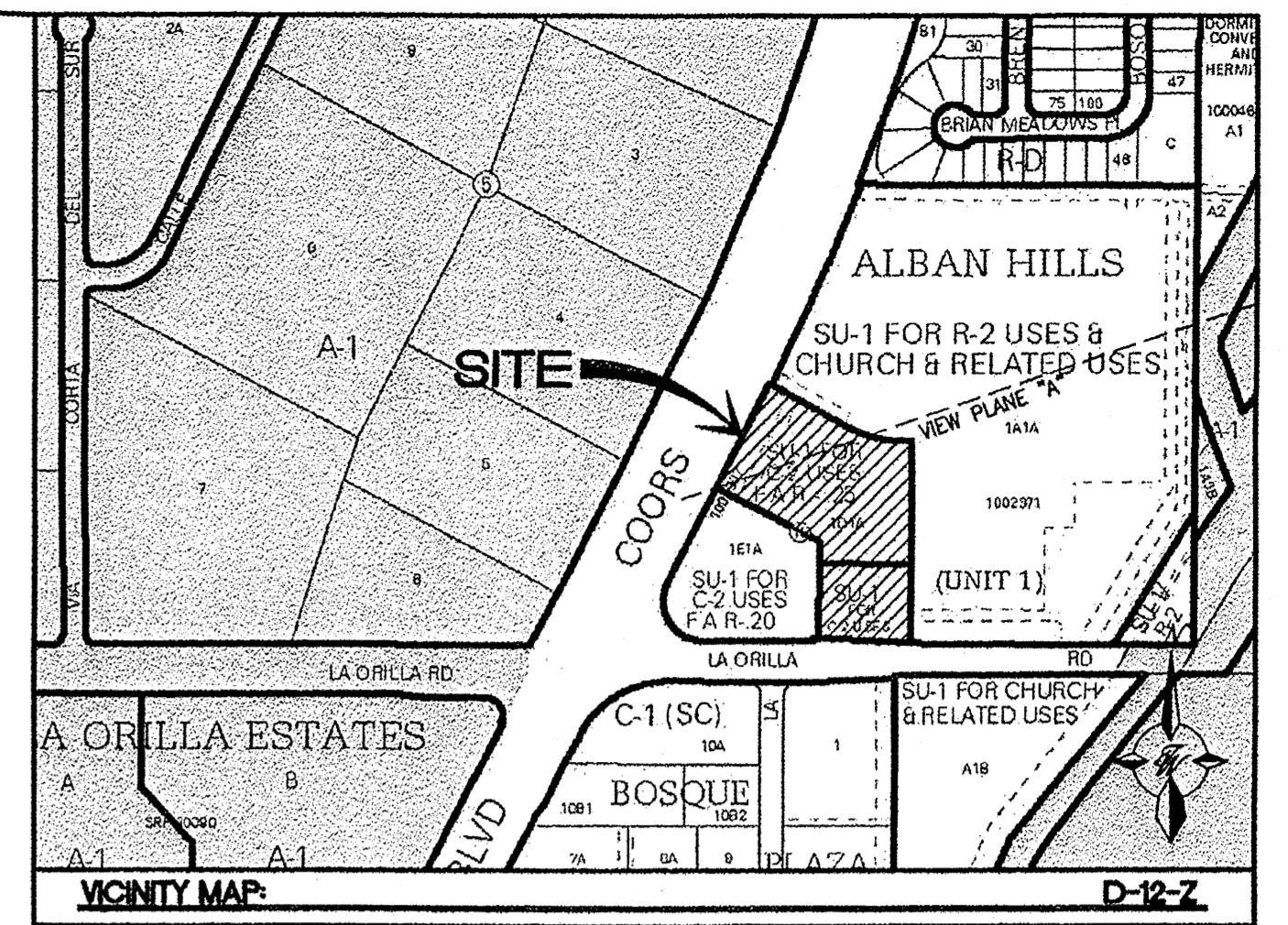
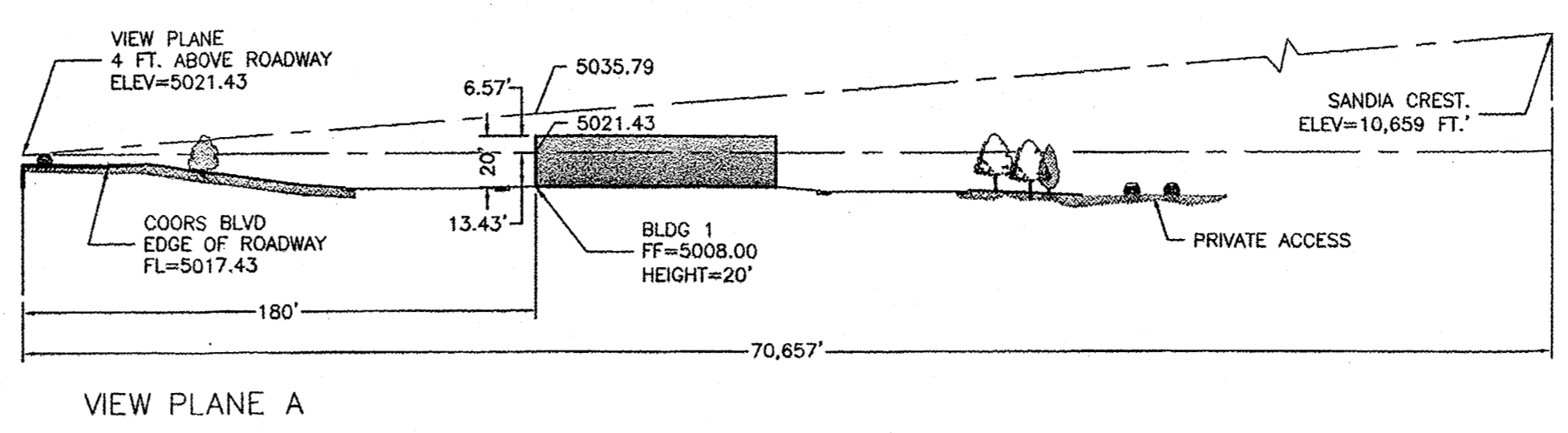


TRACT 1-A-1  
ALBAN HILLS UNIT 1  
Filed March 17, 2004 in Plat Book 3004C, Page 59



LEGAL DESCRIPTION:  
TRACT 1-D-1-A, BLOCK 15, ALBAN HILLS UNIT 1

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- SITE LIGHTS

GENERAL NOTES:

1. THIS DRAWING CONSTITUTES THE REQUIRED SUBMISSION FOR APPROVAL OF A SITE PLAN FOR BUILDING PERMIT.
2. THIS SITE PLAN IS SUBJECT TO THE REGULATIONS OF THE COORS CORRIDOR PLAN AND ALL OTHER COA ORDINANCES/REGULATIONS.
3. PER THE CURRENT APPROVED SITE PLAN FOR SUBDIVISION (GENERAL NOTE E), THIS PLAN IS REQUIRED TO BE APPROVED BY THE PLANNING DIRECTOR OR HIS/HER DESIGNEE AND THE CITY ENGINEER AND DOES NOT REQUIRE EPC/DRB APPROVAL.
4. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
5. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
6. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
7. THERE IS AN EXISTING TRANSIT LINE LOCATED ALONG COORS BLVD.

CONSTRUCTION PHASES:

- PHASE 1 - PARKING/LANDSCAPE/LIGHTING
- PHASE 2 - BUILDINGS/LANDSCAPE/AMENITIES, SIGNAGE

SITE DATA

PROPOSED USAGE:	RETAIL
LOT AREA:	133,624 SF (3.06 ACRES)
BUILDING AREA:	17,988 SF
PARKING REQUIRED:	92 SPACES (18,408 SF/1 SPACE PER 200 SF)
PARKING PROVIDED:	203 SPACES (19 COMPACT - 8.3%)
HC PARKING REQUIRED:	4 SPACES
HC PARKING PROVIDED:	6 STANDARD H/C SPACES 6 SPACES VAN ACCESSIBLE H/C SPACES 12 TOTAL
MC PARKING REQUIRED:	3 SPACES
MC PARKING PROVIDED:	6 SPACES
BICYCLE PARKING REQUIRED:	5 SPACES
BICYCLE PARKING PROVIDED:	15 SPACES

KEYED NOTE:

- (A) STANDARD CURB PER COA STD DWG #2415A
- (B) NEW BIKE RACK (5 SPACES PER LOCATION)
- (C) TRASH ENCLOSURE PER DETAIL SHEET C5
- (D) ADA RAMP PER COA STD DWG #2426
- (E) 6' CONCRETE SIDEWALK
- (F) EXISTING "EXIT ONLY" SIGN
- (G) HANDICAP PARKING SIGN PER DETAIL SHEET C5
- (H) EXISTING INGRESS/EGRESS TO REMAIN
- (I) MOTORCYCLE PARKING SIGN PER DETAIL SHEET C5
- (J) PEDESTRIAN PATHWAY, WIDTH VARIES (STAMPED CONCRETE)
- (K) MONUMENT SIGN PER DETAIL SHEET ELEV-1
- (L) SITE LIGHTING TO MATCH SAGEBRUSH CHURCH (TRACT 1-A-1)
- (M) 4' WIDE VALLEY GUTTER PER COA STD DWG #2420
- (N) FUTURE OUTDOOR DINING/CUSTOMER WAITING AREA
- (O) REF. GRADING PLAN FOR ASPHALT OVERLAY THIS AREA

INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. GRADING AND DRAINAGE PLAN
- C3. MASTER UTILITY PLAN
- C4. DETAIL SHEET
- L1. LANDSCAPING PLAN
- ELEV1. BUILDING ELEVATIONS

