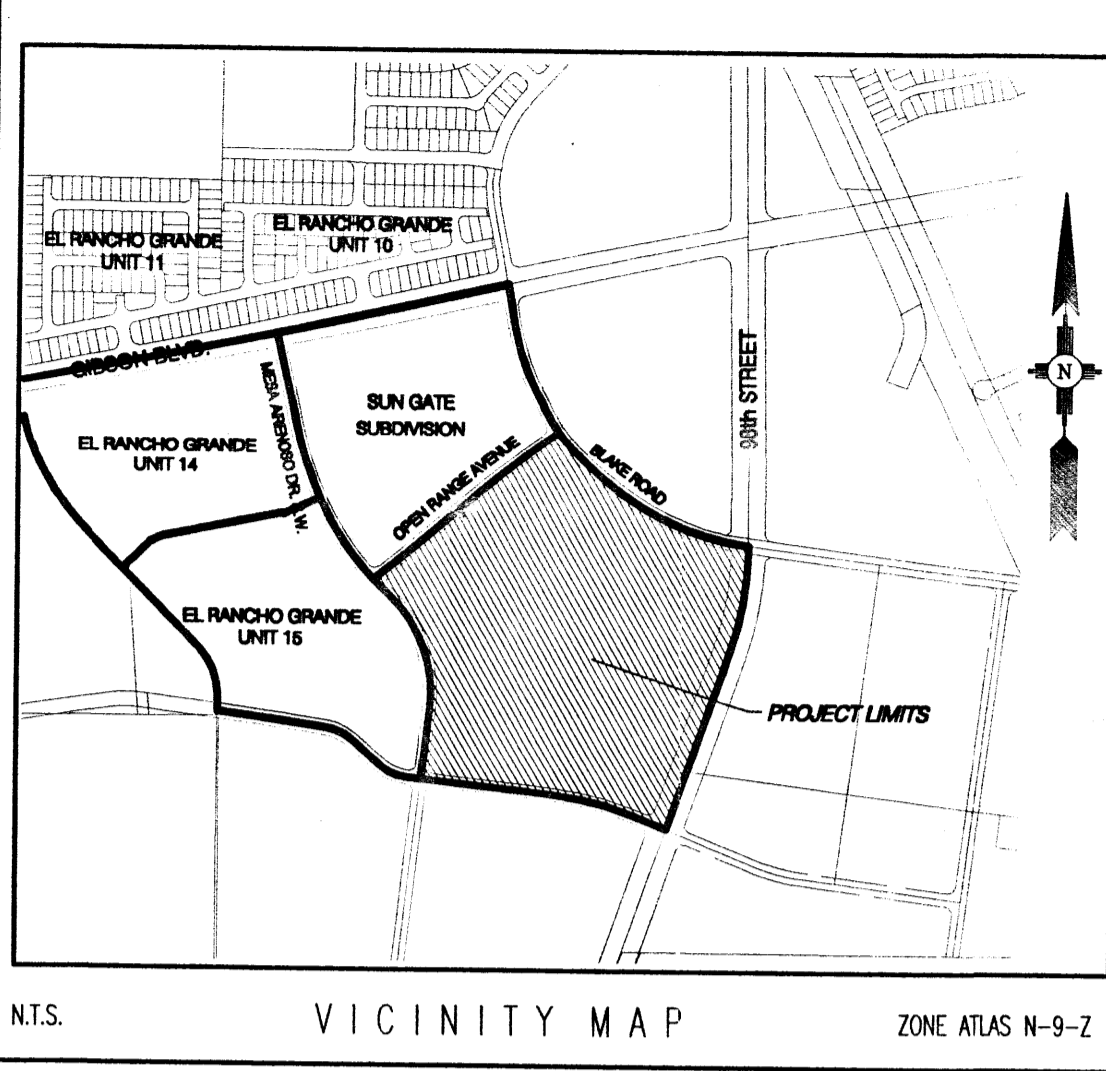




ACS BRASS TABLE STAMPED "TRANS"
 Geographic Position (NAD 1927)
 N.M. State Plane Coordinates (Central Zone)
 X = 354,899.45 Y = 1,471,822.67
 Ground-to-Grid Factor = 0.99967921
 $\Delta\alpha = -00^{\circ}16'42''$
 SLD 1929 ELEVATION = 5118.43

ACS BRASS TABLE STAMPED "1-NB"
 Geographic Position (NAD 1927)
 N.M. State Plane Coordinates (Central Zone)
 X = 348,455.82 Y = 1,470,679.06
 Ground-to-Grid Factor = 0.99967260
 $\Delta\alpha = -00^{\circ}17'16''$

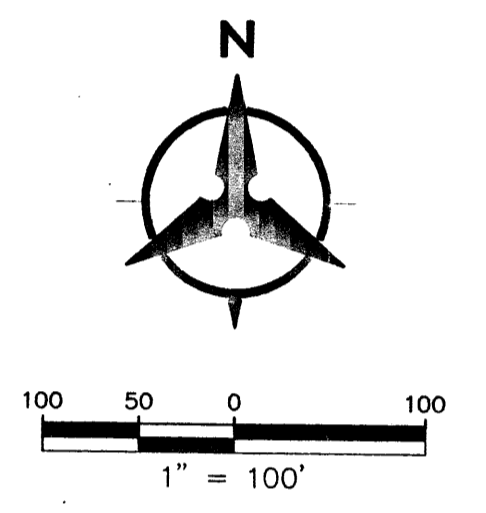


**PRELIMINARY PLAT FOR
 SUN GATE ESTATES
 (TRACT 31A-1-A)
 LANDS OF SALAZAR FAMILY TRUST
 JSJ INVESTMENT COMPANY
 AND FALBA HANNETT**

LEGAL DESCRIPTION
 TRACT 31A-1-A LANDS OF SALAZAR FAMILY TRUST
 JSJ INVESTMENT COMPANY AND FALBA HANNETT
 (BOOK 2003C, PAGE 225, DATE 07-23-2003)

GENERAL NOTES
 10/13/04

- EXISTING ZONING: R-LT
 PROPOSED DEVELOPMENT: R-LT
- PROPOSED NET ACREAGE: 45.00 AC
 NUMBER OF LOTS: 198
 PROPOSED DENSITY: 4.4 DU/AC
- MIN. LOT DIMENSIONS:
 MINIMUM LOT AREA: 103' x 56'
 5768 SF
- ALL UTILITIES AND STORM DRAIN IMPROVEMENTS ARE TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL BE 15' FRONT 5' SIDEYARD, AND 15' BACKYARD (DRIVEWAYS SHALL BE 20' (MIN.) IN LENGTH).
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO BLAKE ROAD, OPEN RANGE AVENUE, MESA ARENOSO DRIVE, AMOLE MESA AVENUE, AND/OR 98TH STREET.
- PRIVATE ACCESS: THIS SUBDIVISION IS PLANNED TO BE A GATED COMMUNITY. ALL ROADS WITHIN THE DEVELOPMENT EXIST WITHIN TRACT "X". PRIVATE ACCESS, PUBLIC DRAINAGE, WATER, AND SANITARY SEWER EASEMENT ON TRACT "X".
- HOMEOWNERS ASSOCIATION: THIS SUBDIVISION WILL HAVE A HOMEOWNERS ASSOCIATION. THE HOMEOWNERS ASSOCIATION WILL OWN TRACTS "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", AND "Y" AND BE RESPONSIBLE FOR MAINTENANCE INCLUDING STREET AND LANDSCAPE IMPROVEMENTS.
- TRACTS "S" AND "T" ARE LANDSCAPE TRACTS ENCUMBERED BY PRIVATE PEDESTRIAN ACCESS EASEMENTS.
- TRACTS "R", "S", "T", "U", AND "V" ARE LANDSCAPE TRACTS ENCUMBERED BY PUBLIC STORM DRAIN, SANITARY SEWER, AND WATER LINE EASEMENTS.



LEGEND

	SUBDIVISION BOUNDARY LINE
	EXISTING SUBDIVISION BOUNDARY
	EXISTING SUBDIVISION BOUNDARY
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT

KEYED NOTES
 (A) 10' PUBLIC UTILITY EASEMENT

SITE DATA

ZONE ATLAS NO.	N-9-Z
ZONING	R-LT
MILES OF FULL WIDTH STREETS CREATED	1.57 MILES
NO. OF EXISTING PARCELS	1
NO. OF LOTS CREATED	198
DENSITY	4.4 DU/AC

- SURVEY NOTES:**
- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THIS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 7719".
 - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASSIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
 - DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED

 CITY SURVEYOR 9-8-04
 DATE

MARK FERGUSON 9-8-04
 DIVISION PRESIDENT, D.R. HORTON INC. DATE

Bohannon & Huston
 Engineering • Spatial Data • Advanced Technologies
 Courtyard I 7800 Jefferson St. NE Albuquerque, NM 87109-4336

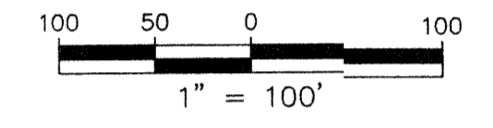
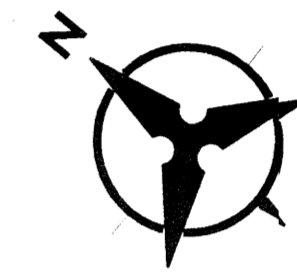
SHEET 2

SHEET 4

SHEET 3

GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE GEO-TECH REPORT FOR SALAZAR DAVIS PARCEL PREPARED BY WYARD'S ASSOC., NOVEMBER 6, 2003.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOMLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.
8. WHEN SPECIFIED AS EITHER LEFT(LT) OR RIGHT(RT), THE DRIVEWAY SHALL BE LOCATED ON THAT SIDE OF THE LOT AS VIEWED FROM THE STREET LOOKING TOWARD THE LOT IN QUESTION.



LEGEND

- (91.62) FUTURE SPOT ELEVATION
- 91.62 PROPOSED SPOT ELEVATION
- × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
- EXISTING CURB & GUTTER
- === PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- 54.70 EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- ⊙ PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- WALL DRAIN
- ⊙ P=5154.1 D/W RT PAD ELEVATION WITH DRIVEWAY LOCATION SPECIFIED, SEE NOTE 8 ABOVE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACS BRASS TABLET STAMPED "TRANS"	DATE	NO.	BY	REMARKS	By
WORK BY	DATE	Geographic Position (NAD 1927)	DATE				
ACCEPTANCE BY	DATE	N.M. State Plane Coordinates (Central Zone)	DATE				
FIELD CORRECTION BY	DATE	X= 354,899.45 Y= 1,471,822.67	DATE				
REVISIONS BY	DATE	Ground-to-Grid Factor=0.99967921(As Published)	DATE				
CHECKED BY	DATE	S.D.C. = -00'16"42"	DATE				
NO.		SLD 1929 Elevation = 5118.43					

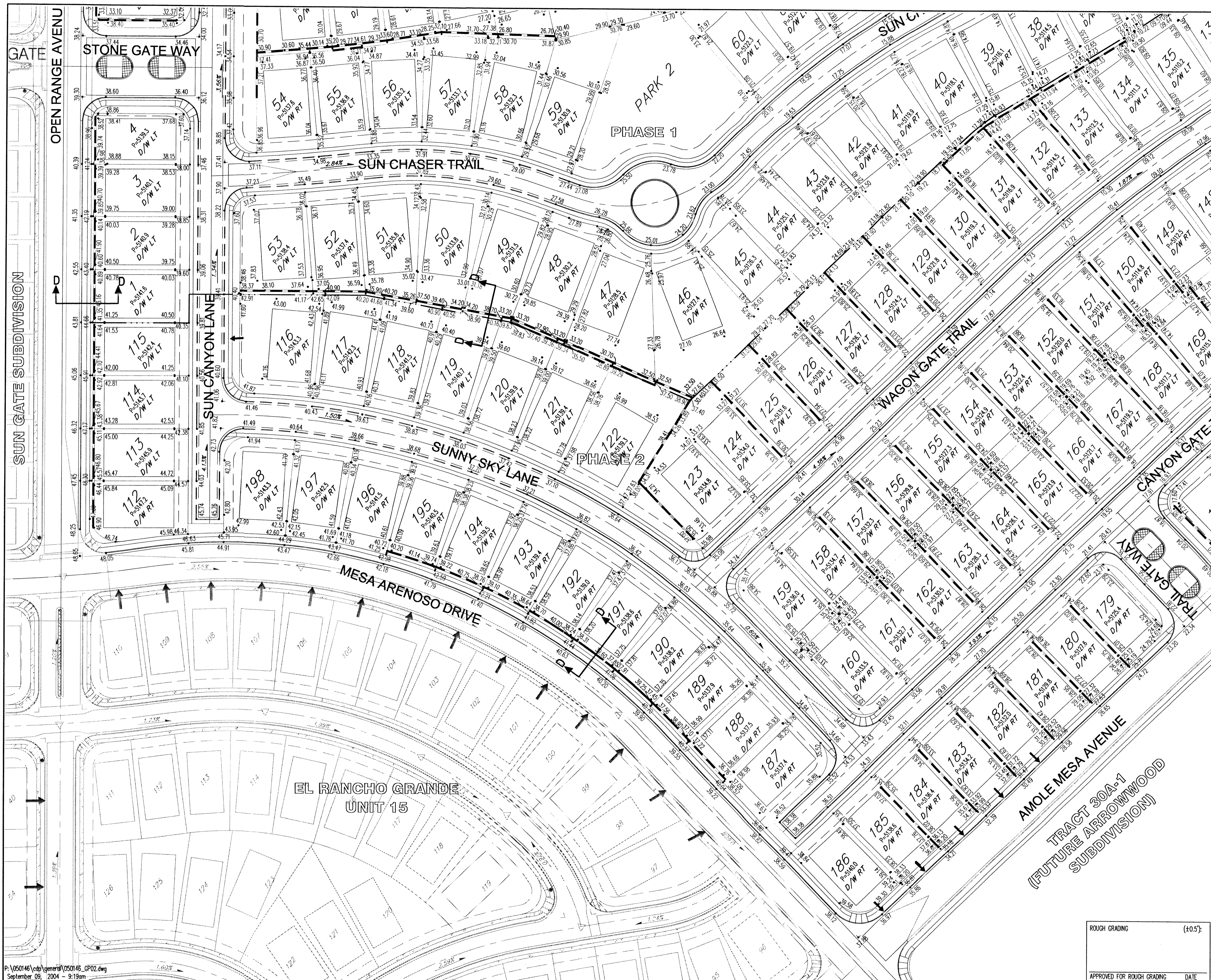


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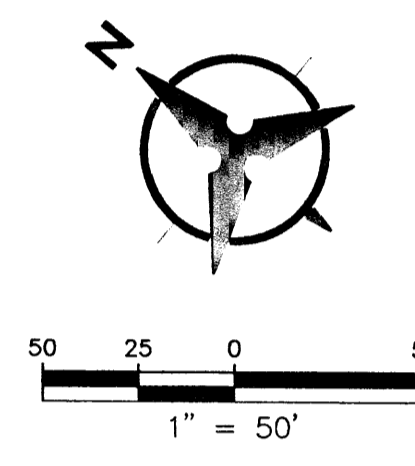
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
SUN GATE ESTATES

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	N-9-Z	1	5

ROUGH GRADING (±0.5')
 APPROVED FOR ROUGH GRADING DATE



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE GEO-TECH REPORT FOR SALAZAR DAVIS PARCEL PREPARED BY VMYARDS ASSOC., NOVEMBER 6, 2003.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.
 8. WHEN SPECIFIED AS EITHER LEFT(L) OR RIGHT(RT), THE DRIVEWAY SHALL BE LOCATED ON THAT SIDE OF THE LOT AS VIEWED FROM THE STREET LOOKING TOWARD THE LOT IN QUESTION.



- LEGEND**
- (91.62) FUTURE SPOT ELEVATION
 - 91.62 PROPOSED SPOT ELEVATION
 - × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
 - EXISTING CURB & GUTTER
 - PROPOSED MOUNTABLE CURB & GUTTER
 - PROPOSED STANDARD CURB & GUTTER
 - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - PROPOSED RETAINING WALL
 - PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
 - PROPOSED SLOPE
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET
 - WALL DRAIN
 - P=5154.1 D/W RT PAD ELEVATION WITH DRIVEWAY LOCATION SPECIFIED, SEE NOTE 8 ABOVE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACS BRASS TABLET STAMPED "TRANS"	DATE	NO.	BY		No. Date By REVISIONS DESIGN
WORKS BY	DATE	Geographic Position (NAD 1927)	DATE				
ACCURACY BY	DATE	N.M. State Plane Coordinates (Central Zone)	DATE			DESIGNED BY: CUS	DATE: 09/08/04
DRAWING BY	DATE	X= 354,899.45 Y= 1,471,822.67	DATE			DRAWN BY: BJJ	DATE: 09/08/04
REVISIONS BY	DATE	Ground-to-Grid Factor=0.99967921(As Published)	DATE			CHECKED BY: CUS	DATE: 09/08/04
MICROFILM INFORMATION	DATE	LOC = -00'16'42"	DATE				
	DATE	SLD 1929 Elevation = 5118.43	DATE				

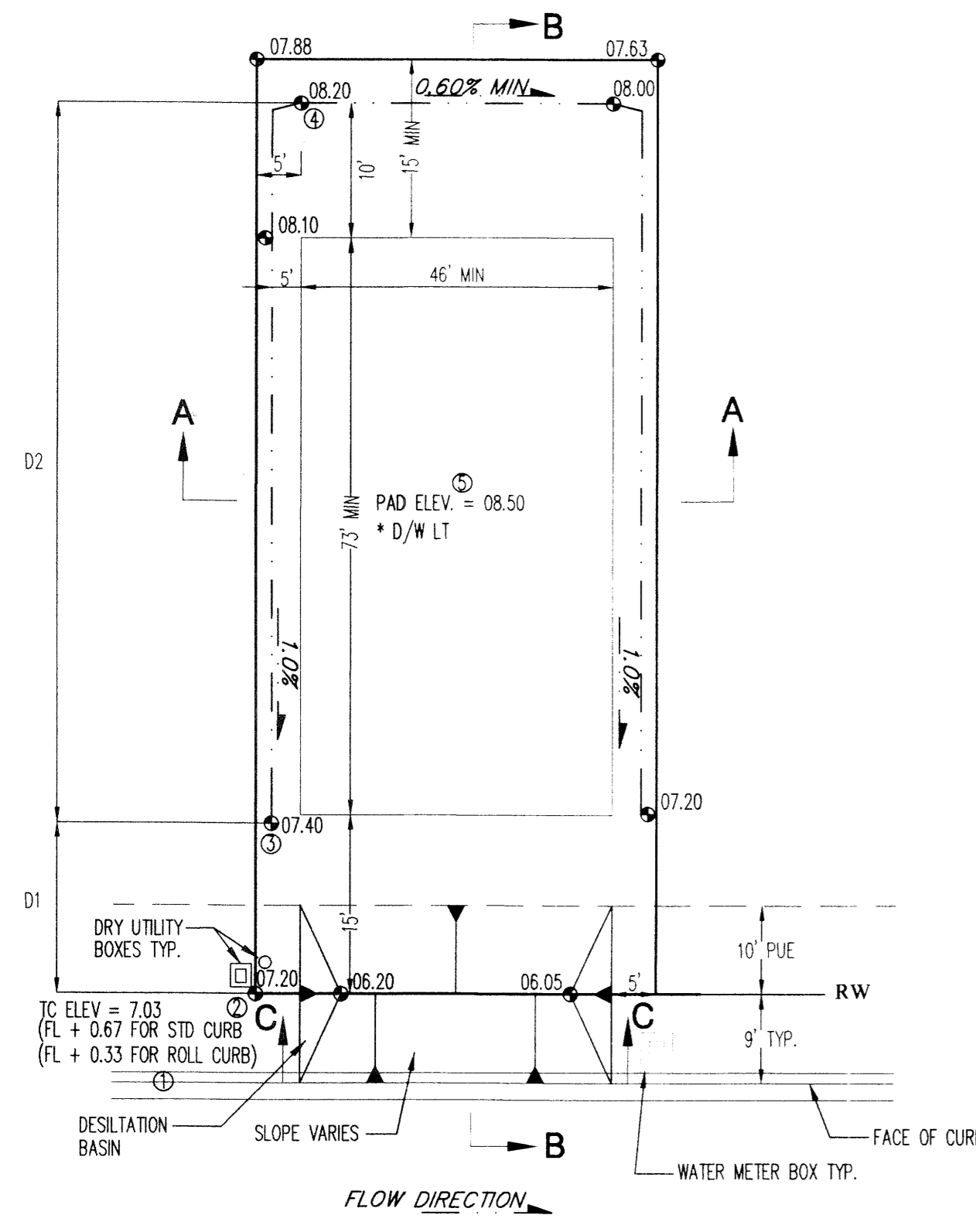
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CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT

SUN GATE ESTATES
 GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	N-9-Z	3	5

ROUGH GRADING (±0.5')
 APPROVED FOR ROUGH GRADING DATE

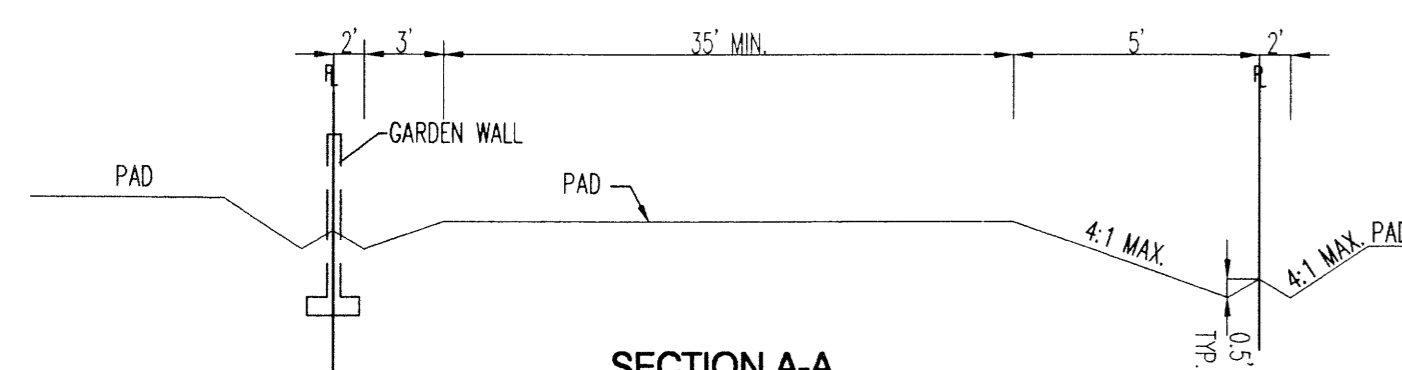


**TYPICAL LOT GRADE DETAIL
WITH DESILTATION BASIN FOR SEDIMENTATION CONTROL**
NOT TO SCALE

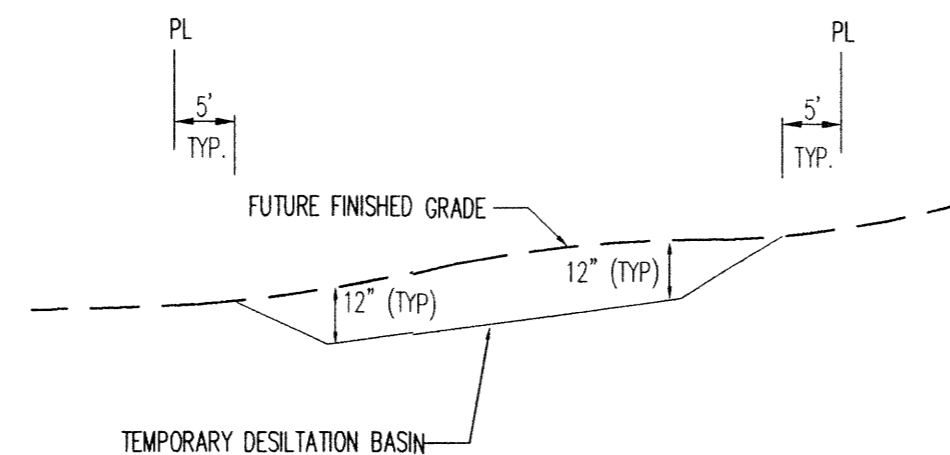
TO SET SPOT ① - ADD 0.18" TO SPOT ①
TO SET SPOT ② - MULTIPLY D1 BY 1.0% AND ADD TO SPOT ②
TO SET SPOT ③ - MULTIPLY D2 BY 0.3% AND ADD TO SPOT ③
TO SET SPOT ④ - ADD 0.3" TO SPOT ④

BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.
SEE GRADING PLANS FOR EXACT ELEVATIONS.
CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH LOT.

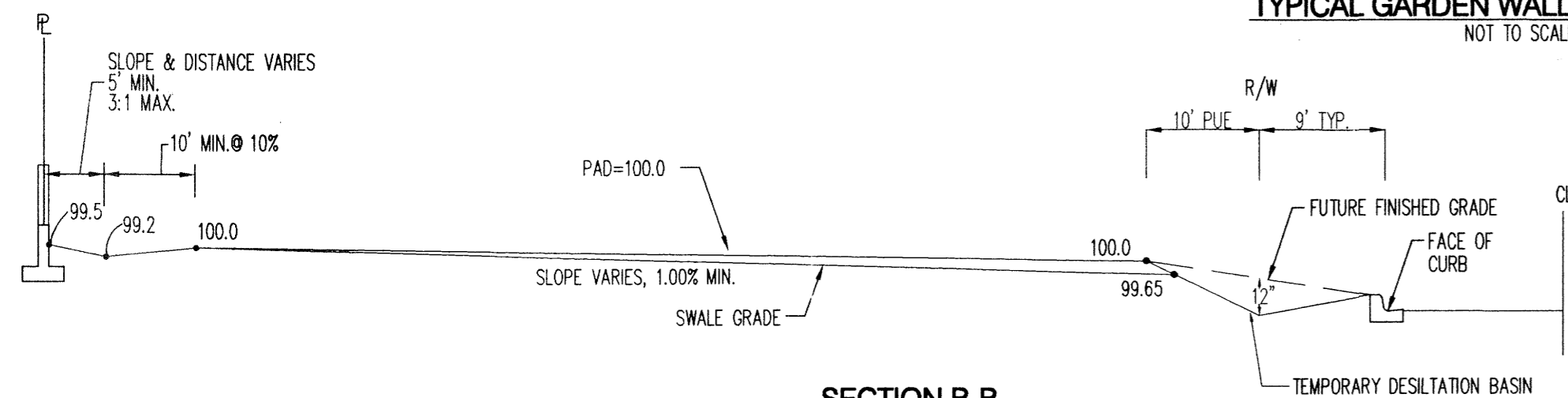
* DRIVEWAY SHALL BE PLACED ON THE LEFT OR RIGHT SIDE OF THE LOT
WHEN SPECIFIED ON GRADING PLANS.



