

#16



COMPLETED 10/20/05 SH DRB CASE ACTION LOG (FINAL PLAT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB01548 (FP)
Project Name: SUNGATE ESTATES UNIT 2
Agent: Bohannon Huston Inc.

Project # 1003591
Phone No.: 823-1000

Project Number 1003591

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/12/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: Park dedication fees ok

PLANNING (Last to sign): record plat ok
~~to determine whether fees associated to ABC with~~
Roger

X

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

OK

#16



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REVISED 9/28/05

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OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: Park dedication fees

PLANNING (Last to sign): Record plat ~~Deliberate Statement~~
~~Deliberate Statement / Final case to be approved by AGIS~~ per Roger

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

OK

Project Number 1003591



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 12, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:57 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002201**
05DRB-01471 Major-Two Year SIA

TIERRA WEST LLC agent(s) for OMEGA AUTOMOTIVE REAL ESTATE LTD request(s) the above action(s) for all or a portion of Lot(s) 14-A & 21-A Block(s) 10, **NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B**, zoned SU-2 IP WITH CONDITIONAL USES, located on PAN AMERICAN FREEWAY NE, between EAGLE ROCK NE and OAKLAND NE containing approximately 6 acre(s). [REF: 02DRB-01367, 03DRB-01382] (C-18) **A 6-MONTH EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1003573**
05DRB-01379 Major-Amended Grading
Plan Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 and 30, Block(s) 2, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **OAKLAND NORTH**) zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF:04DRB01138, 04DRB01417,05DRB00481][*Deferred from 9/28/05 & 10/5/05*] (C-20) **WITHDRAWN AT THE AGENT'S REQUEST.**

3. **Project # 1004428**
05DRB-01460 Major-Bulk Land Variance
05DRB-01461 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ALBUQUERQUE RIO BRAVO PARTNERS LLC request(s) the above action(s) for all or a portion of Tract(s) RR-3, **WESTLAND SOUTH**, zoned SF RLT, located on DENNIS CHAVEZ BLVD SW, between COORS BLVD SW and 118TH ST SW containing approximately 99 acre(s). [REF: 1003530, 04EPC01029, 04EPC01030, 04EPC01274] (P-9) **THE BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING FOR NOTICE OF SUBDIVISION PLAT CONDITIONS, THE 15-DAY APPEAL PERIOD AND AGIS DXF FILE.**

4. **Project # 1004272**
05DRB-01447 Major-Vacation of Public
Easements

ISAACSON & ARFMAN agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 16D, A PORTION OF TRACT 16D OF BULK LAND TRACT FOR EL RANCHO GRANDE and Tract(s) 16-A, 16-B, 16-C, 16-D, 16-E & 16-F, (to be known as **EL RANCHO GRANDE UNIT 17**) zoned R-D, located on GIBSON BLVD SW, between MESSINA DR SW and DELGADO DR SW containing approximately 3 acre(s). [REF: 05DRB-01033, 05DRB-01038, 05DRB-01039, 05DRB-01084](N-8) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1001788**
05DRB-01455 Major-Vacation of Public Easements
05DRB-01456 Minor-Prelim&Final Plat Approval

DAVID OR EVELYN MARTINEZ agent(s) for DR LAURA NATHANSON request(s) the above action(s) for Lot(s) 6-A & 6-B, **QUARTER HORSE ACRES SUBDIVISION**, zoned R-1, located on SPUR CT NW, between GABALDON NW and MONTOYA NW containing approximately 1 acre(s). [REF: 02DRB00384, 02DRB00875] (H-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS EASEMENT WITH MAINTENANCE AND BENEFICIARIES BETWEEN LOTS 5A & 6A1 AND PLANNING FOR THE 15-DAY APPEAL PERIOD, AGIS DXF FILE AND TO RECORD THE PLAT.**

6. **Project # 1001081**
05DRB-01173 Major-Vacation of Pub Right-of-Way

TIERRA WEST agent(s) for HOME DEPOT U.S.A. INC request(s) the above action(s) for all or a portion of Lot(s) 23, **SNOW HEIGHTS ADDITION**, zoned C-2 (SC) community commercial zone, located on SNOW HEIGHTS CIRCLE NE, between MENAUL BLVD NE and SNOW HEIGHTS BLVD NE. [Deferred from 8/10/05 & 8/24/05 & 9/14/05 & 10/5/05] (H-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH ADDITIONAL CONDITIONS: THE EXISTING 14-INCH WATER LINE BE RELOCATED OR A PUBLIC WATERLINE EASEMENT MUST BE RETAINED. TURN BAYS SHALL BE PROVIDED PER THE TIS AND ALL ADJACENT OWNERS AGREE ON ACCESS.**

7. **Project #1002535**
05DRB-01269 Major-Vacation of Public Easements
05DRB-01270 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for CHRONIS DEVELOPMENT LIMITED request(s) the above action(s) for Lot(s) 32, 33, 34, 35 and 38, West 35-feet OF Lot(s) 37; together with Lot(s) 36-A, **HUBBELL HEIGHTS ADDITION & TRACT 64, UNIT 6, TOWN OF ATRISCO GRANT**, (to be known as **HUBBELL HEIGHTS ADDITION**) zoned C-2 & O-1 & R-1, located on 65TH ST SW, between CENTRAL SW and CHURCHILL SW containing approximately 6 acre(s). [REF:1003709, Z-1211] [Deferred from 8/31/05 &

9/21/05] (K-10) THE VACATION ACTION WAS WITHDRAWN ON 9/29/05. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/12/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: DEDICATION ON THE EXTERIOR STREETS MATCH THE SITE PLAN AND CROSS ACCESS SHALL BE PER THE EPC CONDITIONS. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. **Project # 1000551**
05DRB-01544 Minor-SiteDev Plan
BldPermit/EPC

DAC ENTERPRISE INC agent(s) for MOHAMED KASSAM request(s) the above action(s) for all or a portion of Tract(s) A2A & A2B, PARK SQUARE ADDITION, (to be known as UPTOWN HOTEL) zoned SU-3, located on AMERICAS PARKWAY NE, between I-40 and INDIAN SCHOOL RD NE containing approximately 4 acre(s). [REF: Z-95-70, DRB-98-176, 04EPC-00690] [Carmen Marrone, EPC Case Planner] [Deferred from 10/12/05] (J-18) DEFERRED AT THE AGENT'S REQUEST TO 10/26/05.

9. **Project # 1003709**
05DRB-01546 Minor-SiteDev Plan
Subd/EPC
05DRB-01547 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECT & ASSOCIATES. agent(s) for TASSO, ANNA & CHRISTOPHER CHRONIS request(s) the above action(s) for all or a portion of Tract(s) 64, TOWN OF ATRISCO GRANT, UNIT 6, zoned O-1, located on COORS BLVD SW, between 65TH ST SW and BATAAN DR SW containing approximately 5 acre(s). [REF: 04EPC-01545, 04EPC-01546, 04EPC-01547, 04EPC01785] [Makita Hill, EPC Case Planner] (K-11) THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING

WITH CONDITION: A COPY OF THE CITY COUNCIL APPROVAL AMENDING THE WESTSIDE STRATEGIC PLAN BE PROVIDED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING WITH CONDITION: A COPY OF THE CITY COUNCIL APPROVAL AMENDING THE WESTSIDE STRATEGIC PLAN BE PROVIDED.

10. **Project # 1003530**
05DRB-01552 Minor-SiteDev Plan
Subd/EPC

MARK GOODWIN & ASSOCIATES PA agent(s) for ALBUQUERQUE RIO BRAVO PARTNERS LLC request(s) the above action(s) for all or a portion of Tract(s) RR-3, CEJA VISTA COMMERCIAL CENTER (also known as **ANDERSON HILLS SOUTH**) TOWN OF ATRISCO GRANT SEC9T9NR2E, zoned SU-2 FOR C-1, located on DENNIS CHAVIS BLVD SW, between 98TH ST SW and UNSER BLVD SW containing approximately 7 acre(s). [REF:04EPC01029, 04EPC01030, 04EPC01274] [Russell Brito for Elvira Lopez, EPC Case Planner] (P-9) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR RUSSELL BRITO'S INITIALS AND EPC LANGUAGE.**

11. **Project # 1003747**
05DRB-01550 Minor-SiteDev Plan
Subd/EPC
05DRB-01551 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1, 4 & 5, WYOMING MALL (to be known as **WALMART**) zoned C-2 (SC), located on WYOMING BLVD NE, between MENAUL BLVD NE and NORTHEASTERN ST NE containing approximately 31 acre(s). [REF: ZA-99-017, ZA-79-214, ZA-78-225, ZA-84-226, ZA-78-143, ZA-14-95,, DRB-97-319, 05EPC-00024, 05EPC-00025] [Carmen Marrone, EPC Case Planner] [Deferred from 10/12/05] (H-20) **DEFERRED AT THE AGENT'S REQUEST TO 10/26/05.**

12. **Project # 1003983**
05DRB-01482 Minor-SiteDev Plan
BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for TIMOTHY WEAKS request(s) the above action(s) for all or a portion of Lot(s) 1, RICHFIELD PARK SUBDIVISION (to be known as **DWIGHT'S GLASS AND GLAZING**) zoned IP, located on ALAMEDA BLVD NE, between WASHINGTON ST NE and JEFFERSON ST NE containing approximately 2 acre(s). [REF: 05DRB-00344] [Deferref from 9/28/05 & 10/5/05] (C-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR NMDOT APPROVAL FOR ALAMEDA ACCESS AND CROSS LOT ACCESS WITH NORTH PARCEL FOR ENTRANCE ON WASHINGTON AND PLANNING FOR ENVIRONMENTAL HEALTH'S SIGNATURE AND 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

13. **Project # 1000195**
05DRB-01545 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for DAWN MATSON, ASSOCIATE BUILDERS & CONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) L & M, **GATEWAY INDUSTRIAL PARK**, zoned SU-1 special use zone, located on BROADWAY BLVD NE, between CLAREMONT AVE NE and MENAUL BLVD NE containing approximately 3 acre(s). [05DRB01356, 013A57, 01358 & 01359] (H-15) **PRELIMINARY AND FINAL PLAT APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING FOR AN AA TO THE SITE PLAN FOR SUBDIVISION.**

14. **Project # 1004461**
05DRB-01519 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for PAUL LUCERO request(s) the above action(s) for all or a portion of Tract(s) 21-A-2 & 22-A-2, M.R.G.C.D. MAP 35 (to be known as **LANDS OF PAUL LUCERO**, zoned RA-2 residential and agricultural zone, located on LOS ANAYAS RD NW, between BEACH RD NW and LOS LUCEROS RD NW containing approximately 0.6703 acres. [REF: ZA-88-75] (H-12) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ESTATE CURBS AND WIDTH OF PAVEMENT.**

15. **Project # 1004468**
05DRB-01553 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST agent(s) for SEAN GILLIGAN request(s) the above action(s) for all or a portion of Lot(s) 77 & 78, Block(s) 7, TOGETHER WITH EAST 0.5 OF Lot(s) 76, **PERFECTO ARMIJO & BROTHERS ADDITION**, zoned SU-2, located on ROMA AVE NW, between 8TH ST NW and MARQUETTE AVE NW containing approximately 1 acre(s). [REF: ZA-92-175, Z-1601] [Deferred from 10/12/05] (J-14) **DEFERRED AT THE AGENT'S REQUEST TO 10/19/05.**

16. **Project # 1003591**
05DRB-01548 Minor-Final Plat Approval

BOHANNAN HUSTON INC agent(s) for D.R. HORTON HOMES request(s) the above action(s) for **SUN GATE ESTATES, UNIT 2**, zoned R-2 FOR R-T & RLT, located on MESA ARENOSO DR SW, between 98TH ST SW and OPEN RANGE AVE SW containing approximately 17 acre(s). [REF: 04DRB01185] (N-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR PARK DEDICATION FEE AND PLANNING TO RECORD.**

17. **Project # 1002321**
05DRB-01549 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11A & 11B, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP industrial park zone, located on RUTLEDGE RD NE, between MASTHEAD ST NE and WASHINGTON ST NE containing approximately 11 acre(s). [*Deferred from 10/12/05*] (D-17) **DEFERRED AT THE AGENT'S REQUEST TO 10/19/05.**

18. **Project # 1002584**
05DRB-01554 Minor-Prelim&Final Plat
Approval

WILSON & CO agent(s) for LOVELACE SANDIA DBA WEST MESA MEDICAL CENTER request(s) the above action(s) for all or a portion of Tract(s) 1A1 & 1A3 PARADISE HEIGHTS, UNIT 1, **ST JOSEPH WEST MESA HOSPITAL**, zoned SU-1 special use zone, located on GOLF COURSE RD NW between GOLF COURSE RD NW AND MCMAHON BLVD NW containing approximately 6 acre(s). [REF: 05DRB00168] [*Deferred from 10/12/05*] (A-12) **DEFERRED AT THE AGENT'S REQUEST TO 10/19/05.**

19. **Project # 1002885**
05DRB-01522 Minor-Prelim&Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for LA SIERRA CONSTRUCTION CO & AMAFCA request(s) the above action(s) for all or a portion of Tract(s) 35A, 35B & Parcel D, **OCOTILLO SUBDIVISION**, zoned R-D, located on SAND VERBENA TRAIL NE, between EUBANK BLVD NE and HOLBROOK ST NE containing approximately 1 acre(s). [REF: 05-DRB-00631, 05DRB-00633] (C-21) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR DEDICATION OF PARCEL TO AMAFCA AND PLANNING FOR AGIS DXF APPROVAL AND PROPERTY MANAGEMENT'S SIGNATURE.**

20. **Project # 1002819**
05DRB-01506 Minor-Prelim&Final Plat
Approval

TIM ALDRICH agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) E-6-A, **ALBUQUERQUE SOUTH UNIT 3**, zoned SU-1, R-2, R-T, located on 98TH STREET SW, between GIBSON BLVD SW and BLAKE RD SW containing approximately 31 acre(s). [REF: 03DRB-01183, 06DRB-01180] [*Deferred from 10/5/05 & 10/12/05*] (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/19/05.**

21. **Project # 1003713**
05DRB-00148 Minor- Final Plat Approval

FAMILY HOUSING DEVELOPMENT CORPORATION agent(s) for CITY OF ALBUQUERQUE METROPOLITAN REDEVELOPMENT AGENCY request(s) the above action(s) for all or a portion of Lot(s) 1-7, Block(s) 19, PEREA ADDITION, AND LOTS 3A, 4 & 5, WEST END ADDITION (to be known as **BELL TRADING POST LOFTS, TRACT A**), zoned SU-2, SU-1, located on CENTRAL AVE NW, between LAGUNA RD NW and 15TH ST NW containing approximately 1 acre(s). [REF: Z-85-9, Z-68-134] [*Final Plat Indef Deferred from 2/23/05 for SIA*] (J-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE.**

22. **Project # 1000965**
05DRB-01382 Minor-Final Plat Approval

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO., INC., request(s) the above action(s) for all or a portion of Tract(s) B & 2 LANDS OF RAY GRAHAM III, **VALLE PARAISO SUBDIVISION AT ANDALUCIA AT LA LUZ**, zoned SU-1 special use zone, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 33 acre(s). [REF: 04EPC00857] [*Deferred from 9/7/05 & 9/14/05 & 9/21/05 & 9/28/05*] (F-11) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT WITH CONDITIONS: FOR REVIEW OF 60-FOOT EASEMENTS AND CONDITIONS OF KEVIN CURRAN AND TO PLANNING TO RECORD THE PLAT.**

23. **Project # 1003859**
05DRB-01010 Minor-Final Plat Approval

PRECISION SURVEYS INC agent(s) for SILVERLEAF VENTURES LLC request(s) the above action(s) for all or a portion of Tract(s) A & 6B, LANDS OF RAY A GRAHAM, (to be known as **NORTH ANDALUCIA @ LA LUZ**) zoned SU-1, O-1, C-2 and PRD, located on COORS BLVD NW, between MONTANO RD NW and LEARNING RD NW containing approximately 64 acre(s). [REF: [REF: 04EPC00855, 02EPC01770 & 01771, 04EPC01845] [*Indef deferred on 6/22/05 for SIA*] (E-12/F-12) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FINALIZING OF WATER LINE EASEMENT AND PLANNING FOR AGIS DXF FILE AND ADJOINING DRAINAGE EASEMENT.**

24. **Project # 1003128**
05DRB-01424 Minor-Prelim&Final Plat Approval

CONSENSUS PLANNING agent(s) for BANDALIER EQUITIES LTD CO request(s) the above action(s) for all or a portion of Lot(s) 1-5, Block(s) 11, Tract(s) 5, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 4 acre(s). [*Deferred from 9/21/05 & 9/28/05 & 10/5/05*] (D-18) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO TIE STORM DRAIN EASEMENT TO PROPERTY, ULTIMATE CROSS SECTION OF SAN PEDRO TO VERIFY RIGHT-OF-WAY DEDICATION AND TO PLANNING FOR AGIS DXF FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

25. **Project # 1001235**
05DRB-01539 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST LTD agent(s) for TURNER BRANCH & MARGARET MOSES request(s) the above action(s) for all or a portion of Lot(s) 13 & 14, Block(s) 6, Tract(s) 11, EDWARD KROGH ADDITION (to be known as **LANDS OF BRANCH**) zoned R-1 residential zone, located on RIO GRANDE BLVD NW, between KROGH CT NW and containing approximately 2 acre(s). [REF: 01EPC00639, 01EPC00640] (H-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. **Project # 1004465**
05DRB-01541 Minor-Sketch Plat or Plan

GARCIA/KRAEMER & ASSOCIATES agent(s) for AMY HENKEL request(s) the above action(s) for all or a portion of Lot(s) 9, **MAJOR ACRES**, zoned R-1, located on MAJOR AVE NW, between 12TH ST NW and 10TH ST NW containing approximately 1 acre(s). (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

27. Approval of the Development Review Board Minutes for September 28, 2005. **THE DRB MINUTES FOR SEPTEMBER 28, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:57 A.M.

**City Of Albuquerque
PLANNING DEPARTMENT
October 12, 2005
DRB Comments**

Item # 16

Project # 1003591

Application # 05-01548

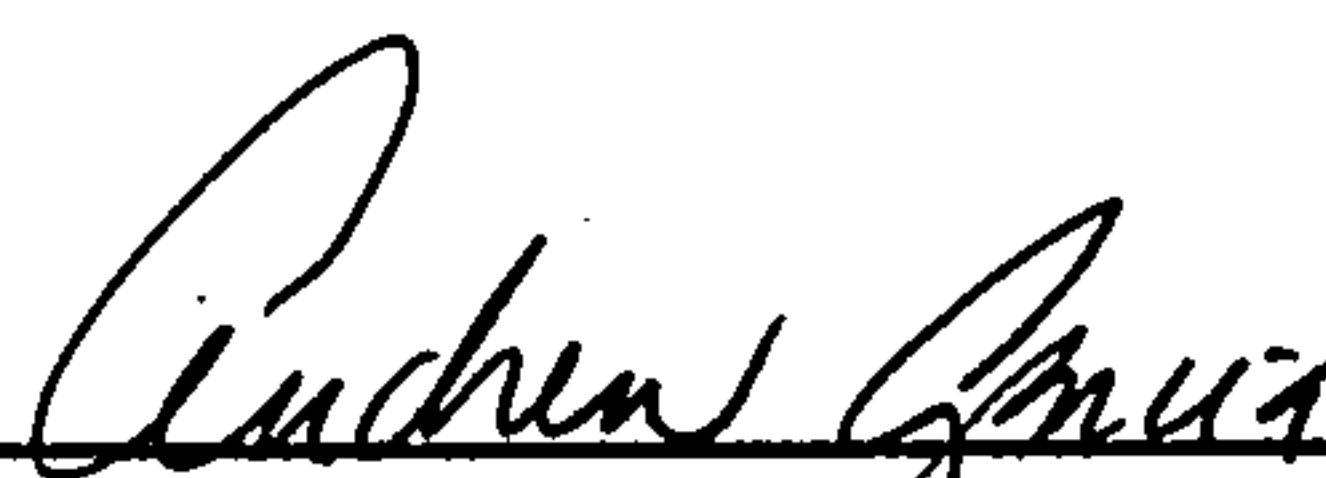
RE: Sun Gate Estates, Unit 2/final plat

Has anything changed from the preliminary plat?

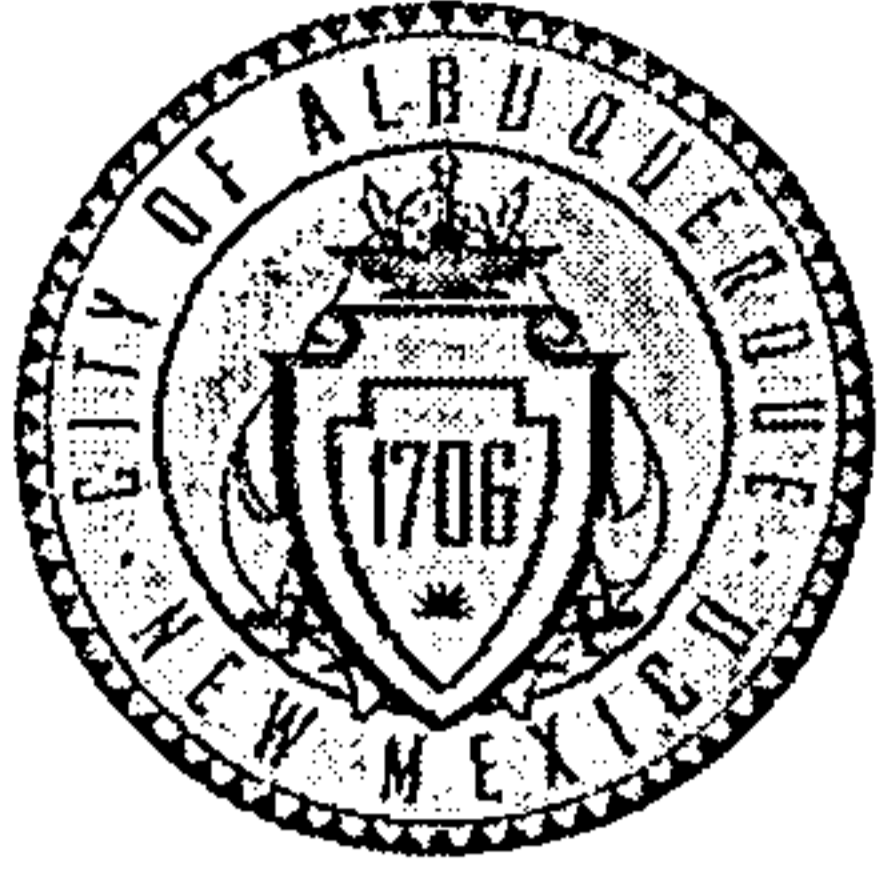
AGIS dxf is on file.

Planning will take delegation to record the plat.

Walls are ok.



Andrew Garcia, DRB Planning Alternate
924-3858 Fax 924-3864 agarcia@cabq.gov



F

City of Albuquerque
Parks and Recreation Department
 PO Box 1293, Albuquerque, New Mexico 87103
 Inter-Office Correspondence
Development Review Board Comments

Project Number: 1003591
Application Number: 05DRB-01548

DRB Date: 10/12/2005
Item Number: 16

Subdivision:

Sun Gate Estates Unit 2

Zoning: R-2 for R-T

Zone Page: N-09

New Lots (or units) : 87

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 87 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

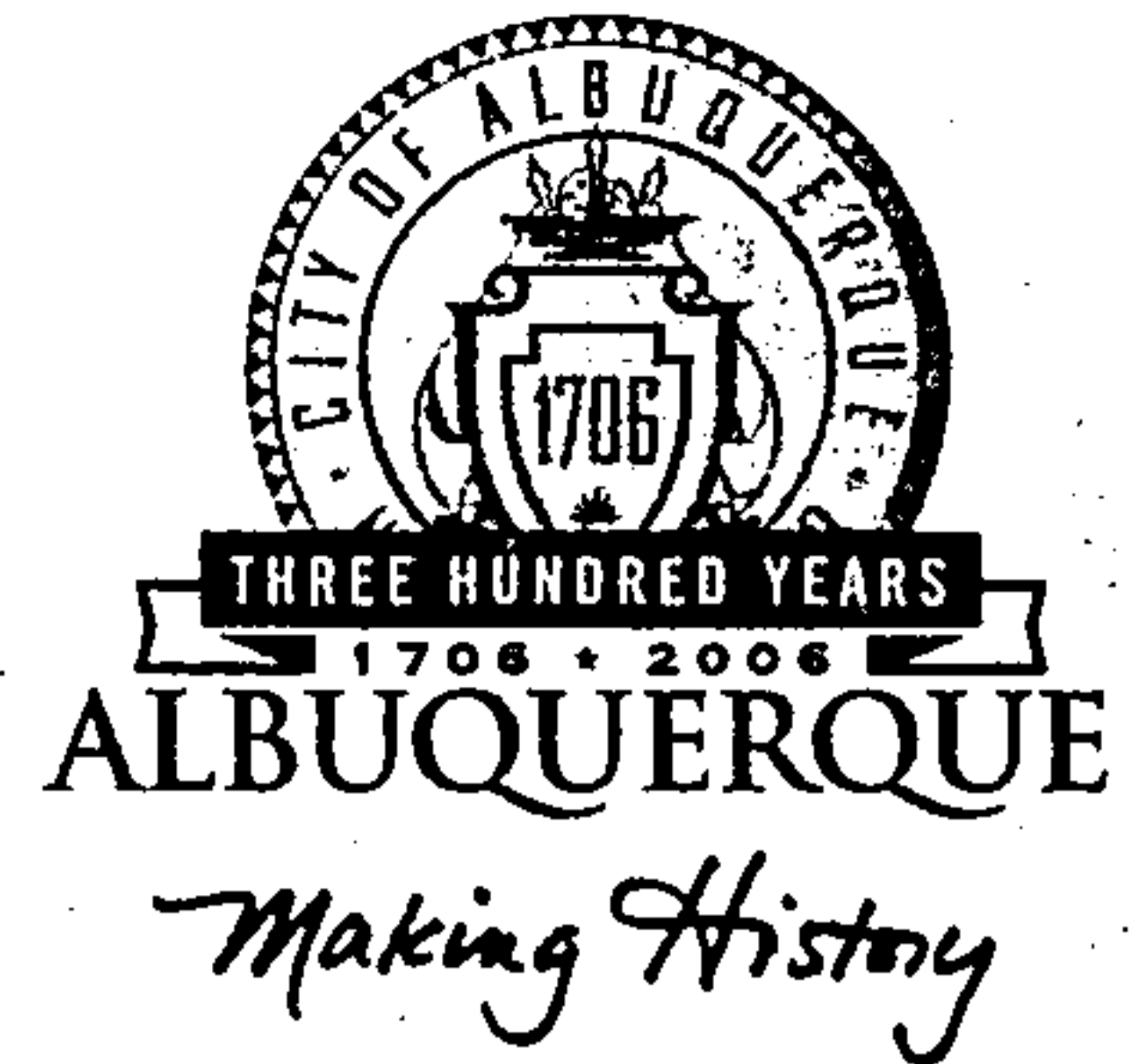
The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

Signed:

Christina Sandoval, (DMD)

Phone: 768-3808

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003591

AGENDA ITEM NO: 16

SUBJECT:

Final Plat

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 12, 2005

3591

DXF Electronic Approval Form

DRB Project Case #: 1003591

Subdivision Name: SUNGATE ESTATES UNIT 2

Surveyor: TIMOTHY ALDRICH


Contact Person: STEPHANIE STRATTON

Contact Information: 798-7965

DXF Received: 10/4/2005

Hard Copy Received: 10/4/2005

Coordinate System: NMSP Grid (NAD 27)

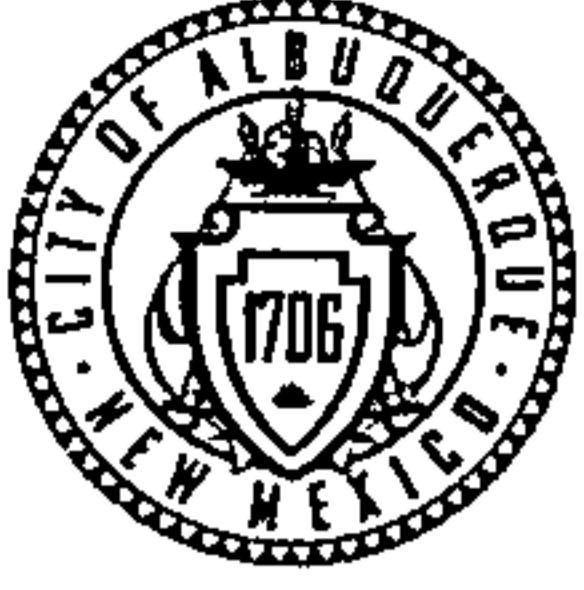

Approved

10-4-2005
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **3591** to agiscov on **10/4/2005** Contact person notified on **10/4/2005**



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 5, 2005

9. Project # 1003591

05DRB-01508 Minor-Extension of Preliminary Plat Approval

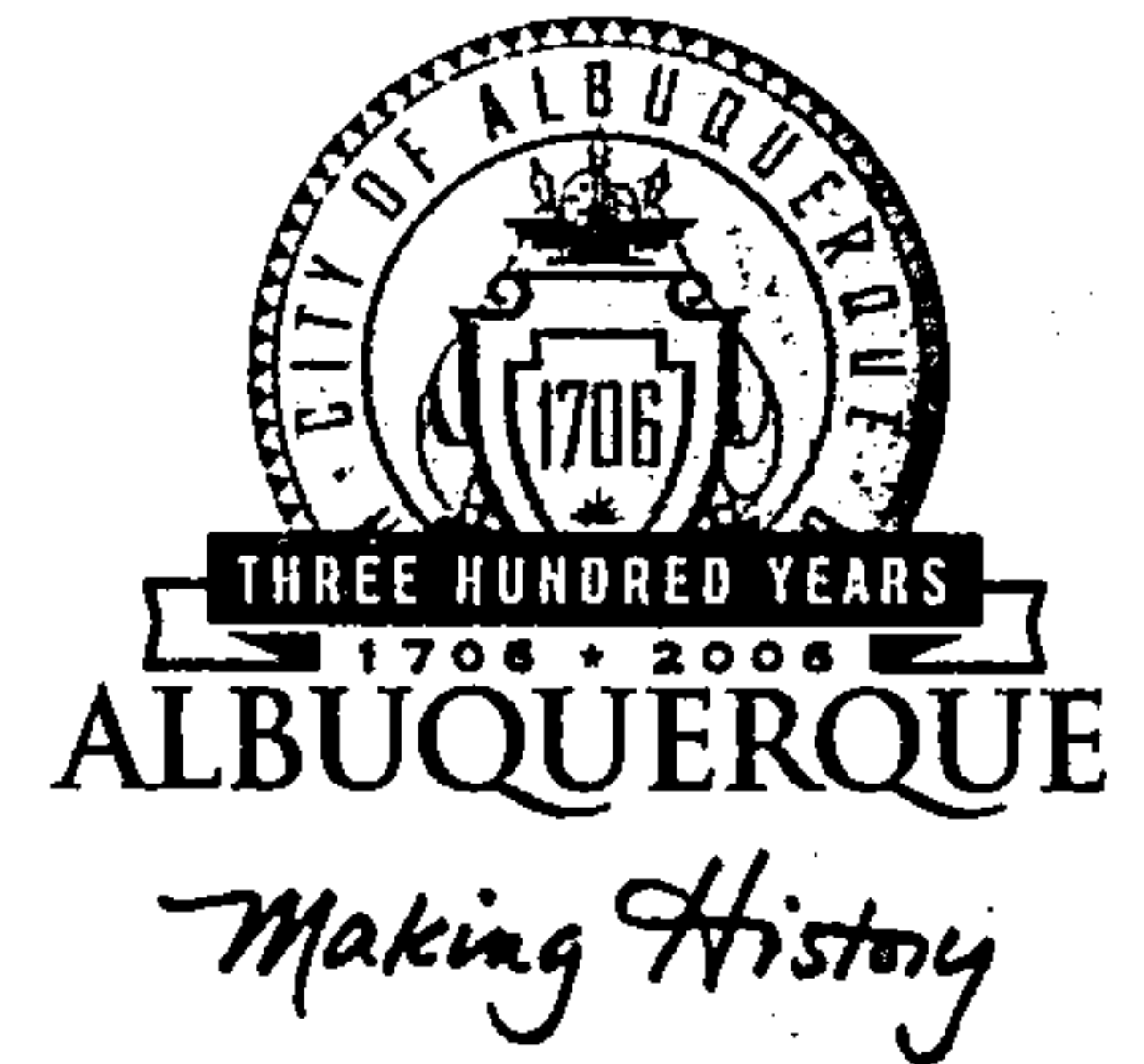
BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of **SUNGATE ESTATES, UNIT 2**, zoned R-2 FOR R-T AND RLT, located on MESA ARENOSO DR SW, between 98TH ST SW and OPEN RANGE AVE SW, containing approximately 17 acre(s). [REF: 04DRB-01185] (N-9)

At the October 5, 2005, Development Review Board meeting, a one-year extension of the preliminary plat was approved.

Sheran Matson, AICP, DRB Chair

Cc: Bohannan Huston Inc., 7500 Jefferson NE, 87109
D.R. Horton Homes, 4400 Alameda NE, Suite B, 87113
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003591

AGENDA ITEM NO: 9

SUBJECT:

Preliminary Plat

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:() EXTN:(xx) AMEND:()

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the extension request.

P.O. Box 1293

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

www.cabq.gov

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 5, 2005



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 5, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:20 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1003573**
05DRB-01379 Major-Amended
Grading Plan Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 and 30, Block(s) 2, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as OAKLAND NORTH) zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s).[REF:04DRB01138, 04DRB01417,05DRB00481][Deferred from 9/28/05 & 10/5/05] (C-20) DEFERRED AT THE AGENT'S REQUEST TO 10/12/05.

2. **Project # 1003747**
05DRB-01410 Major-Vacation of
Public Easements
3. **Project # 1004404**
05DRB-01364 Major-Bulk Land
Variance
05DRB-01365 Major-Vacation of
Public Easements
05DRB-01367 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for WAL MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1 & 5, **WYOMING MALL**, zoned C-2 community commercial zone (SC), located on WYOMING BLVD NE, between MENAUL BLVD NE and NORTHEASTERN ST NE. [REF: ZA-99-017, ZA-79-214, ZA-78-143, ZA-84-226, DRB-97-319, 05EPC00024, 05EPC00025] (H-20) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) H-2, **THE TRAILS, UNIT 1**, and unplatted lands, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE NW west of RAINBOW ST NW and containing approximately 165 acre(s). [*Deferred from 9/21/05 & 10/5/05*] (C-8/C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/26/05.**

4. **Project # 1004387**
05DRB-01332 Major-Vacation of Pub
Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). [*Deferred from 9/14/05 & 10/5/05*] (J-15) **DEFERRED AT THE AGENT'S REQUEST TO 11/9/05.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1002962**
05DRB-01507 Minor- Sector
Development Plan, Phase 1

CONSENSUS PLANNING agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Tract(s) 5, BLACK RANCH, T11N R2E SEC 16 W 1/2 NW 1/4, Tract(s) 4, SANTA FE AT THE TRAILS CO., Tract(s) 1, THE TRAILS, UNIT 2, Tract(s) G & J and Tract(s) 6, THE TRAILS, UNIT 2 (to be known as **LONGFORD TRAILS**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE R-O-W NW, between COUNTY LAND and STATE LAND. [REF: 1004353, 02DRB01530] (B-8, B-9, B-10, C-8, C-9 and C-10) **THE DRB RECOMMENDS THAT THE BOUNDARIES SHOWN ON THE TRAILS PROPOSED SECTOR PLAN BOUNDARIES MAP INCLUDED WITH THE APPLICATION ARE APPROVED AS THE BOUNDARIES FOR THE TRAILS SECTOR PLAN.**

6. **Project # 1000081**
05DRB-01512 Minor- Amended
SiteDev Plan Subd
05DRB-01514 Minor- Amended
SiteDev Plan BldPermit

TIERRA WEST LLC agent(s) for KOHL'S CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A & H, COTTONWOOD CORNERS, (to be known as **KOHL'S COTTONWOOD CORNERS**) zoned SU-1 FOR IP USES, located on ELLISON DR NW, between COTTONWOOD DR NW and ALAMEDA RD NW containing approximately 9 acre(s). [REF: Z-95-26, Z-84-110, AX-84-22, DRB-94-582, DRB-95-487] (Russell Brito, EPC Case Planner) (A-14) **WITHDRAWN AT THE AGENT'S REQUEST.**

7. **Project # 1000579**
05DRB-01513 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for KOHL'S DEPARTMENT STORES INC request(s) the above action(s) for all or a portion of Tract(s) A, PASEO DE LOUISIANA (to be known as **KOHL'S DEPARTMENT STORES**) zoned SU-2 C-1, located on PASEO DEL NORTE BLVD NE, between LOUISIANA BLVD NE and HOLLY AVE NE containing approximately 8 acre(s). [REF: Z-98-81, DRB-96-66] [Stephanie Shumsky, EPC Case Planner] (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/5/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR THE SIA AND PLANNING FOR STEPHANIE SHUMSKY'S INITIALS, REMOVAL OF THE JUNIPER TREES, FEWER HIGH WATER USE TREES ON THE SITE PLAN AND APPROVAL BY CITY COUNCIL OF THE REQUEST TO WITHDRAW THE PENDING APPEAL.**

8. **Project # 1003983**
05DRB-01482 Minor-SiteDev Plan
BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for TIMOTHY WEAKS request(s) the above action(s) for all or a portion of Lot(s) 1, RICHFIELD PARK SUBDIVISION (to be known as **DWIGHT'S GLASS AND GLAZING**) zoned IP, located on ALAMEDA BLVD NE, between WASHINGTON ST NE and JEFFERSON ST NE containing approximately 2 acre(s). [REF: 05DRB-00344] [Deferref from 9/28/05 & 10/5/05] (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 10/12/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1003591**
05DRB-01508 Minor-Extension of
Preliminary Plat Approval

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of **SUNGATE ESTATES, UNIT 2**, zoned R-2 FOR R-T AND RLT, located on MESA ARENOSO DR SW, between 98TH ST SW and OPEN RANGE AVE SW, containing approximately 17 acre(s). [REF: 04DRB-01185] (N-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

10. Project # 1002461
05DRB-01505 Minor-Prelim&Final Plat
Approval

TIM ALDRICH agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 8A, **EL RANCHO GRANDE 1, UNIT 1**, zoned R-LT residential zone, located on VERMEJO PARK DR SW at the east end of AMOLE MESA AVE SW and containing approximately 16 acre(s). [REF: 03DRB00163, 03DRB00164] (N-9) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCAS SIGNATURE, ADD BENEFICIARY TO NOTES 6 AND 7, THE ZONING SHOULD BE LISTED UNDER SUBDIVISION DATA AND TO TRANSPORTATION DEVELOPMENT FOR NEW AGIS DXF APPROVAL AND RIGHT-OF-WAY DEDICATION ALONG VERMIJO PARK DRIVE.**

11. Project # 1002819
05DRB-01506 Minor-Prelim&Final Plat
Approval

TIM ALDRICH agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) E-6-A, **ALBUQUERQUE SOUTH UNIT 3**, zoned SU-1, R-2, R-T, located on 98TH STREET SW, between GIBSON BLVD SW and BLAKE RD SW containing approximately 31 acre(s). [REF: 03DRB-01183, 06DRB-01180] *[Deferred from 10/5/05]* (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/12/05.**

12. Project # 1004453
05DRB-01498 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for DAMION CHIMENTI request(s) the above action(s) for all or a portion of Lot(s) 19-23, Block(s) E, **BACA & ARMIJO ADDITION**, zoned SU2/RG, located on 3RD ST SW, between CROMWELL AVE SW and 2ND ST SW containing approximately 1 acre(s). [REF: DRB-95-57] (K-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR P1 LOT DESIGNATIONS.**

13. **Project # 1002858**
05DRB-01487 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) I-1 PARCEL A-1, MESA @ ANDERSON HILLS, UNIT 1 (to be known as **MESA @ ANDERSON HILLS, UNIT 2**) zoned R-2 residential zone, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 21 acre(s). [REF: 04DRB00234, 04DRB00235,, 05DRB00488] (P-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO CHECK IF AGIS DXF WAS APPROVED AND TO RECORD.**

14. **Project # 1003470**
05DRB-01493 Major-Final Plat Approval

WILSON & COMPANY agent(s) for VISTA VIEJA INVESTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 1, **VISTA VIEJA SUBDIVISION, UNIT 1**, zoned R-1, located on 81ST STREET NW, between ALBERICOQUE PL NW and SCENIC ROAD NW containing approximately 41 acre(s). [REF: 04DRB-01522, 04DRB-01523, 04DRB-01524] (D-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

15. **Project # 1003641**
05DRB-01502 Minor-Final Plat Approval

GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) 1 through 24, BACA ADDITION (to be known as **ATLANTIC & SANTA FE SUBDIVISION**) zoned R-G residential garden apartment zone, located on 1ST ST SW, between ATLANTIC AVE SW and SANTA FE AVE SW containing approximately 2 acre(s). [REF: 04DRB01311] (K-14) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PRIVATE SEWER EASEMENTS AND SKETCH SHOWING SIDEWALKS AND TO PLANNING FOR LOT SIZE REQUIREMENTS AND TO RECORD THE PLAT.**

16. **Project # 1003801**
05DRB-01179 Minor- Final Plat Approval

SURV-TEK INC agent(s) for PETERSON PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 28-31, Block(s) A, **ALTURA ADDITION**, zoned SU-1 for C-1, located on CARLISLE NE, between INDIAN SCHOOL NE and CONSTITUTION NE containing approximately 1 acre(s). [REF: 04EPC01821] [David Stallworth, EPC Case Planner] [The Final Plat was Indef Deferred from 7/27/05 for the SIA] (J-16) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS EASEMENTS AND PLANNING TO RECORD.**

17. **Project # 1003685**
05DRB-01477 Minor-Prelim&Final Plat Approval

BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO INC request(s) the above action(s) for all or a portion of Lot(s) 14A, Tract(s) O-1, (to be known as **WESTERN SHADOWS@ VENTANA RANCH WEST**) zoned R-LT residential zone, located on RAYNER DR NW, between VENTANA RIDGE RD NW and [REF: 04DRB01448] [Deferred from 9/28/05] (B-8) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

18. **Project # 1003128**
05DRB-01424 Minor-Prelim&Final Plat Approval

CONSENSUS PLANNING agent(s) for BANDALIER EQUITIES LTD CO request(s) the above action(s) for all or a portion of Lot(s) 1-5, Block(s) 11, Tract(s) 5, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 4 acre(s). [Deferred from 9/21/05 & 9/28/05 & 10/5/05] (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/12/05.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

19. **Project # 1004456**
05DRB-01509 Minor-Sketch Plat or Plan

BRASHER & LORENZ agent(s) for BARON'S RUN LLC request(s) the above action(s) for all or a portion of Lot(s) 14-18, Block(s) 11, Tract(s) 1 NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **BARON'S RUN**) zoned R-D residential and related uses zone, developing area, located on BARSTOW ST NE, between FLORENCE AVE NE and GLENDALE AVE NE containing approximately 5 acre(s). (B-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1004458**
05DRB-01515 Minor-Sketch Plat or Plan

JUSTIN SIMMONS request(s) the above action(s) for all or a portion of Lot(s) 4, **C J M MOORE REALTY CO ADDITION**, zoned R-1, located on RIO GRANDE BLVD NW, between MOUNTAIN RD NW and PUEBLO BONITO NW containing approximately 1 acre(s). (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. Approval of the Development Review Board Minutes for September 21, 2005. **THE DRB MINUTES FOR SEPTEMBER 21, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:20 A.M.

**City Of Albuquerque
PLANNING DEPARTMENT
October 5, 2005
DRB Comments**

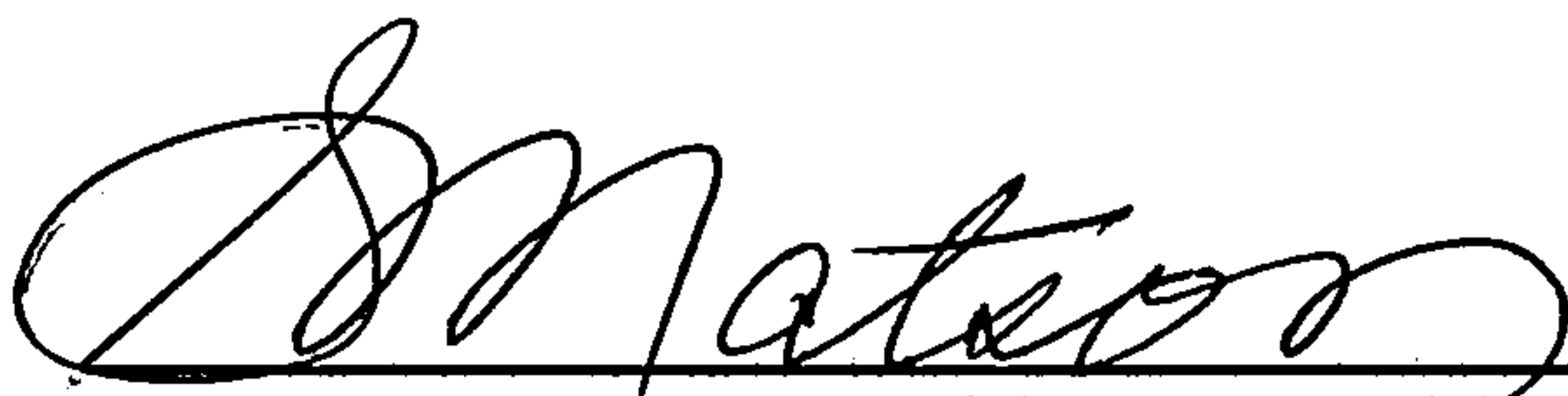
Item # 9

Project # 1003591 Application # 05- 01508

RE: Sungate Estates, Unit 2/epp

The preliminary plat was approved on October 4, 2004. Therefore, the one year approval period has not yet expired.

