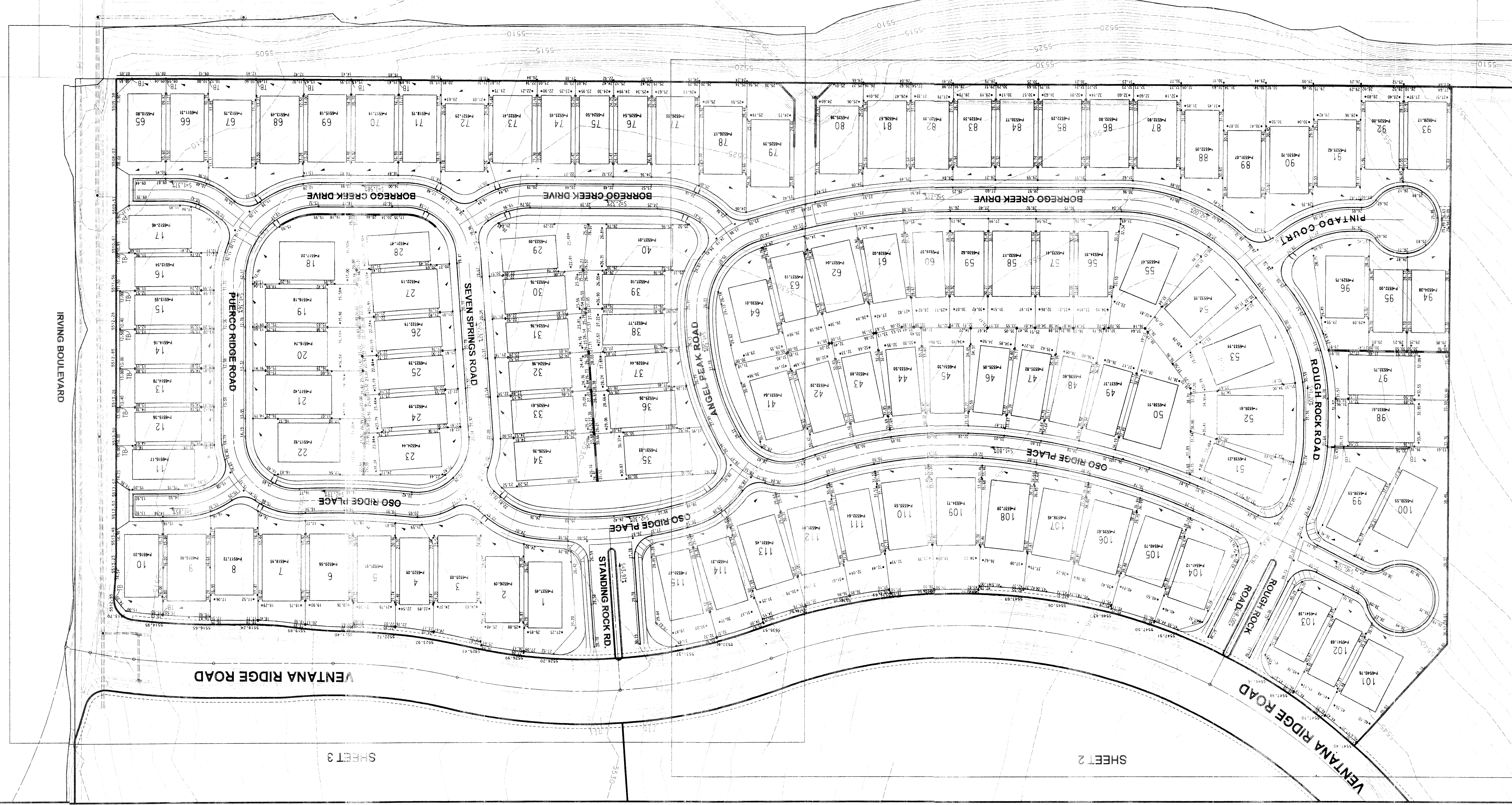
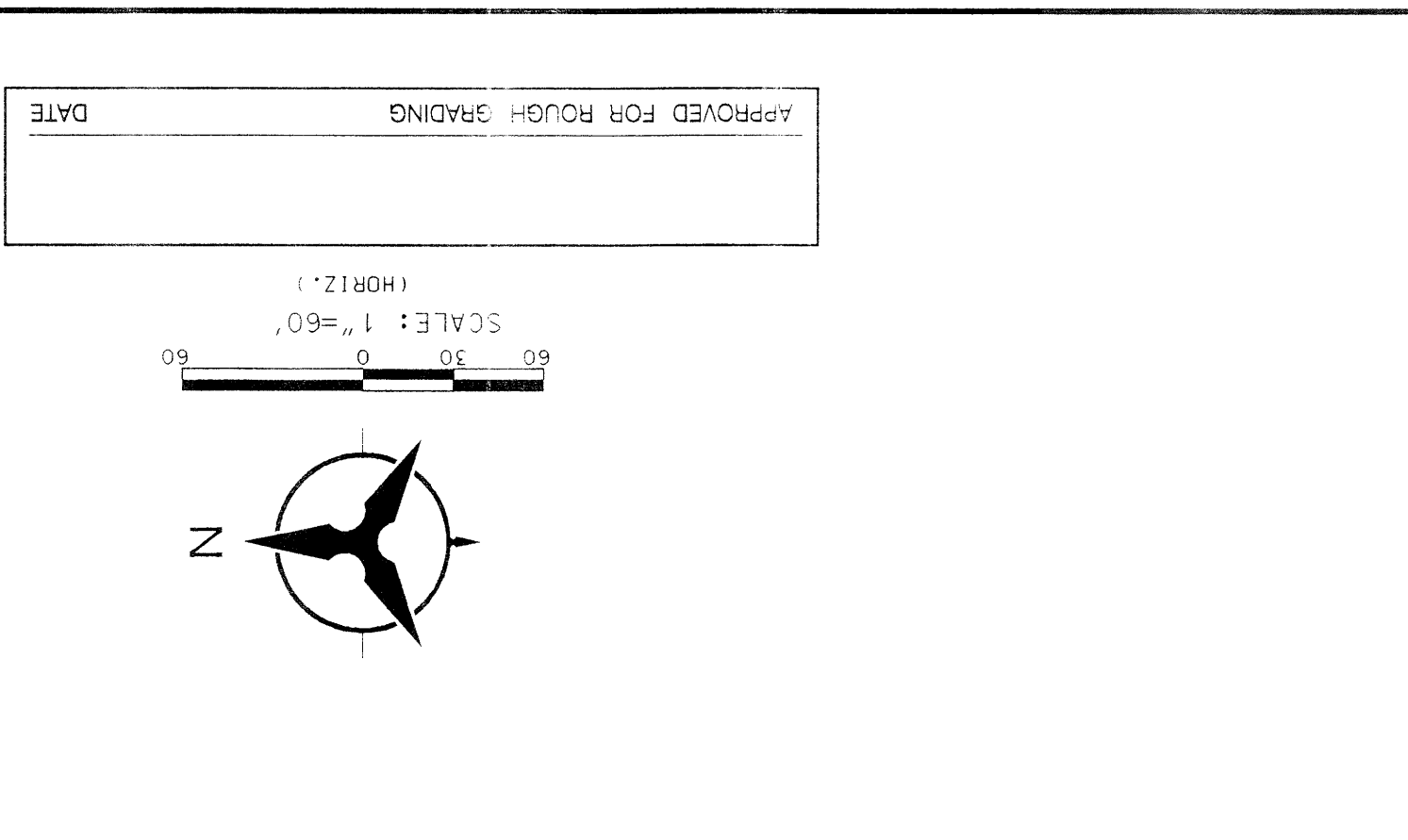
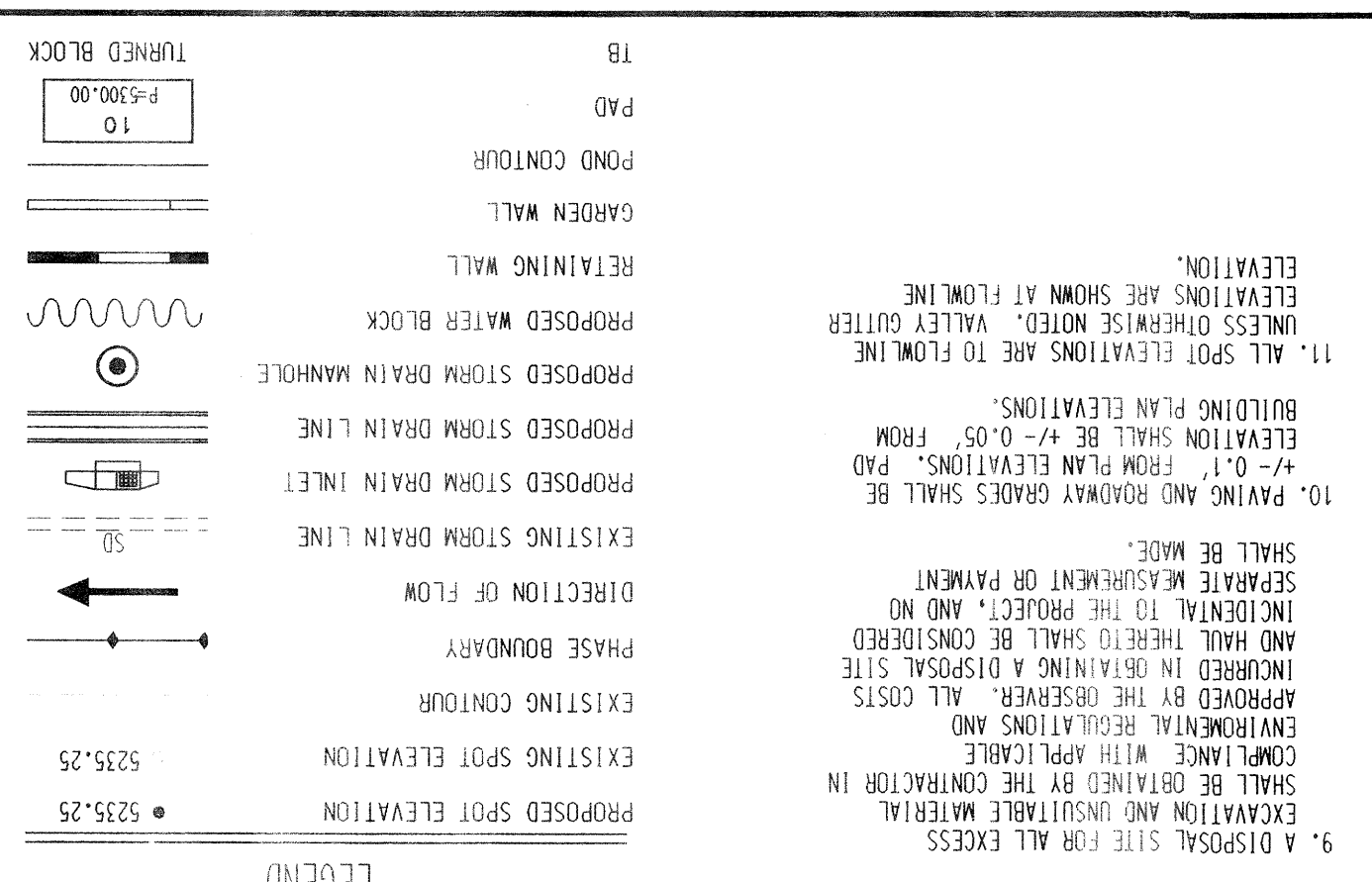


GENERAL NOTES:

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. CONTRACTOR SHALL OBTAIN AND ADOPT BY A TOPSOIL DISTURBANCE PERMIT FROM THE HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCURRED TO THE PROJECT COST. CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
3. ALL WORK RELATIVE TO FORWARD CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT UNLESS OTHERWISE STATED OR PROVIDED FOR DATE: AUGUST 16, 2004. ALL OTHER WORK, PLANTERS AND NON-STRUCTURAL FILLS, VEGETATION AND DEBRIS SHALL BE DISPOSED IN A DESIGNATED AREA AS SHOWN ON THIS PLAN. EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND Haul THERE TO THE PROJECT, AND NO INCIDENTAL TO THE PROJECT, SHALL BE MADE.
4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION, AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS. SERVICE (65-1264) FOR LOCAT ON EXISTING UTILITIES.
5. PRIOR TO GRADING, ALL VERTICAL CURVES SHALL BE OBTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
6. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY LINES BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
8. THE CONTRACTOR IS TO ENSURE THAT NO SOIL EROSION OCCURS FROM THE SITE INTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING ELEVATIONS ARE SHOWN AT FLOWLINE. ELEVATION.
9. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL AND NEAR SIGNAGE ORGANELLY SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND Haul THERE TO THE PROJECT, AND NO INCIDENTAL TO THE PROJECT, SHALL BE MADE.
10. PAYING AND ROADWAY GRADES SHALL BE DETERMINED FROM PLAN ELEVATIONS. PAID ELEVATIONS ARE SHOWN AT FLOWLINE. ELEVATION.
11. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY OUTER ELEVATIONS ARE SHOWN AT FLOWLINE.



**Bohman & Huston**  
 Engineering - Spatial Data - Advanced Technologies  
 County Road 17500 Jefferson St. NE Albuquerque, NM 87109-4335

**CITY OF ALBUQUERQUE**  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DIVISION

VENTANA RIDGE SUBDIVISION AT VENTANA RANCH WEST  
 OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE  
 CITY ENGINEER APPROVAL

ZONE MAP NO. B-8-Z  
 CITY PROJECT NO. XXXXXX

SHEET 1 OF 3

NO.	DATE	REVISIONS	BY

DESIGNED BY: KJM  
 DRAWN BY: BS  
 CHECKED BY: KOP

DATE: /20  
 DATE: /20

ENGINEER'S SEAL

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	CONTRACTOR	FIELD NOTES	CONTRACTOR	DATE

AC'S BRASS TABLET STAMPED 2"-810 1980"

GEOGRAPHIC POSITION (NAD 1927)

N.M. STATE PLANE COORDINATES

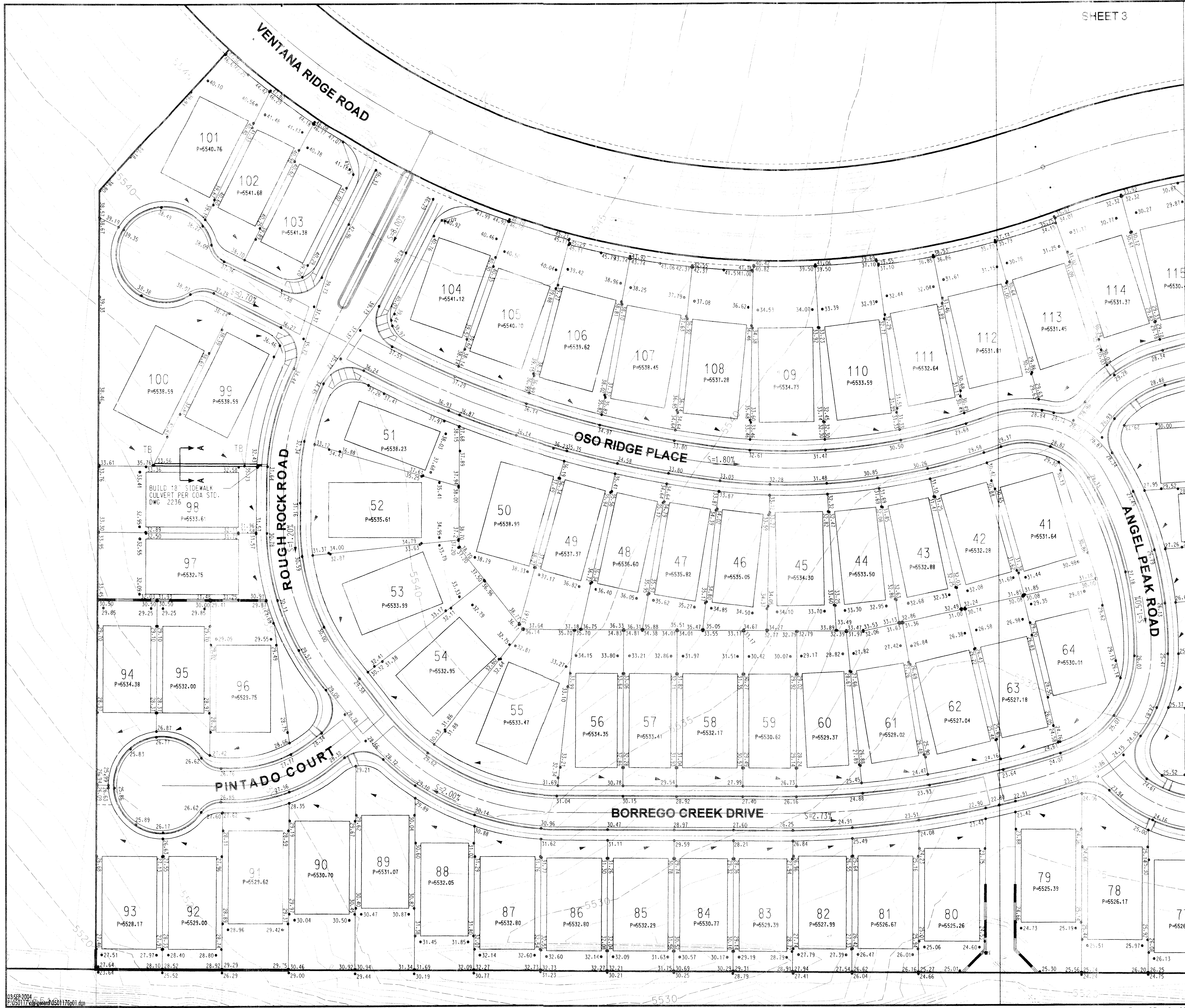
(CENTRAL ZONE)

X=357543.73 Y=1527976.48

GROUND-TO-GRID FACTOR = .99966354

DELTA ALPHA = -0016'30"