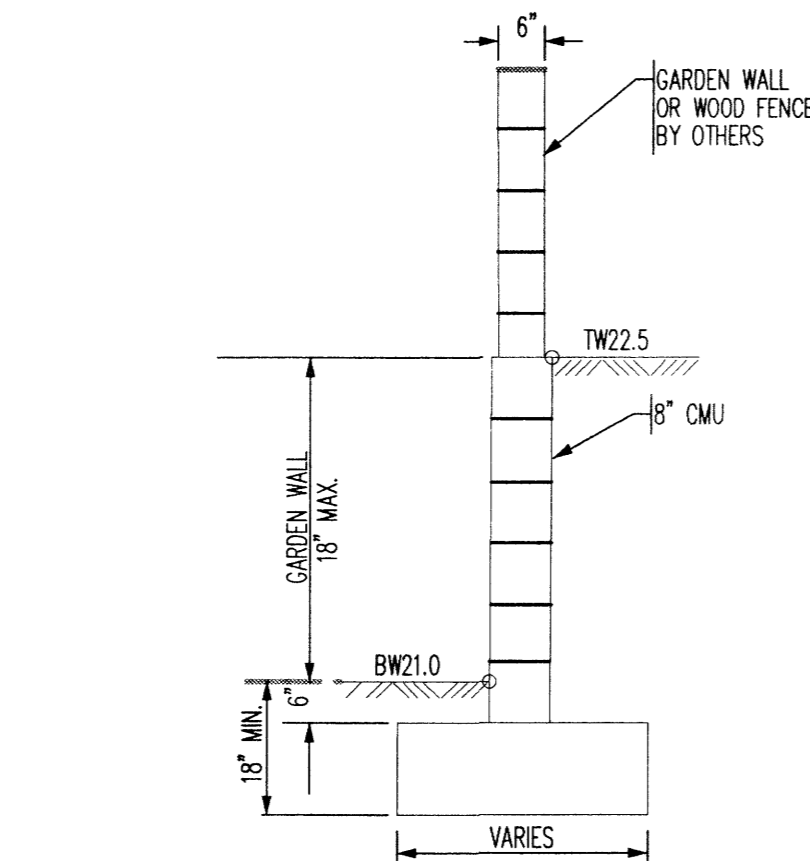
**SECTION A-A
TYPICAL SIDE YARD SWALE**
NOT TO SCALE



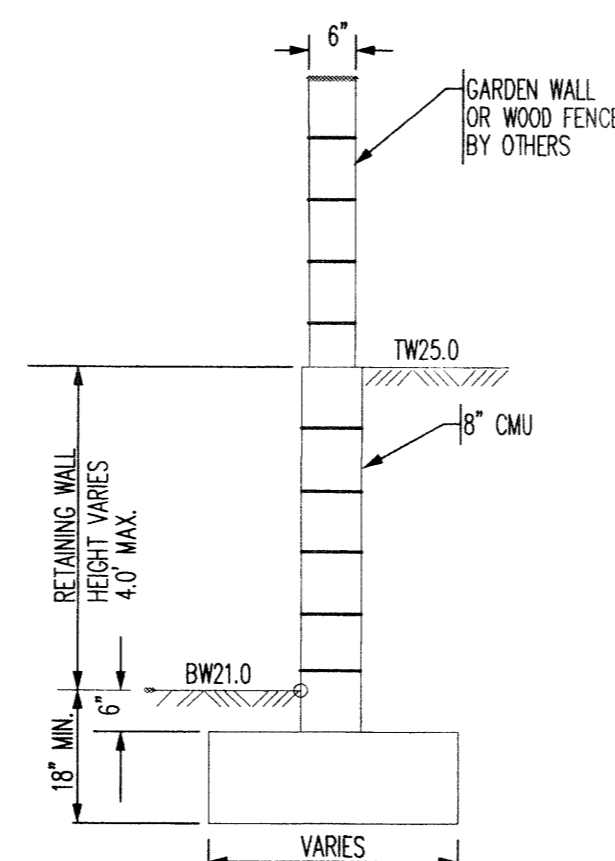
**SECTION C-C
TYPICAL GARDEN WALL NOMENCLATURE**
NOT TO SCALE



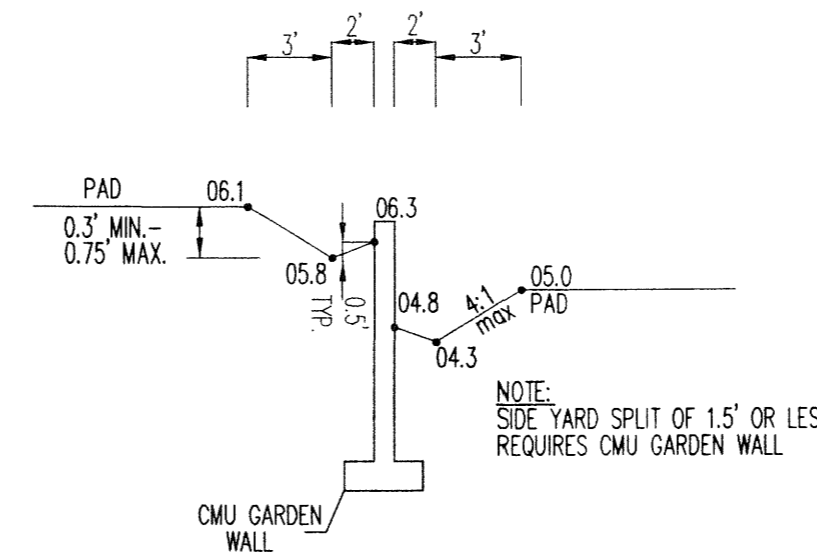
**SECTION B-B
TYPICAL GARDEN WALL NOMENCLATURE**
NOT TO SCALE



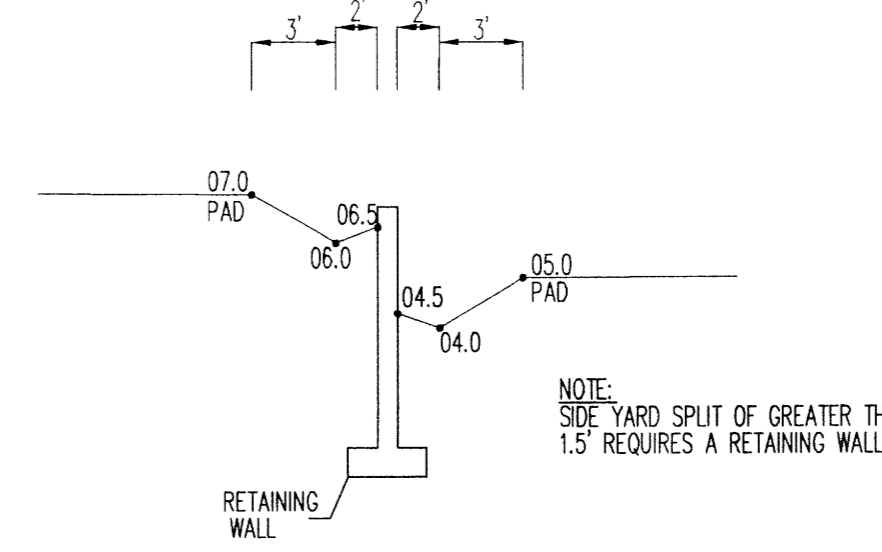
TYPICAL GARDEN WALL NOMENCLATURE
NOT TO SCALE
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN
FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



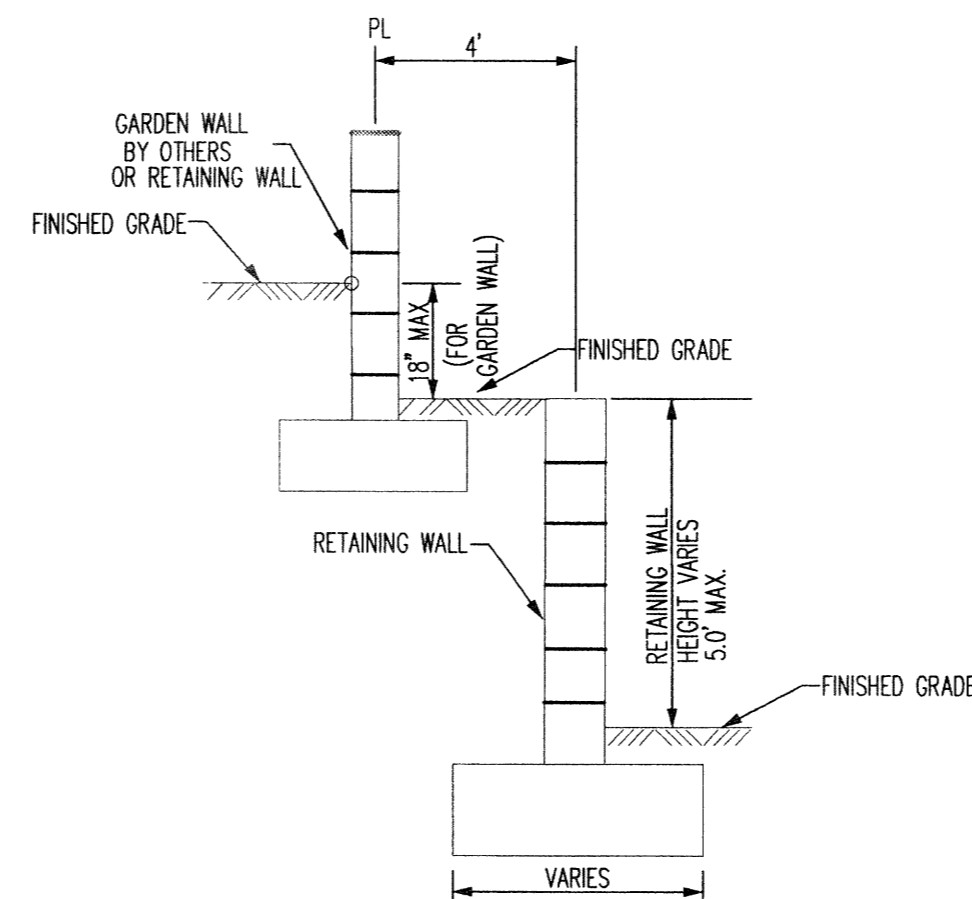
TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN
FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



SIDE YARD GARDEN WALL DETAIL
NOT TO SCALE



SIDE YARD RETAINING WALL DETAIL
NOT TO SCALE



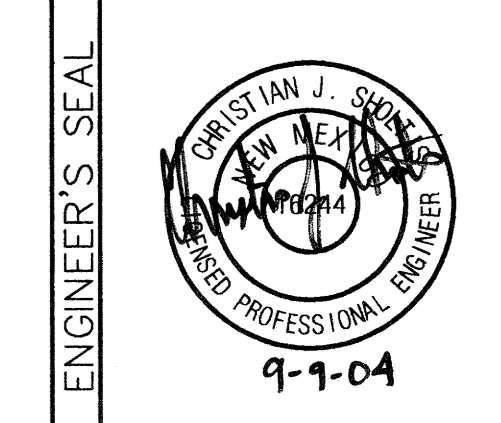
**SECTION D-D
TYPICAL RETAINING WALL NOMENCLATURE**
NOT TO SCALE
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES.)

- NOTE:
- CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
 - FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
 - HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.

AS-BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR'S STAMP BY	DATE
INSPECTOR'S VERIFICATION BY	DATE
FIELD APPROVED BY	DATE
RECORDED BY	DATE
MICROFILM INFORMATION	DATE
RECORDED BY	NO.

BENCH MARKS	
ACS BRASS TABLET STAMPED "TRANS"	
Geographic Position (NAD 1927)	
N.M. State Plane Coordinates (Central Zone)	
X = 354,899.45 Y = 1,471,822.67	
Ground-to-Grid Factor = 0.99967921 (As Published)	
$\Delta\alpha = -00'16''42''$	
SLD 1929 Elevation = 5118.43	

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	



REVISIONS	By	Date
DESIGN	CJS	09/08/04
	BUC	09/08/04
	CJS	09/08/04

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**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

**SUN GATE ESTATES
GRADING AND DRAINAGE PLAN
GRADING DETAILS**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
	N-9-Z	5	5

PLAT FOR SUNGATE ESTATES SUBDIVISION UNIT 1 WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 4 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

PREPARED BY: [Signature]
 DATE: MAY 2005
 APPROVED BY: [Signature]
 DATE: [Date]

UTILITY APPROVALS:
 PNM Electric Services Division: [Signature] 6-7-08
 PNM Gas Services Division: [Signature] 6-7-05

WEST TELECOMMUNICATIONS: [Signature] 6.7.05
 COMCAST: [Signature]
 CITY APPROVALS: [Signature] 6-6-05
 CITY SURVEYOR: [Signature]

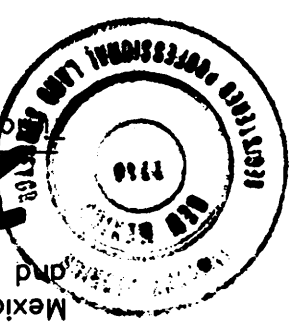
REAL PROPERTY DIVISION: [Signature] [Date]
 ENVIRONMENTAL HEALTH DEPARTMENT: [Signature] [Date]
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION: [Signature] [Date]
 WATER UTILITY DEPARTMENT: [Signature] [Date]
 PARKS AND RECREATION DEPARTMENT: [Signature] [Date]
 AMAFCA: [Signature] [Date]
 CITY ENGINEER: [Signature] [Date]
 DRB Chairperson, Planning Department: [Signature] [Date]

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared on the plot of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility lots and 18 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon, and I do hereby dedicate public right-of-way to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their fee act and deed. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Job No.: 01-037	Sheet: 1 of 6
Checked By: TA	Drawing Name: 01037SG1.DWG
Drawn By: RJA	Date: 05-27-05



DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being all of TRACT 31A-1-A, LANDS OF SALAZAR FAMILY TRUST, SALAZAR CUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 25, 2003 in Book 2003C, Page 357 and containing 45,0015 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
 1. PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
 2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
 3. Qwest Telecommunications for installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
 4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.
 included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat. In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, rapid or other document and which are not shown on this plat.

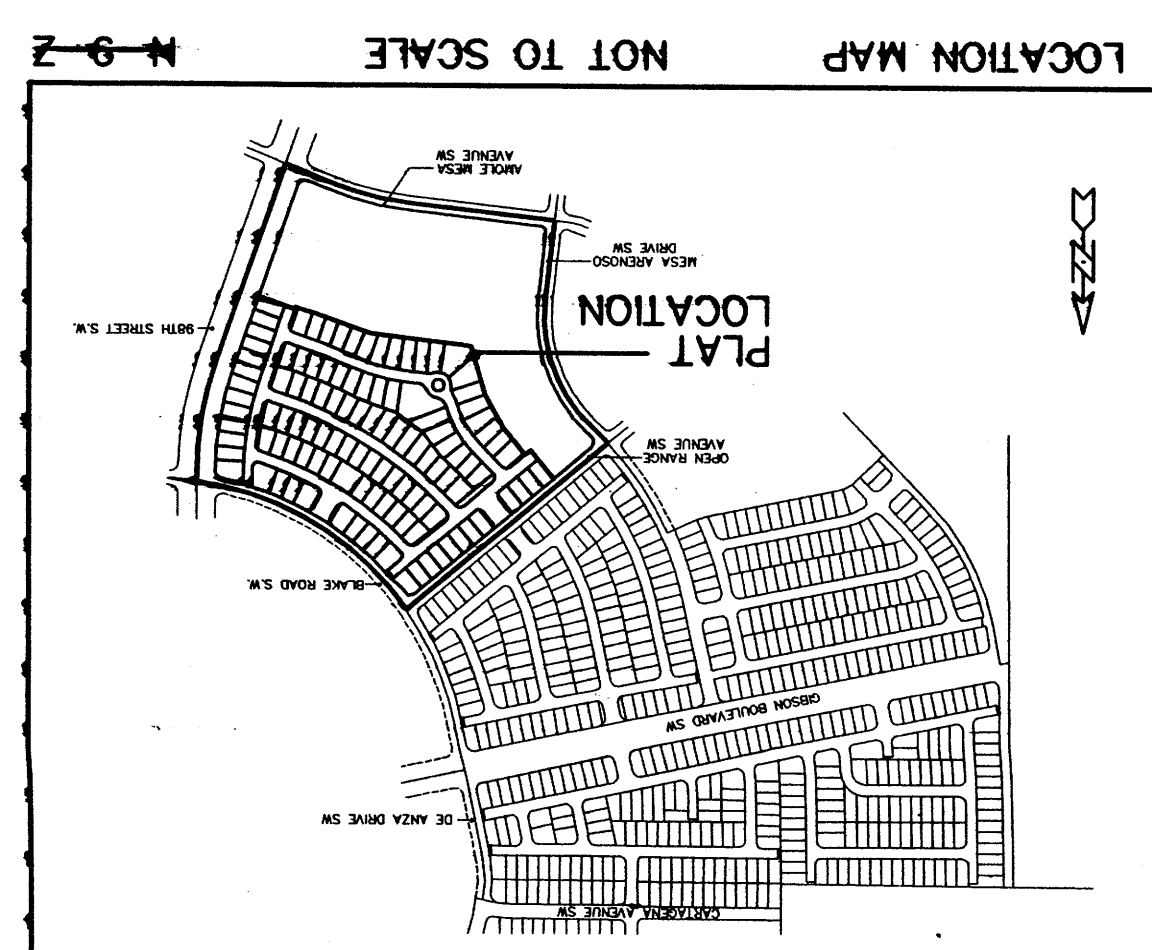
Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and 18 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon, and I do hereby dedicate public right-of-way to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their fee act and deed. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): D.R. HORTON, INC.
 J. MARK FERGUSON, DIVISION PRESIDENT
 STATE OF NEW MEXICO)
 BERNALILLO COUNTY)
 My Commission Expires 10-14-05
 KATHRYN CHAVEZ-BUMBT
 NOTARY PUBLIC
 OFFICIAL SEAL
 Date: 6-01-05

On this 1st day of June, 2005, this instrument was acknowledged before me by J. Mark Ferguson, Division President of D.R. Horton, Inc., a Delaware Corporation.
 My Commission Expires 10-14-05
 Notary Public
 Kathryn Chavez-Bumbt



PURPOSE OF PLAT

- To create 111 lots and 18 tracts as shown hereon.
- To grant easements as shown hereon.
- To dedicate street right-of-way as shown hereon to the City of Albuquerque in fee simple with warranty covenants.

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parentheses are record.
- Basis of boundary are the following plat of record entitled:
 PLAT OF "SALAZAR - DAVIS TRACTS",
 (05-06-86, C30-91)
 PLAT OF "LANDS OF SALAZAR FAMILY TRUST, SALAZAR CUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT",
 (07-23-03, 03C-223)
 PLAT OF "LANDS OF CURB, INC.",
 (11-25-03, 03C-357)
 PLAT OF "LANDS OF SALAZAR FAMILY TRUST, SALAZAR CUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT",
 (11-25-03, 03C-357)
 PLAT OF "SALAZAR FAMILY TRUST, SALAZAR CUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT",
 (11-25-03, 03C-357)
 PLAT OF "SUNGATE SUBDIVISION",
 (08-11-04, 04C-235)
 PLAT OF "EL RANCHO GRANDE, UNIT 1",
 (07-23-03, 03C-223)
 CORRECTION PLAT "EL RANCHO GRANDE, TRACTS 14, 15 & 16",
 (03-09-04, 04C-72)
 all being records of Bernalillo County, New Mexico.

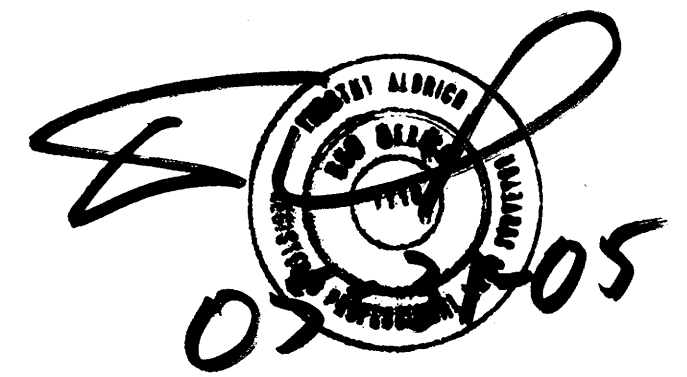
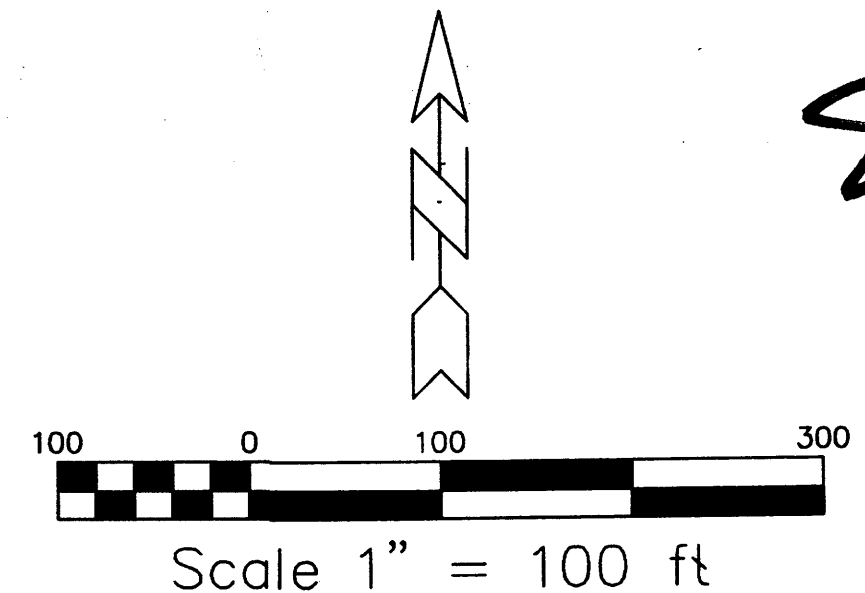
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
- No individual lots shall be allowed direct access to 98th Street S.W., Blake Mesa Avenue S.W., Mesa Arseno Drive S.W., Open Range Avenue S.W. & Arnoke Road S.W.
- All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.

PLAT FOR
SUNGATE ESTATES SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005



EXISTING EASEMENTS

- ① EXISTING 60' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
- ② EXISTING 60' PUBLIC ACCESS, WATERLINE AND SANITARY SEWER EASEMENT (04-17-01, A18-456)
- ③ EXISTING 60' PUBLIC ACCESS EASEMENT (07-23-03, 03C-223)
- ④ EXISTING 60' PUBLIC ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT (07-23-03, 03C-223)
- ⑤ EXISTING 78' TEMPORARY PUBLIC ROADWAY EASEMENT (07-23-03, 03C-223)
- ⑥ EXISTING 78' PUBLIC ROADWAY AND PUBLIC UTILITY EASEMENT (03-21-03, 03C-73)
- ⑦ EXISTING 78' PUBLIC ROADWAY AND PUBLIC UTILITY EASEMENT (03-21-03, 03C-73)



Drawn By:	RJA	Date:	05-27-05
Checked By:	TA	Drawing Name:	01037SG1.DWG
Job No.:	01-037	Sheet:	2 of 6

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

- EASEMENT**
- ⑦ 10' PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)
 - ⑧ PNM EASEMENT (GRANTED BY THIS PLAT)
 - ⑨ PUBLIC WATERLINE EASEMENT (GRANTED BY THIS PLAT)
 - ⑩ 46' PUBLIC WATER, SANITARY SEWER AND STORM DRAIN EASEMENT (GRANTED BY THIS PLAT)

- PROPERTY CORNERS**
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
 - FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

(HATCHED AREA)
STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. (5.2896 AC.)

PLAT FOR
**SUNGATE ESTATES SUBDIVISION
UNIT 1**
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2005

NOTE

HOMEOWNERS ASSOCIATION WILL OWN TRACTS A THRU G, TRACTS M THRU R, TRACTS V THRU Y. AND WILL BE RESPONSIBLE FOR MAINTENANCE OF STREET AND LANDSCAPE IMPROVEMENTS.

TRACTS R AND V, ARE LANDSCAPE TRACTS AND PUBLIC STORM DRAIN, SANITARY SEWER AND WATER LINE EASEMENTS.

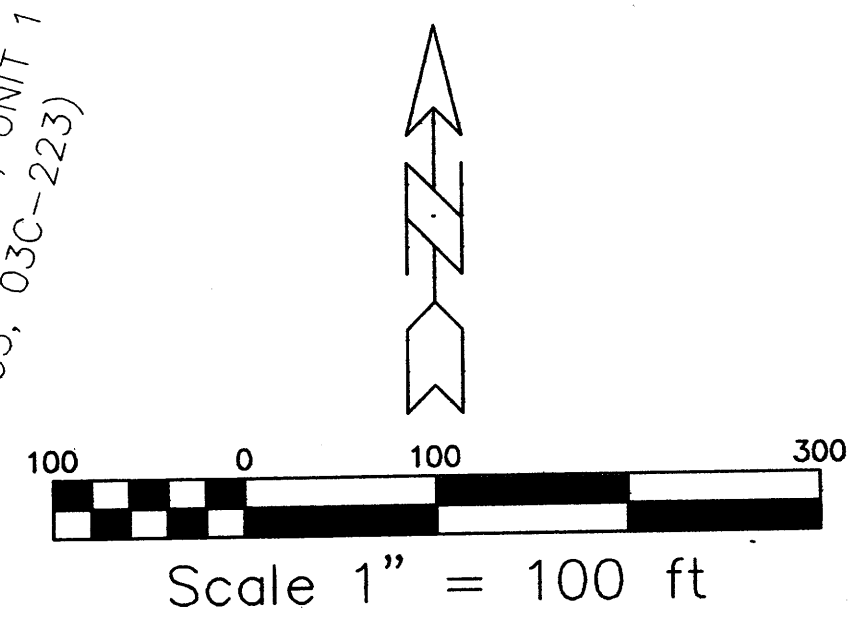
ALL ROADS WITHIN THIS DEVELOPMENT ARE PRIVATE ACCESS, PUBLIC DRAINAGE, WATER AND SANITARY SEWER EASEMENTS AND EXIST WITHIN TRACT X. THE SUN GATE ESTATES HOME OWNERS ASSOCIATION WILL OWN AND MAINTAIN PRIVATE STREETS WITHIN TRACT X. THE CITY OF ALBUQUERQUE WILL MAINTAIN ALL PUBLIC DRAINAGE, WATER AND SANITARY SEWER IMPROVEMENTS WITHIN TRACTS X, R AND V.