PROJECT NUMBER: 1003597  
APPLICATION NUMBER: 10123

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

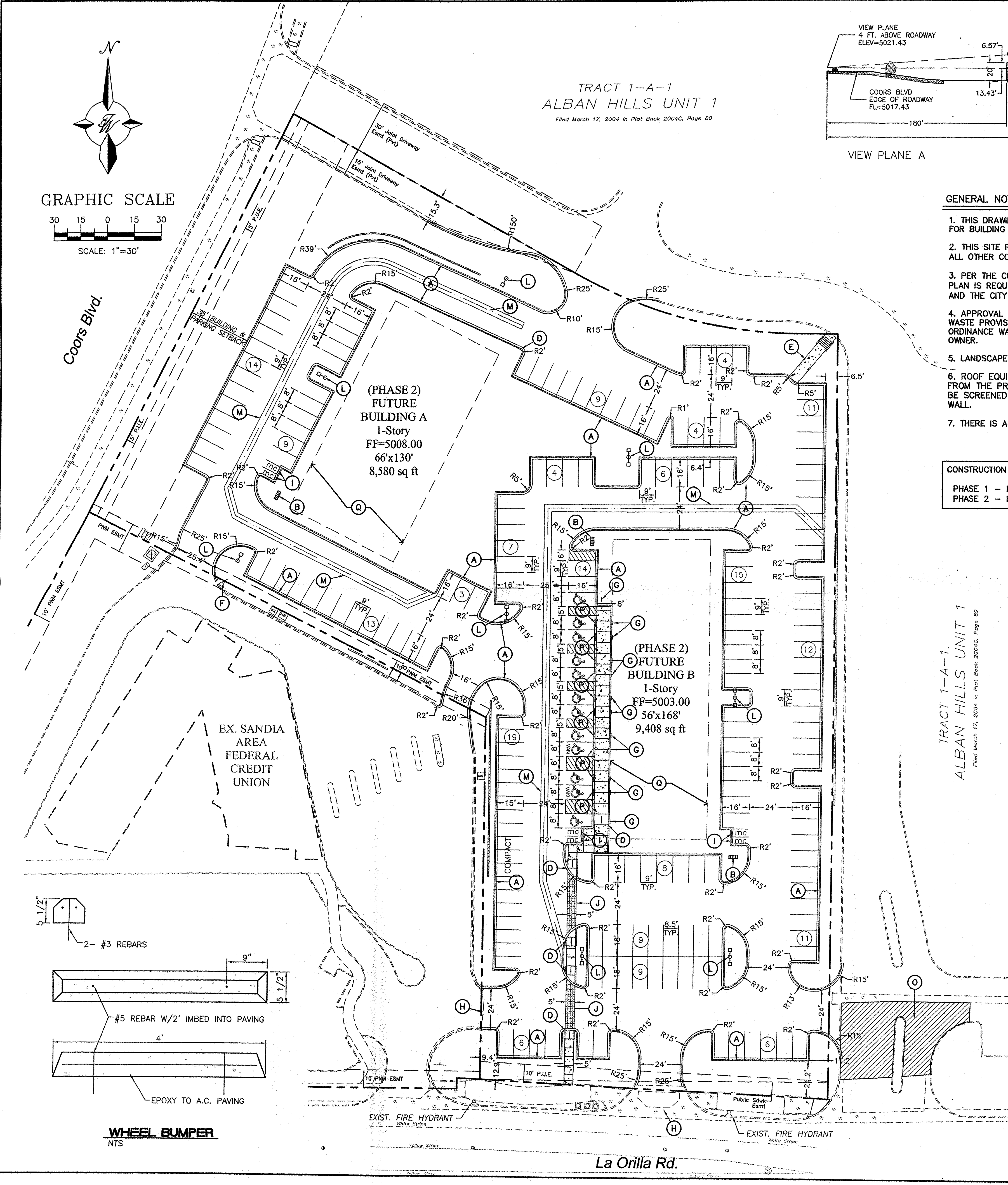
Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

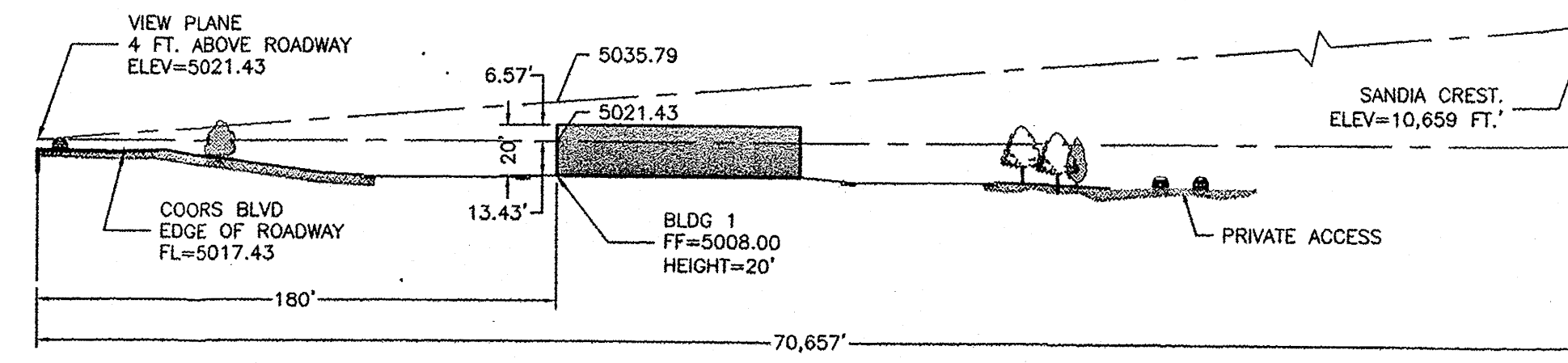
*[Signature]* Planning Director or His/Her Designee Date 11/14/12  
*[Signature]* City Engineer Date 11-14-12

ENGINEER'S SEAL	<b>SAGEBRUSH PLAZA</b> COORS BLVD & LA ORILLA RD	DRAWN BY JW
		DATE 10/31/12
	<b>SITE PLAN FOR BUILDING PERMIT</b>	2011058-SPE
		SHEET # C1
RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2011058

1003597



TRACT 1-A-1  
ALBAN HILLS UNIT 1  
Filed March 17, 2004 in Plat Book 2004C, Page 69



VIEW PLANE A

GENERAL NOTES:

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5. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
6. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
7. THERE IS AN EXISTING TRANSIT LINE LOCATED ALONG COORS BLVD.

CONSTRUCTION PHASES:

- PHASE 1 - PARKING/LANDSCAPE/LIGHTING
- PHASE 2 - BUILDINGS/LANDSCAPE/AMENITIES, SIGNAGE

SITE DATA

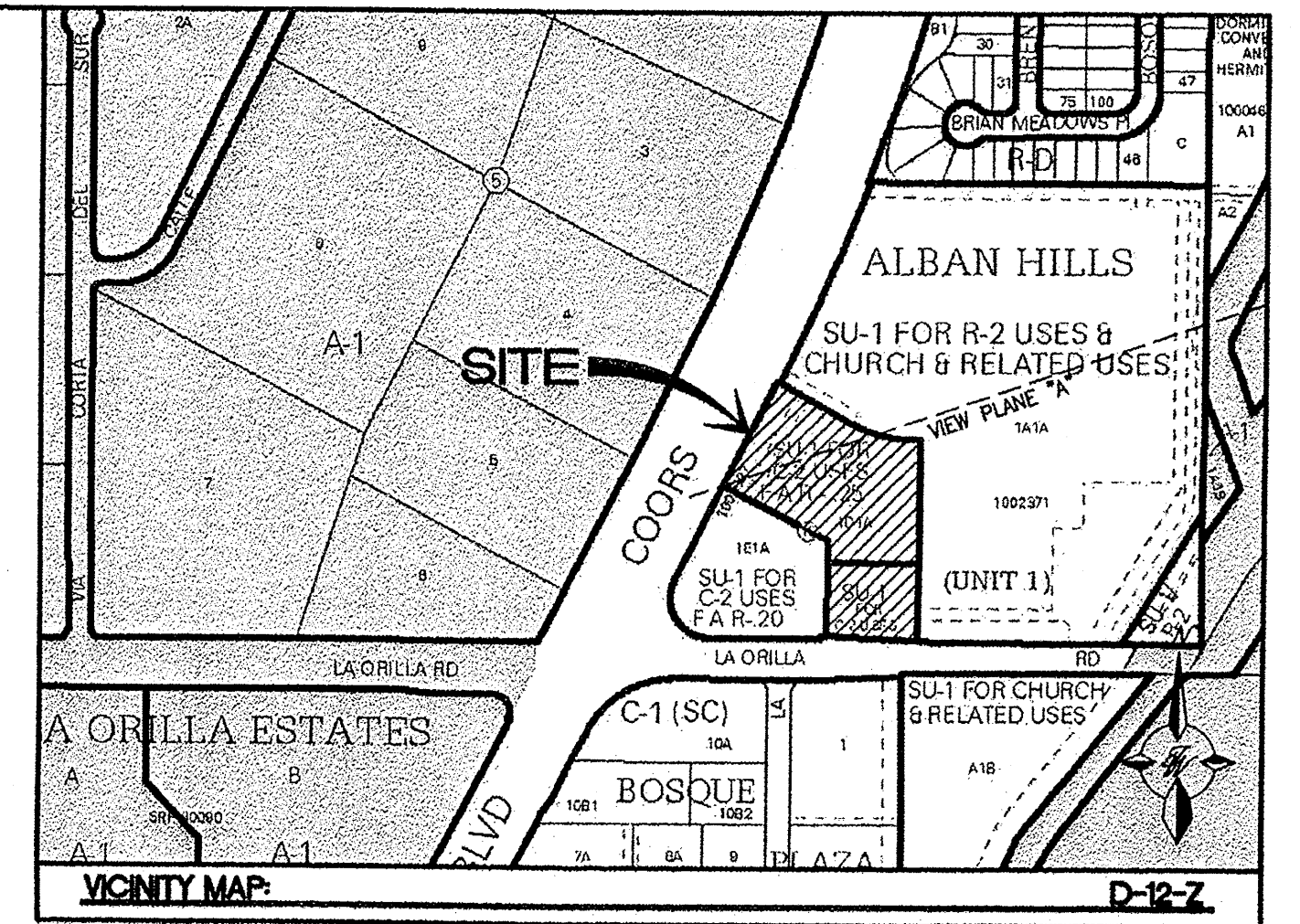
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MC PARKING PROVIDED:	6 SPACES
BICYCLE PARKING REQUIRED:	5 SPACES
BICYCLE PARKING PROVIDED:	15 SPACES

KEYED NOTE:

- (A) STANDARD CURB PER COA STD DWG #2415A
- (B) NOT USED.
- (C) NOT USED.
- (D) ADA RAMP PER COA STD DWG #2426
- (E) 6" CONCRETE SIDEWALK
- (F) EXISTING "EXIT ONLY" SIGN
- (G) HANDICAP PARKING SIGN PER DETAIL SHEET C5
- (H) EXISTING INGRESS/EGRESS TO REMAIN
- (I) MOTORCYCLE PARKING SIGN PER DETAIL SHEET C5
- (J) PEDESTRIAN PATHWAY, WIDTH VARIES (STAMPED CONCRETE)
- (K) NOT USED.
- (L) SITE LIGHTING TO MATCH SAGEBRUSH CHURCH (TRACT 1-A-1)
- (M) 4" WIDE VALLEY GUTTER PER COA STD DWG #2420
- (N) NOT USED.
- (O) REF. GRADING PLAN FOR ASPHALT OVERLAY THIS AREA
- (P) WHEEL BUMPER PER DETAIL THIS SHEET
- (Q) INSTALL 4" CRUSHED AGGREGATE BASE COURSE IN FUTURE BUILDING PAD AREAS

INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. GRADING AND DRAINAGE PLAN
- C3. MASTER UTILITY PLAN
- C4. DETAIL SHEET
- L1. LANDSCAPING PLAN
- ELEV1. BUILDING ELEVATIONS



LEGAL DESCRIPTION:

TRACT 1-D-1-A, BLOCK 15, ALBAN HILLS UNIT 1

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
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- BUILDING
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- SITE LIGHTS

