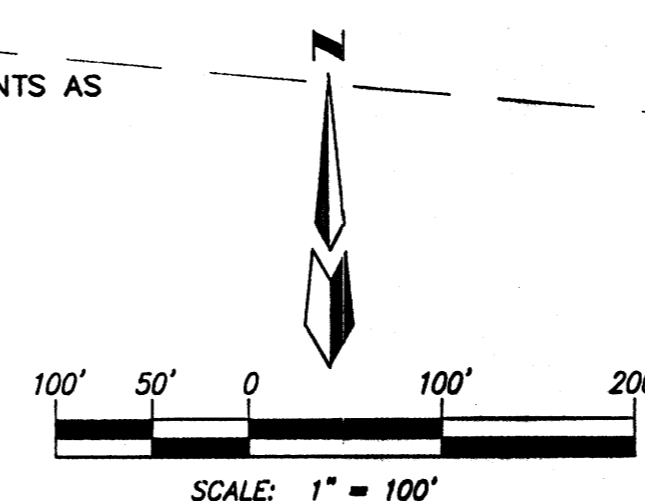
- Legend**
- SET BATHEY MARKER WITH CAP "LS 14271"
 - FOUND AS INDICATED

SURVEY NOTE:
RECORD INFORMATION MATCHES FIELD MEASUREMENTS AS REFLECTED HEREON

ACS Monument "NM-448-N12"
NAD 1983 CENTRAL ZONE
X=1521354.471
Y=1528973.229
Z=5026.132 (NAVD 1988)
G-G=0.999679709
Delta Alpha=-0'13'47.11"

LINE	BEARING	LENGTH
L1	N09°23'51"W	50.00'
L2	N12°15'36"W	80.10'
L3	N09°23'51"W	86.26'
L4	S84°33'01"E	206.75'
L5	S05°27'00"W	81.53'

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	1278.00'	269.61'	12°05'14"	135.31'	S89°27'06"W	269.11'
C2	30.00'	45.66'	87°11'44"	28.57'	N52°59'39"W	41.38'
C3	670.00'	1226.05'	104°50'50"	870.76'	N43°01'34"E	1062.01'
C4	524.00'	823.10'	90°00'01"	524.00'	S39°33'00"E	741.05'



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**BULK LAND PLAT FOR
CIBOLA LOOP SUBDIVISION**

WITHIN
TOWN OF ALAMEDA GRANT
PROJECTED SECTION 6,
TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO
PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2009

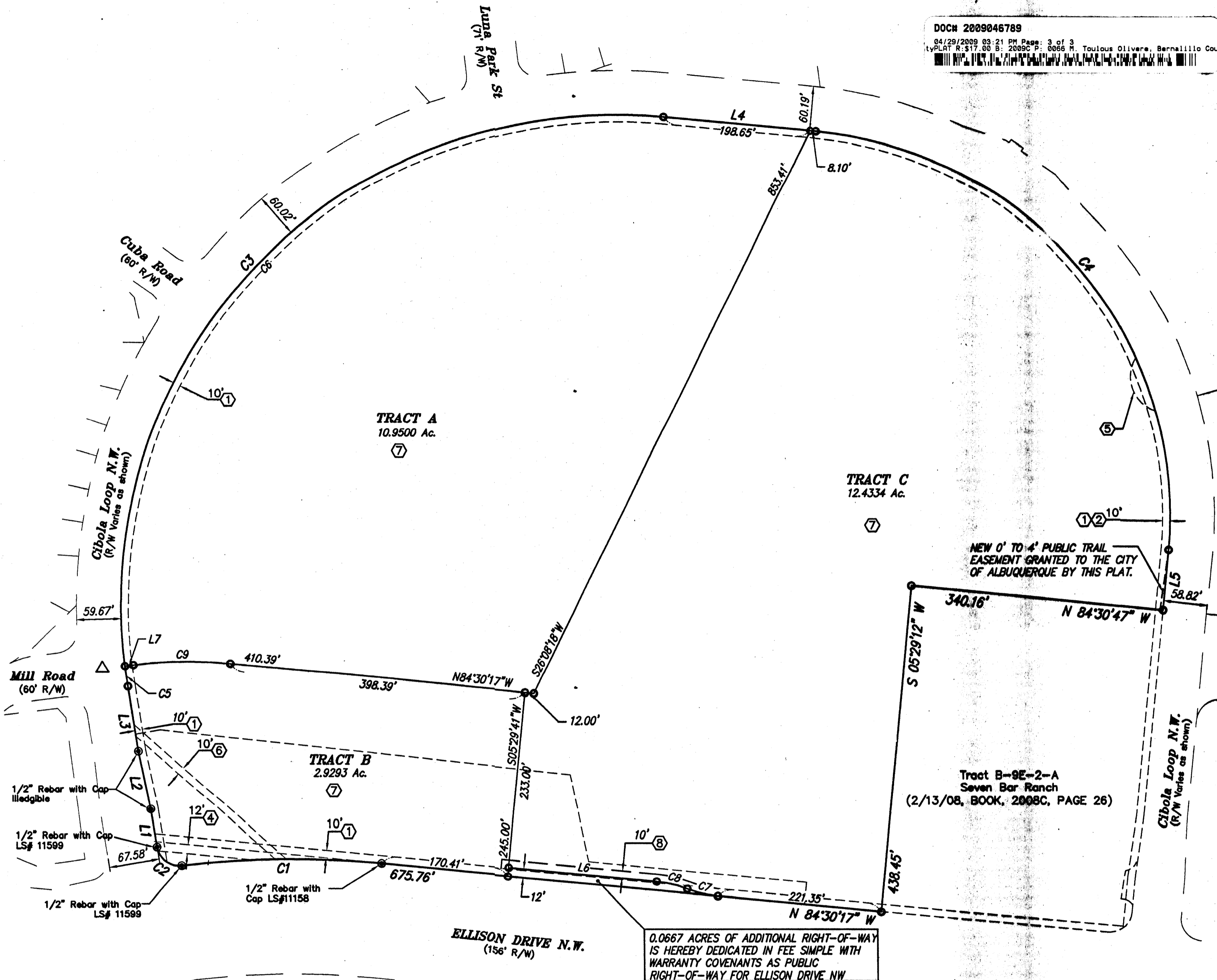
DOCH 2009046789

04/29/2009 03:21 PM Page: 3 of 3

PLAT R: \$17.00 B: 2009C P: 0066 M. Toulouse Olivera, Bernalillo Cour

Easement Notes

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- ⑥ EXISTING NEW MEXICO UTILITIES SEWER EASEMENT (12/5/74, BK. 397, PG. 673)
- ⑦ NEW RECIPROCAL CROSS LOT ACCESS AND DRAINAGE EASEMENT SHALL BE GRANTED TO TRACTS A, B, AND C BY THIS PLAT. THIS EASEMENT SHALL JOINTLY BENEFIT AND BE MAINTAINED BY SAID BENEFICIARIES.
- ⑧ NEW PUBLIC UTILITY EASEMENT GRANTED WITH THIS PLAT. (SEE PUE NOTE SHEET 2 OF 3)

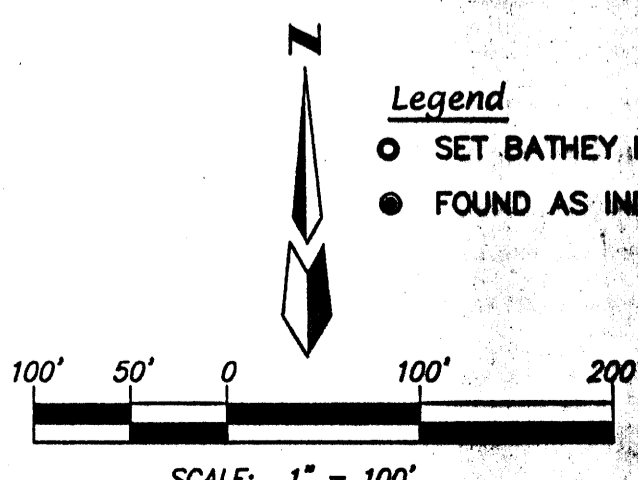


LINE TABLE

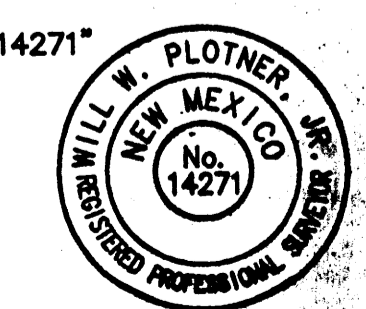
LINE	BEARING	LENGTH
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L4	S84°33'01"E	206.75'
L5	S05°27'00"W	81.53'
L6	N84°30'17"W	200.00'
L7	N82°59'03"E	11.24'

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	1278.00'	269.61'	12°05'14"	135.31'	S89°27'06"W	269.11'
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C4	524.00'	823.10'	90°00'01"	524.00'	S39°33'00"E	741.05'
C5	670.00'	27.85'	2°22'54"	13.93'	S08°12'24"E	27.85'
C6	670.00'	1198.20'	102°27'56"	834.29'	S44°13'01"W	1044.79'
C7	150.00'	42.57'	16°15'37"	21.43'	S76°22'29"E	42.43'
C8	150.00'	42.57'	16°15'37"	21.43'	N76°22'29"W	42.43'
C9	600.00'	131.01'	12°30'40"	65.77'	S89°14'23"W	130.75'

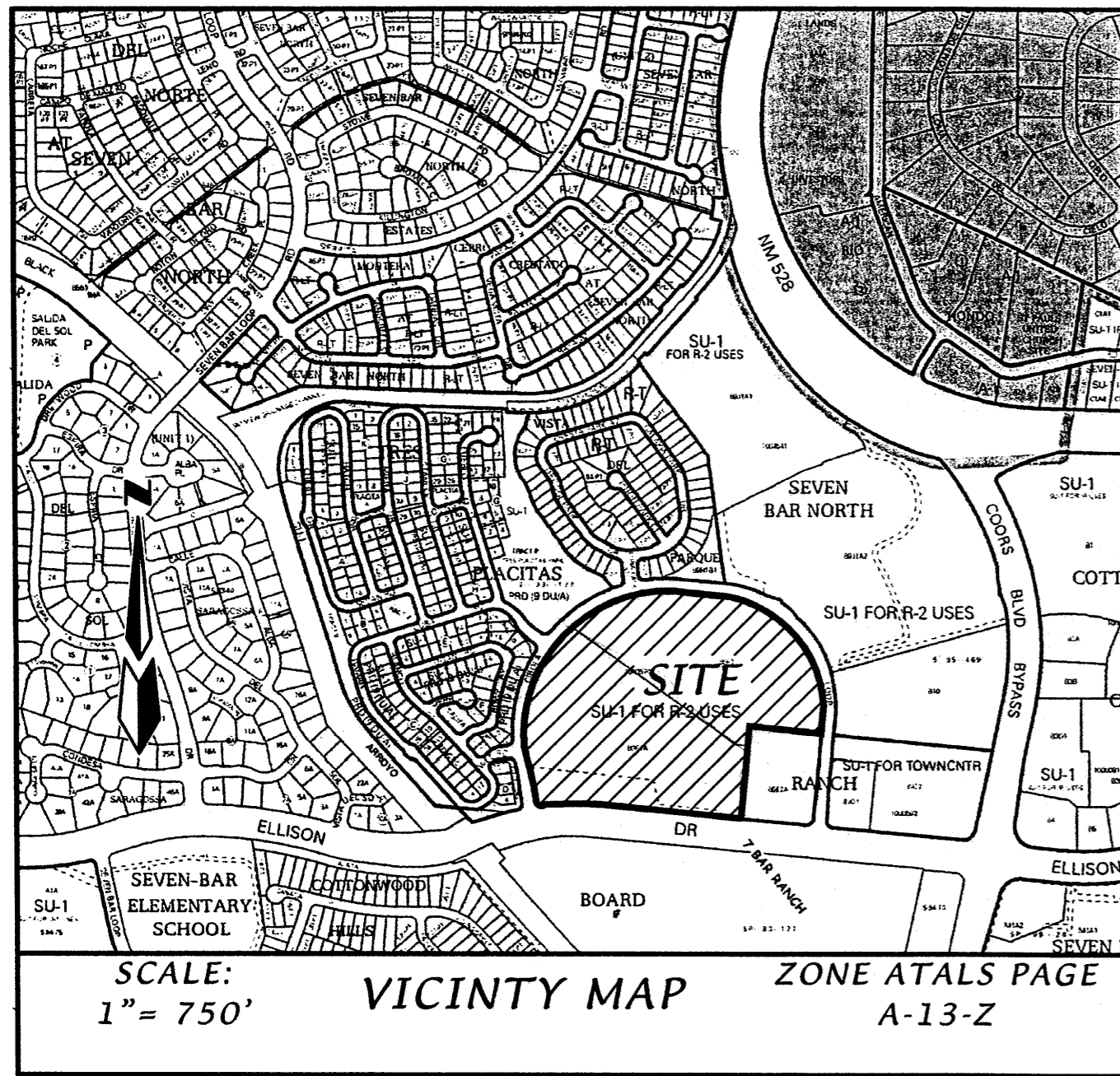


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LEGAL DESCRIPTION

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**BULK LAND PLAT FOR
CIBOLA LOOP SUBDIVISION**

WITHIN
 TOWN OF ALAMEDA GRANT
 PROJECTED SECTION 6,
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 PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2009

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

Public Service Company of New Mexico _____ Date _____

New Mexico Gas Company _____ Date _____

Qwest Telecommunications _____ Date _____

Comcast _____ Date _____

City Approvals: W. B. Stal 3-12-09
 City Surveyor _____ Date _____

Real Property Division _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Albuquerque Bernalillo Water Utility Authority _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

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1. SUBDIVIDE TWO (2) TRACTS INTO THREE (3) TRACTS.
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3. DEDICATE RIGHT-OF-WAY AS SHOWN HEREON

NOTES

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SURVEYOR'S CERTIFICATION:

"I, Will W. Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Will W. Plotner Jr. 3/12/09
 Will W. Plotner Jr. R.P.S. No. 14271 _____ Date _____

CARTESIAN SURVEYS INC.

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 NO. OF EXISTING TRACTS 2
 NO. OF TRACTS CREATED 3
 AREA DEDICATED TO CITY OF ALBUQUERQUE 0.0667 Acres
 DATE OF SURVEY MARCH, 2008
 TALOS LOG NUMBER 2006372552

FREE CONSENT AND DEDICATION

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Vientecillo, LLC
 Michael E. Malouff
 Managing Member

Michael E. Malouff Managing Member 3-12-09
 Michael E. Malouff, Managing Member _____ DATE _____

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

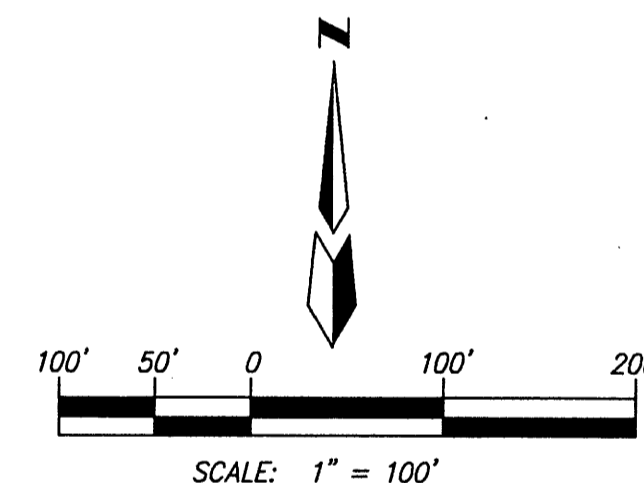
This instrument was acknowledged before me on 3-12-2009
 By Michael E. Malouff, Managing Member, Vientecillo LLC, a New Mexico Limited Liability Company on behalf of said Company

Michael E. Malouff 4-5-2011
 NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

BULK LAND PLAT FOR
CIBOLA LOOP SUBDIVISION
 WITHIN
 TOWN OF ALAMEDA GRANT
 PROJECTED SECTION 6,
 TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO
 PRINCIPAL MERIDAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2009

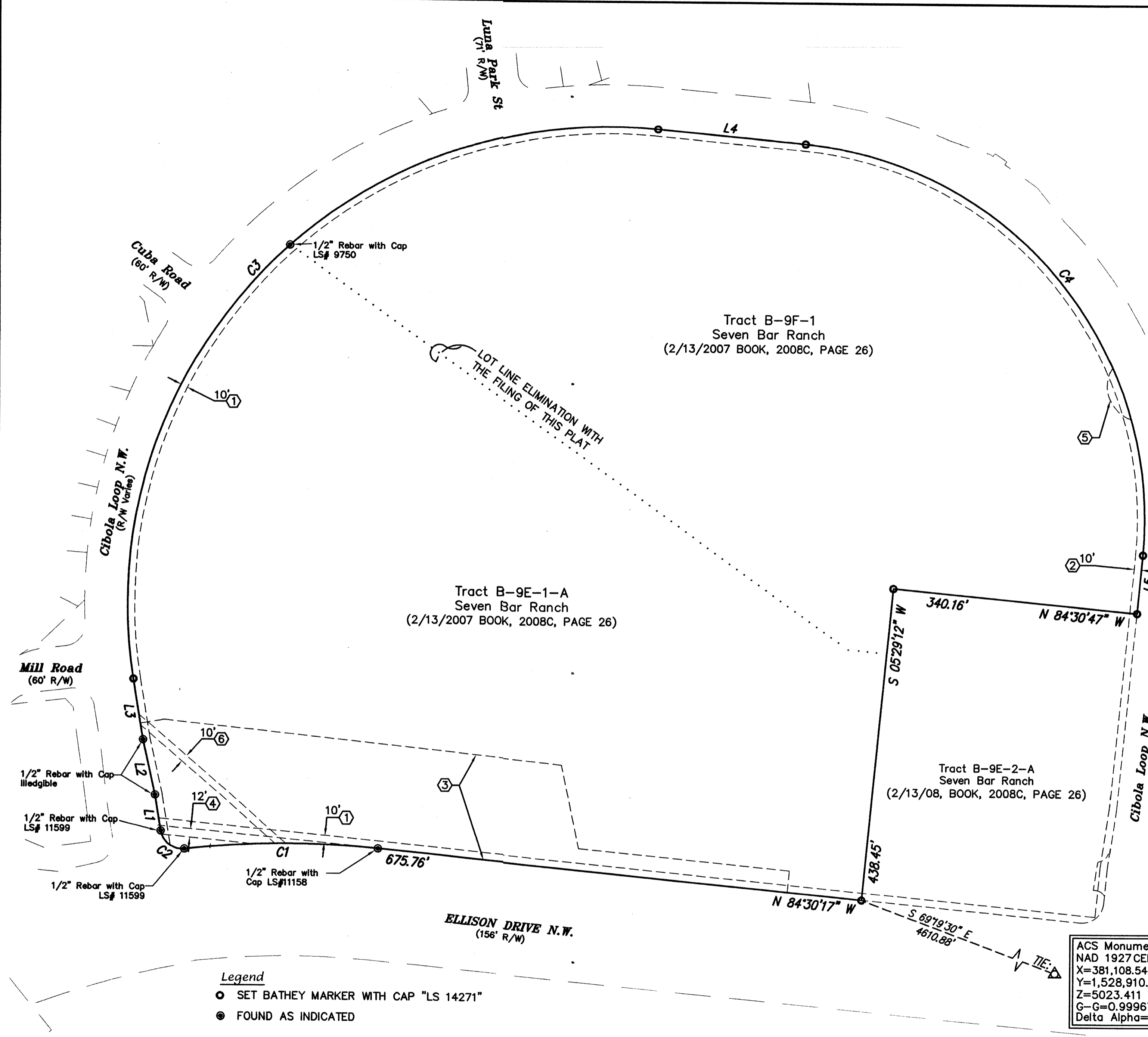
Easement Notes

- ① EXISTING 10 FOOT UTILITY EASEMENT AS SHOWN ON THE PLAT "TRACTS B-9D THRU B-9K" (12/21/89, VOL. C40, FOL. 75)
- ② EXISTING 10 FOOT PNM AND MOUNTAIN BELL EASEMENT (2/21/86, BK. 323A, PG. 942)
- ③ EXISTING DRAINAGE EASEMENT (5/5/99, BK. 9906, PG. 9917)
- ④ EXISTING 12' MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO. EASEMENT (11/8/85, BK. C28, PG. 161)
- ⑤ EXISTING 50' RADIUS TEMPORARY TURNING EASEMENT PER PLAT (11/8/85, BK. C28, PG. 161)
- ⑥ EXISTING NEW MEXICO UTILITIES SEWER EASEMENT (12/5/74, BK. 397, PG. 673)



SURVEY NOTE:
 RECORD INFORMATION MATCHES FIELD MEASUREMENTS AS REFLECTED HEREON

ACS Monument NM448-N12
 NAD 1927 CENTRAL ZONE
 X=381,108.54
 Y=1,528,910.94
 Z=5023.411 (NAVD 1929)
 G-G=0.99967595
 Delta Alpha=-0°13'46"



Legend

- SET BATHEY MARKER WITH CAP "LS 14271"
- FOUND AS INDICATED

LINE TABLE

LINE	BEARING	LENGTH
L1	N09°23'51"W	50.00'
L2	N12°15'36"W	80.10'
L3	N09°23'51"W	86.26'
L4	S84°33'01"E	206.75'
L5	S05°27'00"W	81.53'

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	1278.00'	269.61'	12°05'14"	135.31'	S89°27'06"W	269.11'
C2	30.00'	45.66'	87°11'44"	28.57'	N52°59'39"W	41.38'
C3	670.00'	1226.05'	104°50'50"	870.76'	N43°01'34"E	1062.01'
C4	524.00'	823.10'	90°00'01"	524.00'	S39°33'00"E	741.05'



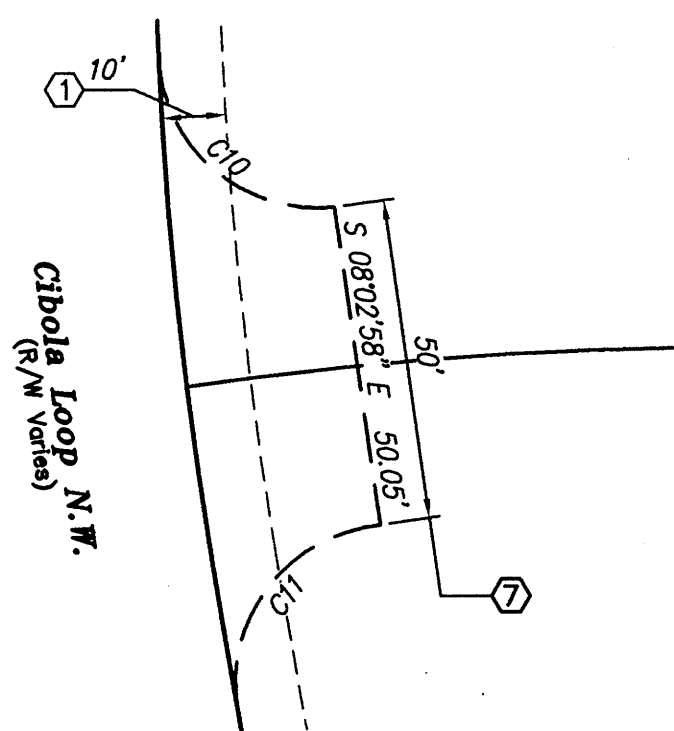
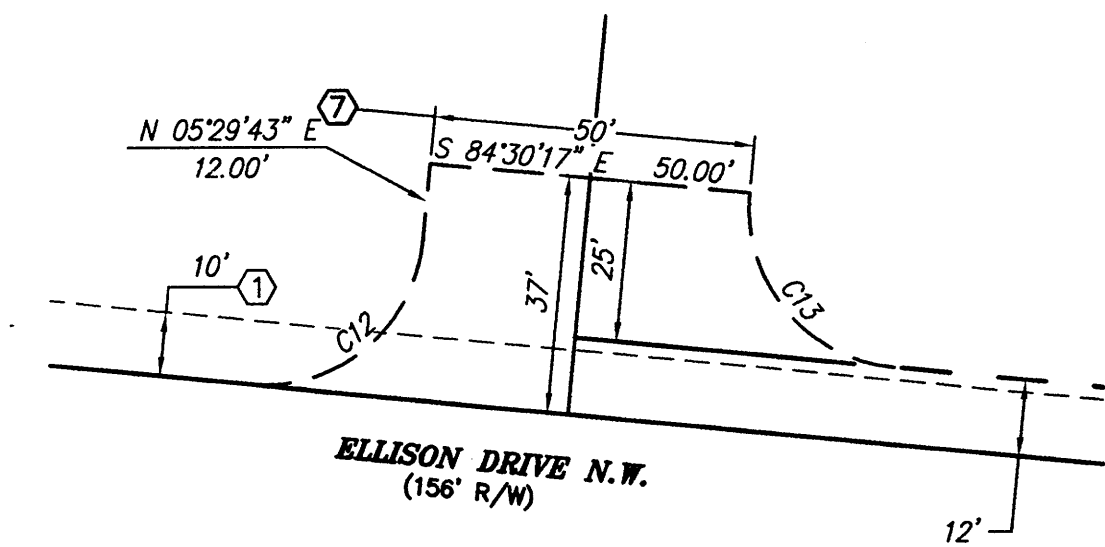
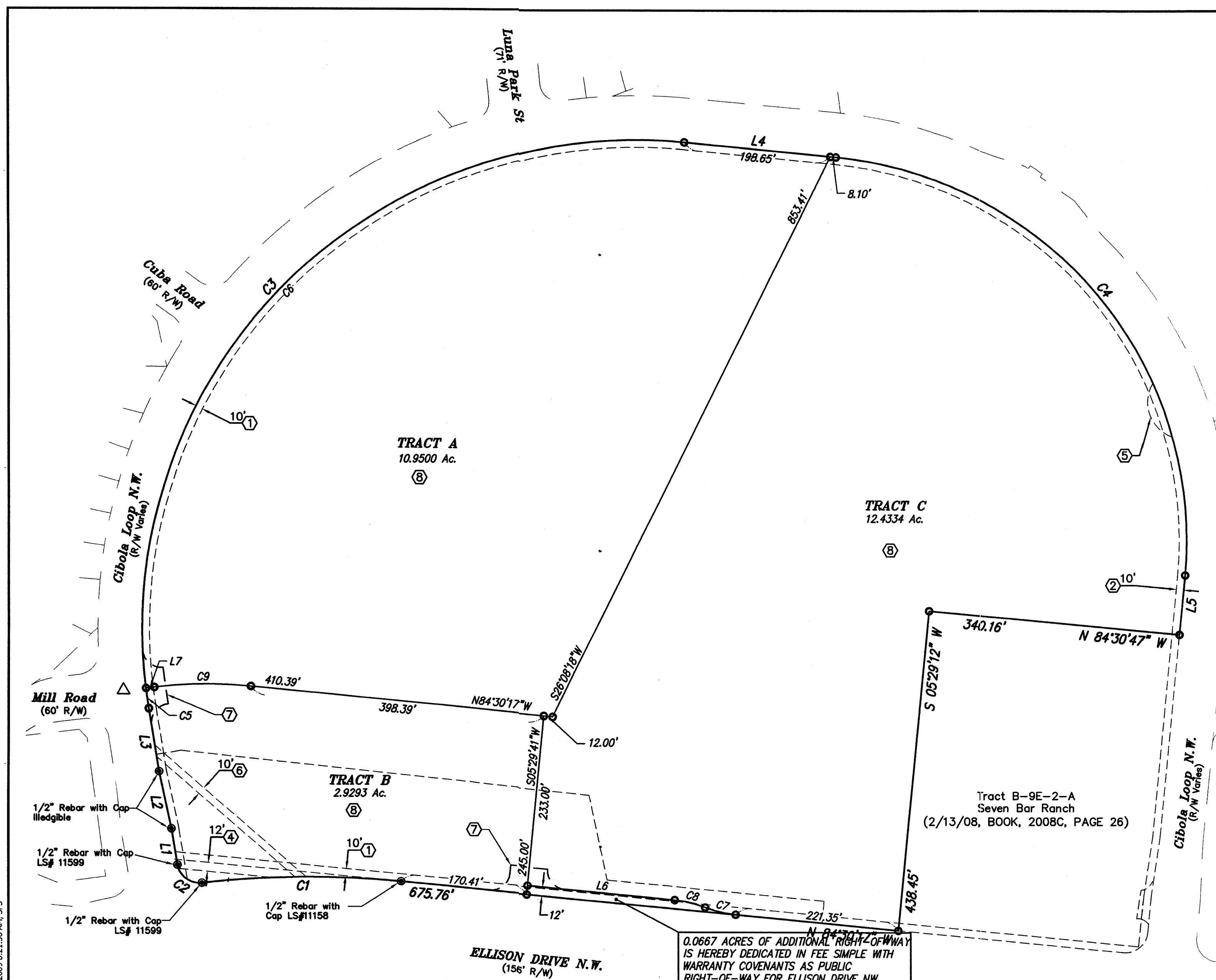
CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