SALAZAR-DAVIS TRACTS
(05-06-86, C30-91)
TRACT 1

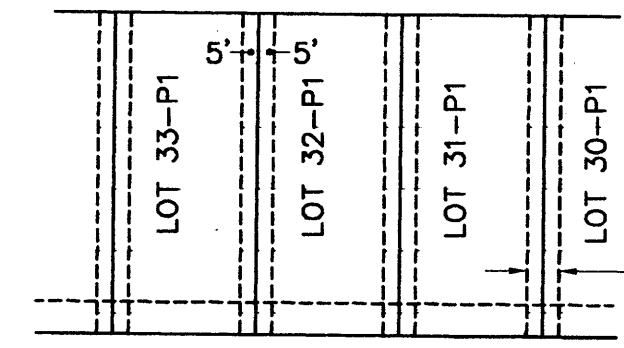
DR HORTON WILL OWN AND WILL BE RESPONSIBLE FOR TRACT Z.

NOTE:
SEE SHEET 2 OF 6 FOR EXISTING EASEMENTS

NOTE
SEE SHEET 6 OF 6 FOR CURVE DATA, LINE DATA, LOT AND TRACT AREAS.



Drawn By:	RJA	Date:	05-27-05
Checked By:	TA	Drawing Name:	01037SG1.DWG
Job No.:	01-037	Sheet:	3 of 6



A 10' Private Joint Use Drainage Easement shall be centered on adjoining side lot lines shown on this plat. The easement shall be maintained by the underlying property owners. (GRANTED BY THIS PLAT).



SHEET 3 OF 6
SHEET 4 OF 6

ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

DRAINAGE EASEMENT DETAIL
NOT TO SCALE

PLAT FOR
SUNGATE ESTATES SUBDIVISION
UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

NOTE

HOMEOWNERS ASSOCIATION WILL OWN TRACTS A THRU G, TRACTS M THRU R, TRACTS V THRU X. AND WILL BE RESPONSIBLE FOR MAINTENANCE INCLUDING STREET AND LANDSCAPE IMPROVEMENTS.

TRACTS R AND V, ARE LANDSCAPE TRACTS AND PUBLIC STORM DRAIN, SANITARY SEWER AND WATER LINE EASEMENTS.

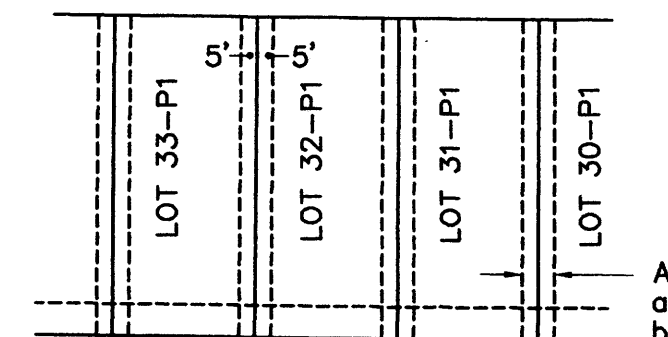
ALL ROADS WITHIN THIS DEVELOPMENT ARE PRIVATE ACCESS, PUBLIC DRAINAGE, WATER AND SANITARY SEWER EASEMENTS AND EXIST WITHIN TRACT X.

NOTE:

SEE SHEET 2 OF 6 FOR EXISTING EASEMENTS

NOTE

SEE SHEET 6 OF 6 FOR CURVE DATA, LINE DATA, LOT AND TRACT AREAS.



A 10' Private Joint Use Drainage Easement shall be centered on adjoining side lot lines shown on this plat. The easement shall be maintained by the underlying property owners. (GRANTED BY THIS PLAT).

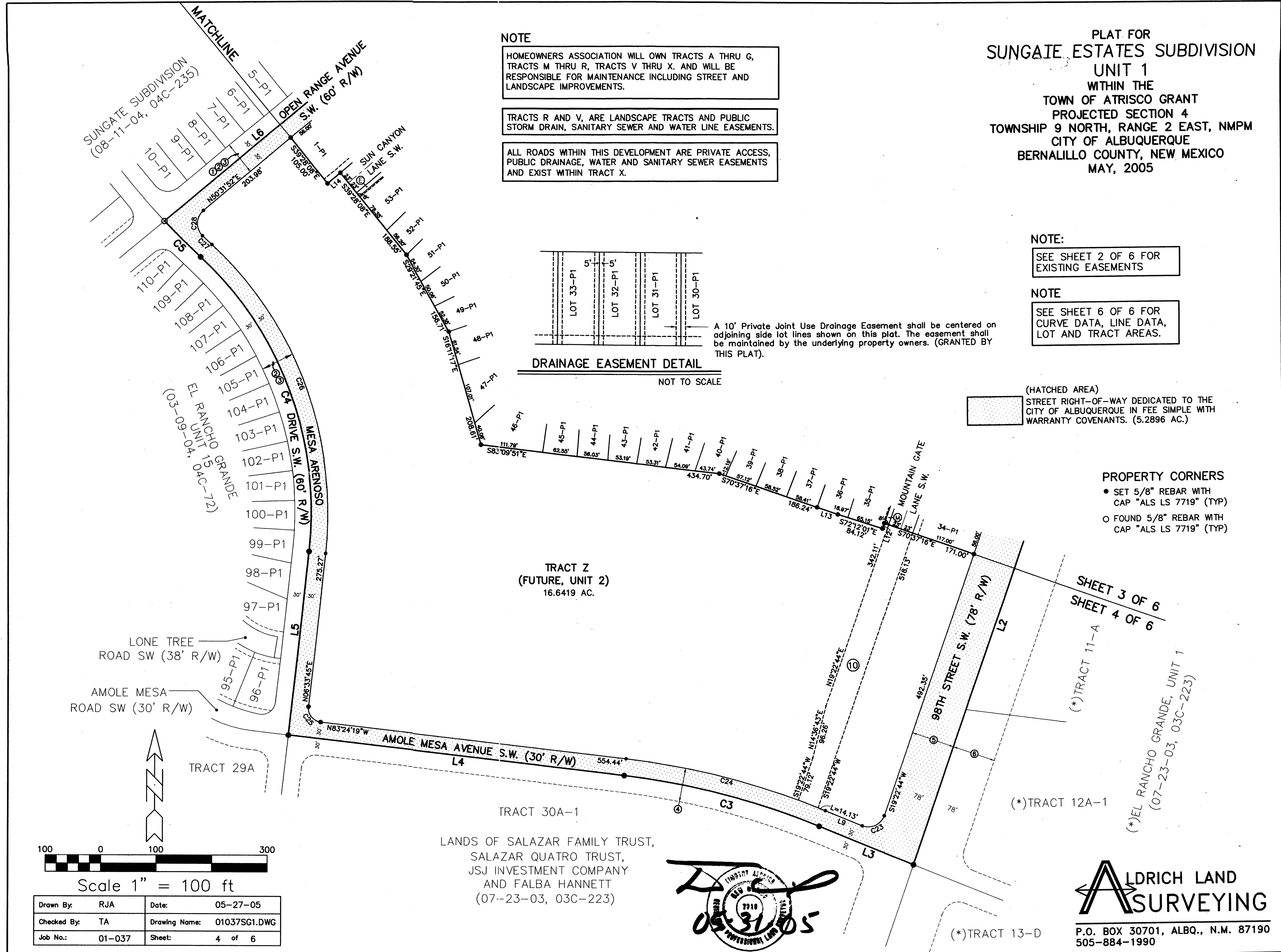
DRAINAGE EASEMENT DETAIL
 NOT TO SCALE

(HATCHED AREA)

STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. (5.2896 AC.)

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)



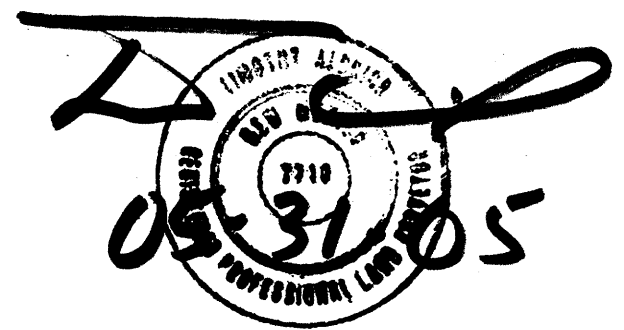
SHEET 3 OF 6
 SHEET 4 OF 6

(*)TRACT 11-A
 (*)EL RANCHO GRANDE, UNIT 1
 (07-23-03, 03C-223)

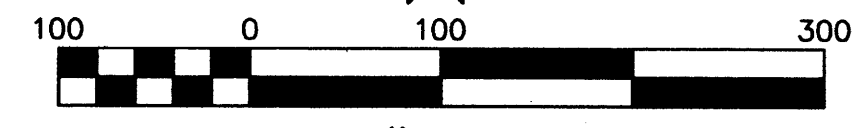
(*)TRACT 12A-1

(*)TRACT 13-D

LANDS OF SALAZAR FAMILY TRUST,
 SALAZAR QUATRO TRUST,
 JSJ INVESTMENT COMPANY
 AND FALBA HANNETT
 (07-23-03, 03C-223)



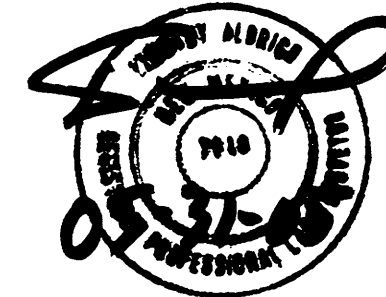
P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



Scale 1" = 100 ft

Drawn By:	RJA	Date:	05-27-05
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Job No.:	01-037	Sheet:	4 of 6

PLAT FOR
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MAY, 2005

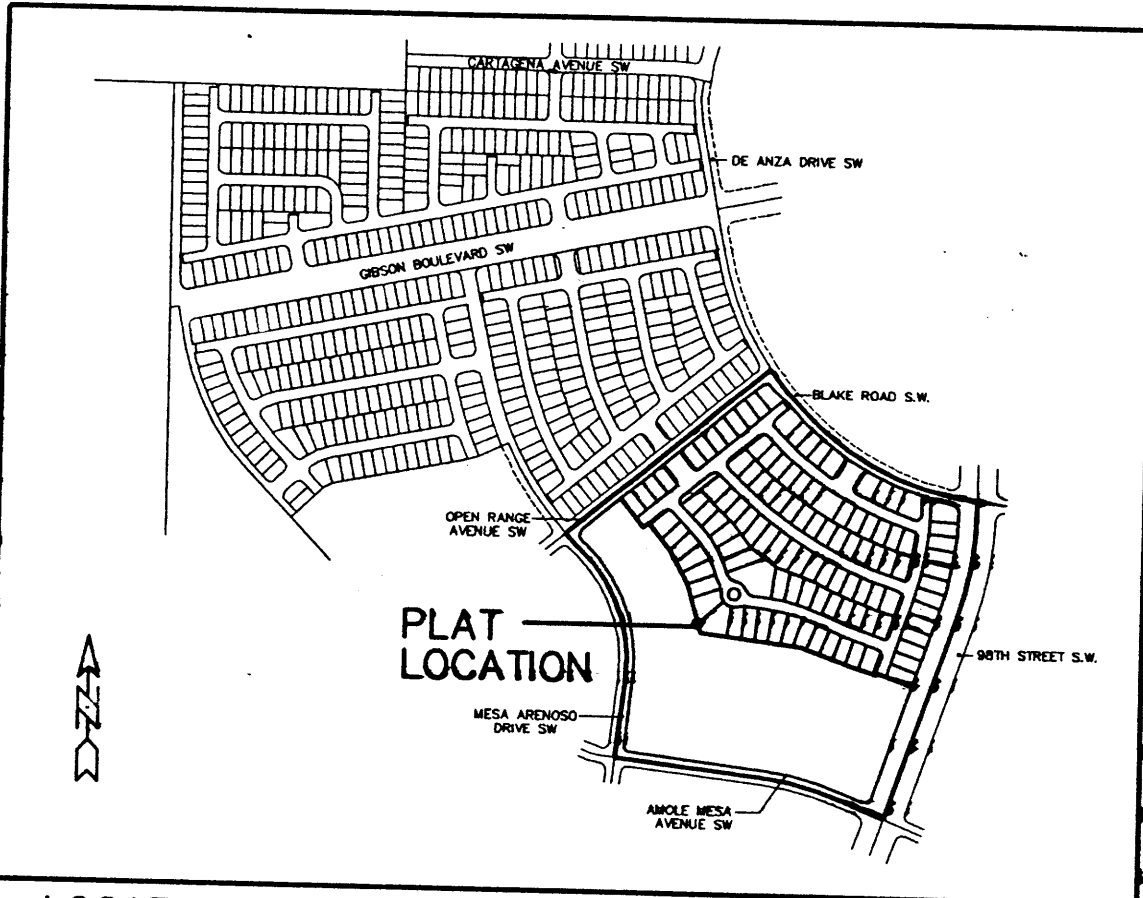


LOT	AREA	LOT	AREA
1-P1	0.1350 AC.	57-P1	0.1597 AC.
2-P1	0.1350 AC.	58-P1	0.1781 AC.
3-P1	0.1350 AC.	59-P1	0.2048 AC.
4-P1	0.1334 AC.	60-P1	0.1683 AC.
5-P1	0.1334 AC.	61-P1	0.1554 AC.
6-P1	0.1350 AC.	62-P1	0.1488 AC.
7-P1	0.1350 AC.	63-P1	0.1420 AC.
8-P1	0.1350 AC.	64-P1	0.1338 AC.
9-P1	0.1350 AC.	65-P1	0.1365 AC.
10-P1	0.1350 AC.	66-P1	0.1365 AC.
11-P1	0.1350 AC.	67-P1	0.1365 AC.
12-P1	0.1656 AC.	68-P1	0.1355 AC.
13-P1	0.1904 AC.	69-P1	0.1719 AC.
14-P1	0.1375 AC.	70-P1	0.1353 AC.
15-P1	0.1375 AC.	71-P1	0.1353 AC.
16-P1	0.1375 AC.	72-P1	0.1353 AC.
17-P1	0.1783 AC.	73-P1	0.1353 AC.
18-P1	0.1860 AC.	74-P1	0.1358 AC.
19-P1	0.1375 AC.	75-P1	0.1440 AC.
20-P1	0.1375 AC.	76-P1	0.1578 AC.
21-P1	0.2174 AC.	77-P1	0.1740 AC.
22-P1	0.1924 AC.	78-P1	0.1765 AC.
23-P1	0.1488 AC.	79-P1	0.1742 AC.
24-P1	0.1488 AC.	80-P1	0.1633 AC.
25-P1	0.1488 AC.	81-P1	0.1441 AC.
26-P1	0.1488 AC.	82-P1	0.1353 AC.
27-P1	0.1558 AC.	83-P1	0.1353 AC.
28-P1	0.1558 AC.	84-P1	0.1790 AC.
29-P1	0.1519 AC.	85-P1	0.1544 AC.
30-P1	0.1504 AC.	86-P1	0.1362 AC.
31-P1	0.1504 AC.	87-P1	0.1362 AC.
32-P1	0.1504 AC.	88-P1	0.1362 AC.
33-P1	0.1504 AC.	89-P1	0.1362 AC.
34-P1	0.1504 AC.	90-P1	0.1362 AC.
35-P1	0.1563 AC.	91-P1	0.1362 AC.
36-P1	0.1348 AC.	92-P1	0.1362 AC.
37-P1	0.1355 AC.	93-P1	0.1362 AC.
38-P1	0.1382 AC.	94-P1	0.1362 AC.
39-P1	0.1416 AC.	95-P1	0.1362 AC.
40-P1	0.1600 AC.	96-P1	0.1362 AC.
41-P1	0.1710 AC.	97-P1	0.1362 AC.
42-P1	0.1798 AC.	98-P1	0.1362 AC.
43-P1	0.1802 AC.	99-P1	0.1537 AC.
44-P1	0.1731 AC.	100-P1	0.1506 AC.
45-P1	0.1754 AC.	101-P1	0.1364 AC.
46-P1	0.2925 AC.	102-P1	0.1364 AC.
47-P1	0.2307 AC.	103-P1	0.1364 AC.
48-P1	0.1803 AC.	104-P1	0.1364 AC.
49-P1	0.1774 AC.	105-P1	0.1364 AC.
50-P1	0.1884 AC.	106-P1	0.1364 AC.
51-P1	0.1693 AC.	107-P1	0.1364 AC.
52-P1	0.1434 AC.	108-P1	0.1364 AC.
53-P1	0.1793 AC.	109-P1	0.1364 AC.
54-P1	0.1459 AC.	110-P1	0.1364 AC.
55-P1	0.1346 AC.	111-P1	0.1429 AC.
56-P1	0.1467 AC.		

TRACTS ○

TRACT A = 0.0148 AC.	TRACT N = 0.0339 AC.
TRACT B = 0.0148 AC.	TRACT O = 0.0342 AC.
TRACT C = 0.0336 AC.	TRACT P = 0.0146 AC.
TRACT D = 0.1128 AC.	TRACT Q = 0.0146 AC.
TRACT E = 0.0170 AC.	TRACT R = 0.0086 AC.
TRACT F = 0.4736 AC.	TRACT S = 0.0162 AC.
TRACT G = 0.0427 AC.	TRACT T = 0.0162 AC.
TRACT M = 0.0148 AC.	TRACT U = 0.0471 AC.
	TRACT V = 0.0471 AC.
	TRACT W = 0.2505 AC.
	TRACT X = 0.0471 AC.
	TRACT Y = 0.0471 AC.
	TRACT Z = 16.6419 AC.

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD	CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	1053.97'	48°13'59"	1252.00'	560.48'	S59°06'54"E	1023.12'	C99	15.72'	00°44'50"	1205.00'	7.86'	N19°00'19"E	15.72'
C2	469.21'	19°12'09"	1400.00'	236.82'	S59°06'42"E	(1023.61')	C100	736.61'	29°28'21"	1432.00'	376.65'	N58°28'20"W	728.51'
C3	364.09'	15°38'16"	1334.00'	183.18'	S09°46'39"W	(467.01')	C101	39.93'	01°35'51"	1432.00'	19.96'	N44°32'05"W	39.92'
C4	582.60'	54°11'22"	616.00'	315.15'	S09°46'24"W	(467.59')	C102	55.42'	02°13'03"	1432.00'	27.71'	N46°26'31"W	55.42'
C5	91.57'	03°55'58"	1334.00'	45.80'	N75°35'11"W	362.96'	C103	55.42'	02°13'03"	1432.00'	27.71'	N48°39'34"W	55.42'
C6	808.54'	32°52'43"	1409.00'	415.74'	N75°34'27"W	(363.52')	C104	55.42'	02°13'03"	1432.00'	27.71'	N50°52'37"W	55.42'
C7	418.92'	17°02'06"	1409.00'	211.02'	N20°31'56"W	561.13'	C105	55.42'	02°13'03"	1432.00'	27.71'	N53°05'40"W	55.42'
C8	389.62'	15°50'37"	1409.00'	196.06'	N20°41'43"W	(564.40')	C106	55.42'	02°13'03"	1432.00'	27.71'	N55°18'43"W	55.42'
C9	984.56'	33°56'30"	1662.00'	507.20'	N45°39'38"W	91.55'	C107	101.74'	04°04'14"	1432.00'	50.89'	N58°27'22"W	101.71'
C10	168.75'	05°02'56"	1915.00'	84.43'	N45°34'24"W	(87.84')	C108	55.42'	02°13'03"	1432.00'	27.72'	N61°36'00"W	55.42'
C11	183.79'	26°19'32"	400.00'	93.54'	N58°27'22"W	797.49'	C109	55.42'	02°13'03"	1432.00'	27.71'	N63°49'04"W	55.42'
C12	170.17'	65°00'00"	150.00'	95.56'	N50°26'38"W	417.38'	C110	55.42'	02°13'03"	1432.00'	27.71'	N66°02'07"W	55.42'
C13	268.67'	19°14'31"	800.00'	135.61'	N66°52'59"W	388.38'	C111	55.42'	02°13'03"	1432.00'	27.71'	N68°15'10"W	55.42'
C14	305.00'	09°07'32"	1915.00'	152.82'	N58°31'22"W	970.22'	C112	55.42'	02°13'03"	1432.00'	27.71'	N70°28'13"W	55.42'
C15	418.05'	20°15'52"	1182.00'	211.23'	N43°48'04"W	168.69'	C113	40.74'	01°37'46"	1432.00'	20.36'	N72°23'38"W	40.73'
C16	52.42'	02°32'27"	1182.00'	26.21'	N33°09'46"W	182.17'	C114	34.78'	79°42'08"	25.00'	20.87'	N73°21'27"W	32.04'
C17	254.15'	12°19'11"	1182.00'	127.57'	N65°52'59"W	388.38'	C115	14.00'	32°05'04"	25.00'	7.19'	N75°09'58"W	13.82'
C18	111.48'	05°24'13"	1182.00'	55.78'	N58°31'22"W	970.22'	C116	20.78'	47°37'04"	25.00'	11.03'	N77°18'54"W	20.18'
C19	27.00'	51°34'11"	30.00'	14.49'	N43°48'04"W	168.69'	C117	161.47'	07°58'57"	1159.00'	80.87'	N10°29'06"E	161.34'
C20	841.67'	37°36'58"	1282.00'	436.63'	N33°09'46"W	182.17'	C118	40.01'	91°41'59"	25.00'	25.75'	N60°19'34"E	35.88'
C21	41.71'	79°39'11"	30.00'	25.02'	N52°30'00"W	161.19'	C119	20.78'	47°37'04"	25.00'	11.03'	N38°17'06"E	20.18'
C22	426.47'	18°29'00"	1322.00'	215.10'	N75°22'44"W	267.41'	C120	19.23'	44°04'55"	25.00'	10.12'	N84°08'06"E	18.76'
C23	48.62'	92°51'13"	30.00'	31.53'	N70°19'15"W	304.68'	C121	872.59'	30°30'14"	1639.00'	446.90'	N58°34'20"W	862.32'
C24	372.26'	15°38'16"	1364.00'	187.30'	N09°14'48"E	415.87'	C122	51.16'	01°47'20"	1639.00'	25.58'	N72°55'47"W	51.16'
C25	39.26'	89°58'04"	25.00'	24.99'	N18°06'30"E	52.41'	C123	59.20'	02°04'10"	1639.00'	29.60'	N71°00'03"W	59.20'
C26	610.98'	54°11'22"	646.00'	330.50'	N10°40'41"E	253.67'	C124	59.20'	02°04'10"	1639.00'	29.60'	N68°55'53"W	59.20'
C27	23.24'	01°01'16"	1304.00'	11.62'	N01°48'59"E	111.43'	C125	59.20'	02°04'10"	1639.00'	29.60'	N66°51'42"W	59.20'
C28	50.86'	97°08'13"	30.00'	33.99'	N76°18'58"E	26.00'	C126	59.20'	02°04'10"	1639.00'	29.60'	N64°47'32"W	59.20'
C29	38.04'	01°42'01"	1282.00'	19.02'	N59°56'57"E	826.63'	C127	59.20'	02°04'10"	1639.00'	29.60'	N62°43'22"W	59.20'
C30	75.14'	03°21'30"	1282.00'	37.58'	N38°55'51"W	38.43'	C128	59.20'	02°04'10"	1639.00'	29.60'	N60°39'12"W	59.20'
C31	55.34'	02°28'23"	1282.00'	27.67'	N10°08'14"E	424.62'	C129	59.20'	02°04'10"	1639.00'	29.60'	N58°35'02"W	59.20'
C32	55.34'	02°28'23"	1282.00'	27.67'	N65°48'20"E	43.47'	C130	59.20'	02°04'10"	1639.00'	29.60'	N56°30'52"W	59.20'
C33	55.34'	02°28'23"	1282.00'	27.67'	N75°30'51"W	371.12'	C131	59.20'	02°04'10"	1639.00'	29.60'	N54°26'42"W	59.20'
C34	54.77'	02°28'23"	1282.00'	27.39'	N38°25'17"W	35.35'	C132	59.20'	02°04'10"	1639.00'	29.60'	N52°22'31"W	59.20'
C35	64.77'	02°53'40"	1282.00'	32.39'	N20°31'56"W	588.46'	C133	59.20'	02°04'10"	1639.00'	29.60'	N50°18'21"W	59.20'
C36	64.77'	02°53'40"	1282.00'	32.39'	N47°06'59"W	23.24'	C134	59.20'	02°04'10"	1639.00'	29.60'	N48°14'11"W	59.20'
C37	57.88'	02°35'13"	1282.00'	28.95'	N01°57'45"E	44.98'	C135	59.20'	02°04'10"	1639.00'	29.60'	N46°10'01"W	59.20'
C38	55.34'	02°28'23"	1282.00'	27.67'	N41°59'28"W	38.04'	C136	51.83'	01°48'44"	1639.00'	25.92'	N44°13'35"W	51.83'
C39	55.34'	02°28'23"	1282.00'	27.67'	N44°31'13"W	75.13'	C137	40.95'	93°51'05"	25.00'	26.74'	N03°36'19"E	36.52'
C40	73.89'	03°18'09"	1282.00'	36.96'	N47°26'10"W	55.33'	C138	20.37'	46°41'42"	25.00'	10.79'	N19°58'22"W	19.82'
C41	40.00'	01°47'16"	1282.00'	20.00'	N49°54'33"W	55.33'	C139	20.58'	47°09'23"	25.00'	10.91'	N26°57'11"E	20.00'
C42	85.28'	03°48'41"	1282.00'	42.66'	N52°22'56"W	55.33'	C140	37.41'	85°43'58"	25.00'	23.20'	S86°36'09"E	34.01'
C43	44.93'	01°57'17"	1317.00'	22.47'	N54°50'34"W	54.77'	C141	20.58'	47°09'23"	25.00'	10.91'	N74°06'33"E	20.00'
C44	60.46'	02°37'49"	1317.00'	30.23'	N57°30'51"W	64.76'	C142	16.83'	38°34'35"	25.00'	8.75'	N63°49'04"E	16.52'
C45	60.46'	02°37'49"	1317.00'	30.23'	N60°24'31"W	64.76'	C143	197.29'	09°49'16"	1151.00'	98.89'	N10°29'06"E	197.05'
C46	60.46'	02°37'49"	1317.00'	30.23'	N63°08'58"W	57.88'	C144	100.61'	05°00'30"	50.34'	50.34'	N08°04'43"E	100.58'
C47	60.46'	02°37'49"	1317.00'	30.23'	N65°40'46"W	55.33'	C145	96.68'	04°48'46"	1151.00'	48.37'	N12°59'21"E	96.66'
C48	60.69'	02°37'49"	1322.00'	30.35'	N68°09'09"W	55.33'	C146	72.19'	02°41'37"	1535.50'	36.10'	N72°55'33"W	72.18'
C49	60.69'	02°37'49"	1322.00'	30.35'	N71°02'25"W	73.88'	C147	59.43'	02°13'03"	1535.50'	29.72'	N70°28'13"W	59.43'
C50	17.24'	00°44'50"	1322.00'	8.62'	N73°35'07"W	40.00'	C148	59.43'	02°13'03"	1535.50'	29.72'	N68°15'10"W	59.43'
C51	39.27'	90°00'00"	25.00'	25.00'	S76°51'06"E	85.26'	C149	59.43'	02°13'03"	1535.50'	29.72'	N66°02'07"W	59.43'
C52	18.69'	42°50'37"	25.00'	9.81'	N01°57'11"E	44.93'	C150	59.43'	02°13'03"	1535.50'	29.72'	N63°49'04"W	59.43'
C53	20.58'	47°09'23"	25.00'	10.91'	N04°09'56"E	60.45'	C151	59.43'	02°13'03"	1535.50'	29.72'	N61°36'00"W	59.43'
C54	39.27'	90°00'00"	25.00'	25.00'	N06°47'44"E	60.45'	C152	109.09'	04°04'14"	1535.50'	54.57'	N58°27'22"W	109.07'
C55	20.58'	47°09'23"	25.00'	10.91'	N09°25'33"E	60.45'	C153	59.43'	02°13'03"	1535.50'	29.72'	N55°18'43"W	59.43'
C56	18.69'	42°50'37"											



LOCATION MAP NOT TO SCALE

PURPOSE OF PLAT

- To create 111 lots and 18 tracts as shown hereon.
- To grant easements as shown hereon.
- To dedicate street right-of-way as shown hereon to the City of Albuquerque in fee simple with warranty covenants.

