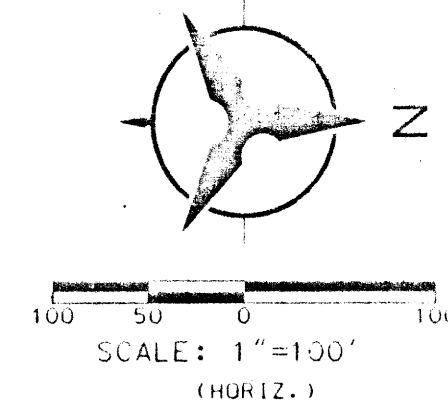


SHADED AREAS DESIGNATE ADDITIONAL PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR VENTANA WEST PARKWAY NW

TRACT 2
VENTANA RANCH WEST
FILED: MARCH 11, 2004
(2004C-84)

SHADED AREAS DESIGNATE ADDITIONAL PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR VENTANA WEST PARKWAY NW

EXISTING 5' PUBLIC ACCESS EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE
FILED: MARCH 11, 2004 (2004C-84)



NCS BRASS TABLE STAMPED "11-88 1980"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=350,152.25 Y=1,331,818.60
GROUND TO GRID FACTOR = 0.9996593
DELTA ALPHA = -00°17'21"
NGVD 1929 ELEVATION = 5573.04

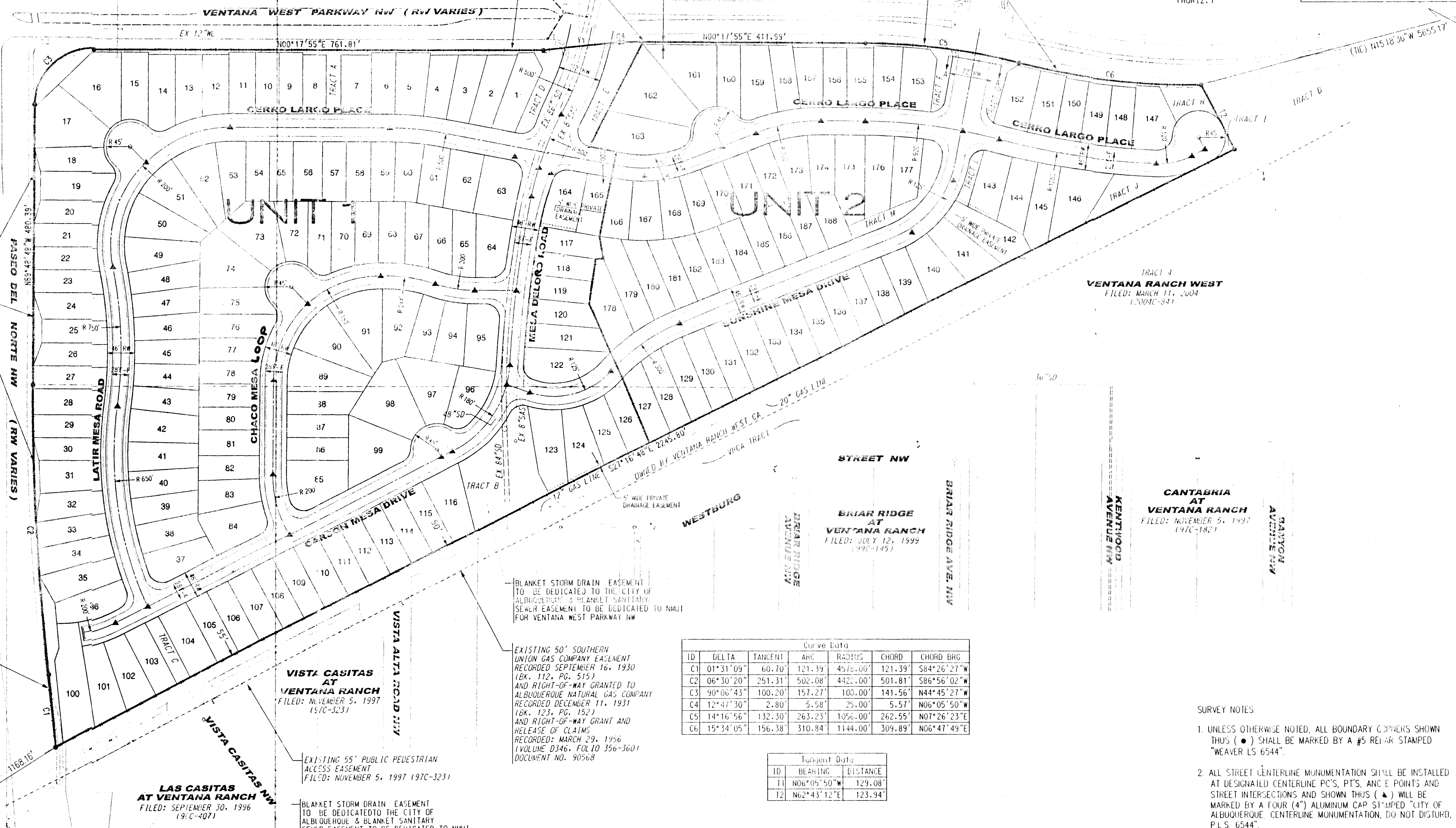
LEGAL DESCRIPTION
TRACTS 1A, 1B, & 3 OF VENTANA WEST
FILED MARCH 11, 2004 (2004C-84)

PRELIMINARY PLAT
APPROVED BY DRB
ON 10/13/04

- EXISTING ZONING: RL1
PROPOSED ZONING: RL1
PROPOSED DEVELOPMENT:
SINGLE FAMILY DETACHED RESIDENTIAL
- TOTAL ACREAGE: 31.8341 ACRES
TOTAL NUMBER OF LOTS: 188 LOTS
PROPOSED DENSITY: 5.9664 PER ACRE
- MINIMUM LOT DIMENSIONS: 10' x 10'
- ALL STREETS AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
- THIS SUBDIVISION LIES WITHIN THE NEW MEXICO UTILITIES, INC. (NMUI) FRANCHISE AREA. WATER AND SANITARY SEWER CAPABILITIES AREA BASED ON NMUI'S FACILITIES, AND NOT ON THE CITY OF ALBUQUERQUE'S WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY BOTH THE CITY OF ALBUQUERQUE AND NMUI.
- ALL SANITARY AND WATER UTILITIES IN THE STREET R/W ARE TO BE OWNED AND MAINTAINED BY NMUI.
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO PASEO DEL NORTE OR VENTANA WEST PARKWAY AND TRACT D, VENTANA RANCH WEST.
- LOT SETBACKS SHALL CONFORM TO RL1 ZONE REGULATIONS. REQUIRED SETBACKS SHALL INCLUDE:
FRONT YARD: 20'(TYP.)
(15' w/20' TO GARAGE MIN.)
SIDE (R/F): 5' (MIN.)
BACK YARD: 15' (MIN.)
CORNER SIDEYARD: 10' TO R/W
- PARK DEDICATION REQUIREMENTS HAVE BEEN MET WITH PARK SITE WITHIN TRACT C AND IN ACCORDANCE WITH THE PARK DEDICATION AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE AND VENTANA WEST, LLC DATED: MARCH 10, 2004, DOCUMENT NO. 2004031336.
- TRACTS A THRU L ARE TO BE DEDICATED TO AND MAINTAINED BY THE VENTANA RANCH WEST COMMUNITY ASSOCIATION BY SEPARATE DEED SOLELY AS PRIVATE OPEN SPACE, PEDESTRIAN ACCESS AND COMMUNITY LANDSCAPING.
- TRACT 1A, 1B, & 3 IS SUBJECT TO A THIRTY FOOT WIDE FLOATING PUBLIC STORM DRAIN EASEMENT (TO BE LOCATED PERPENDICULAR TO EXISTING PIPELINES) THAT HAS BEEN GRANTED TO THE CITY OF ALBUQUERQUE. THIS EASEMENT SHALL BE CONFINED AND DEFINED BY WITHIN FUTURE PUBLIC RIGHT-OF-WAY DEDICATED BY FUTURE PLATTING. FILED: MARCH 11, 2004 (2004C-84) TO BE VACATED BY VACATION ACTION AND SHOWN ON FINAL PLAT.
- TRACT 1A, 1B, & 3 IS SUBJECT TO A THIRTY FOOT WIDE FLOATING PUBLIC STORM DRAIN EASEMENT (TO BE LOCATED PERPENDICULAR TO EXISTING PIPELINES) THAT HAS BEEN GRANTED TO NEW MEXICO UTILITIES, INC. AND THE CITY OF ALBUQUERQUE. THIS EASEMENT SHALL BE CONFINED AND DEFINED BY WITHIN FUTURE PUBLIC RIGHT-OF-WAY DEDICATED BY FUTURE PLATTING. FILED: MARCH 11, 2004 (2004C-84) TO BE VACATED BY VACATION ACTION AND SHOWN ON FINAL PLAT.
- A BLANKET SANITARY SEWER EASEMENT WILL BE GRANTED TO NEW MEXICO UTILITIES, INC., AND THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT OVER TRACTS B AND C.
- A BLANKET STORM DRAIN AND DRAINAGE EASEMENT WILL BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT OVER TRACTS B, C, K AND L.

SHADED AREAS DESIGNATE ADDITIONAL PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR PASEO DEL NORTE NW

SHADED AREA DESIGNATES ADDITIONAL PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR PASEO DEL NORTE NW

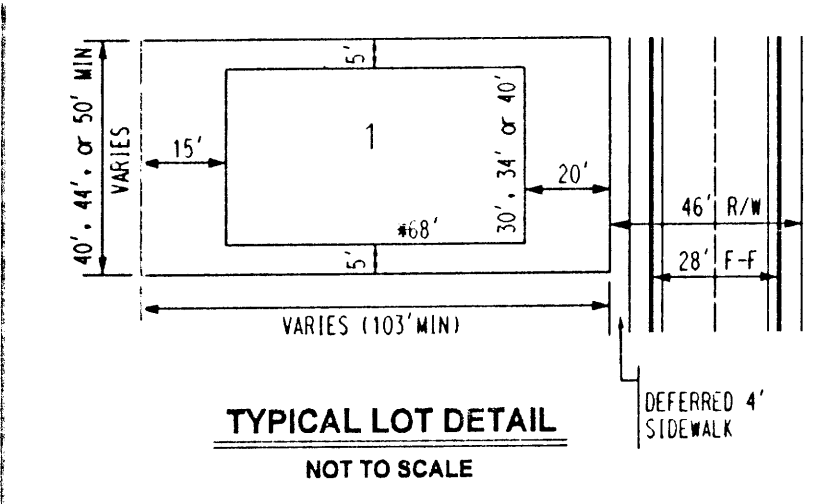
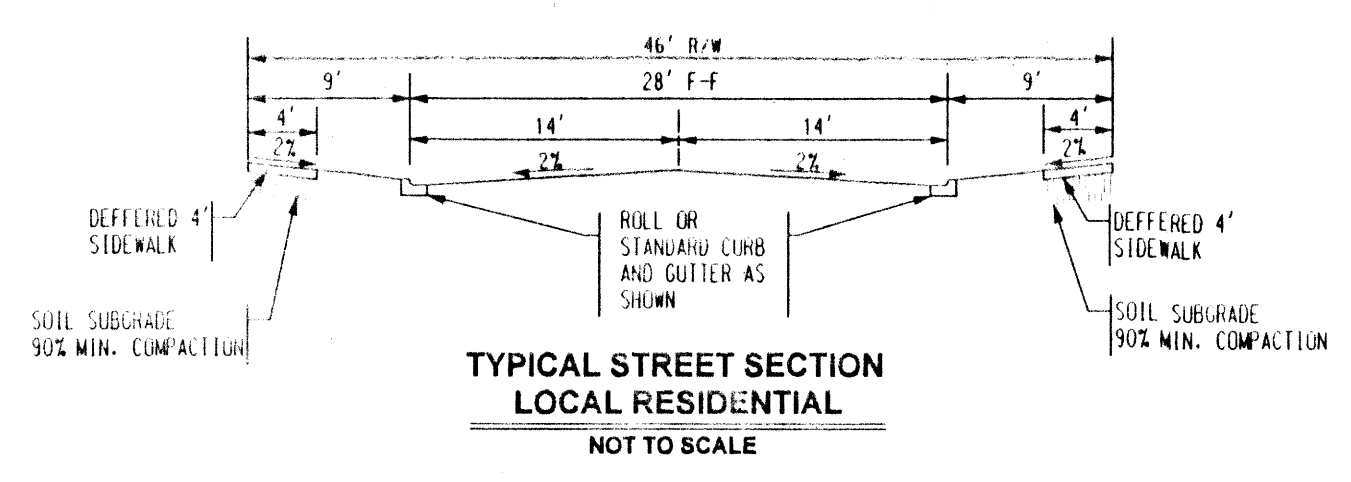
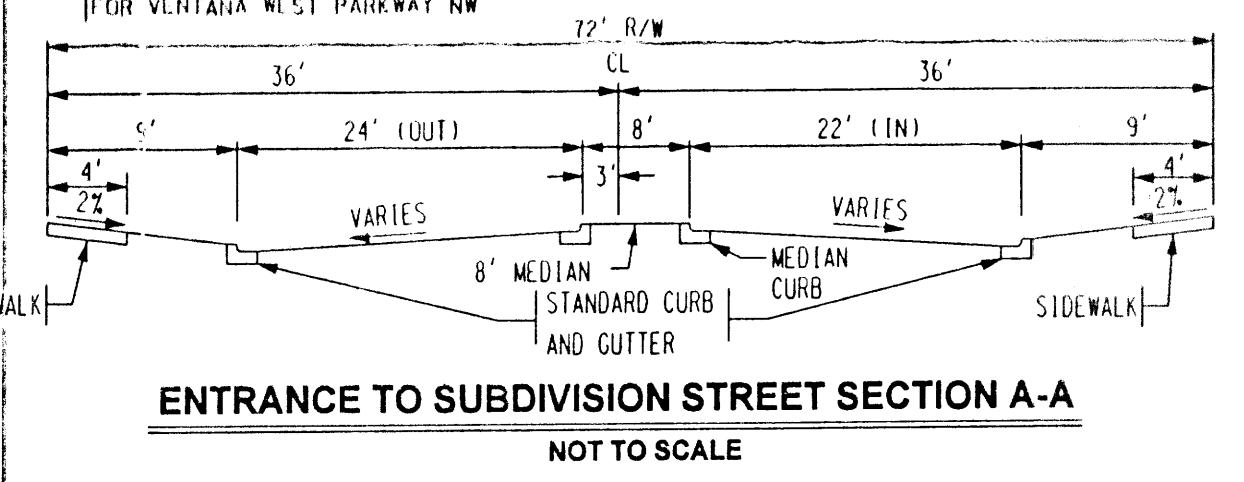


Curve Data

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRC
C1	01°31'09"	60.70'	121.39'	4516.00'	121.39'	S84°26'27"W
C2	06°30'20"	251.31'	502.08'	4432.00'	501.81'	S86°56'02"W
C3	30°06'43"	100.20'	157.27'	100.00'	141.56'	N44°45'27"W
C4	12°47'30"	2.80'	5.58'	25.00'	5.57'	N06°05'50"W
C5	14°16'56"	132.30'	263.23'	1056.00'	262.55'	N07°26'23"E
C6	15°54'05"	156.38'	310.84'	1144.00'	309.89'	N06°47'49"E

Tangent Data

ID	BEARING	DISTANCE
T1	N06°05'50"W	129.08'
T2	N62°43'12"E	123.94'

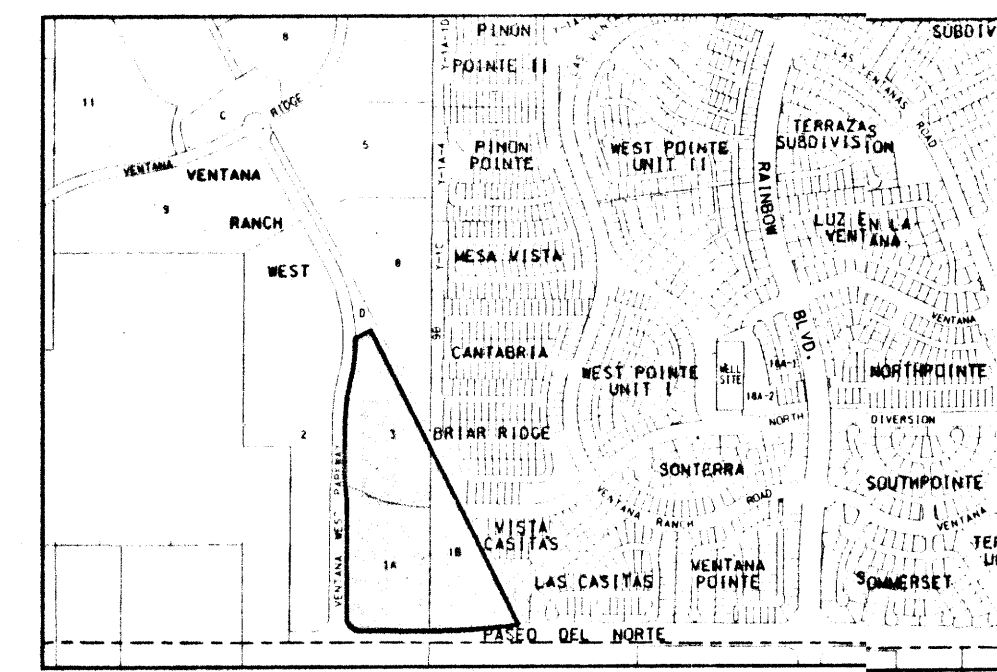


SURVEY NOTES:

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "WEAVER LS 6544".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT DESIGNATED CENTERLINE P.C.'S, P.T.'S, AND E. POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE. CENTERLINE MONUMENTATION, DO NOT DISTURB. P.L.S. 6544".
- THE "SUBDIVISION" BOUNDARY WILL BE TO BE THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION APPROVED FOR MONUMENTATION AND STREET NAMES.

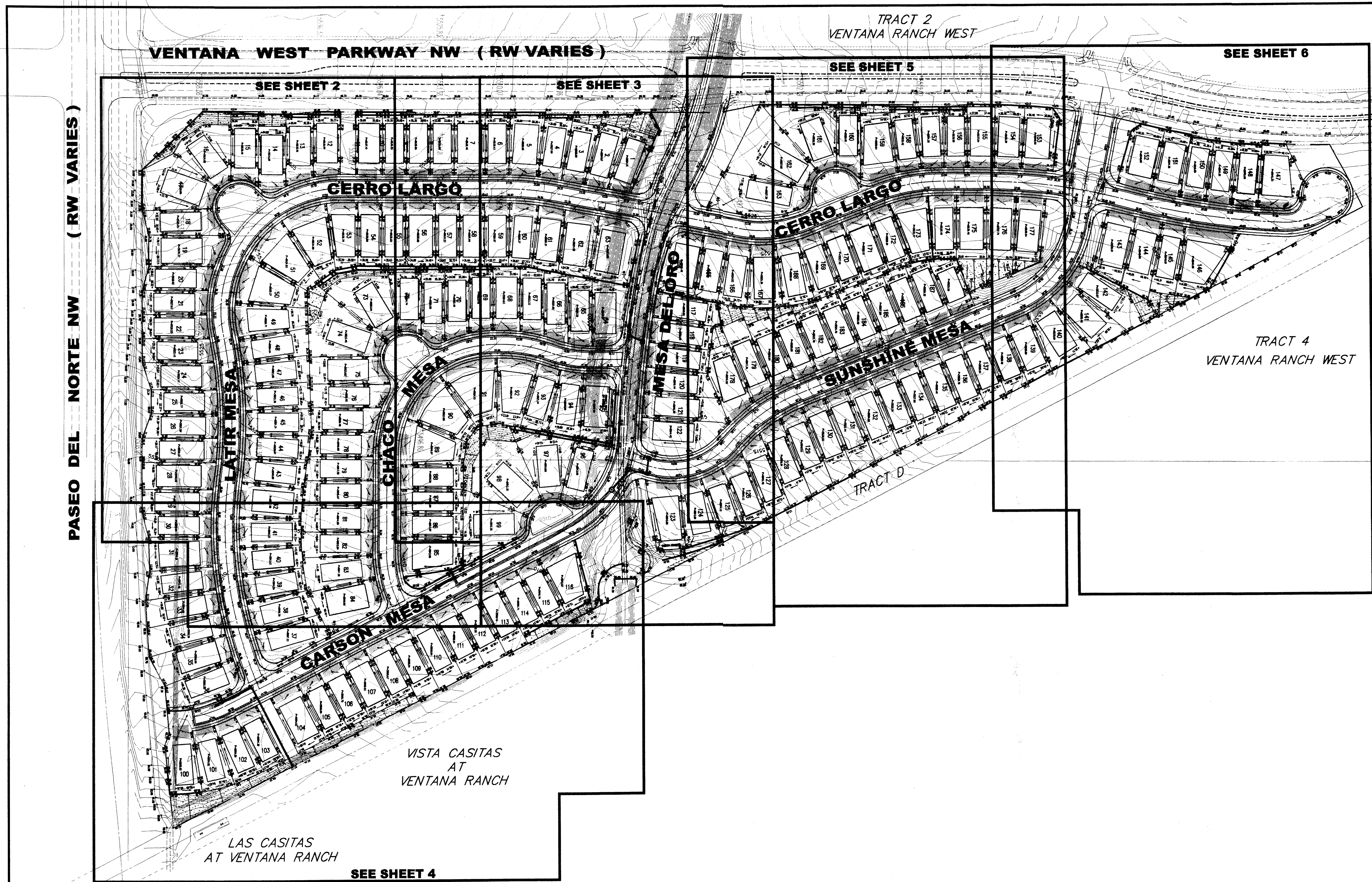
9.17.04
CITY SURVEYOR DATE

VENTANA WEST, LLC
A NEW MEXICO LIMITED LIABILITY COMPANY
ROBERT W. MURPHY, PRESIDENT
SANDIA PROPERTIES LTD. CO. MANAGING PARTNER
DATE: 9.16.04