BULK LAND PLAT FOR
CIBOLA LOOP SUBDIVISION
 WITHIN
 TOWN OF ALAMEDA GRANT
 PROJECTED SECTION 6,
 TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO
 PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2009

Easement Notes

- ① EXISTING 10 FOOT UTILITY EASEMENT AS SHOWN ON THE PLAT "TRACTS B-9D THRU B-9K" (12/21/89, VOL. C40, FOL. 75)
- ② EXISTING 10 FOOT PNM AND MOUNTAIN BELL EASEMENT (2/21/86, BK. 323A, PG. 942)
- ④ EXISTING 12' MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO. EASEMENT (11/8/85, BK. C28, PG. 161)
- ⑤ EXISTING 50' RADIUS TEMPORARY TURNING EASEMENT PER PLAT (11/8/85, BK. C28, PG. 161)
- ⑥ EXISTING NEW MEXICO UTILITIES SEWER EASEMENT (12/5/74, BK. 397, PG. 673)
- ⑦ NEW PRIVATE ACCESS EASEMENT GRANTED WITH THIS PLAT TO THE OWNERS OF TRACTS A, B AND C.
- ⑧ NEW RECIPROCAL CROSS LOT ACCESS AND DRAINAGE EASEMENT SHALL BE GRANTED TO TRACTS A, B, AND C BY THIS PLAT.



0.0667 ACRES OF ADDITIONAL RIGHT-OF-WAY IS HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS AS PUBLIC RIGHT-OF-WAY FOR ELLISON DRIVE NW

CURVE TABLE

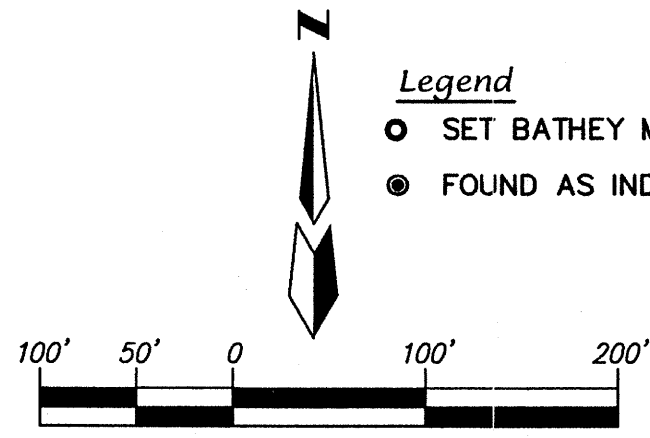
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	1278.00'	269.61'	12°05'14"	135.31'	S89°27'06"W	269.11'
C2	30.00'	45.66'	87°11'44"	28.57'	N52°59'39"W	41.38'
C3	670.00'	1226.05'	104°50'50"	870.76'	N43°01'34"E	1062.01'
C4	524.00'	823.10'	90°00'01"	524.00'	S39°33'00"E	741.05'
C5	670.00'	27.85'	2°22'54"	13.93'	S08°12'24"E	27.85'
C6	670.00'	1198.20'	102°27'56"	834.29'	S44°13'01"W	1044.79'
C7	150.00'	42.57'	16°15'37"	21.43'	S76°22'29"E	42.43'
C8	150.00'	42.57'	16°15'37"	21.43'	N76°22'29"W	42.43'
C9	600.00'	131.01'	12°30'40"	65.77'	S89°14'23"W	130.75'
C10	40.60'	25.00'	93°02'47"	26.37'	S49°06'35"E	36.28'
C11	41.00'	25.00'	93°58'30"	26.80'	S37°35'24"W	36.56'
C12	39.27'	25.00'	90°00'00"	25.00'	N50°29'43"E	35.36'
C13	39.27'	25.00'	90°00'00"	25.00'	S39°30'17"E	35.36'

LINE TABLE

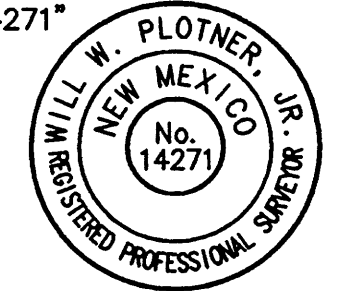
LINE	BEARING	LENGTH
L1	N09°23'51"W	50.00'
L2	N12°15'36"W	80.10'
L3	N09°23'51"W	86.26'
L4	S84°33'01"E	206.75'
L5	S05°27'00"W	81.53'
L6	N84°30'17"W	200.00'
L7	N82°59'03"E	11.24'

Legend

- SET BATHEY MARKER WITH CAP "LS 14271"
- FOUND AS INDICATED



SCALE: 1" = 100'



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

Dwg: A08016_FP.01.dwg	Drawn: SPS	Checked: WWP	Sheet 3 of 3
Scale: AS SHOWN	Date: 8/19/2008	Job: A08016	

V:\08\JOBS\A08016 Cibola CCRC\PLATS\FINAL PLATS\A08016_FP_01.dwg, 3/10/2009 8:21:36 AM, SPS

SKETCH PLAT
CIBOLA LOOP
 WITHIN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2008

SUBDIVISION DATA

GROSS ACREAGE 248.2350 AC
 ZONE ATLAS NO. A-13-Z
 TRACTS CREATED 3 TRACTS
 DATE OF SURVEY MARCH, 2008

DESCRIPTION

TRACTS B-9F-1 AND B-9E-1-A OF SEVEN BAR RANCH, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO IN BOOK 2008C, PAGE 26, ON FEBRUARY 13, 2008.

EASEMENTS

- 1 EXISTING 10 FOOT UTILITY EASEMENT AS SHOWN ON THE PLAT "TRACTS B-9D THRU B-9K" (12/21/89, VOL. C40, FOL. 75)
- 2 EXISTING 10 FOOT PNM AND MOUNTAIN BELL EASEMENT (2/21/86, BK. 323A, PG. 942)3
- 3 EXISTING DRAINAGE EASEMENT (5/5/99, BK. 9906, PG. 9917)
- 4 EXISTING 12' MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO. EASEMENT (11/8/85, BK. C28, PG. 161)
- 5 EXISTING 50' RADIUS TEMPORARY TURNING EASEMENT PER PLAT (11/8/85, BK. C28, PG. 161)
- 6 EXISTING NEW MEXICO UTILITIES SEWER EASEMENT (12/5/74, BK. 397, PG. 673)

NOTES:

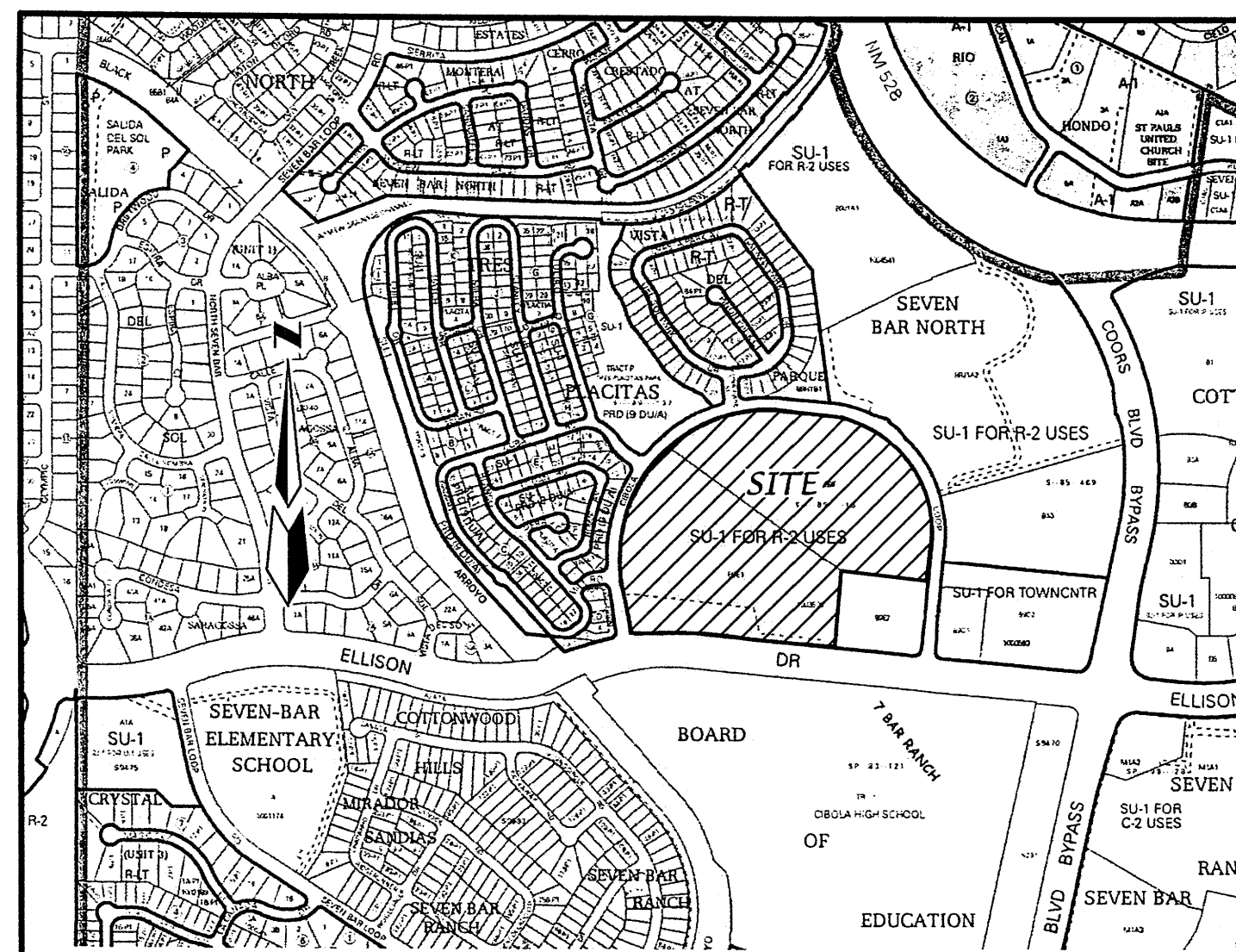
1. FIELD SURVEY PERFORMED IN MARCH 2008.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. TALOS LOG NUMBER 2006372552.
4. THE BASIS OF BEARINGS REFERENCES THE ACS MONUMENTS SHOWN HEREON, HAVING STATE PLANE COORDINATES (GRID-NAD 27).
5. THE EASEMENTS SHOWN HEREON ARE ONLY THE EASEMENTS AS SHOWN ON THE PLAT OF RECORD. A TITLE COMMITMENTS WILL BE REQUIRED TO SHOWN OTHER EASEMENTS.
6. PROPERTY CURRENTLY ZONED: SU-1 FOR R-2 USES.
7. ZONE ATLAS PAGE A-13-Z.

LEGEND

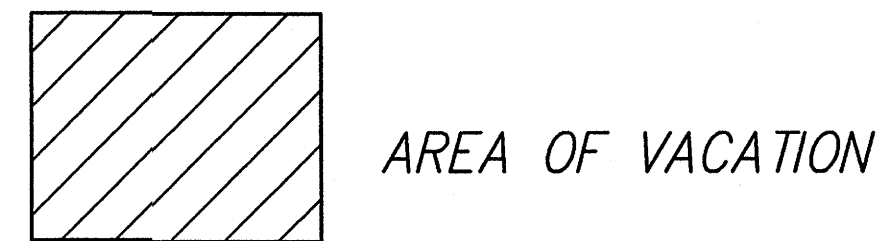
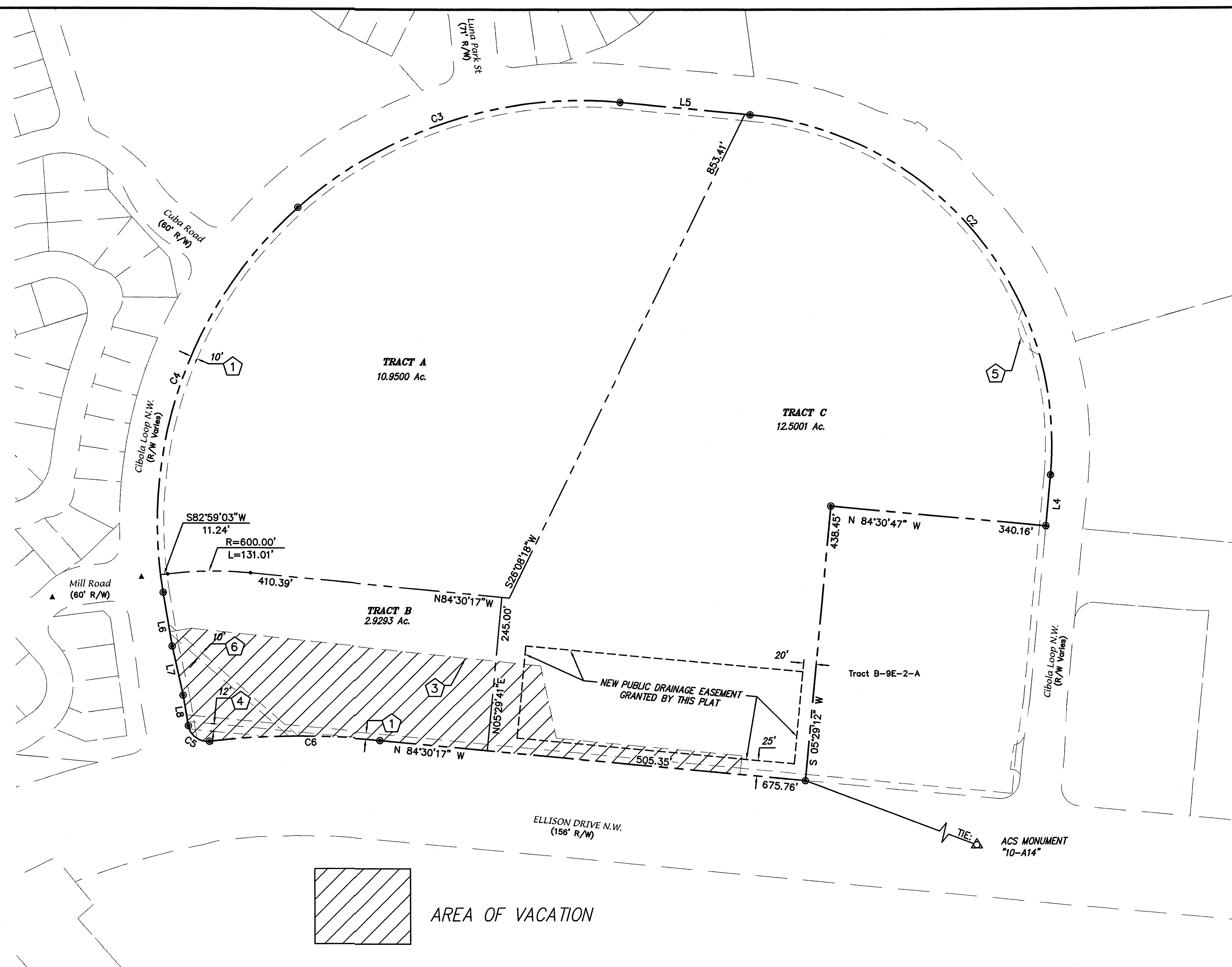
● FOUND CORNER

SITE BENCHMARK

ACS MONUMENT "10-A14" HAVING AN ELEVATION OF 5056.103, (SLD 1929)

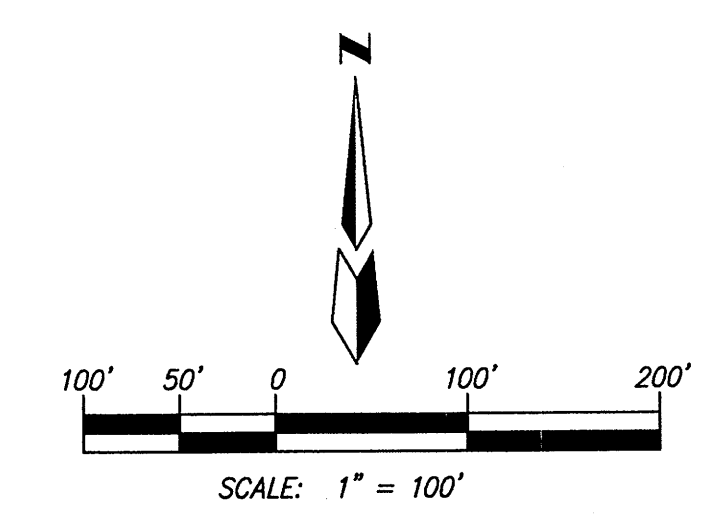


VICINITY MAP (NTS) ZONE ATLAS MAP A-13



LINE	LENGTH	BEARING
L3	278.49	S 05°27'00" W
L4	81.53	S 05°27'00" W
L5	206.75	S 84°33'01" E
L6	86.26	N 09°23'51" W
L7	80.10	N 12°15'36" W
L8	50.00	N 09°23'51" W

CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C2	524.00'	823.10'	90°00'01"	S 39°33'00" E	741.05'
C3	670.00'	1226.05'	104°50'50"	N 43°01'34" E	1062.01'
C4	670.00'	552.79'	47°16'21"	S 71°48'49" W	537.24'
C5	670.00'	673.26'	57°34'29"	S 19°23'24" W	645.29'
C6	30.00'	45.66'	87°11'44"	N 52°59'39" W	41.38'

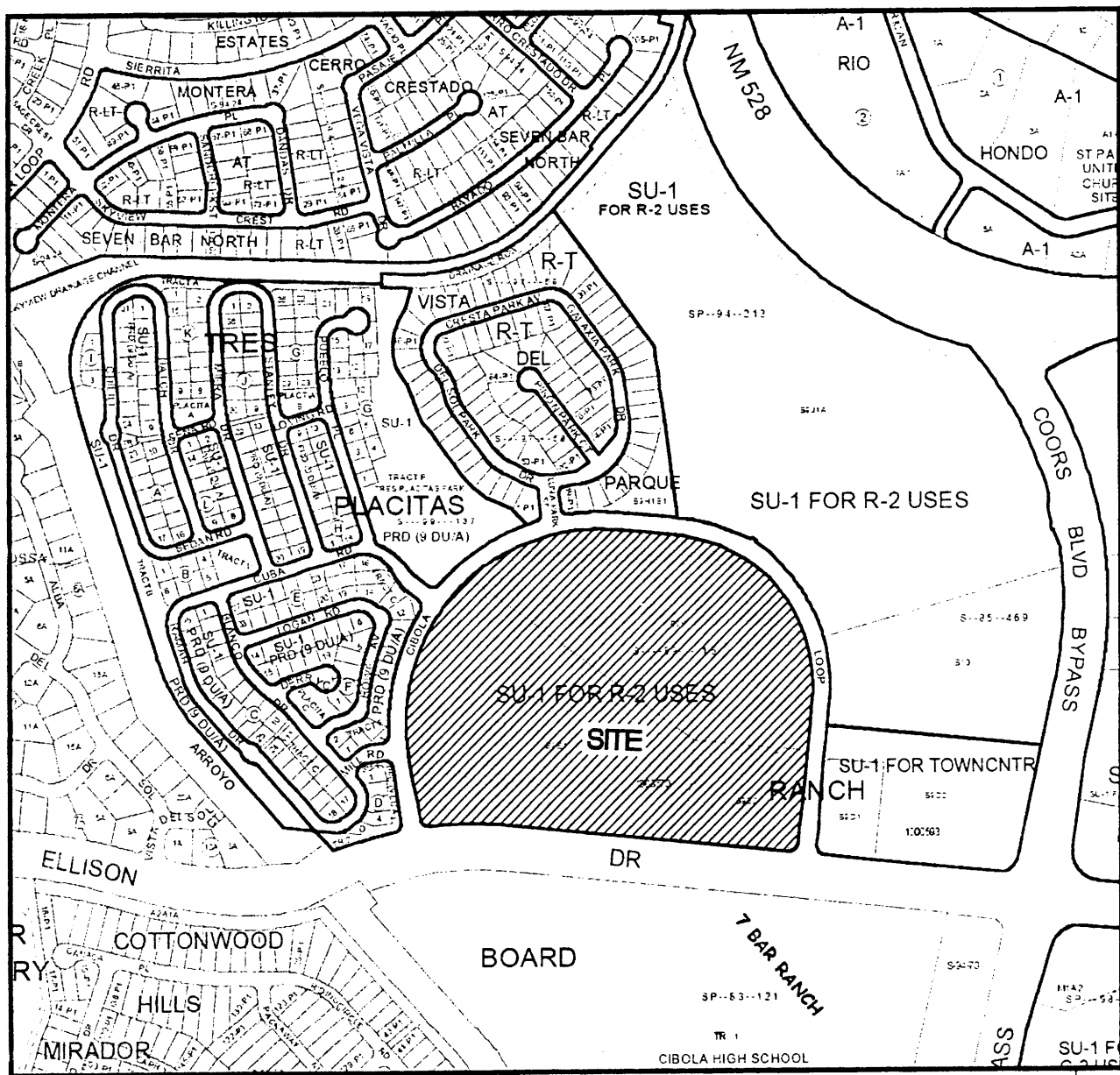


OWNERS

ENGINEERS
 D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

SURVEYOR
 CARTESIAN SURVEYS INC.
 P.O. BOX 44414
 RIO RANCHO, N.M. 87174
 (505) 896-3050

SKETCH PLAT			
CIBOLA LOOP			
		MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS	
P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539			
A08016_SP_01.dwg	Drawn: STEPHEN	Checked: DMG	Sheet 1 of 1
Scale: 1"=100'	Date: 06/06/08	Job: A08016	



Vicinity Map Zone Atlas A-13-Z n.t.s.