Planning has no objection to a one year extension of this plat.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov

#15



COMPLETED 07/11/05 SH
DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-00996 (FP)

Project # 1003591

Project Name SUNGATE ESTATES UNIT 1

Agent: Bohannan Huston Inc.

Phone No.: 823-1000

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS) (MASTER DEVELOP. PLAN), was approved on 6/22/05 by the DRB with delegation of signature(s) to the following departments. OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION:

UTILITIES:

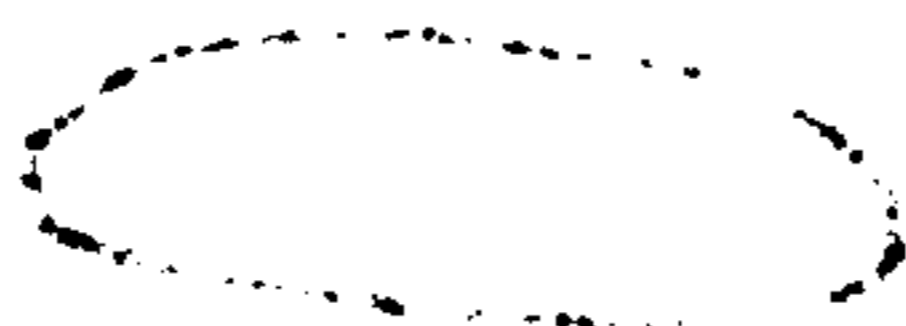
CITY ENGINEER / AMAFCA:

PARKS / CIP: *Payment of Park Fees ok CS*

PLANNING (last to sign): *Recording by Planning OK [Signature]*

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required. — *OKM*
- Copy of recorded plat for Planning.

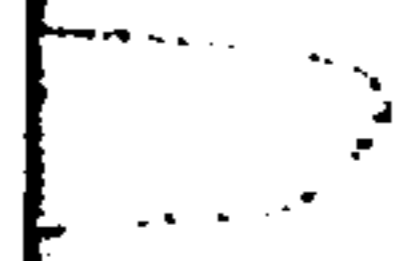
Project Number 1003591



No Action
[Disposition]

2014

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#15



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-00996 (FP)

Project # 1003591

Project Name **SUNGATE ESTATES UNIT 1**

Agent: Bohannon Huston Inc.

Phone No.: 823-1000

Your request for (SDP for SUB), (SDP for BP), **(FINAL PLATS)** (MASTER DEVELOP. PLAN), was approved on 6/22/05 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: Payment of Park Fees

PLANNING (Last to sign): Recording by Planning

Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). RECORDED DATE: _____

-Tax printout from the County Assessor.

Include 3 copies of the approved site plan along with the originals.

County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required. - OKAY

Copy of recorded plat for Planning.

Project Number 1003591

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
June 22, 2005
DRB Comments**

AGENDA ITEM # 15

PROJECT # 1003591

APPLICATION # 05-00996

RE: Tract 31A-1-A, Sungate Estates Subdivision, Unit 1

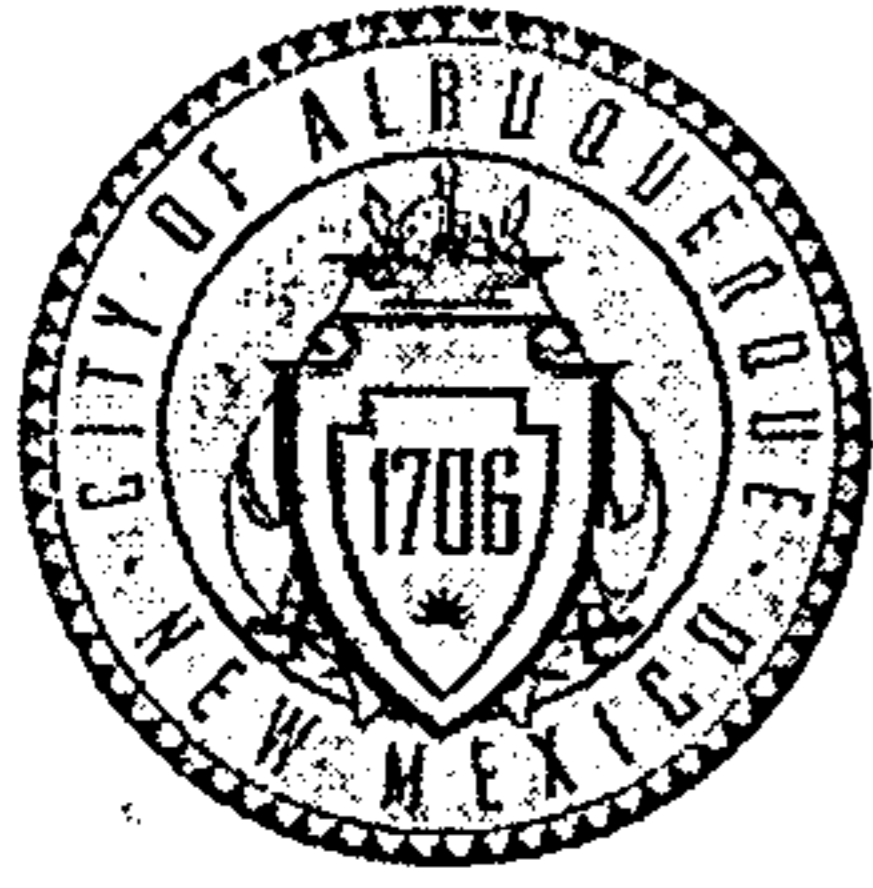
Are there any differences between the preliminary plat & the final plat?

SIA is recorded. No objection to the final plat.

However, Planning will take delegation until the plat is ready for recording as Planning is required to file the plat per the Subdivision Ordinance.



Sheran Matson, AICP
924-3880 fax 924-3864
smatson@cabq.gov



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1003591
Application Number: 05DRB-00996

DRB Date: 6/22/2005
Item Number: 15

Subdivision:

Tracts 31A-1-A, Sungate Estates Subdivision, Unit 1

Zoning: R-2 for RT and R-LT

Zone Page: N-09

New Lots (or units) : 129

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 129 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

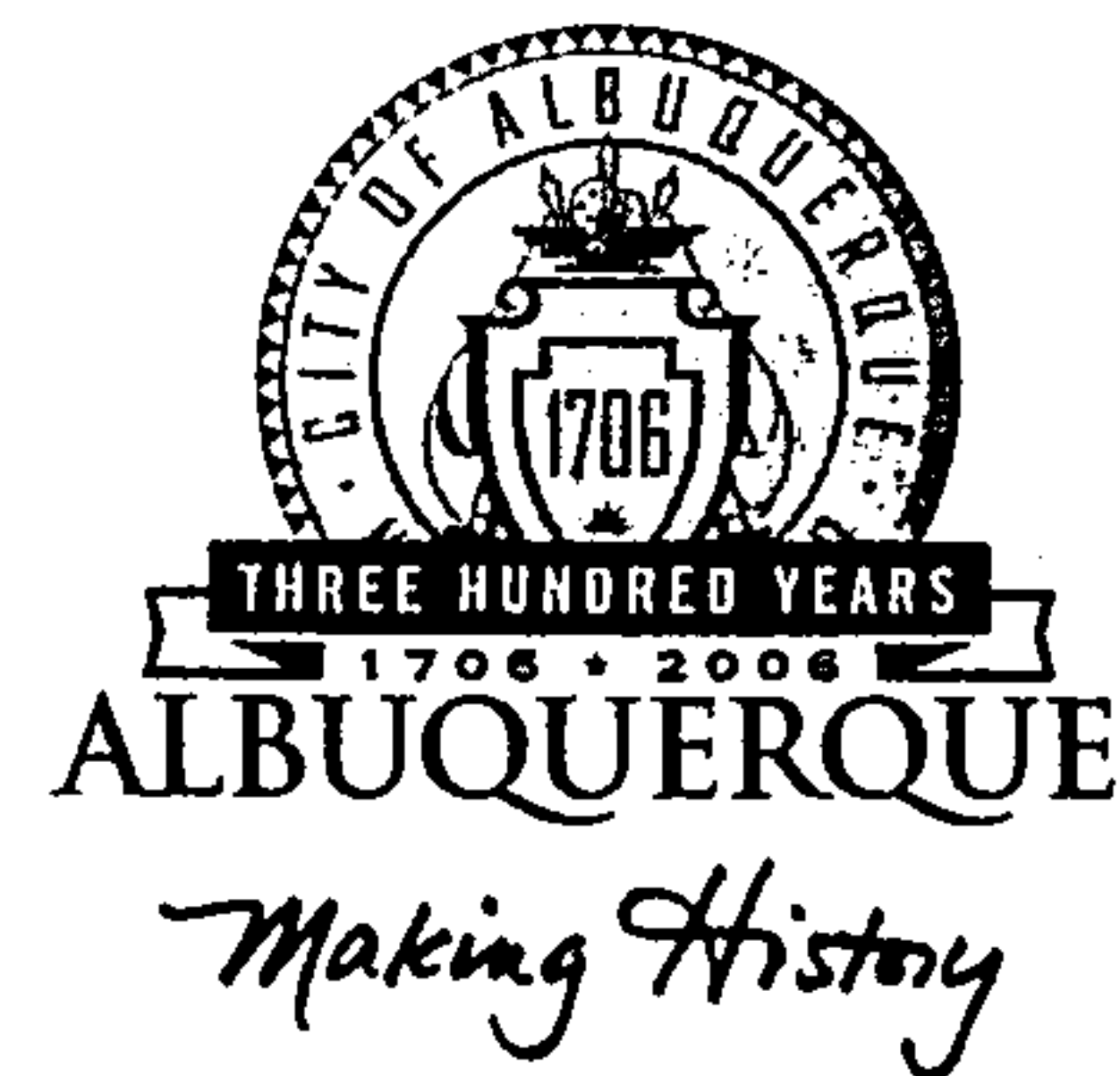
Signed:

A handwritten signature in cursive script, appearing to read "CS", written over a horizontal line.

Christina Sandoval, (DMD)

Phone: 768-3808

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003591

AGENDA ITEM NO: 15

SUBJECT:

Final Plat

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

An executed Subdivision Improvements Agreement with financial guarantees is on file for Final Plat sign-off.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 22, 2005



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 22, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:55 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000635**
05DRB-00904 Major-One Year SIA

TIERRA WEST LLC agent(s) for DE BARTOLO DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 38-1A1, 38-2A1, 38-2A2 and 38-3A1, **TAYLOR RANCH**, zoned SU-1 FOR C-1, located on MONTANO RD NW, between MONTANO PLAZA DR NW and COORS BYPASS BLVD NW containing approximately 4 acre(s). [REF: 00DRB00878, 02DRB01040, 04DRB01698, 04DRB01764] [Deferred from 6/22/05] (E-12)
DEFERRED AT AGENT'S REQUEST TO 6/29/05.

2. **Project # 1000650**
05DRB-00903 Major-Two Year SIA

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1-A-1, **LANDS OF LAMONICA & WENK**, zoned SU-1, C-1, located on COORS BLVD SW, between RIO BRAVO BLVD SW and LAMONICA RD SW containing approximately 20 acre(s). [REF: 00EPC00905, 00EPC00907, 04DRB00277] (P-10) **A 6-MONTH EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1003874**
05DRB-00894 Major-Vacation of
Public Easements

ISAACSON & ARFMAN agent(s) for CURB INC request(s) the above action(s) for Tract(s) 16-D, 16-E and 16-F, **EL RANCHO GRANDE, UNIT 16**, zoned R-D, located on GIBSON BLVD SW, between MESSINA DR SW and DELGADO DR SW. [REF: 04DRB00717, 04DRB01892, 05DRB00032, 05DRB00033, 05DRB00034, 05DRB00035, 05DRB00126, 05DRB00199, 05DRB00342] (N-8) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1004223**
05DRB-00884 Major-Vacation of
Public Easements
05DRB-00885 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST agent(s) for LUTHER MARTINEZ request(s) the above action(s) for all or a portion of Tract(s) 6-B, **SUNDT'S INDUSTRIAL CENTER** (to be known as **RENAISSANCE CENTER III, PARCEL D-1**), zoned M-2 & SU-1 1P, located on MONTANO RD NE, between ALEXANDER BLVD NE and DESERT SURF CIRCLE NE containing approximately 9 acre(s). [REF: V-96-84, DRB-96-377] [*Deferred from 6/22/05*] (F-16) **DEFERRED AT THE AGENT'S REQUEST TO 6/29/05.**

5. **Project # 1004228**
05DRB-00888 Major-Vacation of Pub
Right-of-Way

PHILIP TURNER agent(s) for JAMES P GUTHRIE request(s) the above action(s) for all or a portion of Tract(s) 89A2, 89B2, 89B3, 89C3, 89C4 SUNRISE HEIGHTS ADDITION, (to be known as **GUTHRIE COMMERCE PARK**) zoned M-1, located on MONTANO NE and RENAISSANCE NE containing approximately 1 acre(s). (F-15) **VACATION APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

6. **Project # 1004232**
05DRB-00896 Major-Vacation of
Public Easements

MIGUEL TRUJILLO agent(s) for WILLIAM WILSON request(s) the above action(s) for all or a portion of Block(s) 13, Tract(s) A, **CLAYTON HEIGHTS SUBDIVISION**, zoned C-2 community commercial zone, located on GIBSON BLVD SE, between BUENA VISTA SE and WILMOORE DR SE containing approximately 2 acre(s). [Will be readvertised] (L-15) **INDEFINITELY DEFERRED ON A NO SHOW.**

7. **Project # 1004233**
05DRB-00899 Major-Preliminary Plat
Approval
05DRB-00900 Major-Vacation of
Public Easements
05DRB-00901 Minor-Sidewalk Waiver
05DRB-00902 Minor-Temp Defer
SDWK

BOHANNAN HUSTON INC agent(s) for WESTLAND DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) I-2, WESTLAND NORTH (to be known as **STORM CLOUD SUBDIVISION**) zoned SU-2, RLT, located on TIERRA PINTADA ST SW, between ARROYO VISTA BLVD SW and LADERA DR SW containing approximately 107 acre(s). [Deferred from 6/22/05] (H-9, J-8, J-9) **DEFERRED AT THE AGENT'S REQUEST TO 6/29/05.**

8. **Project # 1004071**
05DRB-00511 Major-Bulk Land
Variance
05DRB-00512 Major-Vacation of
Public Easements
05DRB-00513 Minor-Prelim&Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for ALBUQUERQUE PUBLIC SCHOOLS & NEW MEXICO STATE LAND OFFICE, request(s) the above action(s) for **GOVERNMENT LOTS 1-4, SECTION 16, 11N, R2E AND THE SOUTH 1/2 OF THE SOUTH 1/2 OF SECTION 16, 11N, R2E**, zoned RO-20, located on RAINBOW BLVD NW, between COMPASS DR NW and PETROGLYPH NATIONAL MONUMENT containing approximately 289 acre(s). *[Deferred from 4/20/05 & 5/11/05 & 6/1/05]* (C-9) **BULK LAND VARIANCE APPROVED. VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD, RECORDING OF PLAT AND AGIS DXF FILE.**

9. **Project # 1004204**
05DRB-00871 Major-Vacation of
Public Easements

PRECISION SURVEYS agent(s) for WESTLAND DEVELOPMENT CO request(s) the above action(s) for all or a portion of Block(s) F, Tract(s) A, **CEDAR RIDGE ESTATES, UNIT 2**, zoned R-1, located on QUAIL BRUSH DR NW and ROSEBUD DR NW. [REF: S-93-23, DRB-96-150] *[Deferred from 6/15/05]*(J-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

- 05DRB-01007 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Block(s) F, Tract(s) A, **CEDAR RIDGE ESTATES, UNIT 2**, zoned R-1 residential zone, located on SILKWOOD AVE NW and LOS VOLCANES RD NW and containing approximately 1 acre(s). [REF: S-93-23, DRB-96-150] (J-10) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CERTIFICATION OF GRADING PERMIT AND ACCEPTANCE OF STORM DRAIN IN LOS VOLCANES AND PLANNING FOR AGIS DXF FILE AND 15-DAY APPEAL PERIOD.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

- 10. Project # 1004266**
05DRB-01017 Minor-SiteDev Plan
BldPermit
- ADVANCED ENGINEERING & CONSULTING agent(s) for MAVERICK DEVELOPMENT INC., RON SPRADLIN request(s) the above action(s) for all or a portion of Lot(s) 29, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP, located on ALAMEDA DR NE, between ALAMEDA PARK DR NE and the AMAFCA NORTH DIVERSION CHANNEL, containing approximately 2 acre(s). [REF: DRB-98-223] [Deferred from 6/22/05] (C-16) **DEFERRED AT THE AGENT'S REQUEST TO 6/29/05.**
- 11. Project # 1000195**
05DRB-01016 Minor-SiteDev Plan
Subd/EPC
05DRB-01018 Minor-SiteDev Plan
BldPermit/EPC
- MARK GOODWIN & ASSOCIATES agent(s) for GRAYBAR ELECTRIC request(s) the above action(s) for all or a portion of Lot(s) A, B, C & D, **GATEWAY INDUSTRIAL PARK ADDITION**, zoned SU-1 PLANNED INDUSTRIAL DEVELOPMENT, located on MENAUL BLVD NE, between NBSR RR AND BROADWAY NE and containing approximately 5 acre(s). [REF: 05EPC00584, 05EPC00583] [Elvira Lopez, EPC Case Planner] (H-14) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR EPC CASE PLANNER'S INITIALS. SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR STALL DIMENSIONS AND PLANNING FOR EPC CASE PLANNER'S INITIALS.**
- 05DRB-01014 Minor-Prelim&Final Plat
Approval
05DRB-01015 Minor-Vacation of
Private Easements
- MARK GOODWIN & ASSOCIATES, PA agent(s) for HENSLEY CONSTRUCTION, INC. request(s) the above action(s) for all or a portion of Tract(s) A, B, C & D, **GATEWAY INDUSTRIAL PARK**, (to be known as **GRAYBAR ELECTRIC**) zoned SU-1 PLANNED INDUSTRIAL DEVELOPMENT, located on MENAUL BLVD NE and BROADWAY BLVD NE and containing approximately 5 acre(s). (H-14) **PRELIMINARY**

PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EASEMENTS. VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.

12. **Project # 1003859**
05DRB-00994 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING agent(s) for SILVERLEAF VENTURES LLC request(s) the above action(s) for all or a portion of Tract(s) A & 6B, LANDS OF RAY GRAHAM III, OVENWEST CORPORATION AND CITY OF ALBUQUERQUE, (to be known as **NORTH ANDALUCIA @ LA LUZ**) zoned SU-1, O-1, C-2 and PRD, located on COORS BLVD NW, between MONTANO RD NW and LEARNING RD NW containing approximately 70 acre(s). [REF: 04EPC00855, 02EPC01770, 02EPC01771, 04EPC01845] [Juanita Garcia, EPC Case Planner] (E-12/F-12) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR MTB APPROVAL, NMDOT APPROVAL AND DMD APPROVAL.**

05DRB-01010 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC agent(s) for SILVERLEAF VENTURES LLC request(s) the above action(s) for all or a portion of Tract(s) A & 6B, LANDS OF RAY A GRAHAM, (to be known as **NORTH ANDALUCIA @ LA LUZ**) zoned SU-1, O-1, C-2 and PRD, located on COORS BLVD NW, between MONTANO RD NW and LEARNING RD NW containing approximately 64 acre(s). [REF: 04EPC00855, 02EPC01770, 02EPC01771, 04EPC01845] (E-12/F-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/22/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/14/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: A PUBLIC DRAINAGE EASEMENT IS REQUIRED ON TRACT 9. A WATERLINE MUST BE RELOCATED AND ACCEPTED BY WATER UTILITY DEPARTMENT**

OR HAVE A TEMPORARY EASEMENT IN PLACE FOR THE EXISTING WATER LINE LOCATION. A ROUND-ABOUT DESIGN SHALL BE PROVIDED. STREET INTERSECTION ANGLES MUST BE REEVALUATED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.

13. **Project # 1003883**
05DRB-00999 Minor-SiteDev Plan
BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for LANDHLAFORD, LLC request(s) the above action(s) for all or a portion of Lot(s) 9, Tract(s) 9-A-1A-2, **JOURNAL CENTER PHASE 2, UNIT 1**, zoned IP, located on TIBURON ST NE and JEFFERSON ST NE and containing approximately 3 acre(s). (D-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PARKING DIMENSIONS AND PLANNING FOR WRITTEN COMMENTS AND 3 COPIES OF THE SITE PLAN.**

05DRB-01000 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for LANDHLAFORD, LLC request(s) the above action(s) for all or a portion of Lot(s) 9, Tract(s) 9-A-1A-2, **JOURNAL CENTER PHASE 2, UNIT 1**, (to be known as **JOURNAL CENTER LAW OFFICES**) zoned IP, located on TIBURON ST NE, between JEFFERSON ST NE and containing approximately 3 acre(s). (D-17) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/22/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT: PROVIDE A SIDEWALK EASEMENT FOR THE MEANDERING SIDEWALK. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

14. **Project # 1003057**
05DRB-00980 Minor-SiteDev Plan
BldPermit

KEN HOVEY, agent(s) for I-40 GATEWAY WEST LLC request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) A-2-C-1, **CLIFFORD WEST BUSINESS PARK, UNIT 3**, zoned IP industrial park zone, located on UNSER BLVD NW, between LOS VOLCANES NW and SAUL BELL RD NW containing approximately 7 acre(s). [REF: Z-97-11, AA-98-54] [Given Project #1004257 in error.] [Deferred from 6/22/05] (K-9) **DEFERRED AT THE AGENT'S REQUEST TO 6/29/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

- 15. Project # 1003591**
05DRB-00996 Minor-Final Plat
Approval

BOHANNAN HUSTON INC. agent(s) for D.R. HORTON, INC. request(s) the above action(s) for all or a portion of Tract(s) 31A-1-A, **SUNGATE ESTATES SUBDIVISION, UNIT 1**, zoned R-2 FOR R-T & R-LT, located on GIBSON BLVD SW, between BLAKE RD SW and 98TH ST SW containing approximately 46 acre(s). [REF: 04DRB-01185] (N-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND PLANNING FOR PLAT RECORDING.**

16. **Project # 1003429**
05DRB-00995 Minor-Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for CURB INC. request(s) the above action(s) for all or a portion of Tract(s) 16B and 16C, EL RANCHO GRANDE (to be known as **SIERRA RANCH SUBDIVISION, UNIT 1**) zoned R-LT, R-D, located on GIBSON BLVD SW, and containing approximately 62 acre(s). (N-8) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PLAT RECORDING.**

17. **Project # 1003030**
05DRB-00997 Minor-Final Plat
Approval

BOHANNAN HUSTON, INC. agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 15, **EL RANCHO GRANDE, UNIT 15**, zoned R-LT, located on GIBSON BLVD SW, between BLAKE RD SW and MESSINA DR SW containing approximately 23 acre(s).[REF: 05DRB00282] (N-8) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PLAT RECORDING.**

18. **Project # 1003571**
05DRB-01002 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for CURB INC. request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, ATRISCO GRANT (to be known as **EL RANCHO GRANDE, UNIT 9B**) zoned R-LT residential zone, located south of BLAKE RD NW and west of the AMOLE CHANNEL and containing approximately 35 acre(s). [REF: 04DRB01518] (N-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK WAIVER APPLICATION, TRACT A REFERENCE, AMAFCA LICENSE AGREEMENT FOR WATER AND SEWER LINES AND PLANNING FOR RECORDING OF PLAT.**

19. **Project # 1002857**
05DRB-01004 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) A & B, ARROWOOD RANCH DEVELOPMENT, (to be known as **THE HIGHLANDS @ ANDERSON HILLS, UNIT 2**) zoned R-LT residential zone, located on 98TH ST SW north of DENNIS CHAVEZ BLVD SW and containing approximately 34 acre(s).[REF:Z-99-8] (N-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PLAT RECORDING. UNIT 2 NEEDS TO BE RECORDED FIRST.**

05DRB-01006 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) A & B, ARROWOOD RANCH DEVELOPMENT, (to be known as **THE HIGHLANDS @ ANDERSON HILLS, UNIT 3**) zoned R-LT residential zone, located on 98TH ST SW north of DENNIS CHAVEZ BLVD SW and containing approximately 34 acre(s). [REF: Z-99-8, SPR-95-22] (N-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PLAT RECORDING.**

20. **Project # 1003696**
05DRB-00998 Minor-Prelim&Final Plat
Approval

RIO GRANDE ENGINEERING agent(s) for J D HOME CORPORATION, request(s) the above action(s) for all or a portion of Lot(s) 26 and 27, **TORRENTINO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on 97TH ST SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 6 acre(s). (L-9) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

21. **Project # 1003624**
05DRB-01001 Minor-Prelim&Final Plat
Approval

MICHAEL RENFRO, request(s) the above action(s) for all or a portion of Tract(s) 22-A, 22-B, 38-A and 38-B, M.R.G.C.D. MAP #34, (to be known as **SAN ISIDRO GARDENS**) zoned RA-2 residential and agricultural zone, located on SAN ISIDRO ST NW, between CANDELARIA RD NW and GRIEGOS RD NW containing approximately 2 acre(s). [REF: 04ZHE01281] [Deferred from 6/22/05] (G-13) **DEFERRED AT THE AGENT'S REQUEST TO 7/13/05.**

22. **Project # 1004178**
05DRB-01013 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC., agent(s) for GREVEY INVESTMENTS, request(s) the above action(s) for all or a portion of Tract(s) D, E, F & G, Block(s) 27, (to be known as **MESA VILLAGE**) zoned C-1, C-2 and O-1, located on EUBANK BLVD NE between LOMAS BLVD NE and WALKER DR NE, containing approximately 5 acre(s). [REF: 05DRB00794] (J-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/22/05 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

23. **Project # 1003238**
05DRB-01012 Major-Final Plat
Approval

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) A, B C, Tract(s) 267, 268-B, 270-A-2, 270-A-1-C, 270-A-1-D, 270-B AND 315-A-1-A-1, M.R.G.C.D. MAP 35 AND LAND OF ALBERT PEREZ, TRACT(S) B1 AND B2, LAND OF MACIEL & TRUJILLO (to be known as **FLORAL MEADOWS SUBDIVISION**) zoned R-LT residential zone, located on INTERSTATE 40 between RIO GRANDE BLVD NW and MONTOYA ST NW containing approximately 8 acre(s). [REF: 04EPC00156, 04EPC00157, 04DRB00661, 04DRB01227] (H-12/H-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR EASEMENTS ON PARCELS D & E FOR WATER/SEWER SERVICES (OR SHOW OFFSITE EASEMENTS FOR LOTS NEXT TO PARCEL E) AND TO PLANNING FOR M.R.G.C.D. SIGNATURE AND PLAT RECORDING.**

24. **Project # 1004264**
05DRB-01003 Minor-Prelim&Final Plat
Approval
- ISAACSON & ARFMAN, PA agent(s) for TERRY & SHIRLEY CURRY request(s) the above action(s) for all or a portion of Lot(s) 20, 21 and 22, Block(s) 3, **DEL NORTE ADDITION**, zoned R-1, located on ESPANOLA NE, between COPPER NE and GIRARD NE containing approximately 1 acre(s). (K-19) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**
25. **Project # 1003629**
05DRB-01008 Minor-Prelim&Final Plat
Approval
- ARMIJO SURVEYING agent(s) for DONALD VASQUEZ request(s) the above action(s) for all or a portion of Lot(s) 1, **PARKSITO SUBDIVISION**, zoned R-D, located on 97TH ST SW, between FIRMAN CT SW and SAN YGNACIO RD SW containing approximately 1 acre(s). [REF: DRB-96-529, S-98-83, S-97-55] (L-9) **PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**
26. **Project # 1004261**
05DRB-00988 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for MATT SMITH request(s) the above action(s) for all or a portion of Tract(s) A, **LANDS OF W. D. KING & C. D. KING**, and Tract(s) 140, **M.R.G.C.D. MAP 38**, zoned SU-2, located on CENTRAL AVE SW, between SAN PASQUALE AVE SW and CHACOMA PL SW containing approximately 1 acre(s). [REF: LUC-9-25, LUC-98-7, LUC-95-31, LUC-94-1] (J-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR DEDICATION ALONG SAN PASQUALE AND PLANNING FOR AGIS DXF FILE.**

27. **Project # 1003554**
05DRB-00530 Minor- Final Plat
Approval

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 1-8, Block(s) 9 and Lot(s) 2-9, Block(s) 8, SKYLINE HEIGHTS, (to be known as **CENTRAL PARK PLACE, PHASE 1**) zoned C-2, located on CENTRAL AVE SE, between CONCHAS ST SE and EUBANK BLVD SE containing approximately 4 acre(s). [REF: ZA-88-406, 04DRB01099, 04DRB01100] *[Deferred from 4/6/05 and 4/20/05 FINAL PLAT WAS INDEF DEFERRED FOR SIA]* (L-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PLAT RECORDING.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

28. **Project # 1000696**
05DRB-00977 Minor-Sketch Plat or
Plan

MARK GOODWIN & ASSOCIATES agent(s) for ICDC LLC request(s) the above action(s) for all or a portion of Tract(s) C, LEE'S BOSQUE SUBDIVISION (to be known as **BOSQUECITO SUBDIVISION**) zoned R-D residential and related uses zone, developing area, located on COORS BLVD NW, between EAGLE RANCH RD NW and LA ORILLA RD NW containing approximately 7 acre(s). (D-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

29. **Project # 1004258**
05DRB-00984 Minor-Sketch Plat or
Plan

KIMBERLY A. KIEGEL request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, Block(s) 32, **MONTEREY HILLS ADDITION, UNIT 2**, zoned R-1, located on SAN RAFAEL SE, between GIRARD SE and RICHMOND SE containing approximately 1 acre(s). (L-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

30. **Project # 1004232**
05DRB-00991 Minor-Sketch Plat or Plan

MIGUEL TRUJILLO agent(s) for WILLIAM K WILSON, request(s) the above action(s) for all or a portion of Tract(s) A, Block(s) 13, **CLAYTON HEIGHTS**, zoned C-2, located on GIBSON BLVD SE, between BUENA VISTA SE and WILMOORE DR SE containing approximately 2 acre(s). [Was issued Project #1004262 in error.] (L-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

31. **Project # 1004267**
05DRB-01019 Minor-Sketch Plat or Plan

GARY MIRABAL request(s) the above action(s) for all or a portion of Tract(s) 1, LANDS OF MANUEL GONZALES (to be known as **VILLA PLAZA VIEJA**) zoned RA-2 residential and agricultural zone, located on MOUNTAIN RD NW, between MONTTOYA RD NW and CENTRAL AVE NW containing approximately 2 acre(s). [REF: DRB-97-247] (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

32. **Project # 1004240**
05DRB-00918 Minor-Sketch Plat or Plan

SCHARLES WILDER agent(s) for ED GARCIA request(s) the above action(s) for all or a portion of Tract(s) 87A2, 87B1, 87B2, 87B3, 88, 89A, A2 and A1, **MAES-ERNEST**, zoned R-1 residential zone, located on RIO GRANDE BLVD NW, between INDIAN SCHOOL RD NW and MEADOW VIEW RD NW containing approximately 3 acre(s). [Deferred from 6/15/05] (H-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

33. Approval of the Development Review Board Minutes for June 8, 2005. **DRB MINUTES FOR JUNE 8, 2005 WERE APPROVED.**

ADJOURNED: 12:55 P.M.

#15

3591

DXF Electronic Approval Form

DRB Project Case #: 1003591

Subdivision Name: SUNGATE ESTATES UNIT 1

Surveyor: TIMOTHY ALDRICH

Contact Person: STEPHANIE STRATTON

Contact Information: 798-7965

DXF Received: 6/14/2005

Hard Copy Received: 6/14/2005

Coordinate System: Ground rotated to NMSP Grid


Approved

06-14-2005
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc 3591 to agiscov on 6/14/2005 Contact person notified on 6/14/2005



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 13, 2004

7. Project # 1003591
04DRB-01384 Major-Preliminary Plat Approval
04DRB-01386 Minor-Sidewalk Waiver
04DRB-01387 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 31A-1-A, **SUN GATE ESTATES**, zoned R-LT residential zone, located on 98TH ST SW, between BLAKE RD SW and OPEN RANGE AVE SW containing approximately 45 acre(s). [REF: 04DRB-01185] [*Deferred from 10/6/04*] (N-9)

At the October 13, 2004, Development Review Board meeting, with the signing of the infrastructure list dated 10/13/04 and approval of the grading plan engineer stamp dated 9/9/04 the preliminary plat was approved.

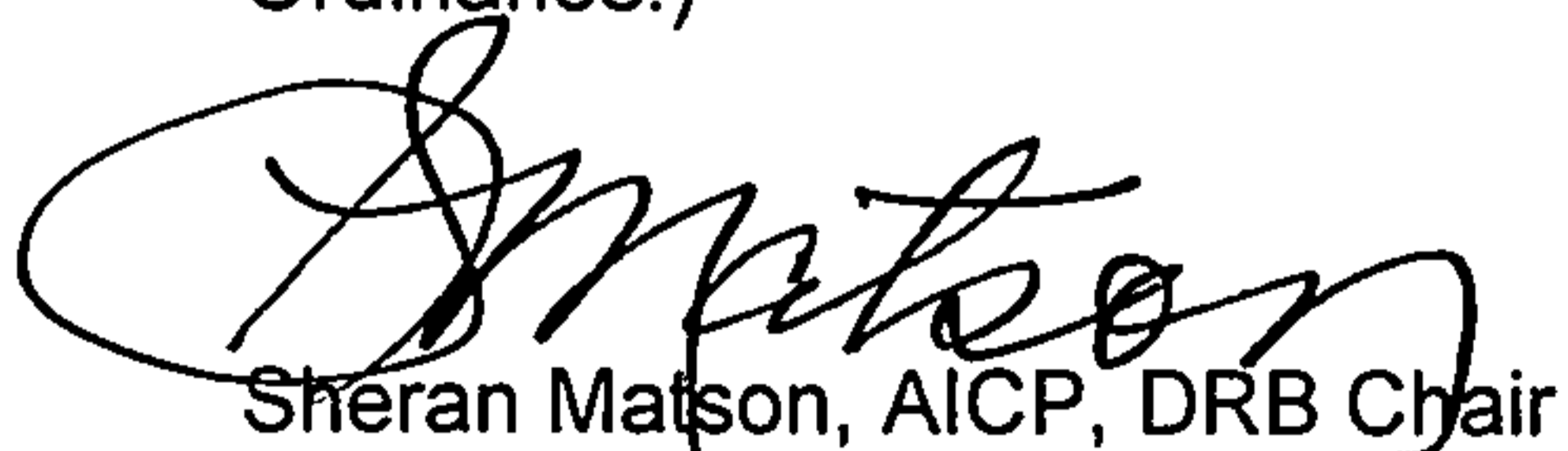
A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by October 28, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)


Sheran Matson, AICP, DRB Chair

Cc: Bohannan Huston Inc., 7500 Jefferson NE, 87109
D.R.Horton Homes, 4400 Alameda Blvd NE, Suite B, 87111
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003591 AGENDA#: 7 DATE: 10.13.04

1. Name: Chris Sholtis Address: 7555 Willow Run Zip: 87118

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

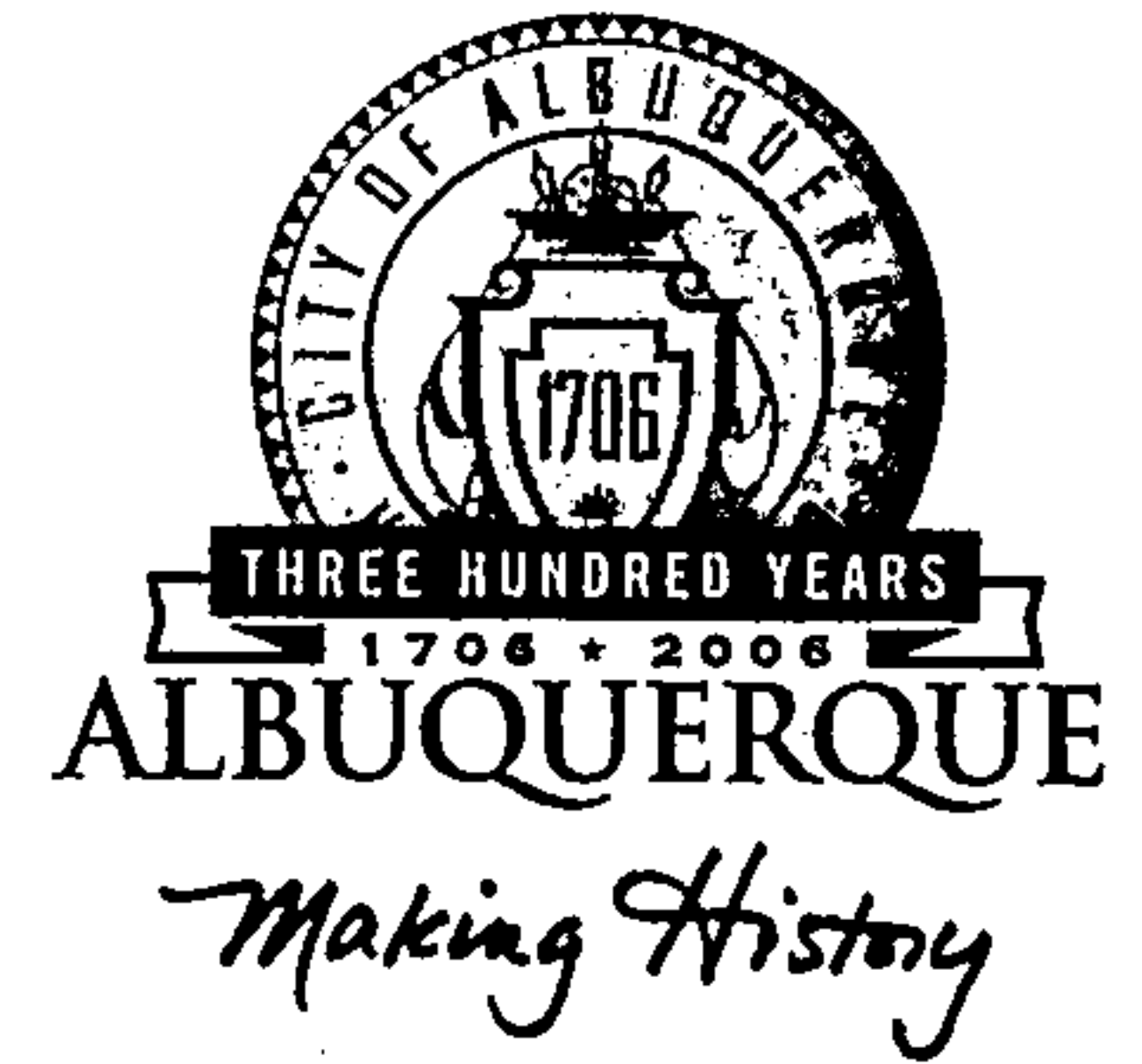
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003591

AGENDA ITEM NO: 7

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

Albuquerque

ENGINEERING COMMENTS:

An approved drainage report dated 9-9-04 is on file for Preliminary Plat approval.
Comments on the infrastructure list.

New Mexico 87103

RESOLUTION: *Signed I.L.*

www.cabq.gov

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

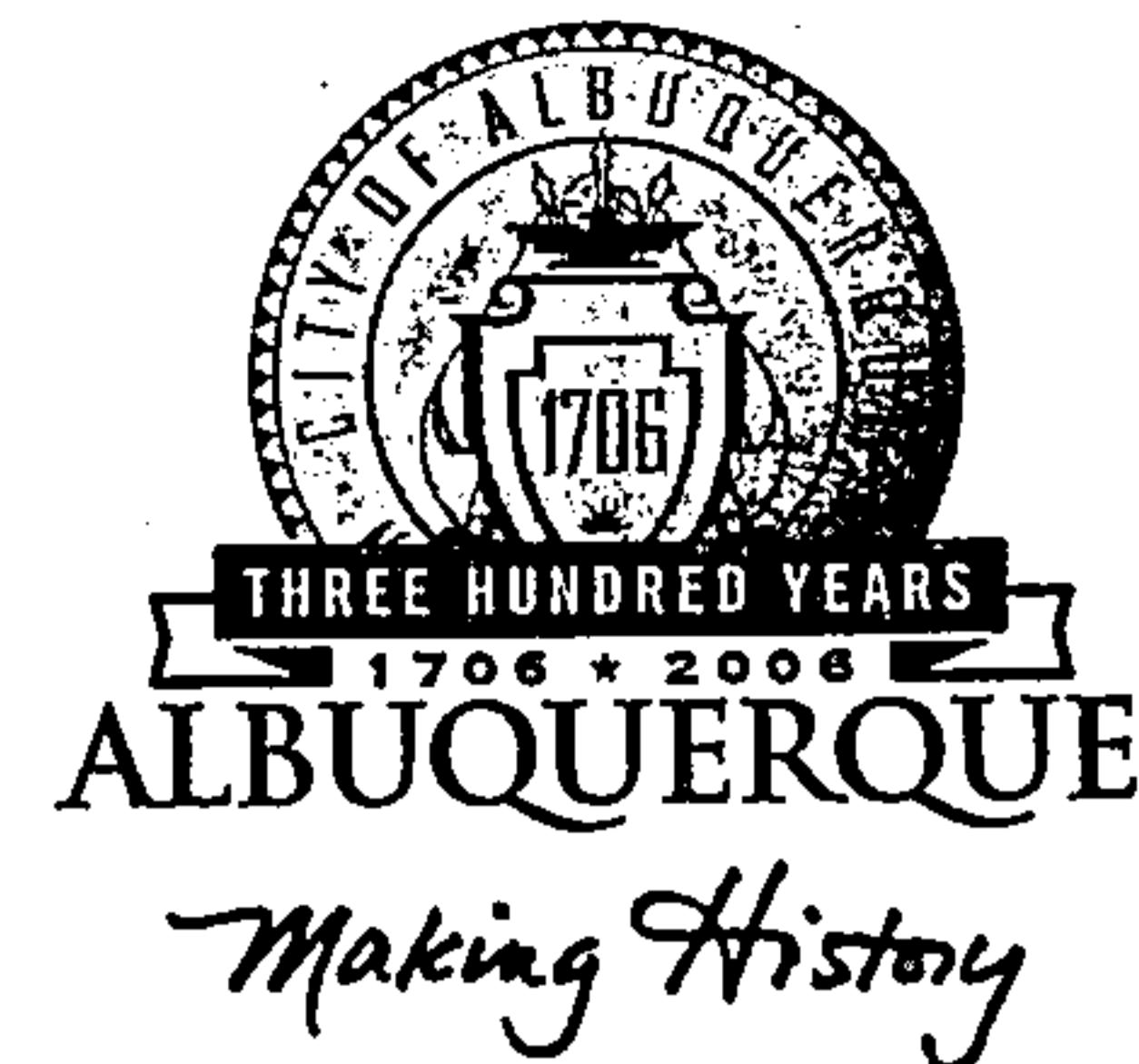
DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 13, 2004

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003591

AGENDA ITEM NO: 2

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 6, 2004

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

10-13-04



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 6, 2004 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m. Adjourned: 10:50 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001926**
04DRB-01393 Major-Preliminary Plat Approval
04DRB-01394 Major-Final Plat Approval
TIERRA WEST, LLC agent(s) for JD HOME, INC & JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 225, TOWN OF ATRISCO GRANT, AIRPORT UNIT, zoned R-2, located on 72ND PL NW, between INTERSTATE 40 WEST and GLEN RIO RD NW containing approximately 5 acre(s). [REF: 03DRB01224, 03DRB011,15] (J-10) DEFERRED AT AGENT'S REQUEST TO 10/13/04.

2. **Project # 1003591**
04DRB-01384 Major-Preliminary Plat
Approval
04DRB-01386 Minor-Sidewalk Waiver
04DRB-01387 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 31A-1-A, **SUN GATE ESTATES**, zoned R-LT residential zone, located on 98TH ST SW, between BLAKE RD SW and OPEN RANGE AVE SW containing approximately 45 acre(s). [REF: 04DRB-01185] *[Deferred from 10/6/04]* (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/13/04.**

3. **Project # 1003369**
04DRB-00514 Major-Drainage Plan to
Determine the Cost Allocation for Storm
Drainage Improvements

BOB KEERAN agent(s) for LLAVE CONSTRUCTION INC request(s) these action(s) for all or a portion of Unit(s) 3, Lot(s) 6 & 7, Tract(s) 3, Block(s) 16, NORTH ALBUQUERQUE ACRES, **VINTNER COURT SUBDIVISION**, zoned DETENTION POND, located on VINTNER NE, between VENTURA NE and CORONA NE containing approximately 2 acre(s). *[Deferred from 5/12/04, 5/26/04, 6/9/04, 6/23/04, 7/14/04, 7/21/04, 8/11/04, 8/25/04, 9/8/04 & 10/6/04]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 11/3/04.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

4. **Project # 1003596**
04DRB-01490 Minor-SiteDev Plan
BldPermit/EPC

GOLDEN & ASSOCIATES agent(s) for BREWER OIL CO INC request(s) the above action(s) for all or a portion of Tract(s) 100-C1, **MONTGOMERY HEIGHTS**, zoned SU-1 FOR C-2 WITH WAREHOUSE, located on SAN MATEO BLVD NE and MONTGOMERY BLVD NE containing approximately 1 acre(s). [REF: 04EPC01216] **[Stephanie Shumsky, EPC Case Planner]** (F-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR INFRASTRUCTURE LANGUAGE ON THE SIGNATURE BLOCK.**

5. **Project # 1003364**
04DRB-01407 Minor-SiteDev Plan
Subd/EPC
04DRB-01408 Minor-SiteDev Plan
BldPermit/EPC
04DRB-01409 Minor-Prelim&Final Plat
Approval

TIERRA WEST, LLC agent(s) for DOUBLE CHEESE CORPORATION request(s) the above action(s) for all or a portion of Block(s) 10, Tract(s) 1A, **NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3**, zoned SU-2 MIXED USES, located on LOUISIANA BLVD NE, between HOLLY AVE NE and PASEO DEL NORTE NE containing approximately 5 acre(s). [REF: DRB-95-478, 04EPC-00495, 04EPC-00494] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 9/22/04*] (C-19) **SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/6/04 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR THE SIA. THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project # 1003403**
04DRB-01493 Minor-Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) F, **THE RESERVE @ THE TRAILS SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and the TOWN OF ALAMEDA GRANT SOUTH BOUNDARY containing approximately 18 acre(s). [REF: 04DRB00632, 04DRB00633, 04DRB00634, 04DRB00635, 03DRB01528] (C-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

7. **Project # 1001523**
04DRB-01491 Minor-Final Plat Approval
- MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER/98TH STREET PARTNERSHIP LLC request(s) the above action(s) for all or a portion of Lot(s) 2-A, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 LIGHT INDUSTRIAL, located on UNSER BLVD NW, between LADERA DR NW and MARKET ST NW containing approximately 19 acre(s). [REF: 01EPC01405, 02DRB00518, 02DRB00519, 02DRB00519] (H-9/H-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA'S SIGNATURE.**
8. **Project # 1002856**
04DRB-01492 Minor-Final Plat Approval
- MARK GOODWIN & ASSOCIATES PA agent(s) for D R HORTON CUSTOM HOMES request(s) the above action(s) for all or a portion of Tract(s) 2, **MEADOWS @ ANDERSON HILLS**, (to be known as **BLOSSOM RIDGE ESTATES**) zoned R-LT residential zone, located on DENNIS CHAVEZ BLVD SW, between 98th STREET SW and UNSER BLVD SW containing approximately 10 acre(s). [REF: 04DRB01156, 04DRB01157, 04DRB00230, 04DRB00231] (P-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
9. **Project # 1002593**
04DRB-01502 Minor-Prelim&Final Plat Approval
- BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 29-35, **VISTA DE ARENAL, UNIT 3**, zoned R-LT residential zone, located on IRVING BLVD NW, between RAINBOW BLVD NW and PAESE PL NW containing approximately 2 acre(s). [REF: 04DRB00911] (B-9) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

10. **Project # 1002022**
04DRB-01308 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for T. S. MC NANEY & ASSOCIATES, request(s) the above action(s) for all or a portion of Tract(s) 8 & 9, **VISTA WEST SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on TOWER RD SW, between UNSER BLVD NW and EUCARIZ AVE. SE containing approximately 10 acre(s). [REF: 02DRB-01237, 03DRB-00424] [Final Plat deferred from 9/1/04 & 9/8/04 & 9/15/04 & 10/6/04] (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/20/04.**

11. **Project # 1002718**
04DRB-01498 Minor-Vacation of Private Easements

TIERRA WEST LLC agent(s) for TS MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Lot(s) 13, **RIVERVIEW ACRES, UNIT 2**, zoned RA-1 residential and agricultural zone, semi-urban area, located on GABALDON RD SW, between RIVERSIDE DRAIN CANAL and GABALDON RD SW containing approximately 1 acre(s). [REF: 04DRB00758, 04DRB00759] (H-12) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

- Project # 1002718**
04DRB-01410 Minor-Final Plat Approval
04DRB-01411 Minor-Sidewalk Waiver

TIERRA WEST LLC agent(s) for TS MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 334B2A1, 334B2B & 334B1, **RIVERVIEW ACRES, UNIT 2**, zoned RA-1 residential and agricultural zone, semi-urban area, located on GABALDON RD SW, between RIVERSIDE DRAIN CANAL and GABALDON RD SW containing approximately 10 acre(s). [REF: 04DRB-00758, 04DRB-00759] [Deferred from 9/22/04] (H-12) **FINAL PLAT WAS APPROVED AND DELEGATED TO PARKS FOR CASH-IN-LIEU. THE SIDEWALK WAIVER WAS WITHDRAWN AT THE AGENT'S REQUEST.**

12. **Project # 1003051**
04DRB-01496 Minor-Prelim&Final Plat
Approval

RAY BACA agent(s) for COSME OLGUIN request(s) the above action(s) for all or a portion of Tract(s) A & B, **LANDS OF COSME & HENRIETTA OLGUIN**, zoned RA-2 residential and agricultural zone, located on RIO GRANDE BLVD NW, between GRIEGOS RD NW and CANDELARIA RD NW containing approximately 1 acre(s). (F-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

13. **Project # 1002520**
04DRB-00893 Minor- Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for JENNIFER SOULE request(s) the above action(s) for all or a portion of Lot(s) 15 & 16, Tract(s) 2, Block(s) 4, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on ALAMEDA BLVD NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). [REF: 04DRB00705] [*Final Plat Indef. Deferred for SIA*] (C-19) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR WALL DESIGN AND AGIS DXF FILE.**

14. **Project # 1003573**
04DRB-01417 Minor-Prelim&Final Plat
Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 & 30, Block(s) 2, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3, OAKLAND NORTH SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB-01138] [*Deferred from 9/22/04 & 10/6/04*] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 11/3/04.**

15. **Project # 1003112**
04DRB-01005 Major-Final Plat Approval

COMMUNITY SCIENCES CORP agent(s) for COLLATZ INC, JACK CLIFFORD request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF COLLATZ INC, **RINCONADA TRAILS**, zoned SU-1 special use zone, located on UNSER BLVD NW, between UNSER BLVD NW and WESTERN TRAILS NW containing approximately 9 acre(s). [REF: 03DRB-01994, 04DRB-00166, 04DRB-00167, 04DRB-00168] [*Deferred from 7/14/04, 7/21/04, 8/4/04, 8/11/04 & 8/18/04 & 9/1/04 Indef. Deferred, 9/29/04 Indef. Deferred*] (F-11/F-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR DETACHED OPEN SPACE FEES.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1003694**
04DRB-01485 Minor-Sketch Plat or Plan

CHRISTOPHER CALOTT request(s) the above action(s) for all or a portion of Lot(s) BB, **ALVARADO GARDENS, UNIT 2**, zoned RA-2 residential and agricultural zone, located on CAMPBELL RD NW, between TRELIS DR NW and GLENWOOD NW containing approximately 1 acre(s). (G-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1001440**
04DRB-01497 Minor-Sketch Plat or Plan

ANDREW MIODUCHOWSKI agent(s) for ILENE MERCHANT request(s) the above action(s) for all or a portion of Tract(s) D3A, **COORS CENTRAL NORTH ADDITION**, zoned SU-1 special use zone, located on COORS BLVD NW, between BLUEWATER RD NW and CENTRAL AVE NW containing approximately 1 acre(s). [REF: DRB-96-27] (K-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1003695**
04DRB-01494 Minor-Sketch Plat or Plan

A. BAIN COCHRAN III request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 12, **ALBUQUERQUE HIGHLANDS**, zoned R-1 residential zone, located on MOUNTAIN RD NE, between SAN MATEO NE and SAN PEDRO NE containing approximately 1 acre(s). (J-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1003696**
04DRB-01495 Minor-Sketch Plat or Plan

RIO GRANDE ENGINEERING agent(s) for SCACCIA LLC request(s) the above action(s) for all or a portion of Lot(s) 1-17, Tract(s) A, B, C, **VINCINTI MONTANO SUBDIVISION & JUANITA LOPEZ VIGIL SUBDIVISION** (to be known as **TORRENTINO SUBDIVISION**), zoned R-D residential and related uses zone, developing area, located on 97TH STREET SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 6 acre(s). [REF: AX-87-5, DRB-96-529] (L-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1003689**
04DRB-01464 Minor-Sketch Plat or Plan

HALL SURVEYING agent(s) for GREG BOULOY request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3, Block(s) 13, **PEREA ADDITION**, zoned SU-2 TH special neighborhood zone, located on 16TH ST NW, between LOMAS BLVD NW and CENTRAL AVE NW [Indef. Deferred 9/29/04] (J-13). **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1002864**
04DRB-01499 Minor-Sketch Plat or Plan

COMMUNITY SCIENCES CORP agent(s) for D R HORTON HOMES request(s) the above action(s) for all or a portion of Lot(s) 56 & 57, **CANTACIELO SUBDIVISION**, zoned R-LT residential zone, located on VENTICICELLO DR NW, between PEGGIO AVE NW and BREZZA DULCE AVE NW containing approximately 30 acre(s). [REF: 04DRB00242] (A-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1003027**
04DRB-01500 Minor-Sketch Plat or Plan

COMMUNITY SCIENCES CORP agent(s) for RAYLEE HOMES request(s) the above action(s) for all or a portion of **Tract(s) 1P & 2P, TREMENTINA OESTE SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on ALAMEDA BLVD NE, and CALLE CALMA NE containing approximately 1 acre(s). [REF: 03DRB02159] (C-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

- 04DRB-01501 Minor-Sketch Plat or Plan

COMMUNITY SCIENCES CORP agent(s) for RAYLEE HOMES request(s) the above action(s) for all or a portion of **Tract(s) 14P & 15P, TREMENTINA OESTE SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on ALAMEDA BLVD NE, and CALLE CALMA NE containing approximately 1 acre(s). [REF: 03DRB02159] (C-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. Approval of the Development Review Board Minutes for September 22, 2004. **THE DRB MINUTES FOR 9/22/04 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:50

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003591 AGENDA#: 2 DATE: 10.6.04

1. Name: R.P. Bohannon Address: DR Horton Zip: _____

2. Name: Chris Schute Address: BHI Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 6, 2004

Project # 1003591

04DRB-01384 Major-Preliminary Plat Approval

04DRB-01386 Minor-Sidewalk Waiver

04DRB-01387 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 31A-1-A, **SUN GATE ESTATES**, zoned R-LT residential zone, located on 98TH ST SW, between BLAKE RD SW and OPEN RANGE AVE SW containing approximately 45 acre(s). [REF: 04DRB-01185] (N-9)

AMAFCA

No comment.

COG

No comments received.

Transit

Transit objects to the requested sidewalk waiver on Stone Gate Way , Valley Gate Way, and Trail Gate Way. Sidewalks should be provided on both sides of those major entrances. Transit does not object to the requested sidewalk waivers on the stub streets (both ends of Sun Canyon Lane and Mountain Gate Lane and the western end of Canyon Gate Lane). However, Transit suggests that pedestrian access be provided between those stub streets and the outer surrounding streets; the access could be gated if desired to maintain the gated community. Transit also suggests a mid-block pedestrian access to 98th Street.

No objection to the sidewalk deferral request.

Zoning Enforcement

No comments received.

Neighborhood Coordination

Letter sent to Westgate Heights NA (R).

APS

No comments received.

Police Department

No comment.

Fire Department

Fire Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Electric & Gas

Approves.

Comcast

No comments received

QWEST

No comments received

Environmental Health

Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D.

No comments received.

Open Space Division

City Engineer

An approved drainage report is required for Preliminary Plat approval.

Transportation Development

Lots need to be labeled P1. Show the pedestrian access points at the stub streets. Sidewalk on the infrastructure list. Need to add residential street lights per DPM to infrastructure lists. All major locals require 6' sidewalks.

Parks & Recreation

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 198 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

Utilities Development

Have minor comments on Infrastructure List for additional water line and sanitary sewer outfall. No objection to Sidewalk Waiver/Deferral.

Planning Department

✓ The minimum lot size allowed in RLT zoning per the Zoning Code is 4,000 square feet and 40' minimum lot width. The preliminary plat submitted has a note stating the minimum lot size is 3358 square feet. This is not allowed without a variance.

✓ Notes are needed on the infrastructure list for the landscaping in the public right of way, an irrigation meter is needed and the perimeter walls should be listed. The walls do not require financial guarantee.

✓ The perimeter wall design submitted has problems. Agent should contact Planning.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc:D. R. Horton Homes, 4400 Alameda Blvd NE, Suite B, 87111

Bohannon Huston Inc., 7500 Jefferson St NE, 87109



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, October 6, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1001926

04DRB-01393 Major-Preliminary Plat Approval
04DRB-01394 Major-Final Plat Approval

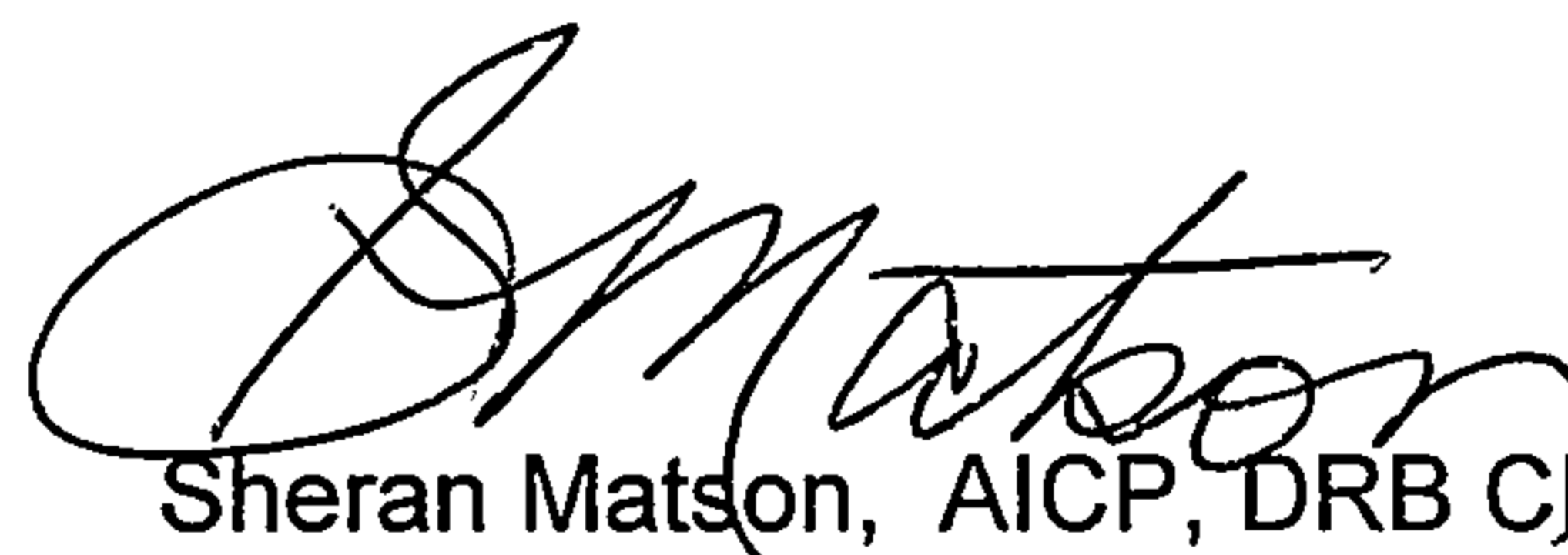
TIERRA WEST, LLC agent(s) for JD HOME, INC & JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 225, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2, located on 72ND PL NW, between INTERSTATE 40 WEST and GLENRIO RD NW containing approximately 5 acre(s). [REF: 03DRB01224, 03DRB01115] (J-10)

Project # 1003591

04DRB-01384 Major-Preliminary Plat Approval
04DRB-01386 Minor-Sidewalk Waiver
04DRB-01387 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 31A-1-A, **SUN GATE ESTATES**, zoned R-LT residential zone, located on 98TH ST SW, between BLAKE RD SW and OPEN RANGE AVE SW containing approximately 45 acre(s). [REF: 04DRB-01185] (N-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, SEPTEMBER 20, 2004.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: OCTOBER 6, 2004
Zone Atlas Page: N-9-Z
Notification Radius: 100 Ft.

Project# 1003519
App# 04DRB-01384
App# 04DRB-01386
App# 04DRB-01387

Cross Reference and Location:

Applicant: D.R HORTON HOMES
Address: 4400 ALAMEDA BLVD NE, STE# B
ALBUQUERQUE NM 87111

Agent: BOHANNAN HUSTON, INC.
Address: 7500 JEFFERSON ST NE
ALBUQUERQUE NM 87109

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: SEPTEMBER 17, 2004

Signature: KYLE TSEHLIKAI

100905418633520106 Legal Desc: Tr. 31A1A Bulk land Plat Tract 31A-1-A Lands Of Salazar Family Trust, Salazar Quatro T
Property Addr: N/A

Owners Name: Salazar Family Trust & JSJ Investments
Owners Addr: PO Box 1849
Albuquerque NM 87121

100905403733020103 Legal Desc: Tr. 15 Bulk Land Plat For Tracts 14, 15, & 16 El Rancho Grande Cont 22.9599
Property Addr: N/A

Owners Name: Curb, Inc.
Owners Addr: 6301 Indian School Rd NE, Ste# 208
Albuquerque NM 87110

100905427931220104 Legal Desc: Tr. 11-A Bulk Land Plat For El Rancho Grande I Tracts 8-A, 9-B-1, 9-B-2, 11-A
Property Addr: N/A

Owners Name: Yoo James J & Hee Y &
Owners Addr: 1306 Braodway Blvd SE
Albuquerque NM 87102

100905431542510344 Legal Desc: Tr. E-6-A Bulk Land Plat For Albuquerque South Unit 3 Tracts E-5-A And E-6-A
Property Addr: N/A

Owners Name Curb, Inc.
Owners Addr: 6301 Indian School Rd NE, Ste# 208
Albuquerque NM 87110

100905421540520404 Legal Desc: Tr. 34D1A Bulk Land Plat Tract 31A-1-A lands Of Salazar Family Trust, Salazar Quatro T
Property Addr: N/A

Owners Name: Curb, Inc.
Owners Addr: 6301 Indian School Rd NE, Ste# 208
Albuqueurque NM 87110

100905409740020403 Legal Desc: Tr. 33C1A Bulk Land Plat Tract 31A-1 A Lands Of Salazar Family Trust, Salazar Quatro T
Property Addr: N/A

Owners Name: Curb, Inc.
Owners Addr: 6301 Indian School Rd NE, Ste# 208
Albuquerque NM 87110

100905406021530101 Legal Desc: Tr. 29A Corrections Plat Vacation & Bulk Land Plat For Tracts A,
29A, 30A-1, 31A-1, 32H-1, 3
Property Addr: N/A

Owners Name: Salazar Family Trust & JSJ Investments
Owners Addr: PO Box 1849
Albuquerque NM 87121

100905416020030102 Legal Desc: Tr. 30A-1 Correction Plat Vacation & Bulk Land Plat For Tracts A-
29A, 30A-1, 31A-1, 32H-1, 3
Property Addr: N/A

Owners Name: Salazar Family Trust & JSJ Investments
Owners Addr: PO Box 1849
Albuquerque NM 87121

100905426920440101 Legal Desc: Tr 13-D Bulk Land Plat For El Rancho Grande Unit I Tracts 8-A, 9-
B-1, 9-B-2, 11-A
Property Addr: N/A

Owners Name: Salazar Lupe Trustee Salazar Famiil Trust
Owners Addr: PO Box 1849
Albuquerque NM 87121

100905426724540104 Legal Desc: Tr. 12-A-1 Bulk Land Plat For El Rancho Grande Unit I Tracts 8-A,
9-B-1, 9-B-2, 11-A
Property Addr: N/A

Owners Name: Yoo James & Hee Y &
Owners Addr: 1306 Broadway Blvd SE
Albuquerque NM 87102

Project# 1003519

D.R. HORTON HOMES
4400 ALAMEDA BLVD NE, STE# B
ALBUQUERQUE NM 87111

BOHANNAN HUSTON, INC.
7500 JEFFERSON ST. NE
ALBUQUERQUE NM 87109

MATTHEW ARCHULETA
Westgate Heights Neigh. Assoc.
1628 SUMMERFIELD SW
ALBUQUERQUE NM 87121

LIBBY McINTOSH
Westgate Heights Neigh. Assoc.
1316 LADRONES CT. SW
ALBUQUERQUE NM 87121

LAURA HORTON
Ventana Ranch Neigh. Assoc.
7224 CASCADE RD NW
ALBUQUERQUE NM 87114

BRUCE NYBERG
Ventana Ranch Neigh. Assoc.
6824 BRUSHFIELD RD NW
ALBUQUERQUE NM 87114

100905418633520106

100905403733020103

100905427931220104

Salazar Family Trust & JSJ Investments
PO Box 1849
Albuquerque NM 87121

CURB, INC.
6301 INDIAN SCHOOL RD NE, # 208
ALBUQUERQUE NM 87110

YOO JAMES J & HEE Y &
1306 BROADWAY BLVD SE
ALBUQUERQUE NM 87102

100905426920440101

Salazar Lupe Trustee Salazar Family Trust
PO Box 1849
Albuquerque NM 87121



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: August 30, 2004

TO CONTACT NAME: Stephanie Stratton
 COMPANY/AGENCY: Behannon & Houston
 ADDRESS/ZIP: 7500 Jefferson St NE 87109
 PHONE/FAX #: 823-1000 Fax 798-7988

Thank you for your inquiry of 8/30/04 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Tract 6 Ventana Ranch West + Tract 31A-1-A
Sun Gate Estates

zone map page(s) A-9-2
B-9-2

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Westgate Heights NA (R)
 Neighborhood Association
 Contacts: Matthew Archuleta
1628 Summerfield SW 87121
836-7251
Libby McIntosh
1316 Ladrones Ct. SW 87121
831-5189

Ventana Ranch NA (R)
 Neighborhood Association
 Contacts: Laura Horton
7224 Cascada Rd NW 87114
898-8103
Bruce Nyberg
6824 Brushfield Rd NW 87114
890-6559

See reverse side for additional Neighborhood Association Information: YES { } NO

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

[Signature]
 OFFICE OF NEIGHBORHOOD COORDINATION

.....
 Attention: Both contacts per neighborhood association need to be notified.

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

September 9, 2004

Ms. Libby McIntosh
1316 Ladrones Ct SW
Albuquerque, New Mexico 87121

RE: Preliminary Plat approval, Sidewalk Waiver and Deferral
Tract 31A-1-A Sun Gate Estates

Dear Ms. McIntosh:

We have been informed by the City of Albuquerque's Office of Neighborhood Coordination that you are a representative of the Westgate Heights Neighborhood Association.

This letter is to advise you that Bohannan Huston, Inc., agent for D.R. Horton Homes, is seeking approval of Preliminary Plat, Sidewalk waiver and deferral from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the property clearly marked that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

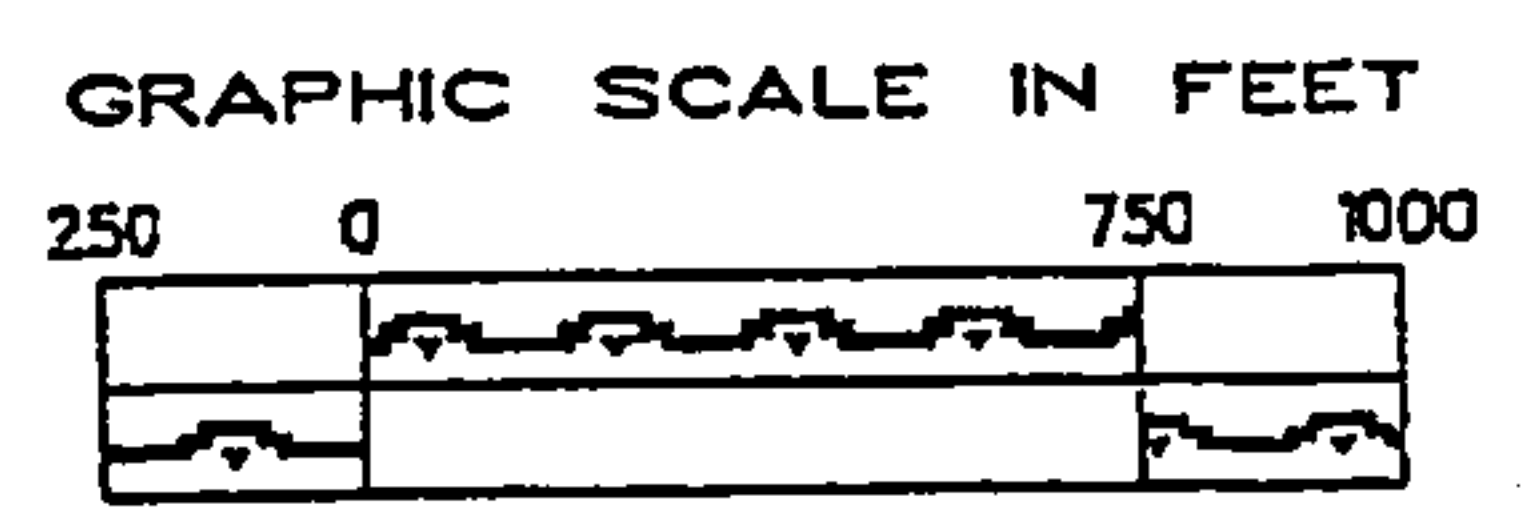
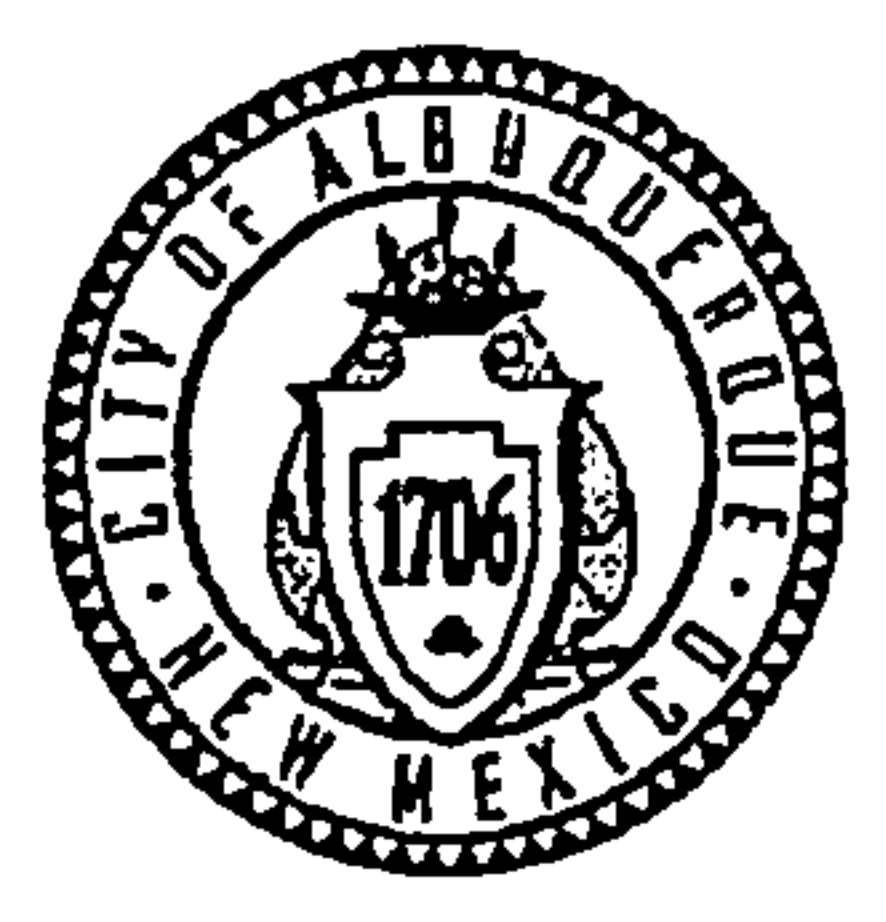
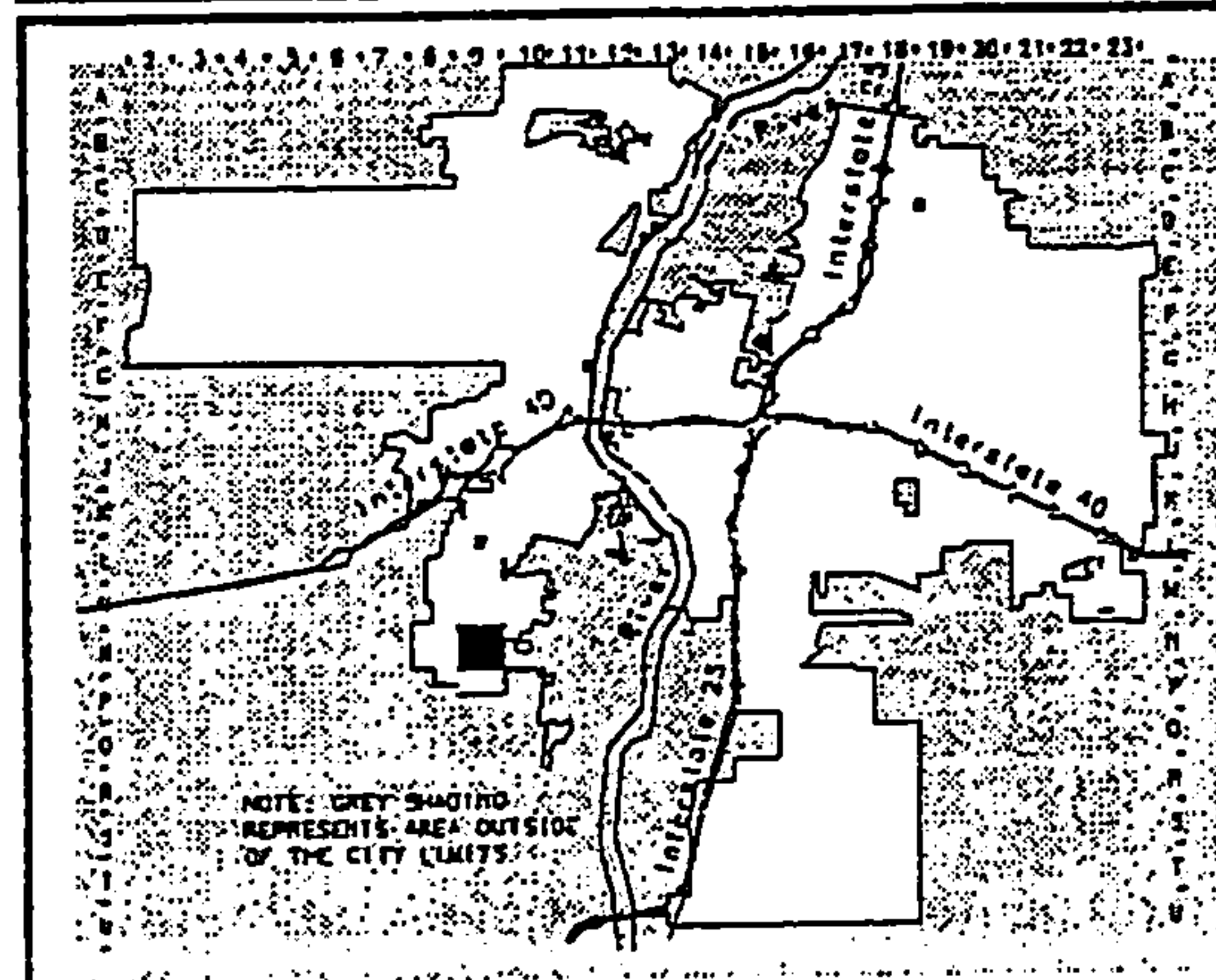
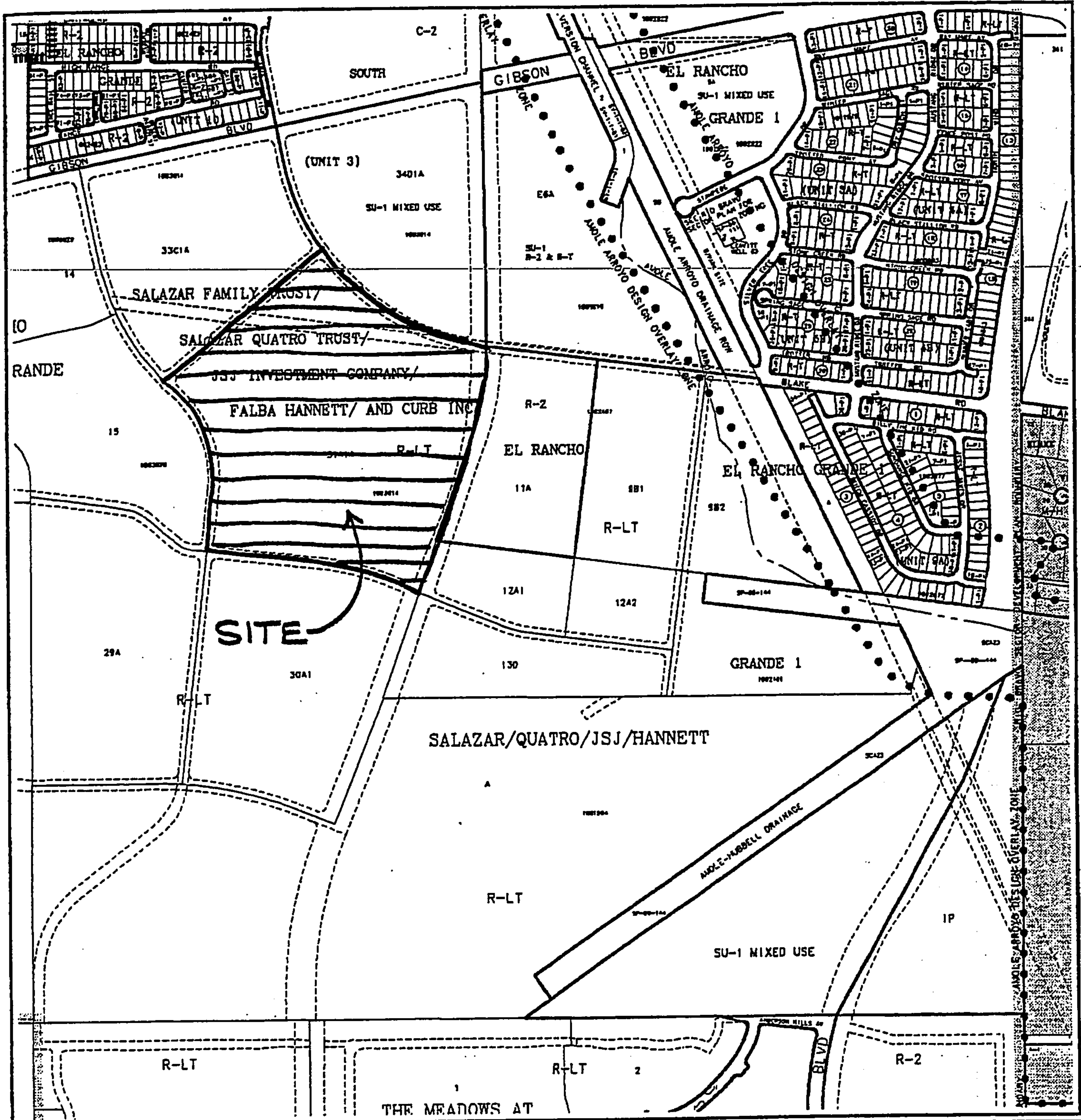
Sincerely,

for Stephanie Stratton

Christian J. Sholtis, P.E.
Project Manager
Community Development and Planning Group

SS
Enclosure

RECEIVED
SEP 14 2004



A lbuquerque **G** eographic **I** nformation **S** ystem
PLANNING DEPARTMENT
 © Copyright 2004

Zone Atlas Page

N-9-Z

Map Amended through July 07, 2004

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / ENVIRONMENTAL HEALTH INFORMATION FORM

APPLICANT: D.R. HORTON HOMES Date of request: 9/9/04 Zone atlas page(s): N-9

CURRENT: Zoning R-LT

Legal Description - Lot or Tract # TRACT 31A-1-A Block # _____

Parcel Size (acres / sq.ft.) 45.00

Subdivision Name SUN GATE ESTATES

REQUESTED CITY ACTION(S):

Annexation [] Sector Plan []
Comp. Plan [] Zone Change []
Amendment [] Conditional Use []

Site Development Plan: Building Permit []
a) Subdivision [] Access Permit []
b) Build'g Purposes [] Other []
c) Amendment []

PROPOSED DEVELOPMENT:

GENERAL DESCRIPTION OF ACTION: 1

No construction / development [X]
New Construction [X]
Expansion of existing development []

of units - 198
Building Size - _____ (sq. ft.)

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative Stephanie Stratton Date 9-9-04
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []
Planning Dept., Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL. 600 2nd St. NW Plaza del Sol Bldg. 924-3994

THRESHOLDS MET? YES [X] NO [] Mitigating reasons for not requiring TIS: Previously studied: []

Notes: TIS IS BEING COMPLETED FOR EL RANCHO GRANDE. THIS UNIT WILL BE INCLUDED IN THE STUDY

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature] 9-9-04
TRAFFIC ENGINEER DATE

Per letter dated August 7, 2003 from the Director of the Environmental Health Department to the Director of the Planning Department, "all 5 CO monitors within Bernalillo County are yielding 8-hour average CO levels at less than 50% of the Federal CO standard ..." and "based on our review of the available scientific data, we do not foresee a circumstance where preparation of a detailed air quality study for a land use development will be warranted - regardless of the project size, location or traffic generated".

Required TIS must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS - SUBMITTED ___/___/___
- FINALIZED ___/___/___
TRAFFIC ENGINEER DATE

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH



SUBDIVISION	Supplemental form S	ZONING & PLANNING	Z
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment	
<input type="checkbox"/> IP Master Development Plan		APPEAL / PROTEST of...	A
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>DR HORTON HOMES</u>	PHONE: <u>797-4245</u>
ADDRESS: <u>4400 ALAMEDA NE SUITE B</u>	FAX: <u>797-9881</u>
CITY: <u>ALBUQUERQUE</u> STATE <u>NM</u> ZIP <u>87113</u>	E-MAIL: _____
Proprietary interest in site: <u>OWNER</u>	
AGENT (if any): <u>BOHANNAN HUSTON INC.</u>	PHONE: <u>823-1000</u>
ADDRESS: <u>7500 JEFFERSON NE</u>	FAX: <u>798-7988</u>
CITY: <u>ALBUQUERQUE</u> STATE <u>NM</u> ZIP <u>87109</u>	E-MAIL: _____

DESCRIPTION OF REQUEST: FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. _____ Block: _____ Unit: _____

Subdiv. / Addn. SUN GATE ESTATES UNIT 2

Current Zoning: R-2 FOR R-T AND RLT Proposed zoning: _____

Zone Atlas page(s): N-9 No. of existing lots: 12 No. of proposed lots: 87

Total area of site (acres): 16.6419 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 100805446943510102 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: MESA ARENOSO DR. SW
Between: 98TH STREET SW and OPEN RANGE AVE. SW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB# 1003591-04-01185

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Stephanie Sholtis DATE 9/26/2005 10-4-2005
(Print) CHRIS SHOLTIS Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 10/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DRB - 01548</u>	<u>EP</u>	<u>5(3)</u>	<u>\$ 0.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>10/12/05</u>	_____	_____	Total <u>\$ 20.00</u>

Sandy Handley 10/04/05
Planner signature / date

Project # 1003591

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Copy of previous D.R.B. approved infrastructure list
Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
Design elevations & cross sections of perimeter walls 3 copies
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
Property owner's and City Surveyor's signatures on the Mylar drawing
SIA financial guaranty verification
Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
Any original and/or related file numbers are listed on the cover application
DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
Property owner's and City Surveyor's signatures on the Mylar drawing
Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
Signed Pre-Annexation Agreement if Annexation required.
Fee (see schedule)
Any original and/or related file numbers are listed on the cover application
Infrastructure list if required (verify with DRB Engineer) NO INTERNAL ROUTING
DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
Any original and/or related file numbers are listed on the cover application
Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Chris Sholtis

Applicant name (print)

[Signature]

10-4-2005

Applicant signature / date



Form revised 11/04

- Checklists complete
Fees collected
Case #s assigned
Related #s listed

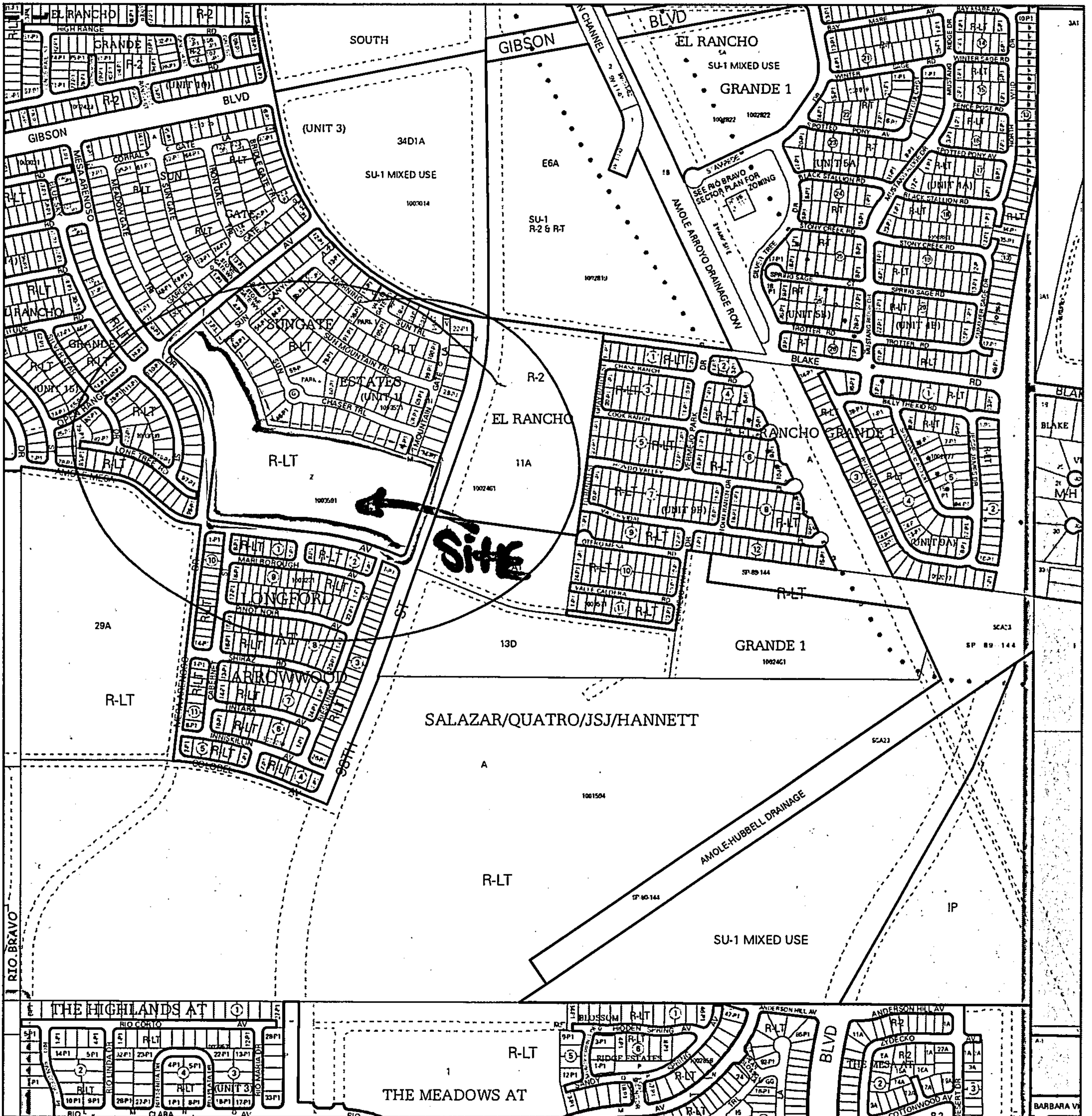
Application case numbers

05DRB - 01548

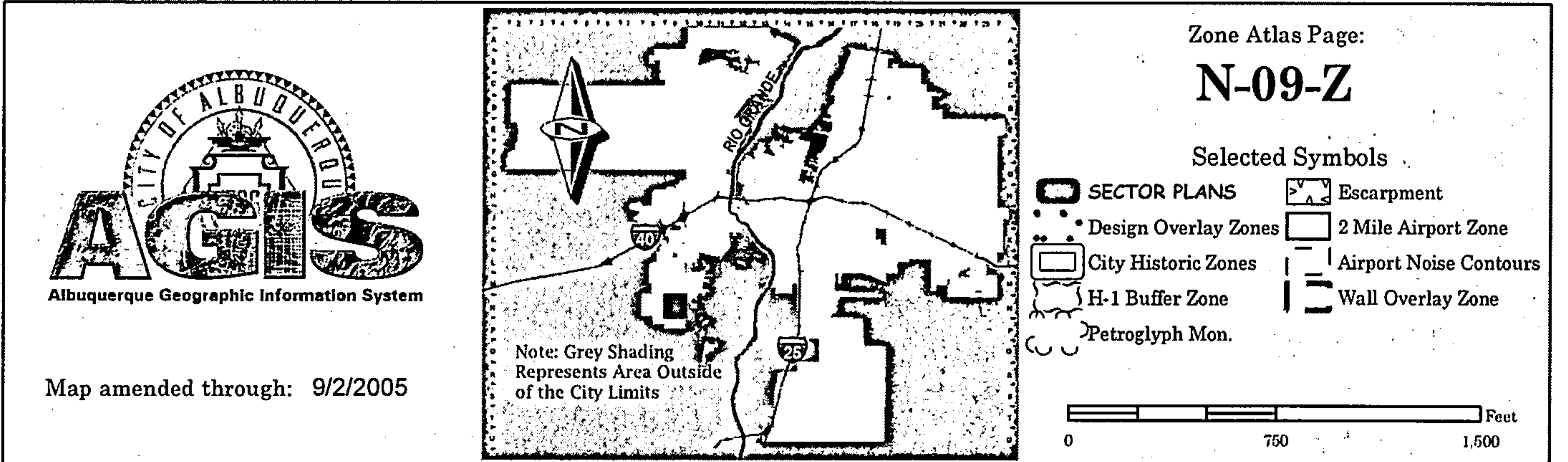
[Signature] 10/04/05

Planner signature / date

Project # 1003591



For more current information and more details visit: <http://www.cabq.gov/gis>



Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

October 4, 2005

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Final Plat Approval
SunGate Estates Subdivision Unit 2 DRB# 1003591

Dear Sheran:

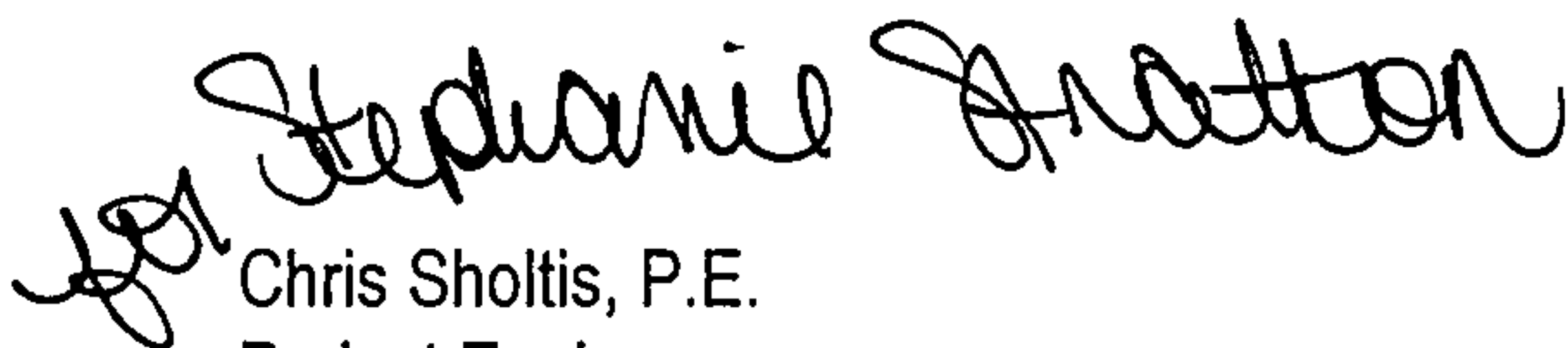
Enclosed for review and approval by the Development Review Board (DRB) are copies of the following information:

- Development Review Applications
- Six (6) copies of the Final Plat, and
- Zone Atlas Map showing the location of the property
- Design Elevations for walls (3) copies
- SIA Approval
- Letter justifying request
- Fee in the amount of \$20.00

We are requesting final plat approval for this 87 lot residential subdivision located on 16.6419 +/- acres at the southwest corner of Mesa Arenoso Drive in southwest Albuquerque.