SUBDIVISION DATA

- Project No.: Application No.:
- Zone Atlas Index No.: N-9-Z
- Total Number of Lots created: 111
- Total Number of existing Tracts: 1
- Total Number of Tracts created: 18
- Miles of Full Width Streets created: 0.8920 Mi.
- Gross Subdivision Acreage: 45.0015 Ac.

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 PLAT OF "SALAZAR - DAVIS TRACTS", (05-06-86, C30-94)
 PLAT OF "LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT", (07-23-03, 03C-223)
 PLAT OF "LANDS OF CURB, INC.", (11-25-03, 03C-357)
 PLAT OF "LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT", (11-25-03, 03C-357)
 PLAT OF "SUNGATE SUBDIVISION", (08-11-04, 04C-235)
 PLAT OF "EL RANCHO GRANDE, UNIT 1", (07-23-03, 03C-223)
 CORRECTION PLAT "EL RANCHO GRANDE, TRACTS 14, 15 & 16", (03-09-04, 04C-72)
 all being records of Bernalillo County, New Mexico.
- Field Survey performed on March, 2003.
- Title Report: None provided.
- Address of Property: None provided.
- City of Albuquerque, New Mexico Zone: R-2 FOR R-T AND RL
- Utility Council Location System Log No.: 2004391885
- Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719".
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cop stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
- No individual lots shall be allowed direct access to 98th Street S.W., Blake Road S.W., Mesa Arenoso Drive S.W., Open Range Avenue S.W. & Amole Mesa Avenue S.W.
- All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 31A-1-A, LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 25, 2003 in Book 2003C, Page 357 and containing 45.0015 acres more or less.



PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
- PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Telecommunications for installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
- Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 111 lots and 18 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate public right-of-way to the City of Albuquerque in fee simple with Warranty Covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner warrants that he holds complete and in-defeasible title in fee simple to the land subdivided.

Owner(s): D.R. HORTON, INC.

J. Mark Ferguson
 J. MARK FERGUSON, DIVISION PRESIDENT
 STATE OF NEW MEXICO)
 BERNALILLO COUNTY) ss
 On this 1st day of June, 2005, this instrument was acknowledged before me by J. Mark Ferguson, Division President of D.R. Horton, Inc., a Delaware Corporation.
Kathryn Chavez-Edwell
 Kathryn Chavez-Edwell
 My Commission Expires 10-14-05



PLAT FOR
 SUNGATE ESTATES SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

PROJECT NUMBER: 1003591
 Application Number: 05-00996

PLAT APPROVAL

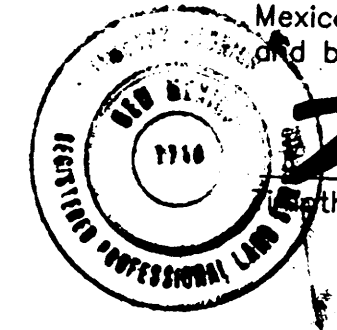
Utility Approvals:

<i>Leah G. Marks</i> PNM Electric Services Division	6-7-05	Date
<i>Leah G. Marks</i> PNM Gas Services Division	6-7-05	Date
<i>Michael B...</i> Qwest Telecommunications	6-21-05	Date
<i>George...</i> Comcast	6-7-05	Date
City Approvals:		
<i>Ch B...</i> City Surveyor	6-6-05	Date
<i>N/A</i> Real Property Division	6/22/05	Date
<i>N/A</i> Environmental Health Department	6/22/05	Date
<i>...</i> Traffic Engineering, Transportation Division	6-22-05	Date
<i>Roger A. Green</i> Water Utility Department	6-22-05	Date
<i>Christina Sandomal</i> Parks and Recreation Department	7/8/05	Date
<i>Bradley J. Bingham</i> AMAFCA	6/22/05	Date
<i>Bradley J. Bingham</i> City Engineer	6/22/05	Date
<i>Sharon Watson</i> DRB Chairperson, Planning Department	7/11/05	Date

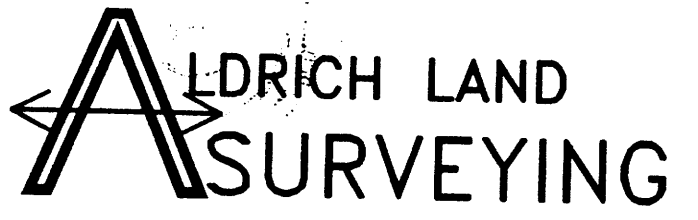
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 009-054-186-335-20106 PROPERTY OWNER OF RECORD
Ch. Norton Inc
 BERNALILLO COUNTY TREASURER'S OFFICE.
Aron Andrade 7-11-05

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and-meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."



Timothy Aldrich
 Timothy Aldrich, S. No. 7719
 Date 05-31-05



Drawn By: RJA	Date: 05-27-05
Checked By: TA	Drawing Name: 010375G1.DWG
Job No.: 01-037	Sheet: 1 of 6

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

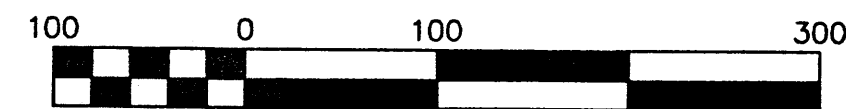
PLAT FOR
 SUNGATE ESTATES SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005



EXISTING EASEMENTS

- ① EXISTING 60' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
- ② EXISTING 60' PUBLIC ACCESS, WATERLINE AND SANITARY SEWER EASEMENT (04-17-01, A18-456)
- ③ EXISTING 60' PUBLIC ACCESS EASEMENT (07-23-03, 03C-223)
- ④ EXISTING 60' PUBLIC ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT (07-23-03, 03C-223)
- ⑤ EXISTING 78' TEMPORARY PUBLIC ROADWAY EASEMENT (07-23-03, 03C-223)
- ⑥ EXISTING 78' PUBLIC ROADWAY AND PUBLIC UTILITY EASEMENT (03-21-03, 03C-73)
- ⑥ EXISTING 78' PUBLIC ROADWAY AND PUBLIC UTILITY EASEMENT (03-21-03, 03C-73)

SHEET 3 OF 6
 SHEET 4 OF 6



Scale 1" = 100 ft

Drawn By: RJA	Date: 05-27-05
Checked By: TA	Drawing Name: 01037SG1.DWG
Job No.: 01-037	Sheet: 2 of 6



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

EASEMENT

- ⑦ 10' PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)
- ⑧ PNM EASEMENT (GRANTED BY THIS PLAT)
- ⑨ PUBLIC WATERLINE EASEMENT (GRANTED BY THIS PLAT)
- ⑩ 46' PUBLIC WATER, SANITARY SEWER AND STORM DRAIN EASEMENT (GRANTED BY THIS PLAT)

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

(HATCHED AREA)
STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. (5.2896 AC.)

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Page: 3 of 6
07/11/2005 04:47P
Mary Herrera Bern. Co. PLRT R 32.00 Bk-2005C Pg-245

**PLAT FOR
SUNGATE ESTATES SUBDIVISION
UNIT 1
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2005**

NOTE

HOMEOWNERS ASSOCIATION WILL OWN TRACTS A THRU G, TRACTS M THRU R, TRACTS V THRU Y. AND WILL BE RESPONSIBLE FOR MAINTENANCE OF STREET AND LANDSCAPE IMPROVEMENTS.

TRACTS R AND V, ARE LANDSCAPE TRACTS AND PUBLIC STORM DRAIN, SANITARY SEWER AND WATER LINE EASEMENTS.

ALL ROADS WITHIN THIS DEVELOPMENT ARE PRIVATE ACCESS, PUBLIC DRAINAGE, WATER, SANITARY SEWER AND PUBLIC UTILITY EASEMENTS AND EXIST WITHIN TRACT X. THE SUNGATE ESTATES HOME OWNERS ASSOCIATION WILL OWN AND MAINTAIN PRIVATE STREETS WITHIN TRACT X. THE CITY OF ALBUQUERQUE WILL MAINTAIN ALL PUBLIC DRAINAGE, WATER AND SANITARY SEWER IMPROVEMENTS WITHIN TRACTS X, R AND V.

SALAZAR-DAVIS TRACTS
(05-06-86, C30-91)
TRACT 1

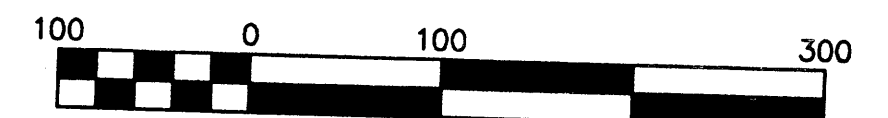
DR HORTON WILL OWN AND WILL BE RESPONSIBLE FOR TRACT Z.

NOTE:

SEE SHEET 2 OF 6 FOR EXISTING EASEMENTS

NOTE

SEE SHEET 6 OF 6 FOR CURVE DATA, LINE DATA, LOT AND TRACT AREAS.



Scale 1" = 100 ft

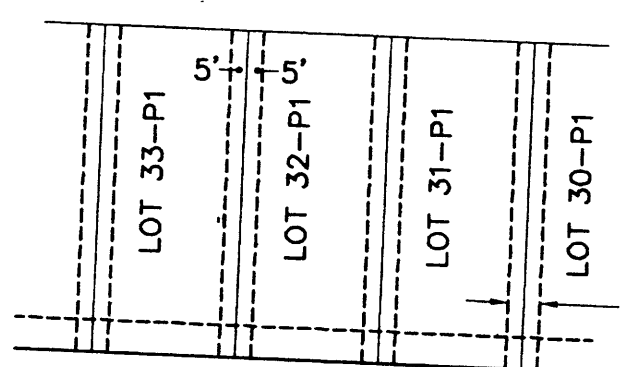
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Job No.: 01-037	Sheet: 3 of 6

**ALDRICH LAND
SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990



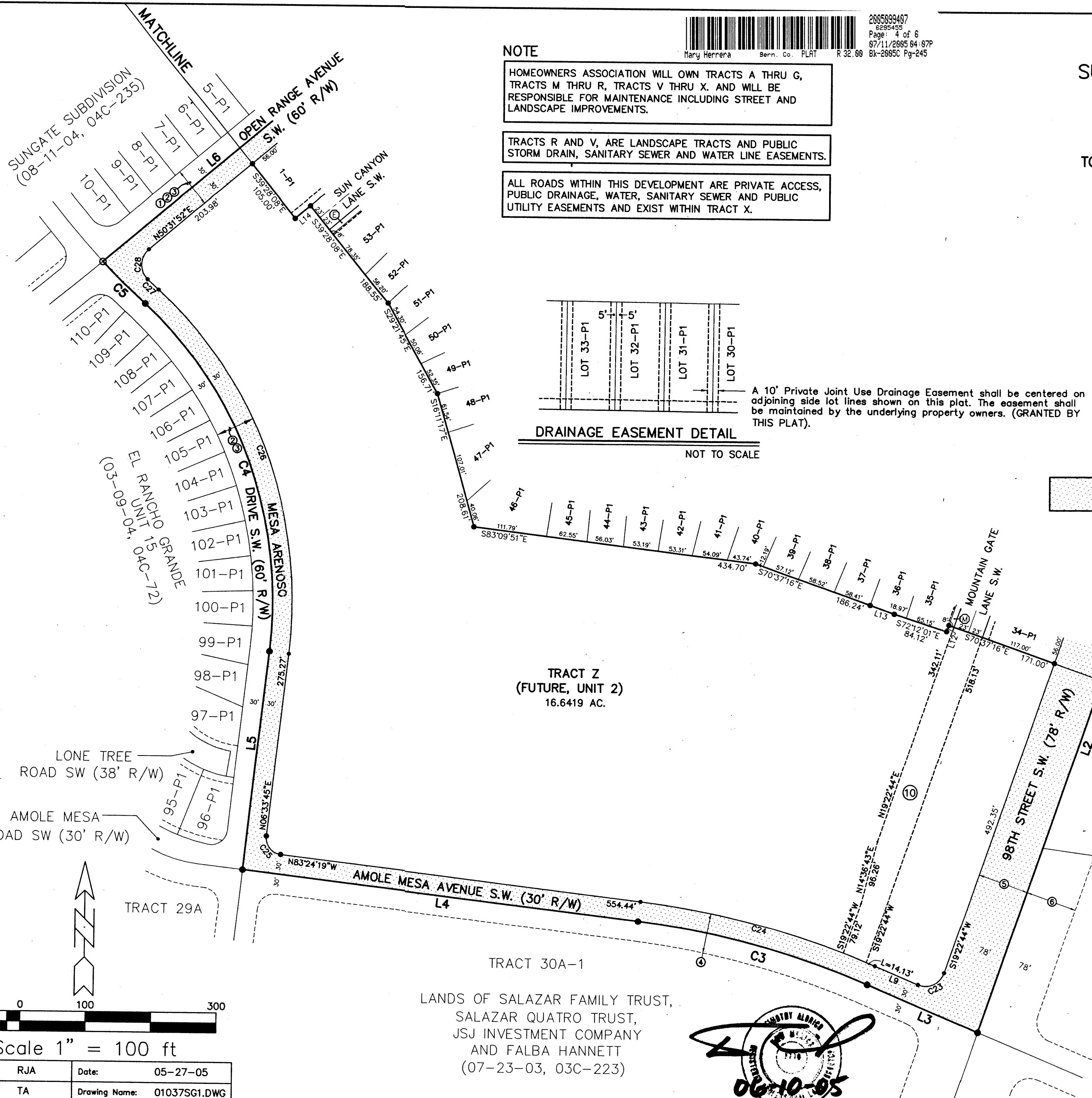
TRACT Z
(FUTURE, UNIT 2)



A 10' Private Joint Use Drainage Easement shall be centered on adjoining side lot lines shown on this plat. The easement shall be maintained by the underlying property owners. (GRANTED BY THIS PLAT).

DRAINAGE EASEMENT DETAIL
NOT TO SCALE

SHEET 3 OF 6
SHEET 4 OF 6



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 Page: 4 of 6
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 Bk-2005C Pg-245

NOTE

HOMEOWNERS ASSOCIATION WILL OWN TRACTS A THRU G, TRACTS M THRU R, TRACTS V THRU X. AND WILL BE RESPONSIBLE FOR MAINTENANCE INCLUDING STREET AND LANDSCAPE IMPROVEMENTS.

TRACTS R AND V, ARE LANDSCAPE TRACTS AND PUBLIC STORM DRAIN, SANITARY SEWER AND WATER LINE EASEMENTS.

ALL ROADS WITHIN THIS DEVELOPMENT ARE PRIVATE ACCESS, PUBLIC DRAINAGE, WATER, SANITARY SEWER AND PUBLIC UTILITY EASEMENTS AND EXIST WITHIN TRACT X.

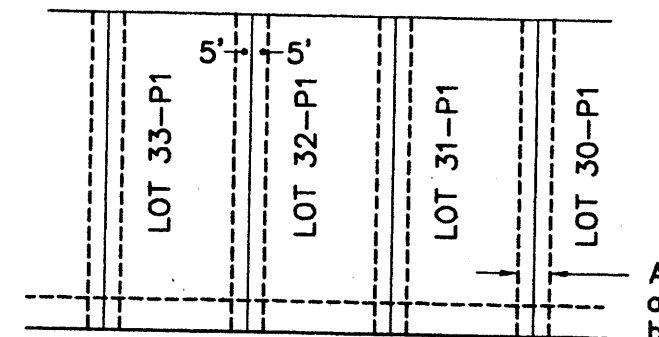
**PLAT FOR
 SUNGATE ESTATES SUBDIVISION
 UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005**

NOTE:

SEE SHEET 2 OF 6 FOR EXISTING EASEMENTS

NOTE

SEE SHEET 6 OF 6 FOR CURVE DATA, LINE DATA, LOT AND TRACT AREAS.



A 10' Private Joint Use Drainage Easement shall be centered on adjoining side lot lines shown on this plat. The easement shall be maintained by the underlying property owners. (GRANTED BY THIS PLAT).

DRAINAGE EASEMENT DETAIL

NOT TO SCALE

(HATCHED AREA)

STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. (5.2896 AC.)

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

**TRACT Z
 (FUTURE, UNIT 2)
 16.6419 AC.**

SHEET 3 OF 6
 SHEET 4 OF 6

(*)TRACT 11-A

(*)EL RANCHO GRANDE, UNIT 1
 (07-23-03, 03C-223)

(*)TRACT 12A-1

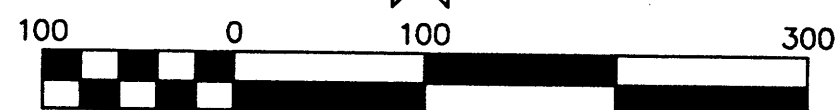
(*)TRACT 13-D

LANDS OF SALAZAR FAMILY TRUST,
 SALAZAR QUATRO TRUST,
 JSJ INVESTMENT COMPANY
 AND FALBA HANNETT
 (07-23-03, 03C-223)



**ALDRICH LAND
 SURVEYING**

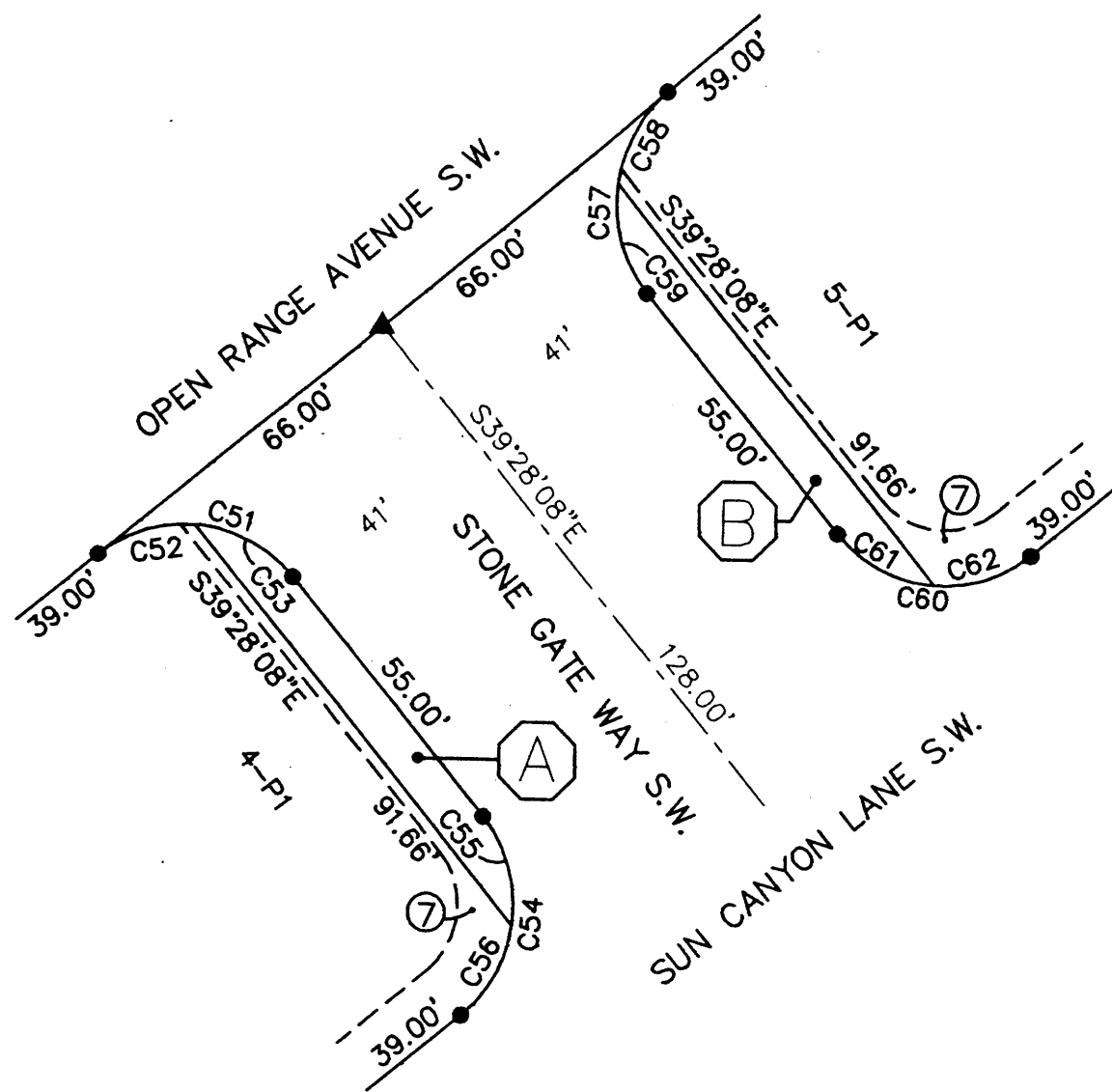
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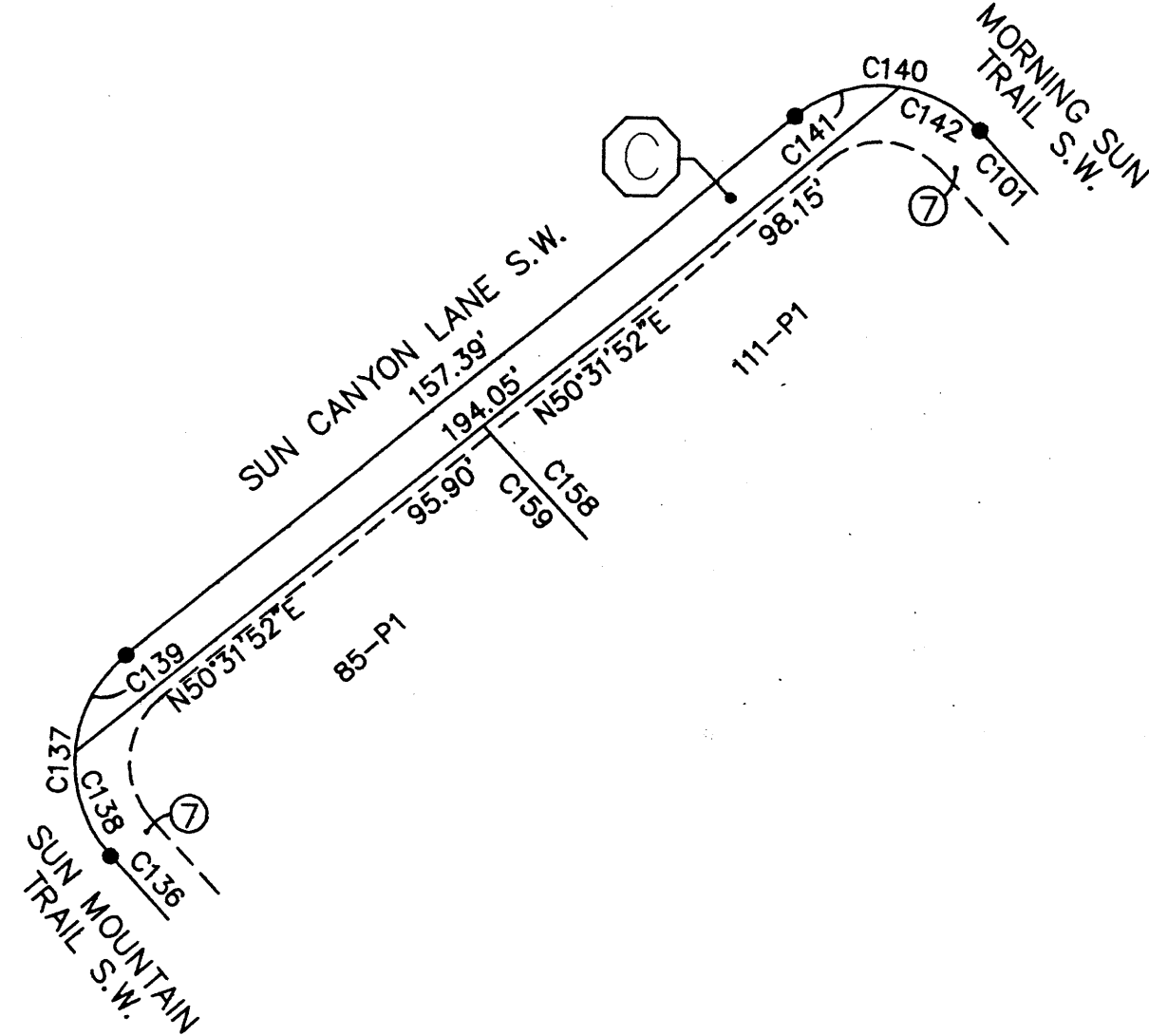
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Job No.:	01-037	Sheet:	4 of 6