Subdivision Data

GROSS ACREAGE.....	29.7887 ACRES
ZONE ATLAS PAGE NO.....	A-13-Z
NUMBER OF EXISTING TRACTS.....	3 TRACTS
NUMBER OF TRACTS CREATED.....	3 TRACTS
NUMBER OF TRACTS ELIMINATED.....	0
MILES OF FULL WIDTH STREETS.....	0.00
MILES OF HALF WIDTH STREETS.....	0.00
STREETS ARE DEDICATED TO THE CITY OF ALBUQUERQUE.....	0.00
DATE OF SURVEY.....	APRIL 2007
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER.....	2006372552
ZONE.....	SU-1 FOR R-2 USES

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER THEREOF AND SAID OWNER DOES HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THEIR RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CONSENT TO ALL OF THE FOREGOING AND DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

[Signature]

Bruce J. Perlman, Ph. D., Chief Administrative Officer
City of Albuquerque, A Municipal Corporation

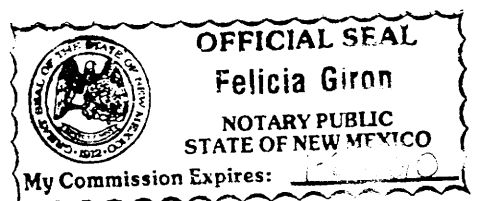
Acknowledgment

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON October 4, 2007

BY Bruce J. Perlman, Ph. D., Chief Administrative Office, City of Albuquerque, A Municipal Corporation

[Signature]
NOTARY PUBLIC



1-27-2010
MY COMMISSION EXPIRES

Notes

1. FIELD SURVEY PERFORMED IN SEPTEMBER 2006 AND APRIL 2007.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. BENCHMARK REFERENCES-ACS MONUMENT "10-A14" HAVING AN ELEVATION OF 5056.109. (NAVD 1929).
4. THE BASIS OF BEARINGS IS BETWEEN THE ACS MONUMENTS AS SHOWN HEREON AND REFERENCES N.M.S.P. GRID (NAD 1927).
5. THE SUBJECT PROPERTY IS LOCATED WITHIN PROJECTED SECTION 6, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT.

Legal

TRACT B-9F, SEVEN BAR RANCH, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "TRACTS B-9D THRU B-9K, SEVEN BAR RANCH", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 21, 1989 IN PLAT BOOK C40, PAGE 75.

AND

TRACT B-9E-1 AND B-9E-2, SEVEN BAR RANCH, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "TRACTS B-9E-1 AND B-9E-2, SEVEN BAR RANCH", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 18, 2004 IN PLAT BOOK 2004C, PAGE 246.

Purpose of Plat

CHANGE THE LOT LINES BETWEEN THE THREE TRACTS.

Easement Notes

- 1 EXISTING 10 FOOT UTILITY EASEMENT AS SHOWN ON THE PLAT "TRACTS B-9D THRU B-9K" (12/21/89, VOL. C40, FOL. 75)
- 2 EXISTING 10 FOOT PNM AND MOUNTAIN BELL EASEMENT (2/21/86, BK. 323A, PG. 942)
- 3 EXISTING DRAINAGE EASEMENT (5/5/99, BK. 9906, PG. 9917)
- 4 EXISTING 12' MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO. EASEMENT (11/8/85, BK. C28, PG. 161)
- 5 EXISTING 50' RADIUS TEMPORARY TURNING EASEMENT PER PLAT (11/8/85, BK. C28, PG. 161)
- 6 EXISTING NEW MEXICO UTILITIES SEWER EASEMENT (12/5/74, BK. 397, PG. 673)

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AS SHOWN HEREON AND GRANT ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AS TO TRACTS B-9E-1 AND B-9F.

[Signature]

Michael E. Malouff, Managing Partner
Vientecillos LLC

Acknowledgment

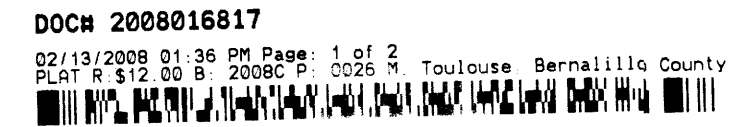
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____

BY Michael E. Malouff, Managing Partner, Vientecillos LLC

[Signature]
NOTARY PUBLIC

3/8/2010
MY COMMISSION EXPIRES



Plat of
**Tracts B-9E-1-A, B-9F-1 and
B-9E-2-A, Seven Bar Ranch**
comprised of
Tract B-9E-2 and Portions of B-9E-1 and B-9F
of Seven Bar Ranch
City of Albuquerque
Bernalillo County, New Mexico
May 2007

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number 1003570
Application Number 07DRB-70314

Plat approvals:

<i>[Signature]</i> PNM Electric Services	<u>12/5/2007</u> Date
<i>[Signature]</i> PNM Gas Services	<u>12/5/2007</u> Date
<i>[Signature]</i> QWest	<u>12/6/07</u> Date
<i>[Signature]</i> Comcast	<u>12.6.07</u> Date

City approvals:

<i>[Signature]</i> City Surveyor	<u>10-12-07</u> Date
<i>[Signature]</i> Traffic Engineer	<u>2-5-08</u> Date
<i>[Signature]</i> Water Utilities Development	<u>12-5-07</u> Date
<i>[Signature]</i> Parks and Recreation Department	<u>12/5/07</u> Date
<i>[Signature]</i> AMA/CA	<u>12/5/07</u> Date
<i>[Signature]</i> City Engineer	<u>2/5/08</u> Date
<i>[Signature]</i> DRB Chairperson, Planning Department	<u>2/5/08</u> Date

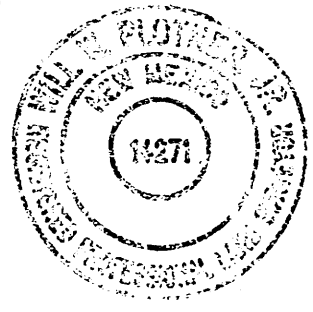
Surveyor's Certificate

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

[Signature] 5/20/07
WILL PLOTNER JR. DATE
N.M.P.S. No. 14271

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244



Plat of
**Tracts B-9E-1-A, B-9F-1 and
 B-9E-2-A, Seven Bar Ranch**
 comprised of
 Tract B-9E-2 and Portions of B-9E-1 and B-9F
 of Seven Bar Ranch
 City of Albuquerque
 Bernalillo County, New Mexico
 May 2007

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	30.00' (30.00')	47.11' (47.12')	89°58'30"	S 50°30'28" W	42.42'
C2	524.00' (524.00')	823.10' (823.10')	90°00'01"	S 39°33'00" E	741.05'
C3	670.00' (670.00')	1226.05' (1226.57')	104°50'50"	N 43°01'34" E	1062.01'
C4	670.00' (670.00')	552.79' (553.61')	47°16'21"	S 71°48'49" W	537.24'
C5	670.00' (670.00')	673.26' (672.96')	57°34'29"	S 19°23'24" W	645.29'
C6	30.00' (30.00')	45.66' (45.66')	87°11'44"	N 52°59'39" W	41.38'
C7	1278.00' (1278.00')	269.61' (269.61')	12°05'14"	S 89°27'06" W	269.11'
C8	17.00'	18.47'	62°15'47"	N 62°48'57" W	17.58'
C9	17.50'	20.00'	65°29'39"	N 51°14'38" E	18.93'
C10	157.00'	31.94'	11°39'25"	S 10°38'46" W	31.89'
C11	143.05'	27.40'	10°58'25"	N 10°59'10" E	27.36'
C12	17.00'	20.33'	68°31'42"	N 28°46'00" W	19.14'

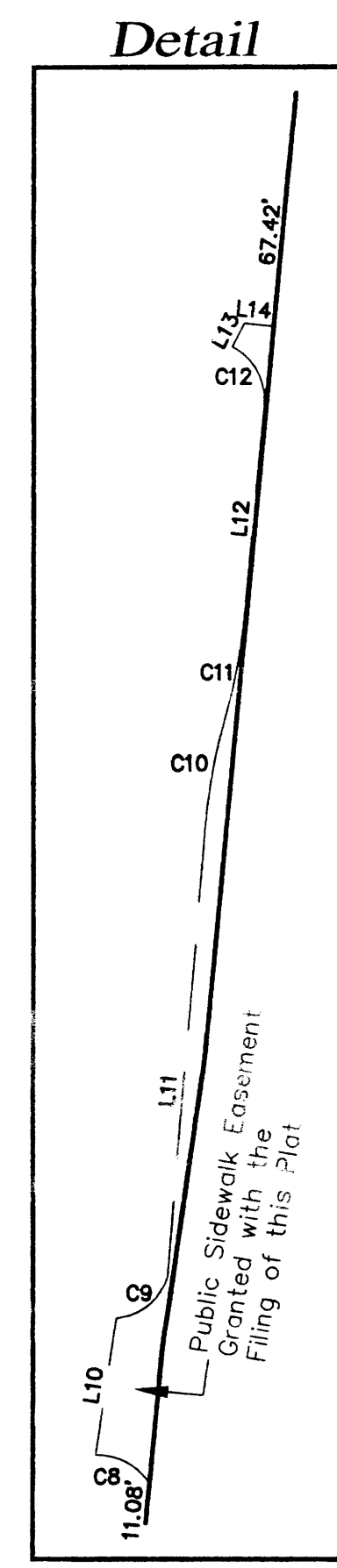
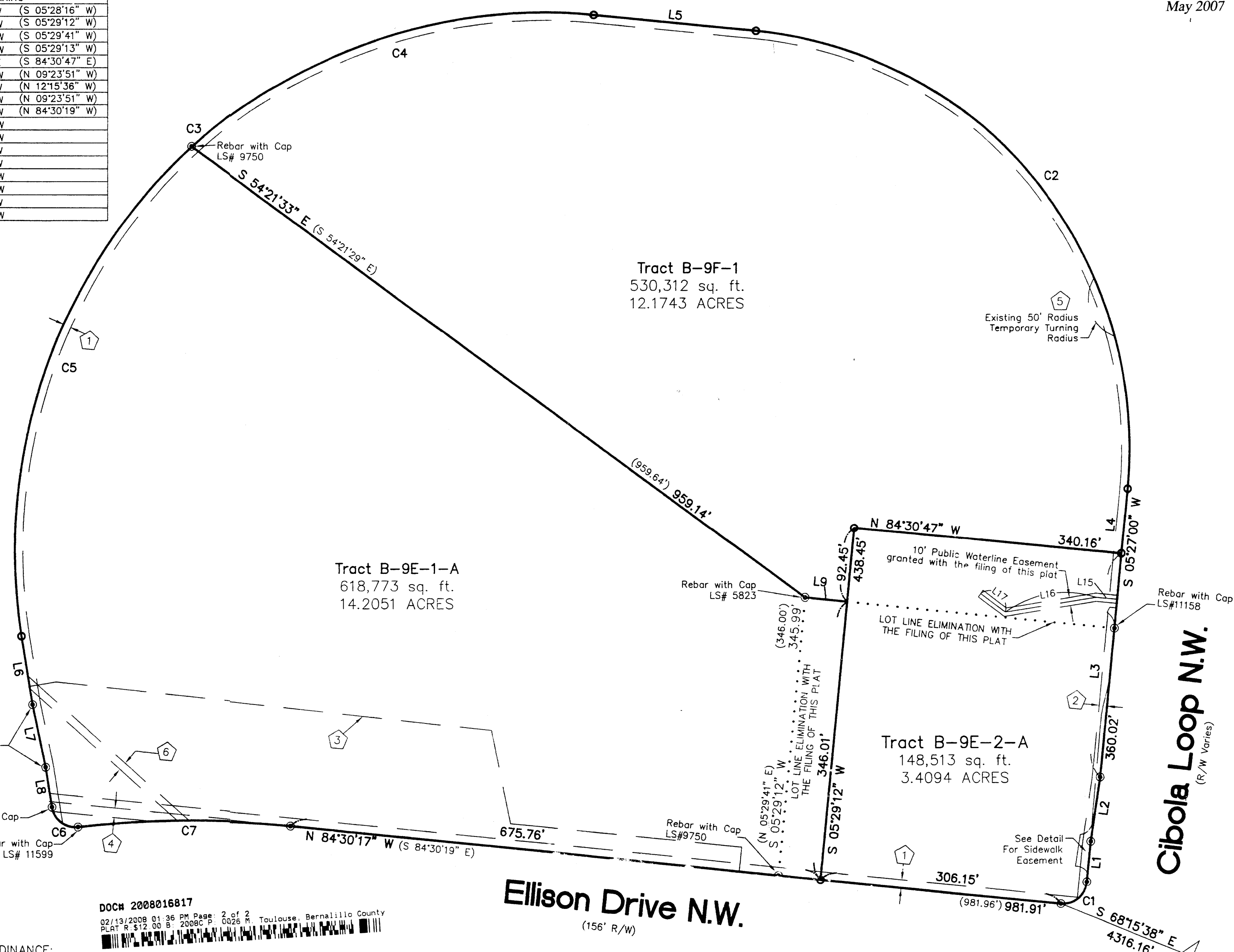
Legend

- SET BATHEY MARKER WITH CAP "LS 14271"
- FOUND AS INDICATED

LINE TABLE		
LINE	LENGTH	BEARING
L1	49.87 (50.02')	S 05°31'13" W (S 05°28'16" W)
L2	80.26 (80.10')	S 08°27'15" W (S 05°29'12" W)
L3	278.49 (278.42')	S 05°27'00" W (S 05°29'41" W)
L4	81.53 (81.53')	S 05°27'00" W (S 05°29'13" W)
L5	206.75 (207.10')	S 84°33'01" E (S 84°30'47" E)
L6	86.26 (86.78')	N 09°23'51" W (N 09°23'51" W)
L7	80.10 (80.10')	N 12°15'36" W (N 12°15'36" W)
L8	50.00 (50.00')	N 09°23'51" W (N 09°23'51" W)
L9	53.67	N 84°31'05" W (N 84°30'19" W)
L10	39.38	S 08°48'23" W
L11	127.81	S 04°48'55" W
L12	61.63	S 05°29'51" W
L13	7.34	S 28°39'16" W
L14	8.42	N 84°33'00" W
L15	26.94	N 84°49'37" W
L16	116.50	S 81°03'52" W
L17	38.80	N 53°56'08" W

Cibola Loop N.W.
 (R/W Varies)

Cibola Loop N.W.
 (R/W Varies)



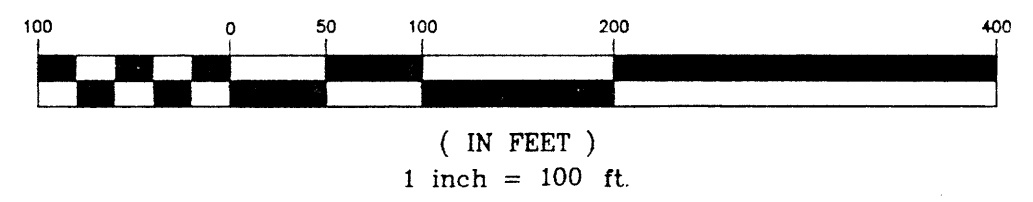
ACS Monument NM448-N12
 NAD 1927 CENTRAL ZONE
 X=381,108.54
 Y=1,528,910.94
 Z=5023.411 (NAVD 1929)
 G-G=0.99967595
 Delta Alpha=-0°13'46"



DOCH 2008016817
 02/13/2008 01:36 PM Page 2 of 2
 PLAT R: \$12.00 B: 2008016817 M: Toulouse, Bernalillo County

Ellison Drive N.W.
 (156' R/W)

GRAPHIC SCALE



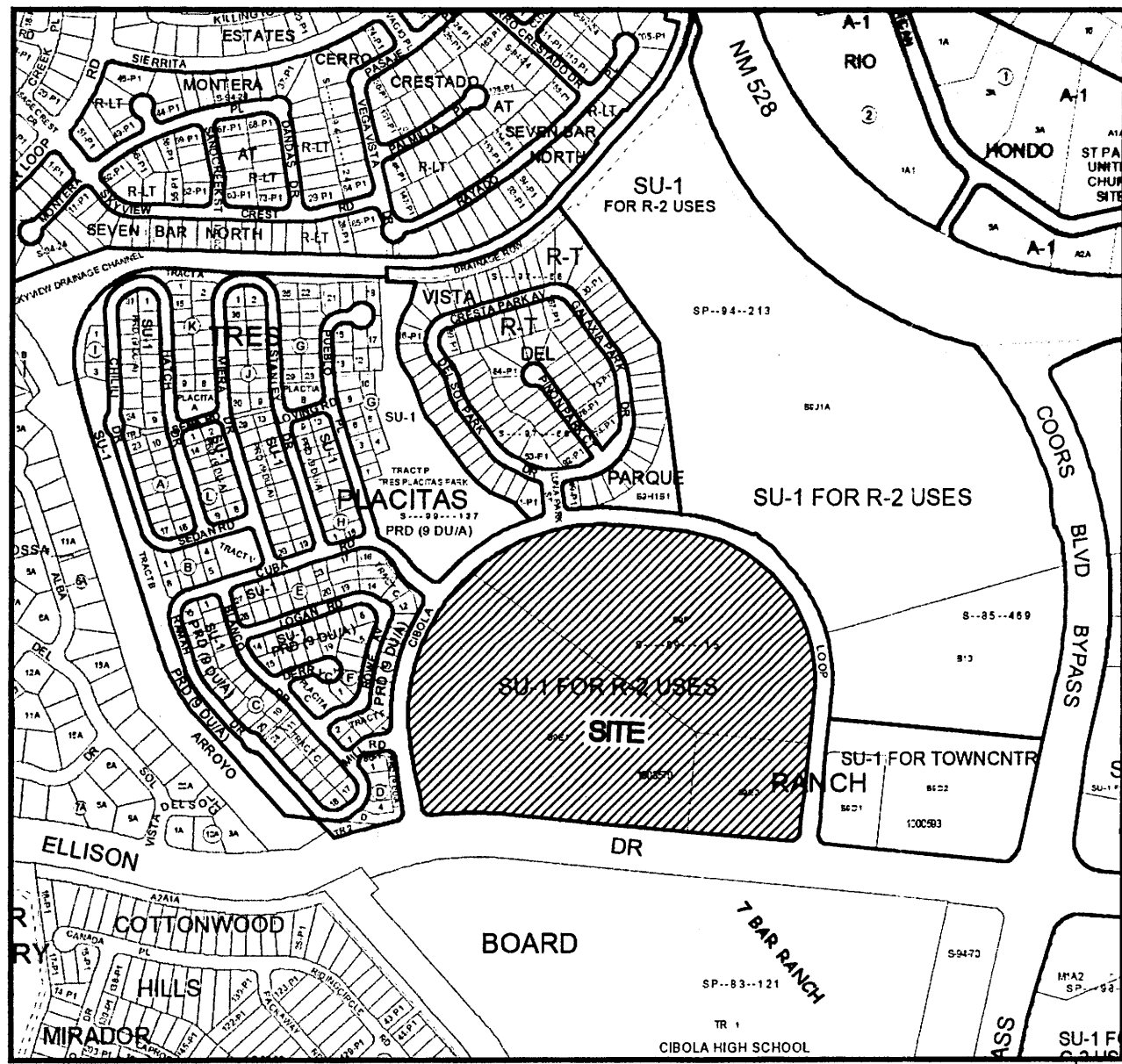
Solar Collection Note

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT AN TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244



Vicinity Map Zone Atlas A-13-Z n.t.s.

Subdivision Data

GROSS ACREAGE.....29.7887 ACRES
 ZONE ATLAS PAGE NO.....A-13-Z
 NUMBER OF EXISTING TRACTS.....3 TRACTS
 NUMBER OF TRACTS CREATED.....3 TRACTS
 NUMBER OF TRACTS ELIMINATED.....0
 MILES OF FULL WIDTH STREETS.....0.00
 MILES OF HALF WIDTH STREETS.....0.00
 STREET ARE DEDICATED TO THE CITY OF ALBUQUERQUE.....0.00
 DATE OF SURVEY.....APRIL 2007
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER.....2006372552
 ZONING.....SU-1 FOR R-2 USES

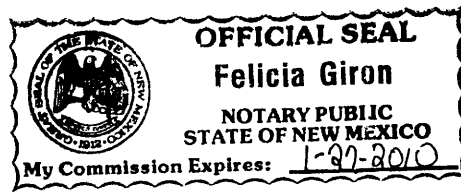
Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER THEREOF AND SAID OWNER DOES HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THEIR RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CONSENT TO ALL OF THE FOREGOING AND DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

Bruce J. Perlman
 Bruce J. Perlman, Ph. D., Chief Administrative Officer
 City of Albuquerque, A Municipal Corporation

Acknowledgment

STATE OF NEW MEXICO }
 COUNTY OF BERNALILLO } SS



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON October 4, 2007

BY Bruce J. Perlman, Ph. D., Chief Administrative Office, City of Albuquerque, A Municipal Corporation

Felicia Giron 1-27-2010
 NOTARY PUBLIC MY COMMISSION EXPIRES

Notes

1. FIELD SURVEY PERFORMED IN SEPTEMBER 2006 AND APRIL 2007.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. BENCHMARK REFERENCES-ACS MONUMENT "10-A14" HAVING AN ELEVATION OF 5056.109. (NAVD 1929).
4. THE BASIS OF BEARINGS IS BETWEEN THE ACS MONUMENTS AS SHOWN HEREON AND REFERENCES N.M.S.P. GRID (NAD 1927).
5. THE SUBJECT PROPERTY IS LOCATED WITHIN PROJECTED SECTION 6, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT.

Legal

TRACT B-9F, SEVEN BAR RANCH, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "TRACTS B-9D THRU B-9K, SEVEN BAR RANCH", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 21, 1989 IN PLAT BOOK C40, PAGE 75.

AND

TRACT B-9E-1 AND B-9E-2, SEVEN BAR RANCH, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "TRACTS B-9E-1 AND B-9E-2, SEVEN BAR RANCH", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 18, 2004 IN PLAT BOOK 2004C, PAGE 246.

Purpose of Plat

CHANGE THE LOT LINES BETWEEN THE THREE TRACTS.

Easement Notes

- 1 EXISTING 10 FOOT UTILITY EASEMENT AS SHOWN ON THE PLAT "TRACTS B-9D THRU B-9K" (12/21/89, VOL. C40, FOL. 75)
- 2 EXISTING 10 FOOT PNM AND MOUNTAIN BELL EASEMENT (2/21/86, BK. 323A, PG. 942)
- 3 EXISTING DRAINAGE EASEMENT (5/5/99, BK. 9906, PG. 9917)
- 4 EXISTING 12' MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO. EASEMENT (11/8/85, BK. C28, PG. 161)
- 5 EXISTING 50' RADIUS TEMPORARY TURNING EASEMENT PER PLAT (11/8/85, BK. C28, PG. 161)
- 6 EXISTING NEW MEXICO UTILITIES SEWER EASEMENT (12/5/74, BK. 397, PG. 673)

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AS SHOWN HEREON AND GRANT ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AS TO TRACTS B-9E-1 AND B-9F.