**PROJECT NUMBER: 1003597**  
**APPLICATION NUMBER: 10123**

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

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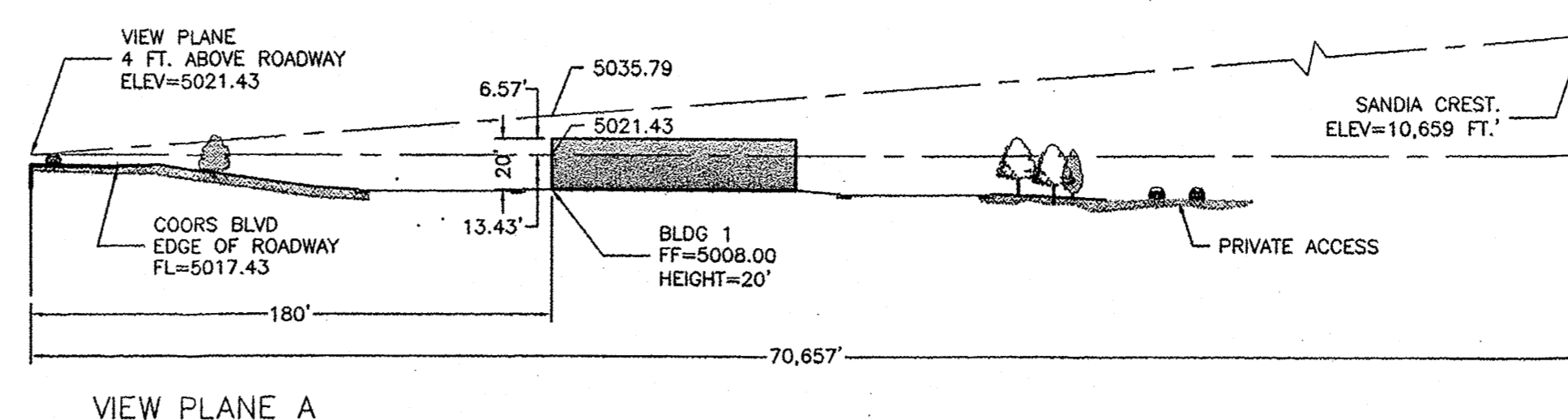
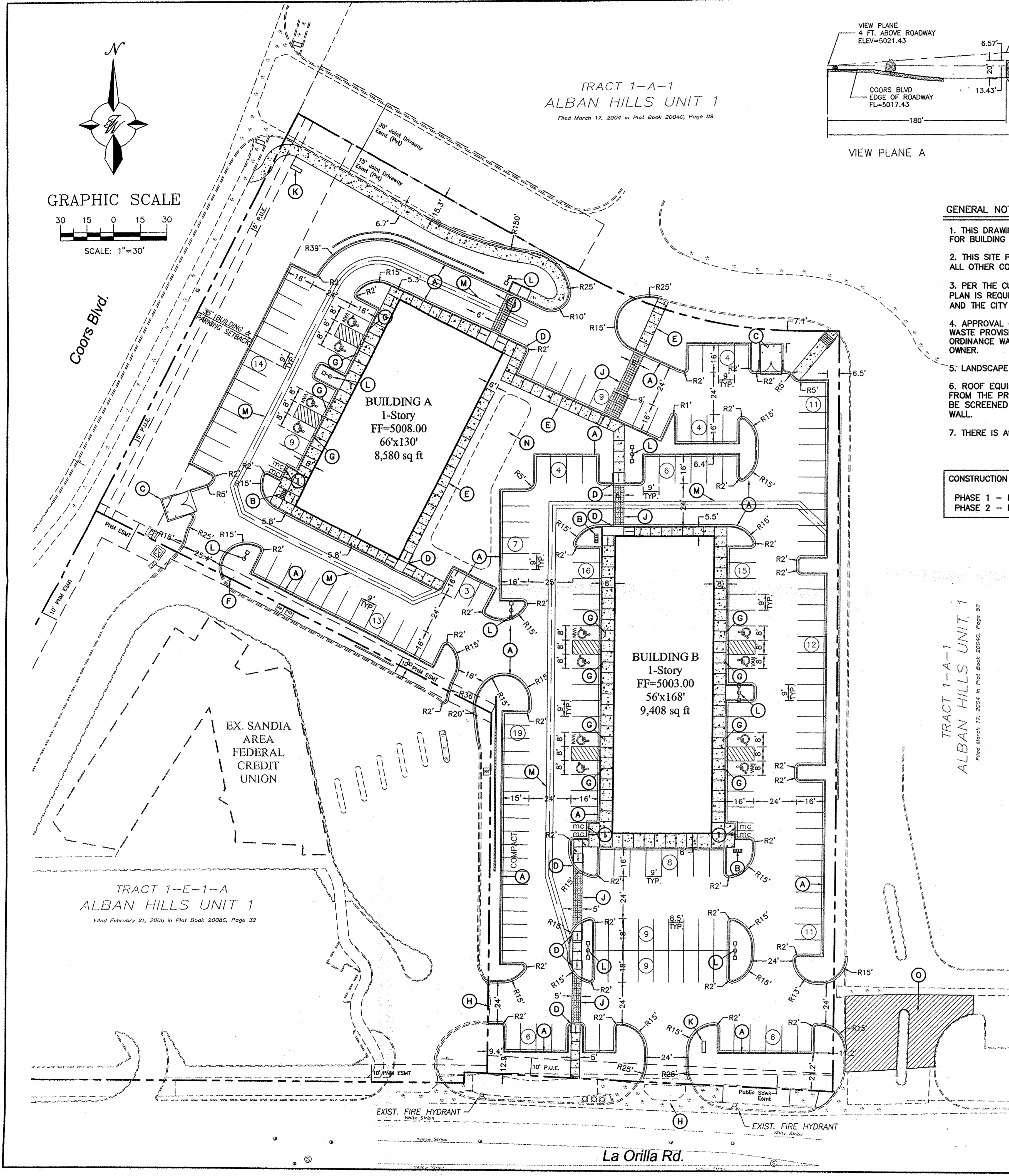
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

\_\_\_\_\_  
 Planning Director or His/Her Designee  
 Date: 11/14/12

\_\_\_\_\_  
 City Engineer  
 Date: 11/14/12

	<b>SAGEBRUSH PLAZA</b> COORS BLVD & LA ORILLA RD <b>PHASE 1 - SITE PLAN</b> <b>FOR BUILDING PERMIT</b>	DRAWN BY JW DATE 11/09/12 2011058-SPE-CD
	SHEET # <b>C1a</b> JOB # 2011058	

**TERRA WEST, LLC**  
 5571 MIDWAY PARK PLACE NE  
 ALBUQUERQUE, NM 87109  
 (505) 858-3100  
 www.tierawestllc.com



TRACT 1-A-1  
ALBAN HILLS UNIT 1  
Filed March 17, 2004 in Plot Book 2004C, Page 89

**GENERAL NOTES:**

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**CONSTRUCTION PHASES:**  
 PHASE 1 - PARKING/LANDSCAPE/LIGHTING  
 PHASE 2 - BUILDINGS/LANDSCAPE/AMENITIES, SIGNAGE

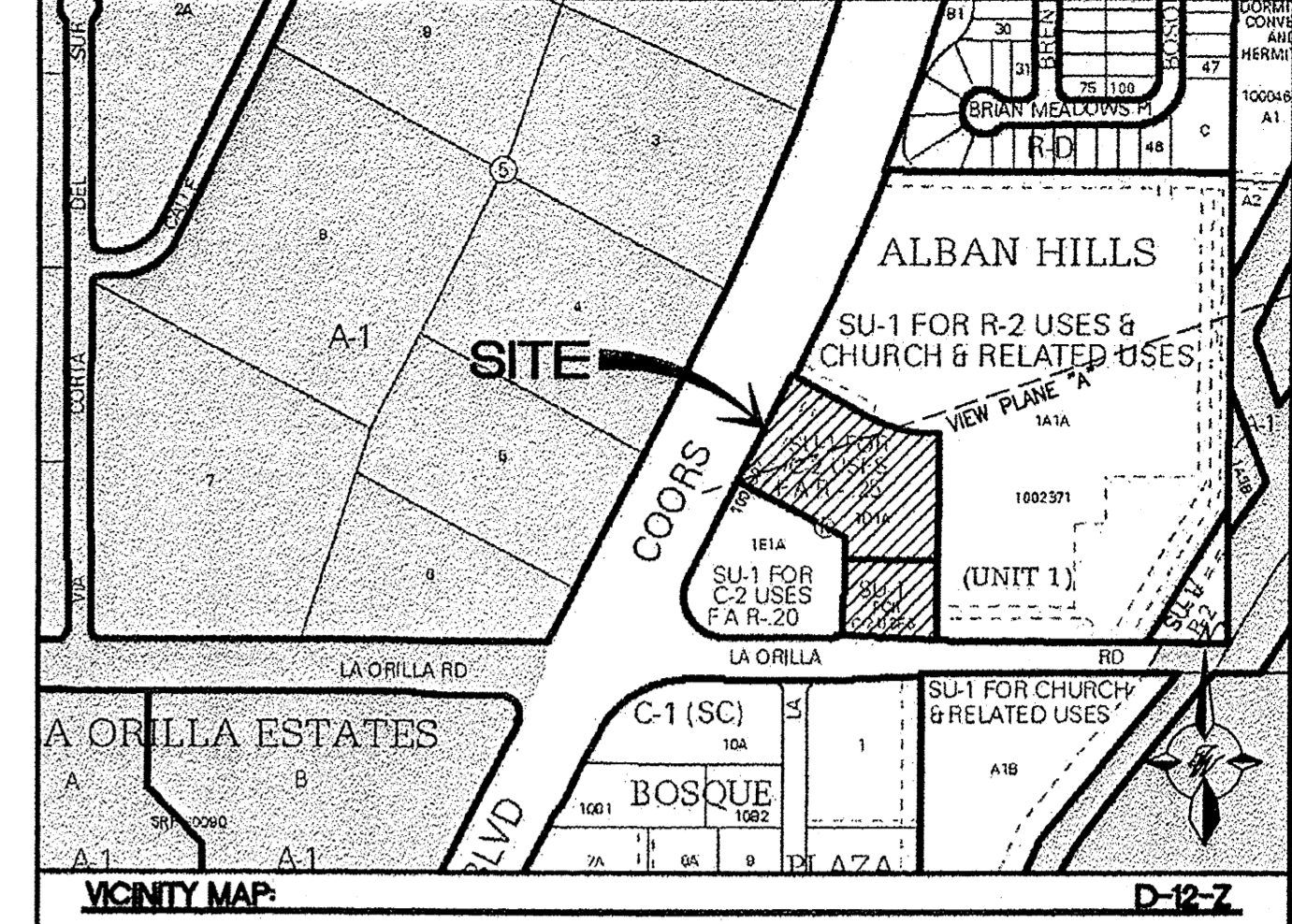
**SITE DATA**

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**INDEX TO DRAWINGS**  
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 C2. GRADING AND DRAINAGE PLAN  
 C3. MASTER UTILITY PLAN  
 C4. DETAIL SHEET  
 L1. LANDSCAPING PLAN  
 ELEV1. BUILDING ELEVATIONS



**LEGAL DESCRIPTION:**  
 TRACT 1-D-1-A, BLOCK 15, ALBAN HILLS UNIT 1

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- ☀ SITE LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- ☀ SITE LIGHTS

**PROJECT NUMBER:** 1003597  
**APPLICATION NUMBER:** 10123

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

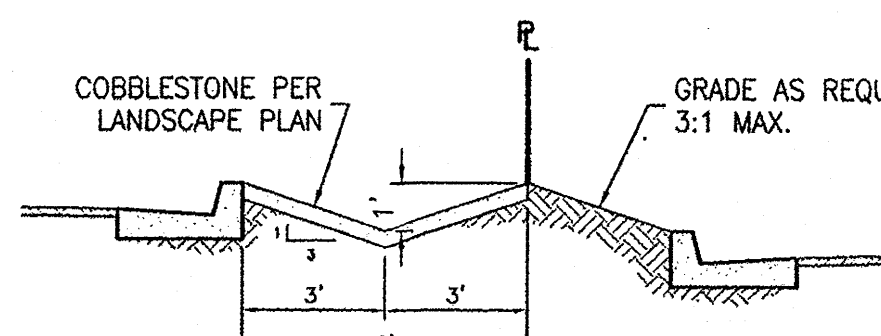
Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**  
 Planning Director or His/Her Designee: \_\_\_\_\_ Date: 11/15/12  
 City Engineer: \_\_\_\_\_ Date: 11/15/12

ENGINEER'S SEAL 	<b>SAGEBRUSH PLAZA</b> COORS BLVD & LA ORILLA RD	DRAWN BY JW
	<b>PHASE 2 - SITE PLAN</b> FOR BUILDING PERMIT	DATE 10/31/12
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2011058-SPE
		SHEET # <b>C1b</b>
		JOB # 2011058

TRACT 1-A-1  
ALBAN HILLS UNIT 1

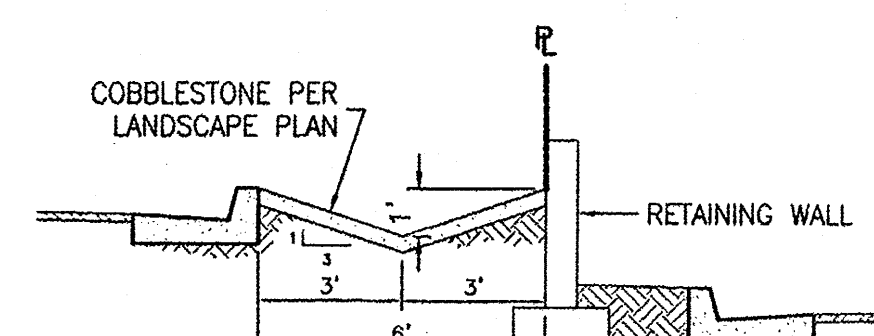
Filed March 17, 2004 in Plat Book 2004C, Page 89



SECTION A-A  
NTS

Drainage Calculations:  
Known: S=0.90%  
A=3.0 SF  
Wp=6.32'  
R=0.47  
n=0.025  
Q100=8.48 cfs

Calculated:  
Qcalc = A(1.486/n)\*(R^0.67)\*(S^0.5)  
Qcalc = 3.0(1.486/0.025)\*(0.47^0.67)\*(0.009^0.5)  
Qcalc = 10.20 cfs



SECTION B-B  
NTS

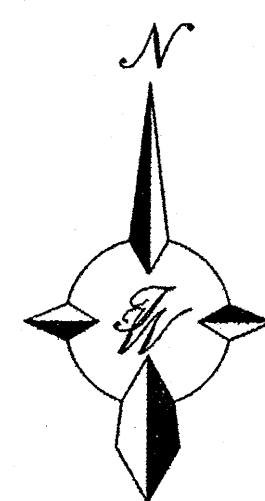
Drainage Calculations:  
Known: S=0.90%  
A=3.0 SF  
Wp=6.32'  
R=0.47  
n=0.025  
Q100=8.48 cfs

Calculated:  
Qcalc = A(1.486/n)\*(R^0.67)\*(S^0.5)  
Qcalc = 3.0(1.486/0.025)\*(0.47^0.67)\*(0.009^0.5)  
Qcalc = 10.20 cfs

**CAUTION:**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- SIDEWALK
- RETAINING WALL
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x SPOT ELEVATION
- TW=5005.23  
BW=5003.84 GRADE ELEVATION @ TOP OF WALL  
GRADE ELEVATION @ BOTTOM OF WALL
- FLOW ARROW
- - - EXISTING CURB & GUTTER
- - - EXISTING CONTOUR MAJOR
- - - EXISTING CONTOUR MINOR
- CONCRETE PEDESTRIAN CROSSING (2% MAX. CROSS SLOPE)



GRAPHIC SCALE



SCALE: 1"=30'

DRAINAGE MANAGEMENT PLAN

**INTRODUCTION**  
The purpose of this submittal is to provide the drainage management plan for the approval of the Building Permit and the Site Development Plan for Building Permit. The site plan for the property reflects two new retail buildings and associated paving and landscaped areas. The site is located at the northeast corner of Coors Blvd and La Orilla Rd. The site contains approximately 3.08 acres.

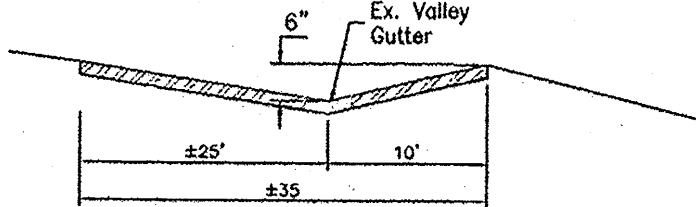
**EXISTING HYDROLOGIC CONDITIONS**  
Currently, this site is undeveloped and generally slopes from northwest to southeast. The site is bounded by Sagebrush Church to the north and east, Sandia Area Federal Credit Union to the southwest, Coors Blvd to the west, and La Orilla Rd to the south. Per the approved Drainage Report for Hoffmann West Church (now Sagebrush Church) by Tierra West dated 12/28/05, all drainage from this development and the Sandia Area Federal Credit Union surface drain to a pond provided by the church via a concrete swale in the church parking lot and La Orilla Rd. Currently, the total 100-Yr, 6-Hr discharge from the site and a portion of the Credit Union (Basin 1) is 9.62 cfs, per the calculations shown on this sheet. Basin 2 is a small area that drains directly to La Orilla Rd and consists of 0.17 cfs.

**PROPOSED HYDROLOGIC CONDITIONS**  
Per the calculations on this sheet, the total 100-Yr, 6-Hr discharge from the site and a portion of the Credit Union is 14.35 cfs. As stated above, the approved drainage management plan for Hoffmann West Church (now Sagebrush Church) to our east accepts our fully developed flows across their parking lot and via La Orilla Rd. The drainage then drains into a water inlet/pond and ultimately connects to the Corrales Main Canal.

**CONCLUSION**  
This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 Yr, 6-Hr storm and which meet City requirements. With this submittal, we are requesting drainage management plan approval for the Building Permit and the Site Development Plan for Building Permit.

TRACT 1-A-1  
ALBAN HILLS UNIT 1  
Filed March 17, 2004 in Plat Book 2004C, Page 89

Create new 6" High Water Break with Asphalt Overlay. Transition Grades to Match Existing. Scarify and Remove 1" Existing Asphalt, Place Tack Coat, and Place Asphalt in 3" Max Lifts.



SECTION C-C  
NTS

Drainage Calculations:  
Known: S=1.0%  
A=8.75 SF  
Wp=35.61'  
R=0.25  
n=0.015  
Q100=14.35 cfs

Calculated:  
Qcalc = A(1.486/n)\*(R^0.67)\*(S^0.5)  
Qcalc = 8.75(1.486/0.015)\*(0.25^0.67)\*(0.01^0.5)  
Qcalc = 34.4 cfs

ROUGH GRADING APPROVAL

LEGAL DESCRIPTION

TRACTS B-2 AND B-3 HUBBELL HEIGHTS

NOTES:

- GRADES ON CURB LINE ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

Existing Sagebrush Plaza Drainage Calculations

This table is based on the COA DPM Section 22.2, Zone 1

BASIN	Area (SQ FT)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/sec)	Q(100) (CFS)	WTE (inches)	V(100)360 (CF)	V(100)440 (CF)	V(100)500 (CF)
			A	B	C	D						
Basin 1*	160170	3.68	0.0%	75.0%	0.0%	25.0%	2.62	9.62	7.00	13281	16084	34637
Basin 2*	3671	0.08	0.0%	100.0%	0.0%	0.0%	2.03	0.17	0.67	205	205	694
TOTAL	163841	3.76						9.79		13486	16289	35331

Proposed Sagebrush Plaza Drainage Calculations

This table is based on the COA DPM Section 22.2, Zone 1

Ultimate Development Conditions Basin Data Table

BASIN	Area (SQ FT)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/sec)	Q(100) (CFS)	WTE (inches)	V(100)360 (CF)	V(100)440 (CF)	V(100)500 (CF)
			A	B	C	D						
Basin 1*	160170	3.68	0.0%	20.0%	0.0%	80.0%	3.90	14.35	1.71	22824	37794	44180
Basin 2*	3671	0.08	0.0%	100.0%	0.0%	0.0%	2.03	0.17	0.67	205	205	694
TOTAL	163841	3.76						14.52		23029	37999	44874

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

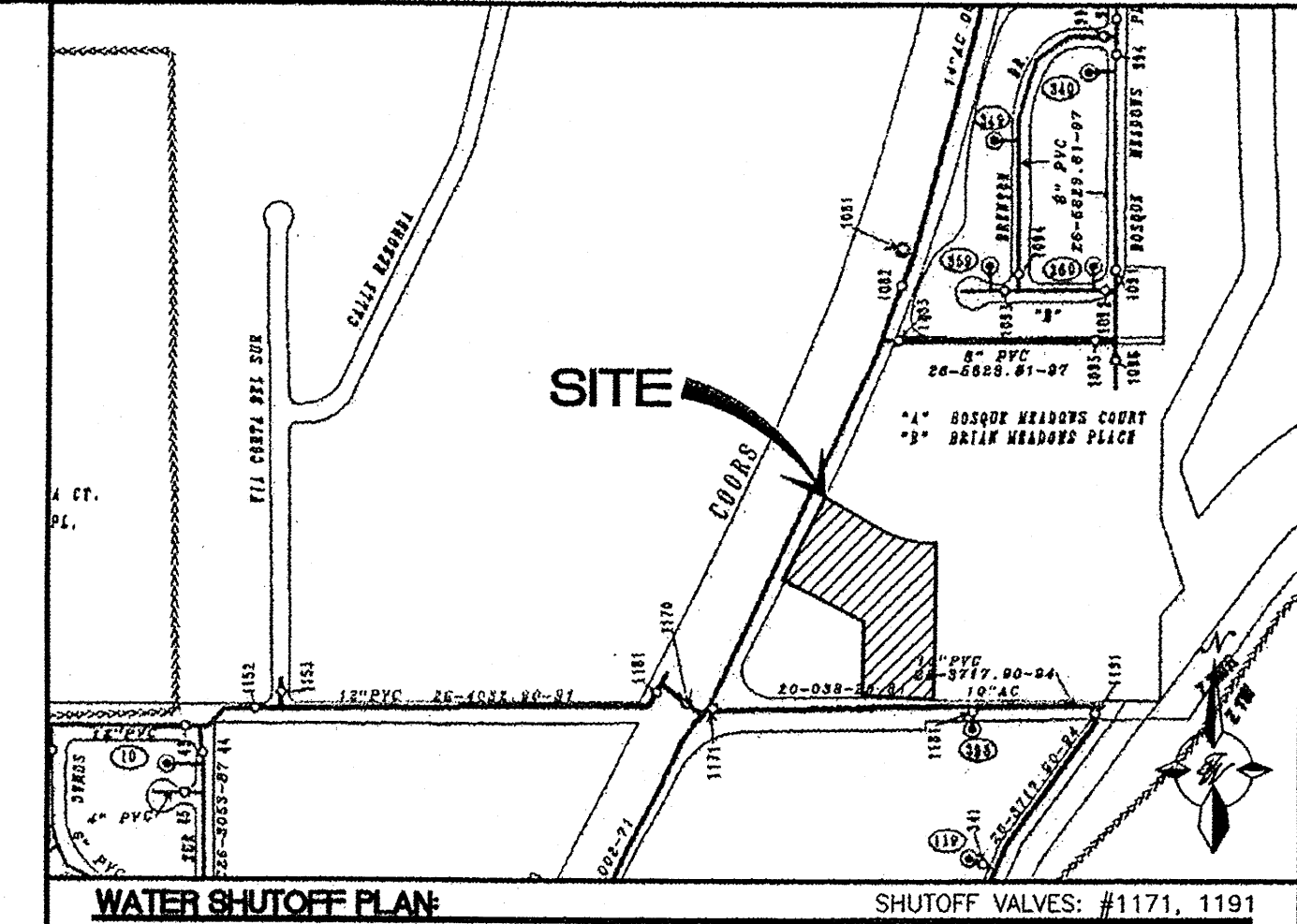
	<b>SAGEBRUSH PLAZA</b> COORS BLVD & LA ORILLA RD <b>GRADING AND DRAINAGE PLAN</b>	DRAWN BY JW
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	DATE 11/01/12
SHEET # <b>C2</b>		JOB # 2011058

RONALD R. BOHANNAN  
P.E. #7868

DRAWN BY  
JW  
DATE  
11/01/12  
2011058-GRE  
SHEET #  
**C2**  
JOB #  
2011058

TRACT 1-A-1  
ALBAN HILLS UNIT 1  
Filed March 17, 2004 in Plat Book 2004D, Page 69

**CAUTION:**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



**LEGEND**

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▨ SIDEWALK
- ▩ SCREEN WALL
- ▧ RETAINING WALL
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 0" WL — WATERLINE
- SINGLE CLEAN OUT
- ⊙ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- - - EXISTING OVERHEAD UTILITIES
- - - EX. UOE — EXISTING UNDERGROUND UTILITIES
- - - EX. 2" GAS — EXISTING GAS
- - - EX. 8" SAS — EXISTING SANITARY SEWER LINE
- - - EX. 10" WL — EXISTING WATER LINE
- - - EX. 18" RCP — EXISTING STORM SEWER LINE

**NOTES:**

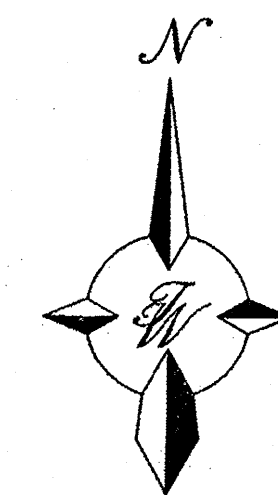
- ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).
- APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
- SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN.

**GENERAL NOTES:**

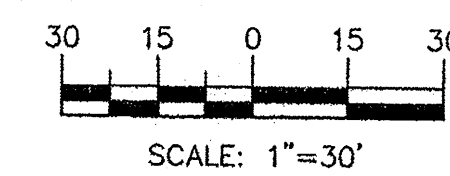
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
- ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
- SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

**NOTICE TO CONTRACTORS**

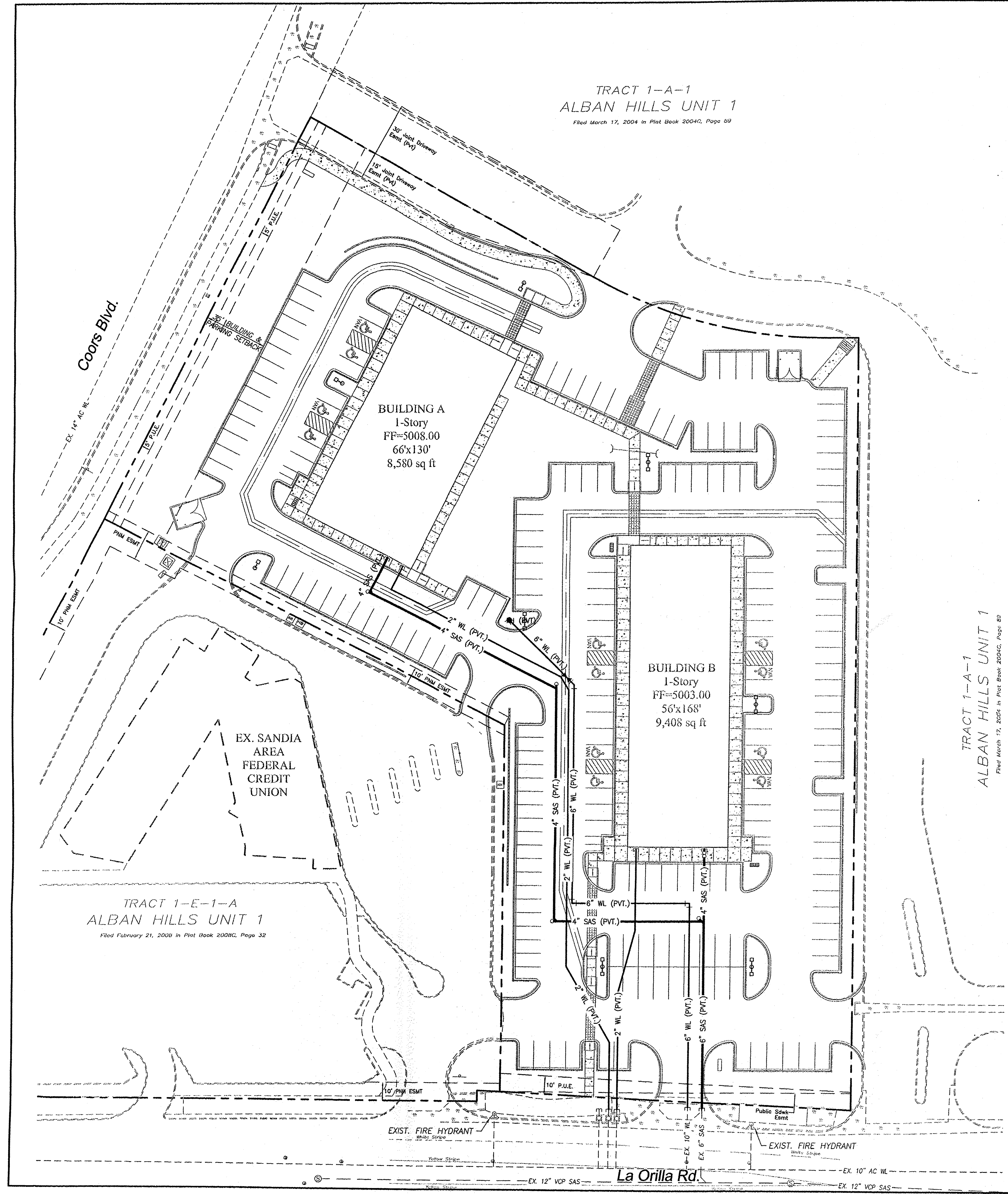
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

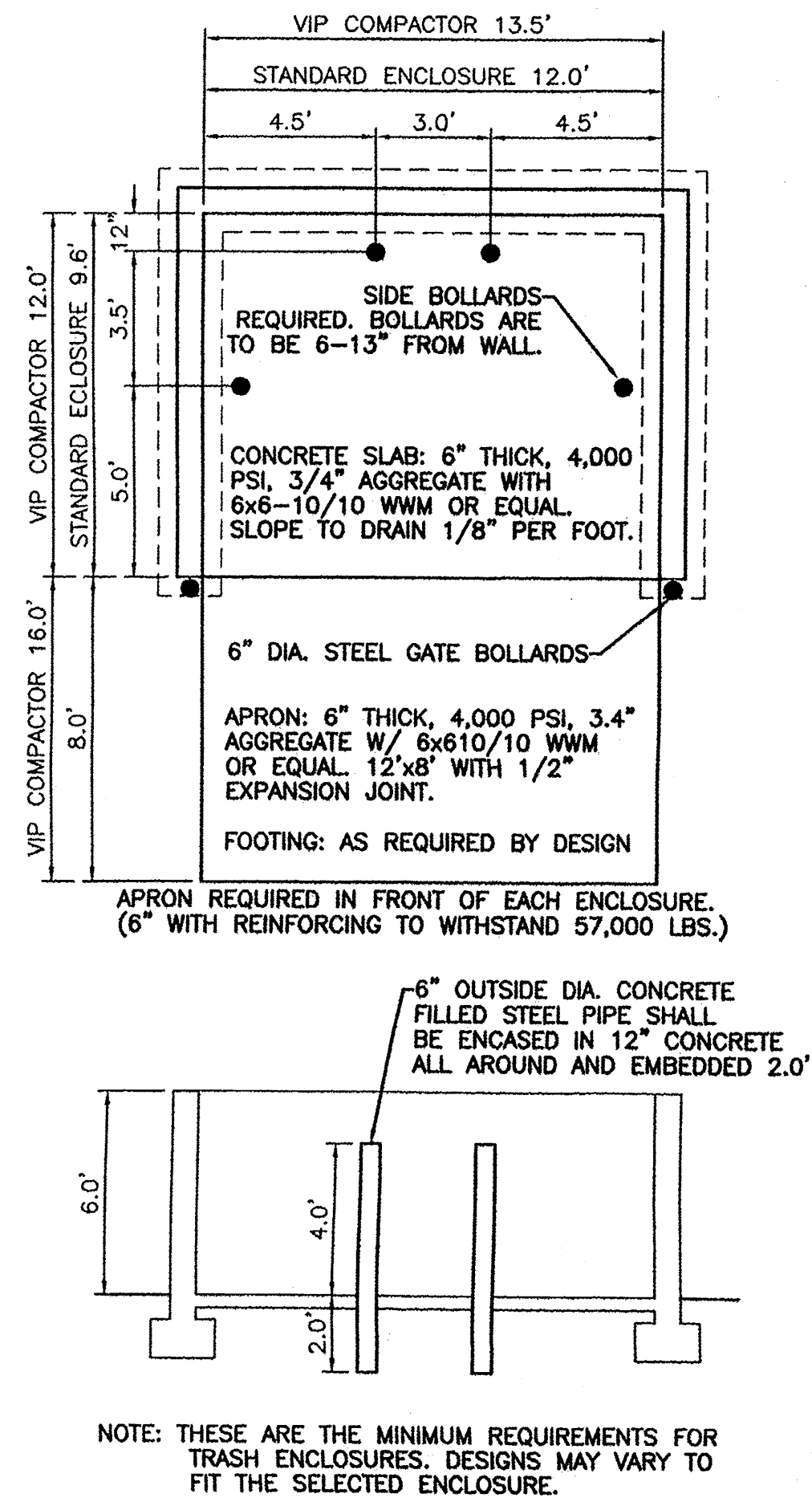


GRAPHIC SCALE

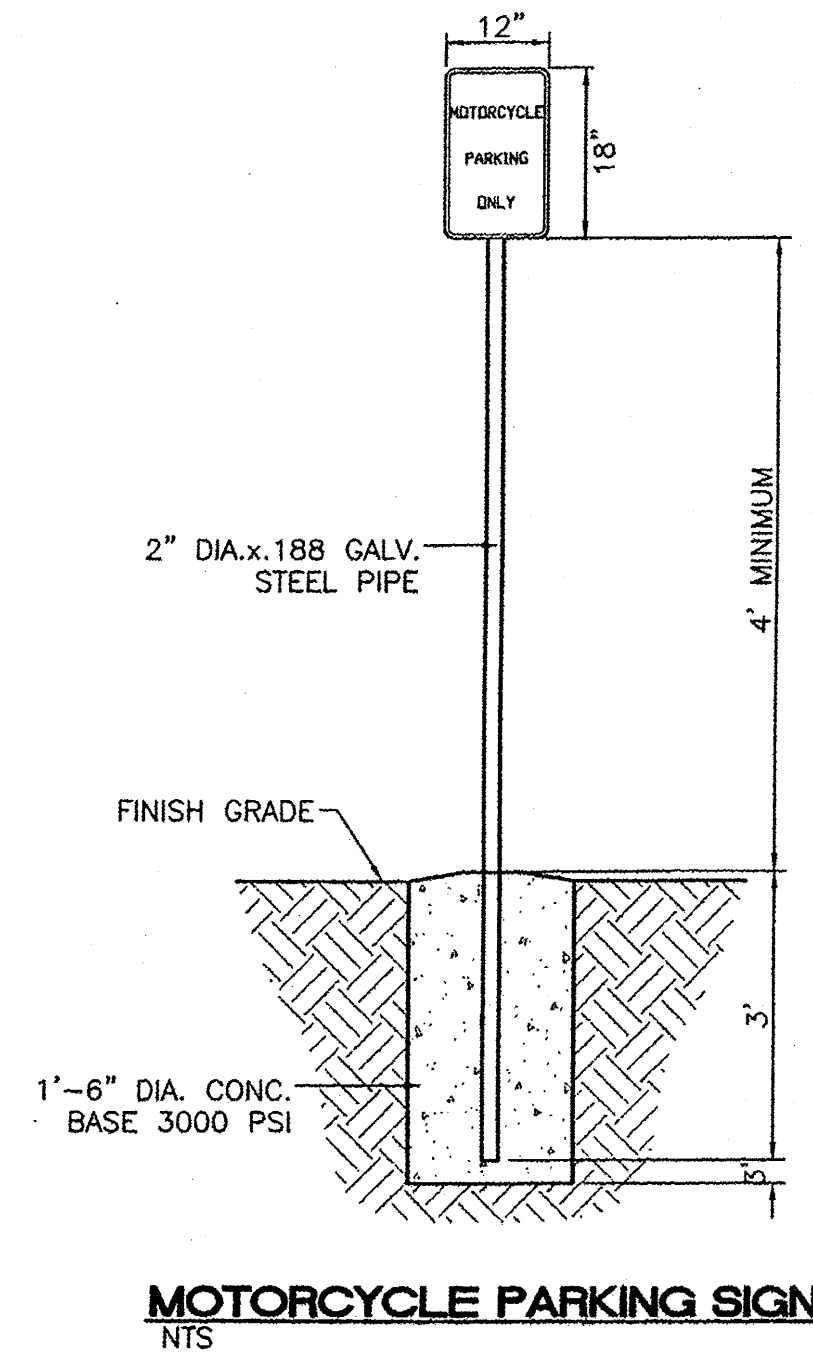


ENGINEER'S SEAL	<b>SAGEBRUSH PLAZA</b> COORS BLVD & LA ORILLA RD	DRAWN BY JW
		DATE 10/03/12
	<b>MASTER UTILITY PLAN</b>	2011058-MUE
		SHEET # <b>C3</b>
RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2011058

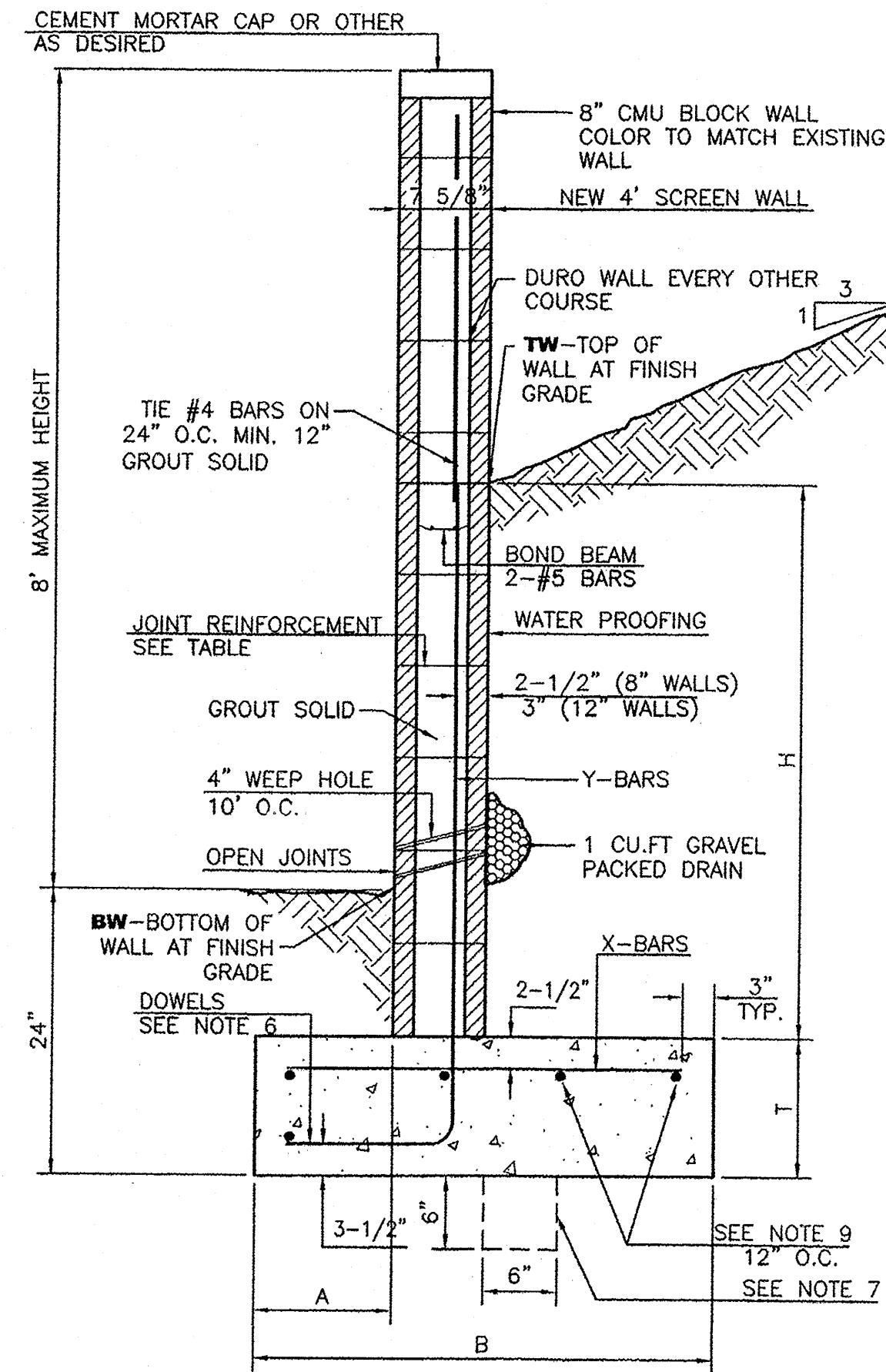




**DUMPSTER ENCLOSURE DETAIL**  
NTS



**MOTORCYCLE PARKING SIGN**  
NTS



**RETAINING WALL DETAIL**  
NTS

**8 INCH REINFORCED CONCRETE MASONRY WALL**

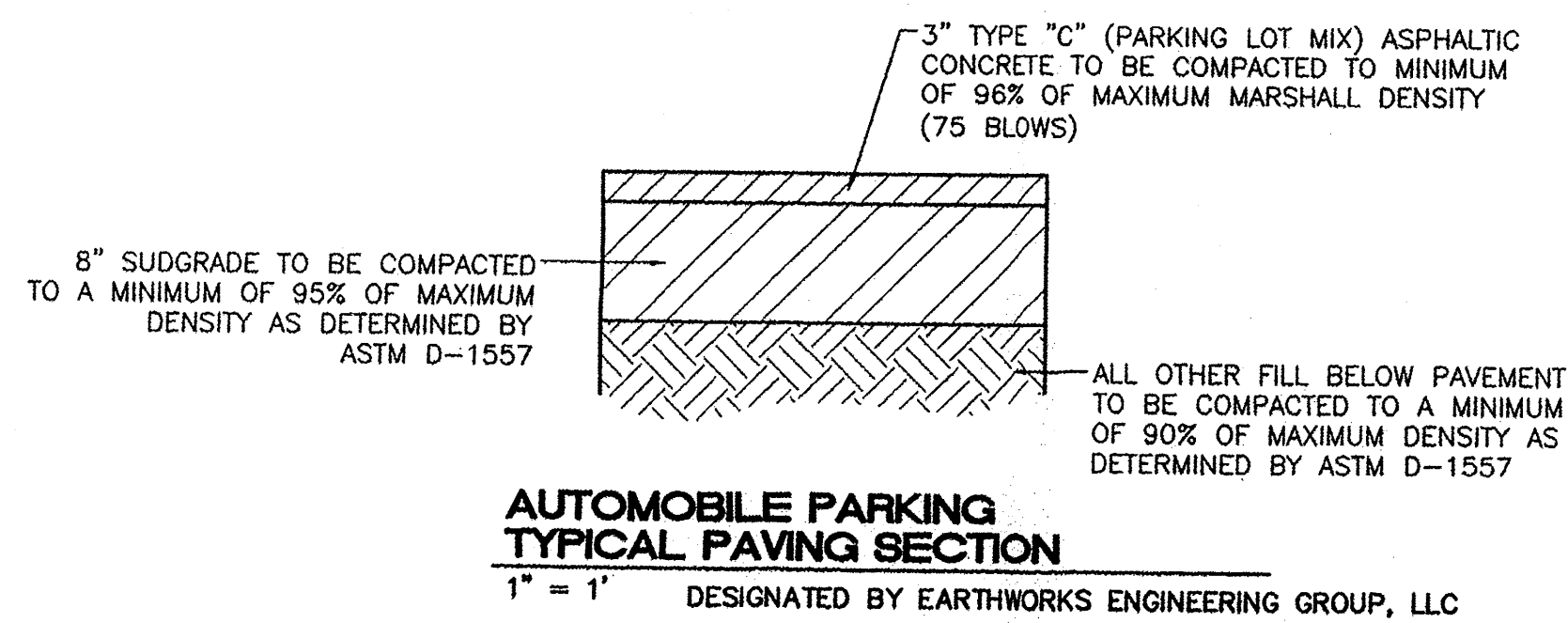
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

**12 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

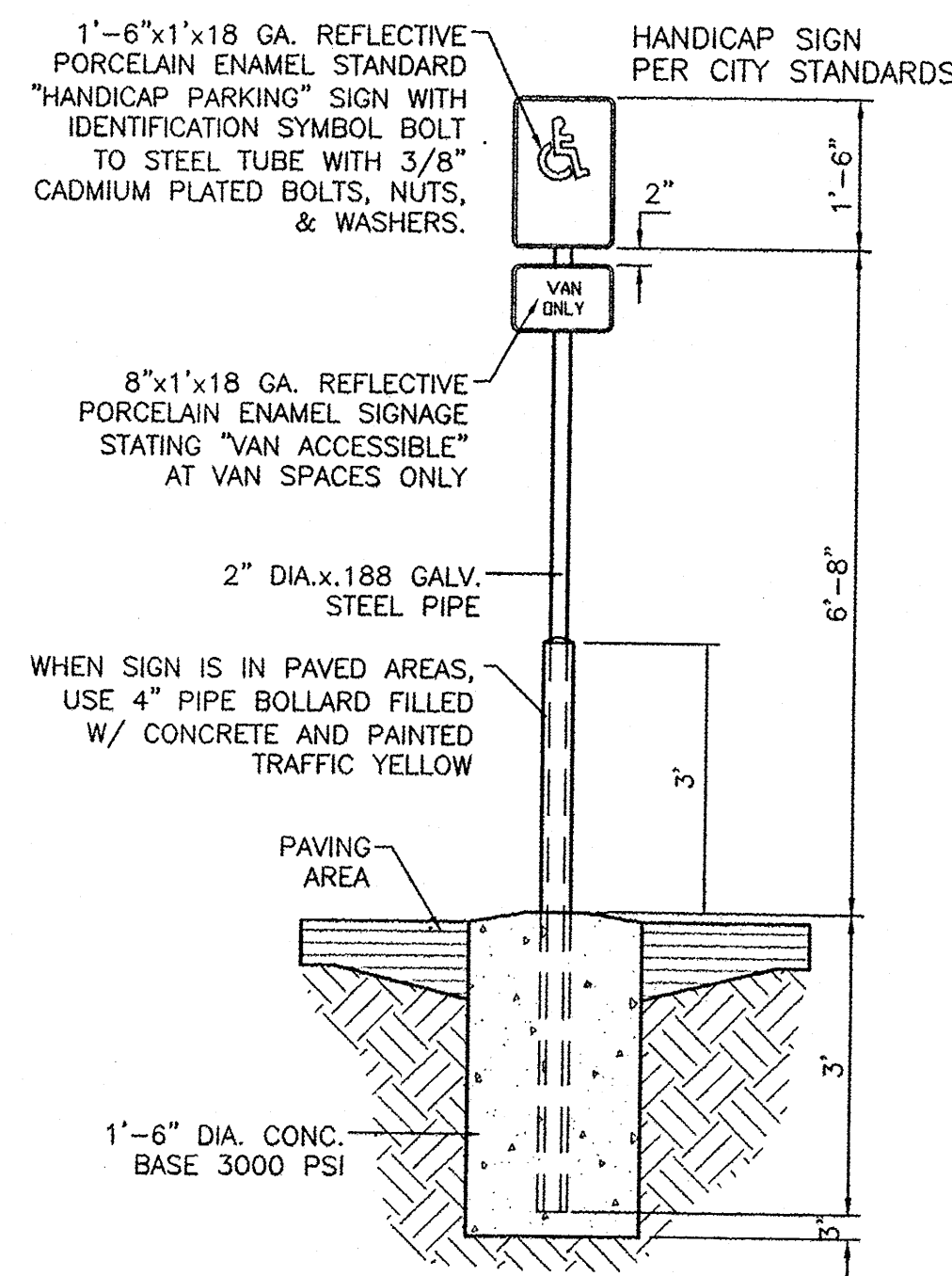
**GENERAL NOTES:**

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DURO-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

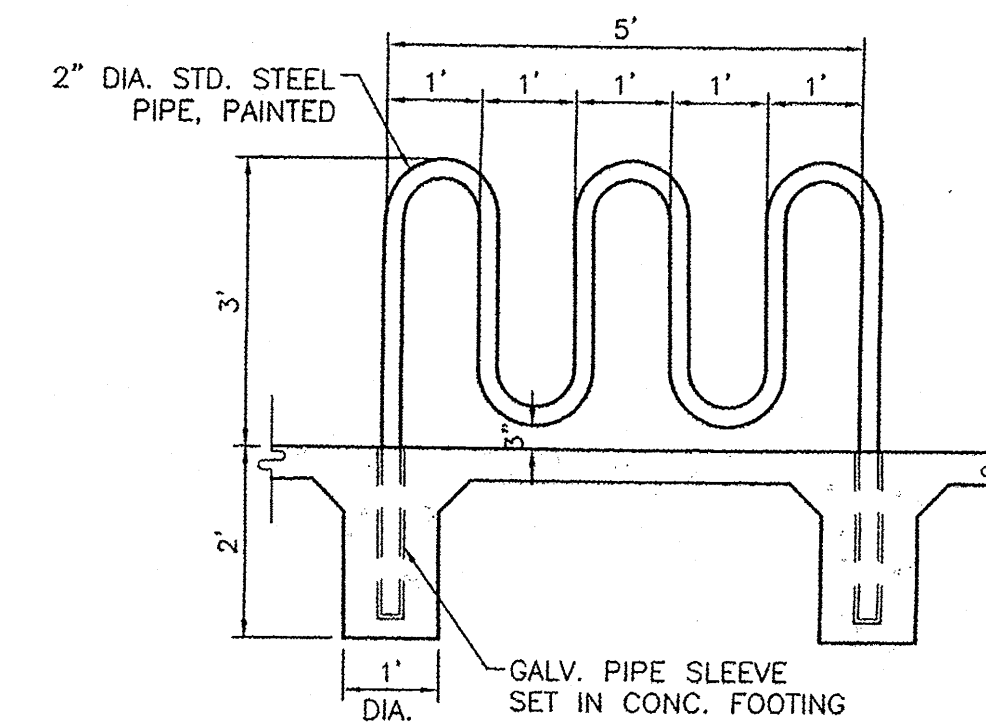


**AUTOMOBILE PARKING TYPICAL PAVING SECTION**

1" = 1' DESIGNATED BY EARTHWORKS ENGINEERING GROUP, LLC

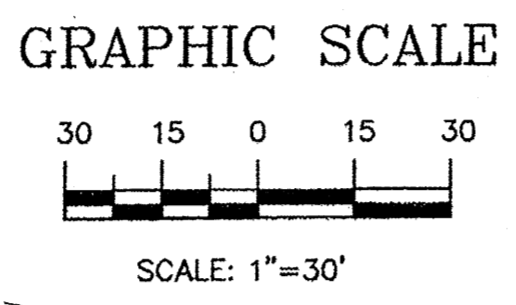
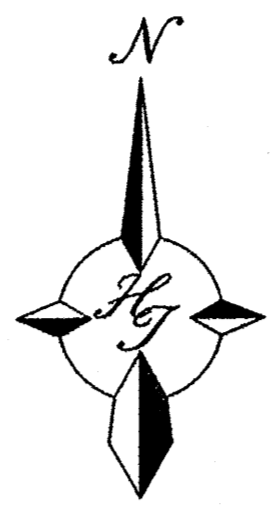


**HANDICAP SIGN**  
NTS



**BIKE RACK DETAIL**  
SCALE: 1/2"=1'

ENGINEER'S SEAL	<b>SAGEBRUSH PLAZA</b> COORS BLVD & LA ORILLA RD	DRAWN BY JW
	<b>DETAILS</b>	DATE 10/08/12
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2011058-DET
		SHEET # <b>C4</b>
		JOB # 2011058



**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type 0 plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

**SHADE TREES**

- AUTUMN PURPLE ASH 8  
Fraxinus americana  
2" Cal., 12-14" Inst./60' x 60' maturity  
Water (M) Allergy (H) 0sf
- CHITALPA 20  
Chilopsis x Catalpa  
2" Cal., 12-14" Inst./30' x 30' maturity  
Water (M) Allergy (L) 0sf
- EASTERN REDBUD 6  
Cercis canadensis  
2" Cal., 8-10" Inst./30' x 30' maturity  
Water (M) Allergy (L) 0sf
- AUSTRIAN PINE 4  
Pinus nigra  
6-8" Inst., 35' x 25' maturity  
Water (M) Allergy (L) 0sf

**SHRUBS/ORNAMENTAL TREES**

- DESERT WILLOW 13  
Chilopsis linearis  
1.5 Gal., 4-10" Inst./20' x 25'  
Water (L+) Allergy (L) 225sf
- NEW MEXICO OLIVE 8  
Forsythia roemeriana  
1.5 Gal., 4-10" Inst./15' x 15'  
Water (M) Allergy (L) 225sf
- DESERT ACCENTS**
- OCOTILLO 1  
Fouquieria splendens  
4-5" Inst./15' x 10' maturity  
Water (L) Allergy (L) 0sf
- AGAVE 4  
Agave spp.  
14-18" Inst./4' x 4' maturity  
Water (L+) Allergy (L) 16sf
- RED YUCCA 50  
Hesperaloe parviflora  
5 Gal., 18-3" Inst./3' x 4' maturity  
Water (L+) Allergy (L) 16sf

**GROUNDCOVERS**

- HONEYSUCKLE 109  
Lonicera japonica 'Halliana'  
1 Gal., 6-15" Inst./3' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unstaked-Groundcover
- GREYLEAF COTONEASTER 77  
Cotoneaster glaucophyllus  
5 Gal., 24-4" Inst./2' x 9' maturity  
Water (M) Allergy (L) 81sf

**HARDSCAPES**

- SANTA FE BROWN GRAVEL MULCH WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

**SHRUBS/ORNAMENTAL GRASSES**

- BUTTERFLY BUSH 3  
Buddleia davidii  
5 Gal., 12-3" Inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf
- PHOTINIA 28  
Photinia fraseri  
5 Gal., 2-4" Inst./8' x 8' maturity  
Water (M+) Allergy (L) 64sf
- INDIAN HAWTHORN 6  
Raphiolepis indica  
5 Gal., 18-3" Inst./6' x 6' maturity  
Water (M) Allergy (L) 36sf
- NANDINA 4  
Nandina domestica  
5 Gal., 18-3" Inst./5' x 5' maturity  
Water (M+) Allergy (L) 25sf
- MAIDENGRASS 61  
Miscanthus sinensis  
5 Gal., 18-3" Inst./5' x 5' maturity  
Water (M+) Allergy (L) 25sf
- SCOTCH BROOM 12  
Cytisus scoparius  
5 Gal., 18-3" Inst./4' x 4' maturity  
Water (M) Allergy (L) 16sf
- POTENTILLA 15  
Potentilla fruticosa  
1 Gal., 3-15" Inst./3' x 3' maturity  
Water (M+) Allergy (L) 9sf
- MUGO PINE 18  
Pinus mugo  
5 Gal., 12-3" Inst./3' x 3' maturity  
Water (M) Allergy (L) 9sf
- REGAL MIST 46  
Muhlenbergia capillaris  
5 Gal., 12-3" Inst./3' x 3' maturity  
Water (M) Allergy (L) 9sf
- THREADGRASS 27  
Stipa tenuissima  
1 Gal., 3-15" Inst./2' x 2' maturity  
Water (L+) Allergy (L) 4sf
- CATMINT 28  
Nepeta mussini  
1 Gal., 3-15" Inst./1' x 2' maturity  
Water (M) Allergy (L) 4sf
- VINES**
- BANK'S ROSE 14  
Rosa banksiae  
1 Gal., 6-15" Inst./climbing to 20'  
Water (M) Allergy (L)

\* DENOTES EVERGREEN PLANT MATERIAL

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.  
Brown Gravel Mulch over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

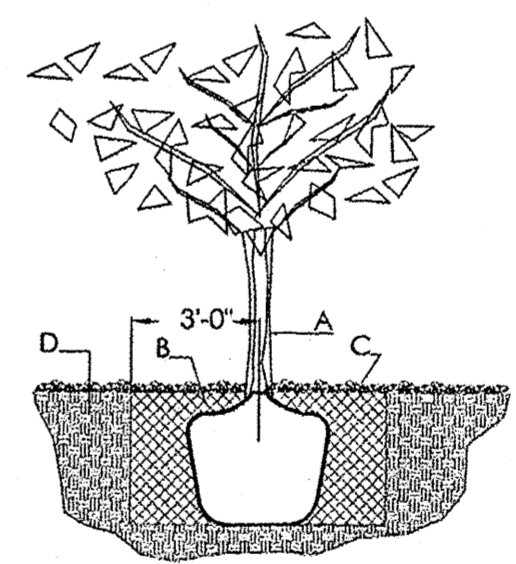
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

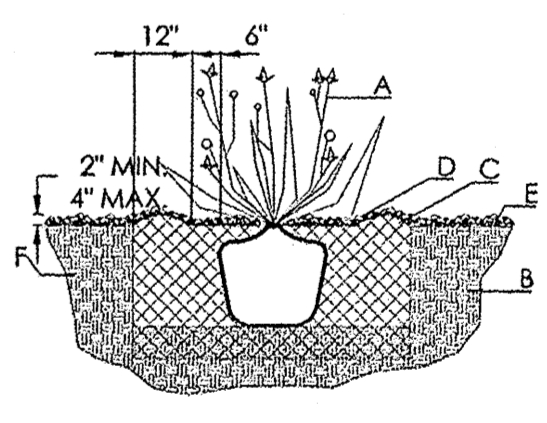
**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	133624	square feet
TOTAL BUILDINGS AREA	18408	square feet
NET LOT AREA	115216	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	17282	square feet
TOTAL BED PROVIDED	32786	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	24589	square feet
TOTAL GROUND COVER PROVIDED	31014 (94%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	32786	square feet



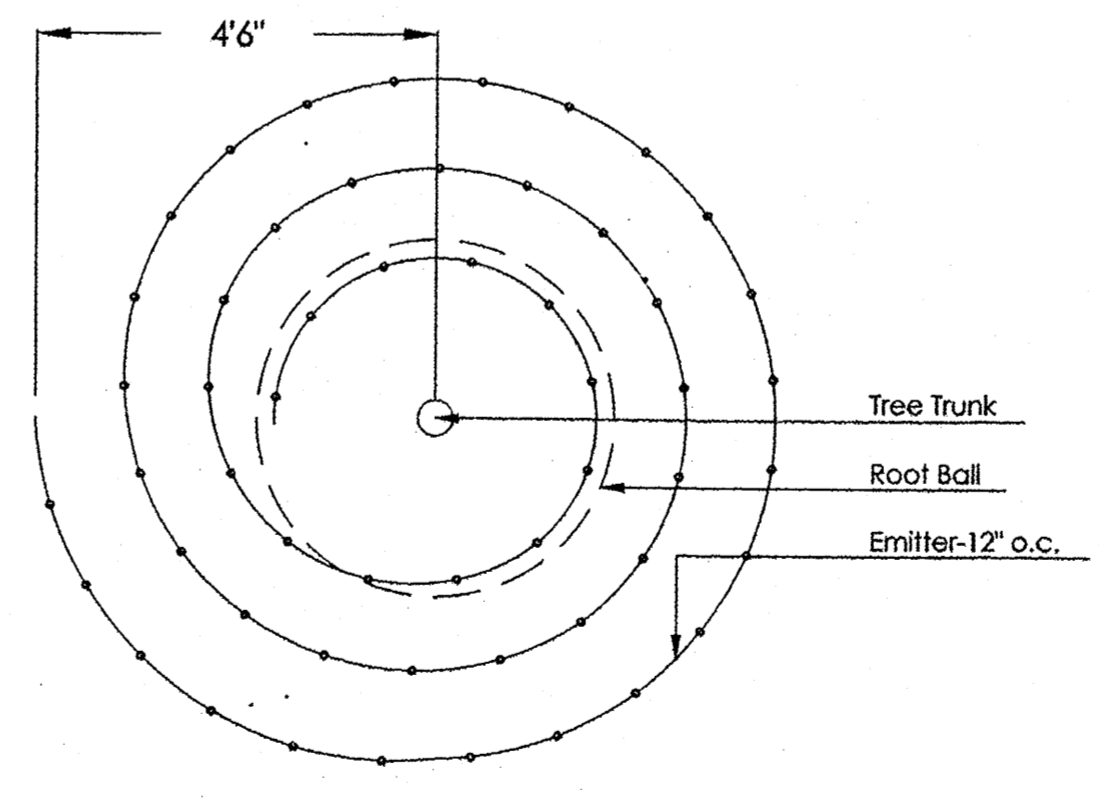
**TREE PLANTING DETAIL**

- GENERAL NOTES:**
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- A. TREE
  - B. BACKFILL WITH EXISTING SOIL.
  - C. 3" DEPTH OF GRAVEL MULCH.
  - D. UNDISTURBED SOIL.

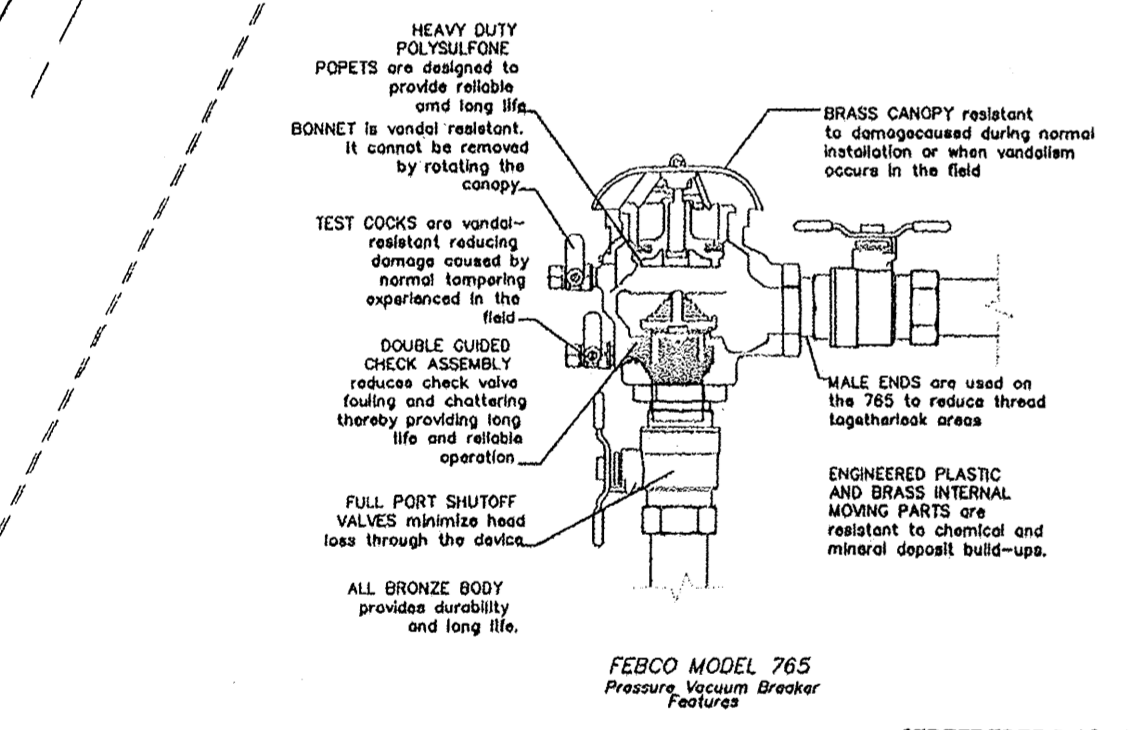


**SHRUB PLANTING DETAIL**

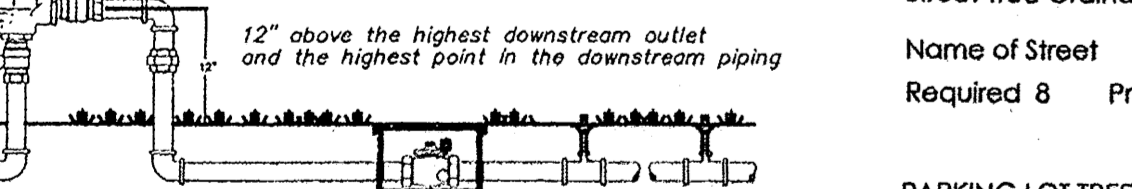
- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- A. SHRUB.
  - B. BACKFILL WITH EXISTING SOIL.
  - C. EARTH BERM AROUND WATER RETENTION BASIN.
  - D. 3" DEPTH OF GRAVEL MULCH.
  - E. FINISH GRADE.
  - F. UNDISTURBED SOIL.



**Netafim Spiral Detail**



FEBCO MODEL 765 Pressure Vacuum Breaker Features



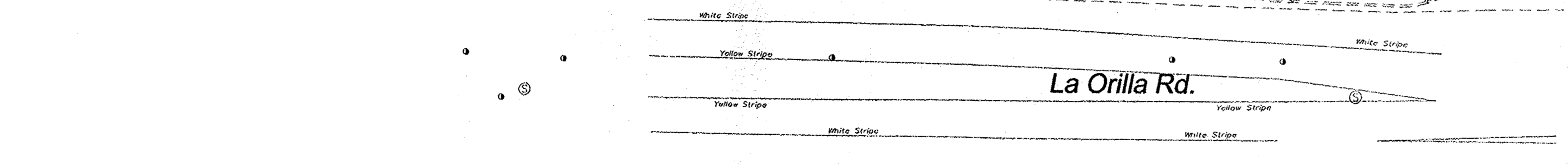
FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation

**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:  
Name of Street  
Required 8 Provided 8

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:  
1 Shade tree per 10 spaces  
Required 20 Provided 20



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com  
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed. All plants shall be sized per American Standard for Nursery Stock.

	<p><b>SAGEBRUSH CHURCH</b></p> <p><b>LANDSCAPE PLAN</b></p>	<p>DRAWN BY CMJ</p> <p>DATE 8-28-12</p> <p>REV: 2/11-1-12</p>
	<p><b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>SHEET # <b>L1</b></p> <p>JOB #</p>