PLAT FOR
 SUNGATE ESTATES SUBDIVISION
 UNIT 1
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 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005



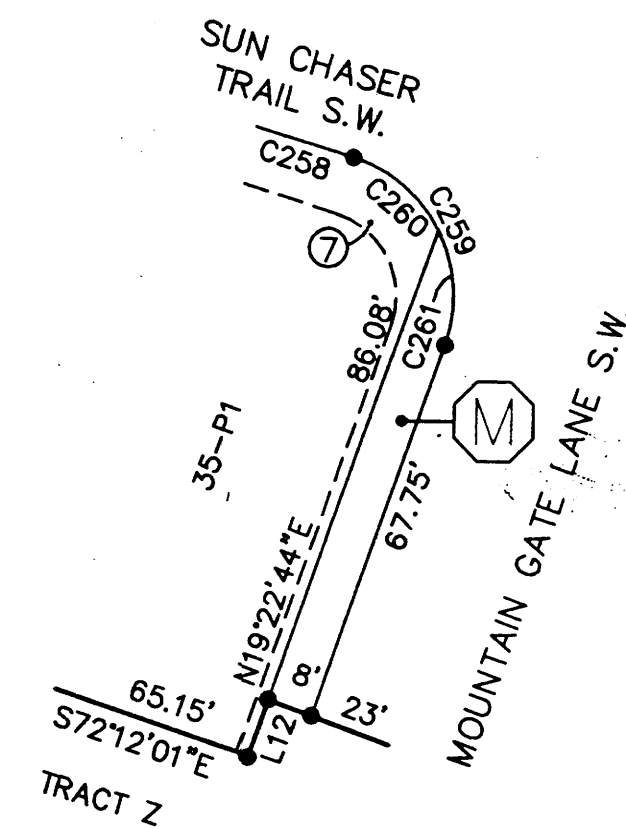
DETAIL- TRACTS A AND B

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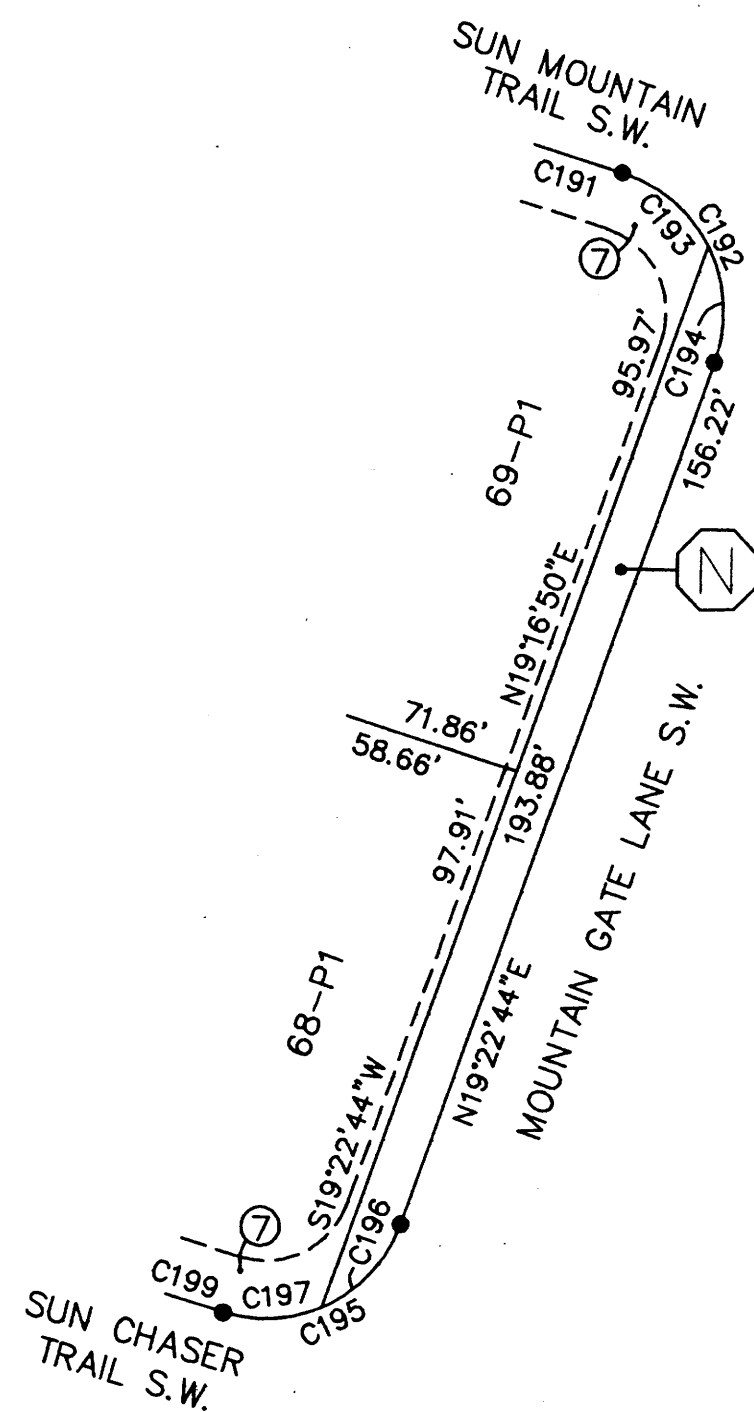
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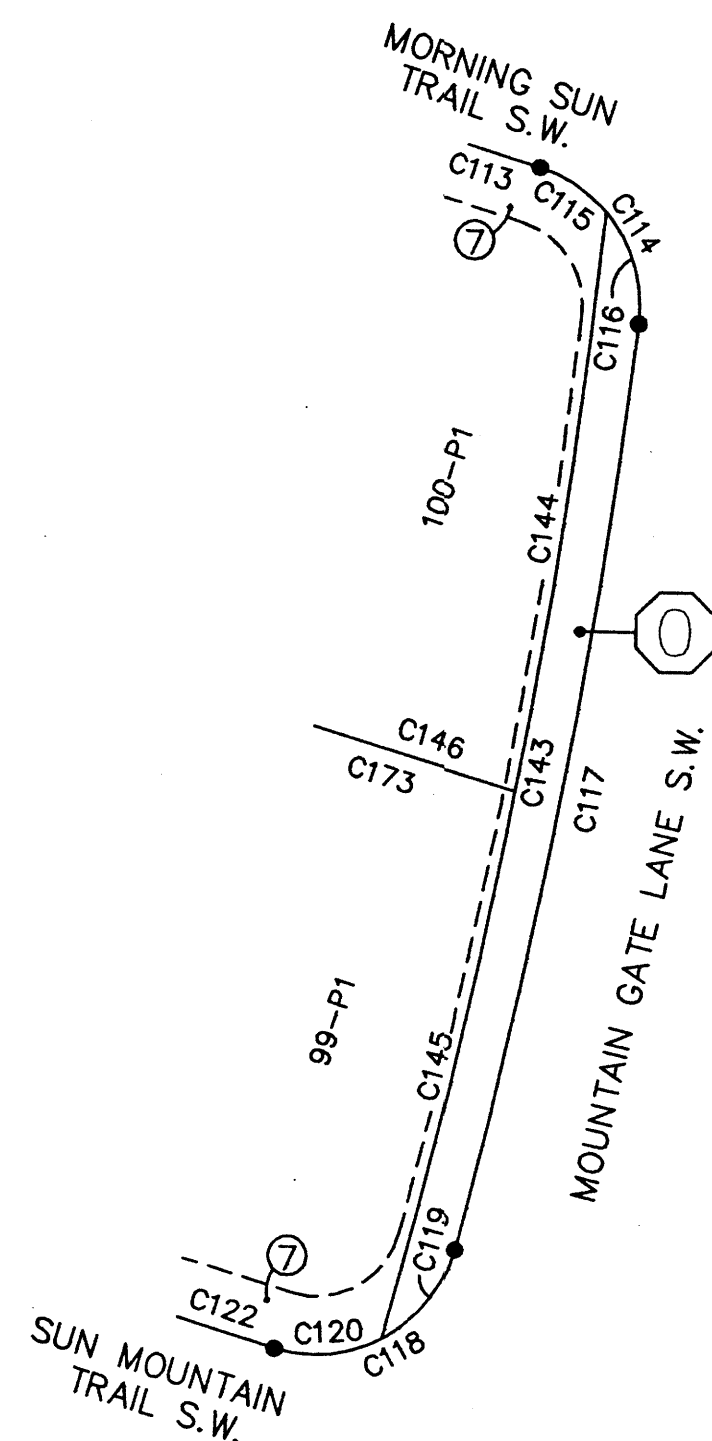
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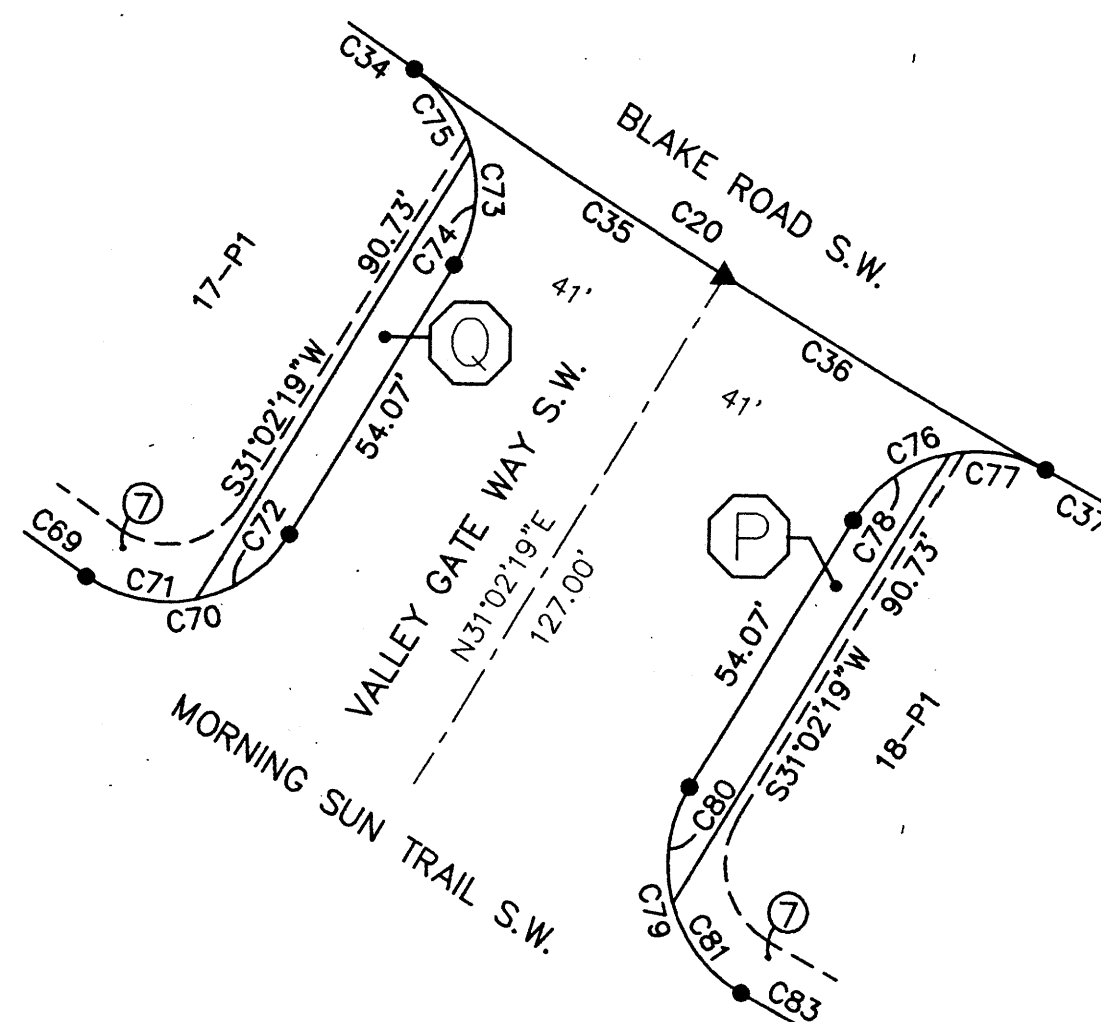
DETAIL- TRACT N

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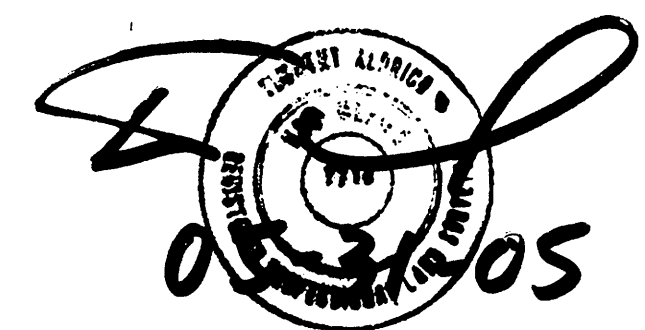
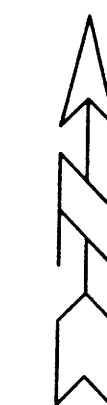
DETAIL- TRACT O

NOT TO SCALE



DETAIL- TRACTS P AND Q

NOT TO SCALE



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Drawn By:	RJA	Date:	05-27-05
Checked By:	TA	Drawing Name:	01037SG1.DWG
Job No.:	01-037	Sheet:	5 of 6

PLAT FOR
SUNGATE ESTATES SUBDIVISION
UNIT 1
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 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

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 Page 6 of 6
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LOT	AREA	LOT	AREA
1-P1	0.1350 AC.	57-P1	0.1597 AC.
2-P1	0.1350 AC.	58-P1	0.1781 AC.
3-P1	0.1350 AC.	59-P1	0.2048 AC.
4-P1	0.1334 AC.	60-P1	0.1683 AC.
5-P1	0.1334 AC.	61-P1	0.1554 AC.
6-P1	0.1350 AC.	62-P1	0.1488 AC.
7-P1	0.1350 AC.	63-P1	0.1420 AC.
8-P1	0.1350 AC.	64-P1	0.1338 AC.
9-P1	0.1350 AC.	65-P1	0.1365 AC.
10-P1	0.1350 AC.	66-P1	0.1365 AC.
11-P1	0.1350 AC.	67-P1	0.1365 AC.
12-P1	0.1656 AC.	68-P1	0.1355 AC.
13-P1	0.1904 AC.	69-P1	0.1719 AC.
14-P1	0.1375 AC.	70-P1	0.1353 AC.
15-P1	0.1375 AC.	71-P1	0.1353 AC.
16-P1	0.1375 AC.	72-P1	0.1353 AC.
17-P1	0.1783 AC.	73-P1	0.1353 AC.
18-P1	0.1860 AC.	74-P1	0.1358 AC.
19-P1	0.1375 AC.	75-P1	0.1440 AC.
20-P1	0.1375 AC.	76-P1	0.1578 AC.
21-P1	0.2174 AC.	77-P1	0.1740 AC.
22-P1	0.1924 AC.	78-P1	0.1765 AC.
23-P1	0.1488 AC.	79-P1	0.1742 AC.
24-P1	0.1488 AC.	80-P1	0.1633 AC.
25-P1	0.1488 AC.	81-P1	0.1441 AC.
26-P1	0.1488 AC.	82-P1	0.1353 AC.
27-P1	0.1558 AC.	83-P1	0.1353 AC.
28-P1	0.1558 AC.	84-P1	0.1790 AC.
29-P1	0.1519 AC.	85-P1	0.1544 AC.
30-P1	0.1504 AC.	86-P1	0.1362 AC.
31-P1	0.1504 AC.	87-P1	0.1362 AC.
32-P1	0.1504 AC.	88-P1	0.1362 AC.
33-P1	0.1504 AC.	89-P1	0.1362 AC.
34-P1	0.1504 AC.	90-P1	0.1362 AC.
35-P1	0.1504 AC.	91-P1	0.1362 AC.
36-P1	0.1348 AC.	92-P1	0.1362 AC.
37-P1	0.1355 AC.	93-P1	0.1362 AC.
38-P1	0.1382 AC.	94-P1	0.1362 AC.
39-P1	0.1416 AC.	95-P1	0.1362 AC.
40-P1	0.1600 AC.	96-P1	0.1362 AC.
41-P1	0.1710 AC.	97-P1	0.1362 AC.
42-P1	0.1798 AC.	98-P1	0.1362 AC.
43-P1	0.1802 AC.	99-P1	0.1537 AC.
44-P1	0.1731 AC.	100-P1	0.1506 AC.
45-P1	0.1754 AC.	101-P1	0.1364 AC.
46-P1	0.2925 AC.	102-P1	0.1364 AC.
47-P1	0.2307 AC.	103-P1	0.1364 AC.
48-P1	0.1803 AC.	104-P1	0.1364 AC.
49-P1	0.1774 AC.	105-P1	0.1364 AC.
50-P1	0.1884 AC.	106-P1	0.1364 AC.
51-P1	0.1693 AC.	107-P1	0.1364 AC.
52-P1	0.1434 AC.	108-P1	0.1364 AC.
53-P1	0.1793 AC.	109-P1	0.1364 AC.
54-P1	0.1459 AC.	110-P1	0.1364 AC.
55-P1	0.1346 AC.	111-P1	0.1429 AC.
56-P1	0.1467 AC.		

TRACTS ○

TRACT A = 0.0148 AC.	TRACT N = 0.0339 AC.
TRACT B = 0.0148 AC.	TRACT O = 0.0339 AC.
TRACT C = 0.0336 AC.	TRACT P = 0.0146 AC.
TRACT D = 0.1128 AC.	TRACT Q = 0.0146 AC.
TRACT E = 0.0170 AC.	TRACT R = 0.0086 AC.
TRACT F = 0.4736 AC.	TRACT V = 0.0162 AC.
TRACT G = 0.0427 AC.	TRACT W = 0.2505 AC.
TRACT M = 0.0148 AC.	TRACT X = 5.0130 AC.
	TRACT Y = 0.0471 AC.
	TRACT Z = 16.6419 AC.

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD	CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	1053.97'	48°13'59"	1252.00'	560.48'	S59°06'54"E	1023.12'							
C2	469.21'	19°12'09"	1400.00'	236.82'	S09°46'39"W	467.01'							
C3	364.09'	15°38'16"	1334.00'	183.18'	N75°35'11"W	362.96'							
C4	582.60'	54°11'22"	616.00'	315.15'	N20°31'56"W	561.13'							
C5	91.57'	03°55'58"	1334.00'	45.80'	N45°39'38"W	91.55'							
C6	808.54'	32°52'43"	1409.00'	415.74'	N58°21'56"W	797.49'							
C7	418.92'	17°02'06"	1409.00'	211.02'	N50°26'38"W	417.38'							
C8	389.62'	15°50'37"	1409.00'	196.06'	N66°52'59"W	388.38'							
C9	984.56'	33°56'30"	1602.00'	507.20'	N58°31'22"W	970.22'							
C10	168.75'	05°02'56"	1915.00'	84.43'	N43°48'04"W	168.69'							
C11	183.79'	26°19'32"	400.00'	93.54'	N33°09'46"W	182.17'							
C12	170.17'	65°00'00"	150.00'	95.56'	N52°30'00"W	161.19'							
C13	268.67'	19°14'31"	800.00'	135.61'	N75°22'44"W	267.41'							
C14	305.00'	09°07'32"	1915.00'	152.82'	N70°19'15"W	304.68'							
C15	418.05'	20°15'52"	1182.00'	211.23'	N09°14'48"E	415.87'							
C16	52.42'	02°32'27"	1182.00'	26.21'	N18°06'30"E	52.41'							
C17	254.15'	12°19'11"	1182.00'	127.57'	N10°40'41"E	253.67'							
C18	111.48'	05°24'13"	1182.00'	55.78'	N01°48'59"E	111.43'							
C19	27.00'	51°34'11"	30.00'	14.49'	N76°18'58"E	26.10'							
C20	841.67'	37°36'58"	1282.00'	436.63'	N59°56'57"E	826.63'							
C21	41.71'	79°39'11"	30.00'	25.02'	N38°55'51"W	38.43'							
C22	426.47'	18°29'00"	1322.00'	215.10'	N10°08'14"E	424.62'							
C23	48.62'	92°51'13"	30.00'	31.53'	N65°48'20"E	43.47'							
C24	372.28'	15°38'16"	1364.00'	187.30'	N75°35'11"W	371.12'							
C25	39.26'	89°58'04"	25.00'	24.99'	N38°25'17"W	35.35'							
C26	610.98'	54°11'22"	646.00'	330.50'	N20°31'56"W	588.46'							
C27	23.24'	01°01'16"	1304.00'	11.62'	N47°06'59"W	23.24'							
C28	50.86'	97°08'13"	30.00'	33.92'	N01°57'45"E	44.98'							
C29	38.04'	01°42'01"	1282.00'	19.09'	N41°59'28"W	38.04'							
C30	75.14'	03°21'30"	1282.00'	37.58'	N44°31'13"W	75.13'							
C31	55.34'	02°28'23"	1282.00'	27.67'	N47°26'10"W	55.33'							
C32	55.34'	02°28'23"	1282.00'	27.67'	N49°54'33"W	55.33'							
C33	55.34'	02°28'23"	1282.00'	27.67'	N52°22'56"W	55.33'							
C34	54.77'	02°26'53"	1282.00'	27.39'	N54°50'34"W	54.77'							
C35	64.77'	02°53'40"	1282.00'	32.39'	N57°30'51"W	64.76'							
C36	64.77'	02°53'40"	1282.00'	32.39'	N60°24'31"W	64.76'							
C37	57.88'	02°55'13"	1282.00'	28.95'	N63°08'58"W	57.88'							
C38	55.34'	02°28'23"	1282.00'	27.67'	N65°40'46"W	55.33'							
C39	55.34'	02°28'23"	1282.00'	27.67'	N68°09'09"W	55.33'							
C40	73.89'	03°18'09"	1282.00'	36.96'	N71°02'25"W	73.88'							
C41	40.00'	01°47'16"	1282.00'	20.00'	N73°35'07"W	40.00'							
C42	85.28'	03°48'41"	1282.00'	42.66'	S76°51'06"E	85.26'							
C43	44.93'	01°57'17"	1317.00'	22.47'	N01°52'23"E	44.93'							
C44	60.46'	02°37'49"	1317.00'	30.23'	N04°09'56"E	60.45'							
C45	60.46'	02°37'49"	1317.00'	30.23'	N06°47'44"E	60.45'							
C46	60.46'	02°37'49"	1317.00'	30.23'	N09°25'33"E	60.45'							
C47	60.46'	02°37'49"	1317.00'	30.23'	N12°03'22"E	60.45'							
C48	60.69'	02°37'49"	1322.00'	30.35'	N14°41'11"E	60.68'							
C49	60.69'	02°37'49"	1322.00'	30.35'	N17°18'59"E	60.68'							
C50	17.24'	00°44'50"	1322.00'	8.62'	N19°00'19"E	17.24'							
C51	39.27'	90°00'00"	25.00'	25.00'	S84°28'08"E	35.36'							
C52	18.69'	42°50'37"	25.00'	9.81'	N71°57'11"E	18.26'							
C53	20.58'	47°09'23"	25.00'	10.91'	N63°02'49"W	20.00'							
C54	39.27'	90°00'00"	25.00'	25.00'	N05°31'52"E	35.36'							
C55	20.58'	47°09'23"	25.00'	10.91'	N15°53'27"W	20.00'							
C56	18.69'	42°50'37"	25.00'	9.81'	N29°06'33"E	18.26'							
C57	39.27'	90°00'00"	25.00'	25.00'	N05°31'52"E	35.36'							
C58	18.69'	42°50'37"	25.00'	9.81'	N29°06'33"E	18.26'							
C59	20.58'	47°09'23"	25.00'	10.91'	N15°53'27"W	20.00'							
C60	39.27'	90°00'00"	25.00'	25.00'	S84°28'08"E	35.36'							
C61	20.58'	47°09'23"	25.00'	10.91'	N63°02'49"W	20.00'							
C62	18.69'	42°50'37"	25.00'	9.81'	N71°57'11"E	18.26'							
C63	41.12'	94°13'52"	25.00'	26.92'	N03°24'56"E	36.64'							
C64	301.94'	12°28'55"	1386.00'	151.57'	N49°56'27"W	301.34'							
C65	60.48'	02°29'59"	1386.00'	30.24'	N44°56'59"W	60.46'							
C66	59.82'	02°28'23"	1386.00'	29.92'	N47°26'10"W	59.82'							
C67	59.82'	02°28'23"	1386.00'	29.92'	N49°54'33"W	59.82'							
C68	59.82'	02°28'23"	1386.00'	29.92'	N52°22'56"W	59.82'							
C69	62.00'	02°33'47"	1386.00'	31.00'	N54°54'01"W	61.99'							
C70	40.48'	92°46'47"	25.00'	26.24'	N77°25'42"E	36.20'							
C71	19.91'	45°37'24"	25.00'	10.52'	S78°59'36"E	19.39'							
C72	20.57'	47°09'23"	25.00'	10.91'	N54°37'00"E	20.00'							
C73	38.01'	87°06'20"	25.00'	23.77'	N12°30'51"W	34.45'							
C74	20.58'	47°09'23"	25.00'	10.91'	N07°27'38"E	20.00'							
C75	17.43'	39°56'57"	25.00'	9.09'	N36°05'32"W	17.08'							
C76	38.01'	87°06'20"	25.00'	23.77'	N74°35'29"E	34.45'							
C77	17.43'	39°56'57"	25.00'	9.09'	S81°49'50"E	17.08'							
C78	20.58'	47°09'23"	25.00'	10.91'	N54°37'00"E	20.00'							
C79	40.48'	92°46'46"	25.00'	26.24'	N15°21'04"W	36.20'							
C80	20.57'	47°09'23"	25.00'	10.91'	N07°27'38"E	20.00'							
C81	19.91'	45°37'24"	25.00'	10.51'	N38°55'46"W	19.39'							
C82	263.64'	10°53'55"	1386.00'	132.22'	N67°11'25"W	263.25'							
C83	65.36'	02°42'07"	1386.00'	32.69'	N63°05'31"W	65.35'							
C84	59.82'	02°28'23"	1386.00'	29.92'	N65°40'46"W	59.82'							
C85	59.82'	02°28'23"	1386.00'	29.92'	N68°09'09"W	59.82'							
C86	78.64'	03°15'02"	1386.00'	39.33'	N71°00'52"W	78.62'							
C87	46.14'	105°44'09"	25.00'	33.02'	N54°29'33"E	39.86'							
C88	51.01'	02°30'15"	1167.00'	25.51'	N00°22'21"E	51.00'							
C89	24.77'	01°12'59"	1167.00'	12.39'	N01°29'16"W	24.77'							
C90	12.58'	00°35'53"	1205.00'	6.29'	N01°11'35"W	12.58'							
C91	435.64'	20°42'50"	1205.00'	220.22'	N09°01'19"E	433.27'							
C92	78.75'	03°44'40"	1205.00'	39.39'	N00°58'41"E	78.74'							
C93	55.32'	02°37'49"	1205.00'	27.66'	N04°09'56"E	55.31'							
C94	55.32'	02°37'49"	1205.00'	27.66'	N06°47'44"E	55.31'							
C95	55.32'	02°37'49"	1205.00'	27.66'	N09°25'33"E	55.31'							
C96	55.32'	02°37'49"	1205.00'	27.66'	N12°03'22"E	55.31'							
C97	55.32'	02°37'49"	1205.00'	27.66'	N14°41'11"E	55.31'							
C98	55.32'	02°37'49"	1205.00'	27.66'	N17°18'59"E	55.31'							