Michael E. Malouff
 Michael E. Malouff, Managing Partner
 Vientecillos LLC

Acknowledgment

STATE OF NEW MEXICO }
 COUNTY OF BERNALILLO } SS



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON

BY Michael E. Malouff, Managing Partner, Vientecillos LLC

Charles Calderon 3/8/2010
 NOTARY PUBLIC MY COMMISSION EXPIRES

Plat of
Tracts B-9E-1-A, B-9F-1 and B-9E-2-A, Seven Bar Ranch
 comprised of
Tract B-9E-2 and Portions of B-9E-1 and B-9F
 of Seven Bar Ranch
 City of Albuquerque
 Bernalillo County, New Mexico
 May 2007

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number	<i>J. Fine</i>	
Application Number	PRELIMINARY PLAT	
Plat approvals:	APPROVED BY DRB	
PNM Electric Services	ON	Date
PNM Gas Services		Date
QWest		Date
Comcast		Date
City approvals:	<i>B. Hut</i> 10-12-07	
City Surveyor		Date
Traffic Engineer		Date
Water Utilities Development		Date
Parks and Recreation Department		Date
AMAFCA		Date
City Engineer		Date
DRB Chairperson, Planning Department		Date

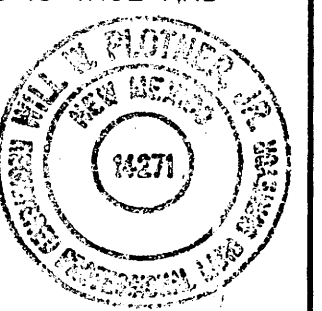
Surveyor's Certificate

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

Will Plotner Jr. 5/30/07
 WILL PLOTNER JR. DATE
 N.M.P.S. No. 14271

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244



Plat of
**Tracts B-9E-1-A, B-9F-1 and
 B-9E-2-A, Seven Bar Ranch**
 comprised of
 Tract B-9E-2 and Portions of B-9E-1 and B-9F
 of Seven Bar Ranch
 City of Albuquerque
 Bernalillo County, New Mexico
 May 2007

LINE TABLE		
LINE	LENGTH	BEARING
L1	49.87 (50.02)	S 05°31'13" W (S 05°28'16" W)
L2	80.26 (80.10)	S 08°27'15" W (S 05°29'12" W)
L3	278.49 (278.42)	S 05°27'00" W (S 05°29'41" W)
L4	81.53 (81.53)	S 05°27'00" W (S 05°29'13" W)
L5	206.75 (207.10)	S 84°33'01" E (S 84°30'47" E)
L6	86.26 (86.78)	N 09°23'51" W (N 09°23'51" W)
L7	80.10 (80.10)	N 12°15'36" W (N 12°15'36" W)
L8	50.00 (50.00)	N 09°23'51" W (N 09°23'51" W)
L9	53.67	N 84°31'05" W (N 84°30'19" W)

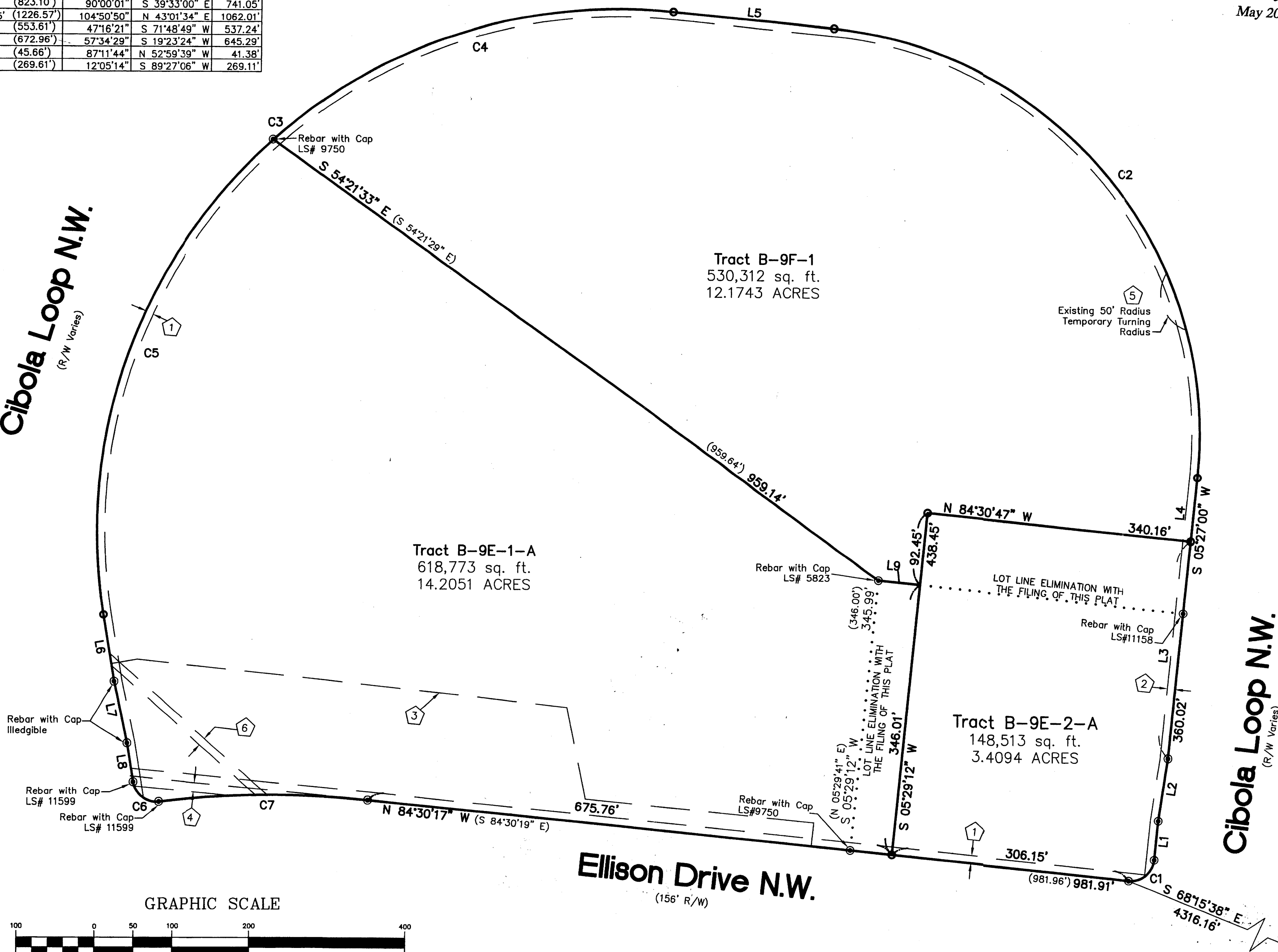
Legend

- SET BATHEY MARKER WITH CAP "LS 14271"
- FOUND AS INDICATED

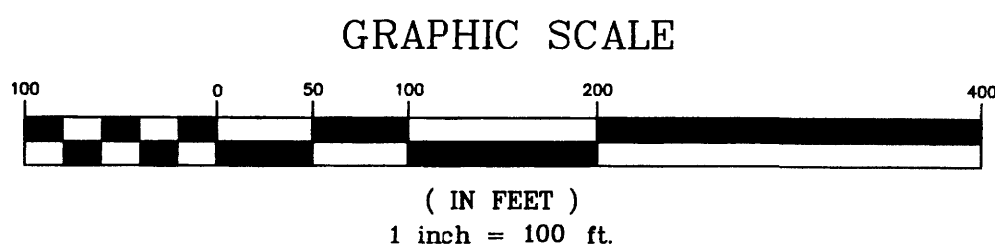
CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	30.00' (30.00')	47.11' (47.12')	89°58'30"	S 50°30'28" W	42.42'
C2	524.00' (524.00')	823.10' (823.10')	90°00'01"	S 39°33'00" E	741.05'
C3	670.00' (670.00')	1226.05' (1226.57')	104°50'50"	N 43°01'34" E	1062.01'
C4	670.00' (670.00')	552.79' (553.61')	47°16'21"	S 71°48'49" W	537.24'
C5	670.00' (670.00')	673.26' (672.96')	57°34'29"	S 19°23'24" W	645.29'
C6	30.00' (30.00')	45.66' (45.66')	87°11'44"	N 52°59'39" W	41.38'
C7	1278.00' (1278.00')	269.61' (269.61')	12°05'14"	S 89°27'06" W	269.11'

Cibola Loop N.W.
 (R/W Varies)

Cibola Loop N.W.
 (R/W Varies)



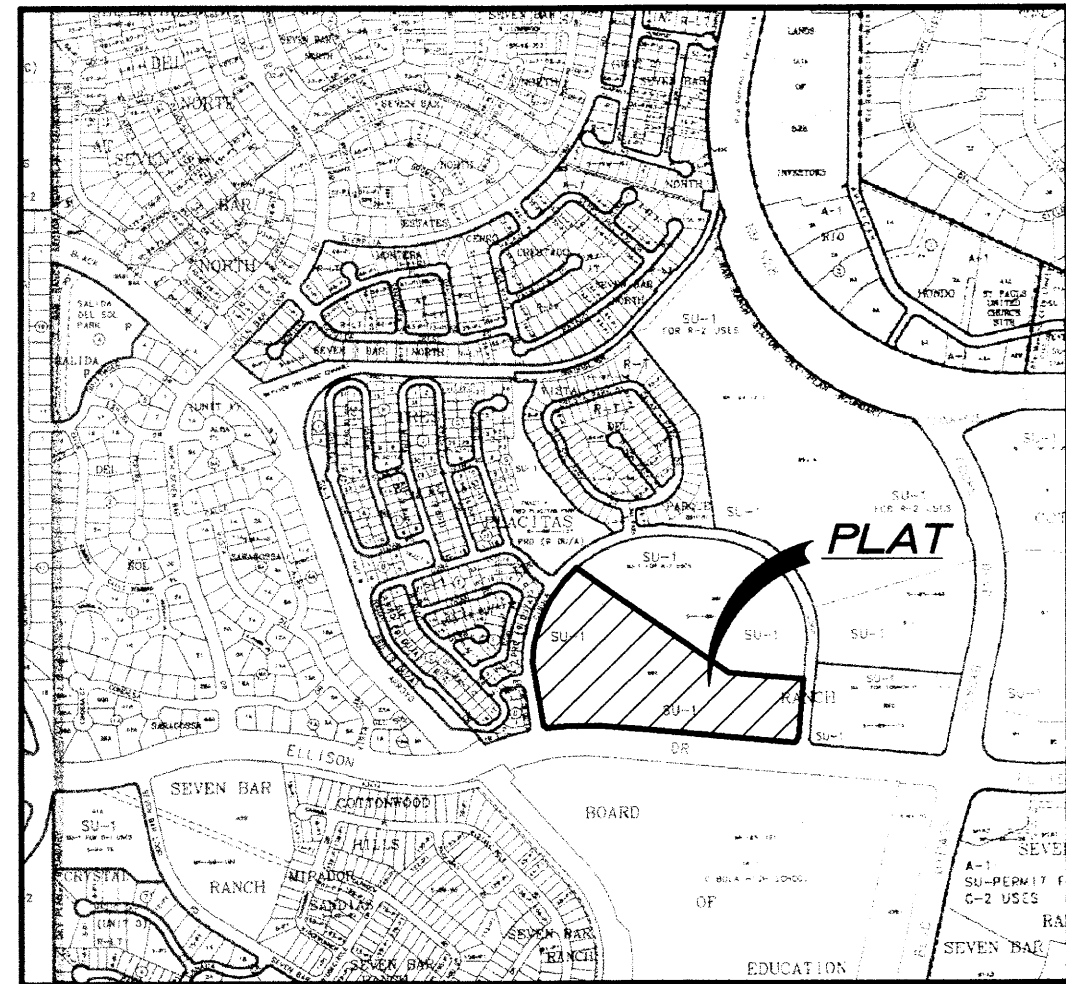
ACS Monument NM448-N12
 NAD 1927 CENTRAL ZONE
 X=381,108.54
 Y=1,528,910.94
 Z=5023.411 (NAVD 1929)
 G-G=0.99967595
 Delta Alpha=-0°13'46"



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

**PLAT OF
TRACTS B-9E-1 AND B-9E-2
SEVEN-BAR RANCH
BEING A REPLAT OF
TRACT B-9E
SEVEN-BAR RANCH
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**



VICINITY MAP
ALBUQUERQUE ZONE ATLAS A-13-2

LEGAL DESCRIPTION

A certain parcel of land situate within the Town of Alameda Grant in projected Section 6, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising Tract B-9E, Seven-Bar Ranch, as the same is designated and shown on the plat entitled "Tracts B-9D thru B-9K (being a replat of Tract B-9) Seven-Bar Ranch, City of Albuquerque, Bernalillo County, New Mexico," filed in the Office of the County Clerk of Bernalillo County, New Mexico, on December 21, 1989 in Volume C40, Folio 75, said parcel being more particularly described by New Mexico State Plane Coordinate System grid bearings (NAD 27, Central Zone) and horizontal ground distances as follows:

BEGINNING at a point of curvature at the southeast corner of the parcel hereon described, said point of beginning also being a point on the present (2004) westerly right-of-way line of Cibola Loop N.W., a 5/8" rebar with plastic cap marked "HUGG LS 5823" found in place, from which the New Mexico State Highway Commission monument "NM-448-N12" bears S67°45'54"E, a distance of 4295.81 feet, said monument being a standard NMSHC brass tablet in concrete;

Thence, southwesterly 47.12 feet along a curve to the right, said curve having a radius of 30.00 feet, a central angle of 89°59'26", a chord bearing S50°29'41"W and a chord distance of 42.42 feet to a point of tangency, said point being a point on the present (2004) northerly right-of-way line of Ellison Drive N.W., a 5/8" rebar with plastic cap marked "HUGG LS 5823" found in place;

Thence, N84°30'19"W a distance of 981.96 feet along said present (2004) northerly right-of-way line of Ellison Drive N.W. to a point of curvature, said point being a 5/8" rebar and plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, southwesterly 269.61 feet along a curve to the left, said curve having a radius of 1278.00 feet, a central angle of 12°05'14", a chord bearing S89°27'04"W and a chord distance of 269.11 feet to a point of reverse curvature, said point being a 5/8" rebar and plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, northwesterly 45.66 feet along a curve to the right, said curve having a radius of 30.00 feet, a central angle of 87°11'44", a chord bearing N52°59'41"W and a chord distance of 41.38 feet to a point of tangency, said point being a point on the present (2004) easterly right-of-way line of Cibola Loop N.W., a 5/8" rebar with plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, N09°23'51"W a distance of 50.00 feet along said present (2004) easterly right-of-way line of Cibola Loop N.W. to an angle point, said point being a 5/8" rebar with plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, N12°15'36"W a distance of 80.10 feet along said present easterly right-of-way line of Cibola Loop N.W. to an angle point, said point being a 5/8" rebar with plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, N09°23'51"W a distance of 86.78 feet along said present easterly right-of-way line of Cibola Loop N.W. to a point of curvature, said point being a 5/8" rebar with plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, northeasterly 672.96 feet along a curve to the right, said curve having a radius of 670.00 feet, a central angle of 57°32'57", a chord bearing N19°22'34"E and a chord distance of 645.03 feet to the northwest corner of the parcel hereon described, said corner also being the corner common to Tract B-9F, Seven-Bar Ranch (12/21/89, C40-75), a 5/8" rebar with plastic cap marked "HUGG LS 9750";

Thence, S54°21'29"E a distance of 959.64 feet along the boundary line common to said Tracts B-9E and B-9F, Seven-Bar Ranch, to an angle point, said point being a 5/8" rebar with plastic cap marked "HUGG LS 9750" found in place;

Thence, S84°30'19"E a distance of 394.00 feet along the boundary line common to said Tracts B-9E and B-9F, Seven-Bar Ranch, to the northeast corner of the parcel hereon described, said corner also being a point on the present (2004) westerly right-of-way line of Cibola Loop N.W. and also the southeast corner of said Tract B-9F, Seven-Bar Ranch, a 5/8" rebar with plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, S05°29'41"W a distance of 186.00 feet along said westerly right-of-way line of Cibola Loop N.W. to an angle point, said point being a 5/8" rebar with plastic cap marked "HUGG LS 9750" found in place;

Thence, S08°29'12"W a distance of 80.09 feet along said westerly right-of-way line of Cibola Loop N.W. to an angle point, said point being a 5/8" rebar with plastic cap marked "HUGG LS 5823" found in place;

Thence, S05°28'16"W a distance of 50.02 feet along said westerly right-of-way line of Cibola Loop N.W. to the point and place of beginning, said parcel containing 16.8979 acres, more or less.

GENERAL NOTES

- Bearings are referred to Grid North, New Mexico Coordinate System—NAD 27, Central Zone—and were derived using GPS relative positioning techniques.
- All distances shown are horizontal ground distances.
- Bearings and distances shown are as measured in the field.
- Field work performed in May and June, 2004.
- The following plats and documents were used as references for this survey:
 - Plat entitled "Tracts B-9D Thru B-9K (being a replat of Tract B-9) SEVEN-BAR RANCH, City of Albuquerque, Bernalillo County, New Mexico, May, 1989" filed 12/21/89, Volume C40, Folio 75.
 - Plat entitled "Tracts B-9 Thru B-12 (being a replat of Tract B-8, SEVEN-BAR RANCH), Albuquerque, Bernalillo County, New Mexico, September, 1985" filed 11/8/85, Volume C28, Folio 161.
 - Grant of Permanent Public Drainage Easement from the City of Albuquerque to the City of Albuquerque (doc.# 99-60060) filed 5/5/99, Book 9906, Page 9917.
 - Special Warranty Deed from ABQ Federal Savings Bank to the City of Albuquerque (doc.# 93-15531) filed 2/16/93, Book 93-4, Page 3064.
- Record course data shown in parentheses hereon are referred to the plat of record referenced in note 5a.
- This plat shows all easements both apparent and of record.

APPROVALS

CITY ENGINEER, CITY OF ALBUQUERQUE, N.M. _____ Date
John B. Hart 7-6-04
CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M. _____ Date

PROPERTY MANAGEMENT, CITY OF ALBUQUERQUE, N.M. _____ Date
CHAIRMAN, ALBUQUERQUE/BERNALILLO DEVELOPMENT REVIEW BOARD _____ Date

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY _____ Date

TRAFFIC DIVISION, CITY OF ALBUQUERQUE, N.M. _____ Date

UTILITY DEVELOPMENT DEPT., CITY OF ALBUQUERQUE, N.M. _____ Date

PARKS AND RECREATION DEPT., CITY OF ALBUQUERQUE, N.M. _____ Date

QWEST TELECOMMUNICATIONS _____ Date

P.N.M. ELECTRIC AND GAS SERVICES _____ Date

COMCAST CABLE COMMUNICATIONS _____ Date

SURVEYOR'S CERTIFICATION

I, Stephen J. Toler, New Mexico Professional Surveyor No. 11599, hereby certify that this Plat was prepared from an actual ground survey performed by me and/or under my direct supervision, that I am responsible for this survey, that this survey is true and correct to the best of my knowledge and belief, and that this Plat and the field survey upon which it is based meet the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meet the minimum Standards for Surveying in New Mexico as adopted by the State Board of Registration for Professional Engineers and Surveyors effective October 1, 2000.

Stephen J. Toler
NMPS 11599
Date 6-30-04



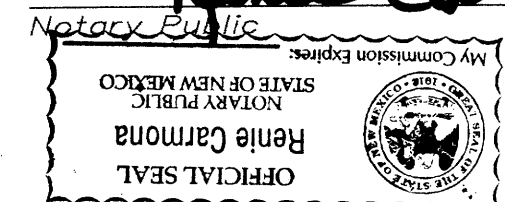
OWNER'S FREE CONSENT

The plat shown hereon has been surveyed and replatted and is now comprised of Tracts B-9E-1 and B-9E-2 (being a replat of Tract B-9E, Seven-Bar Ranch), City of Albuquerque, Bernalillo County, New Mexico, with the free consent and in accordance with the desires of the undersigned owner and said owner does hereby consent to all foregoing and does hereby certify that this plat is its free act and deed.

James B. Lewis
City of Albuquerque - Owner of Tract B-9E, Seven-Bar Ranch
by James B. Lewis
Chief Administrative Officer, City of Albuquerque

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS
This instrument was acknowledged before me on July 12, 2004.
by James B. Lewis
as Chief Admin. Officer of City of Albuq.
Rene Colman 1/15/2006
Notary Public My Commission Expires:



PURPOSE OF PLAT

To subdivide a single tract of land into two (2) distinct tracts.

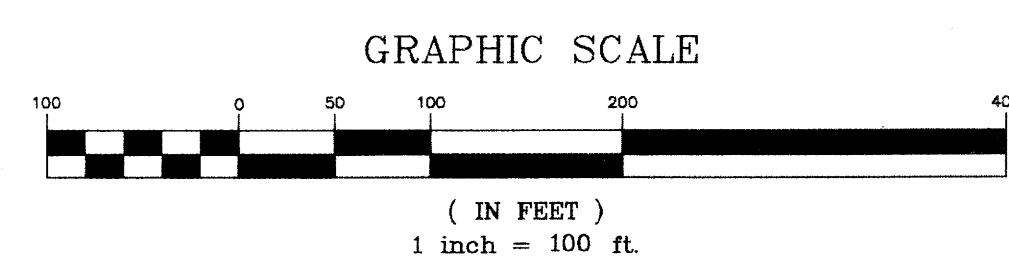
SUBDIVISION DATA

- DRB Project No. _____
- Zone Atlas No. : A-13
- Number of Tracts Created : 2
- Gross Acreage : 16.8979 Ac.
- Date of Survey : May and June, 2004
- Zoned SU-1

APPROVED AND ACCEPTED SUBDIVISION CASE NO. _____
PLAT NUMBER _____



PLAT OF
TRACTS B-9E-1 AND B-9E-2
SEVEN-BAR RANCH
 BEING A REPLAT OF
TRACT B-9E
SEVEN-BAR RANCH
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2004



LEGEND

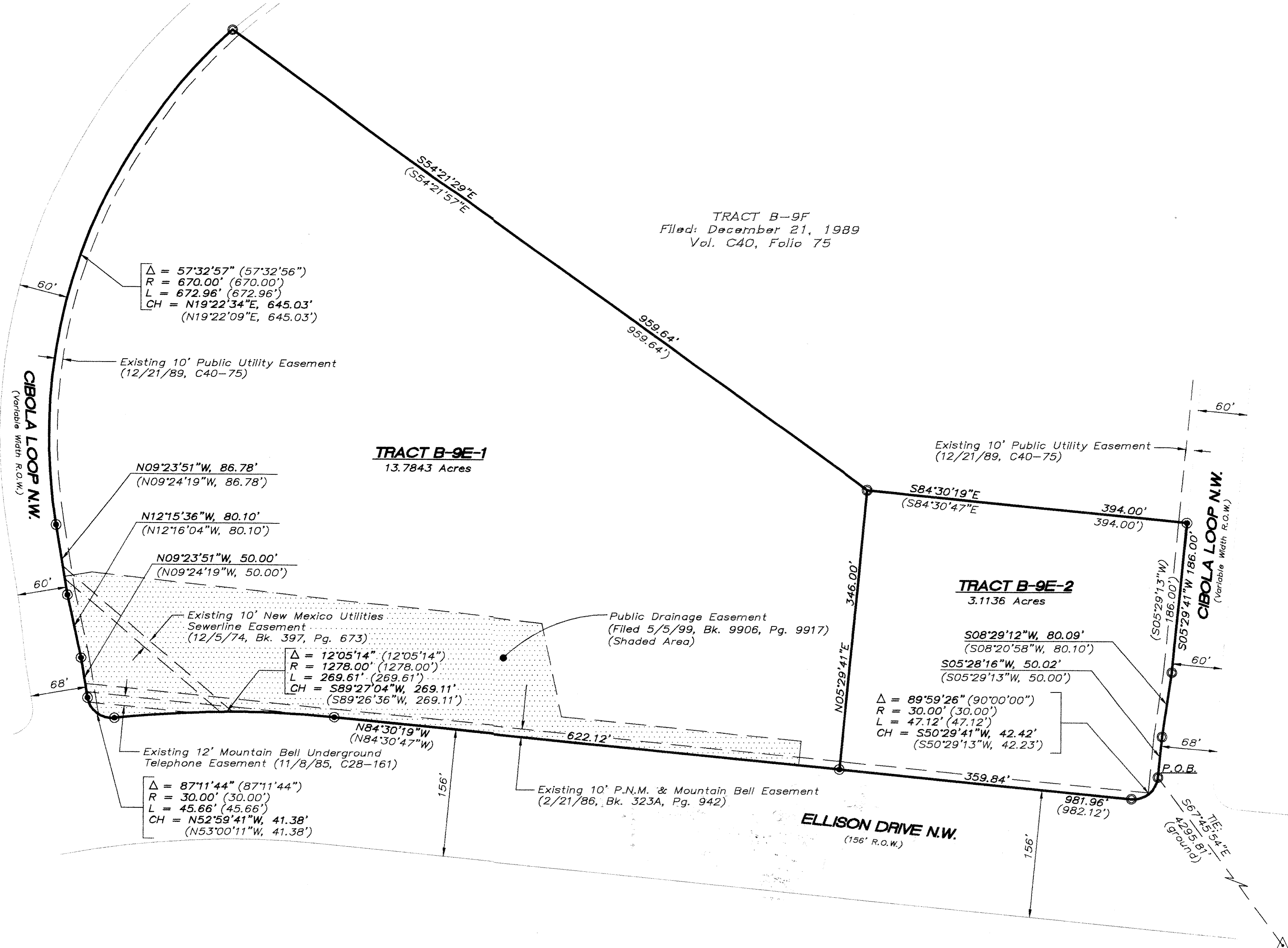
- = Found 5/8" rebar & plastic Cap marked "HUGG LS 9750" or "HUGG LS 5823"
- = Set 5/8" rebar & plastic Cap marked "S. TOLER NMPS 11599" or MAG nail & washer marked "PROP COR PS 11599"

NMSHC Brass Tablet "NM448-N12"
 New Mexico State Plane Coordinates
 (NAD 27, Central Zone)
 N = 1,528,910.94
 E = 381,108.54
 Elev. (NGVD 29) = 5,023.41'
 Delta Alpha = -0'13'46"
 Combined Factor = 0.99967595

TRACT B-9F
 Filed: December 21, 1989
 Vol. C40, Folio 75

TRACT B-9E-1
 13.7843 Acres

TRACT B-9E-2
 3.1136 Acres



$\Delta = 57^{\circ}32'57''$ ($57^{\circ}32'56''$)
 $R = 670.00'$ ($670.00'$)
 $L = 672.96'$ ($672.96'$)
 $CH = N19^{\circ}22'34''E, 645.03'$
 ($N19^{\circ}22'09''E, 645.03'$)

$N09^{\circ}23'51''W, 86.78'$
 ($N09^{\circ}24'19''W, 86.78'$)

$N12^{\circ}15'36''W, 80.10'$
 ($N12^{\circ}16'04''W, 80.10'$)

$N09^{\circ}23'51''W, 50.00'$
 ($N09^{\circ}24'19''W, 50.00'$)

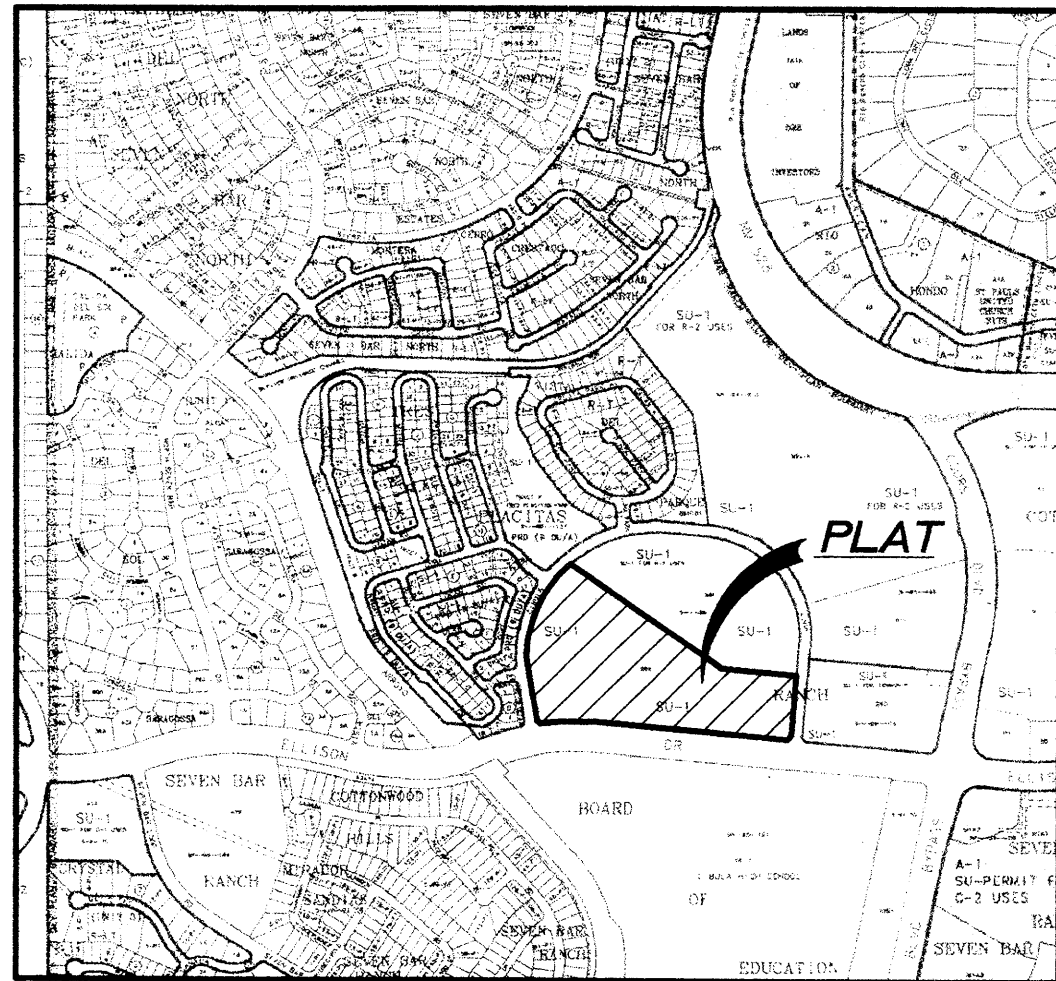
$\Delta = 12^{\circ}05'14''$ ($12^{\circ}05'14''$)
 $R = 1278.00'$ ($1278.00'$)
 $L = 269.61'$ ($269.61'$)
 $CH = S89^{\circ}27'04''W, 269.11'$
 ($S89^{\circ}26'36''W, 269.11'$)

$\Delta = 87^{\circ}11'44''$ ($87^{\circ}11'44''$)
 $R = 30.00'$ ($30.00'$)
 $L = 45.66'$ ($45.66'$)
 $CH = N52^{\circ}59'41''W, 41.38'$
 ($N53^{\circ}00'11''W, 41.38'$)

$\Delta = 89^{\circ}59'26''$ ($90^{\circ}00'00''$)
 $R = 30.00'$ ($30.00'$)
 $L = 47.12'$ ($47.12'$)
 $CH = S50^{\circ}29'41''W, 42.42'$
 ($S50^{\circ}29'13''W, 42.23'$)

4615

PLAT OF
TRACTS B-9E-1 AND B-9E-2
SEVEN-BAR RANCH
 BEING A REPLAT OF
TRACT B-9E
SEVEN-BAR RANCH
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2004



VICINITY MAP
 ALBUQUERQUE ZONE ATLAS A-13-2

LEGAL DESCRIPTION

A certain parcel of land situate within the Twn of Alameda Grant in projected Section 6, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising Tract B-9E, Seven-Bar Ranch, as the same is designated and shown on the plat entitled "Tracts B-9D thru B-9K (being a replat of tract B-9) Seven-Bar Ranch, City of Albuquerque, Bernalillo County, New Mexico," filed in the Office of the County Clerk of Bernalillo County, New Mexico on December 21, 1989 in Volume C40, Folio 75, said parcel being more particularly described by New Mexico State Plane Coordinate System grid bearings (NAD 27, Central Zone) and horizontal ground distances as follows:

BEGINNING at a point of curvature at the southeast corner of the parcel hereon described, said point of beginning also being a point on the present (2004) westerly right-of-way line of Cibola Loop N.W., a 5/8" rebar with plastic cap marked "HUGG LS 5823" found in place, from which the New Mexico State Highway Commission monument "NM-448-N12" bears S67°45'54"E, a distance of 4295.81 feet, said monument being a standard NMSHC brass tablet in concrete;

Thence, southwesterly 47.12 feet along a curve to the right, said curve having a radius of 30.00 feet, a central angle of 85°59'26", a chord bearing S50°29'41"W and a chord distance of 42.42 feet to a point of tangency, said point being a point on the present (2004) northerly right-of-way line of Ellison Drive N.W., a 5/8" rebar with plastic cap marked "HUGG LS 5823" found in place;

Thence, N84°30'19"W a distance of 981.96 feet along said present (2004) northerly right-of-way line of Ellison Drive N.W. to a point of curvature, said point being a 5/8" rebar and plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, southwesterly 269.61 feet along a curve to the left, said curve having a radius of 1278.00 feet, a central angle of 12°05'14", a chord bearing S89°27'04"W and a chord distance of 269.11 feet to a point of reverse curvature, said point being a 5/8" rebar and plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, northwesterly 45.66 feet along a curve to the right, said curve having a radius of 30.00 feet, a central angle of 87°11'44", a chord bearing N52°59'41"W and a chord distance of 41.38 feet to a point of tangency, said point being a point on the present (2004) easterly right-of-way line of Cibola Loop N.W., a 5/8" rebar with plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, N09°23'51"W a distance of 50.00 feet along said present (2004) easterly right-of-way line of Cibola Loop N.W. to an angle point, said point being a 5/8" rebar with plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, N12°15'36"W a distance of 80.10 feet along said present easterly right-of-way line of Cibola Loop N.W. to an angle point, said point being a 5/8" rebar with plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, N09°23'51"W a distance of 86.78 feet along said present easterly right-of-way line of Cibola Loop N.W. to a point of curvature, said point being a 5/8" rebar with plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, northeasterly 672.96 feet along a curve to the right, said curve having a radius of 670.00 feet, a central angle of 57°32'57", a chord bearing N19°22'34"E and a chord distance of 645.03 feet to the northwest corner of the parcel hereon described, said corner also being the corner common to Tract B-9F, Seven-Bar Ranch (12/21/89, C40-75), a 5/8" rebar with plastic cap marked "HUGG LS 9750";

Thence, S54°21'29"E a distance of 959.64 feet along the boundary line common to said Tracts B-9E and B-9F, Seven-Bar Ranch, to an angle point, said point being a 5/8" rebar with plastic cap marked "HUGG LS 9750" found in place;

Thence, S84°30'19"E a distance of 394.00 feet along the boundary line common to said Tracts B-9E and B-9F, Seven-Bar Ranch, to the northeast corner of the parcel hereon described, said corner also being a point on the present (2004) westerly right-of-way line of Cibola Loop N.W. and also the southeast corner of said Tract B-9F, Seven-Bar Ranch, a 5/8" rebar with plastic cap marked "S. Toler NMPS 11599" set this survey;

Thence, S05°29'41"W a distance of 186.00 feet along said westerly right-of-way line of Cibola Loop N.W. to an angle point, said point being a 5/8" rebar with plastic cap marked "HUGG LS 9750" found in place;

Thence, S08°29'12"W a distance of 80.09 feet along said westerly right-of-way line of Cibola Loop N.W. to an angle point, said point being a 5/8" rebar with plastic cap marked "HUGG LS 5823" found in place;

Thence, S05°28'16"W a distance of 50.02 feet along said westerly right-of-way line of Cibola Loop N.W. to the point and place of beginning, said parcel containing 16.8979 acres, more or less.

GENERAL NOTES

- Bearings are referred to Grid North, New Mexico Coordinate System—NAD 27, Central Zone— and were derived using GPS relative positioning techniques.
- All distances shown are horizontal ground distances.
- Bearings and distances shown are as measured in the field.
- Field work performed in May and June, 2004.
- The following plats and documents were used as references for this survey:
 - Plat entitled "Tracts B-9D Thru B-9K (being a replat of Tract B-9) SEVEN-BAR RANCH, City of Albuquerque, Bernalillo County, New Mexico, May, 1989" filed 12/21/89, Volume C40, Folio 75.
 - Plat entitled "Tracts B-9 Thru B-12 (being a replat of Tract B-8, SEVEN-BAR RANCH), Albuquerque, Bernalillo County, New Mexico, September, 1985" filed 11/8/85, Volume C28, Folio 161.
 - Grant of Permanent Public Drainage Easement from the City of Albuquerque to the City of Albuquerque (doc.# 99-60060) filed 5/5/99, Book 9906, Page 9917.
 - Special Warranty Deed from ABQ Federal Savings Bank to the City of Albuquerque (doc.# 93-15531) filed 2/16/93, Book 93-4, Page 3064.
- Record course data shown in parentheses hereon are referred to the plat of record referenced in note 5a.
- This plat shows all easements both apparent and of record.

APPROVALS

- Bradley L. Bigham 7/28/04
 CITY ENGINEER, CITY OF ALBUQUERQUE, N.M. Date
- M. B. Jant 7-6-04
 CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M. Date
- NA
 PROPERTY MANAGEMENT, CITY OF ALBUQUERQUE, N.M. Date
- Sheran Mabon 7/28/04
 CHAIRMAN, ALBUQUERQUE/BERNALILLO COUNTY DEVELOPMENT REVIEW BOARD Date
- Bradley L. Bigham 7/28/04
 ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY Date
- Chf. of 7-28-04
 TRAFFIC DIVISION, CITY OF ALBUQUERQUE, N.M. Date
- Roger X. Green 8-17-04
 UTILITY DEVELOPMENT DEPT., CITY OF ALBUQUERQUE, N.M. Date
- Christina Sandoral 7/28/04
 PARKS AND RECREATION DEPT., CITY OF ALBUQUERQUE, N.M. Date
- Dan D. Muller 8-16-04
 QWEST TELECOMMUNICATIONS Date
- Lambert M. Marks 8-9-04
 P.N.M. ELECTRIC AND GAS SERVICES Date
- Robert M. Anderson 8-16-04
 COMCAST COMMUNICATIONS Date
- [Signature] 8-3-04
 NEW MEXICO UTILITIES, INC. DATE

SURVEYOR'S CERTIFICATION

I, Stephen J. Toler, New Mexico Professional Surveyor No. 11599, hereby certify that this Plat was prepared from an actual ground survey performed by me and/or under my direct supervision, that I am responsible for this survey, that this survey is true and correct to the best of my knowledge and belief, and that this Plat and the field survey upon which it is based meet the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meet the minimum Standards for Surveying in New Mexico as adopted by the State Board of Registration for Professional Engineers and Surveyors effective October 1, 2000.

[Signature] 6-30-04
 Stephen J. Toler Date
 NMPS 11599

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
 PAID ON UPC # 101300631013010355
 PROPERTY OWNER OF RECORD:
 City of Albuquerque
 BERNALILLO COUNTY TREASURER'S OFFICE
[Signature] 8-18-04



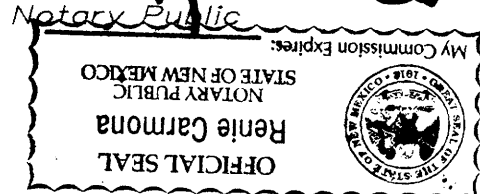
OWNER'S FREE CONSENT

The plat shown hereon has been surveyed and replatted and is now comprised of Tracts B-9E-1 and B-9E-2 (being a replat of Tract B-9E, Seven-Bar Ranch), City of Albuquerque, Bernalillo County, New Mexico, with the free consent and in accordance with the desires of the undersigned owner and said owner does hereby consent to all foregoing and does hereby certify that this plat is its free act and deed.

James B. Lewis
 City of Albuquerque - Owner of Tract B-9E, Seven-Bar Ranch
 by James B. Lewis
 Chief Administrative Officer, City of Albuquerque

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS
 This instrument was acknowledged before me on July 12, 2004
 by James B. Lewis
 as Chief Admin Officer of City of Albuq.
Renee Johnson My Commission Expires: 1/15/2006



PURPOSE OF PLAT

To subdivide a single tract of land into two (2) distinct tracts.

SUBDIVISION DATA

- DRB Project No. 1003570 APP#04-01133
- Zone Atlas No. : A-13
- Number of Tracts Created : 2
- Gross Acreage : 16.8979 Ac.
- Date of Survey : May and June, 2004
- Zoned SU-1

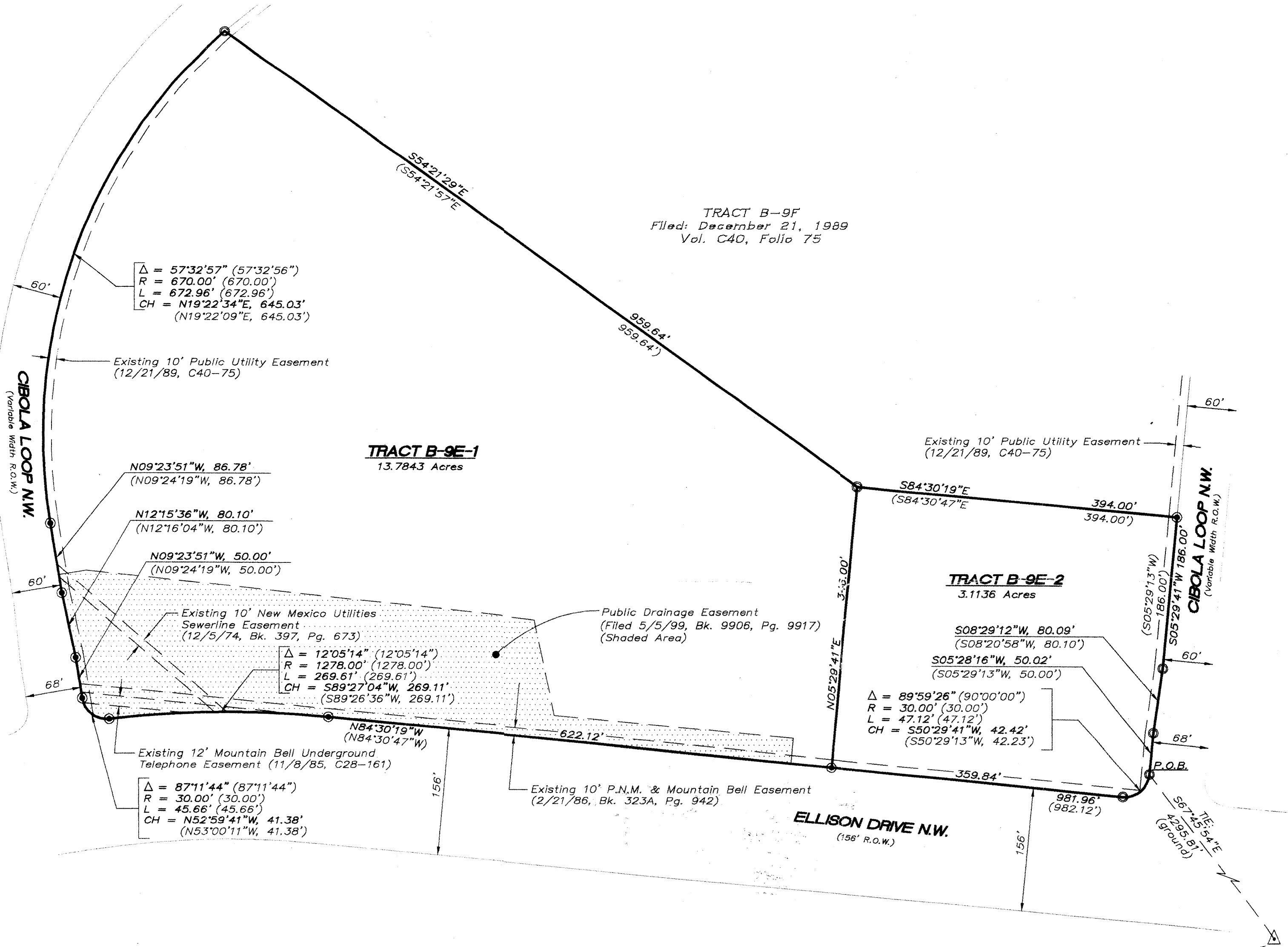
APPROVED AND ACCEPTED SUBDIVISION CASE NO. _____
 PLAT NUMBER _____



2004116947
 2004116967
 813846E
 Page 1 of 2
 98/18/2004 03:06P
 BK-2004C Pg-246
 Mary Herrera Bern. Co. PLAT R 12.00 BK-2004C Pg-246

PLAT OF
TRACTS B-9E-1 AND B-9E-2
SEVEN-BAR RANCH
 BEING A REPLAT OF
TRACT B-9E
SEVEN-BAR RANCH
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2004

TRACT B-9F
 Filed: December 21, 1989
 Vol. C40, Folio 75



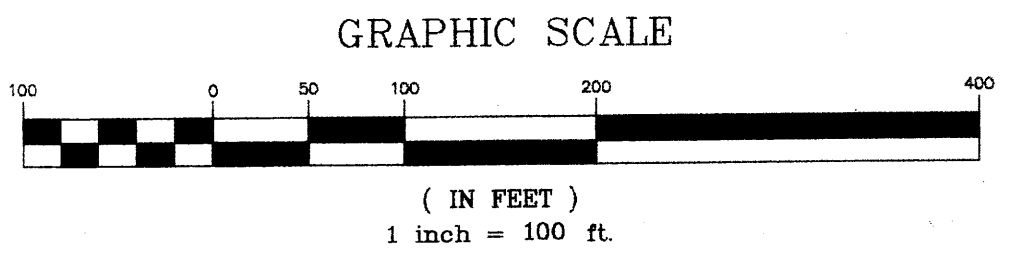
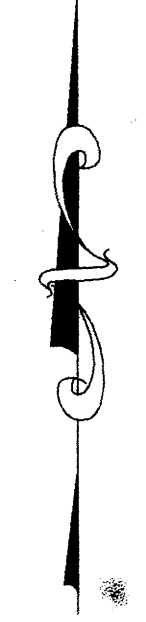
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 $R = 670.00'$ ($670.00'$)
 $L = 672.96'$ ($672.96'$)
 $CH = N19^{\circ}22'34''E, 645.03'$
 ($N19^{\circ}22'09''E, 645.03'$)

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 ($S89^{\circ}26'36''W, 269.11'$)

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 $L = 47.12'$ ($47.12'$)
 $CH = S50^{\circ}29'41''W, 42.42'$
 ($S50^{\circ}29'13''W, 42.23'$)

NMSHC Brass Tablet "NM448-N12"
 New Mexico State Plane Coordinates
 (NAD 27, Central Zone)
 $N = 1,528,910.94$
 $E = 381,108.54$
 Elev. (NGVD 29) = 5,023.41'
 Delta Alpha = $-0^{\circ}13'46''$
 Combined Factor = 0.99967595



- LEGEND**
- = Found 5/8" rebar & plastic Cap marked "HUGG LS 9750" or "HUGG LS 5823"
 - = Set 5/8" rebar & plastic Cap marked "S. TOLER NMPS 11599" or MAG nail & washer marked "PROP COR PS 11599"



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 Page: 2 of 2
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 Bk-2004C Pg-246

BK 2004C PG-246

CIBOLA LOOP SUBDIVISION
ALBUQUERQUE, NEW MEXICO
DEVELOPMENT DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist developers and designers to understand the Owner's goals and objectives to create a high quality neighborhood commercial and residential retirement center. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Cibola Loop community. These standards are to be used as a supplement to the City of Albuquerque Zoning Code and other pertinent city ordinances. These standards shall apply to all properties within the Cibola Loop Subdivision. They are also to be used to supplement the requirements of the restrictive covenant contained in the Quitclaim deed from the City of Albuquerque, dated April 13, 2007, particularly that Tracts A, B and C shall contain, in either a single structure or multiple structures, no more than an aggregate total of 14,000 square feet of office or retail space. (See Section 14 sheet 3). Tract A is to be changed to SU-1 for Housing for Older Persons with Limited Medical Facilities, while Tract B is to be changed to C-1 Permissive Uses, with no drive-up service window. For Tract C the existing zoning is to remain unchanged.

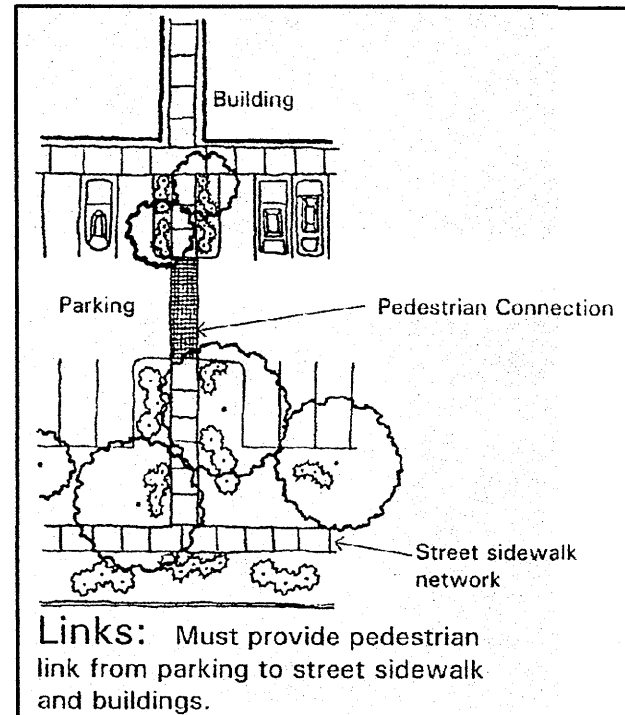
Table of Headings

1. Site Objectives
2. Transit Feasibility Plan
3. Parking and Circulation Standards
4. Sidewalks and Bikeway Standards
5. Landscaping Standards
6. Architectural Standards
7. Screening Walls and Fencing Standards
8. Lighting Standards
9. Signage Standards
10. Utility Standards
11. Open Space
12. Proposed Approvals Process

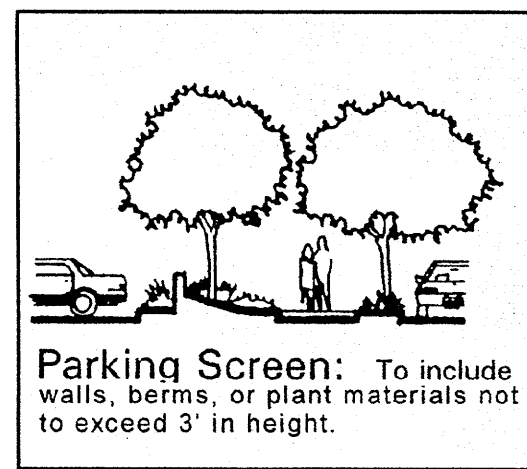
1. Site Objectives

The creation of an active pedestrian environment in the Cibola Loop Subdivision is dependent upon creative site and architectural design. It is the Owner's desire to have the individual sites within the subdivision linked together as well as the surrounding neighborhoods. Important to the formation of a pedestrian-oriented development is the relationship between the buildings and the street.

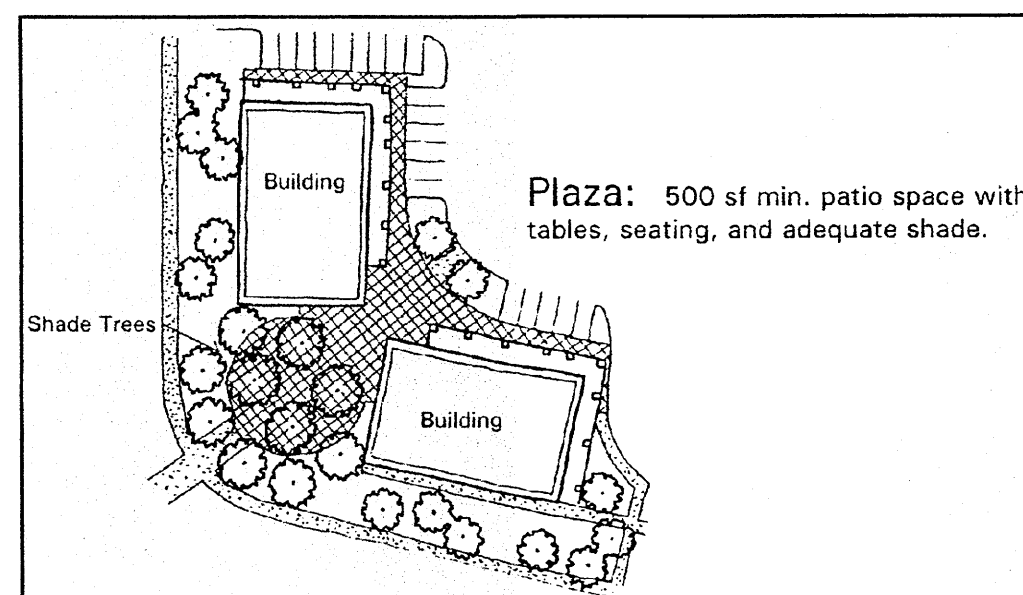
- 1-A Buildings shall be arranged so as to provide meaningful open space for gathering by occupants and by visitors.
- 1-B Pedestrian connections shall be clearly visible and their surfaces shall be constructed of textured, colored concrete and / or thermoplastic, or other comparable surface.
- 1-C Parking areas shall be designed to include a pedestrian connection to the street sidewalk network.



- 1-D All parking facilities adjacent to the streets shall be screened with low walls and/or landscaping. Such screening shall not exceed a height of 3 feet.



- 1-E All pedestrian paths shall be designed to be accessible to the handicapped (See Americans with Disabilities Act criteria for barrier free design).
- 1-F Pedestrian access and circulation shall provide direct connections from sidewalks to building entrances that minimize pedestrian/vehicular conflicts.
- 1-G All non-residential sites shall provide public space in compliance with Section 14-16-3-18 of the Zoning Code.
- 1-H For restaurants equal to or greater than 2000 square feet, an outdoor patio space that is a minimum of 500 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or a shade structure that is consistent with building architecture.



- 1-I Restaurants of less than 2000 square feet shall provide a minimum of 200 square feet shaded seating area.
- 1-J Maximum total number of residential units shall be 430 on Tract A or 430 on Tract C, with a maximum number of units not to exceed 800 on the subject site. Floor area ratio (FAR) shall be 0.3 for Tract B.
- 1-K Adequate shading shall be defined as shade covering at least 50% of the area.

2. Transit Feasibility and Access Plan

The proposed on-site dwelling density for the residential portions of this property is 34 units per acre, which must be occupied by older persons in accord with provision of the restrictive covenant contained in the Quitclaim Deed identified on sheet 3 of this plan. Existing bus stops are located just west of each corner Cibola Loop has with Ellison Drive. Developers of Tracts A, B, and C shall integrate pedestrian-friendly access routes from each of the on-site buildings to these bus stops, as identified on sheet one of this site plan for subdivision. A new regional transit center is also located just east of the subject site, and so these same access mandates shall apply to a route to the east as well. An example of these connections would be construction of a minimum 10-foot wide asphalt trail and/or 6-foot wide concrete sidewalk. These routes shall be lighted during winter evenings and located within public easements where they cross property lines to increase utilization. Each of the proposed on-site senior apartments and/or condos shall contain a circulation plan that would enable on-site service by full-size buses with an allowance for interconnection between Tracts A and C. Non-residential buildings on Tract B shall have front entrances not further than 52 feet from the Ellison Drive right of way line, with well-marked pedestrian routes to bus and transit stops on Ellison Drive. Parking between these front entrances and Ellison Drive shall be prohibited. Buildings shall be sited close to Ellison Drive with entrance facing the street and parking along the side or rear of buildings.

3. Parking and Circulation Standards

- 3-A The minimum required off-street parking shall be in accordance with section 14-6-3-1 of the Zoning Code. For the residential units associated with providing limited medical services on Tract A, there shall be one space per four residents.
- 3-B Parking shall not exceed the required parking plus 10% for the nonresidential uses.
- 3-C Pedestrian connection crossings of vehicular entrances and internal drive aisles shall be a minimum of 8 feet in width and consist of textured, colored concrete and/or thermoplastic pavement markings, or other comparable surface.
- 3-D Except for deliveries, parking of commercial truck shall not be permitted.
- 3-E For all non-residential buildings a standard sidewalk that is a minimum of 8 feet wide shall be provided along the main entrance side of the building and shall increase in width pursuant to section 14.16.3.18(c)(1) of the zone code. Shade trees shall be provided at intervals of at least 30' on center.
- 3-F Parking areas shall be setback a minimum of 15 feet from the Cibola Loop RW, 20 feet from the Ellison Drive RW, 10 feet from all other RW or internal drive aisles, and 10 feet from internal lot lines.
- 3-G Parking for the commercial uses shall be prohibited between south-facing building facades and Ellison Drive.
- 3-H Parking areas shall be permitted to have more than one pedestrian connection to the street sidewalk network.
- 3-I Parking areas shall be visually and functionally segmented into smaller subareas by landscaping and/or pedestrian connections. No single subarea shall exceed 100 parking spaces.

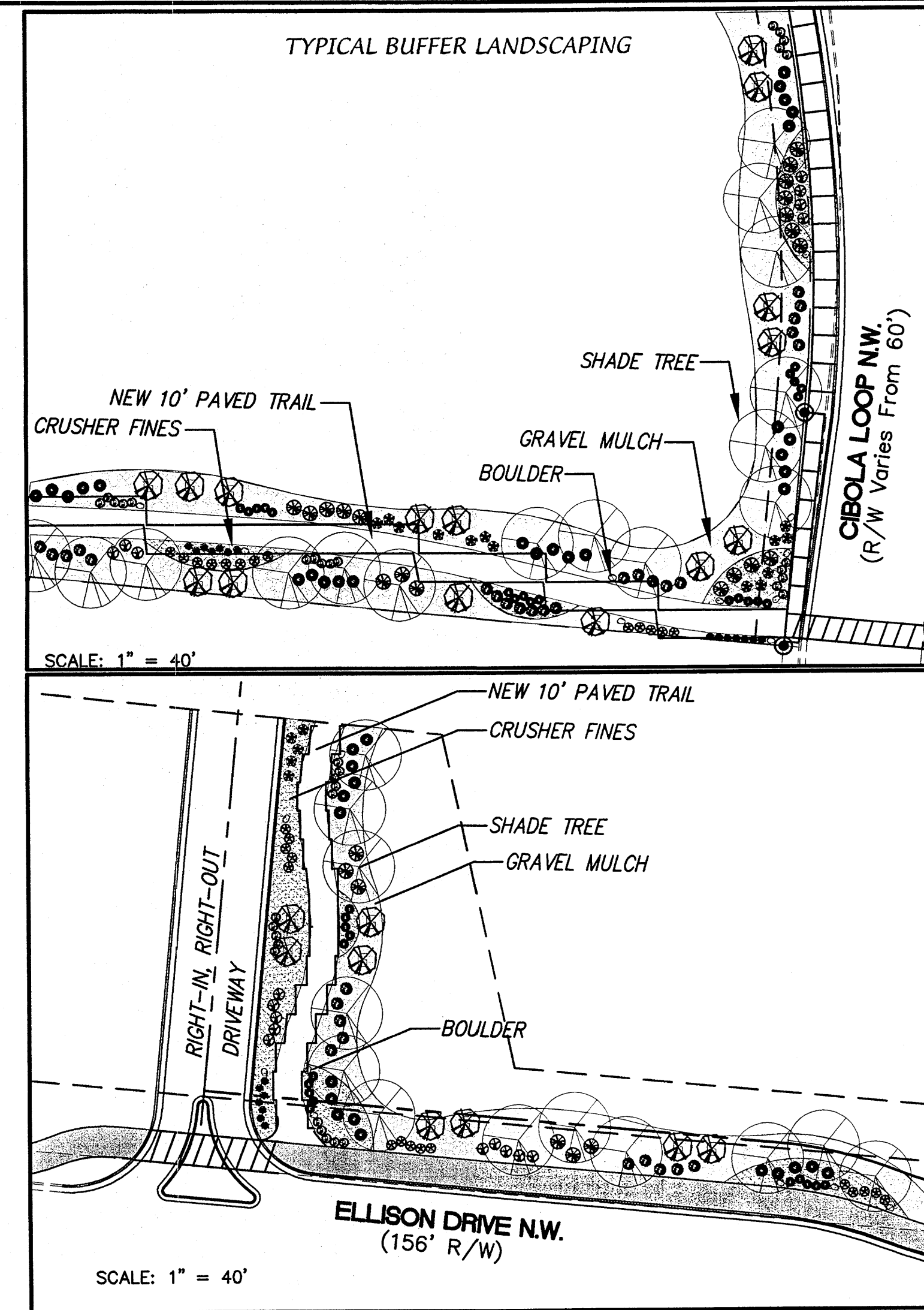
4. Sidewalks and Bikeway Standards

To encourage and enhance the pedestrian activity, sidewalks and / or bikeways are required in certain areas as an integral element of the streetscape. All streets and driveways are required to have sidewalks or pedestrian trails running parallel on at least one of its sides.

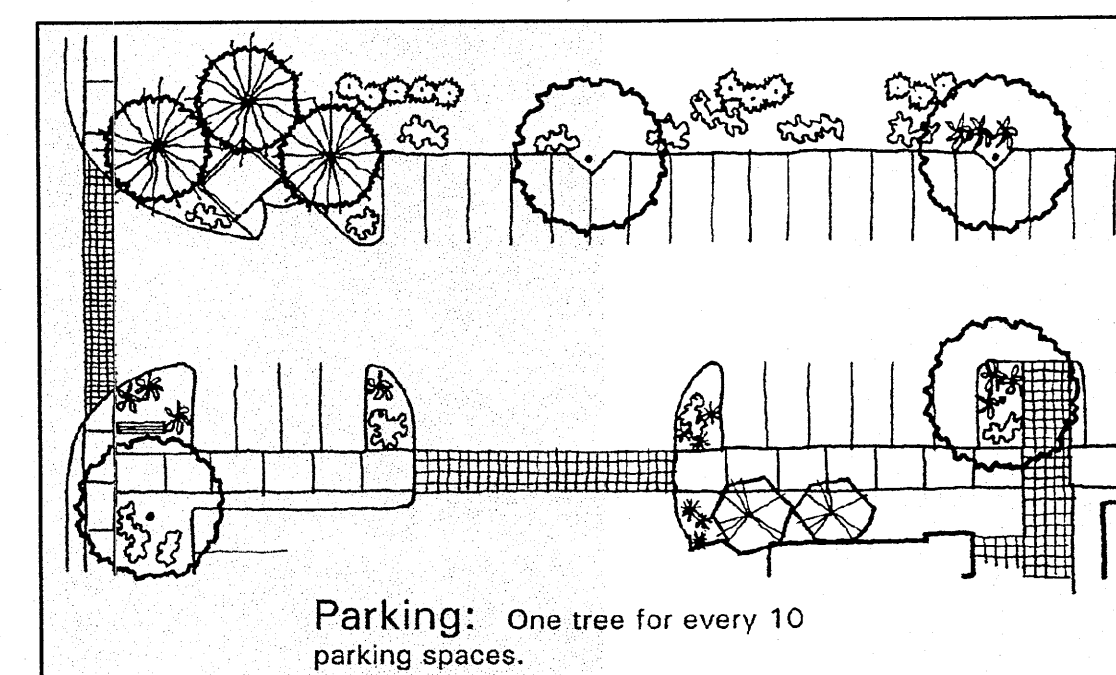
- 4-A Sidewalks shall be provided along public rights-of-way at a minimum of 6 feet in width and shaded by trees planted 30 feet on center. Paved pedestrian trails must be a minimum of 10 feet in width.
- 4-B Convenient pedestrian connections shall be provided from each building to the internal circulation system, to adjacent roadways and across public streets. Pedestrian and bicycle crossings of vehicular paths shall be a minimum of 8 feet wide and designated by textured, colored concrete and/or thermoplastic pavement markings or other comparable materials.
- 4-C Internal pedestrian access shall be provided with a clear 8-foot wide path and adjacent trees spaced at approximately 25 feet on center with planters that have a minimum surface area of 36 square feet and a minimum width of four feet.
- 4-D Pedestrian sidewalks, no less than 8 feet wide, shall be provided adjacent to and along the full length of building fronts. A minimum width of 6 feet shall remain clear and unobstructed for pedestrian use at all times.
- 4-E Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas.
- 4-F Pedestrian features must meet the requirements for Pedestrian Connections pursuant to Off-Street Parking regulations of the Zoning Code (Section 14-16-3-1) and the regulations for sidewalks pursuant to the General Building and Site Design Regulations (Section 14- 16-3-18) for all sites within the proposed development.
- 4-G Pedestrian connections from parking areas to the street sidewalk network shall be short and direct, not circuitous.
- 4-H The existing 10-foot paved trail along Ellison Dr. shall be connected across East and West Cibola Loop by installing minimum 8-foot wide textured, colored concrete surfacing and/or thermoplastic pavement markings within the existing roadway.
- 4-I The material for the new paved trail (as shown on sheet 1) shall consist of asphaltic concrete.

5. Landscaping Standards

Development of an overall landscape concept shall establish a framework that unifies the individual sites within the Cibola Loop Subdivision. To achieve a totally unified development, all areas of design shall be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project and fall within the existing constraints imposed by the numerous power line, drainage, and utility easements that cross the site. Strategically-placed landscape roadway buffers shall be utilized to create a unified and "highly landscaped streetscape image." Ellison Drive will contain Raywood Ash & Chinese Pistache tree groupings in accordance with the Street Tree Ordinance.



- 5-A Deciduous shade trees shall be used within parking areas. Buffer areas shall include primarily evergreen trees. Parking and outdoor storage areas beneath overhead power lines or over underground water and sewer lines shall not be permitted to contain trees that will grow to over 20 feet in height.
- 5-B A landscape buffer of no less than 10 feet shall be maintained between a parking area and the street right-of-way.
- 5-C Trees shall be capable of reaching a mature height of at least twenty-five feet, unless they are below power lines. Parking area trees and street trees shall be deciduous and canopy-forming. Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet.
- 5-D A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with street-side exposure and / or adjacent to residential properties.
- 5-E A 10-foot landscaped buffer shall be required between commercial and residential properties, and along the west, north and east sides of the detention pond. The buffer shall consist primarily of evergreen trees which must be at least 10 feet tall when planted and be capable of reaching a mature height of twenty-five feet. The trees shall be spaced at an average of 25 feet on center. The buffer width along the west side of Tract B fronting West Cibola Loop and the full length of Ellison shall be at least 20 feet.
- 5-F Appropriate landscape headers shall be used to separate the turf and groundcover areas. Header curbs shall be 6" x 6" concrete, brick (side by side). Turf areas shall be relatively flat with cross slopes of not more than 6%.
- 5-G 80% of landscaped areas over 36 square feet in size shall be covered with living vegetative material. Drought tolerant and native plant material shall be required.
- 5-H One tree is required for each thirty linear feet of main public access roadways on average. If clustered, trees shall be planted with not more than a fifty-foot gap between groupings.
- 5-I Off-Street parking areas shall have one shade tree for every ten (10) parking spaces.



- 5-J Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper and shrubs shall be a five-gallon container. Ground-covers and perennials shall be a one gallon container size and turf grasses shall be capable of providing complete ground coverage within one growing season after installation.
- 5-K An automatic underground irrigation system is required to support all required landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
- 5-L All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, or similar materials, which extends completely under the plant material. All plant material, including trees, shrubs, ground-covers, turf, wild-flowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds.
- 5-M The landscape treatment at prominent entries and intersections shall be intensified from the standpoint of density, pattern, texture, scale, or form in order to highlight these areas.
- 5-N Xeriscape principles shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas.
- 5-O A landscape / screening buffer shall be provided along areas where the subject property abuts a residential zone in order to minimize noise and sight impact of the non-residential activities, pursuant to Landscaping/Screening Requirements (Section 14-16-3-10) of the Zone Code.
- 5-P A water conserving turf mix shall be permitted.
- 5-Q Landscape Palette

Common Name	Scientific Name	Water Usage	Allergenic Potential
Trees			
Austrian Pine	Pinus Nigra	Medium	Low
Bur Oak	Quercus macrocarpa	Medium	Moderate
Chaste Tree	Vitex agnus-castus	Medium	Low
Chinaberry	Melia azedarach	Low +	Low
Chinese Pistache	Pistacia chinensis	Medium	Low
Chitalpa	Chilopsis X Calappa	Medium	Low
Desert Live Oak	Quercus turbinella	Low +	Moderate
Desert Willow	Chilopsis linearis	Low +	Low
Netleaf Hackberry	Celtis reticulata	Medium	Low
Shumard Oak	Quercus shumardii	Medium	Moderate
Mexican Elder	Sambucus mexicana	Low +	Low
New Mexico Olive	Forestiera neomexicana	Medium	Low
Piñon Pine	Pinus edulis	Medium	Low
Velvet Mesquite	Prosopis velutina	Low +	Low
Curl Leaf Mtn. Mahogany	Cercocarpus ledifolius	Low	Low
Serviceberry	Amelanchier utahensis	Medium	Low
Accents & Shrubs			
Scotch Broom	Cytisus scoparius	Medium	Low
Apache Plume	Fallugia paradoxa	Low	Low
Blue Mist Spirea	Caryopteris x clandonensis	Medium	Low
Catmint	Nepeta mussini	Medium	Low
Chamisa	Chrysothamnus nauseosus	Low	Low
Fembush	Chamaebatia millefolium	Low +	Low
Mexican Evening Primrose	Oenothera bihanderi	Low +	Low
Mountain Mahogany	Cercocarpus montanus	Low +	Low
New Mexico Yucca	Yucca neomexicana	Low	Low
Red Yucca	Hesperaloe parviflora	Low +	Low
Switch Grass	Panicum virgatum	Medium	Low
Terpentine Bush	Ericameria laevifolia	Low +	Low
Western Sand Cherry	Prunus besseyi	Medium	Low
Rosewood	Vauquelinia spp.	Low	Low
Silverberry	Elaeagnus pungens	Medium	Low
Red Tip Photinia	Photinia fraseri	Medium	Low
Flowers			
Penstemon	Penstemon spp.	Low +	Low
Chocolate Flower	Berlandiera lyrata	Low	Moderate
Sand Verbena	Abronia sp.	Low	Low
Sunset Hyssop	Agastache rupestris	Low	Low

- 5-R Trees and shrubs shall be irrigated by an automated drip system. Any turf areas will be irrigated with spray heads arranged with uniform coverage and without runoff onto hardscape areas. An irrigation controller with a moisture sensor will be utilized to conserve water used for landscape purposes. All irrigation shall be in compliance with the City Water Conservation Ordinance.
- 5-S In areas around residential structures, trees shall be provided at not less than a rate of one tree per ground-floor dwelling unit and one tree per two second-story dwelling units.
- 5-T Tree planters shall have a minimum surface area of 36 square feet.
- 5-U Pursuant to the Street Tree Ordinance, street trees shall be placed between the curb and the public sidewalk, unless traffic safety requires different locations as specified therein.

CIBOLA LOOP
SITE PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
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(505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 2 of 5
Scale: N/A	Date: 3/25/2009	Job: A08016	

Revision One 06/06/08
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6 Architectural Standards

The architectural objective is to create a site that is visually integrated through the use of a few select architectural styles. The recommended styles have many similarities of scale, proportion, massing, and color. Stucco, stacked stone, split face or masonry textured block shall be used as the primary surface treatment. Metal siding is not allowed as a primary surface but is allowed as an accent feature.

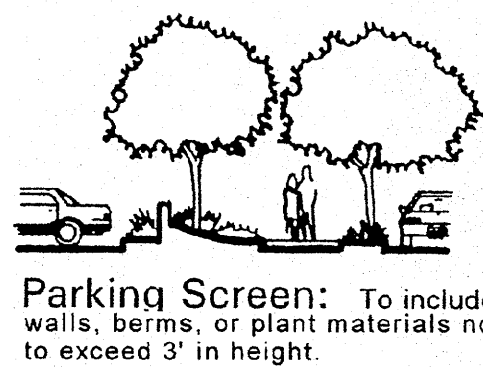
Additionally, all buildings shall conform to the following requirements:

- 6-A Pueblo, Territorial, New Mexico Traditional or Southwest Contemporary building styles.
- 6-B Buildings and structures erected within the site shall comply with all applicable zoning and building code requirements as well as other local applicable codes.
- 6-C Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations.
- 6-D Finished building materials must be applied to all exterior sides of buildings and structures.
- 6-E Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- 6-F Entries to structures shall portray an aesthetically pleasing appearance while being architecturally tied into the overall mass and building composition.
- 6-G Windows and doors are key elements of any structure's form and shall relate to the scale of the elevation on which they appear. The use of recessed openings shall be employed to help to provide depth and contrast on elevation planes.
- 6-H The primary building colors shall be sensitive to and compatible with colors of nearby surrounding buildings. Alteration of colors shall not be allowed to produce very light or very dark contrasts that are outside the middle range of reflectance.
- 6-I The staggering of planes and/or distinct articulation of building facades is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual facades.
- 6-J The roof line at the top of the structure shall incorporate offsets to prevent continuous planes from occurring.
- 6-K All accessory buildings and canopies shall be architecturally integrated and compatible in material and design with the main structure. All rooftop and ground mounted equipment shall be screened from the public view by materials of the same nature as the building's basic materials.
- 6-L No freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.
- 6-M No plastic or vinyl building panels, awnings, or canopies are permitted (metal panels are permitted as an accent feature only).
- 6-N Parapets and/or architecture must be modified to reflect appropriate region architectural style.
- 6-O Franchise architecture must be modified to reflect appropriate region architectural style.
- 6-P Wall material shall be chosen to withstand abuse by vandals and be easily repaired when accidentally damaged.
- 6-Q ATMs shall be architecturally integrated with building design.
- 6-R The treatment of vertical building planes with regard to color, material architectural details, and trim materials shall be consistent (SBRSDP, Appendix 6).
- 6-S Major architectural elements such as roof-line, articulation of building fenestration and articulation of massing shall be consistent (SBRSDP, Appendix 6).
- 6-T The primary building mass shall be of an earth-tone color regardless of materials. Colors other than earth tone palette shall be used only for decorative elements (SBRSDP, Appendix 6).
- 6-U Materials shall generally be non-reflective, cementitious in visual quality, and no more than three materials shall be combined in a given building elevation (SBRSDP, Appendix 6).

7. Screening, Walls and Fencing Standards

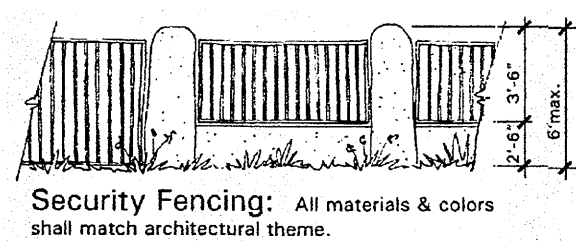
The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions shall be away from any residential street area or pedestrian area. The standards established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening and architectural function within the landscape element of the Development. The following are standards to ensure effective screening of negative site elements:

- 7-A All parking areas shall be screened from adjacent streets with a combination of plant materials, walls, and/or earthen berms. Such screening shall not exceed a height maximum height of 3 feet. Employee and customer parking areas shall be screened from adjacent properties. Appropriate signage and/or highlighted landscaping shall be used to direct visitors.
- 7-B Screen walls for parking areas shall include wall openings to facilitate pedestrian circulation.
- 7-C All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure, which is large enough to contain all refuse generated between collections.
- 7-D The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building using compatible materials and colors. All refuse enclosures shall be gated.
- 7-E Refuse collection areas shall not be allowed between the street and building front.

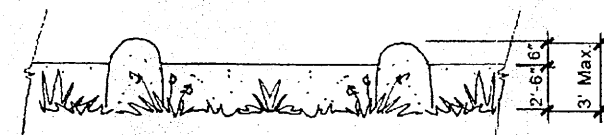


Parking Screen: To include walls, berms, or plant materials not to exceed 3' in height.

7-F When security fencing is required, it shall be a combination of masonry pillars or short wall segments combined with or without fencing.



Security Fencing: All materials & colors shall match architectural theme.



Parking Lot Screen Wall: Without security fencing. All materials & colors shall match architectural theme.

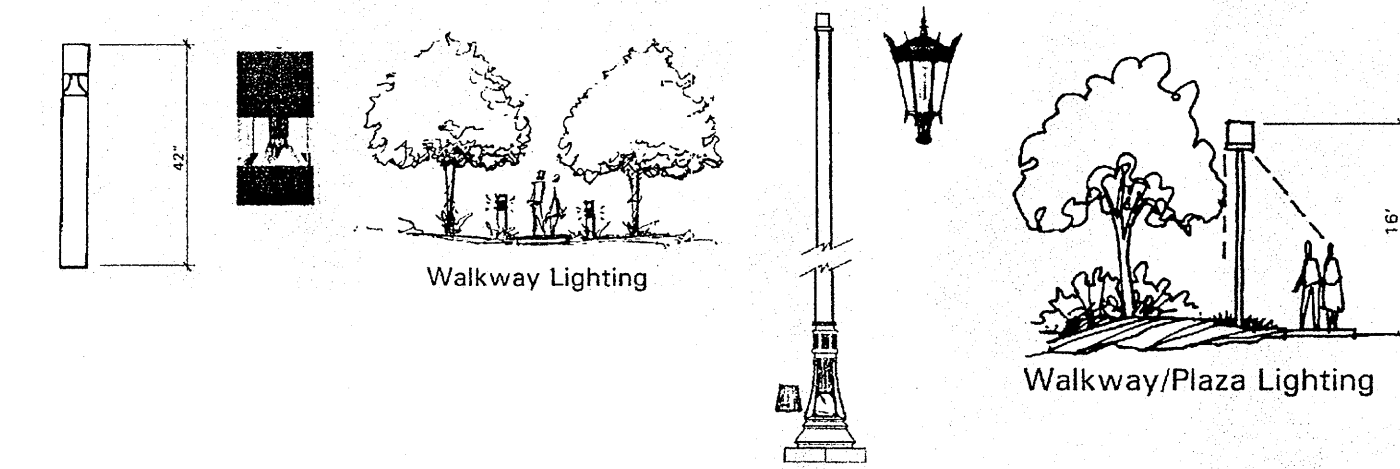
- 7-G The use of chain-link fencing, wood, barbed or concertina wire shall not be allowed.
- 7-H Loading docks shall not be visible from residential areas and shall be screened by walls which match building architecture, materials and color.
- 7-I Unfinished CMU block shall be prohibited.
- 7-J Service functions shall be oriented away from any street, pedestrian area, and/or residential area.
- 7-K Fencing around a portion of, or the entirety of, the perimeter of Cibola Loop is prohibited.

8. Lighting Standards

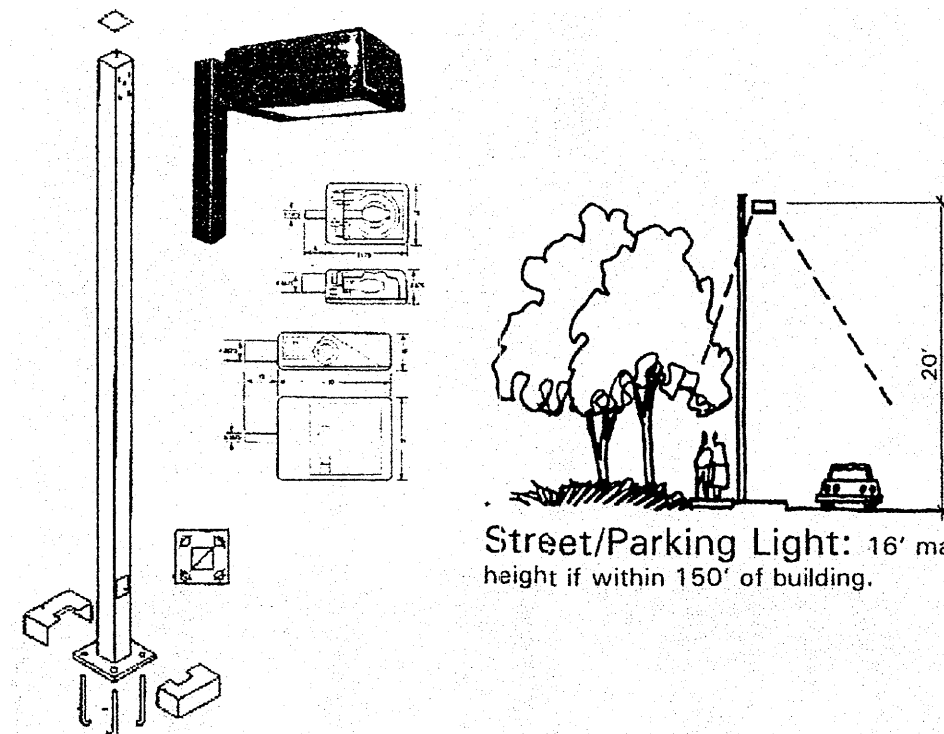
In order to enhance the safety, security and visual aesthetics of this retirement center, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development. A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

The maximum height for lighting fixtures (measured from top to grade) shall be:

- 8-A 16-foot height for all walkways and entry plazas lighting fixtures.



- 8-B 20-foot height for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.



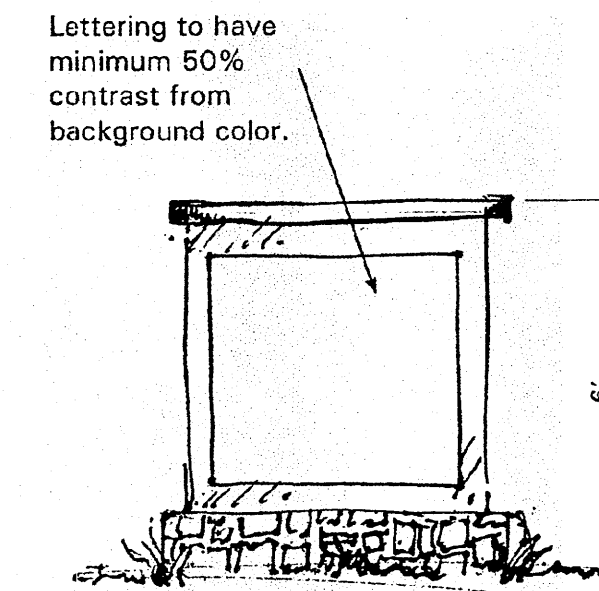
Street/Parking Light: 16' max height if within 150' of building.

- 8-C Exterior elevations of any building fronting a street or private internal driveway are encouraged to contain feature lighting to enhance the identity of the building and the appealing ambiance of the total community.
- 8-D The use of spread lighting fixtures are required to accent landscapes and walkways. Up-lighting fixtures are not permitted.
- 8-E Placement of fixtures and standards shall conform to state and local safety and illumination requirements
- 8-C Exterior elevations of any building fronting a street or private internal driveway are encouraged to contain feature lighting to enhance the identity of the building and the appealing ambiance of the total community.
- 8-D The use of spread lighting fixtures are required to accent landscapes and walkways. Up-lighting fixtures are not permitted.
- 8-E Placement of fixtures and standards shall conform to state and local safety and illumination requirements
- 8-F All light fixtures shall be shown as fully shielded horizontal lamps with no light, lens, or bulb protruding below the bottom of the cut-off fixture so that no fugitive light shall escape beyond the property line and no "site illumination" light source shall be visible from the site perimeter.
- 8-G High pressure sodium lighting shall be prohibited.

9. Signage Standards

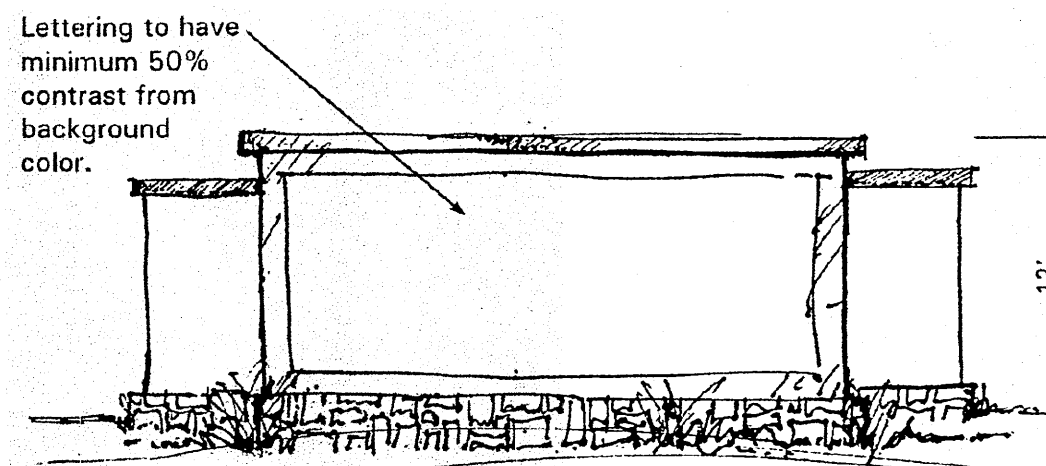
The signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within the Cibola Loop Subdivision. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development. The following are general standards for signage design and placement:

- 9-A No off-premise signs are allowed.
- 9-B Signs shall be limited to building-mounted wall signs and free-standing monument signs.
- 9-C All elements of a sign shall be maintained in a visually appealing manner.
- 9-D One building-mounted sign shall be permitted per facade, per business, provided it does not face residential areas.
- 9-E One free-standing business monument sign shall be permitted for each Tract.



Business Monument Sign: Sign face not to exceed 32 sq. ft.

- 9-F The height of a business monument sign shall not exceed 6 feet and the sign face shall not exceed 32 square feet.
- 9-G Individual buildings are allowed facade mounted signs provided they do not exceed 6% of the area of the facade to which it is applied.
- 9-H The height of a wall sign shall not exceed the height of the wall to which it is attached.
- 9-I The subdivision is allowed one Project Entry sign at the centralized right-in, right-out driveway on Ellison Drive. The height of the free-standing Project Entry sign shall not exceed 12 feet. The size of the sign face shall not exceed 75 square feet. Project entry signs' area shall not exceed 15 square feet per business in the Subdivision, pursuant to Section 14-16-3-5, General Sign Regulations.



Project Entry Sign: Sign face not to exceed 75 sq. ft.

- 9-J No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights (including searchlights used for promotional events).
- 9-K Signs that are portable, fixed on a moveable stand, self-supporting without being firmly embedded in the ground, supported by other objects, mounted on wheels or moveable vehicles, or easily moveable in any manner are not permitted.
- 9-L Signs located on rocks, trees, or other natural features are not permitted.
- 9-M Vinyl banner signs, vehicles used as sign mediums, roof mounted signs, and time/temperature signs are not permitted.
- 9-N All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- 9-O No sign shall overhang into the public right-of-way or extend above the building roof line.

10. Utility Standards

To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of the Cibola Loop Subdivision the following standards shall apply:

- 10-A All new electric distribution lines within the area shall be placed underground.
- 10-B When an above-ground back-flow prevention device is required, the heated enclosure shall be constructed of materials compatible with the architectural materials used with the main building.
- 10-C Transformers, utility pads, and telephone boxes shall be screened with walls and vegetation.
- 10-D All rooftop and ground-mounted equipment shall be screened from the public view by materials of the same nature as the building's basic materials.
- 10-E The top of all rooftop equipment shall be below the top of parapet or screened from view.
- 10-F Screen walls shall conceal all ground-mounted equipment with the top of equipment below the top of screen wall.
- 10-G If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

11. Open Space

On-site open space shall be provided to residents living on Tracts A and C as follows: 300 SF/bed for skilled nursing, Alzheimer living, and dementia care units, 400 SF for efficiencies and one bedroom apartments, 500 SF for two bedroom units and 600 SF for three bedroom units.

Open Space areas shall be a minimum of 20 feet wide in order to be considered for meeting the minimum open space area requirement.

Open Space areas around residential structures shall contain pedestrian amenities that encourage walking from one residence to another. Open areas larger than 10,000 SF in size shall also contain benches and/or outside seating for a minimum of 3 occupants per 10,000 SF of area.

12. Approvals Process

Upon approval of this SITE PLAN FOR SUBDIVISION, Tracts A, B, and C shall be required to obtain individual site development plan for building permit approval from EPC. Any subsequent subdivision of tracts A, B and C shall require approval from EPC.

13. Building Heights and Setbacks

Maximum allowed building heights shall be restricted to an elevation of 5,132 feet to the top of parapet and/or the top of screening elements for mechanical equipment and shall not exceed 54 feet for the residential uses, including the ancillary medical facilities and 26 feet for commercial uses. Buildings shall be located on each site according to the following minimum setback dimensions: 0 feet from the Ellison Drive right-of-way line. 20 feet from Cibola Loop right-of-way line. 10 feet from internal lot lines.

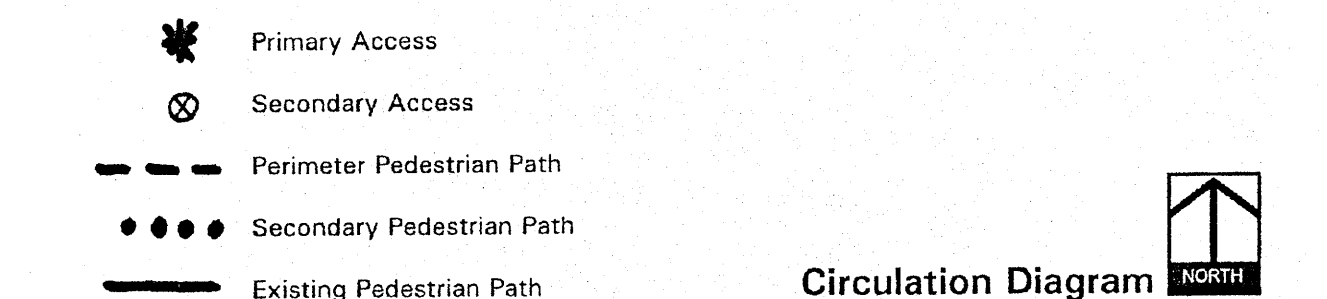
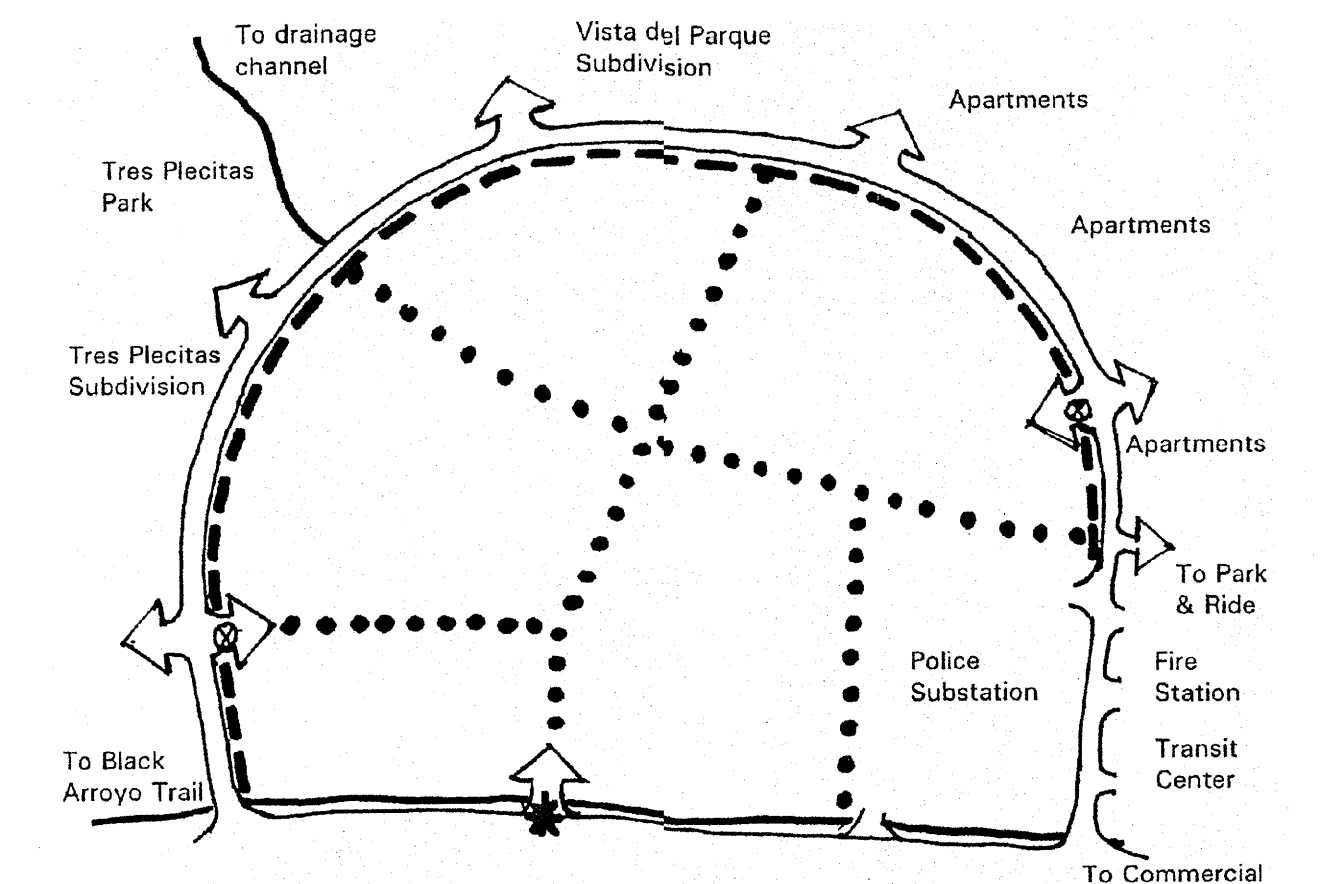
14. Restrictive Covenant Encumbrance

Quitclaim Deed

The property is conveyed subject to the following restriction which is a covenant running with the land in perpetuity:

The property shall be intended and operated for occupancy pursuant to the "Housing for Older Persons Act of 1995, as codified in part at 42 USC §3607(b)(2)(C) of the Fair Housing Act. The real property is intended and operated for occupancy by persons 55 years of age or older in that (i) at least 80 percent of the occupied units, regardless of ownership, must be occupied by at least one person 55 years of age or older; and (ii) the housing facility or community publishes and adheres to policies and procedures that demonstrate the intent required under this restrictive covenant; and (iii) the housing facility or community complies with rules issued by the Secretary of United States Housing and Urban Development (HUD) Department for verification of occupancy, which shall (i) provide for verification by reliable surveys and affidavits; and (ii) include examples of the types of policies and procedures relevant to a determination of compliance with the requirements of (ii). Such surveys and affidavits shall be admissible in administrative and judicial proceedings for the purpose of such verification. This restrictive covenant may be enforced by the City of Albuquerque (City), HUD or any one or more of the owners of the real property subject to this restrictive covenant, their successors, heirs and representatives.

This restriction contemplates and does not prevent the use of the subject land for a planned residential community that includes single unit dwellings, multi-unit dwellings, a combination of types of dwellings as well as a (1) a community or recreational facility open only to residents and their guests so long as such facility with its grounds does not exceed 5% of the total acreage of subject to this restriction; (2) common area gardens and walkways; (3) an institution which includes various levels of independent and assisted living facilities up to and including limited care, nursing home, rest home and hospice as well as townhouses, condos and apartments which are part of such facilities, whether units are owned individually or owned by a corporate entity and leased to residents, as well as the related amenities of such a residential facility; and (4) a stand-alone office-retail structure or multiple stand-alone office or retail structures on a single or multiple pads, not to exceed 14,000 square feet in the aggregate intended to provide services to the residences of the community. All uses must be consistent with approved zoning.



CIBOLA LOOP

SITE PLAN FOR SUBDIVISION

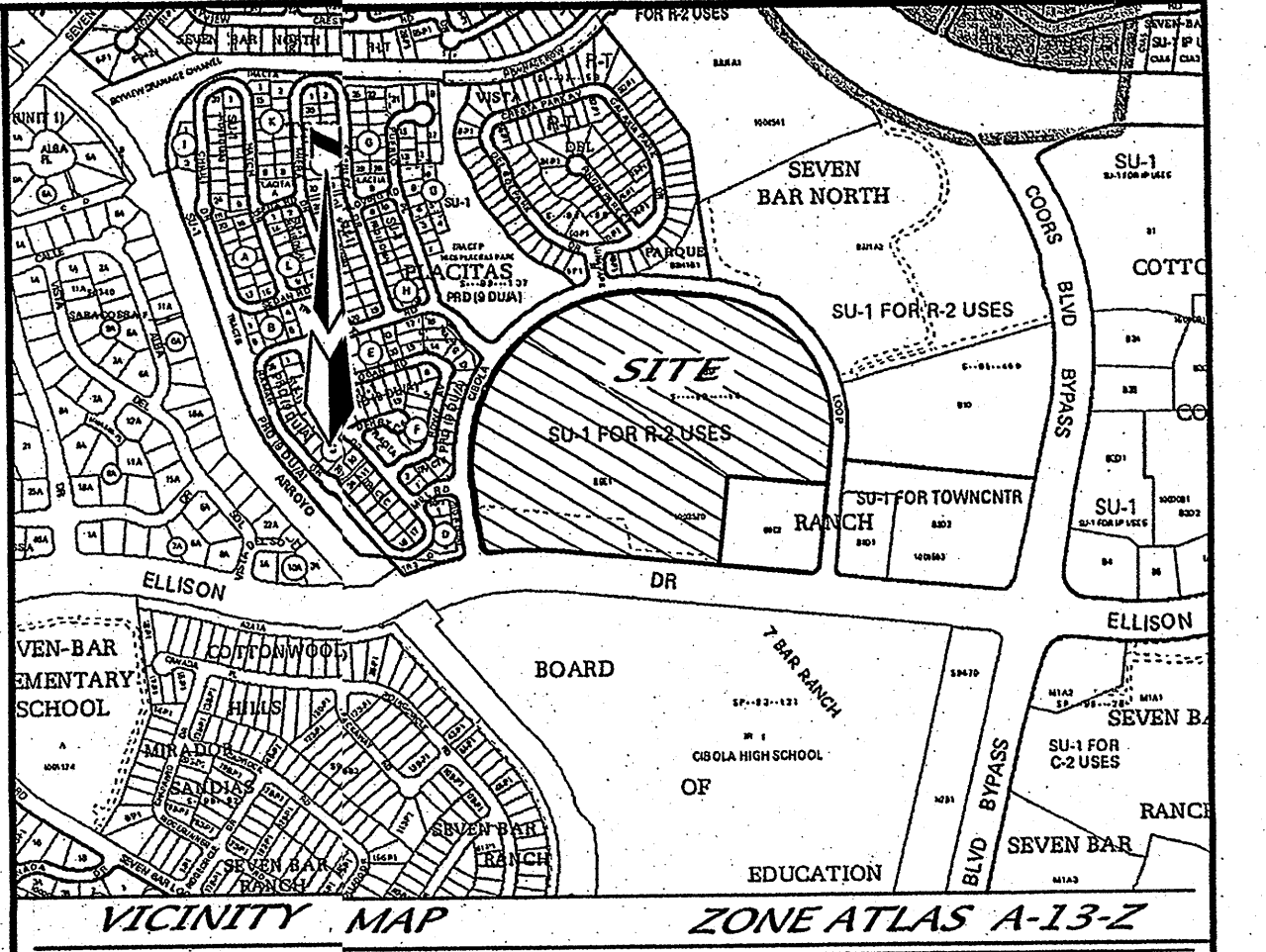
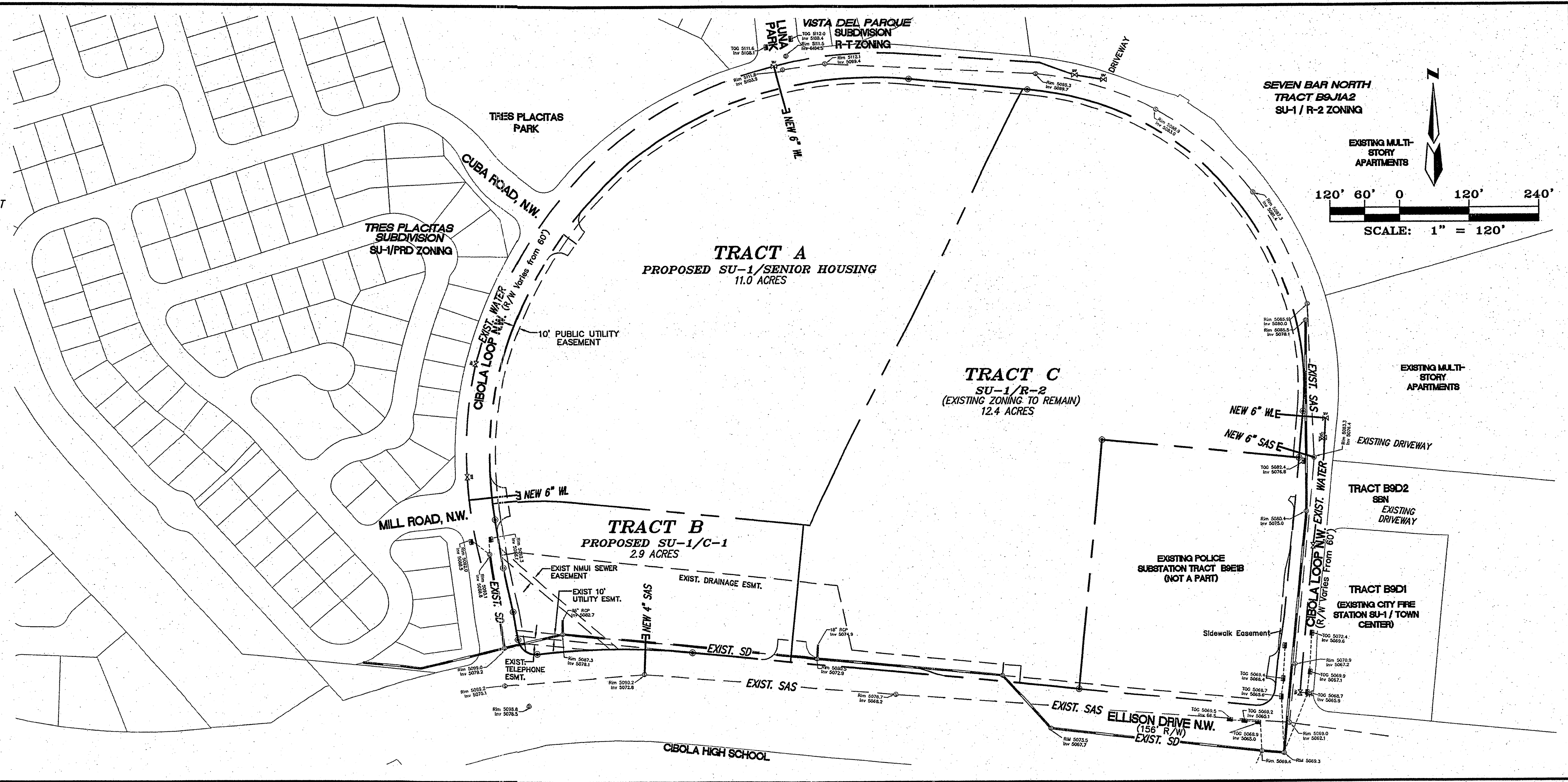
dmg MARK GOODWIN & ASSOCIATES, P.A.
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Revision One 06/06/08
Revision Two 07/01/08
Revision Three 03/30/09

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 3 of 5
Scale: 1" = 100'	Date: 6/26/2008	Job: A08016	

1. THIS SITE IS LOCATED WITHIN THE NEW MEXICO UTILITIES, INC. SERVICE AREA. N.M.U.I. HAS ISSUED A LETTER OF AVAILABILITY INDICATING THAT IT IS ABLE TO SERVE THIS DEVELOPMENT.
2. THERE IS CURRENTLY EXISTING WATER AND SEWER INFRASTRUCTURE SURROUNDING THE SUBJECT PROPERTY.
3. THE FINAL LOCATING OF FIRE HYDRANTS WILL BE SUBJECT TO THE APPROVAL OF THE C.O.A. FIRE MARSHALL.



LEGAL DESCRIPTION

TRACTS B-9F-1 AND B-9E-1-A OF SEVEN BAR RANCH, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO IN BOOK 2008C, PAGE 26, ON FEBRUARY 13, 2008.

Conceptual Drainage Plan

Existing Drainage Conditions:

Originally the Cibola project site was part of the larger Seven Bar Ranch Tracts and the regional master drainage plan was developed as part of the 1989 Drainage Report for SAD 223. In that report, the Cibola project site was divided into two subbasins. The NE subbasin (12.9 acres) with an allowable discharge of 8.5 cfs was directed to the southeast corner at Cibola Loop Road approximately 200' north of Ellison Road. The South subbasin (16.9 acres) with an allowable discharge of 10.7 cfs was directed to the corner of Cibola Loop and Ellison Road. The detention pond outfall at the southeast corner of the pond conveys runoff to a storm drain in Ellison Road.

In 1998 the offsite area west of the project site was subdivided and developed into a 254 single family subdivision known as Tres Placitas. Developed runoff from a portion of this subdivision drains into an existing detention pond located at the southwest corner of the Cibola project site. The outfall structure from this pond was designed and constructed to accept the "allowable" discharge flows from Subbasin 9E. the allowable peak discharge was determined in the SAS 223 Drainage Report.

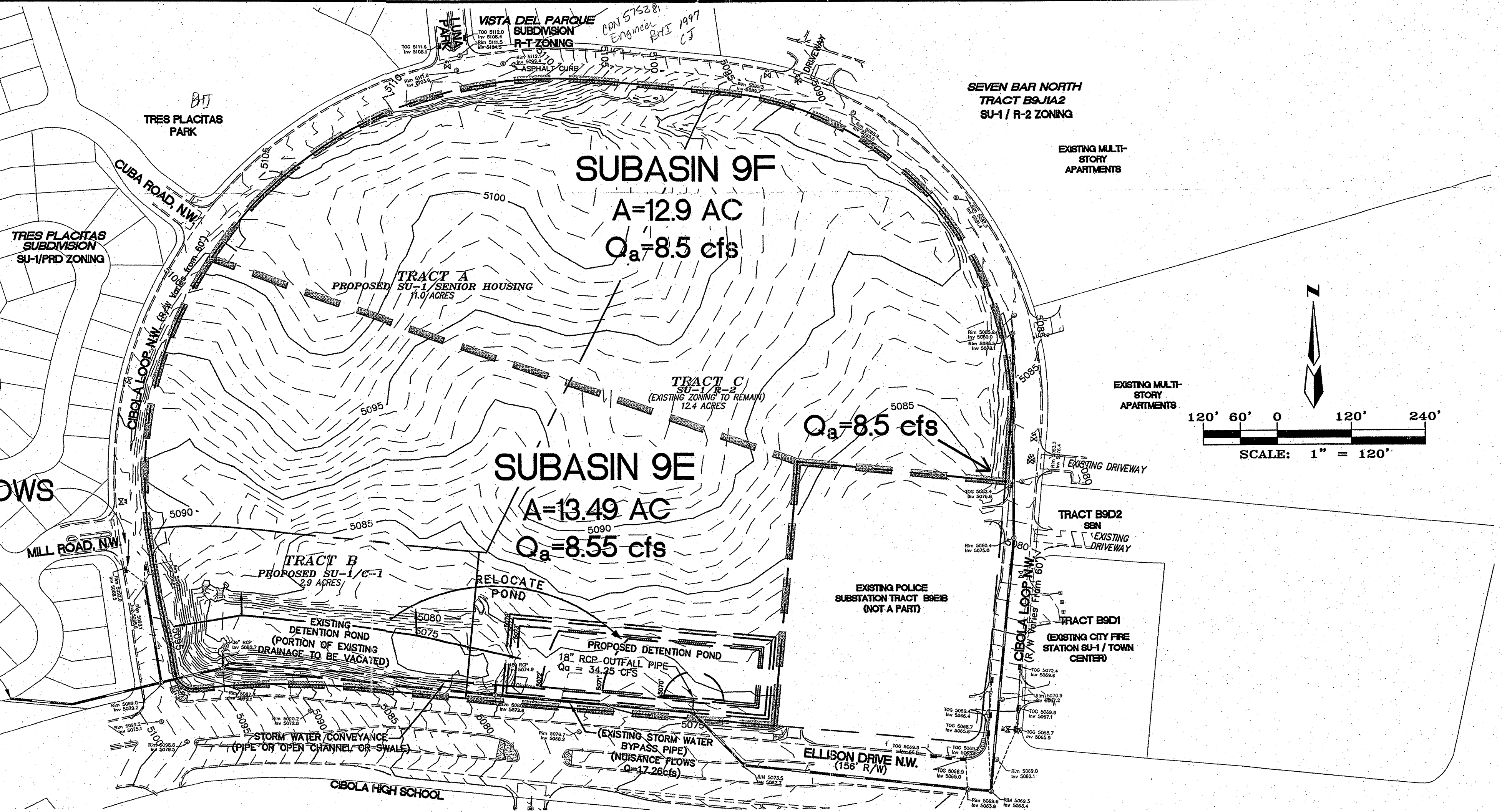
Proposed Drainage Conditions:

The proposed conceptual drainage plan is for the northern subbasin 9F to discharge a maximum of 8.5 cfs into the existing storm drain in Cibola Loop and the southern subbasin 9E to drain into the proposed and relocated detention pond to the south. The maximum allowable discharge from this pond is 34.25 cfs with the allowable contribution from our project of 8.55 cfs. The remaining portion of the allowable 10.7 cfs from the SAD 223 report, or 2.15 cfs, comes from the existing 3.4 acre Police Station to the east.

Depending on how this project site ultimately is divided and developed the proposed drainage subbasins will be revised and detention ponds will be sized and designed accordingly to meet the maximum allowable discharge criteria into the existing storm drain systems in Cibola Loop (east) and Ellison Road (south).

OFFSITE FLOWS
 $Q_a = 1.8$ cfs

OFFSITE FLOWS
 $Q_a = 20.6$ cfs



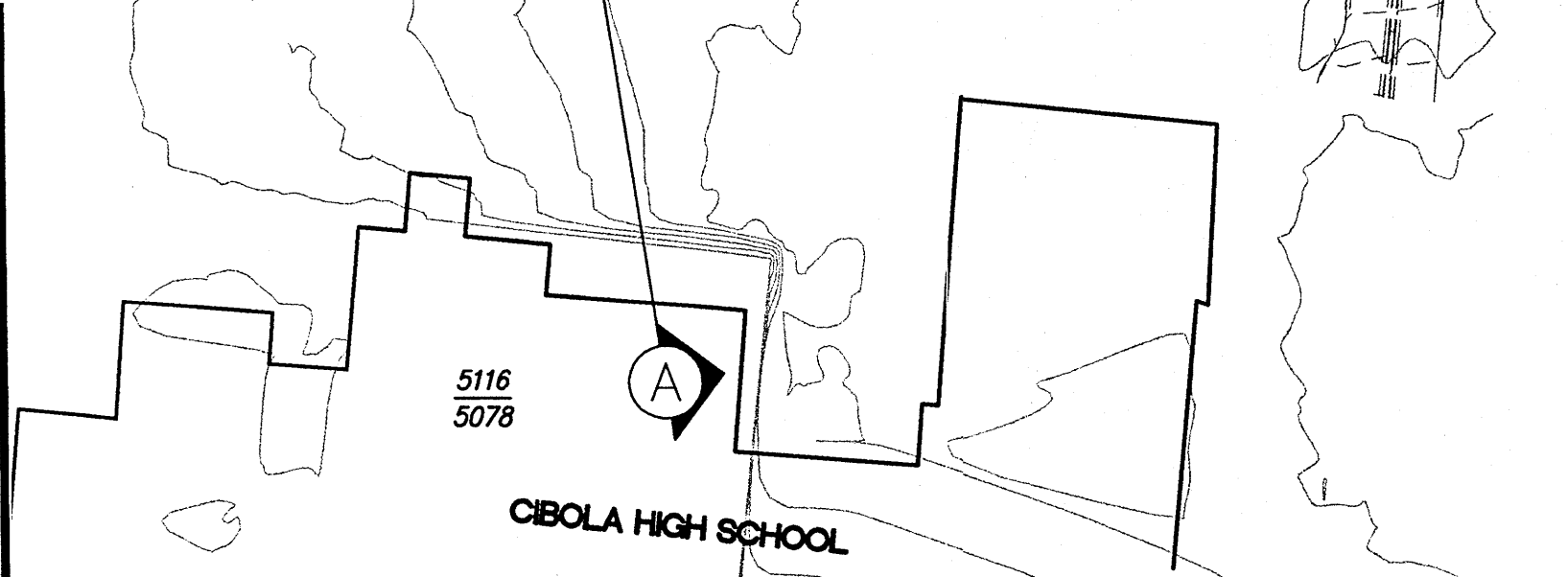
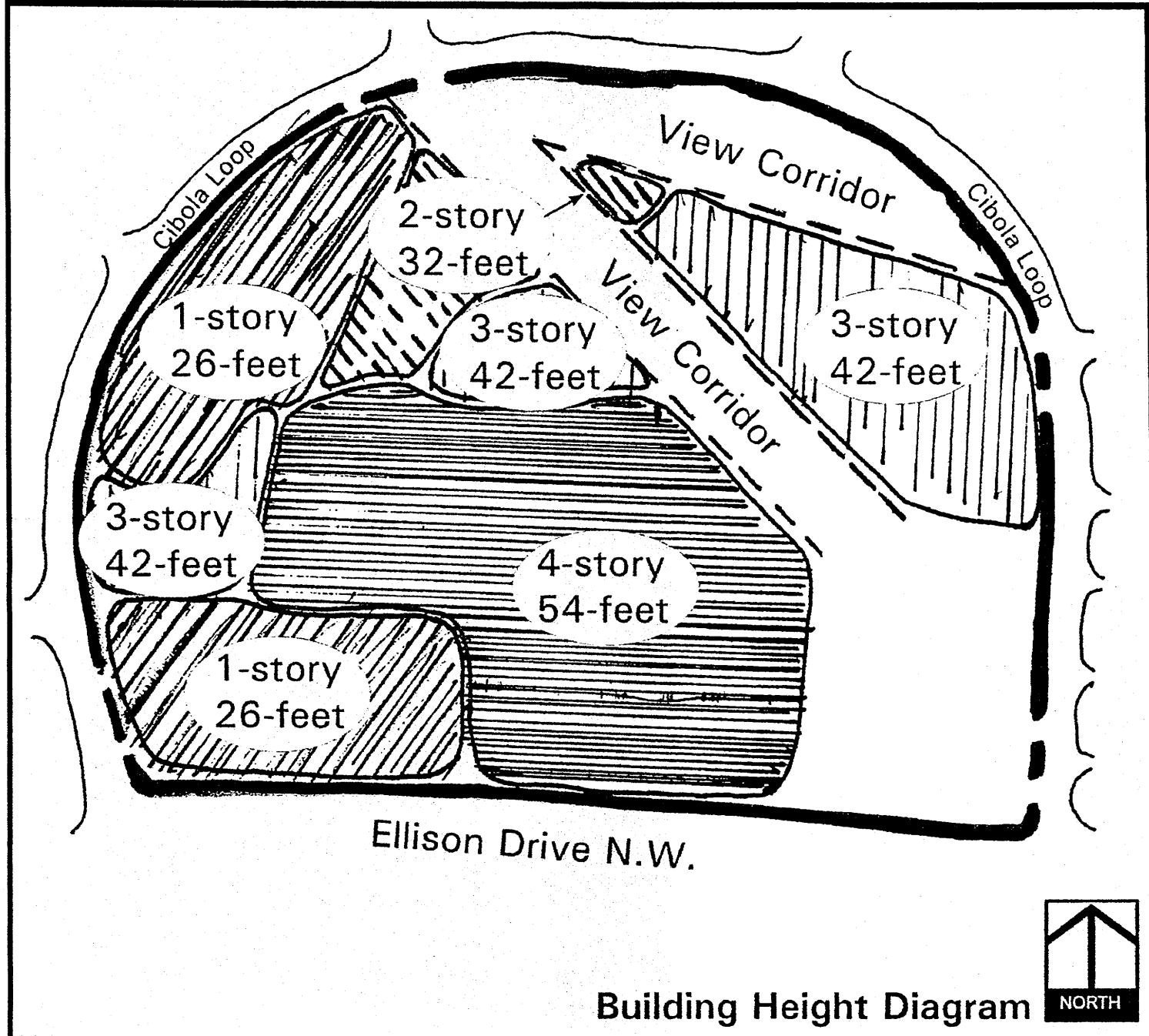
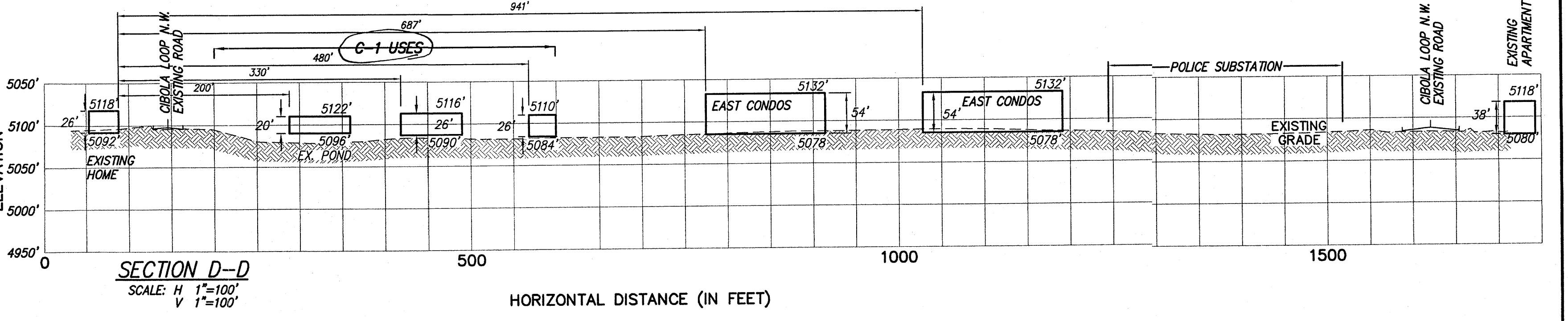
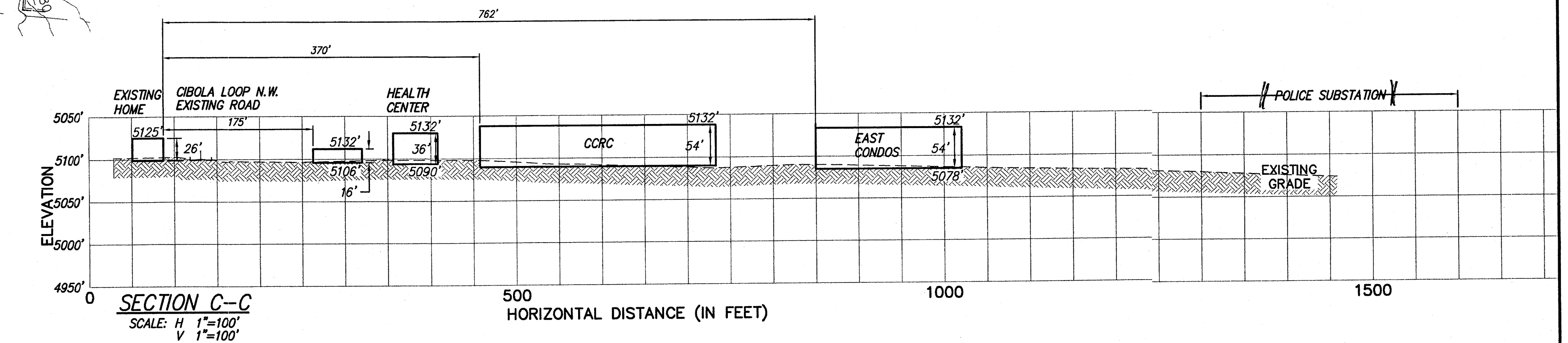
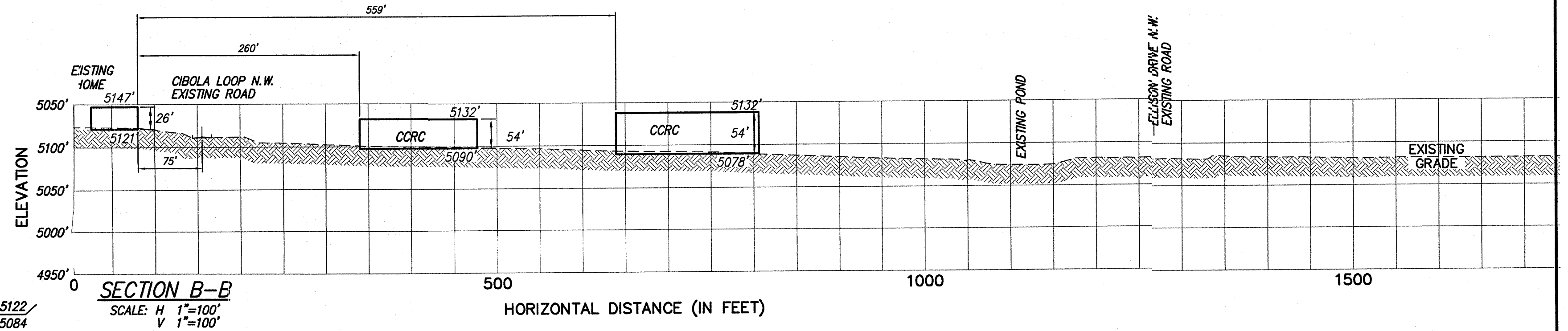
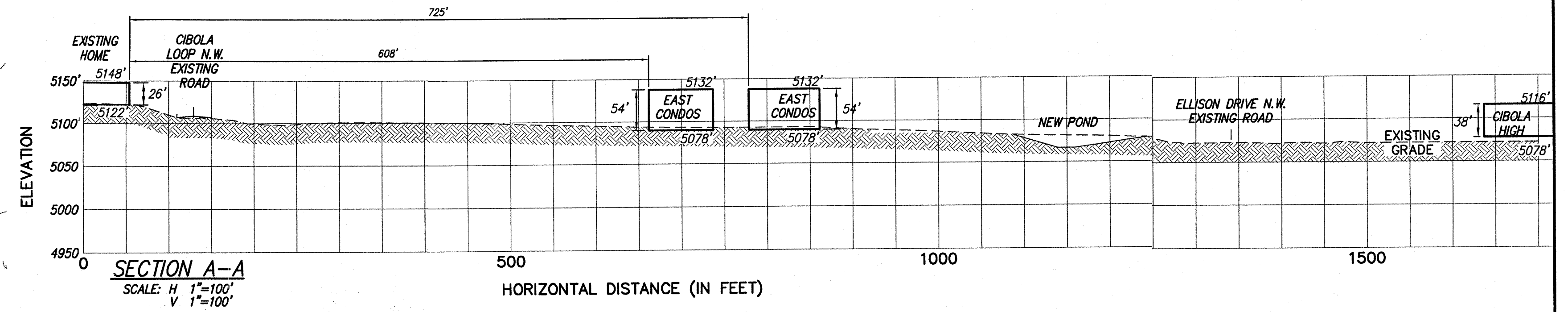
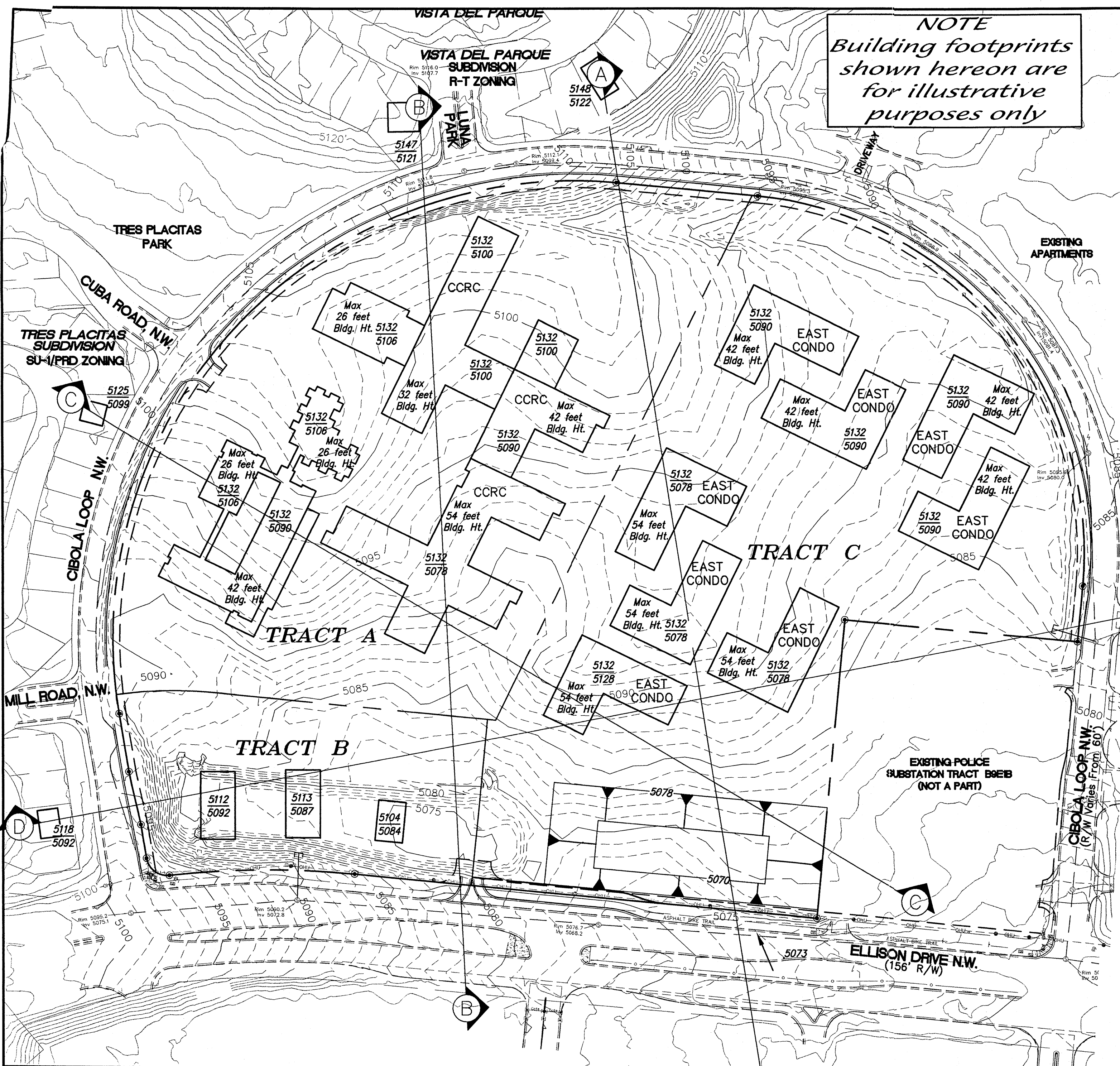
LEGEND

- DRAINAGE BASIN BOUNDARY
- NEW ME
- NEW SAS
- NEW WATER LINE
- NEW SANITARY SEWER
- NEW FIRE HYDRANT
- NEW SAS MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING UTILITY PEDESTAL
- EXISTING WATER METER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING ANCHOR
- EXISTING OVERHEAD UTILITY LINES
- EXISTING EXIST. CURB
- EXISTING CHAIN LINK FENCE
- EXISTING TRAFFIC SIGNAL BOX
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING UNKNOWN MANHOLE
- EXISTING CABLE SIGN
- EXISTING SIGN
- Q_a 100yr. ALLOWABLE DISCHARGE

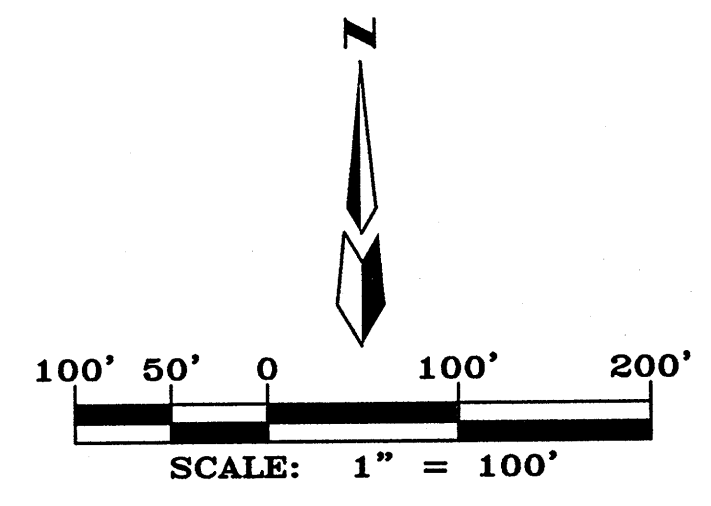
CIBOLA LOOP CONCEPTUAL UTILITY & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
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Designed: JM	Drawn: SPS	Checked: DMG	Sheet 4 of 5
Scale: 1" = 60'	Date: 4/2/2008	Job: A06040	



5132 MAX. TOP OF BUILDING ELEVATION
5091 FINISH FLOOR ELEVATION
(FLOORS MAY BE ADJUSTED UP OR DOWN TO ACCOMMODATE FINAL SITE GRADING NEEDS.)



**CIBOLA LOOP
VIEW SHED/MAXIMUM
BUILDING ELEVATIONS
EXHIBIT**

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Revision One 06/06/08
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Designed: JM Drawn: SPS Checked: DMG
Scale: 1" = 100' Date: 3/25/2009 Job: A0816 Sheet 5 of 5