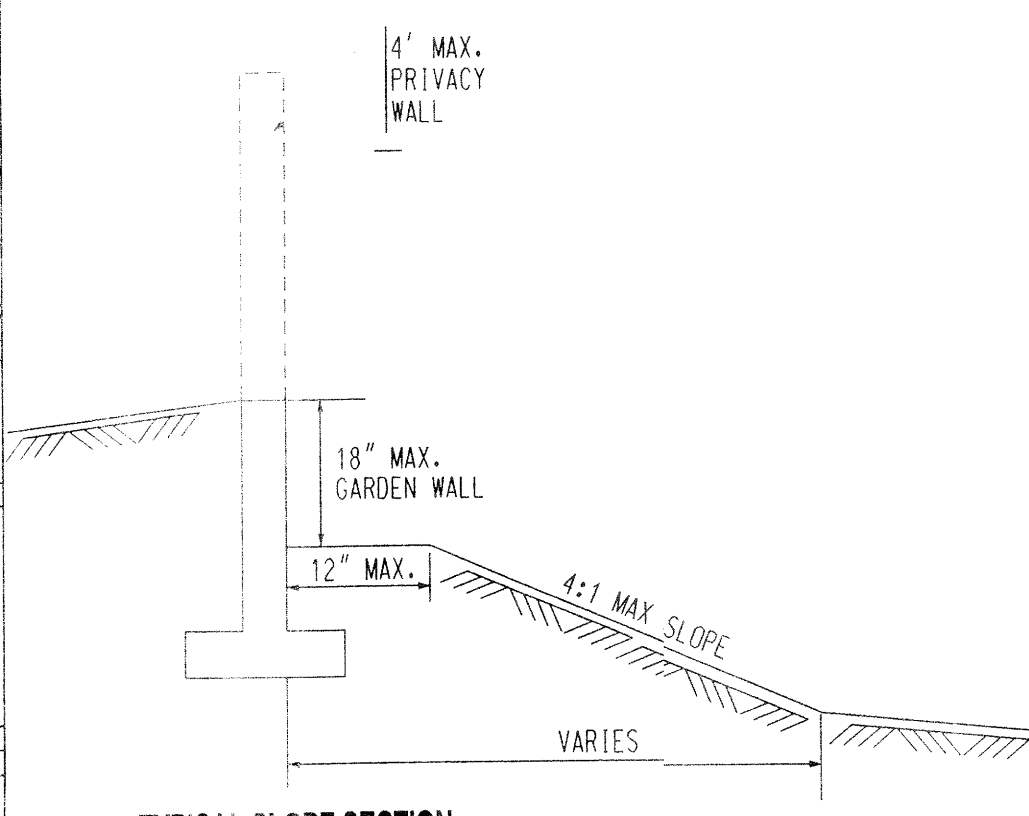
NGD 1929 ELEVATION = 5429.35



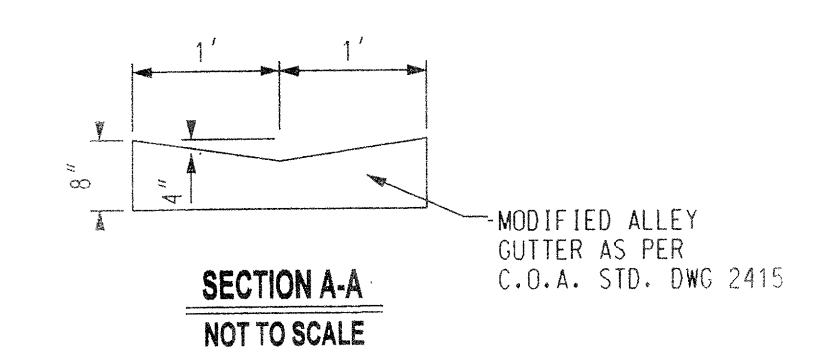
SHEET 3

NOTE:  
A TEMPORARY DESILTATION POND SHALL BE BUILT ON EACH LOT. (SEE SHEET 3 FOR DETAILS)

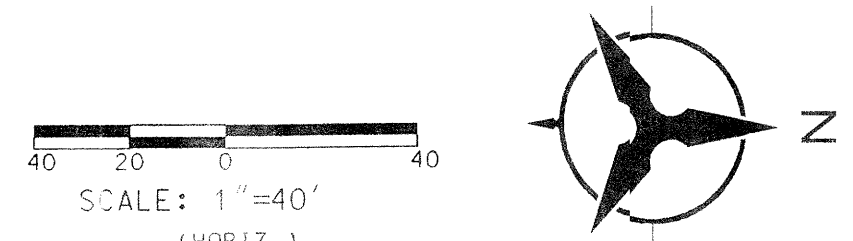
- LEGEND
- PROPOSED SPOT ELEVATION ● 5235.25
  - EXISTING SPOT ELEVATION ○ 5235.25
  - EXISTING CONTOUR ———
  - PHASE BOUNDARY ———
  - DIRECTION OF FLOW →
  - EXISTING STORM DRAIN LINE ———
  - PROPOSED STORM DRAIN INLET [Symbol]
  - PROPOSED STORM DRAIN LINE [Symbol]
  - PROPOSED STORM DRAIN MANHOLE [Symbol]
  - PROPOSED WATER BLOCK [Symbol]
  - RETAINING WALL [Symbol]
  - GARDEN WALL [Symbol]
  - POND CONTOUR [Symbol]
  - FAD [Symbol]
  - TB [Symbol]
  - TURNED BLOCK [Symbol]



TYPICAL SLOPE SECTION FOR LOTS 18-22, 29-34, 51-64 AND LOTS 101 THRU 115  
NOT TO SCALE



SECTION A-A  
NOT TO SCALE



APPROVED FOR ROUGH GRADING \_\_\_\_\_ DATE \_\_\_\_\_

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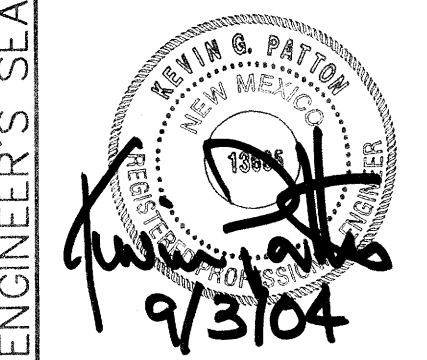
**CITY OF ALBUQUERQUE**  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DEVELOPMENT GROUP

VENTANA RIDGE SUBDIVISION AT VENTANA RANCH WEST  
 GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

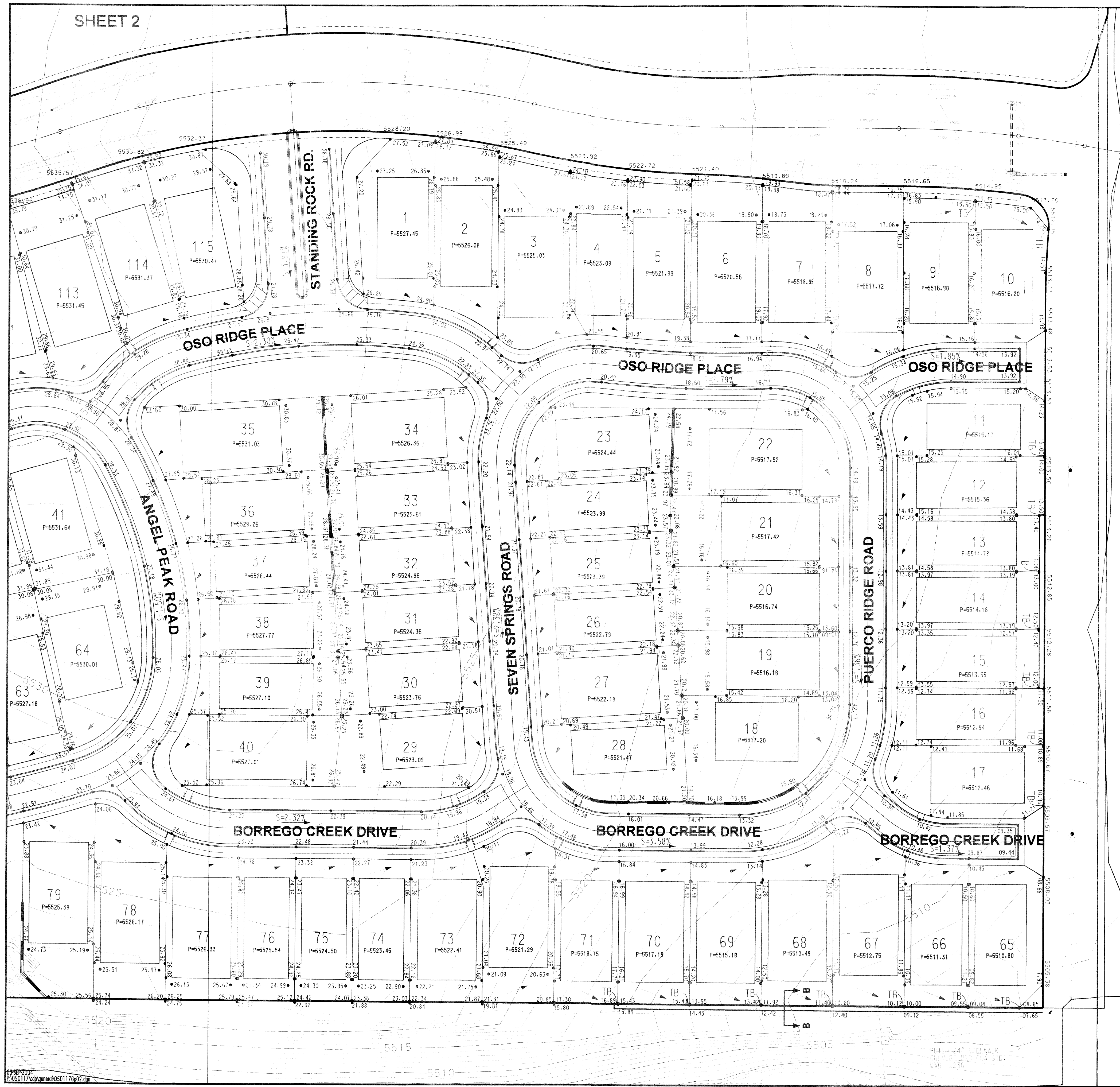
CITY PROJECT NO. XXXXXX ZONE MAP NO. B-8-Z SHEET 2 OF 3

BENCH MARKS		SURVEY INFORMATION		AS-BUILT INFORMATION	
ACS BRASS TABLE STAMPED 2-BIO 1980"	DATE	CONTRACTOR	BY	CONTRACTOR	DATE
GEOGRAPHIC POSITION (NAD 1927)		INSPECTOR'S NAME	DATE	INSPECTOR'S NAME	DATE
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)		INSPECTOR'S REFERENCE BY		INSPECTOR'S REFERENCE BY	
X=357,543.73 Y=1,527,976.48		INSPECTOR'S VERIFICATION BY		INSPECTOR'S VERIFICATION BY	
GROUND-TO-GRID FACTOR = .99966354		INSPECTOR'S CORRECTED BY		INSPECTOR'S CORRECTED BY	
DELTA ALPHA = 0016'30"		INSPECTOR'S MICRO-FILM INFORMATION		INSPECTOR'S MICRO-FILM INFORMATION	
NOV0 1929 ELEVATION = 5429.35					



REVISIONS	DATE	BY
DESIGN	8/2004	KJM
	8/2004	BS
	8/2004	KGP

03 SEP 2004  
 P:\050117\albuquerque\050117\050117.dwg



**NOTE:**  
A TEMPORARY DESILTATION POND SHALL BE BUILT ON EACH LOT. (SEE THIS SHEET FOR DETAILS)

**LEGEND**

- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PHASE BOUNDARY
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- GARDEN WALL
- POND CONTOUR
- PAD
- TE
- TURNED BLOCK

**EROSION CONTROL PLAN NOT TO SCALE**  
BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED DURING CONSTRUCTION UNTIL COMPLETION OF INDIVIDUAL HOMES WITHIN THE PROJECT

**TYPICAL SIDE LOT LINE SECTION NOT TO SCALE**

**TEMPORARY DESILTATION BASIN NOT TO SCALE**  
NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTION REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STORM AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIOR CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.

**SECTION B-B FOR LOTS 66-71 NOT TO SCALE**

**SECTION A-A NOT TO SCALE**

**SECTION B-B FOR LOTS 66-71 NOT TO SCALE**

**APPROVED FOR ROUGH GRADING** \_\_\_\_\_ DATE \_\_\_\_\_

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**CITY OF ALBUQUERQUE**  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DEVELOPMENT GROUP

**VENTANA RIDGE SUBDIVISION AT VENTANA RANCH WEST**  
 GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. XXXXXX ZONE MAP NO. B-8-Z SHEET 3 OF 3

DESIGNED BY: KJM  
 DRAWN BY: BS  
 CHECKED BY: KGP

DATE: 8/2004  
 DATE: 8/2004

REVISIONS  
 DESIGN

NO. DATE REMARKS BY

ENGINEER'S SEAL:

CONTRACTOR: ACS BRASS TABLET STAMPED 2-BIO 1980"  
 STARTED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 ACCEPTED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 FIELD ENGINEER BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**AS-BUILT INFORMATION**

CONTRACTOR: \_\_\_\_\_  
 STARTED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 ACCEPTED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 FIELD ENGINEER BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**BENCH MARKS**  
 N.M. STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=357,543.73 Y=1,527,976.48  
 GROUND-TO-GRID FACTOR = 99966354  
 DELTA ALPHA = -0016'30"  
 NGVD 1929 ELEVATION = 5425.35

IRVING BOULEVARD

SCALE: 1"=40'  
(HORIZ.)

7117.dwg 050117602.dwg

BHI JOB NO. 05 0117 005

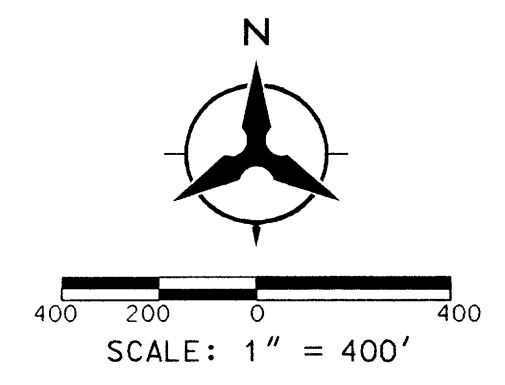


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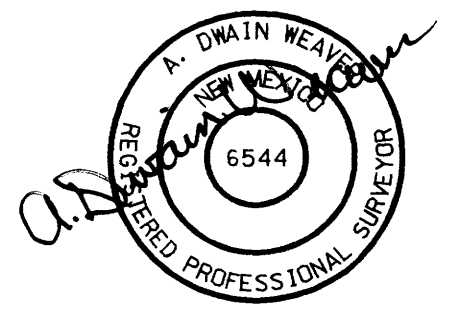
**BULK LAND PLAT FOR VENTANA RANCH WEST**  
 WITHIN THE CITY OF ALBUQUERQUE AND BERNALILLO COUNTY, NEW MEXICO  
 FEBRUARY, 2004

ACS BRASS TABLE STAMPED "3-B10 1980"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=360,239.42 Y=1,529,014.85  
 GROUND TO GRID FACTOR = 0.9996639  
 DELTA ALPHA = -00°16'11"  
 NGVD 1929 SPIRIT ELEVATION = 5404.40

Tangent Data		
ID	BEARING	DISTANCE
T1	N89°39'18"W	56.43'



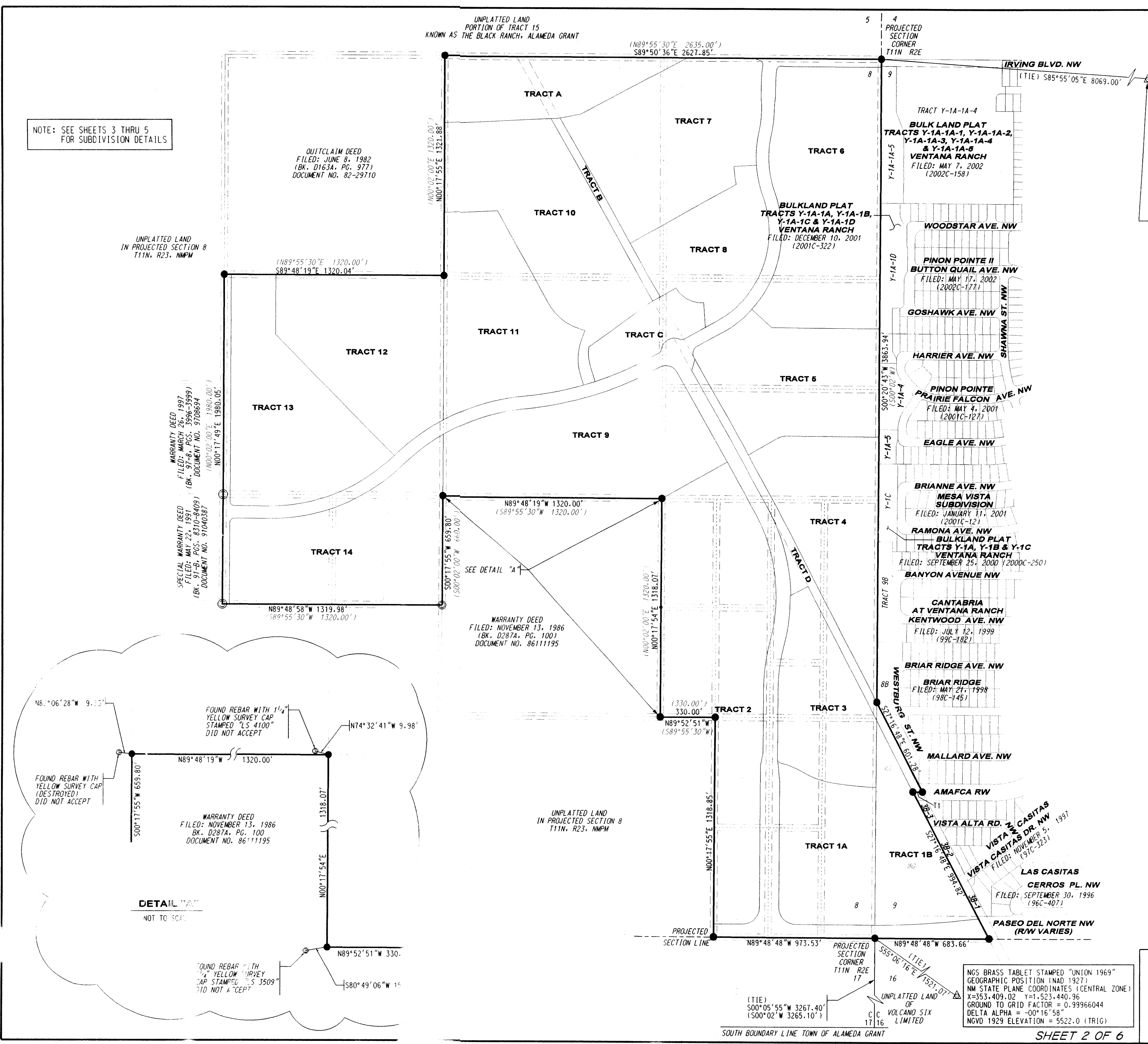
LEGEND	
	BOUNDARY LINE
	CENTERLINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED BY THIS PLAT
	ADJOINING PROPERTY LINE
	5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "LS 4078"
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	FOUND 5/8" REBAR WITH 1 1/4" RED PLASTIC SURVEY CAP STAMPED "E H & A LS 7719"
	CENTERLINE MONUMENT TO BE INSTALLED
	EXISTING 20' ROAD & UTILITY EASEMENTS RESERVED AS SET FORTH IN THE WARRANTY DEEDS. EASEMENTS VACATED BY VACATION ACTION V-



**Bohannon Huston**  
 Engineering Spatial Data Advanced Technologies  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

P:\040238\_survey\002\graphics\final\plat\040238\_400PLAT02.dgn 24-FEB-2004 08:04 mcole JOB NO. 040238 002