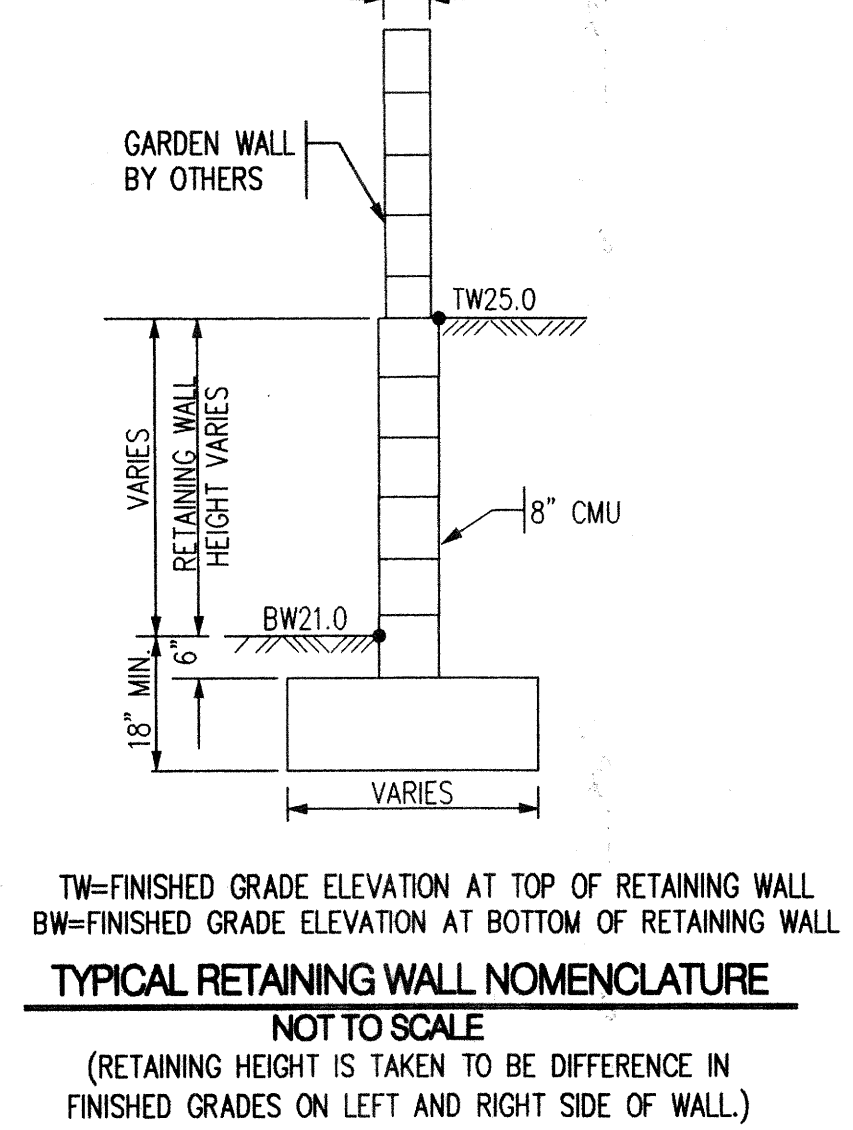
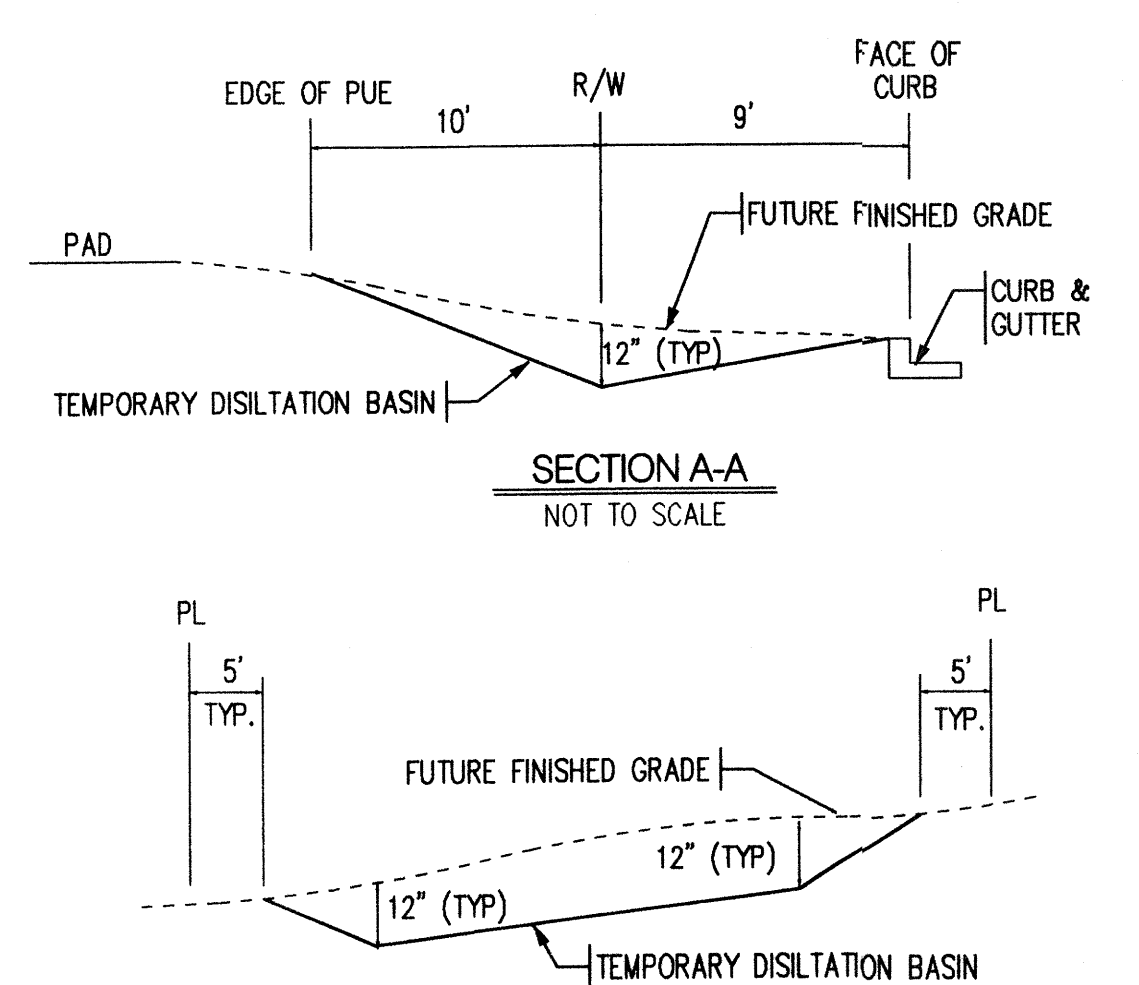
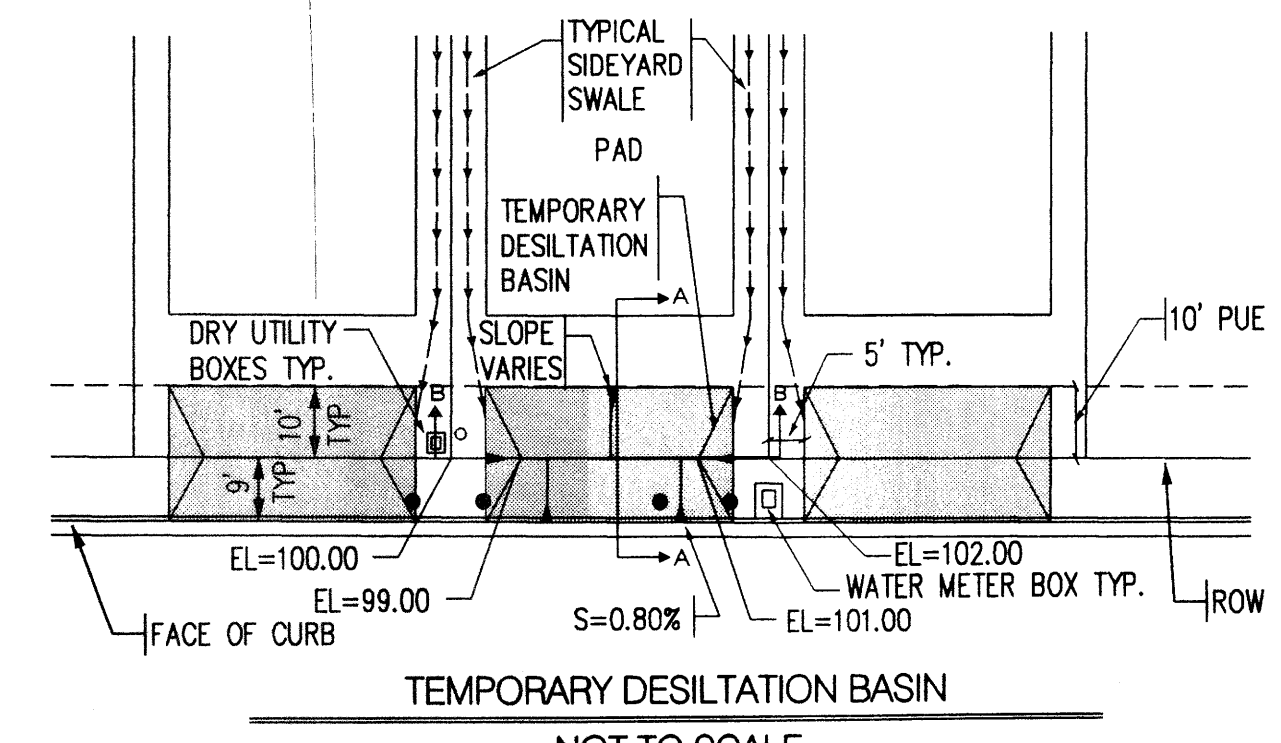
PRELIMINARY PLAT
VENTANA MESA SUBDIVISION
(REPLAT OF TRACTS 1A, 1B & 3
VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
AUGUST, 2004

Bohannon & Huston
Courtesy 17500 Jefferson St. NE Albuquerque, NM 87108-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

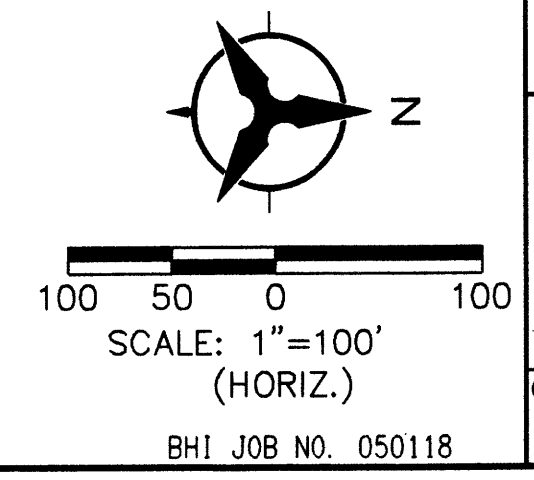


- GENERAL NOTES:
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION. PRIOR TO CONSTRUCTION THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY VINYARD & ASSOC. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
 - TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
 - EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 - IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
 - A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 - PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
 - ALL SPOT ELEVATIONS ARE TO TOP OF CURB UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	WORKED BY	AGS BRASS TABLET STAMPED 2-B10 1980"	DATE	NO.	BY		REMARKS REVISIONS DESIGN
RESPECTORS	ACCEPTANCE BY	GEOGRAPHIC POSITION (NAD 1927)	DATE	NO.	BY		
DATE	DATE	N.M. STATE PLANE COORDINATES	DATE	NO.	BY	DESIGNED BY	DATE 07/2004
DATE	DATE	(CENTRAL ZONE)	DATE	NO.	BY	DRAWN BY	DATE 07/2004
DATE	DATE	X=357,543.73 Y=1,527,976.48	DATE	NO.	BY	CHECKED BY	DATE 07/2004
DATE	DATE	GROUND-TO-GRID FACTOR = .99966354	DATE	NO.	BY		
DATE	DATE	DELTA ALPHA = 00'16" 30"	DATE	NO.	BY		
DATE	DATE	NGVD 1929 ELEVATION = 5429.35	DATE	NO.	BY		



- LEGEND**
- PROPOSED SPOT: ● 29.20
 - EXISTING SPOT: ○
 - TEMP. DESILTATION BASIN: [Hatched Box]
 - PROPOSED CONTOUR: — 5910 —
 - LIMITS OF GRADING: [Dashed Line]
 - EXISTING CONTOUR: [Dotted Line]
 - HIGH POINT: [Wavy Line]
 - SLOPE (3:1 MAX): [Stippled Area]
 - FLOW DIRECTION ARROW: [Arrow]
 - PAD: [Rectangle]
 - TURNED BLOCK: [TB]
 - RETAINING WALL: [Line]
 - GARDEN WALL: [Line]
 - RIBBON CHANNEL: [Hatched Box]
 - SWALE: [Line]



Bohannon Huston
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

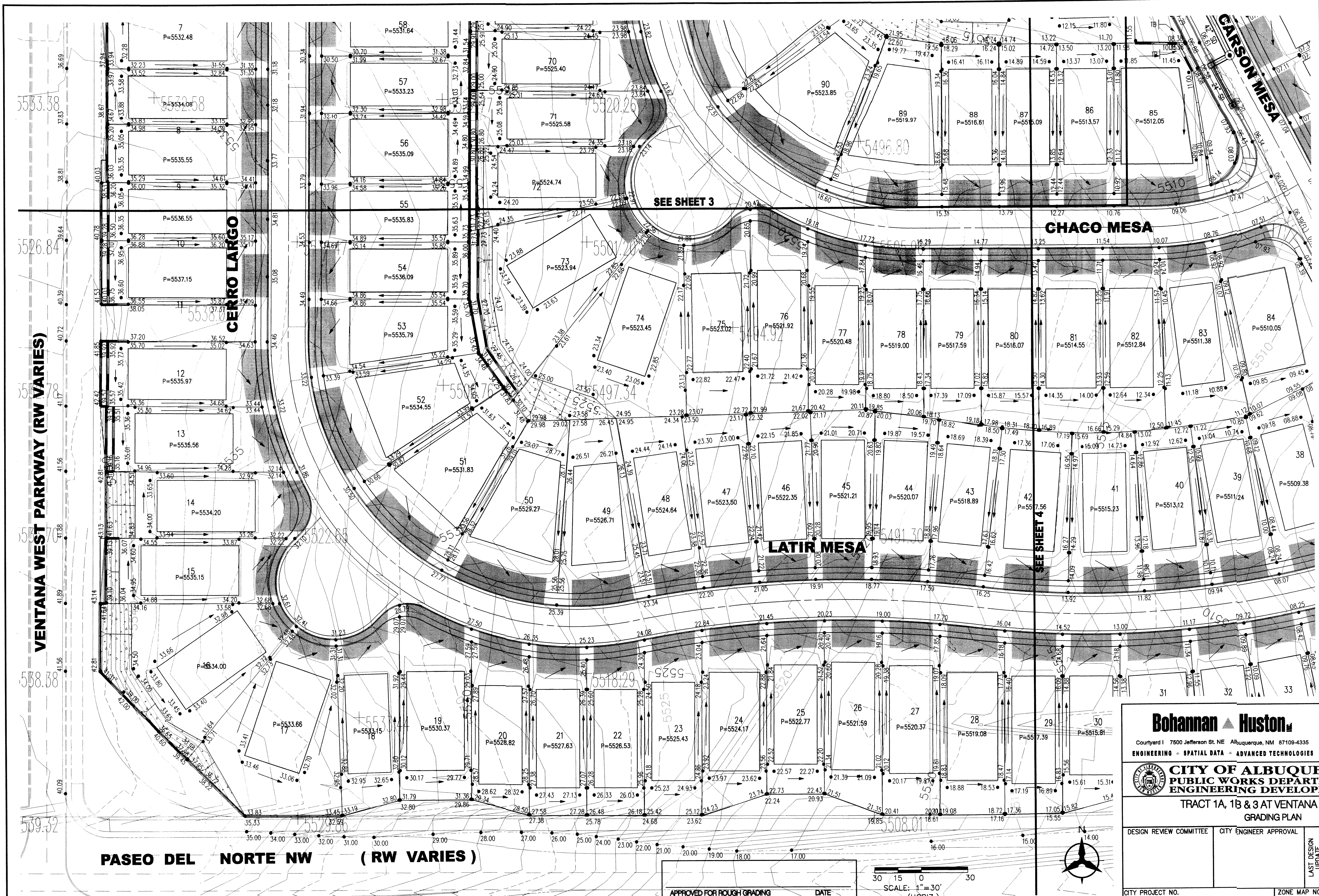
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

TRACT 1A, 1B & 3 AT VENTANA RANCH WEST
 OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

LAST DESIGN UPDATE

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
-	B-10	1	6



07-OCT-2004
 P:\050118\cdp\general\050118ap01.dgn

APPROVED FOR ROUGH GRADING DATE

SCALE: 1" = 30'
 (HORIZ.)

BHI JOB NO. 050118

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

TRACT 1A, 1B & 3 AT VENTANA RANCH WEST
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

LAST DESIGN UPDATE

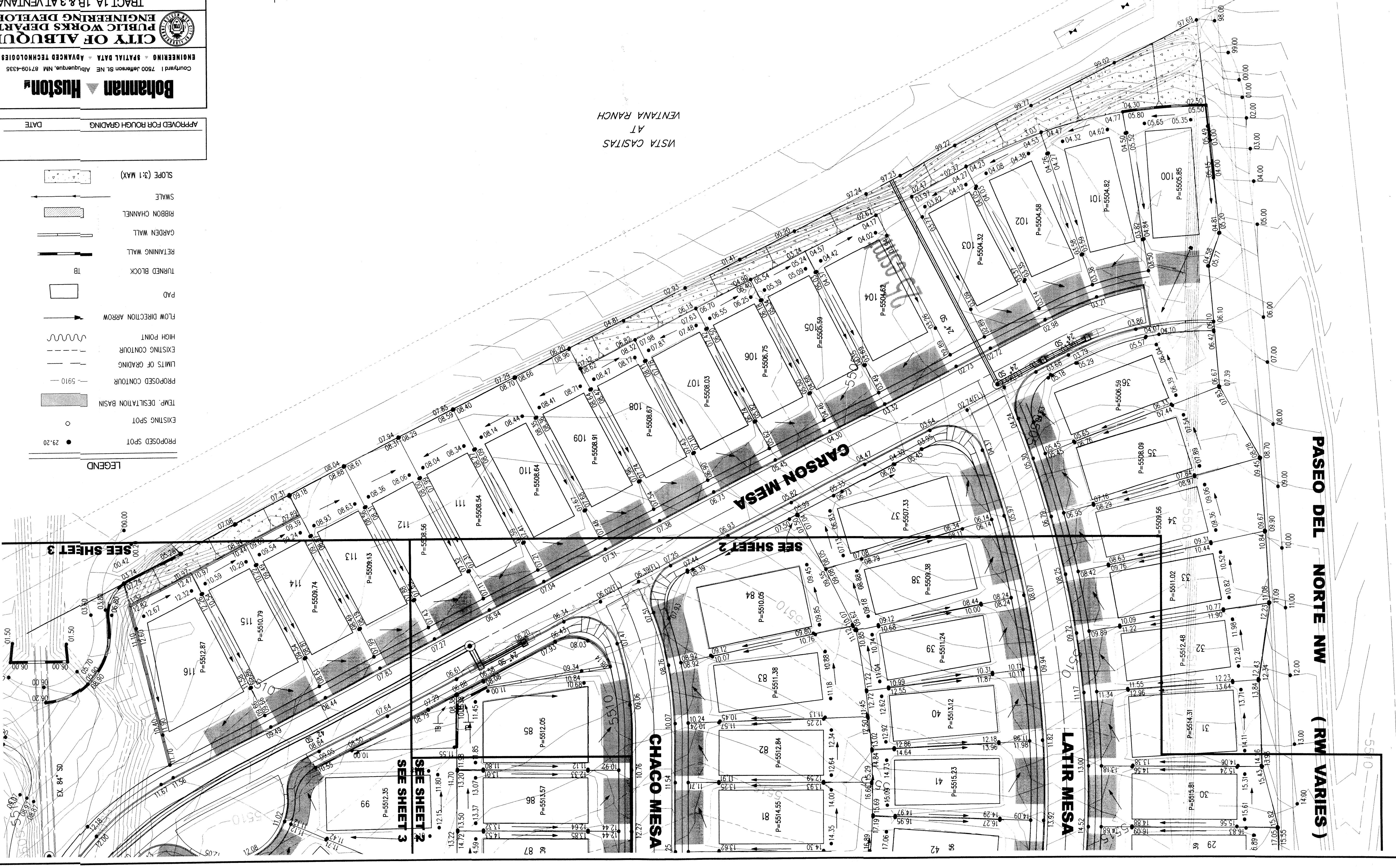
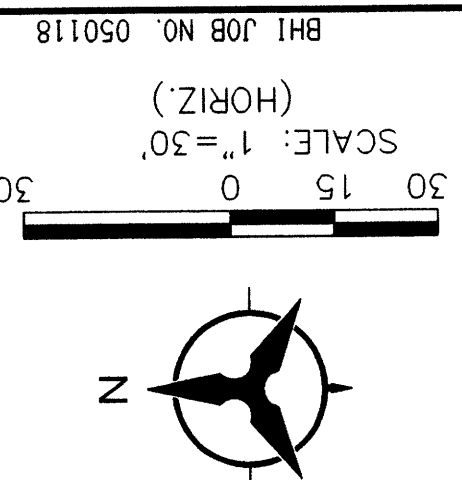
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	B-10	2	6

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		NO.	DATE	ACR BRASS TABLET STAMPED 2-BID 1980"	CONTRACTOR		
		BY	DATE	GEOGRAPHIC POSITION (NAD 1927)	STAKED BY		
NO.	DATE	BY	DATE	N.M. STATE PLANE COORDINATES	INSPECTOR'S		
				(CENTRAL ZONE)	FIELD NAME BY		
				X=357,543.73 Y=1,527,976.48	DATE		
				DELTA ALPHA = 0016'30"	DATE		
				NAD 1929 ELEVATION = 5429.35	MICRO-FILM INFORMATION		
					RECORDED BY		
					DATE		

NO.	DATE	REVISIONS	BY
		DESIGN	

DESIGNED BY YOP DATE 08/2004
 DRAWN BY DLM DATE 08/2004
 CHECKED BY YOP DATE 08/2004

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING & DESIGN GROUP		TRAJECT 1A, 1B & 3 AT VENTANA RANCH WEST GRADING PLAN		DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL MO./DAY/YR. MO./DAY/YR.		ZONE MAP NO. B-10 LAST DESIGN UPDATE		SHEET 4 OF 6	
Bohannon & Huston ADVANCED TECHNOLOGIES 7500 Jefferson St. NE Albuquerque, NM 87109-4335		APPROVED FOR ROUGH GRADING DATE		CITY PROJECT NO.		ZONE MAP NO. B-10		SHEET 4 OF 6	
DESIGNED BY: YOP DRAWN BY: DLM CHECKED BY: YOP		REVISIONS DATE 08/2004 DATE 08/2004		DATE 08/2004		DATE 08/2004		DATE 08/2004	
ENGINEER'S SEAL 		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION			
NO. BY DATE		FIELD NOTES		ACS BRASS TABLE STAMPED 2-B10 1980"		CONTRACTOR			
				GEOGRAPHIC POSITION (NAD 9277)		STARTED BY			
				N.M. STATE PLANE COORDINATES		ACCEPTANCE BY			
				(CENTRAL ZONE)		DATE			
				NAD 83 743.73 Y=1527.976.48		CORRECTED BY			
				GROUND-TO-GROUND FACTOR = 99966354		DATE			
				DELTA ALPHA = -0016.30"		MISC. INFORMATION			
				NAD 1929 ELEVATION = 5429.35		RECORDED BY			
						DATE			



PASO DEL NORTE NW
(RW VARIES)

VENTANA RANCH
AT
LAS CASTAS

VENTANA RANCH
AT
LAS CASTAS

CARSON MESA

CHAGO MESA

LATIR MESA

SEE SHEET 3

SEE SHEET 2

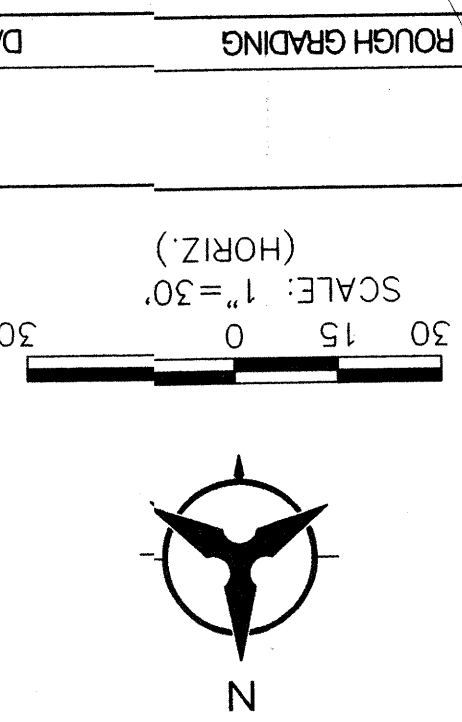
SEE SHEET 2

SEE SHEET 3



LEGEND

○ 29.20	EXISTING SPOT
○ 591.0	PROPOSED SPOT
—	TEMP. DESILTATION BASIN
—	PROPOSED CONTOUR
—	LIMITS OF GRADING
—	EXISTING CONTOUR
—	HIGH POINT
—	FLOW DIRECTION ARROW
—	PAV
—	TURNED BLOCK
—	RETAINING WALL
—	GARDEN WALL
—	RIBBON CHANNEL
—	SWALE
—	SLOPE (3:1 MAX)



APPROVED FOR ROUGH GRADING
DATE _____

Bohannon & Huston
ENGINEERING & SURVEY DATA • ADVANCED TECHNOLOGIES
County Rd 1, 7500 Jefferson St. NE, Albuquerque, NM 87108-4335
City of Albuquerque Engineering Department