Please place this item on the DRB Agenda to be heard on October 5, 2005. If you have any questions or require additional information, please contact me.

Sincerely,



Chris Sholtis, P.E.
Project Engineer
Community Development and Planning Group

SS
Enclosure

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Stephanie BH 9/27/05

No. of Lots: 87
Nearest Major Streets
Blake and Gibson SW

FIGURE 12

**SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)**

**AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS**

THIS AGREEMENT is made this 27th day of September, 2005, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and DR Horton Inc.

____ ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.]: Delaware Corporation, whose address is 4400 Alameda NE Ste. B, Abq., NM 87113 and whose telephone number is 797-4245, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] See Attached Exhibit "B" the records of the Bernalillo County Clerk at Book 20050, recorded on 7-11-2005 in (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] DR Horton Inc. ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Sungate Estates unit 2 describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 13th day of October, 2006 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 736783.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless

Mary Herrera Bern. Co. AGRE R 21.00 Bk-A104 Pg-1500
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Page: 1 of 7
09/27/2005 03:22P

the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of actual construction costs</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Aldrich Land Surveys, and construction surveying of the private Improvements shall be performed by Aldrich Land Surveys. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Mark Goodwin & Assoc., and inspection of the private Improvements shall be performed by Bohannon-Huston Inc., both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider



shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Vinyard & ASSOC., and field testing of the private Improvements shall be performed by Vinyard & ASSOC., both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

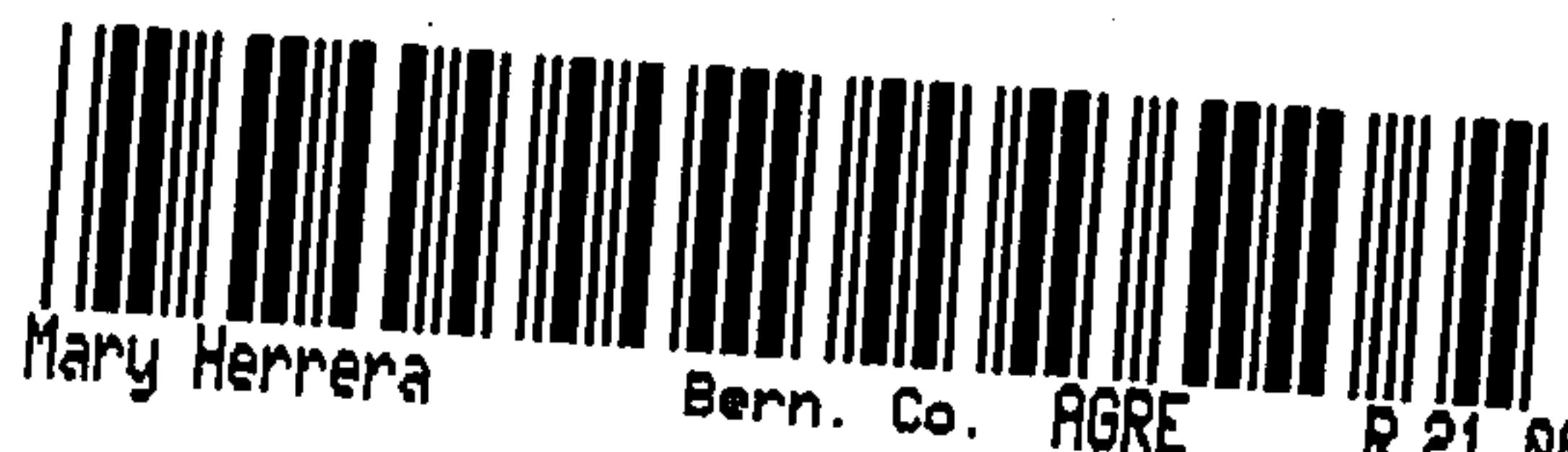
5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Surety Bond/Safeco Insurance Company of America #6374126
Amount: \$832,250.58 Name of Financial Institution or Surety
Date City first able to call Guaranty: October 13, 2006
[Construction Completion Deadline]: October 13, 2006 20_____
If Guaranty other than a Bond, last day City able to call Guaranty is:
_____, 20_____
Additional information: _____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

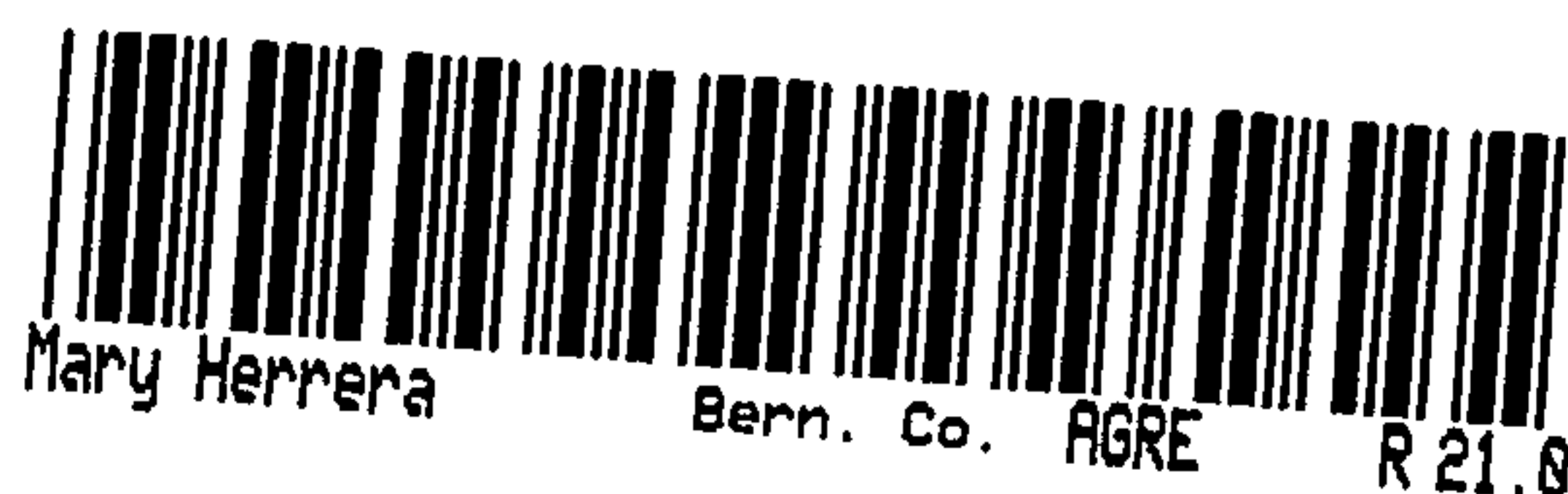
(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Developer shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Developer agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Developer, its agents, representatives, contractors or subcontractors or arising from the failure of the Developer, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:

By [Signature]: [Signature]
Name: J. Mark Ferguson
Title: Division President
Dated: 09-15-05

CITY OF ALBUQUERQUE
[Signature]
City Engineer
Dated: 9-22-05

[Signature]

[Signature]
9-26-05

SUBDIVIDER'S NOTARY

STATE OF New Mexico
COUNTY OF Bernalillo) ss.

This instrument was acknowledged before me on 15th day of September, 20 05 by [name of person:] J. Mark Ferguson, [title or capacity, for instance, "President" or "Owner":] Division President of [Subdivider:] DR Horton Inc.

[Signature]
Notary Public

My Commission Expires: _____



CITY'S NOTARY

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

This instrument was acknowledged before me on 27th day of September, 20 05 by Richard Douste, City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

[Signature]
Notary Public

My Commission Expires: 7.30.08

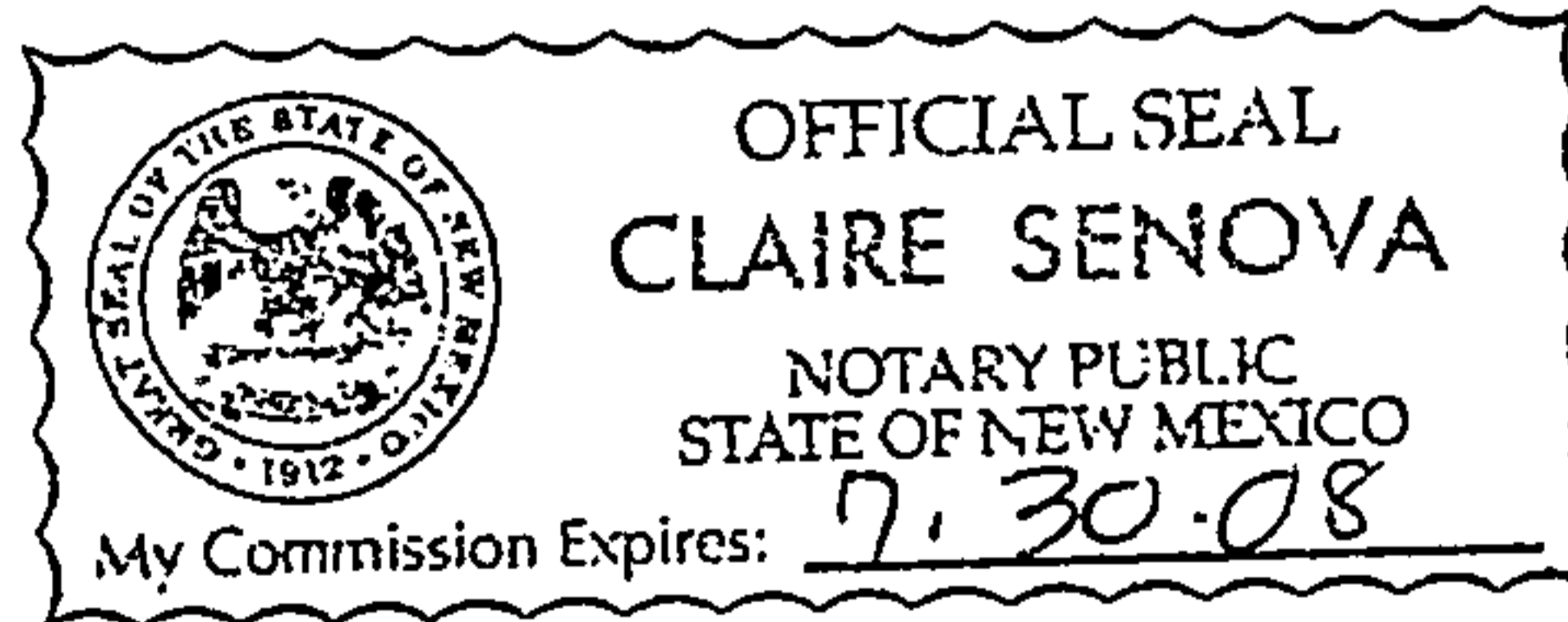


EXHIBIT A AND POWER OF ATTORNEY ATTACHED



EXHIBIT "B"

**Tract Z, as shown on PLAT OF SUNGATE ESTATES SUBDIVISION UNIT 1 ,
filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 11,
2005, in Book 2005C, Page 245, Document Number 2005099407.**



Mary Herrera

Bern. Co. AGRE

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Page: 7 of 7

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Bk-A104 Pg-1500

Current DRC Project No. _____

Figure 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

SUN GATE ESTATES SUBDIVISION
(TRACT 31A-1-A, LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT CO. AND FALBA HANNETT)

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Date Submitted: September 8, 2004
Date Site Plan for Bldg Permit Approved: _____
Date Site Plan for Sub. Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No. 1003591

SIA Sequence # COA DRC Project #

OFFSITE PUBLIC ROADWAY IMPROVEMENTS - PHASE 1

	736782

Size	Type of Improvement	Location
30' F-F (WEST HALF)	ARTERIAL PAVING W/ PCC STD & MED CURB & GUTTER & 6' WIDE PCC SIDEWALK ON WEST SIDE ONLY	1370 127 th 98TH STREET 1270
24' F-EOA (SOUTH HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY	950 BLAKE ROAD 800
24' F-EOA (SOUTH HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY	1050 OPEN RANGE AVENUE 890

From	To
BLAKE ROAD	AMOLE MESA AVENUE
OPEN RANGE AVENUE	98TH STREET
BLAKE ROAD	MESA ARENOSO DRIVE

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/

ONSITE PRIVATE ROADWAY IMPROVEMENTS - PHASE 1

40' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, 6' MEDIAN & 6' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY	120 200 STONE GATE WAY 70
40' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, 6' MEDIAN & 6' WIDE PCC SIDEWALK ON WEST SIDE ONLY	120 VALLEY GATE WAY 200 70
28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES	440 SUN CANYON LANE 1190 1120
24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON WEST SIDE ONLY	110 SUN CANYON LANE see above

OPEN RANGE AVENUE	SUN CANYON LANE
BLAKE ROAD	MORNING SUN TRAIL
LOT 1/ LOT 115	MORNING SUN TRAIL
MORNING SUN TRAIL	NORTH STUB STREET TERMINUS

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/

SIA
Sequence #

COA DRC
Project #

Size
Type of Improvement

Lot #

From

To

Private
Inspector

City
Inspector

City Cnst
Engineer

	736782

28' F-F RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES * 780 MORNING SUN TRAIL 1360

28' F-F RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES * 920 SUN MOUNTAIN TRAIL 1760

28' F-F RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES INCL. TRAFFIC CIRCLE 1100 SUN CHASER TRAIL 2120

28' F-F RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES * 630 MOUNTAIN GATE LANE 1260

24' F-F RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON EAST SIDE ONLY * 110 MOUNTAIN GATE LANE 1190

STREET LIGHTS PER DPM

SUN CANYON LANE MOUNTAIN GATE LANE

SUN CANYON LANE MOUNTAIN GATE LANE

SUN CANYON LANE MOUNTAIN GATE LANE

LOT 34/ LOT 137 MORNING SUN TRAIL

MORNING SUN TRAIL NORTH STUB STREET TERMINUS

/	/	/
/	/	/
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/	/	/

* SIDEWALKS DEFERRED PER EXHIBIT. SIDEWALKS WAIVED ON EAST AND NORTH SIDE OF SUN CANYON LANE STUB STREET AND ON WEST AND NORTH SIDE OF MOUNTAIN GATE LANE STUB STREET.

PUBLIC WATERLINE IMPROVEMENTS - PHASE 1

PRESSURE REDUCING VALVE W/ VAULT SE CORNER OF BLAKE ROAD AND OPEN RANGE AVENUE

12" DIA 100 WATERLINE W/ NEC. VALVES FH'S, MJS & RJS BLAKE ROAD

12" DIA 810 WATERLINE W/ NEC. VALVES FH'S, MJS & RJS SUN CANYON LANE

12" DIA 800 WATERLINE W/ NEC. VALVES FH'S, MJS & RJS MORNING SUN TRAIL

8" DIA WATERLINE W/ NEC. VALVES FH'S, MJS, RJS 1170 MOUNTAIN GATE LANE

12" DIA 130 WATERLINE W/ NEC. VALVES FH'S, MJS, RJS & REQ'D PRV MOUNTAIN GATE LANE

6" DIA WATERLINE W/ NEC. VALVES FH'S, MJS & RJS 980 SUN MOUNTAIN TRAIL

6" DIA WATERLINE W/ NEC. VALVES FH'S, MJS & RJS 1180 SUN CHASER TRAIL

12" DIA 210 WATERLINE W/ NEC. VALVES FH'S, MJS & RJS BLAKE ROAD

EXIST. 12" WATERLINE IN OPEN RANGE AVENUE SUN CANYON LANE

BLAKE ROAD LOT 1/ LOT 115

SUN CANYON LANE MOUNTAIN GATE TRAIL

AMOLE MESA AVENUE MORNING SUN TRAIL

MORNING SUN TRAIL BLAKE ROAD

SUN CANYON LANE MOUNTAIN GATE LANE

SUN CANYON LANE MOUNTAIN GATE LANE

MOUNTAIN GATE LANE 98TH STREET

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SIA
Sequence #

COA DRC
Project #

Size

Type of Improvement

Location

From

To

Private
Inspector

City
Inspector

City Cnst
Engineer

PUBLIC SANITARY SEWER IMPROVEMENTS - PHASE 1

	736782

8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	740	SUN CANYON LANE	LOT 1/ LOT 115	LOT 12	/	/	/
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	780	MORNING SUN TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	880	SUN MOUNTAIN TRAIL	SUN CANYON LANE	MOUNTAIN GATE TRAIL	/	/	/
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	1090	SUN CHASER TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	1200	MOUNTAIN GATE LANE	LOT 22	AMOLE MESA AVENUE	/	/	/
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES		AMOLE MESA AVENUE/ SANITARY SEWER EASEMENT	MOUNTAIN GATE LANE	SOUTHWEST MESA INTERCEPTOR	/	/	/

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PUBLIC STORM DRAIN IMPROVEMENTS - PHASE 1

	736782

24"-48" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	48" 170	MOUNTAIN GATE LANE	SUN MOUNTAIN TRAIL	AMOLE MESA AVENUE
48"-90" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	36" 510	AMOLE MESA AVE/ STORM DRAIN EASEMENT	MOUNTAIN GATE LANE	AMOLE CHANNEL
72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS (FG'D UNDER SUN GATE SUBD'N PRJ. NO. 736781)	24" 240	OPEN RANGE AVENUE	MESA ARENOSO DRIVE	BLAKE ROAD
72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	18"	BLAKE ROAD	OPEN RANGE AVENUE	98TH STREET
2 AC-FT	TEMPORARY RETENTION POND W/ AGREEMENT & COVENANT		TRACT 11-A		

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A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.

OFFSITE PUBLIC ROADWAY IMPROVEMENTS

B-1	736782

24' F-EOA (EAST HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON EAST SIDE ONLY	1070 900	MESA ARENOSO DRIVE	OPEN RANGE AVENUE	AMOLE MESA AVENUE
24' F-EOA (NORTH HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON NORTH SIDE ONLY	1070 990	AMOLE MESA AVENUE	MESA ARENOSO DRIVE	98TH STREET

/	/	/
/	/	/

SIA
Sequence #

COA DRC
Project #

Size

Type of Improvement

Location

ONSITE PRIVATE ROADWAY IMPROVEMENTS - PHASE 2

From

To

Private
Inspector

City
Inspector

City Cnst
Engineer

B-1	736783

40' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, 6' MEDIAN & 6' WIDE PCC SIDEWALK ON EAST SIDE ONLY	110 70 280 70 TRAIL GATE WAY
28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES	791 1420 1420 SUNNY SKY LANE
28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES	110 330 230 SUN CANYON LANE
24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON WEST SIDE ONLY W/ PEDESTRIAN CONNECTION TO MESA ARENOSO DRIVE	100 see above
28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES	840 1600 1600 WAGON GATE TRAIL
28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES	790 1560 1500 CANYON GATE TRAIL
24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY W/ PEDESTRIAN CONNECTION TO MESA ARENOSO DRIVE	110 see above
28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES	390 850 770 MOUNTAIN GATE LANE
24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON EAST SIDE ONLY	110 see above
STREET LIGHTS PER DPM		

AMOLE MESA AVENUE	CANYON GATE TRAIL
SUN CANYON LANE	CANYON GATE TRAIL
SUNNY SKY LANE	LOT 115/ LOT 1
SUNNY SKY LANE	SOUTH STUB STREET TERMINUS
SUNNY SKY LANE	MOUNTAIN GATE LANE
SUNNY SKY LANE	MOUNTAIN GATE LANE
SUNNY SKY LANE	SOUTH STUB STREET TERMINUS
CANYON GATE TRAIL	LOT 34/ LOT 137
CANYON GATE TRAIL	STUB STREET TERMINUS

* SIDEWALKS DEFERRED PER EXHIBIT. SIDEWALKS WAIVED ON EAST AND SOUTH SIDE OF SUN CANYON LANE STUB STREET; WEST AND SOUTH SIDE OF MOUNTAIN GATE LANE STUB STREET; NORTH AND WEST SIDE OF CANYON GATE TRAIL STUB STREET.

SIA
Sequence #

COA DRC
Project #

Size

Type of Improvement

Location

From

To

Private
Inspector

City
Inspector

City Cnst
Engineer

PUBLIC WATERLINE IMPROVEMENTS - PHASE 2

		12" DIA	PRESSURE REDUCING VALVE W/ VAULT	SE CORNER OF BLAKE ROAD AND OPEN RANGE AVENUE			
B-1	736782						
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	BLAKE ROAD	EXIST. 12" WATERLINE IN OPEN RANGE AVENUE	SUN CANYON LANE	
B-1	736783			SUN CANYON LANE	BLAKE ROAD	SUNNY SKY LANE	
		4" DIA	65 WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	SUN CANYON LANE	SUNNY SKY LANE	SOUTH STUB STREET TERMINUS	
		12" DIA	810 WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	SUNNY SKY LANE	SUN CANYON LANE	CANYON GATE TRAIL	
		6" DIA	900 WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	WAGON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE TRAIL	
		8" DIA	845 WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	CANYON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE TRAIL	
		12" DIA	140 WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	CANYON GATE TRAIL	SUNNY SKY LANE	MESA ARENOSO DRIVE	
	736782	8" DIA	See WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	MOUNTAIN GATE LANE	LOT 34/ LOT 137	AMOLE MESA AVENUE	
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	AMOLE MESA AVENUE	MOUNTAIN GATE LANE	98TH STREET	
B-1	736783	12" DIA	150 WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	MESA ARENOSO DRIVE	CANYON GATE TRAIL	AMOLE MESA AVENUE	

PUBLIC SANITARY SEWER IMPROVEMENTS - PHASE 2

		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	190 SUN CANYON LANE	LOT 112	LOT 1/ LOT 115	
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	740 SUNNY SKY LANE	SUN CANYON LANE	CANYON GATE TRAIL	
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	800 WAGON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE LANE	
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	890 CANYON GATE TRAIL	LOT 188	MOUNTAIN GATE LANE	
	736782	8" DIA	See SANITARY SEWER W/ NEC. MH'S & SERVICES	MOUNTAIN GATE TRAIL	LOT 34/ LOT 137	AMOLE MESA AVENUE	
		8" DIA	See SANITARY SEWER W/ NEC. MH'S & SERVICES	AMOLE MESA AVENUE/ SANITARY SEWER EASEMENT	MOUNTAIN GATE LANE	SOUTHWEST MESA INTERCEPTOR	

SIA
Sequence #

COA DRC
Project #

Size

Type of Improvement

Location

From

To

Private
Inspector

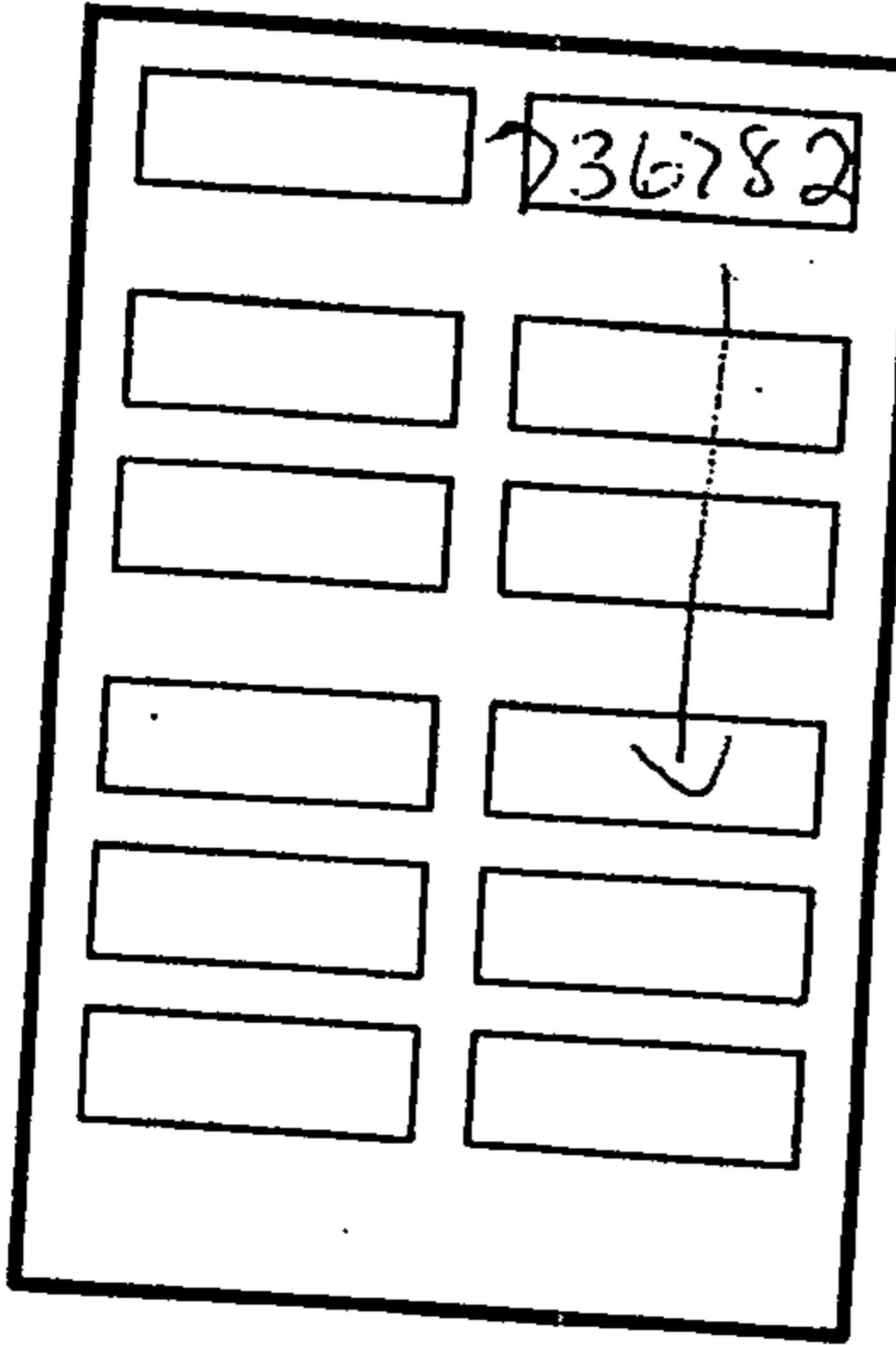
City
Inspector

City Cnst
Engineer

Original

PUBLIC STORM DRAIN IMPROVEMENTS - PHASE 2

see phase 1 except for catch basins



- 24"-48" DIA RCP W/ NEC. MHS, LATERALS & INLETS
- 48"-90" DIA RCP W/ NEC. MHS, LATERALS & INLETS
- 72" DIA RCP W/ NEC. MHS, LATERALS & INLETS (FG'D UNDER SUN GATE SUBDN PRJ. NO. 736781)
- 72" DIA RCP W/ NEC. MHS, LATERALS & INLETS
- 2 AC-FT TEMPORARY RETENTION POND W/ AGREEMENT & COVENANT

- MOUNTAIN GATE LANE LOT 34/ LOT 137 AMOLE MESA AVENUE
- AMOLE MESA AVE/ STORM DRAIN EASEMENT MOUNTAIN GATE LANE AMOLE CHANNEL
- OPEN RANGE AVENUE MESA ARENOSO DRIVE BLAKE ROAD
- BLAKE ROAD OPEN RANGE AVENUE 96TH STREET
- TRACT 11-A

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A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.

NOTES:
1. PERIMETER WALLS PER THE DRB APPROVED PERIMETER WALL DESIGN.

AGENT/OWNER

CHRISTIAN J. SHOLTIS, PE
PREPARED BY: PRINT NAME
10/5/2004
DATE

BOHANNAN HUSTON, INC.
FIRM:
Signature: *Christian J. Sholtis*
10-12-04
SIGNATURE

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

[Signature]
DRB CHAIR

[Signature]
TRANSPORTATION DEVELOPMENT
[Signature]
UTILITY DEVELOPMENT

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

10/13/04 *Christina Sander* 10/13/04
DATE DATE
PARKS & GENERAL SERVICES

N/A
10/13/04 *Bradley L. Bein* 10/13/04
DATE DATE
CITY ENGINEER

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

FINANCIAL GUARANTY AMOUNT

08/29/2005

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:


Project ID #: 736783, Sun Gate Estates Sub'd, Phase 2, Phase/Unit #: 1

Requested By: Chris Sholtis, PE w/ Bohannon Huston

Approved estimate amount:		\$574,310.00
Contingency Amount:	0.00%	\$.00
Subtotal:		\$574,310.00
NMGRT	6.75%	\$38,765.93
Subtotal:		\$613,075.93
Engineering Fee	6.60%	\$40,463.01
Testing Fee	2.00%	\$12,261.52
Subtotal:		\$665,800.46
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		\$832,250.58

APPROVAL:

DATE:



8-29-2005

Notes: Certification for grading & drainage required prior to release of financial guaranty.

CIRCLE ONE:
SUBDIVISION BOND FOR:
SIA, SW'S, SPCL.AGRMT.

BOND NO. (SURETYS NO. :) 6374126
CONTACT PERSON'S NAME: Mr. Cord Hicklin

SUBDIVISION IMPROVEMENTS BOND

KNOW ALL MEN BY THESE PRESENTS: That we
DR Horton Inc. ("SUBDIVIDER") a [state type of business entity, for
instance, "New Mexico corporation," "general partnership", "joint venture",
"individual", etc.:] a Delaware Corporation
"Principal", and Safeco Insurance Company of America ("NAME OF SURETY"),
as a corporation organized and existing under and by virtue of the laws of the
State of Washington and authorized to do business in the
State of New Mexico, as "Surety," whose address is 2055 Sugarloaf Circle, Duluth
Georgia 30097 and whose telephone number is (888) 557-0524,
are held and firmly bound unto the CITY OF ALBUQUERQUE in the penal sum of
Eight hundred thirty two thousand, two hundred and fifty and 58/100 dollars,
\$ 832,250.58 -----{AMOUNT OF FIGURES), as amended by change orders
approved by the Surety or changes to the infrastructure list approved by the
City Development Review Board, the payment of which is well and truly to be
made, and each of us bind ourselves, our and each of our heirs, executors,
administrators, successors and assigns, jointly and severally, and firmly by
these presents.

NOW, THEREFORE, the condition of the above obligation is such that:

WHEREAS, the Principal is the owner of and/or is interested in or is
developing land and premises known as
Sungate Estates Unit 2 ("NAME OF SUBDIVISION" and
(CITY PROJECT NO.) 736783 ; and

WHEREAS, said Subdivision is subject to the provisions and conditions of
the ordinance of the CITY OF ALBUQUERQUE known as the Subdivision Ordinance,
the requirements of which include the installation of various other
improvements by the Principal; and

WHEREAS, the Subdivision Ordinance also requires the Principal to
install and construct the following improvements at the Subdivision: [list the
improvements, e.g., water, sewer, pavement, sidewalks:]
Sewer, Water, Storm Drain, Paving ("IMPROVEMENTS")

All construction shall be performed in accordance with the Agreement to
Construct Public and/or Private Subdivision Improvements Agreement entered
into between DR Horton Inc. ("NAME OF SUBDIVIDER")
and the CITY OF ALBUQUERQUE, as recorded in the office of the Clerk of
Bernalillo County, New Mexico, in Book Misc. (leave blank) A109, pages
1500 through 1500, as amended by change orders or amendments to the Agreement.

NOW, THEREFORE, if the Principal completes construction of the Improvements
and facilitates and performs the work herein above specified to be performed,
all on or before [Construction Completion Deadline established in Agreement or
as amended;.] October 13, 20 06 ("the
Construction Completion Deadline"), then this obligation shall be null and
void; if the Principal does not complete construction by or before the
Construction Completion Deadline, the City may call on this obligation until
released by the City.



POWER OF ATTORNEY

SAFECO INSURANCE COMPANY OF AMERICA
GENERAL INSURANCE COMPANY OF AMERICA
HOME OFFICE: SAFECO PLAZA
SEATTLE, WASHINGTON 98185

No. 10171

KNOW ALL BY THESE PRESENTS:

That SAFECO INSURANCE COMPANY OF AMERICA and GENERAL INSURANCE COMPANY OF AMERICA, each a Washington corporation, does each hereby appoint *****JAMES W. DUNN; DAVID H. CARR; KIMBERLY A. TAVERNIER; ANETT CARDINALE; MARGARET A. GINEM; PAMELA L. MORGAN; DENISE TAYLOR; Tampa, Florida*****

its true and lawful attorney(s)-in-fact, with full authority to execute on its behalf fidelity and surety bonds or undertakings and other documents of a similar character issued in the course of its business, and to bind the respective company thereby.

IN WITNESS WHEREOF, SAFECO INSURANCE COMPANY OF AMERICA and GENERAL INSURANCE COMPANY OF AMERICA have each executed and attested these presents

this 3rd day of November, 2004

CHRISTINE MEAD, SECRETARY

MIKE MCGAVICK, PRESIDENT

CERTIFICATE

Extract from the By-Laws of SAFECO INSURANCE COMPANY OF AMERICA and of GENERAL INSURANCE COMPANY OF AMERICA:

"Article V, Section 13. - FIDELITY AND SURETY BONDS ... the President, any Vice President, the Secretary, and any Assistant Vice President appointed for that purpose by the officer in charge of surety operations, shall each have authority to appoint individuals as attorneys-in-fact or under other appropriate titles with authority to execute on behalf of the company fidelity and surety bonds and other documents of similar character issued by the company in the course of its business... On any instrument making or evidencing such appointment, the signatures may be affixed by facsimile. On any instrument conferring such authority or on any bond or undertaking of the company, the seal, or a facsimile thereof, may be impressed or affixed or in any other manner reproduced; provided, however, that the seal shall not be necessary to the validity of any such instrument or undertaking."

Extract from a Resolution of the Board of Directors of SAFECO INSURANCE COMPANY OF AMERICA and of GENERAL INSURANCE COMPANY OF AMERICA adopted July 28, 1970.

"On any certificate executed by the Secretary or an assistant secretary of the Company setting out,
(i) The provisions of Article V, Section 13 of the By-Laws, and
(ii) A copy of the power-of-attorney appointment, executed pursuant thereto, and
(iii) Certifying that said power-of-attorney appointment is in full force and effect,
the signature of the certifying officer may be by facsimile, and the seal of the Company may be a facsimile thereof."

I, Christine Mead, Secretary of SAFECO INSURANCE COMPANY OF AMERICA and of GENERAL INSURANCE COMPANY OF AMERICA, do hereby certify that the foregoing extracts of the By-Laws and of a Resolution of the Board of Directors of these corporations, and of a Power of Attorney issued pursuant thereto, are true and correct, and that both the By-Laws, the Resolution and the Power of Attorney are still in full force and effect.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the facsimile seal of said corporation

this 20th day of September, 2005



CHRISTINE MEAD, SECRETARY

**IMPORTANT NOTICE TO SURETY BOND CUSTOMERS REGARDING
THE TERRORISM RISK INSURANCE ACT OF 2002**

As a surety bond customer of one of the SAFECO insurance companies (SAFECO Insurance Company of America, General Insurance Company of America, First National Insurance Company, American States Insurance Company or American Economy Insurance Company), it is our duty to notify you that the Terrorism Risk Insurance Act of 2002 extends to "surety insurance". This means that under certain circumstances we may be eligible for reimbursement of certain surety bond losses by the United States government under a formula established by this Act.

Under this formula, the United States government pays 90% of losses caused by certified acts of terrorism that exceed a statutorily established deductible to be paid by the insurance company providing the bond. The Act also establishes a \$100 billion cap for the total of all losses to be paid by all insurers for certified acts of terrorism. Losses on some or all of your bonds may be subject to this cap.

This notice does not modify any of the existing terms and conditions of this bond, the underlying agreement guaranteed by this bond, any statutes governing the terms of this bond or any generally applicable rules of law.

At this time there is no premium charge resulting from this Act.

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME DR HORTON HOMES
AGENT BOHANNAN HUSTON INC
ADDRESS 7500 JEFFERSON NE
PROJECT & APP # 1003591/05DRB 01548
PROJECT NAME SUNGATE ESTATES SUBDIVISION

\$ 20.00 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

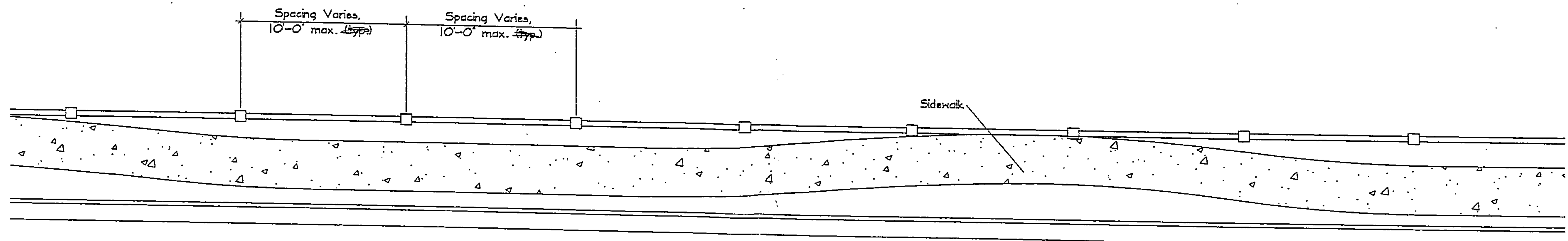
***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

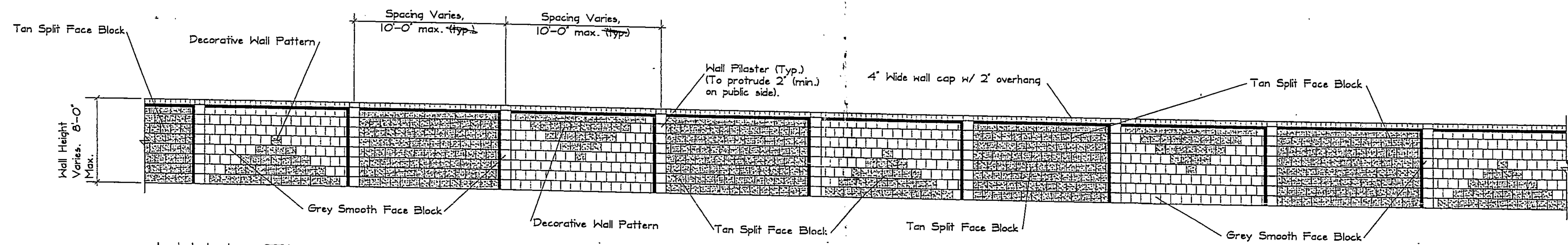
10/4/2005 9:45AM LOC: ANNX
RECEIPT# 00050409 WSH 007 TRANSH 0015
Account 441032 Fund 0110
Activity 3424000 TRSKAL
Trans Amt \$20.00
J24 Misc \$20.00
CA \$20.00
CHANGE \$0.00

Thank You





WALL PLAN
SCALE: None



WALL ELEVATION
SCALE: None

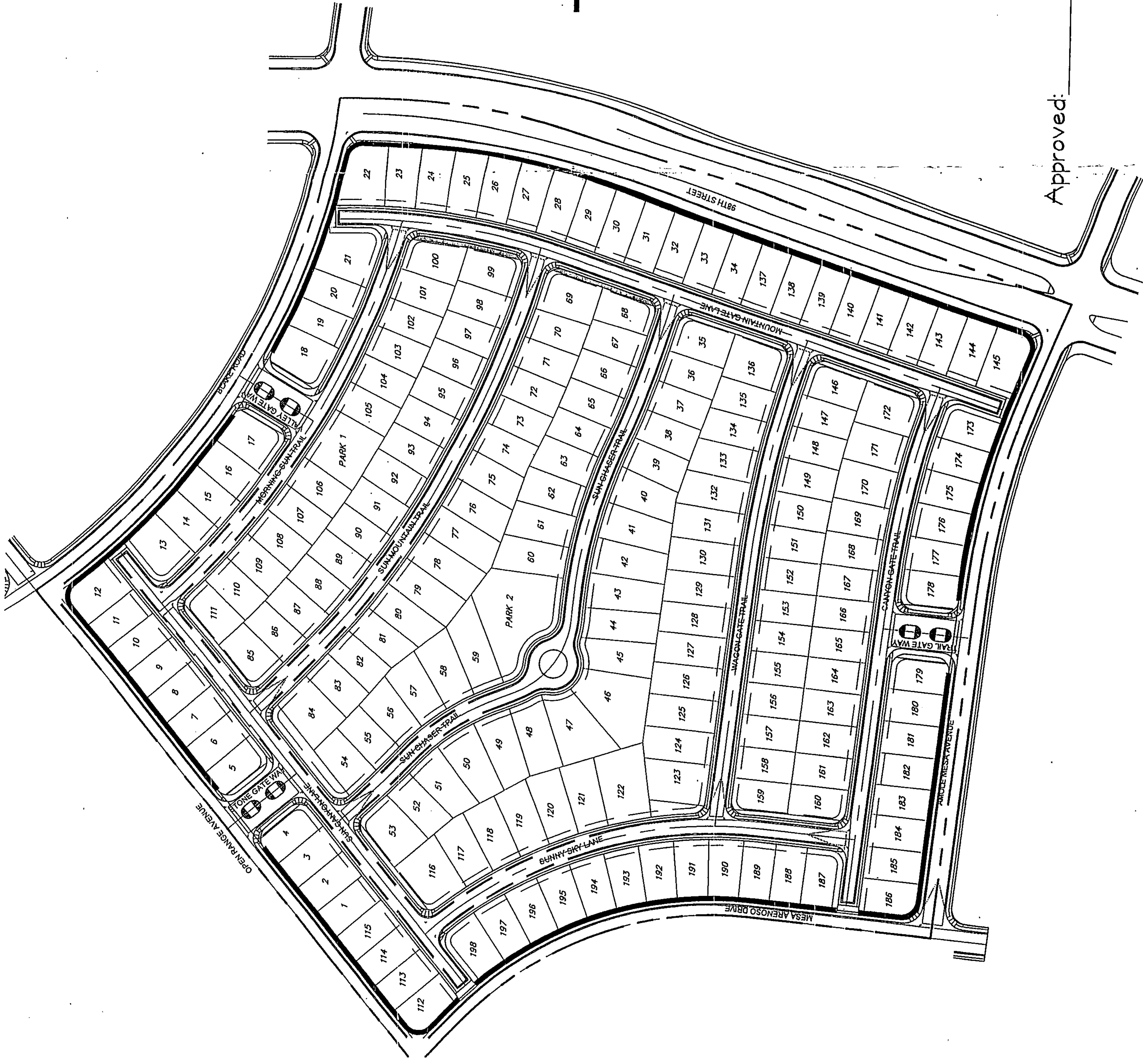
DRB # 1003591

Perimeter Wall Approved
[Signature]
 DRB Chair
 01/5/04
 Date

Approved: _____

Subdivision Name: Sungate Estates Subdivision
 Zone Atlas Page: N-9
 Nearest Intersection: Open Range Avenue S.W.

September, 2004



— Perimeter Wall Location

DRB # 1003591

Subdivision Name: Sungate Estates Subdivision

Zone Atlas Page: N-9

Nearest Intersection: Open Range Avenue S.W.

Approved: _____

September, 2004



<p>SUBDIVISION</p> <p><input checked="" type="checkbox"/> Major Subdivision action</p> <p><input type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p>	<p>Supplemental form</p> <p>S</p> <p>V</p> <p>P</p> <p>L</p>	<p>Supplemental form</p> <p>ZONING & PLANNING</p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment</p> <p>APPEAL / PROTEST of...</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>	<p>Z</p> <p>A</p>
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PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>DR HORTON HOMES</u>	PHONE: <u>797-4245</u>
ADDRESS: <u>4400 ALAMEDA NE SUITE B</u>	FAX: <u>797-9881</u>
CITY: <u>ALBUQUERQUE</u> STATE <u>NM</u> ZIP <u>87113</u>	E-MAIL: _____
Proprietary interest in site: <u>OWNER</u>	PHONE: <u>823-1000</u>
AGENT (if any): <u>BOHANNAN HUSTON INC.</u>	FAX: <u>798-7988</u>
ADDRESS: <u>7500 JEFFERSON NE</u>	E-MAIL: _____
CITY: <u>ALBUQUERQUE</u> STATE <u>NM</u> ZIP <u>87109</u>	

DESCRIPTION OF REQUEST: EXTENSION OF PRELIMINARY PLAT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. _____ Block: _____ Unit: _____

Subdiv. / Addn. SUN GATE ESTATES UNIT 2

Current Zoning: R-2 FOR R-T AND RLT Proposed zoning: _____

Zone Atlas page(s): N-9 No. of existing lots: 12 No. of proposed lots: 87

Total area of site (acres): 16.6419 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 100805446943510102 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: MESA ARENOSO DR. SW
Between: 98TH STREET SW and OPEN RANGE AVE. SE *sw*

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB# 1003591-04-01185

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE *Chris Sholtis* DATE 9/26/2005

(Print) CHRIS SHOLTIS Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 10/03

<p><i>NA</i> <input type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><i>NA</i> <input type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><i>NA</i> <input type="checkbox"/> Site is within 1000ft of a landfill</p> <p><i>NA</i> <input type="checkbox"/> F.H.D.P. density bonus</p> <p><i>NA</i> <input type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>05DRB - 01508</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Hearing date <u>10-5-05</u></p>	<p>Action</p> <p><u>EPP</u></p> <p><u>cmf</u></p> <p>_____</p> <p>_____</p>	<p>S.F.</p> <p><u>3(3)</u></p> <p>_____</p> <p>_____</p>	<p>Fees</p> <p>\$ <u>50.00</u></p> <p>\$ <u>20.00</u></p> <p>_____</p> <p>_____</p> <p>Total</p> <p>\$ <u>70.00</u></p>
--	--	---	--	---

Ki Sis 9/27/05
Planner signature / date

Project # 1003591

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT **YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
 Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Signed** Pre-Annexation Agreement if Annexation required.
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes) **Your attendance is required.**

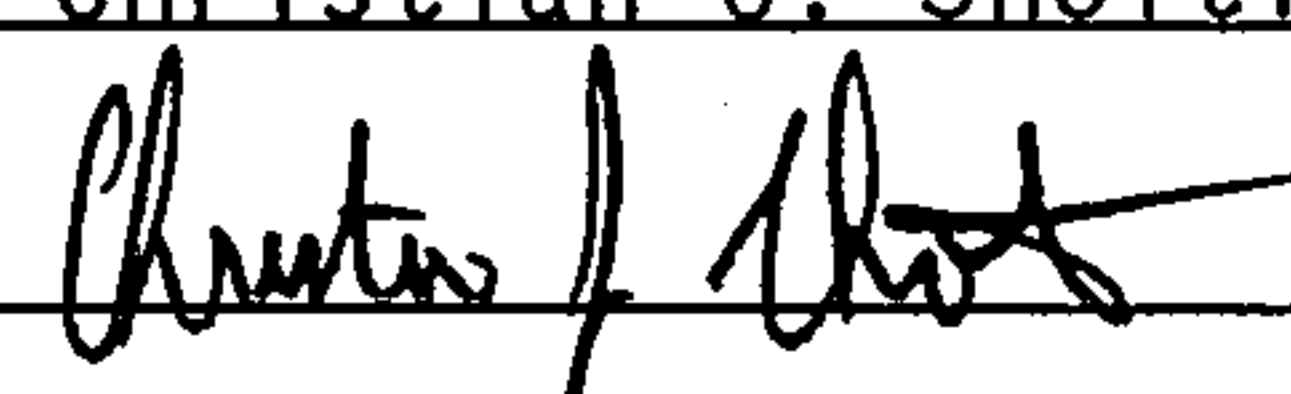
AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

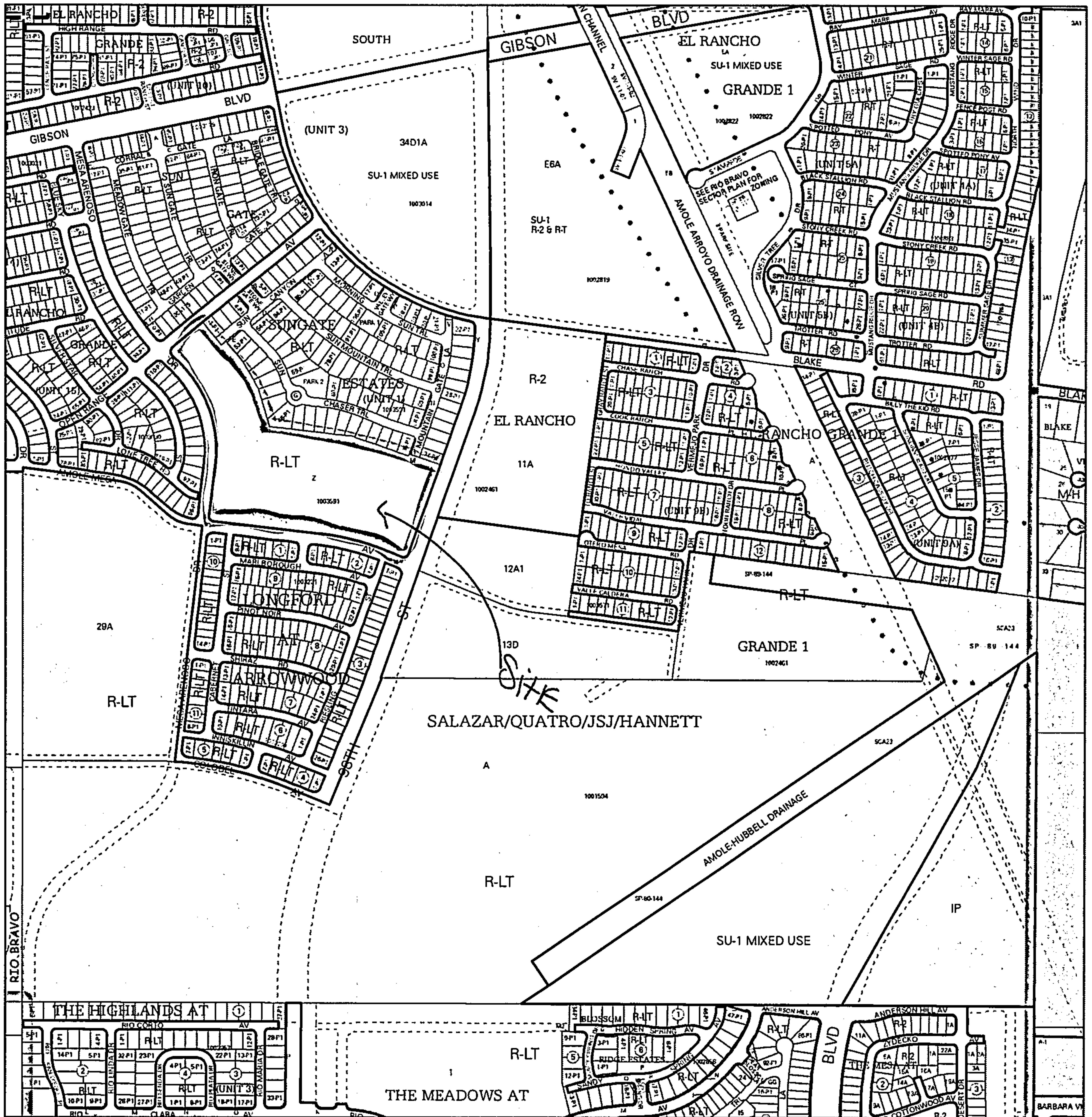
Christian J. Sholtis Applicant name (print)
 9-27-05
Applicant signature / date



Form revised 11/04

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
05DRB - - 01508

Christian J. Sholtis 9/27/05
Planner signature / date
Project # 1003591



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 9/2/2005

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
N-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1500 Feet

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

September 26, 2005

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Preliminary Plat Extension
SunGate Estates Subdivision Unit 2 DRB# 1003591

Dear Sheran:

Enclosed for review and approval by the Development Review Board (DRB) are copies of the following information:

- Development Review Application
- Preliminary plat reduced to 8 ½ X 11
- Zone Atlas Map showing the location of the property
- Copy of DRB approved infrastructure list
- Official Notice
- Letter justifying request
- Fee in the amount of \$70.00

We are requesting a preliminary plat extension for this 87 lot residential subdivision located on 16.6419 +/- acres at the southwest corner of Mesa Arenoso Drive in southwest Albuquerque. The SIA has been submitted and is in the routing process and will be recorded within the next week or two. We are awaiting the SIA from the city to submit final plat approval.

Please place this item on the DRB Agenda to be heard on October 5, 2005. If you have any questions or require additional information, please contact me.

Sincerely,



Christian J. Sholtis, P.E.
Project Engineer
Community Development and Planning Group

SS
Enclosure

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

File

050146-0

REC'D OCT 18 2004



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 13, 2004

7. **Project # 1003591**
04DRB-01384 Major-Preliminary Plat Approval
04DRB-01386 Minor-Sidewalk Waiver
04DRB-01387 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 31A-1-A, **SUN GATE ESTATES**, zoned R-LT residential zone, located on 98TH ST SW, between BLAKE RD SW and OPEN RANGE AVE SW containing approximately 45 acre(s). [REF: 04DRB-01185] [Deferred from 10/6/04] (N-9)

At the October 13, 2004, Development Review Board meeting, with the signing of the infrastructure list dated 10/13/04 and approval of the grading plan engineer stamp dated 9/9/04 the preliminary plat was approved.

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by October 28, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)


Sheran Matson, AICP, DRB Chair

Cc: Bohannan Huston Inc., 7500 Jefferson NE, 87109
D.R.Horton Homes, 4400 Alameda Blvd NE, Suite B, 87111
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

Current DRC
Project No.

ORIGINAL

Figure 12

INFRASTRUCTURE LIST

**EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**SUN GATE ESTATES SUBDIVISION
(TRACT 31A-1-A, LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT CO. AND FALBA HANNETT)**

Date Submitted: September 8, 2004
Date Site Plan for Bldg Permit Approv: X
Date Site Plan for Sub. Approved: X

Date Preliminary Plat Approved: 10/13/04

Date Preliminary Plat Expires: 10/13/05

DRB Project No. 1003591

04-01384

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
OFFSITE PUBLIC ROADWAY IMPROVEMENTS - PHASE 1									
		30' F - F (WEST HALF)	ARTERIAL PAVING W/ PCC STD & MED CURB & GUTTER & 6' WIDE PCC SIDEWALK ON WEST SIDE ONLY	98TH STREET	BLAKE ROAD	AMOLE MESA AVENUE	/	/	/
		24' F-EOA (SOUTH HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY	BLAKE ROAD	OPEN RANGE AVENUE	98TH STREET	/	/	/
		24' F-EOA (SOUTH HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY	OPEN RANGE AVENUE	BLAKE ROAD	MESA ARENOSO DRIVE	/	/	/
							/	/	/
ONSITE PRIVATE ROADWAY IMPROVEMENTS - PHASE 1									
		40' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, 6' MEDIAN & 6' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY	STONE GATE WAY	OPEN RANGE AVENUE	SUN CANYON LANE	/	/	/
		40' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, 6' MEDIAN & 6' WIDE PCC SIDEWALK ON WEST SIDE ONLY	VALLEY GATE WAY	BLAKE ROAD	MORNING SUN TRAIL	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	SUN CANYON LANE	LOT 1/ LOT 115	MORNING SUN TRAIL	/	/	/
		24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON WEST SIDE ONLY *	SUN CANYON LANE	MORNING SUN TRAIL	NORTH STUB STREET TERMINUS	/	/	/
							/	/	/

Original

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC WATERLINE IMPROVEMENTS - PHASE 2									
			PRESSURE REDUCING VALVE W/ VAULT	SE CORNER OF BLAKE ROAD AND OPEN RANGE AVENUE			/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	BLAKE ROAD	EXIST. 12" WATERLINE IN OPEN RANGE AVENUE	SUN CANYON LANE	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUN CANYON LANE	BLAKE ROAD	SUNNY SKY LANE	/	/	/
		4" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUN CANYON LANE	SUNNY SKY LANE	SOUTH STUB STREET TERMINUS	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUNNY SKY LANE	SUN CANYON LANE	CANYON GATE TRAIL	/	/	/
		6" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	WAGON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE TRAIL	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	CANYON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE TRAIL	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	CANYON GATE TRAIL	SUNNY SKY LANE	MESA ARENOSO DRIVE	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	MOUNTAIN GATE LANE	LOT 34/ LOT 137	AMOLE MESA AVENUE	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	AMOLE MESA AVENUE	MOUNTAIN GATE LANE	98TH STREET	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	MESA ARENOSO DRIVE	CANYON GATE TRAIL	AMOLE MESA AVENUE	/	/	/

PUBLIC SANITARY SEWER IMPROVEMENTS - PHASE 2									
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SUN CANYON LANE	LOT 112	LOT 1/ LOT 115	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SUNNY SKY LANE	SUN CANYON LANE	CANYON GATE TRAIL	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	WAGON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE LANE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	CANYON GATE TRAIL	LOT 188	MOUNTAIN GATE LANE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	MOUNTAIN GATE TRAIL	LOT 34/ LOT 137	AMOLE MESA AVENUE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	AMOLE MESA AVENUE/ SANITARY SEWER EASEMENT	MOUNTAIN GATE LANE	SOUTHWEST MESA INTERCEPTOR	/	/	/

Original

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
ONSITE PRIVATE ROADWAY IMPROVEMENTS - PHASE 2									
		40' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, 6' MEDIAN & 6' WIDE PCC SIDEWALK ON EAST SIDE ONLY	TRAIL GATE WAY	AMOLE MESA AVENUE	CANYON GATE TRAIL	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	SUNNY SKY LANE	SUN CANYON LANE	CANYON GATE TRAIL	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	SUN CANYON LANE	SUNNY SKY LANE	LOT 115/ LOT 1	/	/	/
		24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON WEST SIDE ONLY* W/ PEDESTRIAN CONNECTION TO MESA ARENOSO DRIVE	SUN CANYON LANE	SUNNY SKY LANE	SOUTH STUB STREET TERMINUS	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES*	WAGON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE LANE	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES*	CANYON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE LANE	/	/	/
		24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY* W/ PEDESTRIAN CONNECTION TO MESA ARENOSO DRIVE	CANYON GATE TRAIL	SUNNY SKY LANE	SOUTH STUB STREET TERMINUS	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES*	MOUNTAIN GATE LANE	CANYON GATE TRAIL	LOT 34/ LOT 137	/	/	/
		24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON EAST SIDE ONLY*	MOUNTAIN GATE LANE	CANYON GATE TRAIL	STUB STREET TERMINUS	/	/	/
			STREET LIGHTS PER DPM				/	/	/
							/	/	/

* SIDEWALKS DEFERRED PER EXHIBIT. SIDEWALKS WAIVED ON EAST AND SOUTH SIDE OF SUN CANYON LANE STUB STREET; WEST AND SOUTH SIDE OF MOUNTAIN GATE LANE STUB STREET; NORTH AND WEST SIDE OF CANYON GATE TRAIL STUB STREET.

Original

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC SANITARY SEWER IMPROVEMENTS - PHASE 1									
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SUN CANYON LANE	LOT 1/ LOT 115	LOT 12	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	MORNING SUN TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SUN MOUNTAIN TRAIL	SUN CANYON LANE	MOUNTAIN GATE TRAIL	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SUN CHASER TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	MOUNTAIN GATE LANE	LOT 22	AMOLE MESA AVENUE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	AMOLE MESA AVENUE/ SANITARY SEWER EASEMENT	MOUNTAIN GATE LANE	SOUTHWEST MESA INTERCEPTOR	/	/	/
PUBLIC STORM DRAIN IMPROVEMENTS - PHASE 1									
		24"-48" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	MOUNTAIN GATE LANE	SUN MOUNTAIN TRAIL	AMOLE MESA AVENUE	/	/	/
		48"-90" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	AMOLE MESA AVE/ STORM DRAIN EASEMENT	MOUNTAIN GATE LANE	AMOLE CHANNEL	/	/	/
		72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS (FC'D UNDER SUN GATE SUBD'N PRJ. NO. 736781)	OPEN RANGE AVENUE	MESA ARENOSO DRIVE	BLAKE ROAD	/	/	/
		72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	BLAKE ROAD	OPEN RANGE AVENUE	98TH STREET	/	/	/
		2 AC-FT	TEMPORARY RETENTION POND W/ AGREEMENT & COVENANT	TRACT 11-A			/	/	/
A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.									
OFFSITE PUBLIC ROADWAY IMPROVEMENTS - PHASE 2									
		24' F-EOA (EAST HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON EAST SIDE ONLY	MESA ARENOSO DRIVE	OPEN RANGE AVENUE	AMOLE MESA AVENUE	/	/	/
		24' F-EOA (NORTH HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON NORTH SIDE ONLY	AMOLE MESA AVENUE	MESA ARENOSO DRIVE	98TH STREET	/	/	/

Original

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	MORNING SUN TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	SUN MOUNTAIN TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES * INCL. TRAFFIC CIRCLE	SUN CHASER TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	MOUNTAIN GATE LANE	LOT 34/ LOT 137	MORNING SUN TRAIL	/	/	/
		24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON EAST SIDE ONLY *	MOUNTAIN GATE LANE	MORNING SUN TRAIL	NORTH STUB STREET TERMINUS	/	/	/
			STREET LIGHTS PER DPM				/	/	/

* SIDEWALKS DEFERRED PER EXHIBIT. SIDEWALKS WAIVED ON EAST AND NORTH SIDE OF SUN CANYON LANE STUB STREET AND ON WEST AND NORTH SIDE OF MOUNTAIN GATE LANE STUB STREET.

PUBLIC WATERLINE IMPROVEMENTS - PHASE 1

			PRESSURE REDUCING VALVE W/ VAULT	SE CORNER OF BLAKE ROAD AND OPEN RANGE AVENUE			/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	BLAKE ROAD	EXIST. 12" WATERLINE IN OPEN RANGE AVENUE	SUN CANYON LANE	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUN CANYON LANE	BLAKE ROAD	LOT 1/ LOT 115	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	MORNING SUN TRAIL	SUN CANYON LANE	MOUNTAIN GATE TRAIL	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S, RJ'S	MOUNTAIN GATE LANE	AMOLE MESA AVENUE	MORNING SUN TRAIL	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S, RJ'S & REQ'D PRV	MOUNTAIN GATE LANE	MORNING SUN TRAIL	BLAKE ROAD	/	/	/
		6" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUN MOUNTAIN TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		6" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUN CHASER TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	BLAKE ROAD	MOUNTAIN GATE LANE	98TH STREET	/	/	/

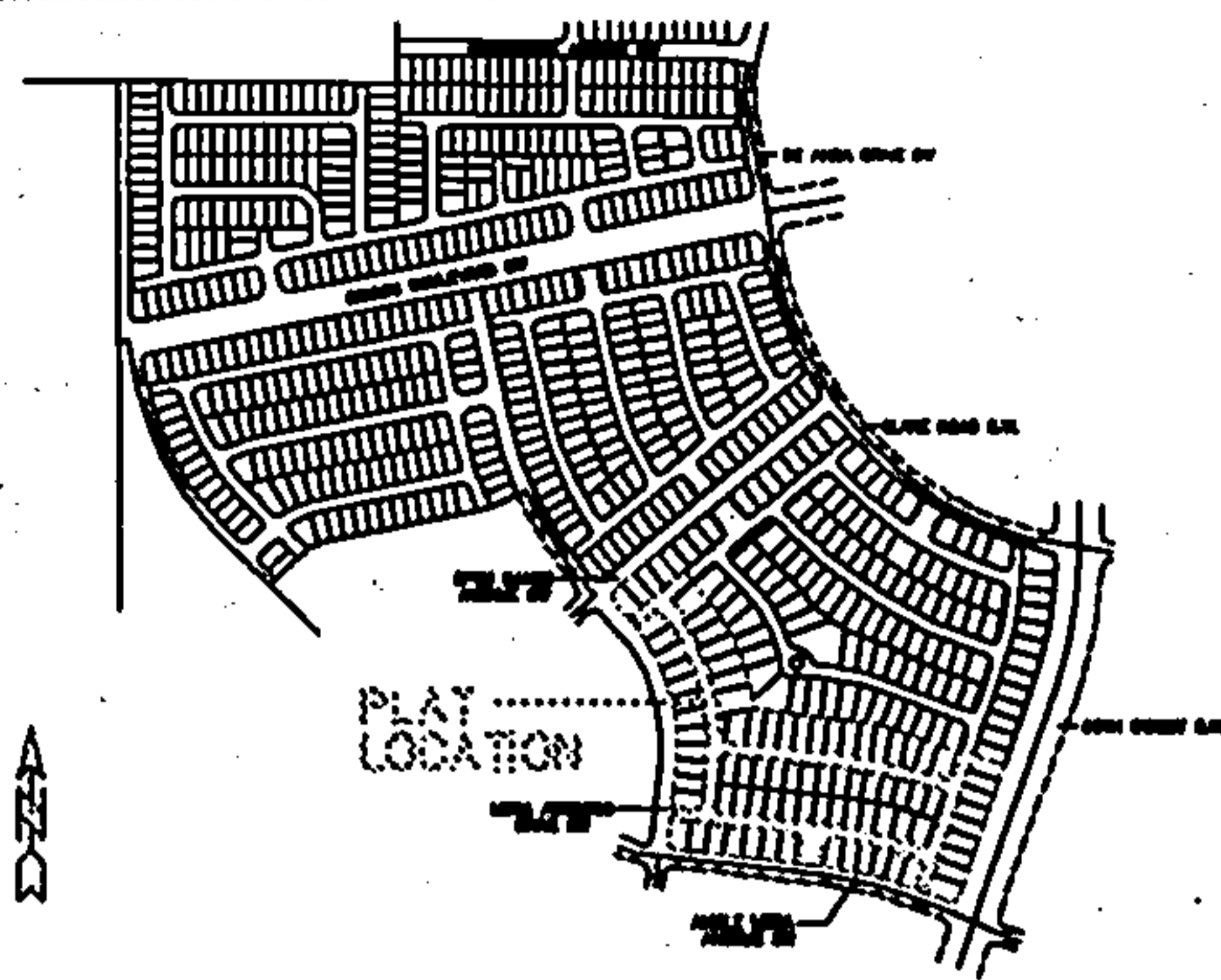
Original

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crst Engineer
PUBLIC STORM DRAIN IMPROVEMENTS - PHASE 2									
		24"-48" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	MOUNTAIN GATE LANE	LOT 34/ LOT 137	AMOLE MESA AVENUE	/	/	/
		48"-90" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	AMOLE MESA AVE/ STORM DRAIN EASEMENT	MOUNTAIN GATE LANE	AMOLE CHANNEL	/	/	/
		72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS (FG'D UNDER SUN GATE SUBD'N PRJ. NO. 736781)	OPEN RANGE AVENUE	MESA ARENOSO DRIVE	BLAKE ROAD	/	/	/
		72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	BLAKE ROAD	OPEN RANGE AVENUE	98TH STREET	/	/	/
		2 AC-FT	TEMPORARY RETENTION POND W/ AGREEMENT & COVENANT	TRACT 11-A			/	/	/
A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.									

NOTES:
1. PERIMETER WALLS PER THE DRB APPROVED PERIMETER WALL DESIGN.

AGENT/OWNER		DEVELOPMENT REVIEW BOARD MEMBER APPROVALS							
CHRISTIAN J. SHOLTIS, PE PREPARED BY: PRINT NAME	10/5/2004 DATE	<i>[Signature]</i> DRB CHAIR		10/13/04 DATE	<i>Christina Sandoval</i> PARKS & GENERAL SERVICES		10/13/04 DATE		
BOHANNAN HUSTON, INC. FIRM:		<i>[Signature]</i> TRANSPORTATION DEVELOPMENT		10/13/04 DATE	N/A				
<i>[Signature]</i> SIGNATURE	10-12-04	<i>[Signature]</i> UTILITY DEVELOPMENT		10/13/04 DATE	<i>Brady L. Bihn</i> CITY ENGINEER		10/13/04 DATE		
MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION									
		DATE							

DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



LOCATION MAP NOT TO SCALE N-9-Z

PURPOSE OF PLAT

1. To create 87 lots and 11 tracts as shown hereon.
2. To grant easements as shown hereon.

SUBDIVISION DATA

1. Project No.:
Application No.:
2. Zone Atlas Index No.: N-9-Z
3. Total Number of Lots created: 87
4. Total Number of existing Tracts: 1
5. Total Number of Tracts created: 11
6. Miles of Full Width Streets created: 0.6635 MI.
7. Gross Subdivision Acreage: 16.6419 Ac.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:
 PLAT OF "SUNGATE ESTATES SUBDIVISION, UNIT 1",
 (07-11-05, 05C-245)
 PLAT OF "SALAZAR - DAVIS TRACTS",
 (05-06-88, C30-81)
 PLAT OF "LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT",
 (07-23-03, 03C-223)
 PLAT OF "LANDS OF CURB, INC.",
 (11-25-03, 03C-357)
 PLAT OF "LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT",
 (11-25-03, 03C-357)
 PLAT OF "SUNGATE SUBDIVISION",
 (08-11-04, 04C-235)
 PLAT OF "EL RANCHO GRANDE, UNIT 1",
 (07-23-03, 03C-223)
 CORRECTION PLAT "EL RANCHO GRANDE, TRACTS 14, 15 & 16",
 (03-09-04, 04C-72)
 all being records of Bernalillo County, New Mexico.
5. Field Survey performed on March, 2005.
6. Title Report: None provided.
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: R-2 FOR R-T AND RL T
9. Utility Council Location System Log No.: 2005384589
10. Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719".
11. All street centerline monumentation shall be installed at all centerline p.c.'s, p.t.'s, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
12. No individual lots shall be allowed direct access to 98th Street S.W., Mesa Arenoso Drive S.W., Open Range Avenue S.W. & Amole Mesa Avenue S.W.
13. All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 2, SUNGATE ESTATES, UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 11, 2005 in Book 2005C, Page 245 and containing 16.6419 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Telecommunications for installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 87 lots and 11 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): D.R. HORTON, INC.

J. MARK FERGUSON, DIVISION PRESIDENT _____ Date

STATE OF NEW MEXICO)
 BERNALILLO COUNTY) ss

On this _____ day of _____, 2005, this instrument was acknowledged before me by J. Mark Ferguson, Division President of D.R. Horton, Inc., a Delaware Corporation.

Notary Public _____ My Commission Expires _____

PLAT FOR
**SUNGATE ESTATES SUBDIVISION
 UNIT 2**
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2005

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services Division _____ Date

PNM Gas Services Division _____ Date

Qwest _____ Date

Comcast _____ Date

City Approvals:

City Surveyor _____ Date

Real Property Division _____ Date

Environmental Health Department _____ Date

Traffic Engineering, Transportation Division _____ Date

Utilities Development _____ Date

Parks and Recreation Department _____ Date

AMA FCA _____ Date

City Engineer _____ Date

ORB Chairperson, Planning Department _____ Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich, P.S. No. 7719 _____ Date

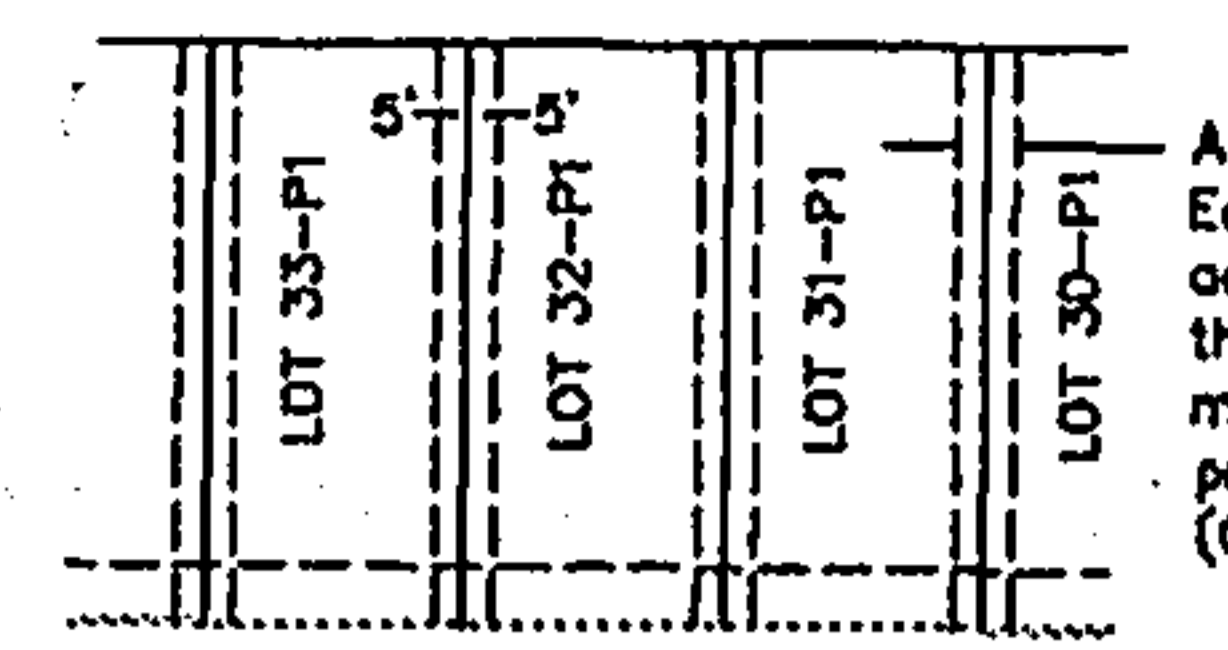
Drawn By:	RJA	Date:	09-22-05
Checked By:	TA	Drawing Name:	010375G2.DWG
Job No.:	01-037	Sheet:	1 of 3

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

PLAT FOR
SUNGATE ESTATES SUBDIVISION
UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2005

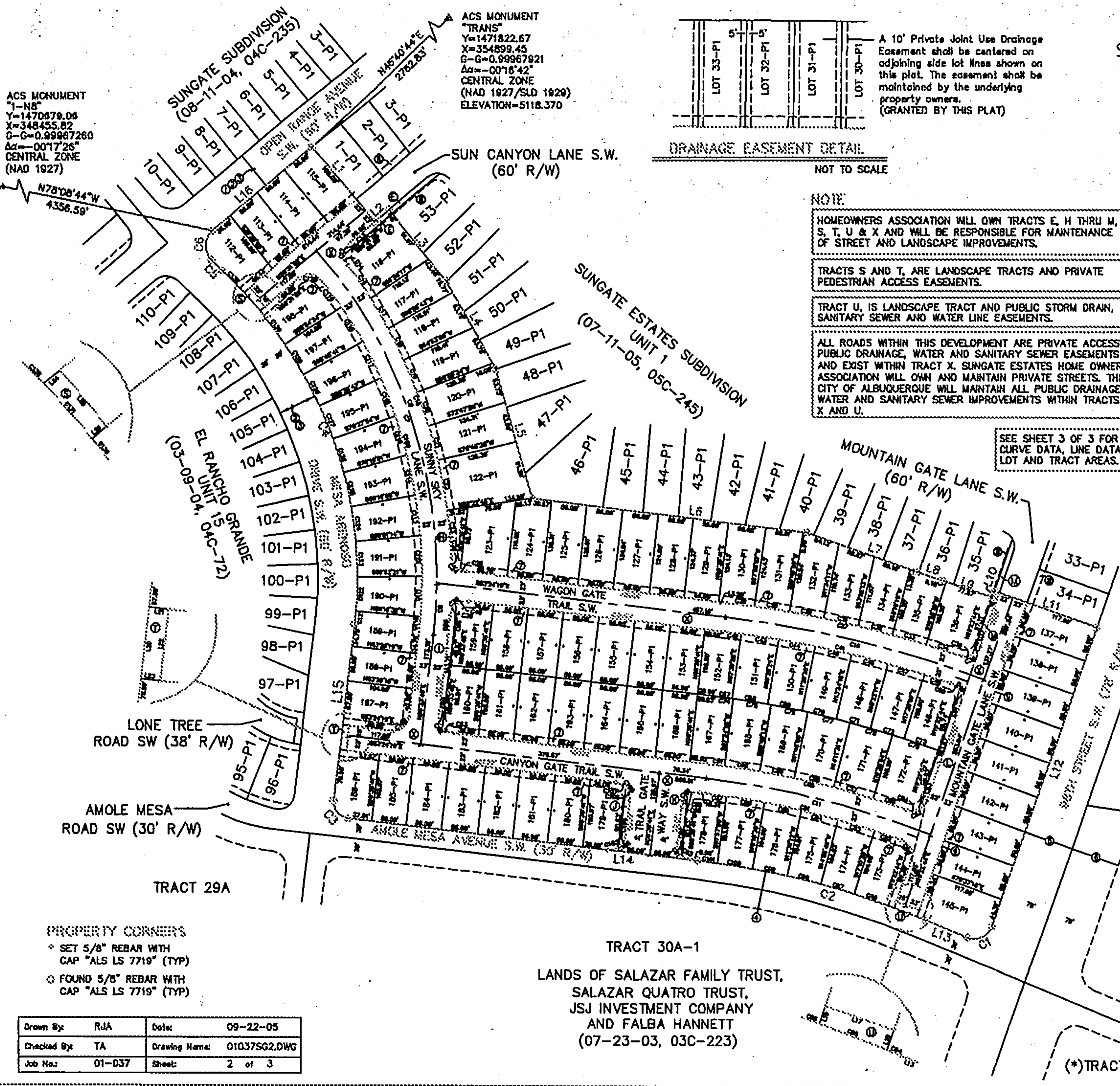
ACS MONUMENT
 "1-NB"
 Y=1470679.08
 X=348455.82
 G-G=0.99967260
 Az=0017'26"
 CENTRAL ZONE
 (NAD 1927)

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Az=0016'42"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5118.370



A 10' Private Joint Use Drainage Easement shall be centered on adjoining side lot lines shown on this plat. The easement shall be maintained by the underlying property owners.
 (GRANTED BY THIS PLAT)

DRAINAGE EASEMENT DETAIL
 NOT TO SCALE



- NOTE
- HOMEOWNERS ASSOCIATION WILL OWN TRACTS E, H THRU M, S, T, U & X AND WILL BE RESPONSIBLE FOR MAINTENANCE OF STREET AND LANDSCAPE IMPROVEMENTS.
 - TRACTS S AND T, ARE LANDSCAPE TRACTS AND PRIVATE PEDESTRIAN ACCESS EASEMENTS.
 - TRACT U, IS LANDSCAPE TRACT AND PUBLIC STORM DRAIN, SANITARY SEWER AND WATER LINE EASEMENTS.
 - ALL ROADS WITHIN THIS DEVELOPMENT ARE PRIVATE ACCESS, PUBLIC DRAINAGE, WATER AND SANITARY SEWER EASEMENTS AND EXIST WITHIN TRACT X. SUNGATE ESTATES HOME OWNERS ASSOCIATION WILL OWN AND MAINTAIN PRIVATE STREETS. THE CITY OF ALBUQUERQUE WILL MAINTAIN ALL PUBLIC DRAINAGE, WATER AND SANITARY SEWER IMPROVEMENTS WITHIN TRACTS X AND U.

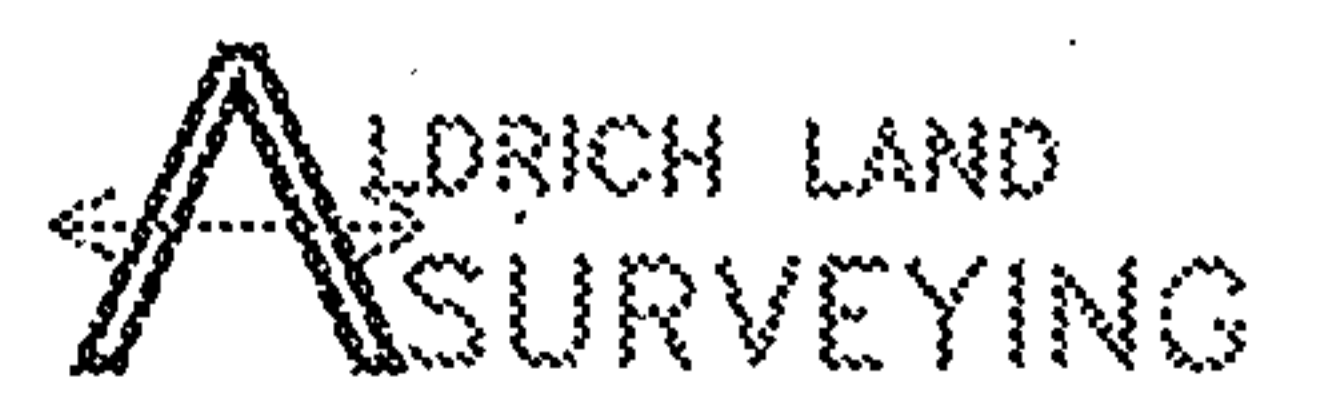
SEE SHEET 3 OF 3 FOR CURVE DATA, LINE DATA, LOT AND TRACT AREAS.

- EXISTING EASEMENTS
- ① EXISTING 60' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (08-05-02, 02C-197)
 - ② EXISTING 60' PUBLIC ACCESS, WATERLINE AND SANITARY SEWER EASEMENT (04-17-01, A18-458)
 - ③ EXISTING 60' PUBLIC ACCESS EASEMENT (07-23-03, 03C-223)
 - ④ EXISTING 60' PUBLIC ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT (07-23-03, 03C-223)
 - ⑤ EXISTING 78' TEMPORARY PUBLIC ROADWAY EASEMENT (07-23-03, 03C-223)
 - ⑥ EXISTING 78' PUBLIC ROADWAY AND PUBLIC UTILITY EASEMENT (03-21-03, 03C-73)
 - ⑦ 10' PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)
 - ⑧ EXISTING 10' PUBLIC UTILITY EASEMENT (07-11-05, 05C-245)
 - ⑨ EXISTING PUBLIC WATER, SANITARY SEWER AND STORM DRAIN EASEMENT (07-11-05, 05C-245)

(*)TRACT 11-A
 (*)EL RANCHO GRANDE, UNIT 1
 (07-23-03, 03C-223)



Scale 1" = 100 ft



P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

PROPERTY CORNERS
 ♦ SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
 ♦ FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

Drawn By:	RJA	Date:	09-22-05
Checked By:	TA	Drawing Name:	010375G2.DWG
Job No.:	01-037	Sheet:	2 of 3

TRACT 30A-1
 LANDS OF SALAZAR FAMILY TRUST,
 SALAZAR QUATRO TRUST,
 JSJ INVESTMENT COMPANY
 AND FALBA HANNETT
 (07-23-03, 03C-223)

PLAT FOR
 SUNGATE ESTATES SUBDIVISION
 UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2005

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C100	55.39	0.218334	1364.00	27.89	S80°52'07"E	55.37
C101	52.38	0.172326	1364.00	18.35	S82°43'07"E	52.37
C102	39.27	90°00'00"	23.00	23.00	S91°35'41"E	35.36
C103	18.69	42°50'28"	23.00	9.81	N75°10'22"E	18.28
C104	20.52	47°09'22"	25.00	10.91	N75°10'22"E	20.00
C105	39.27	90°00'00"	25.00	25.00	N38°24'19"W	35.36
C106	20.52	47°09'22"	25.00	10.91	N61°58'01"W	18.28
C107	18.69	42°50'28"	25.00	9.81	N51°34'43"E	35.37
C108	39.27	90°00'00"	25.00	25.00	N15°40'47"W	56.79
C109	24.07	44°28'04"	750.00	12.05	N05°38'57"E	83.48
C110	63.51	0.451077	750.00	31.77	N02°33'12"W	83.48
C111	63.51	0.451077	750.00	31.77	N02°33'12"W	83.48
C112	63.51	0.451077	750.00	31.77	N07°24'19"W	83.48
C113	63.51	0.451077	750.00	31.77	N17°08'32"W	83.48
C114	63.51	0.451077	750.00	31.77	N28°48'48"W	83.48
C115	63.51	0.451077	750.00	31.77	N37°58'53"W	83.48
C116	63.51	0.451077	750.00	31.77	N45°28'51"W	83.48
C117	63.51	0.451077	750.00	31.77	N52°58'49"W	83.48
C118	63.51	0.451077	750.00	31.77	S02°58'49"E	83.48
C119	63.51	0.451077	750.00	31.77	S09°28'51"E	83.48
C120	63.51	0.451077	750.00	31.77	S15°58'53"E	83.48
C121	63.51	0.451077	750.00	31.77	S22°28'55"E	83.48
C122	63.51	0.451077	750.00	31.77	S28°58'57"E	83.48
C123	63.51	0.451077	750.00	31.77	S35°28'59"E	83.48
C124	63.51	0.451077	750.00	31.77	S41°58'51"E	83.48
C125	63.51	0.451077	750.00	31.77	S48°28'53"E	83.48
C126	63.51	0.451077	750.00	31.77	S54°58'55"E	83.48
C127	63.51	0.451077	750.00	31.77	S61°28'57"E	83.48
C128	63.51	0.451077	750.00	31.77	S67°58'59"E	83.48
C129	63.51	0.451077	750.00	31.77	S74°28'51"E	83.48
C130	63.51	0.451077	750.00	31.77	S80°58'53"E	83.48
C131	63.51	0.451077	750.00	31.77	S87°28'55"E	83.48
C132	63.51	0.451077	750.00	31.77	S93°58'57"E	83.48

LINE	DIRECTION	DISTANCE
L1	S32°28'08"E	151.00
L2	S30°31'02"E	30.29
L3	S39°28'08"E	142.65
L4	S29°21'45"E	156.71
L5	S16°11'17"E	208.81
L6	S83°08'51"E	434.70
L7	S70°37'16"E	186.24
L8	S70°48'13"E	39.41
L9	S72°12'01"E	84.12
L10	N16°22'44"E	10.31
L11	S70°37'16"E	171.00
L12	S19°22'44"E	49.235
L13	N87°48'03"W	71.48
L14	N85°24'19"W	554.44
L15	N85°35'45"E	275.27
L16	N50°31'52"E	203.98
L17	N70°57'18"W	38.00
L18	N19°22'44"E	10.79
L19	N19°22'44"E	9.82
L20	N08°33'43"E	38.00
L21	S83°24'19"E	10.00
L22	S08°35'41"W	38.00
L23	S05°24'19"E	10.00
L24	S05°31'52"E	11.14
L25	S39°28'08"E	38.00
L26	N50°31'52"E	9.70

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	48.82	92°31'13"	30.00	31.53	S85°48'20"W	43.47
C2	37.28	153°38'16"	1364.00	187.30	N75°51'11"W	371.12
C3	39.28	89°58'04"	23.00	24.99	N38°25'17"W	35.35
C4	610.98	6°11'22"	646.00	330.50	N20°31'56"W	598.46
C5	23.24	01°01'16"	1504.00	11.62	N47°08'59"W	23.24
C6	50.86	07°08'15"	50.00	33.90	N01°57'45"E	44.98
C7	79.78	47°32'45"	773.00	39.05	N03°38'20"E	623.21
C8	561.87	05°54'50"	773.00	283.98	N201°02'02"W	549.40
C9	419.52	13°37'58"	1744.00	210.78	N76°25'48"W	418.51
C10	363.07	13°57'08"	1491.00	182.44	N76°25'48"W	362.18
C11	39.49	89°04'32"	25.00	24.17	N26°29'36"E	34.76
C12	29.89	47°09'22"	25.00	10.91	N28°57'11"E	20.00
C13	39.49	89°04'32"	25.00	24.17	N17°05'05"W	17.48
C14	17.85	40°35'09"	25.00	9.33	N10°31'11"W	16.00
C15	468.53	35°09'51"	786.00	252.23	N19°37'44"W	460.90
C16	428.75	04°30'56"	786.00	31.38	N35°17'11"W	62.72
C17	54.98	03°57'26"	786.00	27.50	N30°03'00"W	54.98
C18	54.98	03°57'26"	786.00	27.50	N27°05'35"W	54.98
C19	54.98	03°57'26"	786.00	27.50	N23°08'08"W	54.98
C20	54.98	03°57'26"	786.00	27.50	N19°10'44"W	54.98
C21	54.98	03°57'26"	786.00	27.50	N15°13'18"W	54.98
C22	78.10	03°37'20"	786.00	39.09	N10°23'58"W	78.08
C23	72.80	03°14'25"	786.00	38.43	N05°30'02"W	72.78
C24	35.35	81°01'50"	25.00	21.36	N42°53'34"W	32.48
C25	26.70	81°12'30"	25.00	14.78	N33°59'04"W	25.48
C26	B.65	19°49'00"	25.00	4.37	N23°29'49"W	B.65
C27	376.50	12°13'16"	1787.00	188.17	S77°19'41"E	376.19
C28	42.37	01°22'27"	1787.00	21.19	S82°43'06"E	42.37
C29	55.53	01°48'02"	1787.00	27.77	S87°07'52"E	55.53
C30	55.53	01°48'02"	1787.00	27.77	S78°19'50"E	55.53
C31	55.53	01°48'02"	1787.00	27.77	S73°31'48"E	55.53
C32	55.53	01°48'02"	1787.00	27.77	S68°43'46"E	55.53
C33	55.53	01°48'02"	1787.00	27.77	N73°55'43"W	55.53
C34	58.88	01°50'39"	1787.00	28.44	N72°06'23"W	58.87
C35	39.02	89°26'13"	25.00	24.78	N67°06'50"W	35.18
C36	14.45	42°16'50"	25.00	9.87	N67°40'32"E	18.05
C37	20.57	47°09'22"	25.00	10.91	N49°40'32"E	20.00
C38	40.25	92°14'21"	25.00	26.00	N30°28'30"E	36.04
C39	20.50	46°30'48"	25.00	10.74	N27°38'44"E	19.45
C40	36.61	18.95	25.00	10.54	N23°43'54"E	19.73
C41	36.61	12°11'21"	1721.00	183.78	S77°16'59"E	365.44
C42	27.42	00°54'47"	1721.00	13.71	S82°56'58"E	27.42
C43	59.04	01°37'56"	1721.00	29.52	S81°30'34"E	59.04
C44	59.04	01°37'56"	1721.00	29.52	S78°32'39"E	59.04
C45	59.04	01°37'56"	1721.00	29.52	S75°34'43"E	59.04
C46	59.04	01°37'56"	1721.00	29.52	N75°34'43"W	59.04
C47	59.04	01°37'56"	1721.00	29.52	N72°36'51"W	59.04
C48	59.04	01°37'56"	1721.00	29.52	N69°38'59"W	59.04
C49	59.04	01°37'56"	1721.00	29.52	N66°41'07"W	59.04
C50	59.04	01°37'56"	1721.00	29.52	N63°43'15"W	59.04
C51	59.04	01°37'56"	1721.00	29.52	N60°45'23"W	59.04
C52	59.04	01°37'56"	1721.00	29.52	N57°47'31"W	59.04
C53	59.04	01°37'56"	1721.00	29.52	N54°49'39"W	59.04
C54	59.04	01°37'56"	1721.00	29.52	N51°51'47"W	59.04
C55	59.04	01°37'56"	1721.00	29.52	N48°53'55"W	59.04
C56	59.04	01°37'56"	1721.00	29.52	N45°56'03"W	59.04
C57	59.04	01°37'56"	1721.00	29.52	N42°58'11"W	59.04
C58	59.04	01°37'56"	1721.00	29.52	N39°60'19"W	59.04
C59	59.04	01°37'56"	1721.00	29.52	N36°62'27"W	59.04
C60	59.04	01°37'56"	1721.00	29.52	N33°64'35"W	59.04
C61	59.04	01°37'56"	1721.00	29.52	N30°66'43"W	59.04
C62	59.04	01°37'56"	1721.00	29.52	N27°68'51"W	59.04
C63	59.04	01°37'56"	1721.00	29.52	N24°70'59"W	59.04
C64	59.04	01°37'56"	1721.00	29.52	N21°73'07"W	59.04
C65	59.04	01°37'56"	1721.00	29.52	N18°75'15"W	59.04
C66	59.04	01°37'56"	1721.00	29.52	N15°77'23"W	59.04
C67	59.04	01°37'56"	1721.00	29.52	N12°79'31"W	59.04
C68	59.04	01°37'56"	1721.00	29.52	N9°81'39"W	59.04
C69	59.04	01°37'56"	1721.00	29.52	N6°83'47"W	59.04
C70	59.04	01°37'56"	1721.00	29.52	N3°85'55"W	59.04
C71	59.04	01°37'56"	1721.00	29.52	N0°88'03"W	59.04
C72	59.04	01°37'56"	1721.00	29.52	N7°90'11"W	59.04
C73	59.04	01°37'56"	1721.00	29.52	N4°92'19"W	59.04
C74	59.04	01°37'56"	1721.00	29.52	N1°94'27"W	59.04
C75	59.04	01°37'56"	1721.00	29.52	N7°96'35"W	59.04
C76	59.04	01°37'56"	1721.00	29.52	N4°98'43"W	59.04
C77	59.04	01°37'56"	1721.00	29.52	N1°10'51"W	59.04
C78	59.04	01°37'56"	1721.00	29.52	N7°12'59"W	59.04
C79	59.04	01°37'56"	1721.00	29.52	N4°15'07"W	59.04
C80	59.04	01°37'56"	1721.00	29.52	N1°17'15"W	59.04
C81	59.04	01°37'56"	1721.00	29.52	N7°19'23"W	59.04
C82	59.04	01°37'56"	1721.00	29.52	N4°21'31"W	59.04
C83	59.04	01°37'56"	1721.00	29.52	N1°23'39"W	59.04
C84	59.04	01°37'56"	1721.00	29.52	N7°25'47"W	59.04
C85	59.04	01°37'56"	1721.00	29.52	N4°27'55"W	59.04
C86	59.04	01°37'56"	1721.00	29.52	N1°30'03"W	59.04
C87	59.04	01°37'56"	1721.00	29.52	N7°32'11"W	59.04
C88	59.04	01°37'56"	1721.00	29.52	N4°34'19"W	59.04
C89	59.04	01°37'56"	1721.00	29.52	N1°36'27"W	59.04
C90	59.04	01°37'56"	1721.00	29.52	N7°38'35"W	59.04
C91	59.04	01°37'56"	1721.00	29.52	N4°40'43"W	59.04
C92	59.04	01°37'56"	1721.00	29.52	N1°42'51"W	59.04
C93	59.04	01°37'56"	1721.00	29.52	N7°44'59"W	59.04
C94	59.04	01°37'56"	1721.00	29.52	N4°47'07"W	59.04
C95	59.04	01°37'56"	1721.00	29.52	N1°49'15"W	59.04
C96	59.04	01°37'56"	1721.00	29.52	N7°51'23"W	59.04
C97	59.04	01°37'56"	1721.00	29.52	N4°53'31"W	59.04
C98	59.04	01°37'56"	1721.00	29.52	N1°55'39"W	59.04
C99	59.04	01°37'56"	1721.00	29.52	N7°57'47"W	59.04
C100	59.04	01°37'56"	1721.00	29.52	N4°59'55"W	59.04

TRACTS:
 ○ TRACT E = 0.0170 AC.
 ○ TRACT H = 0.0454 AC.
 ○ TRACT I = 0.0333 AC.
 ○ TRACT J = 0.0146 AC.
 ○ TRACT K = 0.0146 AC.
 ○ TRACT L = 0.0335 AC.
 ○ TRACT M = 0.0187 AC.
 ○ TRACT N = 0.0089 AC.
 ○ TRACT O = 0.0087 AC.
 ○ TRACT P = 0.0089 AC.
 ○ TRACT Q = 0.0089 AC.
 ○ TRACT R = 0.0089 AC.
 ○ TRACT S = 0.0089 AC.
 ○ TRACT T = 0.0089 AC.
 ○ TRACT U = 0.0089 AC.

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME D. R. Horton
AGENT BOHANNAN HUSTON
ADDRESS 7500 JEFFERSON
PROJECT & APP # 1003591 / 05 DRB - 01508
PROJECT NAME SUN GATE ESTATES Unit 2

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 50.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ 7 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 70.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an

Bohannon & Huston INC.

COURTYARD I, 7500 JEFFERSON STREET NE
ALBUQUERQUE, NM 87109-4335

505.823.1000

05
00047336
441032
3424000
0:10AM
PAY
FUND

CITY OF ALBUQUERQUE
TREASURY
DIVISION

*****70

DOLLARS & *****00

BANK OF AMERICA
ALBUQUERQUE, NEW MEXICO

95-32 / 1070

135845

9/27/2005

NO. 135845

*****70.00

CENTS

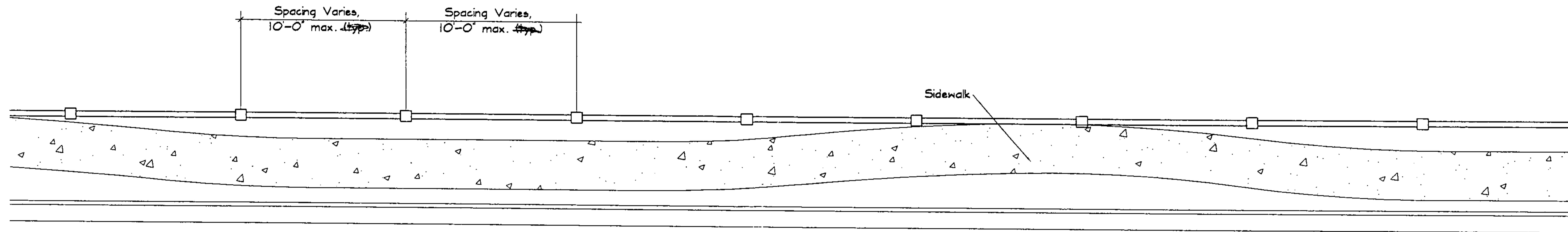
BOHANNAN-HUSTON INC.

AUTHORIZED SIGNATURE

TO THE ORDER OF CITY OF ALBUQUERQUE
P.O. Box 1313
Albuquerque, NM 87103-1313 US

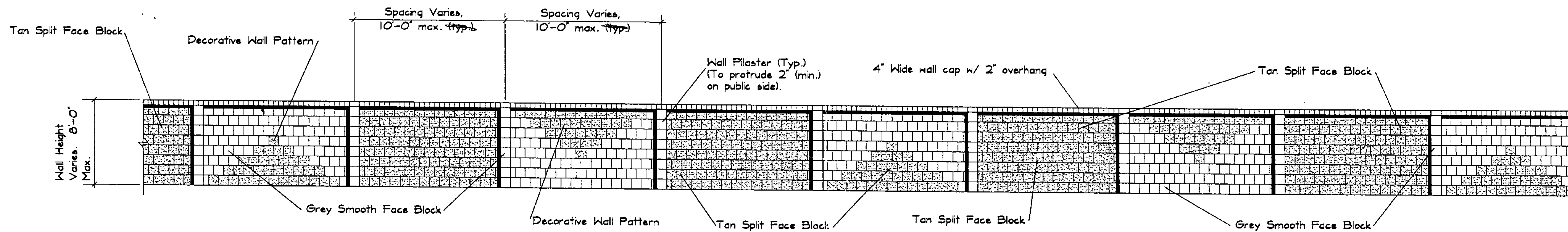
⑈ 135845 ⑆ ⑆ 107000327 ⑆ 002865399404 ⑆





WALL PLAN

SCALE: None



WALL ELEVATION

SCALE: None

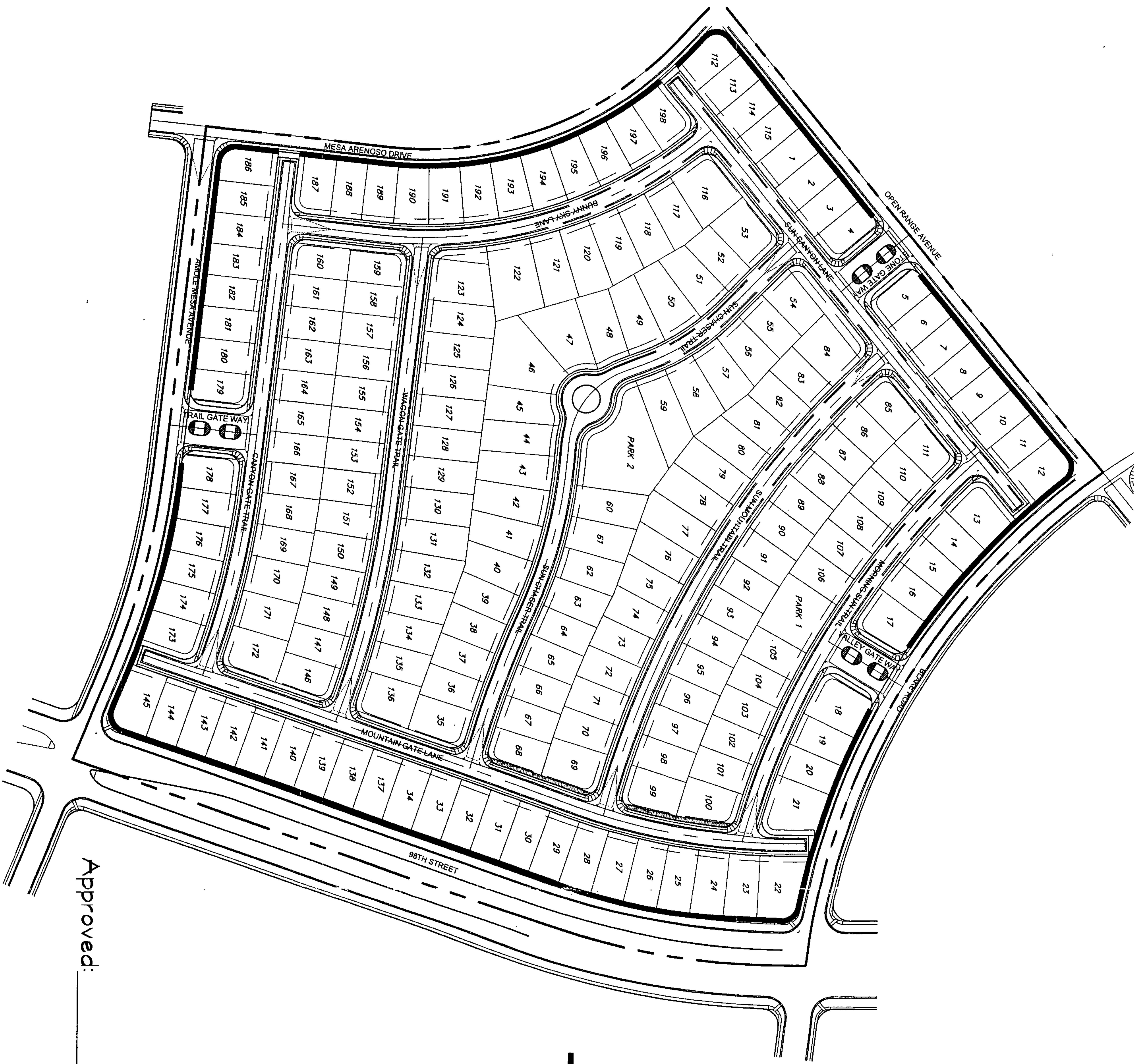
DRB # 1003591

Perimeter Wall Approved
[Signature]
 DRB Chair
 0/5/04
 Date

Approved: _____

Subdivision Name: Sungate Estates Subdivision
 Zone Atlas Page: N-9
 Nearest Intersection: Open Range Avenue S.W.

September, 2004



— Perimeter Wall Location

Approved: _____

DRB # 1003591

Subdivision Name: Sungate Estates Subdivision
 Zone Atlas Page: N-9
 Nearest Intersection: Open Range Avenue S.W.

September, 2004



SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Supplemental form

S

V

P

L

Supplemental form

ZONING & PLANNING

- Annexation
 - County Submittal
 - EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

Z

A

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: D.R. HORTON, INC.
 ADDRESS: 4400 ALAMEDA NE SUITE B
 CITY: ALBUQUERQUE
 Proprietary interest in site: OWNER
 AGENT (if any): BOHANNAN HUSTON INC.
 ADDRESS: 7500 JEFFERSON NE
 CITY: ALBUQUERQUE

STATE NM ZIP 87113

STATE NM ZIP 87109

PHONE: 797-4245
 FAX: 797-9881
 E-MAIL: _____

PHONE: 823-1000
 FAX: 798-7988
 E-MAIL: _____

DESCRIPTION OF REQUEST: FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 31A-1-A Block: _____ Unit: _____

Subdiv. / Addn. SUNGATE ESTATES SUBDIVISION UNIT 1

Current Zoning: R-2 FOR R-T & R-LT

Proposed zoning: _____

Zone Atlas page(s): N-9

No. of existing lots: 1

No. of proposed lots: 129

Total area of site (acres): 45.0015

Density if applicable: dwellings per gross acre: _____

dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.)

Within 1000FT of a landfill? NO

UPC No. 100905413232720103

MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: GIBSON BLVD. SW

Between: BLAKE RD SW and 98TH STREET SW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB# 1003591/04DRB-01185

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 8-11-2004

SIGNATURE

Chris Sholtis

DATE 6/13/2005

(Print) CHRIS SHOLTIS

Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 10/03

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #'s are assigned
- AGIS copy has been sent
- Case history #'s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

05 DRB - - 00996

Action

FP

S.F.

Fees

\$ 0

\$ 20.00

\$ _____

\$ _____

\$ _____

\$ _____

Total

\$ 20.00

Hearing date 6/22/05

Andrew Smic

6-14-05

Planner signature / date

Project # 1003591

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Copy of previous D.R.B. approved infrastructure list
Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
Design elevations & cross sections of perimeter walls 3 copies
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
Property owner's and City Surveyor's signatures on the Mylar drawing
SIA financial guaranty verification
Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
Any original and/or related file numbers are listed on the cover application
DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
Property owner's and City Surveyor's signatures on the Mylar drawing
Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
Signed Pre-Annexation Agreement if Annexation required.
Fee (see schedule)
Any original and/or related file numbers are listed on the cover application
Infrastructure list if required (verify with DRB Engineer) NO INTERNAL ROUTING
DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
Any original and/or related file numbers are listed on the cover application
Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Christian J. Sholtis Applicant name (print)
Applicant signature / date 6-13-05



Form revised 11/04

- Checklists complete Application case numbers
Fees collected OS DRB - -00.3591
Case #s assigned
Related #s listed

Planner signature / date 6-14-05
Project # 1003591

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

June 13, 2005

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Final Plat Approval
SunGate Estates Subdivision Unit 1 DRB# 1003591

Dear Sheran:

Enclosed for review and approval by the Development Review Board (DRB) are copies of the following information:

- Development Review Applications
- Six (6) copies of the Final Plat, and
- Zone Atlas Map showing the location of the property
- Design Elevations for walls (3) copies
- SIA Approval
- Letter justifying request

We are requesting final plat approval for this 111 lot residential subdivision located on 45.00 +/- acres at the southwest corner of Blake Road and 98th Street in southwest Albuquerque.

Please place this item on the DRB Agenda to be heard on June 22, 2005. If you have any questions or require additional information, please contact me.

Sincerely,



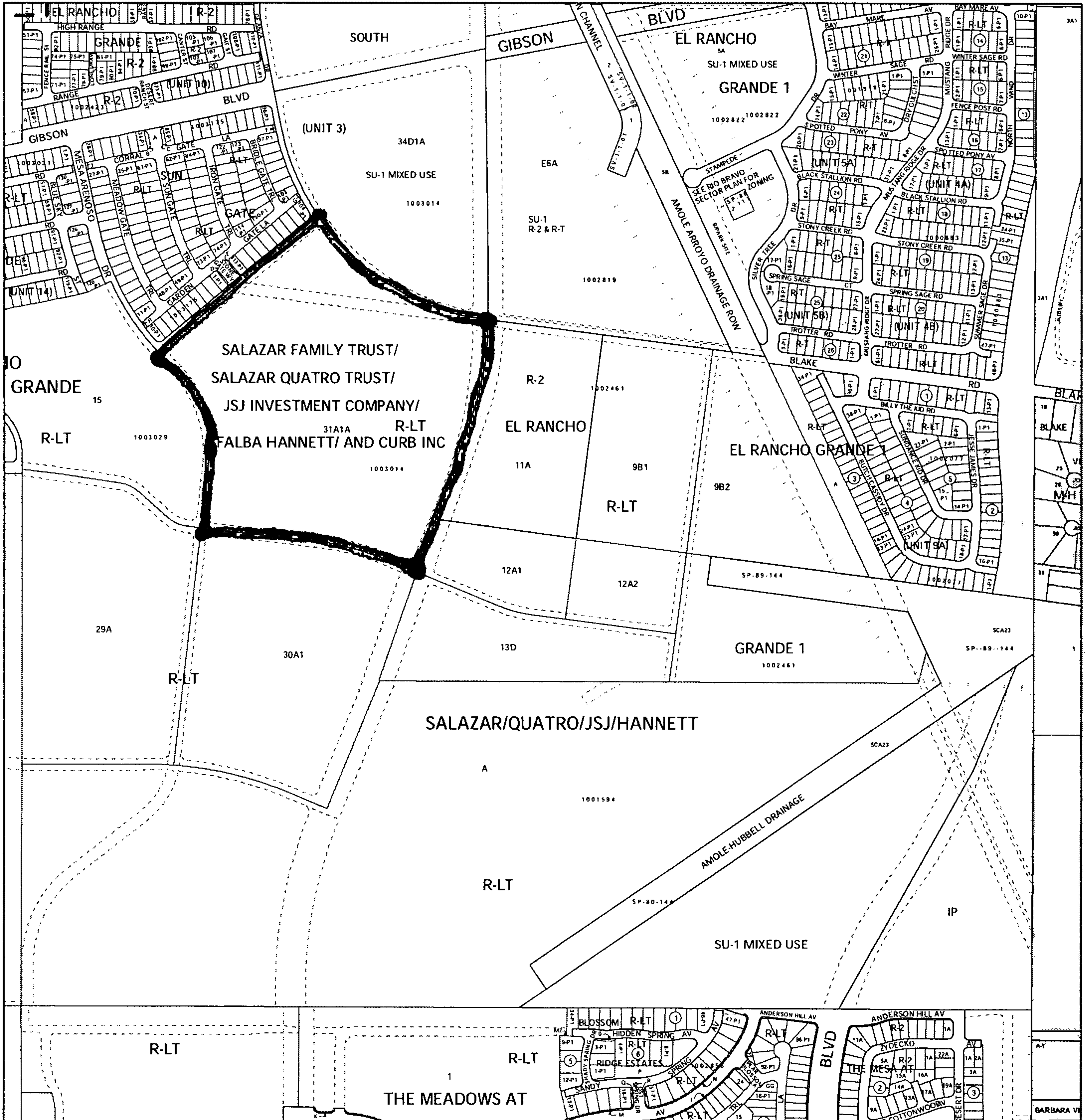
Chris Stoltis, P.E.
Project Engineer
Community Development and Planning Group

SS
Enclosure

ENGINEERING ▲

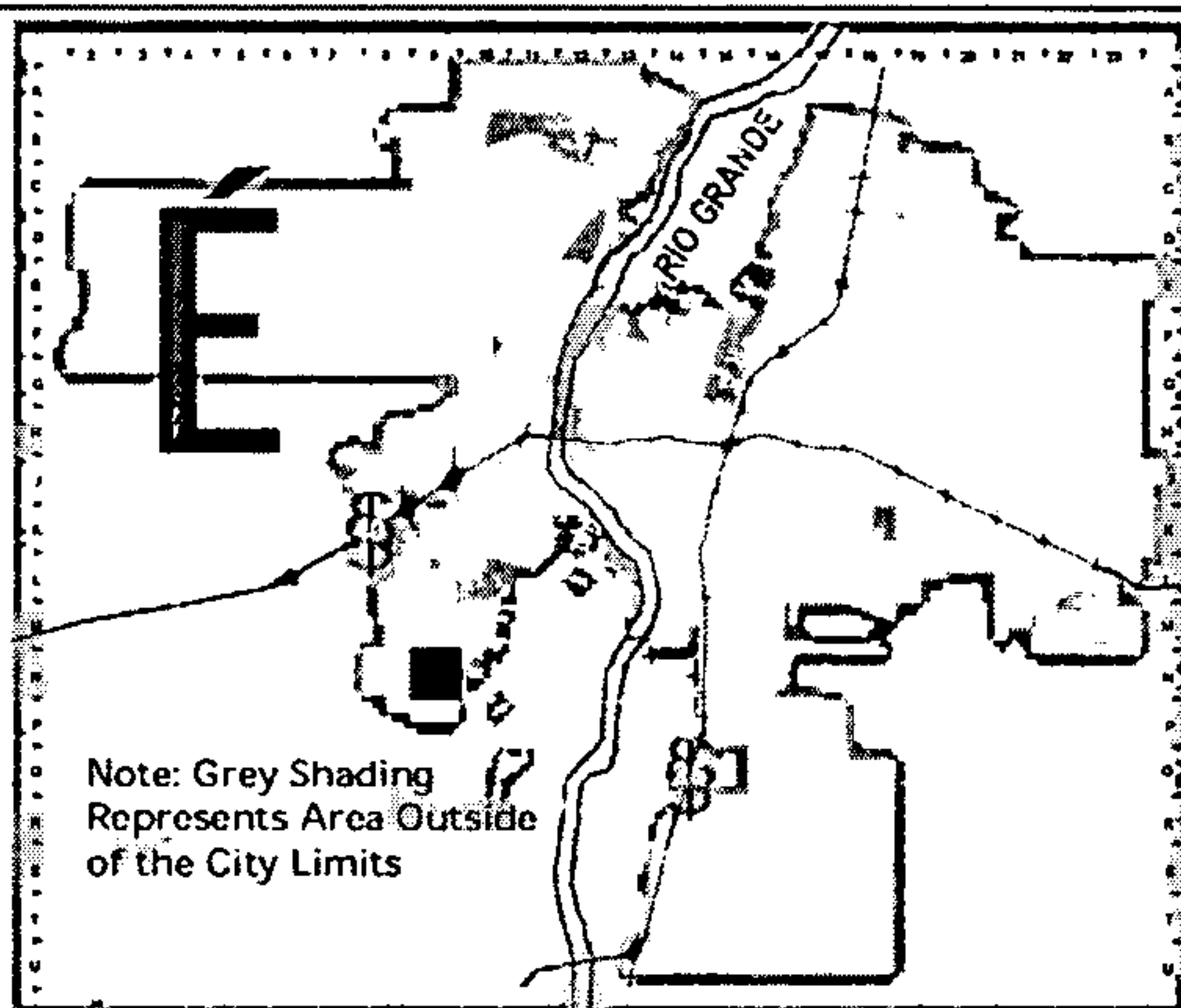
SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: Apr 22, 2005



Zone Atlas Page:
N-9-Z

Selected Symbols

Outside City Limits	Petroglyph Mon.
Sector Plans	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zone	Airport Noise Contours
KKKH-1 Buffer Zone	Wall Overlay Zone

0 750 1,500 Feet

AMENDMENT TO AGREEMENT TO
CONSTRUCT SUBDIVISION IMPROVEMENTS
Procedure B
Sun Gate Estates Phase I
City Project # 7367.82

WHEREAS, the City and the Subdivider entered into an Agreement to Construct Public and/or Private Subdivision Improvements ("Original Agreement") on March 14, 2005, which was recorded on March 15, 2005, in the records of the Bernalillo County Clerk at Book A 93, pages 5443 thru XX, wherein the Subdivider agreed to satisfactorily construct certain infrastructure improvements.

WHEREAS, the Subdivider has requested final plat approval of its plat identified as Sun Gate Estates Phase I; and

WHEREAS, the Subdivider is required to financially guarantee the construction of the public and/or private infrastructure; and

WHEREAS, the Subdivider is able to provide the required financial guaranty.

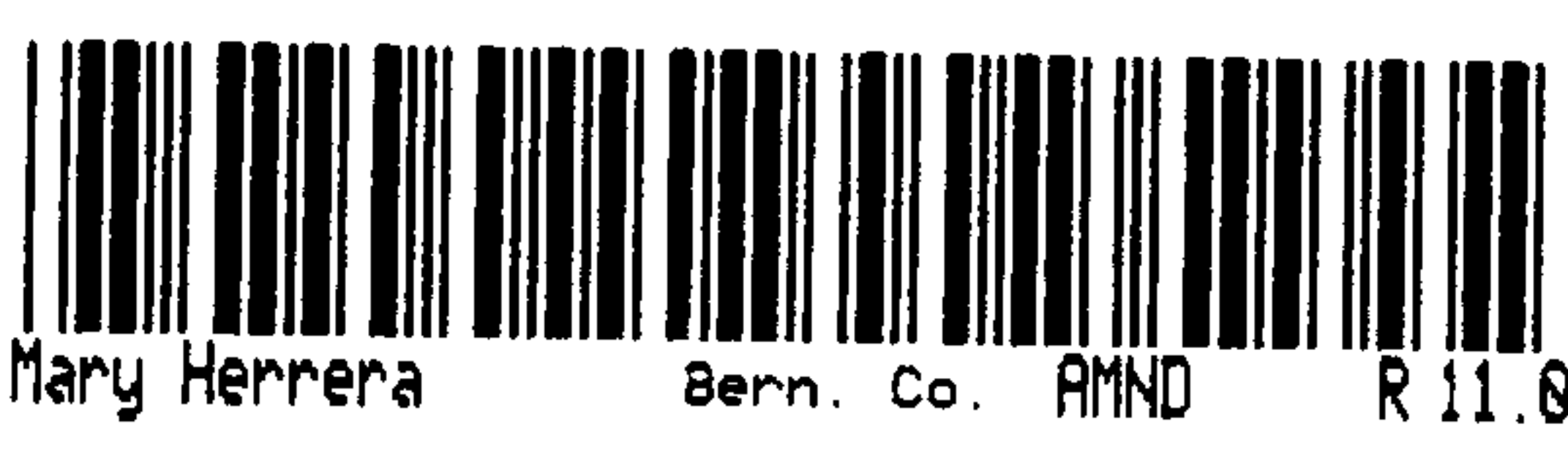
THEREFORE, the Subdivider and the City agree to amend the Original Agreement as follows:

- 1. Amending Section 5, FINANCIAL GUARANTY, second paragraph, to read as follows:

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Surety Bond # 6323253
Amount: \$ 2,872,720.50
Name of Financial Institution or Surety providing Guaranty: Safeco Insurance Company of America
Date City first able to call guaranty: March 31, 2006
Construction Completion Deadline: March 31, 2006
If guaranty other than a Bond, last day City is able to call on Guaranty is: _____, 20__.
Additional information: _____

- 2. Other Terms Unchanged: Except as amended herein, the terms and conditions of the Original Agreement will remain unchanged and will continue in full force and effect unless there is a conflict between the terms and conditions of this Amendment, and the terms and conditions of the Original Agreement, in which case the terms and conditions of the Amendment to the Original Agreement will control.



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6277841
Page: 1 of 2
06/08/2005 04:22P
Bk-A98 Pg-1550

SUBDIVIDER:

CITY OF ALBUQUERQUE:

By (Signature): J. Mark Ferguson
Name: J. Mark Ferguson
Title: Division President
Dated: 5/10/05

Paul Deuch
City Engineer
Dated: 6-07-05

6-10-05

6-2-05

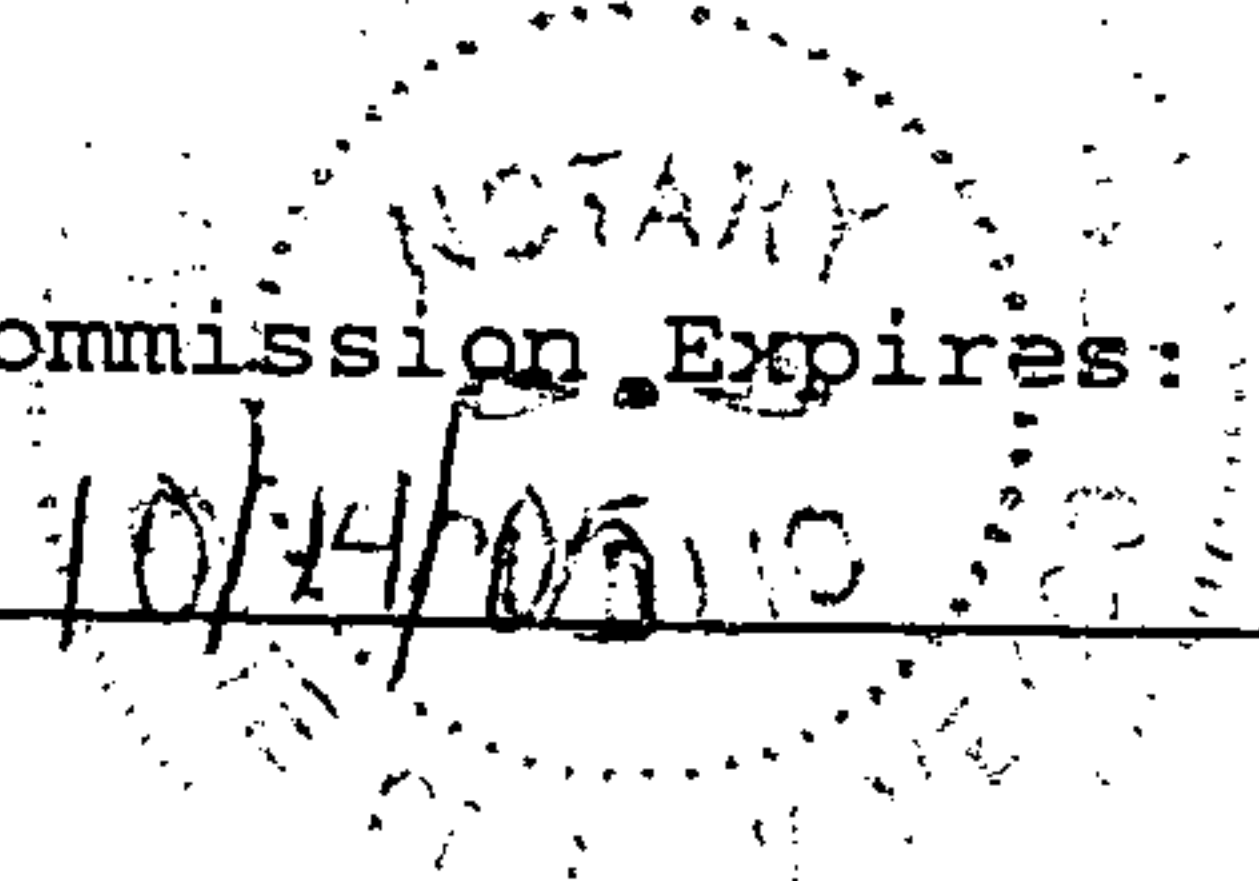
SUBDIVIDER'S NOTARY

STATE OF New Mexico)
COUNTY OF Bernalillo) ss.

This instrument was acknowledged before me on 10th day of May, 2005 by
(Name of person:) J. Mark Ferguson, (title or capacity, for instance,
"President" or "Owner":) Division President of (Subdivider")
D.R. Horton, Inc.

Kathryn Craig-Elliott
Notary Public

My Commission Expires:
10/14/2010



CITY'S NOTARY

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

This instrument was acknowledged before me on 7th day of
June, 2005, by Richard Bourte, City Engineer, of
the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Gloria D. Chavira
Notary Public

My Commission Expires:
11-25-2007



Current DRC Project No. _____

Onsite

Date Submitted: September 8, 2004
 Date Site Plan for Bldg Permit Approv: _____
 Date Site Plan for Sub. Approved: _____

Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____

DRB Project No. 1003591

Figure 12

INFRASTRUCTURE LIST

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

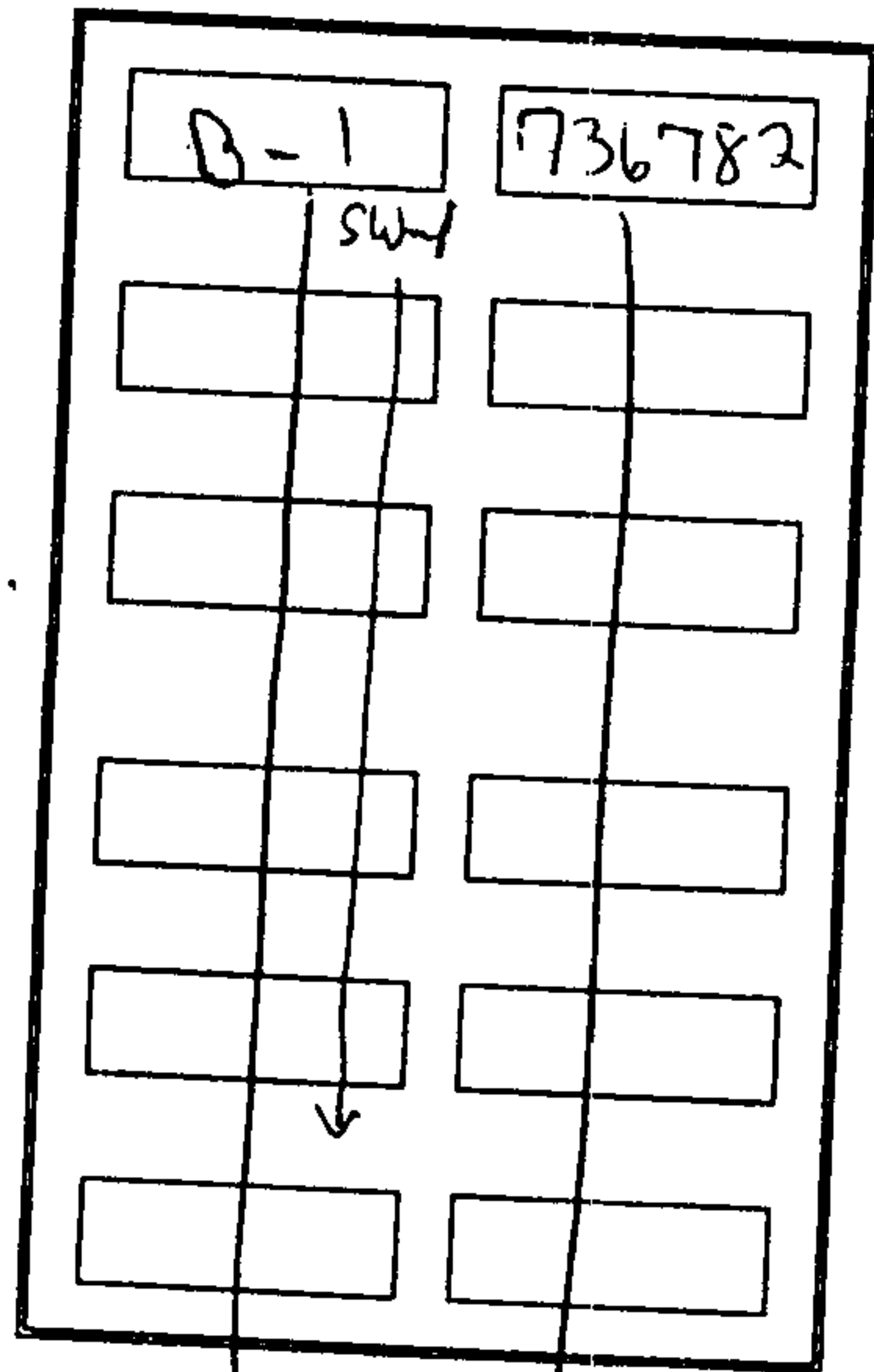
SUN GATE ESTATES SUBDIVISION
 (TRACT 31A-1-A, LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT CO. AND FALBA HANNETT)

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
OFFSITE PUBLIC ROADWAY IMPROVEMENTS - PHASE 1									
B-1	736782	30' F - F (WEST HALF)	ARTERIAL PAVING W/ PCC STD & MED CURB & GUTTER & 6' WIDE PCC SIDEWALK ON WEST SIDE ONLY	1370 127 98TH STREET 1270	BLAKE ROAD	AMOLE MESA AVENUE	/	/	/
		24' F-EOA (SOUTH HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY	958 800 800	BLAKE ROAD	OPEN RANGE AVENUE 98TH STREET	/	/	/
		24' F-EOA (SOUTH HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY	1050 890 890	BLAKE ROAD	OPEN RANGE AVENUE MESA ARENOSO DRIVE	/	/	/
ONSITE PRIVATE ROADWAY IMPROVEMENTS - PHASE 1									
		40' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, 6' MEDIAN & 6' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY	120 205 70	OPEN RANGE AVENUE	STONE GATE WAY SUN CANYON LANE	/	/	/
		40' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, 6' MEDIAN & 6' WIDE PCC SIDEWALK ON WEST SIDE ONLY	200 200 70	BLAKE ROAD	VALLEY GATE WAY MORNING SUN TRAIL	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES	440 1190 1120	LOT 1/ LOT 115	SUN CANYON LANE MORNING SUN TRAIL	/	/	/
		24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON WEST SIDE ONLY	110	MORNING SUN TRAIL	SUN CANYON LANE NORTH STUB STREET TERMINUS	/	/	/

SIA
Sequence #

COA DRC
Project #

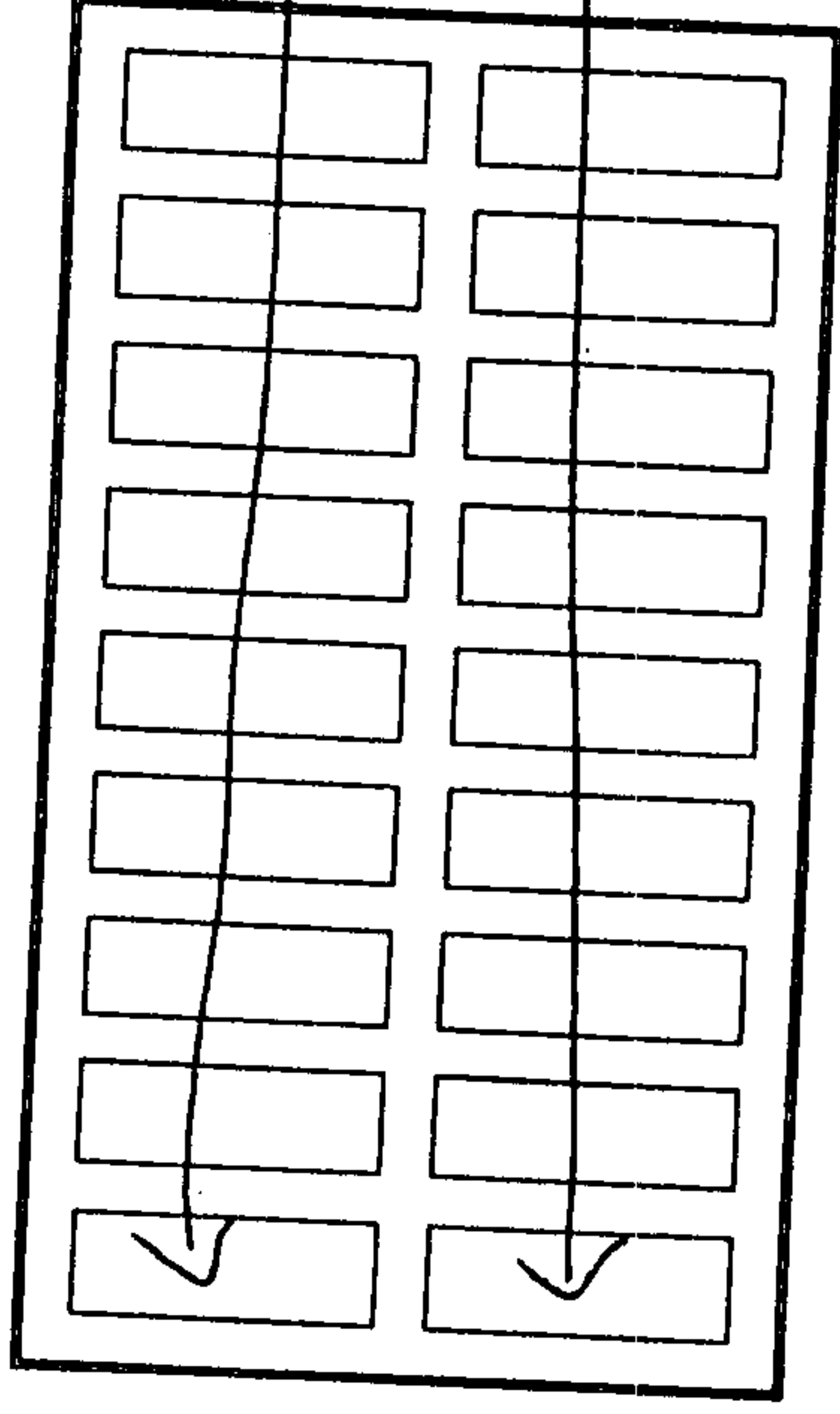


Size	Type of Improvement	Location	From	To
28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	MORNING SUN TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE
28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	SUN MOUNTAIN TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE
28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES * INCL. TRAFFIC CIRCLE	SUN CHASER TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE
28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	MOUNTAIN GATE LANE	LOT 34/ LOT 137	MORNING SUN TRAIL
24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON EAST SIDE ONLY * STREET LIGHTS PER DPM	MOUNTAIN GATE LANE	MORNING SUN TRAIL	NORTH STUB STREET TERMINUS

Private Inspector	City Inspector	City Cnst Engineer
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* SIDEWALKS DEFERRED PER EXHIBIT. SIDEWALKS WAIVED ON EAST AND NORTH SIDE OF SUN CANYON LANE STUB STREET AND ON WEST AND NORTH SIDE OF MOUNTAIN GATE LANE STUB STREET.

PUBLIC WATERLINE IMPROVEMENTS - PHASE 1



	PRESSURE REDUCING VALVE W/ VAULT	SE CORNER OF BLAKE ROAD AND OPEN RANGE AVENUE		
12" DIA 100	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	BLAKE ROAD	EXIST. 12" WATERLINE IN OPEN RANGE AVENUE	SUN CANYON LANE
12" DIA 810	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUN CANYON LANE	BLAKE ROAD	LOT 1/ LOT 115
12" DIA 800	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	MORNING SUN TRAIL	SUN CANYON LANE	MOUNTAIN GATE TRAIL
8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S, RJ'S	MOUNTAIN GATE LANE	AMOLE MESA AVENUE	MORNING SUN TRAIL
12" DIA 130	WATERLINE W/ NEC. VALVES FH'S, MJ'S, RJ'S & REQ'D PRV	MOUNTAIN GATE LANE	MORNING SUN TRAIL	BLAKE ROAD
6" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUN MOUNTAIN TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE
6" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUN CHASER TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE
12" DIA 210	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	BLAKE ROAD	MOUNTAIN GATE LANE	98TH STREET

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SIA Sequence # COA DRC Project #

PUBLIC SANITARY SEWER IMPROVEMENTS - PHASE 1

Size	Type of Improvement	Location	From	To
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	740 SUN CANYON LANE	LOT 1/ LOT 115	LOT 12
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	780 MORNING SUN TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	880 SUN MOUNTAIN TRAIL	SUN CANYON LANE	MOUNTAIN GATE TRAIL
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	1090 SUN CHASER TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	1200 MOUNTAIN GATE LANE	LOT 22	AMOLE MESA AVENUE
8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	AMOLE MESA AVENUE/ SANITARY SEWER EASEMENT	MOUNTAIN GATE LANE	SOUTHWEST MESA INTERCEPTOR

Private Inspector City Inspector City Crst Engineer

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PUBLIC STORM DRAIN IMPROVEMENTS - PHASE 1

24"-48" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	48" 170 MOUNTAIN GATE LANE	SUN MOUNTAIN TRAIL	AMOLE MESA AVENUE
48"-90" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	36" 510 AMOLE MESA AVE/ STORM DRAIN EASEMENT	MOUNTAIN GATE LANE	AMOLE CHANNEL
72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS (FG'D UNDER SUN GATE SUBD'N PRJ. NO. 736781)	OPEN RANGE AVENUE	MESA ARENOSO DRIVE	BLAKE ROAD
72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	BLAKE ROAD	OPEN RANGE AVENUE	98TH STREET
2 AC-FT	TEMPORARY RETENTION POND W/ AGREEMENT & COVENANT	TRACT 11-A		

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A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.

OFFSITE PUBLIC ROADWAY IMPROVEMENTS - PHASE 2

24' F-EOA (EAST HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON EAST SIDE ONLY	1070 900 MESA ARENOSO DRIVE	OPEN RANGE AVENUE	AMOLE MESA AVENUE
24' F-EOA (NORTH HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON NORTH SIDE ONLY	1020 990 AMOLE MESA AVENUE	MESA ARENOSO DRIVE	98TH STREET

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B-1	736782
B-2	

B-1	
B-2	

	736783

SIA
Sequence #

COA DRC
Project #

Size

Type of Improvement

Location

From

To

Private
Inspector

City
Inspector

City Cnst
Engineer

PUBLIC WATERLINE IMPROVEMENTS - PHASE 2

	736783								
12" DIA		PRESSURE REDUCING VALVE W/ VAULT		SE CORNER OF BLAKE ROAD AND OPEN RANGE AVENUE					
12" DIA		WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S		BLAKE ROAD	EXIST. 12" WATERLINE IN OPEN RANGE AVENUE	SUN CANYON LANE			
12" DIA		WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	see phase 1	SUN CANYON LANE	BLAKE ROAD	SUNNY SKY LANE			
4" DIA	65	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S		SUN CANYON LANE	SUNNY SKY LANE	SUNNY SKY LANE			
12" DIA	810	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S		SUNNY SKY LANE	SUN CANYON LANE	SOUTH STUB STREET TERMINUS			
6" DIA		WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	900	WAGON GATE TRAIL	SUNNY SKY LANE	CANYON GATE TRAIL			
8" DIA		WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	845	CANYON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE TRAIL			
12" DIA	140	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S		CANYON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE TRAIL			
8" DIA		WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	see phase 1	MOUNTAIN GATE LANE	LOT 34/ LOT 137	MESA ARENOSO DRIVE			
8" DIA		WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S		AMOLE MESA AVENUE	MOUNTAIN GATE LANE	AMOLE MESA AVENUE			
12" DIA	150	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S		MESA ARENOSO DRIVE	CANYON GATE TRAIL	98TH STREET			

PUBLIC SANITARY SEWER IMPROVEMENTS - PHASE 2

8" DIA		SANITARY SEWER W/ NEC. MH'S & SERVICES	190	SUN CANYON LANE	LOT 112	LOT 1/ LOT 115			
8" DIA		SANITARY SEWER W/ NEC. MH'S & SERVICES	740	SUNNY SKY LANE	SUN CANYON LANE	CANYON GATE TRAIL			
8" DIA		SANITARY SEWER W/ NEC. MH'S & SERVICES	800	WAGON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE LANE			
8" DIA		SANITARY SEWER W/ NEC. MH'S & SERVICES	890	CANYON GATE TRAIL	LOT 186	MOUNTAIN GATE LANE			
8" DIA		SANITARY SEWER W/ NEC. MH'S & SERVICES	see phase 2	MOUNTAIN GATE TRAIL	LOT 34/ LOT 137	AMOLE MESA AVENUE			
8" DIA		SANITARY SEWER W/ NEC. MH'S & SERVICES	see phase 2	AMOLE MESA AVENUE/ SANITARY SEWER EASEMENT	MOUNTAIN GATE LANE	SOUTHWEST MESA INTERCEPTOR			

Original

SIA Sequence #

COA DRC Project #

Size

Type of Improvement

Location

From

To

Private Inspector

City Inspector

City Cnst Engineer

	736783
	✓

PUBLIC STORM DRAIN IMPROVEMENTS - PHASE 2

24"-48" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	MOUNTAIN GATE LANE	LOT 34/ LOT 137	AMOLE MESA AVENUE
48"-90" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	AMOLE MESA AVE/ STORM DRAIN EASEMENT	MOUNTAIN GATE LANE	AMOLE CHANNEL
72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS (FG'D UNDER SUN GATE SUBD'N PRJ. NO. 736781)	OPEN RANGE AVENUE	MESA ARENOSO DRIVE	BLAKE ROAD
72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	BLAKE ROAD	OPEN RANGE AVENUE	98TH STREET
2 AC-FT	TEMPORARY RETENTION POND W/ AGREEMENT & COVENANT	TRACT 11-A		

see phase 1 except for catch basins

A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.

- NOTES:
1. PERIMETER WALLS PER THE DRB APPROVED PERIMETER WALL DESIGN.

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AGENT/OWNER

CHRISTIAN J. SHOLTIS, PE
PREPARED BY: PRINT NAME

10/5/2004
DATE

BOHANNAN HUSTON, INC.
FIRM:

Signature: *Christian J. Sholtis*
SIGNATURE

10-12-04
DATE

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Christina Sandoval
DRB CHAIR
DATE: 10/13/04

Christina Sandoval
PARKS & GENERAL SERVICES
DATE: 10/13/04

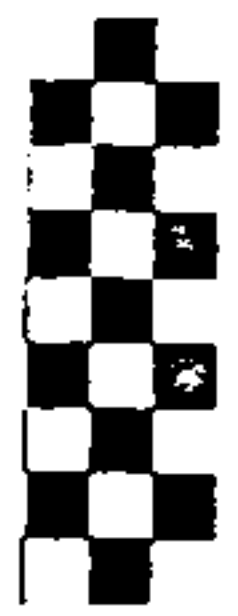
N/A
MAFCA
DATE: N/A

Bradley L. Bihl
CITY ENGINEER
DATE: 10/13/04

DATE

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



FINANCIAL GUARANTY AMOUNT

03/11/2004

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

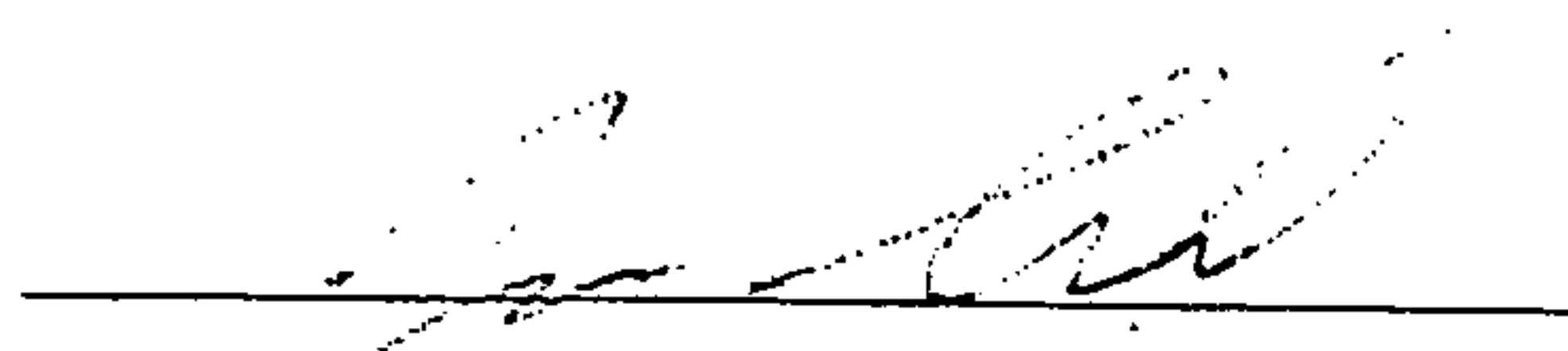
Project ID #: 736782, Sun Gate Estates Sub'd, Phase 1, Phase/Unit #: 1

Requested By: **Chris Sholtis, PE w/ Bohannon Huston**

Approved estimate amount:		\$1,982,380.00
Contingency Amount:	0.00%	\$.00
Subtotal:		\$1,982,380.00
NMGRT	6.75%	\$133,810.65
Subtotal:		\$2,116,190.65
Engineering Fee	6.60%	\$139,668.58
Testing Fee	2.00%	\$42,323.81
Subtotal:		\$2,298,183.04
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$2,872,728.80</u>

APPROVAL:

DATE:



3-11-2004

Notes: B-1 of 2. This FG does not include off-site SAS & SD, see FG B-2. Certification for grading & drainage prior to release of FG.

CIRCLE ONE:

SUBDIVISION BOND FOR:
SIA, SW'S, SPCL.AGRMT.

BOND NO. (SURETYS NO. :) 6323253
CONTACT PERSON'S NAME: Cord Hicklin

SUBDIVISION IMPROVEMENTS BOND

KNOW ALL MEN BY THESE PRESENTS: That we D.R. Horton, Inc.
("SUBDIVIDER") a [state type of business entity, for instance, "New Mexico corporation," "general partnership", "joint venture", "individual", etc.:] a Delaware Corp. as "Principal", and Safeco Insurance Company of America ("NAME OF SURETY"), a corporation organized and existing under and by virtue of the laws of the State of Washington and authorized to do business in the State of New Mexico, as "Surety," whose address is 2055 Sugarloaf Circle, Duluth, GA 30097 and whose telephone number is (888) 557-0524, are held and firmly bound unto the CITY OF ALBUQUERQUE in the penal sum of (WRITTEN AMOUNT) Two Million, Eight Hundred Seventy Two Thousand, Seven Hundred Twenty Eight and 80/100 Dollars, (AMOUNT OF FIGURES) \$2,872,728.80), as amended by change orders Dollars approved by the Surety or changes to the infrastructure list approved by the City Development Review Board, the payment of which is well and truly to be made, and each of us bind ourselves, our and each of our heirs, executors, administrators, successors and assigns, jointly and severally, and firmly by these presents.

NOW, THEREFORE, the condition of the above obligation is such that:

WHEREAS, the Principal is the owner of and/or is interested in or is developing land and premises known as Sun Gate Estates Phase 1 City Project # 7367.82 ("NAME OF SUBDIVISION", CITY PROJECT NO.); and

WHEREAS, said Subdivision is subject to the provisions and conditions of the ordinance of the CITY OF ALBUQUERQUE known as the Subdivision Ordinance, the requirements of which include the installation of various other improvements by the Principal; and

WHEREAS, the Subdivision Ordinance also requires the Principal to install and construct the following improvements at the Subdivision: (list the improvements, e.g., water, sewer, pavement, sidewalks:)] Sewer, Water, Storm Drain & Paving (IMPROVEMENTS")

All construction shall be performed in accordance with the Agreement to Construct Public and/or Private Subdivision Improvements Agreement entered into between ("NAME OF SUBDIVIDER") D.R. HORTON, INC. and the CITY OF ALBUQUERQUE, as recorded in the office of the Clerk of Bernalillo County, New Mexico, in Book Misc. (leave blank) _____, pages _____ through _____, as amended by change orders or amendments to the Agreement.

NOW THEREFORE, if the Principal completes construction of the Improvements and facilitates and performs the work herein above specified to be performed, all on or before [Construction Completion Deadline established in Agreement or as amended;.] March 31, 2006 ("the Construction Completion Deadline"), then this obligation shall be null and void; if the Principal does not complete construction by or before the Construction Completion Deadline, the City may call on this obligation until released by the City.

IN WITNESS WHEREOF, this bond has been executed this 8th day of April, 2005.

SUBDIVIDER: D.R. Horton, Inc.

By [signature: J. Mark Ferguson]
Name: J. Mark Ferguson
Title: Division President
Dated: 4-6-05

SURETY: Safeco Insurance Company of America

By [signature: Kimberly A. Tavernier]
Name: Kimberly A. Tavernier
Title: Attorney-In-Fact
Dated: April 8, 2005

STATE OF Florida)
) ss.
COUNTY OF Hillsborough)

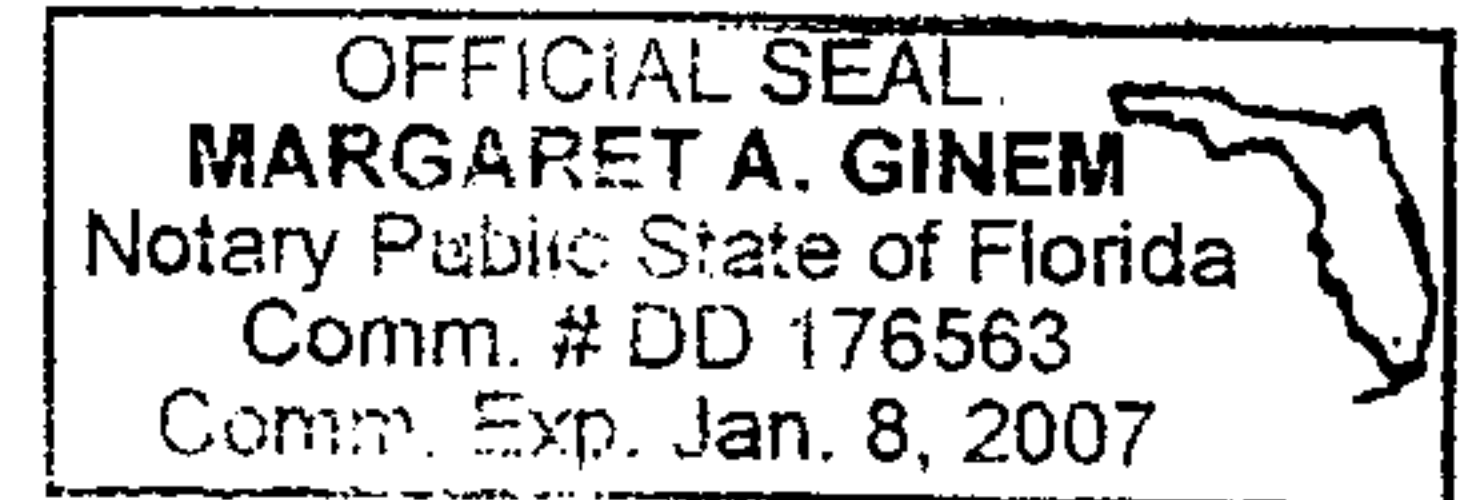
C/O WILLIS OF FLORIDA
3000 BAYPORT DRIVE, #300
TAMPA, FL 33607
INQUIRIES: (813) 281-2095

Subscribed and sworn to before me this 8th day of April, 2005.

Margaret A. Ginem
Notary Public
Margaret A. Ginem

My Commission Expires:

January 8, 2007



*NOTE: Power of Attorney for Surety must be attached.



POWER OF ATTORNEY

SAFECO INSURANCE COMPANY OF AMERICA
GENERAL INSURANCE COMPANY OF AMERICA
HOME OFFICE: SAFECO PLAZA
SEATTLE, WASHINGTON 98185

No. 10171

KNOW ALL BY THESE PRESENTS:

That SAFECO INSURANCE COMPANY OF AMERICA and GENERAL INSURANCE COMPANY OF AMERICA, each a Washington corporation, does each hereby appoint

JAMES W. DUNN; DAVID H. CARR; KIMBERLY A. TAVERNIER; ANETT CARDINALE; MARGARET A. GINEM; PAMELA L. MORGAN; DENISE TAYLOR; Tampa, Florida

its true and lawful attorney(s)-in-fact, with full authority to execute on its behalf fidelity and surety bonds or undertakings and other documents of a similar character issued in the course of its business, and to bind the respective company thereby.

IN WITNESS WHEREOF, SAFECO INSURANCE COMPANY OF AMERICA and GENERAL INSURANCE COMPANY OF AMERICA have each executed and attested these presents

this 3rd day of November, 2004

Handwritten signature of Christine Mead

CHRISTINE MEAD, SECRETARY

Handwritten signature of Mike McGavick

MIKE MCGAVICK, PRESIDENT

CERTIFICATE

Extract from the By-Laws of SAFECO INSURANCE COMPANY OF AMERICA and of GENERAL INSURANCE COMPANY OF AMERICA:

"Article V, Section 13. - FIDELITY AND SURETY BONDS ... the President, any Vice President, the Secretary, and any Assistant Vice President appointed for that purpose by the officer in charge of surety operations, shall each have authority to appoint individuals as attorneys-in-fact or under other appropriate titles with authority to execute on behalf of the company fidelity and surety bonds and other documents of similar character issued by the company in the course of its business...

Extract from a Resolution of the Board of Directors of SAFECO INSURANCE COMPANY OF AMERICA and of GENERAL INSURANCE COMPANY OF AMERICA adopted July 28, 1970.

"On any certificate executed by the Secretary or an assistant secretary of the Company setting out, (i) The provisions of Article V, Section 13 of the By-Laws, and (ii) A copy of the power-of-attorney appointment, executed pursuant thereto, and (iii) Certifying that said power-of-attorney appointment is in full force and effect, the signature of the certifying officer may be by facsimile, and the seal of the Company may be a facsimile thereof."

I, Christine Mead, Secretary of SAFECO INSURANCE COMPANY OF AMERICA and of GENERAL INSURANCE COMPANY OF AMERICA, do hereby certify that the foregoing extracts of the By-Laws and of a Resolution of the Board of Directors of these corporations, and of a Power of Attorney issued pursuant thereto, are true and correct, and that both the By-Laws, the Resolution and the Power of Attorney are still in full force and effect.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the facsimile seal of said corporation

this 8th day of April, 2005



Handwritten signature of Christine Mead

CHRISTINE MEAD, SECRETARY

**IMPORTANT NOTICE TO SURETY BOND CUSTOMERS REGARDING
THE TERRORISM RISK INSURANCE ACT OF 2002**

As a surety bond customer of one of the SAFECO insurance companies (SAFECO Insurance Company of America, General Insurance Company of America, First National Insurance Company, American States Insurance Company or American Economy Insurance Company), it is our duty to notify you that the Terrorism Risk Insurance Act of 2002 extends to "surety insurance". This means that under certain circumstances we may be eligible for reimbursement of certain surety bond losses by the United States government under a formula established by this Act.

Under this formula, the United States government pays 90% of losses caused by certified acts of terrorism that exceed a statutorily established deductible to be paid by the insurance company providing the bond. The Act also establishes a \$100 billion cap for the total of all losses to be paid by all insurers for certified acts of terrorism. Losses on some or all of your bonds may be subject to this cap.

This notice does not modify any of the existing terms and conditions of this bond, the underlying agreement guaranteed by this bond, any statutes governing the terms of this bond or any generally applicable rules of law.

At this time there is no premium charge resulting from this Act.

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME D R. Horton Inc.
AGENT Bohannon Huston Inc.
ADDRESS 7500 Jefferson NE.
PROJECT & APP # 1063591 / 05 DRB 00996
PROJECT NAME Sungate Estates.

\$ 20.00 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

6/14/2005 9:45AM LOC: ANNX
RECEIPT# 00044338 WSH 007 TRANS# 0018
Account 441032 Fund 0110
Activity 3424000 TRSLJS
Trans Amt \$20.00
J24 Misc \$20.00
CA \$20.00
CHANGE \$0.00

Thank You

Current DRC
Project No.

ORIGINAL

Date Submitted: September 8, 2004
 Date Site Plan for Bldg Permit Approved: X
 Date Site Plan for Sub. Approved: X

Date Preliminary Plat Approved: 10/13/04
 Date Preliminary Plat Expires: 10/13/05

DRB Project No. 1003591
04-01384

Figure 12
INFRASTRUCTURE LIST

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

SUN GATE ESTATES SUBDIVISION
 (TRACT 31A-1-A, LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT CO. AND FALBA HANNETT)

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
OFFSITE PUBLIC ROADWAY IMPROVEMENTS - PHASE 1									
		30' F - F (WEST HALF)	ARTERIAL PAVING W/ PCC STD & MED CURB & GUTTER & 6' WIDE PCC SIDEWALK ON WEST SIDE ONLY	98TH STREET	BLAKE ROAD	AMOLE MESA AVENUE	/	/	/
		24' F-EOA (SOUTH HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY	BLAKE ROAD	OPEN RANGE AVENUE	98TH STREET	/	/	/
		24' F-EOA (SOUTH HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY	OPEN RANGE AVENUE	BLAKE ROAD	MESA ARENOSO DRIVE	/	/	/
							/	/	/
ONSITE PRIVATE ROADWAY IMPROVEMENTS - PHASE 1									
		40' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, 6' MEDIAN & 6' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY	STONE GATE WAY	OPEN RANGE AVENUE	SUN CANYON LANE	/	/	/
		40' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, 6' MEDIAN & 6' WIDE PCC SIDEWALK ON WEST SIDE ONLY	VALLEY GATE WAY	BLAKE ROAD	MORNING SUN TRAIL	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	SUN CANYON LANE	LOT 1/ LOT 115	MORNING SUN TRAIL	/	/	/
		24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON WEST SIDE ONLY *	SUN CANYON LANE	MORNING SUN TRAIL	NORTH STUB STREET TERMINUS	/	/	/
							/	/	/

Original

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	MORNING SUN TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	SUN MOUNTAIN TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES * INCL. TRAFFIC CIRCLE	SUN CHASER TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	MOUNTAIN GATE LANE	LOT 34/ LOT 137	MORNING SUN TRAIL	/	/	/
		24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON EAST SIDE ONLY *	MOUNTAIN GATE LANE	MORNING SUN TRAIL	NORTH STUB STREET TERMINUS	/	/	/
			STREET LIGHTS PER DPM				/	/	/

* SIDEWALKS DEFERRED PER EXHIBIT. SIDEWALKS WAIVED ON EAST AND NORTH SIDE OF SUN CANYON LANE STUB STREET AND ON WEST AND NORTH SIDE OF MOUNTAIN GATE LANE STUB STREET.

PUBLIC WATERLINE IMPROVEMENTS - PHASE 1

			PRESSURE REDUCING VALVE W/ VAULT	SE CORNER OF BLAKE ROAD AND OPEN RANGE AVENUE			/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	BLAKE ROAD	EXIST. 12" WATERLINE IN OPEN RANGE AVENUE	SUN CANYON LANE	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUN CANYON LANE	BLAKE ROAD	LOT 1/ LOT 115	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	MORNING SUN TRAIL	SUN CANYON LANE	MOUNTAIN GATE TRAIL	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S, RJ'S	MOUNTAIN GATE LANE	AMOLE MESA AVENUE	MORNING SUN TRAIL	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S, RJ'S & REQ'D PRV	MOUNTAIN GATE LANE	MORNING SUN TRAIL	BLAKE ROAD	/	/	/
		6" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUN MOUNTAIN TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		6" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUN CHASER TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	BLAKE ROAD	MOUNTAIN GATE LANE	98TH STREET	/	/	/

Original

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC SANITARY SEWER IMPROVEMENTS - PHASE 1									
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SUN CANYON LANE	LOT 1/ LOT 115	LOT 12	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	MORNING SUN TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SUN MOUNTAIN TRAIL	SUN CANYON LANE	MOUNTAIN GATE TRAIL	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SUN CHASER TRAIL	SUN CANYON LANE	MOUNTAIN GATE LANE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	MOUNTAIN GATE LANE	LOT 22	AMOLE MESA AVENUE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	AMOLE MESA AVENUE/ SANITARY SEWER EASEMENT	MOUNTAIN GATE LANE	SOUTHWEST MESA INTERCEPTOR	/	/	/

PUBLIC STORM DRAIN IMPROVEMENTS - PHASE 1									
		24"-48" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	MOUNTAIN GATE LANE	SUN MOUNTAIN TRAIL	AMOLE MESA AVENUE	/	/	/
		48"-90" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	AMOLE MESA AVE/ STORM DRAIN EASEMENT	MOUNTAIN GATE LANE	AMOLE CHANNEL	/	/	/
		72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS (FG'D UNDER SUN GATE SUBD'N PRJ. NO. 736781)	OPEN RANGE AVENUE	MESA ARENOSO DRIVE	BLAKE ROAD	/	/	/
		72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	BLAKE ROAD	OPEN RANGE AVENUE	98TH STREET	/	/	/
		2 AC-FT	TEMPORARY RETENTION POND W/ AGREEMENT & COVENANT	TRACT 11-A			/	/	/
A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.									

OFFSITE PUBLIC ROADWAY IMPROVEMENTS - PHASE 2									
		24' F-EOA (EAST HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON EAST SIDE ONLY	MESA ARENOSO DRIVE	OPEN RANGE AVENUE	AMOLE MESA AVENUE	/	/	/
		24' F-EOA (NORTH HALF)	MAJOR LOCAL PAVING W/ PCC STD CURB & GUTTER & 6' WIDE PCC SIDEWALK ON NORTH SIDE ONLY	AMOLE MESA AVENUE	MESA ARENOSO DRIVE	98TH STREET	/	/	/

Original

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
ONSITE PRIVATE ROADWAY IMPROVEMENTS - PHASE 2									
		40' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, 6' MEDIAN & 6' WIDE PCC SIDEWALK ON EAST SIDE ONLY	TRAIL GATE WAY	AMOLE MESA AVENUE	CANYON GATE TRAIL	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	SUNNY SKY LANE	SUN CANYON LANE	CANYON GATE TRAIL	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES *	SUN CANYON LANE	SUNNY SKY LANE	LOT 115/ LOT 1	/	/	/
		24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON WEST SIDE ONLY* W/ PEDESTRIAN CONNECTION TO MESA ARENOSO DRIVE	SUN CANYON LANE	SUNNY SKY LANE	SOUTH STUB STREET TERMINUS	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES*	WAGON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE LANE	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES*	CANYON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE LANE	/	/	/
		24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON SOUTH SIDE ONLY* W/ PEDESTRIAN CONNECTION TO MESA ARENOSO DRIVE	CANYON GATE TRAIL	SUNNY SKY LANE	SOUTH STUB STREET TERMINUS	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON BOTH SIDES*	MOUNTAIN GATE LANE	CANYON GATE TRAIL	LOT 34/ LOT 137	/	/	/
		24' F-F	RESIDENTIAL PAVING W/ PCC STD CURB & GUTTER, & 4' WIDE PCC SIDEWALK ON EAST SIDE ONLY*	MOUNTAIN GATE LANE	CANYON GATE TRAIL	STUB STREET TERMINUS	/	/	/
			STREET LIGHTS PER DPM				/	/	/
							/	/	/

* SIDEWALKS DEFERRED PER EXHIBIT. SIDEWALKS WAIVED ON EAST AND SOUTH SIDE OF SUN CANYON LANE STUB STREET; WEST AND SOUTH SIDE OF MOUNTAIN GATE LANE STUB STREET; NORTH AND WEST SIDE OF CANYON GATE TRAIL STUB STREET.

Original

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC WATERLINE IMPROVEMENTS - PHASE 2									
			PRESSURE REDUCING VALVE W/ VAULT	SE CORNER OF BLAKE ROAD AND OPEN RANGE AVENUE			/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	BLAKE ROAD	EXIST. 12" WATERLINE IN OPEN RANGE AVENUE	SUN CANYON LANE	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUN CANYON LANE	BLAKE ROAD	SUNNY SKY LANE	/	/	/
		4" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUN CANYON LANE	SUNNY SKY LANE	SOUTH STUB STREET TERMINUS	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUNNY SKY LANE	SUN CANYON LANE	CANYON GATE TRAIL	/	/	/
		6" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	WAGON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE TRAIL	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	CANYON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE TRAIL	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	CANYON GATE TRAIL	SUNNY SKY LANE	MESA ARENOSO DRIVE	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	MOUNTAIN GATE LANE	LOT 34/ LOT 137	AMOLE MESA AVENUE	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	AMOLE MESA AVENUE	MOUNTAIN GATE LANE	98TH STREET	/	/	/
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	MESA ARENOSO DRIVE	CANYON GATE TRAIL	AMOLE MESA AVENUE	/	/	/

PUBLIC SANITARY SEWER IMPROVEMENTS - PHASE 2									
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SUN CANYON LANE	LOT 112	LOT 1/ LOT 115	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	SUNNY SKY LANE	SUN CANYON LANE	CANYON GATE TRAIL	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	WAGON GATE TRAIL	SUNNY SKY LANE	MOUNTAIN GATE LANE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	CANYON GATE TRAIL	LOT 186	MOUNTAIN GATE LANE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	MOUNTAIN GATE TRAIL	LOT 34/ LOT 137	AMOLE MESA AVENUE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	AMOLE MESA AVENUE/ SANITARY SEWER EASEMENT	MOUNTAIN GATE LANE	SOUTHWEST MESA INTERCEPTOR	/	/	/

Original

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
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PUBLIC STORM DRAIN IMPROVEMENTS - PHASE 2

24"-48" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	MOUNTAIN GATE LANE	LOT 34/ LOT 137	AMOLE MESA AVENUE
48"-90" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	AMOLE MESA AVE/ STORM DRAIN EASEMENT	MOUNTAIN GATE LANE	AMOLE CHANNEL
72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS (FG'D UNDER SUN GATE SUBD'N PRJ. NO. 736781)	OPEN RANGE AVENUE	MESA ARENOSO DRIVE	BLAKE ROAD
72" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	BLAKE ROAD	OPEN RANGE AVENUE	98TH STREET
2 AC-FT	TEMPORARY RETENTION POND W/ AGREEMENT & COVENANT	TRACT 11-A		

A GRADING AND DRAINAGE CERTIFICATION OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES.

- NOTES:
1. PERIMETER WALLS PER THE DRB APPROVED PERIMETER WALL DESIGN.

AGENT/OWNER		DEVELOPMENT REVIEW BOARD MEMBER APPROVALS			
CHRISTIAN J. SHOLTIS, PE PREPARED BY: PRINT NAME	10/5/2004 DATE	<i>[Signature]</i> DRB CHAIR	10/13/04 DATE	Christina Sandoval PARKS & GENERAL SERVICES	10/13/04 DATE
BOHANNAN HUSTON, INC. FIRM:	10-12-04 DATE	<i>[Signature]</i> TRANSPORTATION DEVELOPMENT	10/13/04 DATE	N/A AMAFCA	
<i>[Signature]</i> SIGNATURE		<i>[Signature]</i> UTILITY DEVELOPMENT	10/13/04 DATE	Bradley L. Byle CITY ENGINEER	10/13/04 DATE
MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION					DATE

DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

September 29, 2004

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Preliminary Plat approval
Sun Gate Estates DRB# 1003591

Dear Sheran:

Enclosed for Development Review Board (DRB) review and approval are six (6) copies of the revised Preliminary Plat. This revision corrects the minimum lot size under item no. 3 of the General Notes and also designates all of the lots as "P-1."

If you have any questions or require further information, please call me at 823-1000.

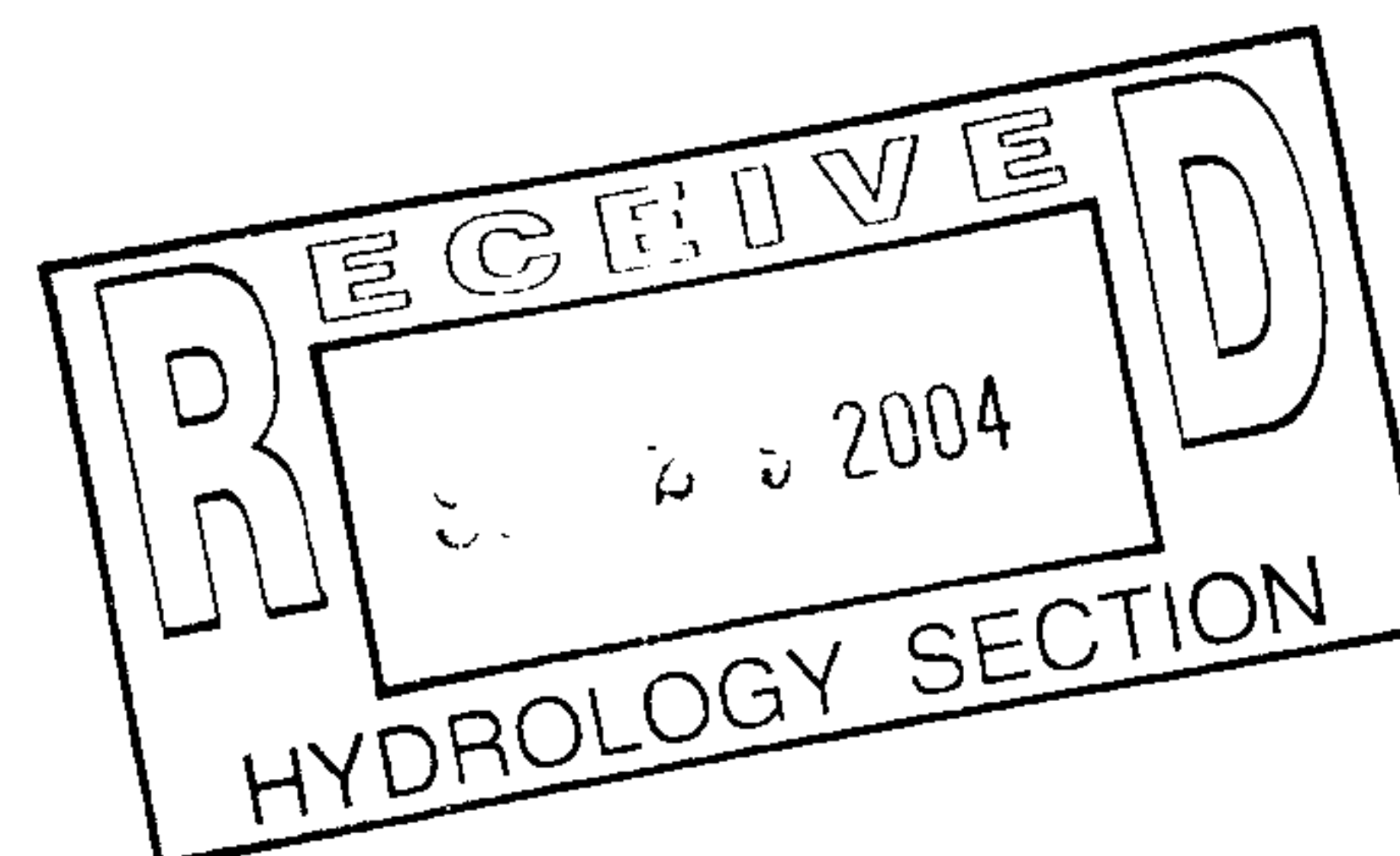
Sincerely,



Christian J. Sholtis, P.E.
Project Engineer
Community Development and Planning Group

SS
Enclosure

Cc: DRB Members:
Christina Sandoval (w/ encl.)
Brad Binham (w/ encl.)
Roger Green (w/ encl.)
Wilfred Gallegos (w/ encl.)





SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Supplemental form

S

V

P

L

Supplemental form

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

Z

A

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: D.R. HORTON HOMES
 ADDRESS: 4400 ALAMEDA SUITE B
 CITY: ALBUQUERQUE
 Proprietary interest in site: OWNER
 AGENT (if any): BOHANNAN HUSTON INC.
 ADDRESS: 7500 JEFFERSON NE
 CITY: ALBUQUERQUE

STATE NM ZIP 87111

STATE NM ZIP 87109

PHONE: 797-4245
 FAX: 797-9881
 E-MAIL: _____

PHONE: 823-1000
 FAX: 798-7988
 E-MAIL: _____

DESCRIPTION OF REQUEST: PRELIMINARY PLAT APPROVAL, SIDEWALK WAIVER AND DEFERRAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 31A-1-A Block: _____ Unit: _____

Subdiv. / Addn. SUN GATE ESTATES

Current Zoning: R-LT Proposed zoning: _____

Zone Atlas page(s): N9 No. of existing lots: 1 No. of proposed lots: 198

Total area of site (acres): 45.00 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 100905413232720103 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: 98TH STREET
 Between: BLAKE ROAD SW and OPEN RANGE AVENUE SW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB#1003591/04-01185

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 8/11/2004

SIGNATURE Christian J. Sholtis DATE 9/10/2004

(Print) CHRISTIAN J. SHOLTIS Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 10/03

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>04DRB - 01384</u>	<u>PP</u>	<u>502</u>	<u>\$3500.00</u>
<u>04DRB - 01386</u>	<u>SW</u>	<u>V</u>	<u>\$0</u>
<u>04DRB - 01387</u>	<u>TDS</u>	<u>V</u>	<u>\$0</u>
_____	<u>CMF</u>	_____	<u>\$20.00</u>
_____	<u>Ad Fee</u>	_____	<u>\$75.00</u>
Total			<u>\$3595.00</u>

Hearing date Oct. 6, 2004

Project # 1003591

Barbara 9-9-04
 Planner signature / date

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
 - Proposed Infrastructure List
 - Design elevations & cross sections of perimeter walls
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed plat
 - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
 - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Christian J. Sholtis

 Applicant name (print)
 9-8-04

 Applicant signature / date



Form revised 9/01, 8/03 and 9/03

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 04DRB-01384
 04DRB-01386
 04DRB-01387

Bobbie Lovelace 9-8-04

 Planner signature / date
Project # 1003591

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- ___ Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
- ___ Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- ___ Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
- ___ Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **24 copies**
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- ___ Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- ___ Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

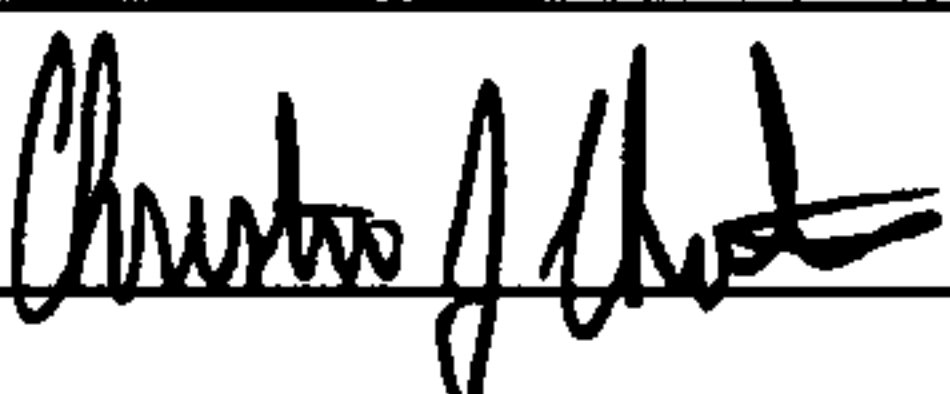
- ___ The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- ___ Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the vacation
- ___ Letter of authorization from the grantors and the beneficiaries
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Christian J. Sholtis

 Applicant name (print)



 Applicant signature / date

Form revised 4/03 and October 2003



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 04DRB-01384
 04DRB-01386
 04DRB-01387



 Planner signature / date
Project # 1003591

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

September 9, 2004

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Preliminary Plat approval, Sidewalk Deferral and waiver
Sun Gate Estates DRB# 1003591

Dear Sheran:

Enclosed for Development Review Board (DRB) review and approval are copies of the following information:

- Applications for Development Review
- Twenty-four (24) copies each of the Preliminary Plat and Grading Plan
- Copies of the Infrastructure List
- Zone Atlas map
- Letter briefly describing the request
- Property Owner and City Surveyor signature
- Letter from the Office of Neighborhood Coordination inquiry response, notifying letter
- Forms DRWS and TIS
- TIS/AQIA Traffic Impact Study/Air Quality Impact Assessment Form
- Fee in the amount of \$ 5,645.00
- Wall Design

This project, which encompasses approximately 45 acres in southwest Albuquerque, will consist of 198 residential lots which will be developed as single family detached dwelling units. The proposed subdivision will be built in two phases; however, we are requesting Preliminary Plat Approval for both phases simultaneously. This development will be a gated community with private streets and public utilities within necessary easements. Two private parks and numerous landscape tracts are proposed throughout the development.

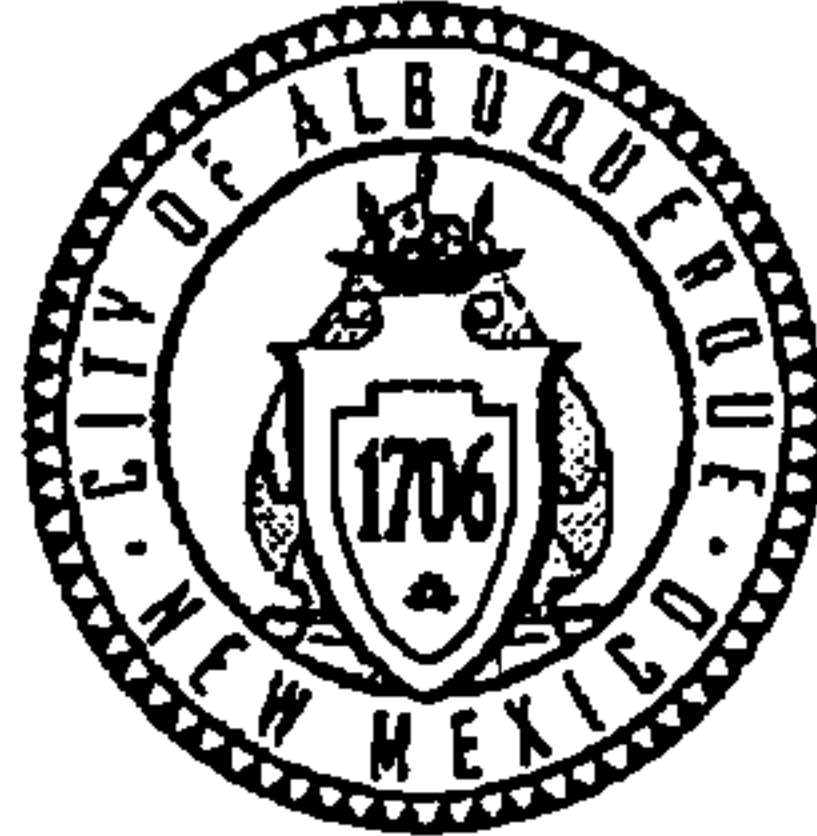
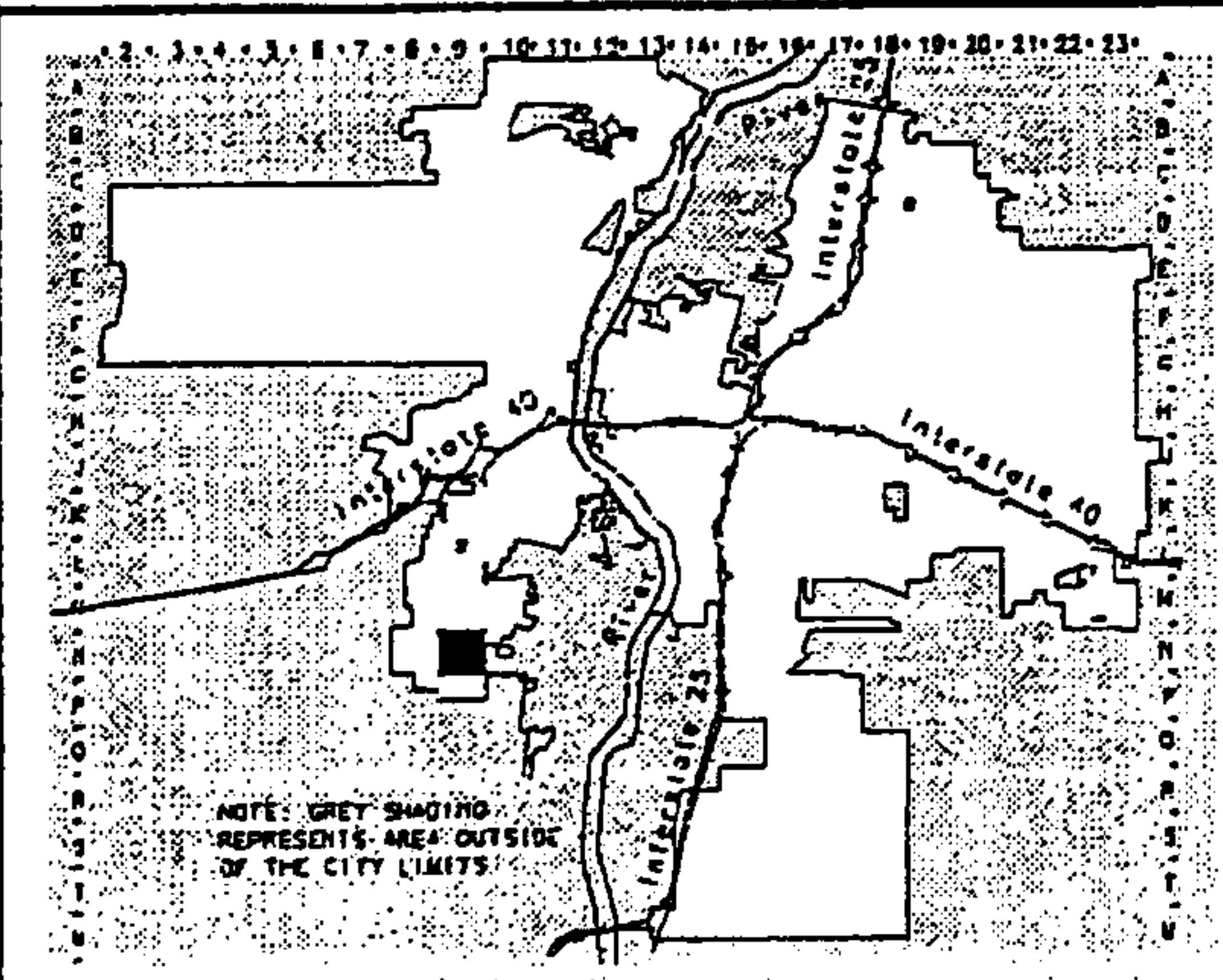
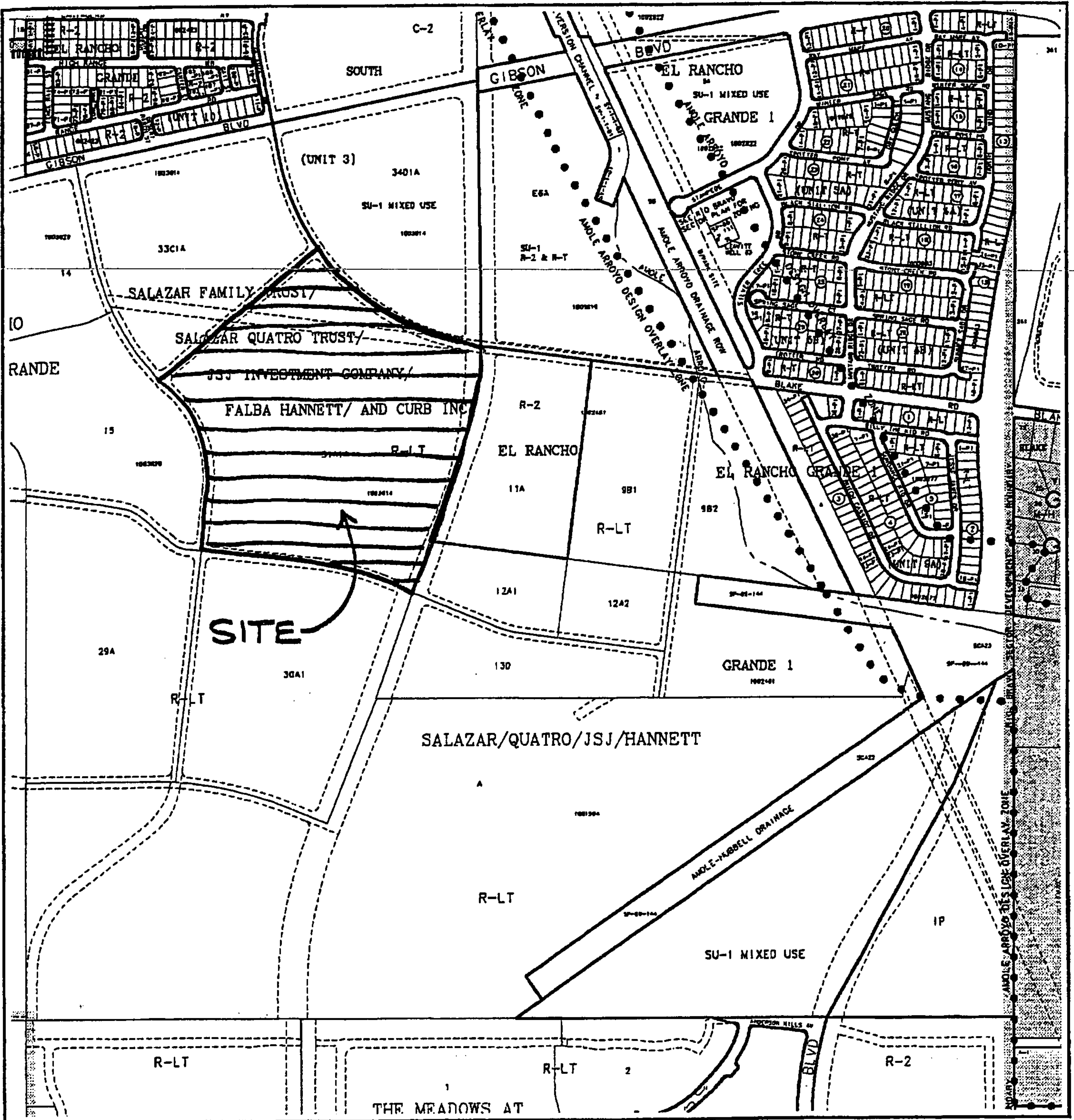
Please place this item on the DRB Agenda to be heard on October 6, 2004. If you have any questions or require further information, please call me at 823-1000.

Sincerely,



Christian J. Sholtis, P.E.
Project Engineer
Community Development and Planning Group

SS
Enclosures



A G I S
 Albuquerque Geographic Information System
 PLANNING DEPARTMENT
 © Copyright 2004

Zone Atlas Page

N-9-Z

Map Amended through July 07, 2004

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / ENVIRONMENTAL HEALTH INFORMATION FORM

APPLICANT: D.R. HORTON HOMES Date of request: 9/9/04 Zone atlas page(s): N-9

CURRENT:
Zoning R-LT
Parcel Size (acres / sq.ft.) 45.00

Legal Description -
Lot or Tract # TRACT 31A-1-A Block # _____
Subdivision Name SUN GATE ESTATES

REQUESTED CITY ACTION(S):

Annexation []	Sector Plan []	Site Development Plan:	Building Permit []
Comp. Plan	Zone Change []	a) Subdivision []	Access Permit []
Amendment []	Conditional Use []	b) Build'g Purposes []	Other []
		c) Amendment []	

PROPOSED DEVELOPMENT:

No construction / development [X]
 New Construction [X]
 Expansion of existing development []

GENERAL DESCRIPTION OF ACTION: 1

of units - 198
 Building Size - _____ (sq. ft.)

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative Stephanie Stratton Date 9-9-04
 (To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

Planning Dept., Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL. 600 2nd St. NW Plaza del Sol Bldg. 924-3994

THRESHOLDS MET? YES [X] NO [] Mitigating reasons for not requiring TIS: Previously studied: []

Notes: TIS IS BEING COMPLETED FOR EL RANCHO GRANDE. THIS UNIT WILL BE INCLUDED IN THE STUDY

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature] 9-9-04
 TRAFFIC ENGINEER DATE

Per letter dated August 7, 2003 from the Director of the Environmental Health Department to the Director of the Planning Department, "all 5 CO monitors within Bernalillo County are yielding 8-hour average CO levels at less than 50% of the Federal CO standard ..." and "based on our review of the available scientific data, we do not foresee a circumstance where preparation of a detailed air quality study for a land use development will be warranted - regardless of the project size, location or traffic generated".

Required TIS must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS - SUBMITTED ___/___/___
 - FINALIZED ___/___/___
 TRAFFIC ENGINEER DATE

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: August 30, 2004

TO CONTACT NAME: Stephanie Stratton
 COMPANY/AGENCY: Bhannon & Houston
 ADDRESS/ZIP: 7500 Jefferson St NE 87109
 PHONE/FAX #: 823-1000 Fax 798-7988

Thank you for your inquiry of 8/30/04 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Tract 6 Ventana Ranch West + Tract 31A-1-A
Sun Gate Estates

zone map page(s) A-9-2
B-9-2

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Westgate Heights NA (R)
 Neighborhood Association
 Contact: Matthew Archuleta
1628 Summerfield SW 87121
836-7251
Libby McIntosh
1316 Ladrones Ct. SW 87121
831-5189

Ventana Ranch NA (R)
 Neighborhood Association
 Contact: Laura Horton
7224 Cascada Rd NW 87114
898-8103
Bruce Nyberg
6824 Brushfield Rd NW 87114
890-6559

See reverse side for additional Neighborhood Association Information: YES { } NO

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL. RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

[Signature]
 OFFICE OF NEIGHBORHOOD COORDINATION

.....
 Attention: Both contacts per neighborhood association need to be notified.

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335
www.bhinc.com
voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

September 9, 2004

Ms. Libby McIntosh
1316 Ladrones Ct SW
Albuquerque, New Mexico 87121

RE: Preliminary Plat approval, Sidewalk Waiver and Deferral
Tract 31A-1-A Sun Gate Estates

Dear Ms. McIntosh:

We have been informed by the City of Albuquerque's Office of Neighborhood Coordination that you are a representative of the Westgate Heights Neighborhood Association.

This letter is to advise you that Bohannan Huston, Inc., agent for D.R. Horton Homes, is seeking approval of Preliminary Plat, Sidewalk waiver and deferral from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the property clearly marked that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Christian J. Sholtis, P.E.
Project Manager
Community Development and Planning Group

SS
Enclosure

09/09/04
SERIAL 0001

09/09/04 10:00 AM

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335
www.bhinc.com
voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

September 9, 2004

Mr. Matthew Archuleta
1628 Summerfield SW
Albuquerque, New Mexico 87121

RE: Preliminary Plat approval, Sidewalk Waiver and Deferral
Tract 31A-1-A Sun Gate Estates

Dear Mr. Archuleta:

We have been informed by the City of Albuquerque's Office of Neighborhood Coordination that you are a representative of the Westgate Heights Neighborhood Association.

This letter is to advise you that Bohannan Huston, Inc., agent for D.R. Horton Homes, is seeking approval of Preliminary Plat, Sidewalk waiver and deferral from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the property clearly marked that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

for Stephanie Shotton

Christian J. Sholtis, P.E.
Project Manager
Community Development and Planning Group

SS
Enclosure

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL RECEIPT

Postage	\$.60
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.65

PB METER
5049727

U.S. POSTAGE
11.00

Sent To
Street, Apt. No.,
or PO Box No. 11228 Summerfield St
City, State, ZIP+4
Albuquerque, NM 87101

PS Form 3800, July 2002 See Reverse for Instructions

2002 JUL 00 0000 5051 9959

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL RECEIPT

Postage	\$.60
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.65

PB METER
5049727

U.S. POSTAGE
11.00

Sent To
Street, Apt. No.,
or PO Box No. 13110 Ladrona St
City, State, ZIP+4
Albuquerque, NM 87101

PS Form 3800, July 2002 See Reverse for Instructions

2002 JUL 00 0000 5051 9959

00*00 CHANGE
\$5,645.00 CK
\$2,050.00 J24 Misc
\$5,645.00 Trans Amt
TRSLJS ACTIVITY 4983000
0110 Fund 0110
00031170 WSH 007 TRANS# 0042
LOC: ANNX 2:56PM 9/9/2004

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

City of Albuquerque
Treasury Division
DUPLICATE

APPLICANT NAME DR. Horton Home
AGENT Bohannan Huston
ADDRESS 7500 Jefferson
PROJECT & APP # 1003591/04DRB 01384, 01386, 01387
PROJECT NAME SUN Gate Estates

- \$ 20.00 441032/3424000 Conflict Management Fee
- \$ 3500.00 441006/4983000 DRB Actions
- \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ 75.00 441018/4971000 Public Notification
- \$ 2050.00 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
- \$ 5645.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

Bohannan Huston INC.

COURTYARD 17500 JEFFERSON STREET NE
ALBUQUERQUE, NM 87109-4335

505.823.1000
9/9/2004
2:56PM
LOC: ANNX
RECEIPT 00031170 WSH 007 TRANS# 0042
ACCOUNT 441032 Fund 0110
ACTIVITY 4983000
TRSLJS

TO THE ORDER OF
CITY OF ALBUQUERQUE
PO Box 1313
Albuquerque, NM 87103-1313 US

BANK OF AMERICA
ALBUQUERQUE, NEW MEXICO
95-32 / 1070
131732

9/8/2004 NO. 131732

DUPLICATE

City Of Albuquerque
TREASURY

*****5,645 DOLLARS & *****00 CENTS Treasury *****5,645.00

9/9/2004
RECEIPT 00031170 WSH 007 TRANS# 0042
ACCOUNT 441032 Fund 0110
APPLICANT 3424000 AUTHORIZED SIGNATURE LJS
Trans Amt \$5,645.00
J24 Misc
AUTHORIZED SIGNATURE

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 9-21-04 To 10-6-04

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Stephanie Stratton
(Applicant or Agent)

9-9-04
(Date)

I issued 2 signs for this application, 9-9-04
(Date)

[Signature]
(Staff Member)

DRB PROJECT NUMBER: 1003591

EXHIBIT "B" SUN GATE ESTATES

(TRACT 31A - 1 - A

LANDS OF SALAZAR FAMILY TRUST)

SIDEWALK DEFERRAL / WAIVER AUGUST 2004



NOT TO SCALE

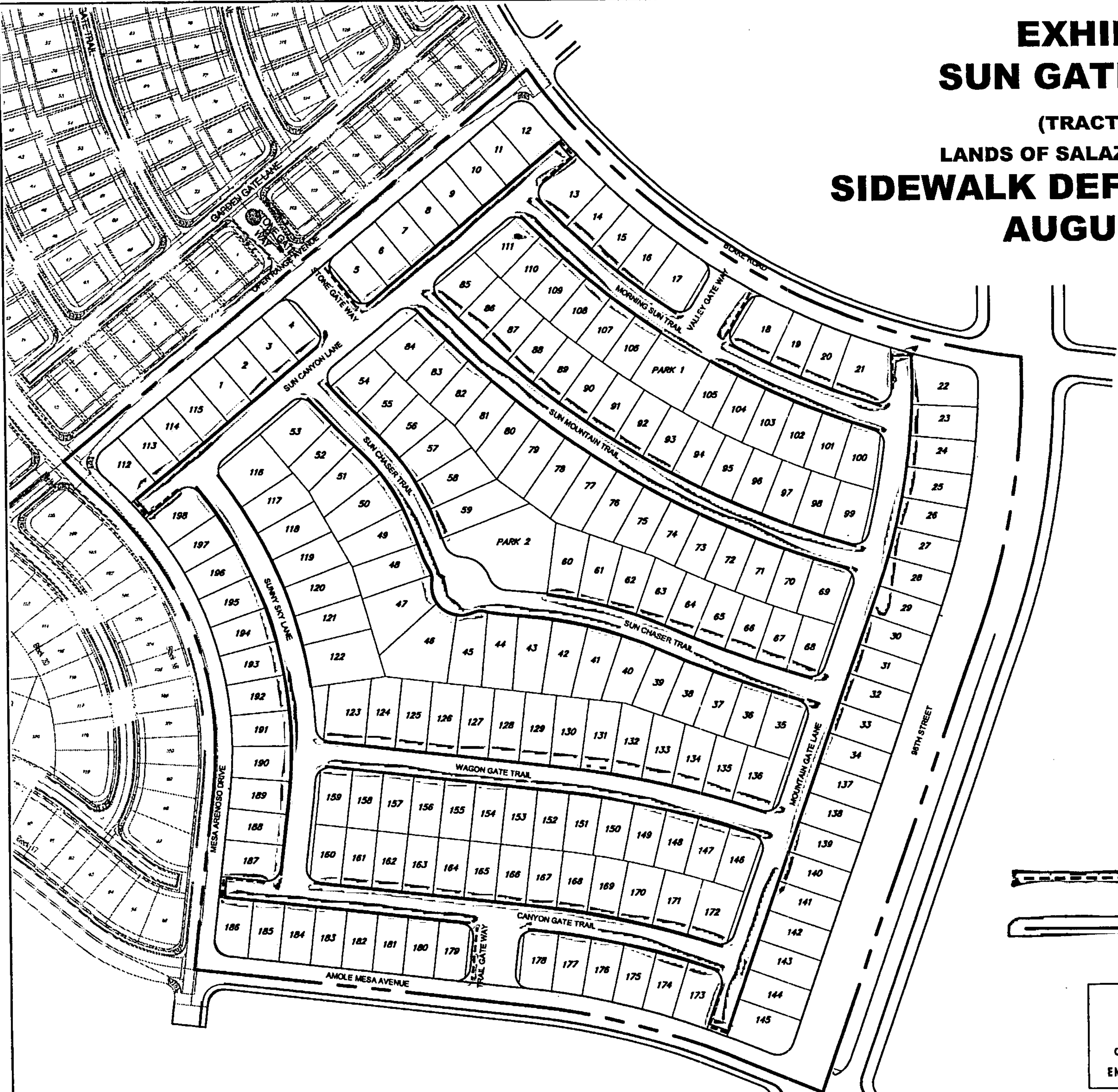

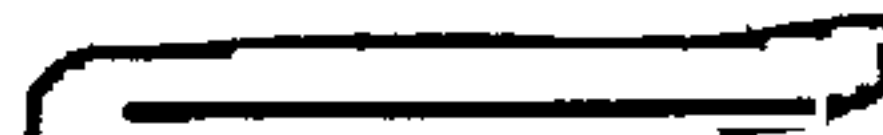


EXHIBIT C

Date 10/6/04

-  WAIVED sidewalks are requested
-  DEFERRED sidewalks are requested

Bohannon & Huston
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

PLANNING TRACKING LOG

Date	Project Name & #	Action Request	Action Taken
8/11/04	Sum Gate Estates 1003571	sketch	comments

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
August 11, 2004
DRB Comments**

Item # 21

Project # 1003591

Application # 04-01185

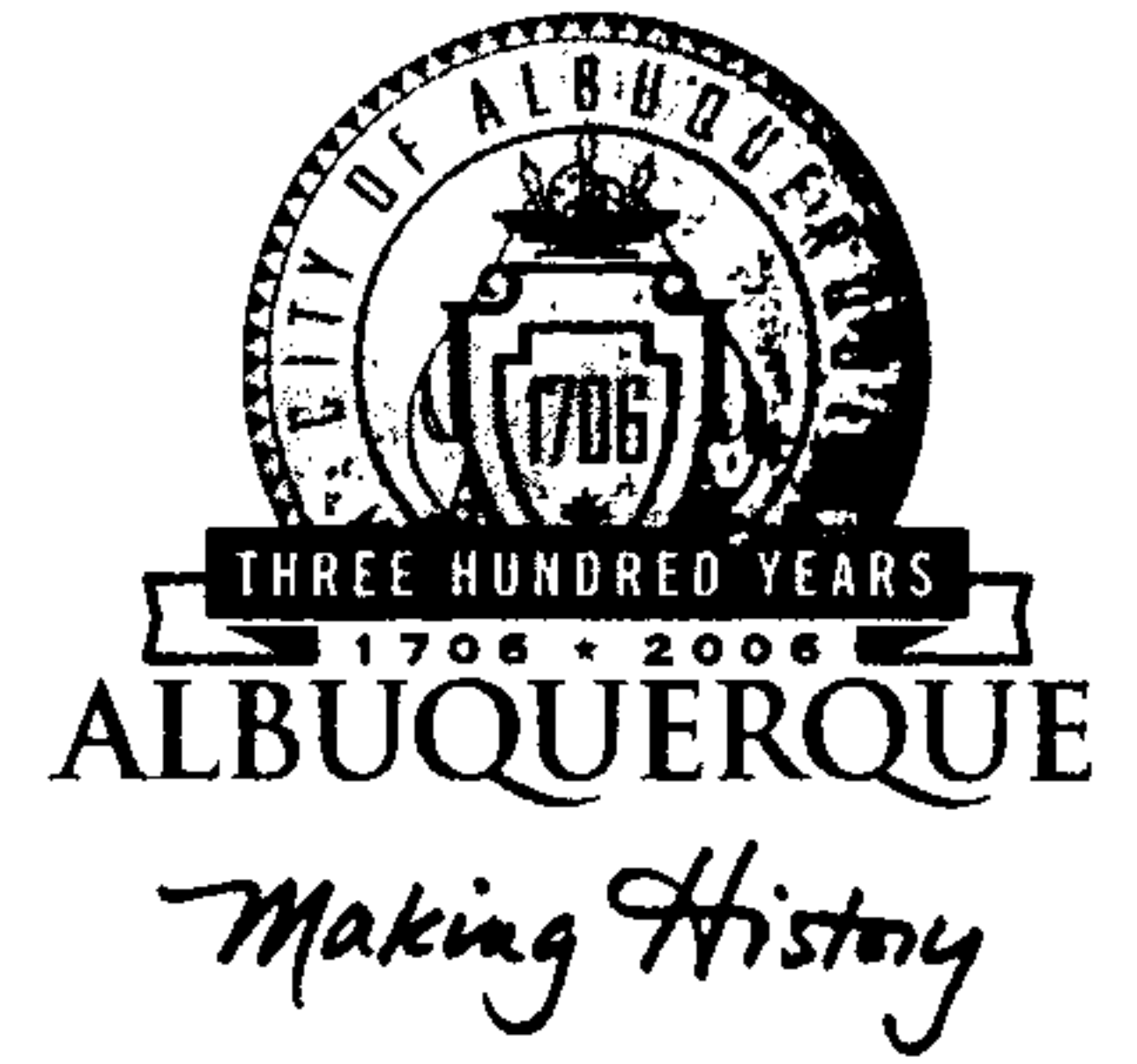
RE: Tract 31A-A, Sun Gate Estates/sketch

Planning has no adverse comments. A perimeter wall submittal is required prior to or at the same time as the preliminary plat submittal.



Sheran Matson, AICP DRB Chair
924-3880 fax 924-3864 smatson@cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003591

AGENDA ITEM NO: 21

SUBJECT:

- | | | |
|--------------------------------|---------------------------------|----------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

An approved drainage report is required for Preliminary Plat approval.
An approved infrastructure list is required for Preliminary Plat approval.
Development projects with land area of 1 acre, or more, are required to file a Notice of Intent (NOI) with the US Environmental Protection Agency for storm water discharge during construction.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED X; WITHDRAWN

discussed

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: August 11, 2004



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1003591
Application Number: 04DRB-01185

DRB Date: 8/11/04
Item Number: 21

Subdivision:

31A-1-A, Sun Gate Estates

Zoning: R-LT

Zone Page: N-09

New Lots (or units) : 198

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

The park dedication requirement will be met through an existing agreement for park dedication in El Rancho Grande Unit 17.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

The private park and landscape areas must have a maintenance note on the plat.

Signed:

Christina Sandoval, (DMD)

Phone: 768-3808

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

Supplemental form

SUBDIVISION

S

ZONING & PLANNING

Z

- Sketch Major Subdivision action
 Minor Subdivision action
 Vacation
 Variance (Non-Zoning)

- Annexation
 County Submittal
 EPC Submittal
 Zone Map Amendment (Establish or Change Zoning)
 Sector Plan (Phase I, II, III)
 Amendment to Sector, Area, Facility or Comprehensive Plan
 Text Amendment (Zoning Code/Sub Regs)

SITE DEVELOPMENT PLAN

P

- ...for Subdivision Purposes
 ...for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC)

APPEAL / PROTEST of...

A

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Curb, Inc. PHONE: 899-9656
 ADDRESS: 5160 San Francisco NE FAX: 875-1723
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____
 Proprietary interest in site: owner List all owners: _____
 AGENT (if any): Behannan Houston Inc. PHONE: 823-1000
 ADDRESS: 7500 Jefferson NE FAX: 798-7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

DESCRIPTION OF REQUEST: Sketch plat approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS 31A-1-A Block: _____ Unit: _____
 Subdiv. / Addn. Sun Gate Estates
 Current Zoning: R-LT Proposed zoning: _____
 Zone Atlas page(s): N-9 No. of existing lots: 1 No. of proposed lots: 198
 Total area of site (acres): 45 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 100905413232720103 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Gibson Blvd SW
 Between: Blake Rd. SW and 98th Rd. SW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 03DRB-01679
03DRB-01680
DRB# 1003014

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 8-3-04

FOR OFFICIAL USE ONLY Form revised 9/01, 3/03, 7/03, 10/03, 3/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Applicant Fees	Agent Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - 01185</u>	<u>Sketch</u>	<u>5(3)</u>	<u>\$ 00.00</u>	
<input checked="" type="checkbox"/> All fees have been collected					
<input checked="" type="checkbox"/> All case #s are assigned					
<input checked="" type="checkbox"/> AGIS copy has been sent					
<input checked="" type="checkbox"/> Case history #s are listed					
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill					
<input checked="" type="checkbox"/> F.H.D.P. density bonus					
<input type="checkbox"/> F.H.D.P. fee rebate					
				Total	<u>\$ 00.00</u>

Hearing date Aug. 11th '04
Bodenberg 8/3/04
 Planner signature / date

Project # 1003591

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Vicats* Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Chris Sholtis

Chris Sholtis

Applicant name (print)

8-3-04

Applicant signature / date

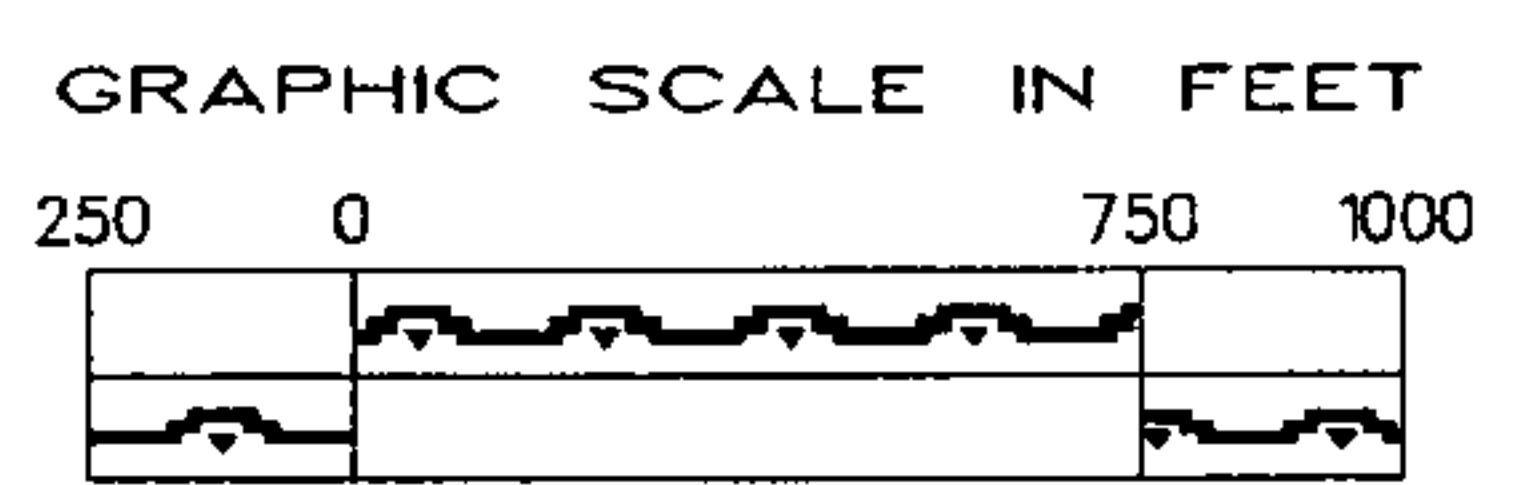
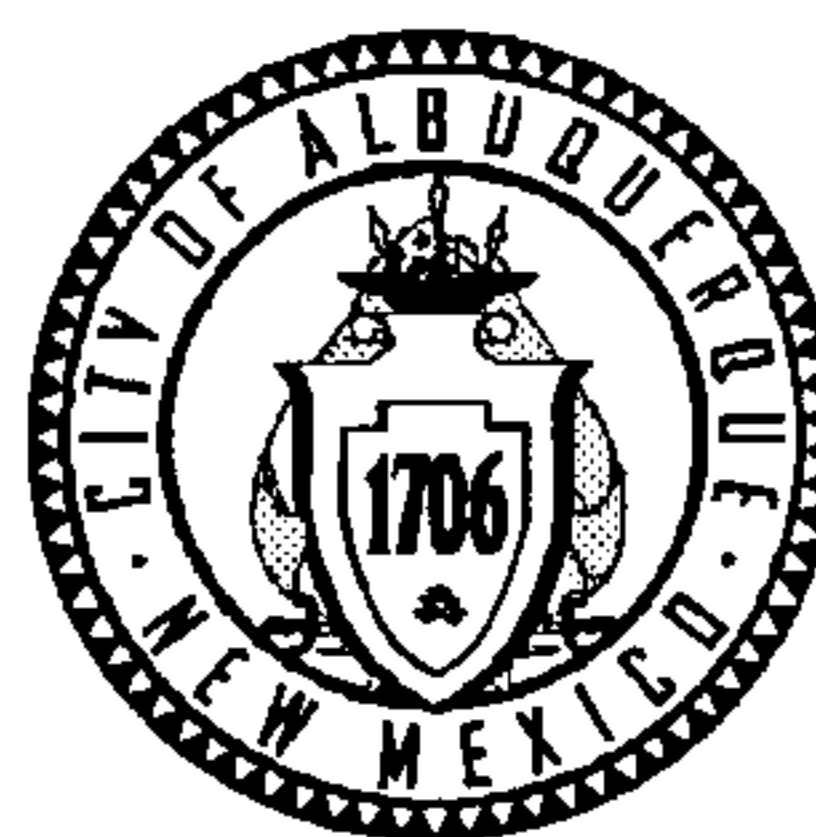
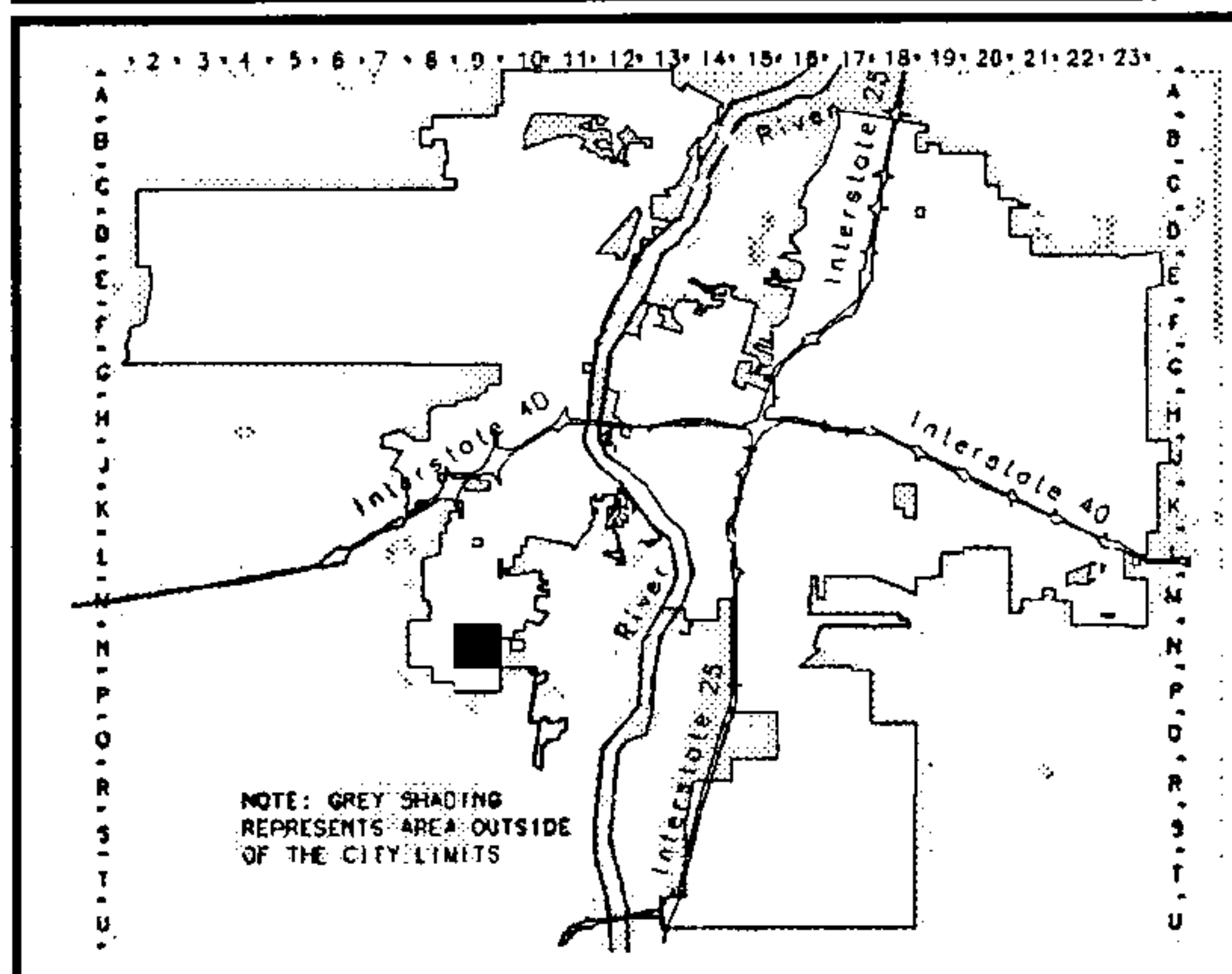
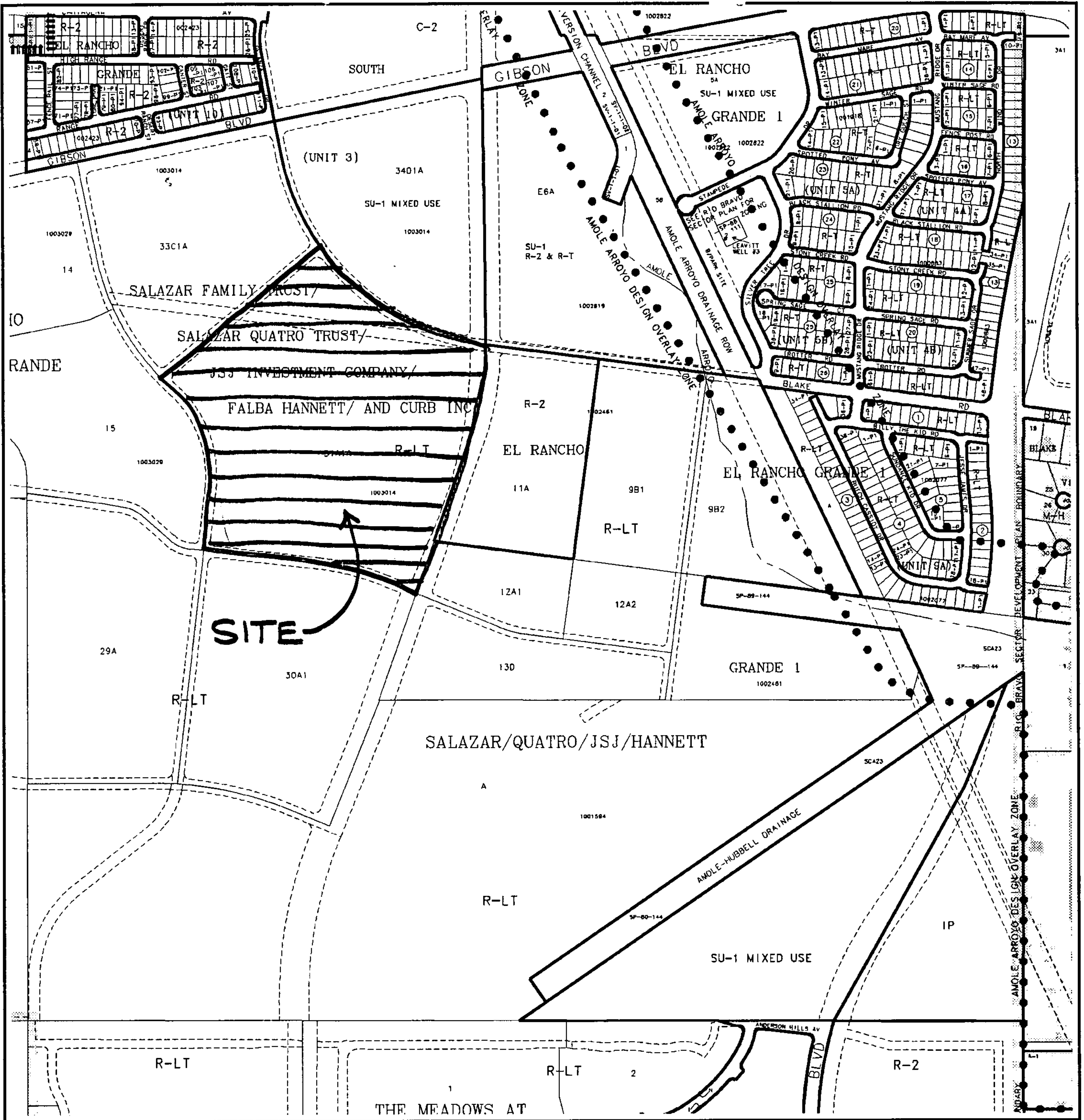


Form revised 3/03, 6/03 and 11/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 04 DRB - 01185

[Signature] 8/03/04
 Planner signature / date
 Project # 1003591



Albuquerque Geographic Information System
PLANNING DEPARTMENT
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Zone Atlas Page
N-9-Z
 Map Amended through July 07, 2004

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

August 2, 2004

Sheran Matson, DRB Chair
Development Review Board
City of Albuquerque
Albuquerque, New Mexico 87103

Re: Sketch Plat Review and Comment
Tract 31A-1-A, Lands of Salazar Family Trust, Salazar Quatro Trust, JSJ Investment
Company and Falba Hannett

Dear Sheran:

Enclosed for Development Review Board (DRB) sketch plat review and comment are copies of the following information:

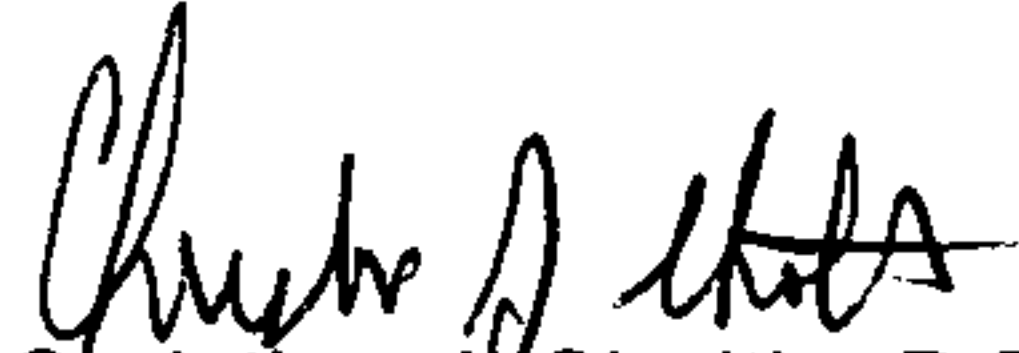
- Development Review Applications
- Six (6) copies each of the Sketch Plat, and
- Zone Atlas Map

Proposed is a single-family residential development consisting of approximately 198, 56' wide x 103.5' to 130' deep lots. This development will be a gated community with private streets. The project site which contains approximately 45 acres and is located in southwest Albuquerque bounded by 98th Street on the east, Blake Road and Open Range Avenue on the north, Mesa Arenoso Drive on the west, and Amole Mesa Avenue on the south.

As stated in the Water and Sewer Availability Statement dated May 10, 2004, the 20" 2WR waterline built by Project Number 679581 in Mesa Arenoso Drive and Open Range Avenue will serve the site through a proposed Pressure Reducing Valve (PRV). It is proposed that Sanitary Sewer and Storm Drain will outfall toward the east within Amole Mesa Avenue and discharge into the Southwest Mesa Sanitary Sewer Interceptor and Amole Channel respectively.

Please place this item on the DRB Agenda to be heard on August 11, 2004.

Sincerely,


Christian J. Sholtis, P.E.
Project Engineer
Community Development and Planning Group

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