2802



NOTE: SEE SHEETS 3 THRU 5 FOR SUBDIVISION DETAILS

UNPLATTED LAND IN PROJECTED SECTION 8 T11N, R23, NMPM

QUITCLAIM DEED  
 FILED: JUNE 8, 1982  
 (BK. D163A, PG. 977)  
 DOCUMENT NO. 82-29710

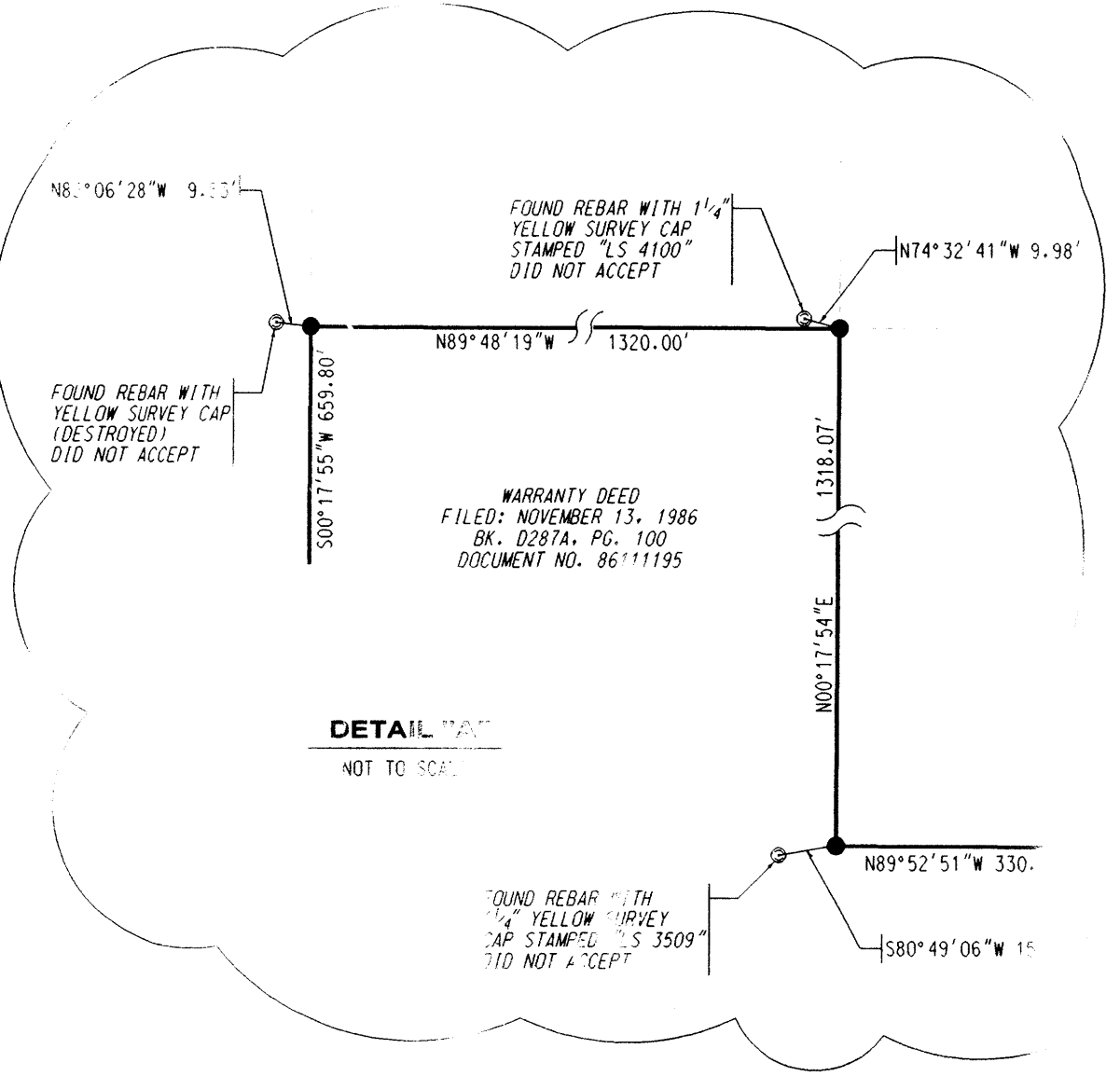
WARRANTY DEED  
 FILED: MARCH 22, 1997  
 (BK. 91-8, PGS. 596-599)  
 DOCUMENT NO. 3706694

SPECIAL WARRANTY DEED  
 FILED: MAY 22, 1991  
 (BK. 91-5, PGS. 8310-8409)  
 DOCUMENT NO. 91040387

WARRANTY DEED  
 FILED: NOVEMBER 13, 1986  
 (BK. D287A, PG. 100)  
 DOCUMENT NO. 86111195

UNPLATTED LAND IN PROJECTED SECTION 8 T11N, R23, NMPM

NGS BRASS TABLE STAMPED "UNION 1969"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=353,409.02 Y=1,523,440.96  
 GROUND TO GRID FACTOR = 0.99966044  
 DELTA ALPHA = -00°16'58"  
 NGVD 1929 ELEVATION = 5522.0 (TRIG)



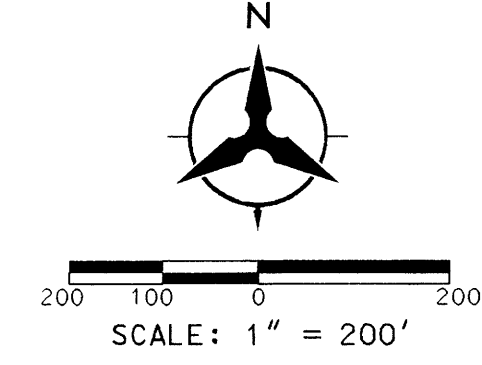
DETAIL "A"  
 NOT TO SCALE

SOUTH BOUNDARY LINE TOWN OF ALAMEDA GRANT

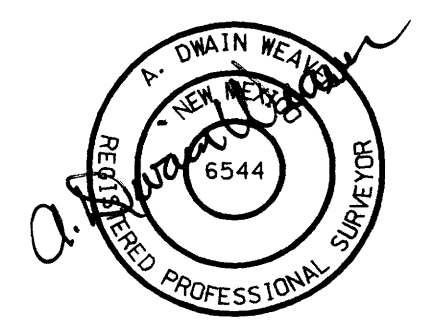
SHEET 2 OF 6

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Page: 3 of 6  
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Bk-2004C Pg-84

**BULK LAND PLAT FOR VENTANA RANCH WEST**  
WITHIN THE CITY OF ALBUQUERQUE AND BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2004



NOTE: SEE SHEET 6 FOR CURVE & TANGENT DATA

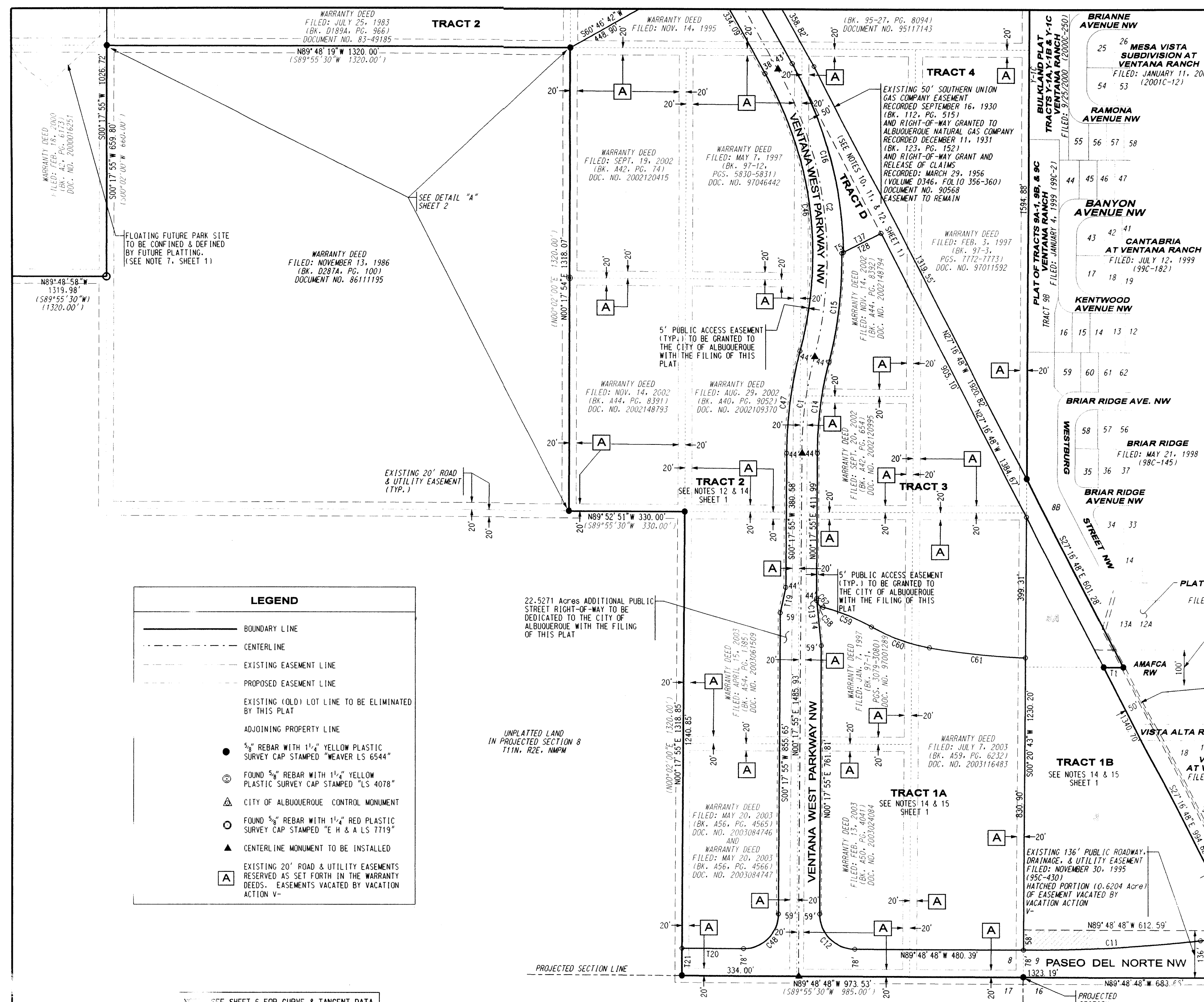


SHEET 5  
SHEET 4  
SHEET 3

**Bohannon Huston**  
Court yard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING SPATIAL DATA ADVANCED TECHNOLOGIES

SHEET 3 OF 6

2802



**LEGEND**

- BOUNDARY LINE
- - - CENTERLINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING (OLD) LOT LINE TO BE ELIMINATED BY THIS PLAT
- - - ADJOINING PROPERTY LINE
- 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- ⊙ FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "LS 4078"
- △ CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND 5/8" REBAR WITH 1 1/4" RED PLASTIC SURVEY CAP STAMPED "E H & A LS 7719"
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- A EXISTING 20' ROAD & UTILITY EASEMENTS RESERVED AS SET FORTH IN THE WARRANTY DEEDS. EASEMENTS VACATED BY VACATION ACTION V-

SEE SHEET 6 FOR CURVE & TANGENT DATA

22.5271 Acres ADDITIONAL PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

UNPLATTED LAND IN PROJECTED SECTION 8 T11N, R2E, NMPM

UNPLATTED LAND IN PROJECTED SECTION 17 T11N, R2E, NMPM

UNPLATTED LAND OF VOLCANO SIX LIMITED

WARRANTY DEED FILED: FEB. 18, 2000 (BK. 45, PG. 0173) DOC. NO. 2000076251

WARRANTY DEED FILED: JULY 25, 1983 (BK. D189A, PG. 966) DOCUMENT NO. 83-49185

WARRANTY DEED FILED: NOVEMBER 13, 1986 (BK. D287A, PG. 100) DOCUMENT NO. 86111195

WARRANTY DEED FILED: SEPT. 19, 2002 (BK. A42, PG. 74) DOC. NO. 2002120415

WARRANTY DEED FILED: MAY 7, 1997 (BK. 97-12, PGS. 530-531) DOC. NO. 97046442

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED: MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568 EASEMENT TO REMAIN

WARRANTY DEED FILED: FEB. 3, 1997 (BK. 91-3, PGS. 772-773) DOC. NO. 97011592

WARRANTY DEED FILED: NOV. 14, 2002 (BK. A44, PG. 8391) DOC. NO. 2002148793

WARRANTY DEED FILED: AUG. 29, 2002 (BK. A40, PG. 9052) DOC. NO. 2002109370

WARRANTY DEED FILED: NOV. 14, 2002 (BK. A44, PG. 8392) DOC. NO. 2002148794

WARRANTY DEED FILED: SEPT. 20, 2002 (BK. A42, PG. 6541) DOC. NO. 2002120939

WARRANTY DEED FILED: JULY 7, 2003 (BK. A59, PG. 6232) DOC. NO. 2003116483

WARRANTY DEED FILED: MAY 20, 2003 (BK. A56, PG. 4565) DOC. NO. 2003084746

WARRANTY DEED FILED: MAY 20, 2003 (BK. A56, PG. 4566) DOC. NO. 2003084747

WARRANTY DEED FILED: FEB. 13, 2003 (BK. A50, PG. 4047) DOC. NO. 2003024084

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED: MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568

EXISTING 100' TEMPORARY DRAINAGE, PUBLIC UTILITY AND TRAIL EASEMENT FILED: NOVEMBER 30, 1995. (95C-430)

EXISTING 55' PUBLIC PEDESTRIAN ACCESS EASEMENT FILED: NOVEMBER 5, 1997 (97C-323)

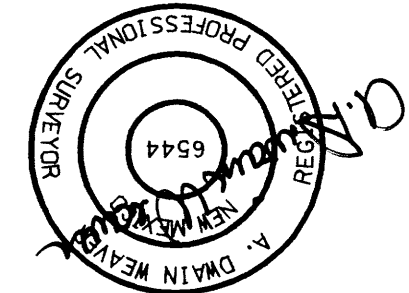
EXISTING 10' NMU WATERLINE EASEMENT FILED: NOVEMBER 5, 1997 (97C-323)

EXISTING 136' PUBLIC ROADWAY, DRAINAGE, & UTILITY EASEMENT FILED: NOVEMBER 30, 1995 (95C-430) HATCHED PORTION (0.6204 Acre) OF EASEMENT VACATED BY VACATION ACTION V-

EXISTING 55' PUBLIC PEDESTRIAN ACCESS EASEMENT FILED: NOVEMBER 5, 1997 (97C-323)

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING SPATIAL DATA  
ADVANCED TECHNOLOGIES

**Bohannon**  
**Huston**



SHEET 3  
SHEET 4  
SHEET 6

SHEET 4 OF 6

**LEGEND**

- BOUNDARY LINE
- CENTRALINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING (OLD) LOT LINE TO BE ELIMINATED BY THIS PLAT
- ADJOINING PROPERTY LINE
- SURVEY CAP STAMPED "WEAVER LS 6544"
- FOUND 5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "LS 4078"
- △ CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND 5/8" REBAR WITH 1/4" RED PLASTIC SURVEY CAP STAMPED "E H & A LS 7719"
- ▼ CENTRALINE MONUMENT TO BE INSTALLED
- EXISTING 20' ROAD & UTILITY EASEMENTS RESERVED AS SET FORTH IN THE WARRANTY DEEDS. EASEMENTS VACATED BY VACATION ACTION V-

SEE SHEET 6 FOR CURVE & TANGENT DATA

UNPLATED LAND  
IN PROJECTED SECTION 8  
T11N. R2E. N49W

SPECIAL WARRANTY DEED  
FILED: MAY 22, 1991  
DOCUMENT NO. 91040387

WARRANTY DEED  
FILED: MARCH 26, 1997  
DOCUMENT NO. 91708694

UNPLATED LAND  
IN PROJECTED SECTION 8  
T11N. R2E. N49W

WARRANTY DEED  
FILED: JUNE 8, 1982  
L.B.K. D163A, PG. 977  
DOCUMENT NO. 82-2977

WARRANTY DEED  
FILED: FEBRUARY 25, 2003  
L.B.K. 451, PG. 1276  
DOCUMENT NO. 2003031331

WARRANTY DEED  
FILED: OCTOBER 28, 2003  
L.B.K. 467, PG. 6383

WARRANTY DEED  
FILED: FEBRUARY 12, 2003  
L.B.K. 450, PG. 28961  
DOCUMENT NO. 2003022939

SEE NOTES 12 & 15  
SHEET 1

SPECIAL WARRANTY DEED  
FILED: AUGUST 14, 2002  
L.B.K. 440, PG. 1831  
DOCUMENT NO. 2002056704

SEE NOTES 12 & 15  
SHEET 1

WARRANTY DEED  
FILED: MAY 1, 2002  
L.B.K. 433, PG. 65451  
DOCUMENT NO. 2002056704

SEE NOTES 12 & 15  
SHEET 1

WARRANTY DEED  
FILED: DECEMBER 11, 1991  
L.B.K. 123, PG. 152  
DOCUMENT NO. 90568

SEE NOTES 11 & 12  
SHEET 1

WARRANTY DEED  
FILED: NOVEMBER 13, 1986  
L.B.K. D271A, PG. 1007  
DOCUMENT NO. 8611195

WARRANTY DEED  
FILED: DECEMBER 14, 2002  
L.B.K. 427, PG. 5427  
DOCUMENT NO. 2002020474

SEE NOTES 12 & 14  
SHEET 1

WARRANTY DEED  
FILED: DECEMBER 14, 2002  
L.B.K. 427, PG. 5427  
DOCUMENT NO. 2002020474

SEE NOTES 12 & 14  
SHEET 1

WARRANTY DEED  
FILED: DECEMBER 14, 2002  
L.B.K. 427, PG. 5427  
DOCUMENT NO. 2002020474

SEE NOTES 12 & 14  
SHEET 1

WARRANTY DEED  
FILED: DECEMBER 14, 2002  
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DOCUMENT NO. 2002020474

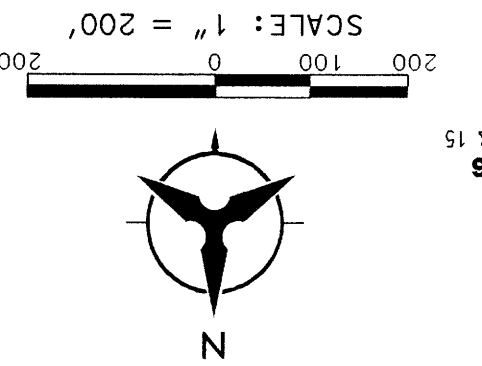
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SEE NOTES 12 & 14  
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DOCUMENT NO. 2002020474

SEE NOTES 12 & 14  
SHEET 1



**BULK LAND PLAT FOR  
VENTANA RANCH WEST**  
AND BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2004

Mary Herrera Bern. Co. PLRT R 32 88 BK-8884C Pg-84  
Page 4 of 8  
2004022553  
648889

TRACT 7  
TRACT 8  
TRACT 9  
TRACT 10  
TRACT 11  
TRACT 12  
TRACT 13  
TRACT 14

VENTANA WEST PARKWAY NW  
VENTANA RIDGE ROAD NW  
FUTURE PARK  
DEL OESTE DRIVE NW

TRACT 2  
TRACT 3  
TRACT 4  
TRACT 5  
TRACT 6  
TRACT 7  
TRACT 8  
TRACT 9  
TRACT 10  
TRACT 11  
TRACT 12  
TRACT 13  
TRACT 14

SEE NOTES 12 & 14  
SHEET 1

SEE NOTES 12 & 14  
SHEET 1

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 6648699  
 Page: 5 of 6  
 93/11/2884C 93:22P  
 BK-2884C Pg-84  
 R.32.89  
 Bern Co. PLAT  
 Mary Herrera

**BULK LAND PLAT FOR  
 VENTANA RANCH WEST**  
 WITHIN THE CITY OF ALBUQUERQUE  
 AND BERNALILLO COUNTY, NEW MEXICO  
 FEBRUARY, 2004

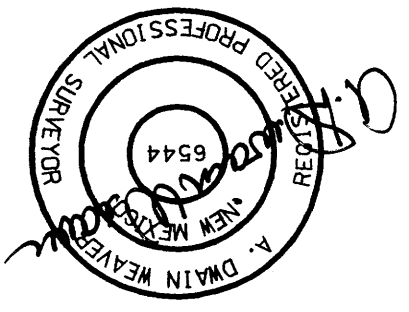


SCALE: 1" = 200'  
 0 100 200

SEE SHEET 6 FOR CURVE & TANGENT DATA

**LEGEND**

- BOUNDARY LINE
- CENTRAL LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING (OLD) LOT LINE TO BE ELIMINATED BY THIS PLAT
- ADJOINING PROPERTY LINE
- 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- 3/4" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "LS 4078"
- CITY OF ALBUQUERQUE CONTROL MONUMENT FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "E H & A LS 7719"
- CENTRAL LINE MONUMENT TO BE INSTALLED
- EXISTING 20' ROAD & UTILITY EASEMENTS RESERVED AS SET FORTH IN THE WARRANTY DEEDS. EASEMENTS VACATED BY VACATION ACTION V-

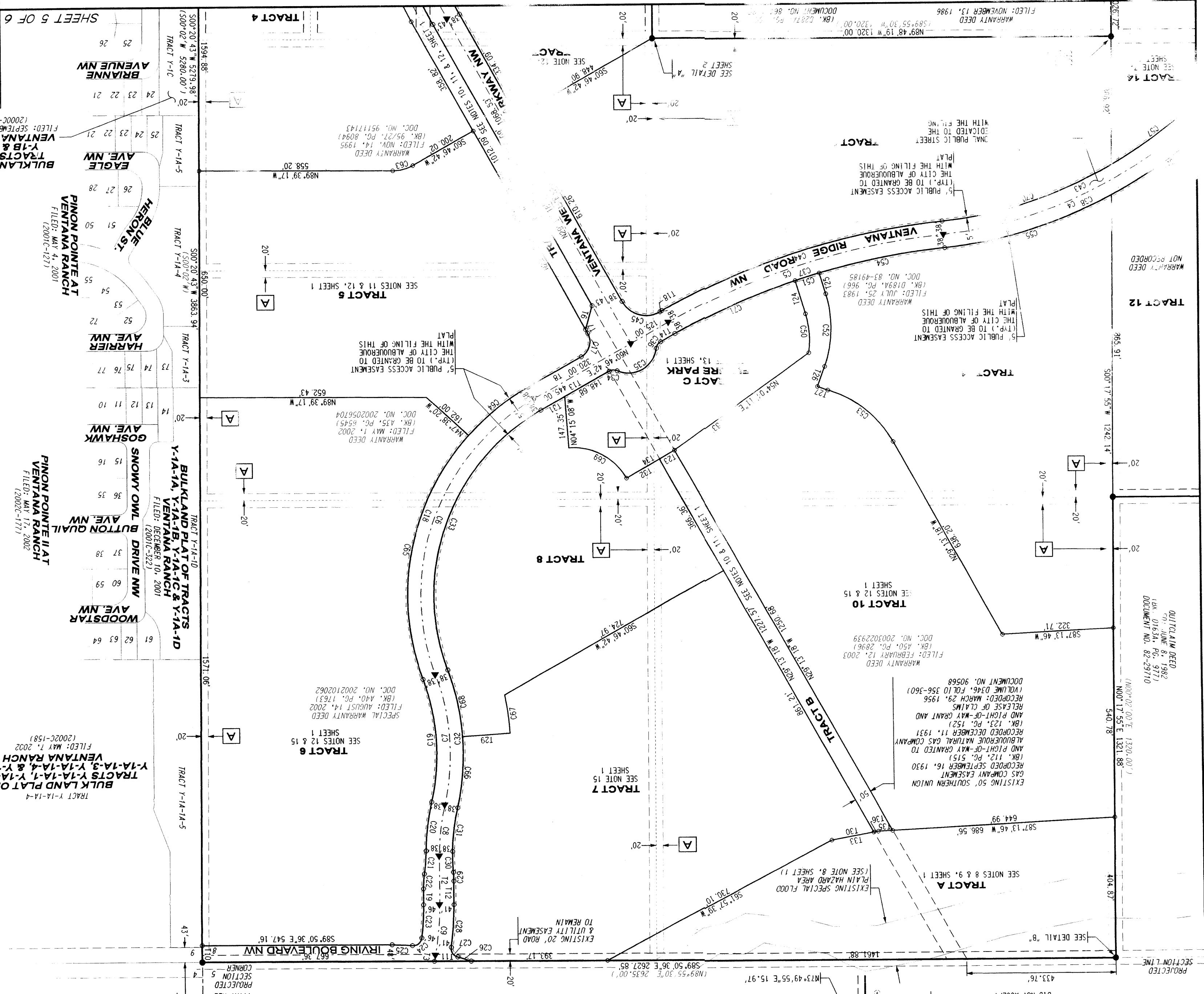


SHEET 3

SHEET 4

SHEET 5

**Bohannon**  
**Huston**  
 ENGINEERING SPATIAL DATA  
 ADVANCED TECHNOLOGIES  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 JOB NO. 040258 002  
 07-50  
 24-FEB-2004

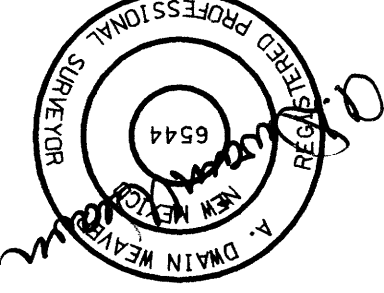


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**BULK LAND PLAT FOR  
VENTANA RANCH WEST**  
WITHIN THE CITY OF ALBUQUERQUE  
AND BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2004

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03/11/2004 03:22P  
R 22 90 BX-2004C Pg-04  
PLAT  
Berni Herrera  
200402253



**Bohannon**  
**Huston**  
7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ADVANCED TECHNOLOGIES  
ENGINEERING SPATIAL DATA

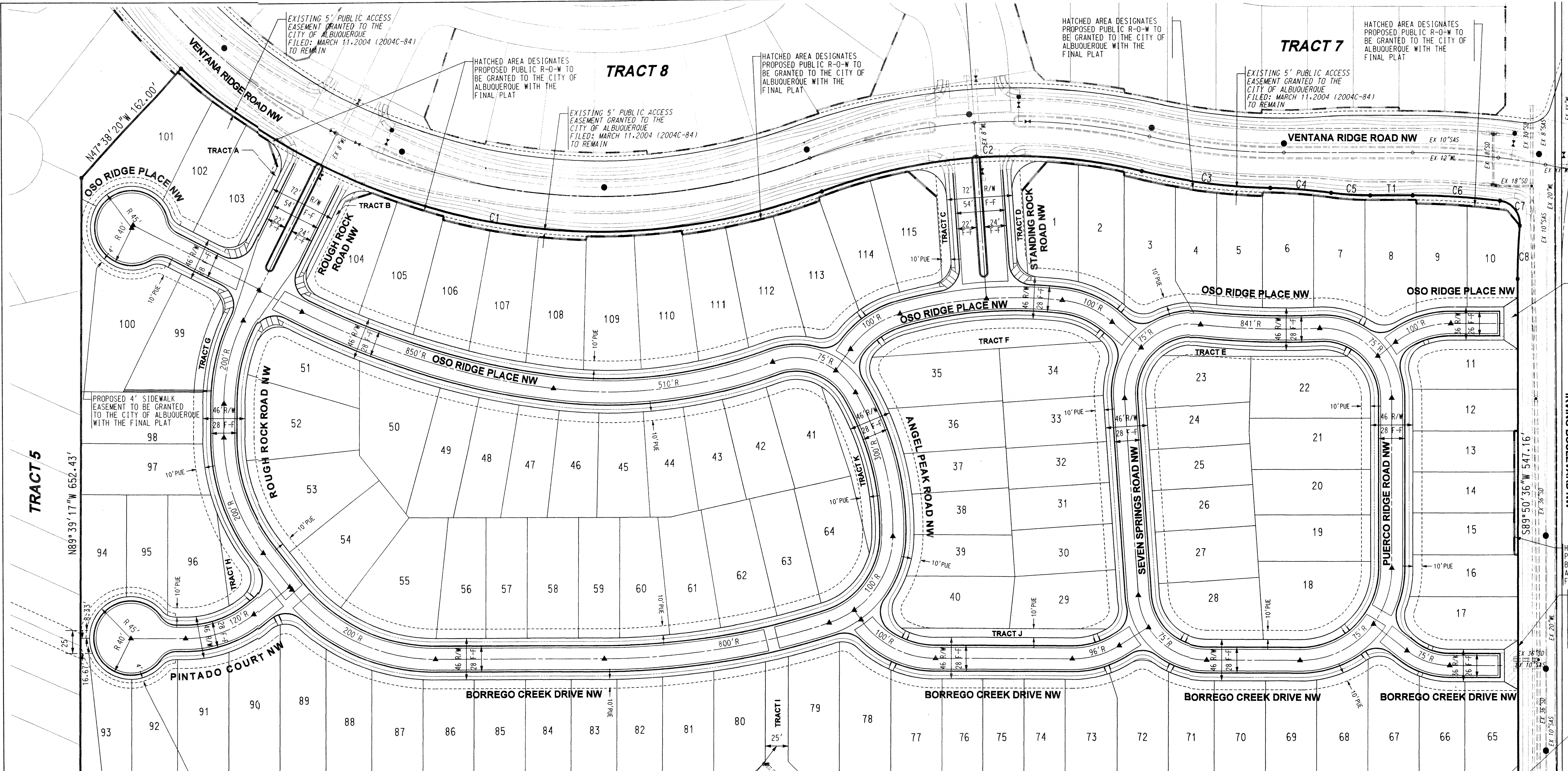
2802

**TANGENT DATA**

ID	BEARING	DISTANCE
11	N89°39'18"W	56.43
12	N00°09'24"E	140.79
13	N10°37'12"E	17.96
14	N06°05'50"W	129.08
15	N62°43'12"E	5.57
16	N15°46'42"E	70.71
17	N09°13'18"W	12.07
18	N07°46'42"E	177.00
19	N00°09'24"E	46.37
110	N00°20'43"E	48.00
111	N09°50'36"W	105.45
112	S00°09'24"W	68.02
113	S60°46'42"E	226.75
114	S07°46'42"E	47.75
115	N89°42'11"W	212.50
116	N89°48'19"W	43.00
117	S89°48'58"E	43.00
118	N07°46'42"E	7.00
119	S12°04'00"W	73.55
120	N89°48'48"E	175.20
121	S07°16'48"W	133.70
122	N27°16'48"W	133.70
123	S60°31'05"W	50.00
124	N16°46'04"W	99.03
125	N16°46'04"E	62.36
126	S19°26'24"W	61.42
127	N69°42'05"W	30.75
128	S62°43'12"W	123.94
129	S67°38'01"W	137.00
130	S79°38'01"W	122.53
131	S60°46'42"E	78.07
132	S60°31'05"W	110.00
133	S79°38'01"W	136.04
134	S60°31'05"W	160.00
135	S87°13'48"W	41.51
136	S79°38'01"W	131.51
137	S62°43'12"W	118.36

**CURVE DATA**

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	14°30'28"	140.01	278.53	1100.00	277.78	N07°33'08"E
C2	44°01'40"	444.74	1100.00	824.63	N07°12'28"W	
C3	44°38'38"	451.63	857.10	1100.00	835.58	N67°58'30"E
C4	38°58'22"	442.32	1250.00	833.96	N65°08'22"E	
C5	23°50'51"	422.32	832.44	2000.00	826.44	N72°48'02"E
C6	80°49'40"	533.47	916.36	650.00	842.80	N20°21'52"E
C7	33°14'17"	194.01	377.07	650.00	371.61	N03°55'50"W
C8	13°01'54"	74.24	147.84	650.00	147.52	N06°40'21"E
C9	10°27'48"	63.25	800.00	145.89	N05°23'18"E	
C10	01°31'09"	60.70	121.39	4578.00	121.39	S84°26'27"W
C11	06°30'30"E	251.31	502.88	4422.00	501.81	S01°31'31"E
C12	90°06'06"E	100.20	157.27	100.00	141.56	N44°45'27"W
C13	12°47'30"	2.80	5.58	25.00	5.57	N06°05'50"W
C14	14°16'56"	126.30	263.33	1056.00	262.55	N07°26'22"E
C15	15°34'05"	156.38	310.84	1144.00	309.89	N06°47'49"E
C16	28°06'06"E	287.66	563.74	1149.00	558.10	N15°09'58"W
C17	90°00'00"E	50.00	78.54	50.00	70.71	N15°46'42"E
C18	80°49'40"E	585.82	970.57	688.00	892.07	N20°21'52"E
C19	33°14'17"	182.67	355.03	612.00	350.07	N03°25'50"W
C20	11°47'35"	71.06	141.61	688.00	141.36	N07°17'31"E
C21	06°32'51"	63.46	66.85	585.00	66.82	N04°40'09"E
C22	07°47'10"	21.44	42.81	315.00	42.77	N03°47'54"E
C23	07°17'00"	23.99	48.58	754.00	95.78	N03°47'54"E
C24	87°27'18"	47.99	38.16	25.00	34.56	N51°10'03"E
C25	04°44'18"	28.88	57.72	698.00	57.71	S87°28'27"E
C26	03°24'07"	20.43	40.85	688.00	40.85	S72°42'45"E
C27	82°40'47"	21.99	36.08	25.00	33.03	S32°46'25"E
C28	40°47'47"	61.83	123.43	841.00	123.32	S04°21'41"W
C29	04°40'28"	12.86	25.70	315.00	25.69	S02°10'50"E
C30	05°54'47"	30.21	63.37	585.00	60.35	S01°33'40"E
C31	11°47'35"	63.21	125.57	612.00	125.75	S07°17'31"E
C32	33°14'17"	393.35	793.53	688.00	793.53	S03°25'50"E
C33	14°14'17"	205.05	393.35	688.00	393.35	S03°25'50"E
C34	80°49'40"	521.11	863.36	612.00	793.53	S20°21'52"W
C35	53°32'32"E	12.61	23.36	25.00	22.52	S87°32'44"W
C36	07°04'08"	109.60	151.11	81.00	130.28	S60°46'42"E
C37	32°32'32"E	42.50	82.52	1962.00	810.74	S72°42'08"E
C38	23°50'51"	414.31	816.62	1962.00	810.74	S72°42'08"E
C39	38°58'22"	428.87	824.42	2038.00	842.15	N72°42'08"E
C40	58°58'22"	484.87	1138.00	808.61	808.61	N65°08'22"E
C41	82°38'30"	467.24	1138.00	808.61	808.61	N67°58'30"E
C42	90°00'00"	25.00	39.27	25.00	35.36	N45°17'49"E
C43	90°00'00"	25.00	39.27	25.00	35.36	N44°41'42"W
C44	44°38'38"	436.03	827.49	1062.00	806.72	S67°58'30"W
C45	44°38'38"	436.03	827.49	1062.00	806.72	S67°58'30"W
C46	38°58'22"	455.76	876.10	1288.00	859.31	S65°08'22"E
C47	23°50'51"	455.76	876.10	1288.00	859.31	S65°08'22"E
C48	14°19'30"	152.31	303.02	1212.00	302.23	N52°48'56"E
C49	16°16'59"	184.26	366.04	1288.00	364.81	S64°47'41"W
C50	22°41'23"	258.42	510.06	1288.00	506.74	S73°16'52"E
C51	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C52	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C53	20°10'35"	88.96	176.07	500.00	175.16	S70°09'58"E
C54	5°54'34"	74.90	148.83	500.00	148.35	S68°01'58"E
C55	5°29'40"	15.47	27.70	25.00	26.31	S44°14'20"E
C56	14°19'30"	152.31	303.02	1212.00	302.23	N52°48'56"E
C57	16°16'59"	184.26	366.04	1288.00	364.81	S64°47'41"W
C58	22°41'23"	258.42	510.06	1288.00	506.74	S73°16'52"E
C59	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C60	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C61	20°10'35"	88.96	176.07	500.00	175.16	S70°09'58"E
C62	5°54'34"	74.90	148.83	500.00	148.35	S68°01'58"E
C63	5°29'40"	15.47	27.70	25.00	26.31	S44°14'20"E
C64	14°19'30"	152.31	303.02	1212.00	302.23	N52°48'56"E
C65	16°16'59"	184.26	366.04	1288.00	364.81	S64°47'41"W
C66	22°41'23"	258.42	510.06	1288.00	506.74	S73°16'52"E
C67	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C68	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C69	20°10'35"	88.96	176.07	500.00	175.16	S70°09'58"E
C70	5°54'34"	74.90	148.83	500.00	148.35	S68°01'58"E
C71	5°29'40"	15.47	27.70	25.00	26.31	S44°14'20"E
C72	14°19'30"	152.31	303.02	1212.00	302.23	N52°48'56"E
C73	16°16'59"	184.26	366.04	1288.00	364.81	S64°47'41"W
C74	22°41'23"	258.42	510.06	1288.00	506.74	S73°16'52"E
C75	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C76	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C77	20°10'35"	88.96	176.07	500.00	175.16	S70°09'58"E
C78	5°54'34"	74.90	148.83	500.00	148.35	S68°01'58"E
C79	5°29'40"	15.47	27.70	25.00	26.31	S44°14'20"E
C80	14°19'30"	152.31	303.02	1212.00	302.23	N52°48'56"E
C81	16°16'59"	184.26	366.04	1288.00	364.81	S64°47'41"W
C82	22°41'23"	258.42	510.06	1288.00	506.74	S73°16'52"E
C83	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C84	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C85	20°10'35"	88.96	176.07	500.00	175.16	S70°09'58"E
C86	5°54'34"	74.90	148.83	500.00	148.35	S68°01'58"E
C87	5°29'40"	15.47	27.70	25.00	26.31	S44°14'20"E
C88	14°19'30"	152.31	303.02	1212.00	302.23	N52°48'56"E
C89	16°16'59"	184.26	366.04	1288.00	364.81	S64°47'41"W
C90	22°41'23"	258.42	510.06	1288.00	506.74	S73°16'52"E
C91	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C92	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C93	20°10'35"	88.96	176.07	500.00	175.16	S70°09'58"E
C94	5°54'34"	74.90	148.83	500.00	148.35	S68°01'58"E
C95	5°29'40"	15.47	27.70	25.00	26.31	S44°14'20"E
C96	14°19'30"	152.31	303.02	1212.00	302.23	N52°48'56"E
C97	16°16'59"	184.26	366.04	1288.00	364.81	S64°47'41"W
C98	22°41'23"	258.42	510.06	1288.00	506.74	S73°16'52"E
C99	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C100	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C101	20°10'35"	88.96	176.07	500.00	175.16	S70°09'58"E
C102	5°54'34"	74.90	148.83	500.00	148.35	S68°01'58"E
C103	5°29'40"	15.47	27.70	25.00	26.31	S44°14'20"E
C104	14°19'30"	152.31	303.02	1212.00	302.23	N52°48'56"E
C105	16°16'59"	184.26	366.04	1288.00	364.81	S64°47'41"W
C106	22°41'23"	258.42	510.06	1288.00	506.74	S73°16'52"E
C107	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C108	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C109	20°10'35"	88.96	176.07	500.00	175.16	S70°09'58"E
C110	5°54'34"	74.90	148.83	500.00	148.35	S68°01'58"E
C111	5°29'40"	15.47	27.70	25.00	26.31	S44°14'20"E
C112	14°19'30"	152.31	303.02	1212.00	302.23	N52°48'56"E
C113	16°16'59"	184.26	366.04	1288.00	364.81	S64°47'41"W
C114	22°41'23"	258.42	510.06	1288.00	506.74	S73°16'52"E
C115	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C116	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C117	20°10'35"	88.96	176.07	500.00	175.16	S70°09'58"E
C118	5°54'34"	74.90	148.83	500.00	148.35	S68°01'58"E
C119	5°29'40"	15.47	27.70	25.00	26.31	S44°14'20"E
C120	14°19'30"	152.31	303.02	1212.00	302.23	N52°48'56"E
C121	16°16'59"	184.26	366.04	1288.00	364.81	S64°47'41"W
C122	22°41'23"	258.42	510.06	1288.00	506.74	S73°16'52"E
C123	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C124	40°47'56"	185.44	369.79	1962.00	369.24	S79°13'36"W
C125	20°10'35"</					



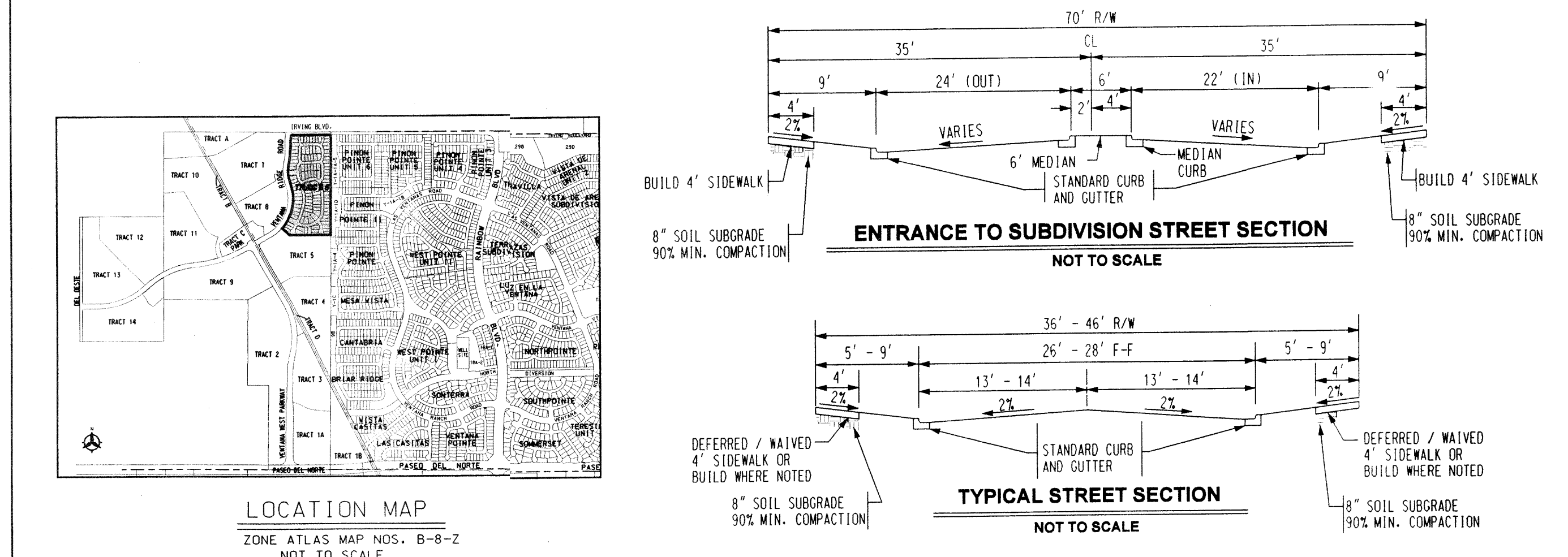
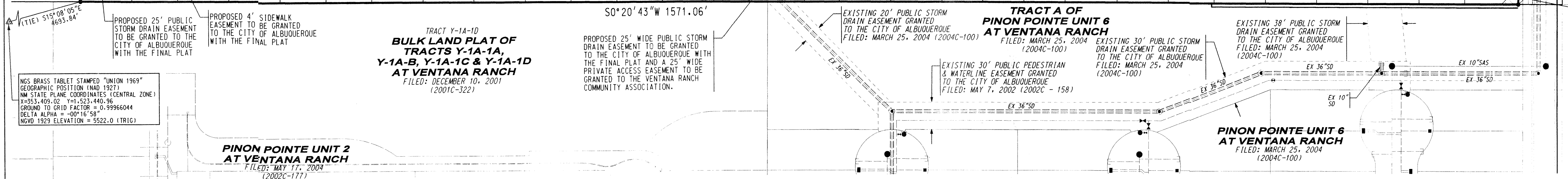
- GENERAL NOTES FOR:  
TRACT 6 OF VENTANA RANCH WEST  
FILED: March 11, 2004 (2004C-84)
- EXISTING ZONING: RL  
PROPOSED ZONING: RL  
PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL
  - TOTAL ACREAGE: 23.4495 GROSS ACRES  
23.2793 NET ACRES  
TOTAL NUMBER OF LOTS: 115 LOTS  
PROPOSED DENSITY: 4.9404 D.U. PER ACRE
  - MINIMUM LOT DIMENSIONS 45' x 110'
  - ALL STREETS AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
  - THIS SUBDIVISION LIES WITHIN THE NEW MEXICO UTILITIES, INC. (NMUI) FRANCHISE AREA. WATER AND SANITARY SEWER CAPABILITIES AREA BASED ON NMUI'S FACILITIES, AND NOT ON THE CITY OF ALBUQUERQUE'S. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY BOTH THE CITY OF ALBUQUERQUE AND NMUI.
  - ALL SANITARY AND WATER UTILITIES IN THE STREET R/W ARE TO BE OWNED AND MAINTAINED BY NMUI.
  - NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO IRVING BOULEVARD, VENTANA RIDGE ROAD OR TRACT A OF LOTION POINT UNIT 6.
  - LOT SETBACKS SHALL CONFORM TO RL ZONE REGULATIONS. REQUIRED SETBACKS SHALL INCLUDE:  
FRONT YARD: 20' (TYP.)  
(15' W/20' TO GARAGE MIN.)  
SIDE YARD: 5' (MIN.)  
BACK YARD: 15' (MIN.)  
CORNER SIDEYARD: 10' TO R/W
  - TRACTS A-K OF UNIT 6 ARE TO BE DEDICATED TO AND MAINTAINED BY THE VENTANA RANCH WEST COMMUNITY ASSOCIATION BY SEPARATE DEED SOLELY AS PRIVATE OPEN SPACE, PEDESTRIAN ACCESS AND COMMUNITY LANDSCAPING.
  - TRACT 6 IS SUBJECT TO A THIRTY FOOT WIDE FLOATING PUBLIC STORM DRAIN EASEMENT THAT HAS BEEN GRANTED TO THE CITY OF ALBUQUERQUE. THIS EASEMENT SHALL BE CONFINED AND DEFINED TO WITHIN FUTURE PUBLIC RIGHT-OF-WAY DEDICATED BY FUTURE PLATTING. FILED: March 11, 2004 (2004C-84) TO BE VACATED BY VACATION ACTION AND SHOWN ON FINAL PLAT.
  - TRACT 6 IS SUBJECT TO A THIRTY FOOT WIDE FLOATING PUBLIC SANITARY SEWER EASEMENT THAT HAS BEEN GRANTED TO NEW MEXICO UTILITIES, INC. AND THE CITY OF ALBUQUERQUE. THIS EASEMENT SHALL BE CONFINED AND DEFINED TO WITHIN FUTURE PUBLIC RIGHT-OF-WAY DEDICATED BY FUTURE PLATTING. FILED: March 11, 2004 (2004C-84) TO BE VACATED BY VACATION ACTION AND SHOWN ON FINAL PLAT.

VENTANA WEST, LLC  
A NEW MEXICO LIMITED LIABILITY COMPANY

*RM Murphy* 9.2.04  
ROBERT M. MURPHY, PRESIDENT  
SANDIA PROPERTIES LTD. CO.  
MANAGING PARTNER

DATE:

ACS BRASS TABLET STAMPED "1-18 1980"  
GEOGRAPHIC POSITION (MAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=353,409.02 Y=1,523,440.96  
GROUND TO GRID FACTOR = 0.99966044  
DELTA ALPHA = -00°16'58"  
NGVD 1929 ELEVATION = 5522.0 (TR16)



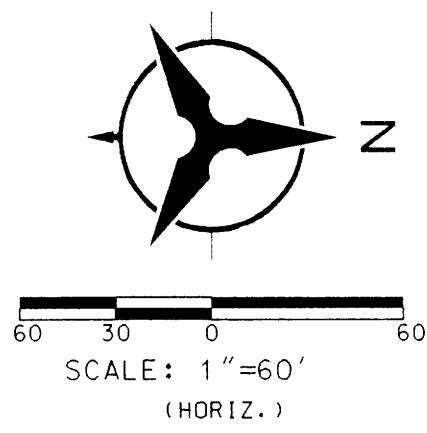
**PRELIMINARY PLAT**  
**VENTANA RIDGE**  
(REPLAT OF TRACT 6  
AT VENTANA RANCH WEST)  
ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 2004

- SURVEY NOTES:
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "WEAVER LS 6544".
  - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT DESIGNATED CENTERLINE POINTS, P.I.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 6544".
  - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
  - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
  - DISTANCES SHALL BE GROUND DISTANCES.
  - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.
- APPROVED FOR MONUMENTATION AND STREET NAME:  
*[Signature]* 9/2/04  
CITY SURVEYOR DATE

ID	ARC	RADIUS	DELTA	TANGENT
T1	00°09'24"E	46.37'		

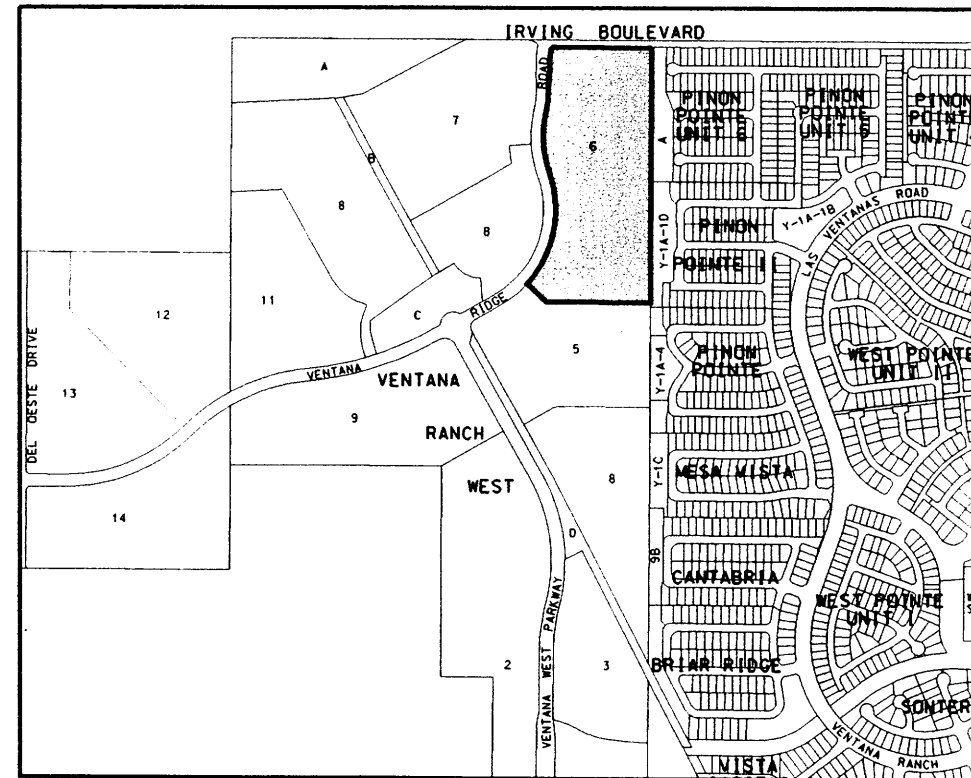
ID	ARC	RADIUS	DELTA	TANGENT
C1	749.42'	688.00'	62°24'39"	416.76'
C2	355.03'	612.00'	33°14'17"	182.67'
C3	141.61'	688.00'	11°47'35"	71.06'
C4	66.85'	585.00'	06°32'51"	33.46'
C5	42.81'	315.00'	07°47'10"	21.44'
C6	95.85'	754.00'	07°17'00"	47.99'
C7	38.16'	25.00'	87°27'18"	23.91'
C8	57.72'	698.00'	04°44'18"	28.88'



**Bohannon & Huston**  
Court yard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4395  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

FINAL

SP-2005030374



LOCATION MAP ZONE ATLAS INDEX MAP No. B-8 NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index No. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 23.4495 Acres
4. Total Number of Tracts Created: One hundred fifteen (115) Lots & Thirteen (13) Tracts.
5. Total Mileage of Full Width Streets created: 0.8585 mile.
6. Total Mileage of Partial Width Streets created: 0.3165 mile.
7. Date of Survey: October, 2004.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tract 6, BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 into one hundred fifteen (115) lots and thirteen (13) tracts, to dedicate additional public street right-of-way to the City of Albuquerque, and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land being located within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being the same as Tract 6 of the Bulk Land Plat for Ventana Ranch West filed in Book 2004C, Page 84, March 11, 2004 in the office of the Bernalillo County Clerk, and being more particularly described as follows:

BEGINNING at a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for the northeast corner of said Tract 6, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "1-A8", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=350,152.25' and Y=1,531,818.60' bears N41°51'56"W a distance of 3,059.45 feet;

THENCE along the East line of said Tract 6 S0°20'43"W a distance of 1,571.06 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" identical to the southeast corner of said Tract 6;

THENCE along the South line of said Tract 6 N89°39'17"W a distance of 652.43 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" an angle point of said Tract 6;

THENCE continuing along the South line of said Tract 6 N47°38'20"W a distance of 162.00 feet to the southwest corner of said Tract 6;

THENCE along the West line of said Tract 6 along the arc of a curve to the left that has an arc length of 749.42 feet, a radius of 688.00 feet, a central angle of 62°24'39", and a chord of N11°09'21"E a distance of 712.92 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of reverse curvature of said Tract 6;

THENCE continuing along the West line of said Tract 6 along the arc of a curve to the right that has an arc length of 355.03 feet, a radius of 612.00 feet, a central angle of 33°14'17", and a chord of N03°25'50"W a distance of 350.07 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of reverse curvature of said Tract 6;

THENCE continuing along the West line of said Tract 6 along the arc of a curve to the left that has an arc length of 141.61 feet, a radius of 688.00 feet, a central angle of 11°47'35", and a chord of N07°17'31"E a distance of 141.36 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of reverse curvature of said Tract 6;

THENCE continuing along the West line of said Tract 6 along the arc of a curve to the right that has an arc length of 42.81 feet, a radius of 315.00 feet, a central angle of 07°47'10", and a chord of N04°02'59"E a distance of 42.77 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of tangency of said Tract 6;

THENCE continuing along the West line of said Tract 6 along the arc of a curve to the left that has an arc length of 66.85 feet, a radius of 585.00 feet, a central angle of 06°32'51", and a chord of N07°17'31"E a distance of 66.82 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of reverse curvature of said Tract 6;

THENCE continuing along the West line of said Tract 6 along the arc of a curve to the left that has an arc length of 46.37 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of curvature of said Tract 6;

THENCE continuing along the West line of said Tract 6 along the arc of a curve to the right that has an arc length of 95.85 feet, a radius of 754.00 feet, a central angle of 07°17'00", and a chord of N03°47'54"E a distance of 95.78 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of compound curvature of said Tract 6;

THENCE continuing along the West line of said Tract 6 along the arc of a curve to the right that has an arc length of 38.16 feet, a radius of 25.00 feet, a central angle of 87°27'18", and a chord of N51°10'03"E a distance of 34.56 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of reverse curvature of said Tract 6;

THENCE along the North line of said Tract 6 along the arc of a curve to the left that has an arc length of 57.72 feet, a radius of 698.00 feet, a central angle of 04°44'18", and a chord of S87°28'27"E a distance of 57.71 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of tangency of said Tract 6;

THENCE continuing along the North line of said Tract 6 S89°50'36"E a distance of 547.16 feet to the POINT OF BEGINNING.

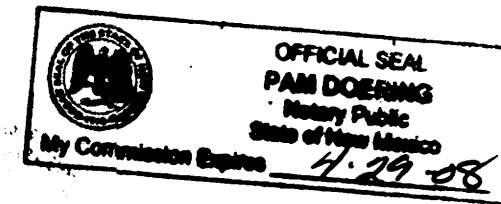
Tract contains 23.4495 acres of land, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 6 of the BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, now comprising Lots 1 through 115 inclusive and Tracts A thru M inclusive, VENTANA RIDGE AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

D.R. HORTON, INC

By Mark Ferguson, President, D.R. Horton, Inc.



State of New Mexico )
County of Bernalillo )

This instrument was acknowledged before me on 18th day of Jan 2005, by Mark Ferguson, President of D.R. Horton, Inc., a Delaware Corporation.

My Commission Expires 4-22-08

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927.
2. Distances are ground distances.
3. All easements of record are shown.
4. Record Bearings and Distances are shown in parenthesis ( ).
5. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
6. Centerline in lieu of R/W (monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
7. Tracts L and M are dedicated as non-vehicular right-of-way for pedestrian access to the City of Albuquerque with the filing of this plat.
8. Tract 6 is subject to an existing thirty foot wide floating Public Storm Drain Easement (to be located perpendicular to existing pipelines) granted to the City of Albuquerque by plat filed: March 11, 2004 in Book 2004C, Page 84. Easement vacated by Vacation Action 04DRB-01360.
9. Park Dedication Requirements shall be met with Tract C of the Bulk Land Plat of Ventana Ranch West a future park site, and in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC dated: March 10, 2004, Document No. 2004031336. Dedication shall be by separate deed.
10. Tract 6 is subject to an existing thirty foot wide floating Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. and the City of Albuquerque by plat filed: March 11, 2004 in book 2004C, Page 84. Easement vacated by Vacation Action 04DRB-01360.
11. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "x" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky, New Mexico Professional Surveyor 16469, Date: January 18, 2005

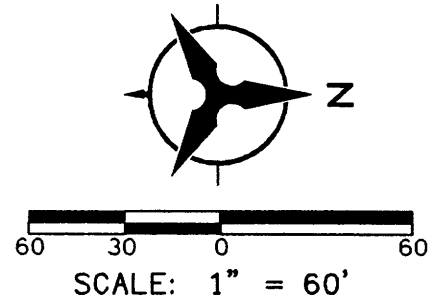


PLAT OF VENTANA RIDGE AT VENTANA RANCH WEST (A REPLAT OF TRACT 6 VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO JANUARY, 2005

Table with columns for PROJECT NUMBER, APPLICATION NUMBER, UTILITY APPROVALS (QWEST, COMCAST CABLE, PNM ELECTRIC SERVICES, PNM GAS SERVICES, NEW MEXICO UTILITIES, INC.), CITY APPROVALS (CITY SURVEYOR, TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, UTILITIES DEVELOPMENT, PARKS & RECREATION DEPARTMENT, A.M.A.F.C.A., CITY ENGINEER, DRB CHAIRPERSON, PLANNING DEPARTMENT, VENTANA RANCH WEST COMMUNITY ASSOCIATION), and TAX CERTIFICATION.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

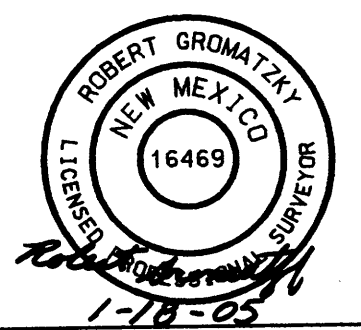
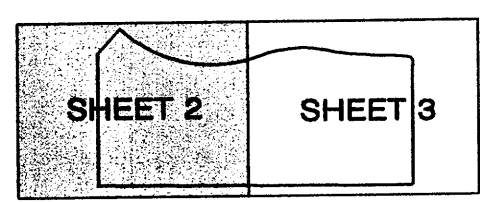
Bohannon & Huston logo and address: Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335. ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES



**PLAT OF  
VENTANA RIDGE  
AT VENTANA RANCH WEST  
(A REPLAT OF TRACT 6  
VENTANA RANCH WEST)  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2005**

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	SECTION LINE
	RIGHT OF WAY
	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"

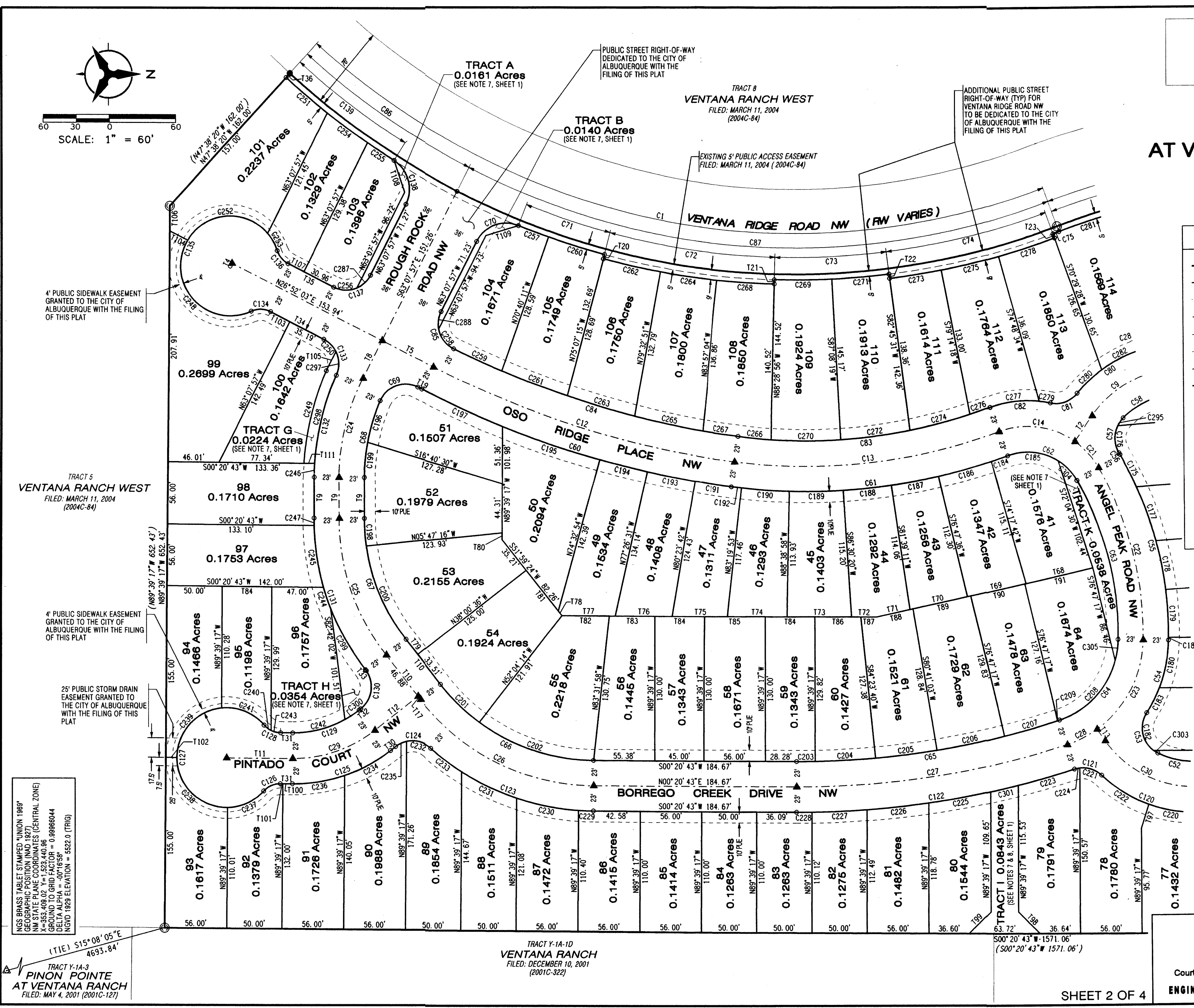
NOTE: SEE SHEET 4 FOR CURVE & TANGENT TABLES



**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SHEET 2 OF 4



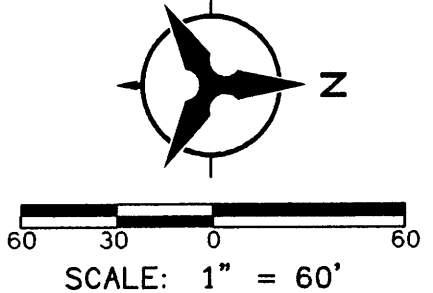
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GEOGRAPHIC POSITION (NAD 1987)  
NAD STATE PLANE COORDINATES (CENTRAL ZONE)  
GROUND TO GRID FACTOR = 0.99968044  
DELTA ALPHA = -00'16.58"  
NGVD 1929 ELEVATION = 5522.0 (TRIG)

TRACT Y-1A-3  
**PINON POINTE  
AT VENTANA RANCH**  
FILED: MAY 4, 2001 (2001C-127)

TRACT Y-1A-1D  
**VENTANA RANCH**  
FILED: DECEMBER 10, 2001  
(2001C-322)

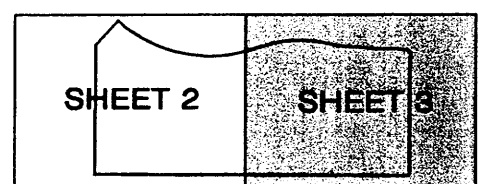
TRACT I 0.0843 Acres  
(SEE NOTES 7 & 8, SHEET 1)

PLAT OF  
**VENTANA RIDGE  
 AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACT 6  
 VENTANA RANCH WEST)  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2005

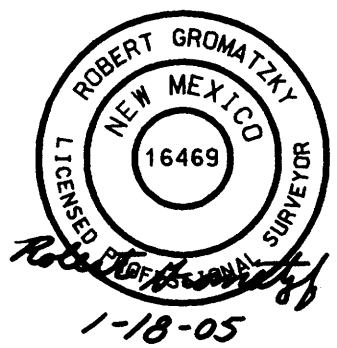


NOTE: SEE SHEET 4 FOR CURVE & TANGENT DATA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	SECTION LINE
	RIGHT OF WAY
	10' PUE
	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

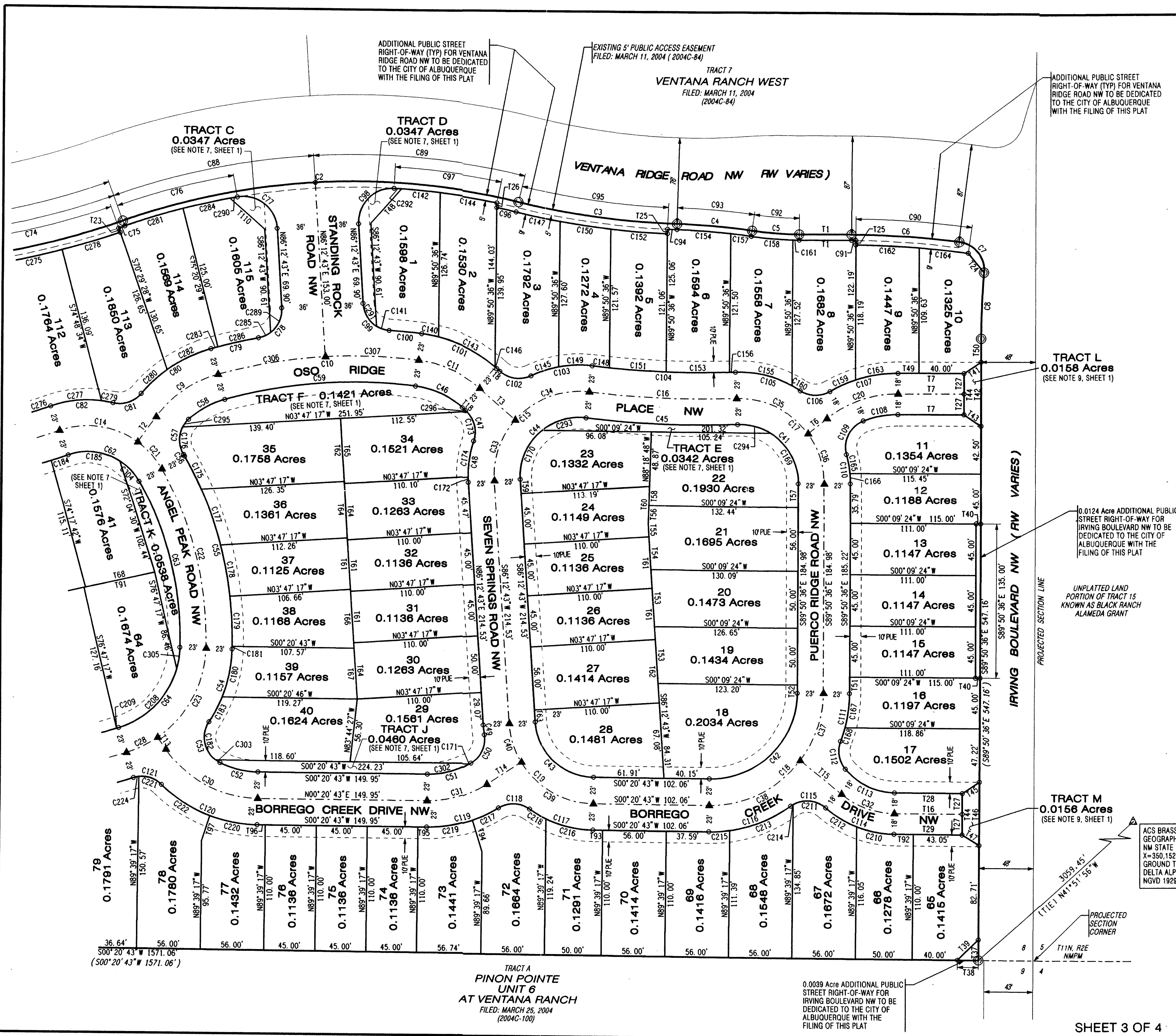


ACS BRASS TABLET STAMPED "1-A8 1980"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=350,152.25 Y=1,531,818.60  
 GROUND TO GRID FACTOR = 0.9996593  
 DELTA ALPHA = -00°17'21"  
 NGVD 1929 ELEVATION = 5570.04



**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



PLAT OF  
**VENTANA RIDGE**  
**AT VENTANA RANCH WEST**  
 (A REPLAT OF TRACT 6  
 VENTANA RANCH WEST)  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2005

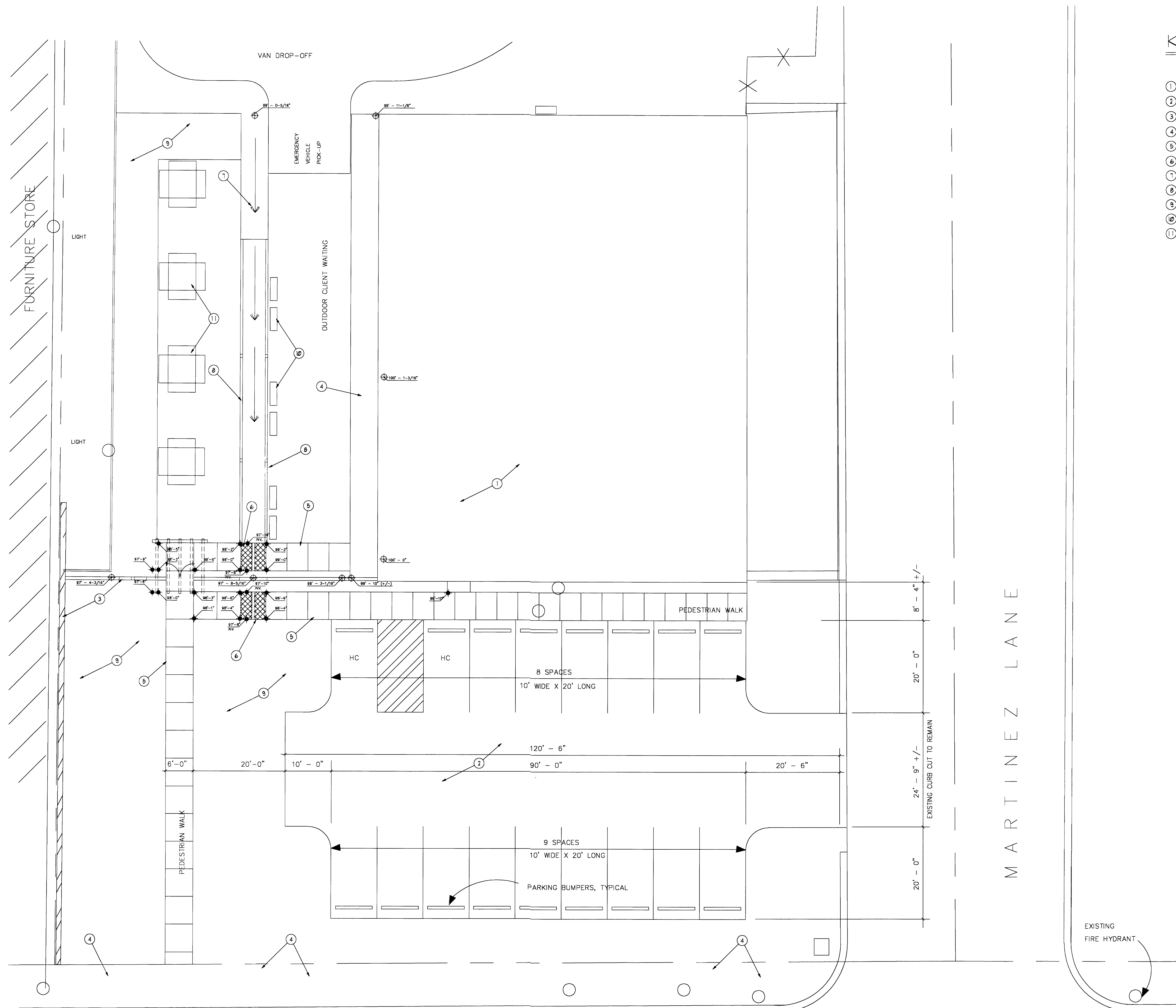
Tangent Data

ID	BEARING	DISTANCE	ID	BEARING	DISTANCE
T1	N00°09'24"E	46.37	T61	S86°12'43"W	45.00'
(T1)	N00°09'24"E	46.37	T62	S86°12'43"W	56.00'
T2	N54°28'26"W	27.78	T63	S86°12'43"W	10.75'
T3	N41°00'12"E	41.96	T64	S86°12'43"W	50.00'
T4	N63°07'57"W	3.20	T65	S86°12'43"W	57.74'
T5	N26°52'03"E	52.39	T66	S86°12'43"W	51.62'
T6	N38°32'42"W	21.48	T67	S86°12'43"W	45.12'
T7	N00°09'24"E	58.39	T68	N12°28'07"W	62.44'
T8	S63°07'57"E	38.34	T69	N12°28'07"W	54.30'
T9	S89°39'17"E	36.69	T70	N12°28'07"W	53.33'
T10	N51°59'24"E	50.63	T71	N12°28'07"W	31.09'
T11	N00°20'43"E	59.70	T72	S00°20'43"W	22.66'
T12	N38°00'36"W	49.86	T73	S00°20'43"W	58.40'
T13	N54°52'35"E	12.70	T74	S00°20'43"W	54.34'
T14	N32°48'30"W	36.27	T75	S00°20'43"W	50.86'
T15	N38°47'37"E	46.67	T76	S00°20'43"W	51.76'
T16	N00°20'43"E	60.00	T77	S00°20'43"W	48.42'
T17	S51°59'24"W	3.75	T78	S51°59'24"W	5.25'
T18	N41°00'12"E	3.72	T79	S51°59'24"W	17.12'
T19	N26°52'03"E	4.08	T80	N89°39'17"W	6.31'
T20	S75°07'15"E	4.00	T81	S51°59'24"W	52.30'
T21	N88°28'56"W	4.00	T82	S00°20'43"W	43.06'
T22	N82°45'31"E	4.00	T83	S00°20'43"W	41.44'
T23	S70°29'28"W	4.00	T84	S00°20'43"W	45.00'
T24	S50°25'45"W	21.76	T85	S00°20'43"W	56.00'
T25	N89°50'36"W	4.00	T86	S00°20'43"W	41.65'
T26	N89°50'36"W	4.00	T87	S00°20'43"W	14.29'
T27	S89°50'36"W	18.00	T88	N12°28'07"W	33.84'
T28	N00°20'43"E	59.94	T89	N12°28'07"W	53.68'
T29	S00°20'43"W	60.06	T90	N12°28'07"W	50.00'
T30	S38°00'36"E	5.83	T91	N12°28'07"W	63.63'
T31	S00°20'43"W	10.95	T92	S12°53'12"E	17.01'
T32	N38°00'36"E	1.86	T93	S00°20'43"W	8.46'
T33	N51°59'24"E	1.12	T94	S72°41'37"W	28.74'
T34	S26°52'03"W	54.74	T95	S00°20'43"W	7.68'
T35	N26°52'03"E	47.22	T96	S00°20'43"W	7.27'
T36	N47°38'20"W	5.00	T97	N72°04'21"W	22.64'
T37	S89°50'36"E	18.30	T98	S45°20'43"W	27.38'
T38	S00°20'43"W	18.36	T99	N44°39'17"W	27.38'
T39	N44°39'17"W	25.88	T100	S00°20'43"W	8.70'
T40	S00°09'24"W	4.00	T101	S00°20'43"W	2.26'
T41	N33°32'18"W	18.03	T102	S00°20'43"W	10.00'
T42	S89°50'36"E	56.00	T103	S26°52'03"W	19.55'
T43	S33°51'07"W	18.03	T104	S26°52'03"W	18.18'
T44	N89°50'36"W	36.00	T105	N63°07'57"W	10.48'
T45	N33°30'17"W	17.95	T106	N89°39'17"W	22.51'
T46	S89°50'36"E	55.00	T107	S26°52'03"W	16.26'
T47	S31°21'02"W	17.47	T108	S70°57'29"W	29.65'
T48	N48°47'05"W	41.03	T109	N17°05'31"W	30.87'
T49	S00°09'24"W	18.39	T110	S41°12'19"W	41.03'
T50	N89°50'36"W	20.44	T111	S00°20'43"W	10.02'
T51	N89°50'36"W	14.43			
T52	N89°50'36"W	7.24			
T53	S86°12'43"W	50.12			
T54	S86°12'43"W	28.53			
T55	S86°12'43"W	11.77			
T56	N88°18'09"W	15.80			
T57	N89°50'36"W	21.74			
T58	N88°18'09"W	17.58			
T59	S86°12'43"W	12.79			
T60	N88°18'09"W	33.38			



**Bohannon & Huston**  
 Engineering & Spatial Data & Advanced Technologies  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 SHEET 4 OF 4

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG							
C1	62°24'39"	416.76	749.42	688.00	712.92	N11°09'21"E	C81	63°06'25"	15.35	27.54	25.00	26.16	S18°48'14"E	C161	01°01'00"	2.84	5.68	320.00	5.68	N00°39'54"E	C241	54°57'44"	23.41	43.17	45.00	41.53	S21°26'49"W
C2	33°14'17"	182.67	355.03	612.00	350.07	N03°25'50"W	C82	32°38'27"	28.70	55.83	98.00	55.08	S03°34'16"E	C162	04°18'42"	28.05	56.06	745.00	56.05	N02°36'59"E	C242	29°12'40"	25.28	49.45	97.00	48.92	S14°15'37"E
C3	11°47'35"	71.06	141.61	688.00	141.36	N07°17'31"E	C83	27°18'27"	118.30	232.11	487.00	229.92	S06°14'16"E	C163	18°35'13"	19.31	38.28	118.00	38.11	S09°08'12"E	C243	25°55'34"	4.60	9.05	20.00	8.97	S13°18'30"W
C4	06°32'51"	33.46	66.85	585.00	66.82	N04°40'09"E	C84	18°50'11"	137.18	271.88	827.00	270.66	S16°50'03"W	C164	03°21'53"	21.88	43.75	745.00	43.74	N06°27'16"E	C244	05°10'42"	10.08	20.15	223.00	20.15	N71°25'29"E
C5	07°47'10"	21.44	42.81	315.00	42.77	N04°02'59"E	C85	90°36'54"	25.27	39.54	25.00	35.54	S71°33'36"W	C165	09°58'59"	8.56	17.08	98.00	17.05	S79°37'41"W	C245	14°36'29"	28.58	56.86	223.00	56.70	N81°19'05"E
C6	07°17'00"	47.99	95.85	754.00	95.78	N03°47'54"E	C86	15°29'37"	93.59	186.04	688.00	185.48	N34°36'52"E	C166	05°23'34"	4.62	9.22	98.00	9.22	S87°18'50"W	C246	03°14'26"	6.31	12.61	223.00	12.61	S88°02'03"E
C7	87°27'18"	23.91	38.16	25.00	34.56	N51°10'03"E	C87	46°55'02"	298.56	563.37	688.00	547.77	N03°24'32"E	C167	14°23'23"	15.53	30.89	123.00	30.81	N82°38'54"W	C247	01°43'24"	3.35	6.71	223.00	6.71	N89°29'01"E
C8	04°44'18"	28.88	57.72	698.00	57.71	S87°28'27"E	C88	16°15'42"	87.44	173.70	612.00	173.11	N11°55'08"W	C168	05°50'53"	6.28	12.55	123.00	12.55	N72°31'46"W	C248	146°19'37"	148.70	114.92	45.00	86.14	N47°49'06"E
C9	38°39'38"	35.08	67.48	100.00	66.20	N35°08'37"E	C89	16°58'35"	91.34	181.33	612.00	180.67	N04°42'01"E	C169	59°15'53"	29.58	53.79	52.00	51.42	N60°31'28"E	C249	23°25'15"	48.30	95.24	233.00	94.58	S74°50'34"E
C10	22°22'56"	90.81	179.31	459.00	178.17	N04°37'20"W	C90	07°40'35"	49.98	99.81	745.00	99.74	S04°17'55"W	C170	54°46'04"	26.94	49.71	52.00	47.83	N66°24'15"W	C250	36°19'59"	8.20	15.85	25.00	15.59	N45°02'03"E
C11	34°26'04"	30.99	60.10	100.00	59.20	N23°47'10"E	C91	00°18'07"	1.97	3.95	749.00	3.95	S00°18'28"W	C171	01°20'16"	0.85	1.70	73.00	1.70	S30°40'01"E	C251	04°05'41"	24.77	49.53	693.00	49.51	N40°18'50"E
C12	19°27'06"	145.69	288.57	850.00	287.19	N17°08'31"E	C92	07°47'10"	21.78	43.49	320.00	43.45	S04°02'59"W	C172	02°39'03"	2.27	4.53	98.00	4.53	N87°32'14"E	C252	108°04'59"	62.03	84.89	45.00	72.85	S05°00'36"E
C13	27°18'27"	123.89	243.07	510.00	240.77	N06°14'16"W	C93	06°32'51"	33.18	66.28	580.00	66.25	S04°40'09"W	C173	63°15'59"	15.40	27.61	25.00	26.22	N76°24'02"E	C253	22°32'08"	8.97	17.70	45.00	17.59	S60°17'58"W
C14	55°25'03"	39.39	72.54	75.00	69.75	N07°49'02"E	C94	00°41'07"	4.15	8.29	693.00	8.29	S01°44'17"W	C174	19°10'16"	16.55	32.79	98.00	32.64	S81°33'07"E	C254	03°46'23"	22.83	45.64	693.00	45.63	N36°22'48"E
C15	100°09'35"	89.63	131.11	75.00	115.04	N43°42'30"W	C95	11°07'08"	67.84	135.26	697.00	135.05	S07°37'44"W	C175	05°50'13"	16.47	32.91	323.00	32.89	S62°56'47"W	C255	02°23'18"	14.45	28.89	693.00	28.88	N33°17'58"E
C16	08°53'20"	65.37	130.47	841.00	130.34	N01°55'38"E	C96	01°39'44"	8.75	17.50	603.00	17.49	S12°21'26"W	C176	57°55'32"	13.84	25.27	25.00	24.21	N15°57'17"W	C256	49°35'31"	11.55	21.64	25.00	20.97	S02°04'18"W
C17	92°40'27"	78.58	121.31	75.00	108.51	N43°49'11"E	C97	08°40'12"	46.01	91.85	607.00	91.76	S07°06'55"W	C177	09°13'28"	26.06	52.00	323.00	51.95	S70°28'38"W	C257	02°24'47"	14.60	29.19	693.00	29.18	S20°25'24"W
C18	90°11'19"	100.33	157.41	100.00	141.65	S44°44'56"E	C98	96°34'06"	33.65	50.56	30.00	44.79	S45°30'14"E	C178	08°03'02"	22.73	45.38	323.00	45.35	S79°06'53"W	C258	53°34'50"	12.62	23.38	25.00	22.54	S17°00'55"W
C19	85°51'59"	69.78	112.40	75.00	102.17	S43°16'43"W	C99	83°05'23"	22.15	36.25	25.00	33.16	N44°40'01"E	C179	07°47'16"	21.99	43.90	323.00	43.87	S87°02'02"W	C259	03°19'08"	23.96	47.90	827.00	47.90	N42°35'35"E
C20	38°42'07"	35.12	67.55	100.00	66.27	N19°11'39"W	C100	03°26'48"	14.50	29.00	482.00	28.99	N04°50'44"E	C180	20°19'51"	22.05	43.65	123.00	43.42	N78°28'47"W	C260	04°24'12"	26.64	53.26	693.00	53.25	S17°00'55"W
C21	24°30'06"	16.29	32.07	75.00	31.83	N47°46'37"E	C101	34°26'04"	38.12	73.92	123.00	72.81	N23°47'10"E	C181	00°25'37"	1.20	2.41	323.00	2.41	N88°51'31"W	C261	04°24'07"	31.78	63.54	827.00	63.52	N20°43'58"W
C22	31°19'37"	84.12	164.03	300.00	161.99	N75°41'29"E	C102	67°01'49"	16.56	29.25	25.00	27.61	N07°29'18"E	C182	86°54'14"	23.68	37.92	25.00	34.39	S79°52'08"W	C262	04°22'42"	26.64	53.26	697.00	53.25	S12°37'29"W
C23	53°31'18"	50.43	93.41	100.00	90.05	S61°53'04"E	C103	32°23'54"	28.47	55.41	98.00	54.68	N09°49'40"W	C183	11°38'07"	12.53	24.98	123.00	24.94	N62°29'49"W	C263	04°23'56"	31.76	63.49	827.00	63.48	N16°19'56"E
C24	26°31'20"	47.13	92.58	200.00	91.76	S76°23'37"E	C104	08°53'20"	63.58	126.90	818.00	126.78	N01°55'38"E	C184	01°42'11"	7.92	15.84	533.00	15.84	N19°02'23"W	C264	04°21'14"	26.49	52.96	697.00	52.95	S08°15'31"W
C25	38°21'19"	69.56	133.89	200.00	131.40	N71°10'04"E	C105	35°40'40"	31.54	61.02	98.00	60.04	N15°19'18"E	C185	52°22'23"	25.57	47.53	52.00	45.89	N06°17'43"E	C265	04°23'47"	31.74	63.46	827.00	63.44	N11°56'05"E
C26	51°38'41"	96.78	180.27	200.00	174.23	N26°10'04"E	C106	63°31'11"	15.48	27.72	25.00	26.32	N01°24'02"E	C186	05°18'14"	24.69	4										



**KEYED NOTES :**

- ① EXISTING BUILDING.
- ② EXISTING ASPHALT PAVING.
- ③ EXISTING CMU YARD WALL.
- ④ EXISTING CONCRETE SIDEWALK.
- ⑤ NEW CONCRETE SIDEWALK.
- ⑥ SIDEWALK CULVERTS WITH METAL PLATE COVER.
- ⑦ EXISTING DRAINAGE SWALE.
- ⑧ NEW 6" CONCRETE CURB.
- ⑨ NEW LANDSCAPE AREA.
- ⑩ OWNER PROVIDED BENCHES.
- ⑪ OWNER PROVIDED TABLES / BENCHES.

W R I T T A N D H A M M E R  
 ARCHITECTS  
 1735 ALBUQUERQUE DRIVE, N.E.  
 ALBUQUERQUE, N.M. 87110  
 505-266-6784

HOMELESS ADVOCACY COALITION  
 EMERGENCY SHELTER  
 ALBUQUERQUE, NEW MEXICO  
 ALTERATIONS AND IMPROVEMENTS

DATE:  
 1 SEPT., 2008  
 REVISIONS:

SHEET  
**101C**  
 OF

ENLARGED SITE PLAN

CANDELARIA ROAD N.E.

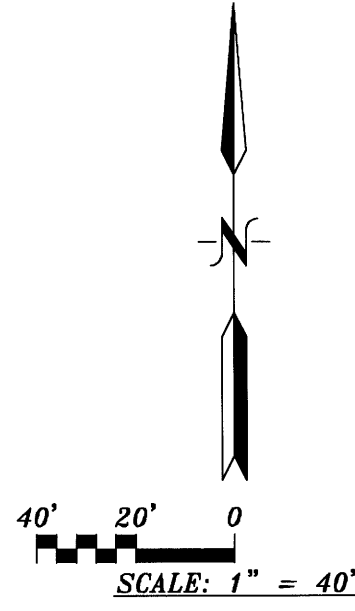
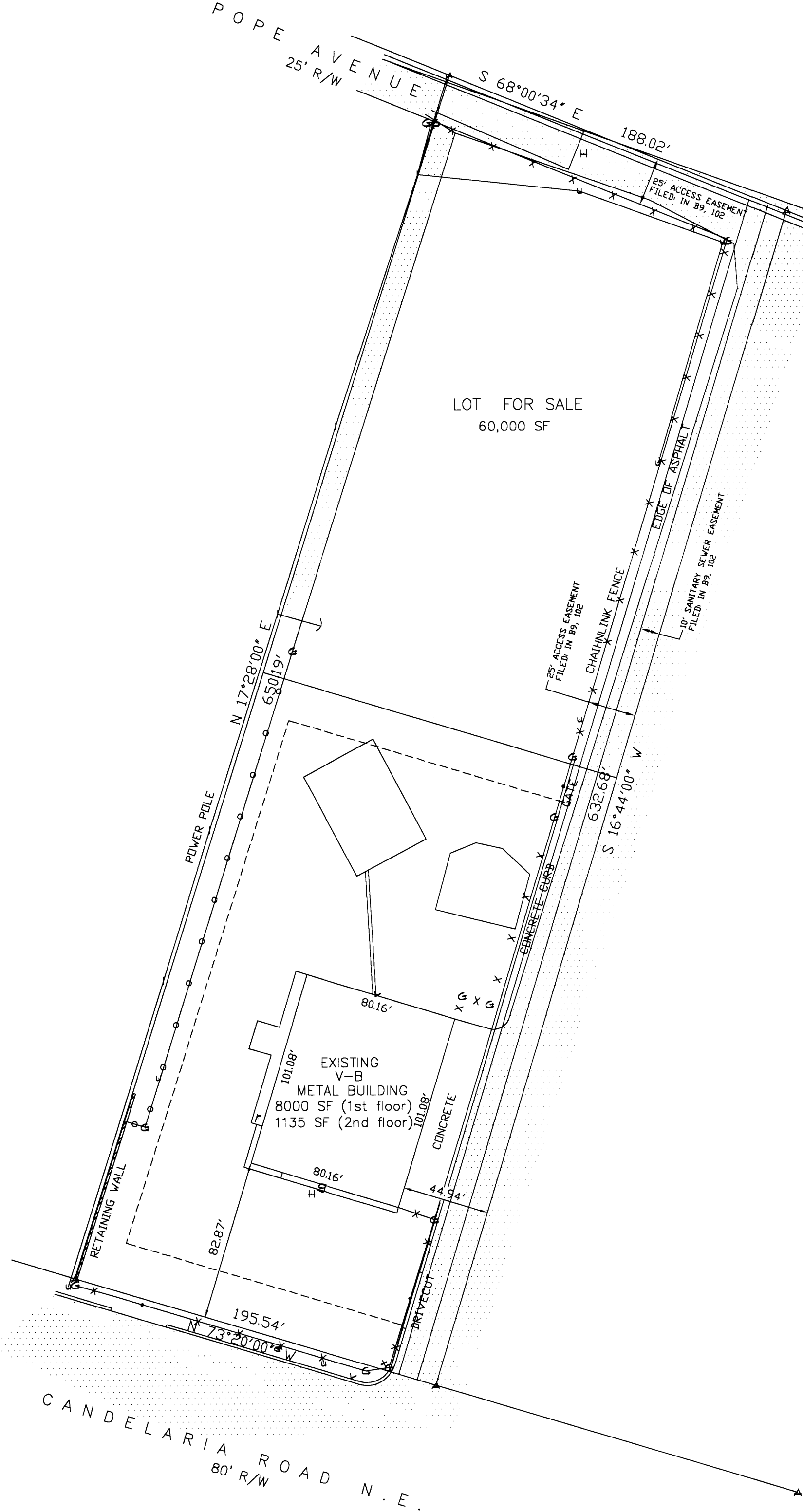
SCALE: 1" = 10' - 0"

ALBUQUERQUE OPPORTUNITY CENTER  
HOMELESS ADVOCACY COALITION

ALLOWABLE AREA STUDY  
JULY 15, 2004

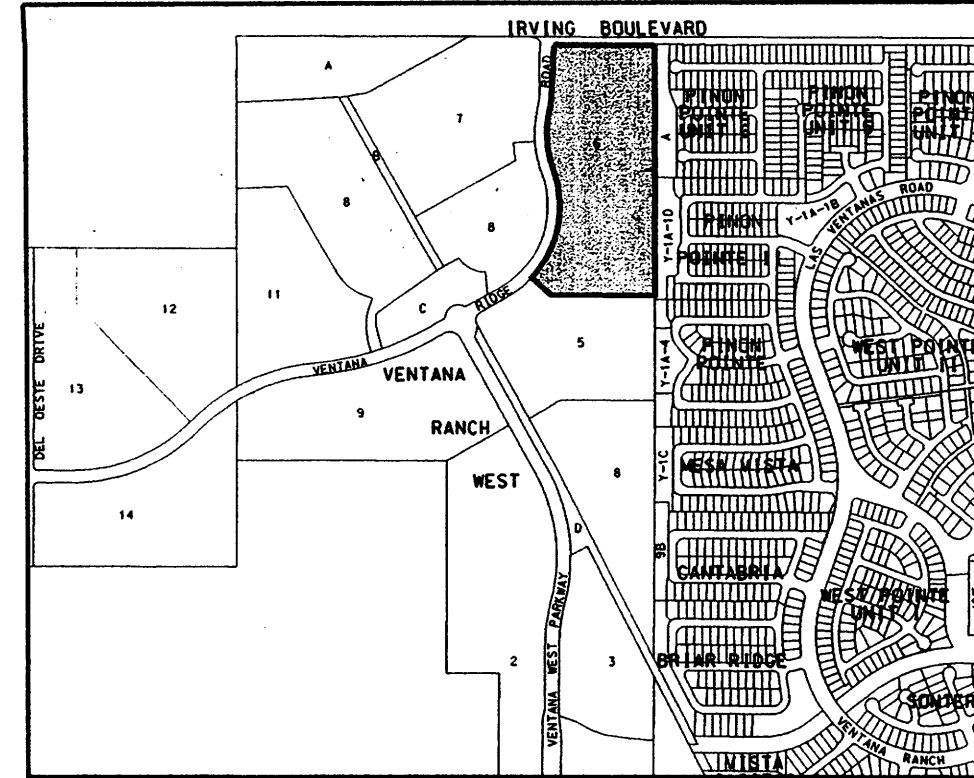
60,000 SF LOT FOR SALE:

V-B CONSTRUCTION TYPE  
R-2 OCCUPANCY TYPE





SP-2005030374



LOCATION MAP  
ZONE ATLAS INDEX MAP No. B-8  
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index No. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 23.4495 Acres
4. Total Number of Tracts Created: One hundred fifteen (115) Lots & Thirteen (13) Tracts.
5. Total Mileage of Full Width Streets created: 0.8585 mile.
6. Total Mileage of Partial Width Streets created: 0.3165 mile.
7. Date of Survey: October, 2004.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tract 6, BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 into one hundred fifteen (115) lots and thirteen (13) tracts, to dedicate additional public street right-of-way to the City of Albuquerque, and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land being located within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being the same as Tract 6 of the Bulk Land Plat for Ventana Ranch West filed in Book 2004C, Page 84, March 11, 2004 in the office of the Bernalillo County Clerk, and being more particularly described as follows:

BEGINNING at a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for the northeast corner of said Tract 6, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "I-A8", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=350,152.25' and Y=1,531,818.80' bears N41°51'58"W a distance of 3,059.45 feet;

THENCE along the East line of said Tract 6 S0°20'43"W a distance of 1,571.06 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" identical to the southeast corner of said Tract 6;

THENCE along the South line of said Tract 6 N89°39'17"W a distance of 652.43 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" an angle point of said Tract 6;

THENCE continuing along the South line of said Tract 6 N47°38'20"W a distance of 162.00 feet to the southwest corner of said Tract 6;

THENCE along the West line of said Tract 6 along the arc of a curve to the left that has an arc length of 749.42 feet, a radius of 688.00 feet, a central angle of 62°24'39", and a chord of N11°09'21"E a distance of 712.92 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of reverse curvature of said Tract 6;

THENCE continuing along the West line of said Tract 6 along the arc of a curve to the right that has an arc length of 565.03 feet, a radius of 612.00 feet, a central angle of 33°14'17", and a chord of N03°25'50"W a distance of 350.07 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of reverse curvature of said Tract 6;

THENCE continuing along the West line of said Tract 6 along the arc of a curve to the left that has an arc length of 141.61 feet, a radius of 688.00 feet, a central angle of 11°47'35", and a chord of N07°17'31"E a distance of 141.36 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of reverse curvature of said Tract 6;

THENCE continuing along the West line of said Tract 6 along the arc of a curve to the right that has an arc length of 66.85 feet, a radius of 585.00 feet, a central angle of 06°32'51", and a chord of N04°40'09"E a distance of 66.82 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of reverse curvature of said Tract 6;

THENCE continuing along the West line of said Tract 6 along the arc of a curve to the left that has an arc length of 42.81 feet, a radius of 315.00 feet, a central angle of 07°47'10", and a chord of N03°42'59"E a distance of 42.77 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of tangency of said Tract 6;

THENCE continuing along the West line of said Tract 6 N00°09'24"E a distance of 46.37 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of curvature of said Tract 6;

THENCE continuing along the West line of said Tract 6 along the arc of a curve to the right that has an arc length of 95.85 feet, a radius of 754.00 feet, a central angle of 07°17'00", and a chord of N03°47'54"E a distance of 95.78 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of compound curvature of said Tract 6;

THENCE continuing along the West line of said Tract 6 along the arc of a curve to the right that has an arc length of 38.16 feet, a radius of 25.00 feet, a central angle of 87°27'18", and a chord of N51°10'03"E a distance of 34.56 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of reverse curvature of said Tract 6;

THENCE along the North line of said Tract 6 along the arc of a curve to the left that has an arc length of 57.72 feet, a radius of 698.00 feet, a central angle of 04°44'18", and a chord of S87°28'27"E a distance of 57.71 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of tangency of said Tract 6;

THENCE continuing along the North line of said Tract 6 S89°50'36"E a distance of 547.16 feet to the POINT OF BEGINNING.

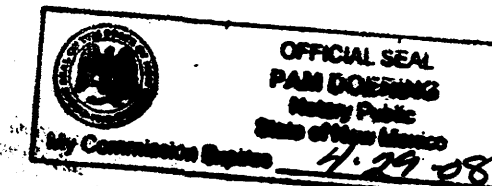
Tract contains 23.4495 acres of land, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 6 of the BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, now comprising Lots 1 through 115 inclusive and Tracts A thru M inclusive, VENTANA RIDGE AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

D.R. HORTON, INC

BY Mark Ferguson, Vice President, D.R. Horton, Inc.



State of New Mexico )
County of Bernalillo )

This instrument was acknowledged before me on the 11th day of Jan, 2005, by Mark Ferguson, Vice President of D.R. Horton, Inc., a Delaware Corporation.

My Commission Expires: 4-29-08

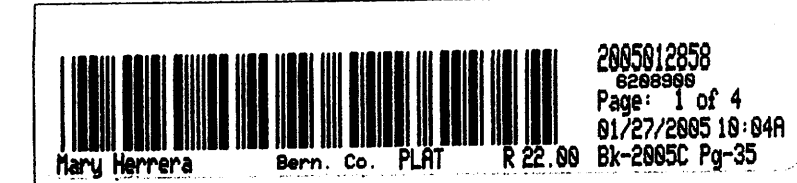
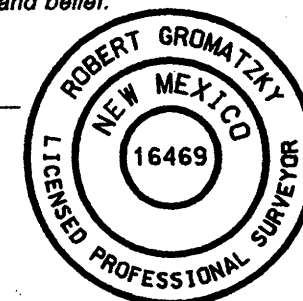
NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927.
2. Distances are ground distances.
3. All easements of record are shown.
4. Record Bearings and Distances are shown in parenthesis ( ).
5. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
6. Centerline (in lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
7. Tracts A thru K are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat.
8. Tract I is subject to a public storm drain easement granted to the City of Albuquerque with the filing of this plat.
9. Tracts L and M are dedicated as non-vehicular right-of-way for pedestrian access to the City of Albuquerque with the filing of this plat.
10. Tract 6 is subject to an existing thirty foot wide floating Public Storm Drain Easement (to be located perpendicular to existing pipelines) granted to the City of Albuquerque by plat filed: March 11, 2004 in Book 2004C, Page 84. Easement vacated by Vacatlon Acton 04DRB-01360.
11. Park Dedication Requirements shall be met with Tract C of the Bulk Land Plat of Ventana Ranch West a future park site, and in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC dated: March 10, 2004, Document No. 2004031336. Dedication shall be by separate deed.
12. Tract 6 is subject to an existing thirty foot wide floating Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. and the City of Albuquerque by plat filed: March 11, 2004 in book 2004C, Page 84. Easement vacated by Vacatlon Acton 04DRB-01360.
13. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
New Mexico Professional Surveyor 16469
Date: January 18, 2005



PLAT OF VENTANA RIDGE AT VENTANA RANCH WEST (A REPLAT OF TRACT 6 VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO JANUARY, 2005

PROJECT NUMBER: DRB-1005013
APPLICATION NUMBER: 000RB-00097

PLAT APPROVAL

Table with columns for Utility Approvals, City Approvals, and City Surveyor. Includes signatures and dates for PNM Electric Services, PNM Gas Services, New Mexico Utilities, Inc., City Surveyor, and Ventana Ranch West Community Association.

TAX CERTIFICATION

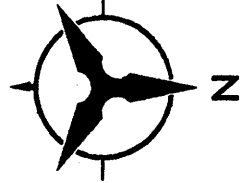
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1 008 065 463 302 10130, 1 008 065 465 455 10140

PROPERTY OWNER OF RECORD: Ventana West LLC, Diamond Tail Realty, LLC
Cochita Luero, BERNALILLO COUNTY TREASURER'S OFFICE, 1-27-05

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



SCALE: 1" = 60'

2095012058  
6266699  
Page: 2 of 4  
01/27/2005 10:04A  
Bk-2865C Pg-35

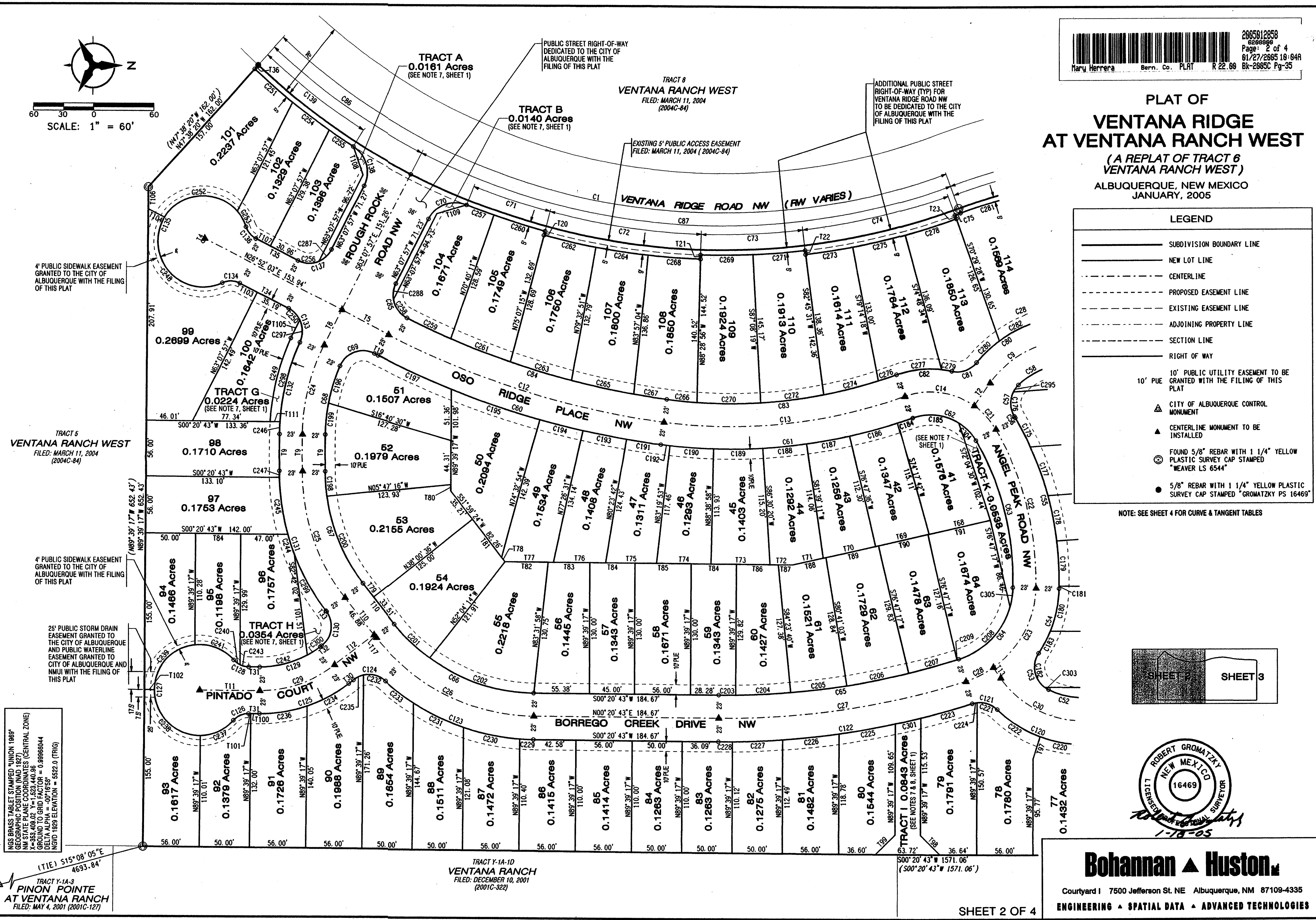
Mary Herrera Bern. Co. PLRT R 22.00

**PLAT OF  
VENTANA RIDGE  
AT VENTANA RANCH WEST**  
(A REPLAT OF TRACT 6  
VENTANA RANCH WEST)  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2005

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - SECTION LINE
- RIGHT OF WAY
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- ⊙ FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"

NOTE: SEE SHEET 4 FOR CURVE & TANGENT TABLES



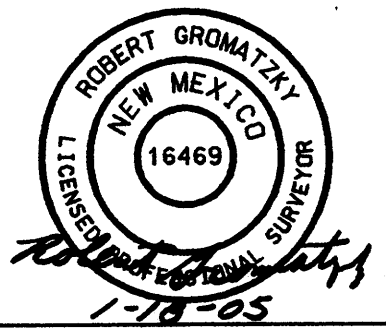
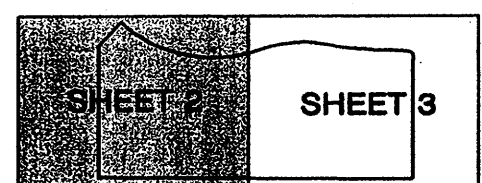
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GEOGRAPHIC POSITION (NAD 1987)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
Easting = 1227440.36  
Northing = 1001615.89  
DELMET ALFA 400161589  
NGVD 1929 ELEVATION = 5522.0 (TTIG)

TRACT Y-1A-3  
**PINON POINTE  
AT VENTANA RANCH**  
FILED: MAY 4, 2001 (2001C-127)

TRACT Y-1A-10  
**VENTANA RANCH**  
FILED: DECEMBER 10, 2001  
(2001C-322)

TRACT I  
**0.0845 Acres**  
(SEE NOTE 7 & 8, SHEET 1)

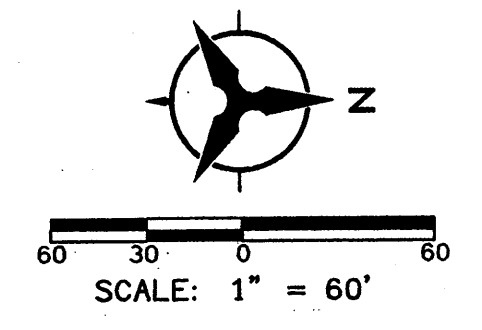
TRACT J  
**0.1791 Acres**



**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
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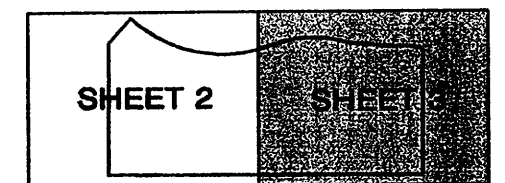
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Page: 3 of 4  
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**PLAT OF  
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(A REPLAT OF TRACT 6  
VENTANA RANCH WEST)  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2005

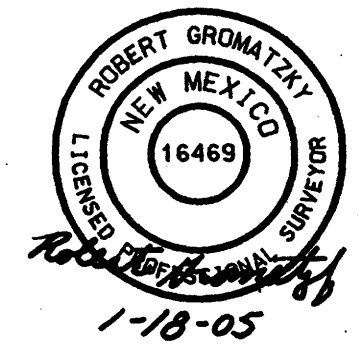


NOTE: SEE SHEET 4 FOR CURVE & TANGENT DATA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	SECTION LINE
	RIGHT OF WAY
	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
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	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

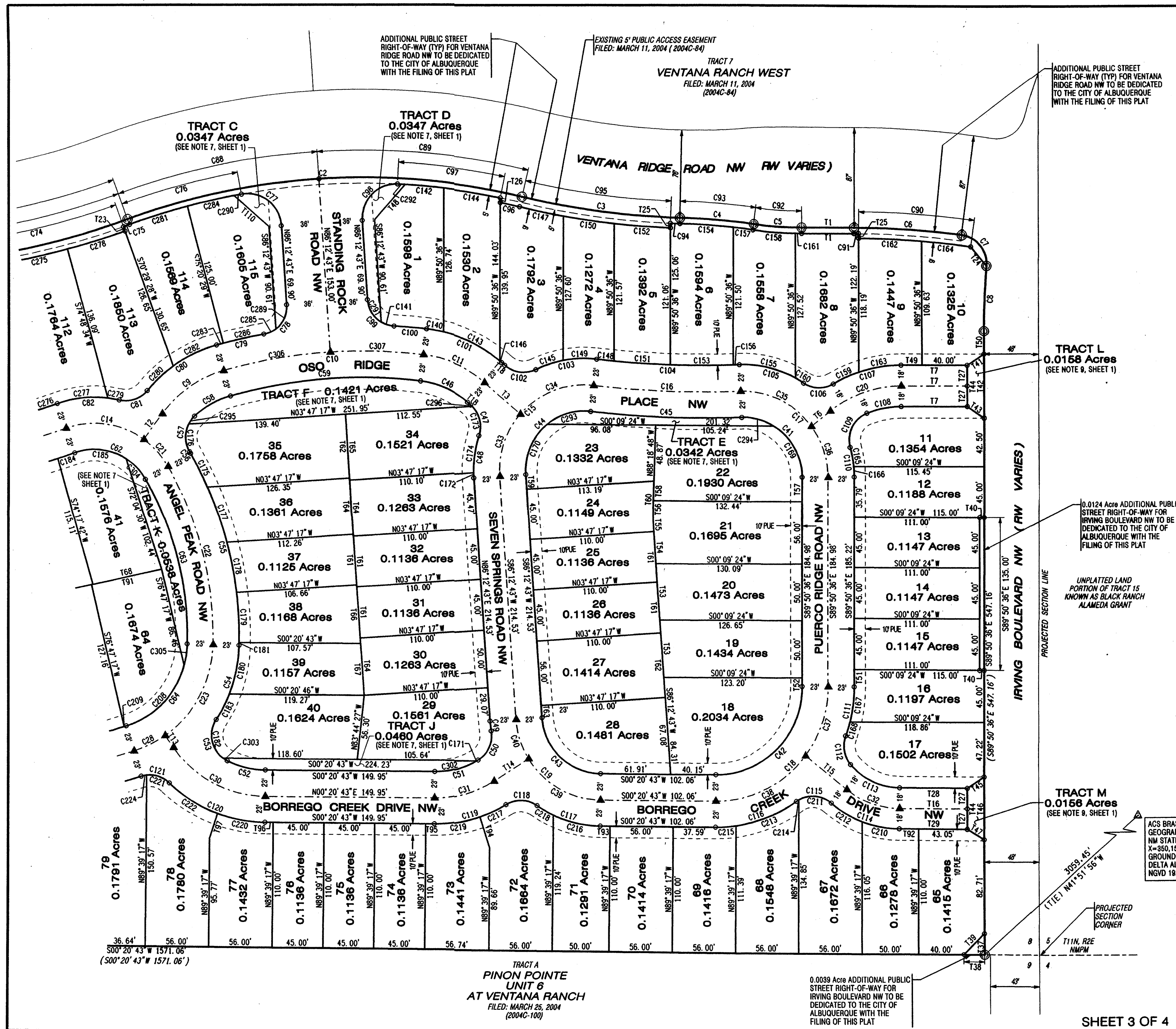


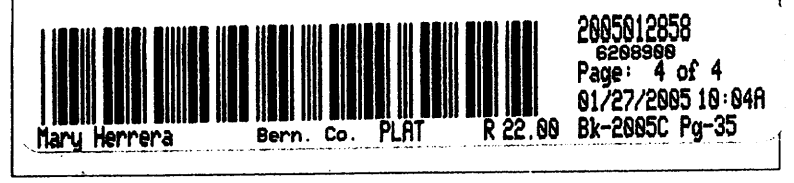
ACS BRASS TABLET STAMPED "1-A8 1980"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=350,152.26 Y=1,581,818.60  
GROUND TO GRID FACTOR = 0.9996593  
DELTA ALPHA = -00°17'21"  
NGVD 1929 ELEVATION = 5570.04



**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES





PLAT OF VENTANA RIDGE AT VENTANA RANCH WEST (A REPLAT OF TRACT 6 VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO JANUARY, 2005

Curve Data

Table with columns: ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG, ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG, ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG, ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG. Contains 240 rows of curve data.

Tangent Data

Table with columns: ID, BEARING, DISTANCE, ID, BEARING, DISTANCE. Contains 240 rows of tangent data.



Bohannon & Huston logo and contact information: Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335. ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES