



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

April 8, 2009

**Project# 1003571**

09DRB-70128 EXT OF SIA FOR TEMP DEFR SDWK CONST

MARK GOODWIN AND ASSOCIATES PA agent(s) for VANTAGE BUILDERS, INC request(s) the above action(s) for all or a portion of **EL RANCHO GRANDE I** zoned R-LT, located on BLAKE RD SW BETWEEN 98TH ST SW AND MUSTANG RIDGE DR SW containing approximately 35.1413 acre(s). (N-9)

At the April 8, 2009 Development Review Board meeting, a two year extension to the four-year agreement for the deferral of sidewalks was approved.

If you wish to appeal this decision, you must do so by April 22, 2009 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Jack Cloud, AICP, DRB Chair

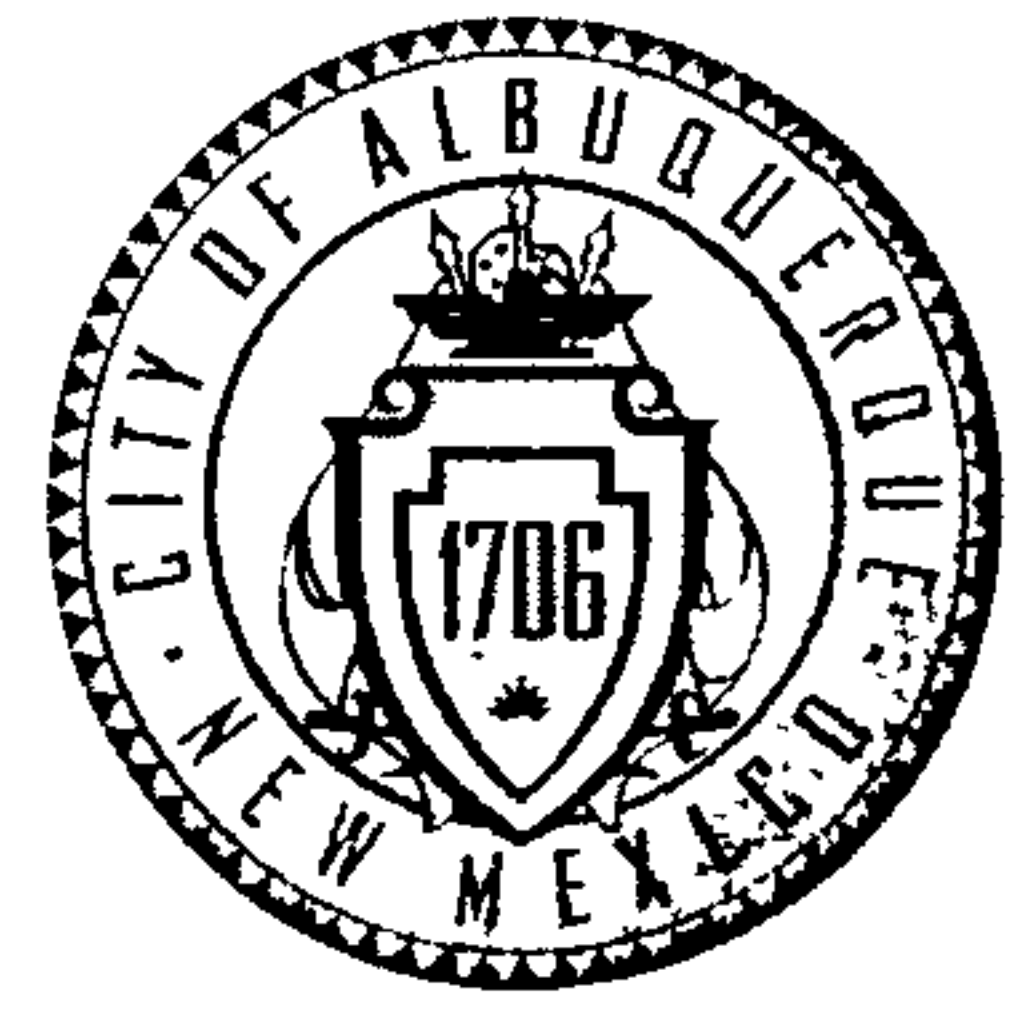
Cc: Mark Goodwin & Assoc. – P.O. Box 90606 – Albuquerque, NM 87199

Cc: Vintage Builders Inc. – P.O. Box 1443 – Corrales, NM 87048

Marilyn Maldonado

File

# CITY OF ALBUQUERQUE



## CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003571**

**AGENDA ITEM NO: 7**

**SUBJECT:**

SIA Extension

**ACTION REQUESTED:**

REV/CMT:() APP:() SIGN-OFF:() EXTN:(x) AMEND:()

PO Box 1293

**ENGINEERING COMMENTS:**

The Hydrology Section has no objection to the extension request.

Albuquerque

NM 87103

**RESOLUTION:**

APPROVED  <sup>2 yr</sup>; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

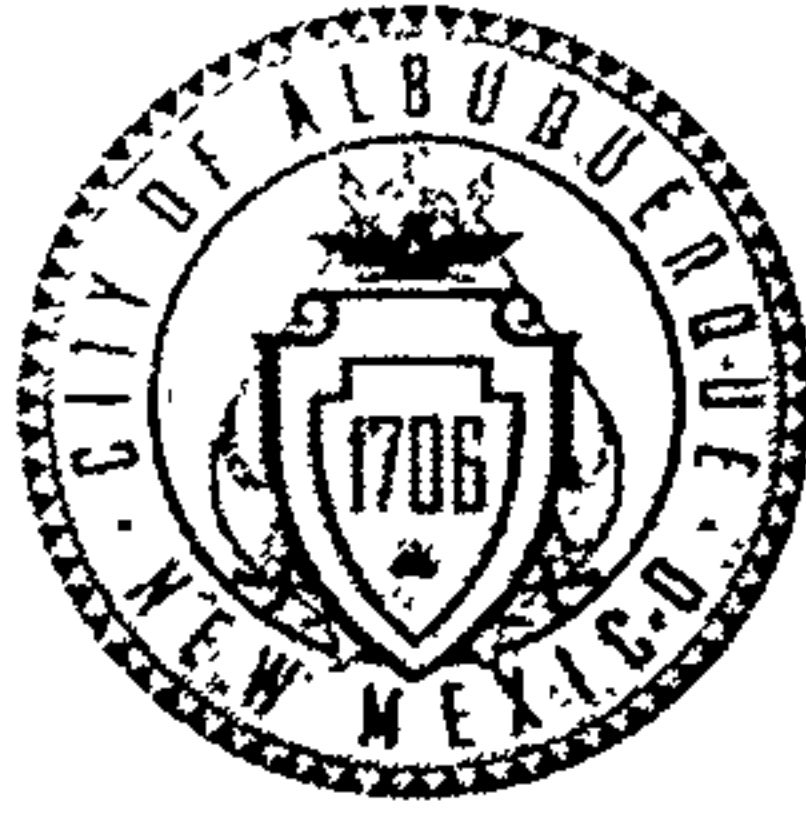
FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** April 8, 2009



Item# 6  
Project# 1003571  
Hearing Date: Apr. 8, 2009



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

July 13, 2005

9:00

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

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**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000614**  
05DRB-00982 Major-Two Year SIA

TIERRA WEST LLC agent(s) for DEVELOPMENT SERVICES LTD. CO. request(s) the above action(s) for **LA CUEVA OESTE UNIT 2 & 4**, zoned R-D, located on HOLLY AVE NE, between LOUISIANA BLVD NE and SAN PEDRO DR NE containing approximately 37 acre(s). [REF: 04DRB-00913] (C-18) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1002397**  
05DRB-01042 Major-Two Year SIA

TIERRA WEST LLC agent(s) for SHULL REALTY & WATERS EDGE LLC request(s) the above action(s) for all or a portion of Lot(s) 1-10, **BOSQUE PLAZA**, zoned C-1, located on LA ORILLA RD NW, between COORS BLVD NW and CORRALES DRAIN containing approximately 12 acre(s). [REF: Z-87-56, DRB-87-200, 02DRB-01925, 04DRB-01196 ] (E-12) **A SIX-MONTH EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1004139**  
05DRB-00969 Major-Preliminary Plat Approval

BRASHER & LORENZ agent(s) for STEVE SLICK request(s) the above action(s) for all or a portion of Lot(s) 27, 28, 29, Tract 1, Block(s) 17, **NORTH ALBUQUERQUE ACRES UNIT 3**, zoned R-D, 3DU/ACRE, located on MODESTO AVE NE, between BARSTOW NE and VENTURA NE containing approximately 3 acre(s). [REF: 05DRB-00668 ] (B-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/13/5 AND THE APPROVED GRADING AND DRAINSGE PLAN DATED 6/6/5, THE PRELIMINARY PLAT WAS APPROVED.**

4. **Project # 1002123**  
05DRB-00981 Major- Preliminary Plat Approval

GARCIA/KRAEMER & ASSOCIATES, agent(s) for DEL'S HIDE-A-WAY PARK, PHILIP D. SHEETS, request(s) the above action(s) for all or a portion of Tract(s) B, **DEL'S HIDE-A-WAY**, zoned SU-1 FOR RT, located on SAN CLEMENTE NW between 4<sup>th</sup> ST NW and 2<sup>th</sup> ST NW containing approximately 3 acres. [REF: 04 DRB-00532, 00533, 04DRB-00535, 03EPC-01087, 1088] [*Deferred from 6/29/05*] (G-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/13/5 AND THE APPROVED GRADING AND DRAINSGE PLAN DATED 2/24/5, THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: 1) MAINTENANCE AND BENEFICIARY SHOULD BE STATED FOR ALL PRIVATE EASEMENTS; 2) SANITARY SEWER EASEMENTS ADDED TO TRACT D.**

- 4 5. **Project # 1000724**  
05DRB-00989 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for GSR GROUP, LLC request(s) the above action(s) for all or a portion of Tract(s) A, **RAYO DEL SOL, UNIT 1**, zoned R-LT, located on ARENAL RD SW, between COORS BLVD SW and UNSER BLVD SW containing approximately 9 acre(s). [REF: 02DRB-01268, 0044001098, Z-97-87] (M-10) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

6. **Project # 1003520**  
04DRB-01567 Major-Preliminary Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for WASHINGTON STREET INVESTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, Block(s) 16, Tract(s) 1, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **BENJAMIN PLACE SUBDIVISION**) zoned R-D, located on GLENDALE AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 2 acre(s). [REF: 04DRB-01568, 01863] (B-20) **THE PRELIMINARY PLAT WAS ORIGINALLY APPROVED 1/12/5. THE APPROVAL WAS APPEALED TO EPC, THEN CITY COUNCIL. CITY COUNCIL REMANDED THE PLAT TO DRB TO RE-EXAMINE THE PERIMETER WALLS' COMPLIANCE WITH SECTION 14-16-3-19. OF THE ZONE CODE. FOLLOWING THE RE-EXAMINATION, DRB RE-APPROVED THE PRELIMINARY PLAT.**

7. **Project # 1002590**  
05DRB-00956 Major-Preliminary Plat Approval  
05DRB-00957 Minor-Subd Design (DPM) Variance  
05DRB-00958 Minor-Sidewalk Waiver  
05DRB-00960 Minor-Temp Defer SDWK  
05DRB-00540 Minor-SiteDev Plan Subd

MARK GOODWIN & ASSOCIATES agent(s) for MEL FAMIE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, LANDS OF BRACKSON COURSON, (to be known as **CHAPARRAL COURT**) zoned R-D residential and related uses zone, developing area, located on 64<sup>th</sup> STREET NW, between MILNE RD NW and TIERRA PRIETA NW containing approximately 4 acre(s). [REF: 05DRB-0206, 05DRB-0540] [Deferred from 4/13/05 & 6/29/05] (F-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/13/5 AND THE APPROVAL OF THE GRADING/DRAINAGE PLAN ENGINEER STAMP DATED 6/2/5 THE PRELIMINARY PLAT WAS APPROVED. A SITE DEVELOPMENT PLAN**

FOR SUBDIVISION WAS APPROVED. THE SIDEWALK VARIANCE WAS APPROVED AS SHOWN ON EXHIBIT C FOR WAIVER OF SIDEWALKS. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE WAS ALSO APPROVED.

8. **Project # 1004272**

05DRB-01039 Minor-Temp Defer SDWK  
05DRB-01038 Minor-Sidewalk Waiver  
05DRB-01084 Minor-SiteDev Plan Subd  
05DRB-01033 Major-Preliminary Plat

ISAACSON & ARFMAN agent(s) for CURB INC request(s) the above action(s) for all or a portion of TRACT(s) 16-D, BULK LAND PLAT for EL RANCHO GRANDE, and TRACT(s) 16-A, 16-B, 16-C, 16-D, 16-E, 16-F, EL RANCHO GRANDE (to be known as **EL RANCHO GRANDE, UNIT 17**) zoned R-D, located on GIBSON BLVD SW, between MESSINA DR SW and DELGADO DR SW containing approximately 3 acre(s). (N-8) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/13/5 AND APPROVAL OF THE GRADING & DRAINAGE PLAN ENGINEER STAMP DATED 6/15/5, THE PRELIMINARY PLAT IS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: 1) BOVINA BE CHANGED TO BOWIE SO THAT IT CONFORMS WITH THE STREET THAT'S SHOWN ON EL RANCHO GRANDE, UNIT 16; 2) UNIT 16 PLAT SHOULD BE RECORDED PRIOR TO UNIT 17. A TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. SIDEWALK VARIANCE AS SHOWN ON EXHIBIT C FOR WAIVER OF SIDEWALKS WAS APPROVED. THE SUBDIVISION DESIGN VARIANCE FOR MINIMUM DPM DESIGN STANDARDS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE WAS APPROVED. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH DELEGATION TO PLANNING FOR WRITTEN COMMENTS IN THE FILE.**

9. **Project # 1000965**  
05DRB-01025 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO., INC. request(s) the above action(s) for all or a portion of Tract(s) I, LANDS OF RAY GRAHAM III (to be known as **ANDALUCIA AT LA LUZ**), zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 85 acre(s). [REF: 05DRB-00124] (F-11) **THE VACATION AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WAS APPROVED.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

10. **Project # 1001946**  
05DRB-01047 Minor-SiteDev Plan  
BldPermit

DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] *[Deferred from 6/29/05]* (D-18) **DEFERRED AT THE AGENT'S REQUEST TO JULY 20, 2005.**

11. **PROJECT #1003699**  
(DRB-97-165 - V-97-507)  
05DRB-00118-SiteDev Plan for Subd

TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES, agents for TIM EICHENBERG, request Vacation (voiding) of Public Power Line Easement, Site Development Plan Final Sign Off (for EPC) plus Sketch Plat Review and Comment for Tracts B and C, Blocks 2 and 7, WELLS SANDIA MANOR, zoned SU-1/PRD (City) and located on Trimble Blvd NE and Camino de la Sierra NE between I-40 and Arcadia Rd NE containing approximately 4.90 acres. [FIRST TIME ON THE AGENDA 5/6/97] [Z-96-25] DEFERRED FROM 5/24/00, DEFERRED AT THE AGENT'S REQUEST FROM 7/26/00 TO 9/13/00 TO WORK WITH STATE HIGHWAY DEPARTMENT WHICH HAS BEEN AN ONGOING PROCESS SINCE 5/6/97] [DEFERRED AT THE AGENT'S REQUEST FROM 9/13/00 TO 9/20/00 TO WORK WITH THE STATE HIGHWAY DEPARTMENT, DEFERRED AT THE APPLICANT'S REQUEST FOR ONE-YEAR FROM



11/8/00 TO 11/7/01] [DEFERRED AT THE AGENT'S REQUEST FOR ONE-YEAR FROM 11/7/01 TO 11/6/02] [DEFERRED AT THE AGENT'S REQUEST FOR ONE-YEAR FROM 11/6/02 TO 11/5/03] [*Deferred from 01/05/05*] **A NEW PROJECT NUMBER WAS ISSUED FOR THIS CASE – PROJECT #1003699] (L-23) THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH DELEGATION TO PLANNING FOR LANDSCAPE DESIGN STANDARDS AND GARAGE DOOR COLORS TO MATCH HOUSE.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

12. **Project # 1000985**  
05DRB-00883 Minor-SiteDev Plan Subd
- SMPC ARCHITECTS agent(s) for ASPEN INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 1A, Block(s) 12, NORTH ALBUQUERQUE ACRES TRACT A UNIT A, (to be known as **PALOMAS PLAZA**) zoned SU-2/C-1, located on SAN PEDRO NE, between PALOMAS NE and SAN BERNADINO NE containing approximately 3 acre(s). [*Deferred from 6/1/05*] [REF: DRB96-412] (D-18) **THE SITE DEVELOPMENT PLAN WAS APPROVED WITH DELEGATION TO CITY ENGINEER FOR SIA, AND TO UTILITIES FOR FIRE MARSHALL APPROVAL, FLOW CALCULATION FOR FIRE, AND REVISE UTILITY PLAN.**
13. **Project # 1001182**  
05DRB-01069 Major-Final Plat Approval
- RIO GRANDE ENGINEERING agent(s) for VISION DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) B, **WESTRIDGE MOBILE HOME PARK**, zoned R-D/R-LT, located on BLUEWATER NW, between 98th ST NW and 90th ST NW containing approximately 8 acre(s). (K-9) **THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PARKS FOR OPEN SPACE TABLE AND CASH IN LIEU, AND TO CITY ENGINEER FOR AGIS DXF AND FOR LABELING OF ALL EASEMENTS OF RECORD.**

14. **Project # 1002134**  
05DRB-01068 Minor-Final Plat Approval

MARK GOODWIN & ASSOC agent(s) for VISTA DEL NORTE DEV request(s) the above action(s) for TRACT(s) U1, U2, U3, U4, U6, VISTA DEL NORTE, (to be known as **LAS LOMITAS BUSINESS PARK**), zoned SU-1 FOR IP, located on LAS LOMITAS DR NE, between EDITH BLVD NE and JEFFERSON ST NE containing approximately 34 acre(s). (D-16) **THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING TO RECORD THE PLAT.**

15. **Project # 1003571**  
05DRB-01062 Minor-Sidewalk Waiver

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC. request(s) the above action(s) for TRACT(s) 9-B-1, 9-B-2, AND 12-A-2, **EL RANCHO GRANDE UNIT 9B**, zoned R-LT, located South OF BLAKE RD SW, West of AMOLE CHANNEL and containing approximately 36 acre(s). [REF: 05DRB-01002, 04DRB-01518, 04DRB-01519] ~~(N-9)~~ **SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

16. **Project # 1003624**  
05DRB-01001 Minor-Prelim&Final Plat Approval

MICHAEL RENFRO request(s) the above action(s) for all or a portion of Tract(s) 22A, 22B, 38A, 38B, MRGCD MAP 34, (to be known as **SAN ISIDRO GARDENS**), zoned RA-2 residential and agricultural zone, located on SAN ISIDRO ST NW, between CANDELARIA RD NW and GRIEGOS RD NW containing approximately 2 acre(s). [Deferred from 6/22/5] [REF: 04ZHE-01281] (G-13) **WITH THE APPROVAL OF THE INFRASTRUCTURE LIST DATED 7/13/5, THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

17. **Project # 1003975**  
05DRB-00698 Minor-Prelim&Final Plat  
Approval

WAYJOHN SURVEYING INC agent(s) for COE PROPERTIES INC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, 12, 13, Block(s) 15, MESA GRANDE ADDITION (to be known as **ZUNI TOWNHOMES**), zoned 0-R, located on WASHINGTON ST SE, between CENTRAL AVE SE and ZUNI RD SE containing approximately 1 acre(s). *[Deferred from 5/18/5]* [REF: ZA-78-377, Z-72, 05DRB-00301] (K-17) **THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING TO RECORD THE PLAT.**

18. **Project # 1004011**  
05DRB-01071 Minor-Prelim&Final Plat  
Approval

BERGER BRIGGS REAL ESTATE agent(s) for AL'S GAL'S LLC request(s) the above action(s) for all or a portion of Lot(s) 65-A, **PERFECTO ARMIJO & BROTHERS ADDITION**, zoned SU-2/HDA (DNA SECTOR PLAN), located on MARQUETTE AVE NW, between 7th ST NW and 8th ST NW containing approximately 1 acre(s). [REF: 05ZHE-00405] (J-14) **THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT.**

19. **Project # 1004110**  
05DRB-01093 Minor-Prelim&Final Plat  
Approval

ADVANCED ENGINEERING AND CONSULTING, LLC agent(s) for ALEXANDER M. & DANETTE S. GARCIA request(s) the above action(s) for all or a portion of Tract(s) 108-D & 108-C-1-A, **MRGCD MAP NO. 31**, zoned RA-2, located on RIO GRANDE BLVD NW, between ELFEGO RD NW and MANUEL TORRES NW containing approximately 1 acre(s). [REF: 05DRB-00601] (F-13) **THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING FOR AGIS DXF FILE.**

20. **Project # 1004251**  
05DRB-00959 Minor-Prelim&Final Plat  
Approval
- PRATAP & KANAK YADAV request(s) the above action(s) for all or a portion of Lot(s) 2-6, Block(s) 2, **ZIMMERMAN ADDITION**, zoned C-2, located on CENTRAL AVE SW, between 46th ST SW and 47th ST SW containing approximately 1 acre(s). (K-12) **THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING FOR AGIS DXF FILE.**
21. **Project # 1004232**  
05DRB-01090 Minor-Prelim&Final Plat  
Approval
- A. MIGUEL TRUJILLO agent(s) for WILLIAM K. WILSON request(s) the above action(s) for all or a portion of Block(s) 13, Tract(s) A, **CLAYTON HEIGHTS**, zoned C-2 community commercial zone, located on GIBSON BLVD. SE, between BUENA VISTA DR. SE and WILMOORE DR. SE containing approximately 2 acre(s). (L-15) **THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING FOR AGIS DXF FILE.**
22. **Project # 1004289**  
05DRB-01073 Minor-Prelim&Final Plat  
Approval
- WILLIE P. GONZALES request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, Block(s) 5, **JOHN BARON BURG PARK ADDITION**, zoned SR, located on 19th ST NW, between ZEARING AVE NW and ASPEN AVE NW containing approximately 1 acre(s). (H-13) **INDEFINITELY DEFERRED AT THE APPLICANT'S REQUEST.**
23. **Project # 1004290**  
05DRB-01075 Minor-Vacation of Private  
Easements
- MYERS, OLIVER & PRICE agent(s) for FEDEX FREIGHT WEST, INC. request(s) the above action(s) for all or a portion of Lot(s) 263-C, **TOWN OF ATRISCO GRANT UNIT 8**, zoned SU-1 special use zone, located on COORS BLVD NW AND HANOVER RD NW containing approximately 6 acre(s). [REF: DRB-94-264] (H-11) **THE VACATION OF PRIVATE EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

24. **Project # 1004308**  
05DRB-01086 Minor-Prelim&Final Plat  
Approval

FRANK L. & EVELYN S. BARELA request(s) the above action(s) for all or a portion of Lot(s) 3, **ATRISCO FOUR-PLEX ADDITION**, zoned R-2, located on ATRISCO DR NW, between ILIFF RD NW and 53rd ST NW containing approximately 1 acre(s). (H-11) **THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT.**

25. **Project # 1004267**  
05DRB-01092 Minor-Prelim&Final Plat  
Approval

GARY MIRABAL request(s) the above action(s) for all or a portion of Lot(s) 1, **LANDS OF MANUEL & CATHY GONZALES**, zoned RA-2, located West of MONTOYA RD NW and North of MOUNTAIN RD NW containing approximately 2 acre(s). [REF: DRB-97-247; DRB-97-290] (J-12) **WITH THE SIGNING OF THE SIA DATED 7/13/5 AND APPROVAL OF THE GRADING/DRAINAGE PLAN ENGINEER STAMP DATED 7/15/2 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

26. **Project # 1004039**  
05DRB-01074 Minor-Sketch Plat or Plan

ISAACSON & ARFMAN, P.A. agent(s) for RUTLEDGE INVESTMENT CO request(s) the above action(s) for all or a portion of Tract(s) 8A, HIGH DESERT (to be known as **THE LEGENDS AT HIGH DESERT**), zoned SU2/C1, located on ACADEMY BLVD NE, between CORTADERIA ST NE and HIGH DESERT PARK NE containing approximately 8 acre(s). [REF: 05ZHE-00449, 05ZHE-00480] (E-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

27. **Project # 1004161**  
05DRB-01091 Minor-Sketch Plat or Plan

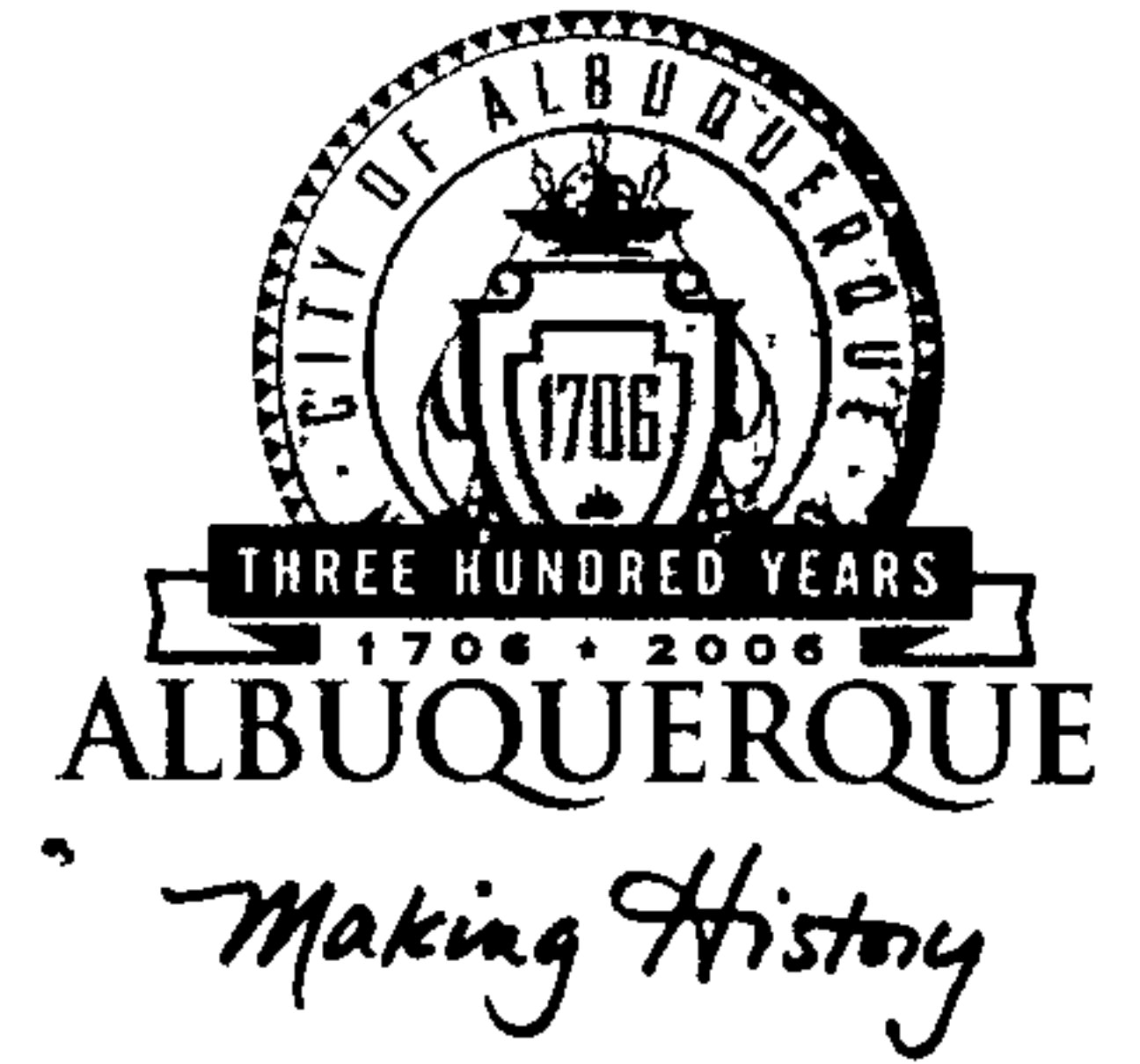
JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for WILLIAM & BENITA BRENNON request(s) the above action(s) for all or a portion of Lot(s) 4 and 5, **RIVERSIDE PLAZA**, zoned SU-1 PRD 8DU/ACRE, located on WINTERHAVEN RD NW, between LA ORILLA RD NW and MONTANO PLAZA DR NW containing approximately 4 acre(s). [REF: 05EPC-00740] (E-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

28. Approval of the Development Review Board Minutes for June 29, 2005. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

Other Matters:

ADJOURNED: 12:50 P.M.

# CITY OF ALBUQUERQUE



PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003571**

**AGENDA ITEM NO: 15**

**SUBJECT:**

Sidewalk Variance

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

**ENGINEERING COMMENTS:**

The Hydrology Section has no objection to the waiver request.

Albuquerque

New Mexico 87103

**RESOLUTION:**

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

www.cabq.gov

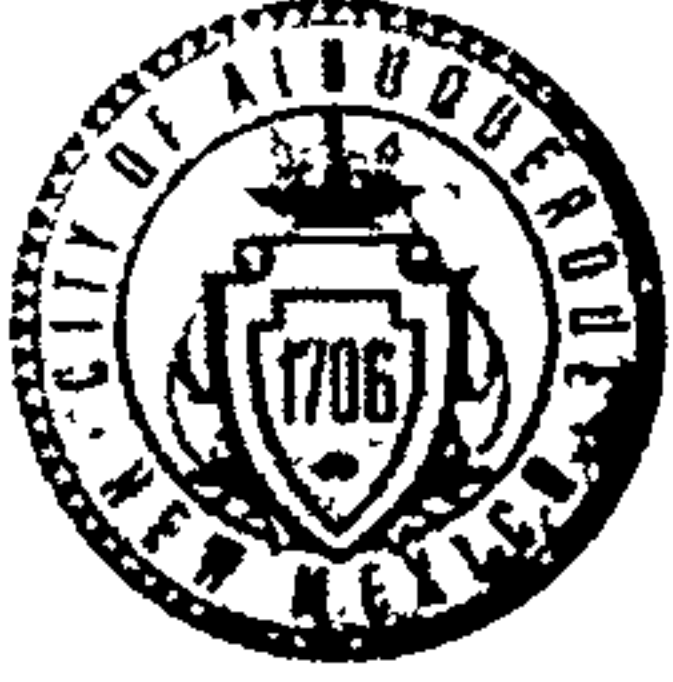
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** July 13, 2005



## Comments for Agenda Item #15

Construction of each new single family residence will require payment of Impact Fees. Based on a house size between 1,500 square feet and 2,499 square feet, it is estimated that impact fees will total approximately \$1,296 if a building permit application is accepted by December 30, 2004, \$2,554 if application is accepted prior to December 29, 2006, and \$3,812 thereafter.

JACK CLOUD  
IMPACT FEE ADMINISTRATOR



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT**

**July 13, 2005  
DRB Comments**

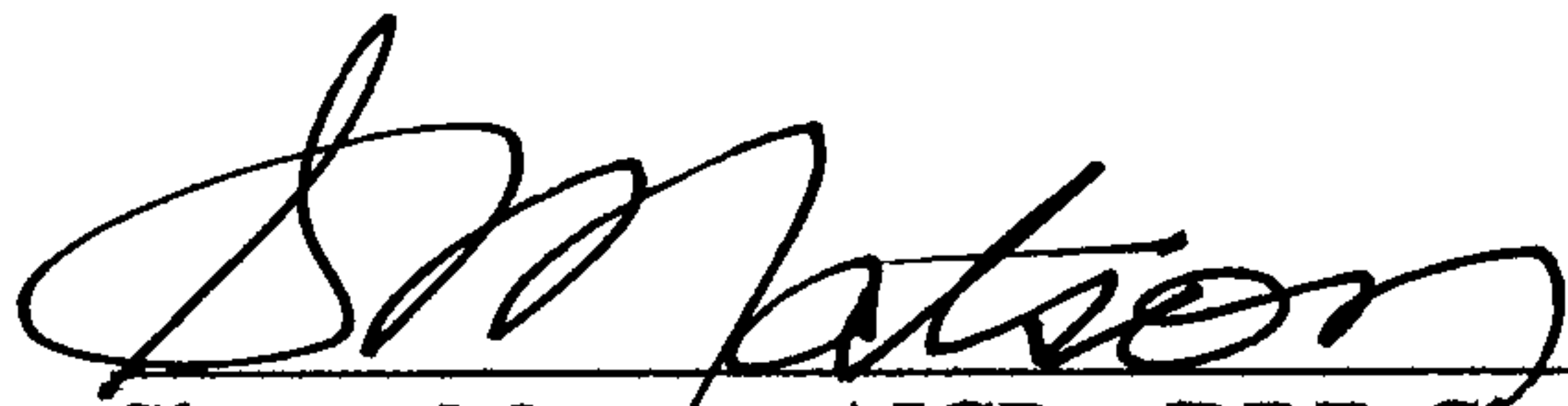
**ITEM # 15**

**PROJECT # 1003571**

**APPLICATION # 05-01062**

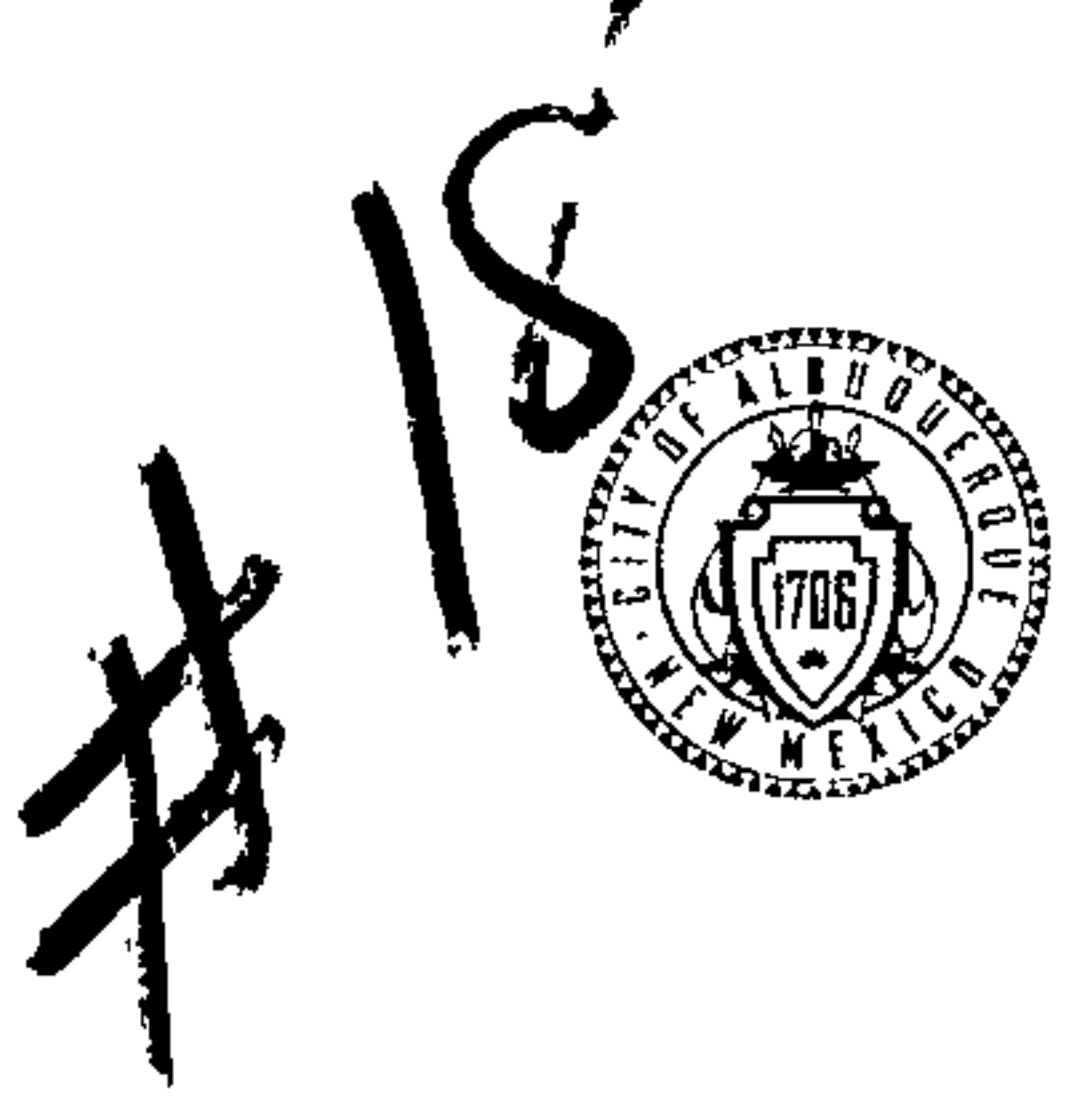
**RE: El Rancho Grande, Unit 9B/minor sidewalk waiver**

No objection to this request.



---

Sheran Matson, AICP DRB Chair  
924-3880 Fax 924-3864 smatson@cabq.gov



Completed  
6/30/05

# DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <b>05DRB-1002 (FP)</b>	Project # <b>1003571</b>
Project Name: <b>EL RANCHO GRANDE UNIT 9B</b>	
Agent: <b>Mark Goodwin &amp; Associates</b>	Phone No.: <b>828-2200</b>

Your request for (SDP for SUB), (SDP for BP), (**FINAL PLATS**), (MASTER DEVELOP. PLAN), was approved on 6/22/05 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: *Sidewalk waiver approval*  
 *Truck reference AMAFCA license*  
 *for water & sewer lines*  
 *OK*  
 *6/22/05*

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign) *Record plat*  
 *OK*  
 *6/27/05*  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.** *OK*

Project Number 1003571



# DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-1002 (FP)

Project # 1003571

Project Name: EL RANCHO GRANDE UNIT 9B

Agent: Mark Goodwin & Associates

Phone No.: 828-2200

Your request for (SDP for SUB), (SDP for BP), FINAL PLATS, (MASTER DEVELOP. PLAN), was approved on 6/22/05 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: *Sidewalk waiver approval  
Truck reference AMAFCA license  
for water & power lines*

UTILITIES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): *Record plat*  
\_\_\_\_\_  
\_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.** *OK*

Project Number 1003571

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
June 22, 2005  
DRB Comments**

**AGENDA ITEM # 18**

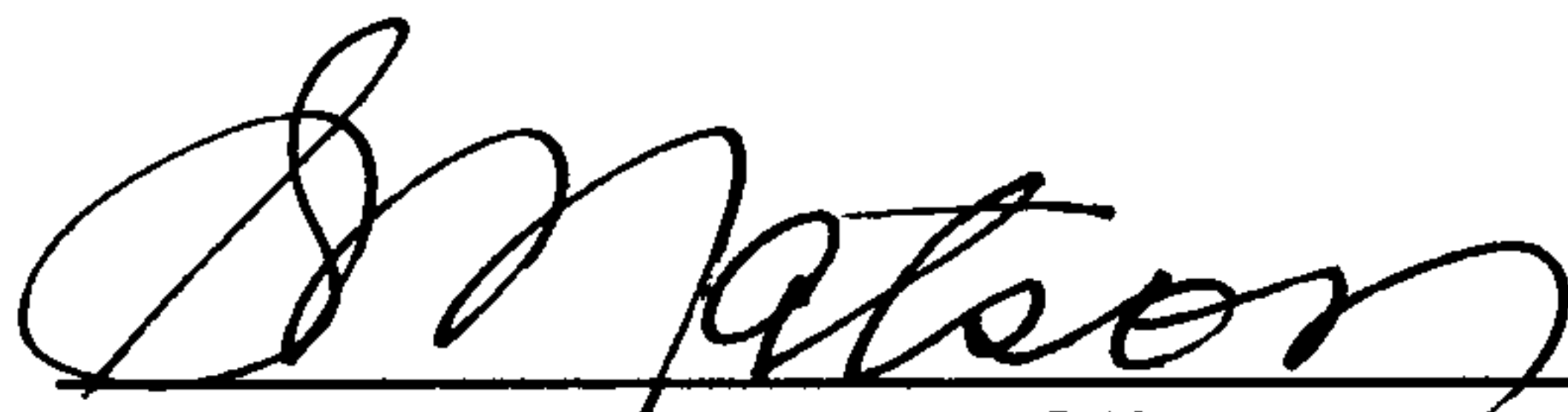
**PROJECT # 1003571            APPLICATION # 05-01002**

**RE: El Rancho Grande Unit 9B/final plat**

Are there any differences between the preliminary plat & the final plat?

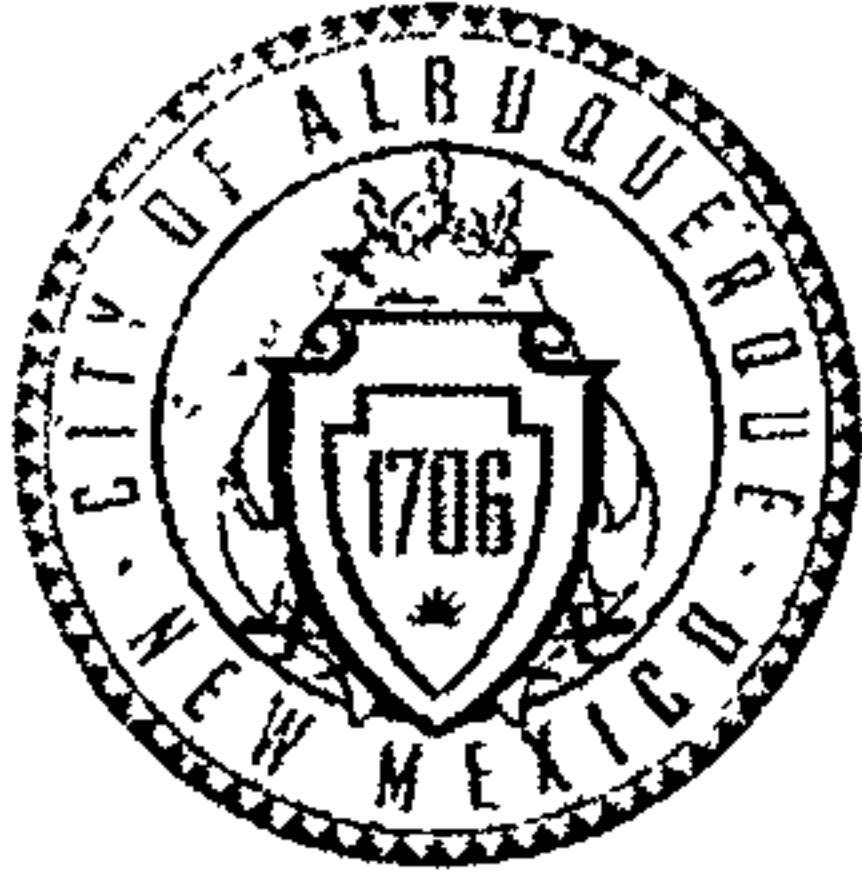
SIA is recorded. No objection to the final plat.

However, Planning will take delegation until the plat is ready for recording as Planning is required to file the plat per the Subdivision Ordinance.



---

Sheran Matson, AICP  
924-3880 fax 924-3864  
smatson@cabq.gov



**City of Albuquerque**  
**Parks and Recreation Department**  
PO Box 1293, Albuquerque, New Mexico 87103  
Inter-Office Correspondence

Development Review Board Comments

**Project Number:** 1003571  
**Application Number:** 05DRB-01002

**DRB Date:** 6/22/2005  
**Item Number:** 18

**Subdivision:** El Rancho Grande, Unit 9B  
Tracts 9-B-1, 9-B-2, and 12-A-2, Atrisco Grant

**Zoning:** RLT

**Zone Page:** N-09

**New Lots (or units) :** 193

**Request for:**

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

**Parks and Recreation Comments:**

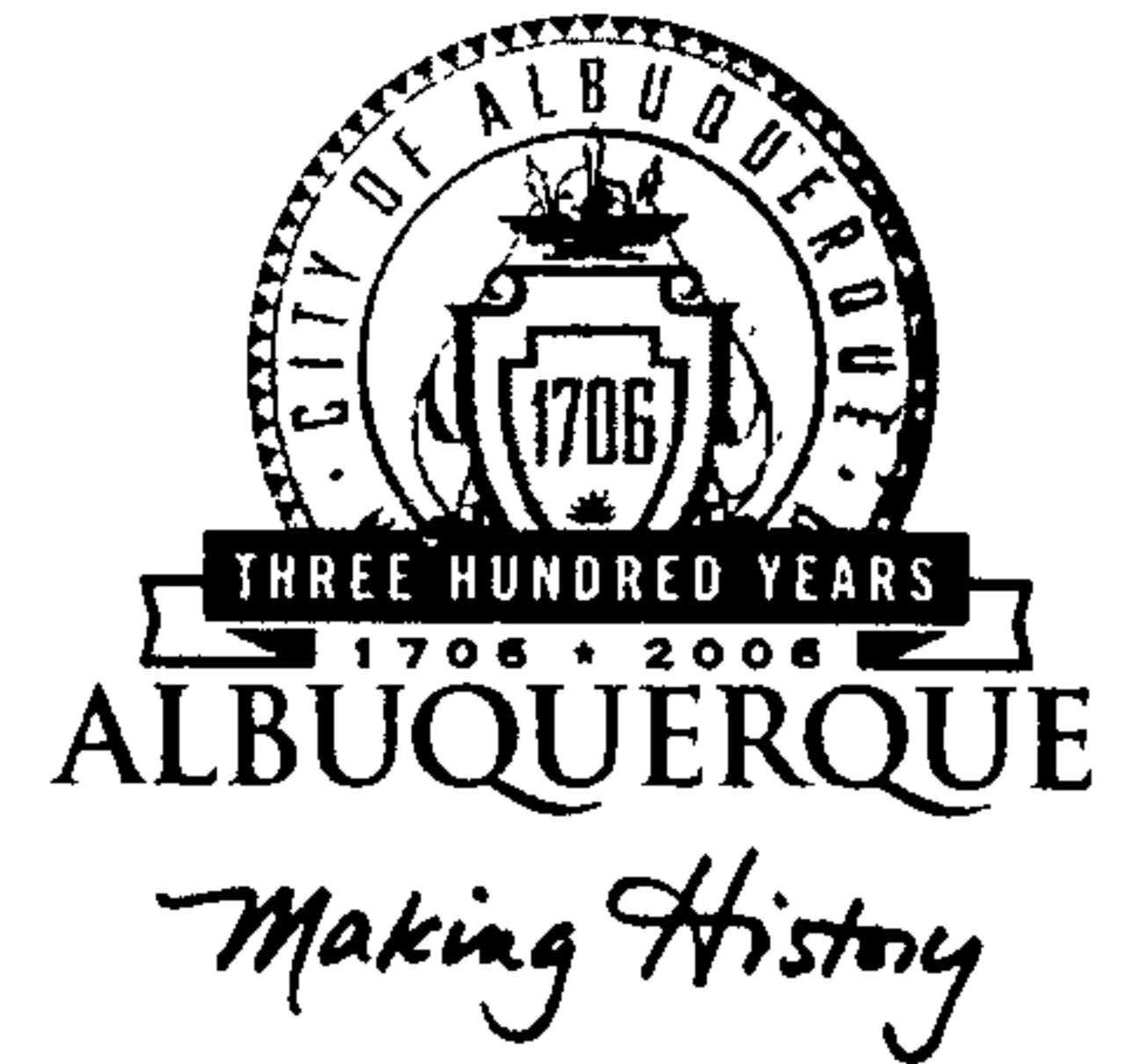
Park Dedication requirements were met through the dedication of Silver Tree Park.

**Signed:** 

Christina Sandoval, (DMD)

Phone: 768-3808

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003571**

**AGENDA ITEM NO: 18**

**SUBJECT:**

Final Plat

**ACTION REQUESTED:**

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

P.O. Box 1293

Comments on plat.  
AMAFCA must sign plat.

Albuquerque

**RESOLUTION:**

New Mexico 87103

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** June 22, 2005



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

June 22, 2005

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 12:55 P.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000635**  
05DRB-00904 Major-One Year SIA

TIERRA WEST LLC agent(s) for DE BARTOLO DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 38-1A1, 38-2A1, 38-2A2 and 38-3A1, **TAYLOR RANCH**, zoned SU-1 FOR C-1, located on MONTANO RD NW, between MONTANO PLAZA DR NW and COORS BYPASS BLVD NW containing approximately 4 acre(s). [REF: 00DRB00878, 02DRB01040, 04DRB01698, 04DRB01764] [Deferred from 6/22/05] (E-12)  
**DEFERRED AT AGENT'S REQUEST TO 6/29/05.**

2. **Project # 1000650**  
05DRB-00903 Major-Two Year SIA

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1-A-1, **LANDS OF LAMONICA & WENK**, zoned SU-1, C-1, located on COORS BLVD SW, between RIO BRAVO BLVD SW and LAMONICA RD SW containing approximately 20 acre(s). [REF: 00EPC00905, 00EPC00907, 04DRB00277] (P-10) **A 6-MONTH EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1003874**  
05DRB-00894 Major-Vacation of  
Public Easements

ISAACSON & ARFMAN agent(s) for CURB INC request(s) the above action(s) for Tract(s) 16-D, 16-E and 16-F, **EL RANCHO GRANDE, UNIT 16**, zoned R-D, located on GIBSON BLVD SW, between MESSINA DR SW and DELGADO DR SW. [REF: 04DRB00717, 04DRB01892, 05DRB00032, 05DRB00033, 05DRB00034, 05DRB00035, 05DRB00126, 05DRB00199, 05DRB00342] (N-8) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1004223**  
05DRB-00884 Major-Vacation of  
Public Easements  
05DRB-00885 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST agent(s) for LUTHER MARTINEZ request(s) the above action(s) for all or a portion of Tract(s) 6-B, SUNDT'S INDUSTRIAL CENTER (to be known as **RENAISSANCE CENTER III, PARCEL D-1**), zoned M-2 & SU-1 1P, located on MONTANO RD NE, between ALEXANDER BLVD NE and DESERT SURF CIRCLE NE containing approximately 9 acre(s). [REF: V-96-84, DRB-96-377] *[Deferred from 6/22/05]* (F-16) **DEFERRED AT THE AGENT'S REQUEST TO 6/29/05.**



5. **Project # 1004228**  
05DRB-00888 Major-Vacation of Pub  
Right-of-Way

PHILIP TURNER agent(s) for JAMES P GUTHRIE request(s) the above action(s) for all or a portion of Tract(s) 89A2, 89B2, 89B3, 89C3, 89C4 SUNRISE HEIGHTS ADDITION, (to be known as **GUTHRIE COMMERCE PARK**) zoned M-1, located on MONTANO NE and RENAISSANCE NE containing approximately 1 acre(s). (F-15) **VACATION APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

6. **Project # 1004232**  
05DRB-00896 Major-Vacation of  
Public Easements

MIGUEL TRUJILLO agent(s) for WILLIAM WILSON request(s) the above action(s) for all or a portion of Block(s) 13, Tract(s) A, **CLAYTON HEIGHTS SUBDIVISION**, zoned C-2 community commercial zone, located on GIBSON BLVD SE, between BUENA VISTA SE and WILMOORE DR SE containing approximately 2 acre(s). [Will be readvertised] (L-15) **INDEFINITELY DEFERRED ON A NO SHOW.**

7. **Project # 1004233**  
05DRB-00899 Major-Preliminary Plat  
Approval  
05DRB-00900 Major-Vacation of  
Public Easements  
05DRB-00901 Minor-Sidewalk Waiver  
05DRB-00902 Minor-Temp Defer  
SDWK

BOHANNAN HUSTON INC agent(s) for WESTLAND DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) I-2, WESTLAND NORTH (to be known as **STORM CLOUD SUBDIVISION**) zoned SU-2, RLT, located on TIERRA PINTADA ST SW, between ARROYO VISTA BLVD SW and LADERA DR SW containing approximately 107 acre(s). [Deferred from 6/22/05] (H-9, J-8, J-9) **DEFERRED AT THE AGENT'S REQUEST TO 6/29/05.**

8. **Project # 1004071**  
05DRB-00511 Major-Bulk Land Variance  
05DRB-00512 Major-Vacation of Public Easements  
05DRB-00513 Minor-Prelim&Final Plat Approval
- JEFF MORTENSEN & ASSOCIATES agent(s) for ALBUQUERQUE PUBLIC SCHOOLS & NEW MEXICO STATE LAND OFFICE, request(s) the above action(s) for **GOVERNMENT LOTS 1-4, SECTION 16, 11N, R2E AND THE SOUTH 1/2 OF THE SOUTH 1/2 OF SECTION 16, 11N, R2E**, zoned RO-20, located on RAINBOW BLVD NW, between COMPASS DR NW and PETROGLYPH NATIONAL MONUMENT containing approximately 289 acre(s). *[Deferred from 4/20/05 & 5/11/05 & 6/1/05]* (C-9) **BULK LAND VARIANCE APPROVED. VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD, RECORDING OF PLAT AND AGIS DXF FILE.**
9. **Project # 1004204**  
05DRB-00871 Major-Vacation of Public Easements
- PRECISION SURVEYS agent(s) for WESTLAND DEVELOPMENT CO request(s) the above action(s) for all or a portion of Block(s) F, Tract(s) A, **CEDAR RIDGE ESTATES, UNIT 2**, zoned R-1, located on QUAIL BRUSH DR NW and ROSEBUD DR NW. [REF: S-93-23, DRB-96-150] *[Deferred from 6/15/05]*(J-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
- 05DRB-01007 Minor-Prelim&Final Plat Approval
- PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Block(s) F, Tract(s) A, **CEDAR RIDGE ESTATES, UNIT 2**, zoned R-1 residential zone, located on SILKWOOD AVE NW and LOS VOLCANES RD NW and containing approximately 1 acre(s). [REF: S-93-23, DRB-96-150] (J-10) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CERTIFICATION OF GRADING PERMIT AND ACCEPTANCE OF STORM DRAIN IN LOS VOLCANES AND PLANNING FOR AGIS DXF FILE AND 15-DAY APPEAL PERIOD.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

- 10. Project # 1004266**  
05DRB-01017 Minor-SiteDev Plan  
BldPermit
- ADVANCED ENGINEERING & CONSULTING agent(s) for MAVERICK DEVELOPMENT INC., RON SPRADLIN request(s) the above action(s) for all or a portion of Lot(s) 29, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP, located on ALAMEDA DR NE, between ALAMEDA PARK DR NE and the AMAFCA NORTH DIVERSION CHANNEL, containing approximately 2 acre(s). [REF: DRB-98-223] [Deferred from 6/22/05] (C-16) **DEFERRED AT THE AGENT'S REQUEST TO 6/29/05.**
- 11. Project # 1000195**  
05DRB-01016 Minor-SiteDev Plan  
Subd/EPC  
05DRB-01018 Minor-SiteDev Plan  
BldPermit/EPC
- MARK GOODWIN & ASSOCIATES agent(s) for GRAYBAR ELECTRIC request(s) the above action(s) for all or a portion of Lot(s) A, B, C & D, **GATEWAY INDUSTRIAL PARK ADDITION**, zoned SU-1 PLANNED INDUSTRIAL DEVELOPMENT, located on MENAUL BLVD NE, between NBSR RR AND BROADWAY NE and containing approximately 5 acre(s). [REF: 05EPC00584, 05EPC00583] [Elvira Lopez, EPC Case Planner] (H-14) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR EPC CASE PLANNER'S INITIALS. SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR STALL DIMENSIONS AND PLANNING FOR EPC CASE PLANNER'S INITIALS.**
- 05DRB-01014 Minor-Prelim&Final Plat  
Approval  
05DRB-01015 Minor-Vacation of  
Private Easements
- MARK GOODWIN & ASSOCIATES, PA agent(s) for HENSLEY CONSTRUCTION, INC. request(s) the above action(s) for all or a portion of Tract(s) A, B, C & D, **GATEWAY INDUSTRIAL PARK**, (to be known as **GRAYBAR ELECTRIC**) zoned SU-1 PLANNED INDUSTRIAL DEVELOPMENT, located on MENAUL BLVD NE and BROADWAY BLVD NE and containing approximately 5 acre(s). (H-14) **PRELIMINARY**

**PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EASEMENTS. VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

**12. Project # 1003859**  
05DRB-00994 Minor-SiteDev Plan  
Subd/EPC

CONSENSUS PLANNING agent(s) for SILVERLEAF VENTURES LLC request(s) the above action(s) for all or a portion of Tract(s) A & 6B, LANDS OF RAY GRAHAM III, OVENWEST CORPORATION AND CITY OF ALBUQUERQUE, (to be known as **NORTH ANDALUCIA @ LA LUZ**) zoned SU-1, O-1, C-2 and PRD, located on COORS BLVD NW, between MONTANO RD NW and LEARNING RD NW containing approximately 70 acre(s). [REF: 04EPC00855, 02EPC01770, 02EPC01771, 04EPC01845] [**Juanita Garcia, EPC Case Planner**] (E-12/F-12) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR MTB APPROVAL, NMDOT APPROVAL AND DMD APPROVAL.**

05DRB-01010 Minor-Prelim&Final Plat  
Approval

PRECISION SURVEYS INC agent(s) for SILVERLEAF VENTURES LLC request(s) the above action(s) for all or a portion of Tract(s) A & 6B, LANDS OF RAY A GRAHAM, (to be known as **NORTH ANDALUCIA @ LA LUZ**) zoned SU-1, O-1, C-2 and PRD, located on COORS BLVD NW, between MONTANO RD NW and LEARNING RD NW containing approximately 64 acre(s).[REF: [REF: 04EPC00855, 02EPC01770, 02EPC01771, 04EPC01845](E-12/F-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/22/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/14/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: A PUBLIC DRAINAGE EASEMENT IS REQUIRED ON TRACT 9. A WATERLINE MUST BE RELOCATED AND ACCEPTED BY WATER UTILITY DEPARTMENT**

OR HAVE A TEMPORARY EASEMENT IN PLACE FOR THE EXISTING WATER LINE LOCATION. A ROUND-ABOUT DESIGN SHALL BE PROVIDED. STREET INTERSECTION ANGLES MUST BE REEVALUATED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.

13. **Project # 1003883**  
05DRB-00999 Minor-SiteDev Plan  
BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for LANDHLAFORD, LLC request(s) the above action(s) for all or a portion of Lot(s) 9, Tract(s) 9-A-1A-2, **JOURNAL CENTER PHASE 2, UNIT 1**, zoned IP, located on TIBURON ST NE and JEFFERSON ST NE and containing approximately 3 acre(s). (D-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PARKING DIMENSIONS AND PLANNING FOR WRITTEN COMMENTS AND 3 COPIES OF THE SITE PLAN.**

05DRB-01000 Minor-Prelim&Final Plat  
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for LANDHLAFORD, LLC request(s) the above action(s) for all or a portion of Lot(s) 9, Tract(s) 9-A-1A-2, **JOURNAL CENTER PHASE 2, UNIT 1**, (to be known as **JOURNAL CENTER LAW OFFICES**) zoned IP, located on TIBURON ST NE, between JEFFERSON ST NE and containing approximately 3 acre(s). (D-17) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/22/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT: PROVIDE A SIDEWALK EASEMENT FOR THE MEANDERING SIDEWALK. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

14. **Project # 1003057**  
05DRB-00980 Minor-SiteDev Plan  
BldPermit

KEN HOVEY, agent(s) for I-40 GATEWAY WEST LLC request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) A-2-C-1, **CLIFFORD WEST BUSINESS PARK, UNIT 3**, zoned IP industrial park zone, located on UNSER BLVD NW, between LOS VOLCANES NW and SAUL BELL RD NW containing approximately 7 acre(s). [REF: Z-97-11, AA-98-54] [Given Project #1004257 in error.] [Deferred from 6/22/05] (K-9) **DEFERRED AT THE AGENT'S REQUEST TO 6/29/05.**

#### **MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

15. **Project # 1003591**  
05DRB-00996 Minor-Final Plat  
Approval

BOHANNAN HUSTON INC. agent(s) for D.R. HORTON, INC. request(s) the above action(s) for all or a portion of Tract(s) 31A-1-A, **SUNGATE ESTATES SUBDIVISION, UNIT 1**, zoned R-2 FOR R-T & R-LT, located on GIBSON BLVD SW, between BLAKE RD SW and 98<sup>TH</sup> ST SW containing approximately 46 acre(s). [REF: 04DRB-01185] (N-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND PLANNING FOR PLAT RECORDING.**

16. **Project # 1003429**  
05DRB-00995 Minor-Final Plat  
Approval

BOHANNAN HUSTON INC agent(s) for CURB INC. request(s) the above action(s) for all or a portion of Tract(s) 16B and 16C, EL RANCHO GRANDE (to be known as **SIERRA RANCH SUBDIVISION, UNIT 1**) zoned R-LT, R-D, located on GIBSON BLVD SW, and containing approximately 62 acre(s). (N-8) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PLAT RECORDING.**

17. **Project # 1003030**  
05DRB-00997 Minor-Final Plat  
Approval

BOHANNAN HUSTON, INC. agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 15, **EL RANCHO GRANDE, UNIT 15**, zoned R-LT, located on GIBSON BLVD SW, between BLAKE RD SW and MESSINA DR SW containing approximately 23 acre(s).[REF: 05DRB00282] (N-8) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PLAT RECORDING.**

~~18. **Project # 1003571**~~  
05DRB-01002 Minor-Final Plat  
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for CURB INC. request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, ATRISCO GRANT (to be known as **EL RANCHO GRANDE, UNIT 9B**) zoned R-LT residential zone, located south of BLAKE RD NW and west of the AMOLE CHANNEL and containing approximately 35 acre(s). [REF: 04DRB01518] (N-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK WAIVER APPLICATION, TRACT A REFERENCE, AMAFCA LICENSE AGREEMENT FOR WATER AND SEWER LINES AND PLANNING FOR RECORDING OF PLAT.**

19. **Project # 1002857**  
05DRB-01004 Minor-Final Plat  
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) A & B, ARROWOOD RANCH DEVELOPMENT, (to be known as **THE HIGHLANDS @ ANDERSON HILLS, UNIT 2**) zoned R-LT residential zone, located on 98<sup>TH</sup> ST SW north of DENNIS CHAVEZ BLVD SW and containing approximately 34 acre(s).[REF:Z-99-8] (N-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PLAT RECORDING. UNIT 2 NEEDS TO BE RECORDED FIRST.**

05DRB-01006 Minor-Final Plat  
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) A & B, ARROWOOD RANCH DEVELOPMENT, (to be known as **THE HIGHLANDS @ ANDERSON HILLS, UNIT 3**) zoned R-LT residential zone, located on 98<sup>TH</sup> ST SW north of DENNIS CHAVEZ BLVD SW and containing approximately 34 acre(s). [REF: Z-99-8, SPR-95-22] (N-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PLAT RECORDING.**

20. **Project # 1003696**  
05DRB-00998 Minor-Prelim&Final Plat  
Approval

RIO GRANDE ENGINEERING agent(s) for J D HOME CORPORATION, request(s) the above action(s) for all or a portion of Lot(s) 26 and 27, **TORRENTINO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on 97<sup>TH</sup> ST SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 6 acre(s). (L-9) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

21. **Project # 1003624**  
05DRB-01001 Minor-Prelim&Final Plat  
Approval

MICHAEL RENFRO, request(s) the above action(s) for all or a portion of Tract(s) 22-A, 22-B, 38-A and 38-B, M.R.G.C.D. MAP #34, (to be known as **SAN ISIDRO GARDENS**) zoned RA-2 residential and agricultural zone, located on SAN ISIDRO ST NW, between CANDELARIA RD NW and GRIEGOS RD NW containing approximately 2 acre(s). [REF: 04ZHE01281] [Deferred from 6/22/05] (G-13) **DEFERRED AT THE AGENT'S REQUEST TO 7/13/05.**



22. **Project # 1004178**  
05DRB-01013 Minor-Prelim&Final Plat  
Approval

WAYJOHN SURVEYING INC., agent(s) for GREVEY INVESTMENTS, request(s) the above action(s) for all or a portion of Tract(s) D, E, F & G, Block(s) 27, (to be known as **MESA VILLAGE**) zoned C-1, C-2 and O-1, located on EUBANK BLVD NE between LOMAS BLVD NE and WALKER DR NE, containing approximately 5 acre(s). [REF: 05DRB00794] (J-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/22/05 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

23. **Project # 1003238**  
05DRB-01012 Major-Final Plat  
Approval

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) A, B C, Tract(s) 267, 268-B, 270-A-2, 270-A-1-C, 270-A-1-D, 270-B AND 315-A-1-A-1, M.R.G.C.D. MAP 35 AND LAND OF ALBERT PEREZ, TRACT(S) B1 AND B2, LAND OF MACIEL & TRUJILLO (to be known as **FLORAL MEADOWS SUBDIVISION**) zoned R-LT residential zone, located on INTERSTATE 40 between RIO GRANDE BLVD NW and MONTOYA ST NW containing approximately 8 acre(s). [REF: 04EPC00156, 04EPC00157, 04DRB00661, 04DRB01227] (H-12/H-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR EASEMENTS ON PARCELS D & E FOR WATER/SEWER SERVICES (OR SHOW OFFSITE EASEMENTS FOR LOTS NEXT TO PARCEL E) AND TO PLANNING FOR M.R.G.C.D. SIGNATURE AND PLAT RECORDING.**

24. **Project # 1004264**  
05DRB-01003 Minor-Prelim&Final Plat  
Approval
- ISAACSON & ARFMAN, PA agent(s) for TERRY & SHIRLEY CURRY request(s) the above action(s) for all or a portion of Lot(s) 20, 21 and 22, Block(s) 3, **DEL NORTE ADDITION**, zoned R-1, located on ESPANOLA NE, between COPPER NE and GIRARD NE containing approximately 1 acre(s). (K-19) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**
25. **Project # 1003629**  
05DRB-01008 Minor-Prelim&Final Plat  
Approval
- ARMIJO SURVEYING agent(s) for DONALD VASQUEZ request(s) the above action(s) for all or a portion of Lot(s) 1, **PARKSITO SUBDIVISION**, zoned R-D, located on 97<sup>TH</sup> ST SW, between FIRMAN CT SW and SAN YGNACIO RD SW containing approximately 1 acre(s). [REF: DRB-96-529, S-98-83, S-97-55] (L-9) **PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**
26. **Project # 1004261**  
05DRB-00988 Minor-Prelim&Final Plat  
Approval
- SURVEYS SOUTHWEST LTD agent(s) for MATT SMITH request(s) the above action(s) for all or a portion of Tract(s) A, **LANDS OF W. D. KING & C. D. KING**, and Tract(s) 140, **M.R.G.C.D. MAP 38**, zoned SU-2, located on CENTRAL AVE SW, between SAN PASQUALE AVE SW and CHACOMA PL SW containing approximately 1 acre(s). [REF: LUC-9-25, LUC-98-7, LUC-95-31, LUC-94-1] (J-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR DEDICATION ALONG SAN PASQUALE AND PLANNING FOR AGIS DXF FILE.**

27. **Project # 1003554**  
05DRB-00530 Minor- Final Plat  
Approval

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 1-8, Block(s) 9 and Lot(s) 2-9, Block(s) 8, SKYLINE HEIGHTS, (to be known as **CENTRAL PARK PLACE, PHASE 1**) zoned C-2, located on CENTRAL AVE SE, between CONCHAS ST SE and EUBANK BLVD SE containing approximately 4 acre(s). [REF: ZA-88-406, 04DRB01099, 04DRB01100] *[Deferred from 4/6/05 and 4/20/05 FINAL PLAT WAS INDEF DEFERRED FOR SIA]* (L-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PLAT RECORDING.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

28. **Project # 1000696**  
05DRB-00977 Minor-Sketch Plat or  
Plan

MARK GOODWIN & ASSOCIATES agent(s) for ICDC LLC request(s) the above action(s) for all or a portion of Tract(s) C, LEE'S BOSQUE SUBDIVISION (to be known as **BOSQUECITO SUBDIVISION**) zoned R-D residential and related uses zone, developing area, located on COORS BLVD NW, between EAGLE RANCH RD NW and LA ORILLA RD NW containing approximately 7 acre(s). (D-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

29. **Project # 1004258**  
05DRB-00984 Minor-Sketch Plat or  
Plan

KIMBERLY A. KIEGEL request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, Block(s) 32, **MONTEREY HILLS ADDITION, UNIT 2**, zoned R-1, located on SAN RAFAEL SE, between GIRARD SE and RICHMOND SE containing approximately 1 acre(s).(L-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

30. **Project # 1004232**  
05DRB-00991 Minor-Sketch Plat or Plan
- MIGUEL TRUJILLO agent(s) for WILLIAM K WILSON, request(s) the above action(s) for all or a portion of Tract(s) A, Block(s) 13, **CLAYTON HEIGHTS**, zoned C-2, located on GIBSON BLVD SE, between BUENA VISTA SE and WILMOORE DR SE containing approximately 2 acre(s). [Was issued Project #1004262 in error.] (L-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
31. **Project # 1004267**  
05DRB-01019 Minor-Sketch Plat or Plan
- GARY MIRABAL request(s) the above action(s) for all or a portion of Tract(s) 1, LANDS OF MANUEL GONZALES (to be known as **VILLA PLAZA VIEJA**) zoned RA-2 residential and agricultural zone, located on MOUNTAIN RD NW, between MONTOYA RD NW and CENTRAL AVE NW containing approximately 2 acre(s). [REF: DRB-97-247] (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
32. **Project # 1004240**  
05DRB-00918 Minor-Sketch Plat or Plan
- SCHARLES WILDER agent(s) for ED GARCIA request(s) the above action(s) for all or a portion of Tract(s) 87A2, 87B1, 87B2, 87B3, 88, 89A, A2 and A1, **MAES-ERNEST**, zoned R-1 residential zone, located on RIO GRANDE BLVD NW, between INDIAN SCHOOL RD NW and MEADOW VIEW RD NW containing approximately 3 acre(s). [*Deferred from 6/15/05*] (H-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
33. Approval of the Development Review Board Minutes for June 8, 2005. **DRB MINUTES FOR JUNE 8, 2005 WERE APPROVED.**

ADJOURNED: 12:55 P.M.

**3571**

### DXF Electronic Approval Form

DRB Project Case #: 1003571

Subdivision Name: EL RANCHO GRANDE 1 UNIT 9B

Surveyor: TIMOTHY ALDRICH

Contact Person: JOHN MACKENZIE

Contact Information: 828-2200

DXF Received: 6/6/2005

Hard Copy Received: 6/6/2005

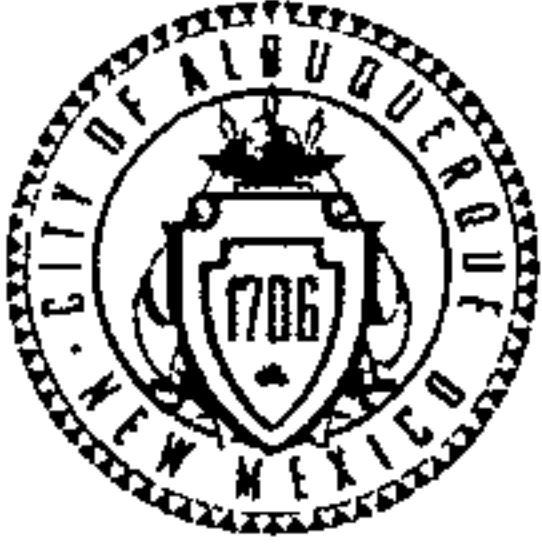
Coordinate System: NMSP Grid (NAD 83)

  
Approved

06-06-2005  
Date

\* The DXF file cannot be accepted (at this time) for the following reason(s):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**AGIS Use Only**  
Copied fc **3571** to agiscov on **6/6/2005** Contact person notified on **6/6/2005**



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

December 1, 2004

### 16. Project # 1003571

04DRB-01517 Major-Vacation of Public Easements  
04DRB-01518 Major-Preliminary Plat Approval  
04DRB-01519 Minor-Sidewalk Waiver  
04DRB-01520 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on BLAKE RD NW, between AMOLE CHANNEL and 98<sup>TH</sup> ST NW containing approximately 36 acre(s). [REF: 04DRB01134] [*Deferred from 11/3/04 & 11/10/04 & 11/17/04*] (N-9)

At the December 1, 2004, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

#### FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

#### CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

With the signing of the infrastructure list dated 12/1/04 and approval of the grading plan engineer stamp dated 11/6/04 the preliminary plat was approved.

*11/16/04 Claire Sevora OK*  
A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by December 16, 2004 in the manner described below.



**OFFICIAL NOTICE OF DECISION  
PAGE 2**

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

Sheran Matson, AICP, DRB Chair

Cc: Curb Inc., 5160 San Francisco NE, 87109  
Mark Goodwin & Associates, P.O. Box 90606, 87199  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003571 AGENDA#: 16 DATE: 12.1.04

1. Name: Bo Johnson Address: \_\_\_\_\_ Zip: \_\_\_\_\_

2. Name: Doug Hughes Address: \_\_\_\_\_ Zip: \_\_\_\_\_

3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

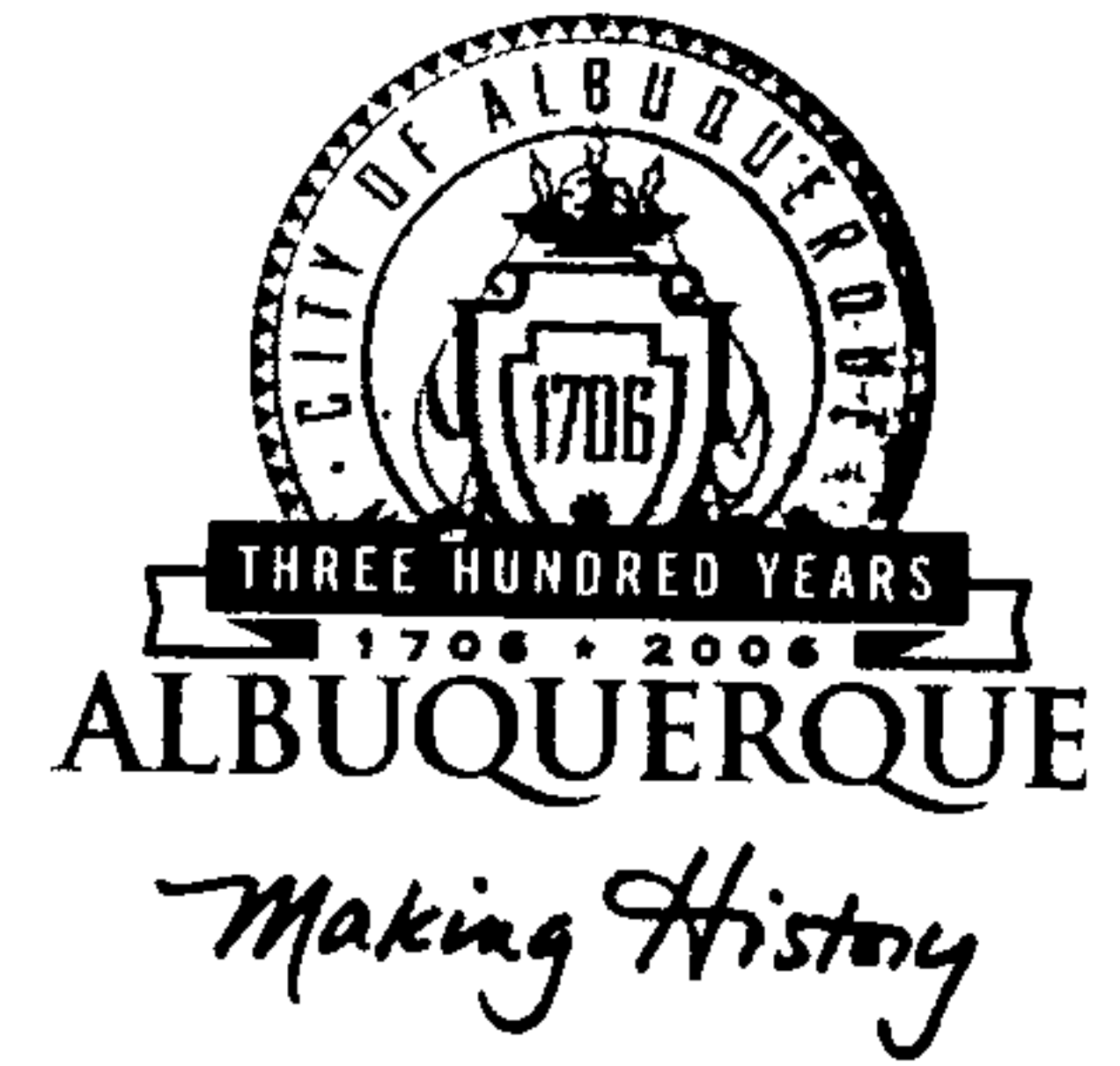
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_



# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003571**

**AGENDA ITEM NO: 16**

**SUBJECT:**

- |                         |                          |                           |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan      |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan         |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension        |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Dev. Plan     |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Cost Allocation Plan |

**ACTION REQUESTED:**

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

Albuquerque

An approved drainage report dated 11-16-04 is on file for Preliminary Plat approval. The Hydrology Section has no objection to the vacation request.

New Mexico 87103

**RESOLUTION:** *signed I.L.*

www.cabq.gov

APPROVED X; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** December 1, 2004



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 17, 2004

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.      Adjourned: 11:55 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000029**  
04DRB-01650 Major-Vacation of Public Easements  
04DRB-01651 Minor-Extension of Preliminary Plat  
BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND & TRUST request(s) the above action(s) for all or a portion of Lot(s) C & B-1-A-1 **DUKE CITY LUMBER CO ADDITION** and Lot(s) D-1-A, **ARBOLERA DE VIDA, PHASE 2**, zoned S-M1, S-DR, located on BELLAMAH AVE NW, between 19<sup>TH</sup> ST NW and 18<sup>TH</sup> ST NW containing approximately 26 acre(s). [REF: 03DRB01785, 03DRB01786] (H-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

2. **Project # 1001273**  
04DRB-01659 Major-SiteDev Plan BldPermit

TIERRA WEST LLC agent(s) for SEDBERRY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 5B2C1B2A, **RENAISSANCE CENTER**, zoned SU-1 FOR C-2, located on MERCANTILE AVE NE, between I-25 FRONTAGE ROAD and CULTURE AVE NE containing approximately 4 acre(s). [REF: Z-94-13-1] *[Deferred from 11/17/04]* (F-16) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

3. **Project # 1003420**  
04DRB-01657 Major-Vacation of Pub Right-of-Way

ISAACSON & ARFMAN PA agent(s) for WINDMILL MANOR PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, VOLCANO CLIFFS SUBDIVISION (to be known as **SUNRISE RIDGE**, zoned R-LT residential zone, located on TESUQUE DR NW, between MONTANO RD NW and CRYSTAL ST NW containing approximately 1 acre(s). [REF: 04EPC00682, 04DRB01508, 04DRB01509] (E-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

- 04DRB-01508 Major-Preliminary Plat Approval  
04DRB-01509 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for WINDMILL MANOR PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, VOLCANO CLIFFS UNIT 3, (to be known as **SUNRISE RIDGE SUBDIVISION**) zoned R-LT, located on MONTANO RD NW, between TESUQUE DR NW and SHADOW RIDGE DR NW containing approximately 5 acre(s). [REF: 04EPC00682] *[Deferred from 10/27/04 & 11/11/04]* (E-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/17/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/10/04 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

4. **Project # 1003696**  
04DRB-01654 Major-Vacation of Pub Right-of-Way  
04DRB-01655 Major-Preliminary Plat Approval  
04DRB-01656 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for DAVID SOULE request(s) the above action(s) for all or a portion of Lot(s) 1-17, VINCINTI MONTANO SUBDIVISION AND Tract(s) A, B & C, JUANITA LOPEZ VIGIL SUBDIVISION, (to be known as **TORRENTINO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on 97<sup>TH</sup> ST SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 6 acre(s). [REF:04DRB01495] [Deferred from 11/17/04] (L-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

5. **Project # 1003238**  
04DRB-01569 Major-Preliminary Plat Approval  
04DRB-01573 Minor-Vacation of Private Easements  
04DRB-01571 Minor-Sidewalk Waiver  
04DRB-01572 Minor-Temp Defer SDWK

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) A, B C, Tract(s) 267, 268-B, 270-A-2, 270-A-1-C, 270-A-1-D, 270-B AND 315-A-1-A-1, M.R.G.C.D. MAP 35 AND LAND OF ALBERT PEREZ, TRACT(S) B1 AND B2, LAND OF MACIEL & TRUJILLO (to be known as **FLORAL MEADOWS SUBDIVISION**, zoned R-LT residential zone, located on INTERSTATE 40 between RIO GRANDE BLVD NW and MONTOYA ST NW containing approximately 8 acre(s). [REF: 04EPC00156, 04EPC00157, 04DRB00661, 04DRB01227] [Deferred from 11/3/04] (H-12/H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/17/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/10/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

6. **Project # 1003571**  
04DRB-01517 Major-Vacation of Public Easements  
04DRB-01518 Major-Preliminary Plat Approval  
04DRB-01519 Minor-Sidewalk Waiver  
04DRB-01520 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on BLAKE RD NW, between AMOLE CHANNEL and 98<sup>TH</sup> ST NW containing approximately 36 acre(s). [REF: 04DRB01134] [Deferred from 11/3/04 & 11/10/04 & 11/17/04] (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

**SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.**

7. **Project # 1003775**  
04DRB-01745 Minor-SiteDev Plan BldPermit
- SCHLEGEL LEWIS ARCHITECTS agent(s) for DGM LLC request(s) the above action(s) for all or a portion of Tract(s) G-1A-1, **SEVEN BAR RANCH**, zoned SU-1 FOR C-2 USES, located on COTTONWOOD DR NW, between COTTONWOOD PARK NW and OLD AIRPORT AVE NW containing approximately 2 acre(s). [REF: Z-96-92, AA-98-138] *[Deferred from 11/17/04]* (A-14) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**
8. **Project # 1003671**  
04DRB-01746 Minor-SiteDev Plan BldPermit
- KIRA SOWANICK agent(s) for SOUTHWEST GLASS AND GLAZING request(s) the above action(s) for all or a portion of Tract(s) 27, **LADERA BUSINESS PARK**, zoned SU-1, located on UNSER BLVD NW, between LADERA DR NW and 98<sup>TH</sup> ST NW containing approximately 3 acre(s). [REF: 04DRB01422] **[Russell Brito for Lola Bird, EPC Case Planner]** (H-9/H-10) **THE INFRASTRUCTURE LIST DATED 11/17/04 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR EPC COMMENTS AND INFRASTRUCTURE LIST LANGUAGE ON SIGNATURE BLOCK.**
9. **Project # 1001946**  
04DRB-01670 Minor-SiteDev Plan  
BldPermit/EPC
- WADE-TRIM agent(s) for TARGET CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A-1, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on PASEO DEL NORTE NE, between I-25 and SAN PEDRO NE containing approximately 11 acre(s). [REF: 04EPC01032, 04DRB01177, 04DRB01178, 04DRB01176] **[Makita Hill, EPC Case Planner]** *[Deferred from 11/3/04 & 11/17/04]* (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 12/15/04.**

10. **Project # 1003010**  
04DRB-01687 Minor-SiteDev Plan  
BldPermit/EPC

DEKKER/PERICH/SABATINI agent(s) for T. S. MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) A, (to be known as **HOUSING @ ALBUQUERQUE LITTLE THEATRE**, zoned SU-2 CLD, located on CENTRAL AVE SW, between LAGUNA BLVD SW and SAN PASQUALE AVE SW containing approximately 2 acre(s). [REF: 02EPC01669, 03EPC0670, 02EPC01671, 03EPC01704, 04DRB00366, 04EPC00860] [11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04] [Makita Hill, EPC Case Planner] (J-13) **THE INFRASTRUCTURE LIST DATED 11/17/04 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND CITY ENGINEER FOR SIA AND THREE COPIES OF THE SITE PLAN.**

11. **Project # 1002786**  
04DRB-01635 Minor-SiteDev Plan BldPermit

JIM MILLER & ASSOCIATES agent(s) for DEKE NOFTSKER request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, Block(s) 5, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on SAN MATEO NE, between SAN DIEGO NE and BEVERLY HILLS AVE NE containing approximately 2 acre(s).[REF: 03DRB01075, 03DRB01508, 03DRB01457, 04DRB000365] [Deferred from 10/27/04 & 11/10/04] (B-18) **THE INFRASTRUCTURE LIST DATED 11/17/04 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR REVIEW OF COMMENTS ON SITE PLAN.**

#### MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1003236**  
04DRB-01739 Major-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for CLEARBROOK INVESTMENTS INC request(s) the above action(s) for all or a portion of Lot(s) 1, MARIN SUBDIVISION, (to be known as **VILLA DE LA CHAMISA, UNIT 1**, zoned SU-1 FOR PRD, located on PARADISE BLVD NW, between VIVALDI TRAIL NW and BIG SAGE NW containing approximately 9 acre(s). [REF: 04DRB00801, 04DRB00802, 04DRB00799, 04DRB00800, 04DRB00804] (B-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND PLANNING FOR PERIMETER WALLS AND AGIS DXF FILE.**

13. **Project # 1001463**  
04DRB-01736 Minor-Prelim&Final Plat  
Approval

LLAVE CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 5 & 6, **VENTURA VILLAGE SUBDIVISION**, zoned SU-2 RT, located on VILLAGE AVE NE, between VENTURA NE and HOLBROOK NE containing approximately 1 acre(s). [REF: 0A2EPC01148, 02EPC01150, 02DRB01494, 02DRB01366, 02DRB01365, 01DRB0129, 03DRB00479, 02DRB01550, 02DRB01549] (C-20) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ENCROACHMENT AGREEMENT AND CLARIFICATION OF DIMENSION ON PEDESTRIAN EASEMENTS.**

14. **Project # 1002858**  
04DRB-01744 Minor-Amended Prelim&Final  
Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) G, H & I ARROWWOOD RANCH DEVELOPMENT, **MESA @ ANDERSON HILLS**, zoned R-2 residential zone, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 43 acre(s). [REF: Z-99-58, SPR-95-2-2, SD-87-4-1] (N-9/P-9) **THE AMENDED PRELIMINARY PLAT AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project # 1001926**  
04DRB-01394 Major-Final Plat Approval

TIERRA WEST, LLC agent(s) for JD HOME, INC & JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 225, **MUSTANG MESA SUBDIVISION, TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2, located on 72<sup>ND</sup> PL NW, between INTERSTATE 40 WEST and GLEN RIO RD NW containing approximately 5 acre(s). [REF: 03DRB01224, 03DRB01115] *[Final Plat was Indefinitely Deferred for SIA on 10/13/04].* (J-10) **THE FINAL PLAT WAS APPROVED AND DELEGATED TO PLANNING FOR PROPERTY MANAGEMENT'S SIGNATURE.**

16. **Project # 1003688**  
04DRB-01463 Minor-Prelim&Final Plat  
Approval

SURV-TEK INC., agent(s) for JAMES BAKER, THE TRAILS LLC, LONGFORD GROUP INC., request(s) the above action(s) for all or a portion of Tract(s) H, **THE TRAILS**, zoned RD, located on RAINBOW BLVD NW south of PASEO DEL NORTE NW containing approximately 6 acre(s). [*Deferred from 11/17/04*] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

17. **Project # 1003231**  
04DRB-01743 Minor-Amnd Prelim Plat  
Approval

WILSON & COMPANY agent(s) for LONGFORD AT ARROWWOOD LLC request(s) the above action(s) for all or a portion of Tract(s) 30A-1 LANDS OF SALAZAR/QUATRO/J.S.J.HANNETT, **LONGFORD @ ARROWWOOD**, zoned R-LT residential zone, located on 98<sup>TH</sup> ST SW, between RIO BRAVO SW and BLAKE SW containing approximately 30 acre(s). [REF: 04DRB00261, 04DRB00263] (N-9) **THE AMENDED INFRASTRUCTURE LIST DATED 11/17/04 WAS APPROVED. THE AMENDED GRADING PLAN DATED 11/8/04 WAS APPROVED. THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH CONDITION OF FINAL PLAT: TO REVISIT THE WIDTH OF COLOBEL AND AMOLE MESA AT THE INTERSECTION OF 98<sup>TH</sup> STREET. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT DATED 6/16/04.**

18. **Project # 1003774**  
04DRB-01742 Minor-Prelim&Final Plat  
Approval

COMMUNITY SCIENCES CORPORATION agent(s) for GEORGE MCCLELLAN request(s) the above action(s) for all or a portion of Tract(s) 5-A-1 and 5-A-2, **SANDIA MANOR SUBDIVISION**, zoned R-1 residential zone, located on PIEDRAS RD NE, between CAMINO DE LA SIERRA NE and OAXWOOD NE containing approximately 1 acre(s). (L-23) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**



19. **Project # 1003187**  
04DRB-01704 Minor-Final Plat Approval  
04DRB-01705 Minor-Temp Defer SDWK

ABQ ENGINEERING INC agent(s) for AMERI-CONTRACTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 5E, LANDS OF UNM AND PARADISE VALLEY SUBDIVISION, (to be known as **VISTA DEL RINCON SUBDIVISION**) zoned R-1 residential zone, located on the southeast corner of GOLF COURSE RD NW and MARNA LYNN AVE NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 2 acre(s). [REF: 04DRB00037, 04DRB00910, 04DRB01365, 04DRB01366, 04DRB001586] *[11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]* (C-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU RECEIPT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

20. **Project # 1003673**  
04DRB-01637 Minor-Prelim&Final Plat Approval  
04DRB-01638 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 7, 8 and 9, Block(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **OAKLAND SOUTH SUBDIVISION**) zoned RD, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01424] *[Deferred from 10/27/04 & 11/3/04, [11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]* (C-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/17/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/9/04 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

21. **Project # 1002397**  
04DRB-01668 Minor-Prelim&Final Plat Approval
- SURV-TEK INC agent(s) for LA ORILLA GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) 10, **BOSQUE PLAZA**, zoned C-1 (SC), located on COORS BLVD NW, between COORS BLVD NW and LA ORILLA RD WEST containing approximately 3 acre(s). [REF: 02DRB-01925, 01926, 03DRB00634, 04DRB00768, 04DRB01588, 04DRB01587, 04DRB00707, 04DRB00798] *[Deferred from 11/3/04 & 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]*(E-12) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**
22. **Project # 1003634**  
04DRB-01297 Minor-Final Plat Approval
- WAYJOHN SURVEYING INC agent(s) for HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 4, 5 & 6, Block(s) 12, **EASTERN ADDITION**, zoned SU-2 MR, located on CROMWELL AVE SE, between HIGH ST SE and WALTER ST SE containing approximately 1 acre(s). *[Deferred from 9/1/04] [Final Plat indefinitely deferred for SIA, 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]*(K-14) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
23. **Project # 1003668**  
04DRB-01414 Minor-Prelim&Final Plat Approval
- TERRAMETRICS OF NEW MEXICO agent(s) for LLAVE CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 5, Block(s) 3, Tract(s) 3, Unit(s) 3, **NORTH ALBUQUERQUE ACRES**, zoned RD-3, located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). *[Was indefinitely deferred at the agent's request, 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]**[Deferred from 11/17/04]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 12/29/04.**

**NO ACTION IS TAKEN ON THESE CASES:**

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

24. **Project # 1001685**  
04DRB-01741 Minor-Sketch Plat or Plan

WILSON & COMPANY agent(s) for the CITY OF ALBUQUERQUE AND GOLF COURSE MCMAHON LLC request(s) the above action(s) for all or a portion of Tract(s) 1B, **PARADISE NORTH SUBDIVISION**, zoned SU-1 IP, located on GOLF COURSE RD NW, between MCMAHON BLVD NW and IRVING BLVD NW containing approximately 24 acre(s). [REF: 02DRB00005, 04DRB01566] (A-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

25. Approval of the Development Review Board Minutes for November 3, 2004. **THE DRB MINUTES FOR NOVEMBER 3, 2004 WERE APPROVED.**

Other Matters:

The Development Review Board signed a plat for Project #1001785/04DRB-01775.

ADJOURNED: 11:55 a.m.

# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003571 AGENDA#: 6 DATE: 11.17.04

1. Name: Bj Johnson Address: Poloy Zip: \_\_\_\_\_

2. Name: Davey Hughes Address: MGA Zip: \_\_\_\_\_

3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

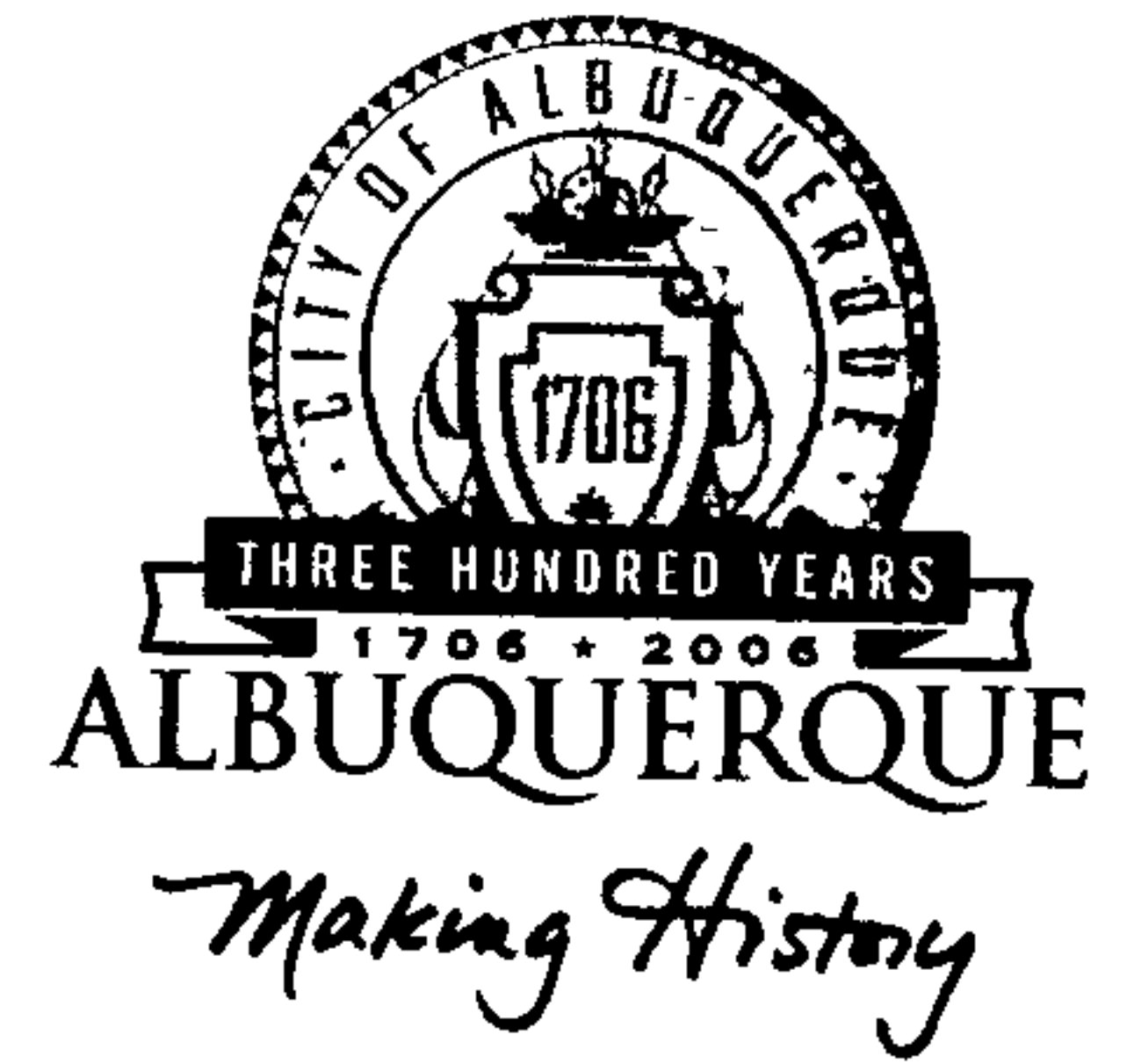
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003571**

**AGENDA ITEM NO: 6**

**SUBJECT:**

- |                         |                          |                           |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan      |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan         |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension        |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Dev. Plan     |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Cost Allocation Plan |

**ACTION REQUESTED:**

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

Albuquerque

An approved drainage report is required for Preliminary Plat approval.  
An approved infrastructure list is required for Preliminary Plat approval.  
The Hydrology Section has no objection to the vacation request on condition that AMAFCA board also vacates easements.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED <sup>12-1-04</sup> X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** November 17, 2004



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**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 10, 2004

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 9:25 A.M.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 1. **Project # 1002092**  
04DRB-01623 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for OXBOW NORTH VENTURES LLC request(s) the above action(s) for all or a portion of Tract(s) B-1, Unit(s) 1, 2 & 3, **OXBOW NORTH**, zoned SU-3 special center zone, located on COORS BLVD NW, between NAMASTE DR NW and north of ST PIUS X HIGH SCHOOL containing approximately 40 acre(s). [REF: 04DRB01159] (F-11) **A ONE-YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

2. **Project # 1002464**  
04DRB-01576 Major-Vacation of Pub  
Right-of-Way
- PRECISION SURVEYS INC agent(s) for UNSER VULCAN LLC request(s) the above action(s) for all or a portion of Lot(s) 6A, **SANTA FE VILLAGE, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on VULCAN RD NW, between BOGART ST NW and UNSER BLVD NW containing approximately 1 acre(s). [REF: 03DRB00191] (F-10) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
3. **Project # 1003420**  
04DRB-01508 Major-Preliminary Plat  
Approval  
04DRB-01509 Minor-Temp Defer SDWK
- ISAACSON & ARFMAN PA agent(s) for WINDMILL MANOR PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, VOLCANO CLIFFS UNIT 3, (to be known as **SUNRISE RIDGE SUBDIVISION**) zoned R-LT, located on MONTANO RD NW, between TESUQUE DR NW and SHADOW RIDGE DR NW containing approximately 5 acre(s). [REF: 04EPC00682] [*Deferred from 10/27/04 & 11/17/04*] (E-10) **DEFERRED AT THE AGENT'S REQUEST TO 11/17/04.**
4. **Project # 1002051**  
03DRB-02008 Major-Preliminary Plat  
Approval  
03DRB-02009 Major-Vacation of Public  
Easements  
03DRB-02010 Minor-Vacation of Private  
Easements  
03DRB-02011 Minor-Temp Defer SDWK
- TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) the above action(s) for all or a portion of Tract(s) A, **CHAMISA RIDGE - UNIT 1**, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DR NW and CONEFLOWER DR NW containing approximately 18 acre(s). [*Deferred from 6/9/04, 6/23/04, 8/4/04 & 9/29/04*] [REF: 02DRB-00963] (B-10) **NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT. THE REQUEST WAS INDEFINITELY DEFERRED.**

5. ~~Project # 1003571~~  
04DRB-01517 Major-Vacation of Public Easements  
04DRB-01518 Major-Preliminary Plat Approval  
04DRB-01519 Minor-Sidewalk Waiver  
04DRB-01520 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on BLAKE RD NW, between AMOLE CHANNEL and 98<sup>TH</sup> ST NW containing approximately 36 acre(s). [REF: 04DRB01134] *[Deferred from 11/3/04 & 11/10/04]* (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/17/04.**

6. **Project # 1003470**  
04DRB-01522 Major-Bulk Land Variance  
04DRB-01523 Major-Preliminary Plat Approval  
04DRB-01524 Minor-Temp Defer SDWK

WILSON & COMPANY agent(s) for SCOTT SCHIABOR SPS LC request(s) the above action(s) for all or a portion of Tract(s) 1A, 2A, 1B & 2B, **VISTA VIEJA SUBDIVISION, KASSUBA-MONTBEL LANDS**, zoned R-1 residential zone, located on 81<sup>ST</sup> ST NW and ALBERICOQUE PL NW containing approximately 152 acre(s). [REF: 04DRB00825, 04DRB01460] *[Deferred from 11/3/04 & 11/10/04]* (D-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

7. **Project # 1003705**  
04DRB-01540 Major-Vacation of Public Easements  
04DRB-01539 Minor-Sketch Plat or Plan

FORSTBAUER SURVEYING LLC agent(s) for DR VIJAY AGARWAL request(s) the above action(s) for all or a portion of Lot(s) 7, 8 AND 9 and the south 47 feet of Lot(s) 4, 5, 6, Block(s) 22, **BROWNEWELL & LAILS HIGHLAND ADDITION**, zoned SU-2 MC, located on OAK ST NE, between TIJERAS NE and COPPER NE containing approximately 1 acre(s). [REF:V-78-38] *[Deferred from 11/3/04]* (K-15) **NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT. THE REQUEST WAS INDEFINITELY DEFERRED.**



8. **Project # 1003125**  
04DRB-01505 Major-Bulk Land Variance  
04DRB-01506 Minor-Prelim&Final Plat  
Approval

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D & S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN (OLD) NW and SHOOTING RANGE PARK RD NW containing approximately 300 acre(s). *[Deferred from 10/27/04 & 11/3/04 & 11/10/04, NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 12/8/04]* [REF: 03EPC02054](F-6/G-6) **DEFERRED TO 12/8/04.**

- 04DRB-01630 Minor-SiteDev Plan  
Subd/EPC

CONSENSUS PLANNING agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D, F AND S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN NW and SHOOTING RANGE ACCESS RD NW containing approximately 300 acre(s). [REF: 03EPC02054, 04DRB01505, 04DRB01506][**Chris Hyer, EPC Case Planner**] *[Deferred from 10/27/04 & 11/3/04 & 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 12/8/04]* (F-5/G-6) **DEFERRED TO 12/8/04.**

**SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.**

9. **Project # 1003010**  
04DRB-01687 Minor-SiteDev Plan  
BldPermit/EPC

DEKKER/PERICH/SABATINI agent(s) for T. S. MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) A, (to be known as **HOUSING @ ALBUQUERQUE LITTLE THEATRE**, zoned SU-2 CLD, located on CENTRAL AVE SW, between LAGUNA BLVD SW and SAN PASQUALE AVE SW containing approximately 2 acre(s). [REF: 02EPC01669, 03EPC0670, 02EPC01671, 03EPC01704, 04DRB00366, 04EPC00860] *[11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]* [**Makita Hill, EPC Case Planner**] (J-13) **DEFERRED TO 11/17/04.**

10. **Project # 1002786**  
04DRB-01635 Minor-SiteDev Plan  
BldPermit

JIM MILLER & ASSOCIATES agent(s) for DEKE NOFTSKER request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, Block(s) 5, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on SAN MATEO NE, between SAN DIEGO NE and BEVERLY HILLS AVE NE containing approximately 2 acre(s). [REF: 03DRB01075, 03DRB01508, 03DRB01457, 04DRB000365] [Deferred from 10/27/04 & 11/10/04] (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 11/17/04.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

11. **Project # 1000633**  
04DRB-01700 Minor-Ext of SIA for Temp  
Defer SDWK

BOHANNAN HUSTON INC agent(s) for HIGH DESERT INVESTMENT INC request(s) the above action(s) for all or a portion of Lot(s) 6A-1,13, 15, 9, 11, 5, 6 and 7, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP, located on TIBURON ST NE, between MASTHEAD ST NE and WOLCOTT AVE NE [REF: 02DRB01598] (D-17) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALK WAS APPROVED.**

12. **Project # 1001289**  
04DRB-01701 Minor-Ext of SIA for Temp  
Defer SDWK

TIERRA WEST LLC agent(s) for K B HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of Lot(s) 1-114, **DESERT PINE UNIT 2**, zoned RD, located on EUCARIZ AVE SW, between 94<sup>TH</sup> STREET SW and 98<sup>TH</sup> STREET SW containing approximately 16 acre(s). [REF: 01DRB00777, 02DRB01207] [11/10/04 *NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT*] (L-9) **INDEFINITELY DEFERRED ON A NO SHOW.**

13. **Project # 1000635**  
04DRB-01698 Minor-Vacation of Private Easements
- PRECISION SURVEYS INC agent(s) for COORS & MONTANO LLC request(s) the above action(s) for all or a portion of Tract(s) 38-1-A, 38-L-A and 38-3-A, **TAYLOR RANCH SUBDIVISION**, zoned SU-1 FOR C-1, located on MONTANO RD NW, between COORS BLVD NW and MONTANO PLAZA DR NW containing approximately 4 acre(s). [REF: 04DRB01092, 04DRB01093, 03DRB00613, 03DRB00454, 03DRB00455] (E-12) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
14. **Project # 1002405**  
04DRB-01703 Minor-Prelim&Final Plat Approval
- MARK GOODWIN & ASSOC PA agent(s) for TANGER REDLANDS, LLC request(s) the above action(s) for all or a portion of Tract(s) A-28-B1, NORTHEAST UNIT TOWN OF ATRISCO GRANT, **REDLANDS SHOPPING CENTER**, zoned SU-1/C-1, located on REDLANDS RD NW, between COORS BLVD NW and ATRISCO DR NW containing approximately 5 acre(s). [REF: 03DRB00879] *[Deferred from 11/10/04]* (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**
15. **Project # 1002858**  
04DRB-01683 Minor-Amnd Prelim Plat Approval
- MARK GOODWIN & ASSOCIATES agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for **MESA @ ANDERSON HILLS, UNIT 1**, zoned R-2, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 43 acre(s). [REF: 04DRB01155, Z-88-58] (N-9/P-9) **THE AMENDED PRELIMINARY PLAT WAS WITHDRAWN AT THE AGENT'S REQUEST.**

16. **Project # 1003187**  
04DRB-01704 Minor-Final Plat Approval  
04DRB-01705 Minor-Temp Defer SDWK

ABQ ENGINEERING INC agent(s) for AMERI-CONTRACTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 5E, LANDS OF UNM AND PARADISE VALLEY SUBDIVISION, (to be known as **VISTA DEL RINCON SUBDIVISION**) zoned R-1 residential zone, located on the southeast corner of GOLF COURSE RD NW and MARNA LYNN AVE NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 2 acre(s). [REF: 04DRB00037, 04DRB00910, 04DRB01365, 04DRB01366, 04DRB001586] [11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04] (C-12) **DEFERRED TO 11/17/04.**

17. **Project # 1003467**  
04DRB-01706 Minor-Prelim&Final Plat Approval

WALLACE BINGHAM agent(s) for CHARLIE MOSS request(s) the above action(s) for all or a portion of Lot(s) 11, **RICE'S DURANES ADDITION, UNIT 1**, zoned R-2, located on RICE AVE NW, between I-40 and INDIAN SCHOOL NW containing approximately 1 acre(s). [REF: DRB 95-337, DRB 95-438, 04DRB00814] (H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/10/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/1/04 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

18. **Project # 1003673**  
04DRB-01637 Minor-Prelim&Final Plat Approval  
04DRB-01638 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 7, 8 and 9, Block(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **OAKLAND SOUTH SUBDIVISION**) zoned RD, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01424] [Deferred from 10/27/04 & 11/3/04, [11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04] (C-20) **DEFERRED TO 11/17/04.**

19. **Project # 1002397**  
04DRB-01668 Minor-Prelim&Final Plat Approval
- SURV-TEK INC agent(s) for LA ORILLA GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) 10, **BOSQUE PLAZA**, zoned C-1 (SC), located on COORS BLVD NW, between COORS BLVD NW and LA ORILLA RD WEST containing approximately 3 acre(s). [REF: 02DRB-01925, 01926, 03DRB00634, 04DRB00768, 04DRB01588, 04DRB01587, 04DRB00707, 04DRB00798] *[Deferred from 11/3/04 & 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]*(E-12) **DEFERRED TO 11/17/04.**
20. **Project # 1003634**  
04DRB-01297 Minor-Final Plat Approval
- WAYJOHN SURVEYING INC agent(s) for HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 4, 5 & 6, Block(s) 12, **EASTERN ADDITION**, zoned SU-2 MR, located on CROMWELL AVE SE, between HIGH ST SE and WALTER ST SE containing approximately 1 acre(s). *[Deferred from 9/1/04] [Final Plat indefinitely deferred for SIA, 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]*(K-14) **DEFERRED TO 11/17/04.**
21. **Project # 1003668**  
04DRB-01414 Minor-Prelim&Final Plat Approval
- TERRAMETRICS OF NEW MEXICO agent(s) for LLAVE CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 5, Block(s) 3, Tract(s) 3, Unit(s) 3, **NORTH ALBUQUERQUE ACRES**, zoned RD-3, located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). *[Was indefinitely deferred at the agent's request, 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]* (C-20) **DEFERRED TO 11/17/04.**

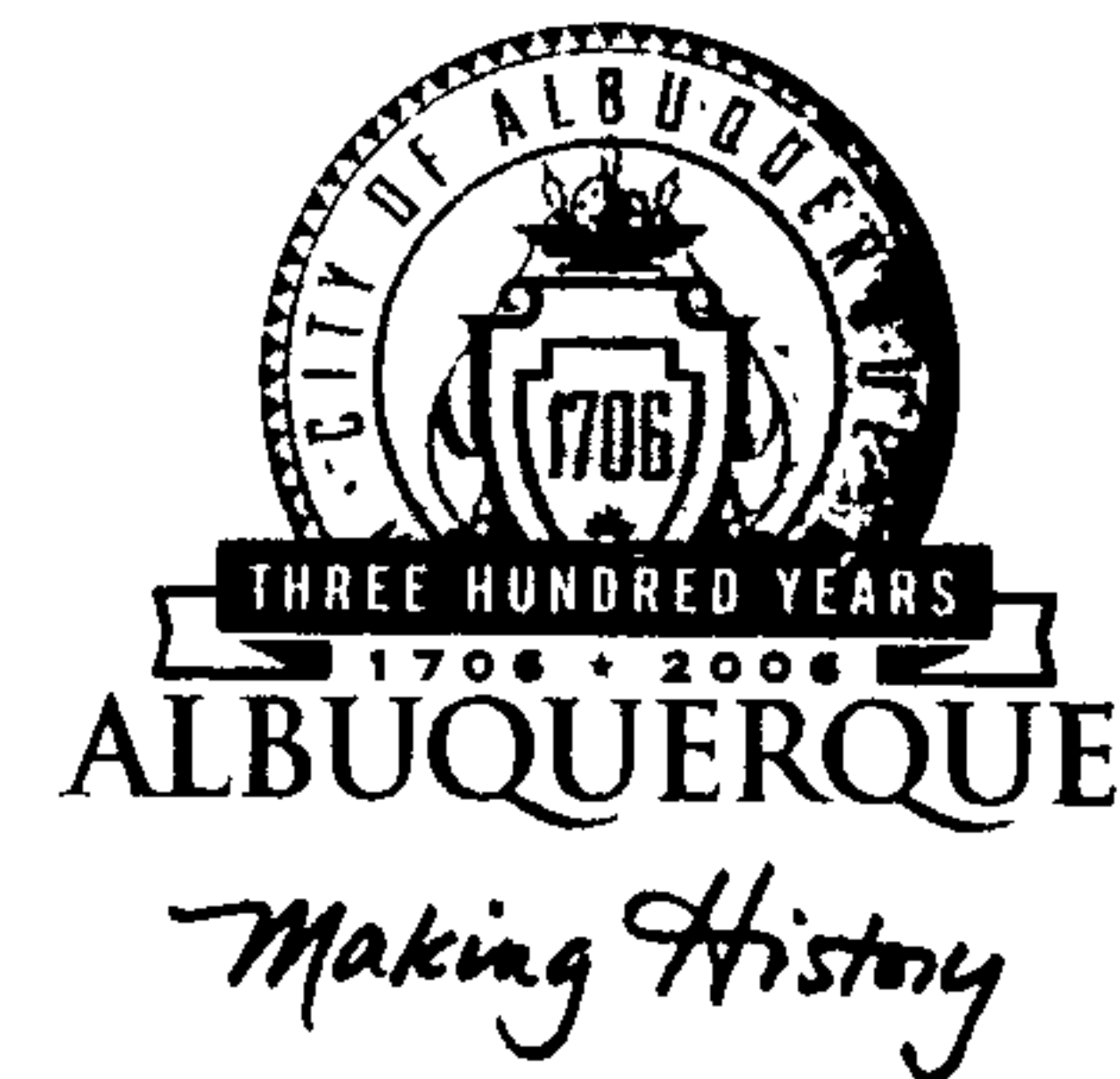
**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

22. **Project # 1003759**  
04DRB-01702 Minor-Sketch Plat or Plan
- KEN BALIZER request(s) the above action(s) for all or a portion of Tract(s) 173-A-1, 173-A-2, 174-A and 174-B, M.R.G.C.D. MAP 31, zoned RA-2 residential and agricultural zone, located on SAN ISIDRO ST NW, between CANDELARIA NW and GRIEGOS NW containing approximately 1 acre(s). *[INDEF. DEFERRED ON A NO SHOW 11/10/04]* (G-13) **COMMENTS RECEIVED BY THE AGENT.**
23. Approval of the Development Review Board Minutes for October 27, 2004. **DRB MINUTES FOR OCTOBER 27, 2004 WERE APPROVED.**

ADJOURNED: 9:25 A.M.

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003571**

**AGENDA ITEM NO: 5**

**SUBJECT:**

- |                         |                          |                           |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan      |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan         |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension        |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Dev. Plan     |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Cost Allocation Plan |

**ACTION REQUESTED:**

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

Albuquerque

Comments on infrastructure list.  
An approved drainage report is required for Preliminary Plat approval.  
The Hydrology Section has no objection to the vacation request.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

11-17-04

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** November 10, 2004

*Page 1/17/04*

# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003571 AGENDA#: 5 DATE: 11.10.04

1. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_





**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 3, 2004 9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m. Adjourned: 11:40 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. ~~Project # 1003571~~  
04DRB-01517 Major-Vacation of Public Easements  
04DRB-01518 Major-Preliminary Plat Approval  
04DRB-01519 Minor-Sidewalk Waiver  
04DRB-01520 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on BLAKE RD NW, between AMOLE CHANNEL and 98<sup>TH</sup> ST NW containing approximately 36 acre(s). [REF: 04DRB01134] [Deferred from 11/3/04] -(N-9) — DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.

2. **Project # 1003520**  
04DRB-01567 Major-Preliminary Plat Approval  
04DRB-01570 Minor-Ext of SIA for Temp Defer SDWK (WITHDRAWN)  
04DRB-01568 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES PA agent(s) for WASHINGTON STREET INVESTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, Block(s) 16, Tract(s) 1, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **BENJAMIN PLACE SUBDIVISION**) zoned R-D, located on GLENDALE AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 2 acre(s). [REF: 04DRB00999] [Deferred from 11/3/04] (B-20) 04DRB-1570 WAS WITHDRAWN. **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**
3. **Project # 1001685**  
04DRB-01566 Major-Vacation of Pub Right-of-Way
- WILSON & COMPANY agent(s) for GOLF COURSE & MCMAHON LLC request(s) the above action(s) for all or a portion of Tract(s) 1-B, **PARADISE NORTH**, zoned SU-1 FOR IP, located on GOLF COURSE RD NW, between MCMAHON BLVD NW and IRVING BLVD NW containing approximately 24 acre(s). [REF: 02DRB-00005] (A-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
4. **Project # 1003470**  
04DRB-01522 Major-Bulk Land Variance  
04DRB-01523 Major-Preliminary Plat Approval  
04DRB-01524 Minor-Temp Defer SDWK
- WILSON & COMPANY agent(s) for SCOTT SCHIABOR SPS LC request(s) the above action(s) for all or a portion of Tract(s) 1A, 2A, 1B & 2B, **VISTA VIEJA SUBDIVISION**, KASSUBA-MONTBEL LANDS, zoned R-1 residential zone, located on 81<sup>ST</sup> ST NW and ALBERICOQUE PL NW containing approximately 152 acre(s). [REF: 04DRB00825, 04DRB01460] [Deferred from 11/3/04] (D-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**

5. **Project # 1003238**  
04DRB-01569 Major-Preliminary Plat Approval  
04DRB-01573 Minor-Vacation of Private Easements  
04DRB-01571 Minor-Sidewalk Waiver  
04DRB-01572 Minor-Temp Defer SDWK
- TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) A, B C, Tract(s) 267, 268-B, 270-A-2, 270-A-1-C, 270-A-1-D, 270-B AND 315-A-1-A-1, M.R.G.C.D. MAP 35 AND LAND OF ALBERT PEREZ, TRACT(S) B1 AND B2, LAND OF MACIEL & TRUJILLO (to be known as **FLORAL MEADOWS SUBDIVISION**, zoned R-LT residential zone, located on INTERSTATE 40 between RIO GRANDE BLVD NW and MONTOYA ST NW containing approximately 8 acre(s). [REF: 04EPC00156, 04EPC00157, 04DRB00661, 04DRB01227] *[Deferred from 11/3/04]* (H-12/H-13) **DEFERRED AT THE AGENT'S REQUEST TO 11/17/04.**
6. **Project # 1003705**  
04DRB-01540 Major-Vacation of Public Easements  
04DRB-01539 Minor-Sketch Plat or Plan
- FORSTBAUER SURVEYING LLC agent(s) for DR VIJAY AGARWAL request(s) the above action(s) for all or a portion of Lot(s) 7, 8 AND 9 and the south 47 feet of Lot(s) 4, 5, 6, Block(s) 22, **BROWNEWELL & LAILS HIGHLAND ADDITION**, zoned SU-2 MC, located on OAK ST NE, between TIJERAS NE and COPPER NE containing approximately 1 acre(s).[REF:V-78-38] *[Deferred from 11/3/04]* (K-15) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**
7. **Project # 1003717**  
04DRB-01565 Major-Vacation of Pub Right-of-Way
- ERIC C JOHNSON request(s) the above action(s) for all or a portion of Lot(s) 6, Block(s) 38, **EASTERN ADDITION**, zoned SU-2 NCR, located on AVENIDA CESAR CHAVEZ SE, between BROADWAY SE and ARNO SE containing approximately 1 acre(s). (L-14) **VACATION WAS DENIED.**

8. **Project # 1003369**  
04DRB-00514 Major-Drainage Plan to Determine the Cost Allocation for Storm Drainage Improvements
- BOB KEERAN agent(s) for LLAVE CONSTRUCTION INC request(s) these action(s) for all or a portion of Unit(s) 3, Lot(s) 6 & 7, Tract(s) 3, Block(s) 16, NORTH ALBUQUERQUE ACRES, **VINTNER COURT SUBDIVISION**, zoned DETENTION POND, located on VINTNER NE, between VENTURA NE and CORONA NE containing approximately 2 acre(s). *[Deferred from 5/12/04, 5/26/04, 6/9/04, 6/23/04, 7/14/04, 7/21/04, 8/11/04, 8/25/04, 9/8/04, 10/6/04 & 11/3/04]* (C-20) **DEFERRED AT THE BOARD'S REQUEST TO JANUARY 12, 2005.**
9. **Project # 1003125**  
04DRB-01505 Major-Bulk Land Variance  
04DRB-01506 Minor-Prelim&Final Plat Approval
- MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D & S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN (OLD) NW and SHOOTING RANGE PARK RD NW containing approximately 300 acre(s). *[Deferred from 10/27/04 & 11/3/04]* [REF: 03EPC02054](F-6/G-6) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**
- 04DRB-01630 Minor-SiteDev Plan Subd/EPC
- CONSENSUS PLANNING agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D, F AND S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN NW and SHOOTING RANGE ACCESS RD NW containing approximately 300 acre(s). [REF: 03EPC02054, 04DRB01505, 04DRB01506][Chris Hyer, EPC Case Planner] *[Deferred from 10/27/04 & 11/3/04]* (F-5/G-6) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**

**SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.**

10. **Project # 1001946**  
04DRB-01670 Minor-SiteDev Plan  
BldPermit/EPC
- WADE-TRIM agent(s) for TARGET CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A-1, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on PASEO DEL NORTE NE, between I-25 and SAN PEDRO NE containing approximately 11 acre(s). [REF: 04EPC01032, 04DRB01177, 04DRB01178, 04DRB01176] **[Makita Hill, EPC Case Planner] [Deferred from 11/3/04] (D-18) DEFERRED AT THE AGENT'S REQUEST TO 11/17/04.**
11. **Project # 1003372**  
04DRB-01234 Minor-SiteDev Plan Subd
- DEKKER/PERICH/SABATINI agent(s) for TIM OTT request(s) the above action(s) for all or a portion of Lot(s) 30-A, Block(s) 11, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 FOR M-1, located on ALAMEDA BLVD NE, between SAN MATEO BLVD NE and I-25 containing approximately 1 acre(s). [REF: 03DRB00092, DRB-96-352] (The site plan for building permit was withdrawn at the agent's request.) *[Site Plan for Subdivision was deferred from 8/18/04 & 9/8/04] (C-18) THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO ACCOMMODATE NEW PUBLIC SAS MANHOLE WITHIN NEW PUBLIC SAS & WATER EASEMENTS AND TO PLANNING FOR 3 COPIES OF SITE PLAN.*
- 04DRB-01665 Minor-Prelim&Final Plat  
Approval
- Forstbauer Surveying agent(s) for Tijeras Place LLC request(s) the above action(s) for all or a portion of Lot(s) 30-A, Block(s) 11, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 FOR M-1, located on ALAMEDA BLVD NE, between SAN MATEO BLVD NE and I-25 containing approximately 1 acre(s). [REF: 03DRB00092, DRB-96-352, 04DRB01369] (C-18) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO ACCOMMODATE NEW PUBLIC SAS MANHOLE WITHIN NEW PUBLIC SAS & WATER EASEMENTS AND TO PLANNING TO RECORD.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

12. **Project # 1002397**  
04DRB-01668 Minor-Prelim&Final Plat Approval
- SURV-TEK INC agent(s) for LA ORILLA GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) 10, **BOSQUE PLAZA**, zoned C-1 (SC), located on COORS BLVD NW, between COORS BLVD NW and LA ORILLA RD WEST containing approximately 3 acre(s). [REF: 02DRB-01925, 01926, 03DRB00634, 04DRB00768, 04DRB01588, 04DRB01587, 04DRB00707, 04DRB00798] *[Deferred from 11/3/04]* (E-12) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**
13. **Project # 1002711**  
04DRB-01646 Minor-Final Plat Approval
- MARK GOODWIN & ASSOCIATES agent(s) for STV INVESTMENTS VII, LLC request(s) the above action(s) for all or a portion of Lot(s) 7-12 and 21-26, Tract(s) A, NORTH ALBUQUERQUE ACRES, (to be known as **OAKLAND ESTATES**, zoned R-D residential and related uses zone, developing area, located on EAGLE ROCK AVE NE, between SAN PEDRO NE and LOUISIANA BLVD NE containing approximately 11 acre(s). [REF: 03EPC00907, 03EPC00908, 03EPC00915] (C-18) **FINAL PLAT WS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND OPEN SPACE NOTE.**
14. **Project # 1002948**  
04DRB-01669 Minor-Final Plat Approval
- ISAACSON & ARFMAN, PA agent(s) for MS DEV ONE, LLC request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Tract(s) A1,171A1BA, LANDS OF JACK F CULLY (to be known as **VISTA FAISAN SUBDIVISION**, zoned RA-2, located on ADOBE RD NW, between GUADALUPE TRAIL NW and OPEN SPACE containing approximately 6 acre(s). [REF: 03EPC01736, 03DRB01485, 03DRB01486, 03DRB01497, 04DRB01504] (F-14) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR M.R.G.C.D. SIGNATURE AND PARKS FOR CASH-IN-LIEU.**

15. **Project # 1003573**  
04DRB-01417 Minor-Prelim&Final Plat  
Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 & 30, Block(s) 2, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, **OAKLAND NORTH SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB-01138] *[Deferred from 9/22/04 & 10/6/04]* (C-20) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

16. **Project # 1003673**  
04DRB-01637 Minor-Prelim&Final Plat  
Approval  
04DRB-01638 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 7, 8 and 9, Block(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **OAKLAND SOUTH SUBDIVISION**) zoned RD, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01424] *[Deferred from 10/27/04 & 11/3/04]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**

**NO ACTION IS TAKEN ON THESE CASES:**

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project # 1003748**  
04DRB-01660 Minor-Sketch Plat or Plan

SANDRA DAVIS request(s) the above action(s) for all or a portion of Tract(s) 8-E & 9-E, **LANDS OF HOLLINGSWORTH**, zoned RA-2 residential and agricultural zone, located on ARCADIAN TRAIL NW, between VAN CLEAVE RD NW and GRIEGOS RD NW containing approximately 2 acre(s). (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. Approval of the Development Review Board Minutes for October 20, 2004. **THE DRB MINUTES FOR OCTOBER 20, 2004 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:40 A.M.



# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003571 AGENDA#: 1 DATE: 11/3/04

1. Name: Doug Hughes Address: \_\_\_\_\_ Zip: \_\_\_\_\_

2. Name: Bo Johnson Address: \_\_\_\_\_ Zip: \_\_\_\_\_

3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

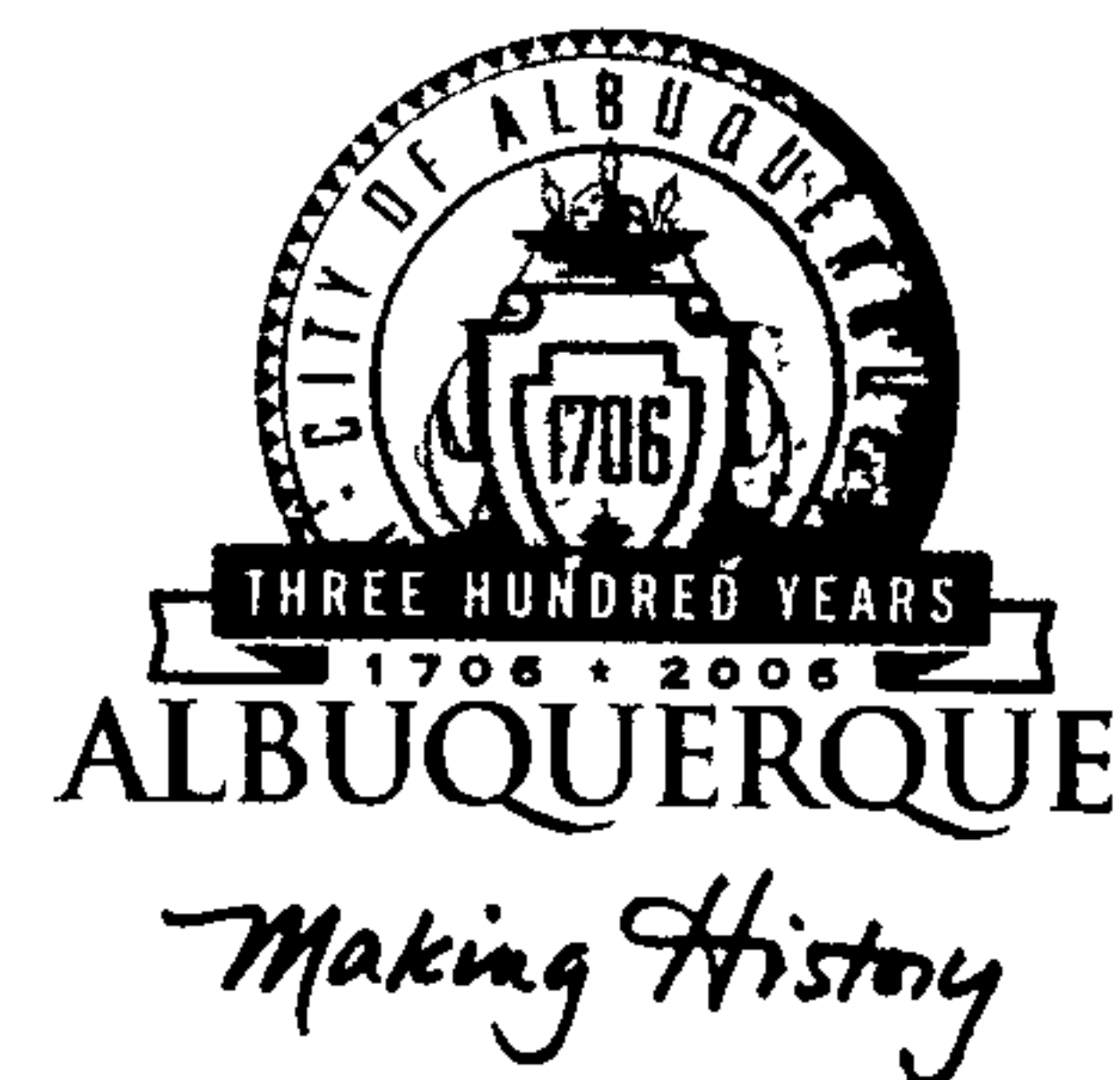
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003571**

**AGENDA ITEM NO: 1**

**SUBJECT:**

- |                         |                          |                           |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan      |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan         |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension        |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Dev. Plan     |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Cost Allocation Plan |

**ACTION REQUESTED:**

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

Albuquerque

The Hydrology Section has no objection to the vacation request.  
An approved drainage report dated 10-1-04 is on file for Preliminary Plat approval.  
Comments on the infrastructure list.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

11-10-04

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** November 3, 2004



CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

November 3, 2004

**Project # 1003571**

04DRB-01517 Major-Vacation of Public Easements  
04DRB-01518 Major-Preliminary Plat Approval  
04DRB-01519 Minor-Sidewalk Waiver  
04DRB-01520 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on BLAKE RD NW, between AMOLE CHANNEL and 98<sup>TH</sup> ST NW containing approximately 36 acre(s). [REF: 04DRB01134] (N-9)

AMAFCA AMAFCA approves the subdivision for Preliminary Plat. However, the following items need to be addressed for Final Plat and before work order plans are approved for the Amole Channel:

1. The existing 150-foot AMAFCA drainage easement and the 100-foot PNM easement must be dedicated in fee to AMAFCA. The right-of-way will go around the cul-de-sacs.
2. A Quitclaim / Release of Easement Deed will need to be approved by the AMAFCA Board of Directors for the existing floodplain easement, No. 9, and the 150-foot drainage easement, No. 11.
3. Language will be added to the plat that states that the Quitclaim Deed for easement No. 9 it will not be filed until the Letter of Map Revision is approved by FEMA. An Encroachment Permit to allow grading to proceed within the AMAFCA easement will be required.

COG

The Long Range Roadway System map identifies Blake Road as a collector. Typical right of way on collector streets is 68'. The Long Range Bikeway System map identifies the section of Blake Road between Unser Boulevard and Paseo del Volcan as a Study Corridor, and the section of Blake Road to the east of Unser as having on-street bike lanes. MRCOG is unaware that a study for the section of Blake Road on the northern boundary of the proposed project has been completed, however, it is reasonable to require the additional right of way (approximately 12') necessary to accommodate on street bike lanes on Blake Road along the northern boundary of the proposed project.

COG

Further supporting this recommendation is the City of Albuquerque's On Street Bicycle Plan and the adopted City Council policy that provides that new roadways with a functional classification of collector and above be implemented to include on-street bike lanes. Continuation of planned bike lanes in this area will promote the goals included in the approved 2025 Metropolitan Transportation Plan, specifically those for multimodal travel opportunities.

Transit No objection to any of the requests.

Zoning Enforcement No comments received.

Neighborhood Coordination

Letter sent to Westgate Heights (R) Neighborhood Assn.

APS No comments received.

Police Department

A review of following case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Maintenance of landscaping.

Fire Department

Fire Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Electric & Gas Approves.

Comcast No comments received.

QWEST No comments received.

Environmental Health Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer

... objection to the vacation of floodplain easement provided AMAFCA board has released it. An approved drainage report is required for Preliminary Plat approval. Need to include the channel, or reference the AMAFCA agreement on the Infrastructure List.

44  
44  
44  
44

#### Transportation Development

Is Amole Mesa paved to the subdivision? (Otherwise in the interim, all traffic will head north) This will probably require that Noon Ranch become a major local for a further distance south. (6' sidewalk required) Noon Ranch needs to provide two exit lanes and an entrance lane (36' min. with 6' buffers and 6' sidewalk). Do cul-de-sac lengths meet DPM requirements? No objection to sidewalk waiver or deferral. Blake Road is a collector and requires bike lanes. Where is 6' right-of-way dedication? Objection to vacation of public easements with regards to Vermejo Park. The eastern property is entitled to 1/2 of the vacation action. 50' of right-of-way needs to be split equally between the tracts. Amole Mesa is a major local and requires 6' sidewalk. Where is the bridge over the Amole?

#### Parks & Recreation

This 198 lot subdivision is subject to the Park Dedication and Development Ordinance. The Park Dedication portion has been met through the dedication of Silver Tree Park. The Park Development fees will be reimbursed after phase I construction of the park has been completed per the Park Development Agreement. Defer to affected agencies regarding the vacations. Who owns/maintains Tract A? No objection to the sidewalk requests.

#### Utilities Development

No objection to Vacations. Sewer needs re-design; too many connections to Interceptor. Comments on infrastructure list. No objection to Sidewalk items, defer to Transportation.

#### Planning Department

✓ The perimeter wall design needs an additional note stating the pilasters shall project a minimum of 2 inches on the public side. The maximum height of the wall is missing. The design sheet is lacking the Zone Atlas page and the nearest intersection. Three copies of a location map showing where the walls will be constructed are needed. The map should be the same size as the design sheet. Be sure Planning receives 3 copies of the revised wall submittal by Monday, November 1<sup>st</sup> at noon to avoid deferral.

Planning Departmen.

✓ No objection to the vacation requests. Defer to Transportation, Utilities and Hydrology.

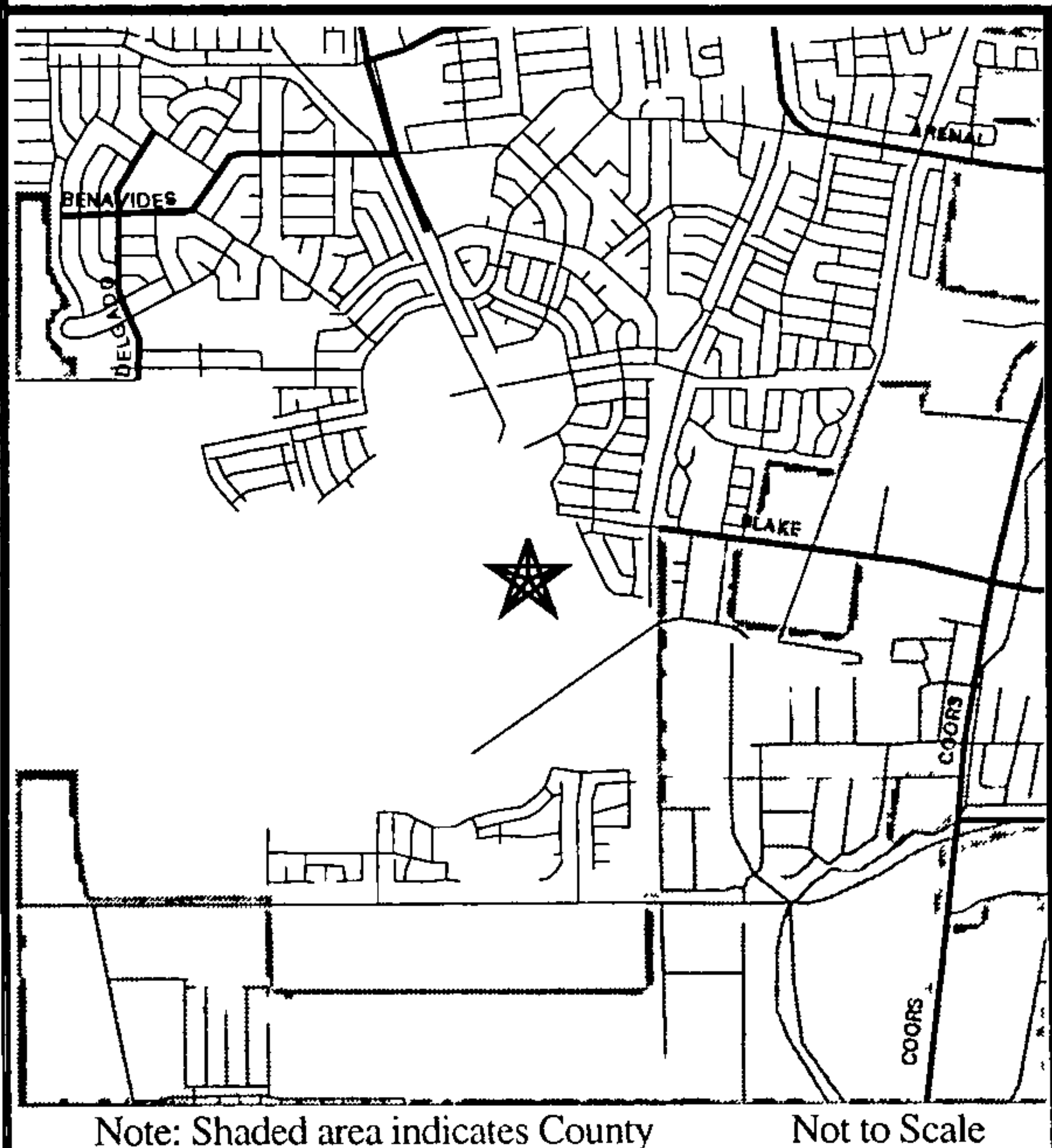
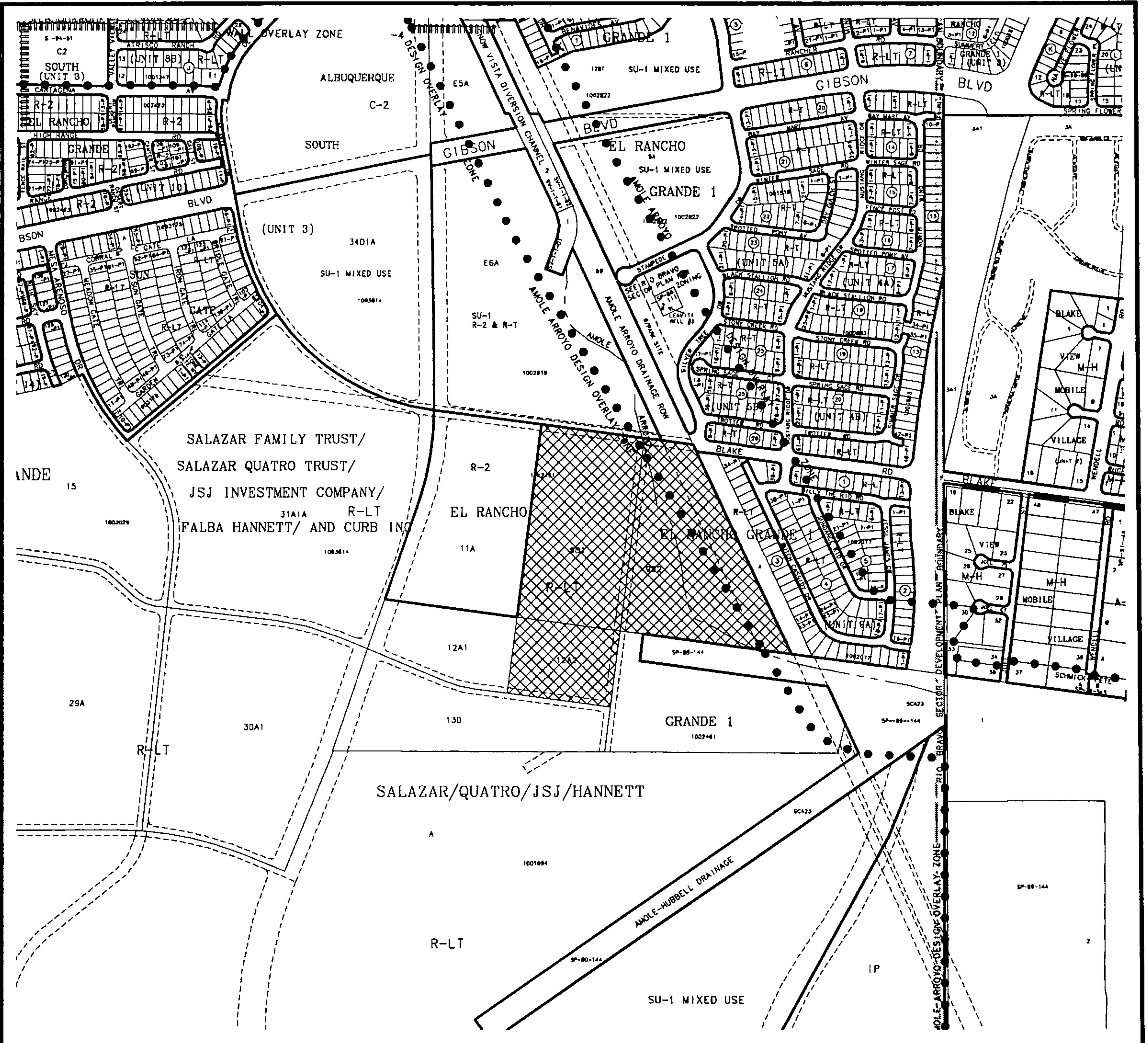
✓ No objection to the sidewalk action or approval of the preliminary plat once the wall design is approved.

✓ However, Planning needs one copy of the preliminary plat with the current zoning listed under "Subdivision Data" for the file by Monday, November 1<sup>st</sup> at noon to avoid deferral. The Subdivision Ordinance requires that zoning be listed on the preliminary plat.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

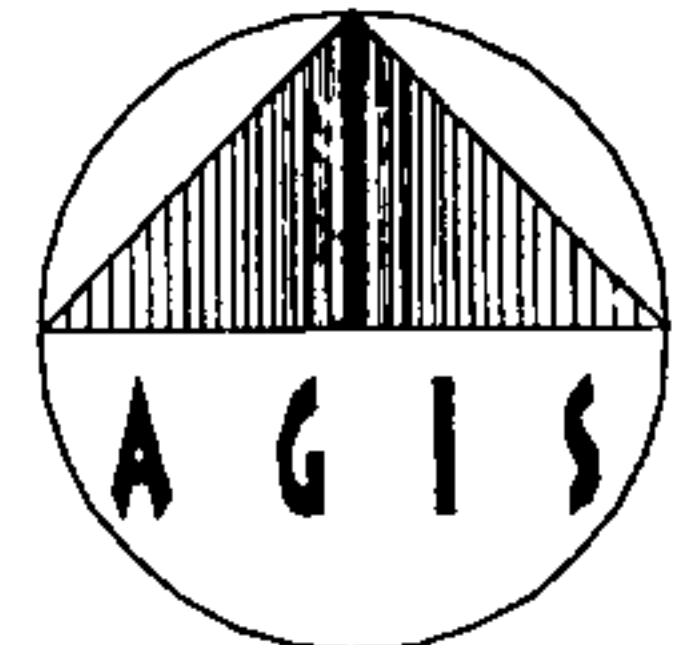
cc: Curb Inc., 5160 San Francisco NE, 87109

Mark Goodwin & Associates, P.O. Box 90606, 87199



Note: Shaded area indicates County Not to Scale

### ZONING MAP



Scale 1" = 798'

PROJECT NO.  
1003571

HEARING DATE  
11-3-04

MAP NO.  
N-9

ADDITIONAL CASE NUMBER(S)  
04DRB-01517  
04DRB-01518  
04DRB-01519



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, November 3, 2004, beginning at 9:00 a.m. for the purpose of considering the following:

**Project # ~~1003571~~**

04DRB-01517 Major-Vacation of Public Easements  
04DRB-01518 Major-Preliminary Plat Approval  
04DRB-01519 Minor-Sidewalk Waiver  
04DRB-01520 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on BLAKE RD NW, between AMOLE CHANNEL and 98<sup>TH</sup> ST NW containing approximately 36 acre(s). [REF: 04DRB01134] (N-9)

**Project # 1003520**

04DRB-01567 Major-Preliminary Plat Approval  
04DRB-01570 Minor-Ext of SIA for Temp Defer SDWK  
04DRB-01568 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for WASHINGTON STREET INVESTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, Block(s) 16, Tract(s) 1, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **BENJAMIN PLACE SUBDIVISION**) zoned R-D, located on GLENDALE AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 2 acre(s). [REF: 04DRB00999] (B-20)

**Project # 1001685**

04DRB-01566 Major-Vacation of Pub Right-of-Way

WILSON & COMPANY agent(s) for GOLF COURSE & MCMAHON LLC request(s) the above action(s) for all or a portion of Tract(s) 1-B, **PARADISE NORTH**, zoned SU-1 FOR IP, located on GOLF COURSE RD NW, between MCMAHON BLVD NW and IRVING BLVD NW containing approximately 24 acre(s). [REF: 02DRB-00005] (A-12)

**Project # 1003470**

04DRB-01522 Major-Bulk Land Variance  
04DRB-01523 Major-Preliminary Plat Approval  
04DRB-01524 Minor-Temp Defer SDWK

WILSON & COMPANY agent(s) for SCOTT SCHIABOR SPS LC request(s) the above action(s) for all or a portion of Tract(s) 1A, 2A, 1B & 2B, **VISTA VIEJA SUBDIVISION**, KASSUBA-MONTBEL LANDS, zoned R-1 residential zone, located on 81<sup>ST</sup> ST NW and ALBERICOQUE PL NW containing approximately 152 acre(s). [REF: 04DRB00825, 04DRB01460] (D-9)

**SEE PAGE 2 . . .**





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE  
PAGE 2**

**Project # 1003238**

04DRB-01569 Major-Preliminary Plat  
Approval  
04DRB-01573 Minor-Vacation of Private  
Easements  
04DRB-01571 Minor-Sidewalk Waiver  
04DRB-01572 Minor-Temp Defer SDWK

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) A, B C, Tract(s) 267, 268-B, 270-A-2, 270-A-1-C, 270-A-1-D, 270-B AND 315-A-1-A-1, M.R.G.C.D. MAP 35 AND LAND OF ALBERT PEREZ, TRACT(S) B1 AND B2, LAND OF MACIEL & TRUJILLO (to be known as **FLORAL MEADOWS SUBDIVISION**, zoned R-LT residential zone, located on INTERSTATE 40 between RIO GRANDE BLVD NW and MONTOYA ST NW containing approximately 8 acre(s). [REF: 04EPC00156, 04EPC00157, 04DRB00661, 04DRB01227] (H-12/H-13)

**Project # 1003705**

04DRB-01540 Major-Vacation of Public  
Easements  
04DRB-01539 Minor-Sketch Plat or Plan

FORSTBAUER SURVEYING LLC agent(s) for DR VIJAY AGARWAL request(s) the above action(s) for all or a portion of Lot(s) 7, 8 AND 9 and the south 47 feet of Lot(s) 4, 5, 6, Block(s) 22, **BROWNEWELL & LAILS HIGHLAND ADDITION**, zoned SU-2 MC, located on OAK ST NE, between TIJERAS NE and COPPER NE containing approximately 1 acre(s).[REF:V-78-38](K-15)

**Project # 1003717**

04DRB-01565 Major-Vacation of Pub  
Right-of-Way

ERIC C JOHNSON request(s) the above action(s) for all or a portion of Lot(s) 6, Block(s) 38, **EASTERN ADDITION**, zoned SU-2 NCR, located on AVENIDA CESAR CHAVEZ SE, between BROADWAY SE and ARNO SE containing approximately 1 acre(s). (L-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, OCTOBER 18, 2004.**

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**CITY OF PLANNING  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** NOVEMBER 3, 2004  
**Zone Atlas Page:** N-9-Z  
**Notification Radius:** 100 Ft.

**Project#** 1003571  
**App#** 04DRB-01517  
**App#** 04DRB-01518  
**App#** 04DRB-01519  
**App#** 04DRB-01520

**Cross Reference and Location:**

**Applicant:** CURB, INC.  
**Address:** 5160 SAN FRANCISCO NE  
ALBUQUERQUE NM 87109

**Agent:** MARK GOODWIN & ASSOCIATES  
**Address:** PO BOX 90606  
ALBUQUERQUE NM 87199

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day prior to the meeting.**

**Date Mailed:** OCTOBER 15, 2004

**Signature:** KYLE TSETHLIKAI

R E C O R D S   W I T H   3   E   L   S

PAGE   1

100905435042410302	LEGAL: PARC EL 5 B CORRECTION PLAT NO 2 CORRECTION PLAT PROPERTY ADDR: 00000 OWNER NAME: YOO JAMES J & HEE Y & OWNER ADDR: 01306 BROADWAY	LAND USE:  BL SE ALBUQUERQUE NM	87102
100905431542510344	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
100905439639410301	LEGAL: TR B PLA T FOR EL RANCHO GRANDE I UNIT 5A PROPERTY ADDR: 00000 OWNER NAME: CITY OF ALBUQUERQUE OWNER ADDR: 00000	LAND USE:  ALBUQUERQUE NM	87103
100905427931220104	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
100905441736312201	LEGAL: LT 9 -P1 BLK 26 PLAT FOR EL RANCHO GRANDE I UNIT 5B PROPERTY ADDR: 00000 TROTTER OWNER NAME: CURB INC OWNER ADDR: 06301 INDIAN SCHOOL	LAND USE:  RD NE ALBUQUERQUE NM	87110
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100905440428111501	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
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100905445828212319	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		

R E C O R D S   W I T H   L A B E L S

PAGE   2

100905446027712318	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE
100905446227312317	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE
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100905433023240103	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE
100905447225212312	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE
100905447424712311	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE
100905441820440102	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE
100905426920440101	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE

100905440428111501 Legal Desc: Tr. 9-B-2 Bulk Land Plat For El Rancho Grande I Tracts 8-A, 9-B-1, 9-B-2, 11-A  
Property Addr: N/A  
  
Owners Name: Yoo James J & Hee Y &  
Owners Addr: 1306 Broadway Blvd SE  
Albuquerque NM 87102

100905434330211503 Legal Desc: Tr. 9-B-1 Bulk Land Plat For El Rancho Grande I Tracts 8-A, 9-B-1, 9-B-2, 11-A  
Property Addr: N/A  
  
Owners Name: Yoo James J & Hee Y &  
Owners Addr: 1306 Broadway Blvd SE  
Albuquerque NM 87102

100905433023240103 Legal Desc: Tr. 12-A-2 Bulk Land Plat For El Rancho Grande I Tracts 8-A, 9-B-1, 9-B-2, 11-A  
Property Addr: N/A  
  
Owners Name: Yoo James J & Hee Y &  
Owners Addr: 1306 Broadway Blvd SE  
Albuquerque NM 87102

100905431542510344 Legal Desc: Tr. E-6-A Bulk Land Plat For Albuuquerque South Unit 3 Tract E-5-A And E-6-A C  
Property Addr: N/A  
  
Owners Name: Curb, Inc.  
Owners Addr: 6301 Indian School Rd NE, Ste# 208  
Albuquerque NM 87110

100905427931220104 Legal Desc: Tr. 11-A Bulk Land Plat For El Rancho Grande I Tracts 8-A, 9-B-1, 9-B-2, 11-A  
Property Addr: N/A  
  
Owners Name: Yoo James J & Hee Y &  
Owners Addr: 1306 Broadway Blvd SE  
Albuquerque NM 87102

100905426724540104 Legal Desc: Tr. 12-A-1 Bulk Land Plat For El Rancho Grande I Tracts 8-A, 9-B-1, 9-B-2, 11-A  
Property Addr: N/A  
  
Owners Name: Yoo James J & Hee Y &  
Owners Addr: 1306 Broadway Blvd SE  
Albuquerque NM 87102

100905426920440101 Legal Desc: Tr. 13-D Bulk Land Plat For El Rancho Grande I Tracts 8-A, 9-B-1, 9-B-2, 11-A  
Property Addr: N/A  
  
Owners Name: Salazar Lupe Trustee S. Family  
Owners Addr: PO Box 1849  
Albuquerque NM 87199

100905441820440102 Legal Desc: Tr. 8-A Bulk Land Plat For El Rancho Grande I Tracts 8-A, 9-B-1, 9-B-2, 11-A  
Property Addr: N/A  
  
Owners Name: Yoo James J & Hee Y &  
Owners Addr: 1306 Broadway Blvd SE  
Albuquerque NM 87102

100905428011040201 Legal Desc: Tr. A Correction Plat Vacation & Bulk Land Plat For Tracts A, 29A, 30A-1, 31A-1, 32H-1, 3  
Property Addr: N/A  
  
Owners Name: Salazar Family Trust & JSJ Investors  
Owners Addr: PO Box 1849  
Albuquerque NM 87199

100905444529212337 Legal Desc: Tr. A Plat For El Rancho Grande I Unit 9-A Subdivision Cont. 2.9255 Ac.  
Property Addr: N/A  
  
Owners Name: Curb, Inc.  
Owners Addr: 6301 Indian School Rd NE, Ste# 208  
Albuquerque NM 87110

100905447924312310 Legal Desc: Lot 10-P1 Blk 3 Plat For Lots 1 Thru 13 Block 3 Lots 18 Thru 23 Block 4 El Rancho Grande I  
Property Addr: N/A  
  
Owners Name: Sivage-Thomas Homes Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905447424712311 Legal Desc: Lot 11-P1 Blk 3 Plat For Lots 1 Thru 13 Block 3 Lots 18 Thru 23 Block 4 El Rancho Grande I  
Property Addr: N/A  
  
Owners Name: Sivage-Thomas Homes Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905447225212312 Legel Desc: Lot 12-P1 Blk 3 Plat For Lots 1 Thru 13 Block 3 Lots 18 Thru 23  
Block 4 El Rancho Grande I  
Property Addr: N/A

Owners Name: Sivage-Thomas Homes Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905447025712313 Legel Desc: Lot 13-P1 Blk 3 Plat For Lots 1 Thru 13 Block 3 Lots 18 Thru 23  
Block 4 El Rancho Grande I  
Property Addr: N/A

Owners Name: Sivage-Thomas Homes Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905446826112314 Legel Desc: Lot 14-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905446626512315 Legel Desc: Lot 15-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905446426912316 Legel Desc: Lot 16-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905446227312317 Legel Desc: Lot 17-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905446027712318 Legel Desc: Lot 18-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905445828212319 Legel Desc: Lot 19-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905445628512320 Legel Desc: Lot 20-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905445429012321 Legel Desc: Lot 21-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905445229412322 Legel Desc: Lot 22-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905445029812323 Legel Desc: Lot 23-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905444830212324 Legel Desc: Lot 24-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905444630612325 Legel Desc: Lot 25-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905444431012326 Legel Desc: Lot 26-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905444231412327 Legel Desc: Lot 27-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905444031812328 Legel Desc: Lot 28-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905443832212329 Legel Desc: Lot 29-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109



100905443732612330 Legel Desc: Lot 30-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905443433112331 Legel Desc: Lot 31-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905443235512332 Legel Desc: Lot 32-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905443034012333 Legel Desc: Lot 33-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .1045 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109

100905442734612334 Legel Desc: Lot 34-P1 Blk 3 Plat For El Rancho Grande I Unit 9-A Subdivision  
Cont .2068 Ac.  
Property Addr: N/A

Owners Name: Pulte Homes Of New Mexico Inc.  
Owners Addr: 7445 Pan American Frwy NE  
Albuquerque NM 87109



# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: September 17, 2004

TO CONTACT NAME: Beth Gonzales  
 COMPANY/AGENCY: Mail Goodman + Assoc PA  
 ADDRESS/ZIP: 8916 Adams NE 87113  
 PHONE/FAX #: 828-2200 Fax 797-9539

Thank you for your inquiry of 9/17/04 (date) requesting the names of **Recognized**

**Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at Tracts 9-B-1, 9-B-2, + 12-A-2 Arisco Grant, Sec 4, T9N R2E  
 zone map page(s) N-9-2.

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Westgate Heights NA (R)  
**Neighborhood Association**  
 Contacts: Matthew Archuleta  
1628 Summerfield SW 87121  
836-7251  
Libby McIntosh  
1316 Ladronas Ct SW 87121  
831-5189

**Neighborhood Association**  
 Contacts: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

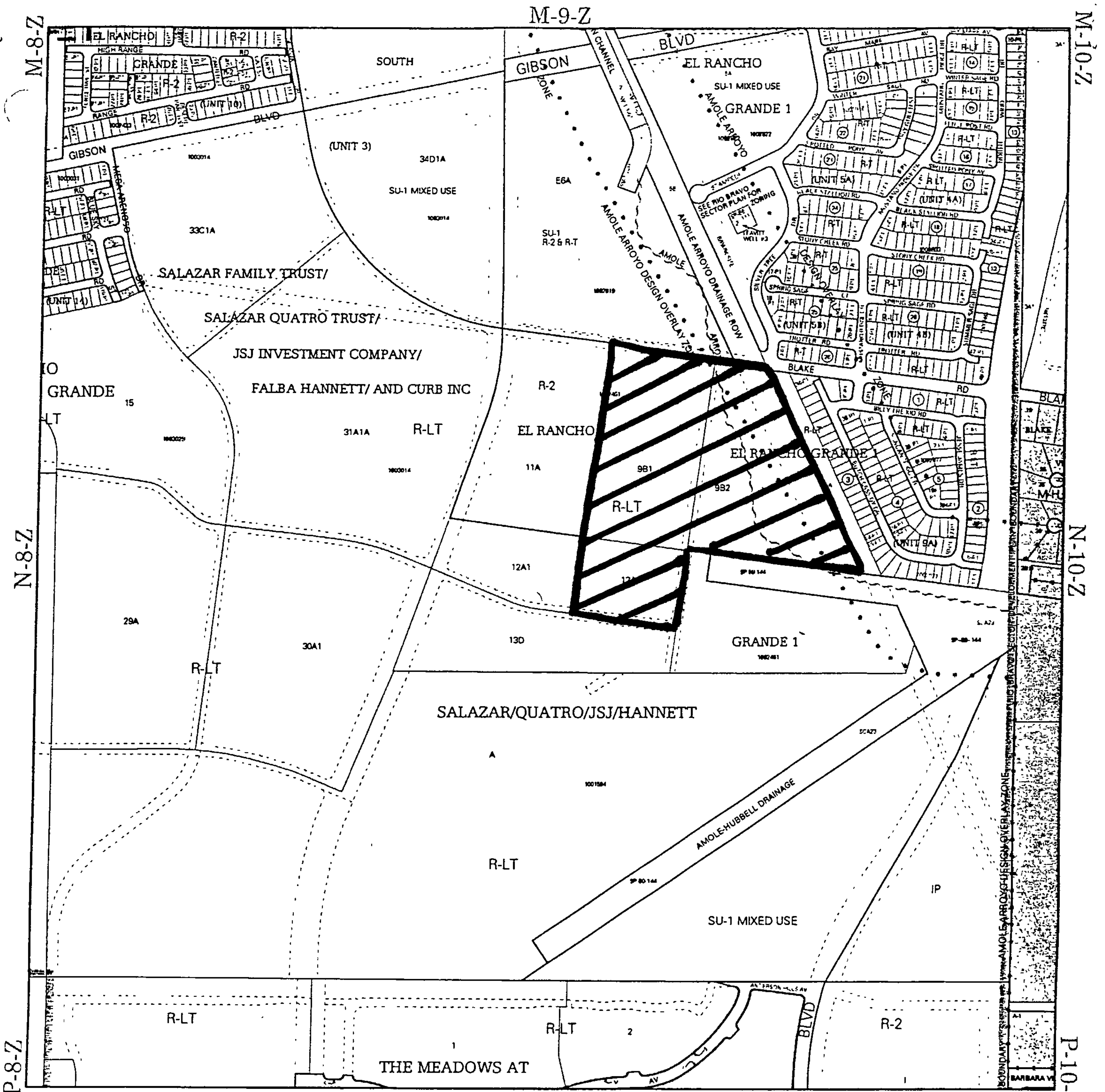
**See reverse side for additional Neighborhood Association Information: YES { } NO {X}**

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Judith V. [Signature]  
 OFFICE OF NEIGHBORHOOD COORDINATION

.....  
 Attention: Both contacts per neighborhood association need to be notified.  
 .....

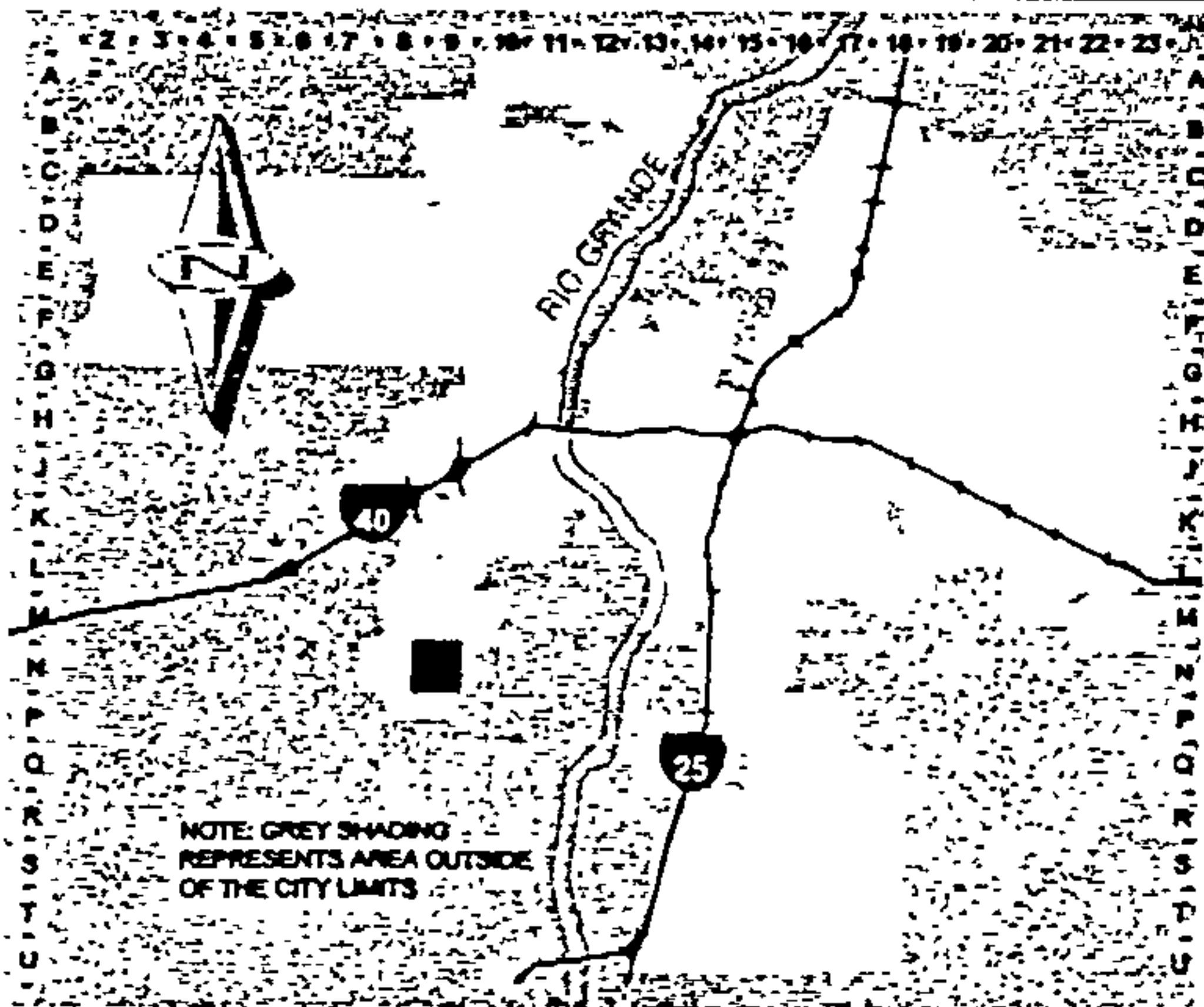
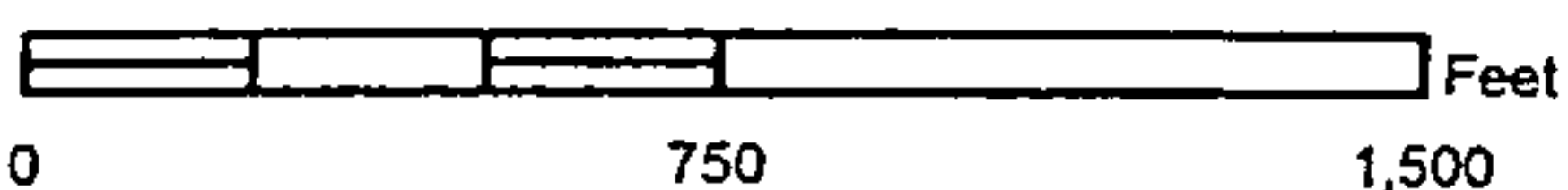


Zone Atlas Page: **N-9-Z**

Map amended through: Aug 06, 2004

Selected Symbols

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**CITY OF ALBUQUERQUE**  
**THREE HUNDRED YEARS**  
 1706 • 2006  
**ALBUQUERQUE**  
*Hacienda Historia*  
**A G I S**  
 Albuquerque Geographic Information System  
**PLANNING DEPARTMENT**

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**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, November 3, 2004, beginning at 9:00 a.m. for the purpose of considering the following:

**Project # 1003571**

04DRB-01517 Major-Vacation of Public Easements  
04DRB-01518 Major-Preliminary Plat Approval  
04DRB-01519 Minor-Sidewalk Waiver  
04DRB-01520 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on BLAKE RD NW, between AMOLE CHANNEL and 98<sup>TH</sup> ST NW containing approximately 36 acre(s). [REF: 04DRB01134] (N-9)

**Project # 1003520**

04DRB-01567 Major-Preliminary Plat Approval  
04DRB-01570 Minor-Ext of SIA for Temp Defer SDWK  
04DRB-01568 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for WASHINGTON STREET INVESTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, Block(s) 16, Tract(s) 1, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **BENJAMIN PLACE SUBDIVISION**) zoned R-D, located on GLENDALE AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 2 acre(s). [REF: 04DRB00999] (B-20)

**Project # 1001685**

04DRB-01566 Major-Vacation of Pub Right-of-Way

WILSON & COMPANY agent(s) for GOLF COURSE & MCMAHON LLC request(s) the above action(s) for all or a portion of Tract(s) 1-B, **PARADISE NORTH**, zoned SU-1 FOR IP, located on GOLF COURSE RD NW, between MCMAHON BLVD NW and IRVING BLVD NW containing approximately 24 acre(s). [REF: 02DRB-00005] (A-12)

**Project # 1003470**

04DRB-01522 Major-Bulk Land Variance  
04DRB-01523 Major-Preliminary Plat Approval  
04DRB-01524 Minor-Temp Defer SDWK

WILSON & COMPANY agent(s) for SCOTT SCHIABOR SPS LC request(s) the above action(s) for all or a portion of Tract(s) 1A, 2A, 1B & 2B, **VISTA VIEJA SUBDIVISION**, KASSUBA-MONTBEL LANDS, zoned R-1 residential zone, located on 81<sup>ST</sup> ST NW and ALBERICOQUE PL NW containing approximately 152 acre(s). [REF: 04DRB00825, 04DRB01460] (D-9)

**SEE PAGE 2 . . .**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE  
PAGE 2**

**Project # 1003238**

04DRB-01569 Major-Preliminary Plat  
Approval  
04DRB-01573 Minor-Vacation of Private  
Easements  
04DRB-01571 Minor-Sidewalk Waiver  
04DRB-01572 Minor-Temp Defer SDWK

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) A, B C, Tract(s) 267, 268-B, 270-A-2, 270-A-1-C, 270-A-1-D, 270-B AND 315-A-1-A-1, M.R.G.C.D. MAP 35 AND LAND OF ALBERT PEREZ, TRACT(S) B1 AND B2, LAND OF MACIEL & TRUJILLO (to be known as **FLORAL MEADOWS SUBDIVISION**, zoned R-LT residential zone, located on INTERSTATE 40 between RIO GRANDE BLVD NW and MONTOYA ST NW containing approximately 8 acre(s). [REF: 04EPC00156, 04EPC00157, 04DRB00661, 04DRB01227] (H-12/H-13)

**Project # 1003705**

04DRB-01540 Major-Vacation of Public  
Easements  
04DRB-01539 Minor-Sketch Plat or Plan

FORSTBAUER SURVEYING LLC agent(s) for DR VIJAY AGARWAL request(s) the above action(s) for all or a portion of Lot(s) 7, 8 AND 9 and the south 47 feet of Lot(s) 4, 5, 6, Block(s) 22, **BROWNEWELL & LAILS HIGHLAND ADDITION**, zoned SU-2 MC, located on OAK ST NE, between TIJERAS NE and COPPER NE containing approximately 1 acre(s).[REF:V-78-38](K-15)

**Project # 1003717**

04DRB-01565 Major-Vacation of Pub  
Right-of-Way

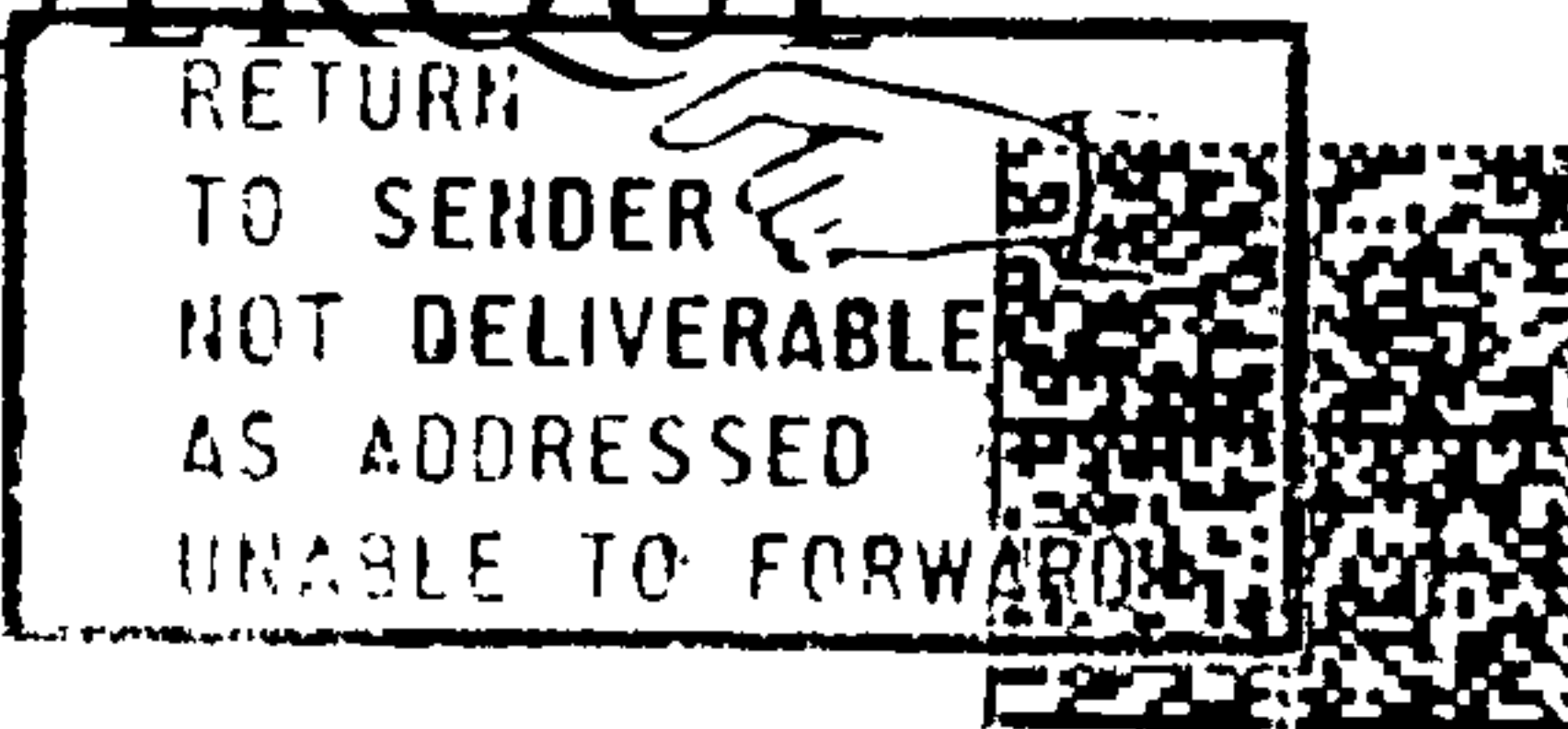
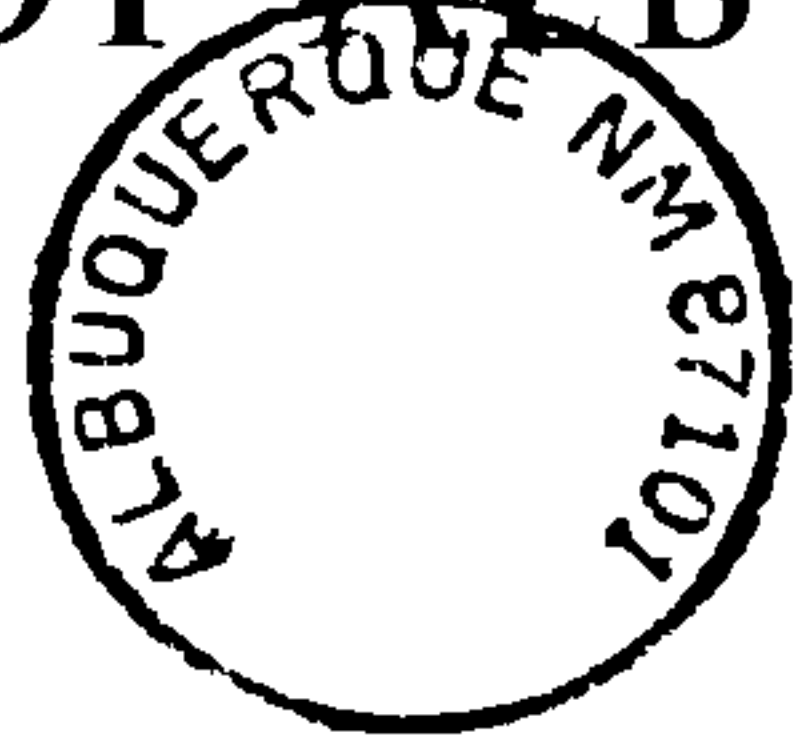
ERIC C JOHNSON request(s) the above action(s) for all or a portion of Lot(s) 6, Block(s) 38, **EASTERN ADDITION**, zoned SU-2 NCR, located on AVENIDA CESAR CHAVEZ SE, between BROADWAY SE and ARNO SE containing approximately 1 acre(s). (L-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, OCTOBER 18, 2004.**

# CITY OF ALBUQUERQUE



02 1A \$ 00.37<sup>0</sup>  
0004329277 OCT 18 2004  
MAILED FROM ZIP CODE 87102

*Making History*

Planning Department

P.O. Box 1293

Albuquerque, NM 87103

100905447924312310

SIVAGE-THOMAS HOMES INC.  
7445 PAN AMERICAN FRWY NE  
ALBUQUERQUE NM 87109

*DRB*

87103+4844/5335





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

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**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE  
PAGE 2**

**Project # 1003238**

04DRB-01569 Major-Preliminary Plat  
Approval  
04DRB-01573 Minor-Vacation of Private  
Easements  
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04DRB-01540 Major-Vacation of Public  
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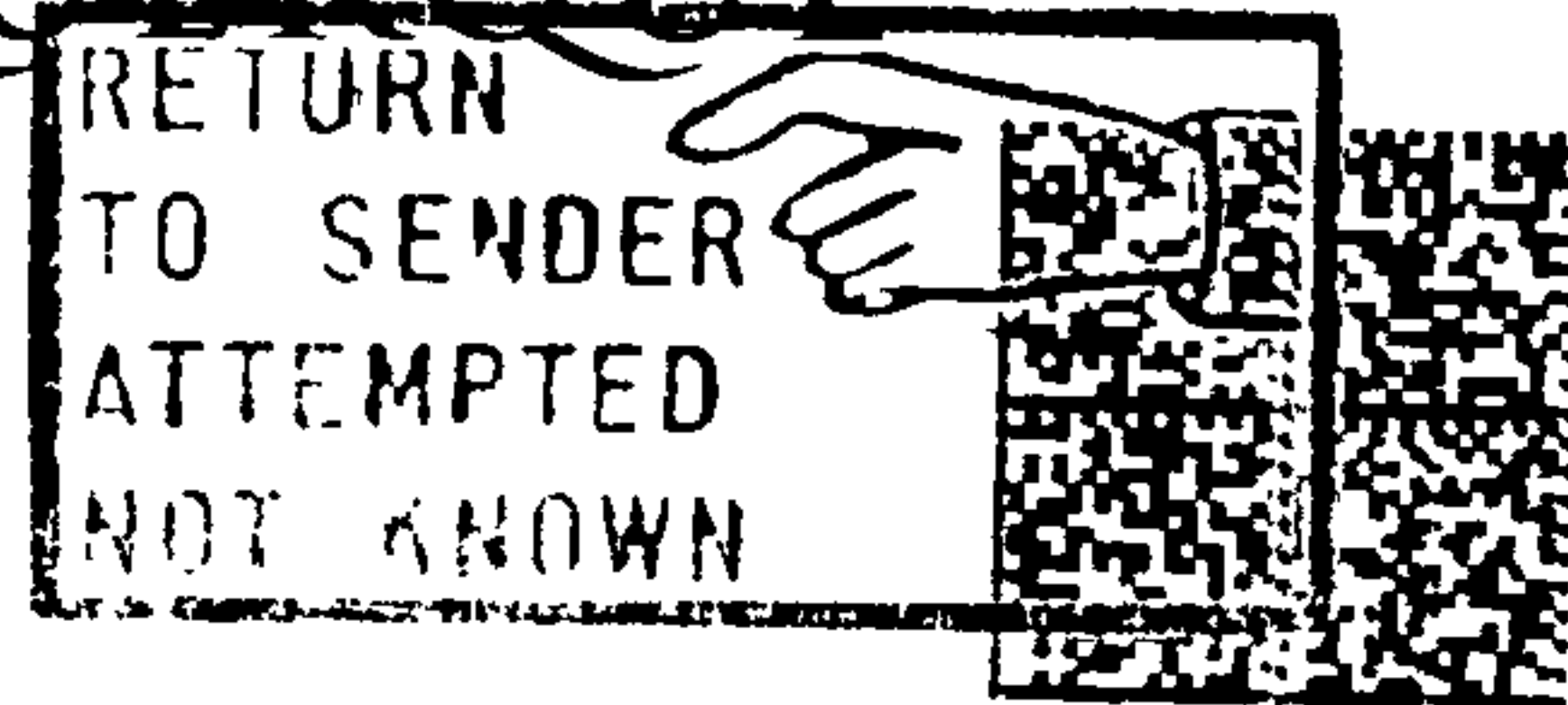
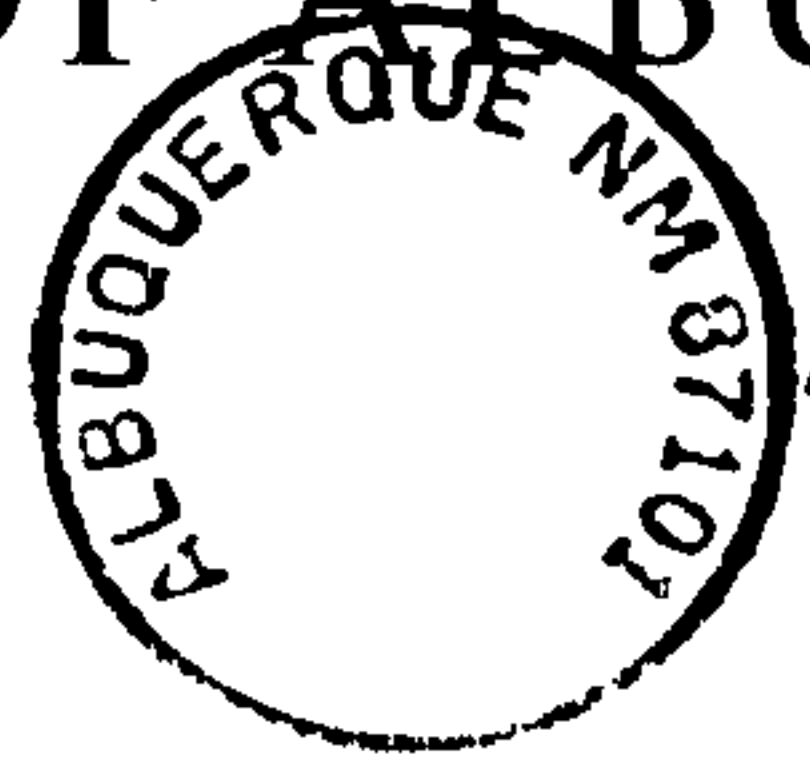
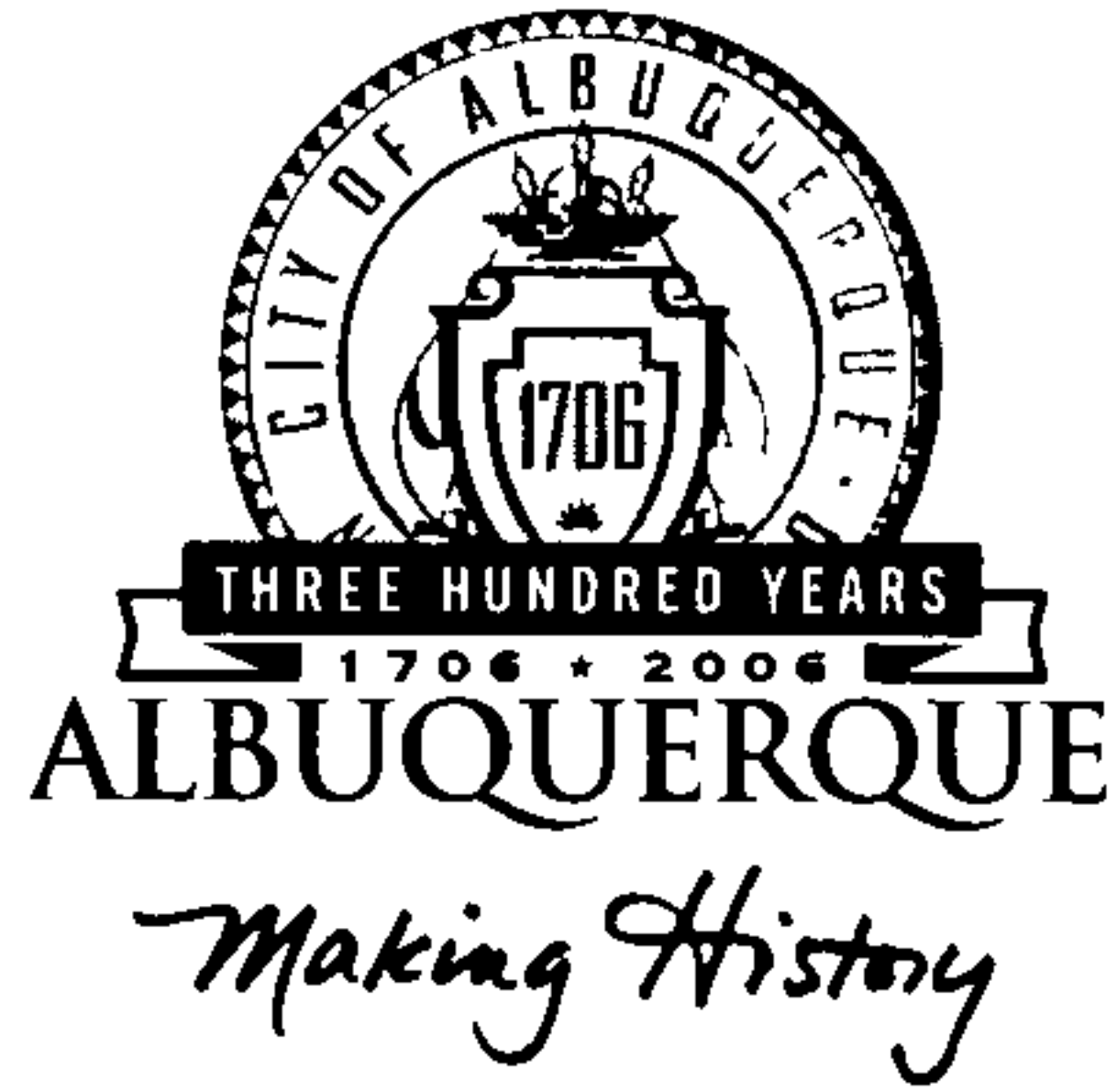
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Sheran Matson, AICP, DRB Chair  
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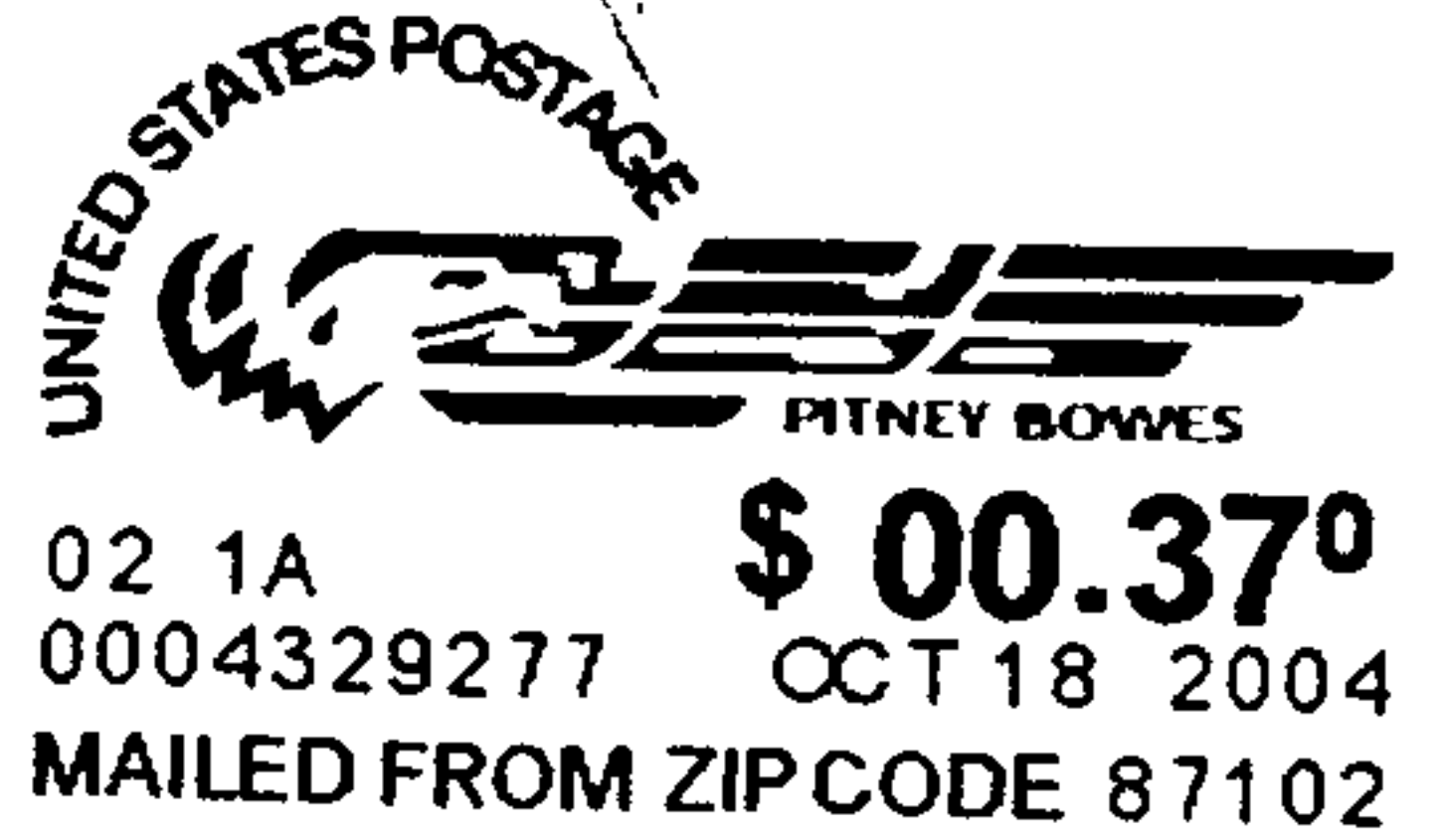
**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, OCTOBER 18, 2004.**



# CITY OF ALBUQUERQUE



RETURN  
TO SENDER  
ATTEMPTED  
NOT KNOWN



*DLB*

Planning Department

100905426920440101

P.O. Box 1293

Salazar Lupe Trustee S. Family

PO Box 1849

Albuquerque, NM 87103

Albuquerque NM 87199

87103-1849

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

03/30/2009 Issued By: E08375

44  
44  
44  
44

**Permit Number: 2009 070 128** **Category Code 910**

**Application Number:** 09DRB-70128, Ext Of Sia For Temp Defr Sdwk Const

**Address:**

**Location Description:** BLAKE RD SW BETWEEN 98TH ST SW AND MUSTANG RIDGE DR SW

**Project Number:** 1003571

**Applicant**  
Vantage Builders, Inc

Po Box 1443  
Corrales NM 87048  
892-5533

**Agent / Contact**  
Mark Goodwin And Associates Pa  
Mark Goodwin  
P.O. Box 90806  
Albuquerque NM 87199

mark@goodwinengineers.com

**Application Fees**

441018/4871000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
<b>TOTAL:</b>		<b>\$70.00</b>

City Of Albuquerque  
Treasury Division

3/30/2009 10:49AM LOC: PUNK  
 US# 007 TRAN# 0020  
 RECEIPT# 00112656-00112656  
 PERMIT# 2009070128 TRSCXG  
 Trans Amt \$70.00  
 Conflict Manag. Fee \$20.00  
 DRB Actions \$50.00  
 CS \$70.00  
 CHANCE \$0.00

Thank You.



Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan.

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): MARK GOODWIN & ASSOCIATES, PA PHONE: 828.2200  
 ADDRESS: PO BOX 90606, FAX: \_\_\_\_\_  
 CITY: ALBU STATE NM ZIP 87109 E-MAIL: \_\_\_\_\_

APPLICANT: VANTAGE BUILDERS, INC. PHONE: 892-6533  
 ADDRESS: PO BOX 1443 FAX: \_\_\_\_\_  
 CITY: CORRALES STATE NM ZIP 87048 E-MAIL: \_\_\_\_\_

Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: 2 YEAR EXTENSION OF SIDEWALK DEFERRAU  
(EL RANCHO GRANDE I, UNIT 9B)

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. \_\_\_\_\_ Block: \_\_\_\_\_ Unit: 9B  
 Subdiv/Addn/TBKA: EL RANCHO GRANDE I  
 Existing Zoning: R-LT Proposed zoning: R-LT MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): N-9 UPC Code: 100905435529411501

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 1003571,  
DRB 04-0151B

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 193 No. of proposed lots: 193 Total area of site (acres): 35.1413  
 LOCATION OF PROPERTY BY STREETS: On or Near: SOUTH OF BLAKE ROAD  
 Between: WEST OF AMOLE CHANNEL and \_\_\_\_\_

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE Mark Goodwin DATE 3.25.09  
 (Print) MARK GOODWIN, PE Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - 70128</u>	<u>TDS</u>		<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 70.00</u>

Hearing date April 8, 2009

Paul 3.30.09  
 Planner signature / date

Project # 1003571

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

**BULK LAND VARIANCE (DRB04)**

**(PUBLIC HEARING CASE)**

- Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
- Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**VACATION OF PUBLIC EASEMENT (DRB27)**

**VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**SIDEWALK VARIANCE (DRB20)**

**SIDEWALK WAIVER (DRB21)**

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the variance or waiver
- List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

**SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**

- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the variance
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

**DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**

**EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the deferral or extension
- List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

**VACATION OF PRIVATE EASEMENT (DRB26)**

**VACATION OF RECORDED PLAT (DRB29)**

- The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
- Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
- Letter of authorization from the grantors and the beneficiaries (private easement only)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

MARK GOODWIN, PE  
Applicant name (print)  
Mark Goodwin 3/24/09  
Applicant signature / date

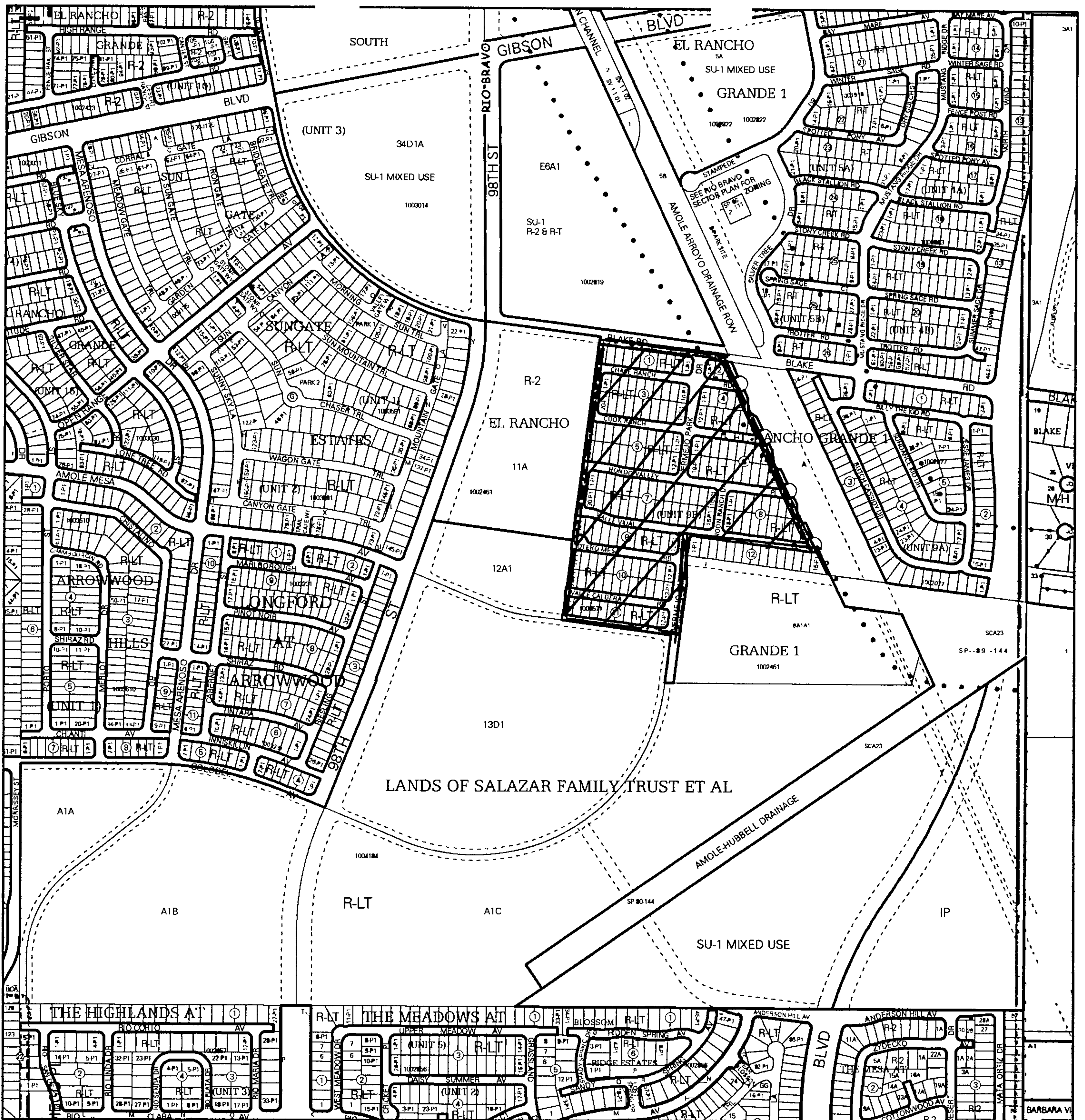


Form revised 4/07

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
09DRB - 70128

Vandy 3.30.09  
Planner signature / date  
Project # 1003371



For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 3/10/2009

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**N-09-Z**

Selected Symbols


0 750 1,500 Feet



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539

*~ 2008 ACEC/NM Award Winner for Engineering Excellence, Small Firm ~*

March 24, 2009

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**Re: El Rancho Grande I, Unit 3B - 1003571**

Dear Mr. Cloud:

On behalf of our client, Vantage Builders, Inc., and the requirements of the DPM we are submitting the following DRB application. We are requesting a 2-year extension of the Sidewalk Deferral Agreement.

Please contact our office if you have any questions or comments.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

A handwritten signature in black ink that reads 'Mark Goodwin'. The signature is written in a cursive, flowing style.

Mark Goodwin, PE  
President

DMG/sr

Attachments

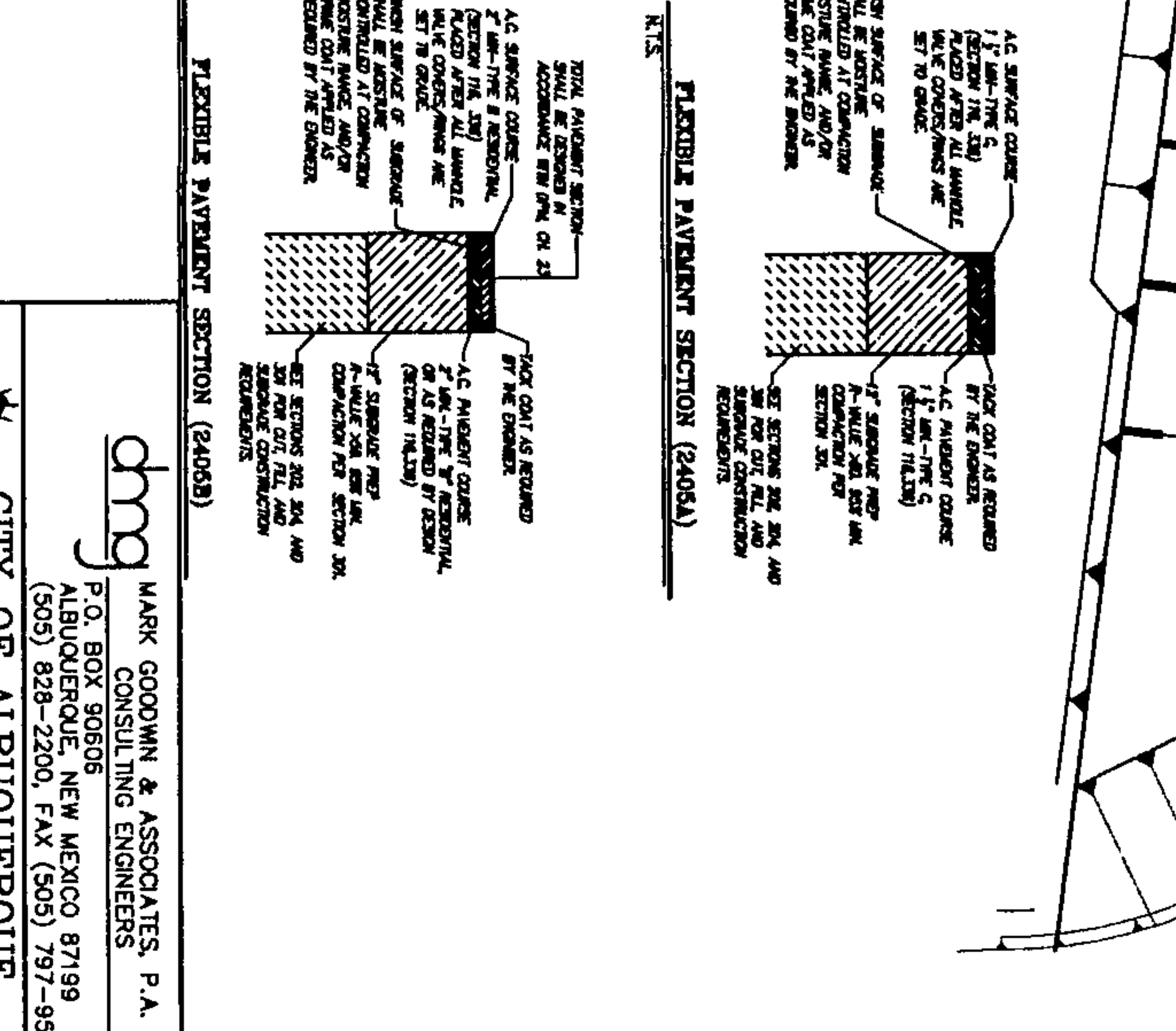
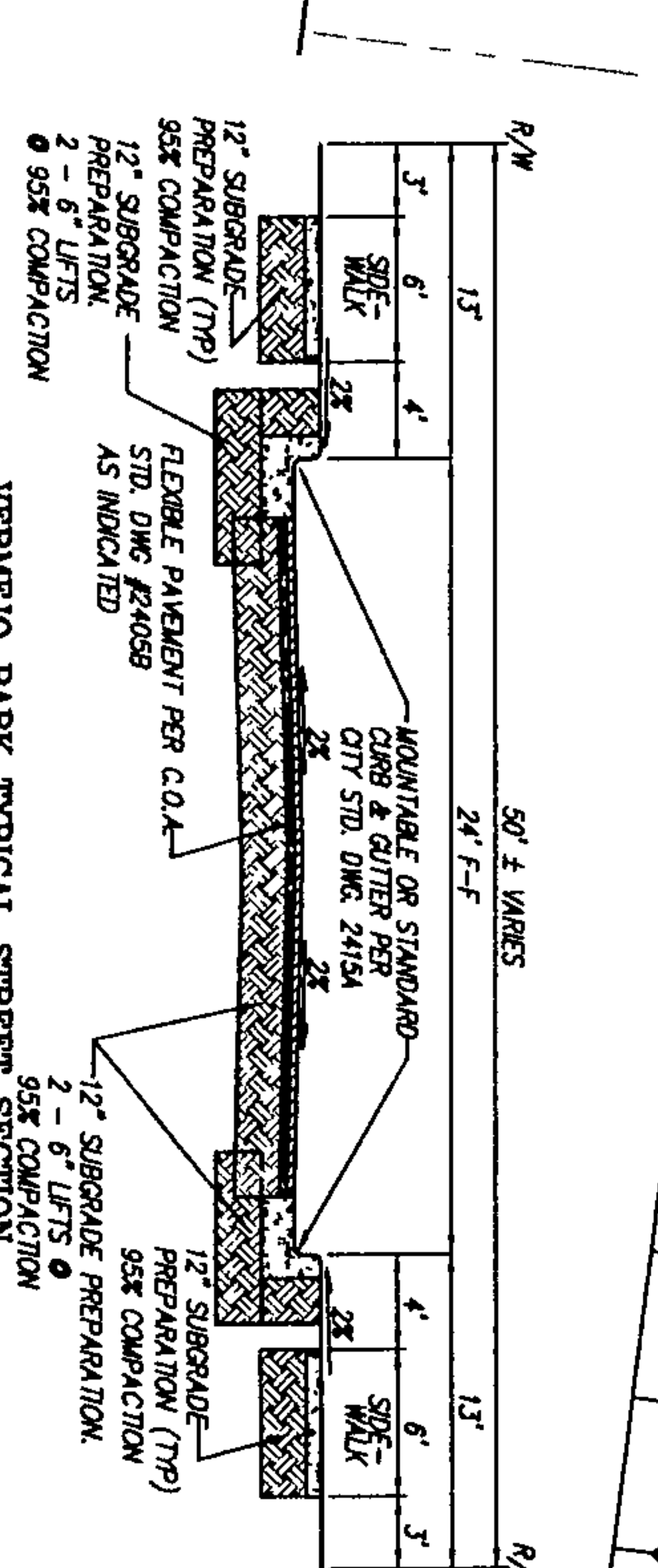
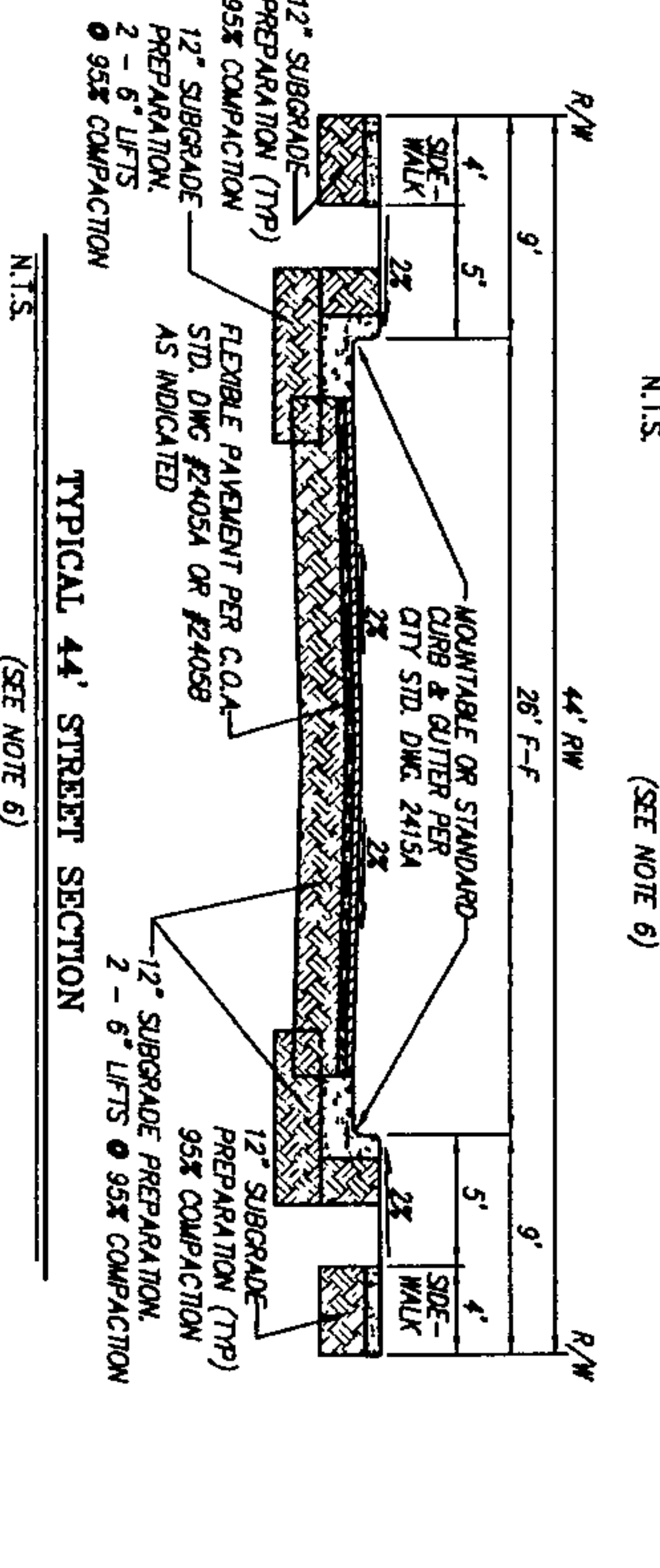
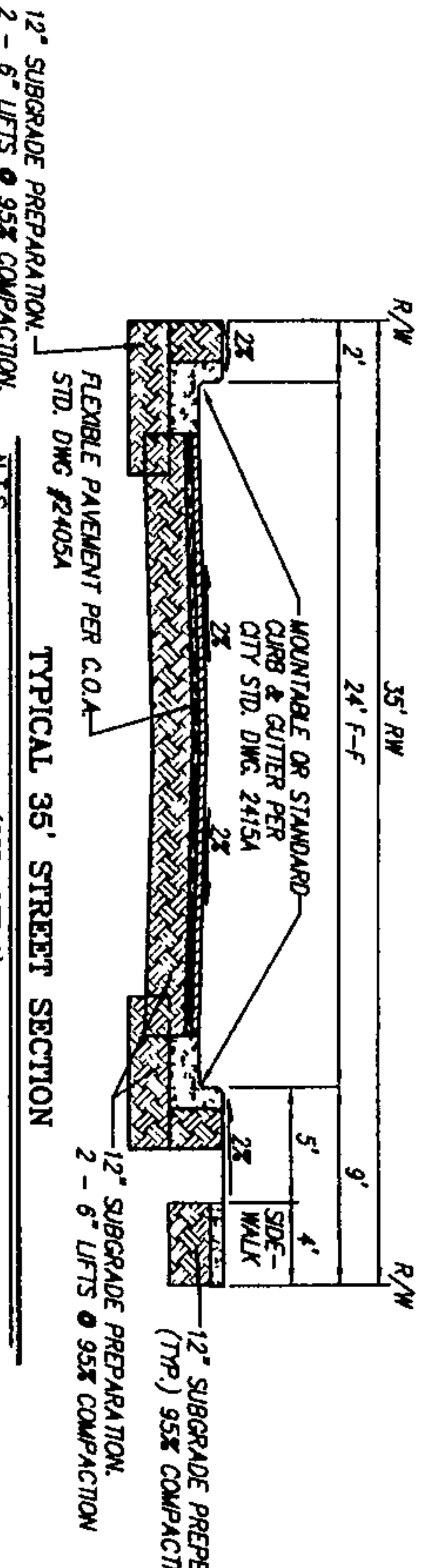
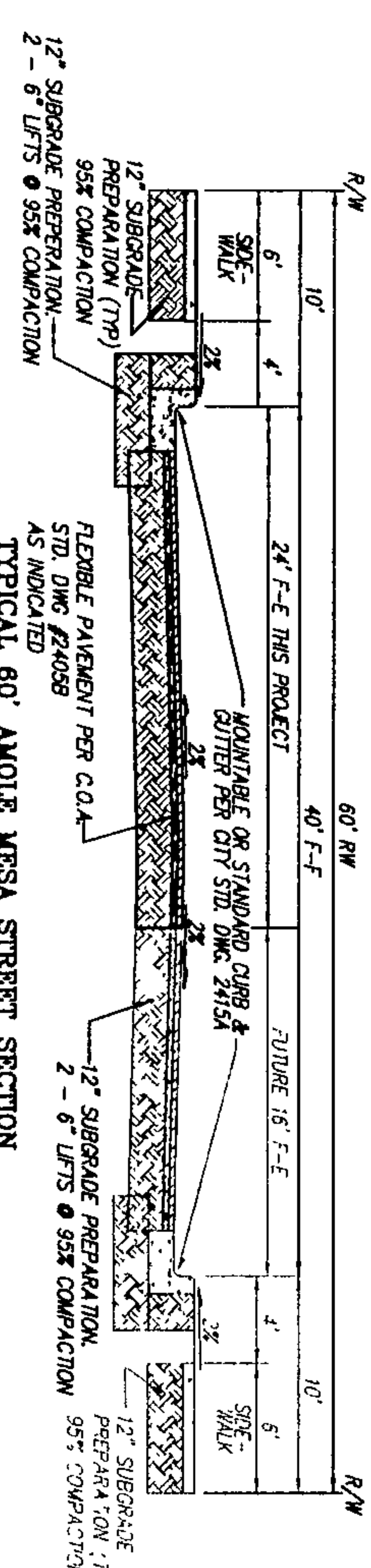
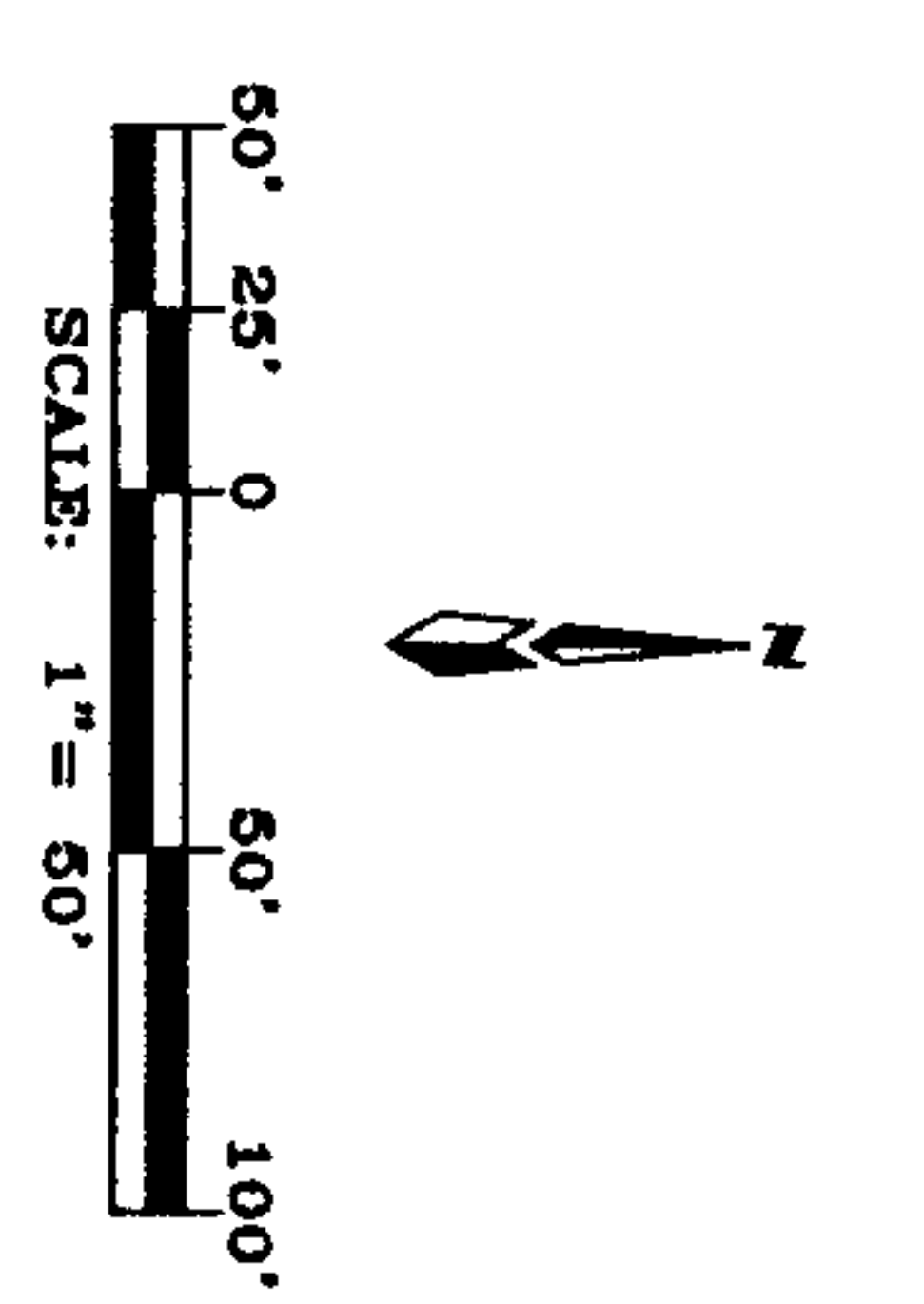
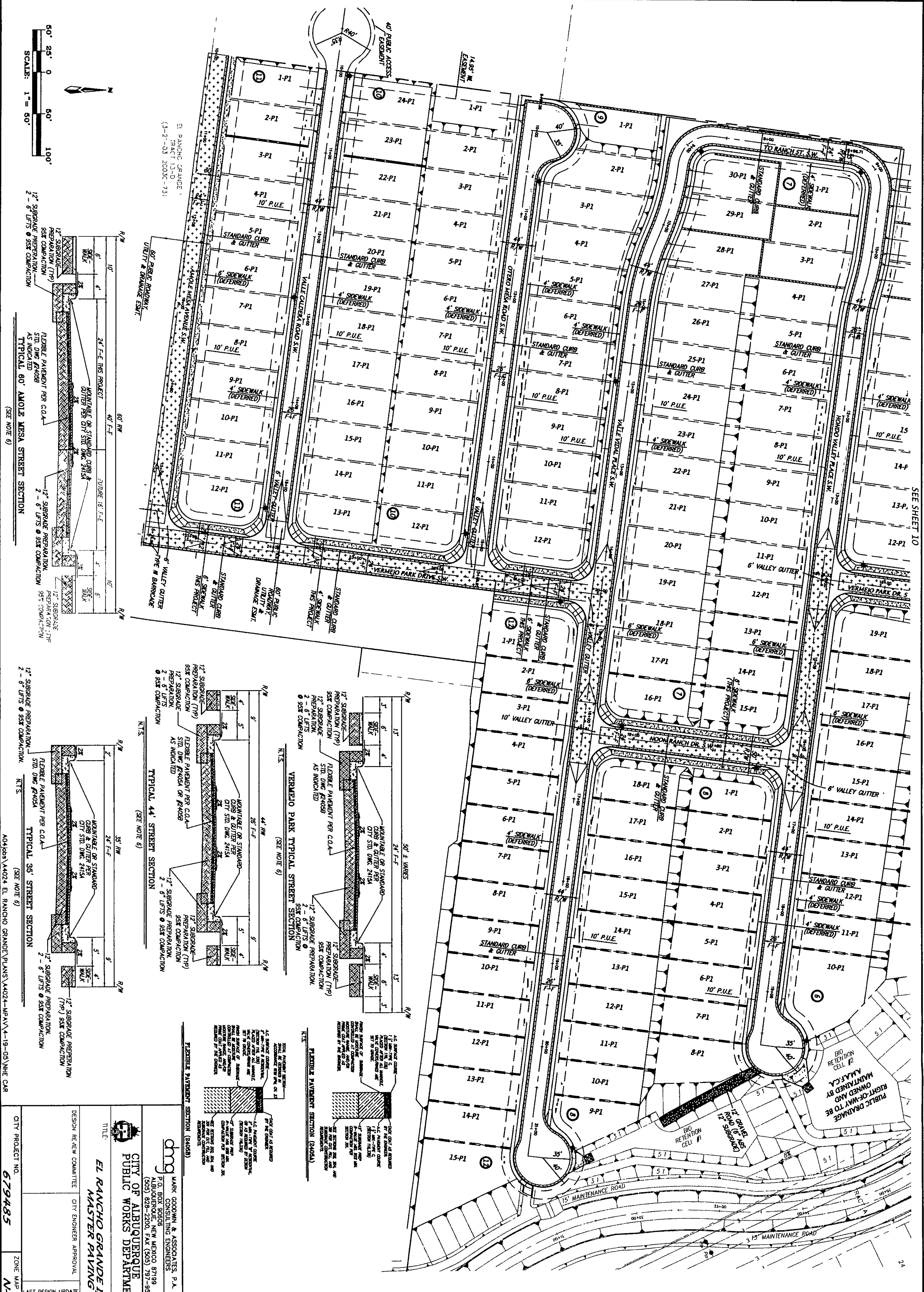


Table with columns for NO, DATE, REMARKS, and BY. Includes design and drawing dates.

Table with columns for ENGINEER'S SEAL, SURVEY INFORMATION, BENCH MARKS, and AS BUILT INFORMATION. Includes stationing and coordinate data.

EL RANCHO GRANDE I UNIT 9-B MASTER PAVING PLAN CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

MARK GOODMAN & ASSOCIATES, P.A. P.O. BOX 30008 NEW MEXICO 87199 (505) 828-2200 FAX (505) 797-6599

CITY PROJECT NO. 679485 ZONE MAP NO. N-9-Z SHEET 11 OF 34

DESIGNED BY <b>JDH</b>	DATE <b>09/04</b>
DRAWN BY <b>DER</b>	DATE <b>09/04</b>
CHECKED BY <b>DMG</b>	DATE <b>09/04</b>
REVISIONS	
NO	DATE
BY	
FIELD NOTES	
NO	DATE
BY	
ENGINEER'S SEAL	
SURVEY INFORMATION	
BENCH MARKS	
AS BUILT INFORMATION	
CONTRACTOR	
INSPECTOR'S ACCEPTANCE	
DATE	
FIELD	
LOCATION	
DATE	
APPROVAL	
DATE	
REVISIONS	
DATE	
CORRECTED BY	
DATE	
MICRO-FILM INFORMATION	
RECORDED BY	
DATE	
NO	

**DMG**  
 MARK GOODWIN & ASSOCIATES, P.A.  
 P.O. BOX 1088  
 ALBUQUERQUE, NEW MEXICO 87109  
 (505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE**  
 PUBLIC WORKS DEPARTMENT

TITLE  
**EL RANCHO GRANDE I UNIT 9-B**  
**MASTER PAVING PLAN**

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

LAST DESIGN UPDATE

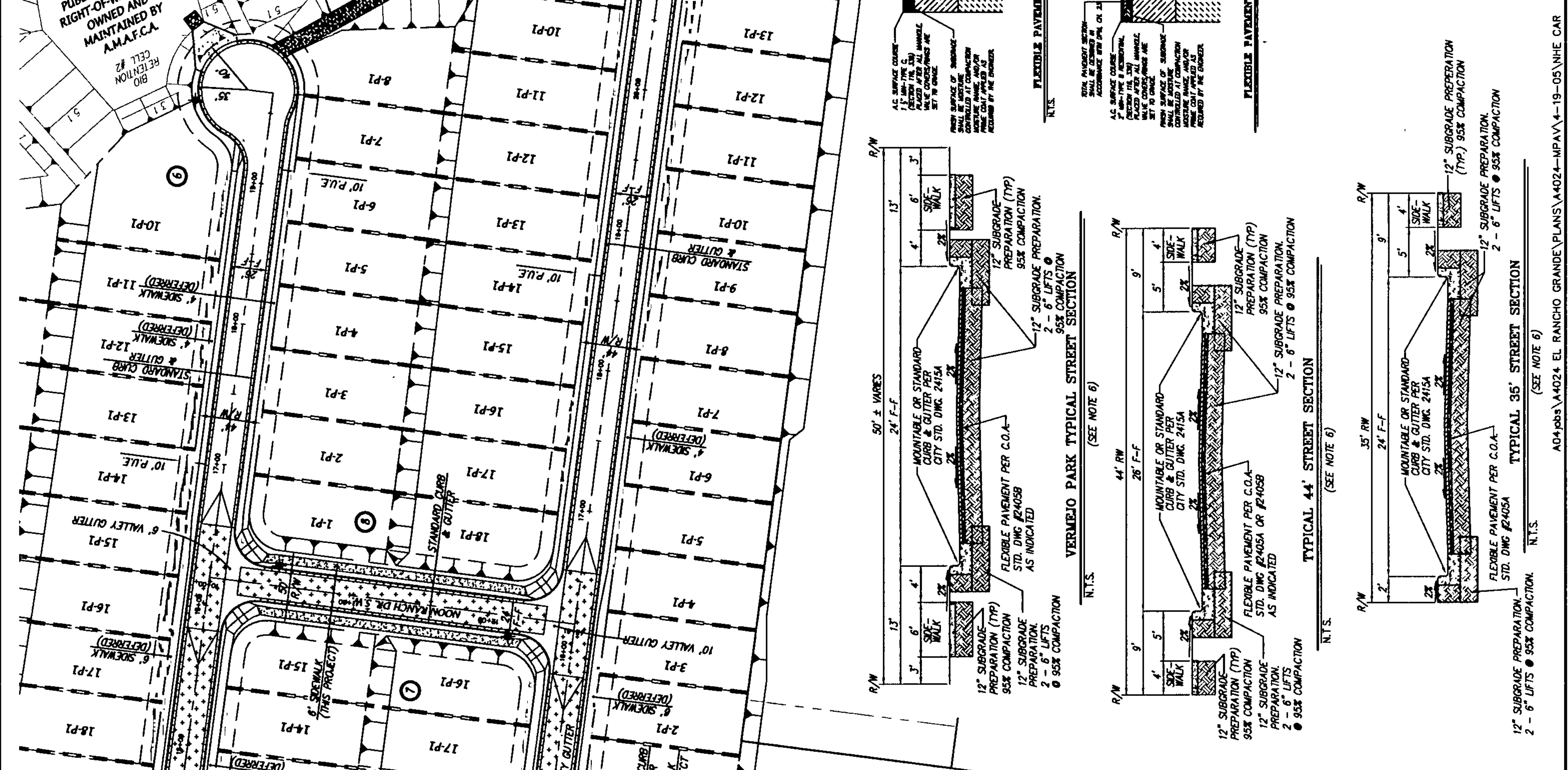
MO/DAY/YR

MO/DAY/YR

CITY PROJECT NO. **679485**

ZONE MAP NO **N-9-Z**

SHEET OF **11 34**



50' 25' 0' 50' 100'

SCALE: 1" = 50'

SEE SHEET 10

EL RANCHO GRANDE I  
 TRACT 13-D  
 (3-21-03, 2033C-73)

40' PUBLIC ACCESS EASEMENT

60' PUBLIC ROADWAY UTILITY & DRAINAGE ESMT.

TYPICAL 35' STREET SECTION (SEE NOTE 6)

TYPICAL 44' STREET SECTION (SEE NOTE 6)

TYPICAL 60' AMOLE MESA STREET SECTION (SEE NOTE 6)

TYPICAL 35' STREET SECTION (SEE NOTE 6)

TYPICAL 44' STREET SECTION (SEE NOTE 6)

TYPICAL 60' AMOLE MESA STREET SECTION (SEE NOTE 6)



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

### SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

### STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

### Supplemental form

- |                            |                            |  |
|----------------------------|----------------------------|--|
| <input type="checkbox"/> S | <input type="checkbox"/> Z | <b>ZONING &amp; PLANNING</b>   |
|                            |                            | <input type="checkbox"/> Annexation  |
|                            |                            | <input type="checkbox"/> County Submittal  |
| <input type="checkbox"/> V |                            | <input type="checkbox"/> EPC Submittal   |
|                            |                            | <input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)                                       |
| <input type="checkbox"/> P |                            | <input type="checkbox"/> Sector Plan (Phase I, II, III)  |
|                            |                            | <input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan                             |
|                            |                            | <input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)   |
|                            |                            | <input type="checkbox"/> Street Name Change (Local & Collector)  |
| <input type="checkbox"/> L | <input type="checkbox"/> A | <b>APPEAL / PROTEST of...</b>  |
| <input type="checkbox"/> D |                            | <input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals |

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICANT INFORMATION:

NAME: Curb Inc PHONE: 899-9656  
 ADDRESS: 5160 San Francisco NE FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner List all owners: \_\_\_\_\_  
 AGENT (if any): Mark Goodwin & Assoc. PHONE: 828-2200  
 ADDRESS: PO Box 90626 FAX: 797-9539  
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: doug@gardwinengineers.com

DESCRIPTION OF REQUEST: El Rancho Grande Unit 9B

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

### SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts 9B-1, 9B-2 and 12-A-2 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Adn. Atrisco Grant, Sec 4, T9N, R2E  
 Current Zoning: R-LT Proposed zoning: \_\_\_\_\_  
 Zone Atlas page(s): N-9 No. of existing lots: \_\_\_\_\_ No. of proposed lots: \_\_\_\_\_  
 Total area of site (acres): 35.14 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. 100905435529411501, 100905435529411501 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: South of Blake Rd SW  
 Between: West of Amole Channel and \_\_\_\_\_

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 05 DRB-01002, 04 DRB 01518, 04 DRB 01519

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE James D. Hughes DATE 6-22-05  
 (Print) \_\_\_\_\_ Applicant  Agent

### FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers:	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05 DRB: 01062</u>	<u>SW</u>		\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CME</u>		\$ <u>20.00</u>
<input type="checkbox"/> All case #s are assigned				\$ _____
<input type="checkbox"/> AGIS copy has been sent				\$ _____
<input type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>7.13.05</u>			Total \$ <u>20.00</u>

Clare Jensen 6/22/05  
 Planner signature / date

Project # 1003571

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

**BULK LAND VARIANCE**

(PUBLIC HEARING CASE)

- \_\_\_ Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
- \_\_\_ Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- \_\_\_ Sign Posting Agreement
- \_\_\_ Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- \_\_\_ Any original and/or related file numbers are listed on the cover application

**DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

**VACATION OF PUBLIC RIGHT-OF-WAY**

**VACATION OF PUBLIC EASEMENT**

- \_\_\_ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
- \_\_\_ Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- \_\_\_ Sign Posting Agreement
- \_\_\_ Fee (see schedule)
- \_\_\_ Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

**DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

**SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)**

**SIDEWALK DESIGN VARIANCE**

**SIDEWALK WAIVER**

- \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver
- \_\_\_ Any original and/or related file numbers are listed on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

**TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

**EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

- \_\_\_ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the deferral or extension
- \_\_\_ Any original and/or related file numbers are listed on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

**VACATION OF PRIVATE EASEMENT**

- \_\_\_ The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- \_\_\_ Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the vacation
- \_\_\_ Letter of authorization from the grantors and the beneficiaries
- \_\_\_ Fee (see schedule)
- \_\_\_ Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James D Hughes  
 Applicant name (print)  
 James D Hughes  
 Applicant signature / date  
 6-22-05



Form revised 4/03, 10/03 and JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 050RB - \_\_\_\_\_ - 01062

Planner signature / date  
 Claire Severa 6/22/05  
 Project # 1003571



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539

June 22, 2005

Ms. Sheran Matson  
DRB Chair  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87199

**Re: El Rancho Grande Unit 9B #1003571 "Amended Sidewalk Waiver."**

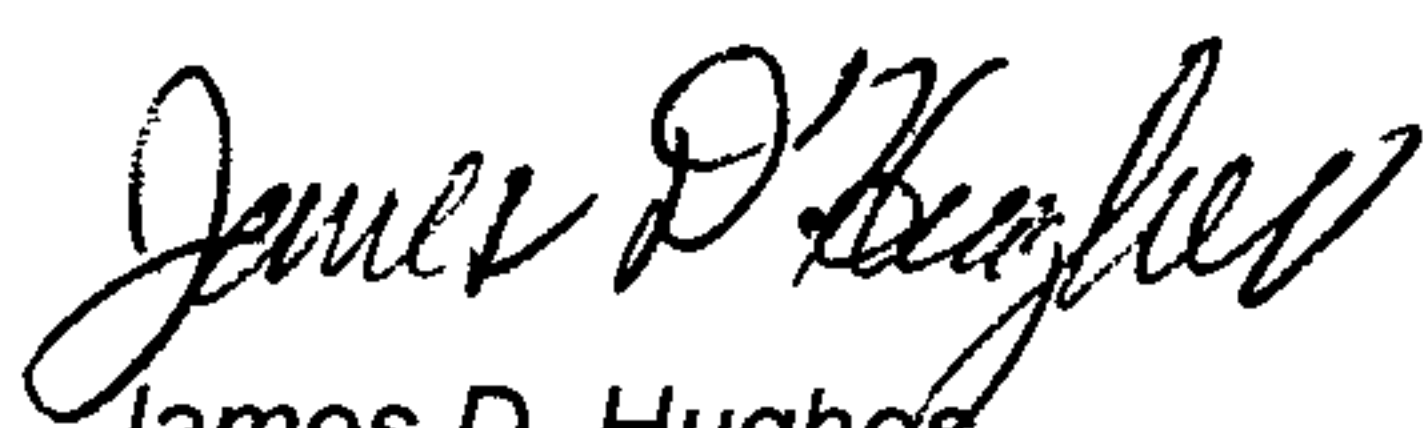
Dear Ms. Matson:

*It is desirable to eliminate the sidewalks around the Cul-de-Sac's at the AMAFCA, Amole Right of Way where they are in conflict with drainage rundowns into that Right of Way as shown on the amended sidewalk exhibit (attached). This development is providing two connections to the trail in the AMAFCA Right of Way, and Handicap ramps at the termination of the sidewalk on both sides of the street to provide equivalent pedestrian access.*

*Please contact our office if you have any questions.*

Sincerely,

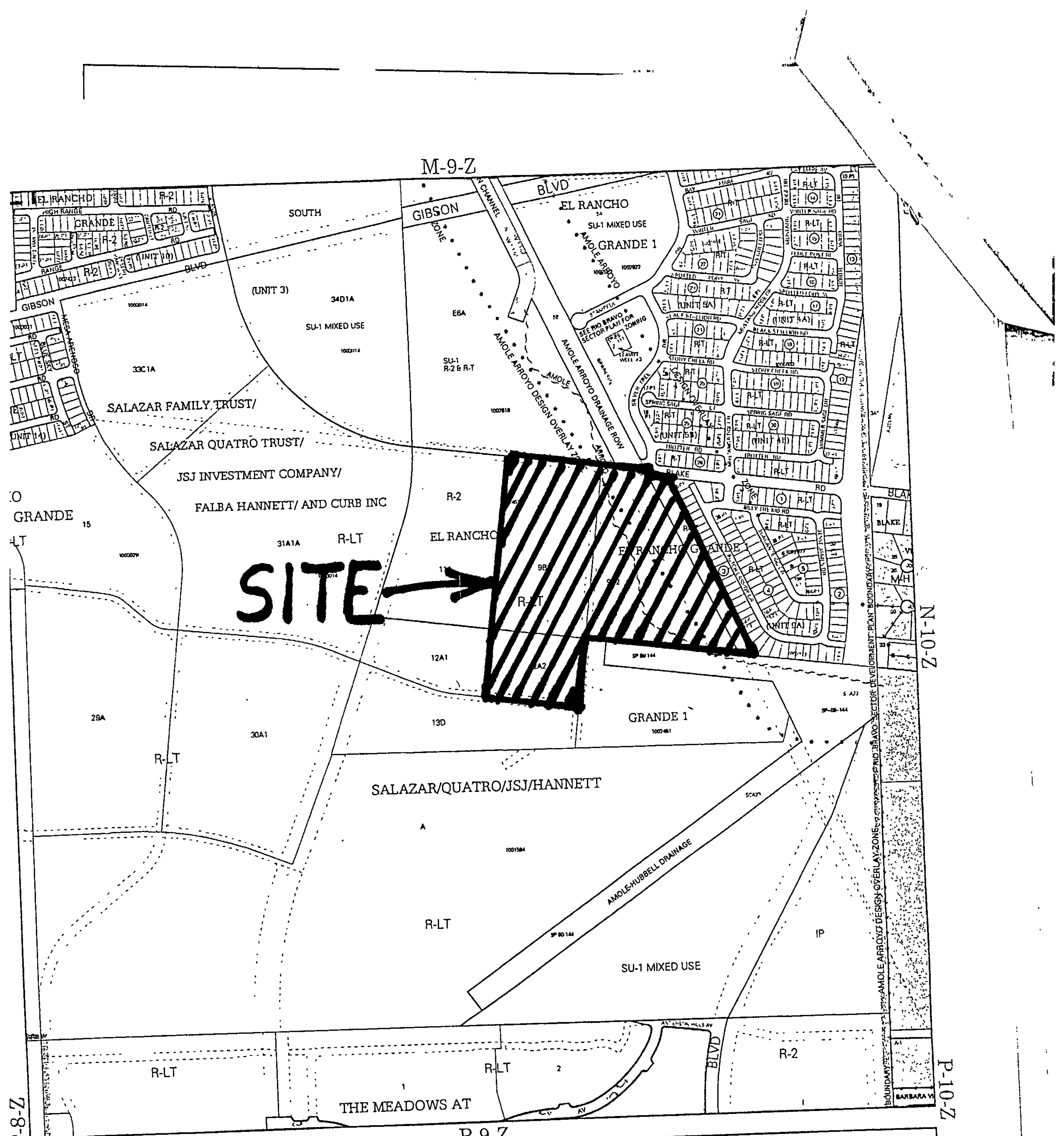
MARK GOODWIN & ASSOCIATES, P.A.

  
James D. Hughes  
Project Engineer

JDH/wp

Attachment

XC: Bo Johnson

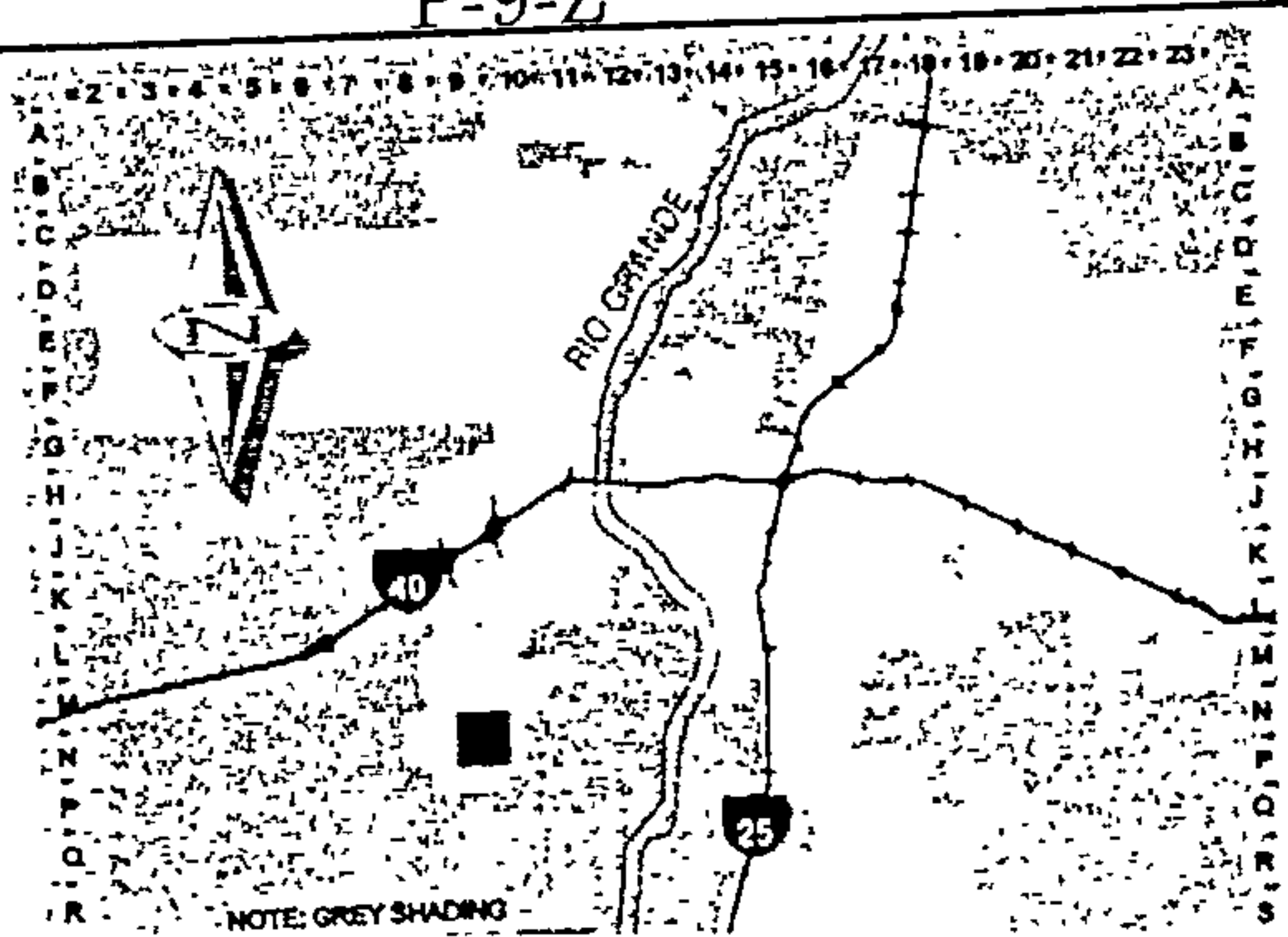


Zone Atlas Page: **N-9-Z**

Map amended through: **Aug 06, 2004**

**Selected Symbols**

- Unincorporated Areas
- Sector Plan Boundaries
- Parcel Boundaries
- Easement Lines
- Freeway Lanes
- Jurisdictional Boundaries
- Westgate Wall
- Grant Boundaries
- Petroglyph
- H-1 Buffer Zone
- Arroyos
- LDN Noise Level
- Airport Clearance Zone
- Design Overlay Zones



**THREE HUNDRED YEARS**  
1706 • 2006  
**ALBUQUERQUE**  
*Hacienda Historia*  
**A G I S**  
Albuquerque Geographic Information System  
**PLANNING DEPARTMENT**

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME

Cesb Inc

AGENT

Mark Goodman & Cesar

ADDRESS

PROJECT & APP #

1003571 / 05 DRB 01062

PROJECT NAME

El Rancho Grande 9B

\$ 20<sup>00</sup> 441032/3424000 Conflict Management Fee

\$ \_\_\_\_\_ 441006/4983000 DRB Actions

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ \_\_\_\_\_ 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

\$ 20<sup>00</sup> TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

\*\*\*DUPLICATE\*\*\*  
City of Albuquerque  
Treasury Division

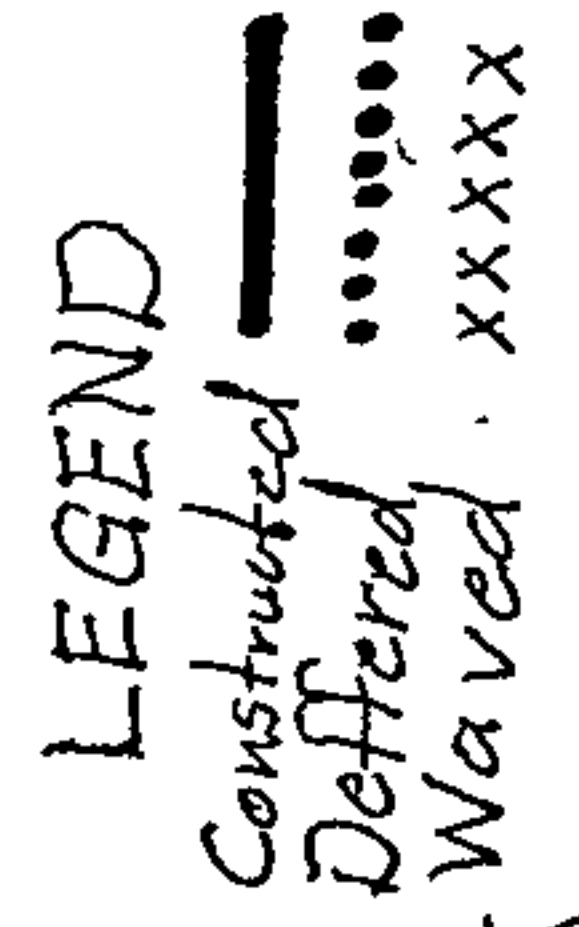
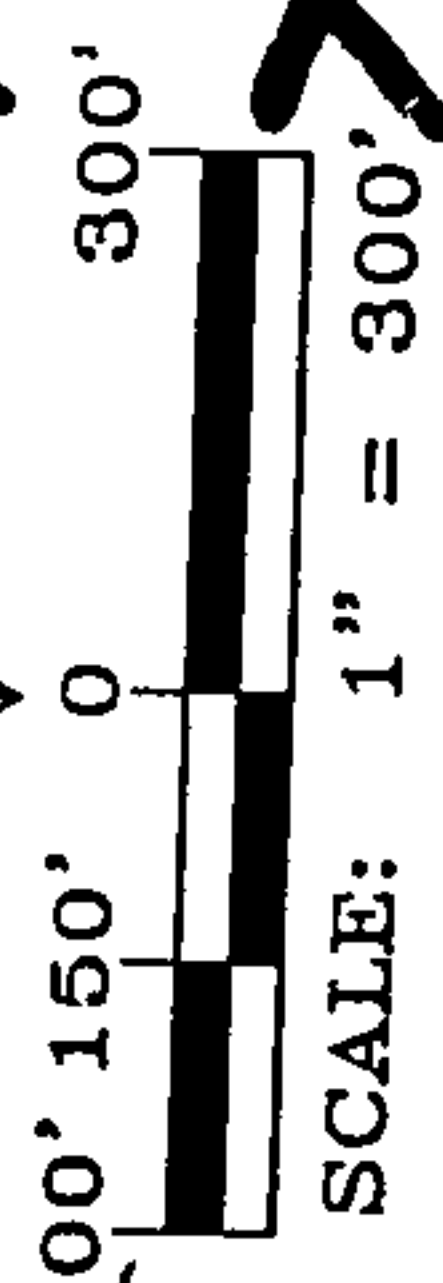
6/22/2005 4:30PM LGC: ANN  
RECEIPT# 00042897 USH 006 TRANS# 0072  
Account 441032 Fund 0110  
Activity 3424000 TRSARR...  
Trans Amt \$20.00  
J24 Misc \$20.00  
CK \$20.00  
CHANGE \$0.00

Thank You

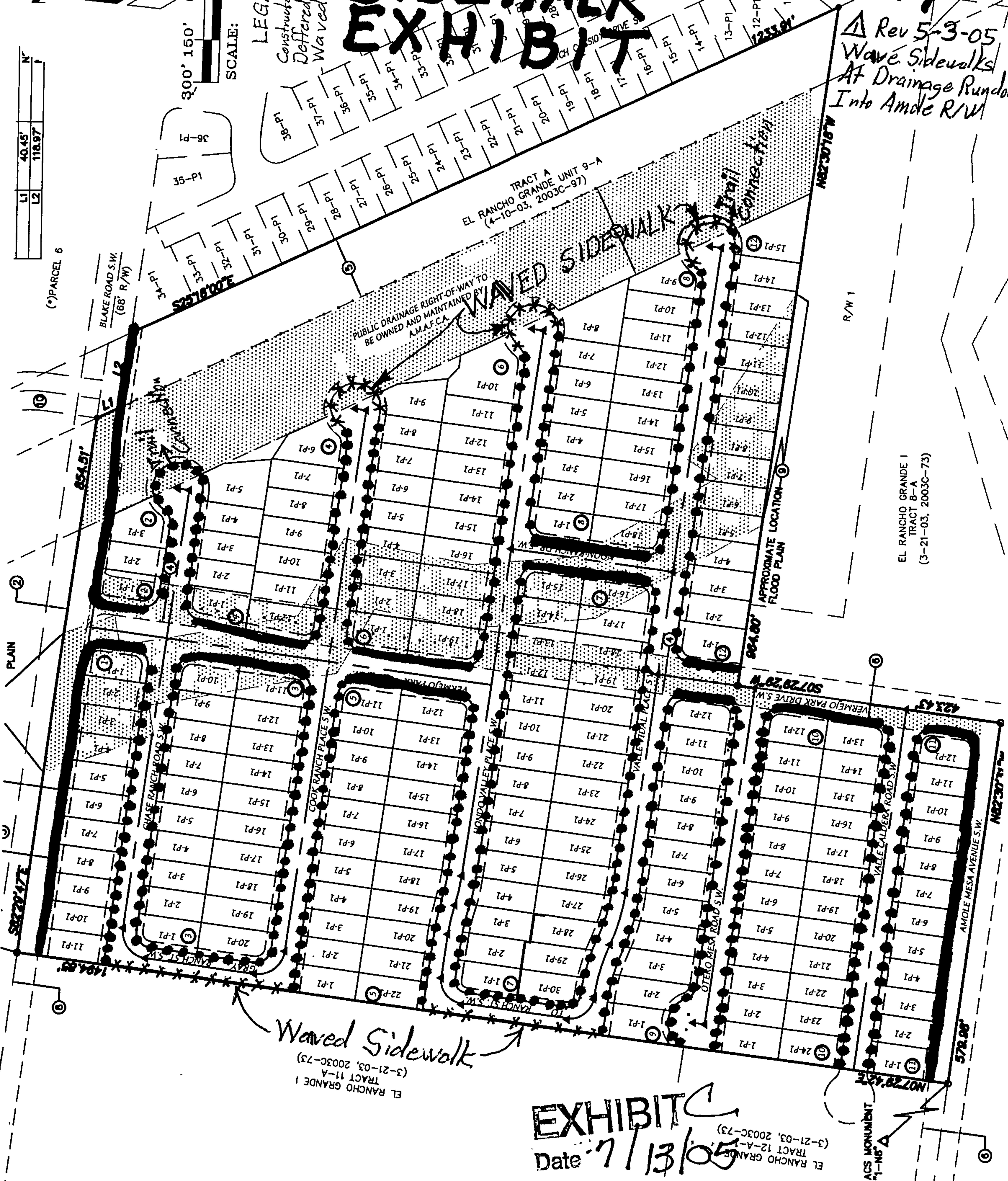
# EL RANCHO GRANDE UNIT 9B

## SIDEWALK EXHIBIT #1003571

Rev 5-3-05  
Wave Sidewalks  
At Drainage Roundouts  
Into Amole R/W



L1	40.45'	N
L2	118.97'	E



Waved Sidewalk  
EL RANCHO GRANDE I  
TRACT 11-A  
(3-21-03, 2003C-73)

EXHIBIT  
Date 7/13/05  
EL RANCHO GRANDE  
TRACT 12-A-1  
(3-21-03, 2003C-73)

ACS MONUMENT  
"1-NB"

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

<p style="text-align: center;">Supplemental form</p> <p><b>SUBDIVISION</b> <span style="float: right;"><b>S</b></span></p> <p><input checked="" type="checkbox"/> Major Subdivision action</p> <p><input type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation <span style="float: right;"><b>V</b></span></p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p><b>SITE DEVELOPMENT PLAN</b> <span style="float: right;"><b>P</b></span></p> <p><input type="checkbox"/> ... for Subdivision Purposes</p> <p><input type="checkbox"/> ... for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC) <span style="float: right;"><b>L</b></span></p>	<p style="text-align: center;">Supplemental form</p> <p><b>ZONING &amp; PLANNING</b> <span style="float: right;"><b>Z</b></span></p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)</p> <p><b>APPEAL / PROTEST of...</b> <span style="float: right;"><b>A</b></span></p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
--	--

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Curb, Inc. PHONE: 899-9656

ADDRESS: 5160 San Francisco NE FAX:

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL:

Proprietary interest in site: Owner List all owners:

AGENT (if any): Mark Goodwin & Associates, PA PHONE: 828-2200

ADDRESS: PO Box 90606 FAX: 797-9539

CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: doug@goodwinengineers.com

**DESCRIPTION OF REQUEST:** El Rancho Grande, Unit 9 B / Final Plat Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tracts 9-B-1, 9-B-2 and 12-A-2 Block: Unit:

Subdiv. / Addn. Atrisco Grant, Sec 4, T9N, R2E

Current Zoning: R-LT Proposed zoning: Same

Zone Atlas page(s): N-9 No. of existing lots: 3 No. of proposed lots: 193

Total area of site (acres): 35.1413 AC Density if applicable: dwellings per gross acre: dwellings per net acre:

Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill?  No

UPC No. 100905435529411501, 100905435529411501, 100905434920440101 MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: South of Blake Road

Between west of Amole Channel and \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): DRB04-01518, 1003571

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review:

SIGNATURE James D. Hughes DATE 6-13-05

(Print) James D. Hughes, PE  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<p><input type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><input checked="" type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input checked="" type="checkbox"/> F.H.D.P. density bonus</p> <p><input checked="" type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>05DRB - 01002</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Hearing date <u>06/22/05</u></p>	<p>Action</p> <p><u>FP</u></p> <p><u>CMF</u></p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>S.F.</p> <p><u>3</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Total</p> <p><u>\$ 20.00</u></p>	<p>Fees</p> <p>\$ _____</p> <p>\$ <u>20.00</u></p> <p>\$ _____</p> <p>\$ _____</p> <p>\$ _____</p>
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Sandy Handley 05/14/05

Project# 1003571

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

**SKETCH PLAT REVIEW AND COMMENT** **YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

**MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

**Extensions are not reviewed through internal routing.**  
 Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**

Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, ~~4 copies for internal routing.~~

- N/A* Design elevations & cross sections of perimeter walls *Previously Approved*
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- N/A* Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- N/A* Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

**DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**

**AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**

**AMENDMENT TO GRADING PLAN (with minor changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
  - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James D Hughes 6-13-05  
 Applicant name (print)  
James D Hughes  
 Applicant signature / date



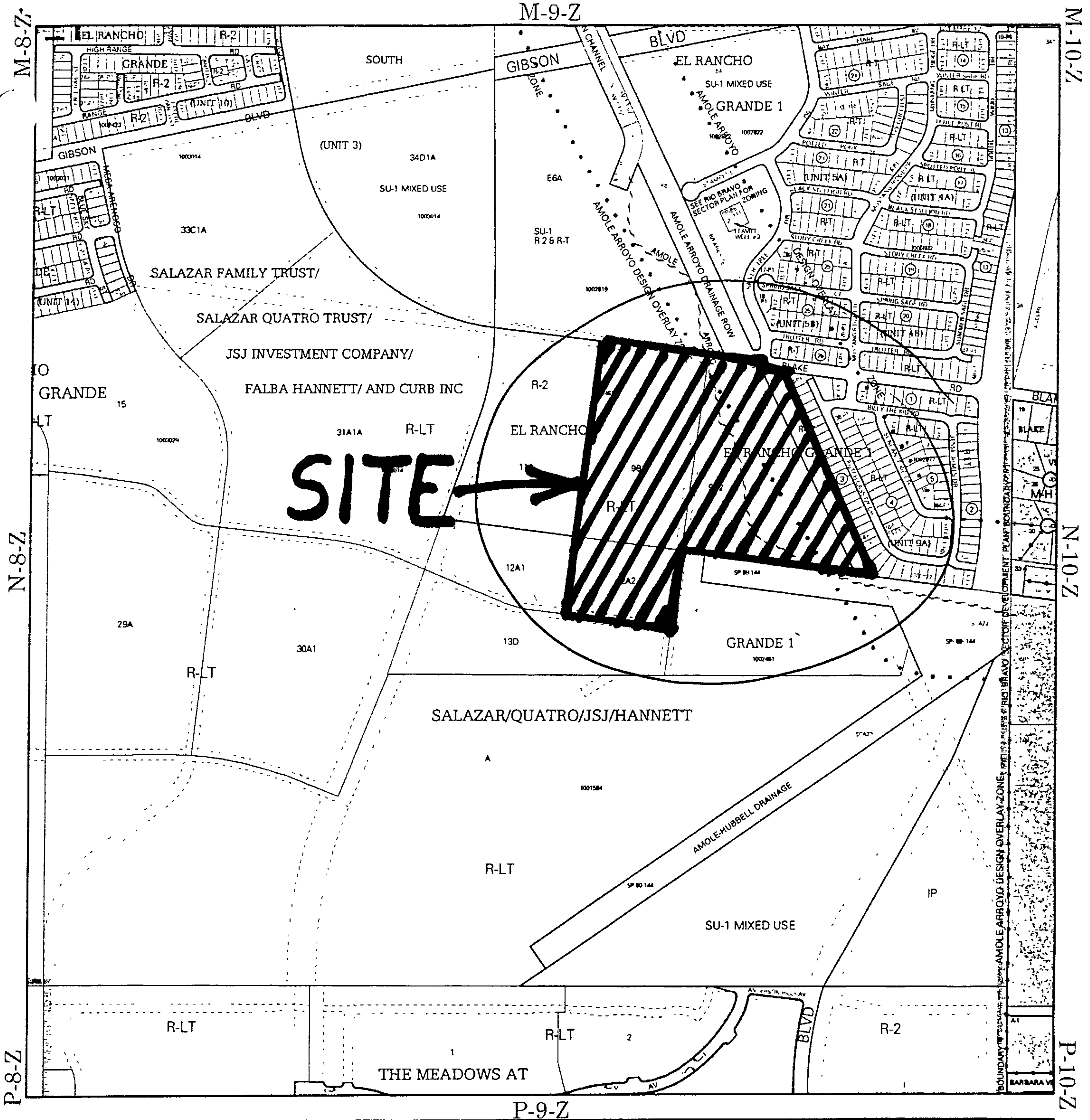
Form revised 3/03, 8/03 and 11/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
05 DRB - -01002  
 - -  
 - -

Sandy Handley 06/14/05  
 Planner signature / date  
**Project # 1003571**



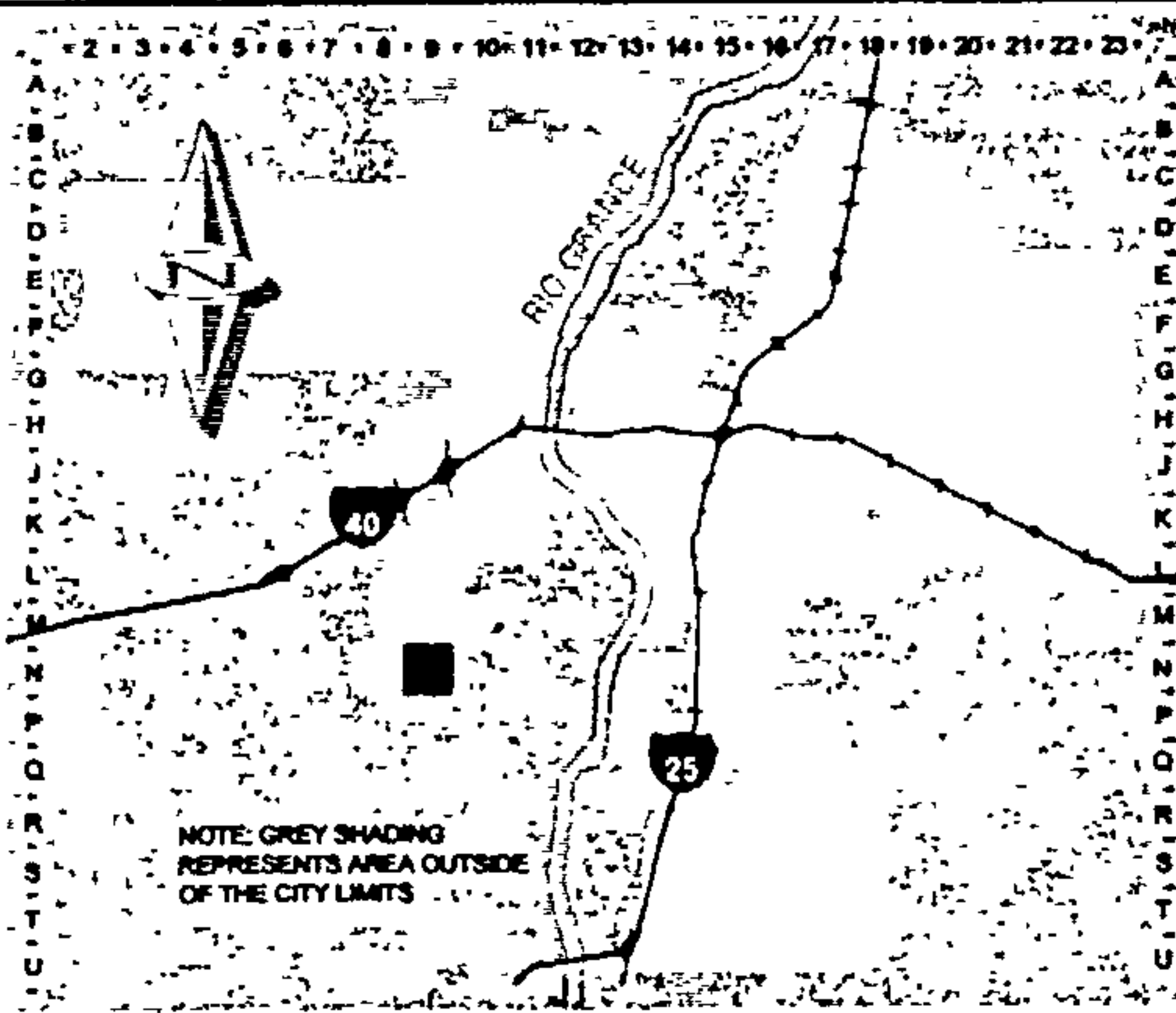


Zone Atlas Page: **N-9-Z**

Map amended through: **Aug 06, 2004**

Selected Symbols

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**THREE HUNDRED YEARS**  
1706 • 2006  
**ALBUQUERQUE**  
*Hacienda Historia*  
**AGIS**  
Albuquerque Geographic Information System  
**PLANNING DEPARTMENT**  
© Copyright 2004

No. of Lots: 198  
Nearest Major Streets  
Blake & Unser SW

FIGURE 12

SUBDIVISION IMPROVEMENTS  
AGREEMENT-PUBLIC AND/OR PRIVATE  
(Procedure B)

AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 13<sup>th</sup> day of June, 2005, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Curb, Inc.

Curb, Inc. ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] New Mexico corporation, whose address is 5160 San Francisco NE Abq., NM 87109 and whose telephone number is 881-9190, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

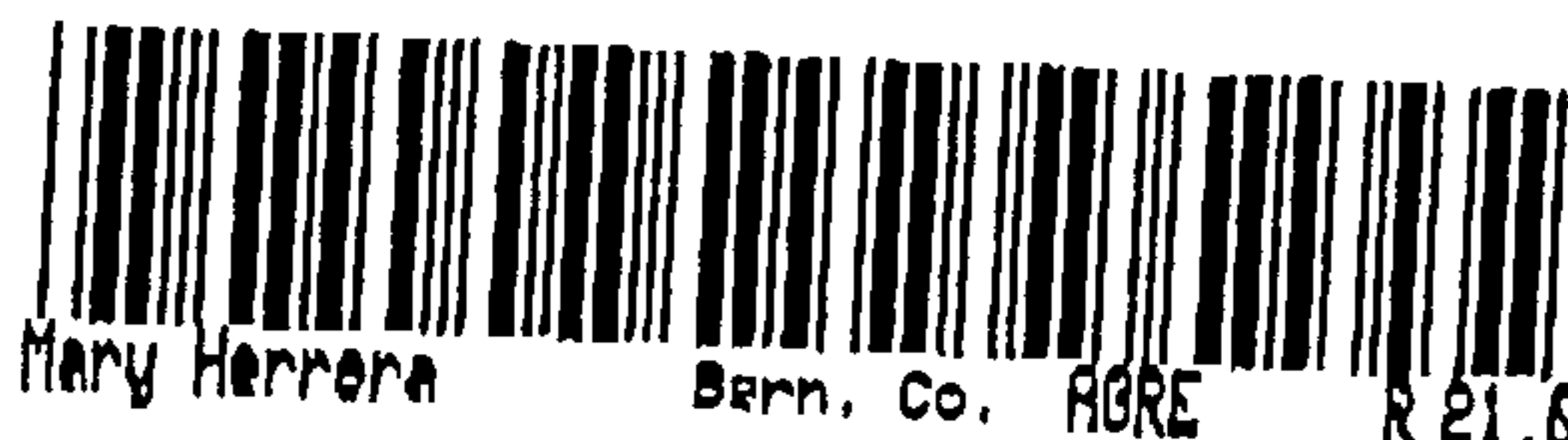
1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] see attached Exhibit "B", recorded on \_\_\_\_\_ in the records of the Bernalillo County Clerk at Book \_\_\_\_\_, pages \_\_\_\_\_ through \_\_\_\_\_ (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Curb, Inc. ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as El Rancho Grande I, Unit 9B describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 1st day of December, 2006 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 679485.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



**ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services**

**PAID RECEIPT**

APPLICANT NAME CURB INC.  
 AGENT MARK GOODWIN & ASSOC.  
 ADDRESS P.O. Box 90606  
 PROJECT & APP # 1003571 / 05 DRB 01002  
 PROJECT NAME EL RANCHO GRANDE E

City Of Albuquerque  
Treasury Division

6/14/2005 10:43AM LOC: ANNX  
 RECEIPT# 00041584 WSH 008 TRANSH 0011  
 Account 441032 Fund 0110  
 Activity 3424000 TRSCCS  
 Trans Amt \$20.00  
 J24 MISC \$20.00  
 CK \$0.00  
 CHANGE

Thank You

\$ 20.<sup>00</sup> 441032/3424000 Conflict Management Fee  
 \$ \_\_\_\_\_ 441006/4983000 DRB Actions  
 \$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
 \$ \_\_\_\_\_ 441018/4971000 Public Notification  
 \$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
     ( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
     ( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
     ( ) Traffic Impact Study  
 \$ 20.<sup>00</sup> TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

**D. MARK GOODWIN AND ASSOCIATES, P.A.**  
 P.O. BOX 90606  
 ALBUQUERQUE, NM 87199  
 (505) 828-2200

4541  
95-681/1070

DATE 6-14-05

PAY TO THE ORDER OF City of Albuquerque \$ 20.00  
Security No/100

DOLLARS **1** Security Features Details on Back

BANK OF THE WEST  
 5901 MENAUL BLVD. NE  
 ALBUQUERQUE, NM 87110

FOR El Rancho Grande 9B Susan Rusinski

004541 107006813 283007003

ORIGINAL

INFRASTRUCTURE LIST

Claire

Date Site Plan Approved:

Date Preliminary Plat Approved: 12/21/04

Date Preliminary Plat Expires: 12/21/05

DRB Project No.:

1003571

DRB Application No.:

04-01518

EXHIBIT "A" TO SUBDIVISION IMPROVEMENTS AGREEMENT DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

El Rancho Grande I, Unit 9B PROPOSWD NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts 9-B-1, 9-B-2 and 12-A-2, El Rancho Grande I EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Table with 10 columns: SIA SWquence #, COA DRC Project #, Size, Type of Improvement, Location, From, To, Private Inspector, City Inspector, City Cnst Engineer. Rows include paving details for Blake Road SW, Vermejo Park Dr SW, Chase Ranch Pl SW, Cook Ranch Pl SW, and Gray Ranch Pl SW.

Gray

ORIGINAL

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Hondo Valley Pl. SW	To Ranch St SW	Vermejo Park Dr SW	/	/	/
		26' FF 6'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Hondo Valley Pl. SW	Vermejo Park Dr SW	Noon Ranch Dr.SW	/	/	/
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Hondo Valley Pl. SW	Noon Ranch Dr.SW	Cul de Sac	/	/	/
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Valle Vidal Pl. SW	To Ranch St SW	Vermejo Park Dr SW	/	/	/
		26' FF 6'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Valle Vidal Pl. SW	Vermejo Park Dr SW	Noon Ranch Dr.SW	/	/	/
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides)	Valle Vidal Pl. SW	Noon Ranch Dr.SW	Cul de Sac	/	/	/
		24' FF 6'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Noon Ranch Dr.SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/

*ORIGINAL*

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	24' FF 4'	Res Pvmnt C & G, Std Sidewalk (East Side only) *	To Ranch St SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/
<input type="text"/>	<input type="text"/>	26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Otero Mesa Rd.	Cul de Sac	Vermejo Park Dr SW	/	/	/
<input type="text"/>	<input type="text"/>	26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Valle Caldera Rd SW	West Boundry	Vermejo Park Dr SW	/	/	/
<input type="text"/>	<input type="text"/>	35' Radius	Res Pvmnt	Tract 12-A-1, temp esm't	West Boundry	cul-de-sac	/	/	/
<input type="text"/>	<input type="text"/>	24' FF 6'	Res Pvmnt C & G, Std Sidewalk (Both Sides)	Vermejo Park Dr SW	<del>Hondo Valley Pl. SW</del> <i>Valle Vidal</i>	Otero Mesa Rd.	/	/	/
<input type="text"/>	<input type="text"/>	24' FF 6'	Res Pvmnt C & G, Std Sidewalk (West Side only)	Vermejo Park Dr SW	Otero Mesa Rd.	Amole Mesa Ave. SW	/	/	/
<input type="text"/>	<input type="text"/>	24' FF 6'	Res Pvmnt C & G, Std Sidewalk (north side only) *	Amole Mesa Ave. SW	West Boundry	Vermejo Park Dr SW	/	/	/



Project name:

El Rancho Grande I, Unit 9B

ORIGINAL

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		12"	Waterline	Blake Road SW	West Property Line	Silver Tree	/	/	/
		6"	Waterline	Vermejo Park Dr SW	~ Blake Road SW	Hondo Valley Pl. SW	/	/	/
		6"	Waterline	Chase Ranch Pl. SW	Gray Ranch Pl. SW	Cul de Sac	/	/	/
		6"	Waterline	Cook Ranch Pl. SW SW	Gray Ranch St. SW	Cul de Sac	/	/	/
		6"	Waterline	Gray Ranch St. SW	Chase Ranch Pl. SW	Cook Ranch Pl. SW SW	/	/	/
		6"	Waterline	Hondo Valley Pl. SW	To Ranch St SW	Cul de Sac	/	/	/
		6"	Waterline	Valle Vidal Pl. SW	To Ranch St SW	Vermejo Park Dr SW	/	/	/
		10"	Waterline	Valle Vidal Pl. SW	Vermejo Park Dr SW	Amole chan R/W (East Side)	/	/	/
		<del>12"</del> 6"	Waterline	Noon Ranch Rd. SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/
		6"	Waterline	To Ranch St SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/
		6"	Waterline	Otero Mesa Rd.	Cul de Sac	Vermejo Park Dr SW	/	/	/
		6"	Waterline	Valle Caldera Rd SW	West Boundry	Vermejo Park Dr SW	/	/	/
		10"	Waterline	Vermejo Park Dr SW	Valle Vidal Pl. SW	Amole Mesa Ave. SW	/	/	/
		10"	Waterline	Amole Mesa Ave. SW	West Boundry	Vermejo Park Dr SW	/	/	/
		8"/10"	Waterline	Amole channel R/W	Blake Rd.	South Boundry			
		10"	Waterline	Amole channel R/W	East Boundry	Unser Blvd.	/	/	/

Project name:

El Rancho Grande I, Unit 9B

ORIGINAL

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			SAS				/	/	/
		8"	SAS	Chase Ranch Pl. SW	Gray Ranch Pl. SW	Cul de Sac	/	/	/
		8"	SAS	Vermejo Park Dr SW	Chase Ranch Pl. SW	Cook Ranch Pl. SW SW	/	/	/
		8"	SAS	Cook Ranch Pl. SW SW	Gray Ranch St. SW	Cul de Sac <sup>(7)</sup>	/	/	/
		8"	SAS	Hondo Valley Pl. SW	To Ranch St SW	Cul de Sac <sup>(7)</sup>	/	/	/
		8"	SAS	Noon Ranch Dr. SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/
		8"	SAS	Valle Vidal Pl. SW	To Ranch St SW	Vermejo Park Dr SW	/	/	/
		10" <sup>(8)</sup>	SAS	Valle Vidal Pl. SW	Vermejo Park Dr SW	Cul de Sac <sup>(7)</sup>	/	/	/
		8"	SAS	Otero Mesa Rd.	Cul de Sac	Vermejo Park Dr SW	/	/	/
		8"	SAS	Valle Caldera Rd SW	West Boundry	Vermejo Park Dr SW	/	/	/
		10" <sup>(8)</sup>	SAS	Amole Mesa Ave. SW	West Boundry	Vermejo Park Dr SW	/	/	/
		10" <sup>(8)</sup>	SAS	Vermejo Park Dr SW	Amole Mesa Ave. SW	Valle Vidal Pl. SW	/	/	/
			<i>Per Design Adjust Existing Manholes</i>		<i>Amole Right of Way</i>		/	/	/
			<b>DRAINAGE</b>						
		96" <sup>(8)</sup>	RCP Storm drain	Blake Road SW	West Boundry	Amole Channel	/	/	/
		84" <sup>(8)</sup>	RCP Storm drain	Amole Mesa Ave. SW	West Boundry	Vermejo Park Dr SW	/	/	/
		84" <sup>(8)</sup>	RCP Storm drain	Vermejo Park Dr SW	Amole Mesa Ave. SW	AMAFCA R/W	/	/	/
		84" <sup>(8)</sup>	RCP Storm drain	AMAFCA R/W	Vermejo Park Dr SW	Amole Channel	/	/	/
		per design	Amole Channel And Culverts <sup>(10)</sup>	Amole right of way	N. R/W Blake Rd.	AMAFCA R/W	/	/	/
		1'	CMU wall	West Boundry	Blake Road SW	Amole Mesa Ave. SW	/	/	/



ORIGINAL

- \* Sidewalks to be deferred
- 1 Financially Guaranteed w/ COA Project # 729781
- 2 Water infrastructure to include valves, fittings, valveboxes and fire hydrants.
- 3 Sanitary sewer to include manholes and service connections.
- 4 Storm Drain to includes inlets, manholes
- 5 Private Grading & Drainage Certification per DPM for Release of SIA and Financial Guarantees. Financial Guarantee is not required for this item
- 6 Street lights per DPM
- 7 12' Gravel access roads for vector maintainance to be constructed to manholes in the Amole Right Of Way.
- 8 Size to be determined/verified by analysis demonstrating upstream capacity prior to DRC approval (see city project 7472.81 for ~~separate financial guarantee and~~ construction)
- 9 Approved Lomr for Release of SIA & Financial Guarantee
- 10 Per separate contract with AMAFCA (Not included in Financial Guarantees)

**AGENT / OWNER** **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

James D. Hughes, P.E.  
NAME (print)

*[Signature]* 12/10/04 *[Signature]* 12/1/04  
DRB CHAIR - date PARKS & GENERAL SERVICES - date

MARK GOODWIN & ASSOCIATES  
FIRM

*[Signature]*  
SIGNATURE - date 12-1-04

*[Signature]* 12-1-04 AMAFCA - date  
TRANSPORTATION DEVELOPMENT - date  
*[Signature]* 12/1/04 - date  
UTILITY DEVELOPMENT - date  
*[Signature]* 12/1/04 - date  
CITY ENGINEER - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
EXTENSION: N/A

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
△	5/13/05	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>

ORIGINAL

16

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

El Rancho Grande I, Unit 9B  
PROPOSWD NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts 9-B-1, 9-B-2 and 12-A-2, El Rancho Grande I  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		30' FF	PAVING Art Pvmnt C & G, Std (South Side) Sidewalk (South Side)	Blake Road SW	West Property Line	Silver Tree	/	/	/
		44' FF	Res Pvmnt C & G, Std Sidewalk (Both Sides)	Vermejo Park Dr SW	~ Blake Road SW	Chase Ranch Pl.SW	/	/	/
		VARIES 44-24'FF	Res Pvmnt C & G, Std Sidewalk (Both Sides)	Vermejo Park Dr SW	~ Chase Ranch Pl.SW	Cook Ranch Pl. SW	/	/	/
		24' FF	Res Pvmnt C & G, Std Sidewalk (Both Sides)	Vermejo Park Dr SW	~ Cook Ranch Pl. SW	Hondo Valley Pl. SW	/	/	/
		26' FF	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Chase Ranch Pl.SW	Gray Ranch Pl. SW	Cul de Sac	/	/	/
		26' FF	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Cook Ranch Pl. SW	Chase Ranch Pl.SW	Cul de Sac	/	/	/
		24' FF	Res Pvmnt C & G, Std Sidewalk (East Side only) *	Gray Ranch Pl. SW	Chase Ranch Pl.SW	Cook Ranch Pl. SW SW	/	/	/

ORIGINAL

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Hondo Valley Pl. SW	To Ranch St SW	Vermejo Park Dr SW	/	/	/
		26' FF 6'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Hondo Valley Pl SW	Vermejo Park Dr SW	Noon Ranch Dr SW	/	/	/
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Hondo Valley Pl. SW	Noon Ranch Dr.SW	Cul de Sac	/	/	/
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Valle Vidal Pl. SW	To Ranch St SW	Vermejo Park Dr SW	/	/	/
		26' FF 6'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Valle Vidal Pl. SW	Vermejo Park Dr SW	Noon Ranch Dr.SW	/	/	/
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides)	Valle Vidal Pl. SW	Noon Ranch Dr.SW	Cul de Sac	/	/	/
		24' FF 6'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Noon Ranch Dr.SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/

ORIGINAL

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	24' FF 4'	Res Pvmnt C & G, Std Sidewalk (East Side only) *	To Ranch St SW	Hondo Valley Pl SW	Valle Vidal Pl. SW	/	/	/
<input type="text"/>	<input type="text"/>	26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Otero Mesa Rd.	Cul de Sac	Vermejo Park Dr SW	/	/	/
<input type="text"/>	<input type="text"/>	26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Valle Caldera Rd SW	West Boundry	Vermejo Park Dr SW	/	/	/
<input type="text"/>	<input type="text"/>	35' Radius	Res Pvmnt	Tract 12-A-1, temp esm't	West Boundry	cul-de-sac	/	/	/
<input type="text"/>	<input type="text"/>	24' FF 6'	Res Pvmnt C & G, Std Sidewalk (Both Sides)	Vermejo Park Dr SW	Hondo Valley Pl. SW	Otero Mesa Rd.	/	/	/
<input type="text"/>	<input type="text"/>	24' FF 6'	Res Pvmnt C & G, Std Sidewalk (West Side only)	Vermejo Park Dr SW	Otero Mesa Rd.	Amole Mesa Ave SW	/	/	/
<input type="text"/>	<input type="text"/>	24' FF 6'	Res Pvmnt C & G, Std Sidewalk (north side only) *	Amole Mesa Ave. SW	West Boundry	Vermejo Park Dr SW	/	/	/

Project name:

El Rancho Grande I, Unit 9B

ORIGINAL

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		12"	Waterline	Blake Road SW	West Property Line	Silver Tree	/	/	/
		6"	Waterline	Vermejo Park Dr SW	~ Blake Road SW	Hondo Valley Pl. SW	/	/	/
		6"	Waterline	Chase Ranch Pl. SW	Gray Ranch Pl. SW	Cul de Sac	/	/	/
		6"	Waterline	Cook Ranch Pl. SW SW	Gray Ranch St. SW	Cul de Sac	/	/	/
		6"	Waterline	Gray Ranch St. SW	Chase Ranch Pl. SW	Cook Ranch Pl. SW SW	/	/	/
		6"	Waterline	Hondo Valley Pl. SW	To Ranch St SW	Cul de Sac	/	/	/
		6"	Waterline	Valle Vidal Pl. SW	To Ranch St SW	Vermejo Park Dr SW	/	/	/
		10"	Waterline	Valle Vidal Pl. SW	Vermejo Park Dr SW	Amole chan R/W (East Side)	/	/	/
		<del>10"</del> 6"	Waterline	Noon Ranch Rd. SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/
		6"	Waterline	To Ranch St SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/
		6"	Waterline	Otero Mesa Rd.	Cul de Sac	Vermejo Park Dr SW	/	/	/
		6"	Waterline	Valle Caldera Rd SW	West Boundry	Vermejo Park Dr SW	/	/	/
		10"	Waterline	Vermejo Park Dr SW	Valle Vidal Pl. SW	Amole Mesa Ave. SW	/	/	/
		10"	Waterline	Amole Mesa Ave. SW	West Boundry	Vermejo Park Dr SW	/	/	/
		8"/10"	Waterline	Amole channel R/W	Blake Rd.	South Boundry	/	/	/
		10"	Waterline	Amole channel R/W	East Boundry	Unser Blvd.	/	/	/

Project name:

El Rancho Grande I, Unit 9B

ORIGINAL

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			SAS				/	/	/
		8"	SAS	Chase Ranch Pl. SW	Gray Ranch Pl SW	Cul de Sac	/	/	/
		8"	SAS	Vermejo Park Dr SW	Chase Ranch Pl. SW	Cook Ranch Pl. SW SW	/	/	/
		8"	SAS	Cook Ranch Pl. SW SW	Gray Ranch St. SW	Cul de Sac <sup>(7)</sup>	/	/	/
		8"	SAS	Hondo Valley Pl. SW	To Ranch St SW	Cul de Sac <sup>(7)</sup>	/	/	/
		8"	SAS	Noon Ranch Dr. SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/
		8"	SAS	Valle Vidal Pl. SW	To Ranch St SW	Vermejo Park Dr SW	/	/	/
		10" <sup>(8)</sup>	SAS	Valle Vidal Pl. SW	Vermejo Park Dr SW	Cul de Sac <sup>(7)</sup>	/	/	/
		8"	SAS	Otero Mesa Rd.	Cul de Sac	Vermejo Park Dr SW	/	/	/
		8"	SAS	Valle Caldera Rd SW	West Boundry	Vermejo Park Dr SW	/	/	/
		10" <sup>(8)</sup>	SAS	Amole Mesa Ave. SW	West Boundry	Vermejo Park Dr SW	/	/	/
		10" <sup>(8)</sup>	SAS	Vermejo Park Dr SW	Amole Mesa Ave. SW	Valle Vidal Pl. SW	/	/	/
			<b>DRAINAGE</b>				/	/	/
		96" <sup>(8)</sup>	RCP Storm drain	Blake Road SW	West Boundry	Amole Channel	/	/	/
		84" <sup>(8)</sup>	RCP Storm drain	Amole Mesa Ave. SW	West Boundry	Vermejo Park Dr SW	/	/	/
		84" <sup>(8)</sup>	RCP Storm drain	Vermejo Park Dr SW	Amole Mesa Ave. SW	AMAFCA R/W	/	/	/
		84" <sup>(8)</sup>	RCP Storm drain	AMAFCA R/W	Vermejo Park Dr SW	Amole Channel	/	/	/
		per design	Amole Channel And Culverts <sup>(10)</sup>	Amole right of way	N. R/W Blake Rd.	AMAFCA R/W	/	/	/
		1'	CMU wall	West Boundry	Blake Road SW	Amole Mesa Ave. SW	/	/	/

*Per Design Adjust Existing Manholes*

*Amole Right of Way*

Project name: El Rancho Grande I, Unit 9B

ORIGINAL

- \* Sidewalks to be deferred
- 1 Financially Guaranteed w/ COA Project # 729781
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- 9 Approved Lomr for Release of SIA & Financial Guarantee
- 10 Per separate contract with AMAFCA (Not included in Financial Guarantees)

**AGENT / OWNER** **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

James D. Hughes, P.E.  
NAME (print)

*[Signature]* 12/01/04 *[Signature]* 12/1/04  
DRB CHAIR - date PARKS & GENERAL SERVICES - date

MARK GOODWIN & ASSOCIATES  
FIRM

*[Signature]* 12-1-04  
SIGNATURE - date

*[Signature]* 12-1-04  
TRANSPORTATION DEVELOPMENT - date

*[Signature]* 12/1/04  
UTILITY DEVELOPMENT - date

*[Signature]* 12/1/04  
CITY ENGINEER - date

\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
- date

\_\_\_\_\_  
- date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
EXTENSION: N/A

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME Mark Goodwin  
AGENT Same  
ADDRESS \_\_\_\_\_  
PROJECT & APP # 1003571  
PROJECT NAME El Rancho Grande 9B

\$ \_\_\_\_\_ 441032/3424000 Conflict Management Fee  
\$ 330.00 441006/4983000 DRB Actions Referral fee  
\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$ \_\_\_\_\_ 441018/4971000 Public Notification  
\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 330.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

D. MARK GOODWIN AND ASSOCIATES, P.A.  
P.O. BOX 90606  
ALBUQUERQUE, NM 87199-0606  
(505) 828-2200

4382

95-681/1070

DATE Nov. 17, 2004

City Of Albuquerque  
Treasury Division

\$ 330.00

PAY TO THE ORDER OF

City of Albuquerque

Three hundred thirty 10/100


11/30/2004

10:44AM

DOLLARS

LOC: AN

Security Features Details on Back.

 BANK OF AMERICA  
Coronado Office  
1-800-488-2265

FOR

El Rancho Grande 9B deferral

RECEIPT# 00031980 US# 006 TRANS# 0007  
Account 441006 Fund 0110  
Activity 4983000 TRSF/AA  
Trans Amt 330.00

Jessie K. [Signature]

⑈004382⑈ ⑆107006813⑆ 283007003⑈

330.00



PO Box 80808  
Albuquerque, NM 87199  
(505) 828-2200  
(505) 797-9538 fax  
daug@goodwinengineers.com



# Fax

**To:** Claire Senova **From:** James D, Hughes, PE

---

**Fax:** 924-3864 **Pages:** 1

---

**Re:** El Rancho Grande, Unit 9B **Date:** 11/9/2004

---

- Urgent     For Review     Please Comment     Please Reply     Please Recycle
- 

**• Comments:**

Claire,

Please defer Item # 5 one week to November 17, 2004 because the comments were harder to address than we first thought. The DRB # is 1003571.



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION** **S**

Major Subdivision action

Minor Subdivision action

Vacation **V**

Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN** **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

Supplemental form

**ZONING & PLANNING** **Z**

Annexation

County Submittal

EPC Submittal

Zone Map Amendment (Establish or Change Zoning)

Sector Plan (Phase I, II, III)

Amendment to Sector, Area, Facility or Comprehensive Plan

Text Amendment (Zoning Code/Sub Regs)

**APPEAL / PROTEST of...** **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Curb, Inc. PHONE: 881-9190

ADDRESS: 5160 San Francisco NE FAX:

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL:

Proprietary interest in site: Owner List all owners:

AGENT (if any): Mark Goodwin & Associates, PA PHONE: 828-2200

ADDRESS: PO Box 90606 FAX: 797-9539

CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: doug@goodwinengineers.com

**DESCRIPTION OF REQUEST:** El Rancho Grande I, Unit 9B: Preliminary Plat Approval; Vacation of Public Easement; Sidewalk Deferral; Sidewalk Waiver; Grading Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract 9-B-1, 9-B-2 & 12-A-2 Block: \_\_\_\_\_ Unit: \_\_\_\_\_

Subdiv. / Addn. Atrisco Grant, Sec 4, T9N, R2E EL RANCHO GRANDE I - Unit 9B

Current Zoning RLT Proposed zoning: Same

Zone Atlas page(s): N-9 No. of existing lots: 3 TR No. of proposed lots: 192 Lots & 1 TR

Total area of site (acres): 35.1413 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_

Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill?  No

UPC No. 100905435529411501 & 100905434920440101 & 100905435529411501 MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: Blake Road NW

Between: Amole Channel and 98<sup>th</sup> Street NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1003571, 1001897

~~1002077, 1002144, 1002461~~ 04-01134(SK)

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 07/28/04

SIGNATURE James D. Hughes DATE 10-1-04

(Print) James D. Hughes, PE  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>04DRB - 01517</u>	<u>VPE</u>		<u>\$ 390.00</u>
<input type="checkbox"/> All fees have been collected	<u>04DRB - 01518</u>	<u>PP</u>		<u>\$ 3500.00</u>
<input type="checkbox"/> All case #s are assigned	<u>04DRB - 01519</u>	<u>SW</u>		<u>\$ -0-</u>
<input type="checkbox"/> AGIS copy has been sent	<u>04DRB - 01520</u>	<u>TDS</u>		<u>\$ -0-</u>
<input type="checkbox"/> Case history #s are listed		<u>CMF</u>		<u>\$ 20.00</u>
<input type="checkbox"/> Site is within 1000ft of a landfill		<u>ADV</u>		<u>Total 75100</u>
<input type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>11-3-04</u>			<u>\$ 3985.00</u>
<input type="checkbox"/> F.H.D.P. fee rebate	<u>10/1/04</u>			
Planner signature / date <u>Oliver Senora</u>		Project # <u>1003571</u>		

**FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING**

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL**

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
- Proposed Infrastructure List
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately **ONE MONTH** after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

**PLEASE NOTE:** There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately **ONE MONTH** after the filing deadline. **Your attendance is required.**

**MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT**

**(Temporary sidewalk deferral uses FORM-V)**

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

**DRB Public hearings are approximately ONE MONTH after the filing deadline.** Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James D. Hughes  
 Applicant name (print)  
James D. Hughes 10-1-04  
 Applicant signature / date



Form revised 9/01, 8/02 and 9/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 04DRB - 01518

Olga Senora 10/1/04  
 Planner signature / date  
**Project # 1003571**

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

**BULK LAND VARIANCE (Public Hearing Case)**

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. Variance and subdivision should be applied for simultaneously. (24 copies)
  - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
  - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
  - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

**VACATION OF PUBLIC RIGHT-OF-WAY**

**VACATION OF PUBLIC EASEMENT**

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
  - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

**SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)**

**SIDEWALK DESIGN VARIANCE**

**SIDEWALK WAIVER**

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

**EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**VACATION OF PRIVATE EASEMENT**

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
  - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the vacation
  - Letter of authorization from the grantors and the beneficiaries
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James D Hughes  
Applicant name (print)

James D Hughes 10-1-04  
Applicant signature / date



Form revised April 2003

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- |                          |  |
|--------------------------|--|
| Application case numbers |  |
| 04DRB - 01517            |  |
| 04DRB - 01519            |  |
| 04DRB - 01520            |  |

Oliver Senora 10/1/04  
Planner signature / date

**Project # 1003571**

**FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY**

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME: El Rancho Grande I, Unit 9B  
AGIS MAP #: \_\_\_\_\_  
LEGAL DESCRIPTION: Tract 9-B-1, 9-B-2 & 12-A-2, Atrisco Grant, Sec 4, T9N, R2E

**DRAINAGE REPORT**

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on 10-1-04 [date].

*James D. DePa* 10-1-04  
Applicant / Agent Date

\_\_\_\_\_  
Hydrology Division Representative Date

**WATER AND SEWER AVAILABILITY STATEMENT**

ISSUED BY

A Water and Sewer Availability Statement for this project was ~~requested from~~ the City of Albuquerque Utilities Development Division (2nd floor Plaza del Sol) on 8-27-04 [date].

\_\_\_\_\_  
Date Applicant / Agent  
*James D. DePa* 10-1-04  
Utility Division Representative Date

DRB# 1003571

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / ENVIRONMENTAL HEALTH INFORMATION FORM

APPLICANT: Mark Goodwin & Associates, P.A. Date of request: 10/1/04 Zone atlas page(s): N-9

**CURRENT:**

Zoning RLT

Parcel Size (acres / sq.ft.) 35.1413

**Legal Description -**

Lot or Tract # Tr 9-B-1, 9-B-2, 12-A-2 Block # \_\_\_\_\_

Subdivision Name El Rancho Grande I, Unit 9B

**REQUESTED CITY ACTION(S):**

Annexation	[ ]	Sector Plan	[ ]	Site Development Plan:	Building Permit	[ ]
Comp. Plan		Zone Change	[ ]	a) Subdivision	Access Permit	[ ]
Amendment	[ ]	Conditional Use	[ ]	b) Build'g Purposes	Other	[ ]
				c) Amendment		[ ]

**PROPOSED DEVELOPMENT:**

No construction / development [ ]  
 New Construction [  ]  
 Expansion of existing development [ ]

**GENERAL DESCRIPTION OF ACTION: 1**

# of units - 192 Lots & 1 Tract  
 Building Size - \_\_\_\_\_ (sq. ft.)

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative *James D. [Signature]* Date 10-1-04  
 (To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [  ] NO [ ] BORDERLINE [ ]

Planning Dept., Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL. 600 2nd St. NW Plaza del Sol Bldg. 924-3994

THRESHOLDS MET? YES [  ] NO [ ] Mitigating reasons for not requiring TIS: Previously studied: [ ]

Notes: TIS IS BEING COMPLETED

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

*[Signature]* 10-1-04  
 TRAFFIC ENGINEER DATE

Per letter dated August 7, 2003 from the Director of the Environmental Health Department to the Director of the Planning Department, "all 5 CO monitors within Bernalillo County are yielding 8-hour average CO levels at less than 50% of the Federal CO standard ..." and "based on our review of the available scientific data, we do not foresee a circumstance where preparation of a detailed air quality study for a land use development will be warranted - regardless of the project size, location or traffic generated".

Required TIS **must be completed prior to applying to the EPC.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS - SUBMITTED \_\_\_/\_\_\_/\_\_\_  
 - FINALIZED \_\_\_/\_\_\_/\_\_\_

\_\_\_\_\_  
 TRAFFIC ENGINEER

\_\_\_\_\_  
 DATE

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539

October 1, 2004

Ms. Sheran Matson  
DRB Chair  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**Re: El Rancho Grande Unit 9b Subdivision**

Dear Ms. Matson:

The purpose of this letter is to explain the approval sought.

- Preliminary Plat for 198 lots on the 35 acre site.
- Vacation of both blanket drainage easement and 100' wide drainage easement at existing Amole Arroyo.
- Vacation of public roadway and utility easement running thru the middle of this site since it doesn't fit the proposed layout.
- Sidewalk Waiver to eliminate the requirement for Sidewalk on the west side of the two loop streets at the west boundary. The adjacent property may choose to access these streets in which case they would build the sidewalk or they may choose to back houses up to that street in which case there would be no need for the sidewalk.
- Sidewalk deferral variance to allow the temporary deferral of sidewalks until after house construction to avoid damage.
- Grading Plan Approval: Grading and drainage is in keeping with the natural contours of the land with previously approved plans. Some retaining walls are required on rear lot lines to provide a step from block to block on this 3% grade. A few side lot lines need walls to control drainage on keyed lots.

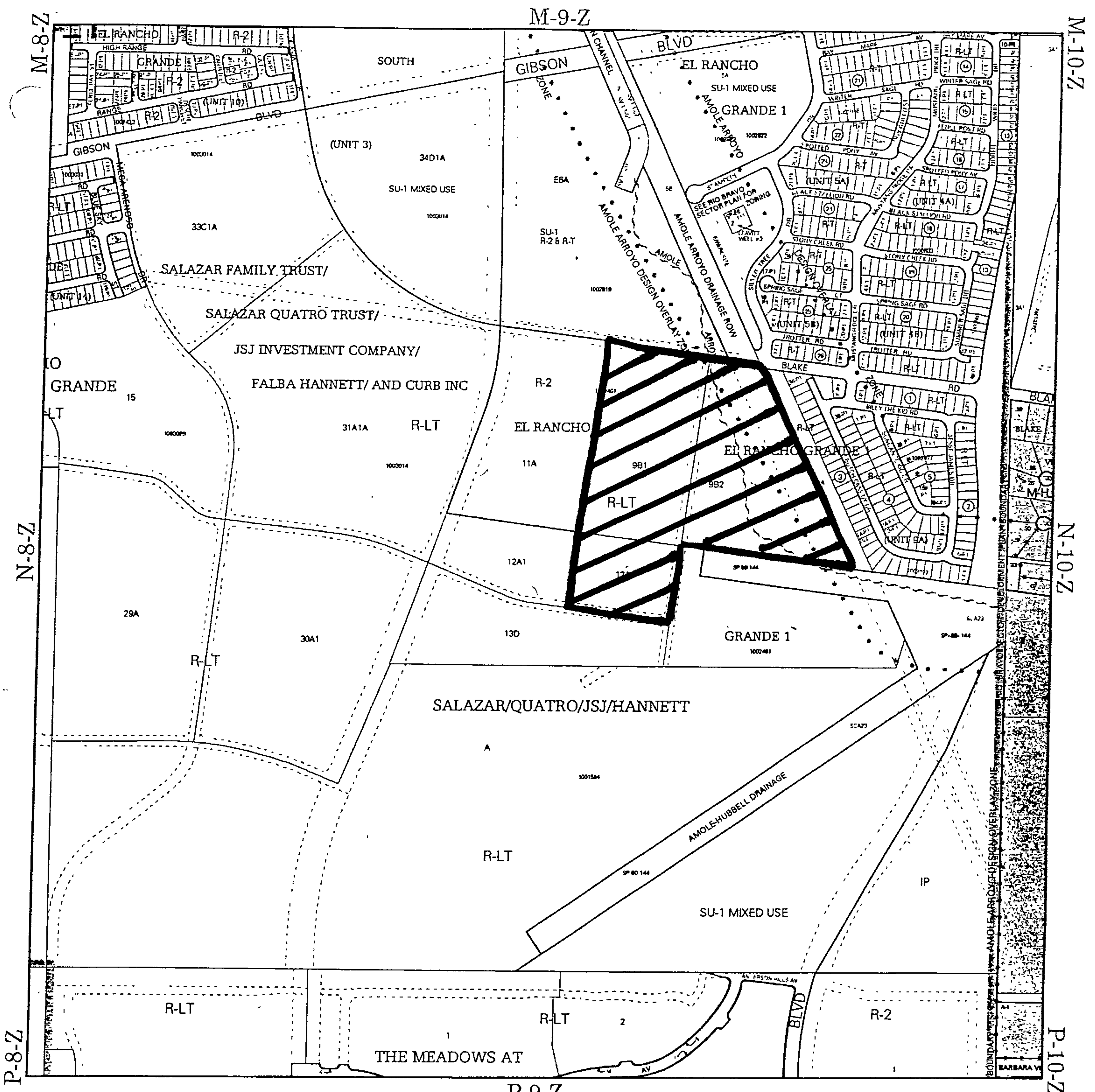
Please contact our office if you have any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

James D. Hughes, PE  
Senior Engineer

JDH/bg

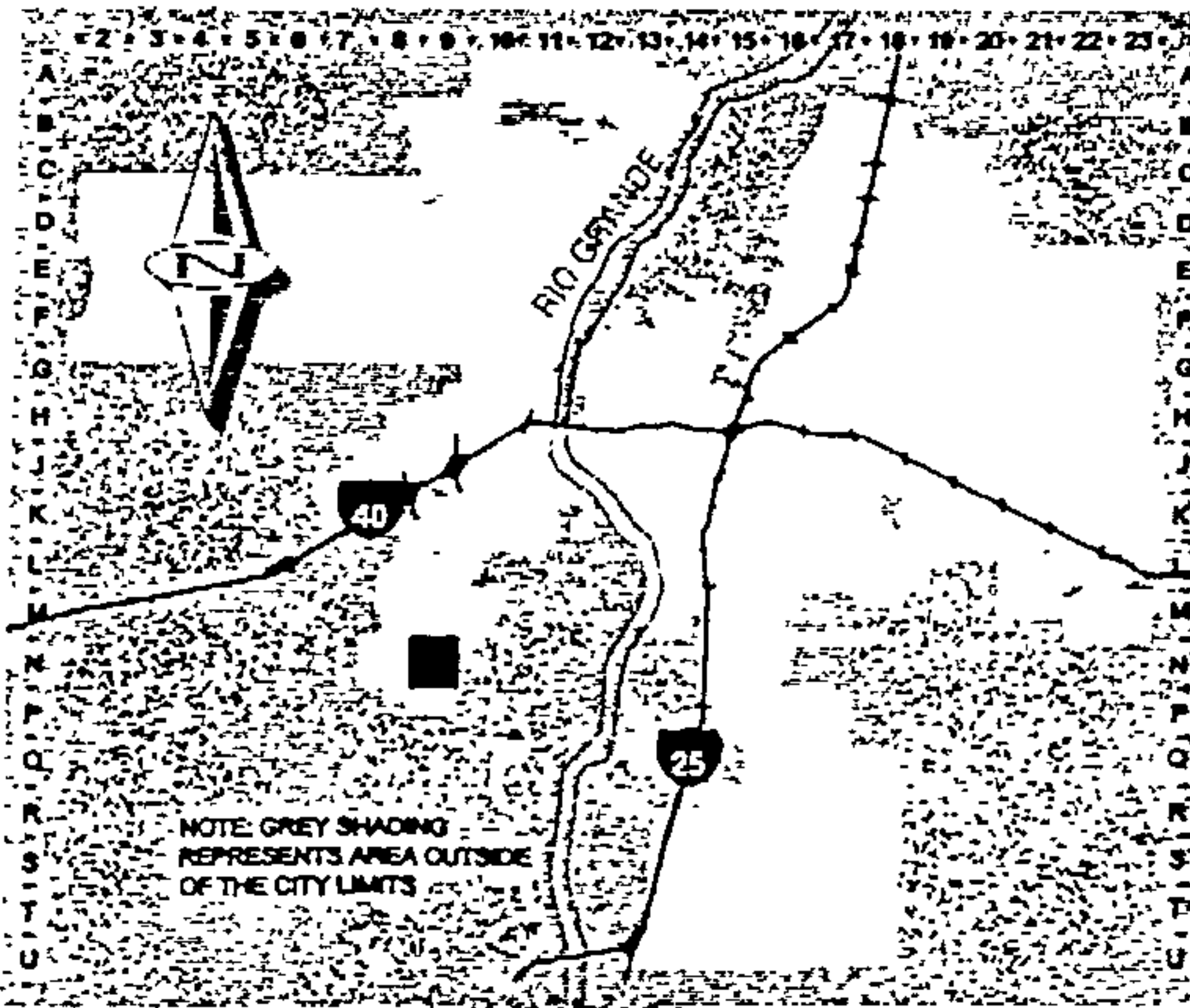
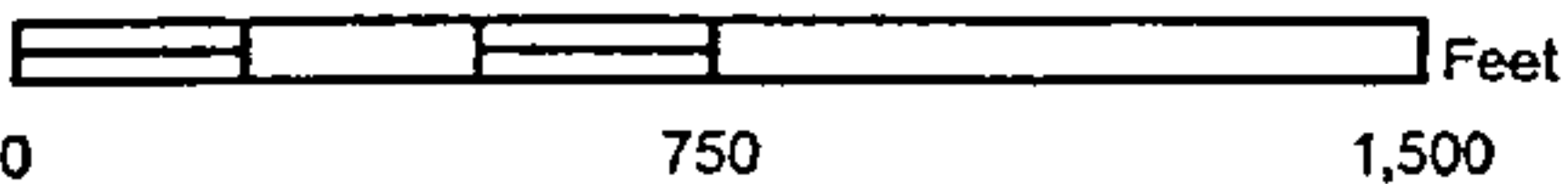


Zone Atlas Page: **N-9-Z**

Map amended through: Aug 06, 2004

Selected Symbols

- |  |                           |  |                        |
|--|---------------------------|--|------------------------|
|  | Unincorporated Areas      |  | Grant Boundaries       |
|  | Sector Plan Boundaries    |  | Petroglyph             |
|  | Parcel Boundaries         |  | H-1 Buffer Zone        |
|  | Easement Lines            |  | Arroyos                |
|  | Freeway Lanes             |  | LDN Noise Level        |
|  | Jurisdictional Boundaries |  | Airport Clearance Zone |
|  | Westgate Wall             |  | Design Overlay Zones   |
|  | Escarpment                |  |                        |



**CITY OF ALBUQUERQUE**  
**THREE HUNDRED YEARS**  
 1706 - 2006  
**ALBUQUERQUE**  
*Haciendo Historia*  
**A**buquerque **G**eographic **I**nformation **S**ystem  
**PLANNING DEPARTMENT**  
 © Copyright 2004





# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: September 17, 2004

TO CONTACT NAME: Beth Gonzales  
COMPANY/AGENCY: Mail Goodman + Assoc PA  
ADDRESS/ZIP: 8916 Adams NE 87113  
PHONE/FAX #: 828-2200 Fax 797-9539

Thank you for your inquiry of 9/17/04 (date) requesting the names of **Recognized**

**Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at Tracts 9-B-1, 9-B-2, + 12-A-2 Atrisco  
Grant, Sec 4, T9N R2E  
zone map page(s) N-9-2

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Westgate Heights NA (R)  
**Neighborhood Association**  
Contacts: Matthew Archuleta  
1628 Summerfield SW 87121  
836-7251  
Libby McIntosh  
1316 Ladronas Ct SW 87121  
831-5189

**Neighborhood Association**  
Contacts: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**See reverse side for additional Neighborhood Association Information: YES { } NO {X}**

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,  
[Signature]  
OFFICE OF NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.

# NOTICE TO APPLICANTS

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

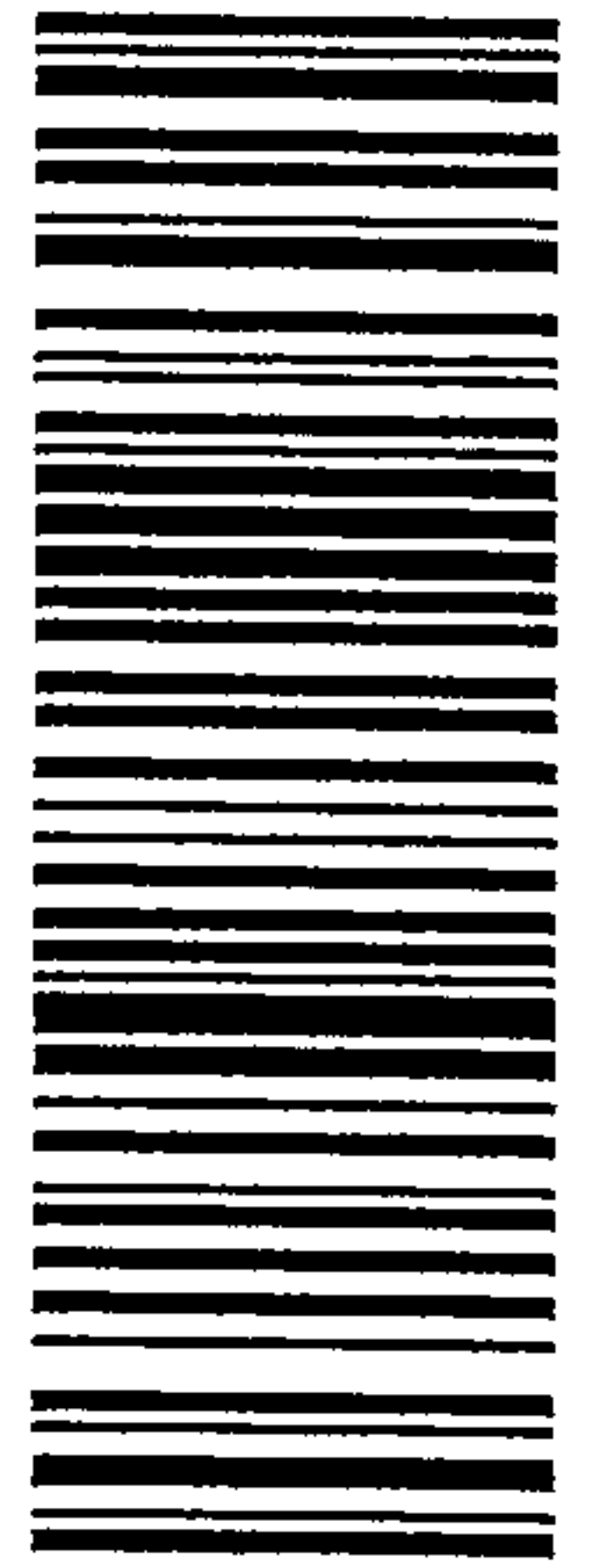
\*\*\*\*\*

(Below this line for ONC use only)

Date of Inquiry: 9/17/04 Time Entered: 10:55 ONC Rep. Initials: JM


SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> <li>Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li> <li>Print your name and address on the reverse so that we can return the card to you.</li> <li>Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>		A. Signature X <input type="checkbox"/> Agent <input type="checkbox"/> Addressee	
1. Article Addressed to: Mr. Matthew Acheleta Westgate Heights N.A. 1628 Summerfield SW Albuquerque, NM 87121		B. Received by (Printed Name) C. Date of Delivery	
		D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
2. Article Number (Transfer from service label)		3. Service Type <input type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
		4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes	

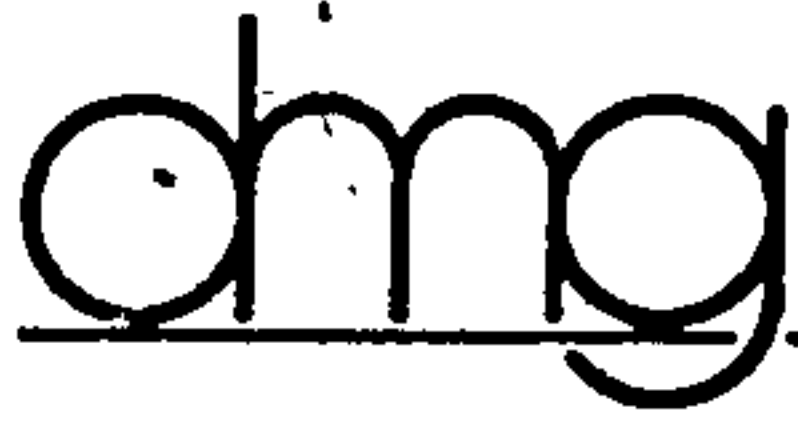
PS Form 3811, February 2004 *A04024-JDH* Domestic Return Receipt 102595-02-M-1540

		<b>U.S. Postal Service</b> <b>CERTIFIED MAIL RECEIPT</b> (Domestic Mail Only; No Insurance Coverage Provided)	
<b>OFFICIAL USE</b>		Postmark Here	
Postage	\$		
Certified Fee			
Return Receipt Fee (Endorsement Required)			
Restricted Delivery Fee (Endorsement Required)			
Total Postage & Fees	\$		
Sent To Mr. Matthew Acheleta Westgate Hts N.A. Street, Apt. No.; or PO Box No. 1628 Summerfield SW City, State, ZIP+4 Albuquerque NM 87121			
PS Form 3800, April 2002		See Reverse for Instructions	

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> <li>Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li> <li>Print your name and address on the reverse so that we can return the card to you.</li> <li>Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>		A. Signature X <input type="checkbox"/> Agent <input type="checkbox"/> Addressee	
1. Article Addressed to: Ms Libby McLintosh Westgate Heights N.A. 1316 Ladrones Ct SW Albuquerque, NM 87121		B. Received by (Printed Name) C. Date of Delivery	
		D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
2. Article Number (Transfer from service label)		3. Service Type <input type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
		4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes	

PS Form 3811, February 2004 *A04024-JDH* Domestic Return Receipt 102595-02-M-1540

		<b>U.S. Postal Service</b> <b>CERTIFIED MAIL RECEIPT</b> (Domestic Mail Only; No Insurance Coverage Provided)	
<b>OFFICIAL USE</b>		Postmark Here	
Postage	\$		
Certified Fee			
Return Receipt Fee (Endorsement Required)			
Restricted Delivery Fee (Endorsement Required)			
Total Postage & Fees	\$		
Sent To Ms. Libby McLintosh, Westgate Hts N.A. Street, Apt. No.; or PO Box No. 1316 Ladrones Ct SW City, State, ZIP+4 Albuquerque NM 87121			
PS Form 3800, April 2002		See Reverse for Instructions	



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539

*September 21, 2004*

*Mr. Matthew Archuleta  
Westgate Heights N. A.  
1628 Summerfield SW  
Albuquerque, NM 87121*

*Ms. Libby McIntosh  
Westgate Heights N. A.  
1316 Ladrones Ct. SW  
Albuquerque, NM 87121*

**Re: El Rancho Grande I, Unit 9B**

*Dear Mr. Archuleta and Ms. McIntosh:*

*Enclosed please find a copy of the Preliminary Plat approval, Vacation of Public Easement and Temporary Sidewalk Deferral application for City of Albuquerque for the referenced project. The anticipated date to be heard October 20, 2004. Please contact James D. Hughes, PE, of our office if you have any questions or concerns.*

*Sincerely,*

**MARK GOODWIN & ASSOCIATES, PA**

*Beth Gonzales*

*JDH/bg*

*Enclosure*



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539

*September 21, 2004*

*Mr. Matthew Archuleta  
Westgate Heights N. A.  
1628 Summerfield SW  
Albuquerque, NM 87121*

*Ms. Libby McIntosh  
Westgate Heights N. A.  
1316 Ladrones Ct. SW  
Albuquerque, NM 87121*

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*Sincerely,*

**MARK GOODWIN & ASSOCIATES, PA**

*Beth Gonzales*

*JDH/bg*

*Enclosure*

**f a c s i m i l e**  
**TRANSMITTAL**

---

**to:** Stephani Winklepleck ~ Neighborhood Coordination  
**fax #** 924-3913  
**re:** El Rancho Grande 9B  
**date:** September 17, 2004  
**pages:** 2, including this cover sheet.

---

---

This is a request for any and all known Neighborhood Associations affiliated with the above referenced project.

**Legal Description:**

Tracts 9-B-1, 9-B-2 & 12-A-2  
Atrisco Grant, Sec 4, T9N, R2E

**Zone Atlas Map:** N-9

**Located:**

On Blake Road NW between the Amole Channel and 98<sup>th</sup> Street NW

**Please return information to:**

Beth Gonzales  
Mark Goodwin & Associates, P.A.  
8916 Adams NE  
Albuquerque, NM 87113  
(505) 828-2200  
(505) 797-9539

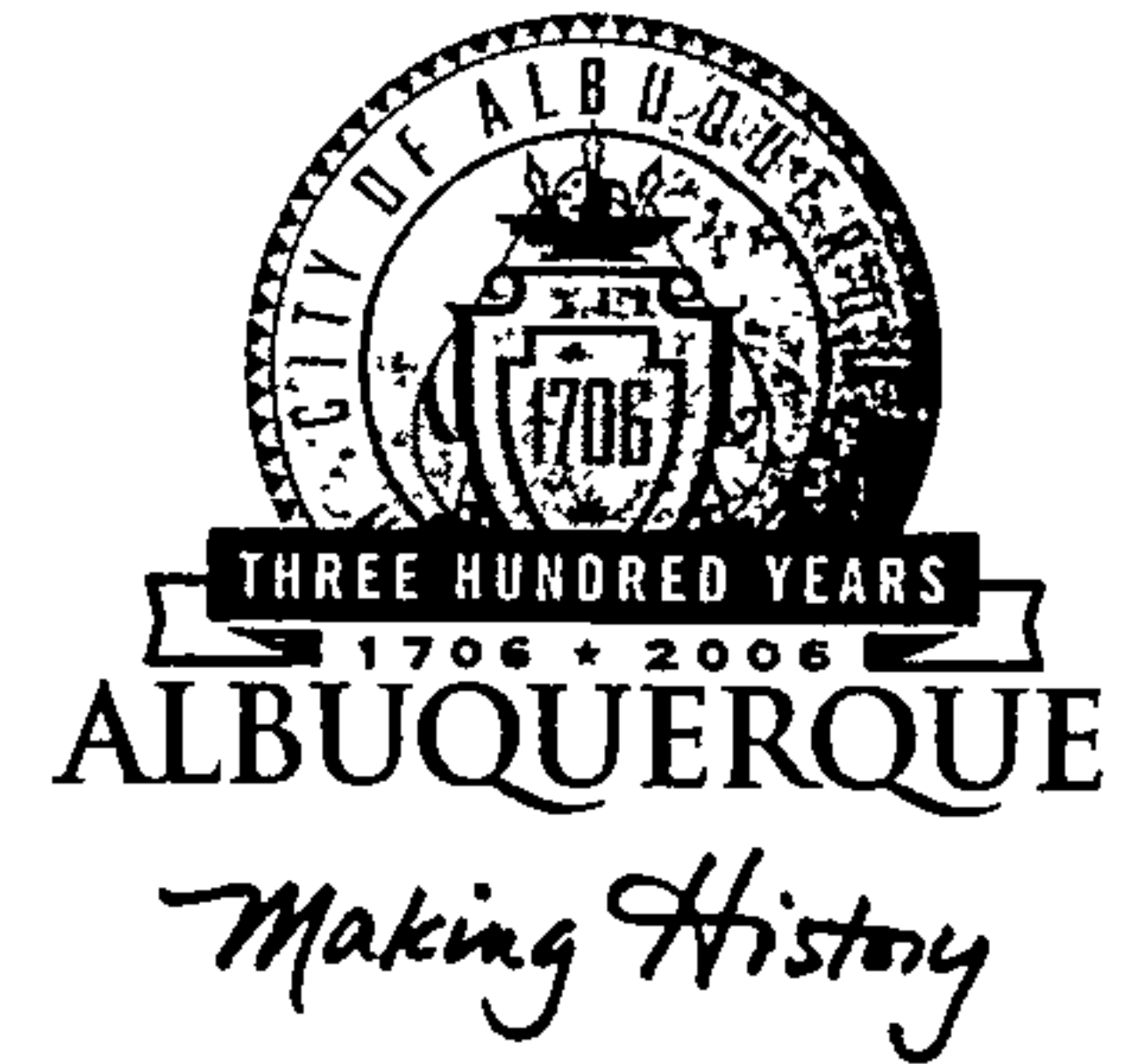
**From the desk of.....**

**Beth Gonzales**

Mark Goodwin & Associates, PA  
PO Box 90606  
Albuquerque, NM 87199

(505) 828-2200  
fax (505) 797-9539  
beth@goodwinengineers.com

# CITY OF ALBUQUERQUE



August 27, 2004

Mark Goodwin, PE  
D. Mark Goodwin & Assoc., P.A.  
P.O. Box 90606  
Albuquerque, NM 87199

RE: Water and Sanitary Sewer Availability - El Rancho Grande Unit 9B  
Lots 9B1, 9B2, and 12A2, El Rancho Grande Unit 1  
Request Received August 10, 2004

N-9

Mr. Goodwin:

**Property Information:** Property consists of a flag-shaped collection of three existing undeveloped parcels totaling 35 acres located southwest of the intersection of Blake Road and the AMAFCA Amole Drainage easement. Zoning is R-LT within the Rio Bravo Sector Plan. Property was platted under a bulk land plat in February 2003, see DRB #1002461.

Proposed is a 193-lot single family residential subdivision with public streets. A Sketch Plat was seen at Development Review Board (DRB) on July 28, 2004, see DRB #1003571. No grading plan was provided.

P.O. Box 1293

**Existing Sanitary Sewer and Water:** There is an existing 12-inch water stub at the Blake Road/Silver Tree Drive intersection built with El Rancho Grande Unit 5A. There are several regional infrastructure projects pending work order approval or construction acceptance. The South Valley Interceptor is the sanitary sewer (SAS) outfall along the east side of your site; this SAS is pending work order, see City Project No. 6993.86. The Rio Bravo 2WR waterline along the west side of Unser, City Project No. 6794.81, has been constructed and is pending acceptance. The 20-inch Rio Bravo Sector 2W/2WR waterline (6795.81) with a 12-inch stub at Blake 1000 feet west of 98<sup>th</sup> has been accepted.

Albuquerque

New Mexico 87103

**Sanitary Sewer Service:** SAS service to your site requires construction of public lines on-site and coverage of the south side of the property in the proposed road right-of-way. The Blake Road 10-inch SAS is being built 17 feet deep at the northeast corner of Tract 9B1; this should be verified for capacity to use as an outfall for your site. Sewer must be sized to accept ultimate flow from upstream basins. NOTE: If the south boundary of Tract 12A2 cannot drain to the new 10-inch line in Blake, another outfall must be constructed along the south property line and discharge east to the interceptor. Service to individual lots shall be by routine connection to the new lines in the public streets.

www.cabq.gov

**Water:** Project is entirely within the 2WR zone. The water plan for the area requires a 12-inch line in Blake and a 12-inch feeder from the south. As you know looping is a requirement. One loop would be from the existing 12-inch stub at Blake/Silver Tree. The other looping connection has two possibilities: east to the existing 10-inch line in Unser or west to the existing 12-inch stub downstream of Sun Gate. The Unser connection requires 800 feet of waterline in off-site easements and an AMAFCA channel crossing. The Blake west connection requires constructing a PRV and extending 1600 feet of waterline from the existing 2W stub. Frontages must be covered per policy. Fire hydrant locations must meet Fire Marshal approval. There may be no dead-end lines on-site.

El Rancho Grande  
August 27, 2004  
Page 2

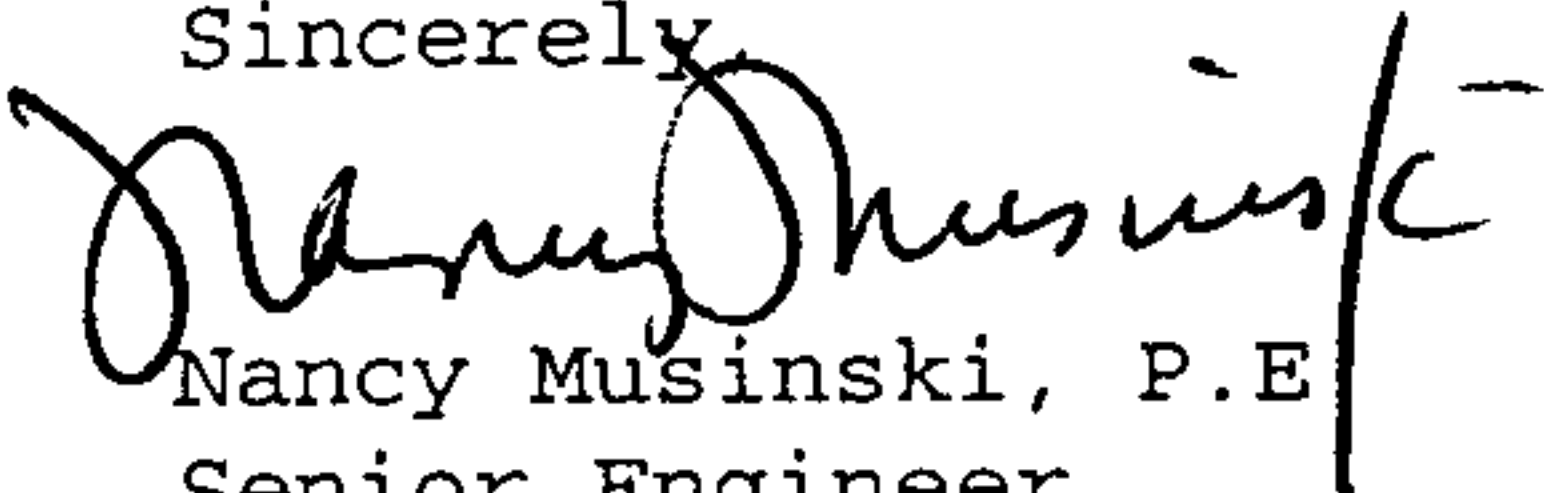
**Easements:** The plat shall provide EXCLUSIVE City of Albuquerque public water and sewer easements for all lines constructed outside dedicated right-of-way. Public water and sewer require a minimum 25-foot wide easement. A single utility (either water or sewer) requires a minimum 20-foot wide easement. Deep sanitary sewer lines may require more width to accommodate a 1:1 trench prism.

**Design and construction** of all required improvements will be at the developer / property owners expense and must be coordinated through the City of Albuquerque 'COA' via the 'DRC / City Work Order' process. Designs must be by a New Mexico registered professional engineer. Construction must be by a licensed, bonded public utility contractor.

**Utility Expansion Charges:** In addition to installation and construction costs, both sanitary sewer and metered water service will be subject to Utility Expansion Charges 'UEC' payable at the time service is requested.

This statement of availability will remain in effect for a period of one year and applies only to the development identified herein. Its validity is in part contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to our attention as soon as possible. Any outstanding pro rata and standby assessments must be paid at the time service is taken. All charges and rates collected will be based upon applicable ordinances and policies in effect at the time service is actually requested and authorized. Please do not hesitate to call if you have questions or need additional information: 924-3988.

Sincerely,

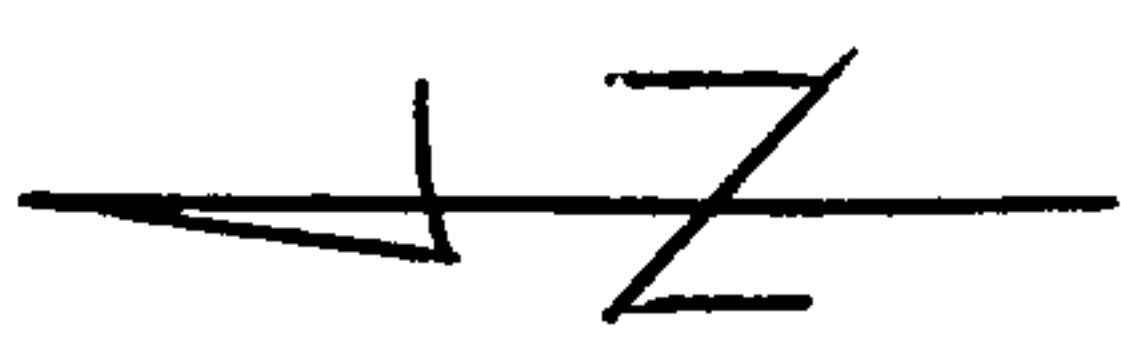


Nancy Musinski, P.E.  
Senior Engineer  
Utility Development Section

Attachments: System Map

c: f/ DRB #1003571  
f/ reader's #40807  
f/ availability N-9

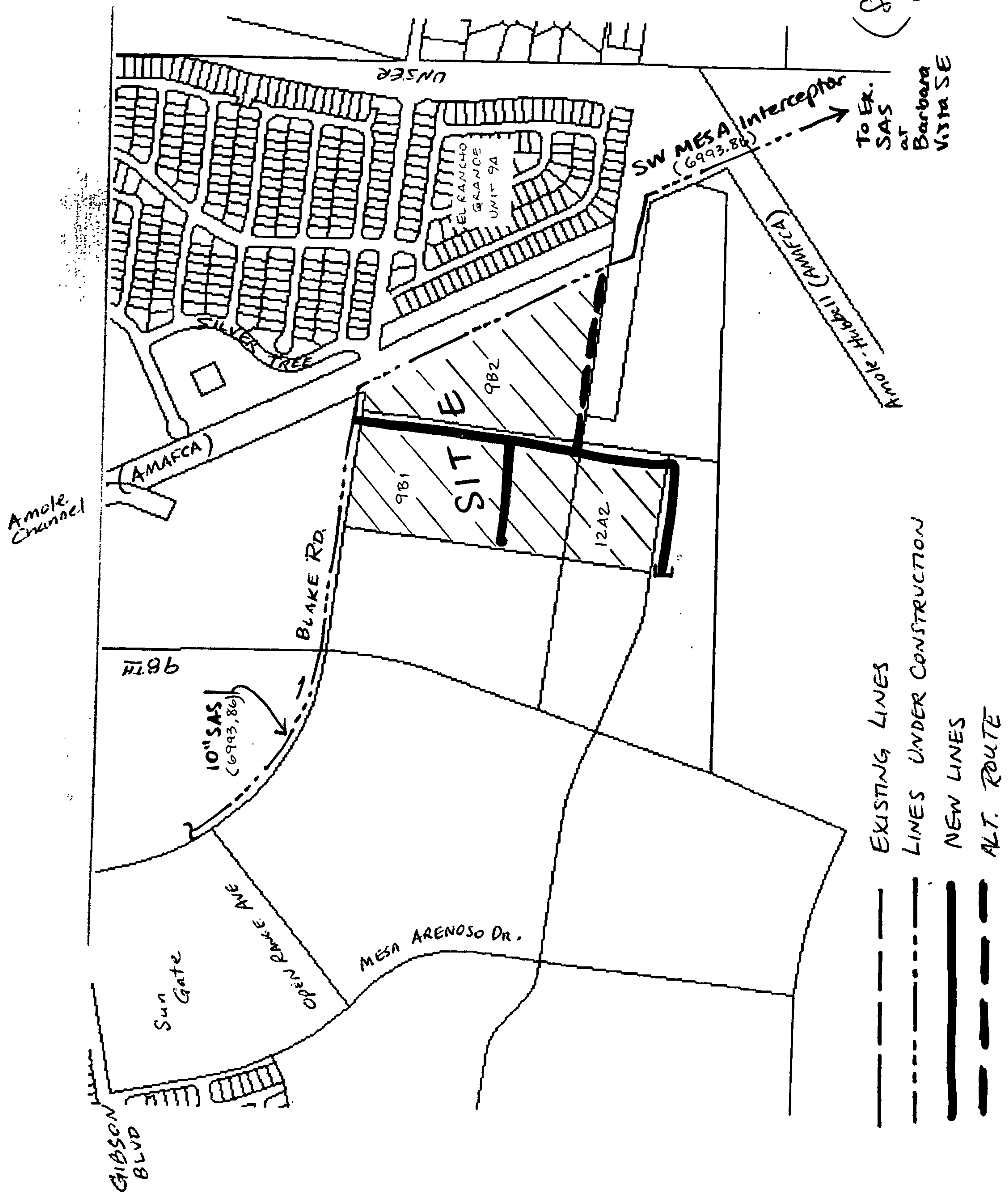




N-9

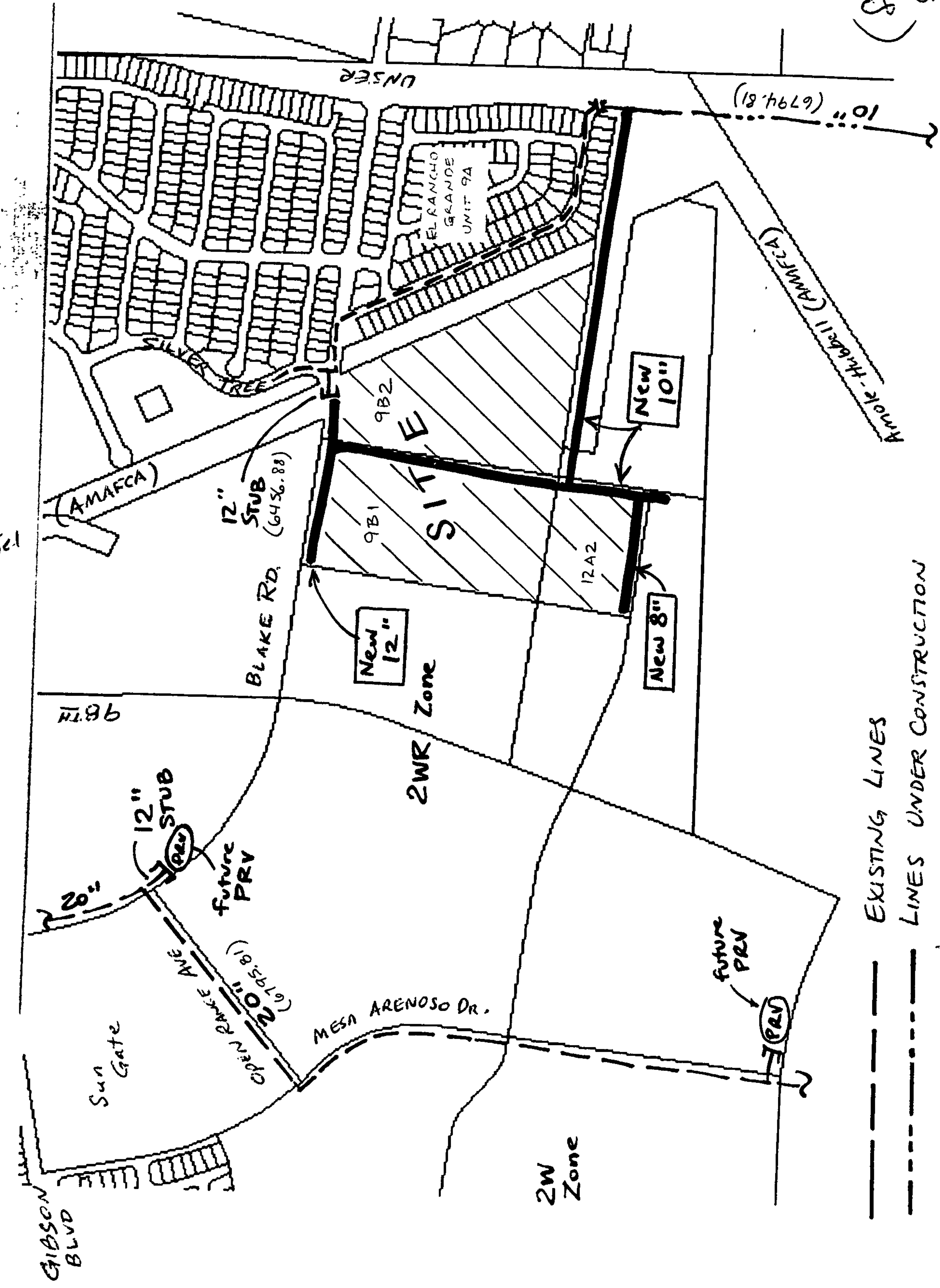
SANITARY  
SEWER  
(SAS)

(See avail  
letter # 40807)



- EXISTING LINES
- - - LINES UNDER CONSTRUCTION
- NEW LINES
- - - ALT. ROUTE

N-9  
WATER



(See aerial letter # 40807)

- EXISTING LINES
- · - LINES UNDER CONSTRUCTION
- NEW LINES

**ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services**

**PAID RECEIPT**

APPLICANT NAME Curb, Inc  
 AGENT Mark Goodwin  
 ADDRESS \_\_\_\_\_  
 PROJECT & APP # 1003571 / 04 DRB 01517 - 01520  
 PROJECT NAME E1 Rancho Grande I Unit 9-B

\$ 20.00 441032/3424000 Conflict Management Fee  
 \$ 3890.00 441006/4983000 DRB Actions  
 \$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
 \$ 75.00 441018/4971000 Public Notification  
 \$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
 ( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
 ( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
 ( ) Traffic Impact Study  
 \$ 3985.00 TOTAL AMOUNT DUE

**\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

City Of Albuquerque  
Treasury Division

10/1/2004 4:26PM LOC: ANNX  
 RECEIPT# 00030170 WSH 006 TRANSH 0042  
 Account 441006 Fund 0110  
 Activity 4983000 TRSEJA  
 Trans Amt \$3,985.00

10/1/2004 4:26PM LOC: ANNX  
 RECEIPT# 00030169 WSH 006 TRANSH 0042  
 Account 441032 Fund 0110  
 Activity 3424000 TRSEJA  
 Trans Amt \$3,985.00  
 J24 Misc \$20.00

Thank You

<b>CURB, INC.</b> PH. 881-9190 5160 SAN FRANCISCO NE ALBUQUERQUE, NM 87109	Thank You <b>6337</b> 95-660/1070 2025113388
City Of Albuquerque Treasury Division <b>\$3985.00</b>	<b>DATE 10/1/2004</b> <b>City Of Albuquerque</b> <b>Treasury Division</b>
<b>City of Albuquerque</b> <i>Three thousand nine hundred and eighty five and no/100</i>	<b>DATE 10/1/2004</b> <b>City Of Albuquerque</b> <b>Treasury Division</b>
<b>BANK OF ALBUQUERQUE</b> Albuquerque, New Mexico www.bankofalbuquerque.com <b>ELRG 9-B -</b>	<b>DATE 10/1/2004</b> <b>City Of Albuquerque</b> <b>Treasury Division</b>
<b>1070066061 2025113388</b>	<b>DATE 10/1/2004</b> <b>City Of Albuquerque</b> <b>Treasury Division</b>

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from OCT 19, 2004 To NOV. 3, 2004

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

James D. Hughes  
(Applicant or Agent)

1-10-04  
(Date)

I issued 2 signs for this application, 10-1-04  
(Date)

Babbie Sue  
(Staff Member)

DRB PROJECT NUMBER: 1003571

# EL RANCHO GRANDE UNIT 9B

#1003571

## SIDEWALK EXHIBIT

LEGEND  
 - - - - - Constructed  
 ..... Deferred  
 ..... Waved  
 ..... XXXXX

SCALE: 1" = 300'



L1	40.45'	N
L2	118.97'	E

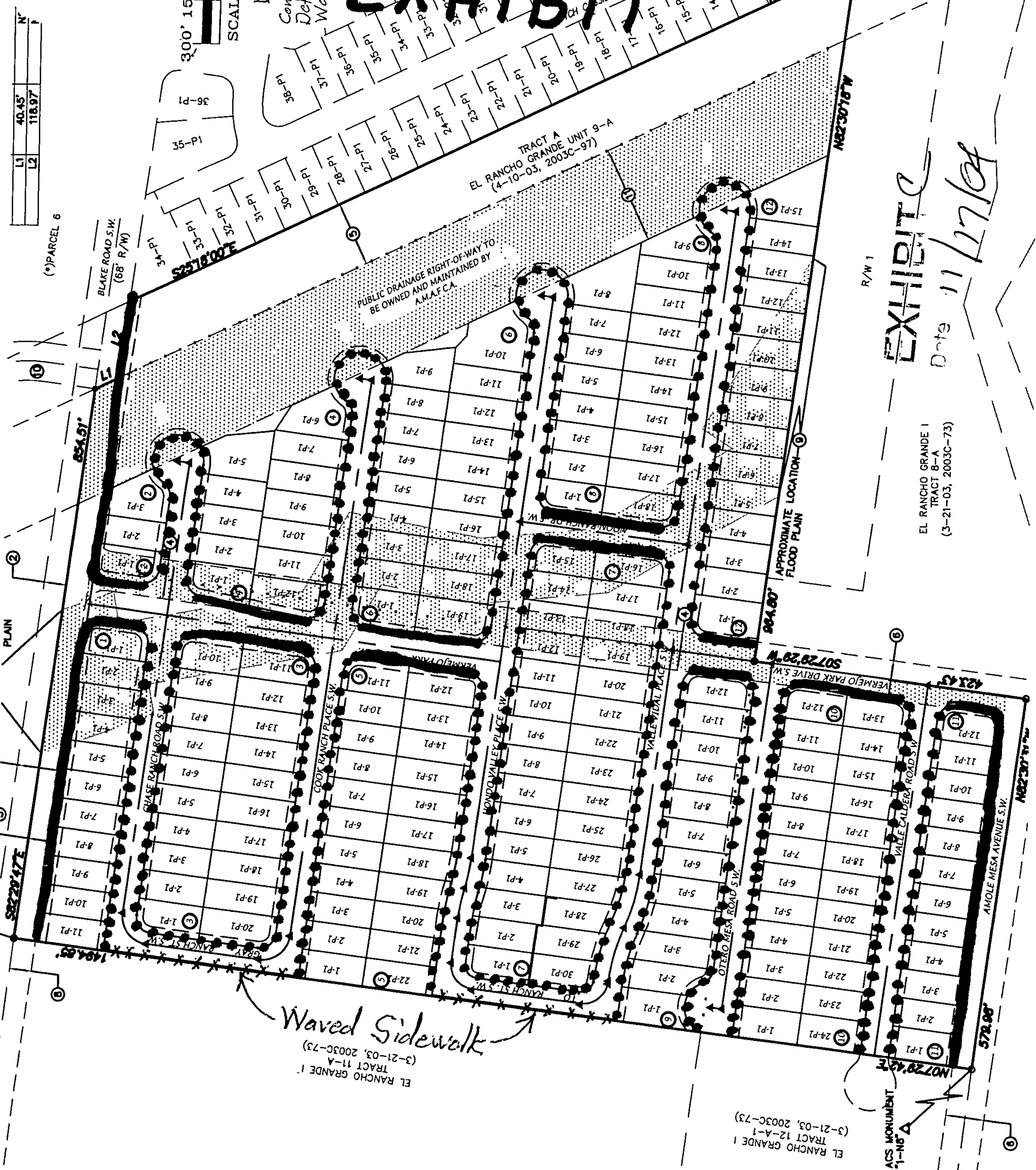


EXHIBIT C  
 Date 11/17/04

EL RANCHO GRANDE I  
 TRACT 8-A  
 (3-21-03, 2003C-73)

Waved Sidewalk

EL RANCHO GRANDE I  
 TRACT 11-A  
 (3-21-03, 2003C-73)

EL RANCHO GRANDE I  
 TRACT 12-A-1  
 (3-21-03, 2003C-73)

**INFRASTRUCTURE LIST**

Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: 1003571  
DRB Application No.: \_\_\_\_\_

**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**El Rancho Grande I, Unit 9B**  
**PROPOSWD NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Tracts 9-B-1, 9-B-2 and 12-A-2, El Rancho Grande I**  
**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		30' FF	Art Pvmnt C & G, Std (South Side) 6' Sidewalk (South Side)	Blake Road SW	West Property Line	Silver Tree	/	/	/
		44' FF	Res Pvmnt C & G, Std 6' Sidewalk (Both Sides)	Vermejo Park Dr SW	~ Blake Road SW	Chase Ranch Pl.SW	/	/	/
		VARIES 44-24'FF 6'	Res Pvmnt C & G, Std 6' Sidewalk (Both Sides)	Vermejo Park Dr SW	~ Chase Ranch Pl.SW	Cook Ranch Pl. SW	/	/	/
		24' FF	Res Pvmnt C & G, Std 6' Sidewalk (Both Sides)	Vermejo Park Dr SW	~ Cook Ranch Pl. SW	Hondo Valley Pl. SW	/	/	/
		26' FF	Res Pvmnt C & G, Std 4' Sidewalk (Both Sides) *	Chase Ranch Pl.SW	Gray Ranch Pl. SW	Cul de Sac	/	/	/
		26' FF	Res Pvmnt C & G, Std 4' Sidewalk (Both Sides) *	Cook Ranch Pl. SW	Chase Ranch Pl.SW	Cul de Sac	/	/	/
		24' FF	Res Pvmnt C & G, Std 4"	Gray Ranch Pl. SW	Chase Ranch Pl.SW	Cook Ranch Pl. SW SW	/	/	/
		4"	Sidewalk (East Side only) *						

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Hondo Valley Pl. SW	To Ranch St SW	Vermejo Park Dr SW	/	/	/
		26' FF 6'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Hondo Valley Pl SW	Vermejo Park Dr SW	Noon Ranch Dr SW	/	/	/
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Hondo Valley Pl. SW	Noon Ranch Dr.SW	Cul de Sac	/	/	/
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Valle Vidal Pl. SW	To Ranch St SW	Vermejo Park Dr SW	/	/	/
		26' FF 6'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Valle Vidal Pl. SW	Vermejo Park Dr SW	Noon Ranch Dr.SW	/	/	/
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides)	Valle Vidal Pl. SW	Noon Ranch Dr.SW	Cul de Sac	/	/	/
		24' FF 6'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Noon Ranch Dr.SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		24' FF 4'	Res Pvmnt C & G, Std Sidewalk (East Side only) *	To Ranch St SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Otero Mesa Rd.	Cul de Sac	Vermejo Park Dr SW	/	/	/
		26' FF 4'	Res Pvmnt C & G, Std Sidewalk (Both Sides) *	Valle Caldera Rd SW	West Boundry	Vermejo Park Dr SW	/	/	/
		35' Radius	Res Pvmnt	Tract 12-A-1, temp esm't	West Boundry	cul-de-sac	/	/	/
		24' FF 6'	Res Pvmnt C & G, Std Sidewalk (Both Sides)	Vermejo Park Dr SW	Hondo Valley Pl. SW	Otero Mesa Rd.	/	/	/
		24' FF 6'	Res Pvmnt C & G, Std Sidewalk (West Side only)	Vermejo Park Dr SW	Otero Mesa Rd.	Amole Mesa Ave. SW	/	/	/
		24' FF 6'	Res Pvmnt C & G, Std Sidewalk (north side only) *	Amole Mesa Ave. SW	West Boundry	Vermejo Park Dr SW	/	/	/



Project name:

El Rancho Grande I, Unit 9B

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		12"	Waterline	Blake Road SW	West Property Line	Silver Tree	/	/	/
		6"	Waterline	Vermejo Park Dr SW	~ Blake Road SW	Hondo Valley Pl. SW	/	/	/
		6"	Waterline	Chase Ranch Pl SW	Gray Ranch Pl. SW	Cul de Sac	/	/	/
		6"	Waterline	Cook Ranch Pl. SW SW	Gray Ranch St. SW	Cul de Sac	/	/	/
		6"	Waterline	Gray Ranch St. SW	Chase Ranch Pl. SW	Cook Ranch Pl SW SW	/	/	/
		6"	Waterline	Hondo Valley Pl. SW	To Ranch St SW	Cul de Sac	/	/	/
		6"	Waterline	Valle Vidal Pl. SW	To Ranch St SW	Vermejo Park Dr SW	/	/	/
		10"	Waterline	Valle Vidal Pl. SW	Vermejo Park Dr SW	Amole chan R/W	/	/	/
		10"	Waterline	Noon Ranch Rd. SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/
		6"	Waterline	To Ranch St SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/
		6"	Waterline	Otero Mesa Rd.	Cul de Sac	Vermejo Park Dr SW	/	/	/
		6"	Waterline	Valle Caldera Rd SW	West Boundry	Vermejo Park Dr SW	/	/	/
		10"	Waterline	Vermejo Park Dr SW	Valle Vidal Pl. SW	Amole Mesa Ave. SW	/	/	/
		10"	Waterline	Amole Mesa Ave. SW	West Boundry	Vermejo Park Dr SW	/	/	/
		8"	Waterline	Amole channel R/W	Blake Rd.	South Boundry			
		10"	Waterline	Amole channel R/W	East Boundry	Unser Blvd.	/	/	/

Project name:

El Rancho Grande I, Unit 9B

SIA SWquence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			SAS				/	/	/
		8"	SAS	Chase Ranch Pl SW	Gray Ranch Pl. SW	Cul de Sac	/	/	/
		8"	SAS	Vermejo Park Dr SW	Chase Ranch Pl. SW	Cook Ranch Pl. SW SW	/	/	/
		8"	SAS	Cook Ranch Pl. SW SW	Gray Ranch St. SW	Cul de Sac <sup>(7)</sup>	/	/	/
		8"	SAS	Hondo Valley Pl. SW	To Ranch St SW	Cul de Sac <sup>(7)</sup>	/	/	/
		8"	SAS	Noon Ranch Dr. SW	Hondo Valley Pl. SW	Valle Vidal Pl. SW	/	/	/
		8"	SAS	Valle Vidal Pl. SW	To Ranch St SW	Vermejo Park Dr SW	/	/	/
		10" <sup>(8)</sup>	SAS	Valle Vidal Pl. SW	Vermejo Park Dr SW	Cul de Sac <sup>(7)</sup>	/	/	/
		8"	SAS	Otero Mesa Rd	Cul de Sac	Vermejo Park Dr SW	/	/	/
		8"	SAS	Valle Caldera Rd SW	West Boundry	Vermejo Park Dr SW	/	/	/
		10" <sup>(8)</sup>	SAS	Amole Mesa Ave. SW	West Boundry	Vermejo Park Dr SW	/	/	/
		10" <sup>(8)</sup>	SAS	Vermejo Park Dr SW	Amole Mesa Ave. SW	Valle Vidal Pl. SW	/	/	/
			<b>DRAINAGE</b>				/	/	/
		96" <sup>(8)</sup>	RCP Storm drain	Blake Road SW	West Boundry	Amole Channel	/	/	/
		84" <sup>(8)</sup>	RCP Storm drain	Amole Mesa Ave. SW	West Boundry	Vermejo Park Dr SW	/	/	/
		84" <sup>(8)</sup>	RCP Storm drain	Vermejo Park Dr SW	Amole Mesa Ave. SW	AMAFCA R/W	/	/	/
		84" <sup>(8)</sup>	RCP Storm drain	AMAFCA R/W	Vermejo Park Dr SW	Amole Channel	/	/	/
		per design	Amole Channel And Culverts <sup>(10)</sup>	Amole right of way	N. R/W Blake Rd.	AMAFCA R/W	/	/	/
		1'	CMU wall	West Boundry	Blake Road SW	Amole Mesa Ave. SW	/	/	/

Project name: El Rancho Grande I, Unit 9B

- \* Sidewalks to be deferred
- 1 Financially Guaranteed w/ COA Project # 729781
- 2 Water infrastructure to include valves, fittings, valveboxes and fire hydrants.
- 3 Sanitary sewer to include manholes and service connections.
- 4 Storm Drain to includes inlets, manholes
- 5 Private Grading & Drainage Certification per DPM for Release of SIA and Financial Guarantees. Financial Guarantee is not required for this item
- 6 Street lights per DPM
- 7 12' Gravel access roads for vector maintainance to be constructed to manholes in the Amole Right Of Way.
- 8 Size to be determined/verified by analysis demonstrating upstream capacity prior to DRC approval (see city project 7472.81 for separate financial guarantee and construction)
- 9 Approved Lomr for Release of SIA & Financial Guarantee
- 10 Per separate contract with AMAFCA (Not included in Financial Guarantees)

<b>AGENT / OWNER</b>	<b>DEVELOPMENT REVIEW BOARD MEMBER APPROVALS</b>
----------------------	--

**James D. Hughes, P.E.**  
NAME (print)

**MARK GOODWIN & ASSOCIATES**  
FIRM

\_\_\_\_\_  
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
EXTENSION: N/A

\_\_\_\_\_  
DRB CHAIR - date

\_\_\_\_\_  
TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_  
UTILITY DEVELOPMENT - date

\_\_\_\_\_  
CITY ENGINEER - date

\_\_\_\_\_  
PARKS & GENERAL SERVICES - date

\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
- date

\_\_\_\_\_  
- date

<b>DESIGN REVIEW COMMITTEE REVISIONS</b>
--

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

VACATION EXHIBIT  
**EL RANCHO GRANDE I  
 UNIT 9-B, SUBDIVISION**

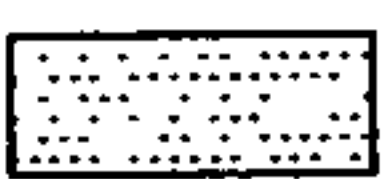
WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 NOVEMBER, 2004

**EASEMENTS**

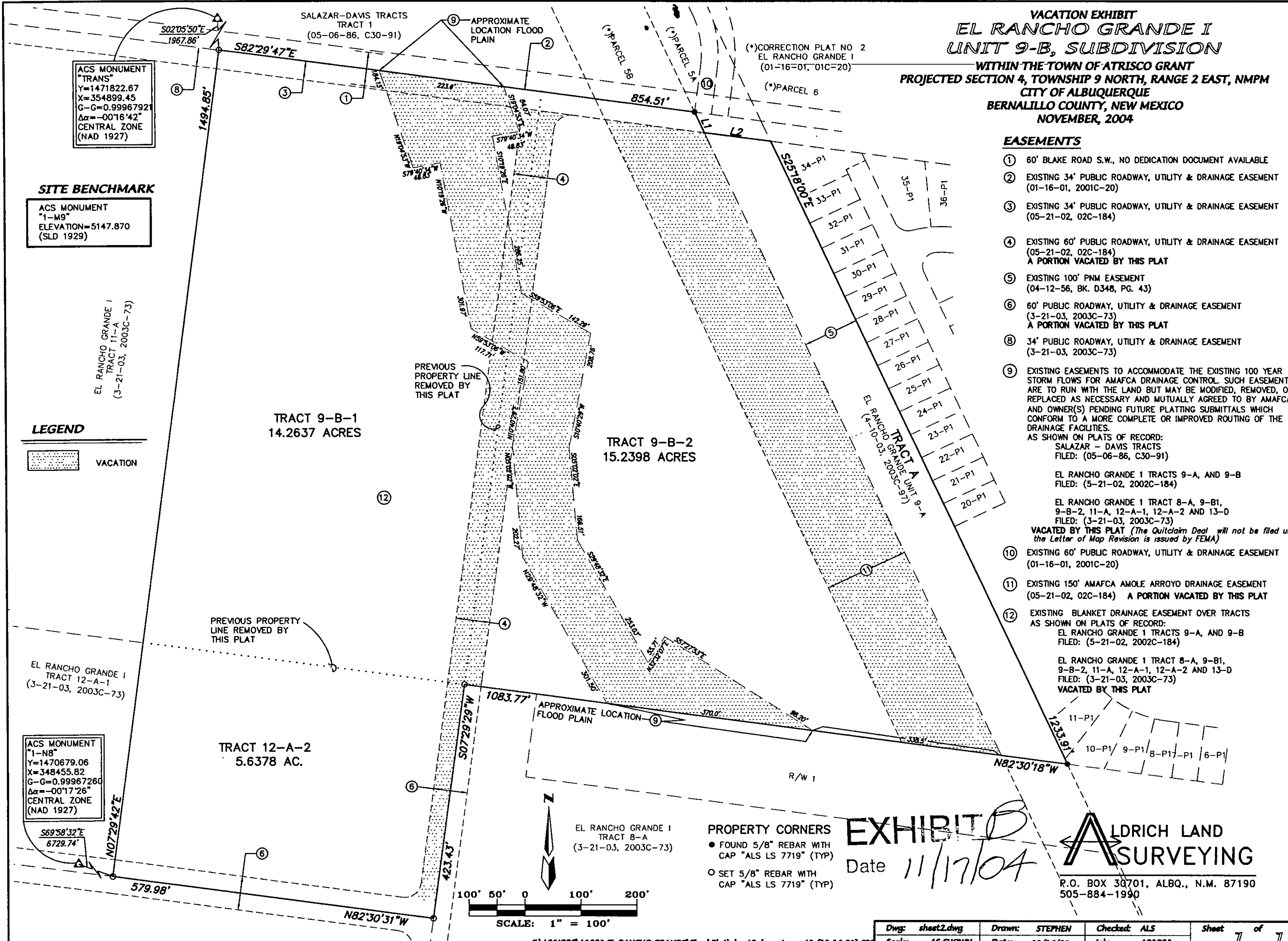
- ① 60' BLAKE ROAD S.W., NO DEDICATION DOCUMENT AVAILABLE
- ② EXISTING 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
- ③ EXISTING 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 02C-184)
- ④ EXISTING 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 02C-184)  
 A PORTION VACATED BY THIS PLAT
- ⑤ EXISTING 100' PNM EASEMENT (04-12-56, BK. D348, PG. 43)
- ⑥ 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (3-21-03, 2003C-73)  
 A PORTION VACATED BY THIS PLAT
- ⑧ 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (3-21-03, 2003C-73)
- ⑨ EXISTING EASEMENTS TO ACCOMMODATE THE EXISTING 100 YEAR STORM FLOWS FOR AMAFCA DRAINAGE CONTROL. SUCH EASEMENTS ARE TO RUN WITH THE LAND BUT MAY BE MODIFIED, REMOVED, OR REPLACED AS NECESSARY AND MUTUALLY AGREED TO BY AMAFCA AND OWNER(S) PENDING FUTURE PLATTING SUBMITTALS WHICH CONFORM TO A MORE COMPLETE OR IMPROVED ROUTING OF THE DRAINAGE FACILITIES.  
 AS SHOWN ON PLATS OF RECORD:  
 SALAZAR - DAVIS TRACTS  
 FILED: (05-06-86, C30-91)  
 EL RANCHO GRANDE 1 TRACTS 9-A, AND 9-B  
 FILED: (5-21-02, 2002C-184)  
 EL RANCHO GRANDE 1 TRACT 8-A, 9-B1,  
 9-B-2, 11-A, 12-A-1, 12-A-2 AND 13-D  
 FILED: (3-21-03, 2003C-73)  
 VACATED BY THIS PLAT (The Quitclaim Deal will not be filed until the Letter of Map Revision is issued by FEMA)
- ⑩ EXISTING 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
- ⑪ EXISTING 150' AMAFCA AMOLE ARROYO DRAINAGE EASEMENT (05-21-02, 02C-184) A PORTION VACATED BY THIS PLAT
- ⑫ EXISTING BLANKET DRAINAGE EASEMENT OVER TRACTS AS SHOWN ON PLATS OF RECORD:  
 EL RANCHO GRANDE 1 TRACTS 9-A, AND 9-B  
 FILED: (5-21-02, 2002C-184)  
 EL RANCHO GRANDE 1 TRACT 8-A, 9-B1,  
 9-B-2, 11-A, 12-A-1, 12-A-2 AND 13-D  
 FILED: (3-21-03, 2003C-73)  
 VACATED BY THIS PLAT

ACS MONUMENT  
 "TRANS"  
 Y=1471822.67  
 X=354899.45  
 G-G=0.99967921  
 Δα=-00°16'42"  
 CENTRAL ZONE  
 (NAD 1927)

**SITE BENCHMARK**  
 ACS MONUMENT  
 "1-M9"  
 ELEVATION=5147.870  
 (SLD 1929)

**LEGEND**  
 VACATION

ACS MONUMENT  
 "1-N8"  
 Y=1470679.06  
 X=348455.82  
 G-G=0.99967260  
 Δα=-00°17'26"  
 CENTRAL ZONE  
 (NAD 1927)



**EXHIBIT B**  
 Date 11/17/04

**ALDRICH LAND  
 SURVEYING**

R.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990

Dwg: sheet2.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 1
Scale: AS SHOWN	Date: 11/16/04	Job: A04024	



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539

November 16, 2004

Ms. Sheran Matson, Chair  
Design Review Board, City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**Re: El Rancho Grande, Unit 9B (DRB# 1003571)**

Dear Ms. Matson:

Please find enclosed:

- Revised Preliminary Plat
- Revised Vacation Exhibit
- Revised Sidewalk Exhibit
- Revised Infrastructure List

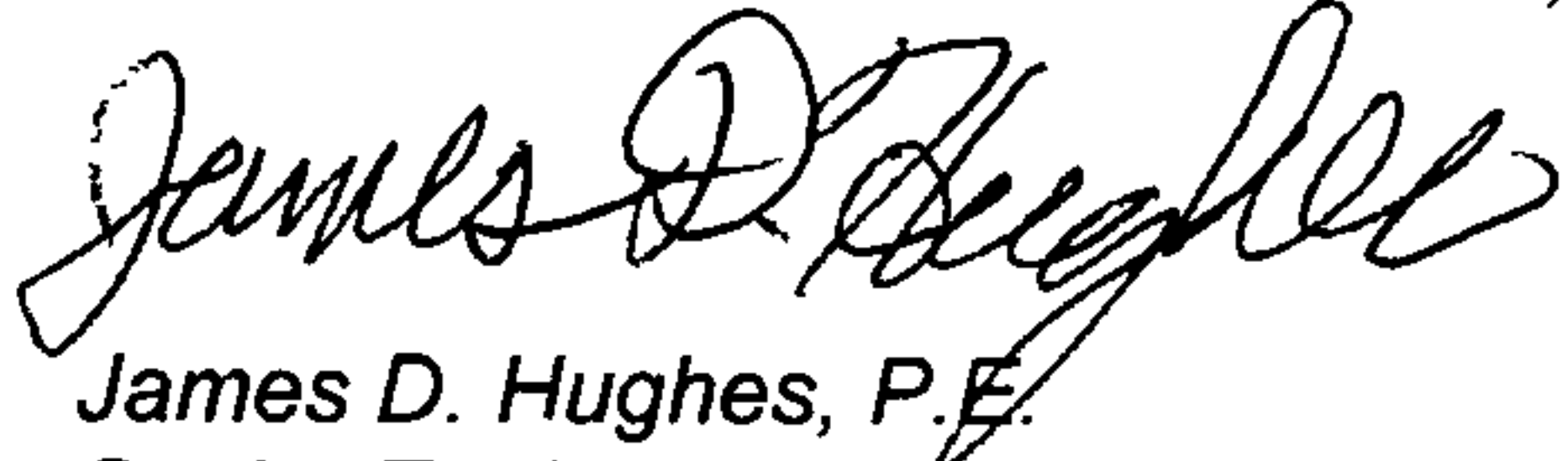
In response to the comments made at the first hearing, the following changes have been made:

1. AMAFCA's comments were addressed by adding Tract A of El Rancho Grande, Unit 9A to the Preliminary Plat to be dedicated to AMAFCA by this plat and by clarifying quitclaim of Easements # 9 & # 11..
2. The infrastructure list was revised per comments from City Engineering and Utilities Development.
3. Vermijo Park Drive connection to Blake Road and Noon Ranch Drive were relocated to better conform with the sector plan per transportation comments. The vacation on Vermijo Park Drive was reduced leaving 5' for future vacation by the neighbor to the east. Blake Road was widened to accommodate the bike lanes both on the plat and infrastructure list. Six foot sidewalks were added along the major local street on the infrastructure list. The layout and street name changes were made to the Sidewalk Exhibit and Preliminary Plat and the Owner and City Surveyor's signatures were updated

If you have any questions or need further clarification, please feel free to give me a call..

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

  
James D. Hughes, P.E.  
Senior Engineer

JDH/bg

cc: Roger Green, Utility Division; Brad Bingham, Hydrology; Wilfred Gallegos, Transportation;  
Christina Sandoval, Parks & Recreation; Bo Johnson, Curb, Inc.; Lynn Mazur, AMAFCA

F:\A04024-El Rancho Grande 9B\DRB Comments Ltr

\*\*\*\*\*  
\*\*\* TX REPORT \*\*\*  
\*\*\*\*\*

TRANSMISSION OK

TX/RX NO 2321  
CONNECTION TEL 97979539  
SUBADDRESS  
CONNECTION ID  
ST. TIME 10/12 15:56  
USAGE T 00'49  
PGS. 2  
RESULT OK

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
FAX FORM**

TO: Doug Hughes FAX# 797-9539

# PAGES (INCLUDING COVER SHEET) 2

FROM: **Sheran Matson, DRB Chair** FAX# 924-3864 PHONE # 924-3880

# 1003571

COMMENTS:

Planning comments.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**PUBLIC HEARING—DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, November 3, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

**Project # 1003571**

04DRB-01517 Major-Vacation of Public Easements

04DRB-01518 Major-Preliminary Plat Approval

04DRB-01519 Minor-Sidewalk Waiver

04DRB-01520 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on **BLAKE RD NW**, between **AMOLE CHANNEL** and **98<sup>TH</sup> ST NW** containing approximately 36 acre(s). [REF: 04DRB01134] (N-9)

✓ The perimeter wall design needs an additional note stating the pilasters shall project a minimum of 2 inches on the public side. The maximum height of the wall is missing. The design sheet is lacking the Zone Atlas page and the nearest intersection. Three copies of a location map showing where the walls will be constructed are needed. The map should be the same size as the design sheet. Be sure Planning receives 3 copies of the revised wall submittal by Monday, November 1<sup>st</sup> at noon to avoid deferral.

✓ No objection to the vacation requests. Defer to Transportation, Utilities and Hyrdology.

✓ No objection to the sidewalk action or approval of the preliminary plat once the wall design is approved. However, Planning needs one copy of the preliminary plat with the current zoning listed under "Subdivision Data" for the file by Monday, November 1<sup>st</sup> at noon to avoid deferral. The Subdivision Ordinance requires that zoning be listed on the preliminary plat.



CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

November 3, 2004

**Project # 1003571**

04DRB-01517 Major-Vacation of Public Easements

04DRB-01518 Major-Preliminary Plat Approval

04DRB-01519 Minor-Sidewalk Waiver

04DRB-01520 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on BLAKE RD NW, between AMOLE CHANNEL and 98<sup>TH</sup> ST NW containing approximately 36 acre(s). [REF: 04DRB01134] (N-9)

AMAFCA

AMAFCA approves the subdivision for Preliminary Plat. However, the following items need to be addressed for Final Plat and before work order plans are approved for the Amole Channel:

1. The existing 150-foot AMAFCA drainage easement and the 100-foot PNM easement must be dedicated in fee to AMAFCA. The right-of-way will go around the cul-de-sacs.
2. A Quitclaim / Release of Easement Deed will need to be approved by the AMAFCA Board of Directors for the existing floodplain easement, No. 9, and the 150-foot drainage easement, No. 11.
3. Language will be added to the plat that states that the Quitclaim Deed for easement No. 9 it will not be filed until the Letter of Map Revision is approved by FEMA. An Encroachment Permit to allow grading to proceed within the AMAFCA easement will be required.

COG

The Long Range Roadway System map identifies Blake Road as a collector. Typical right of way on collector streets is 68'. The Long Range Bikeway System map identifies the section of Blake Road between Unser Boulevard and Paseo del Volcan as a Study Corridor, and the section of Blake Road to the east of Unser as having on-street bike lanes. MRCOG is unaware that a study for the section of Blake Road on the northern boundary of the proposed project has been completed, however, it is reasonable to require the additional right of way (approximately 12') necessary to accommodate on street bike lanes on Blake Road along the northern boundary of the proposed project.



COG

Further supporting this recommendation is the City of Albuquerque's On Street Bicycle Plan and the adopted City Council policy that provides that new roadways with a functional classification of collector and above be implemented to include on-street bike lanes. Continuation of planned bike lanes in this area will promote the goals included in the approved 2025 Metropolitan Transportation Plan, specifically those for multimodal travel opportunities.

Transit No objection to any of the requests.

Zoning Enforcement No comments received.

Neighborhood Coordination

Letter sent to Westgate Heights (R) Neighborhood Assn.

APS No comments received.

Police Department

A review of following case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Maintenance of landscaping.

Fire Department

Fire Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Electric & Gas Approves.

Comcast No comments received.

QWEST No comments received.

Environmental Health Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer            No objection to the vacation of floodplain easement provided AMAFCA board has released it. An approved drainage report is required for Preliminary Plat approval. Need to include the channel, or reference the AMAFCA agreement on the Infrastructure List.

#### Transportation Development

Is Amole Mesa paved to the subdivision? (Otherwise in the interim, all traffic will head north) This will probably require that Noon Ranch become a major local for a further distance south. (6' sidewalk required) Noon Ranch needs to provide two exit lanes and an entrance lane (36' min. with 6' buffers and 6' sidewalk). Do cul-de-sac lengths meet DPM requirements? No objection to sidewalk waiver or deferral. Blake Road is a collector and requires bike lanes. Where is 6' right-of-way dedication? Objection to vacation of public easements with regards to Vermejo Park. The eastern property is entitled to ½ of the vacation action. 50' of right-of-way needs to be split equally between the tracts. Amole Mesa is a major local and requires 6' sidewalk. Where is the bridge over the Amole?

#### Parks & Recreation

This 198 lot subdivision is subject to the Park Dedication and Development Ordinance. The Park Dedication portion has been met through the dedication of Silver Tree Park. The Park Development fees will be reimbursed after phase I construction of the park has been completed per the Park Development Agreement. Defer to affected agencies regarding the vacations. Who owns/maintains Tract A? No objection to the sidewalk requests.

#### Utilities Development

No objection to Vacations. Sewer needs re-design; too many connections to Interceptor. Comments on infrastructure list. No objection to Sidewalk items, defer to Transportation.

#### Planning Department

The perimeter wall design needs an additional note stating the pilasters shall project a minimum of 2 inches on the public side. The maximum height of the wall is missing. The design sheet is lacking the Zone Atlas page and the nearest intersection. Three copies of a location map showing where the walls will be constructed are needed. The map should be the same size as the design sheet. Be sure Planning receives 3 copies of the revised wall submittal by Monday, November 1<sup>st</sup> at noon to avoid deferral.

Planning Department

44  
44  
44  
44

No objection to the vacation requests. Defer to Transportation, Utilities and Hydrology.

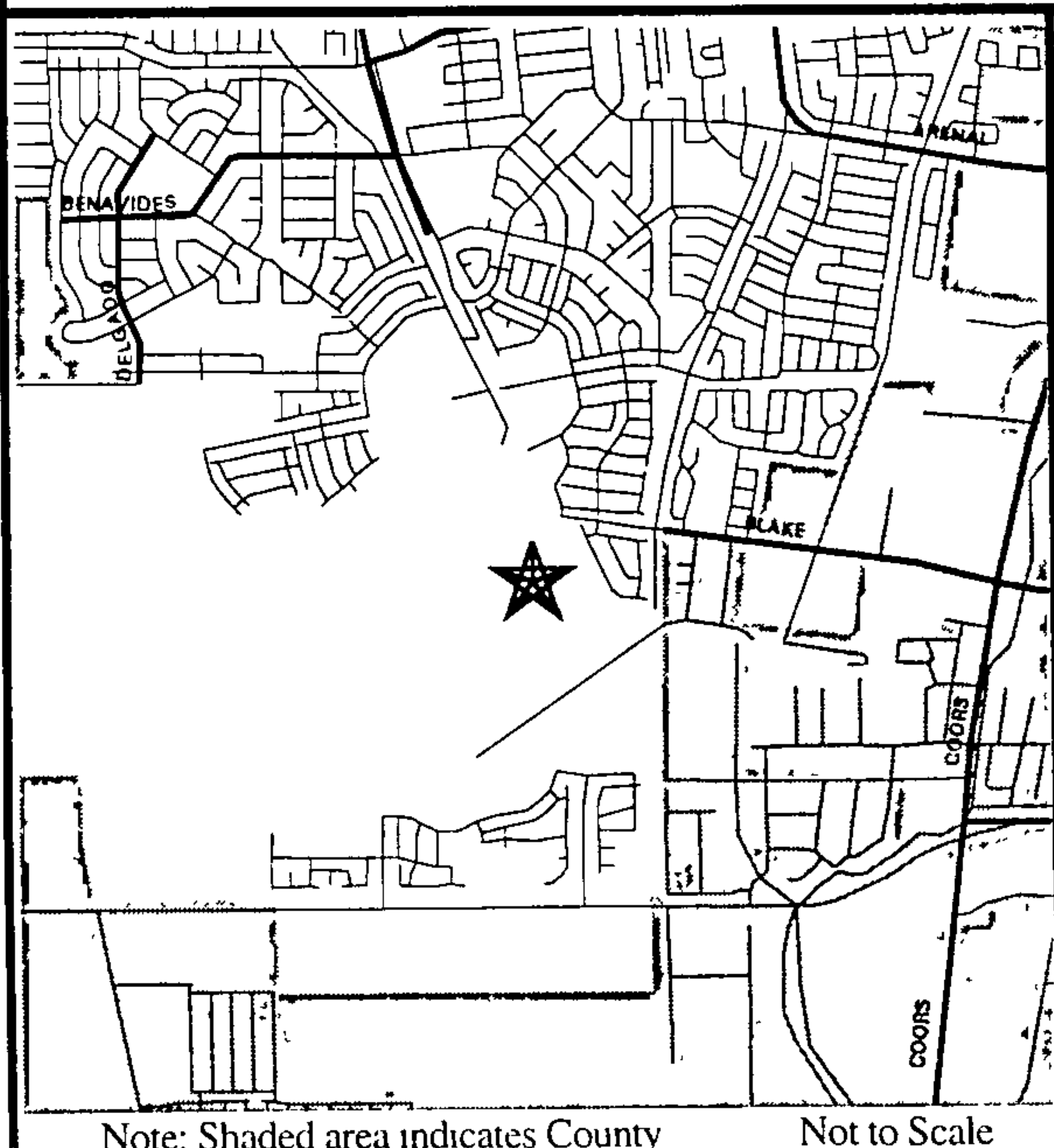
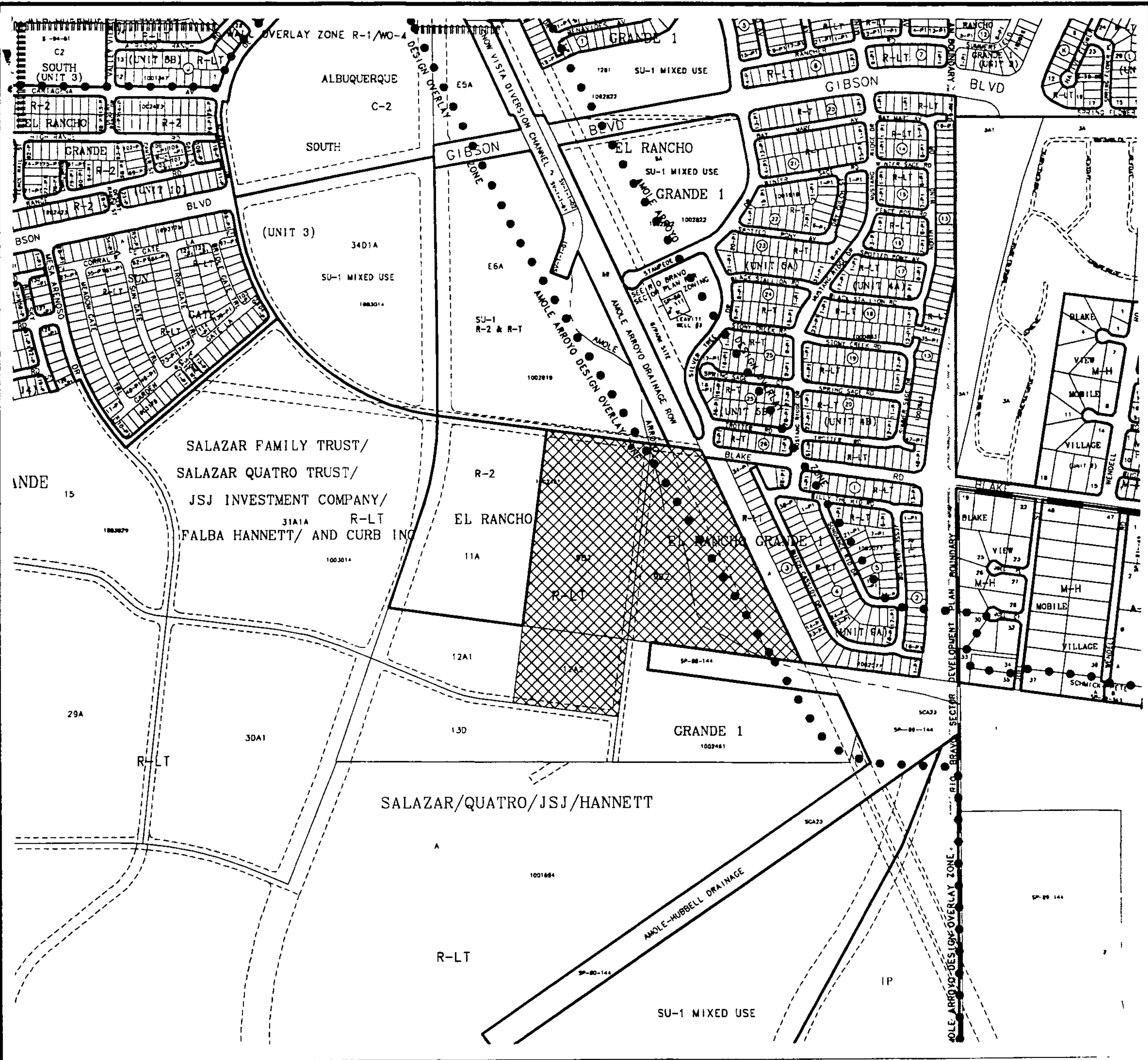
No objection to the sidewalk action or approval of the preliminary plat once the wall design is approved.

However, Planning needs one copy of the preliminary plat with the current zoning listed under "Subdivision Data" for the file by Monday, November 1<sup>st</sup> at noon to avoid deferral. The Subdivision Ordinance requires that zoning be listed on the preliminary plat.

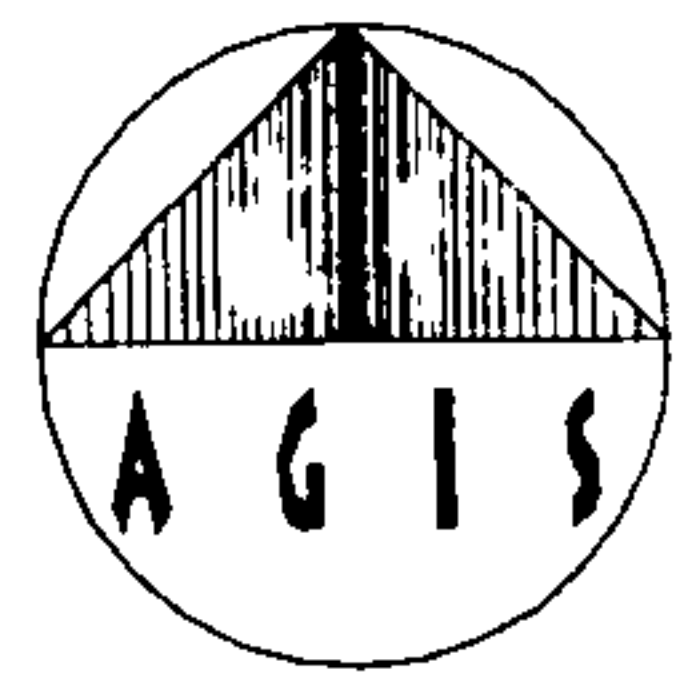
**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

cc: Curb Inc., 5160 San Francisco NE, 87109

Mark Goodwin & Associates, P.O. Box 90606, 87199



# ZONING MAP



Scale 1" = 798'

PROJECT NO. 1003571
HEARING DATE 11-3-04
MAP NO. N-9
ADDITIONAL CASE NUMBER(S) 04DRB-01517 04DRB-01518 04DRB-01519

Note: Shaded area indicates County Not to Scale

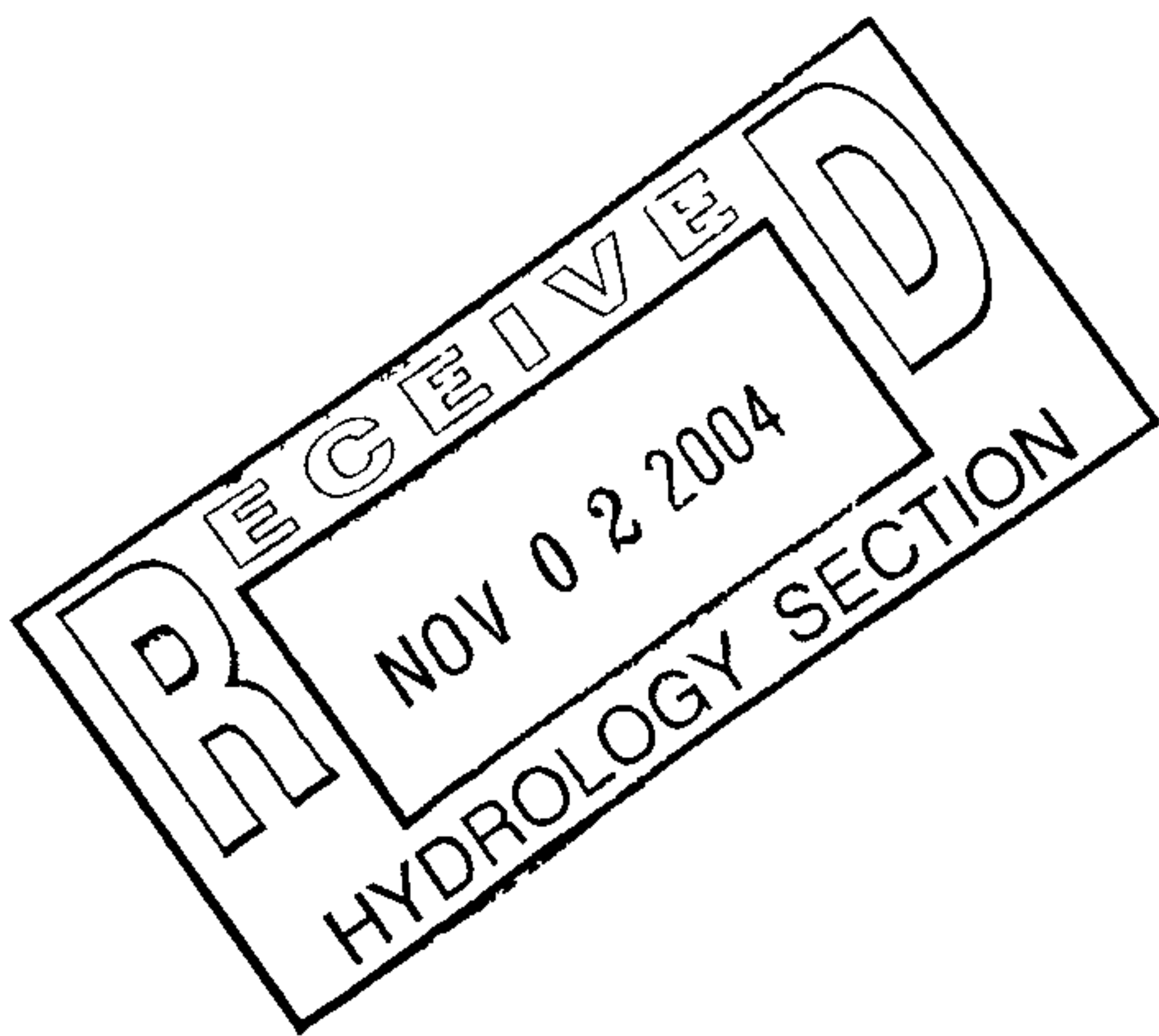
Oct. 27 2004

## Development Review Board

Westgate Heights N/A is opposing  
The Requests Preliminary Plat,  
Variation of Private Easement, Sidewalk  
Waiver and Deferral for Project  
# 1003571.

Westgate Heights N/A has had many  
complaints about cars running over  
rolling curbs, causing damage to  
property.

We feel that sidewalks should  
be part of the property.

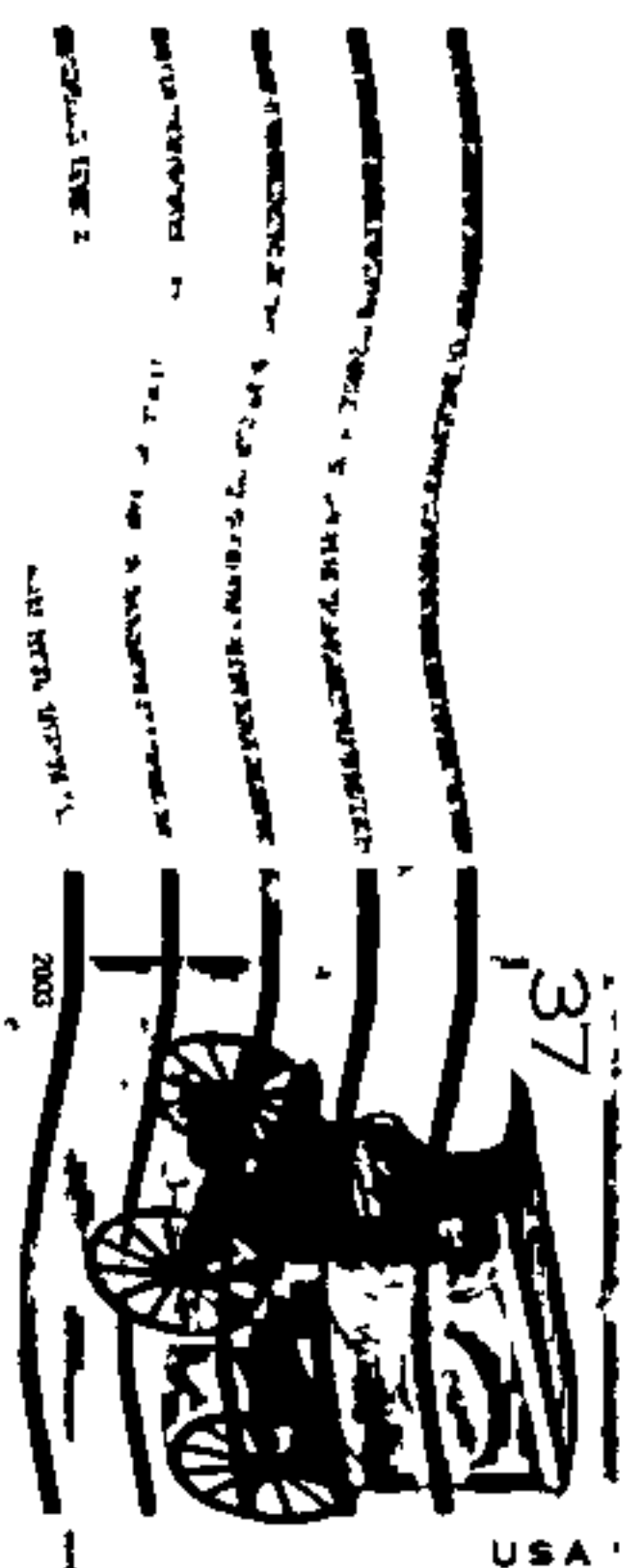
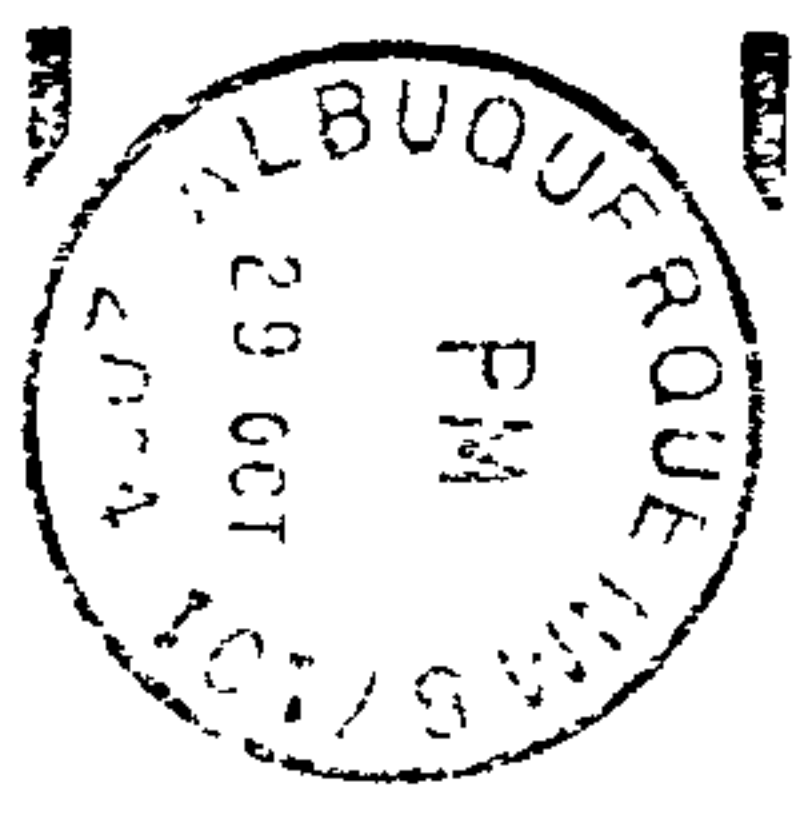


Thank You  
Libby McIntosh  
Secy. WGNA  
for Matthew Archuleta



**Mc Intosh**

1316 Ladrones Ct. SW  
Albuquerque, NM 87121-8122



Office of Planning Dept  
P.O. Box 1293  
Attn: Laurie

208 N. W. 877103

8710341293



In 1993, the New Mexico Legislature enacted the Development Fee Act (§ 5-8-1 et seq., N.M.S.A. 1973) (the "Act"). The Act authorizes the City to impose impact fees ("Impact Fees") and allow credit for capital improvements, which include, among other things, transportation, drainage, water and sanitary sewerline improvements. Nothing contained herein shall limit Subdivider's right to receive credits against any future Impact Fees subsequently imposed upon the development, if any, for the Improvements required by the City as a condition of approval of the Subdivision.

As partial consideration for the City's obligations contained herein, Subdivider agrees to waive and release the City from any claims, suits, actions, or demands, whether ascertained now or in the future, that may be brought pursuant to § 5-8-40 of the Act with respect to the Improvements or any other obligation required herein.

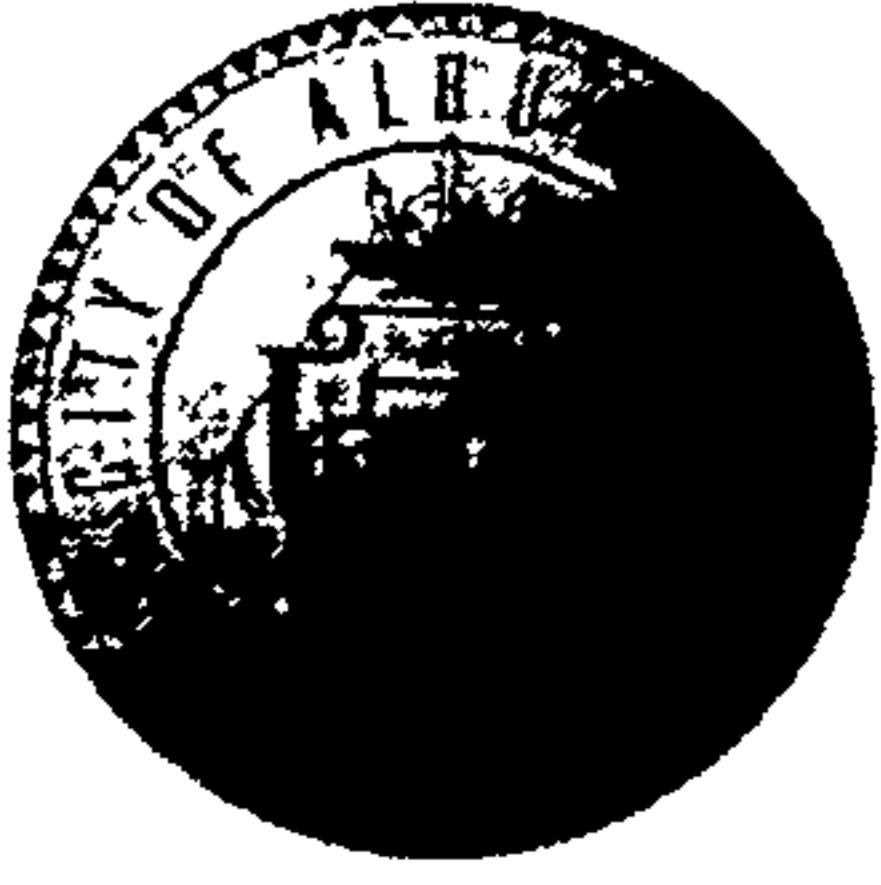
For BO Johnson's Land  
Grand Development vs a vs  
Impact fees

## PLANNING TRACKING LOG

Date	Project Name & #	Action Request	Action Taken
7/28/04	#1003571	Sketch	Comments







**City of Albuquerque**  
**Parks and Recreation Department**  
 PO Box 1293, Albuquerque, New Mexico 87103  
 Inter-Office Correspondence  
Development Review Board Comments

**Project Number:** 1003571  
**Application Number:** 04DRB-01134

**DRB Date:** 7/28/04  
**Item Number:** 26

**Subdivision:** El Rancho Grande, Unit 9B  
 Tracts 9-B-1, 9B-2 & 12-A-2, Atrisco Grant

**Request for:**

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other


**Zoning:** RLT

**Zone Page:** N-09

**New Lots (or units) :** 193

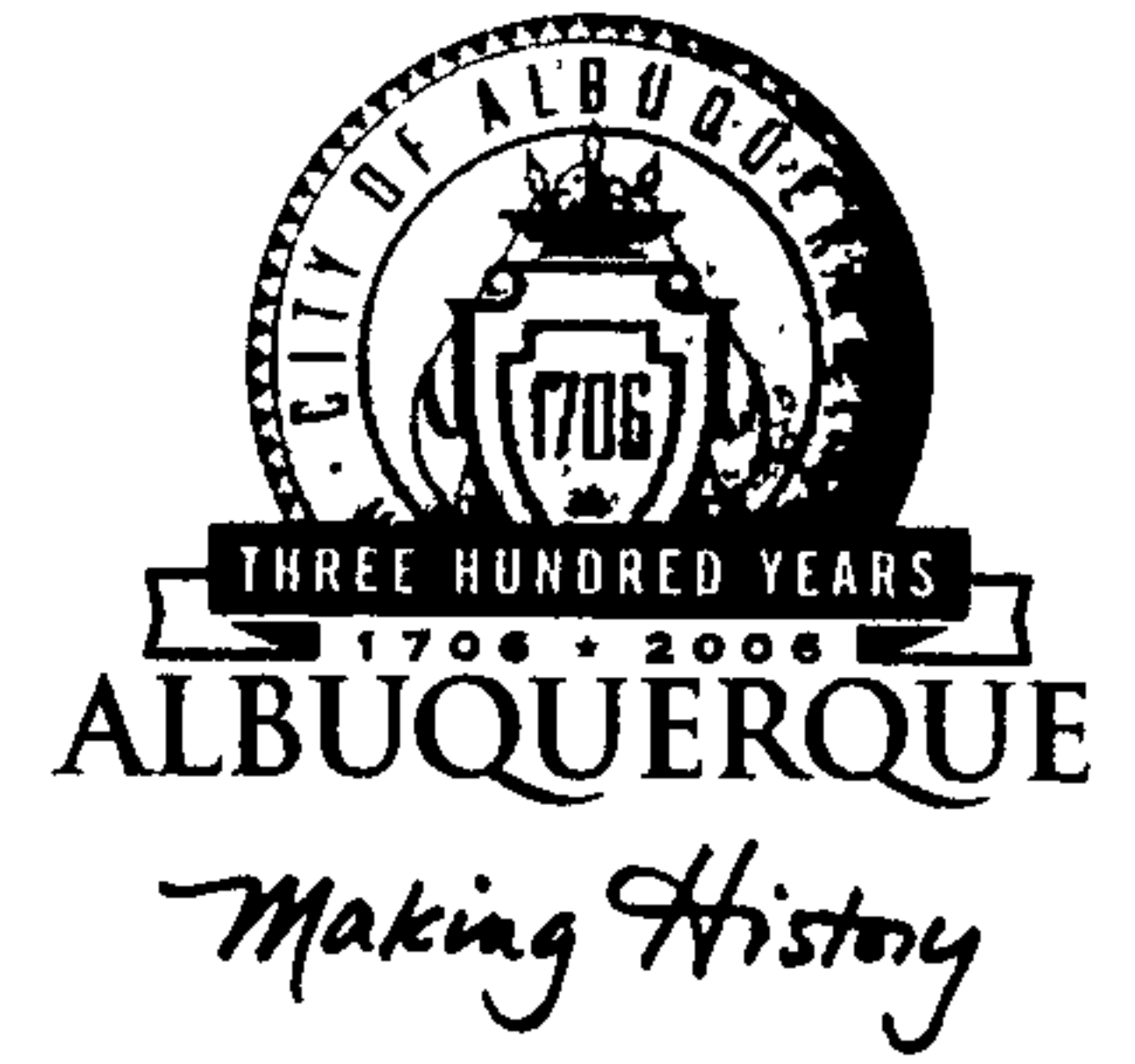
**Parks and Recreation Comments:**

This subdivision is covered under an existing agreement for Silver Tree Park.

**Signed:**   
 Christina Sandoval, (DMD)

Phone: 768-3808

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1003571**

**AGENDA ITEM NO: 26**

**SUBJECT:**

- |                                |                                 |                                  |
|--------------------------------|---------------------------------|----------------------------------|
| <b>(01)</b> Sketch Plat/Plan   | <b>(05)</b> Site Plan for Subd  | <b>(10)</b> Sector Dev Plan      |
| <b>(02)</b> Bulk Land Variance | <b>(06)</b> Site Plan for BP    | <b>(11)</b> Grading Plan         |
| <b>(03)</b> Sidewalk Variance  | <b>(07)</b> Vacation            | <b>(12)</b> SIA Extension        |
| <b>(03a)</b> Sidewalk Deferral | <b>(08)</b> Final Plat          | <b>(13)</b> Master Dev. Plan     |
| <b>(04)</b> Preliminary Plat   | <b>(09)</b> Infrastructure List | <b>(14)</b> Cost Allocation Plan |

**ACTION REQUESTED:**

P.O. Box 1293

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

Albuquerque

An approved drainage report is required for Preliminary Plat approval.  
An approved infrastructure list is required for Preliminary Plat approval.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED *discussed* X; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** July 28, 2004

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
7/22/04  
Development Review Board  
Comments**


**ITEM # 26**

**PROJECT # 1003571 APPLICATION # 04-01134**

**RE: El Rancho Grande, Unit 9B/sketch**

Are you proposing any open space in this subdivision?

A perimeter wall design submittal is required.



---

Sheran Matson, AICP DRB Chair  
924-3880 fax 924-3864 smatson@cabq.gov

# A City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

**SUBDIVISION** Supplemental form **S**

Major Subdivision action  
 Minor Subdivision action  
 Vacation **V**  
 Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN** **P**

...for Subdivision Purposes  
 ...for Building Permit  
 IP Master Development Plan  
 Cert. of Appropriateness (LUCC) **L**

**ZONING & PLANNING** Supplemental form **Z**

Annexation  
 County Submittal  
 EPC Submittal  
 Zone Map Amendment (Establish or Change Zoning)  
 Sector Plan (Phase I, II, III)  
 Amendment to Sector, Area, Facility or Comprehensive Plan  
 Text Amendment (Zoning Code/Sub Regs)

**APPEAL / PROTEST of...** **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Curb, Inc. PHONE: 899-9656  
 ADDRESS: 5160 San Francisco NE FAX:  
 CITY: Albuquerque STATE: NM ZIP: 87109 E-MAIL:  
 Proprietary interest in site: Owner List all owners:  
 AGENT (if any): Mark Goodwin & Associates, PA PHONE: 828-2200  
 ADDRESS: PO Box 90606 FAX: 797-9539  
 CITY: Albuquerque STATE: NM ZIP: 87199 E-MAIL: doug@goodwinengineers.com

**DESCRIPTION OF REQUEST:** Major Subdivision: El Rancho Grande, Unit 9 B : Sketh Plat Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tracts 9-B-1, 9-B-2 and 12-A-2 Block: Unit:  
 Subdiv. / Addn. Atrisco Grant, Sec 4, T9N, R2E  
 Current Zoning: R-LT Proposed zoning: Same  
 Zone Atlas page(s): N-9 No. of existing lots: 3 No. of proposed lots: 193  
 Total area of site (acres): 35.1413 AC Density if applicable: dwellings per gross acre: dwellings per net acre:  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill?  No

UPC No. 100905435529411501, 100905435529411501, 100905434920440101 MRGCD Map No.  
 LOCATION OF PROPERTY BY STREETS: On or Near: Blake Road  
 Between Amole Channel and 98th St.

**CASE HISTORY:** 1001897, 1002077, 1002144, 1002461  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review:

SIGNATURE John M. Mackenzy DATE 7/20/04  
 (Print) James D. Hughes, PE Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>040RB - 01134</u>	<u>SK</u>	<u>S(3)</u>	<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected				\$
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				\$
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>JULY 28th 04</u>			Total \$ <u>0</u>

James D. Hughes  
 Planner signature / date

Project # 1003571

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

**SKETCH PLAT REVIEW AND COMMENT**

**YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application
- \* *NA - site is vacant*

**MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT**

**Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

**Extensions are not reviewed through internal routing.**

Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**AMENDMENT TO PRELIMINARY PLAT (with minor changes)**

**Your attendance is required.**

**AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**

**AMENDMENT TO GRADING PLAN (with minor changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
  - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

*for James D. Huertas, PE*  
 \_\_\_\_\_  
 Applicant name (print)  
*John MacKerger* 7/20/04  
 \_\_\_\_\_  
 Applicant signature / date

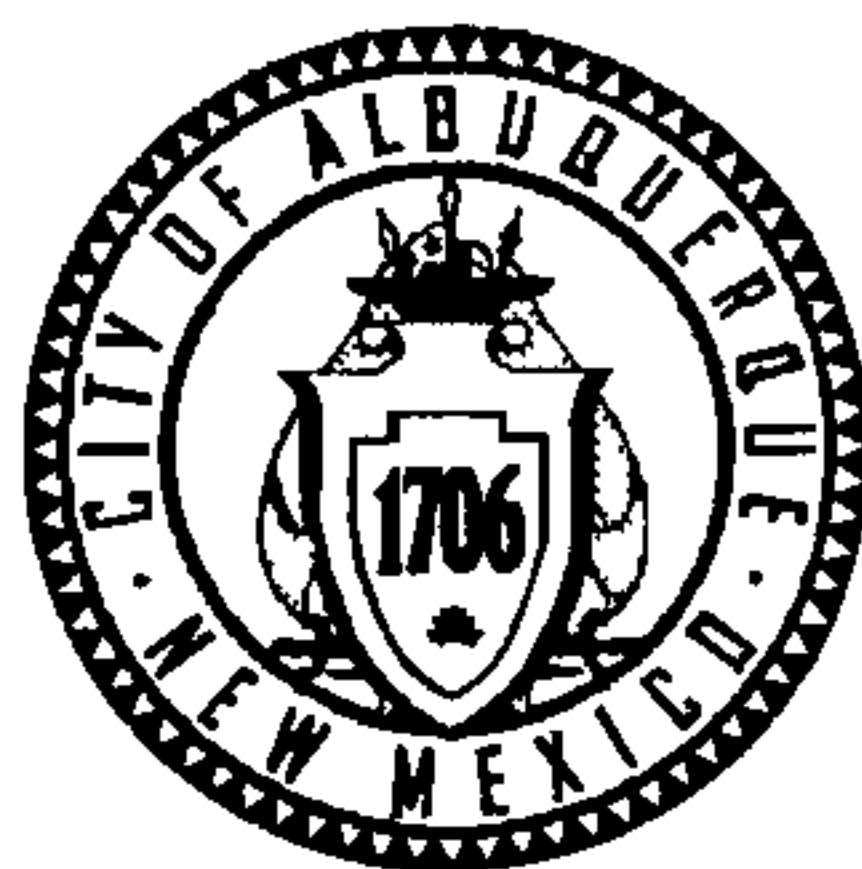
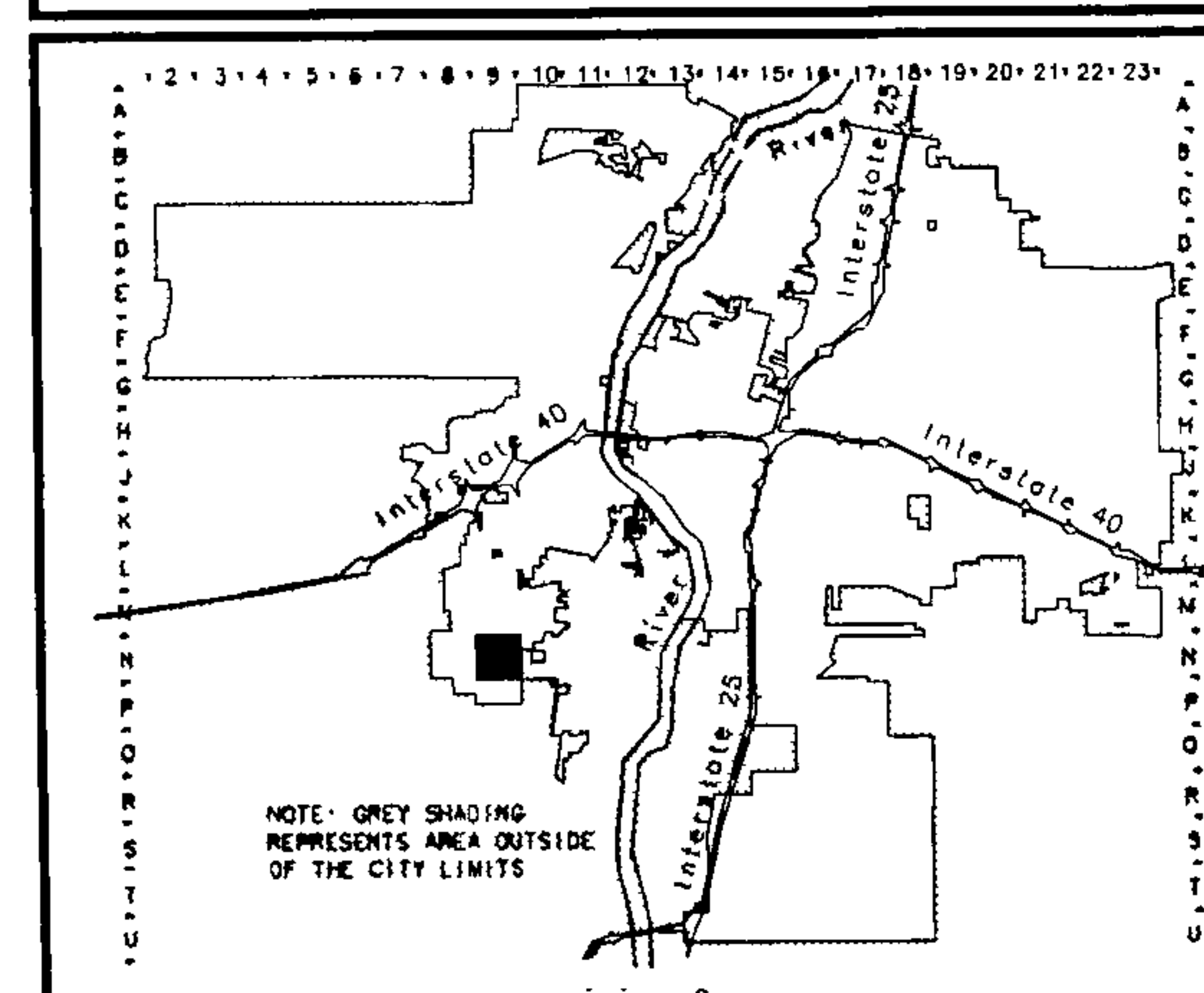
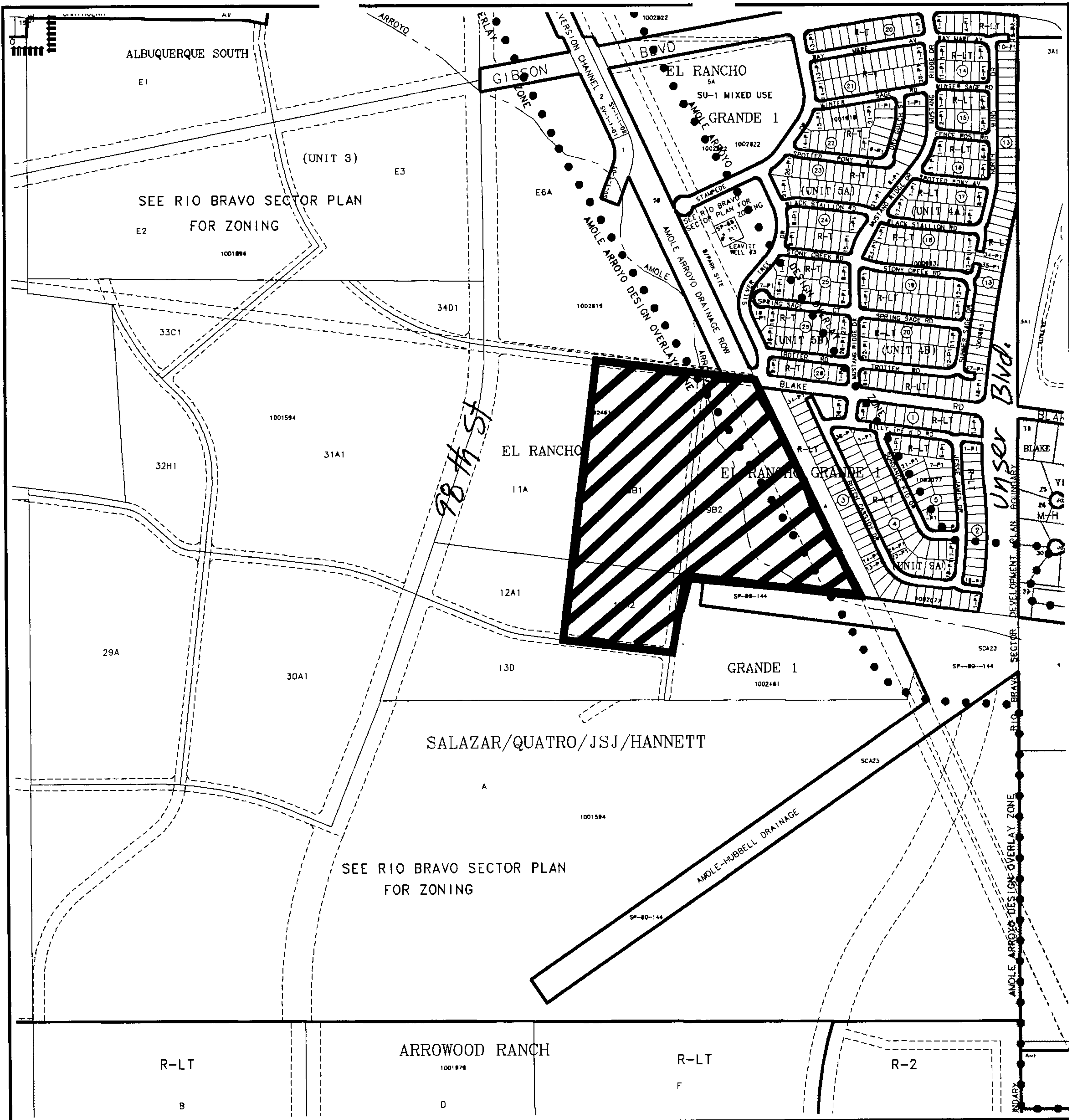


Form revised 3/03, 8/03 and 11/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 040RB - 01134  
 \_\_\_\_\_  
 \_\_\_\_\_

*Benker* 7/20/04  
 \_\_\_\_\_  
 Planner signature / date  
**Project # 1003571**



**A**lbuquerque **G**eographic **I**nformation **S**ystem  
**PLANNING DEPARTMENT**

© Copyright 2003

GRAPHIC SCALE IN FEET



**Zone Atlas Page**

**N-9-Z**

Map Amended through November 01, 2003



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539  
e-mail: goodwinengrs@comcast.net

July 20, 2004

Ms. Sheran Matson  
DRB Chair  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**Re: El Rancho Grande, Unit 9B**

Dear Ms. Matson:

The owner of the above referenced project wishes to subdivide 3 existing tracts into 193 Single Family Home lots. The property is zoned R-LT and will be developed in accordance with provisions contained in the Rio Bravo Sector Plan. Streets (public) and public utilities will be built to City of Albuquerque standards per DPM. Drainage will be collected in public storm drains and conveyed to the adjacent Amole Arroyo.

Please feel free to call me if you have any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

for James D. Hughes, PE  
Senior Engineer

JDH/bg