TRACTION 1A, 1B & 3 AT VENTANA RANCH WEST
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.
LAST DESIGN		
UPDATE		

QTY PROJECT NO. _____
ZONE MAP NO. B-10
SHEET 5 OF 6

NO.	DATE	REVISIONS	REMARKS	BY

DESIGNED BY: YOP
DRAWN BY: DLM
CHECKED BY: YOP
DATE: 08/20/04

ENGINEER'S SEAL
[Signature]
Professional Engineer
No. 16095
State of New Mexico

BENCH MARKS

NO.	DATE	FIELD NOTES

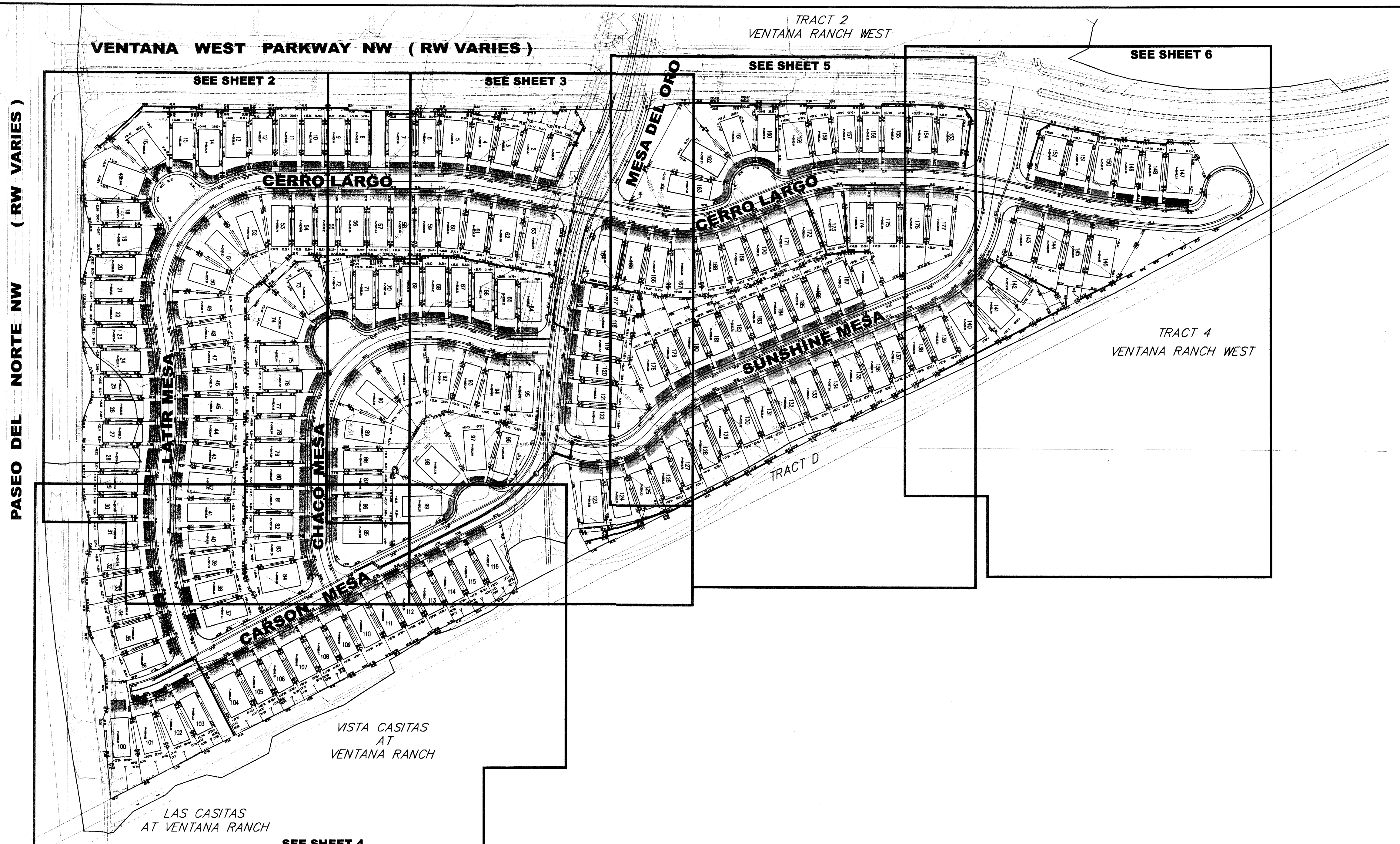
AS-BUILT INFORMATION

CONTRACTOR	DATE
WORK PERFORMED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
REPLICATION BY	DATE

AS-BUILT INFORMATION

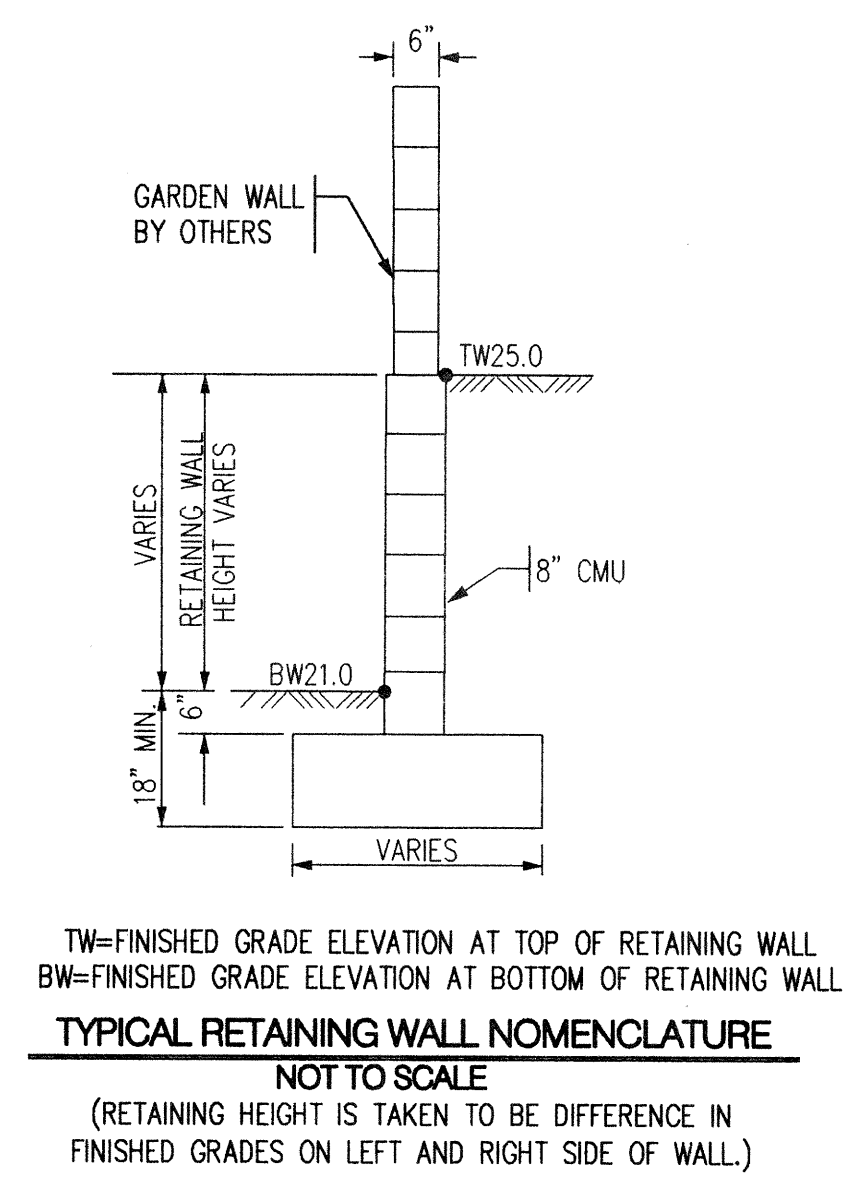
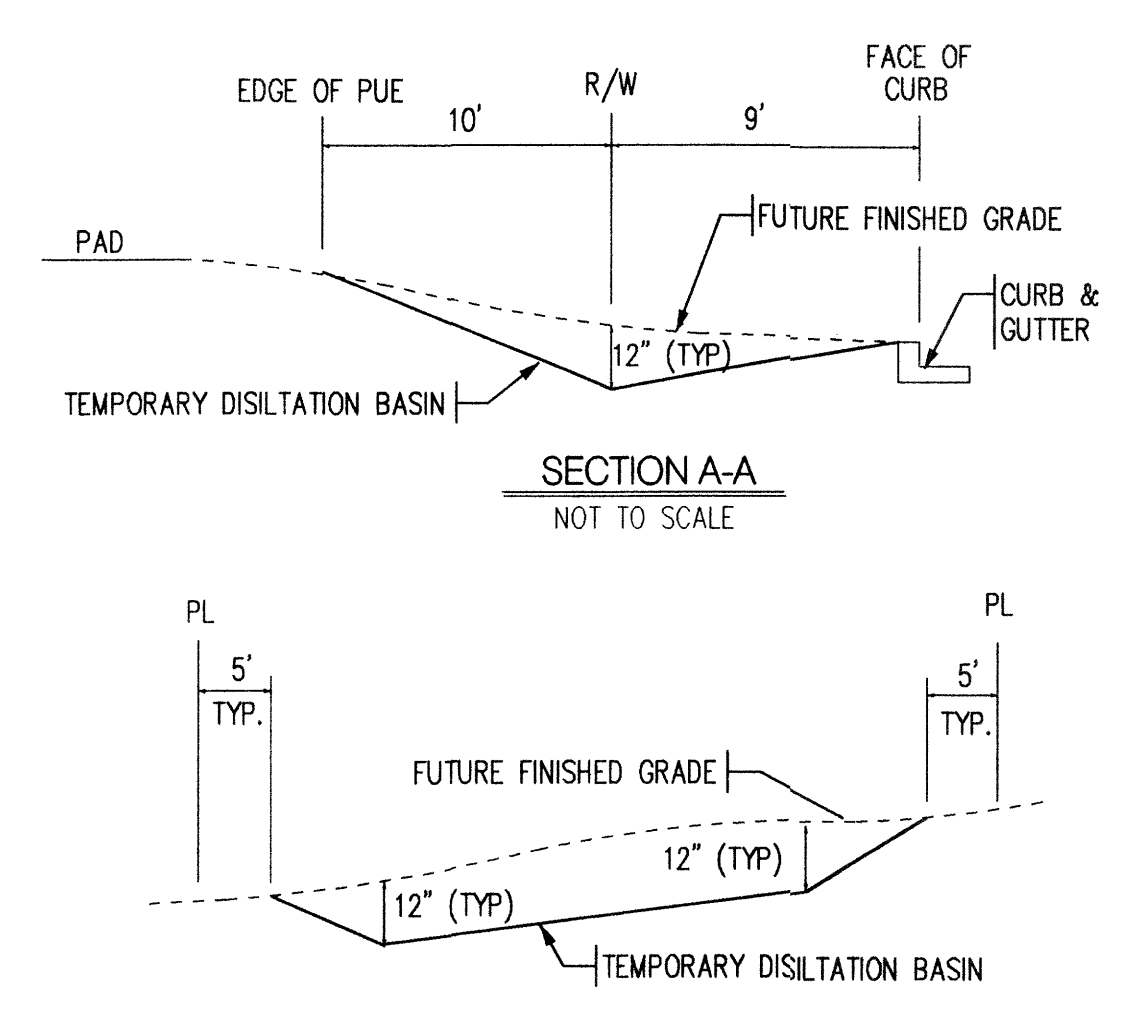
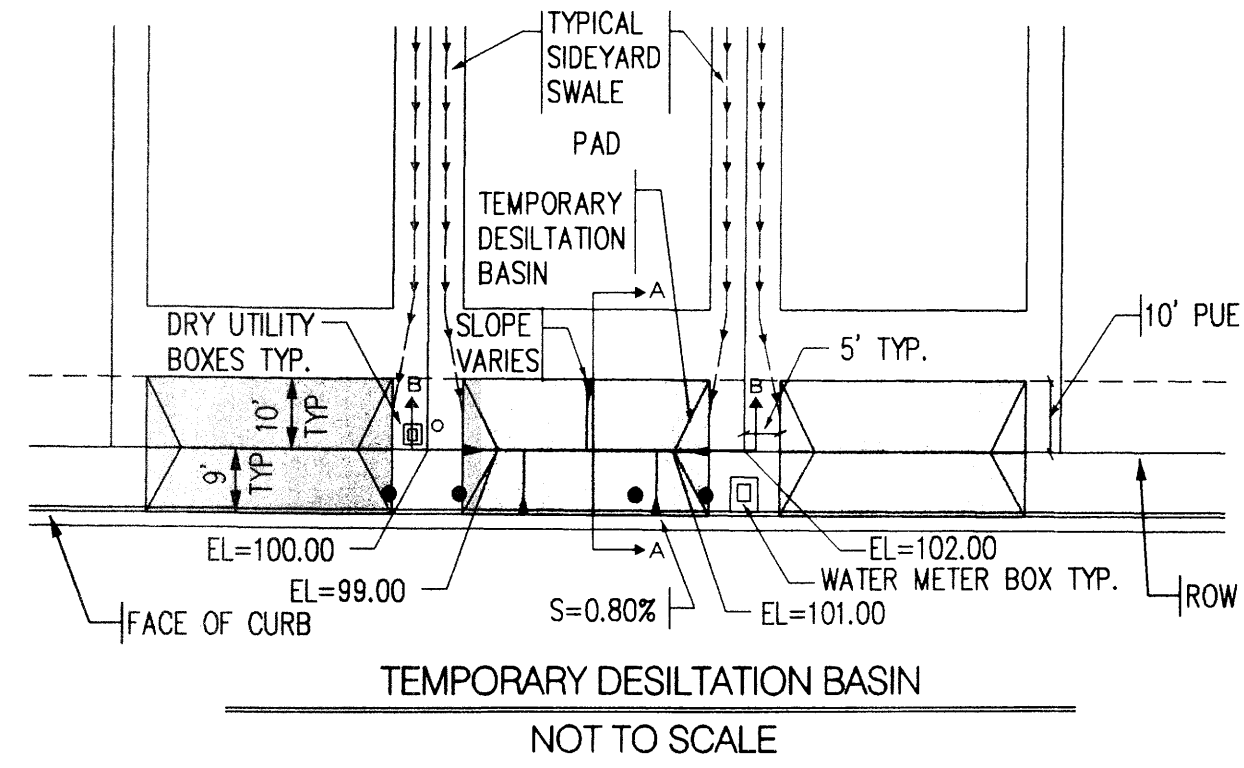
NO.	DATE

ACS BRASS TABLET STAMPED 2-B10 1980"
GEOGRAPHIC POSITION (NAD 1927)
N.M. STATE PLANE COORDINATES
(CENTRAL ZONE)
X=357,543.73 Y=1,527,976.48
GROUND-TO-GROUND FACTOR = .99966354
DELTA ALPHA = 0016.30
NAD 1929 ELEVATION = 5429.35



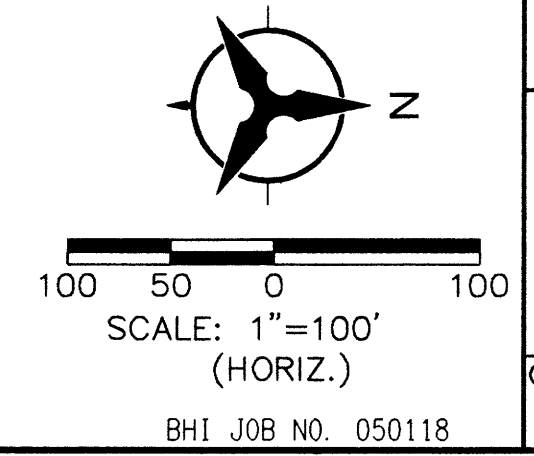
- GENERAL NOTES:
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY WINDYARD & ASSOC. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
 - TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
 - EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
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 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
 - A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 - PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
 - ALL SPOT ELEVATIONS ARE TO TOP OF CURB UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	NO.	ACS BRASS TABLET STAMPED "2-B10 1980"	NO.	BY	NO.	DATE	
STATED BY	BY	GEOGRAPHIC POSITION (NAD 1927)	DATE	REMARKS	DATE	BY	
INSPECTOR	NO.	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE	REVISIONS	DATE	BY	
FIELD	NO.	X=357,543.73 Y=1,527,976.48	DATE	DESIGN	DATE	BY	
ADJUSTED BY	NO.	GROUND-TO-GRID FACTOR = .999866354	DATE		DATE	BY	
CORRECTED BY	NO.	DELTA ALPHA = 0016'30"	DATE		DATE	BY	
RECORDED BY	NO.	NGVD 1929 ELEVATION = 5429.35	DATE		DATE	BY	



LEGEND

PROPOSED SPOT	FLOW DIRECTION ARROW	
EXISTING SPOT	PAD	
TEMP. DESILTATION BASIN	TURNED BLOCK	
PROPOSED CONTOUR	RETAINING WALL	
LIMITS OF GRADING	GARDEN WALL	
EXISTING CONTOUR	RIBBON CHANNEL	
HIGH POINT	SWALE	



17-SEP-2004
P:\050118\cdp\general\050118ovgd.dgn

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

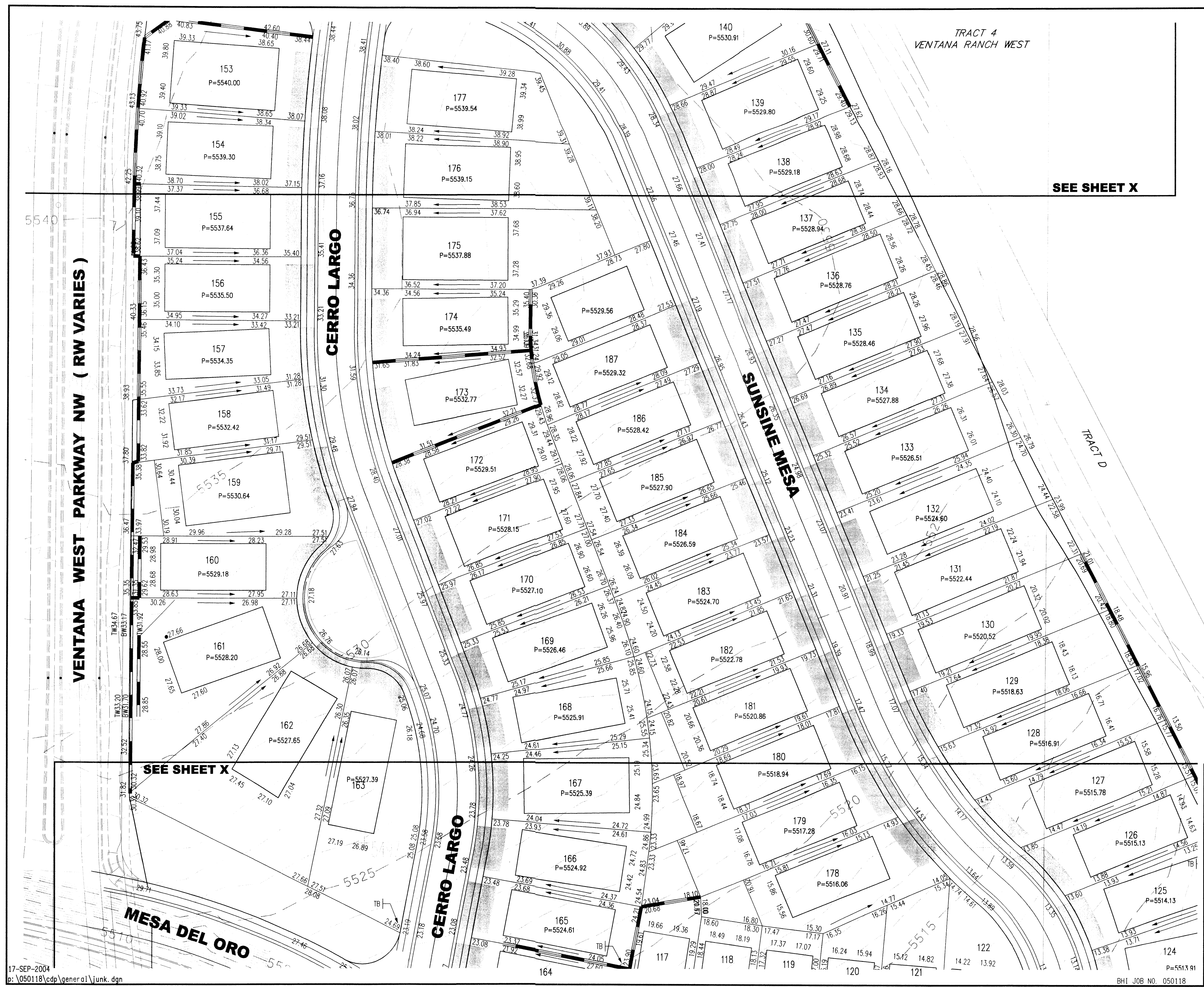
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

TRACT 1A, 1B & 3 AT VENTANA RANCH WEST
 OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO. X		ZONE MAP NO. B-10	SHEET 1 OF 6

APPROVED FOR ROUGH GRADING _____ DATE _____

BHI JOB NO. 050118

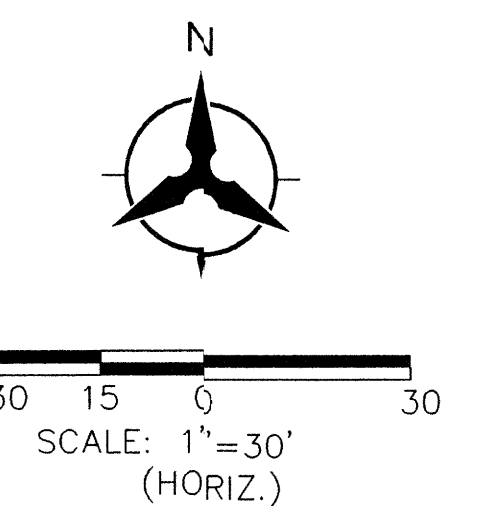


SEE SHEET X

SEE SHEET X

LEGEND

- PROPOSED SPOT 29.20
- EXISTING SPOT
- TEMP. DESILTATION BASIN
- PROPOSED CONTOUR 5910
- LIMITS OF GRADING
- EXISTING CONTOUR
- HIGH POINT
- FLOW DIRECTION ARROW
- PAD
- TURNED BLOCK TB
- RETAINING WALL
- GARDEN WALL
- RIBBON CHANNEL
- SWALE



APPROVED FOR ROUGH GRADING _____ DATE _____

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

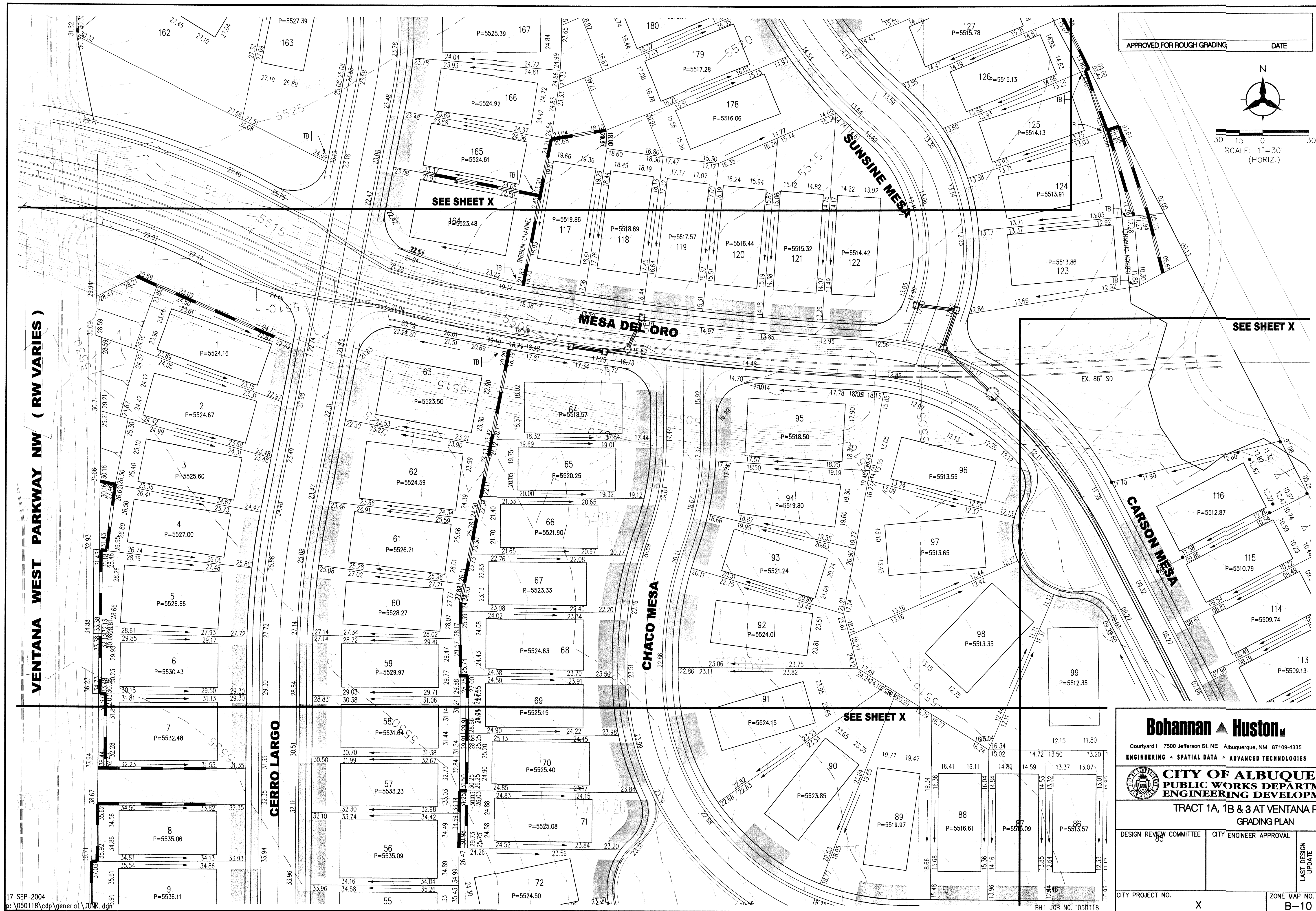
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

TRACT 1A, 1B & 3 AT VENTANA RANCH WEST
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
X	B-10	X	XX

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	NO.	DATE	CONTRACTOR	INSPECTOR'S	DATE	DATE
				ACS BRASS TABLET STAMPED 7-B10 1980"			
				GEOGRAPHIC POSITION (NAD 1927)			
				N.M. STATE PLANE COORDINATES			
				(CENTRAL ZONE)			
				GROUND-TO-GRID FACTOR = 99966354			
				BETA ALPHA = 001630"			
				NGVD 1929 ELEVATION = 5429.35			

Yolanda Padilla
 16035
 9-16-04
 PROFESSIONAL ENGINEER



APPROVED FOR ROUGH GRADING _____ DATE _____

N

SCALE: 1" = 30'
(HORIZ.)

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	BY	DATE	NO.	DATE	NO.	DATE
112				ACS BRASS TABLET STAMPED 2-BID 1980"		CONTRACTOR	
111				GEOGRAPHIC POSITION (NAD 1927)		STAKED BY	
				N.M. STATE PLANE COORDINATES		INSPECTOR'S	
				(CENTRAL ZONE)		FIELD CHANGE BY	
				X=357,543.73 Y=1,527,976.48		DATE	
				GROUND-TO-GRID FACTOR = 99966354		DATE	
				DELTA ALPHA = -0016.30"		DATE	
				MGSD 1929 ELEVATION = 5429.35		DATE	
						NO.	

Yolanda Padilla
16035
9-16-04

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TRACT 1A, 1B & 3 AT VENTANA RANCH WEST
GRADING PLAN 110

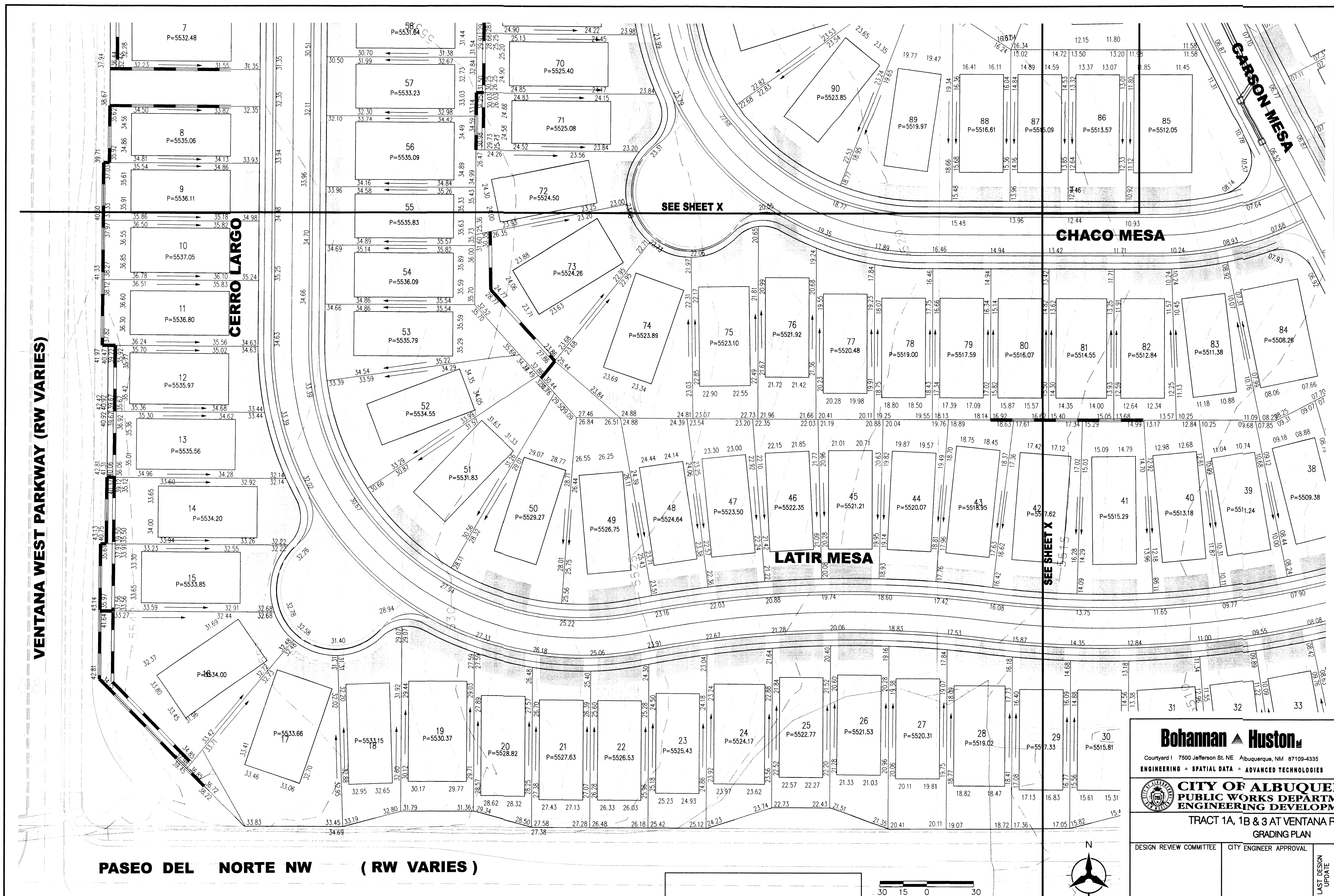
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

LAST DESIGN UPDATE

CITY PROJECT NO. X ZONE MAP NO. B-10 SHEET X OF XX

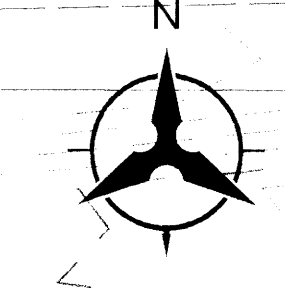
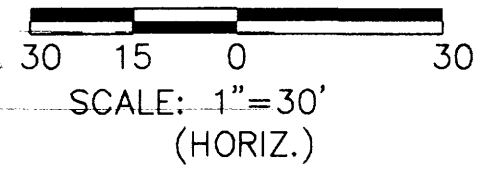
BHI JOB NO. 050118

17-SEP-2004
p:\050118\cdp\general\JWR.dgn



17-SEP-2004
 p:\050118\cdp\general\050118gp01.dgn

APPROVED FOR ROUGH GRADING _____ DATE _____



Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

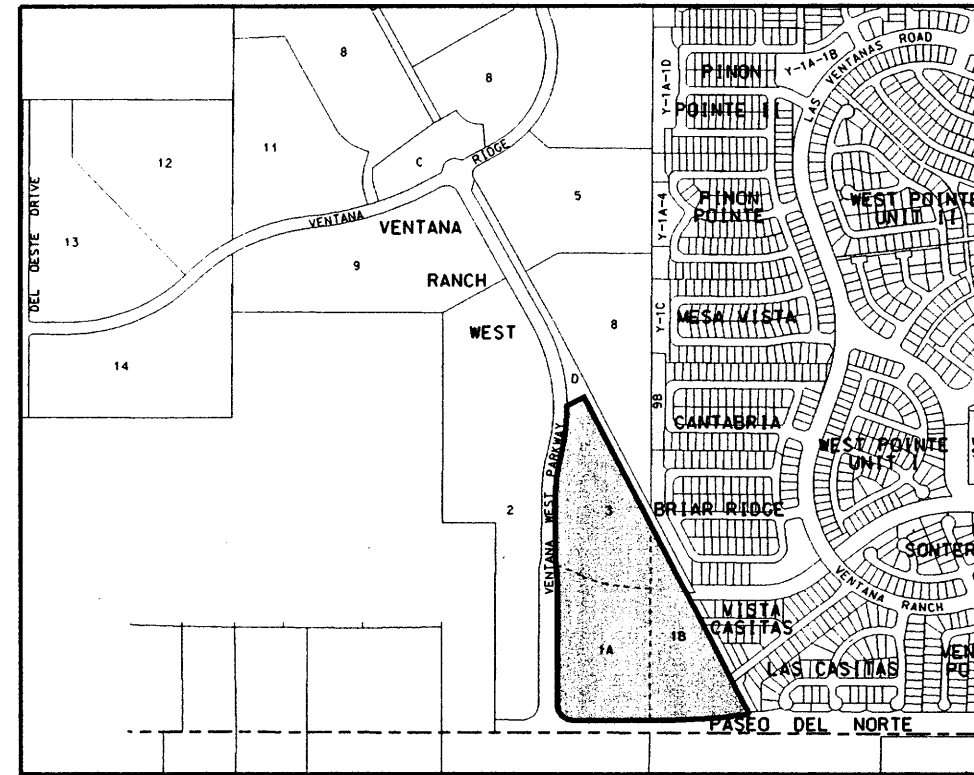
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

TRACT 1A, 1B & 3 AT VENTANA RANCH WEST
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
X	B-10	X	XX

SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
ENGINEER'S SEAL		REVISIONS		REVISIONS		REVISIONS	
		NO.	DATE	NO.	DATE	NO.	DATE
		DESIGNED BY	DATE	DRAWN BY	DATE	CHECKED BY	DATE
		YOP	06/2004	DLM	08/2004	YOP	08/2004
		DESIGN					

SP-2005040824



LOCATION MAP
ZONE ATLAS INDEX MAP Nos. B-8 & B-9
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index Nos. B-8-Z and B-9-Z; Zoning: RL-T.
3. Gross Subdivision Acreage: 31.8341 Acres
4. Total Number of Tracts Created: One hundred twenty-eight (128) Lots & Six (6) Tracts.
5. Total Mileage of Full Width Streets created: 0.7665 mile.
6. Total Mileage of Partial Width Streets created: 0.3367 mile.
7. Date of Survey: November, 2004.
8. Plat is located within the Town of Alameda Grant, within projected Sections 8 & 9, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tracts 1A, 1B, & 3, BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 into one hundred twenty-eight (128) lots and six (6) tracts, to dedicate additional public street right-of-way to the City of Albuquerque, to grant easements and to dedicate right-of-way to AMAFCA.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land being located within the Town of Alameda Grant, within projected Sections 8 and 9, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being the same as Tracts 1A, 1B, and 3 of the Bulk Land Plat for Ventana Ranch West filed in Book 2004C, Page 84, March 11, 2004 in the office of the Bernalillo County Clerk, and being more particularly described as follows:

BEGINNING at a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for the southeast corner of said Tract 1B, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "UNION", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=353,409.02' and Y=1,523,440.96' bears S32°21'25"E a distance of 1,168.16 feet.

THENCE along the South line of said Tract 1B along the arc of a curve to the left having an arc length of 121.39 feet, a radius of 4,578.00 feet, a central angle of 01°31'09", and a chord of S84°26'27"W a distance of 121.39 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of reverse curvature of said Lot 1B;

THENCE continuing along the South line of said Tract 1B along the arc of a curve to the right having an arc length of 502.08 feet, a radius of 4,422.00 feet, a central angle of 06°30'20", and a chord of S86°56'02"W a distance of 501.81 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for the southwest corner of said Tract 1B, identical to the southeast corner of said Tract 1A;

THENCE along the South line of said Tract 1A N89°48'48"W a distance of 480.39 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of curvature of said Tract 1A;

THENCE continuing along the South line and along the West line of said Tract 1A along the arc of a curve to the right having an arc length of 157.27 feet, a radius of 100.00 feet, a central angle of 90°06'43", and a chord of N44°45'27"W a distance of 141.56 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of tangency of said Tract 1A;

THENCE continuing along the West line of said Tract 1A N00°17'55"E a distance of 761.81 feet for an angle point of said Tract 1A;

THENCE continuing along the West line of said Tract 1A N06°05'50"W a distance of 129.08 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for the northwest corner of said Tract 1A, identical to the southwest corner of said Tract 3, a point of curvature;

THENCE along the West line of said Tract 3 along the arc of a curve to the right having an arc length of 5.58 feet, a radius of 25.00 feet, a central angle of 12°47'30", and a chord of N06°05'50"W a distance of 5.57 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for an angle point of said Tract 3;

THENCE continuing along the West line of said Tract 3 N00°17'55"E a distance of 411.99 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for a point of curvature of said Tract 3;

THENCE continuing along the West line of said Tract 3 along the arc of a curve to the right having an arc length of 263.23 feet, a radius of 1,056.00 feet, a central angle of 14°16'59", and a chord of N07°26'23"E a distance of 262.55 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for a point of reverse curvature of said Tract 3;

THENCE continuing along the West line of said Tract 3 along the arc of a curve to the left having an arc length of 310.84 feet, a radius of 1,144.00 feet, a central angle of 15°34'05", and a chord of N06°47'49"E a distance of 309.89 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for the northwest corner of said Tract 3;

THENCE along the North line of said Tract 3 N62°43'12"E a distance of 123.94 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for the northeast corner of said Tract 3;

THENCE along the East lines of said Tract 3 and Tract 1B S27°16'48"E a distance of 2,245.80 feet to the POINT OF BEGINNING.

Tract contains 31.8341 acres of land, more or less.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: January 31, 2005



FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Sections 8 & 9, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts 1A, 1B, & 3 of the BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, now comprising Lots 1 through 128 inclusive and Tracts A thru F inclusive, VENTANA MESA SUBDIVISION AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby dedicate drainage right-of-way to AMAFCA in Fee Simple with Warranty Covenants and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

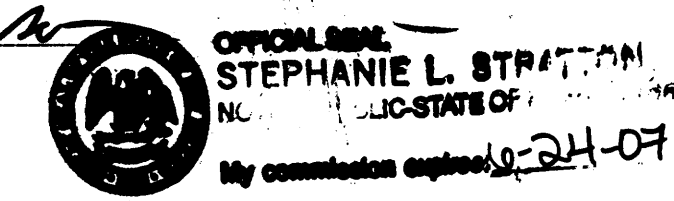
D.R. HORTON, INC

BY: Mark Ferguson, President
D.R. Horton, Inc.

State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 1 day of February 2005, by Mark Ferguson, President of D.R. Horton, Inc., a Delaware Corporation

My Commission Expires: 02-24-07 Stephanie L. Stratton
Notary Public



NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Bulk Land Plat for Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline (in lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. Tracts A thru E are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat.
7. Tracts B & C are subject to a blanket Sanitary Sewer Easement granted to New Mexico Utilities, Inc. and a blanket storm drain easement granted to the City of Albuquerque with the filing of this plat.
8. Park Dedication Requirements shall be met with Tract C of the Bulk Land Plat of Ventana Ranch West a future park site, and in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC dated: March 10, 2004, Document No. 2004031336. Conveyance shall be by separate deed.
9. Tracts 1A, and 1B are subject to an existing thirty foot wide floating Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. and the City of Albuquerque and an existing fifty foot wide floating Public Storm Drain Easement granted to the City of Albuquerque by plat filed: March 11, 2004 in book 2004C, Page 84. These easements shall be confined and defined to within future public right of way dedicated by future platting. These easements are now defined and confined to within public right of way dedicated with this plat.
10. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of a street improvement. Offset may be adjusted by even foot increments where necessary to fall within the pan.
11. A ten (10) foot wide floating public utility easement is granted across Tract C, Ventana Mesa with the filing of this plat.
12. TEMPORARY Blanket drainage easement to COA over southern portion of Tract 1B, Ventana Ranch West Bulk Plat, as granted by Plat of Ventana Ranch (Note 8) filed Nov 30, 1995 Document No. 95122531 and further referenced by Plat of Tracts 3B & 3C Ventana Ranch (Note 7) filed August 21, 1997 as Document Number 97085835, is hereby further defined as PERMANENT Easement to City of Albuquerque across all of Tract B of this plat only via note 7 of this plat, for 84 inch Storm Drain and appurtenances, via this Subdivision Plat action.
13. TEMPORARY 100 foot drainage easement for proposed channel to AMAFCA, trail, and public utility easement over Tract 1B, Ventana Ranch West Bulk Plat, as granted by Plat of Ventana Ranch over Tract 3 (Note 10) filed November 30, 1995, Document No. 95122531 and further referenced by Plat of Tracts 3B & 3C Ventana Ranch (Note 6) filed August 21, 1997 as Document No. 97085835, is to be vacated through the City of Albuquerque's vacation action process by future action. Easement quit claimed by AMAFCA via Document Number 2005013423 filed: January 28, 2005 in Book A91, Page 3375.
14. AMAFCA RW per Warranty Deed Filed:

FINAL
APPROVED BY DRB
ON 02/29/05

PLAT OF
VENTANA MESA SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST
(A REPLAT OF TRACTS 1A, 1B, & 3
VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
JANUARY, 2005

PROJECT NUMBER
APPLICATION NUMBER

Table with columns for Utility Approvals (QWEST, Comcast Cable, PNM Electric Services, PNM Gas Services, New Mexico Utilities, Inc.), City Approvals (City Surveyor), Traffic Engineering, Utilities Development, Parks & Recreation Department, A.M.A.F.C.A., City Engineer, DRB Chairperson, Planning Department, Ventana Ranch West Community Association. Includes dates and signatures.

TAX CERTIFICATION
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #
PROPERTY OWNER OF RECORD
BERNALILLO COUNTY TREASURER'S OFFICE

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston
Engineering & Spatial Data & Advanced Technologies
Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

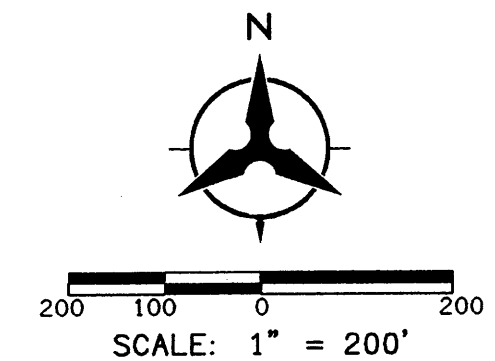
ACS BRASS TABLE STAMPED "1-A8 1980"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=350,152.25 Y=1,531,818.60
 GROUND TO GRID FACTOR = 0.9996593
 DELTA ALPHA = -00°17'21"
 NGVD 1929 ELEVATION = 5570.04

NOTE: TABLES ARE FOR THIS SHEET ONLY

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	01°31'09"	60.70'	121.39'	4578.00'	121.39'	S84°26'27"W
C2	06°30'20"	251.31'	502.08'	4422.00'	501.81'	S86°56'02"W
C3	90°06'43"	100.20'	157.27'	100.00'	141.56'	N44°45'27"W
C4	12°47'30"	2.80'	5.58'	25.00'	5.57'	N06°05'50"W
C5	14°16'56"	132.30'	263.23'	1056.00'	262.55'	N07°26'23"E
C6	15°34'05"	156.38'	310.84'	1144.00'	309.89'	N06°47'49"E
C7	03°42'11"	8.95'	17.90'	277.00'	17.90'	N46°34'16"W
C8	02°25'36"	39.69'	79.37'	1874.00'	79.36'	N82°36'16"W

ID	BEARING	DISTANCE
T1	N06°05'50"W	129.08'
T2	N62°43'12"E	123.94'
T3	S67°40'48"W	121.61'
T4	S45°16'50"W	46.00'
T5	S66°21'12"W	89.37'
T6	N02°54'48"W	12.95'
T7	S80°11'14"W	38.83'
T8	N79°11'23"W	104.23'
T9	N79°18'27"W	46.00'
T10	S10°41'33"W	44.91'
T11	N63°29'30"W	195.67'
T12	N89°42'05"W	5.00'

PLAT OF
VENTANA MESA SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST
 (A REPLAT OF TRACTS 1A, 1B, & 3
 VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2005



EXISTING 50' SOUTHERN UNION
 GAS COMPANY EASEMENT
 RECORDED: SEPTEMBER 16, 1930
 (BK. 112, PG. 515)
 AND RIGHT-OF-WAY GRANTED TO
 ALBUQUERQUE NATURAL GAS COMPANY
 RECORDED DECEMBER 11, 1931
 (BK. 123, PG. 152)
 AND RIGHT-OF-WAY GRANT AND
 RELEASE OF CLAIMS
 RECORDED: MARCH 29, 1956
 (VOLUME D346, FOLIO 356-360)
 DOCUMENT NO. 90568
 EASEMENT TO REMAIN

EXISTING 5' PUBLIC
 ACCESS EASEMENT
 FILED: MARCH 11, 2004
 (2004C-84)

TRACT 2
**VENTANA RANCH
 WEST**
 FILED: MARCH 11, 2004
 (2004C-84)

TRACT 4
**VENTANA RANCH
 WEST**
 FILED: MARCH 11, 2004
 (2004C-84)

9B
CANTABRIA
 FILED: JULY 12, 1999
 (99C-182)

58
 35
BRIAR RIDGE
 FILED: MAY 21, 1998
 36 (98C-145)

88
**BRIAR RIDGE
 AVENUE NW**

14
 13A 12A 11
 10
**PLAT OF LOTS 12A & 13A
 BRIAR RIDGE**
 FILED: DECEMBER 10, 1998
 (98C-344)

CENTERLINE EXISTING 100'
 TEMPORARY DRAINAGE, PUBLIC
 UTILITY AND TRAIL EASEMENT
 FILED: NOVEMBER 30, 1995
 (95C-430)
 (SEE NOTE 13, SHEET 1)

EXISTING 55' PUBLIC PEDESTRIAN
 ACCESS EASEMENT
 FILED: NOVEMBER 5, 1997 (97C-323)

17 16 15 14
 18 19 20
**VISTA CASITAS
 AT VENTANA RANCH**
 FILED: NOVEMBER 5, 1997
 (97C-323)

17
 18
**LAS CASITAS
 AT VENTANA RANCH**
 FILED: SEPTEMBER 30, 1996
 18 (96C-407)

N89°48'48"W 480.39'
 8 9
PASEO DEL NORTE NW (RW VARIES)

UNPLATTED LAND
 IN PROJECTED SECTION 17
 T11N, R2E, NMPM

17 16
 T11N, R2E
 NMPM

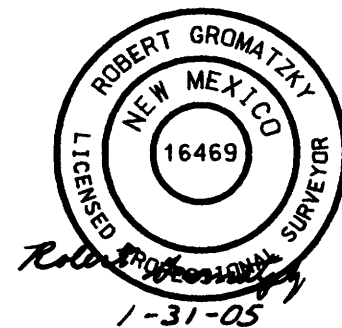
UNPLATTED LAND OF
 VOLCANO SIX LIMITED

HATCHED AREA DESIGNATES
 EXISTING TEMPORARY BLANKET
 DRAINAGE EASEMENT
 FILED: NOVEMBER 30, 1995
 (95C-430)
 (SEE NOTE 12, SHEET 1)

NGS BRASS TABLE STAMPED "UNION 1969"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=353,409.02 Y=1,523,440.96
 GROUND TO GRID FACTOR = 0.99966044
 DELTA ALPHA = -00°16'58"
 NGVD 1929 ELEVATION = 5522.0 (TRIG)

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- - - SECTION LINE
- - - RIGHT OF WAY
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- ⊙ FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS16469"



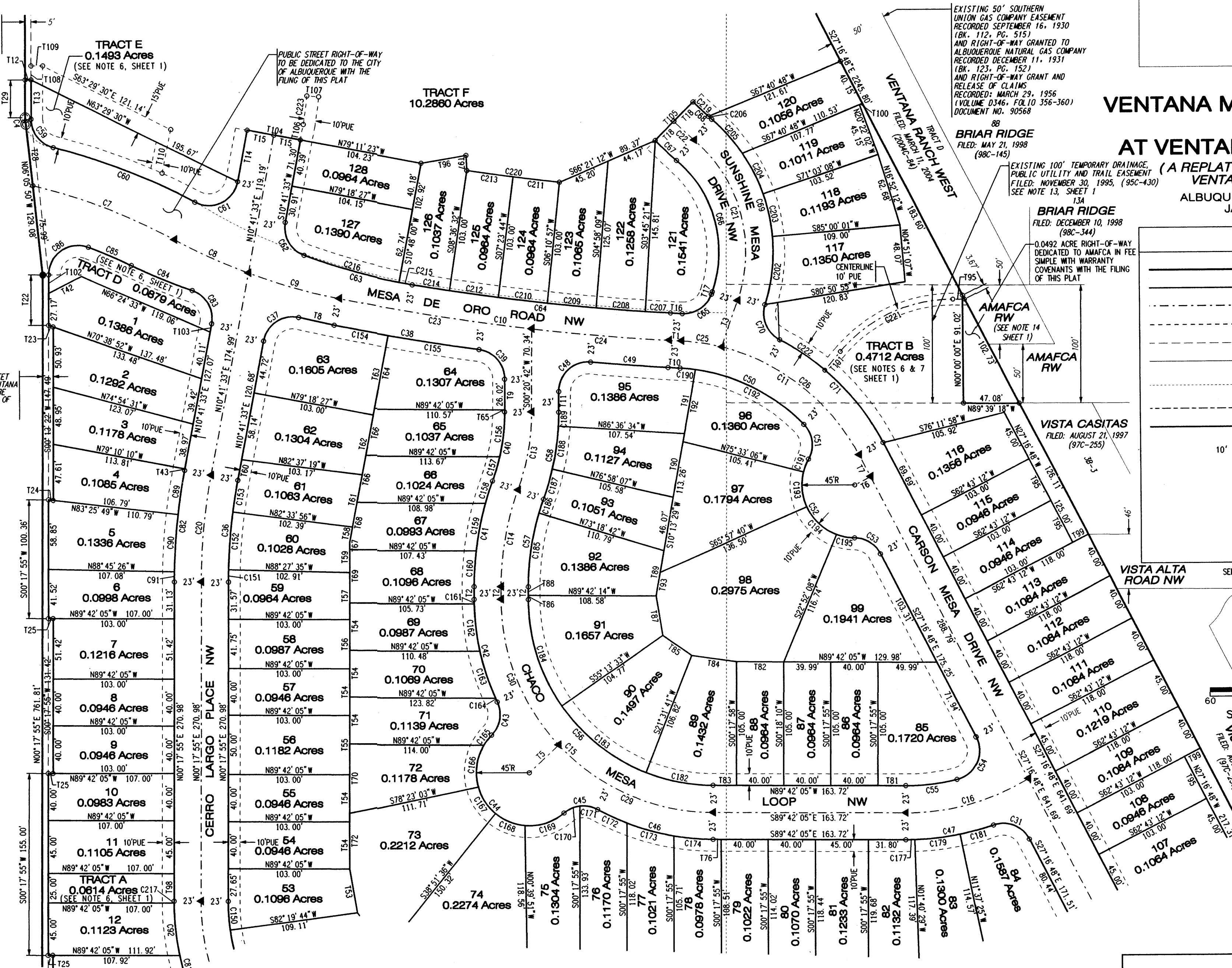
Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

EXISTING 5' PUBLIC ACCESS EASEMENT FILED: MARCH 11, 2004 (2004C-84)

ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR VENTANA WEST PARKWAY NW TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

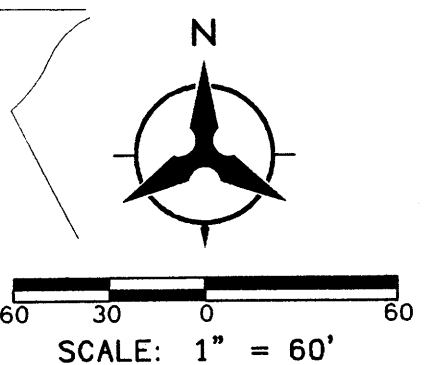
VENTANA WEST PARKWAY NW (RW VARIES)



**PLAT OF
VENTANA MESA SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST
(A REPLAT OF TRACTS 1A, 1B, & 3
VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
JANUARY, 2005**

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- - - EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- - - SECTION LINE
- RIGHT OF WAY
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- ⊙ FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"

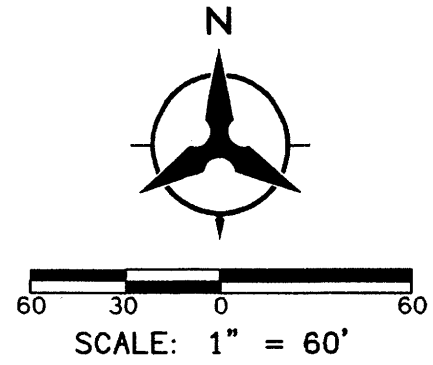


Bohannon & Huston

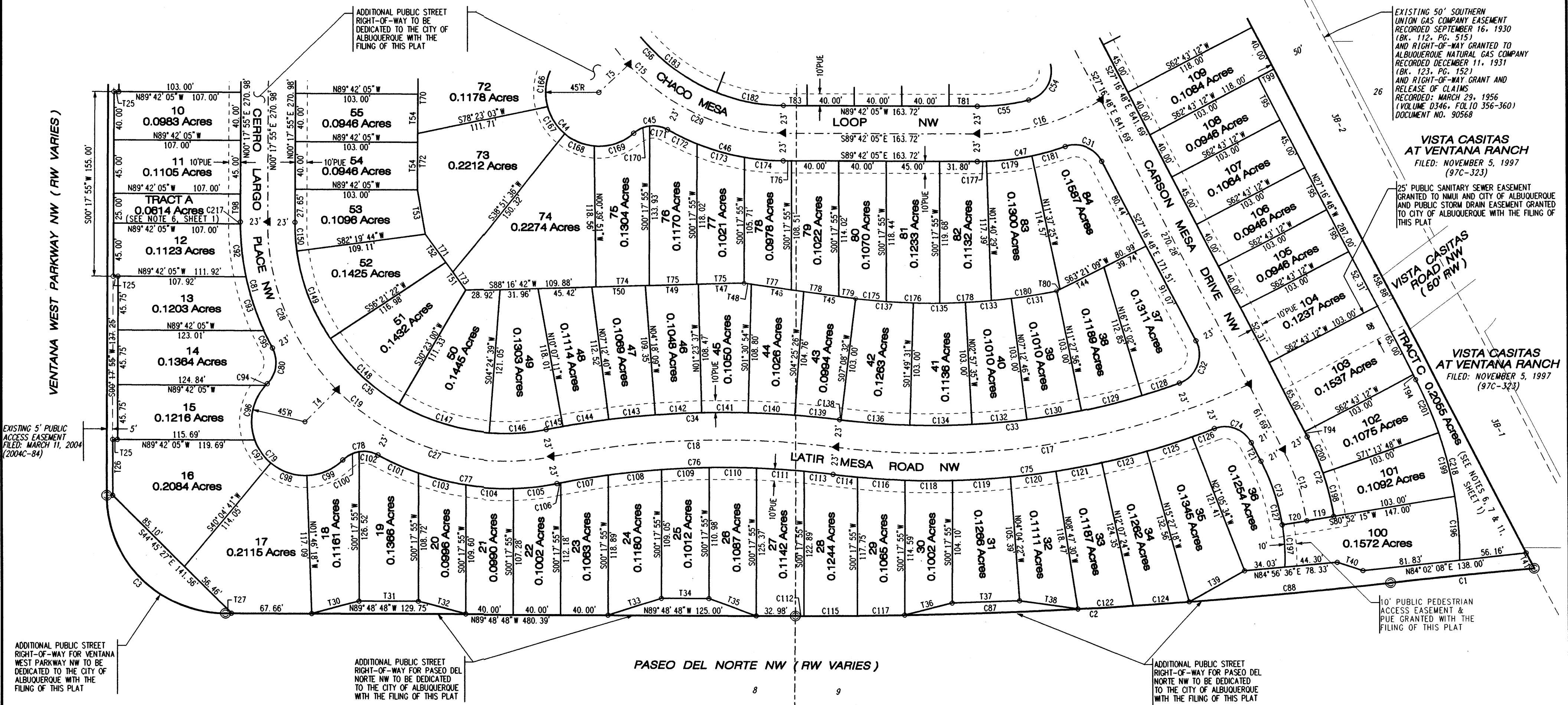
Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SHEET 3 OF 5

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	SECTION LINE
	RIGHT OF WAY
	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"



**PLAT OF
VENTANA MESA SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST**
(A REPLAT OF TRACTS 1A, 1B, & 3
VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
JANUARY, 2005



EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568

VISTA CASITAS AT VENTANA RANCH FILED: NOVEMBER 5, 1997 (97C-323)

25' PUBLIC SANITARY SEWER EASEMENT GRANTED TO NMUI AND CITY OF ALBUQUERQUE AND PUBLIC STORM DRAIN EASEMENT GRANTED TO CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

VISTA CASITAS ROAD NW (50' RW) TRACT C

VISTA CASITAS AT VENTANA RANCH FILED: NOVEMBER 5, 1997 (97C-323)

EXISTING 5' PUBLIC ACCESS EASEMENT FILED: MARCH 11, 2004 (2004C-84)

ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR VENTANA WEST PARKWAY NW TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR PASEO DEL NORTE NW TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR PASEO DEL NORTE NW TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

UNPLATTED LAND IN PROJECTED SECTION 17 T11N, R2E, N16PM

T11N, R2E N16PM

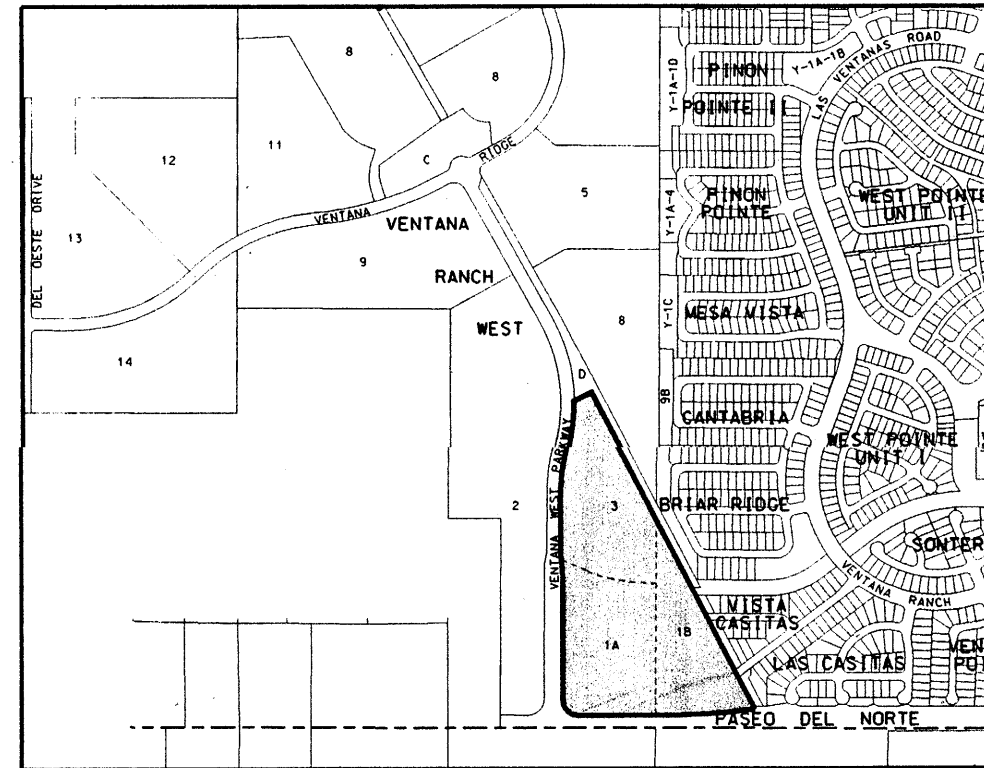
UNPLATTED LAND OF VOLCANO SIX LIMITED

Bohannon & Huston
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

PLAT OF
VENTANA MESA SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST
 (A REPLAT OF TRACTS 1A, 1B, & 3
 VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2005

CURVE DATA																
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	
C1	01°31'09"	60.70'	121.39'	4578.00'	121.39'	S84°26'27"W	C81	28°41'23"	57.03'	111.66'	223.00'	110.50'	N14°02'47"E	C161	01°05'20"	1.93'
C2	06°30'20"	251.31'	502.08'	4422.00'	501.81'	S86°56'02"W	C82	10°23'39"	47.57'	94.88'	523.00'	94.75'	N05°29'44"E	C162	11°23'17"	20.24'
C3	00°06'43"	100.20'	157.27'	100.00'	141.56'	N44°45'27"W	C83	81°29'29"	21.54'	35.56'	25.00'	32.64'	N30°03'11"W	C163	11°55'20"	21.20'
C4	12°47'30"	2.80'	5.58'	25.00'	5.57'	N06°05'50"W	C84	06°23'56"	27.95'	55.84'	500.00'	55.81'	N67°35'58"W	C164	01°00'57"	1.80'
C5	14°16'56"	132.30'	263.23'	1056.00'	262.55'	N07°26'23"E	C85	04°54'17"	19.87'	39.72'	464.00'	39.71'	N66°51'09"W	C165	13°38'43"	5.38'
C6	15°34'05"	156.38'	310.84'	1144.00'	309.89'	N06°47'49"E	C86	110°23'48"	35.97'	48.17'	25.00'	41.06'	S55°29'49"W	C166	46°51'30"	19.50'
C7	14°46'33"	64.83'	128.94'	500.00'	128.59'	S69°04'17"E	C87	01°53'32"	73.02'	146.03'	4422.00'	146.02'	S88°02'53"W	C167	34°27'44"	13.96'
C8	07°54'00"	34.53'	68.94'	500.00'	68.89'	S65°38'01"E	C88	02°12'17"	85.09'	170.15'	4422.00'	170.14'	S84°47'01"W	C168	34°57'06"	14.17'
C9	09°11'12"	40.17'	80.17'	500.00'	80.08'	S74°10'37"E	C89	04°07'23"	18.83'	37.64'	523.00'	37.63'	S08°37'52"W	C169	45°52'06"	19.04'
C10	08°06'34"	141.77'	283.07'	2000.00'	282.84'	S82°49'30"E	C90	05°19'36"	24.33'	48.62'	523.00'	48.61'	S03°54'23"W	C170	34°08'26"	7.68'
C11	59°35'59"	103.09'	187.24'	180.00'	178.91'	S57°04'48"E	C91	00°56'39"	4.31'	8.62'	523.00'	8.62'	S00°46'15"W	C171	35°53'07"	8.10'
C12	18°09'03"	31.95'	63.36'	200.00'	63.09'	S18°12'17"E	C92	11°39'02"	22.75'	45.35'	223.00'	45.27'	S05°55'55"E	C172	07°45'04"	13.75'
C13	19°32'52"	34.45'	68.23'	200.00'	67.90'	S10°07'08"W	C93	12°24'07"	24.23'	48.27'	223.00'	48.18'	S17°57'30"E	C173	11°43'18"	20.84'
C14	19°35'39"	42.13'	83.44'	244.00'	83.04'	S10°05'44"W	C94	02°24'13"	0.94'	1.89'	45.00'	1.89'	N44°01'44"E	C174	09°22'41"	16.65'
C15	00°00'00"	180.00'	282.74'	180.00'	254.56'	S44°42'05"E	C95	04°13'55"	8.24'	16.47'	223.00'	16.47'	N26°16'31"W	C175	02°48'33"	12.85'
C16	31°16'27"	55.98'	109.17'	200.00'	107.82'	N74°39'42"E	C96	62°26'55"	27.28'	49.05'	45.00'	46.66'	S11°36'11"W	C176	04°55'26"	22.53'
C17	31°23'14"	182.63'	356.08'	650.00'	351.64'	S81°33'21"W	C97	30°18'03"	12.18'	23.80'	45.00'	23.52'	S34°46'18"E	C177	01°58'24"	3.84'
C18	18°25'46"	121.67'	241.24'	750.00'	240.20'	S88°02'04"W	C98	41°50'59"	17.21'	32.87'	45.00'	32.14'	S70°50'49"E	C178	04°46'04"	21.81'
C19	10°12'44"	244.70'	354.23'	200.00'	309.71'	N50°26'27"W	C99	43°01'53"	17.74'	33.80'	45.00'	33.01'	N66°42'45"E	C179	09°56'57"	19.41'
C20	10°23'38"	45.48'	90.70'	500.00'	90.58'	N05°29'44"E	C100	35°57'10"	8.11'	15.69'	25.00'	15.43'	N63°10'24"E	C180	06°06'25"	14.95'
C21	68°48'54"	85.61'	150.13'	125.00'	141.27'	N14°48'01"W	C101	09°34'42"	18.68'	37.28'	223.00'	37.24'	N65°58'14"W	C181	07°31'03"	27.65'
C22	04°29'18"	11.76'	23.50'	300.00'	23.49'	N46°57'49"W	C102	37°40'09"	8.53'	16.44'	25.00'	16.14'	N80°00'57"W	C182	21°13'45"	29.42'
C23	04°44'19"	82.75'	165.41'	2000.00'	165.36'	S81°08'23"E	C103	10°35'27"	20.67'	41.22'	223.00'	41.16'	S76°03'18"E	C183	33°41'55"	47.55'
C24	03°22'15"	58.85'	117.66'	2000.00'	117.65'	S85°11'40"E	C104	10°18'26"	20.11'	40.12'	223.00'	40.06'	S86°30'15"E	C184	35°04'20"	49.61'
C25	11°00'59"	17.36'	34.61'	180.00'	34.56'	S81°22'17"E	C105	09°31'21"	18.57'	37.06'	223.00'	37.02'	N83°34'52"E	C185	16°23'22"	31.83'
C26	48°35'00"	81.24'	152.63'	180.00'	148.10'	S51°34'18"E	C106	00°15'36"	1.65'	3.30'	727.00'	3.30'	N78°56'59"E	C186	03°12'17"	6.18'
C27	56°23'38"	107.23'	196.85'	200.00'	189.00'	N72°58'59"W	C107	03°11'52"	20.29'	40.58'	727.00'	40.57'	N80°40'44"E	C187	06°51'41"	13.37'
C28	45°05'05"	83.02'	157.38'	200.00'	153.35'	N22°14'38"W	C108	03°34'06"	22.64'	45.28'	727.00'	45.27'	N84°03'42"E	C188	09°38'27"	18.81'
C29	46°43'04"	77.74'	146.77'	180.00'	142.74'	N66°20'33"W	C109	03°09'25"	20.03'	40.06'	727.00'	40.05'	N87°25'27"E	C189	03°02'44"	5.93'
C30	43°16'56"	71.42'	135.97'	180.00'	132.76'	N21°20'33"W	C110	03°09'10"	20.01'	40.01'	727.00'	40.00'	S89°25'15"E	C190	04°43'36"	6.48'
C31	81°51'41"	21.68'	35.72'	25.00'	32.76'	S68°12'39"E	C111	03°09'31"	20.04'	40.08'	727.00'	40.07'	S86°15'55"E	C191	15°06'21"	5.97'
C32	97°59'07"	28.75'	42.75'	25.00'	37.73'	S21°42'45"W	C112	00°05'28"	3.51'	7.02'	4422.00'	7.02'	N89°51'29"W	C192	38°17'40"	54.51'
C33	26°32'39"	147.89'	290.48'	627.00'	287.89'	S83°58'38"W	C113	01°56'07"	12.28'	24.55'	727.00'	24.55'	S83°43'06"E	C193	38°29'14"	15.71'
C34	18°25'46"	125.40'	248.64'	773.00'	247.57'	S88°02'04"W	C114	01°45'43"	10.35'	20.70'	673.00'	20.70'	S83°37'54"E	C194	45°20'11"	18.79'
C35	10°12'44"	216.56'	313.49'	177.00'	274.09'	N50°26'27"W	C115	00°34'59"	22.50'	45.00'	4422.00'	45.00'	S89°48'15"W	C195	19°57'24"	7.92'
C36	10°23'38"	43.38'	86.53'	477.00'	86.41'	N05°29'44"E	C116	03°24'44"	20.05'	40.08'	673.00'	40.07'	S86°13'08"E	C196	09°32'04"	27.19'
C37	91°33'50"	25.69'	39.95'	25.00'	35.83'	N56°28'28"E	C117	00°31'06"	20.00'	40.01'	4422.00'	40.01'	S89°15'12"W	C197	11°31'23"	18.06'
C38	03°31'52"	62.36'	124.68'	2023.00'	124.66'	S80°32'09"E	C118	03°24'21"	20.01'	40.01'	673.00'	40.00'	S89°37'40"E	C198	09°38'27"	18.81'
C39	82°38'48"	21.98'	36.06'	25.00'	33.02'	S40°58'42"E	C119	04°09'37"	24.44'	48.87'	673.00'	48.86'	N86°35'21"E	C199	09°38'27"	27.49'
C40	19°32'52"	30.49'	60.39'	177.00'	60.09'	S10°07'08"W	C120	03°18'03"	19.39'	38.77'	673.00'	38.76'	N82°51'31"E	C200	08°30'36"	16.59'
C41	19°35'39"	46.10'	91.31'	267.00'	90.86'	S10°05'44"W	C121	03°19'54"	19.57'	39.13'	673.00'	39.13'	N79°32'33"E	C201	08°30'36"	24.25'
C42	25°24'54"	45.78'	90.05'	203.00'	89.31'	S12°24'32"E	C122	00°36'12"	23.28'	46.56'	4422.00'	46.56'	S86°48'02"W	C202	22°35'50"	29.57'
C43	70°01'33"	17.51'	30.55'	25.00'	28.69'	S09°53'47"W	C123	03°19'54"	19.57'	39.13'	673.00'	39.13'	N76°12'39"E	C203	17°13'33"	18.47'
C44	175°47'09"	1223.07'	138.06'	45.00'	89.94'	S42°59'01"E	C124	00°36'47"	23.66'	47.31'	4422.00'	47.31'	S86°11'32"W	C204	15°11'52"	19.74'
C45	70°01'33"	17.51'	30.55'	25.00'	28.69'	N84°08'11"E	C125	03°24'27"	20.02'	40.02'	673.00'	40.02'	N72°50'29"E	C205	15°03'45"	19.57'
C46	28°51'24"	52.22'	102.22'	203.00'	101.14'	S75°16'34"E	C126	01°42'06"	9.99'	19.99'	673.00'	19.99'	N70°17'12"E	C206	00°47'07"	1.90'
C47	19°26'24"	38.20'	75.66'	223.00'	75.30'	N80°34'43"E	C127	29°40'26"	47.42'	92.71'	179.00'	91.67'	S12°26'35"E	C207	00°38'08"	10.97'
C48	94°39'10"	27.12'	41.30'	25.00'	36.76'	N47°40'17"E	C128	03°02'39"	16.66'	33.31'	627.00'	33.31'	S72°13'38"W	C208	01°12'48"	20.93'
C49	01°52'39"	33.15'	66.29'	2023.00'	66.28'	S85°56'28"E	C129	04°47'06"	26.20'	52.36'	627.00'	52.35'	S76°08'31"W	C209	01°12'48"	20.93'
C50	43°01'17"	61.88'	117.89'	157.00'	115.14'	S65°22'09"E	C130	04°15'11"	23.28'	46.54'	627.00'	46.53'	S70°39'39"W	C210	01°12'48"	20.93'
C51	73°24'46"	18.64'	32.03'	25.00'	29.89'	S07°09'07"E	C131	04°15'11"	19.46'	38.90'	524.00'	38.89'	N80°39'39"E	C211	01°12'48"	19.84'
C52	118°53'11"	76.22'	93.37'	45.00'	77.50'	S29°53'20"E	C132	04°15'11"	23.28'	46.54'	627.00'	46.53'	S84°54'50"E	C212	01°12'48"	20.93'
C53	62°03'07"	15.04'	27.08'	25.00'	25.77'	S58°18'22"E	C133	04°15'11"	19.46'	38.90'	524.00'	38.89'	N84°54'50"E	C213	01°12'48"	19.84'
C54	103°21'18"	31.63'	45.10'	25.00'	39.23'	S24°23'51"W	C134	04°47'06"	26.20'	52.36'	627.00'	52.35'	S89°25'58"W	C214	00°55'42"	16.02'
C55	14°13'25"	22.08'	43.94'	177.00'	43.83'	S83°11'12"W	C135	04°47'06"	21.89'	43.76'	524.00'	43.75'	N89°25'58"E	C215	01°17'56"	5.67'
C56	90°00'00"	157.00'	246.62'	157.00'	222.03'	N44°42'05"W	C136	05°19'01"	29.11'	58.18'	627.00'	58.16'	N85°30'59"W	C216	09°35'17"	41.93'
C57	19°35'39"	38.16'	75.58'	221.00'	75.21'	N10°05'44"E	C137	05°19'01"	24.33'	48.63'	524.00'	48.61'	S85°30'59"E	C217	00°24'19"	0.79'
C58	19°32'52"	38.41'	76.08'	223.00'	75.71'	N10°07'08"E	C138	00°06'26"	0.59'	1.17'	627.00'	1.17'	N82°48'15"W	C218	27°41'07"	80.33'
C59	75°45'35"	19.45'	33.06'	25.00'	30.70'	S37°34'53"E	C139	02°49'32"	19.06'	38.12'	773.00'	38.12'	N84°09'48"W	C219	03°42'11"	8.95'
C60	13°49'40"	64.99'	129.36'	536.00'	129.04'	S68°32'51"E	C140	02°54'31"	19.63'	39.24'	773.00'	39.24'	N87°01'50"W	C220	02°25'36"	39.69'
C61	107°40'26"	34.20'	46.98'	25.00'	40.37'	N64°31'46"E	C141	02°54'31"	19.63'	39.24'	773.00'	39.24'	N89°56'21"W	C221	49°58'33"	58.26'
C62	80°16'06"	21.08'	35.02'	25.00'	32.23'	S29°26'30"E	C142	02°54'31"	19.63'	39.24'	773.00'	39.24'	S87°09'07"W	C222	13°00'55"	23.16'
C63	10°53'12"	47.65'	95.00'	500.00'	94.86'	S75°01'10"E	C143	02°54'31"	19.63'	39.24'	773.00'	39.24'	S84°14'36"W	C223	06°14'40"	12.16'
C64	06°25'01"	110.83'	221.42'	1977.00'	221.30'	S83°40'16"E	C144	02°54'31"	19.63'	39.24'	773.00'	39.24'	S81°20'04"W			
C65	73°30'47"	18.67'	32.08'	25.00'	29.92'	N56°21'49"E										

SP-2005040824



LOCATION MAP
ZONE ATLAS INDEX MAP Nos. B-8 & B-9
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index Nos. B-8-Z and B-9-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 31.8341 Acres
4. Total Number of Tracts Created: One hundred twenty-eight (128) Lots & Six (6) Tracts.
5. Total Mileage of Full Width Streets created: 0.7665 mile.
6. Total Mileage of Partial Width Streets created: 0.3367 mile.
7. Date of Survey: November, 2004.
8. Plat is located within the Town of Alameda Grant, within projected Sections 8 & 9, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tracts 1A, 1B, & 3, BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat hereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 into one hundred twenty-eight (128) lots and six (6) tracts, to dedicate additional public street right-of-way to the City of Albuquerque, to grant easements and to dedicate right-of-way to AMAFCA.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land being located within the Town of Alameda Grant, within projected Sections 8 and 9, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being the same as Tracts 1A, 1B, and 3 of the Bulk Land Plat for Ventana Ranch West filed in Book 2004C, Page 84, March 11, 2004 in the office of the Bernalillo County Clerk, and being more particularly described as follows:

BEGINNING at a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for the southeast corner of said Tract 1B, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "UNION", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=353,409.02' and Y=1,523,440.96' bears S32°21'25"E a distance of 1,168.16 feet.

THENCE along the South line of said Tract 1B along the arc of a curve to the left having an arc length of 121.39 feet, a radius of 4,578.00 feet, a central angle of 01°31'09", and a chord of S84°26'27"W a distance of 121.39 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of reverse curvature of said Lot 1B;

THENCE continuing along the South line of said Tract 1B along the arc of a curve to the right having an arc length of 502.08 feet, a radius of 4,422.00 feet, a central angle of 06°30'20", and a chord of S86°56'02"W a distance of 501.81 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for the southwest corner of said Tract 1B, identical to the southeast corner of said Tract 1A;

THENCE along the South line of said Tract 1A N89°48'48"W a distance of 480.39 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of curvature of said Tract 1A;

THENCE continuing along the South line and along the West line of said Tract 1A along the arc of a curve to the right having an arc length of 157.27 feet, a radius of 100.00 feet, a central angle of 90°06'43", and a chord of N44°42'27"W a distance of 141.56 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" a point of tangency of said Tract 1A;

THENCE continuing along the West line of said Tract 1A N00°17'55"E a distance of 761.81 feet for an angle point of said Tract 1A;

THENCE continuing along the West line of said Tract 1A N06°05'50"W a distance of 129.08 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for the northwest corner of said Tract 1A, identical to the southwest corner of said Tract 3, a point of curvature;

THENCE along the West line of said Tract 3 along the arc of a curve to the right having an arc length of 5.55 feet, a radius of 25.00 feet, a central angle of 12°4'30", and a chord of N06°05'50"W a distance of 5.57 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for an angle point of said Tract 3;

THENCE continuing along the West line of said Tract 3 N00°17'55"E a distance of 411.99 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for a point of curvature of said Tract 3;

THENCE continuing along the West line of said Tract 3 along the arc of a curve to the right having an arc length of 263.23 feet, a radius of 1,056.00 feet, a central angle of 14°16'56", and a chord of N07°26'23"E a distance of 262.55 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for a point of reverse curvature of said Tract 3;

THENCE continuing along the West line of said Tract 3 along the arc of a curve to the left having an arc length of 310.84 feet, a radius of 1,144.00 feet, a central angle of 15°34'05", and a chord of N06°47'49"E a distance of 309.89 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for the northwest corner of said Tract 3;

THENCE along the North line of said Tract 3 N62°43'12"E a distance of 123.94 feet to a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544" for the northeast corner of said Tract 3;

THENCE along the East lines of said Tract 3 and Tract 1B S27°16'48"E a distance of 2,245.80 feet to the POINT OF BEGINNING.

Tract contains 31.8341 acres of land, more or less.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: January 31, 2005



FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Sections 8 & 9, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts 1A, 1B, & 3 of the BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, now comprising Lots 1 through 128 inclusive and Tracts A thru F inclusive, VENTANA MESA SUBDIVISION AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby dedicate drainage right-of-way to AMAFCA in Fee Simple with Warranty Covenants and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

D.R. HORTON, INC

BY: Mark Ferguson, President
D.R. Horton, Inc.
OFFICIAL SEAL: STEPHANIE L. STRATTON, Notary Public - State of New Mexico
My Commission Expires: 02-24-07
This instrument was acknowledged before me on 1 day of February, 2005, by Mark Ferguson, President of D.R. Horton, Inc., a Delaware Corporation
My Commission Expires: 02-24-07 Stephanie L. Stratton, Notary Public

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Bulk Land Plat for Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline in lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. Tracts A thru E are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat.
7. Tracts B & C are subject to a blanket Sanitary Sewer Easement granted to New Mexico Utilities, Inc. and a blanket storm drain easement granted to the City of Albuquerque with the filing of this plat.
8. Park Dedication Requirements shall be met with Tract C of the Bulk Land Plat of Ventana Ranch West a future park site, and in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC dated: March 10, 2004, Document No. 2004031336. Conveyance shall be by separate deed.
9. Tracts 1A, and 1B are subject to an existing thirty foot wide floating Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. and the City of Albuquerque and an existing fifty foot wide floating Public Storm Drain Easement granted to the City of Albuquerque by plat filed: March 11, 2004 in Book 2004C, Page 84. These easements shall be continued and defined to within future public right of way dedicated by future platting. These easements are now defined and continued to within public right of way dedicated with this plat.
10. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the plan.
11. A ten (10) foot wide floating public utility easement is granted across Tract C, Ventana Mesa with the filing of this plat.
12. TEMPORARY Blanket drainage easement to COA over southern portion of Tract 1B, Ventana Ranch West Bulk Plat, as granted by Plat of Ventana Ranch (Note 8) filed Nov 30, 1995 Document No. 95122531 and further referenced by Plat of Tracts 3B & 3C Ventana Ranch (Note 7) filed August 21, 1997 as Document Number 97085835, is hereby further defined as PERMANENT Easement to City of Albuquerque across all of Tract B of this plat only via note 7 of this plat, for 84 inch Storm Drain and appurtenances, via this Subdivision Plat action.
13. TEMPORARY 100 foot drainage easement for proposed channel to AMAFCA, trail, and public utility easement over Tract 1B, Ventana Ranch West Bulk Plat, as granted by Plat of Ventana Ranch over Tract 3 (Note 10) filed November 30, 1995, Document No. 95122531 and further referenced by Plat of Tracts 3B & 3C Ventana Ranch (Note 6) filed August 21, 1997 as Document No. 97085835, is vacated by vacation action OS DRB-000363, easement quit claimed by AMAFCA via Document Number 2005013423 filed: January 28, 2005 in Book 491, Page 3375.



PLAT OF VENTANA MESA SUBDIVISION UNIT 1 AT VENTANA RANCH WEST (A REPLAT OF TRACTS 1A, 1B, & 3 VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO JANUARY, 2005

PROJECT NUMBER: DRB# 1003594
APPLICATION NUMBER: 05DRB-00166

PLAT APPROVAL

Table with columns for Utility Approvals (City Surveyor, Engineering, etc.), City Approvals, and Tax Certification, including signatures and dates.

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #
Property Codes see Treasurers Certificate
PROPERTY OWNER OF RECORD see Treasurers Certificate
Conchita Lucero 3/3/05
BERNALILLO COUNTY TREASURER'S OFFICE

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston logo and address: Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335. ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

ACS BRASS TABLET STAMPED "1-AB 1980"
 GEOGRAPHIC POSITION (NAD 1927)
 NW STATE PLANE COORDINATES (CENTRAL ZONE)
 X=350,152.25 Y=1,531,818.60
 GROUND TO GRID FACTOR = 0.9996593
 DELTA ALPHA = -00°17'21"
 NGVD 1929 ELEVATION = 5570.04

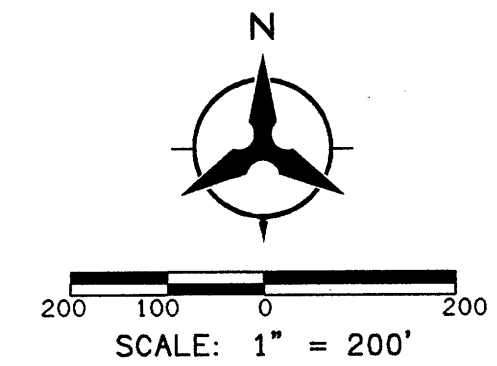
NOTE: TABLES ARE FOR THIS SHEET ONLY

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	01°31'09"	60.70'	121.39'	4578.00'	121.39'	S84°26'27"W
C2	06°30'20"	251.31'	502.08'	4422.00'	501.81'	S86°56'02"W
C3	90°06'43"	100.20'	157.27'	100.00'	141.56'	N44°45'27"W
C4	12°47'30"	2.80'	5.58'	25.00'	5.57'	N06°05'50"W
C5	14°16'56"	132.30'	263.23'	1056.00'	262.55'	N07°26'23"E
C6	15°34'05"	156.38'	310.84'	1144.00'	309.89'	N06°47'49"E
C7	03°42'11"	8.95'	17.90'	277.00'	17.90'	N46°34'16"W
C8	02°25'36"	39.69'	79.37'	1874.00'	79.36'	N82°36'16"W

ID	BEARING	DISTANCE
T1	N06°05'50"W	129.08'
T2	N62°43'12"E	123.94'
T3	S67°40'48"W	121.61'
T4	S45°16'50"W	46.00'
T5	S66°21'12"W	89.37'
T6	N02°54'48"W	12.95'
T7	S80°11'14"W	38.83'
T8	N79°11'23"W	104.23'
T9	N79°18'27"W	46.00'
T10	S10°41'33"W	44.91'
T11	N63°29'30"W	195.67'
T12	N89°42'05"W	5.00'



PLAT OF
VENTANA MESA SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST
 (A REPLAT OF TRACTS 1A, 1B, & 3
 VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2005



EXISTING 50' SOUTHERN UNION
 GAS COMPANY EASEMENT
 RECORDED: SEPTEMBER 16, 1930
 (BK. 112, PG. 515)
 AND RIGHT-OF-WAY GRANTED TO
 ALBUQUERQUE NATURAL GAS COMPANY
 RECORDED DECEMBER 11, 1931
 (BK. 123, PG. 152)
 AND RIGHT-OF-WAY GRANT AND
 RELEASE OF CLAIMS
 RECORDED: MARCH 29, 1956
 (VOLUME D346, FOLIO 356-360)
 DOCUMENT NO. 90568
 EASEMENT TO REMAIN

EXISTING 5' PUBLIC
 ACCESS EASEMENT
 FILED: MARCH 11, 2004
 (2004C-84)

TRACT 2
**VENTANA RANCH
 WEST**
 FILED: MARCH 11, 2004
 (2004C-84)

TRACT 4
**VENTANA RANCH
 WEST**
 FILED: MARCH 11, 2004
 (2004C-84)

CANTABRIA
 FILED: JULY 12, 1999
 (99C-182)

BRIAR RIDGE
 FILED: MAY 21, 1998
 36 (98C-145)

BRIAR RIDGE
 AVENUE NW

PLAT OF LOTS 12A & 13A
 BRIAR RIDGE
 FILED: DECEMBER 10, 1998
 (98C-344)

CENTERLINE EXISTING 100'
 TEMPORARY DRAINAGE, PUBLIC
 UTILITY AND TRAIL EASEMENT
 FILED: NOVEMBER 30, 1995
 (95C-430)
 (SEE NOTE 13, SHEET 1)

EXISTING 55' PUBLIC PEDESTRIAN
 ACCESS EASEMENT
 FILED: NOVEMBER 5, 1997 (97C-323)

VISTA CASITAS
 AT VENTANA RANCH
 FILED: NOVEMBER 5, 1997
 (97C-323)

17 LAS CASITAS
 AT VENTANA RANCH
 FILED: SEPTEMBER 30, 1996
 18 (96C-407)

UNPLATTED LAND
 IN PROJECTED SECTION 17
 T11N, R2E, NMPM

17 16
 T11N, R2E
 NMPM

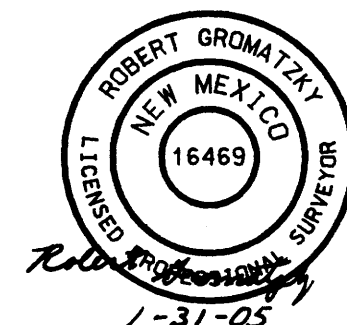
UNPLATTED LAND OF
 VOLCANO SIX LIMITED

HATCHED AREA DESIGNATES
 EXISTING TEMPORARY BLANKET
 DRAINAGE EASEMENT
 FILED: NOVEMBER 30, 1995
 (95C-430)
 (SEE NOTE 12, SHEET 1)

NGS BRASS TABLET STAMPED "UNION 1969"
 GEOGRAPHIC POSITION (NAD 1927)
 NW STATE PLANE COORDINATES (CENTRAL ZONE)
 X=353,409.02 Y=1,523,440.96
 GROUND TO GRID FACTOR = 0.99966044
 DELTA ALPHA = -00°16'58"
 NGVD 1929 ELEVATION = 5522.0 (TRIG)

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- - - SECTION LINE
- RIGHT OF WAY
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS16469"



Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SHEET 2 OF 5

EXISTING 5' PUBLIC ACCESS EASEMENT
FILED: MARCH 11, 2004
(2004C-84)

TRACT E
0.1493 Acres
(SEE NOTE 6, SHEET 1)

TRACT F
10.2880 Acres

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT
RECORDED SEPTEMBER 16, 1930
(BK. 112, PG. 515)
AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY
RECORDED DECEMBER 11, 1931
(BK. 123, PG. 152)
AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS
RECORDED: MARCH 29, 1956
(VOLUME D346, FOLIO 356-360)
DOCUMENT NO. 90568



PLAT OF VENTANA MESA SUBDIVISION UNIT 1 AT VENTANA RANCH WEST

(A REPLAT OF TRACTS 1A, 1B, & 3 VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
JANUARY, 2005

BRIAR RIDGE
FILED: MAY 21, 1998
(98C-145)

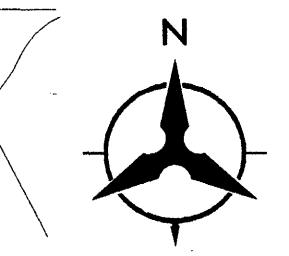
EXISTING 100' TEMPORARY DRAINAGE, PUBLIC UTILITY AND TRAIL EASEMENT
FILED: NOVEMBER 30, 1995, (95C-430)
SEE NOTE 13, SHEET 1, LOCATED BY 13A vacation action

BRIAR RIDGE
FILED: DECEMBER 10, 1998
(98C-344)

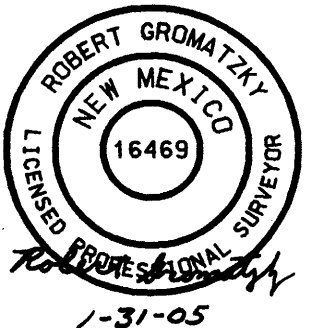
0.0492 ACRE RIGHT-OF-WAY DEDICATED TO AMAFCA IN FEE SIMPLE WITH WARRANTY COVENANTS WITH THE FILING OF THIS PLAT

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- SECTION LINE
- RIGHT OF WAY
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- CENTERLINE MONUMENT TO BE INSTALLED
- FOUND 5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- SET 5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"



SCALE: 1" = 60'

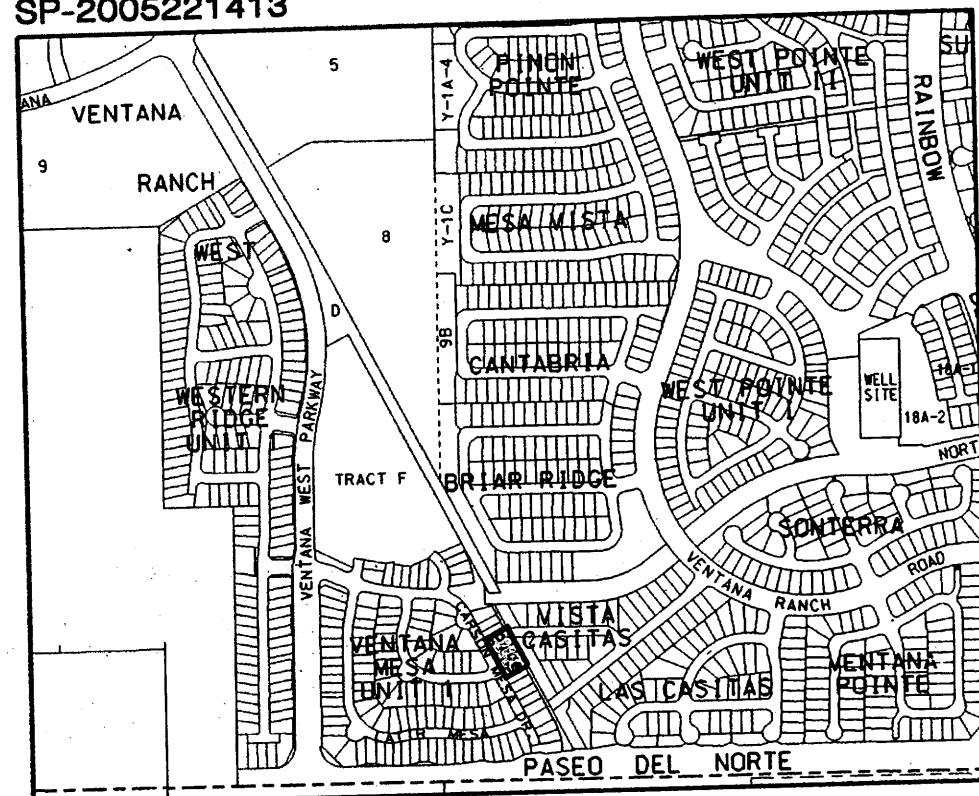


ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR VENTANA WEST PARKWAY NW TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

VENTANA WEST PARKWAY NW (RW VARIES)



SP-2005221413



LOCATION MAP
ZONE ATLAS INDEX MAP No. B-9
NOT TO SCALE

SUBDIVISION DATA

1. DRB No.
2. Zone Atlas Index Nos. B-9-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 0.5553 Acres.
4. Total Number of Lots/Tracts Created: Five (5) Lots & One (1) Tract.
5. No streets were created.
6. Date of Survey: November, 2004.
7. Plat is located within the Town of Alameda Grant, within projected Section 9, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Lots 109-113, of the Plat of Ventana Mesa Subdivision Unit 1 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 3, 2005 in Book 2005C, Page 86 as Document No. 2005030653 into five (5) lots and one (1) tract.

NOTES

1. Bearings and distances are the same as shown on the Plat of Ventana Mesa Subdivision, Unit 1 Albuquerque, New Mexico, recorded on March 3, 2005 in Book 2005C, Page 86 as Document No. 2005030653 (New Mexico State Plane Grid Bearings - Central Zone-NAD 1927).
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "4" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the plan.
6. Tract N is to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tract is subject to a pedestrian access and community landscaping easement granted with the filing of this plat.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, within projected Section 9, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lots 109 thru 113 of the Plat of Ventana Mesa Subdivision Unit 1 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 3, 2005 in Book 2005C, Page 86 as Document No. 2005030653.

Tract contains 24,190 square feet or 0.5553 acre, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 9, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lots 109 thru 113 of the Plat of Ventana Mesa Subdivision Unit 1 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 3, 2005 in Book 2005C, Page 86 as Document No. 2005030653, now comprising Lots 109-A thru 113-A inclusive and Tract N, VENTANA MESA SUBDIVISION UNIT 1 AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

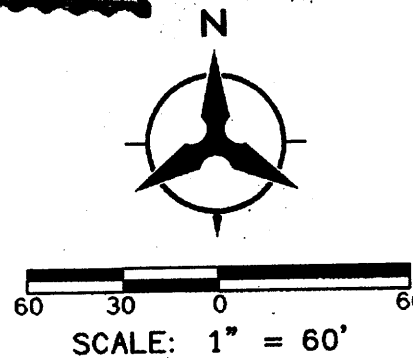
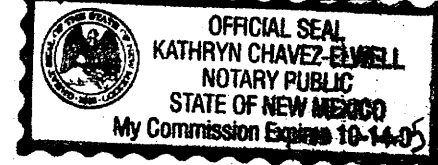
D.R. HORTON, INC

BY: *J. Mark Ferguson*
J. Mark Ferguson, Division President
D.R. Horton, Inc.

State of New Mexico)
County of Bernalillo)

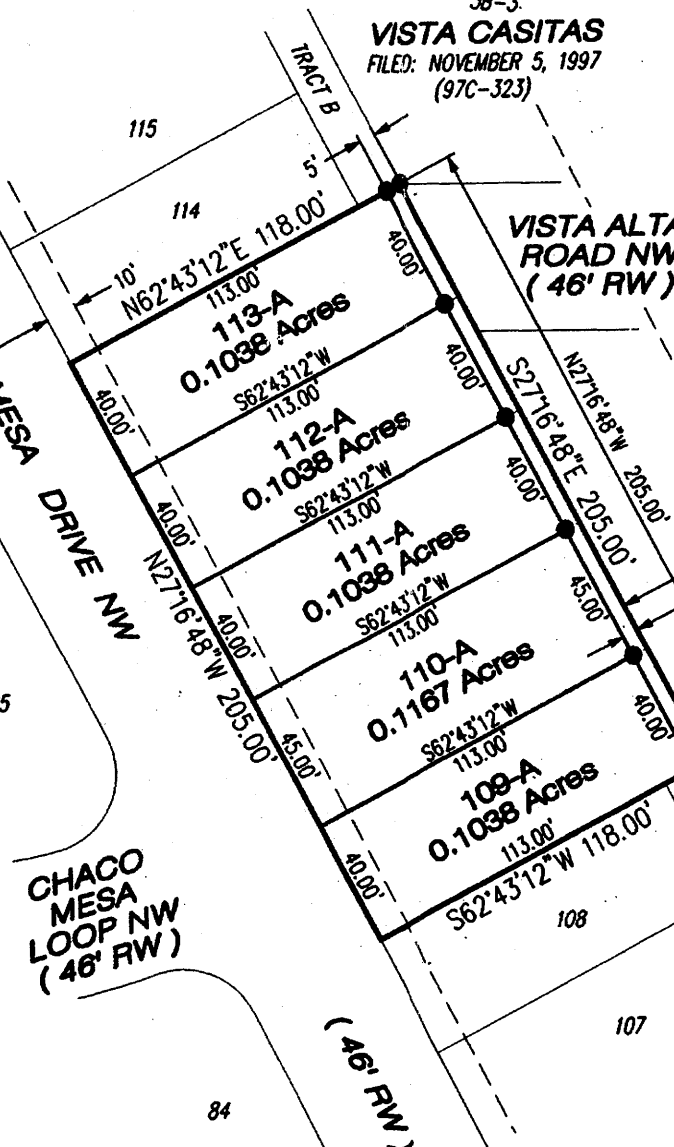
This instrument was acknowledged before me on 26th day of May, 2005, by J. Mark Ferguson, Division President of D.R. Horton, Inc., a Delaware Corporation

My Commission Expires: 10-14-05 *Kathryn Chavez-Ellwell*
Notary Public



VENTANA MESA SUBDIVISION UNIT 1

FILED: MARCH 3, 2005
(2005C-86)



VENTANA MESA SUBDIVISION UNIT 1

FILED: MARCH 3, 2005
(2005C-86)

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED: SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED: MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568

NGS BRASS TABLET STAMPED "UNION 1969" GEOGRAPHIC POSITION (NAD 1927) NM STATE PLANE COORDINATES (CENTRAL ZONE) X=353,409.02 Y=1,523,440.96 GROUND TO GRID FACTOR = 0.99966044 DELTA ALPHA = -00'16"58" NGVD 1929 ELEVATION = 5522.0 (TRIG)



PLAT OF LOTS 109-A THRU 113-A AND TRACT N VENTANA MESA SUBDIVISION UNIT 1 AT VENTANA RANCH WEST

(A REPLAT OF LOTS 109 THRU 113 VENTANA MESA UNIT 1 AT VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
MAY, 2005

PROJECT NUMBER 1003594
APPLICATION NUMBER 05-00906

PLAT APPROVAL

CITY APPROVALS	DATE
<i>[Signature]</i>	5/26/05
CITY SURVEYOR	DATE
<i>[Signature]</i>	6-8-05
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	6-8-05
UTILITIES DEVELOPMENT	DATE
<i>[Signature]</i>	6/8/05
PARKS & RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	6/8/05
A.A.F.C.A.	DATE
<i>[Signature]</i>	6/8/05
CITY ENGINEER	DATE
<i>[Signature]</i>	6/8/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
<i>[Signature]</i>	6/8/05
VENTANA RANCH WEST COMMUNITY ASSOCIATION	DATE
<i>[Signature]</i>	6/8/05

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #
1-009-065-008-108-3031
1-009-065-051-104-30308

PROPERTY OWNER OF RECORD: *[Signature]* Matthew Fuller
[Signature] Agne Ventana
[Signature] Julia Candide
BERNALILLO COUNTY TREASURER'S OFFICE DATE: 6-8-05

SURVEYOR'S CERTIFICATION

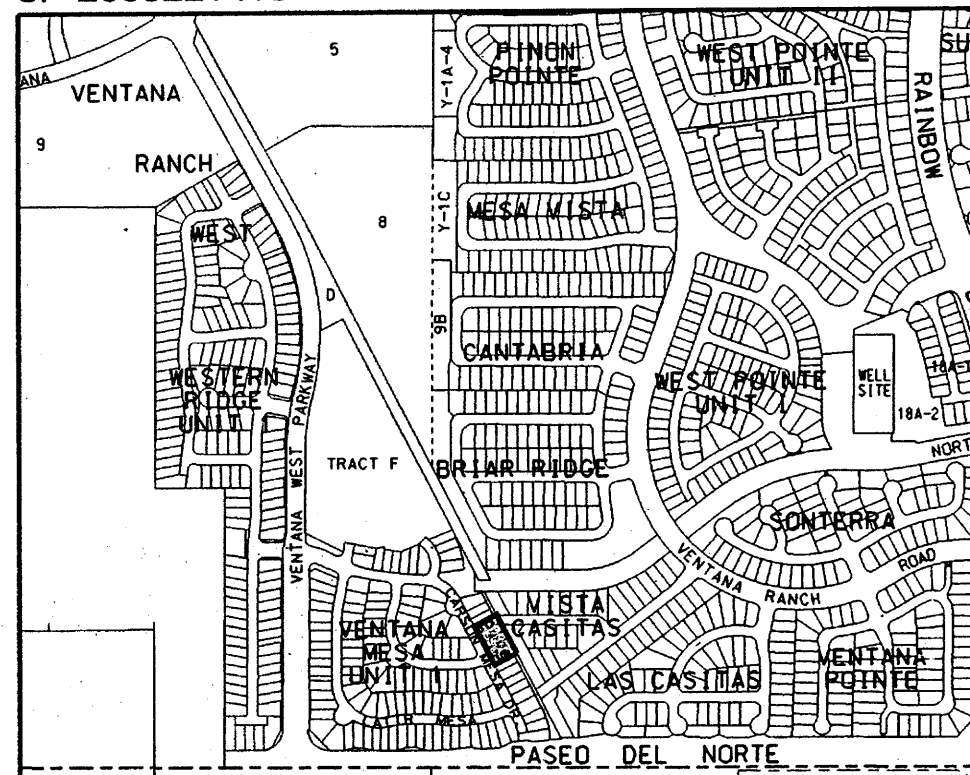
I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

[Signature]
Robert Gromatzky
New Mexico Professional Surveyor 16469
Date: May 25, 2005



Bohannon & Huston
Engineering & Spatial Data & Advanced Technologies
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

SP-2005221413



LOCATION MAP
ZONE ATLAS INDEX MAP No. B-9
NOT TO SCALE

SUBDIVISION DATA

1. DRB No.
2. Zone Atlas Index Nos. B-9-Z; Zoning: RL1.
3. Gross Subdivision Acreage: 0.5553 Acre.
4. Total Number of Lots/Tracts Created: Five (5) Lots & One (1) Tract.
5. No streets were created.
6. Date of Survey: November, 2004.
7. Plat is located within the Town of Alameda Grant, within projected Section 9, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Lots 109-113, of the Plat of Ventana Mesa Subdivision Unit 1 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 3, 2005 in Book 2005C, Page 86 as Document No. 2005030653 into five (5) lots and one (1) tract.

NOTES

1. Bearings and distances are the same as shown on the Plat of Ventana Mesa Subdivision, Unit 1 Albuquerque, New Mexico, recorded on March 3, 2005 in Book 2005C, Page 86 as Document No. 2005030653 (New Mexico State Plane Grid Bearings - Central Zone - NAD 1927).
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "x" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan.
6. Tract N is to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tract is subject to a pedestrian access and community landscaping easement granted with the filing of this plat.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, within projected Section 9, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lots 109 thru 113 of the Plat of Ventana Mesa Subdivision Unit 1 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 3, 2005 in Book 2005C, Page 86 as Document No. 2005030653.

Tract contains 24,190 square feet or 0.5553 acre, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 9, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lots 109 thru 113 of the Plat of Ventana Mesa Subdivision Unit 1 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 3, 2005 in Book 2005C, Page 86 as Document No. 2005030653, now comprising Lots 109-A thru 113-A inclusive and Tract N, VENTANA MESA SUBDIVISION UNIT 1 AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

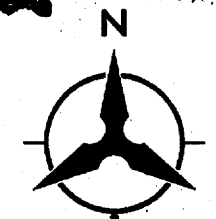
D.R. HORTON, INC

BY: *J. Mark Ferguson*
J. Mark Ferguson, Division President
D.R. Horton, Inc.

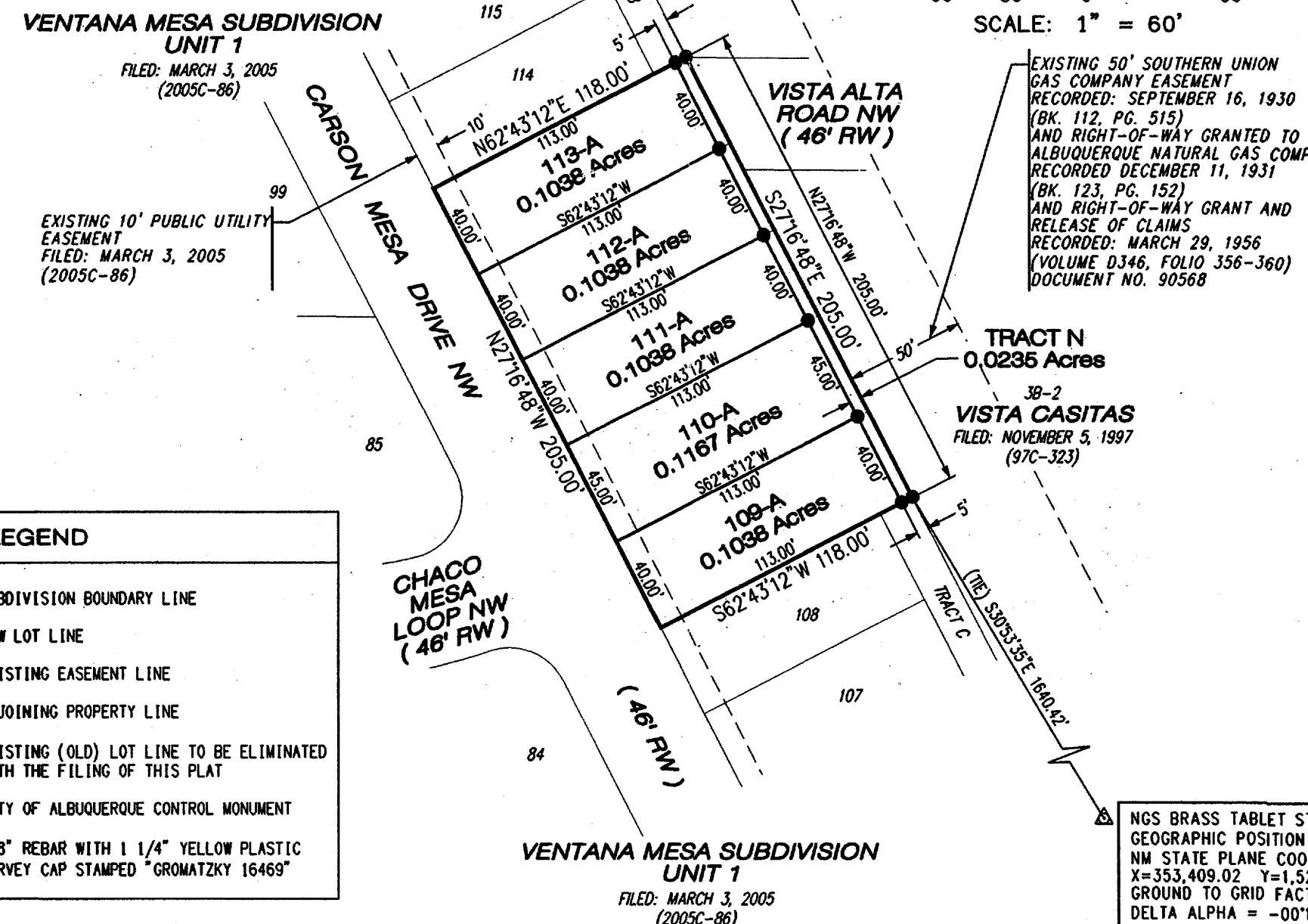
State of New Mexico) SS
County of Bernalillo)

This Instrument was acknowledged before me on 16th day of May, 2005, by J. Mark Ferguson, Division President of D.R. Horton, Inc., a Delaware Corporation

My Commission Expires: 10-14-05 *Kathryn Chavez-Elwell*
Notary Public
OFFICIAL SEAL
KATHRYN CHAVEZ-ELWELL
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires 10-14-05



SCALE: 1" = 60'



LEGEND

	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"



PLAT OF
LOTS 109-A THRU 113-A
AND TRACT N
VENTANA MESA SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST
(A REPLAT OF LOTS 109 THRU 113
VENTANA MESA UNIT 1
AT VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
MAY, 2005

PROJECT NUMBER 1003594
APPLICATION NUMBER 05-00906

PLAT APPROVAL

CITY APPROVALS	<i>J. B. F.</i>	5/26/05
CITY SURVEYOR	<i>Will S.</i>	6-0-05
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	<i>Jose A. R.</i>	6-8-05
UTILITIES DEVELOPMENT	<i>Christina S.</i>	6/8/05
PARKS & RECREATION DEPARTMENT	<i>Bradley B. B.</i>	6/8/05
A.M.A.F.C.A.	<i>Bradley B. B.</i>	6/8/05
CITY ENGINEER	<i>W. A.</i>	6/8/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	<i>W. B.</i>	6/8/05
VENTANA RANCH WEST COMMUNITY ASSOCIATION		

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #
1-009-065-008-108-30301
1-009-065-051-104-30308
PROPERTY OWNER OF RECORD *Julia Matthews*
Age Ventana West
John Andrade 6-8-05
BERNALILLO COUNTY TREASURER'S OFFICE DATE

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
Robert Gromatzky
New Mexico Professional Surveyor 16469
Date: May 25, 2005

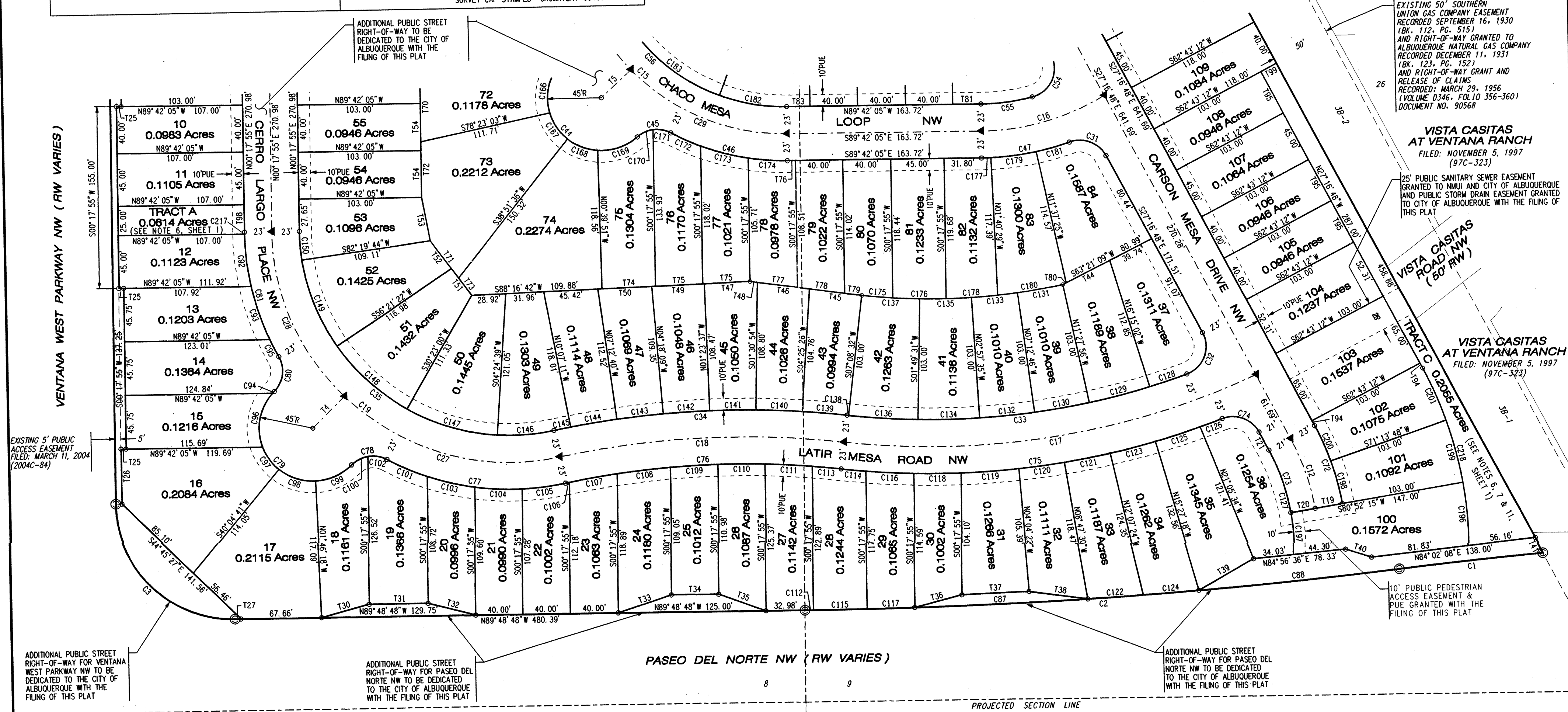
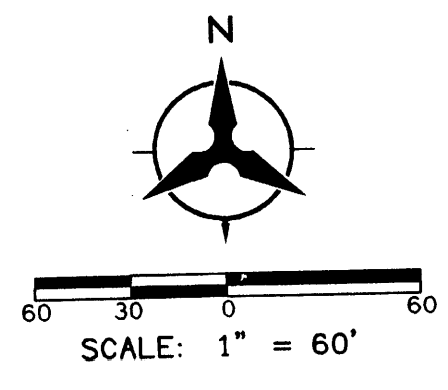


Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

PLAT OF
**VENTANA MESA SUBDIVISION
 UNIT 1**
AT VENTANA RANCH WEST
 (A REPLAT OF TRACTS 1A, 1B, & 3
 VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2005

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	SECTION LINE
	RIGHT OF WAY
	10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"



EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED: MARCH 29, 1956 (VOLUME 0346, FOLIO 356-360) DOCUMENT NO. 90568

VISTA CASITAS AT VENTANA RANCH
 FILED: NOVEMBER 5, 1997 (97C-323)

25' PUBLIC SANITARY SEWER EASEMENT GRANTED TO NMUI AND CITY OF ALBUQUERQUE AND PUBLIC STORM DRAIN EASEMENT GRANTED TO CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

VISTA CASITAS ROAD NW (50' RW)

VISTA CASITAS AT VENTANA RANCH
 FILED: NOVEMBER 5, 1997 (97C-323)

EXISTING 5' PUBLIC ACCESS EASEMENT FILED: MARCH 11, 2004 (2004C-84)

ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR VENTANA WEST PARKWAY NW TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR PASEO DEL NORTE NW TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

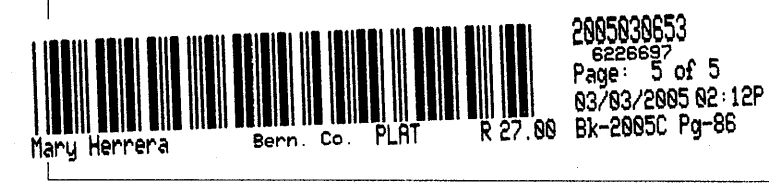
ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR PASEO DEL NORTE NW TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

UNPLATTED LAND IN PROJECTED SECTION 17 T11N, R2E, N16PM

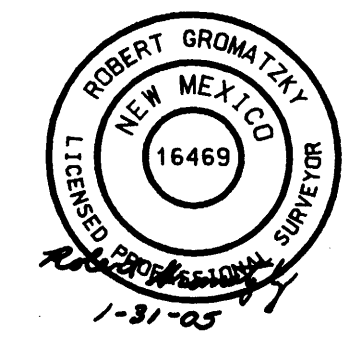
T11N, R2E N16PM

UNPLATTED LAND OF VOLCANO SIX LIMITED

Bohannon & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



PLAT OF VENTANA MESA SUBDIVISION UNIT 1 AT VENTANA RANCH WEST (A REPLAT OF TRACTS 1A, 1B, & 3 VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO JANUARY, 2005

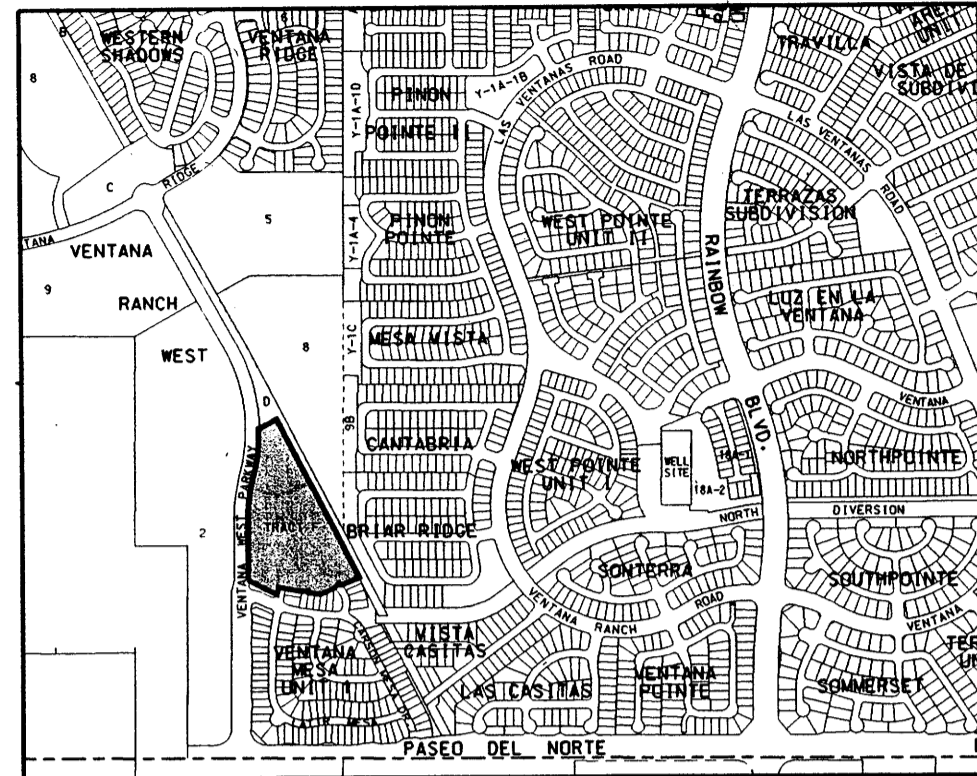


Bohannon & Huston ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

Table with columns: ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG, ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG. Contains 160 rows of curve data.

Table with columns: ID, BEARING, DISTANCE, ID, BEARING, DISTANCE. Contains 160 rows of tangent data.

SP-2005181460



LOCATION MAP
ZONE ATLAS INDEX MAP Nos. B-8 & B-9
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No. 1003594
2. Zone Atlas Index Nos. B-8-Z and B-9-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 10.2860 Acres
4. Total Number of Tracts Created: Sixty (60) Lots & eight (8) Tracts.
5. Total Mileage of Full Width Streets created: 0.376 mile.
6. Total Mileage of Partial Width Streets created: 0.181 mile.
7. Date of Survey: November, 2004.
8. Plat is located within the Town of Alameda Grant, within projected Sections 8 & 9, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tract F of the PLAT OF VENTANA MESA SUBDIVISION UNIT 1 AT VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 3, 2005 in Book 2005C, Page 86 as Document No. 2005030653 into sixty (60) lots and eight (8) tracts, to dedicate additional public street right-of-way to the City of Albuquerque and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land being located within the Town of Alameda Grant, within projected Sections 8 and 9, Township 11 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, and being the same as Tract F of Ventana Mesa Subdivision Unit 1 at Ventana Ranch West filed March 3, 2005 as Book 2005C, Page 86 in the office of the Bernalillo County Clerk, and being more particularly described as follows:

BEGINNING at the southeast corner of said Tract F, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "UNION", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=353,409.02" and Y=1,523,440.96" bears S29°51'34"E a distance of 2,297.07 feet.

THENCE along the South line of said Tract F the following twelve courses:

S67°40'48"W a distance of 121.61 feet to a point of non-tangent curvature;

Along the arc of a curve to the right that has an arc length of 17.90 feet, a radius of 277.00 feet, a central angle of 03°42'11", and a chord of N46°34'16"W a distance of 17.90 feet to a point of non-tangency;

S45°16'50"W a distance of 46.00 feet;
S66°21'12"W a distance of 89.37 feet to a point of non-tangent curvature;

Along the arc of a curve to the right that has an arc length of 79.37 feet, a radius of 1,874.00 feet, a central angle of 02°25'36", and a chord of N82°36'16"W a distance of 79.36 feet to a point of non-tangency;

N02°54'48"W a distance of 12.95 feet;
S80°11'14"W a distance of 38.83 feet;
N79°11'23"W a distance of 104.23 feet;
N79°18'27"W a distance of 46.00 feet;
S10°41'33"W a distance of 44.91 feet;
N63°29'30"W a distance of 195.67 feet;
N89°42'05"W a distance of 5.00 feet to the southwest corner of said Tract F;

THENCE along the West line of said Tract F N00°17'55"E a distance of 380.07 feet to a point of curvature of said Tract F, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along said West line of Tract F along the arc of a curve to the right that has an arc length of 263.23 feet, a radius of 1,056.00 feet, a central angle of 14°16'56", and a chord of N07°26'23"E a distance of 262.55 feet to a point of reverse curvature of said Tract F, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE continuing along said West line of Tract F along the arc of a curve to the left that has an arc length of 310.84 feet, a radius of 1,144.00 feet, a central angle of 15°34'05", and a chord of N06°47'49"E a distance of 309.89 feet to the northwest corner of said Tract F, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the North line of said Tract F N62°43'12"E a distance of 123.94 feet to the northeast corner of said Tract F, a found 5/8" rebar and plastic cap stamped "WEAVER LS 6544";

THENCE along the East line of said Tract F S27°16'48"E a distance of 1,114.63 feet to the POINT OF BEGINNING.

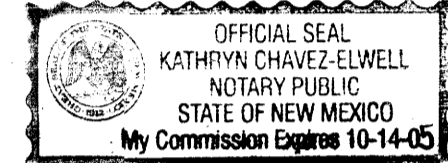
Tract contains 10.2860 acres of land, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Sections 8 & 9, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract F, Bernalillo County, Albuquerque, New Mexico, and comprising all of Tract F, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 3, 2005 in Book 2005C, Page 86 as Document No. 2005030653, now comprising Lots 129 through 188 inclusive and Tracts G thru M, AND O inclusive, VENTANA MESA SUBDIVISION UNIT 2 AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

D.R. HORTON, INC

BY: J. Mark Ferguson, Division President, D.R. Horton, Inc.



State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 3rd day of June, 2005, by J. Mark Ferguson, Division President of D.R. Horton, Inc., a Delaware Corporation

My Commission Expires: 10/14/05 Kathryn Chavez-Elwell, Notary Public

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Plat Of Ventana Mesa Subdivision Unit 1 At Ventana Ranch West, Albuquerque, New Mexico, recorded on March 3, 2005 in Book 2005C, Page 86 as Document No. 2005030653.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline (in lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. Tracts G thru M are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat.
7. Park Dedication Requirements shall be met with Tract C of the Bulk Land Plat of Ventana Ranch West a future park site, and in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC dated: March 10, 2004, Document No. 2004031336. Conveyance shall be by separate deed.
8. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "4" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the plan.
9. Tract O is to be conveyed to and maintained by the Ventana Ranch Community Association as private open space by separate deed. Tract O is subject to a community landscaping easement granted with the filing of this plat.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky, Robert Gromatzky, New Mexico Professional Surveyor 16469, Date: May 26, 2005



FINAL PRELIMINARY PLAT APPROVED BY DRB ON 6/15/05

PLAT OF VENTANA MESA SUBDIVISION UNIT 2 AT VENTANA RANCH WEST (A REPLAT OF TRACT F, VENTANA MESA UNIT 1 AT VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO MAY, 2005

PROJECT NUMBER
APPLICATION NUMBER

PLAT APPROVAL

Table with columns for Utility Approvals (QWEST, Comcast Cable, PNM Electric Services, PNM Gas Services, New Mexico Utilities, Inc.), City Approvals (City Surveyor, Traffic Engineering, Utilities Development, Parks & Recreation, A.M.A.F.C.A., City Engineer, DRB Chairperson, Ventana Ranch West Community Association), and dates.

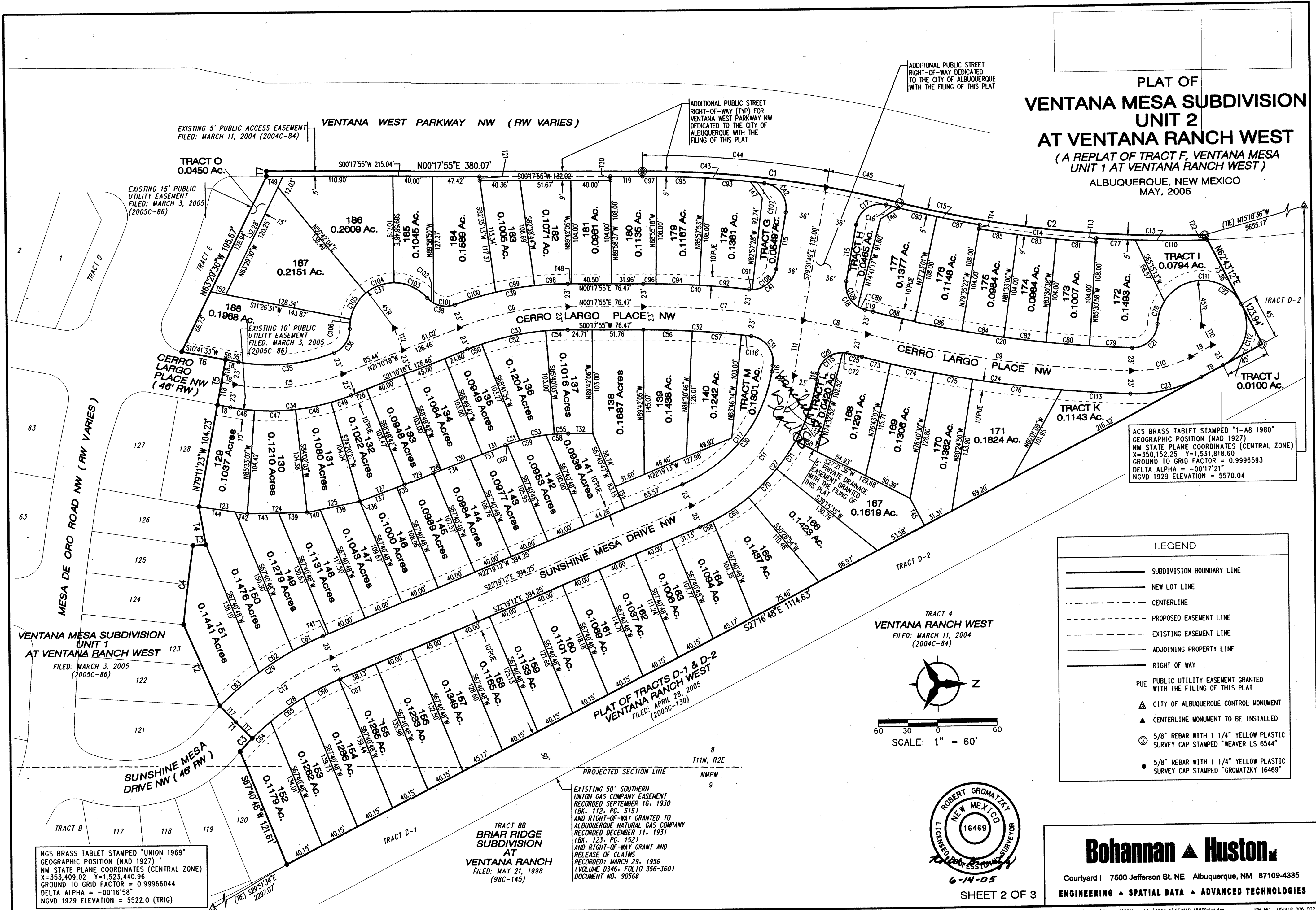
TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #
PROPERTY OWNER OF RECORD
BERNALILLO COUNTY TREASURER'S OFFICE

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

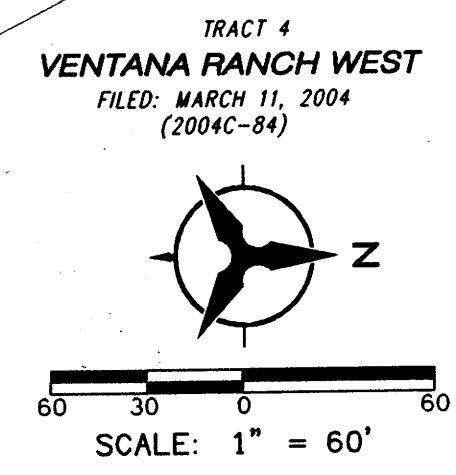
Bohannon & Huston logo and address: Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335. Engineering & Spatial Data & Advanced Technologies.

**PLAT OF
VENTANA MESA SUBDIVISION
UNIT 2
AT VENTANA RANCH WEST
(A REPLAT OF TRACT F, VENTANA MESA
UNIT 1 AT VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
MAY, 2005**



ACS BRASS TABLE STAMPED "1-A8 1980"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=350,152.25 Y=1,531,818.60
GROUND TO GRID FACTOR = 0.9996593
DELTA ALPHA = -001'7.21"
NGVD 1929 ELEVATION = 5570.04

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"



Bohannon & Huston

Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

NGS BRASS TABLE STAMPED "UNION 1969"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=353,409.02 Y=1,523,440.96
GROUND TO GRID FACTOR = 0.99966044
DELTA ALPHA = -001'6.58"
NGVD 1929 ELEVATION = 5522.0 (TRIG)

TRACT BB
BRIAR RIDGE
SUBDIVISION
AT
VENTANA RANCH
FILED: MAY 21, 1998
(98C-145)

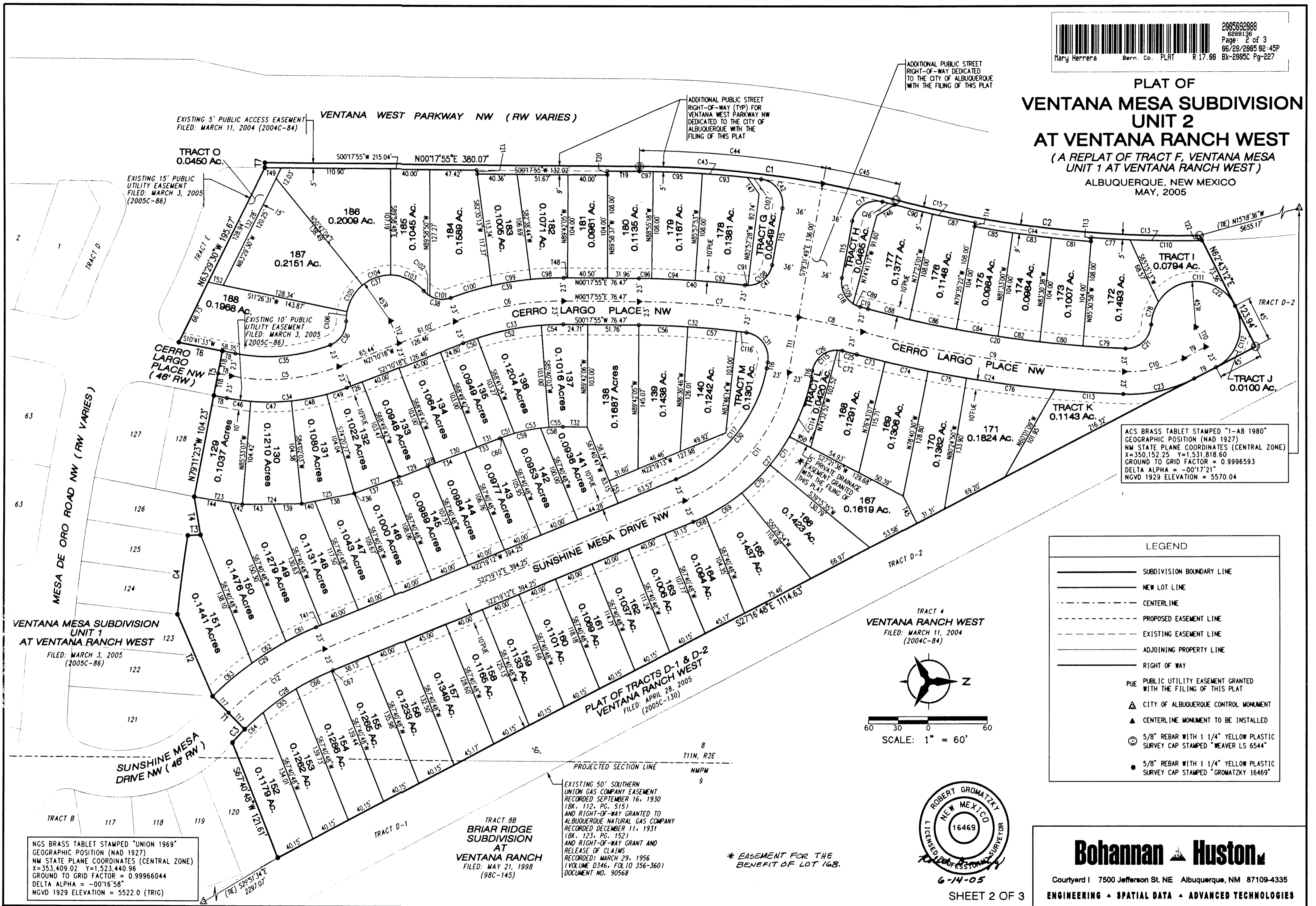
EXISTING 50' SOUTHERN
UNION GAS COMPANY EASEMENT
RECORDED SEPTEMBER 16, 1930
(BK. 112, PG. 515)
AND RIGHT-OF-WAY GRANTED TO
ALBUQUERQUE NATURAL GAS COMPANY
RECORDED DECEMBER 11, 1931
(BK. 123, PG. 152)
AND RIGHT-OF-WAY GRANT AND
RELEASE OF CLAIMS
RECORDED: MARCH 29, 1956
(VOLUME D346, FOLIO 356-360)
DOCUMENT NO. 90568

PLAT OF
**VENTANA MESA SUBDIVISION
 UNIT 2
 AT VENTANA RANCH WEST**
 (A REPLAT OF TRACT F, VENTANA MESA
 UNIT 1 AT VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 MAY, 2005

Curve Data													
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	14'16"56"	132.30'	263.23'	1056.00'	262.55'	N07'26'23"E	C80	02'00'20"	22.00'	44.00'	1257.00'	43.99'	S05'29'12"W
C2	15'34'05"	156.38'	310.84'	1144.00'	309.89'	N06'47'49"E	C81	02'00'20"	20.18'	40.36'	1153.00'	40.35'	N05'29'12"E
C3	03'42'11"	8.95'	17.90'	277.00'	17.90'	N46'34'16"W	C82	01'57'38"	21.51'	43.01'	1257.00'	43.01'	S07'28'11"W
C4	02'25'36"	39.69'	79.37'	1874.00'	79.36'	N82'36'16"W	C83	01'57'38"	19.73'	39.45'	1153.00'	39.45'	N07'28'11"E
C5	31'51'51"	57.09'	111.23'	200.00'	109.80'	N05'14'22"W	C84	01'57'38"	21.51'	43.01'	1257.00'	43.01'	S09'25'49"W
C6	21'28'13"	56.88'	112.42'	300.00'	111.76'	N10'26'12"W	C85	01'57'38"	19.73'	39.45'	1153.00'	39.45'	N09'25'49"E
C7	10'10'16"	81.87'	163.32'	920.00'	163.10'	N05'23'03"E	C86	02'12'21"	24.20'	48.39'	1257.00'	48.39'	S11'30'49"W
C8	04'06'40"	33.02'	66.01'	920.00'	66.00'	N12'31'31"E	C87	02'12'21"	22.12'	44.23'	1149.00'	44.23'	N11'30'49"E
C9	12'03'29"	135.19'	269.38'	1280.00'	268.88'	N08'33'07"E	C88	01'57'52"	21.55'	43.10'	1257.00'	43.10'	S13'35'55"W
C10	29'48'10"	31.93'	62.42'	120.00'	61.72'	N12'22'43"W	C89	18'13'18"	4.01'	7.95'	25.00'	4.92'	S23'11'37"W
C11	57'12'37"	95.43'	174.74'	175.00'	167.57'	S50'55'31"E	C90	01'57'52"	19.70'	39.40'	1149.00'	39.39'	N13'35'55"E
C12	22'23'58"	59.40'	117.28'	300.00'	116.54'	S33'31'11"E	C91	07'01'13"	1.53'	3.06'	25.00'	3.06'	S03'20'48"W
C13	05'35'40"	56.14'	112.19'	1149.00'	112.14'	S01'41'13"W	C92	03'05'13"	25.41'	50.80'	943.00'	50.80'	S05'18'48"W
C14	05'55'36"	59.69'	119.27'	1153.00'	119.21'	S07'26'50"W	C93	02'28'55"	22.77'	45.53'	1051.00'	45.52'	N05'02'17"E
C15	04'10'13"	41.83'	83.63'	1149.00'	83.61'	S12'29'45"W	C94	02'41'30"	22.15'	44.30'	943.00'	44.30'	S02'25'27"W
C16	00'42'10"	6.44'	12.89'	1051.00'	12.89'	S14'13'46"W	C95	02'43'08"	24.94'	49.87'	1051.00'	49.87'	N02'26'16"E
C17	93'24'30"	26.53'	40.76'	25.00'	36.39'	S32'49'34"E	C96	00'46'47"	6.42'	12.83'	943.00'	12.83'	S00'41'18"W
C18	86'23'13"	23.47'	37.69'	25.00'	34.22'	N57'16'34"E	C97	00'46'47"	7.15'	14.30'	1051.00'	14.30'	N00'41'18"E
C19	00'29'53"	4.10'	8.20'	943.00'	8.20'	N14'19'54"E	C98	05'56'40"	16.77'	33.51'	323.00'	33.50'	S02'40'26"E
C20	12'04'07"	132.88'	264.77'	1257.00'	264.28'	N08'32'48"E	C99	07'04'56"	19.99'	39.93'	323.00'	39.90'	S09'11'14"E
C21	89'24'17"	24.74'	39.01'	25.00'	35.17'	N42'11'24"W	C100	07'41'09"	21.70'	43.33'	323.00'	43.30'	S16'34'16"E
C22	239'36'42"	-----	188.19'	45.00'	78.09'	N32'54'51"E	C101	50'06'56"	11.69'	21.87'	25.00'	21.18'	S04'38'37"W
C23	29'48'10"	38.05'	74.38'	143.00'	73.55'	S12'22'43"E	C102	18'45'36"	4.13'	8.19'	25.00'	8.15'	S39'04'53"W
C24	12'03'29"	137.62'	274.22'	1303.00'	273.71'	S08'33'07"W	C103	48'26'29"	20.24'	38.05'	45.00'	36.92'	S24'14'26"W
C25	00'57'20"	7.48'	14.96'	897.00'	14.96'	S14'06'11"W	C104	39'19'08"	16.08'	30.88'	45.00'	30.28'	S19'38'22"E
C26	93'09'20"	26.42'	40.65'	25.00'	36.32'	S32'57'09"E	C105	39'15'33"	16.05'	30.83'	45.00'	30.23'	S58'55'43"E
C27	57'12'37"	107.98'	197.70'	198.00'	189.59'	S50'55'31"E	C106	12'13'12"	4.82'	9.60'	45.00'	9.58'	S84'40'05"E
C28	22'23'58"	54.85'	108.29'	277.00'	107.60'	S33'31'11"E	C107	00'46'56"	7.17'	14.35'	1051.00'	14.35'	N06'40'12"E
C29	22'23'58"	63.95'	126.28'	323.00'	125.47'	N33'31'11"W	C108	79'22'00"	20.74'	34.63'	25.00'	31.93'	S39'50'49"E
C30	57'12'37"	82.89'	151.77'	152.00'	145.55'	N50'55'30"W	C109	68'09'55"	16.92'	29.74'	25.00'	28.02'	S66'23'13"W
C31	93'09'20"	26.42'	40.65'	25.00'	36.32'	S53'53'31"W	C110	03'38'01"	36.45'	72.87'	1149.00'	72.86'	N00'42'23"E
C32	07'00'57"	54.99'	109.83'	897.00'	109.77'	S03'48'23"W	C111	119'48'28"	77.64'	94.10'	45.00'	77.87'	S02'48'58"W
C33	21'28'13"	52.52'	103.80'	277.00'	103.19'	S10'26'12"E	C112	90'00'00"	45.00'	70.69'	45.00'	63.64'	N72'16'48"W
C34	31'51'51"	63.66'	124.02'	223.00'	122.43'	S05'14'23"E	C113	03'03'48"	34.84'	69.66'	1303.00'	69.66'	N04'03'16"E
C35	31'47'54"	50.42'	98.23'	177.00'	96.98'	N05'12'24"W	C114	18'57'19"	33.05'	65.50'	198.00'	65.21'	N70'03'10"W
C36	69'40'20"	17.40'	30.40'	25.00'	28.56'	N55'56'31"W	C115	81'54'06"	21.69'	35.74'	25.00'	32.77'	N38'34'46"W
C37	139'14'22"	121.13'	109.36'	45.00'	84.37'	N21'09'30"W	C116	00'38'24"	5.01'	10.02'	897.00'	10.02'	N06'59'39"E
C38	68'52'32"	17.14'	30.05'	25.00'	28.28'	N14'01'25"E	C117	57'12'37"	82.89'	151.77'	152.00'	145.55'	S50'55'31"E
C39	20'42'45"	59.03'	116.77'	323.00'	116.13'	N10'03'28"W							
C40	06'33'30"	54.03'	107.94'	943.00'	107.88'	N03'34'39"E							
C41	86'23'13"	23.47'	37.69'	25.00'	34.22'	N36'20'12"W							
C42	93'24'31"	26.53'	40.76'	25.00'	36.39'	S53'45'56"W							
C43	06'45'46"	62.10'	124.05'	1051.00'	123.98'	S03'40'47"W							
C44	10'10'16"	93.98'	187.46'	1056.00'	187.22'	N05'23'03"E							
C45	04'06'40"	37.90'	75.77'	1056.00'	75.76'	N12'31'31"E							
C46	06'14'40"	12.16'	24.30'	223.00'	24.29'	N07'34'13"E							
C47	10'40'19"	20.83'	41.54'	223.00'	41.48'	N00'53'17"W							
C48	09'26'06"	18.40'	36.72'	223.00'	36.68'	N10'56'30"W							
C49	05'30'45"	10.74'	21.46'	223.00'	21.45'	N18'24'55"W							
C50	03'08'41"	7.80'	15.20'	277.00'	15.20'	N19'35'57"W							
C51	05'05'16"	7.73'	15.45'	174.00'	15.45'	S18'37'40"E							
C52	13'41'07"	33.24'	66.16'	277.00'	66.01'	N11'11'03"W							
C53	11'44'14"	17.88'	35.64'	174.00'	35.58'	S10'12'55"E							
C54	04'38'24"	11.22'	22.43'	277.00'	22.43'	N02'01'17"W							
C55	04'38'43"	7.06'	14.11'	174.00'	14.10'	S02'01'27"E							
C56	03'11'19"	24.97'	49.92'	897.00'	49.91'	S01'53'34"W							
C57	03'11'14"	24.95'	49.90'	897.00'	49.89'	S05'04'51"W							
C58	07'28'38"	11.37'	22.71'	174.00'	22.69'	N03'26'25"W							
C59	13'20'48"	20.36'	40.53'	174.00'	40.44'	N13'51'08"W							
C60	00'38'46"	0.98'	1.96'	174.00'	1.96'	N20'50'55"W							
C61	05'58'18"	16.85'	33.66'	323.00'	33.65'	S25'18'21"E							
C62	07'12'01"	20.32'	40.59'	323.00'	40.56'	S31'53'30"E							
C63	09'13'39"	26.07'	52.02'	323.00'	51.96'	S40'06'21"E							
C64	08'54'38"	21.58'	43.08'	277.00'	43.04'	N43'58'03"W							
C65	08'29'50"	20.58'	41.08'	277.00'	41.04'	N35'15'48"W							
C66	08'18'26"	20.12'	40.16'	277.00'	40.13'	N26'51'41"W							
C67	00'23'16"	0.94'	1.87'	277.00'	1.87'	N22'30'50"W							
C68	04'01'06"	6.95'	13.89'	198.00'	13.88'	N24'19'45"W							
C69	12'31'40"	21.73'	43.29'	198.00'	43.21'	N32'36'08"W							
C70	11'38'28"	20.18'	40.23'	198.00'	40.16'	N44'41'11"W							
C71	10'04'05"	17.44'	34.79'	198.00'	34.75'	N55'32'28"W							
C72	11'15'14"	2.46'	4.91'	25.00'	4.90'	N07'59'54"E							
C73	01'17'58"	14.78'	29.55'	1303.00'	29.55'	N13'55'52"E							
C74	01'57'23"	22.25'	44.49'	1303.00'	44.49'	N12'18'11"E							
C75	01'44'20"	19.77'	39.55'	1303.00'	39.54'	N10'27'20"E							
C76	04'00'00"	45.50'	90.97'	1303.00'	90.95'	N07'35'10"E							
C77	01'57'38"	19.66'	39.32'	1149.00'	39.32'	N03'30'13"E							
C78	29'48'13"	11.98'	23.41'	45.00'	23.14'	S71'59'23"E							
C79	01'58'18"	21.63'	43.26'	1257.00'	43.26'	S03'29'53"W							
C80	02'00'20"	22.00'	44.00'	1257.00'	43.99'	S05'29'12"W							

Tangent Data		
ID	BEARING	DISTANCE
T1	S45'16'50"W	46.00'
T2	S66'21'12"W	89.37'
T3	N02'54'48"W	12.95'
T4	S80'11'14"W	38.83'
T5	N79'18'27"W	46.00'
T6	S10'41'33"W	44.91'
T7	N89'42'05"W	5.00'
T8	N10'41'33"E	13.43'
T9	N27'16'48"W	24.79'
T10	S62'43'12"W	22.00'
T11	S79'31'49"E	55.31'
T12	S68'49'42"W	23.61'
T13	S85'30'58"E	4.00'
T14	N79'35'22"W	4.00'
T15	S79'31'49"E	58.11'
T16	S79'31'49"E	5.99'
T17	S45'16'50"W	23.00'
T18	N79'18'27"W	23.00'
T19	S00'17'55"W	32.48'
T20	S89'58'37"E	4.00'
T21	S82'35'13"W	4.04'
T22	N62'43'12"E	5.57'
T23	S08'39'12"W	49.29'
T24	N00'53'17"W	60.42'
T25	N11'14'55"W	54.29'
T26	N21'10'18"W	16.66'
T27	N20'03'15"W	48.08'
T28	N21'10'18"W	8.25'
T29	N22'01'08"W	31.75'
T30	N21'10'18"W	45.00'
T31	N21'10'18"W	24.80'
T32	S00'17'55"W	24.71'
T33	N21'10'18"W	38.05'
T34	N21'10'18"W	40.01'
T35	N20'03'15"W	8.25'
T36	N11'14'55"W	0.21'
T37	N20'03'15"W	39.83'
T38	N11'14'55"W	40.76'
T39	N00'53'17"W	28.92'
T40	N11'14'55"W	13.33'
T41	N22'19'12"W	6.40'
T42	S08'39'12"W	12.45'
T43		

**PLAT OF
VENTANA MESA SUBDIVISION
UNIT 2
AT VENTANA RANCH WEST**
(A REPLAT OF TRACT F, VENTANA MESA
UNIT 1 AT VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
MAY, 2005



ADDITIONAL PUBLIC STREET
RIGHT-OF-WAY DEDICATED
TO THE CITY OF ALBUQUERQUE
WITH THE FILING OF THIS PLAT

ADDITIONAL PUBLIC STREET
RIGHT-OF-WAY (TYP) FOR
VENTANA WEST PARKWAY NW
DEDICATED TO THE CITY OF
ALBUQUERQUE WITH THE
FILING OF THIS PLAT

EXISTING 5' PUBLIC ACCESS EASEMENT
FILED: MARCH 11, 2004 (2004C-84)

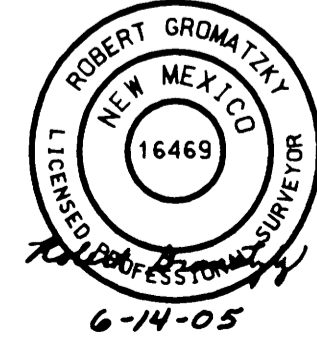
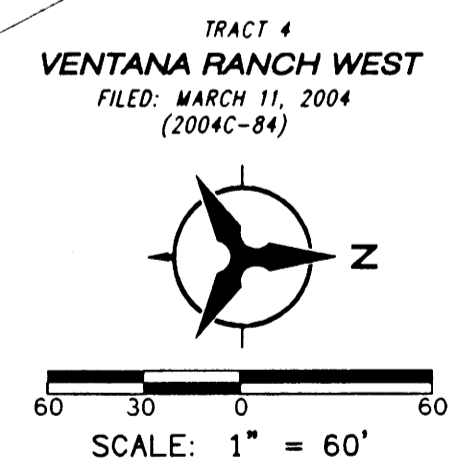
EXISTING 15' PUBLIC
UTILITY EASEMENT
FILED: MARCH 3, 2005
(2005C-86)

EXISTING 10' PUBLIC
UTILITY EASEMENT
FILED: MARCH 3, 2005
(2005C-86)

ACS BRASS TABLET STAMPED "1-A8 1980"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=350,152.25 Y=1,531,818.60
GROUND TO GRID FACTOR = 0.9996593
DELTA ALPHA = -00°17'21"
NGVD 1929 ELEVATION = 5570.04

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- RIGHT OF WAY
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- CENTERLINE MONUMENT TO BE INSTALLED
- 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"



Bohannon & Huston
Court yard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

NGS BRASS TABLET STAMPED "UNION 1969"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=353,409.02 Y=1,523,440.96
GROUND TO GRID FACTOR = 0.99966044
DELTA ALPHA = -00°16'58"
NGVD 1929 ELEVATION = 5522.0 (TRIG)

TRACT 88
BRIAR RIDGE
SUBDIVISION
AT
VENTANA RANCH
FILED: MAY 21, 1998
(98C-145)

EXISTING 50' SOUTHERN
UNION GAS COMPANY EASEMENT
RECORDED SEPTEMBER 16, 1930
(BK. 112, PG. 515)
AND RIGHT-OF-WAY GRANTED TO
ALBUQUERQUE NATURAL GAS COMPANY
RECORDED DECEMBER 11, 1931
(BK. 123, PG. 152)
AND RIGHT-OF-WAY GRANT AND
RELEASE OF CLAIMS
RECORDED: MARCH 29, 1956
(VOLUME D346, FOLIO 356-360)
DOCUMENT NO. 90568

* EASEMENT FOR THE
BENEFIT OF LOT 163.

PLAT OF
**VENTANA MESA SUBDIVISION
 UNIT 2**
AT VENTANA RANCH WEST
 (A REPLAT OF TRACT F, VENTANA MESA
 UNIT 1 AT VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 MAY, 2005

Curve Data													
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	14°16'56"	132.30'	263.23'	1056.00'	262.55'	N07°26'23"E	C80	02°00'20"	22.00'	44.00'	1257.00'	43.99'	S05°29'12"W
C2	15°34'05"	156.38'	310.84'	1144.00'	309.89'	N06°47'49"E	C81	02°00'20"	20.18'	40.36'	1153.00'	40.35'	N05°29'12"E
C3	03°42'11"	8.95'	17.90'	277.00'	17.90'	N46°34'16"W	C82	01°57'38"	21.51'	43.01'	1257.00'	43.01'	S07°28'11"W
C4	02°25'36"	39.69'	79.37'	1874.00'	79.36'	N82°36'16"W	C83	01°57'38"	19.73'	39.45'	1153.00'	39.45'	N07°28'11"E
C5	31°51'51"	57.09'	111.23'	200.00'	109.80'	N05°14'22"W	C84	01°57'38"	21.51'	43.01'	1257.00'	43.01'	S09°25'49"W
C6	21°28'13"	56.88'	112.42'	300.00'	111.76'	N10°26'12"W	C85	01°57'38"	19.73'	39.45'	1153.00'	39.45'	N09°25'49"E
C7	10°10'16"	81.87'	163.32'	920.00'	163.10'	N05°23'03"E	C86	02°12'21"	24.20'	48.39'	1257.00'	48.39'	S11°30'49"W
C8	04°06'40"	33.02'	66.01'	920.00'	66.00'	N12°31'31"E	C87	02°12'21"	22.12'	44.23'	1149.00'	44.23'	N11°30'49"E
C9	12°03'29"	135.19'	269.38'	1280.00'	268.88'	N08°33'07"E	C88	01°57'52"	21.55'	43.10'	1257.00'	43.10'	S13°35'55"W
C10	29°48'10"	31.93'	62.42'	120.00'	61.72'	N12°22'43"W	C89	18°13'18"	4.01'	7.95'	25.00'	7.92'	S23°11'37"W
C11	57°12'37"	95.43'	174.74'	175.00'	167.57'	S50°55'31"E	C90	01°57'52"	19.70'	39.40'	1149.00'	39.39'	N13°35'55"E
C12	22°23'58"	59.40'	117.28'	300.00'	116.54'	S33°31'11"E	C91	07°01'13"	1.53'	3.06'	25.00'	3.06'	S03°20'48"W
C13	05°35'40"	56.14'	112.19'	1149.00'	112.14'	S01°41'13"W	C92	03°05'13"	25.41'	50.80'	943.00'	50.80'	S05°18'48"W
C14	05°55'36"	59.69'	119.27'	1153.00'	119.21'	S07°26'50"W	C93	02°28'55"	22.77'	45.53'	1051.00'	45.52'	N05°02'17"E
C15	04°10'13"	41.83'	83.63'	1149.00'	83.61'	S12°29'45"W	C94	02°41'30"	22.15'	44.30'	943.00'	44.30'	S02°25'27"W
C16	00°42'10"	6.44'	12.89'	1051.00'	12.89'	S14°13'46"W	C95	02°43'08"	24.94'	49.87'	1051.00'	49.87'	N02°26'16"E
C17	93°24'30"	26.53'	40.76'	25.00'	36.39'	S32°49'34"E	C96	00°46'47"	6.42'	12.83'	943.00'	12.83'	S00°41'18"W
C18	86°23'13"	23.47'	37.69'	25.00'	34.22'	N57°16'34"E	C97	00°46'47"	7.15'	14.30'	1051.00'	14.30'	N00°41'18"E
C19	00°29'53"	4.10'	8.20'	943.00'	8.20'	N14°19'54"E	C98	05°56'40"	16.77'	33.51'	323.00'	33.50'	S02°40'26"E
C20	12°04'07"	132.88'	264.77'	1257.00'	264.28'	N08°32'48"E	C99	07°04'56"	19.99'	39.93'	323.00'	39.90'	S09°11'14"E
C21	89°24'17"	24.74'	39.01'	25.00'	35.17'	N42°11'24"W	C100	07°41'09"	21.70'	43.33'	323.00'	43.30'	S16°34'16"E
C22	239°36'42"	-----	188.19'	45.00'	78.09'	N32°54'51"E	C101	50°06'56"	11.69'	21.87'	25.00'	21.18'	S04°38'37"W
C23	29°48'10"	38.05'	74.38'	143.00'	73.55'	S12°22'43"E	C102	18°45'36"	4.13'	8.19'	25.00'	8.15'	S39°04'53"W
C24	12°03'29"	137.62'	274.22'	1303.00'	273.71'	S08°33'07"W	C103	48°26'29"	20.24'	38.05'	45.00'	36.92'	S24°14'26"W
C25	00°57'20"	7.48'	14.96'	897.00'	14.96'	S14°06'11"W	C104	39°19'08"	16.08'	30.88'	45.00'	30.28'	S19°38'22"E
C26	93°09'20"	26.42'	40.65'	25.00'	36.32'	S32°57'09"E	C105	39°15'33"	16.05'	30.83'	45.00'	30.23'	S58°55'43"E
C27	57°12'37"	107.98'	197.70'	198.00'	189.59'	S50°55'31"E	C106	12°13'12"	4.82'	9.60'	45.00'	9.58'	S84°40'05"E
C28	22°23'58"	54.85'	108.29'	277.00'	107.60'	S33°31'11"E	C107	00°46'56"	7.17'	14.35'	1051.00'	14.35'	N06°40'12"E
C29	22°23'58"	63.95'	126.28'	323.00'	125.47'	N33°31'11"W	C108	79°22'00"	20.74'	34.63'	25.00'	31.93'	S39°50'49"E
C30	57°12'37"	82.89'	151.77'	152.00'	145.55'	N50°55'30"W	C109	68°09'55"	16.92'	29.74'	25.00'	28.02'	S66°23'13"W
C31	93°09'20"	26.42'	40.65'	25.00'	36.32'	S53°53'31"W	C110	03°38'01"	36.45'	72.87'	1149.00'	72.86'	N00°42'23"E
C32	07°00'57"	54.99'	109.83'	897.00'	109.77'	S03°48'23"W	C111	119°48'28"	77.64'	94.10'	45.00'	77.87'	S02°48'58"W
C33	21°28'13"	52.52'	103.80'	277.00'	103.19'	S10°26'12"E	C112	90°00'00"	45.00'	70.69'	45.00'	63.64'	N72°16'48"W
C34	31°51'51"	63.66'	124.02'	223.00'	122.43'	S05°14'23"E	C113	03°03'48"	34.84'	69.66'	1303.00'	69.66'	N04°03'16"E
C35	31°47'54"	50.42'	98.23'	177.00'	96.98'	N05°12'24"W	C114	18°57'19"	33.05'	65.50'	198.00'	65.21'	N70°03'10"W
C36	69°40'20"	17.40'	30.40'	25.00'	28.56'	N55°56'31"W	C115	81°54'06"	21.69'	35.74'	25.00'	32.77'	N38°34'46"W
C37	139°14'22"	121.13'	109.36'	45.00'	84.37'	N21°09'30"W	C116	00°38'24"	5.01'	10.02'	897.00'	10.02'	N06°59'39"E
C38	68°52'32"	17.14'	30.05'	25.00'	28.28'	N14°01'25"E	C117	57°12'37"	82.89'	151.77'	152.00'	145.55'	S50°55'31"E
C39	20°42'45"	59.03'	116.77'	323.00'	116.13'	N10°03'28"W							
C40	06°33'30"	54.03'	107.94'	943.00'	107.88'	N03°34'39"E							
C41	86°23'13"	23.47'	37.69'	25.00'	34.22'	N36°20'12"W							
C42	93°24'31"	26.53'	40.76'	25.00'	36.39'	S53°45'56"W							
C43	06°45'46"	62.10'	124.05'	1051.00'	123.98'	S03°40'47"W							
C44	10°10'16"	93.98'	187.46'	1056.00'	187.22'	N05°23'03"E							
C45	04°06'40"	37.90'	75.77'	1056.00'	75.76'	N12°31'31"E							
C46	06°14'40"	12.16'	24.30'	223.00'	24.29'	N07°34'13"E							
C47	10°40'19"	20.83'	41.54'	223.00'	41.48'	N00°53'17"W							
C48	09°26'06"	18.40'	36.72'	223.00'	36.68'	N10°56'30"W							
C49	05°30'45"	10.74'	21.46'	223.00'	21.45'	N18°24'55"W							
C50	03°08'41"	7.60'	15.20'	277.00'	15.20'	N19°35'57"W							
C51	05°05'16"	7.73'	15.45'	174.00'	15.45'	S18°37'40"E							
C52	13°41'07"	33.24'	66.16'	277.00'	66.01'	N11°11'03"W							
C53	11°44'14"	17.88'	35.64'	174.00'	35.58'	S10°12'55"E							
C54	04°38'24"	11.22'	22.43'	277.00'	22.43'	N02°01'17"W							
C55	04°38'43"	7.06'	14.11'	174.00'	14.10'	S02°01'27"E							
C56	03°11'19"	24.97'	49.92'	897.00'	49.91'	S01°53'34"W							
C57	03°11'14"	24.95'	49.90'	897.00'	49.89'	S05°04'51"W							
C58	07°28'38"	11.37'	22.71'	174.00'	22.69'	N03°26'25"W							
C59	13°20'48"	20.36'	40.53'	174.00'	40.44'	N13°51'08"W							
C60	00°38'46"	0.98'	1.96'	174.00'	1.96'	N20°50'55"W							
C61	05°58'18"	16.85'	33.66'	323.00'	33.65'	S25°18'21"E							
C62	07°12'01"	20.32'	40.59'	323.00'	40.56'	S31°53'30"E							
C63	09°13'39"	26.07'	52.02'	323.00'	51.96'	S40°06'21"E							
C64	08°54'38"	21.58'	43.08'	277.00'	43.04'	N43°58'03"W							
C65	08°29'50"	20.58'	41.08'	277.00'	41.04'	N35°15'48"W							
C66	08°18'26"	20.12'	40.16'	277.00'	40.13'	N26°51'41"W							
C67	00°23'16"	0.94'	1.87'	277.00'	1.87'	N22°30'50"W							
C68	04°01'06"	6.95'	13.89'	198.00'	13.88'	N24°19'45"W							
C69	12°31'40"	21.73'	43.29'	198.00'	43.21'	N32°36'08"W							
C70	11°38'28"	20.18'	40.23'	198.00'	40.16'	N44°41'11"W							
C71	10°04'05"	17.44'	34.79'	198.00'	34.75'	N55°32'28"W							
C72	11°15'14"	2.46'	4.91'	25.00'	4.90'	N07°59'54"E							
C73	01°17'58"	14.78'	29.55'	1303.00'	29.55'	N13°55'52"E							
C74	01°57'23"	22.25'	44.49'	1303.00'	44.49'	N12°18'11"E							
C75	01°44'20"	19.77'	39.55'	1303.00'	39.54'	N10°27'20"E							
C76	04°00'00"	45.50'	90.97'	1303.00'	90.95'	N07°35'10"E							
C77	01°57'38"	19.66'	39.32'	1149.00'	39.32'	N03°30'13"E							
C78	29°48'13"	11.98'	23.41'	45.00'	23.14'	S71°59'23"E							
C79	01°58'18"	21.63'	43.26'	1257.00'	43.26'	S03°29'53"W							
C80	02°00'20"	22.00'	44.00'	1257.00'	43.99'	S05°29'12"W							

Tangent Data		
ID	BEARING	DISTANCE
T1	S45°16'50"W	46.00'
T2	S66°21'12"W	89.37'
T3	N02°54'48"W	12.95'
T4	S80°11'14"W	38.83'
T5	N79°18'27"W	46.00'
T6	S10°41'33"W	44.91'
T7	N89°42'05"W	5.00'
T8	N10°41'33"E	13.43'
T9	N27°16'48"W	24.79'
T10	S62°43'12"W	22.00'
T11	S79°31'49"E	55.31'
T12	S68°49'42"W	23.61'
T13	S85°30'58"E	4.00'
T14	N79°35'22"W	4.00'
T15	S79°31'49"E	58.11'
T16	S79°31'49"E	5.99'
T17	S45°16'50"W	23.00'
T18	N79°18'27"W	23.00'
T19	S00°17'55"W	32.48'
T20	S89°58'37"E	4.00'
T21	S82°35'13"W	4.04'
T22	N62°43'12"E	5.57'
T23	S08°39'12"W	49.29'
T24	N00°53'17"W	60.42'
T25	N11°14'55"W	54.29'
T26	N21°10'18"W	16.66'
T27	N20°03'15"W	48.08'
T28	N21°10'18"W	8.25'
T29	N22°01'08"W	31.75'
T30	N21°10'18"W	45.00'
T31	N21°10'18"W	24.80'
T32	S00°17'55"W	24.71'
T33	N21°10'18"W	38.05'
T34	N21°10'18"W	40.01'
T35	N20°03'15"W	8.25'
T36	N11°14'55"W	0.21'
T37	N20°03'15"W	39.83'
T38	N11°14'55"W	40.76'
T39	N00°53'17"W	28.92'