LINE	DIRECTION	DISTANCE
L1	S00°10'35"W	27.66'
L2	(S00°09'36"W)	(26.31')
L3	S19°22'44"W	877.90'
L4	(S19°23'12"W)	(878.01')
L5	N67°46'03"W	182.61'
L6	(181.74')	(181.74')
L7	N83°24'19"W	609.41'
L8	(S19°23'12"W)	(878.01')
L9	N06°33'45"E	330.24'
L10	(N06°34'13"E)	(330.26')
L11	N50°31'52"E	1092.20'
L12	(N50°31'34"E)	(1092.20')
L13	N20°00'00"W	42.40'
L14	S85°00'00"E	35.49'
L15	N67°46'03"W	71.48'
L16	S38°02'58"E	38.98'
L17	S47°15'00"E	55.19'
L18	N19°22'44"E	10.31'
L19	S70°48'13"E	39.41'
L20	S50°31'52"W	30.29'

**PLAT FOR
SUNGATE ESTATES SUBDIVISION
UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2005**

DESCRIPTION
A part of land within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico, Bernalillo County, New Mexico being all of TRACT Z, SUNGATE ESTATES, UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 11, 2005 in Book 2005C, Page 245 and containing 16.6419 acres more or less.

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Page: 1 of 3
10/28/2005 10:03A
Bk-2005C Pg-349
Mary Herrera Bern. Co. PLRT R 17.00

PUBLIC UTILITY EASEMENTS

- PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
1. PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
 2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
 3. Qwest Telecommunications for installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
 4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 87 lots and 11 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

Owner(s): D.R. HORTON, INC.
J. Mark Ferguson 9-26-05
J. MARK FERGUSON, DIVISION PRESIDENT Date
STATE OF NEW MEXICO)
BERNALILLO COUNTY) ss
On this 26 day of September, 2005, this instrument was acknowledged before me by J. Mark Ferguson, Division President of D.R. Horton, Inc., a Delaware Corporation.
Melody Morones 8-31-2009
Notary Public My Commission Expires

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 00905419633520106
PROPERTY OWNER OF RECORD:
DR HORTON INC
BERNALILLO COUNTY TREASURER'S OFFICE:
Francisco Garcia 10/20/05

PROJECT NUMBER: 1003591
Application Number: 050RB-01548

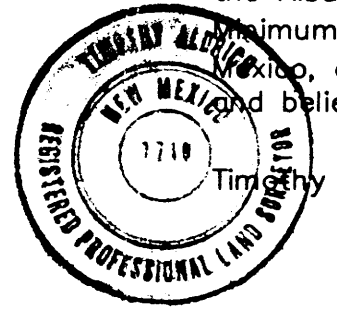
PLAT APPROVAL

Utility Approvals:

<i>Leas D. Mills</i>	10-3-05	Date
PNM Electric Services Division		
<i>Leas D. Mills</i>	10-3-05	Date
PNM Gas Services Division		
<i>Greg Hunt</i>	10-18-05	Date
Qwest		
<i>Gene Fubon</i>	10-6-05	Date
Comcast		
City Approvals:		
<i>M.B. Jant</i>	9-27-05	Date
City Surveyor		
N/A	10-19-05	Date
Real Property Division		
N/A	10-19-05	Date
Environmental Health Department		
<i>Will Cox</i>	10-12-05	Date
Traffic/Engineering, Transportation Division		
<i>Roger A. Shea</i>	10-12-05	Date
Utilities Development		
<i>Christina Sandoval</i>	10/12/05	Date
Parks and Recreation Department		
<i>Bradley L. Bingham</i>	10/12/05	Date
AMAFC		
<i>Bradley L. Bingham</i>	10/12/05	Date
City Engineer		
<i>Andrew Garcia</i>	10/18/05	Date
DRB Chairperson, Planning Department		

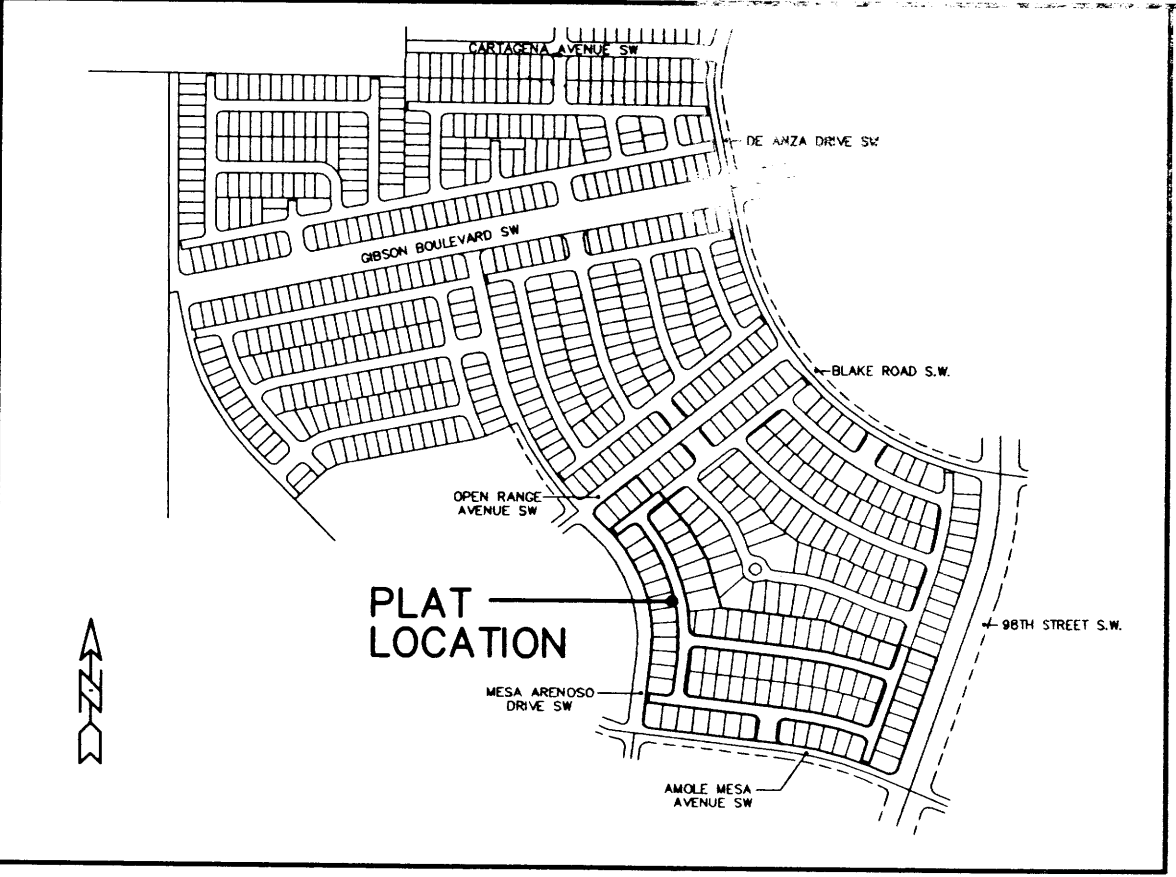
SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."
Timothy Aldrich 09-22-05
Timothy Aldrich, P.S. No. 7719 Date



Drawn By:	RJA	Date:	09-22-05
Checked By:	TA	Drawing Name:	01037SG2.DWG
Job No.:	01-037	Sheet:	1 of 3

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990



LOCATION MAP NOT TO SCALE N-9-Z

PURPOSE OF PLAT

1. To create 87 lots and 11 tracts as shown hereon.
2. To grant easements as shown hereon.

SUBDIVISION DATA

1. Project No.:
- Application No.:
2. Zone Atlas Index No.: N-9-Z
3. Total Number of Lots created: 87
4. Total Number of existing Tracts: 1
5. Total Number of Tracts created: 11
6. Miles of Full Width Streets created: 0.6635 Mi.
7. Gross Subdivision Acreage: 16.6419 Ac.

NOTES

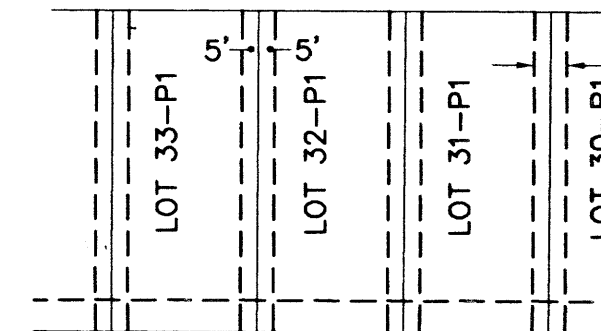
1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:
 PLAT OF "SUNGATE ESTATES SUBDIVISION, UNIT 1", (07-11-05, 05C-245)
 PLAT OF "SALAZAR - DAVIS TRACTS", (05-06-86, C30-91)
 PLAT OF "LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT", (07-23-03, 03C-223)
 PLAT OF "LANDS OF CURB, INC.", (11-25-03, 03C-357)
 PLAT OF "LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT", (11-25-03, 03C-357)
 PLAT OF "SUNGATE SUBDIVISION", (08-11-04, 04C-235)
 PLAT OF "EL RANCHO GRANDE, UNIT 1", (07-23-03, 03C-223)
 CORRECTION PLAT "EL RANCHO GRANDE, TRACTS 14, 15 & 16", (03-09-04, 04C-72)
 all being records of Bernalillo County, New Mexico.
5. Field Survey performed on March, 2005.
6. Title Report: None provided.
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: R-2 FOR R-T AND RLT
9. Utility Council Location System Log No.: 2005384589
10. Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719".
11. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
12. No individual lots shall be allowed direct access to 98th Street S.W., Mesa Arenoso Drive S.W., Open Range Avenue S.W. & Amole Mesa Avenue S.W.
13. All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.



PLAT FOR
SUNGATE ESTATES SUBDIVISION
UNIT 2
 WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2005

ACS MONUMENT
 "1-N8"
 Y=1470679.06
 X=348455.82
 G-G=0.99967260
 $\Delta\alpha=-00^{\circ}17'26"$
 CENTRAL ZONE
 (NAD 1927)

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 $\Delta\alpha=-00^{\circ}16'42"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5118.370



A 10' Private Joint Use Drainage Easement shall be centered on adjoining side lot lines shown on this plat. The easement shall be maintained by the underlying property owners.
 (GRANTED BY THIS PLAT)

DRAINAGE EASEMENT DETAIL
 NOT TO SCALE

NOTE

HOMEOWNERS ASSOCIATION WILL OWN TRACTS E, H THRU M, S, T, U & X AND WILL BE RESPONSIBLE FOR MAINTENANCE OF STREET AND LANDSCAPE IMPROVEMENTS.

TRACTS S AND T, ARE LANDSCAPE TRACTS AND PRIVATE PEDESTRIAN ACCESS EASEMENTS.

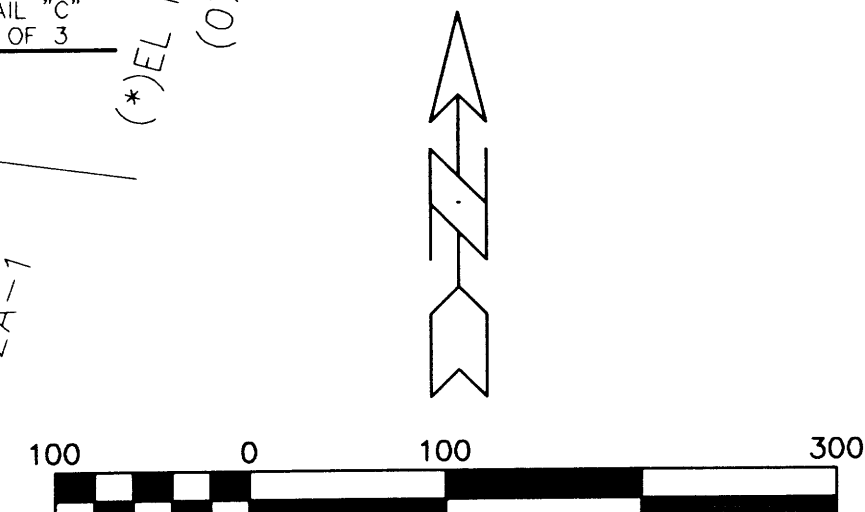
TRACT U, IS LANDSCAPE TRACT AND PUBLIC STORM DRAIN, SANITARY SEWER AND WATER LINE EASEMENTS.

ALL ROADS WITHIN THIS DEVELOPMENT ARE PRIVATE ACCESS, PUBLIC DRAINAGE, WATER, SANITARY SEWER AND PUBLIC UTILITY EASEMENTS AND EXIST WITHIN TRACT X. SUNGATE ESTATES HOME OWNERS ASSOCIATION WILL OWN AND MAINTAIN PRIVATE STREETS. THE CITY OF ALBUQUERQUE WILL MAINTAIN ALL PUBLIC DRAINAGE, WATER AND SANITARY SEWER IMPROVEMENTS WITHIN TRACTS X AND U.

SEE SHEET 3 OF 3 FOR CURVE DATA, LINE DATA, LOT AND TRACT AREAS.

EXISTING EASEMENTS

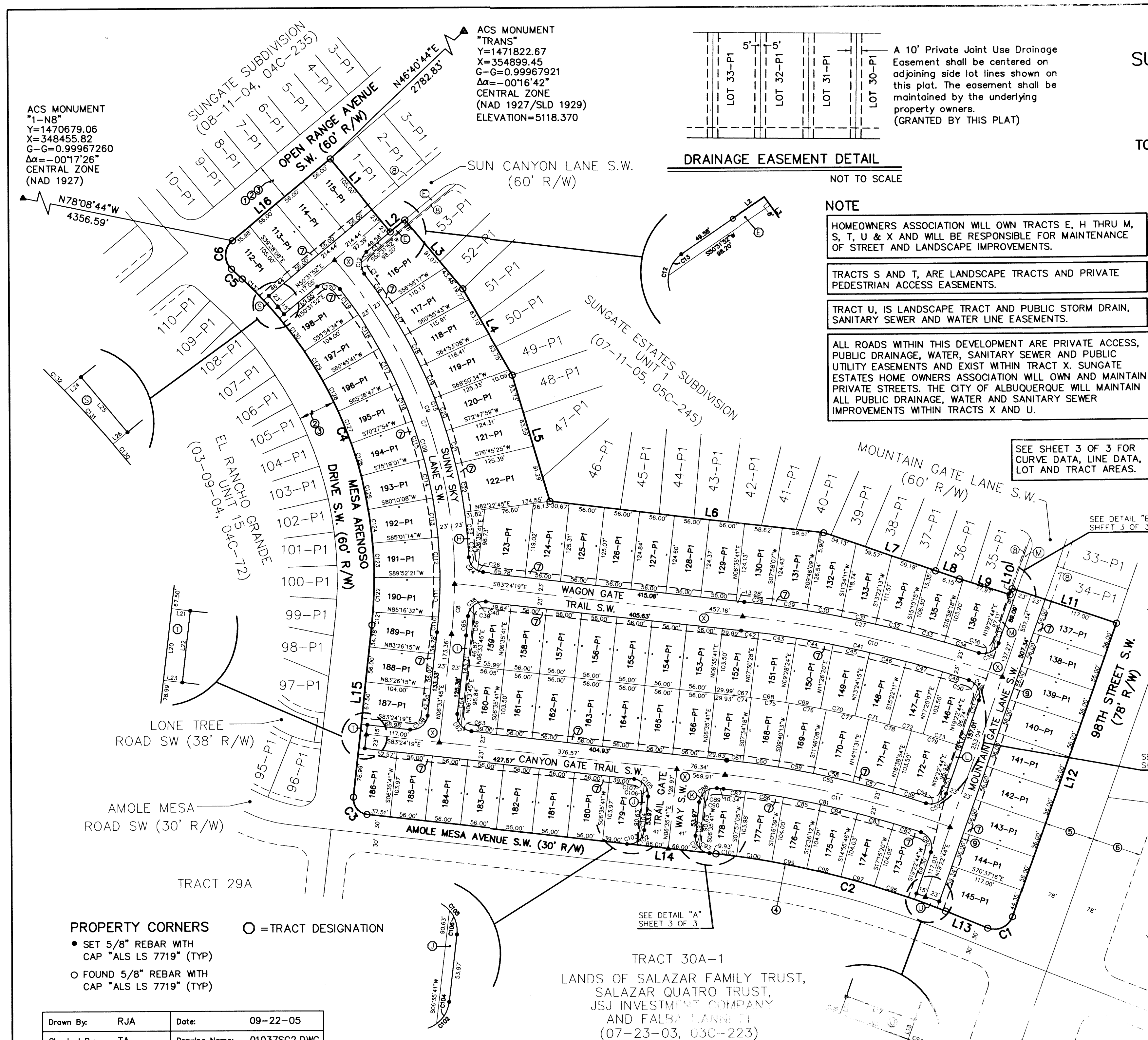
- ① EXISTING 60' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
- ② EXISTING 60' PUBLIC ACCESS, WATERLINE AND SANITARY SEWER EASEMENT (04-17-01, A18-456)
- ③ EXISTING 60' PUBLIC ACCESS EASEMENT (07-23-03, 03C-223)
- ④ EXISTING 60' PUBLIC ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT (07-23-03, 03C-223)
- ⑤ EXISTING 78' TEMPORARY PUBLIC ROADWAY EASEMENT (07-23-03, 03C-223)
- ⑥ EXISTING 78' PUBLIC ROADWAY AND PUBLIC UTILITY EASEMENT (03-21-03, 03C-73)
- ⑦ 10' PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)
- ⑧ EXISTING 10' PUBLIC UTILITY EASEMENT (07-11-05, 05C-245)
- ⑨ EXISTING PUBLIC WATER, SANITARY SEWER AND STORM DRAIN EASEMENT (07-11-05, 05C-245)



Scale 1" = 100 ft



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

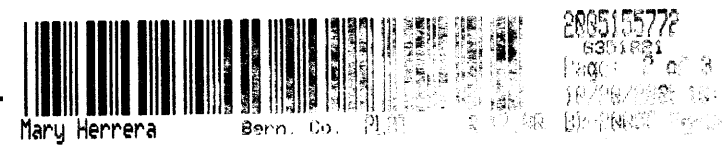
○ =TRACT DESIGNATION

SEE DETAIL "A" SHEET 3 OF 3

SEE DETAIL "C" SHEET 3 OF 3

TRACT 30A-1
 LANDS OF SALAZAR FAMILY TRUST,
 SALAZAR CUATRO TRUST,
 JSJ INVESTMENT COMPANY
 AND FALBA LARRETE
 (07-23-03, 03C-223)

Drawn By: RJA	Date: 09-22-05
Checked By: TA	Drawing Name: 01037SG2.DWG
Job No.: 01-037	Sheet: 2 of 3



PLAT FOR
SUNGATE ESTATES SUBDIVISION
UNIT 2
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TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2005

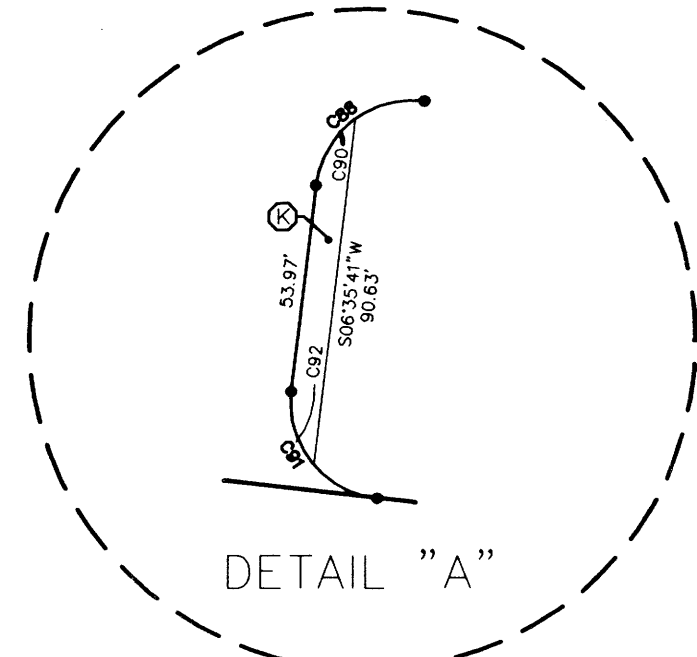
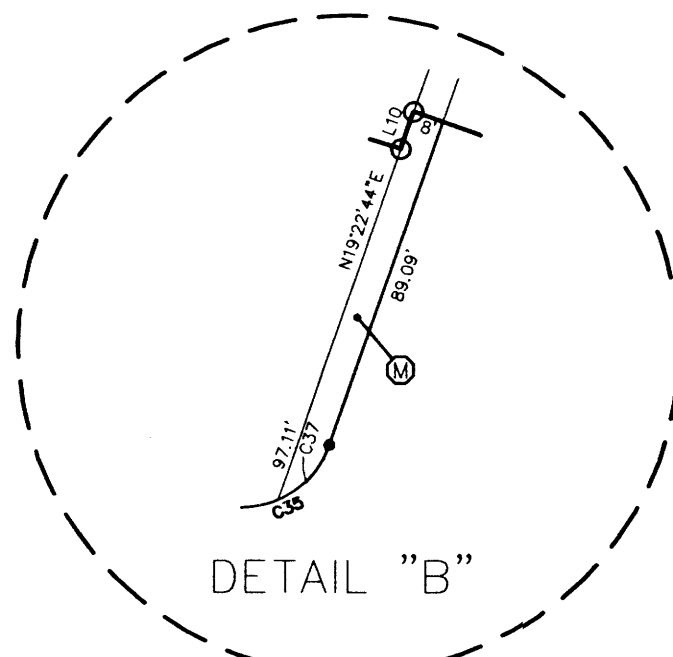
CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	48.62'	92°51'13"	30.00'	51.53'	S65°42'20"W	43.47'
C2	372.28'	15°38'16"	1364.00'	27.30'	N71°15'11"E	371.19'
C3	39.26'	89°58'04"	25.00'	4.98'	N4°00'00"E	5.75'
C4	610.98'	54°11'22"	646.00'	130.50'	N20°51'56"W	389.16'
C5	23.24'	01°01'16"	1304.00'	11.62'	N47°06'59"W	23.24'
C6	50.86'	97°08'13"	30.00'	33.99'	N01°57'45"E	44.98'
C7	641.46'	47°32'45"	773.00'	340.50'	N17°12'37"W	623.21'
C8	79.79'	05°54'50"	773.00'	39.93'	N03°36'20"E	79.75'
C9	561.67'	41°37'55"	773.00'	293.88'	N20°10'02"W	549.40'
C10	419.52'	13°46'58"	1744.00'	210.78'	S76°30'50"E	418.51'
C11	363.07'	13°57'08"	1491.00'	182.44'	N76°25'45"W	362.18'
C12	38.43'	88°04'32"	25.00'	24.17'	N06°29'36"E	34.76'
C13	20.58'	47°09'23"	25.00'	10.91'	N26°57'11"E	20.00'
C14	17.85'	40°55'09"	25.00'	9.33'	N17°05'05"W	17.48'
C15	488.53'	35°09'51"	796.00'	252.23'	N19°57'44"W	480.90'
C16	62.73'	04°30'56"	796.00'	31.38'	N35°17'11"W	62.72'
C17	54.98'	03°57'26"	796.00'	27.50'	N31°03'00"W	54.96'
C18	54.98'	03°57'26"	796.00'	27.50'	N27°05'35"W	54.96'
C19	54.98'	03°57'26"	796.00'	27.50'	N23°08'09"W	54.96'
C20	54.98'	03°57'26"	796.00'	27.50'	N19°10'44"W	54.96'
C21	54.98'	03°57'26"	796.00'	27.50'	N15°13'18"W	54.96'
C22	78.10'	05°37'20"	796.00'	39.09'	N10°25'55"W	78.08'
C23	72.80'	05°14'25"	796.00'	36.43'	N05°00'02"W	72.78'
C24	35.35'	81°01'30"	25.00'	21.36'	N42°53'34"W	32.48'
C25	26.70'	61°12'30"	25.00'	14.79'	N32°59'04"W	25.46'
C26	8.65'	19°49'00"	25.00'	4.37'	N73°29'49"W	8.60'
C27	376.90'	12°13'16"	1767.00'	189.17'	S77°17'41"E	376.19'
C28	42.37'	01°22'27"	1767.00'	21.19'	S82°43'06"E	42.37'
C29	55.53'	01°48'02"	1767.00'	27.77'	S81°07'52"E	55.53'
C30	55.53'	01°48'02"	1767.00'	27.77'	S79°19'50"E	55.53'
C31	55.53'	01°48'02"	1767.00'	27.77'	S77°31'48"E	55.53'
C32	55.53'	01°48'02"	1767.00'	27.77'	N75°43'46"W	55.53'
C33	55.53'	01°48'02"	1767.00'	27.77'	N73°55'43"W	55.53'
C34	56.88'	01°50'39"	1767.00'	28.44'	N72°06'23"W	56.87'
C35	39.02'	89°26'13"	25.00'	24.76'	N64°05'50"E	35.18'
C36	18.45'	42°16'50"	25.00'	9.67'	N87°40'32"E	18.03'
C37	20.57'	47°09'23"	25.00'	10.91'	N42°57'25"E	20.00'
C38	40.25'	92°14'21"	25.00'	26.00'	N50°28'30"E	36.04'
C39	20.30'	46°30'48"	25.00'	10.74'	N27°36'44"E	19.74'
C40	19.95'	45°43'33"	25.00'	10.54'	N73°43'54"E	19.43'
C41	366.13'	12°11'21"	1721.00'	183.76'	S77°18'38"E	365.44'
C42	27.42'	00°54'47"	1721.00'	13.71'	S82°56'56"E	27.42'
C43	59.04'	01°57'56"	1721.00'	29.52'	S81°30'34"E	59.04'
C44	59.04'	01°57'56"	1721.00'	29.52'	S79°32'38"E	59.04'
C45	59.04'	01°57'56"	1721.00'	29.52'	S77°34'43"E	59.04'
C46	59.04'	01°57'56"	1721.00'	29.52'	N75°36'47"W	59.04'
C47	59.04'	01°57'56"	1721.00'	29.52'	N73°38'51"W	59.04'
C48	43.51'	01°26'54"	1721.00'	21.76'	N71°56'25"W	43.51'
C49	39.53'	90°35'42"	25.00'	25.26'	N25°55'07"W	35.54'
C50	18.95'	43°26'19"	25.00'	9.96'	N49°29'48"W	18.50'
C51	20.58'	47°09'23"	25.00'	10.91'	N04°11'57"W	20.00'
C52	38.98'	89°20'40"	25.00'	24.72'	N64°03'04"E	35.15'
C53	20.58'	47°09'23"	25.00'	10.91'	N42°57'25"E	20.00'
C54	18.40'	42°11'17"	25.00'	9.64'	N87°37'45"E	17.99'
C55	320.49'	12°07'43"	1514.00'	160.85'	S77°20'28"E	319.89'
C56	54.83'	02°04'29"	1514.00'	27.42'	N72°18'51"W	54.82'
C57	64.91'	02°27'23"	1514.00'	32.46'	N74°34'47"W	64.91'
C58	64.03'	02°25'23"	1514.00'	32.02'	S77°01'11"E	64.02'
C59	55.45'	02°05'55"	1514.00'	27.73'	S79°16'50"E	55.45'
C60	55.45'	02°05'55"	1514.00'	27.73'	S81°22'44"E	55.45'
C61	25.82'	00°58'38"	1514.00'	12.91'	S82°55'01"E	25.82'
C62	39.26'	89°58'04"	25.00'	24.99'	N38°25'17"W	35.35'
C63	18.68'	42°48'41"	25.00'	9.80'	N61°59'59"W	18.25'
C64	20.58'	47°09'23"	25.00'	10.91'	N17°00'56"W	20.00'
C65	30.66'	02°12'25"	796.00'	15.33'	N05°27'32"E	30.66'
C66	49.11'	03°29'59"	804.00'	24.56'	N04°48'46"E	49.10'
C67	25.77'	00°54'47"	1617.50'	12.89'	S82°56'56"E	25.78'
C68	55.49'	01°57'56"	1617.50'	27.75'	S81°30'34"E	55.49'
C69	55.49'	01°57'56"	1617.50'	27.75'	S79°32'38"E	55.49'
C70	55.49'	01°57'56"	1617.50'	27.75'	S77°34'43"E	55.49'
C71	55.49'	01°57'56"	1617.50'	27.75'	N75°36'47"W	55.49'
C72	55.49'	01°57'56"	1617.50'	27.75'	N73°38'51"W	55.49'
C73	57.07'	02°01'19"	1617.50'	28.54'	N71°39'13"W	57.08'
C74	27.58'	00°58'38"	1617.50'	13.79'	S82°55'01"E	27.58'
C75	59.24'	02°05'55"	1617.50'	29.63'	S81°22'44"E	59.24'
C76	59.24'	02°05'55"	1617.50'	29.63'	S79°16'50"E	59.24'
C77	68.40'	02°25'23"	1617.50'	34.21'	S77°01'11"E	68.40'
C78	69.35'	02°27'23"	1617.50'	34.68'	N74°34'47"W	69.34'
C79	76.48'	02°42'32"	1617.50'	38.24'	N71°59'50"W	76.47'
C80	39.44'	90°22'54"	25.00'	25.17'	N25°48'43"W	35.47'
C81	317.77'	12°24'09"	1468.00'	159.51'	S77°12'14"E	317.15'
C82	44.62'	01°44'29"	1468.00'	22.32'	N71°52'25"W	44.63'
C83	59.60'	02°19'34"	1468.00'	29.80'	N73°54'27"W	59.59'
C84	59.60'	02°19'34"	1468.00'	29.80'	N76°14'01"W	59.59'
C85	59.60'	02°19'34"	1468.00'	29.80'	S78°33'55"E	59.59'
C86	59.60'	02°19'34"	1468.00'	29.80'	S80°53'08"E	59.59'
C87	34.75'	01°21'24"	1468.00'	17.38'	S82°43'37"E	34.76'
C88	39.27'	90°00'01"	25.00'	25.00'	N51°35'41"E	35.36'
C89	18.69'	42°50'38"	25.00'	9.81'	N75°10'23"E	18.26'
C90	20.58'	47°09'23"	25.00'	10.91'	N30°10'22"E	20.00'
C91	39.27'	90°00'00"	25.00'	25.00'	N38°24'19"W	35.36'
C92	20.58'	47°09'23"	25.00'	10.91'	N16°59'00"W	20.00'
C93	18.69'	42°50'37"	25.00'	9.81'	N61°59'01"W	18.26'
C94	14.14'	00°35'36"	1364.00'	7.06'	N68°03'51"W	14.13'
C95	38.01'	01°35'47"	1364.00'	19.01'	N69°09'34"W	38.01'
C96	65.94'	02°46'11"	1364.00'	32.98'	N71°20'33"W	65.93'
C97	55.37'	02°19'34"	1364.00'	27.69'	N73°53'26"W	55.37'
C98	55.37'	02°19'34"	1364.00'	27.69'	N76°12'59"W	55.37'
C99	55.37'	02°19'34"	1364.00'	27.69'	S78°32'33"E	55.37'

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C100	55.38'	02°19'34"	1364.00'	27.69'	S80°52'07"E	55.37'
C101	32.70'	01°27'26"	364.50'	16.35'	S82°43'06"E	32.70'
C102	9.27'	92°50'50"	25.00'	5.00'	N51°35'41"E	35.36'
C103	18.69'	42°50'38"	25.00'	9.81'	N75°10'22"E	18.26'
C104	20.58'	47°09'22"	25.00'	10.91'	N30°10'22"E	20.00'
C105	39.27'	90°00'00"	25.00'	25.00'	N38°24'19"W	35.36'
C106	20.58'	47°09'23"	25.00'	10.91'	N16°59'01"W	20.00'
C107	18.69'	42°50'37"	25.00'	9.81'	N61°59'01"W	18.26'
C108	39.28'	90°01'56"	25.00'	25.01'	N51°34'43"E	35.37'
C109	582.30'	44°29'04"	750.00'	306.71'	N15°40'47"W	567.79'
C110	24.07'	01°50'16"	750.00'	12.03'	N05°38'37"E	24.06'
C111	63.51'	04°51'07"	750.00'	31.77'	N02°17'55"E	63.49'
C112	63.51'	04°51'07"	750.00'	31.77'	N02°33'12"W	63.49'
C113	63.51'	04°51'07"	750.00'	31.77'	N07°24'19"W	63.49'
C114	63.51'	04°51'07"	750.00'	31.77'	N12°15'26"W	63.49'
C115	63.51'	04°51'07"	750.00'	31.77'	N17°06'32"W	63.49'
C116	63.51'	04°51'07"	750.00'	31.77'	N21°57'39"W	63.49'
C117	63.51'	04°51'07"	750.00'	31.77'	N26°48'46"W	63.49'
C118	63.51'	04°51'07"	750.00'	31.77'	N31°39'53"W	63.49'
C119	50.15'	03°49'52"	750.00'	25.09'	N36°00'23"W	50.14'
C120	39.94'	91°32'49"	25.00'	25.68'	S83°41'44"E	35.83'
C121	20.74'	01°50'17"	646.00'	10.36'	N05°38'37"E	20.72'
C122	54.70'	04°51'06"	646.00'	27.37'	N02°17'55"E	54.69'
C123	54.70'	04°51'08"	646.00'	27.37'	N02°33'12"W	54.69'
C124	54.70'	04°51'06"	646.00'	27.37'	N07°24'19"W	54.69'
C125	54.70'	04°51'08"	646.00'	27.37'	N12°15'26"W	54.69'
C126	54.70'	04°51'06"	646.00'	27.37'	N17°06'32"W	54.69'
C127	54.70'	04°51'08"	646.00'	27.37'	N21°57'39"W	54.69'
C128	54.70'	04°51'06"	646.00'	27.37'	N26°48'46"W	54.69'
C129	54.70'	04°51'08"	646.00'	27.37'	N31°39'53"W	54.69'
C130	66.07'	05°51'33"	646.00'	33.06'	N37°01'14"W	66.04'
C131	38.05'	03°22'24"	646.00'	19.02'	N41°38'13"W	38.03'
C132	48.52'	04°18'12"	646.00'	24.27'	N45°28'31"W	48.51'

TRACTS ○

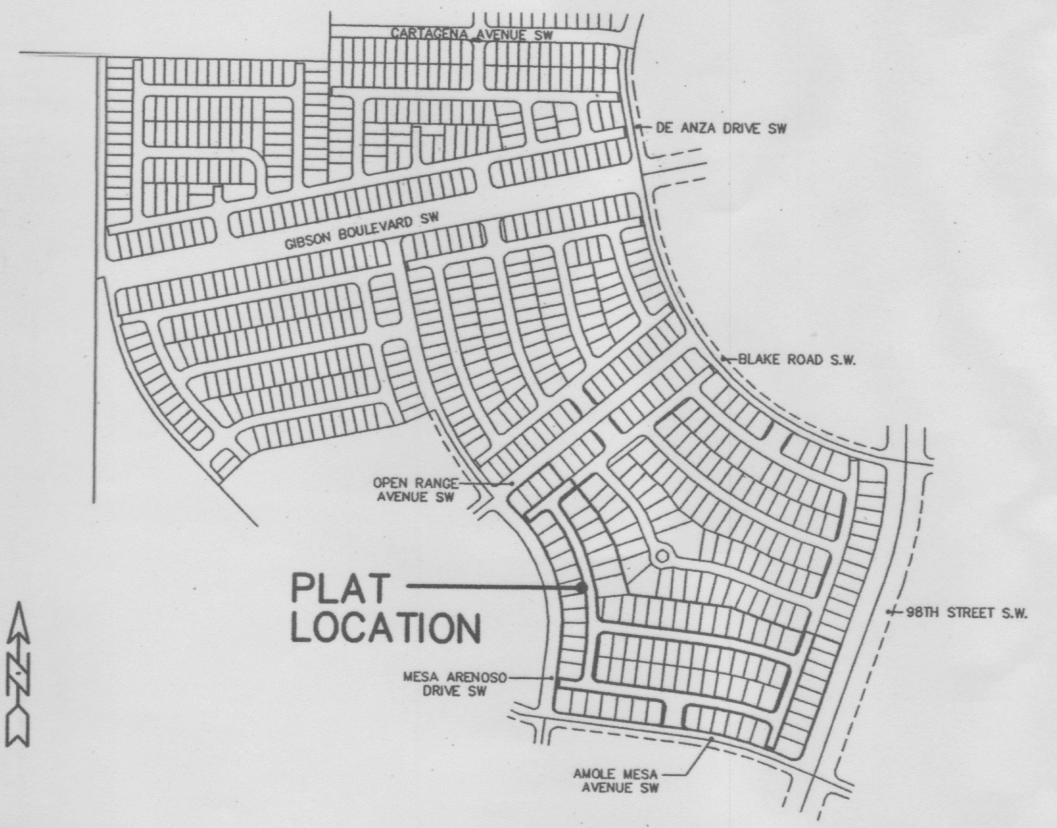
- TRACT E= 0.0170 AC.
- TRACT H= 0.0454 AC.
- TRACT I= 0.0333 AC.
- TRACT J= 0.0146 AC.
- TRACT K= 0.0146 AC.
- TRACT L= 0.0335 AC.
- TRACT M= 0.0187 AC.
- TRACT S= 0.0089 AC.
- TRACT T= 0.0087 AC.
- TRACT U= 0.0089 AC.
- TRACT X= 3.6067 AC.

LINE	DIRECTION	DISTANCE
L1	S39°28'08"E	151.00'
L2	N50°31'52"E	30.29'
L3	S39°28'08"E	142.55'
L4	S29°21'45"E	156.71'
L5	S16°11'17"E	208.61'
L6	S83°09'51"E	434.70'
L7	S70°37'16"E	186.24'
L8	S70°48'13"E	39.41'
L9	S72°12'01"E	84.12'
L10	N19°22'44"E	10.31'
L11	S70°37'16"E	171.00'
L12	S19°22'44"W	492.35'
L13	N67°46'03"W	35.54'
L14	N83°24'19"W	554.44'
L15	N06°33'45"E	275.27'
L16	N50°31'52"E	203.98'
L17	N70°37'16"W	38.00'
L18	N19°22'44"E	10.79'
L19	N19°22'44"E	9.82'
L20	N06°33'45"E	38.00'
L21	S83°24'19"E	10.00'
L22	S06°35'41"W	38.00'
L23	S83°24'19"E	10.00'
L24	N50°31'52"E	11.14'
L25	S39°28'08"E	38.00'
L26	N50°31'52"E	9.70'



**PLAT FOR
SUNGATE ESTATES SUBDIVISION
UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2005**

PROJECT NUMBER:	
Application Number:	<u>FINAL</u>
PLAT APPROVAL	PRELIMINARY PLAT APPROVED BY DRB
Utility Approvals:	
<i>Leas D. Meas</i>	10-3-05
PNM Electric Services Division	Date
<i>Leas D. Meas</i>	10-3-05
PNM Gas Services Division	Date
Qwest	Date
Comcast	Date
City Approvals:	
<i>Al B. Jant</i>	9-27-05
City Surveyor	Date
Real Property Division	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date



DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT Z, SUNGATE ESTATES, UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 11, 2005 in Book 2005C, Page 245 and containing 16.6419 acres more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Telecommunications for installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the creating of 87 lots and 11 tracts as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

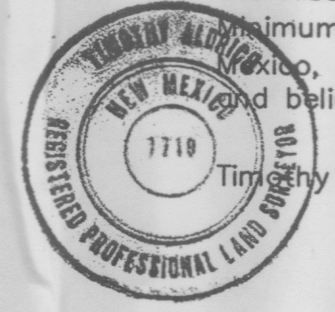
Owner(s): D.R. HORTON, INC.
J. Mark Ferguson 9-26-05
J. MARK FERGUSON, DIVISION PRESIDENT Date

STATE OF NEW MEXICO)
BERNALILLO COUNTY) ss
On this 26 day of September, 2005, this instrument was acknowledged before me by J. Mark Ferguson, Division President of D.R. Horton, Inc., a Delaware Corporation.

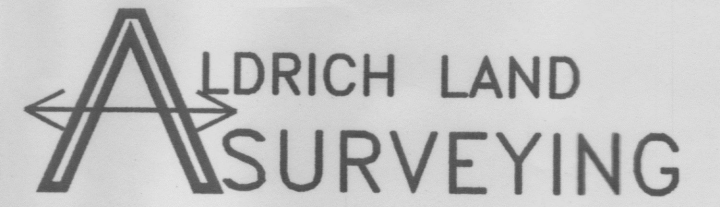
Melody Morones 8-31-2009
Notary Public My Commission Expires

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."



Timothy Aldrich 09-22-05
Timothy Aldrich, P.S. No. 7719 Date



Drawn By:	RJA	Date:	09-22-05
Checked By:	TA	Drawing Name:	01037SG2.DWG
Job No.:	01-037	Sheet:	1 of 3

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

LOCATION MAP NOT TO SCALE N-9-Z

PURPOSE OF PLAT

1. To create 87 lots and 11 tracts as shown hereon.
2. To grant easements as shown hereon.

SUBDIVISION DATA

1. Project No.: Application No.:
2. Zone Atlas Index No.: N-9-Z
3. Total Number of Lots created: 87
4. Total Number of existing Tracts: 1
5. Total Number of Tracts created: 11
6. Miles of Full Width Streets created: 0.6635 Mi.
7. Gross Subdivision Acreage: 16.6419 Ac.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:
 PLAT OF "SUNGATE ESTATES SUBDIVISION, UNIT 1", (07-11-05, 05C-245)
 PLAT OF "SALAZAR - DAVIS TRACTS", (05-06-86, C30-91)
 PLAT OF "LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT", (07-23-03, 03C-223)
 PLAT OF "LANDS OF CURB, INC.", (11-25-03, 03C-357)
 PLAT OF "LANDS OF SALAZAR FAMILY TRUST, SALAZAR QUATRO TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT", (11-25-03, 03C-357)
 PLAT OF "SUNGATE SUBDIVISION", (08-11-04, 04C-235)
 PLAT OF "EL RANCHO GRANDE, UNIT 1", (07-23-03, 03C-223)
 CORRECTION PLAT "EL RANCHO GRANDE, TRACTS 14, 15 & 16", (03-09-04, 04C-72)
 all being records of Bernalillo County, New Mexico.
5. Field Survey performed on March, 2005.
6. Title Report: None provided.
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: R-2 FOR R-T AND RL7
9. Utility Council Location System Log No.: 2005384589
10. Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719".
11. All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections and shown thus (Δ) and will be marked by (4") Aluminum Cap stamped "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB PLS 7719".
12. No individual lots shall be allowed direct access to 98th Street S.W., Mesa Arenoso Drive S.W., Open Range Avenue S.W. & Amole Mesa Avenue S.W.
13. All lots shown with the P-1 designation shall conform to intermittent parking design criteria, item #1.



**PLAT FOR
SUNGATE ESTATES SUBDIVISION
UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2005**

ACS MONUMENT
"1-N8"
Y=1470679.06
X=348455.82
G-G=0.99967260
Δα=-00°17'26"
CENTRAL ZONE
(NAD 1927)

ACS MONUMENT
"TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
Δα=-00°16'42"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5118.370

DRAINAGE EASEMENT DETAIL

NOT TO SCALE

A 10' Private Joint Use Drainage Easement shall be centered on adjoining side lot lines shown on this plat. The easement shall be maintained by the underlying property owners.
(GRANTED BY THIS PLAT)

NOTE

HOMEOWNERS ASSOCIATION WILL OWN TRACTS E, H THRU M, S, T, U & X AND WILL BE RESPONSIBLE FOR MAINTENANCE OF STREET AND LANDSCAPE IMPROVEMENTS.

TRACTS S AND T, ARE LANDSCAPE TRACTS AND PRIVATE PEDESTRIAN ACCESS EASEMENTS.

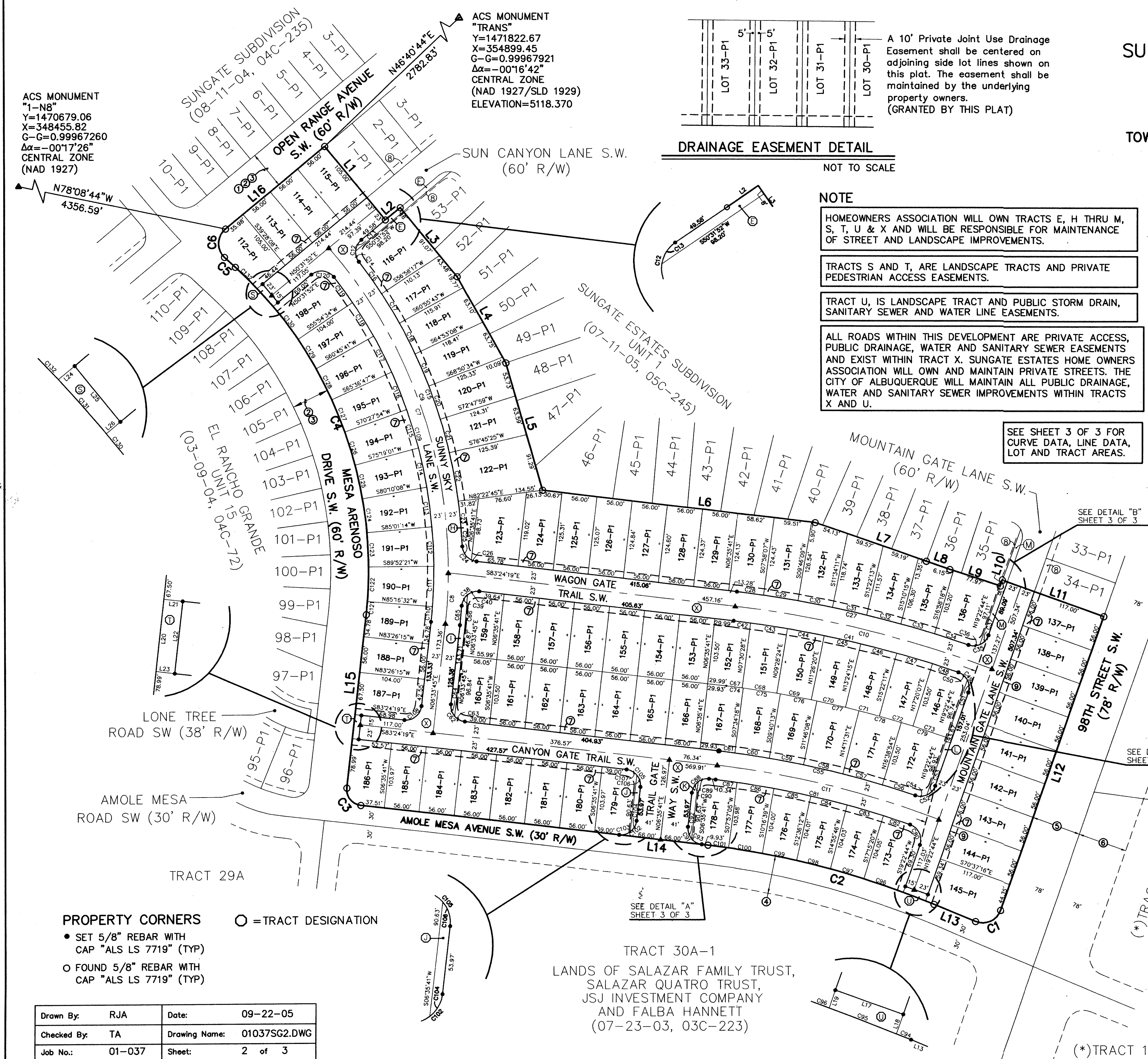
TRACT U, IS LANDSCAPE TRACT AND PUBLIC STORM DRAIN, SANITARY SEWER AND WATER LINE EASEMENTS.

ALL ROADS WITHIN THIS DEVELOPMENT ARE PRIVATE ACCESS, PUBLIC DRAINAGE, WATER AND SANITARY SEWER EASEMENTS AND EXIST WITHIN TRACT X. SUNGATE ESTATES HOME OWNERS ASSOCIATION WILL OWN AND MAINTAIN PRIVATE STREETS. THE CITY OF ALBUQUERQUE WILL MAINTAIN ALL PUBLIC DRAINAGE, WATER AND SANITARY SEWER IMPROVEMENTS WITHIN TRACTS X AND U.

SEE SHEET 3 OF 3 FOR CURVE DATA, LINE DATA, LOT AND TRACT AREAS.

EXISTING EASEMENTS

- ① EXISTING 60' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
- ② EXISTING 60' PUBLIC ACCESS, WATERLINE AND SANITARY SEWER EASEMENT (04-17-01, A18-456)
- ③ EXISTING 60' PUBLIC ACCESS EASEMENT (07-23-03, 03C-223)
- ④ EXISTING 60' PUBLIC ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT (07-23-03, 03C-223)
- ⑤ EXISTING 78' TEMPORARY PUBLIC ROADWAY EASEMENT (07-23-03, 03C-223)
- ⑥ EXISTING 78' PUBLIC ROADWAY AND PUBLIC UTILITY EASEMENT (03-21-03, 03C-73)
- ⑦ 10' PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)
- ⑧ EXISTING 10' PUBLIC UTILITY EASEMENT (07-11-05, 05C-245)
- ⑨ EXISTING PUBLIC WATER, SANITARY SEWER AND STORM DRAIN EASEMENT (07-11-05, 05C-245)



PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

○ =TRACT DESIGNATION

Drawn By: RJA	Date: 09-22-05
Checked By: TA	Drawing Name: 01037SG2.DWG
Job No.: 01-037	Sheet: 2 of 3

Scale 1" = 100 ft

TRACT 30A-1
LANDS OF SALAZAR FAMILY TRUST,
SALAZAR QUATRO TRUST,
JSJ INVESTMENT COMPANY
AND FALBA HANNETT
(07-23-03, 03C-223)

(*)TRACT 13-D

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

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UNIT 2
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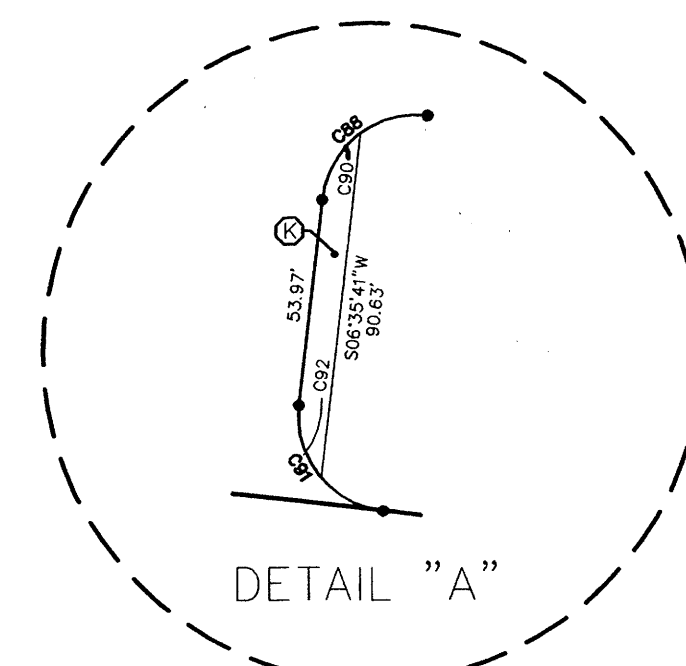
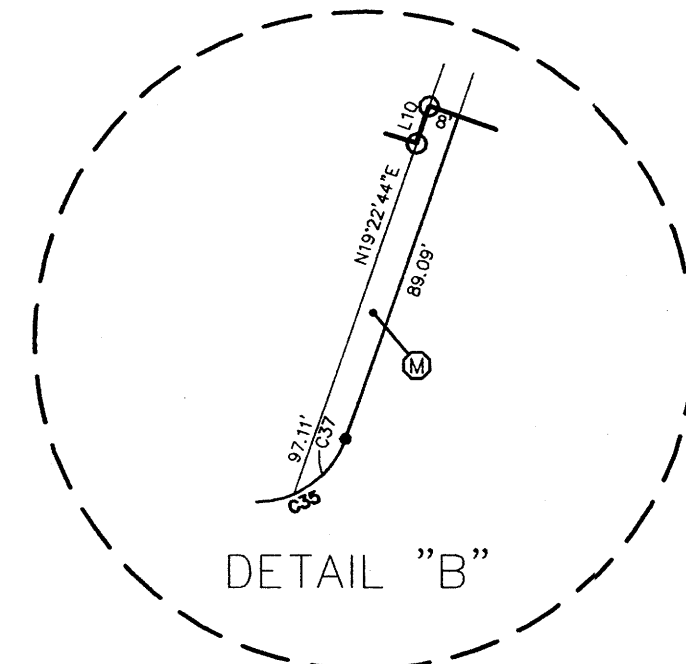
TRACTS

- TRACT E= 0.0170 AC.
- TRACT H= 0.0454 AC.
- TRACT I= 0.0333 AC.
- TRACT J= 0.0146 AC.
- TRACT K= 0.0146 AC.
- TRACT L= 0.0335 AC.
- TRACT M= 0.0187 AC.
- TRACT S= 0.0089 AC.
- TRACT T= 0.0087 AC.
- TRACT U= 0.0089 AC.
- TRACT X= 3.6067 AC.

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	48.62'	92°51'13"	30.00'	31.53'	S65°48'20"W	43.47'
C2	372.28'	15°38'16"	1364.00'	187.30'	N75°35'11"W	371.12'
C3	39.26'	89°58'04"	25.00'	24.99'	N38°25'17"W	35.35'
C4	610.98'	54°11'22"	646.00'	330.50'	N20°31'56"W	588.46'
C5	23.24'	01°01'16"	1304.00'	11.62'	N47°06'59"W	23.24'
C6	50.86'	97°08'13"	30.00'	33.99'	N01°57'45"E	44.98'
C7	641.46'	47°32'45"	773.00'	340.50'	N17°12'37"W	623.21'
C8	79.79'	05°54'50"	773.00'	39.93'	N03°36'20"E	79.75'
C9	561.67'	41°37'55"	773.00'	293.88'	N20°10'02"W	549.40'
C10	419.52'	13°46'58"	1744.00'	210.78'	S76°30'50"E	418.51'
C11	363.07'	13°57'08"	1491.00'	182.44'	N76°25'45"W	362.18'
C12	38.43'	88°04'32"	25.00'	24.17'	N06°29'36"E	34.76'
C13	20.58'	47°09'23"	25.00'	10.91'	N26°57'11"E	20.00'
C14	17.85'	40°55'09"	25.00'	9.33'	N17°05'05"W	17.48'
C15	488.53'	35°09'51"	796.00'	252.23'	N19°57'44"W	480.90'
C16	62.73'	04°30'56"	796.00'	31.38'	N35°17'11"W	62.72'
C17	54.98'	03°57'26"	796.00'	27.50'	N31°03'00"W	54.96'
C18	54.98'	03°57'26"	796.00'	27.50'	N27°05'35"W	54.96'
C19	54.98'	03°57'26"	796.00'	27.50'	N23°08'09"W	54.96'
C20	54.98'	03°57'26"	796.00'	27.50'	N19°10'44"W	54.96'
C21	54.98'	03°57'26"	796.00'	27.50'	N15°13'18"W	54.96'
C22	78.10'	05°37'20"	796.00'	39.09'	N10°25'55"W	78.08'
C23	72.80'	05°14'25"	796.00'	36.43'	N05°00'02"W	72.78'
C24	35.35'	81°01'30"	25.00'	21.36'	N42°53'34"W	32.48'
C25	26.70'	61°12'30"	25.00'	14.79'	N32°59'04"W	25.46'
C26	8.65'	19°49'00"	25.00'	4.37'	N73°29'49"W	8.60'
C27	376.90'	12°13'16"	1767.00'	189.17'	S77°17'41"E	376.19'
C28	42.37'	01°22'27"	1767.00'	21.19'	S82°43'06"E	42.37'
C29	55.53'	01°48'02"	1767.00'	27.77'	S81°07'52"E	55.53'
C30	55.53'	01°48'02"	1767.00'	27.77'	S79°19'50"E	55.53'
C31	55.53'	01°48'02"	1767.00'	27.77'	S77°31'48"E	55.53'
C32	55.53'	01°48'02"	1767.00'	27.77'	N75°43'46"W	55.53'
C33	55.53'	01°48'02"	1767.00'	27.77'	N73°55'43"W	55.53'
C34	56.88'	01°50'39"	1767.00'	28.44'	N72°06'23"W	56.87'
C35	39.02'	89°26'13"	25.00'	24.76'	N64°05'50"E	35.18'
C36	18.45'	42°16'50"	25.00'	9.67'	N87°40'32"E	18.03'
C37	20.57'	47°09'23"	25.00'	10.91'	N42°57'25"E	20.00'
C38	40.25'	92°14'21"	25.00'	26.00'	N50°28'30"E	36.04'
C39	20.30'	46°30'48"	25.00'	10.74'	N27°36'44"E	19.74'
C40	19.95'	45°43'33"	25.00'	10.54'	N73°43'54"E	19.43'
C41	366.13'	12°11'21"	1721.00'	183.76'	S77°18'38"E	365.44'
C42	27.42'	00°54'47"	1721.00'	13.71'	S82°56'56"E	27.42'
C43	59.04'	01°57'56"	1721.00'	29.52'	S81°30'34"E	59.04'
C44	59.04'	01°57'56"	1721.00'	29.52'	S79°32'38"E	59.04'
C45	59.04'	01°57'56"	1721.00'	29.52'	S77°34'43"E	59.04'
C46	59.04'	01°57'56"	1721.00'	29.52'	N75°36'47"W	59.04'
C47	59.04'	01°57'56"	1721.00'	29.52'	N73°38'51"W	59.04'
C48	43.51'	01°26'54"	1721.00'	21.76'	N71°56'25"W	43.51'
C49	39.53'	90°35'42"	25.00'	25.26'	N25°55'07"W	35.54'
C50	18.95'	43°26'19"	25.00'	9.96'	N49°29'48"W	18.50'
C51	20.58'	47°09'23"	25.00'	10.91'	N04°11'57"W	20.00'
C52	38.98'	89°20'40"	25.00'	24.72'	N64°03'04"E	35.15'
C53	20.58'	47°09'23"	25.00'	10.91'	N42°57'25"E	20.00'
C54	18.40'	42°11'17"	25.00'	9.64'	N87°37'45"E	17.99'
C55	320.49'	12°07'43"	1514.00'	160.85'	S77°20'28"E	319.89'
C56	54.83'	02°04'29"	1514.00'	27.42'	N72°18'51"W	54.82'
C57	64.91'	02°27'23"	1514.00'	32.46'	N74°34'47"W	64.91'
C58	64.03'	02°25'23"	1514.00'	32.02'	S77°01'11"E	64.02'
C59	55.45'	02°05'55"	1514.00'	27.73'	S79°16'50"E	55.45'
C60	55.45'	02°05'55"	1514.00'	27.73'	S81°22'44"E	55.45'
C61	25.82'	00°58'38"	1514.00'	12.91'	S82°55'01"E	25.82'
C62	39.26'	89°58'04"	25.00'	24.99'	N38°25'17"W	35.35'
C63	18.68'	42°48'41"	25.00'	9.80'	N61°59'59"W	18.25'
C64	20.58'	47°09'23"	25.00'	10.91'	N17°00'56"W	20.00'
C65	30.66'	02°12'25"	796.00'	15.33'	N05°27'32"E	30.66'
C66	49.11'	03°29'59"	804.00'	24.56'	N04°48'46"E	49.10'
C67	25.77'	00°54'47"	1617.50'	12.89'	S82°56'56"E	25.78'
C68	55.49'	01°57'56"	1617.50'	27.75'	S81°30'34"E	55.49'
C69	55.49'	01°57'56"	1617.50'	27.75'	S79°32'38"E	55.49'
C70	55.49'	01°57'56"	1617.50'	27.75'	S77°34'43"E	55.49'
C71	55.49'	01°57'56"	1617.50'	27.75'	N75°36'47"W	55.49'
C72	55.49'	01°57'56"	1617.50'	27.75'	N73°38'51"W	55.49'
C73	57.07'	02°01'19"	1617.50'	28.54'	N71°39'13"W	57.08'
C74	27.58'	00°58'38"	1617.50'	13.79'	S82°55'01"E	27.58'
C75	59.24'	02°05'55"	1617.50'	29.63'	S81°22'44"E	59.24'
C76	59.24'	02°05'55"	1617.50'	29.63'	S79°16'50"E	59.24'
C77	68.40'	02°25'23"	1617.50'	34.21'	S77°01'11"E	68.40'
C78	69.35'	02°27'23"	1617.50'	34.68'	N74°34'47"W	69.34'
C79	76.48'	02°42'32"	1617.50'	38.24'	N71°59'50"W	76.47'
C80	39.44'	90°22'54"	25.00'	25.17'	N25°48'43"W	35.47'
C81	317.77'	12°24'09"	1468.00'	159.51'	S77°12'14"E	317.15'
C82	44.62'	01°44'29"	1468.00'	22.32'	N71°52'25"W	44.63'
C83	59.60'	02°19'34"	1468.00'	29.80'	N73°54'27"W	59.59'
C84	59.60'	02°19'34"	1468.00'	29.80'	N76°14'01"W	59.59'
C85	59.60'	02°19'34"	1468.00'	29.80'	S78°33'35"E	59.59'
C86	59.60'	02°19'34"	1468.00'	29.80'	S80°53'08"E	59.59'
C87	34.75'	01°21'24"	1468.00'	17.38'	S82°43'37"E	34.76'
C88	39.27'	90°00'01"	25.00'	25.00'	N51°35'41"E	35.36'
C89	18.69'	42°50'38"	25.00'	9.81'	N75°10'23"E	18.26'
C90	20.58'	47°09'23"	25.00'	10.91'	N30°10'22"E	20.00'
C91	39.27'	90°00'00"	25.00'	25.00'	N38°24'19"W	35.36'
C92	20.58'	47°09'23"	25.00'	10.91'	N16°59'00"W	20.00'
C93	18.69'	42°50'37"	25.00'	9.81'	N61°59'01"W	18.26'
C94	14.14'	00°35'36"	1364.00'	7.06'	N68°03'51"W	14.13'
C95	38.01'	01°35'47"	1364.00'	19.01'	N69°09'34"W	38.01'
C96	65.94'	02°46'11"	1364.00'	32.98'	N71°20'33"W	65.93'
C97	55.37'	02°19'34"	1364.00'	27.69'	N73°53'26"W	55.37'
C98	55.37'	02°19'34"	1364.00'	27.69'	N76°12'59"W	55.37'
C99	55.37'	02°19'34"	1364.00'	27.69'	S78°32'33"E	55.37'

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C100	55.38'	02°19'34"	1364.00'	27.69'	S80°52'07"E	55.37'
C101	32.70'	01°22'26"	1364.00'	16.35'	S82°43'06"E	32.70'
C102	39.27'	90°00'00"	25.00'	25.00'	N51°35'41"E	35.36'
C103	18.69'	42°50'38"	25.00'	9.81'	N75°10'22"E	18.26'
C104	20.58'	47°09'22"	25.00'	10.91'	N30°10'22"E	20.00'
C105	39.27'	90°00'00"	25.00'	25.00'	N38°24'19"W	35.36'
C106	20.58'	47°09'23"	25.00'	10.91'	N16°59'01"W	20.00'
C107	18.69'	42°50'37"	25.00'	9.81'	N61°59'01"W	18.26'
C108	39.28'	90°01'56"	25.00'	25.01'	N51°34'43"E	35.37'
C109	582.30'	44°29'04"	750.00'	306.71'	N15°40'47"W	567.79'
C110	24.07'	01°50'16"	750.00'	12.03'	N05°38'37"E	24.06'
C111	63.51'	04°51'07"	750.00'	31.77'	N02°17'55"E	63.49'
C112	63.51'	04°51'07"	750.00'	31.77'	N02°33'12"W	63.49'
C113	63.51'	04°51'07"	750.00'	31.77'	N07°24'19"W	63.49'
C114	63.51'	04°51'07"	750.00'	31.77'	N12°15'26"W	63.49'
C115	63.51'	04°51'07"	750.00'	31.77'	N17°06'32"W	63.49'
C116	63.51'	04°51'07"	750.00'	31.77'	N21°57'39"W	63.49'
C117	63.51'	04°51'07"	750.00'	31.77'	N26°48'46"W	63.49'
C118	63.51'	04°51'07"	750.00'	31.77'	N31°39'53"W	63.49'
C119	50.15'	03°49'52"	750.00'	25.09'	N36°00'23"W	50.14'
C120	39.94'	91°32'49"	25.00'	25.68'	S83°41'44"E	35.83'
C121	20.74'	01°50'17"	646.00'	10.36'	N05°38'37"E	20.72'
C122	54.70'	04°51'06"	646.00'	27.37'	N02°17'55"E	54.69'
C123	54.70'	04°51'08"	646.00'	27.37'	N02°33'12"W	54.69'
C124	54.70'	04°51'06"	646.00'	27.37'	N07°24'19"W	54.69'
C125	54.70'	04°51'08"	646.00'	27.37'	N12°15'26"W	54.69'
C126	54.70'	04°51'06"	646.00'	27.37'	N17°06'32"W	54.69'
C127	54.70'	04°51'08"	646.00'	27.37'	N21°57'39"W	54.69'
C128	54.70'	04°51'06"	646.00'	27.37'	N26°48'46"W	54.69'
C129	54.70'	04°51'08"	646.00'	27.37'	N31°39'53"W	54.69'
C130	66.07'	05°51'33"	646.00'	33.06'	N37°01'14"W	66.04'
C131	38.05'	03°22'24"	646.00'	19.02'	N41°38'13"W	38.03'
C132	48.52'	04°18'12"	646.00'	24.27'	N45°28'31"W	48.51'

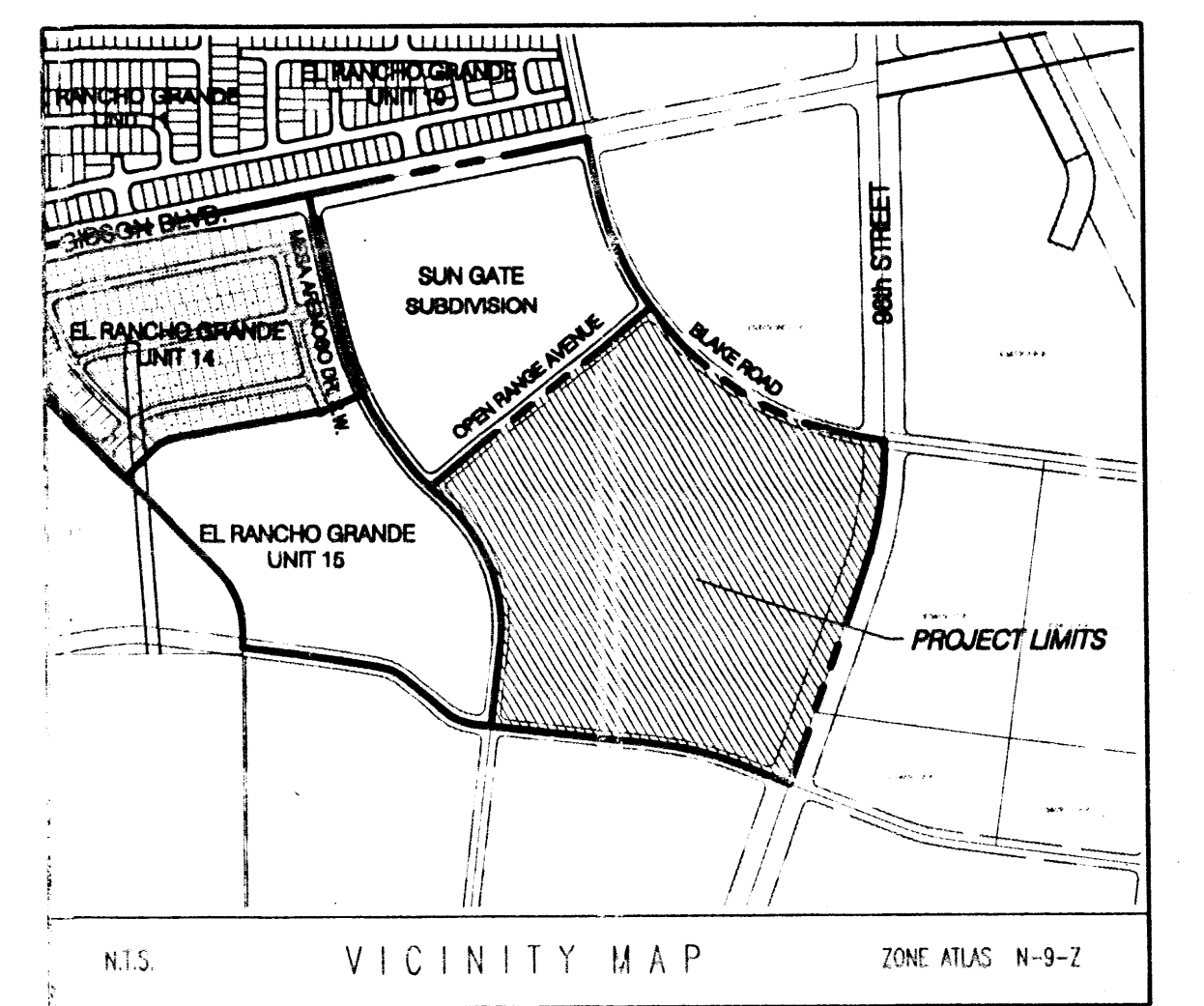
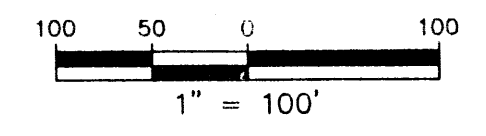
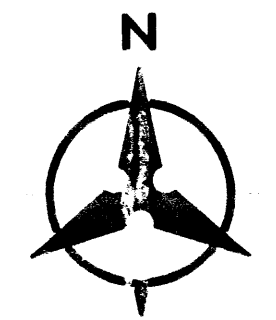
LINE	DIRECTION	DISTANCE
L1	S39°28'08"E	151.00'
L2	N50°31'52"E	30.29'
L3	S39°28'08"E	142.55'
L4	S29°21'45"E	156.71'
L5	S16°11'17"E	208.61'
L6	S83°09'51"E	434.70'
L7	S70°37'16"E	186.24'
L8	S70°48'13"E	39.41'
L9	S72°12'01"E	84.12'
L10	N19°22'44"E	10.31'
L11	S70°37'16"E	171.00'
L12	S19°22'44"W	492.35'
L13	N67°46'03"W	71.48'
L14	N83°24'19"W	554.44'
L15	N06°33'45"E	275.27'
L16	N50°31'52"E	203.98'
L17	N70°37'16"W	38.00'
L18	N19°22'44"E	10.79'
L19	N19°22'44"E	9.82'
L20	N06°33'45"E	38.00'
L21	S83°24'19"E	10.00'
L22	S06°35'41"W	38.00'
L23	S83°24'19"E	10.00'
L24	N50°31'52"E	11.14'
L25	S39°28'08"E	38.00'
L26	N50°31'52"E	9.70'



SKETCH PLAT FOR SUN GATE ESTATES

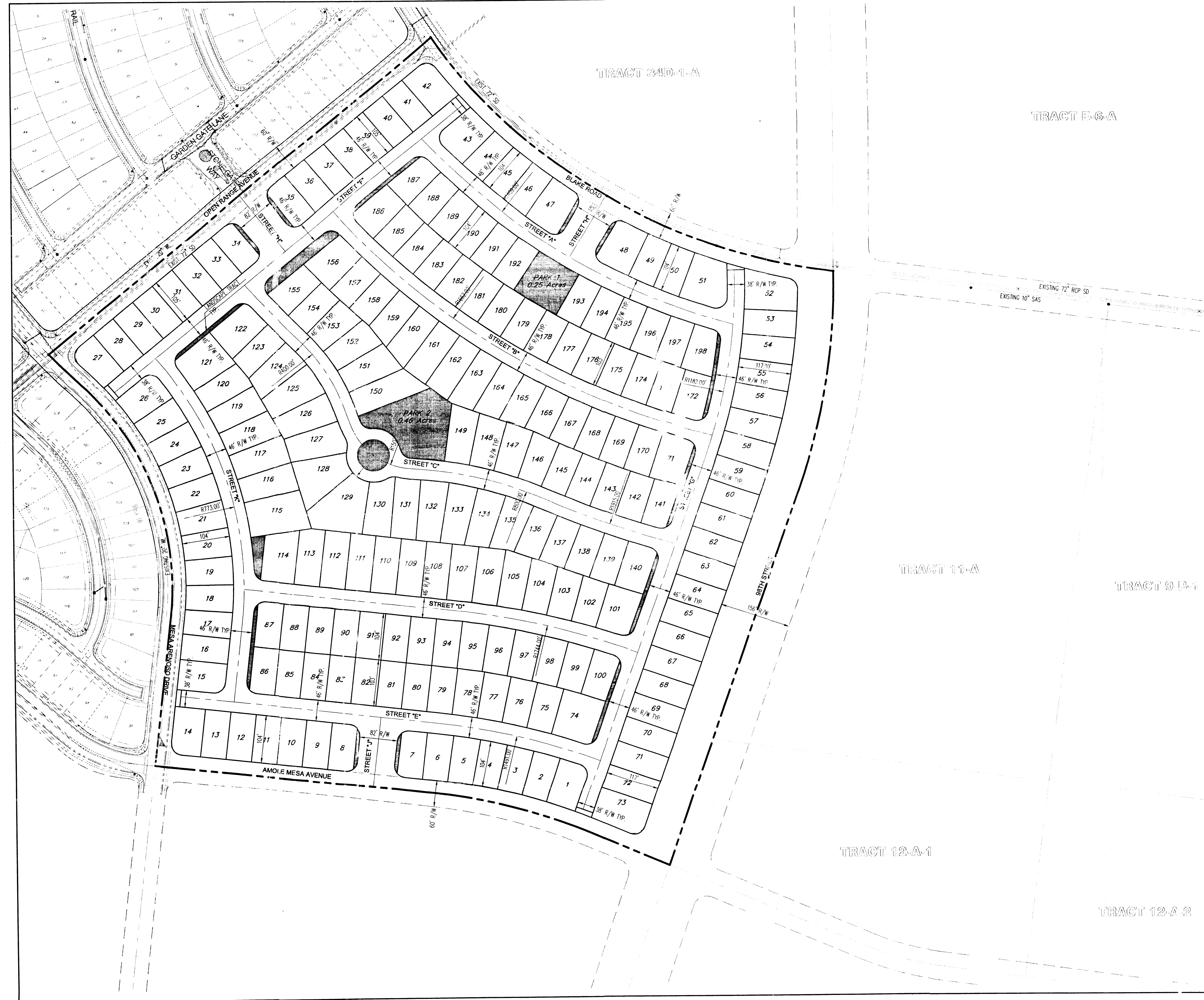
(REPLAT OF TRACT 31A - 1 - A
LANDS OF SALAZAR FAMILY TRUST,
JSJ INVESTMENT COMPANY AND FALBA HANNETT)

CITY OF ALBUQUERQUE, NEW MEXICO
AUGUST 2004



SITE DATA

ZONE ATLAS NO.	N-9-Z
NO. OF LOTS CREATED	198



Bohannon & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS