

DOCH 2007134042  
 09/19/2007 02:17 PM Page 1 of 8  
 PLAT R 342 00 8 2007C P 0269 M Toulouse, Bernalillo County

COUNTY CLERK RECORDING LABEL HERE  
 DESCRIPTION APPEARS ON SHEET 3 OF 8

PLAT OF  
 LOTS 1-P1 THRU 76-P1  
 SUNSET VILLA  
 - AND -  
 LOT 4-A  
 POWELL GARDENS ADDITION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 AUGUST 2007

PROJECT NUMBER: 1003613  
 Application Number: 07DRB-10193

Utility Approvals:  
 PNM Electric Services: Leah G. Mark 9-14-07  
 PNM Gas Services: Leah G. Mark 9-14-07  
 Qwest Telecommunications: Deborah Reed 9/17/07  
 Comcast Cable: Victoria Barber 9-14-07

PURPOSE OF PLAT:  
 The purpose of this plat is to replat seven (7) tracts into seventy (70) residential lots and two (2) tracts, create Private Access Easement, grant Public Utility Easements and Drainage Easements and for compliance of platting requirement set forth in City of Albuquerque Zoning and Annexation cases Z-93-69 and AX-93-5, as approved by the City of Albuquerque Environmental Planning Commission on June 17, 1993.

City Approvals:  
 City Surveyor: [Signature] 8-21-07  
 Real Property Division: NA  
 Environmental Health Department: NA  
 Traffic Engineering, Transportation Division: [Signature] 8-22-07  
 Parks and Recreation Department: Christine Sandoval 8/22/07  
 City Engineer: Bradley L. Binfan 8/22/07  
 DRB Chairperson, Planning Department: [Signature] 9-17-07  
 M.R.G.C.D. [Signature]  
 SEE SHEET 4 FOR MRGCD APPROVAL

- SUBDIVISION DATA
- DRB Proj. No.
  - Zone Atlas Index No. K-12
  - Current Zoning R-1
  - Gross acreage 14.7123 Acres
  - Total Number of Lots created - 70 residential, 2 tracts -
  - No. of existing lots/tracts: 7
  - Miles of full width Private Ways created: 0.5218 mi.  
Area of streets dedicated to City of Albuquerque: -0- Ac.
  - Date of Survey: April, 2006
  - TALOS LOG NO.: 2006201958

- NOTES
- Bearings are New Mexico State Plane Grid Bearings, Central Zone, NAD 1927, based upon ACS monuments "18-L12" and "19-L12", and found monuments.
  - All distances are ground.
  - Monuments recovered and accepted or set are noted on plat. (SHEET 2 OF 8)
  - Record bearings in parenthesis ( ). Deed bearings in brackets [ ]. Record bearings are from the following sources:  
 a. SUNSET VILLA; filed March 29, 1979; Vol. D9, folio 90  
 b. FLORA'S ADDITION; filed October 17, 1949; Vol. B, folio 166  
 c. POWELL GARDENS ADDITION; filed February 13, 1949; Vol. B, folio 131  
 d. RANCHO RICO; filed November 14, 1941; Vol. D, folio 73  
 e. Warranty Deed (portion of Lot 11, Rancho Rico), recorded November 26, 1951; Book D-191, page 278.
  - Ten foot (10') Public Utility Easement adjacent and parallel to sides of all private streets is hereby granted with the filing of this plat.
  - Grant of Twenty-five foot (25') Water, Sewer and Public Utilities Easement filed February 11, 1980; Book Misc. 752; page 279, records of Bernalillo County, New Mexico.
  - Ten foot (10') Public Utility Easement filed September 16, 1975; Doc. No. 84782.
  - Ten foot (10') Irrigation Easement filed November 4, 1941; Vol. D, folio 73.
  - Ten foot (10') Utilities and Irrigation Easement filed February 13, 1949; Vol. B, folio 131.
  - Ten foot (10') Easement granted to City of Albuquerque for Pipeline, Power and Well Access, filed in Book D191, page 623.
  - Tract "B" is reserved as a Drainage Easement for Stormwater Impoundment. Maintenance of this area is the mutual responsibility of all homeowners in Sunset Villa, their heir(s) and/or assign(s).
  - Streets appearing on this plat are granted as Private Ways for Private ingress, egress and circulation, maintenance is the joint, equal and inseparable responsibility of the owners of Lots 1-P1 through 71-P1, SUNSET VILLA. Said streets are also granted as Public Sewer and Water Easements and Public Utility Easements. Designated as Tract "A", contains 3.1839 acres.
  - Twenty-five foot (25') Private Access Easement following the Northerly lines of Lots 1 through 4 of the Powell Gardens Addition vacated by this plat.
  - Middle Rio Grande Conservancy District Ditch Easement, as dimensioned, are granted by this plat.

- NOTES CONTINUED ON SHEET 4 -

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Joe R. Hahn  
 R. Hahn, President, Warehouse Door and Moulding Corporation, a New Mexico corporation

ACKNOWLEDGMENT  
 STATE OF NEW MEXICO ) ss  
 COUNTY OF BERNALILLO )  
 On this 3rd day of August, 2007, the foregoing instrument was acknowledged before me by Joe R. Hahn, President, Warehouse Moulding and Door Corporation, Owner, Sunset Villa, Tract 35 M.R.G.C.D. Map 39, Lots 1, 2, 3 and northerly portion of Lot 4, Powell Gardens Addition.  
[Signature]  
 Notary Public

My Commission expires Aug. 10, 2007  
Midge Christie  
 Midge Christie, owner, southerly portion of Lot 4, POWELL GARDENS ADDITION.

ACKNOWLEDGMENT  
 STATE OF NEW MEXICO ) ss  
 COUNTY OF BERNALILLO )  
 On this 3rd day of August, 2007, the foregoing instrument was acknowledged before me by Midge Christie  
[Signature]  
 Notary Public

My Commission expires Aug. 10, 2007

SURVEYOR'S CERTIFICATE  
 I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.  
[Signature] 8.15.07  
 Thomas D. Johnston, N.M.P.S. No. 14269 Date



**WAYJOHN SURVEYING INC**  
 330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 1 OF 8

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY  
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPC# 10120578970540380  
 PROPERTY OWNER OF RECORD:  
Warehouse Moulding Door Corp  
 BERNALILLO COUNTY TREASURER'S OFFICE  
[Signature] 9/19/07

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 09/19/2007 02:17 PM Page 2 of 8  
 PLAT R 342 00 B 2007C P 0269 M Toulouse, Bernalillo County

COUNTY CLERK RECORDING LABEL HERE

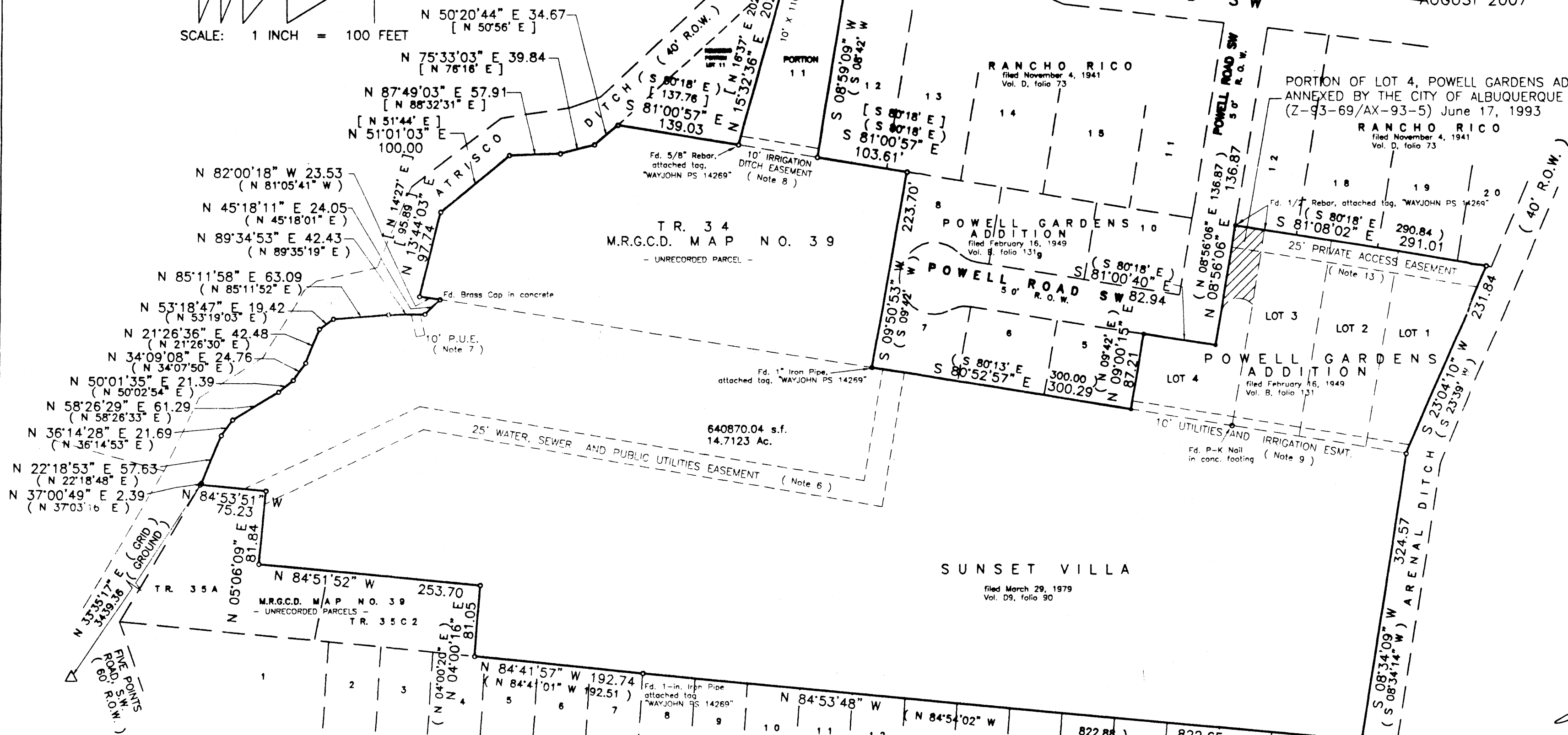
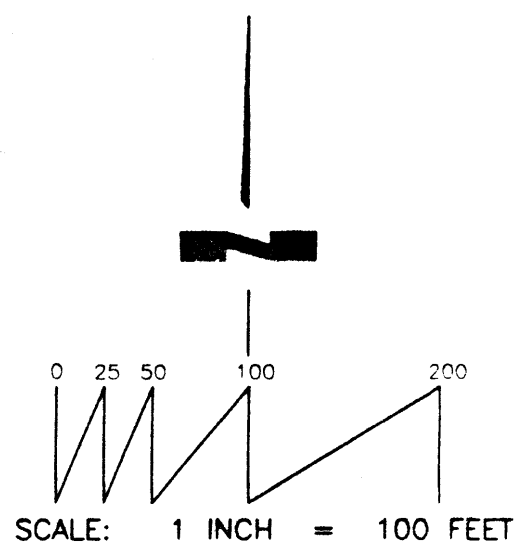
PLAT OF  
 LOTS 1-P1 THRU 76-P1  
 SUNSET VILLA

- AND -  
 LOT 4-A

POWELL GARDENS ADDITION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM

-AUGUST 2007



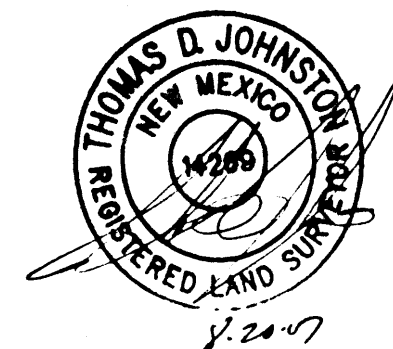
ACS STA. "19-L12"  
 X = 367957.92  
 Y = 1479672.44  
 Ground to Grid Factor:  
 0.9996838  
 $\Delta\alpha = -00^{\circ} 15' 12''$   
 NMSP CENTRAL ZONE  
 NAD 1927  
 EL: 4939.4  
 MGDV 1929

NOTES:

1. PERIMETER DIMENSIONS ARE GROUND DISTANCES
2. BEARINGS ARE TO THE NEW MEXICO STATE PLANE GRID, CENTRAL ZONE, NAD 1927
3. BEARINGS AND DISTANCES SHOWN IN PARENTHESES ( ) ARE AS THEY APPEAR ON RECORDED PLATS.
4. BEARINGS AND DISTANCES SHOWN IN BRACKETS [ ] ARE AS THEY APPEAR WITHIN RECORDED DEEDS.
5. UNLESS OTHERWISE INDICATED, ALL CORNERS ARE SET WITH A 1/2" REBAR AND CAP "WAYJOHN PS 14269"

DESCRIPTION APPEARS ON SHEET 3 OF 8

ACS STA. "18-L12"  
 X = 369529.23  
 Y = 1479254.75  
 Ground to Grid Factor:  
 0.9996831  
 $\Delta\alpha = -00^{\circ} 15' 01''$   
 NMSP CENTRAL ZONE  
 NAD 1927  
 EL: 4943.017  
 MGDV 1929



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DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 2 of 8

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 PLAT R 542.00 B 2007C P 0269 M Toulouse, Bernalillo County

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PLAT OF  
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**SUNSET VILLA**  
 - AND -  
 LOT 4-A  
**POWELL GARDENS ADDITION**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 AUGUST 2007

DESCRIPTION

A tract of land in Bernalillo County, New Mexico, within the Town of Atrisco Grant, within projected Section 24, Township 10 North, Range 2 East, N.M.P.M., being and comprising the following lots and tracts:

An Easterly portion of Lot numbered Eleven (11) of the Plat of RANCHO RICO, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on November 4, 1941, in Volume D, folio 73;

AND  
 Lots numbered One (1), Two (2), Three (3) and Four (4) of the Plat of POWELL GARDENS ADDITION, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 16, 1949, in Volume B, folio 131;

AND  
 All of SUNSET VILLA, being a replat of Tract 35C-1, and portions of Tracts 35A, 35B & 35C-2 of the MRGCD Map No. 39, situate within Sections 24 and 25, Township 10 North, Range 2 East, New Mexico Principal Meridian, within the Town of Atrisco Grant, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 29, 1979, in Book D-9, page 90;

AND  
 Tract 34, of the Middle Rio Grande Conservancy District Property Map No. 39, and being more particularly described as follows:

BEGINNING at the Southeast corner of the herein described tract of land, said corner being a point on the Westerly line of the M.R.G.C.D. Arenal Ditch and being common to the Northeast corner of Lot 20 of FLORA'S ADDITION, the plat of which was filed in the office of the County Clerk of Bernalillo County, New Mexico on October 17, 1949 in Volume B, folio 166, from which point ACS STA.

"18-L12" (X=369529.23, Y=1479254.75, New Mexico State Plane Grid, Central Zone, NAD 1927) bears S 28°55'07" W, a ground distance of 3427.42 feet, and running from said beginning point thence,

N 84°53'48" W, a distance of 822.65 feet;  
 thence, N 84°41'57" W, a distance of 192.74 feet; thence, N 04°00'16" E, a distance of 81.05 feet;  
 thence, N 84°51'52" W, a distance of 253.70 feet; thence, N 05°06'09" E, a distance of 81.84 feet;  
 thence, N 84°53'51" W, a distance of 75.23 feet to the Southwesterly corner of the herein described tract, said point on the Easterly line of the M.R.G.C.D. Atrisco Ditch;

thence, along the Easterly line of said Ditch through the following courses, N 37°00'49" E, a distance of 2.39 feet;  
 thence, N 22°18'53" E, a distance of 57.63 feet;

thence, N 36°14'28" E, a distance of 21.69 feet; thence, N 58°26'29" E, a distance of 61.29 feet;  
 thence, N 50°01'35" E, a distance of 21.39 feet; thence, N 34°09'08" E, a distance of 24.76 feet;  
 thence, N 21°26'36" E, a distance of 42.48 feet; thence, N 53°18'47" E, a distance of 19.42 feet;  
 thence, N 85°11'58" E, a distance of 63.09 feet; thence, N 89°34'53" E, a distance of 42.43 feet;  
 thence, N 45°18'11" E, a distance of 24.05 feet; thence, N 82°00'18" W, a distance of 23.53 feet;  
 thence, N 13°44'03" E, a distance of 97.74 feet; thence, N 51°01'03" E, a distance of 100.00 feet;  
 thence, N 87°49'03" E, a distance of 57.91 feet; thence, N 75°33'03" E, a distance of 39.84 feet;  
 thence, N 50°20'44" E, a distance of 34.67 feet to a point being common to the Southwest corner of Lot 11 of RANCHO RICO;

thence, departing the Easterly line of Atrisco Ditch, S 81°00'57" E, a distance of 139.03 feet to a point on the Southerly line of said Lot 11;  
 thence, N 15°32'36" E, a distance of 202.83 feet to a point on the Westerly line of said Lot 11, being a point on the Easterly line of Atrisco Ditch;

thence, along said Ditch, N 15°53'48" E, a distance of 90.25 feet to the Northwesternmost corner of the herein described tract, said corner being the Northwest corner of said Lot 11 and a point on the South right-of-way line of Sunset Gardens Road, SW;

thence, following said right-of-way line, S 66°45'38" E, a distance of 58.90 feet to a point being the Northeast corner of said Lot 11;

thence, departing said right-of-way line, S 08°59'09" W, a distance of 276.59 feet;

thence, S 81°00'57" E, a distance of 103.61 feet to a point being the Northwest corner of Lot 8, POWELL GARDENS ADDITION;

thence, S 08°50'53" W, a distance of 223.70 feet to the Southwest corner of Lot 7, POWELL GARDENS ADDITION;

thence, S 80°52'57" E, a distance of 300.29 feet to the Southwest corner of Lot 4, POWELL GARDENS ADDITION;

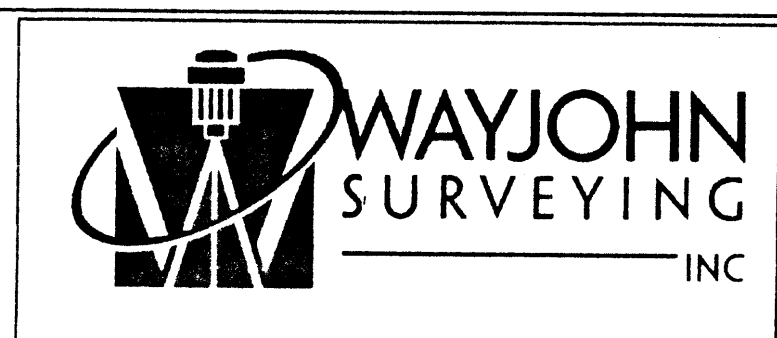
thence, N 09°00'15" E, a distance of 87.21 feet to the Northwest corner of Lot 4, a point on the South line of Powers Road, SW; thence, following said line S 81°00'40" E, a distance of 82.94 feet; thence, N 08°56'06" E, a distance of 136.87 feet to the Northwest corner of Lot 4;

thence, S 81°08'02" E, a distance of 291.01 feet to the Northeast corner of the herein described tract, said point being a point on the Westerly line of the M.R.G.C.D. Arenal Ditch and being common to the Northeast corner of Lot 1 of POWELL GARDENS ADDITION;

thence, following the West line of said Ditch, S 23°04'10" W, a distance of 231.84 feet to the Southeast corner of said Lot 1;

thence, continuing along the West line of said Ditch, S 08°34'09" W, a distance of 324.57 feet to the Southeast corner of the herein described tract and the place of Beginning, containing 14.7123 acres, more or less.

		CURVES											
		NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH	NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
STREET CENTERLINES	C1	33°13'15"	75.00	43.49	S 82°33'20" W	42.88	C18	178°12'11"	40.00	124.41	S 37°58'10" E	79.99	
	C2	88°27'41"	75.00	115.80	N 35°29'53" W	104.63	a	47°35'28"	40.00	33.22	S 27°20'11" W	32.28	
	C3	90°10'48"	25.00	39.35	S 54°04'33" W	35.30	b	48°10'18"	40.00	33.63	S 20°32'42" E	32.65	
	C4	33°13'15"	98.00	56.82	S 82°33'20" W	56.03	c	82°26'25"	40.00	57.55	S 85°51'03" E	52.72	
	a	10°45'50"	98.00	18.41	N 86°12'58" W	18.38	C19	42°23'58"	25.00	18.50	N 74°07'44" E	18.08	
	b	22°27'25"	98.00	38.41	S 77°10'25" W	38.17	a	12°30'05"	25.00	5.45	N 59°10'47" E	5.44	
	C5	42°23'58"	25.00	18.50	S 87°08'41" W	18.08	b	29°53'53"	25.00	13.05	N 80°22'46" E	12.90	
	C6	264°47'56"	40.00	184.86	S 24°03'18" E	59.08	C20	93°24'14"	25.00	40.76	S 37°58'10" E	36.39	
	a	20°33'14"	40.00	12.40	N 80°55'57" W	12.90	C21	86°35'46"	25.00	37.78	N 52°01'50" E	34.29	
	b	65°11'31"	40.00	76.31	S 57°11'41" W	43.10	C22	43°41'27"	25.00	19.06	N 13°06'46" W	18.61	
	c	26°43'32"	40.00	18.77	S 11°09'09" W	18.60	C23	267°22'56"	40.00	186.67	S 81°16'03" E	57.85	
	d	55°34'20"	40.00	41.77	S 30°04'47" E	37.29	a	37°43'25"	40.00	26.34	N 16°05'47" W	25.86	
	e	54°53'04"	40.00	38.32	S 85°18'30" E	36.87	b	95°57'57"	40.00	67.00	N 50°44'57" E	59.44	
	f	43°42'15"	40.00	30.51	N 45°23'51" E	29.78	c	96°43'39"	40.00	67.53	S 32°54'07" E	39.79	
	C7	42°23'58"	25.00	18.50	N 44°44'43" E	18.08	d	36°57'36"	40.00	25.80	S 33°57'36" W	25.36	
	C8	33°13'15"	52.00	30.15	N 82°33'20" E	29.73	C24	43°41'27"	25.00	19.06	S 30°34'41" E	18.61	
	C9	89°34'00"	25.00	39.08	S 36°03'03" E	35.22	C25	93°24'14"	25.00	40.76	S 37°58'10" E	36.39	
	C10	42°23'58"	25.00	18.50	S 29°55'56" E	18.08	C26	86°35'46"	25.00	37.78	N 52°01'50" E	34.29	
	a	20°14'29"	25.00	7.96	S 17°51'12" W	7.93	C27	42°23'58"	25.00	18.50	S 63°28'18" E	18.08	
	b	24°09'29"	25.00	10.54	S 39°03'11" W	10.46	C28	171°23'42"	40.00	119.66	N 52°01'50" E	79.77	
	C11	264°47'56"	40.00	184.86	S 81°16'03" E	59.08	a	31°01'03"	40.00	21.65	S 57°46'51" E	21.39	
	a	66°04'31"	40.00	46.13	S 18°05'40" W	43.62	b	44°29'49"	40.00	54.85	N 84°27'43" E	30.29	
	b	28°41'58"	40.00	20.03	S 29°17'35" E	19.82	c	40°58'25"	40.00	28.60	N 41°43'36" E	28.00	
	c	53°45'53"	40.00	37.54	S 70°31'31" E	36.17	d	54°54'25"	40.00	38.33	N 06°12'49" W	36.88	
	d	45°30'37"	40.00	31.77	N 59°50'14" E	30.94	C29	42°23'58"	25.00	18.50	N 12°28'02" W	18.08	
	e	70°44'57"	40.00	49.39	N 01°42'27" E	46.31	C30	88°27'41"	98.00	151.31	N 35°29'53" W	136.72	
	C12	42°23'58"	25.00	18.50	N 12°28'02" W	18.08	a	06°22'25"	98.00	10.90	N 05°32'45" E	10.90	
	a	19°15'25"	25.00	8.40	N 24°02'19" W	8.36	b	32°04'06"	98.00	54.08	N 13°40'30" W	54.14	
	b	23°08'23"	25.00	10.10	N 02°50'20" W	10.03	c	50°01'10"	98.00	89.34	N 54°43'08" W	82.86	
	C13	90°26'00"	25.00	39.46	N 53°56'57" E	35.49	C31	88°27'41"	52.00	80.28	N 35°29'53" W	72.55	
	C14	89°49'12"	25.00	39.19	S 35°55'27" E	35.30	C32	116°40'28"	20.00	40.73	S 67°16'20" W	34.05	
	C15	90°26'00"	25.00	39.46	S 53°56'57" W	35.49							
	C16	89°34'00"	25.00	39.08	S 36°03'03" E	35.22							
	C17	42°23'58"	25.00	18.50	S 29°55'56" E	18.08							



330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J	6 MAY 2006	SHEET 3 OF 8
DRAWING NO. SP70105.DWG		



— NOTES CONTINUED FROM SHEET 1 —

15. Ten foot (10') Private Irrigation Easement for the benefit of Lot 12, Rancho Rico, is granted by this plat. Maintenance of this easement is the responsibility of the Sunset Villa Homeowners Association.
16. Private Access Easement for the benefit of Tract B is granted by this plat. Maintenance of this easement is the responsibility of the Sunset Villa Homeowners Association. Private access easement also granted for the benefit of the portion of Tract 11 of Rancho Rico, recorded November 4, 1941, Volume D, folio 73.

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 PLAT R-542, 00 B 2007C P. 0269 M. Toulouse, Bernalillo County

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 SUNSET VILLA

— AND —  
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 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 AUGUST 2007

PUBLIC UTILITY EASEMENTS

Public Utility Easements shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast Cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations or National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformers/switchgear doors and five feet (5') on each side.

SOLAR COLLECTORS NOTE

No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings erected on the lots or parcels within the area of the proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision.

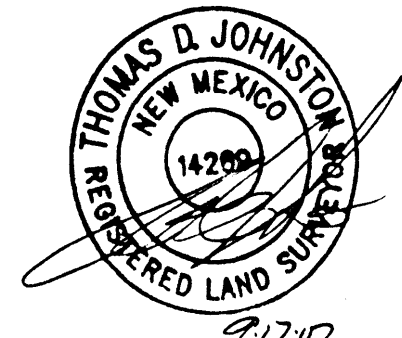
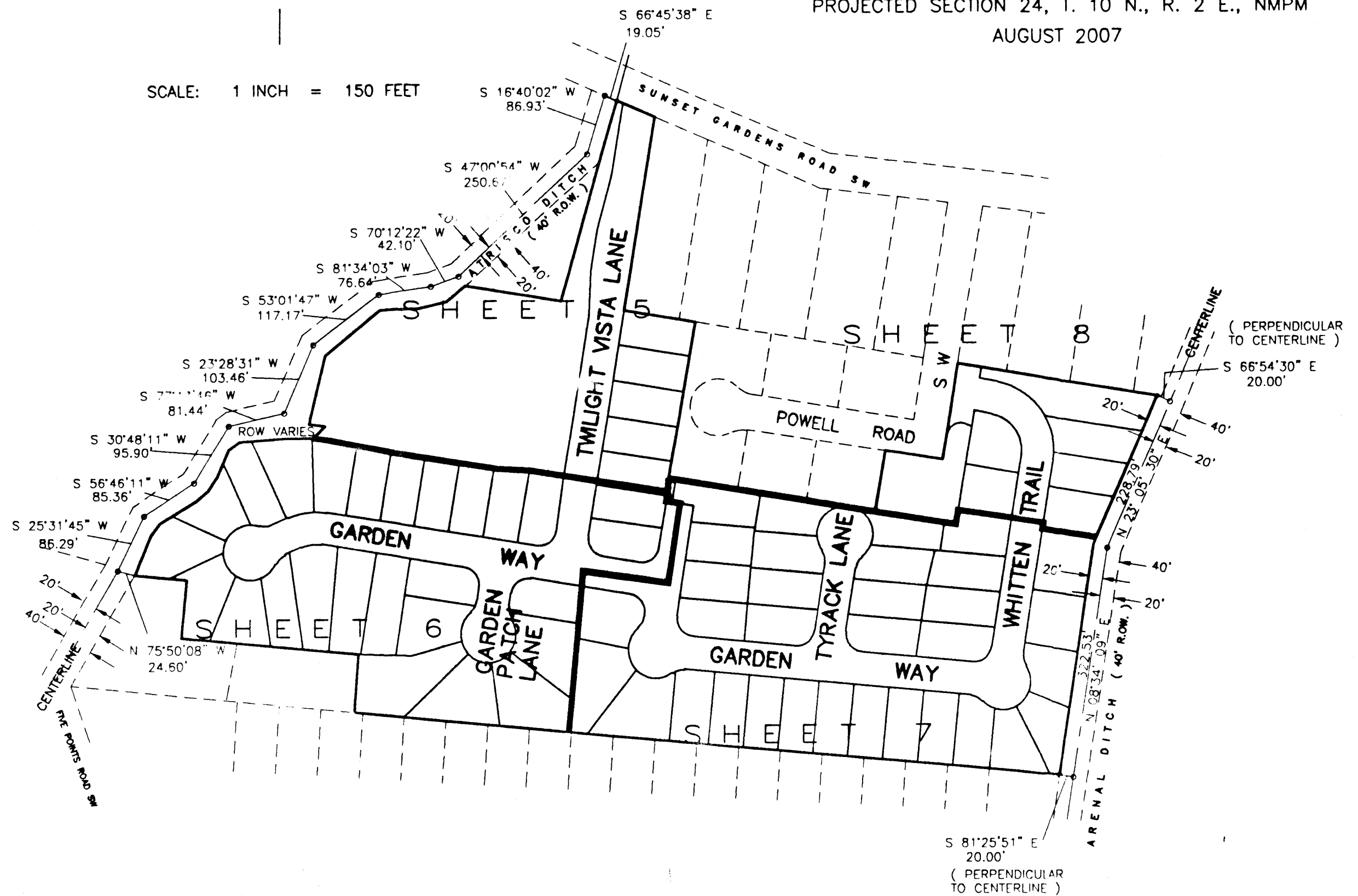
METAL TAGS STAMPED "WAYJOHN PS 14269" WERE ATTACHED TO ALL RECOVERED AND ACCEPTED BOUNDARY CORNERS.  
 BOUNDARY CORNERS RESET WERE SET WITH A 1/2" REBAR AND PLASTIC CAP STAMPED "WAYJOHN PS 14269"

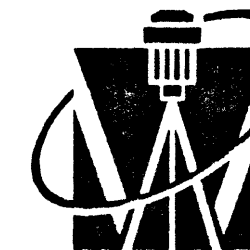
NOTE: CENTERLINE Δ (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC's, PT's, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #14269".

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED [Signature] DATE 9-17-07

SCALE: 1 INCH = 150 FEET





**WAYJOHN SURVEYING INC.**

330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 150'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 4 OF 8

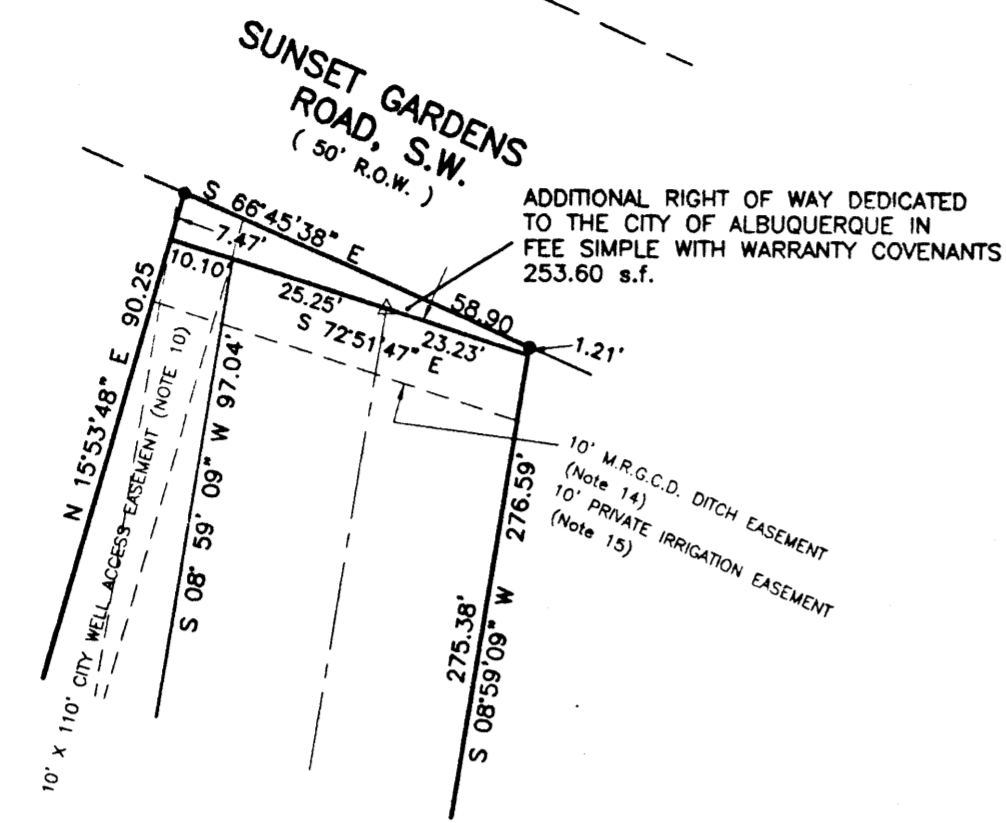


DOCM 2007134042  
 08/19/2007 02:17 PM Page 5 of 8  
 Plot #: 542.00 B: 20070 P: 0269 T: Toulouse, Bernalillo County

PLAT OF  
 LOTS 1-P1 THRU 76-P1  
 SUNSET VILLA  
 - AND -  
 LOT 4-A  
 POWELL GARDENS ADDITION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 AUGUST 2007

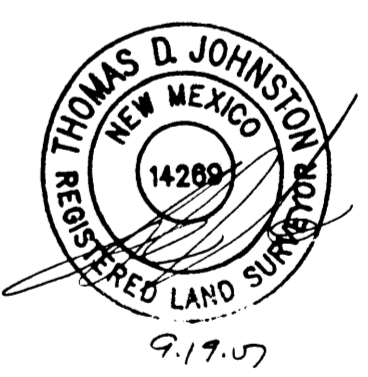
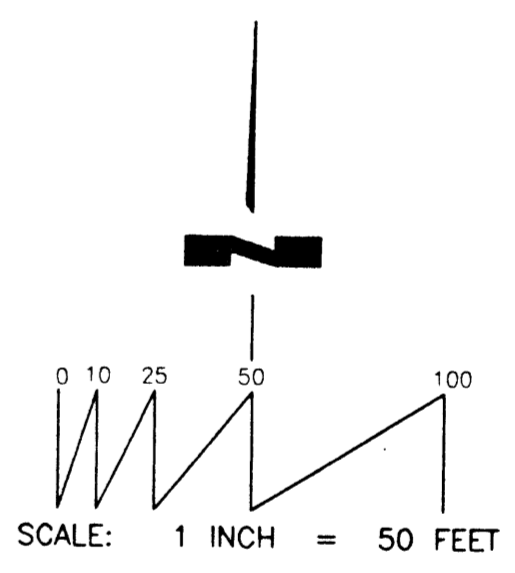
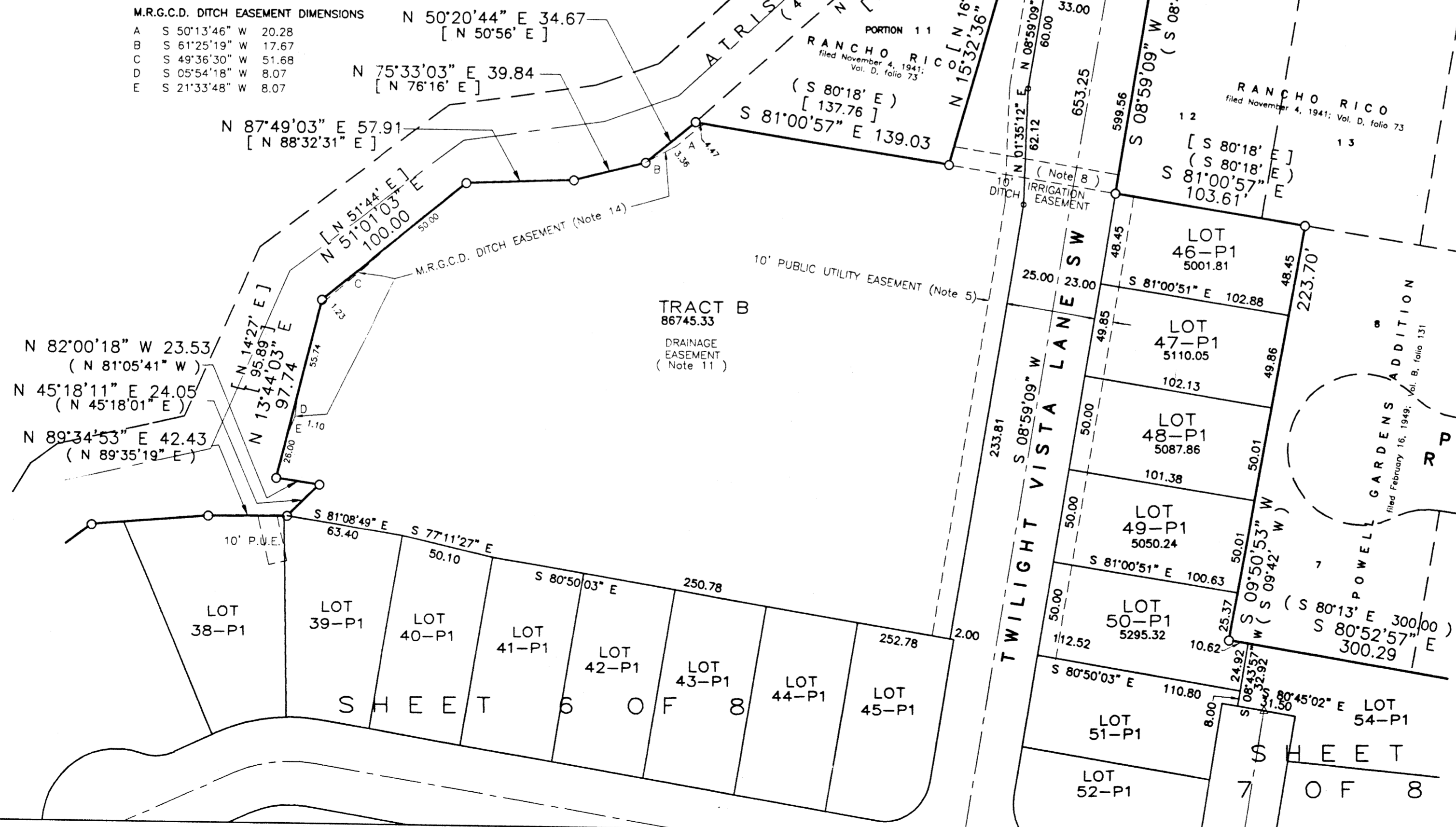
COUNTY CLERK RECORDING LABEL HERE



RIGHT OF WAY DEDICATION DETAIL  
 (SCALE: 1"=30')

M.R.G.C.D. DITCH EASEMENT DIMENSIONS

A	S 50°13'46" W	20.28
B	S 61°25'19" W	17.67
C	S 49°36'30" W	51.68
D	S 05°54'18" W	8.07
E	S 21°33'48" W	8.07



**WAYJOHN SURVEYING**  
 INC

330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 5 OF 8

DOCH 2007134042

09/19/2007 02:17 PM Page 6 of 8  
PLAT R 542 00 B 2007C P 0269 N Toulouse, Bernalillo County

COUNTY CLERK RECORDING LABEL HERE

# PLAT OF LOTS 1-P1 THRU 76-P1 SUNSET VILLA

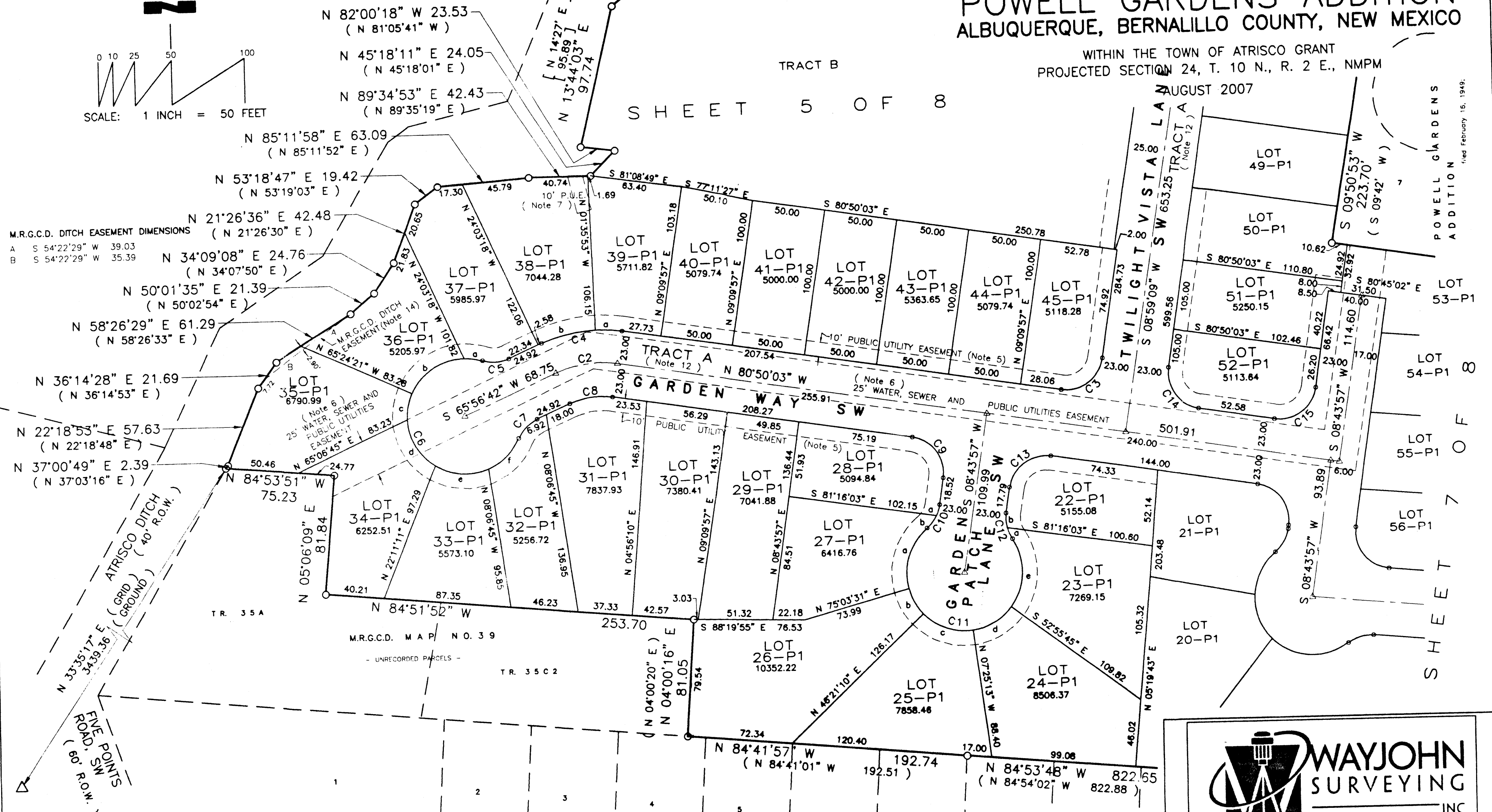
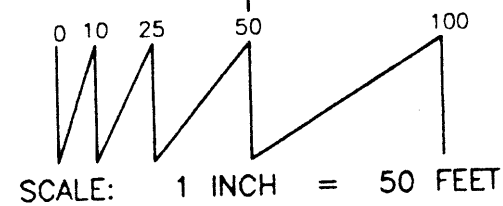
- AND -  
LOT 4-A

## POWELL GARDENS ADDITION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

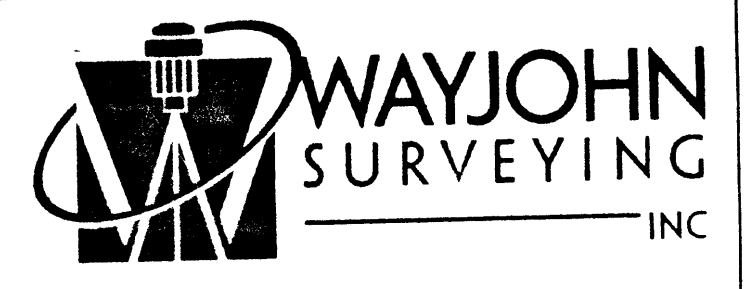
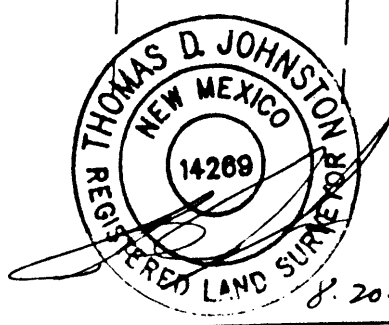
WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM

AUGUST 2007

SHEET 5 OF 8



ACS STA. "19-L12"  
 X = 367957.92  
 Y = 1479672.44  
 Ground to Grid Factor:  
 0.9996838  
 $\Delta\alpha = -00^{\circ} 15' 12''$   
 NMSP CENTRAL ZONE  
 NAD 1927  
 EL: 4939.4  
 MGDV 1929



330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 may 2006	SHEET 6 OF 8

POWELL GARDENS ADDITION  
FILED February 16, 1949.

SHEET 7 OF 8

DOCH 2007134042

09/19/2007 02:17 PM Page 7 of 8  
PLAT R 542.00 B, 2007C P 0269 M Toulouse, Bernalillo County

COUNTY CLERK RECORDING LABEL HERE

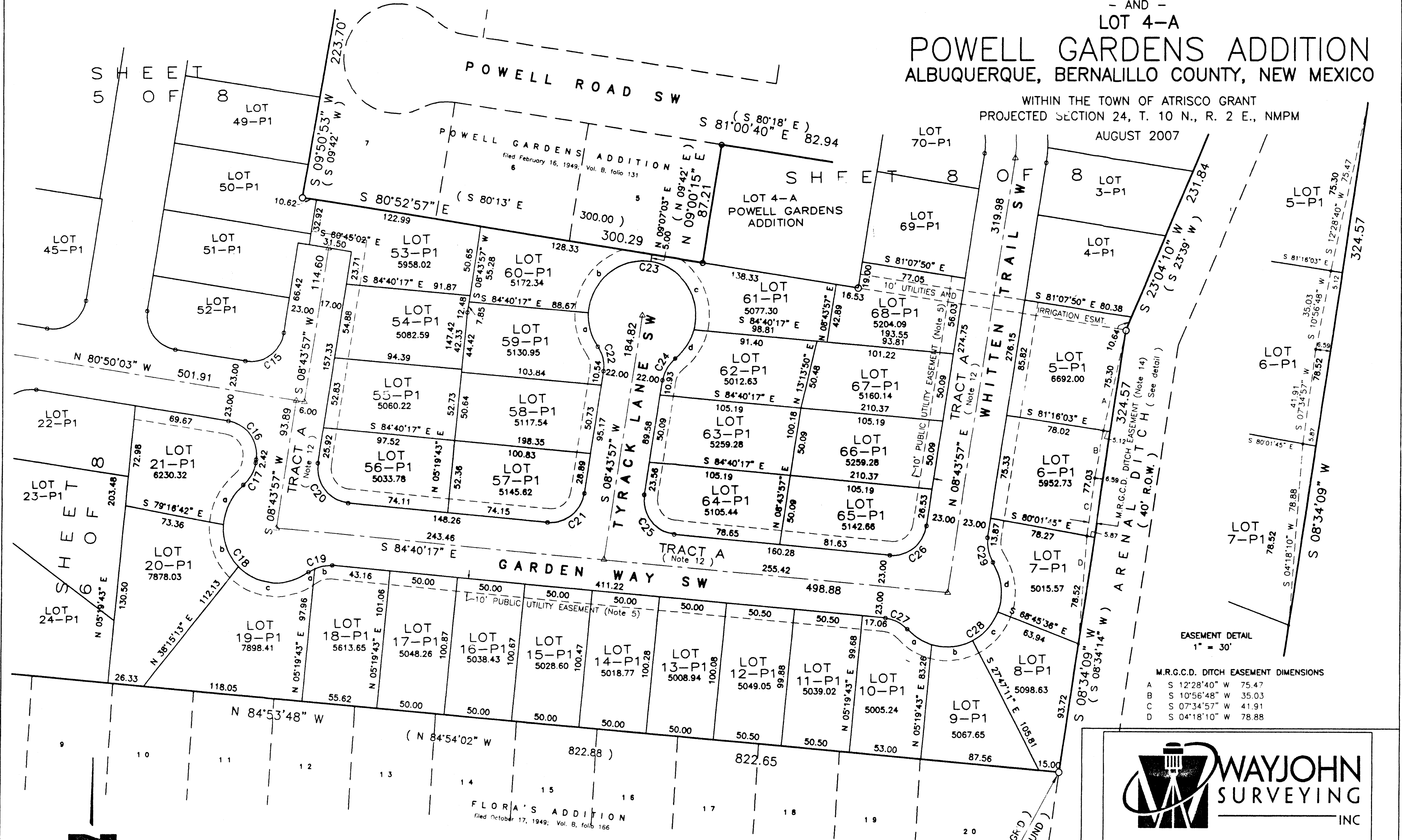
# PLAT OF LOTS 1-P1 THRU 76-P1 SUNSET VILLA

- AND -  
LOT 4-A

## POWELL GARDENS ADDITION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM

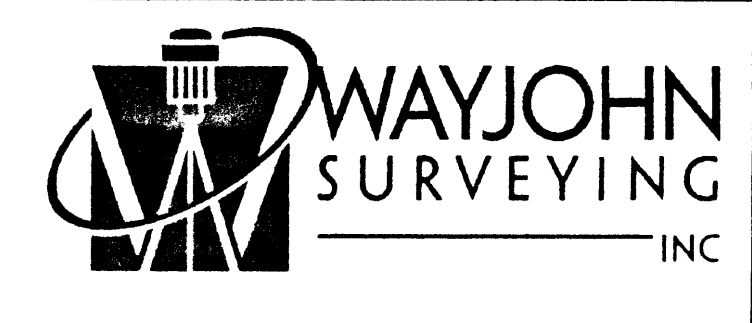
AUGUST 2007



EASEMENT DETAIL  
1" = 30'

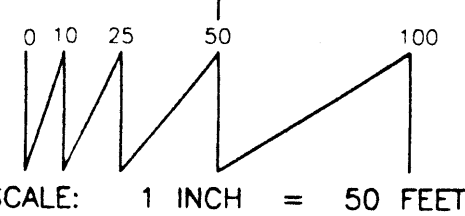
M.R.G.C.D. DITCH EASEMENT DIMENSIONS

A	S 12°28'40" W	75.47
B	S 10°56'48" W	35.03
C	S 07°34'57" W	41.91
D	S 04°18'10" W	78.88



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN:	E W K	SCALE:	FILE NO.
CHECKED:	T D J	1" = 50'	SP-7-01-2005
DRAWING NO.	SP70105.DWG	6 MAY 2006	SHEET 7 OF 8



ACS STA. "18-L12"  
X = 369529.23  
Y = 1479254.75  
Ground to Grid Factor:  
0.9996831  
Δa = -00' 15" 01"  
NMSP CENTRAL ZONE  
NAD 1927

FLORA'S ADDITION  
filed October 17, 1949; Vol. B, folio 166



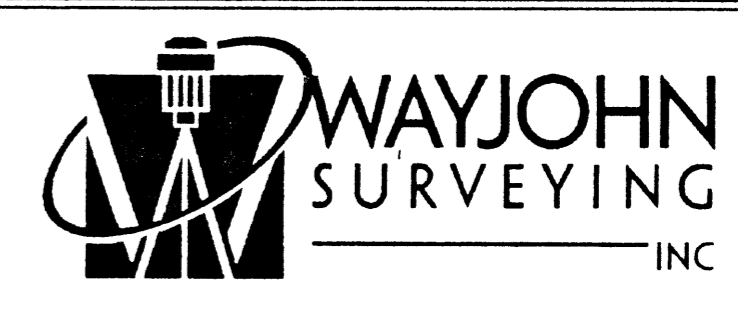
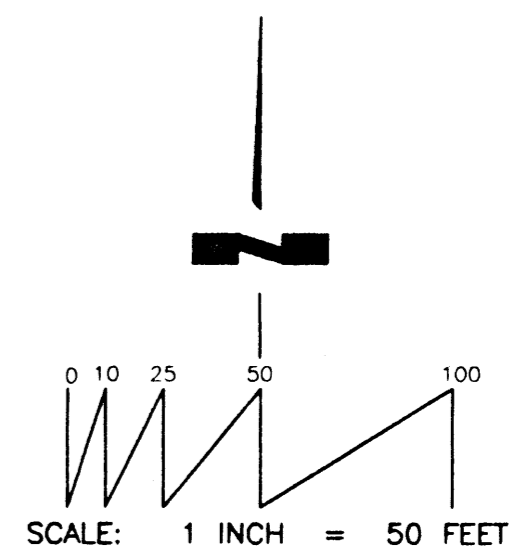
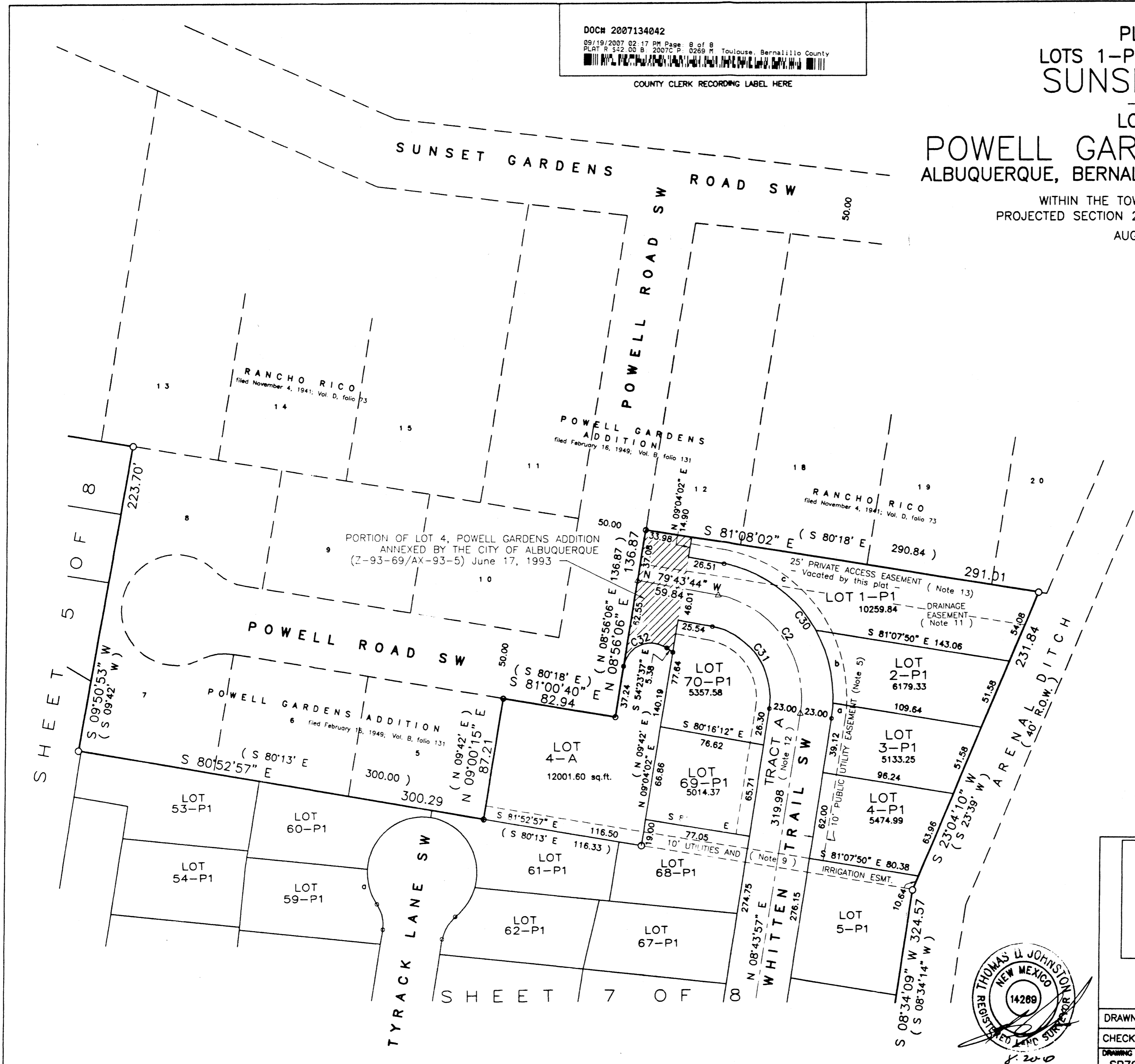
DOCH 2007134042  
 09/19/2007 02:17 PM Page 8 of 8  
 PLAT R 542.00 B. 2007C P. 0269 M. Toulouse, Bernalillo County  
 COUNTY CLERK RECORDING LABEL HERE

PLAT OF  
 LOTS 1-P1 THRU 76-P1  
 SUNSET VILLA

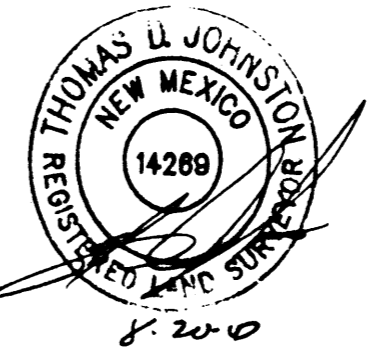
- AND -  
 LOT 4-A

POWELL GARDENS ADDITION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 AUGUST 2007

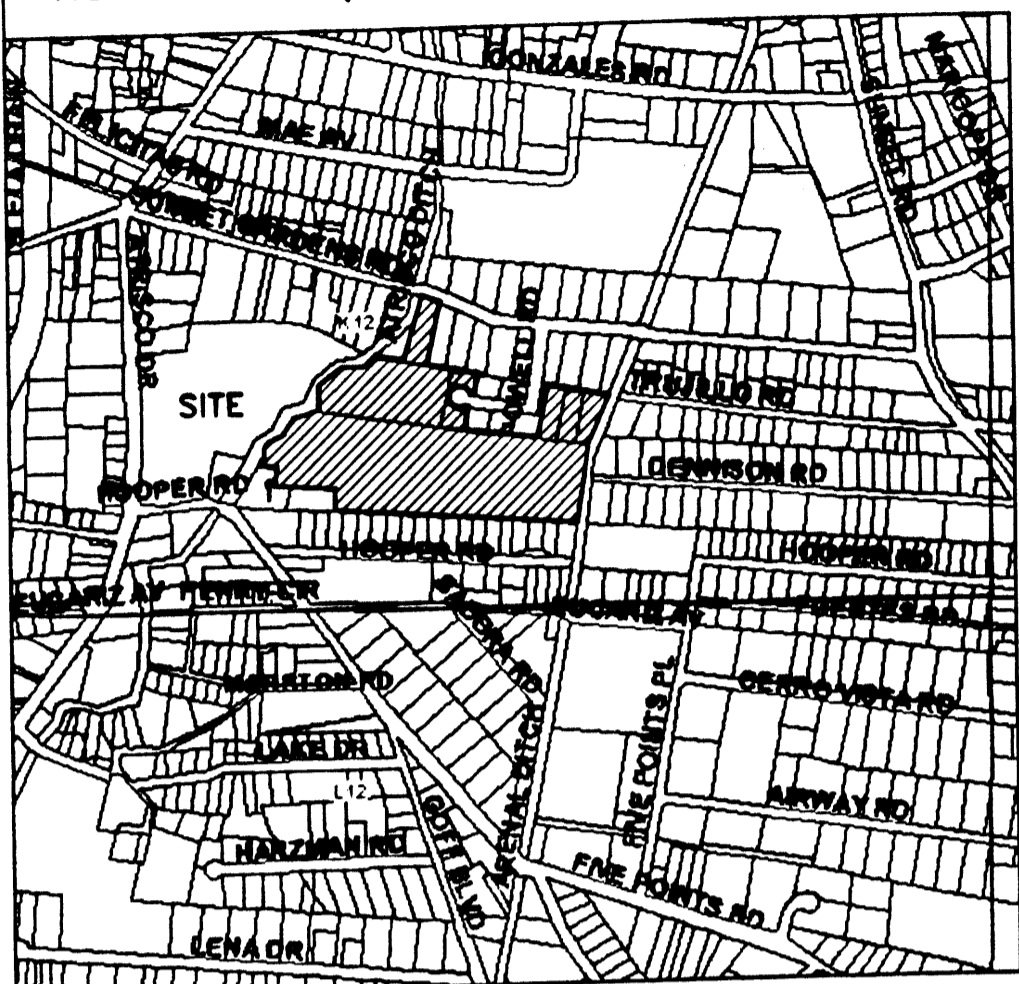


330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887



DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J	DATE: 6 MAY 2006	SHEET 8 OF 8
DRAWING NO. SP70105.DWG		

VICINITY MAP (K-12) NO SCALE



DOCH 2007147987  
10/23/2007 09:21 AM Page: 1 of 8  
PLAT R-542.00 B 2007C P. 0311 M. Toulouse, Bernalillo County

COUNTY CLERK RECORDING LABEL HERE

DESCRIPTION APPEARS ON SHEET 3 OF 8

CORRECTED  
PLAT OF  
LOTS 1-P1 THRU 70-P1 and TRACTS A & B  
SUNSET VILLA  
- AND -  
LOT 4-A  
POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
OCTOBER 2007

PROJECT NUMBER: 1003813

Application Number: 07DRB-70193

Utility Approvals:

<u>James G. Mark</u>	10-17-07
PNM Electric Services	Date
<u>James G. Mark</u>	10-17-07
PNM Gas Services	Date
<u>DeWitt Hill</u>	10/17/07
Qwest Telecommunications	Date
<u>Bonnie Saba</u>	10.17.07
Comcast Cable	Date

PURPOSE OF PLAT:

The purpose of this plat is to replot seven (7) tracts into seventy (70) residential lots and two (2) tracts, create Private Access Easement, grant Public Utility Easements and Drainage Easements and for compliance of platting requirement set forth in City of Albuquerque Zoning and Annexation cases Z-93-69 and AX-93-5, (including Lot 4-A, Powell Gardens Addition), as approved by the City of Albuquerque Environmental Planning Commission on June 17, 1993. This plat is created to supersede the plat of LOTS 1-P1 THRU 70-P1 SUNSET VILLA AND LOT 4-A, POWELL GARDENS ADDITION, recorded September 19, 2007, in Plat Book 2007C, page 269, as document No. 2007134042, in order to change title block and miscellaneous scrivener's errors.

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution line, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Joe R. Hahn  
Joe R. Hahn, President, Warehouse Door and Moulding Corporation, a New Mexico corporation

ACKNOWLEDGMENT

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) ss

On this 10th day of October, 2007, the foregoing instrument was acknowledged before me by Joe R. Hahn, President, Warehouse Moulding and Door Corporation, Owner, Sunset Villa, Tract 35 M.R.G.C.D. Map 39, Lots 1, 2, 3 and northerly portion of Lot 4, Powell Gardens Addition.

Notary Public

My Commission expires Aug. 10, 2011

Midge Christie  
Midge Christie, owner, southerly portion of Lot 4, POWELL GARDENS ADDITION.

ACKNOWLEDGMENT

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) ss

On this 10th day of October, 2007, the foregoing instrument was acknowledged before me by Midge Christie, Owner, southerly portion of Lot 4, Powell Gardens Addition.

Notary Public

My Commission expires 10/11/07

PROVIDED on the Condition that all right  
of the Middle Rio Grande Conservancy  
District in easements, rights of way, as-  
sessments and liens, are fully reserved to  
said District, and that if provision for irri-  
gation source and easements are not pro-  
vided for by the subdivider for the subdivi-  
sion, addition, or plat, said District is ab-  
solved of all obligations to furnish irri-  
gation waters and services to any portions  
thereof, other than from existing turnouts.

APPROVED Steve DATE 10/17/07

SUBDIVISION DATA

1. DRB Proj. No.
2. Zone Atlas Index No. K-12
3. Current Zoning R-1
4. Gross acreage 14.7123 Acres
5. Total Number of Lots created - 70 residential, 2 tracts -
6. No. of existing lots/tracts: 7
7. Miles of full width Private Ways created: 0.5218 mi.  
Area of streets dedicated to City of Albuquerque: 0.0058 Ac.
8. Date of Survey: April, 2006
9. TALOS LOG NO.: 2006201958

NOTES

1. Bearings are New Mexico State Plane Grid Bearings, Central Zone, NAD 1927, based upon ACS monuments "18-L12" and "19-L12", and found monuments.
2. All distances are ground.
3. Monuments recovered and accepted or set are noted on plat. (SHEET 2 OF 8)
4. Record bearings in parenthesis ( ). Dead bearings in brackets [ ].  
Record bearings are from the following sources:  
a. SUNSET VILLA; filed March 29, 1979; Vol. D9, folio 90  
b. FLORA'S ADDITION; filed October 17, 1949; Vol. B, folio 166  
c. POWELL GARDENS ADDITION; filed February 13, 1949; Vol. B, folio 131  
d. RANCHO RICO; filed November 14, 1941; Vol. D, folio 73  
e. Warranty Deed (portion of Lot 11, Rancho Rico), recorded November 26, 1951; Book D-191, page 278.
5. Ten foot (10') Public Utility Easement adjacent and parallel to sides of all private streets is hereby granted with the filing of this plat.
6. Grant of Twenty-five foot (25') Water, Sewer and Public Utilities Easement filed February 11, 1980; Book Misc. 752; page 279, records of Bernalillo County, New Mexico.
7. Ten foot (10') Public Utility Easement filed September 16, 1975; Doc. No. 84782.
8. Ten foot (10') Irrigation Easement filed November 4, 1941; Vol.D, folio 73.
9. Ten foot (10') Utilities and Irrigation Easement filed February 13, 1949; Vol.B, folio 131.
10. Ten foot (10') Easement granted to City of Albuquerque for Pipeline, Power and Well Access, filed in Book D191, page 623.
11. Tract "B" is reserved as a Public Drainage Easement for Stormwater Impoundment. Maintenance of this area is the mutual responsibility of all homeowners in Sunset Villa, their heir(s) and/or assign(s).
12. Streets appearing on this plat are granted as Private Ways for Private Ingress, egress and circulation, maintenance is the joint, equal and inseparable responsibility of the owners of Lots 1-P1 through 70-P1, SUNSET VILLA. Said streets are also granted as Public Sewer and Water Easements and Public Utility Easements. Designated as Tract "A", contains 3.1839 acres.
13. Twenty-five foot (25') Private Access Easement following the Northerly lines of Lots 1 through 4 of the Powell Gardens Addition vacated by this plat.
14. Middle Rio Grande Conservancy District Ditch Easement, as dimensioned, are granted by this plat.

- NOTES CONTINUED ON SHEET 4 -

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY  
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC#  
1 012 057 330 083 40332, 1 012 057 284 076 40325, 1 012 057 309 089 40329  
1 012 057 319 086 40330, 1 012 057 281 046 40323, 1 012 057 286 087 40336  
1 012 057 318 070 40331

PROPERTY OWNER OF RECORD:  
WAREHOUSE MOULDING & DOOR CORP.; SUNSET VILLA LLC; POWERS  
LEONA M & MIDGE CHRISTIE  
BERNALILLO COUNTY TREASURER'S OFFICE

F. Sullivan 10-22-07

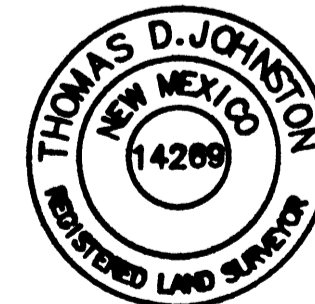
City Approvals:

<u>Mr. B. Stal</u>	10-16-07
City Surveyor	Date
<u>NA</u>	Date
Real Property Division	Date
<u>NA</u>	Date
Environmental Health Department	Date
<u>Bradley L. Bingham</u>	10/17/07
Planning, Engineering, Transportation Division	Date
<u>Roger A. Duen</u>	10/17/07
A B C W A	Date
<u>Christina Sandoval</u>	10/19/07
Parks and Recreation Department	Date
<u>Bradley L. Bingham</u>	10/17/07
A M A F C A	Date
<u>Bradley L. Bingham</u>	10/17/07
City Engineer	Date
<u>J. Watson</u>	10/19/07
DRB Chairperson, Planning Department	Date
<u>J. P. Stal</u>	10/18/07
M R G C D	Date
SEE SHEET 4 FOR MRGCD APPROVAL	

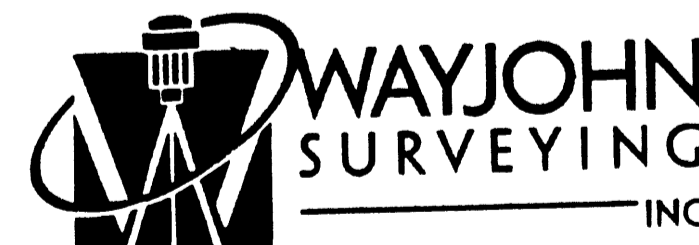
SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston 10-03-07  
Thomas D. Johnston, N.M.P.S. No. 14269 Date



10/3/2007



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J	3 OCT 2007	SHEET 1 OF 8
DRAWING NO. SP70105.DWG		

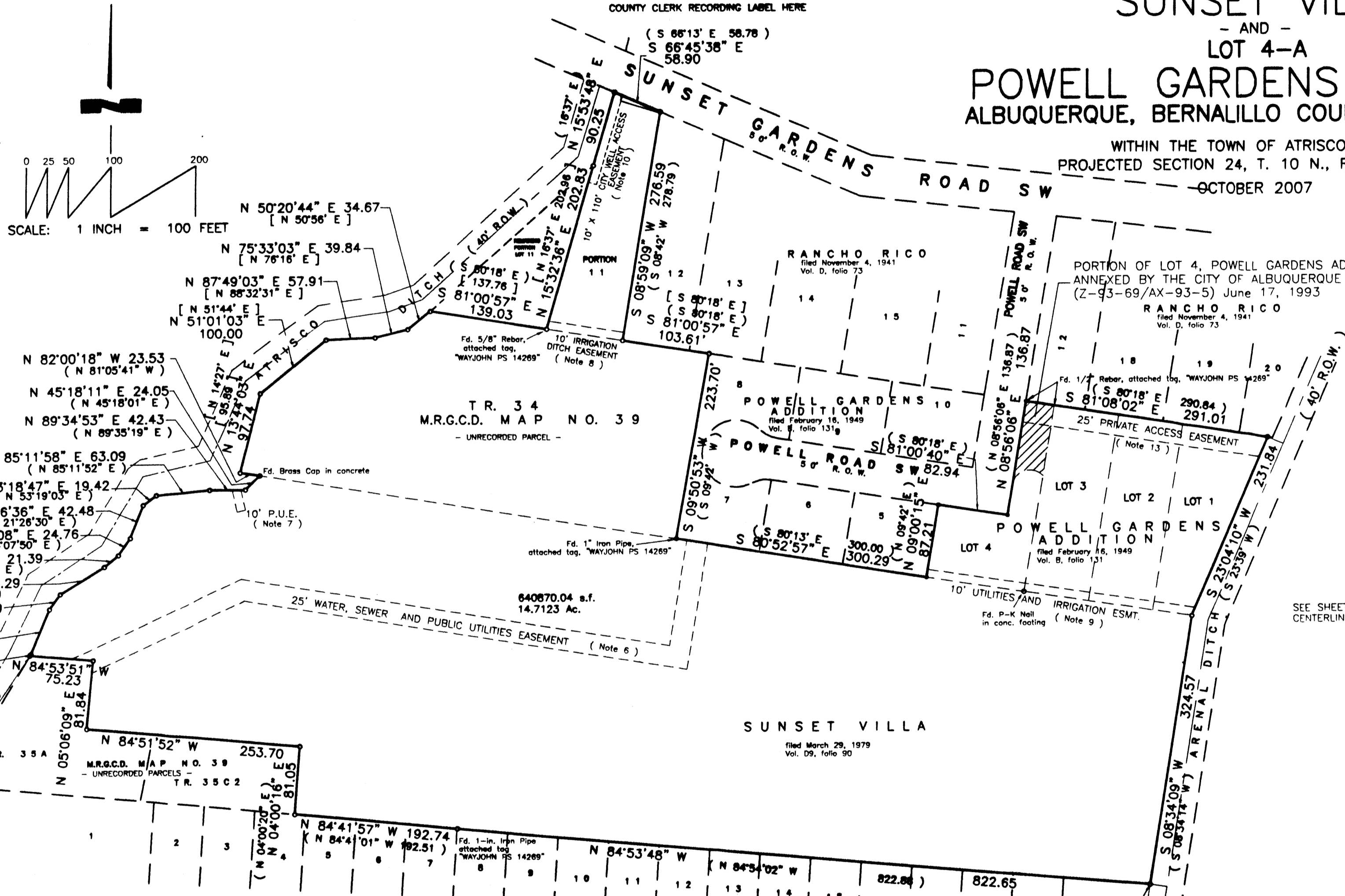
DOCH 2007147987  
 10/23/2007 09:21 AM Page: 2 of 8  
 PLAT N: 342.00 B: 2007C P: 0311 N. Toulouse, Bernalillo County

COUNTY CLERK RECORDING LABEL HERE

CORRECTED

PLAT OF  
 LOTS 1-P1 THRU 70-P1 and TRACTS A & B  
 SUNSET VILLA  
 - AND -  
 LOT 4-A  
 POWELL GARDENS ADDITION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 -OCTOBER 2007



SCALE: 1 INCH = 100 FEET

ACS STA. "18-L12"  
 X = 367987.82  
 Y = 1479672.44  
 Ground to Grid Factor:  
 0.9996838  
 $\Delta\alpha = -00' 15' 12''$   
 NAD 1927  
 EL: 4938.4 (TRIG ELEV.)  
 MGDV 1929

NOTES:

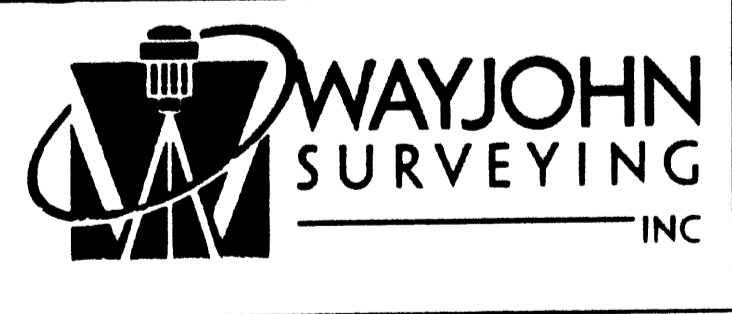
1. PERIMETER DIMENSIONS ARE GROUND DISTANCES
2. BEARINGS ARE TO THE NEW MEXICO STATE PLANE GRID, CENTRAL ZONE, NAD 1927
3. BEARINGS AND DISTANCES SHOWN IN PARENTHESES ( ) ARE AS THEY APPEAR ON RECORDED PLATS.
4. BEARINGS AND DISTANCES SHOWN IN BRACKETS [ ] ARE AS THEY APPEAR WITHIN RECORDED DEEDS.
5. UNLESS OTHERWISE INDICATED, ALL CORNERS ARE SET WITH A 1/2" REBAR AND CAP "WAYJOHN PS 14269"

DESCRIPTION APPEARS ON SHEET 3 OF 8

ACS STA. "18-L12"  
 X = 369929.23  
 Y = 1479254.75  
 Ground to Grid Factor:  
 0.9996831  
 $\Delta\alpha = -00' 15' 01''$   
 NAD 1927  
 EL: 4943.017  
 NGVD 1929



10/3/2007



330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 100'	FILE NO. SP-7-01-2005
CHECKED: T D J	3 OCT 2007	SHEET 2 of 8
DRAWING NO. SP70105.DWG		



DOC# 2007147987

10/29/2007 09:21 AM Page: 3 of 8  
 PLAT R: \$42.00 B: 2007C P: 0311 M. Toulouse, Bernalillo County

COUNTY CLERK RECORDING LABEL HERE

**CORRECTED**  
**PLAT OF**  
**LOTS 1-P1 THRU 70-P1 and TRACTS A & B**  
**SUNSET VILLA**  
 - AND -  
**LOT 4-A**  
**POWELL GARDENS ADDITION**  
**ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO**

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 OCTOBER 2007

**DESCRIPTION**

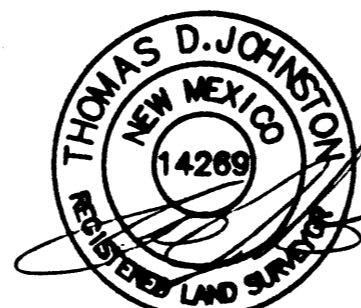
A tract of land in Bernalillo County, New Mexico, within the Town of Atrisco Grant, within projected Section 24, Township 10 North, Range 2 East, N.M.P.M., being and comprising the following lots and tracts:

An Easterly portion of Lot numbered Eleven (11) of the Plat of RANCHO RICO, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on November 4, 1941, in Volume D, folio 73;  
 AND  
 Lots numbered One (1), Two (2), Three (3) and Four (4) of the Plat of POWELL GARDENS ADDITION, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 16, 1949, in Volume B, folio 131;  
 AND  
 All of SUNSET VILLA, being a replat of Tract 35C-1, and portions of Tracts 35A, 35B & 35C-2 of the MRGCD Map No. 39, situate within Sections 24 and 25, Township 10 North, Range 2 East, New Mexico Principal Meridian, within the Town of Atrisco Grant, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 29, 1979, in Book D-9, page 90;  
 AND  
 Tract 34, of the Middle Rio Grande Conservancy District Property Map No. 39,  
 and being more particularly described as follows:

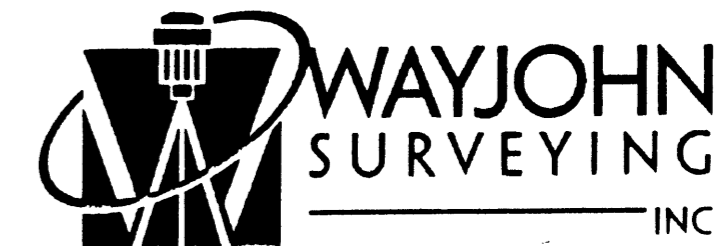
BEGINNING at the Southeast corner of the herein described tract of land, said corner being a point on the Westerly line of the M.R.G.C.D. Arenal Ditch and being common to the Northeast corner of Lot 20 of FLORA'S ADDITION, the plat of which was filed in the office of the County Clerk of Bernalillo County, New Mexico on October 17, 1949 in Volume B, folio 166, from which point ACS STA. "18-L12" (X=369529.23, Y=1479254.75, New Mexico State Plane Grid, Central Zone, NAD 1927) bears S 28°55'07" W, a ground distance of 3427.42 feet, and running from said beginning point thence,  
 N 84°53'48" W, a distance of 822.65 feet;  
 thence, N 84°41'57" W, a distance of 192.74 feet; thence, N 04°00'16" E, a distance of 81.05 feet;  
 thence, N 84°51'52" W, a distance of 253.70 feet; thence, N 05°06'09" E, a distance of 81.84 feet;  
 thence, N 84°53'51" W, a distance of 75.23 feet to the Southwesterly corner of the herein described tract, said point on the Easterly line of the M.R.G.C.D. Atrisco Ditch;  
 thence, along the Easterly line of said Ditch through the following courses, N 37°00'49" E, a distance of 2.39 feet;  
 thence, N 22°18'53" E, a distance of 57.63 feet;  
 thence, N 36°14'28" E, a distance of 21.69 feet; thence, N 58°26'29" E, a distance of 61.29 feet;  
 thence, N 50°01'35" E, a distance of 21.39 feet; thence, N 34°09'08" E, a distance of 24.76 feet;  
 thence, N 21°26'36" E, a distance of 42.48 feet; thence, N 53°18'47" E, a distance of 19.42 feet;  
 thence, N 85°11'58" E, a distance of 63.09 feet; thence, N 89°34'53" E, a distance of 42.43 feet;  
 thence, N 45°18'11" E, a distance of 24.05 feet; thence, N 82°00'18" W, a distance of 23.53 feet;  
 thence, N 13°44'03" E, a distance of 97.74 feet; thence, N 51°01'03" E, a distance of 100.00 feet;  
 thence, N 87°49'03" E, a distance of 57.91 feet; thence, N 75°33'03" E, a distance of 39.84 feet;  
 thence, N 50°20'44" E, a distance of 34.67 feet to a point being common to the Southwest corner of Lot 11 of RANCHO RICO;  
 thence, departing the Easterly line of Atrisco Ditch, S 81°00'57" E, a distance of 139.03 feet to a point on the Southerly line of said Lot 11;  
 thence, N 15°32'36" E, a distance of 202.83 feet to a point on the Westerly line of said Lot 11, being a point on the Easterly line of Atrisco Ditch;  
 thence, along said Ditch, N 15°53'48" E, a distance of 90.25 feet to the Northwesternmost corner of the herein described tract, said corner being the Northwest corner of said Lot 11 and a point on the South right-of-way line of Sunset Gardens Road, SW;  
 thence, following said right-of-way line, S 66°45'38" E, a distance of 58.90 feet to a point being the Northeast corner of said Lot 11;  
 thence, departing said right-of-way line, S 08°59'09" W, a distance of 276.59 feet;  
 thence, S 81°00'57" E, a distance of 103.61 feet to a point being the Northwest corner of Lot 8, POWELL GARDENS ADDITION;  
 thence, S 09°50'53" W, a distance of 223.70 feet to the Southwest corner of Lot 7, POWELL GARDENS ADDITION;  
 thence, S 80°52'57" E, a distance of 300.29 feet to the Southwest corner of Lot 4, POWELL GARDENS ADDITION;  
 thence, N 09°00'15" E, a distance of 87.21 feet to the Northwest corner of Lot 4, a point on the South line of Powers Road, SW; thence, following said line S 81°00'40" E, a distance of 82.94 feet; thence, N 08°56'06" E, a distance of 136.87 feet to the Northwest corner of Lot 4;  
 thence, S 81°08'02" E, a distance of 291.01 feet to the Northeast corner of the herein described tract, said point being a point on the Westerly line of the M.R.G.C.D. Arenal Ditch and being common to the Northeast corner of Lot 1 of POWELL GARDENS ADDITION;  
 thence, following the West line of said Ditch, S 23°04'10" W, a distance of 231.84 feet to the Southeast corner of said Lot 1;  
 thence, continuing along the West line of said Ditch, S 08°34'09" W, a distance of 324.57 feet to the Southeast corner of the herein described tract and the place of Beginning, containing 14.7123 acres, more or less.

**CURVES**

	NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
STREET CENTERLINES	C1	33°13'15"	75.00	43.49	S 82°33'20" W	42.88
	C2	88°27'41"	75.00	115.80	N 35°29'53" W	104.63
	C3	90°10'48"	25.00	39.35	S 54°04'33" W	35.41
	C4	33°13'15"	98.00	56.82	S 82°33'20" W	56.03
	a	10°45'50"	98.00	18.41	N 86°12'58" W	18.38
	b	22°27'25"	98.00	38.41	S 77°10'25" W	38.17
	C5	42°23'58"	25.00	18.50	S 87°08'41" W	18.08
	C6	26°47'56"	40.00	184.86	S 24°03'18" E	59.08
	a	18°33'14"	40.00	12.95	N 80°55'57" W	12.90
	b	65°11'31"	40.00	45.51	S 57°11'41" W	43.10
	c	26°53'32"	40.00	18.77	S 11°09'09" W	18.60
	d	55°34'20"	40.00	38.80	S 30°04'47" E	37.29
	e	54°53'04"	40.00	38.32	S 85°18'30" E	36.87
	f	43°42'15"	40.00	30.51	N 45°23'51" E	29.78
	C7	42°23'58"	25.00	18.50	N 44°44'43" E	18.08
	C8	33°13'15"	52.00	30.15	N 82°33'20" E	29.73
	C9	89°34'00"	25.00	39.08	S 36°03'03" E	35.22
	C10	42°23'58"	25.00	18.50	S 29°55'56" E	18.08
	a	18°14'29"	25.00	7.96	S 17°51'12" W	7.93
	b	24°09'29"	25.00	10.54	S 39°03'11" W	10.46
	C11	26°47'56"	40.00	184.86	S 81°18'03" E	59.08
	a	66°04'31"	40.00	46.13	S 18°05'40" W	43.62
	b	28°41'58"	40.00	20.03	S 29°17'35" E	19.82
	c	53°45'53"	40.00	37.54	S 70°31'31" E	36.17
	d	45°30'37"	40.00	31.77	N 59°50'14" E	30.94
	e	70°44'57"	40.00	49.39	N 01°42'27" E	46.31
	C12	42°23'58"	25.00	18.50	N 12°28'02" W	18.08
	a	19°15'25"	25.00	8.40	N 24°02'19" W	8.36
	b	23°08'33"	25.00	10.10	N 02°50'20" W	10.03
	C13	90°26'00"	25.00	39.46	N 53°56'57" E	35.49
	C14	89°49'12"	25.00	39.19	S 35°55'27" E	35.30
	C15	90°26'00"	25.00	39.46	S 53°56'57" W	35.49
C16	89°34'00"	25.00	39.08	S 36°03'03" E	35.22	
C17	42°23'58"	25.00	18.50	S 29°55'56" E	18.08	
C18	178°12'11"	40.00	124.41	S 37°58'10" E	79.99	
a	47°35'28"	40.00	33.22	S 27°20'11" W	32.28	
b	48°10'18"	40.00	33.63	S 20°32'42" E	32.65	
c	82°26'25"	40.00	57.55	S 85°51'03" E	52.72	
C19	42°23'58"	25.00	18.50	N 74°07'44" E	18.08	
a	12°30'05"	25.00	5.45	N 59°10'47" E	5.44	
b	29°53'53"	25.00	13.05	N 80°22'46" E	12.90	
C20	93°24'14"	25.00	40.76	S 37°58'10" E	36.39	
C21	86°35'46"	25.00	37.78	N 52°01'50" E	34.29	
C22	43°41'27"	25.00	19.06	N 13°06'46" W	18.61	
C23	267°22'56"	40.00	186.67	S 81°16'03" E	57.85	
a	37°43'28"	40.00	26.34	N 16°05'47" W	25.86	
b	95°58'00"	40.00	67.00	N 50°44'57" E	59.44	
c	96°43'52"	40.00	67.53	S 32°54'07" E	59.79	
d	36°57'36"	40.00	25.80	S 33°57'36" W	25.36	
C24	43°41'27"	25.00	19.06	S 30°34'41" E	18.61	
C25	93°24'14"	25.00	40.76	S 37°58'10" E	36.39	
C26	86°35'46"	25.00	37.78	N 52°01'50" E	34.29	
C27	42°23'58"	25.00	18.50	S 63°28'18" E	18.08	
C28	171°23'42"	40.00	119.66	N 52°01'50" E	79.77	
a	31°01'03"	40.00	21.65	S 57°46'51" E	21.39	
b	44°29'49"	40.00	31.07	N 84°27'43" E	30.29	
c	40°58'25"	40.00	28.60	N 41°43'36" E	28.00	
d	54°54'25"	40.00	38.33	N 06°12'49" W	36.88	
C29	42°23'58"	25.00	18.50	N 12°28'02" W	18.08	
C30	88°27'41"	98.00	151.31	N 35°29'53" W	136.72	
a	06°22'25"	98.00	10.90	N 05°32'45" E	10.90	
b	32°04'06"	98.00	54.85	N 13°40'30" W	54.14	
c	50°01'10"	98.00	85.55	N 54°43'08" W	82.86	
C31	88°27'41"	52.00	80.28	N 35°29'53" W	72.55	
C32	116°40'28"	20.00	40.73	S 67°16'20" W	34.05	



10/3/2007



**WAYJOHN**  
**SURVEYING**  
 INC

330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J	3 OCT 2007	SHEET 3 OF 8
DRAWING NO. SP70105.DWG		

— NOTES CONTINUED FROM SHEET 1 —

15. Ten foot (10') Private Irrigation Easement for the benefit of Lot 12, Rancho Rico, is granted by this plat. Maintenance of this easement is the responsibility of the Sunset Villa Homeowners Association.
16. Private Access Easement for the benefit of Tract B is granted by this plat. Maintenance of this easement is the responsibility of the Sunset Villa Homeowners Association. Private access easement also granted for the benefit of the portion of Tract 11 of Rancho Rico, recorded November 4, 1941, Volume D, folio 73.

DOCH 2007147987  
 10/23/2007 09:21 AM Page 4 of 8  
 PLAT R 342.00 B 2007C P. 0311 M. Toulouse, Bernalillo County  
 COUNTY CLERK RECORDING LABEL HERE

**CORRECTED**  
**PLAT OF**  
**LOTS 1-P1 THRU 70-P1 and TRACTS A & B**  
**SUNSET VILLA**  
 — AND —  
**LOT 4-A**  
**POWELL GARDENS ADDITION**  
**ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO**

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 OCTOBER 2007

**PUBLIC UTILITY EASEMENTS**

Public Utility Easements shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast Cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations or National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformers/switchgear doors and five feet (5') on each side.

**SOLAR COLLECTORS NOTE**

No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings erected on the lots or parcels within the area of the proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision.

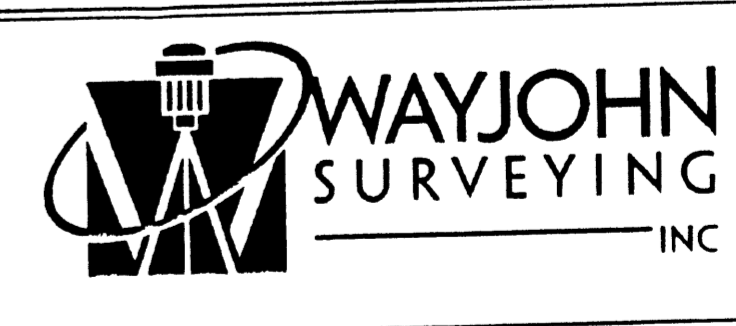
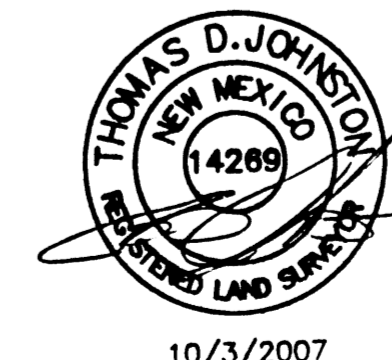
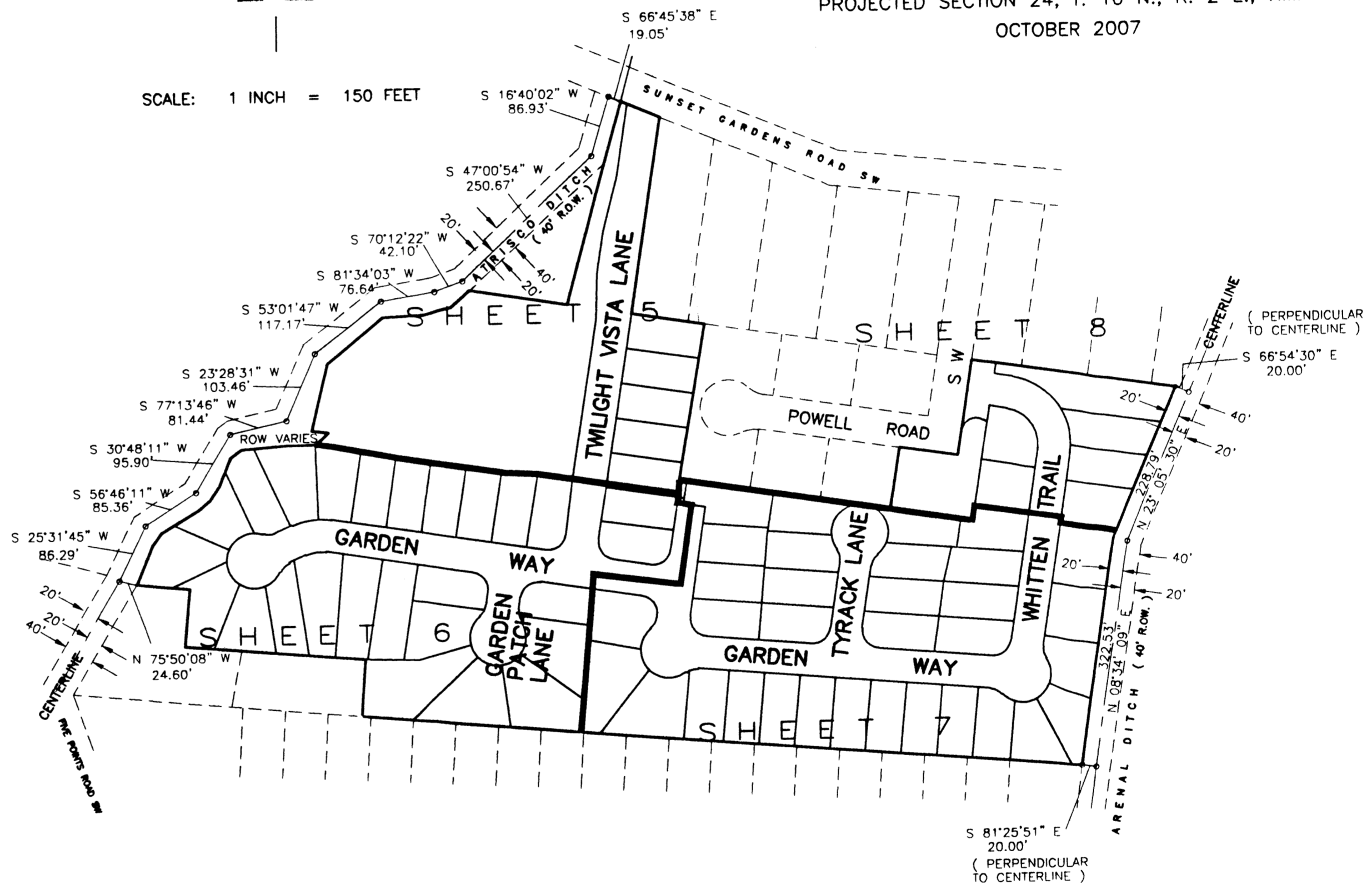
METAL TAGS STAMPED "WAYJOHN PS 14269" WERE ATTACHED TO ALL RECOVERED AND ACCEPTED BOUNDARY CORNERS.  
 BOUNDARY CORNERS RESET WERE SET WITH A 1/2" REBAR AND PLASTIC CAP STAMPED "WAYJOHN PS 14269"

NOTE: CENTERLINE Δ (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #14269".

APPROVED on the condition that all rights of the Middle Rio Grande Conservancy District in easements, rights of way, assessments and liens, are fully reserved to said District, and that if the provision for irrigation source and easements are not provided for by the subdivider for the subdivision, addition, or plat, said District is absolved of all obligations to furnish irrigation waters and services to any portions thereof, other than from existing turnouts.

APPROVED [Signature] DATE 10/8-07

SCALE: 1 INCH = 150 FEET



330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 150'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	3 OCT 2007	SHEET 4 OF 8

10/3/2007

DOCH 2007147987

10/23/2007 09:21 AM Page: 5 of 8  
PLAT R: 342.00 S: 2007C P: 0311 M. Toulouse, Bernalillo County

COUNTY CLERK RECORDING LABEL HERE

CORRECTED  
PLAT OF  
LOTS 1-P1 THRU 70-P1 and TRACTS A & B  
SUNSET VILLA

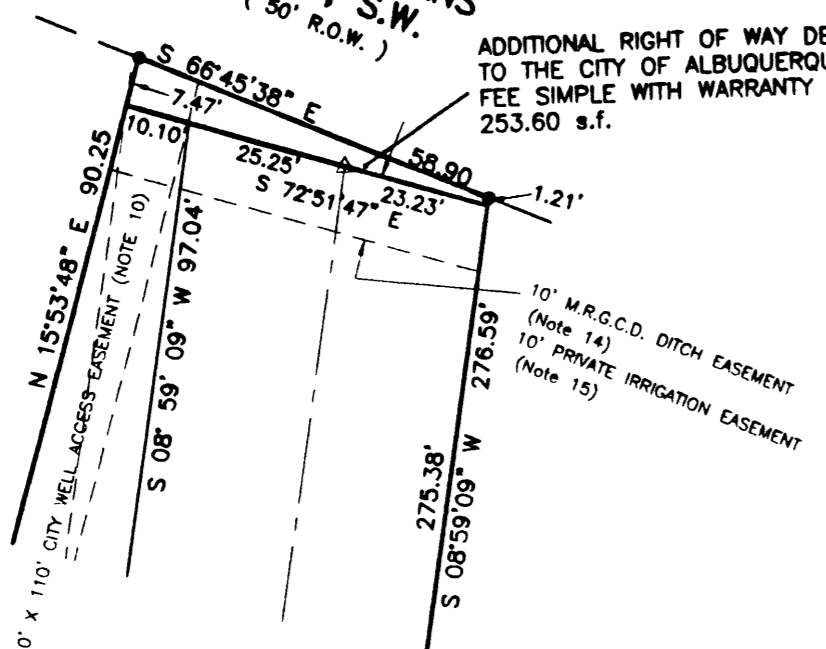
- AND -  
LOT 4-A  
POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
OCTOBER 2007

SUNSET GARDENS  
ROAD, S.W.  
(50' R.O.W.)

ADDITIONAL RIGHT OF WAY DEDICATED  
TO THE CITY OF ALBUQUERQUE IN  
FEE SIMPLE WITH WARRANTY COVENANTS  
253.60 s.f.

RIGHT OF  
WAY DEDICATION  
(SEE DETAIL)



RIGHT OF WAY DEDICATION DETAIL  
(SCALE: 1"=30')

M.R.G.C.D. DITCH EASEMENT DIMENSIONS

- A S 50°13'46" W 20.28
- B S 61°25'19" W 17.67
- C S 49°36'30" W 51.68
- D S 05°54'18" W 8.07
- E S 21°33'48" W 8.07

N 50°20'44" E 34.67  
[ N 50°56' E ]

N 75°33'03" E 39.84  
[ N 76°16' E ]

N 87°49'03" E 57.91  
[ N 88°32'31" E ]

[ N 51°44' E ]  
[ N 51°01'03" E ]

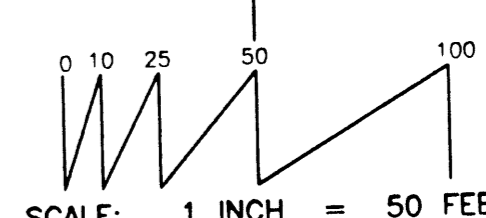
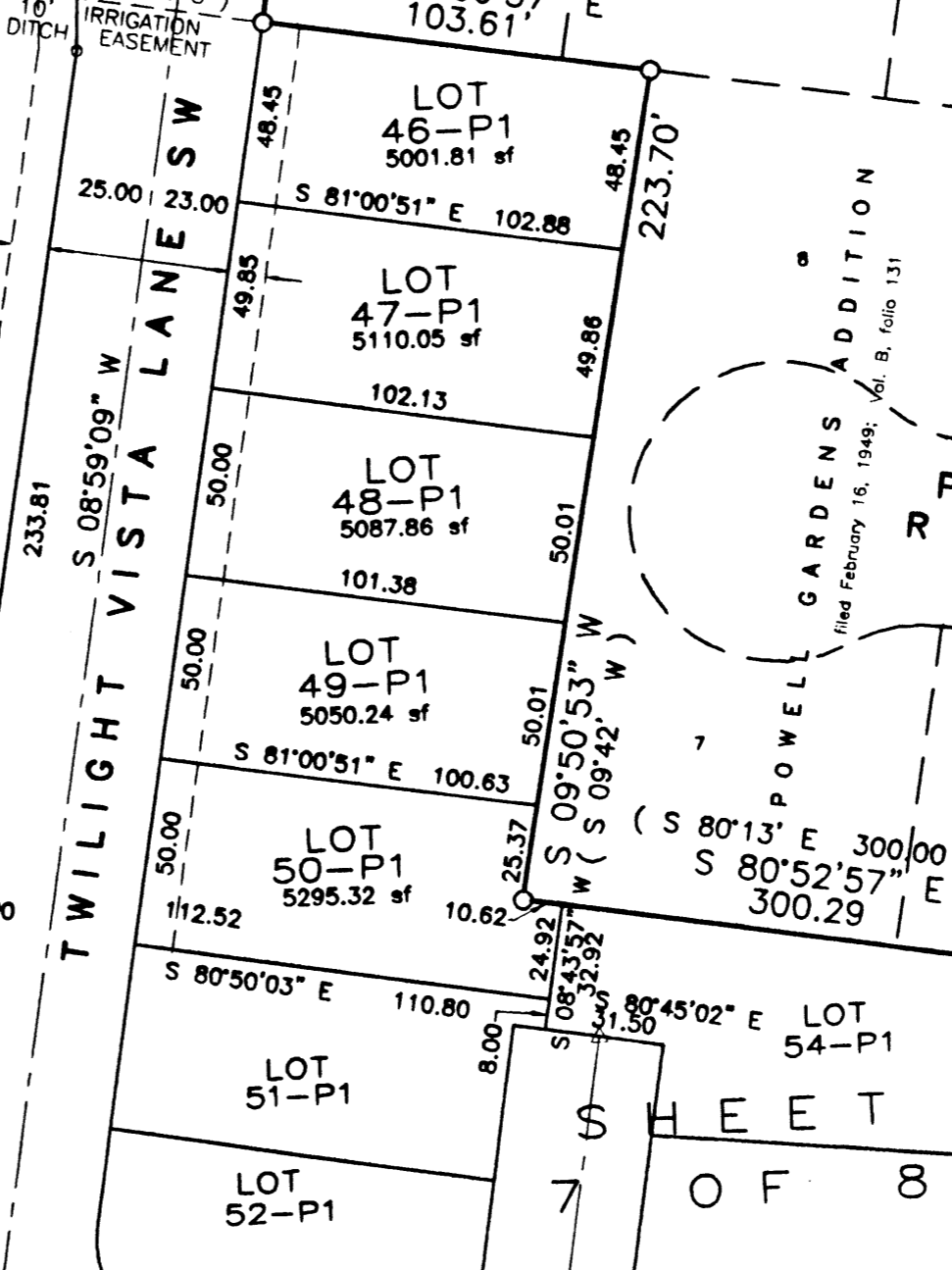
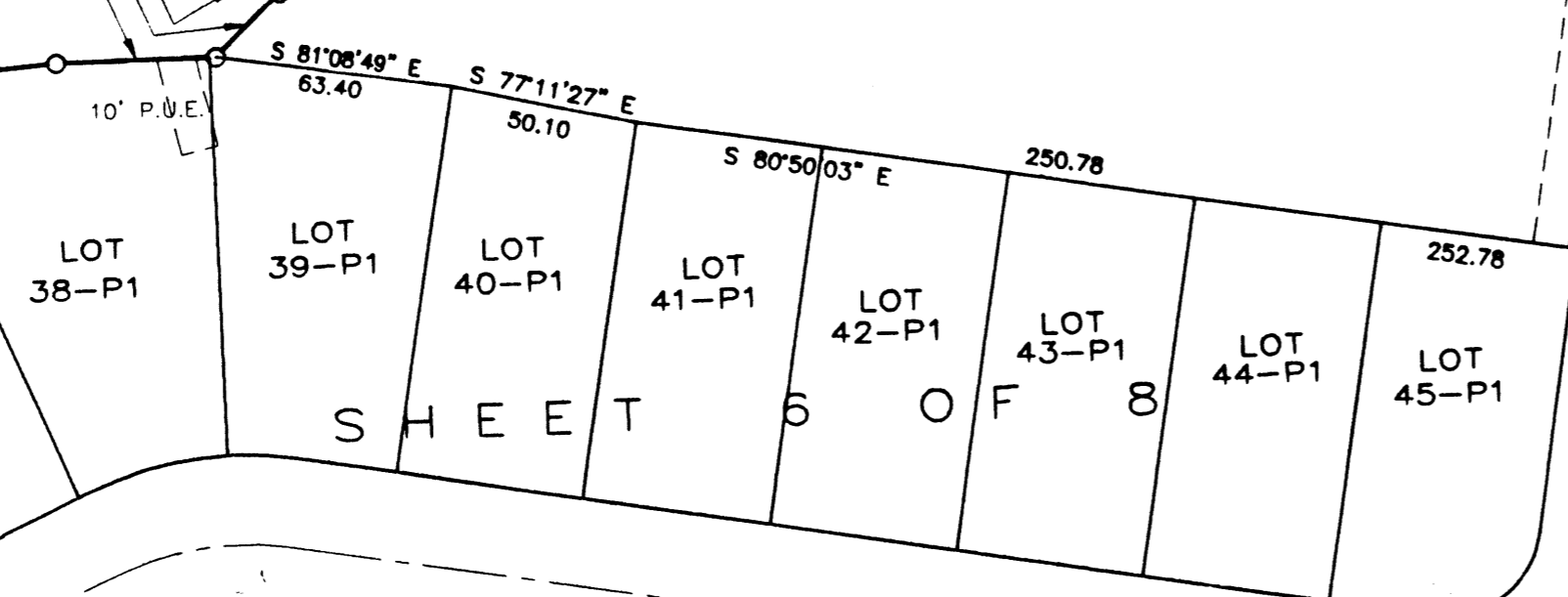
N 82°00'18" W 23.53  
( N 81°05'41" W )

N 45°18'11" E 24.05  
( N 45°18'01" E )

N 89°34'53" E 42.43  
( N 89°35'19" E )

TRACT B  
66527.46 sf  
DRAINAGE  
EASEMENT  
(Note 11)

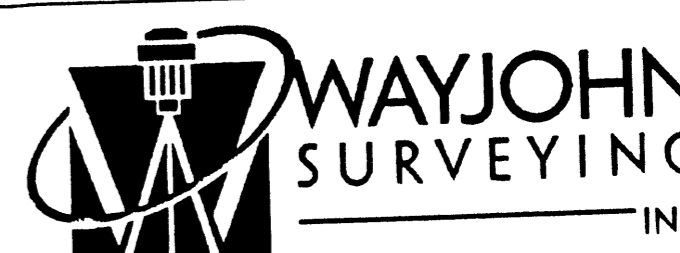
10' PUBLIC UTILITY EASEMENT (Note 5)



SCALE: 1 INCH = 50 FEET



10/3/2007



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	3 OCT 2007	SHEET 5 OF 8



DOCH 2007147987  
 10/23/2007 09:21 AM Page: 6 of 8  
 PLAT R: \$42.00 B: 2007C P: 0311 M. Toulouse, Bernalillo County

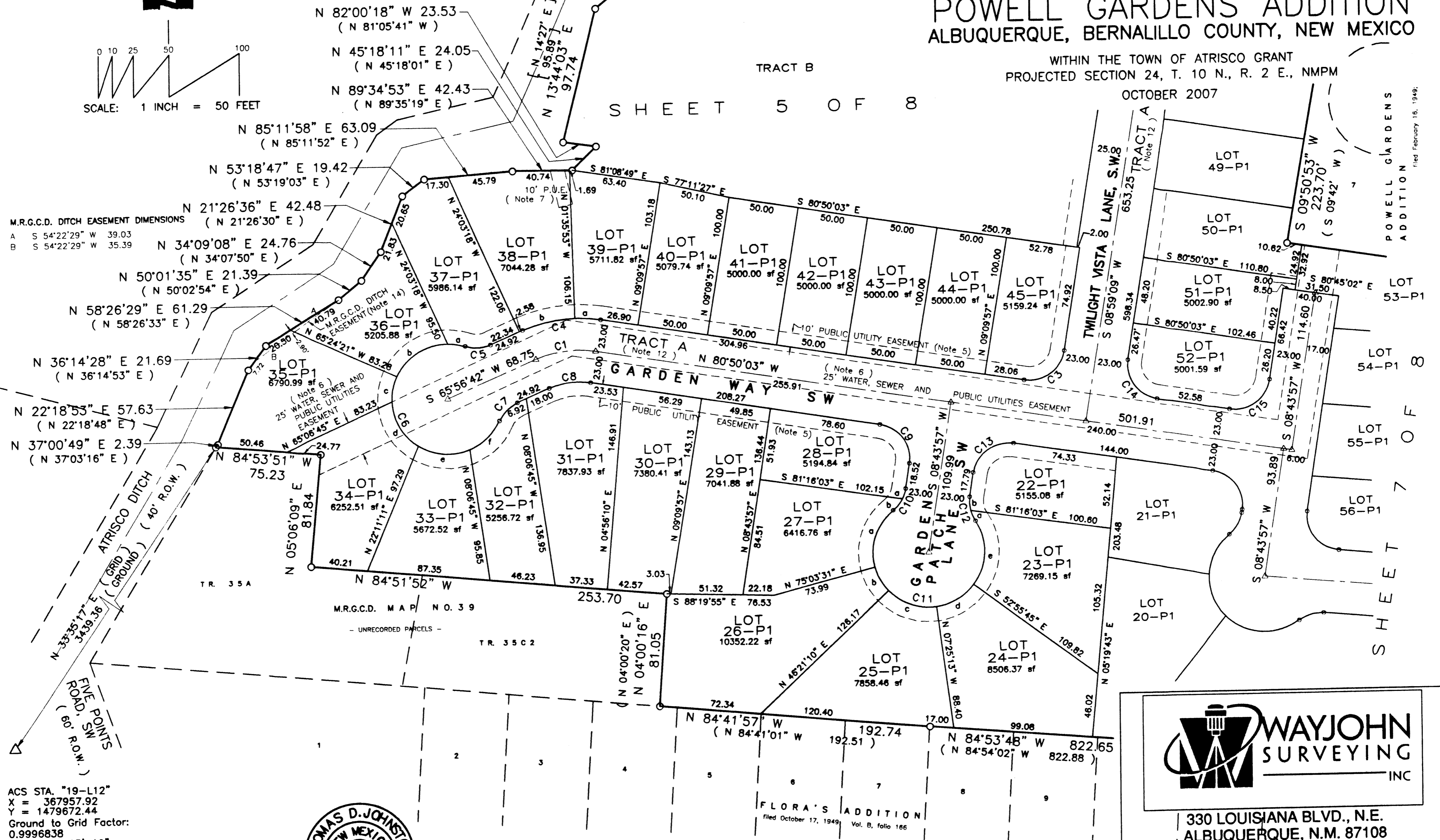
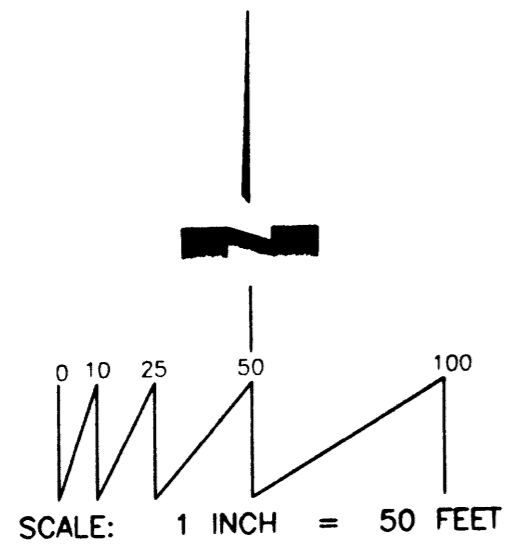
COUNTY CLERK RECORDING LABEL HERE

**CORRECTED**  
**PLAT OF**  
**LOTS 1-P1 THRU 70-P1 and TRACTS A & B**  
**SUNSET VILLA**  
 - AND -  
**LOT 4-A**  
**POWELL GARDENS ADDITION**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM

OCTOBER 2007

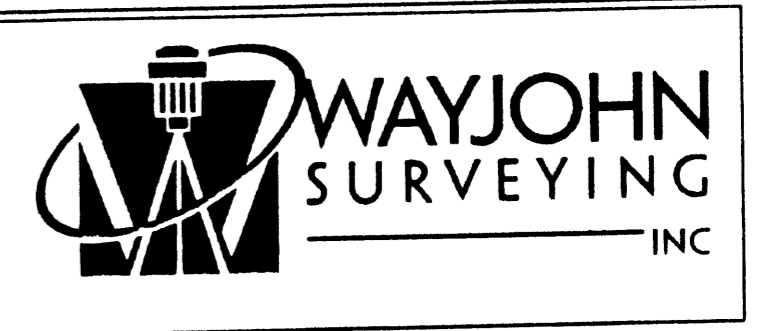
SHEET 5 OF 8



ACS STA. "19-L12"  
 X = 367957.92  
 Y = 1479672.44  
 Ground to Grid Factor:  
 0.9996838  
 $\Delta\alpha = -00^{\circ} 15' 12''$   
 NMSP CENTRAL ZONE  
 NAD 1927  
 EL: 4939.4 (TRIG ELEV.)  
 MGV D 1929



10/3/2007



**WAYJOHN**  
**SURVEYING**  
 INC  
 330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 253-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	3 OCT 2007	SHEET 6 OF 8

Filed February 16, 1949.

FLORA'S ADDITION  
 Filed October 17, 1949 Vol. B, folio 166

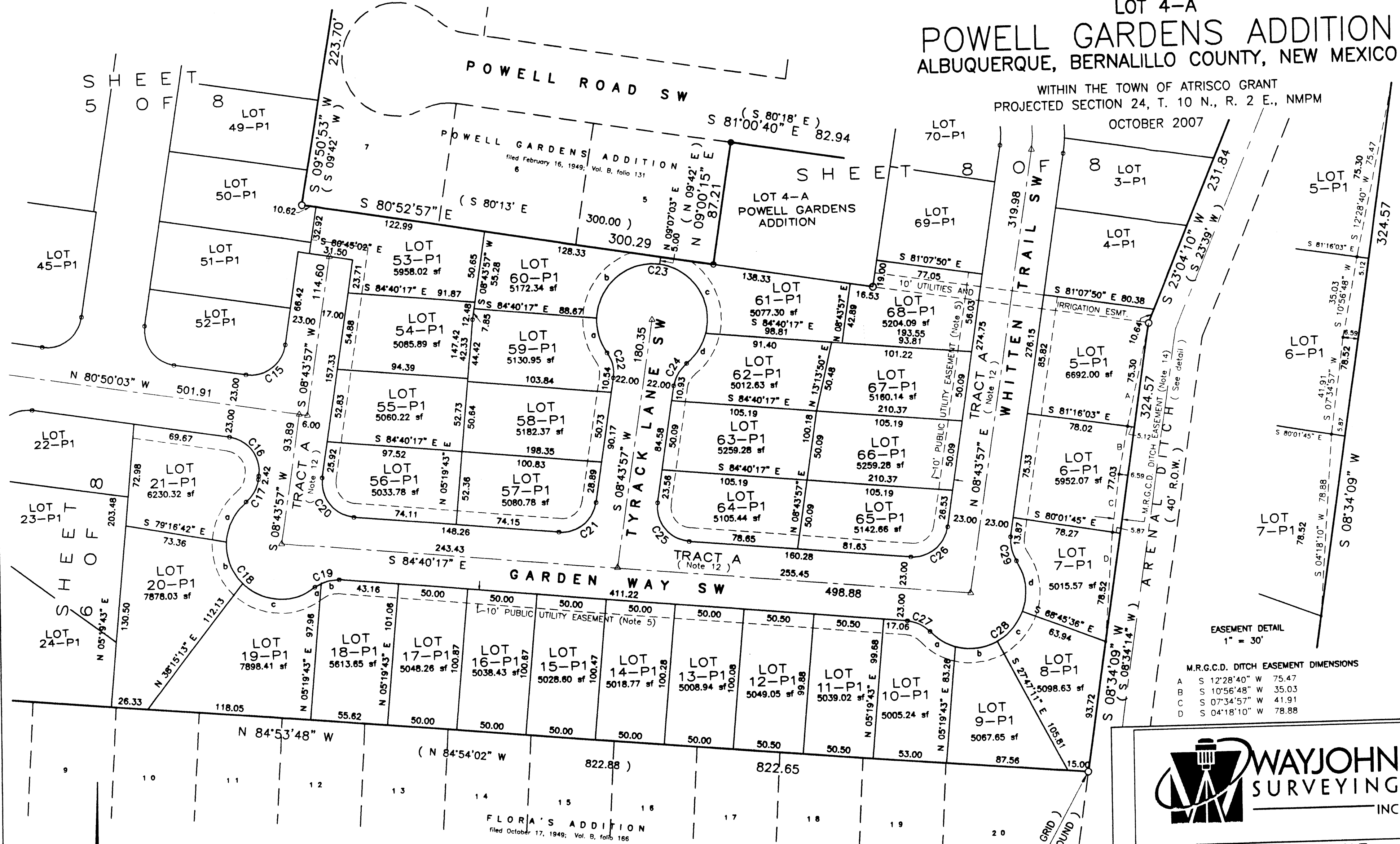
DOCN 2007147987

10/23/2007 09:21 AM Page: 7 of 8  
PLAT R-342, 00 B: 2007C P: 0311 M: Toulouse, Bernalillo County

COUNTY CLERK RECORDING LABEL HERE

**CORRECTED**  
**PLAT OF**  
**LOTS 1-P1 THRU 70-P1 and TRACTS A & B**  
**SUNSET VILLA**  
- AND -  
**LOT 4-A**  
**POWELL GARDENS ADDITION**  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

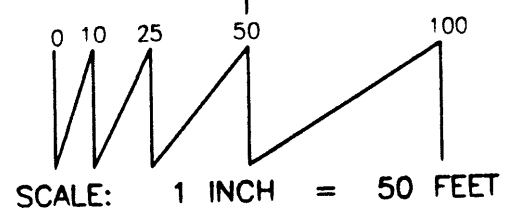
WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
OCTOBER 2007



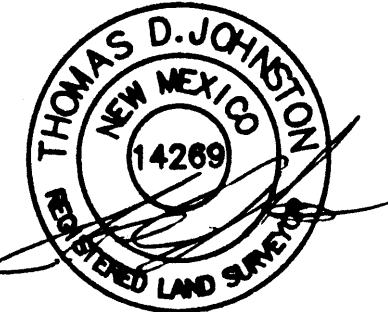
EASEMENT DETAIL  
1" = 30'

M.R.C.C.D. DITCH EASEMENT DIMENSIONS

A	S 12°28'40" W	75.47
B	S 10°56'48" W	35.03
C	S 07°34'57" W	41.91
D	S 04°18'10" W	78.88

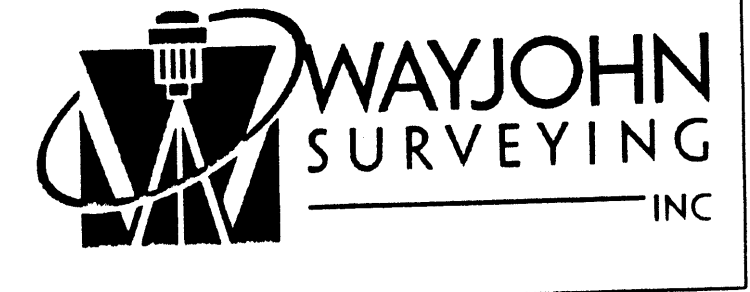


SCALE: 1 INCH = 50 FEET



10/3/2007

ACS STA. "18-L12"  
X = 369529.23  
Y = 1479254.75  
Ground to Grid Factor:  
0.9996831  
Δz = -00' 15" 01"  
NMSP CENTRAL ZONE  
NAD 1927



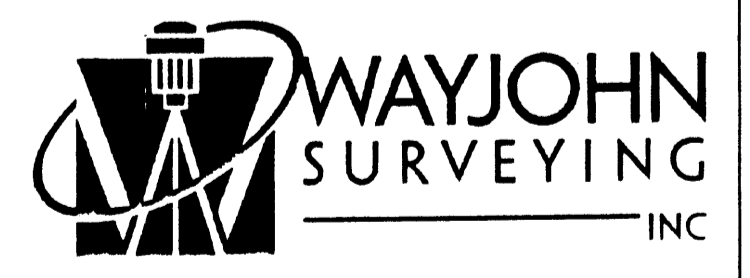
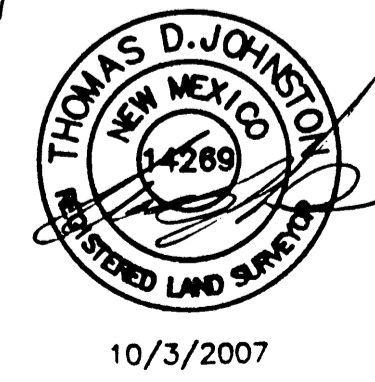
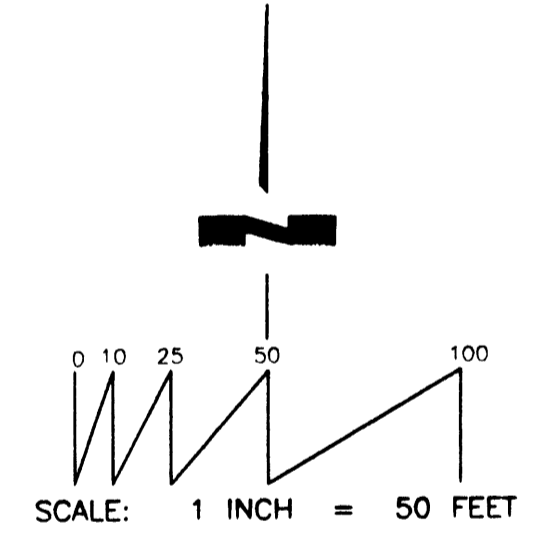
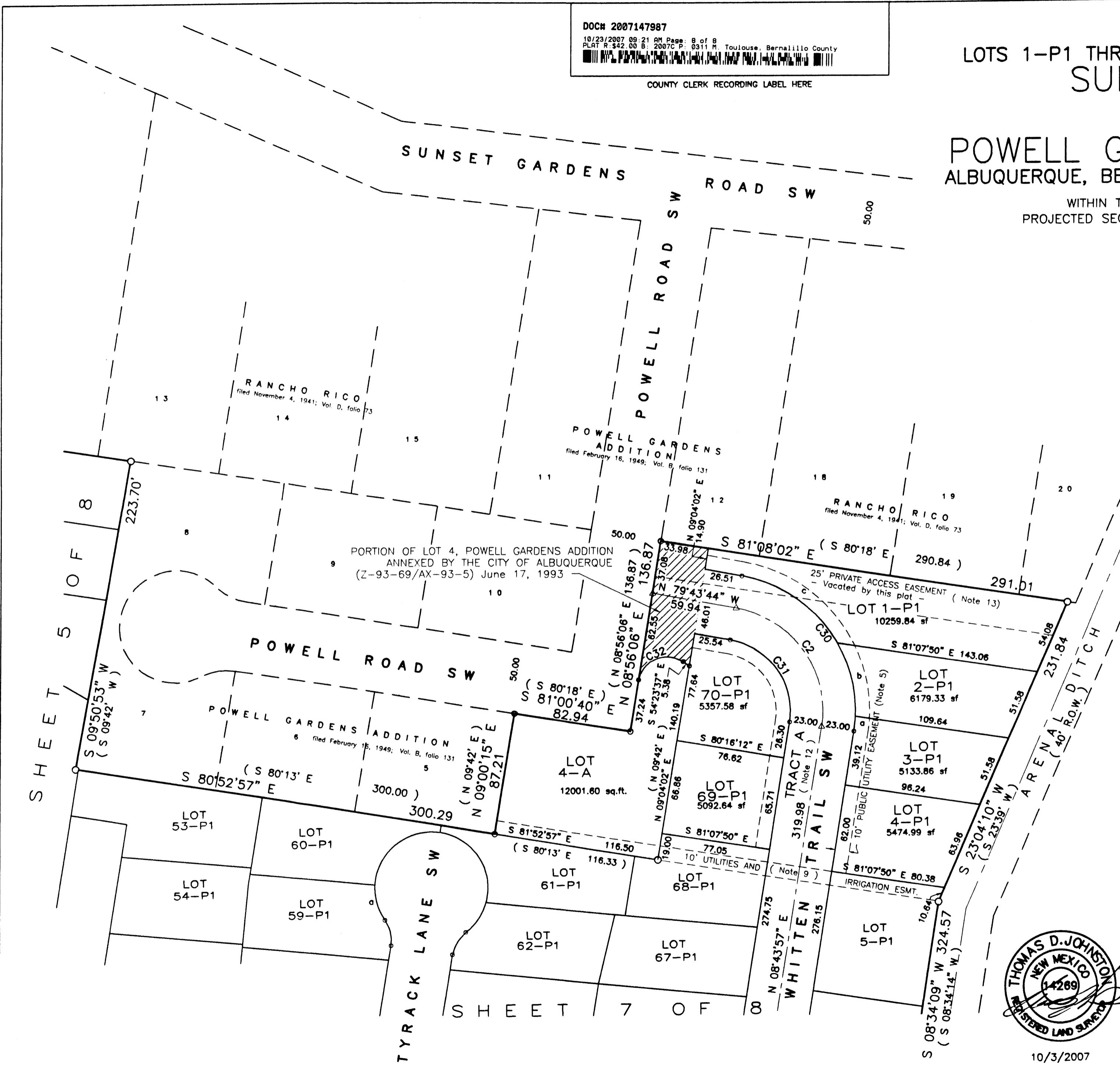
**WAYJOHN SURVEYING INC**  
330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN:	E W K	SCALE:	FILE NO.
CHECKED:	T D J	1" = 50'	SP-7-01-2005
DRAWING NO.	SP70105.DWG	3 OCT 2007	SHEET 7 OF 8

DOCH 2007147987  
 10/23/2007 09:21 AM Page: 8 of 8  
 PLAT R. \$42.00 B. 2007C P. 0311 M. Toulouse, Bernalillo County

COUNTY CLERK RECORDING LABEL HERE

**CORRECTED**  
**PLAT OF**  
**LOTS 1-P1 THRU 70-P1 and TRACTS A & B**  
**SUNSET VILLA**  
 - AND -  
**LOT 4-A**  
**POWELL GARDENS ADDITION**  
**ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO**  
 WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 OCTOBER 2007



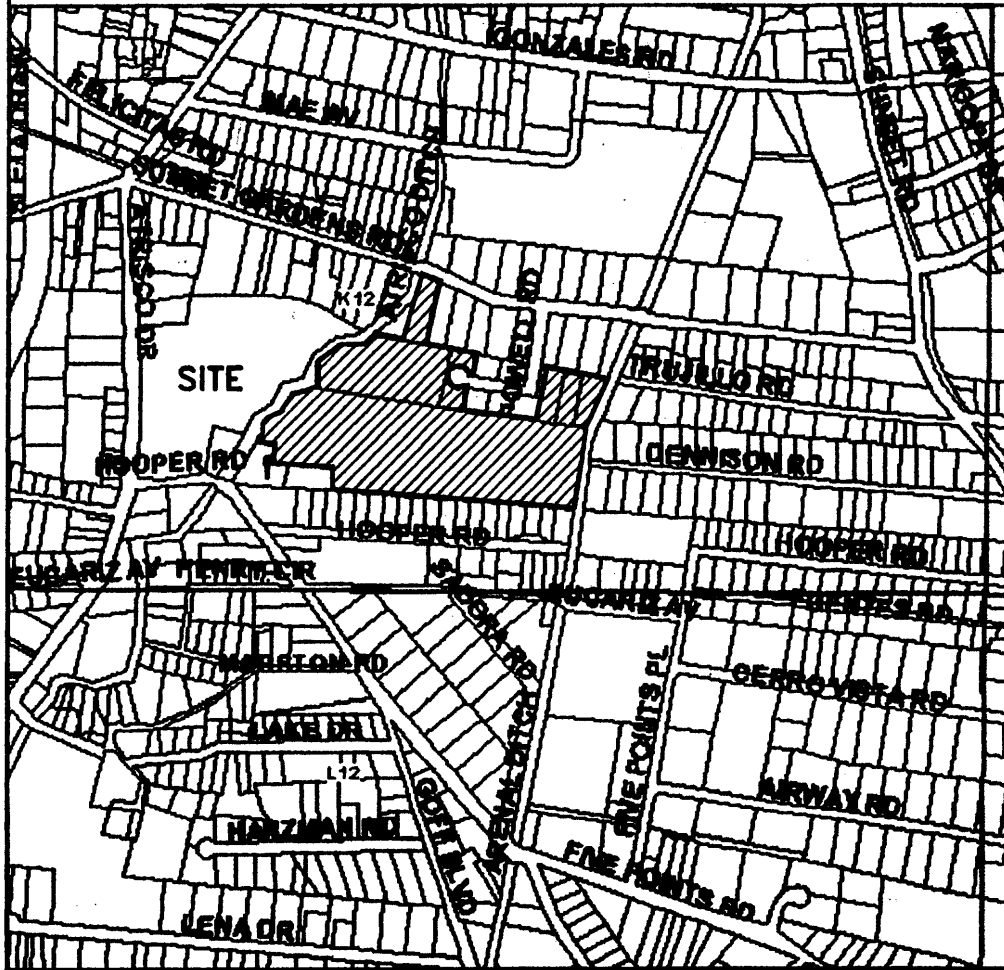
330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	3 OCT 2007	SHEET 8 OF 8

10/3/2007



VICINITY MAP (K-12) NO SCALE



**SUBDIVISION DATA**

1. DRB Proj. No.
2. Zone Atlas Index No. K-12
3. Current Zoning R-1
4. Gross acreage 14.7123 Acres
5. Total Number of Lots created - 70 residential, 2 tracts -
6. No. of existing lots/tracts: 7
7. Miles of full width Private Ways created: 0.5218 mi.  
Area of streets dedicated to City of Albuquerque: -0- Ac.
8. Date of Survey: April, 2006
9. TALOS LOG NO.: 2006201958

**NOTES**

1. Bearings are Grid Bearings, Central Zone, NAD 1927, based upon ACS monuments "18-L12" and "19-L12", and found monuments.
2. All distances are ground.
3. Monuments recovered and accepted or set are noted on plat. (SHEET 2 OF 8)
4. Record bearings in parenthesis ( ). Deed bearings in brackets [ ].  
Record bearings are from the following sources:  
a. SUNSET VILLA; filed March 29, 1979; Vol. D9, folio 90  
b. FLORA'S ADDITION; filed October 17, 1949; Vol. B, folio 166  
c. POWELL GARDENS ADDITION; filed February 13, 1949; Vol. B, folio 131  
d. RANCHO RICO; filed November 14, 1941; Vol. D, folio 73  
e. Warranty Deed (portion of Lot 11, Rancho Rico), recorded November 26, 1951; Book D-191, page 278.
5. Ten foot (10') Public Utility Easement adjacent and parallel to sides of all private streets is hereby granted with the filing of this plat.
6. Grant of Twenty-five foot (25') Water, Sewer and Public Utilities Easement filed February 11, 1980; Book Misc. 752; page 279, records of Bernalillo County, New Mexico.
7. Ten foot (10') Public Utility Easement filed September 16, 1975; Doc. No. 84782.
8. Ten foot (10') Irrigation Easement filed November 4, 1941; Vol.D, folio 73.
9. Ten foot (10') Utilities and Irrigation Easement filed February 13, 1949; Vol.B, folio 131.
10. Ten foot (10') Easement granted to City of Albuquerque for Pipeline, Power and Well Access, filed in Book D191, page 623.
11. Tract "B" is reserved as a Drainage Easement for Stormwater Impoundment. Maintenance of this area is the mutual responsibility of all homeowners in Sunset Villa, their heir(s) and/or assign(s).
12. Streets appearing on this plat are granted as Private Ways for Private ingress, egress and circulation, maintenance is the joint, equal and inseparable responsibility of the owners of Lots 1-P1 through 71-P1, SUNSET VILLA. Said streets are also granted as Public Sewer and Water Easements and Public Utility Easements. Designated as Tract "A", contains 3.1839 acres.
13. Twenty-five foot (25') Private Access Easement following the Northernly lines of Lots 1 through 4 of the Powell Gardens Addition vacated by this plat.
14. Middle Rio Grande Conservancy District Ditch Easement, as dimensioned, are granted by this plat.  
Easement(s) cover ditchbank grading and are for maintenance access by MRGCD.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY  
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# \_\_\_\_\_  
PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO COUNTY TREASURER'S OFFICE

COUNTY CLERK RECORDING LABEL HERE

DESCRIPTION APPEARS ON SHEET 3 OF 8

**Utility Approvals:**

PNM Electric Services	Date
PNM Gas Services	Date
Qwest Telecommunications	Date
Comcast Cable	Date

**PURPOSE OF PLAT:**

The purpose of this plat is to replat seven (7) tracts into seventy (70) residential lots and two (2) tracts, create Private Access Easement, grant Public Utility Easements and Drainage Easements and for compliance of platting requirement set forth in City of Albuquerque Zoning and Annexation cases Z-93-89 and AX-93-5, as approved by the City of Albuquerque Environmental Planning Commission on June 17, 1993.

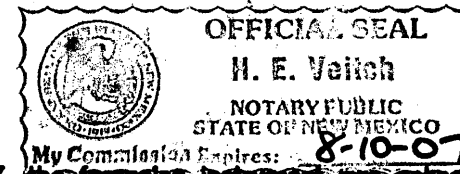
**FREE CONSENT AND DEDICATION:**

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution line, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

*Joe R. Hahn*  
Joe R. Hahn, President, Warehouse Door and Moulding Corporation, a New Mexico corporation

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) ss



On this 3rd day of August, 2007, the foregoing instrument was acknowledged before me by Joe R. Hahn, President, Warehouse Moulding and Door Corporation, Owner, Sunset Villa, Tract 35 M.R.G.C.D. Map 39, Lots 1, 2, 3 and northerly portion of Lot 4, Powell Gardens Addition.

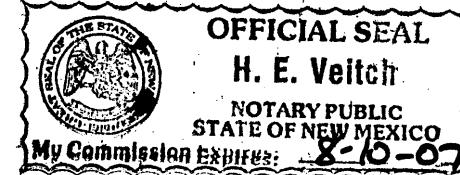
*H. E. Veitch*  
Notary Public

My Commission expires Aug. 10, 2007

*Midge Christie*  
Midge Christie, owner, southerly portion of Lot 4, POWELL GARDENS ADDITION.

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) ss



On this 3rd day of August, 2007, the foregoing instrument was acknowledged before me by Midge Christie

*H. E. Veitch*  
Notary Public

My Commission expires Aug. 10, 2007

**FINAL PRELIMINARY PLAT OF LOTS 1-P1 THRU 76-P1 SUNSET VILLA**

- AND -  
LOT 4-A

**POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO**

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
AUGUST 2007

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

**City Approvals:**

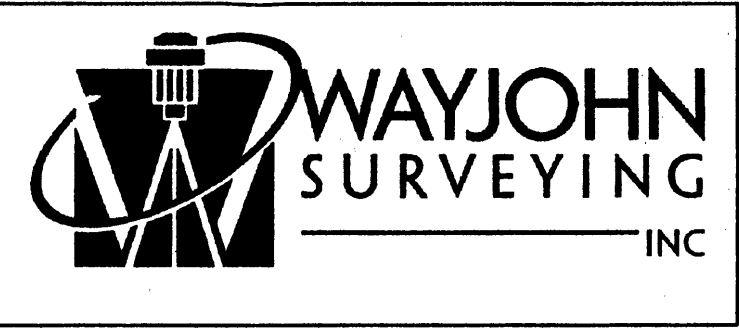
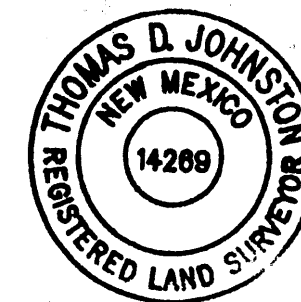
City Surveyor	Date
Real Property Division	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
A B C W U A	Date
Parks and Recreation Department	Date
A M A F C A	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date
M R G C D	Date

**FINAL PRELIMINARY PLAT APPROVED BY DRB ON 8/22/07**

**SURVEYOR'S CERTIFICATE**

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

*Thomas D. Johnston*  
Thomas D. Johnston, N.M.P.S. No. 14269



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 1 OF 8

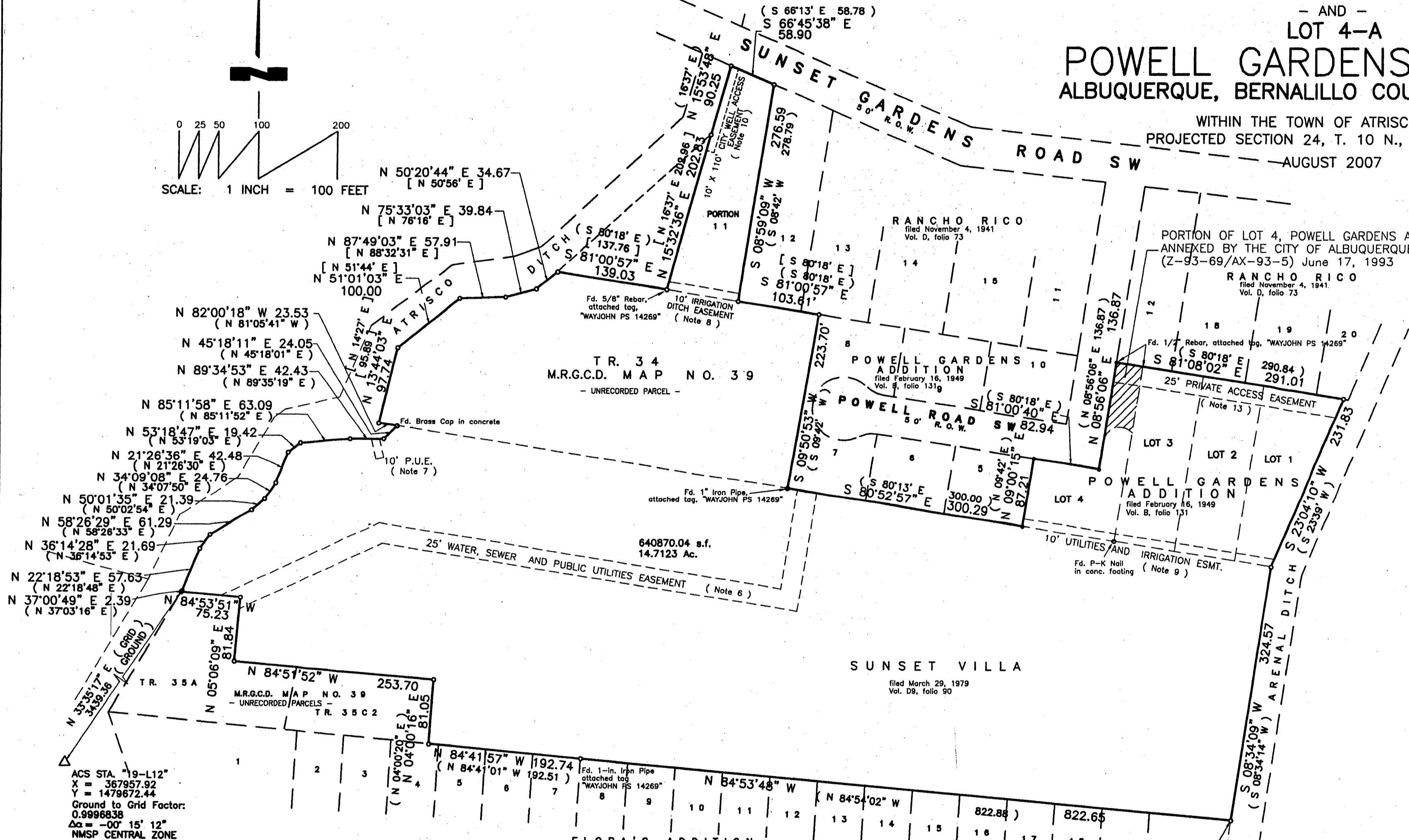
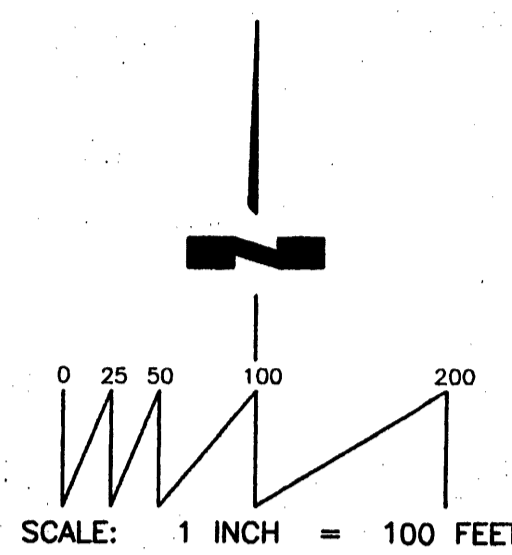
PRELIMINARY PLAT OF  
 LOTS 1-P1 THRU 76-P1  
 SUNSET VILLA

- AND -  
 LOT 4-A

POWELL GARDENS ADDITION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 -AUGUST 2007

COUNTY CLERK RECORDING LABEL HERE

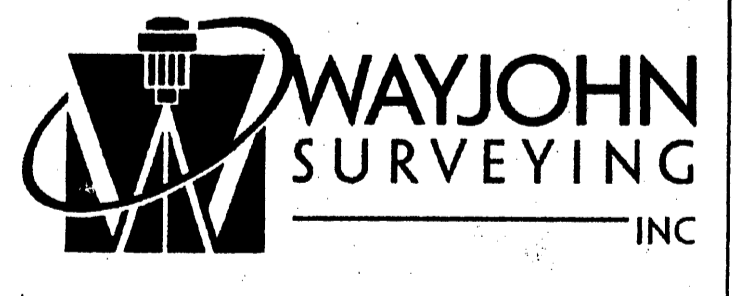
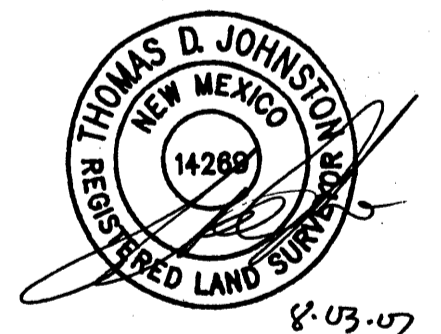


ACS STA. "19-L12"  
 X = 367957.92  
 Y = 1479672.44  
 Ground to Grid Factor:  
 0.9996838  
 Δα = -00° 15' 12"  
 NMSP CENTRAL ZONE  
 NAD 1927

- NOTES:
1. PERIMETER DIMENSIONS ARE GROUND DISTANCES
  2. BEARINGS ARE TO THE NEW MEXICO STATE PLANE GRID, CENTRAL ZONE, NAD 1927
  3. BEARINGS AND DISTANCES SHOWN IN PARENTHESES ( ) ARE AS THEY APPEAR ON RECORDED PLATS.
  4. BEARINGS AND DISTANCES SHOWN IN BRACKETS [ ] ARE AS THEY APPEAR WITHIN RECORDED DEEDS.
  5. UNLESS OTHERWISE INDICATED, ALL CORNERS ARE SET WITH A 1/2" REBAR AND CAP "WAYJOHN PS 14269"

DESCRIPTION APPEARS ON SHEET 3 OF 8

ACS STA. "18-L12"  
 X = 369529.23  
 Y = 1479254.75  
 Ground to Grid Factor:  
 0.9996831  
 Δα = -00° 15' 01"  
 NMSP CENTRAL ZONE  
 NAD 1927



330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 100'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 2 of 8

COUNTY CLERK RECORDING LABEL HERE

PRELIMINARY PLAT OF  
 LOTS 1-P1 THRU 76-P1  
 SUNSET VILLA  
 - AND -  
 LOT 4-A  
 POWELL GARDENS ADDITION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 AUGUST 2007

DESCRIPTION

A tract of land in Bernalillo County, New Mexico, within the Town of Atrisco Grant, within projected Section 24, Township 10 North, Range 2 East, N.M.P.M., being and comprising the following lots and tracts:

An Easterly portion of Lot numbered Eleven (11) of the Plat of RANCHO RICO, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on November 4, 1941, in Volume D, folio 73;  
 AND

Lots numbered One (1), Two (2), Three (3) and Four (4) of the Plat of POWELL GARDENS ADDITION, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 16, 1949, in Volume B, folio 131;  
 AND

All of SUNSET VILLA, being a replat of Tract 35C-1, and portions of Tracts 35A, 35B & 35C-2 of the MRGCD Map No. 39, situate within Sections 24 and 25, Township 10 North, Range 2 East, New Mexico Principal Meridian, within the Town of Atrisco Grant, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 29, 1979, in Book D-9, page 90;  
 AND

Tract 34, of the Middle Rio Grande Conservancy District Property Map No. 39,  
 and being more particularly described as follows:

BEGINNING at the Southeast corner of the herein described tract of land, said corner being a point on the Westerly line of the M.R.G.C.D. Arenal Ditch and being common to the Northeast corner of Lot 20 of FLORA'S ADDITION, the plat of which was filed in the office of the County Clerk of Bernalillo County, New Mexico on October 17, 1949 in Volume B, folio 166, from which point ACS STA.

"18-112" (X=369529.23, Y=1479254.75, New Mexico State Plane Grid, Central Zone, NAD 1927) bears S 28°55'07" W, a ground distance of 3427.42 feet, and running from said beginning point thence,

N 84°53'48" W, a distance of 822.65 feet;  
 thence, N 84°41'57" W, a distance of 192.74 feet; thence, N 04°00'16" E, a distance of 81.05 feet;

thence, N 84°51'52" W, a distance of 253.70 feet; thence, N 05°06'09" E, a distance of 81.84 feet;  
 thence, N 84°53'51" W, a distance of 75.23 feet to the Southwesterly corner of the herein described tract, said point on the Easterly line of the M.R.G.C.D. Atrisco Ditch;

thence, along the Easterly line of said Ditch through the following courses, N 37°00'49" E, a distance of 2.39 feet;  
 thence, N 22°18'53" E, a distance of 57.63 feet;

thence, N 36°14'28" E, a distance of 21.69 feet; thence, N 58°26'29" E, a distance of 61.29 feet;  
 thence, N 50°01'35" E, a distance of 21.39 feet; thence, N 34°09'08" E, a distance of 24.76 feet;

thence, N 21°26'36" E, a distance of 42.48 feet; thence, N 53°18'47" E, a distance of 19.42 feet;  
 thence, N 85°11'58" E, a distance of 63.09 feet; thence, N 89°34'53" E, a distance of 42.43 feet;

thence, N 45°18'11" E, a distance of 24.05 feet; thence, N 82°00'18" W, a distance of 25.53 feet;  
 thence, N 13°44'03" E, a distance of 97.74 feet; thence, N 51°01'03" E, a distance of 100.00 feet;

thence, N 87°49'03" E, a distance of 57.91 feet; thence, N 75°33'03" E, a distance of 39.84 feet;  
 thence, N 50°20'44" E, a distance of 34.67 feet to a point being common to the Southwest corner of Lot 11 of RANCHO RICO;

thence, departing the Easterly line of Atrisco Ditch, S 81°00'57" E, a distance of 139.03 feet to a point on the Southerly line of said Lot 11;

thence, N 15°32'36" E, a distance of 202.83 feet to a point on the Westerly line of said Lot 11, being a point on the Easterly line of Atrisco Ditch;

thence, along said Ditch, N 15°53'48" E, a distance of 90.25 feet to the Northwesternmost corner of the herein described tract, said corner being the Northwest corner of said Lot 11 and a point on the South right-of-way line of Sunset Gardens Road, SW;

thence, following said right-of-way line, S 66°45'38" E, a distance of 58.90 feet to a point being the Northeast corner of said Lot 11;

thence, departing said right-of-way line, S 08°59'09" W, a distance of 276.59 feet;  
 thence, S 81°00'57" E, a distance of 103.61 feet to a point

being the Northwest corner of Lot 8, POWELL GARDENS ADDITION;  
 thence, S 09°50'53" W, a distance of 223.70 feet to the Southwest corner of Lot 7, POWELL GARDENS ADDITION;

thence, S 80°52'57" E, a distance of 300.29 feet to the Southwest corner of Lot 4, POWELL GARDENS ADDITION;

thence, N 09°00'15" E, a distance of 87.21 feet to the Northwest corner of Lot 4, a point on the South line of Powers Road, SW; thence, following said line S 81°00'40" E,

a distance of 82.94 feet; thence, N 08°56'06" E, a distance of 136.87 feet to the Northwest corner of Lot 4;

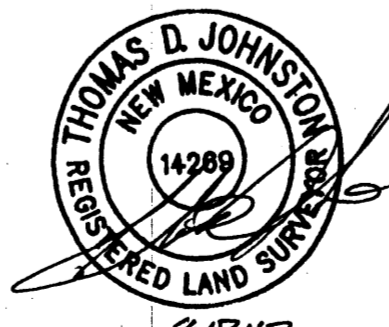
thence, S 81°08'02" E, a distance of 291.01 feet to the Northeast corner of the herein described tract, said point being a point on the Westerly line of the M.R.G.C.D. Arenal Ditch and being common to the Northeast corner of Lot 1 of POWELL GARDENS ADDITION;

thence, following the West line of said Ditch, S 23°04'10" W, a distance of 231.84 feet to the Southeast corner of said Lot 1;

thence, continuing along the West line of said Ditch, S 08°34'09" W, a distance of 324.57 feet to the Southeast corner of the herein described tract and the place of Beginning, containing 14.7123

acres, more or less.

		CURVES							CURVES				
STREET CENTERLINES		NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH	NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
		C1	33°13'15"	75.00	43.49	S 82°33'20" W	42.88	C18	178°12'11"	40.00	124.41	S 37°58'10" E	79.99
		C2	88°27'41"	75.00	115.80	N 35°29'53" W	104.63	a	47°35'28"	40.00	33.22	S 27°20'11" W	32.28
		C3	90°10'48"	25.00	39.35	S 54°04'33" W	35.30	b	48°10'18"	40.00	33.63	S 20°32'42" E	32.65
		C4	33°13'15"	98.00	56.82	S 82°33'20" W	56.03	c	82°26'25"	40.00	57.55	S 85°51'03" E	52.72
		a	10°45'50"	98.00	18.41	N 86°12'58" W	18.38	C19	42°23'58"	25.00	18.50	N 74°07'44" E	18.08
		b	22°27'25"	98.00	38.41	S 77°10'25" W	38.17	a	12°30'05"	25.00	5.45	N 59°10'47" E	5.44
		C5	42°23'58"	25.00	18.50	S 87°08'41" W	18.08	b	29°53'53"	25.00	13.05	N 80°22'46" E	12.90
		C6	264°47'56"	40.00	184.86	S 24°03'18" E	59.08	C20	93°24'14"	25.00	40.76	S 37°58'10" E	36.39
		a	20°33'14"	40.00	12.40	N 80°55'57" W	12.90	C21	86°35'46"	25.00	37.78	N 52°01'50" E	34.29
		b	65°11'31"	40.00	76.31	S 57°11'41" W	43.10	C22	43°41'27"	25.00	19.06	N 13°08'46" W	18.61
		c	26°43'32"	40.00	18.77	S 11°09'09" W	18.60	C23	267°22'56"	40.00	186.67	S 81°16'03" E	57.85
		d	55°34'20"	40.00	41.77	S 30°04'47" E	37.29	a	37°43'25"	40.00	26.34	N 16°05'47" W	25.86
		e	54°53'04"	40.00	38.32	S 85°18'30" E	36.87	b	95°57'57"	40.00	67.00	N 50°44'57" E	59.44
		f	43°42'15"	40.00	30.51	N 45°23'51" E	29.78	c	96°43'39"	40.00	67.53	S 32°54'07" E	59.79
		C7	42°23'58"	25.00	18.50	N 44°44'43" E	18.08	d	36°57'36"	40.00	25.80	S 33°57'36" W	25.36
		C8	33°13'15"	52.00	30.15	N 82°33'20" E	29.73	C24	43°41'27"	25.00	19.06	S 30°34'41" E	18.61
		C9	89°34'00"	25.00	39.08	S 36°03'03" E	35.22	C25	93°24'14"	25.00	40.76	S 37°58'10" E	36.39
		C10	42°23'58"	25.00	18.50	S 29°55'56" E	18.08	C26	86°35'46"	25.00	37.78	N 52°01'50" E	34.29
		a	20°14'29"	25.00	7.96	S 17°51'12" W	7.93	C27	42°23'58"	25.00	18.50	S 63°28'18" E	18.08
		b	24°09'29"	25.00	10.54	S 39°03'11" W	10.46	C28	171°23'42"	40.00	119.66	N 52°01'50" E	79.77
		C11	264°47'56"	40.00	184.86	S 81°16'03" E	59.08	a	31°01'03"	40.00	21.65	S 57°46'51" E	21.39
		a	66°04'31"	40.00	46.13	S 18°05'40" W	43.62	b	44°29'49"	40.00	54.85	N 84°27'43" E	30.29
		b	28°41'58"	40.00	20.03	S 29°17'35" E	19.82	c	40°58'25"	40.00	28.60	N 41°43'36" E	28.00
		c	53°45'53"	40.00	37.54	S 70°31'31" E	36.17	d	54°54'25"	40.00	38.33	N 06°12'49" W	36.88
		d	45°30'37"	40.00	31.77	N 59°50'14" E	30.94	C29	42°23'58"	25.00	18.50	N 12°28'02" W	18.08
		e	70°44'57"	40.00	49.39	N 01°42'27" E	46.31	C30	88°27'41"	98.00	151.31	N 35°29'53" W	136.72
		C12	42°23'58"	25.00	18.50	N 12°28'02" W	18.08	a	06°22'25"	98.00	10.90	N 05°32'45" E	10.90
		a	19°15'25"	25.00	8.40	N 24°02'19" W	8.36	b	32°04'06"	98.00	54.08	N 13°40'30" W	54.14
		b	23°08'23"	25.00	10.10	N 02°50'20" W	10.03	c	50°01'10"	98.00	89.34	N 54°43'08" W	82.86
		C13	90°26'00"	25.00	39.46	N 53°56'57" E	35.49	C31	88°27'41"	52.00	80.28	N 35°29'53" W	72.55
		C14	89°49'12"	25.00	39.19	S 35°55'27" E	35.30	C32	116°40'28"	20.00	40.73	S 67°16'20" W	34.05
		C15	90°26'00"	25.00	39.46	S 53°56'57" W	35.49						
		C16	89°34'00"	25.00	39.08	S 36°03'03" E	35.22						
		C17	42°23'58"	25.00	18.50	S 29°55'56" E	18.08						



**WAYJOHN SURVEYING INC**

330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 3 OF 8





COUNTY CLERK RECORDING LABEL HERE

PRELIMINARY PLAT OF  
LOTS 1-P1 THRU 76-P1  
SUNSET VILLA  
- AND -  
LOT 4-A  
POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
AUGUST 2007

PUBLIC UTILITY EASEMENTS

Public Utility Easements shown on this plat are granted for the common and joint use of:  
1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.  
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.  
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.  
4. Comcast Cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV services.

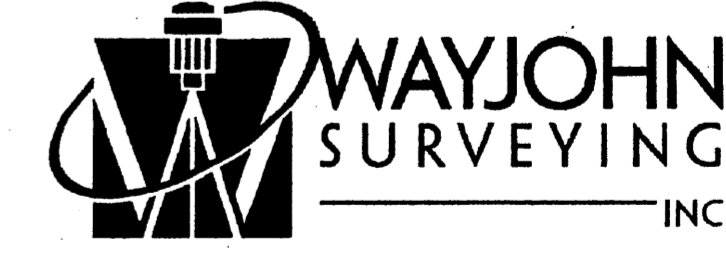
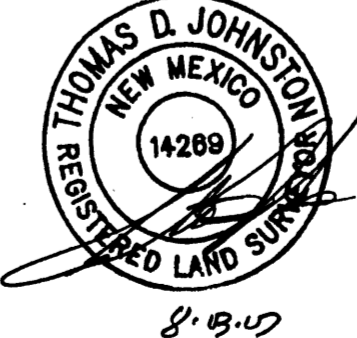
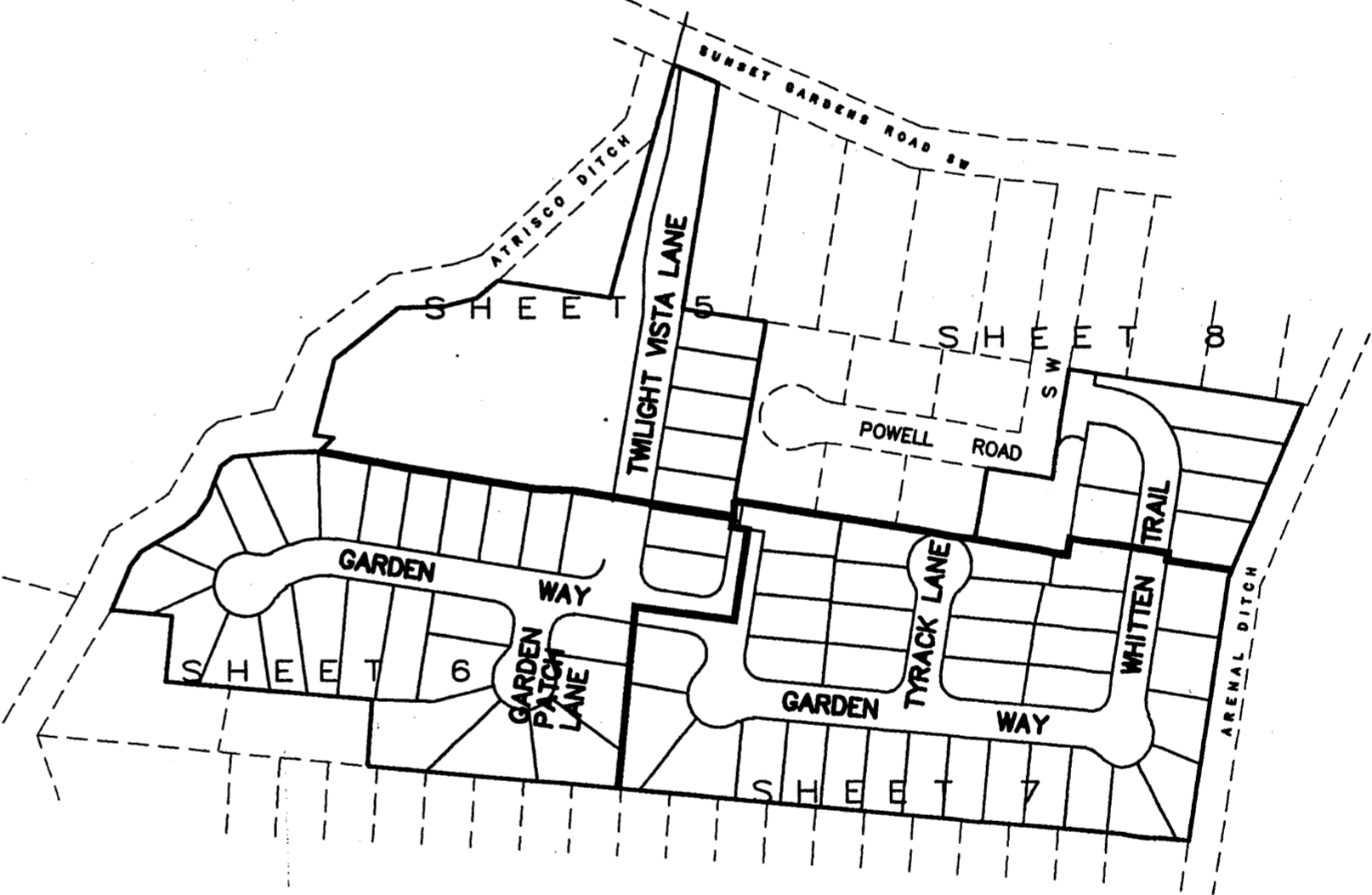
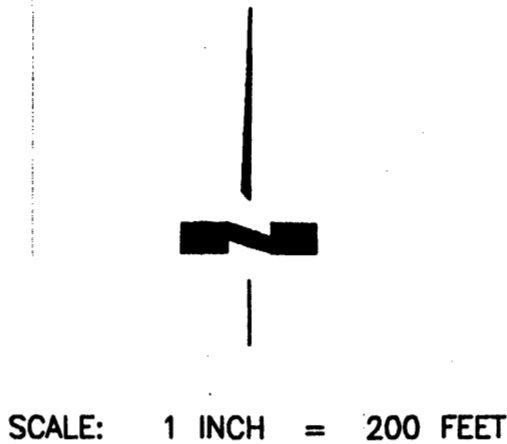
Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations or National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformers/switchgear doors and five feet (5') on each side.

SOLAR COLLECTORS NOTE

No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings of erected on the lots or parcels within the area of the proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision.

METAL TAGS STAMPED "WAYJOHN PS 14269" WERE ATTACHED TO ALL RECOVERED AND ACCEPTED BOUNDARY CORNERS.  
BOUNDARY CORNERS RESET WERE SET WITH A 1/2" REBAR AND PLASTIC CAP STAMPED "WAYJOHN PS 14269"  
NOTE: CENTERLINE Δ (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC's, PT's, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #14269".



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 100'	FILE NO. SP-7-01-2005
CHECKED: T D J	6 MAY 2006	SHEET 4 OF 8
DRAWING NO. SP70105.DWG		

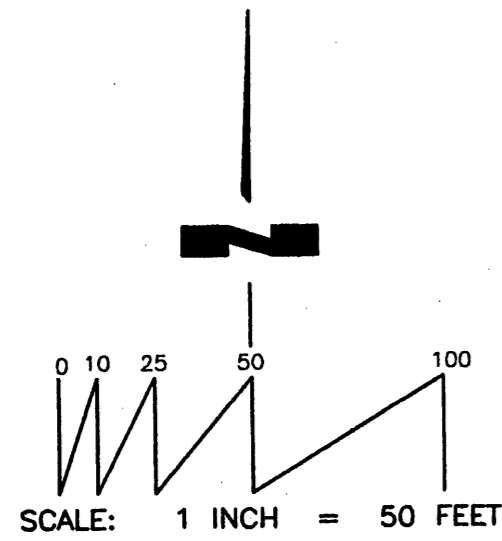
PRELIMINARY PLAT OF  
LOTS 1-P1 THRU 76-P1  
SUNSET VILLA

- AND -  
LOT 4-A

POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
AUGUST 2007

COUNTY CLERK RECORDING LABEL HERE



M.R.G.C.D. DITCH EASEMENT DIMENSIONS

- A S 50°13'46" W 20.28
- B S 61°25'19" W 17.67
- C S 49°36'30" W 51.68
- D S 05°54'18" W 8.07
- E S 21°33'48" W 8.07

N 50°20'44" E 34.67  
[ N 50°56' E ]

N 75°33'03" E 39.84  
[ N 78°16' E ]

N 87°49'03" E 57.91  
[ N 88°32'31" E ]

N 51°44' E  
N 51°01'03" E  
100.00

M.R.G.C.D. DITCH EASEMENT (Note 14)

N 82°00'18" W 23.53  
[ N 81°05'41" W ]

N 45°18'11" E 24.05  
[ N 45°18'01" E ]

N 89°34'53" E 42.43  
[ N 89°35'19" E ]

10' P.U.E.

S 81°08'49" E 63.40  
S 77°11'27" E 50.10

S 80°50'03" E

250.78

252.78

38-P1

39-P1

40-P1

41-P1

42-P1

43-P1

44-P1

45-P1

SHEET 6 OF 8

TRACT B  
86745.33  
DRAINAGE  
EASEMENT  
(Note 11)

10' PUBLIC UTILITY EASEMENT (Note 5)

TWILIGHT VISTA LANE SW

46-P1  
5001.81  
S 81°00'51" E 102.88

47-P1  
5110.05  
102.13

48-P1  
5087.86  
101.38

49-P1  
5050.24  
S 81°00'51" E 100.63

50-P1  
5295.32  
112.52

51-P1  
110.80

52-P1

54-P1

55-P1

56-P1

57-P1

58-P1

59-P1

60-P1

61-P1

62-P1

63-P1

64-P1

65-P1

66-P1

67-P1

68-P1

69-P1

70-P1

71-P1

72-P1

73-P1

74-P1

75-P1

76-P1

RANCHO RICO  
filed November 4, 1941; Vol. D, folio 73

PORTION 11  
RANCHO RICO  
filed November 4, 1941; Vol. D, folio 73

(S 80°18' E)  
[ 137.76 ]  
S 81°00'57" E 139.03

N 15°32'36" E 202.96  
N 15°53'48" E 90.25

N 16°37' E 202.83  
N 15°53'48" E 90.25

N 16°37' E 202.83  
N 15°53'48" E 90.25

N 16°37' E 202.83  
N 15°53'48" E 90.25

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N 15°53'48" E 90.25

N 16°37' E 202.83  
N 15°53'48" E 90.25

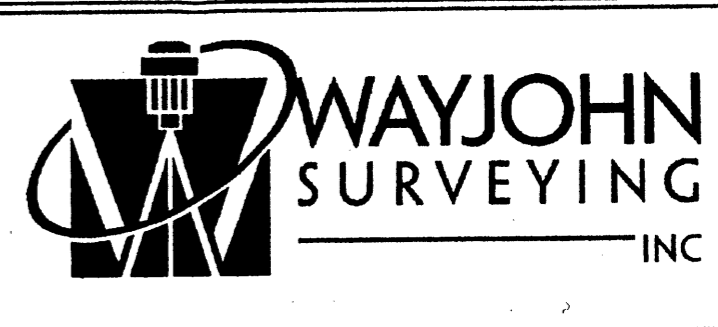
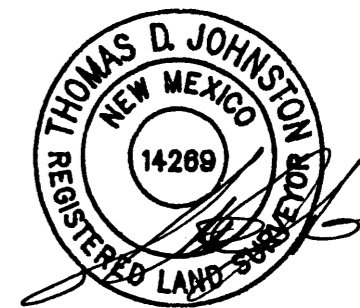
N 16°37' E 202.83  
N 15°53'48" E 90.25

N 16°37' E 202.83  
N 15°53'48" E 90.25

N 16°37' E 202.83  
N 15°53'48" E 90.25

N 16°37' E 202.83  
N 15°53'48" E 90.25

N 16°37' E 202.83  
N 15°53'48" E 90.25



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J	6 MAY 2006	SHEET 5 OF 8
DRAWING NO. SP70105.DWG		

PRELIMINARY PLAT OF  
LOTS 1-P1 THRU 76-P1  
SUNSET VILLA

- AND -  
LOT 4-A

POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

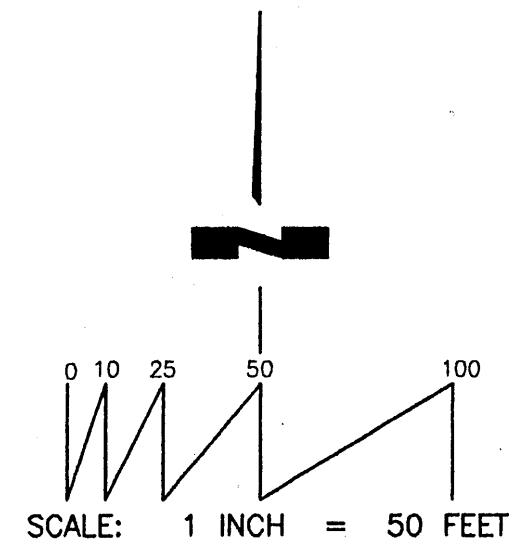
WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM

AUGUST 2007

COUNTY CLERK RECORDING LABEL HERE

TRACT A

SHEET 5 OF 8



M.R.G.C.D. DITCH EASEMENT DIMENSIONS  
A S 54°22'29" W 39.03  
B S 54°22'29" W 35.39

N 82°00'18" W 23.53  
( N 81°05'41" W )  
N 45°18'11" E 24.05  
( N 45°18'01" E )  
N 89°34'53" E 42.43  
( N 89°35'19" E )  
N 85°11'58" E 63.09  
( N 85°11'52" E )  
N 53°18'47" E 19.42  
( N 53°19'03" E )  
N 21°26'36" E 42.48  
( N 21°26'30" E )  
N 34°09'08" E 24.76  
( N 34°07'50" E )  
N 50°01'35" E 21.39  
( N 50°02'54" E )  
N 58°26'29" E 61.29  
( N 58°26'33" E )  
N 36°14'28" E 21.69  
( N 36°14'53" E )  
N 22°18'53" E 57.63  
( N 22°18'48" E )  
N 37°00'49" E 2.39  
( N 37°03'16" E )

N 33°35'17" E 34.39.36  
( GRID GROUND )

ACS STA. "19-L12"  
X = 367957.92  
Y = 1479672.44  
Ground to Grid Factor:  
0.9996838  
Δα = -00° 15' 12"  
NMSZ CENTRAL ZONE  
NAD 1927

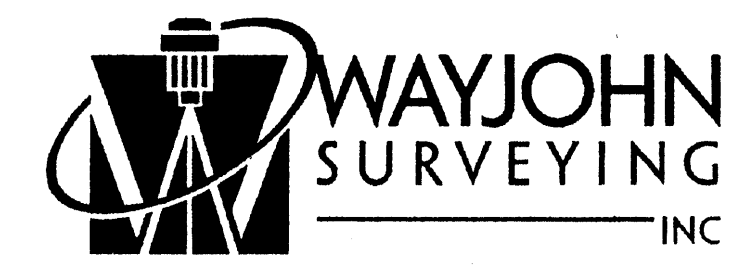
M.R.G.C.D. MAP NO. 39  
- UNRECORDED PARCELS -

TR. 35A  
TR. 35C2

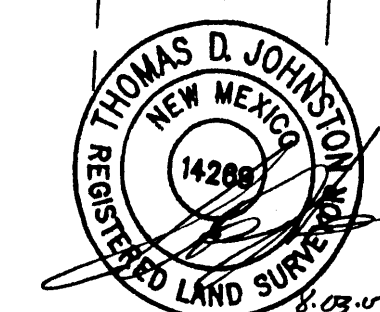
TRACT A  
(Note 12)

GARDENS PATCHES SW  
C1-C11

FLORA'S ADDITION  
filed October 17, 1949  
Vol. B, folio 166



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887



DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 may 2006	SHEET 6 OF 8

POWELL GARDENS ADDITION  
SHEET 7 OF 8  
filed February 16, 1949



COUNTY CLERK RECORDING LABEL HERE

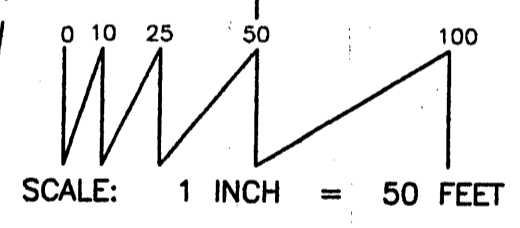
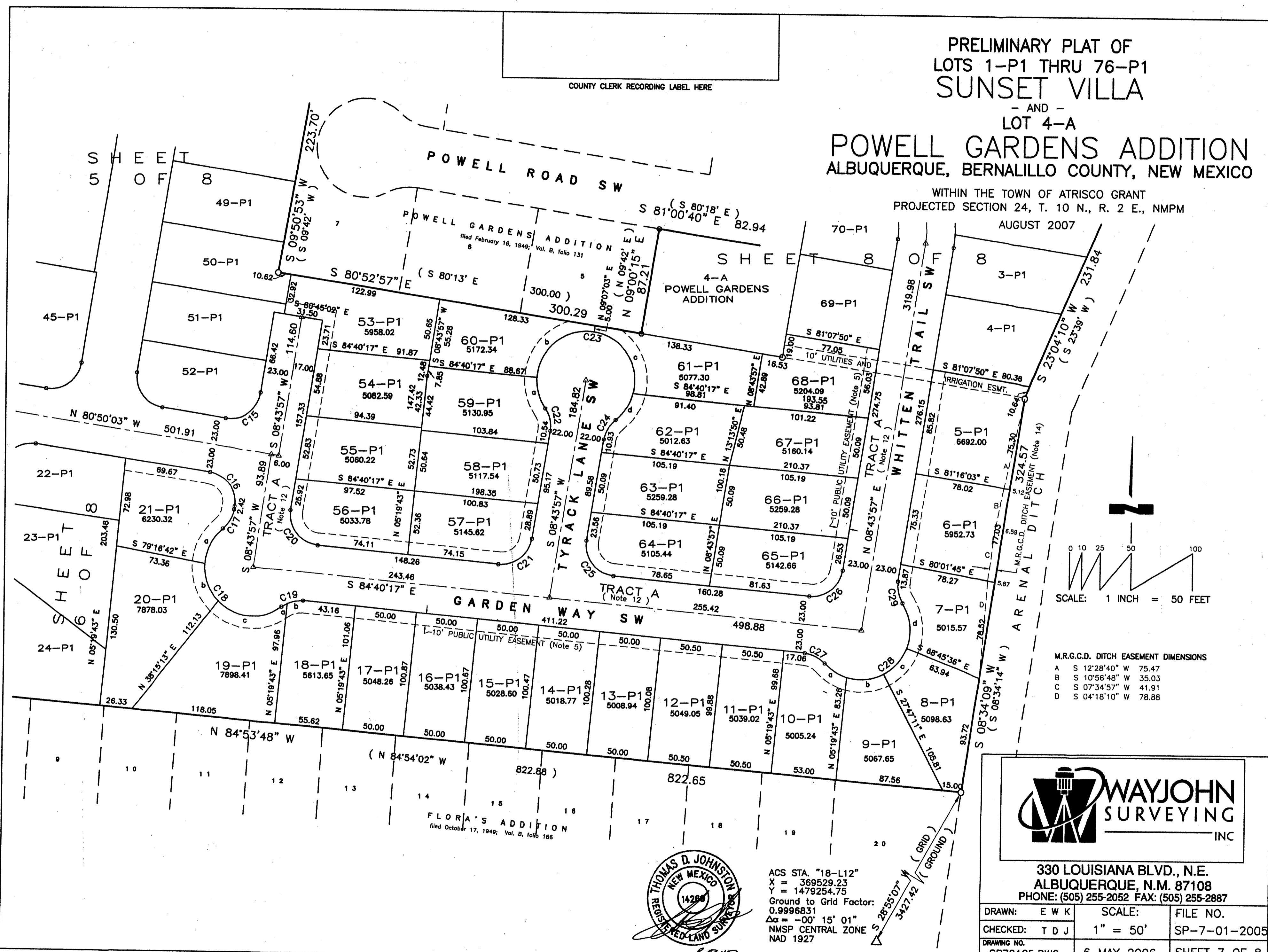
# PRELIMINARY PLAT OF LOTS 1-P1 THRU 76-P1 SUNSET VILLA

- AND -  
LOT 4-A

## POWELL GARDENS ADDITION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

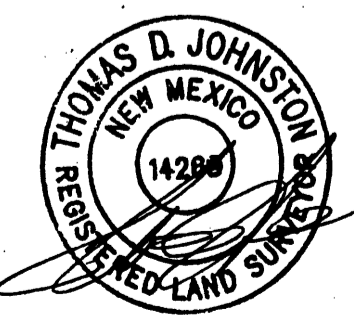
WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM

AUGUST 2007

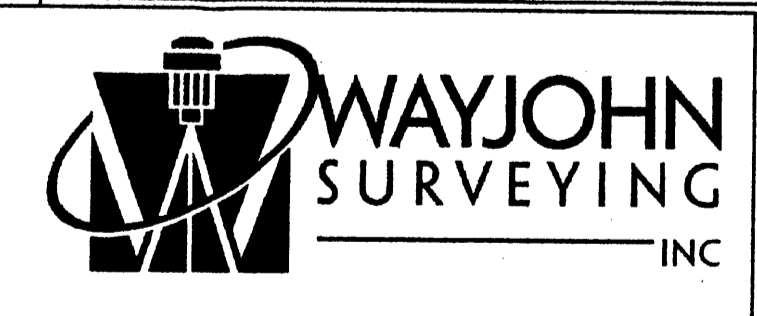


M.R.G.C.D. DITCH EASEMENT DIMENSIONS

A	S 12°28'40" W	75.47
B	S 10°56'48" W	35.03
C	S 07°34'57" W	41.91
D	S 04°18'10" W	78.88



ACS STA. "18-L12"  
 X = 369529.23  
 Y = 1479254.75  
 Ground to Grid Factor:  
 0.9996831  
 Δα = -00° 15' 01"  
 NMSP CENTRAL ZONE  
 NAD 1927



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CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 7 OF 8

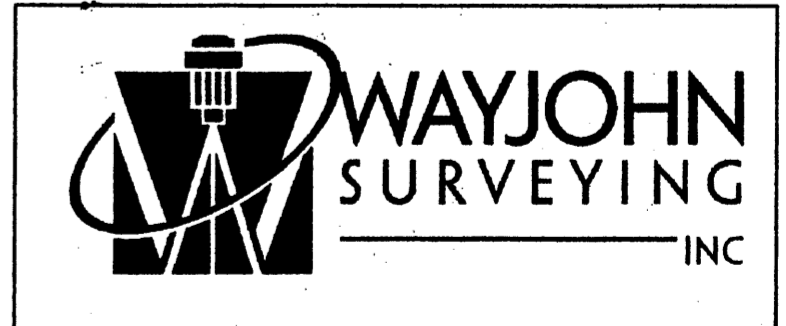
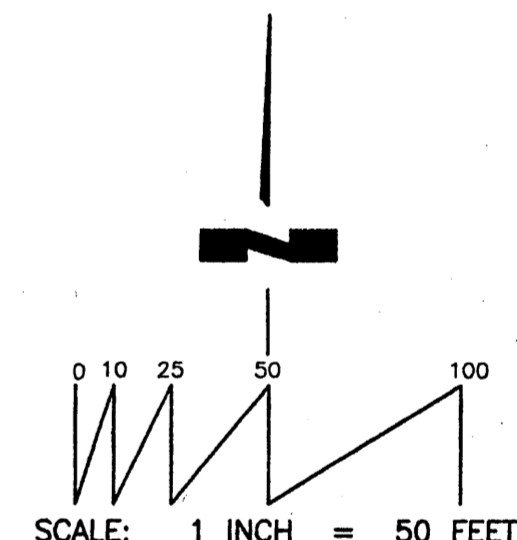
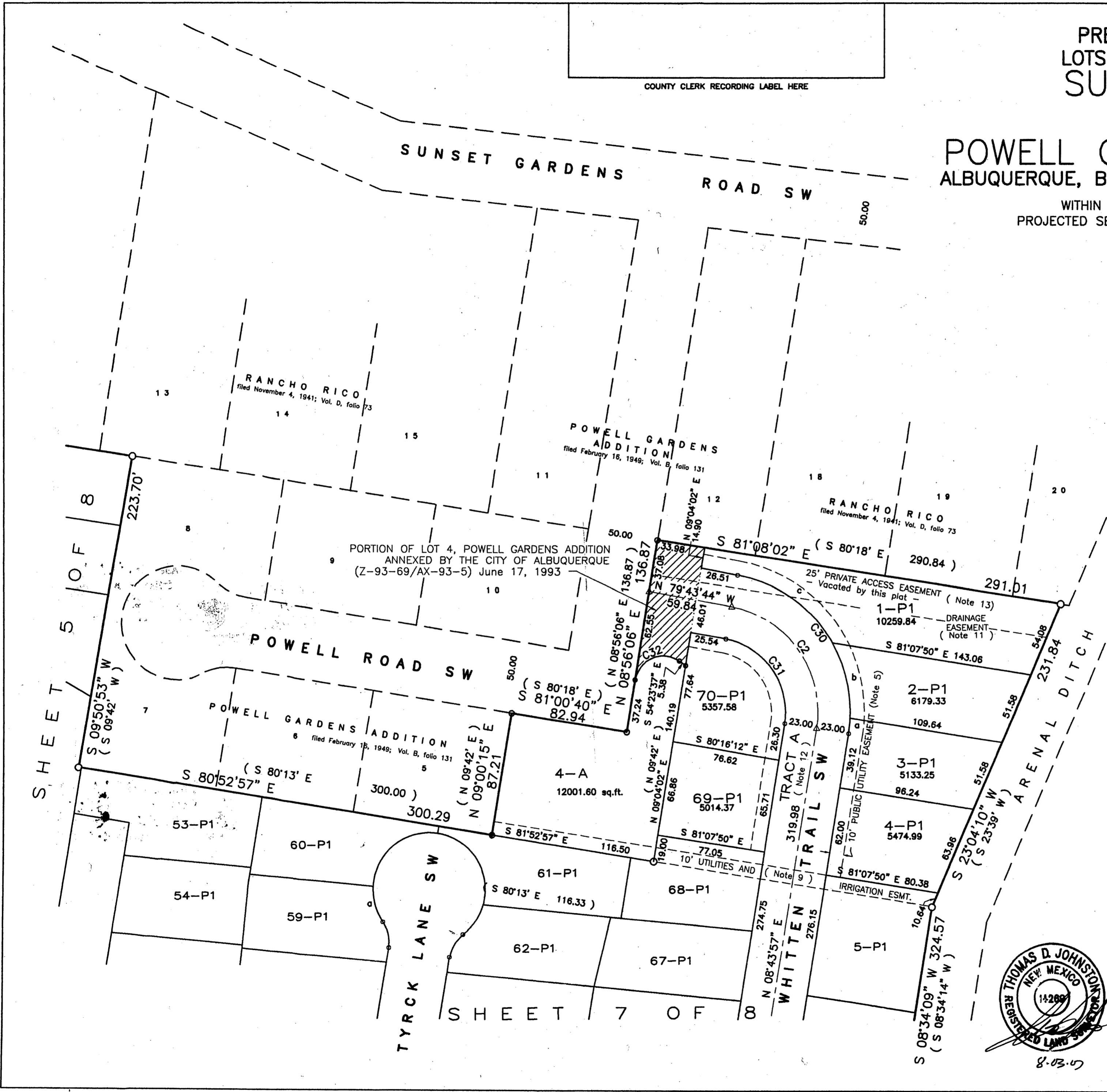
COUNTY CLERK RECORDING LABEL HERE

# PRELIMINARY PLAT OF LOTS 1-P1 THRU 76-P1 SUNSET VILLA

- AND -  
LOT 4-A

## POWELL GARDENS ADDITION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
AUGUST 2007



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 8 OF 8

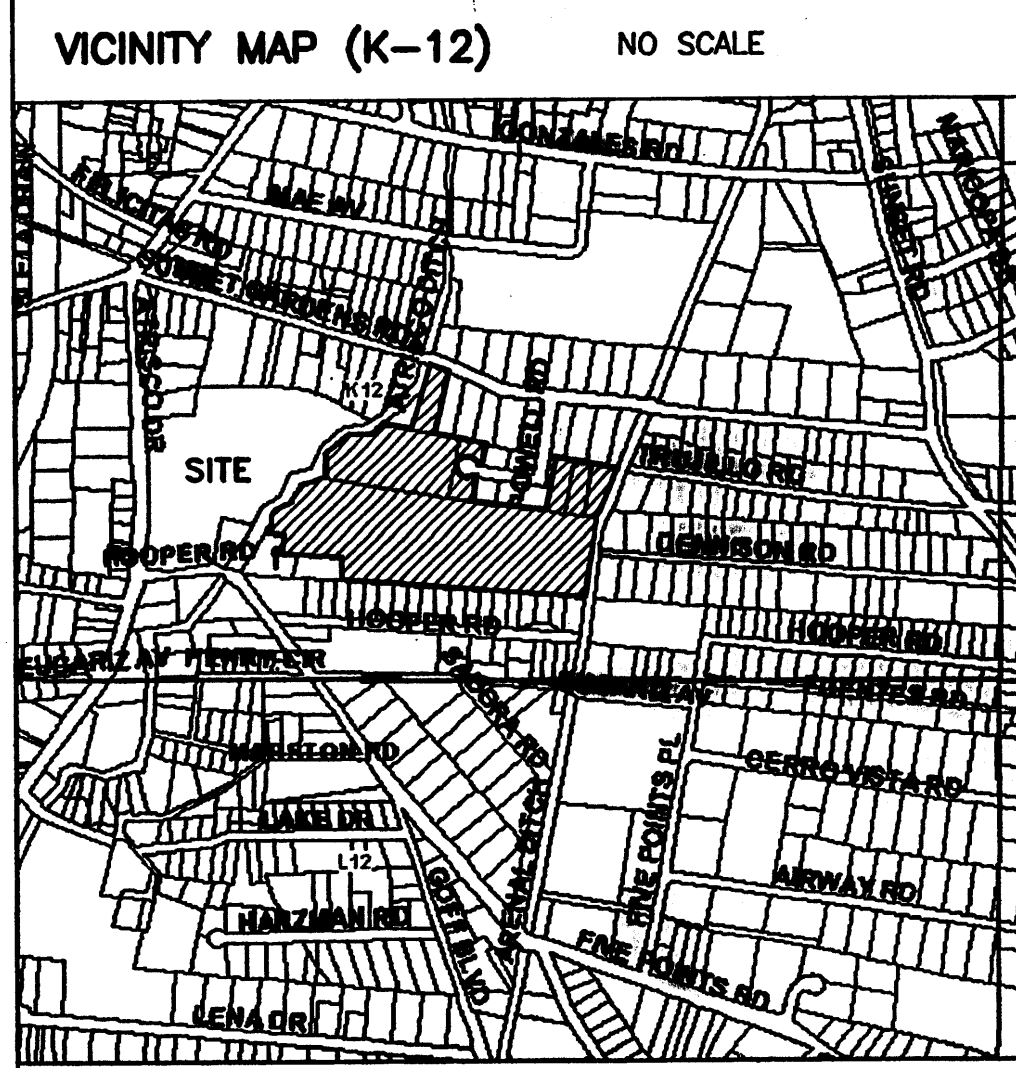
SHEET 5 OF 8

SHEET 7 OF 8

8.03.07

PRELIMINARY PLAT  
APPROVED BY DRB

ON 9/27/06



COUNTY CLERK RECORDING LABEL HERE

DESCRIPTION APPEARS ON SHEET 3 OF 8

PRELIMINARY PLAT OF  
LOTS 1-P1 THRU 76-P1  
SUNSET VILLA  
PRELIMINARY PLAT  
AND  
APPROVED BY DRB  
POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
MAY 2006

Utility Approvals:

PNM Electric Services	Date
PNM Gas Services	Date
Qwest Telecommunications	Date
Comcast Cable	Date

PROJECT NUMBER: x  
Application Number: x

PURPOSE OF PLAT:  
The purpose of this plat is to replat seven (7) tracts into seventy-seven (77) residential lots and seven (7) tracts, create Private Access Easement, grant Public Utility Easements and Drainage Easements and for compliance of platting requirement set forth in City of Albuquerque Zoning and Annexation cases Z-93-69 and AX-93-5, as approved by the City of Albuquerque Environmental Planning Commission on June 17, 1993.

City Approvals

<i>[Signature]</i>	6/2/06
City Surveyor	Date
Real Property Division	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

- SUBDIVISION DATA
- DRB Proj. No.
  - Zone Atlas Index No. K-12
  - Current Zoning R-1
  - Gross acreage 14.7123 Acres
  - Total Number of Lots created - 77 residential, 7 tracts -
  - No. of existing lots/tracts: 7
  - Miles of full width Private Ways created: 0.5735 mi. Area of streets dedicated to City of Albuquerque: -0- Ac.
  - Date of Survey: April, 2006
  - TALOS LOG NO.: 2006201958

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities and therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution line, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

*[Signature]*  
Joe R. Hahn, President, Warehouse Door and Moulding Corporation, a New Mexico corporation

- NOTES
- Bearings are Grid Bearings, Central Zone, NAD 1927, based upon ACS monuments "18-L12" and "19-L12", and found monuments.
  - All distances are ground.
  - Monuments recovered and accepted or set are noted on plat. (SHEET 2 OF 8)
  - Record bearings in parenthesis ( ). Deed bearings in brackets [ ]. Record bearings are from the following sources:
    - SUNSET VILLA; filed March 29, 1979; Vol. D9, folio 90
    - FLORA'S ADDITION; filed October 17, 1949; Vol. B, folio 166
    - POWELL GARDENS ADDITION; filed February 13, 1949; Vol. B, folio 131
    - RANCHO RICO; filed November 14, 1941; Vol. D, folio 73
    - Warranty Deed (portion of Lot 11, Rancho Rico), recorded November 26, 1951; Book D-191, page 278.
  - Ten foot (10') Public Utility Easement along all street rights of way is hereby granted with the filing of this plat.
  - Grant of Twenty-five foot (25') Water, Sewer and Public Utilities Easement filed February 11, 1980; Book Misc. 752; page 279, records of Bernalillo County, New Mexico.
  - Ten foot (10') Public Utility Easement filed September 16, 1975; Doc. No. 84782.
  - Ten foot (10') Irrigation Easement filed November 4, 1941; Vol.D, folio 73.
  - Ten foot (10') Utilities and Irrigation Easement filed February 13, 1949; Vol.B, folio 131.
  - Ten foot (10') Easement granted to City of Albuquerque for Pipeline, Power and Well Access, filed in Book D191, page 623.
  - Tracts "A", "B", "C", "D", "E" and "F" are granted by this plat as Drainage Easements for Stormwater Impoundment.
  - Streets appearing on this plat are granted as Private Ways for Private ingress, egress and circulation, maintenance is the joint, equal and inseparable responsibility of the owners of Lots 1-P1 through 76-P1, SUNSET VILLA. Said streets are also granted as Public Sewer and Water Easements and Public Utility Easements. Designated as Tract "G", contains 3.5561 acres.
  - Twenty-five foot (25') Private Access Easement following the Northerly lines of Lots 1 through 4 of the Powell Gardens Addition vacated by this plat.

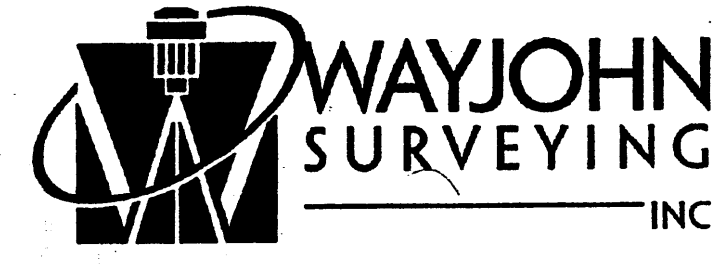
*[Signature]*  
Midge Christie, owner, southerly portion of Lot 4, POWELL GARDENS ADDITION.

SURVEYOR'S CERTIFICATE  
I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston, N.M.P.S. No. 14269 Date

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY  
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# \_\_\_\_\_  
PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO COUNTY TREASURER'S OFFICE

PRELIMINARY PLAT APPROVAL:  
*[Signature]* 6/2/06  
Don B. Halkin, PS, City Surveyor, City of Albuquerque Date



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 1 OF 8



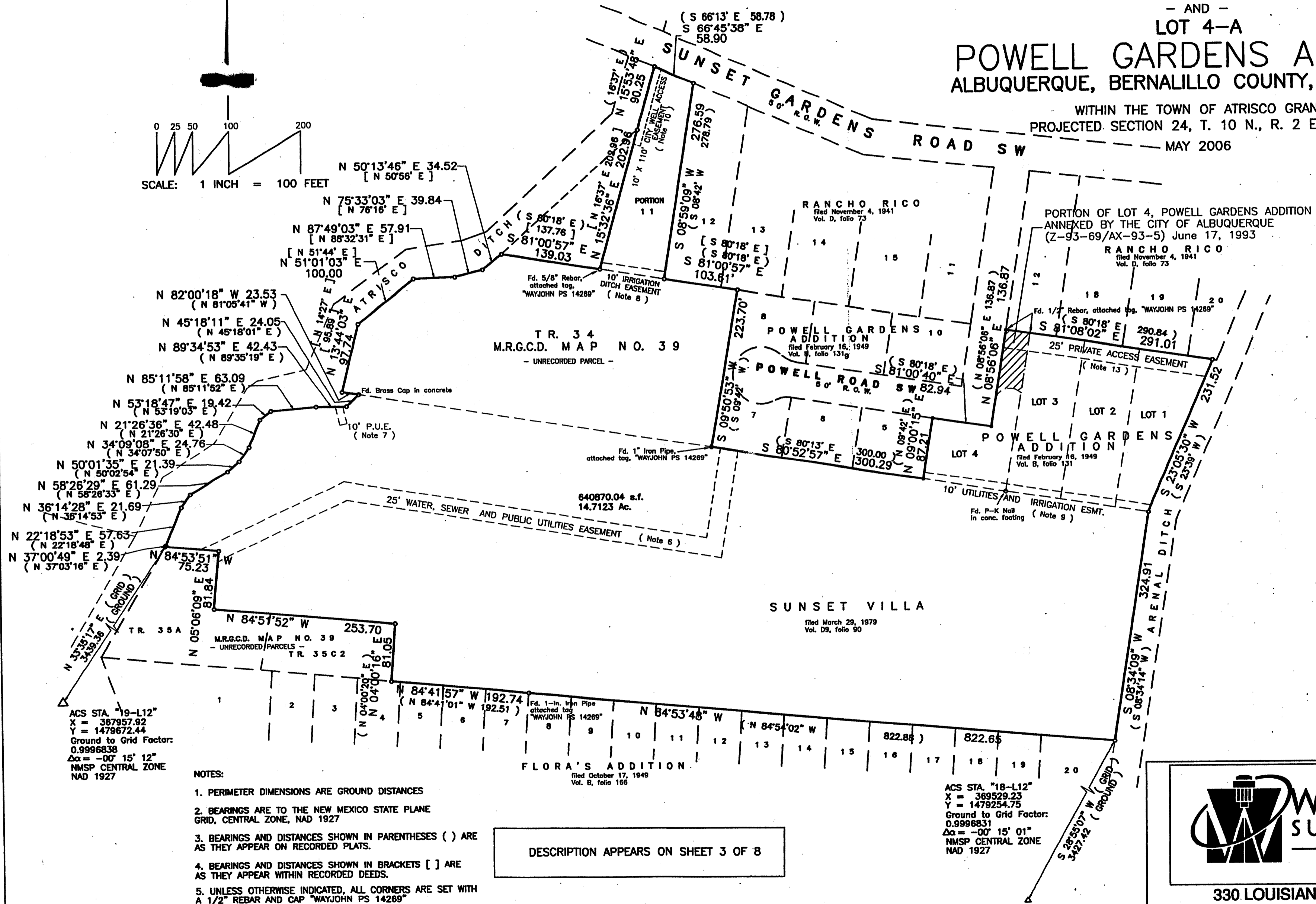
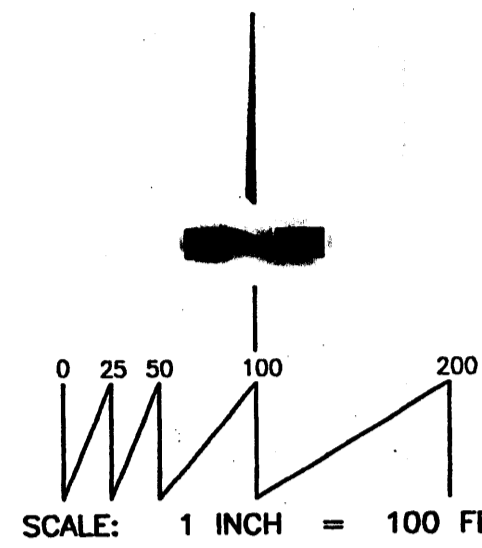
PRELIMINARY PLAT OF  
 LOTS 1-P1 THRU 76-P1  
 SUNSET VILLA

- AND -  
 LOT 4-A

POWELL GARDENS ADDITION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 MAY 2006

COUNTY CLERK RECORDING LABEL HERE

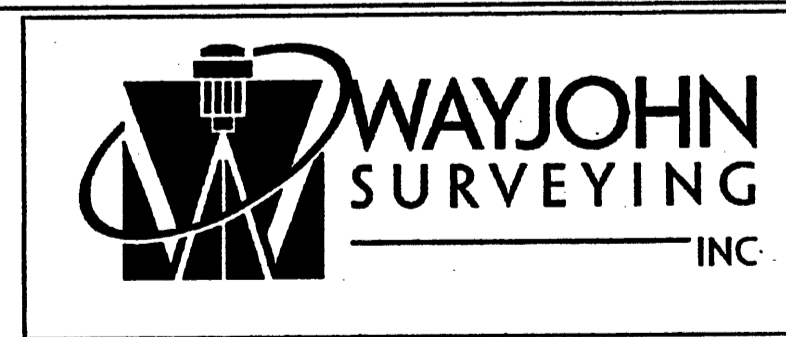


ACS STA. "19-L12"  
 X = 367957.92  
 Y = 1479672.44  
 Ground to Grid Factor:  
 0.9996838  
 $\Delta\alpha = -00^\circ 15' 12''$   
 NMSZ CENTRAL ZONE  
 NAD 1927

- NOTES:
1. PERIMETER DIMENSIONS ARE GROUND DISTANCES
  2. BEARINGS ARE TO THE NEW MEXICO STATE PLANE GRID, CENTRAL ZONE, NAD 1927
  3. BEARINGS AND DISTANCES SHOWN IN PARENTHESES ( ) ARE AS THEY APPEAR ON RECORDED PLATS.
  4. BEARINGS AND DISTANCES SHOWN IN BRACKETS [ ] ARE AS THEY APPEAR WITHIN RECORDED DEEDS.
  5. UNLESS OTHERWISE INDICATED, ALL CORNERS ARE SET WITH A 1/2" REBAR AND CAP "WAYJOHN PS 14269"

DESCRIPTION APPEARS ON SHEET 3 OF 8

ACS STA. "18-L12"  
 X = 369529.23  
 Y = 1479254.75  
 Ground to Grid Factor:  
 0.9996831  
 $\Delta\alpha = -00^\circ 15' 01''$   
 NMSZ CENTRAL ZONE  
 NAD 1927



330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 100'	FILE NO. SP-7-01-2005
CHECKED: T D J	DRAWING NO. SP70105.DWG	SHEET 2 of 8

COUNTY CLERK RECORDING LABEL HERE

PRELIMINARY PLAT OF  
 LOTS 1-P1 THRU 76-P1  
**SUNSET VILLA**  
 - AND -  
 LOT 4-A  
**POWELL GARDENS ADDITION**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

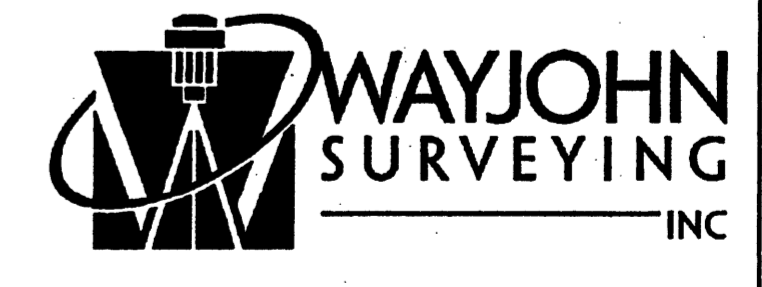
WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 MAY 2006

		CURVES							CURVES				
STREET CENTERLINES		NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH	NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
	C1	91°32'48"	75.00	119.83	S 54°45'33" W	107.49	C21	264°47'56"	40.00	184.86	S 81°16'03" E	59.08	
	a	45°46'24"	75.00	59.92	S 31°52'21" W	58.34	a	57°17'20"	40.00	40.00	S 22°29'15" W	38.35	
	b	45°46'24"	75.00	59.92	S 77°38'45" W	58.34	b	17°51'54"	40.00	12.47	S 15°05'22" E	12.42	
	C2	33°13'15"	75.00	43.49	S 82°33'20" W	42.88	c	37°09'52"	40.00	25.95	S 42°36'15" E	25.49	
	C3	88°27'41"	75.00	115.80	N 35°29'53" W	104.63	d	51°45'14"	40.00	36.13	S 87°03'48" E	34.92	
	C4	91°32'48"	52.00	83.09	S 54°45'33" W	74.52	e	41°23'15"	40.00	28.89	N 46°21'58" E	28.27	
	C5	32°47'11"	25.00	14.31	S 07°24'27" E	14.11	f	40°12'12"	40.00	28.07	N 05°34'15" E	27.50	
	C6	157°07'11"	40.00	109.89	S 54°45'33" W	78.41	C22	42°23'58"	25.00	18.50	N 12°28'02" W	18.08	
	a	53°59'55"	40.00	37.70	S 03°11'55" W	36.32	a	19°15'25"	25.00	8.40	N 24°02'19" W	8.36	
	b	32°47'08"	40.00	22.89	S 46°35'26" W	22.58	b	23°08'23"	25.00	10.10	N 02°50'20" W	10.03	
	c	50°35'33"	40.00	35.52	S 88°16'47" W	34.18	C23	90°26'00"	25.00	39.46	S 53°56'57" W	35.49	
	d	19°44'35"	40.00	13.78	N 56°33'09" W	13.72	C24	89°34'00"	25.00	39.08	S 36°03'03" E	35.22	
	C7	32°47'11"	25.00	14.31	N 63°04'27" W	14.11	C25	90°26'00"	25.00	39.46	S 53°56'57" W	35.49	
	C8	91°48'00"	25.00	40.06	S 54°37'57" W	35.91	C26	89°34'00"	25.00	39.08	S 36°03'03" E	35.22	
	C9	42°23'58"	25.00	18.50	S 58°16'03" W	18.08	C27	42°23'58"	25.00	18.50	S 29°55'56" E	18.08	
	a	06°33'19"	25.00	2.86	N 76°11'24" W	2.86	C28	178°12'11"	40.00	124.41	S 37°58'10" E	79.99	
	b	35°50'39"	25.00	15.64	N 54°59'24" W	15.39	a	47°35'28"	40.00	33.22	S 27°20'11" W	32.28	
	C10	264°47'56"	40.00	184.86	S 10°31'57" W	59.08	b	48°10'18"	40.00	33.63	S 20°32'42" E	32.65	
	a	155°15'48"	40.00	108.39	S 65°18'01" W	78.14	c	82°26'25"	40.00	57.55	S 85°51'03" E	52.72	
	b	35°38'22"	40.00	24.88	S 3°09'04" E	24.48	C29	42°23'58"	25.00	18.50	N 74°07'44" E	18.08	
	c	42°18'19"	40.00	29.53	S 69°07'24" E	28.87	a	12°30'05"	25.00	5.45	N 59°10'47" E	5.44	
	d	31°35'28"	40.00	22.05	N 73°55'43" E	21.78	b	29°53'53"	25.00	13.05	N 80°22'46" E	12.90	
	C11	42°23'58"	25.00	18.50	N 79°19'58" E	18.08	C30	93°24'14"	25.00	40.76	S 37°58'10" E	36.39	
	C12	88°11'00"	25.00	38.48	S 35°22'03" E	34.80	C31	86°35'48"	25.00	37.78	N 52°01'50" E	34.29	
	C13	90°26'00"	25.00	39.46	S 53°56'57" W	35.49	C32	43°41'27"	25.00	19.06	N 13°08'46" W	18.61	
	C14	33°13'15"	98.00	56.82	S 82°33'20" W	56.03	C33	267°22'56"	40.00	188.67	S 81°16'03" E	57.85	
	a	10°45'50"	98.00	18.41	N 86°12'58" W	18.38	a	37°43'25"	40.00	28.34	N 16°05'47" W	25.86	
	b	22°27'25"	98.00	38.41	S 77°10'25" W	38.17	b	95°57'57"	40.00	67.00	N 50°44'57" E	59.44	
	C15	42°23'58"	25.00	18.50	S 87°08'41" W	18.08	c	96°43'39"	40.00	67.53	S 32°54'07" E	59.79	
	C16	264°47'56"	40.00	184.86	S 24°03'18" E	59.08	d	36°57'36"	40.00	25.80	S 33°57'36" W	25.36	
	a	01°33'08"	40.00	1.08	N 72°25'54" W	1.08	C34	43°41'27"	25.00	19.06	S 30°34'41" E	18.61	
	b	109°18'40"	40.00	76.31	S 52°08'13" W	65.26	C35	93°24'14"	25.00	40.76	S 37°58'10" E	36.39	
	c	65°17'42"	40.00	45.58	S 35°09'58" E	43.16	C36	86°35'48"	25.00	37.78	N 52°01'50" E	34.29	
	d	59°49'43"	40.00	41.77	N 82°16'19" E	39.90	C37	42°23'58"	25.00	18.50	S 63°28'18" E	18.08	
	e	28°48'44"	40.00	20.11	N 37°57'08" E	19.90	C38	171°23'42"	40.00	119.66	N 52°01'50" E	79.77	
	C17	42°23'58"	25.00	18.50	N 44°44'43" E	18.08	a	31°01'03"	40.00	21.65	S 57°46'51" E	21.39	
	C18	33°13'15"	52.00	30.15	N 82°33'20" E	29.73	b	44°29'49"	40.00	54.85	N 84°27'43" E	30.29	
	C19	89°34'00"	25.00	39.08	S 36°03'03" E	35.22	c	40°58'25"	40.00	28.60	N 41°43'36" E	28.00	
	C20	42°23'58"	25.00	18.50	S 29°55'56" E	18.08	d	54°54'25"	40.00	38.33	N 06°12'49" W	36.88	
	a	20°14'29"	25.00	7.96	S 17°51'12" W	7.93	C39	42°23'58"	25.00	18.50	N 12°28'02" W	18.08	
	b	24°09'29"	25.00	10.54	S 39°03'11" W	10.46	C40	88°27'41"	98.00	151.31	N 35°29'53" W	136.72	
							a	06°22'25"	98.00	10.90	N 05°32'45" E	10.90	
							b	32°04'08"	98.00	54.08	N 13°40'30" W	54.14	
							c	50°01'10"	98.00	89.34	N 54°43'08" W	82.86	
							C41	88°27'41"	52.00	80.28	N 35°29'53" W	72.55	
							C42	116°40'28"	20.00	40.73	S 67°16'20" W	34.05	

DESCRIPTION

A tract of land in Bernalillo County, New Mexico, within the Town of Atrisco Grant, within projected Section 24, Township 10 North, Range 2 East, N.M.P.M., being and comprising the following lots and tracts:  
 AND  
 An Easterly portion of Lot numbered Eleven (11) of the Plat of RANCHO RICO, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on November 4, 1941, in Volume D, folio 73;  
 AND  
 Lots numbered One (1), Two (2), Three (3) and Four (4) of the Plat of POWELL GARDENS ADDITION, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 16, 1949, in Volume B, folio 131;  
 AND  
 All of SUNSET VILLA, being a replat of Tract 35C-1, and portions of Tracts 35A, 35B & 35C-2 of the MRGCD Map No. 39, situate within Sections 24 and 25, Township 10 North, Range 2 East, New Mexico Principal Meridian, within the Town of Atrisco Grant, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 29, 1979, in Book D-9, page 90;  
 AND  
 Tract 34, of the Middle Rio Grande Conservancy District Property Map No. 39, and being more particularly described as follows:

BEGINNING at the Southeast corner of the herein described tract of land, said corner being a point on the Westerly line of the M.R.G.C.D. Arenal Ditch and being common to the Northeast corner of Lot 20 of FLORA'S ADDITION, the plat of which was filed in the office of the County Clerk of Bernalillo County, New Mexico on October 17, 1949 in Volume B, folio 186, from which point ACS STA. "18-112" (X=369529.23, Y=1479254.75, New Mexico State Plane Grid, Central Zone, NAD 1927) bears S 28°55'07" W, a ground distance of 3427.42 feet, and running from said beginning point thence,  
 N 84°53'48" W, a distance of 822.65 feet;  
 thence, N 84°41'57" W, a distance of 192.74 feet; thence, N 04°00'16" E, a distance of 81.05 feet;  
 thence, N 84°51'52" W, a distance of 253.70 feet; thence, N 05°08'09" E, a distance of 81.84 feet;  
 thence, N 84°53'51" W, a distance of 75.23 feet to the Southwesterly corner of the herein described tract, said point on the Easterly line of the M.R.G.C.D. Atrisco Ditch;  
 thence, along the Easterly line of said Ditch through the following courses, N 37°00'49" E, a distance of 2.39 feet;  
 thence, N 22°18'53" E, a distance of 57.63 feet;  
 thence, N 36°14'28" E, a distance of 21.69 feet; thence, N 58°26'29" E, a distance of 61.29 feet;  
 thence, N 50°01'35" E, a distance of 21.39 feet; thence, N 34°09'08" E, a distance of 24.76 feet;  
 thence, N 21°26'38" E, a distance of 42.48 feet; thence, N 53°18'47" E, a distance of 19.42 feet;  
 thence, N 85°11'58" E, a distance of 63.09 feet; thence, N 89°34'53" E, a distance of 42.43 feet;  
 thence, N 45°18'11" E, a distance of 24.05 feet; thence, N 82°00'18" W, a distance of 25.53 feet;  
 thence, N 13°44'03" E, a distance of 97.74 feet; thence, N 51°01'03" E, a distance of 100.00 feet;  
 thence, N 87°49'03" E, a distance of 57.91 feet; thence, N 75°33'03" E, a distance of 39.84 feet;  
 thence, N 50°13'46" E, a distance of 34.52 feet to a point being common to the Southwest corner of Lot 11 of RANCHO RICO;  
 thence, departing the Easterly line of Atrisco Ditch, S 81°00'57" E, a distance of 139.03 feet to a point on the Southerly line of said Lot 11;  
 thence, N 15°32'36" E, a distance of 202.96 feet to a point on the Westerly line of said Lot 11, being a point on the Easterly line of Atrisco Ditch;  
 thence, along said Ditch, N 15°15'48" E, a distance of 90.25 feet to the Northwesterly corner of the herein described tract, said corner being the Northwest corner of said Lot 11 and a point on the South right-of-way line of Sunset Gardens Road, SW;  
 thence, following said right-of-way line, S 66°45'38" E, a distance of 58.90 feet to a point being the Northeast corner of said Lot 11;  
 thence, departing said right-of-way line, S 08°59'09" W, a distance of 276.59 feet;  
 thence, S 81°00'57" E, a distance of 103.61 feet to a point being the Northwest corner of Lot 8, POWELL GARDENS ADDITION;  
 thence, S 09°50'53" W, a distance of 223.70 feet to the Southwest corner of Lot 7, POWELL GARDENS ADDITION;  
 thence, S 80°52'57" E, a distance of 300.29 feet to the Southwest corner of Lot 4, POWELL GARDENS ADDITION;  
 thence, N 09°00'15" E, a distance of 87.21 feet to the Northwest corner of Lot 4, a point on the South line of Powers Road, SW; thence, following said line S 81°00'40" E, a distance of 82.94 feet; thence, N 08°56'06" E, a distance of 136.87 feet to the Northwest corner of Lot 4;  
 thence, S 81°08'02" E, a distance of 291.01 feet to the Northeast corner of the herein described tract, said point being a point on the Westerly line of the M.R.G.C.D. Arenal Ditch and being common to the Northeast corner of Lot 1 of POWELL GARDENS ADDITION;  
 thence, following the West line of said Ditch, S 23°05'30" W, a distance of 231.52 feet to the Southeast corner of said Lot 1;  
 thence, continuing along the West line of said Ditch, S 08°34'09" W, a distance of 324.91 feet to the Southeast corner of the herein described tract and the place of Beginning, containing 14.7123 acres, more or less.



**WAYJOHN SURVEYING INC**  
 330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 3 OF 8

COUNTY CLERK RECORDING LABEL HERE

PRELIMINARY PLAT OF  
LOTS 1-P1 THRU 76-P1  
SUNSET VILLA  
- AND -  
LOT 4-A  
POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
MAY 2006

PUBLIC UTILITY EASEMENTS

Public Utility Easements shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast Cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations or National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformers/switchgear doors and five feet (5') on each side.

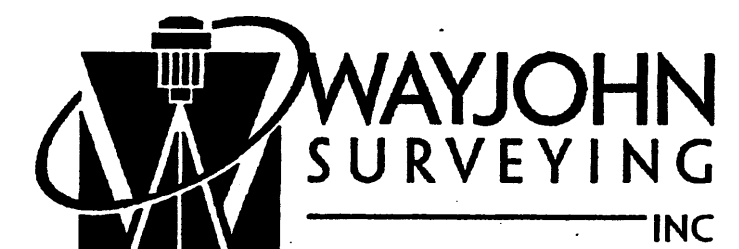
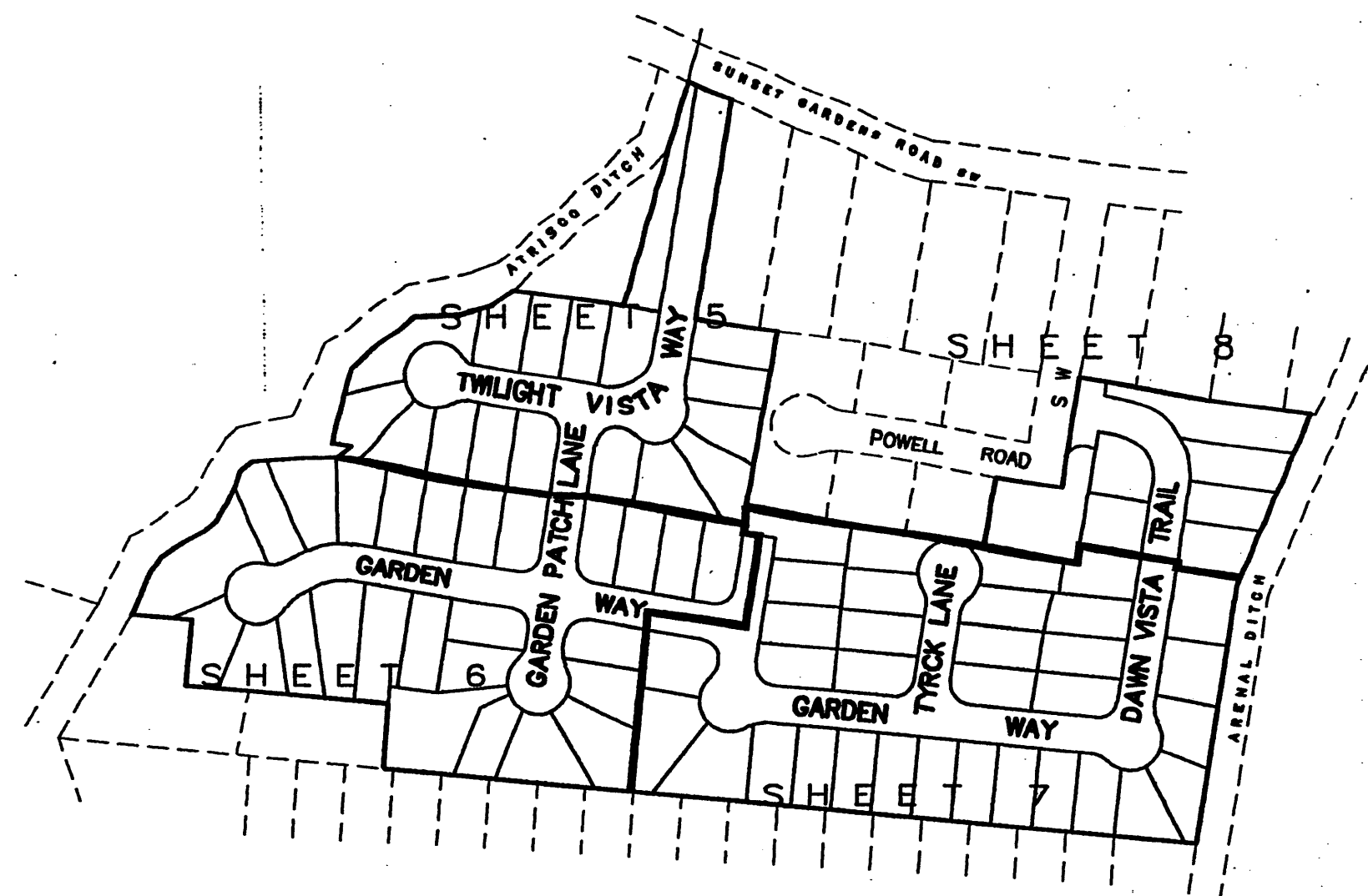
METAL TAGS STAMPED "WAYJOHN PS 14269" WERE ATTACHED TO ALL RECOVERED AND ACCEPTED BOUNDARY CORNERS.

BOUNDARY CORNERS RESET WERE SET WITH A 1/2" REBAR AND PLASTIC CAP STAMPED "WAYJOHN PS 14269"

NOTE: CENTERLINE Δ (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #14269".



SCALE: 1 INCH = 200 FEET



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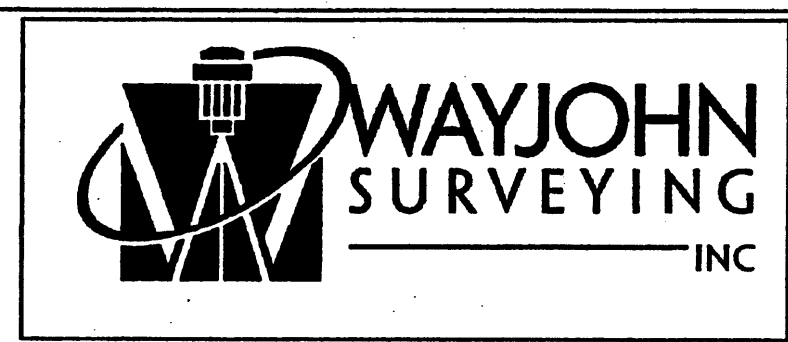
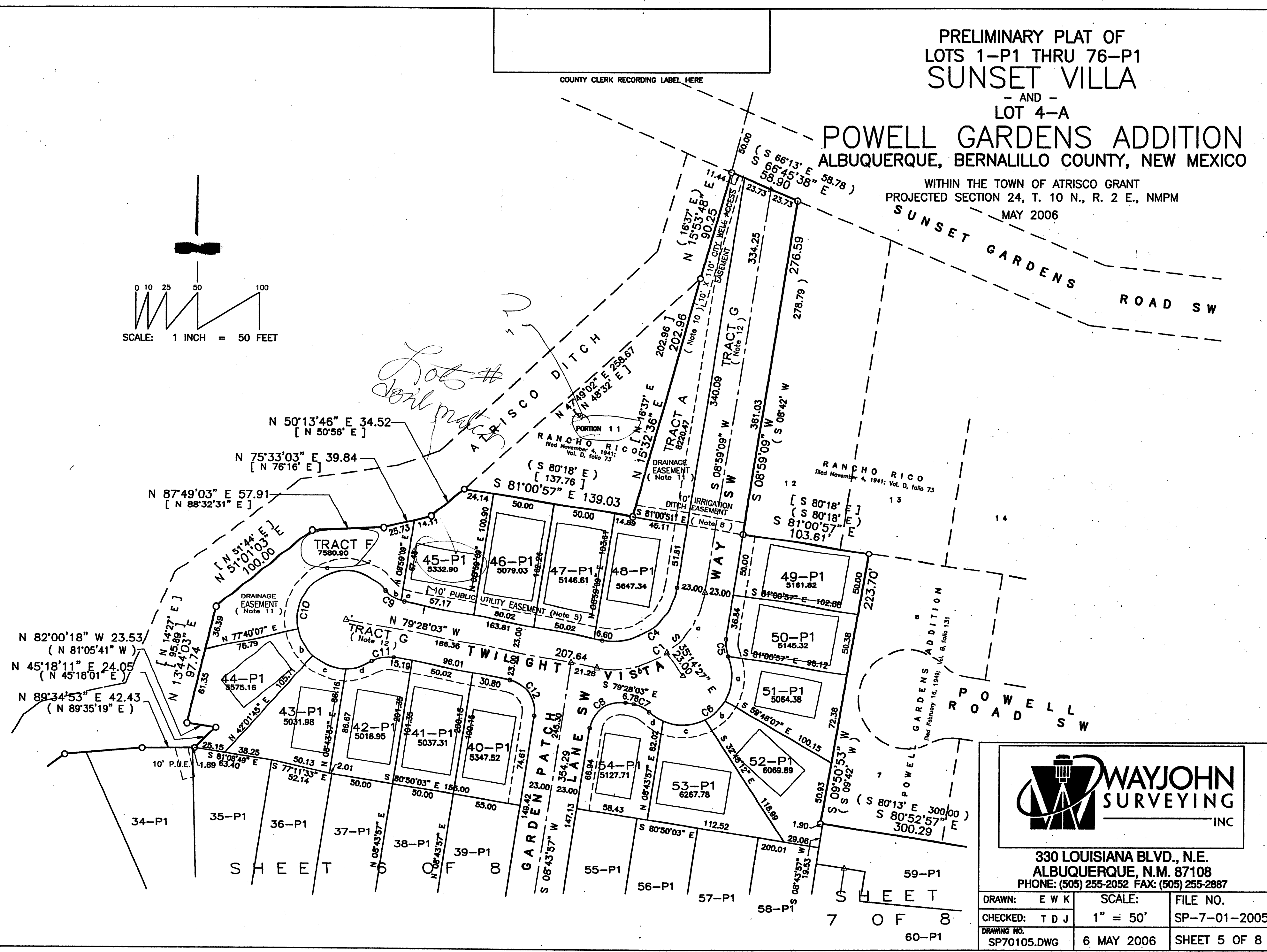
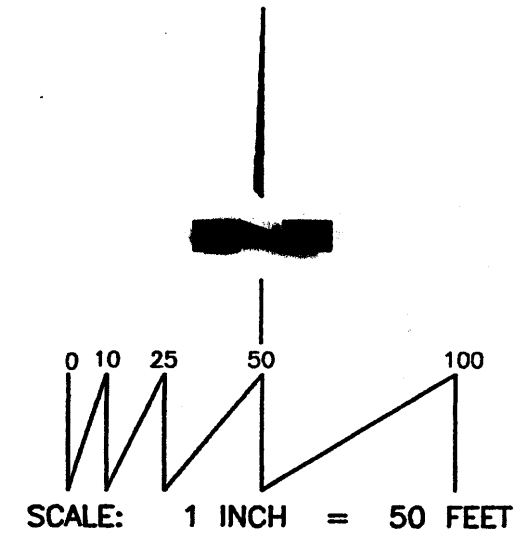


PRELIMINARY PLAT OF  
LOTS 1-P1 THRU 76-P1  
SUNSET VILLA

- AND -  
LOT 4-A  
POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
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DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
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DRAWING NO. SP70105.DWG		

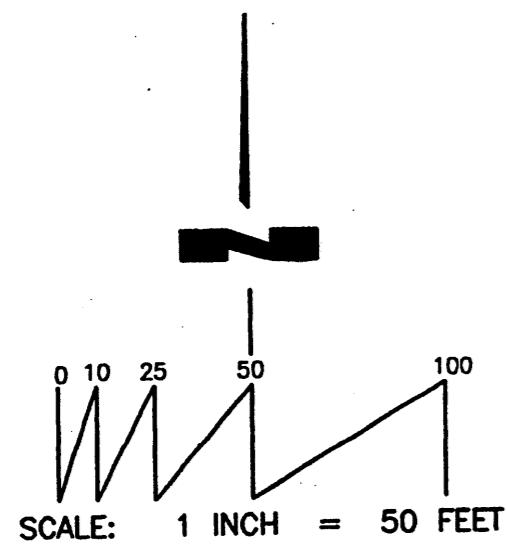
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POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM

MAY 2006



COUNTY CLERK RECORDING LABEL HERE

POWELL GARDENS  
ADDITION  
filed February 16, 1946

TRACT F  
TWILIGHT VISTA WAY SW  
SHEET 5 OF 8  
44-P1  
43-P1  
42-P1  
41-P1  
40-P1

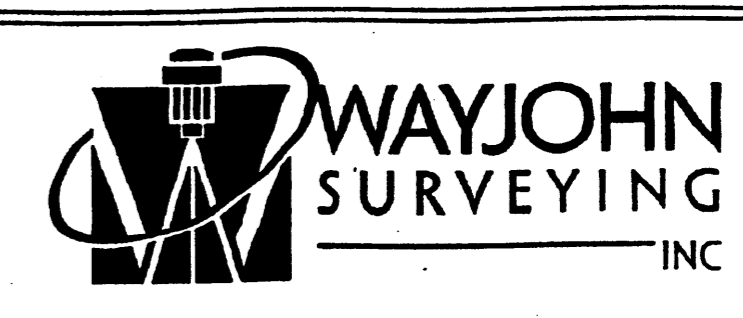
TRACT G  
GARDEN WAY SW  
35-P1  
36-P1  
37-P1  
38-P1  
39-P1

TRACT D  
DRAINAGE EASEMENT  
(Note 11)

TRACT E  
DRAINAGE EASEMENT  
(Note 11)  
25' WATER, SEWER AND  
PUBLIC UTILITIES  
EASEMENT

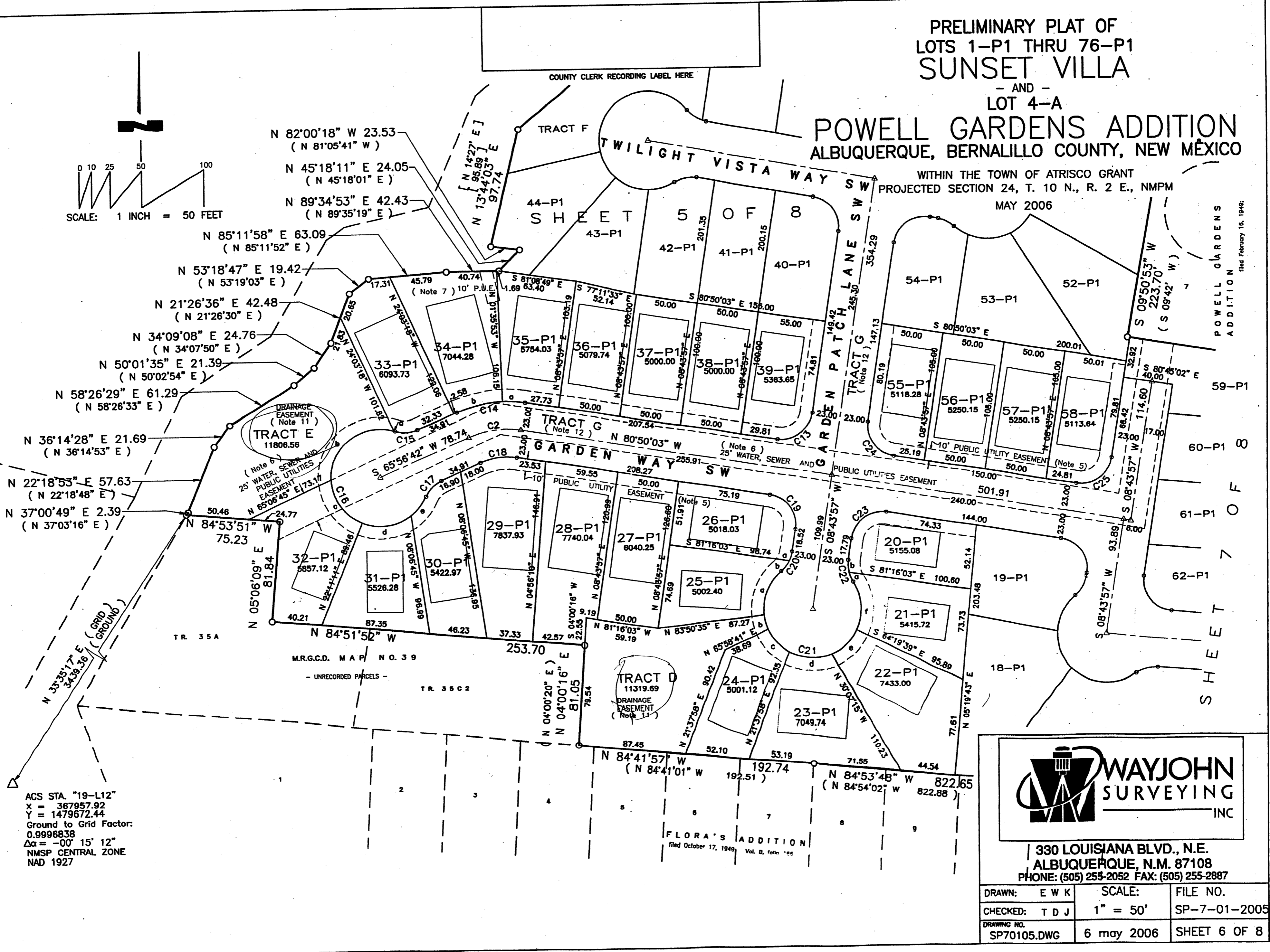
TRACT C  
DRAINAGE EASEMENT  
(Note 11)  
25' WATER, SEWER AND  
PUBLIC UTILITIES  
EASEMENT

ACS STA. "19-L12"  
X = 367957.92  
Y = 1479672.44  
Ground to Grid Factor:  
0.9996838  
 $\Delta\alpha = -00' 15" 12"$   
NAD 1927



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

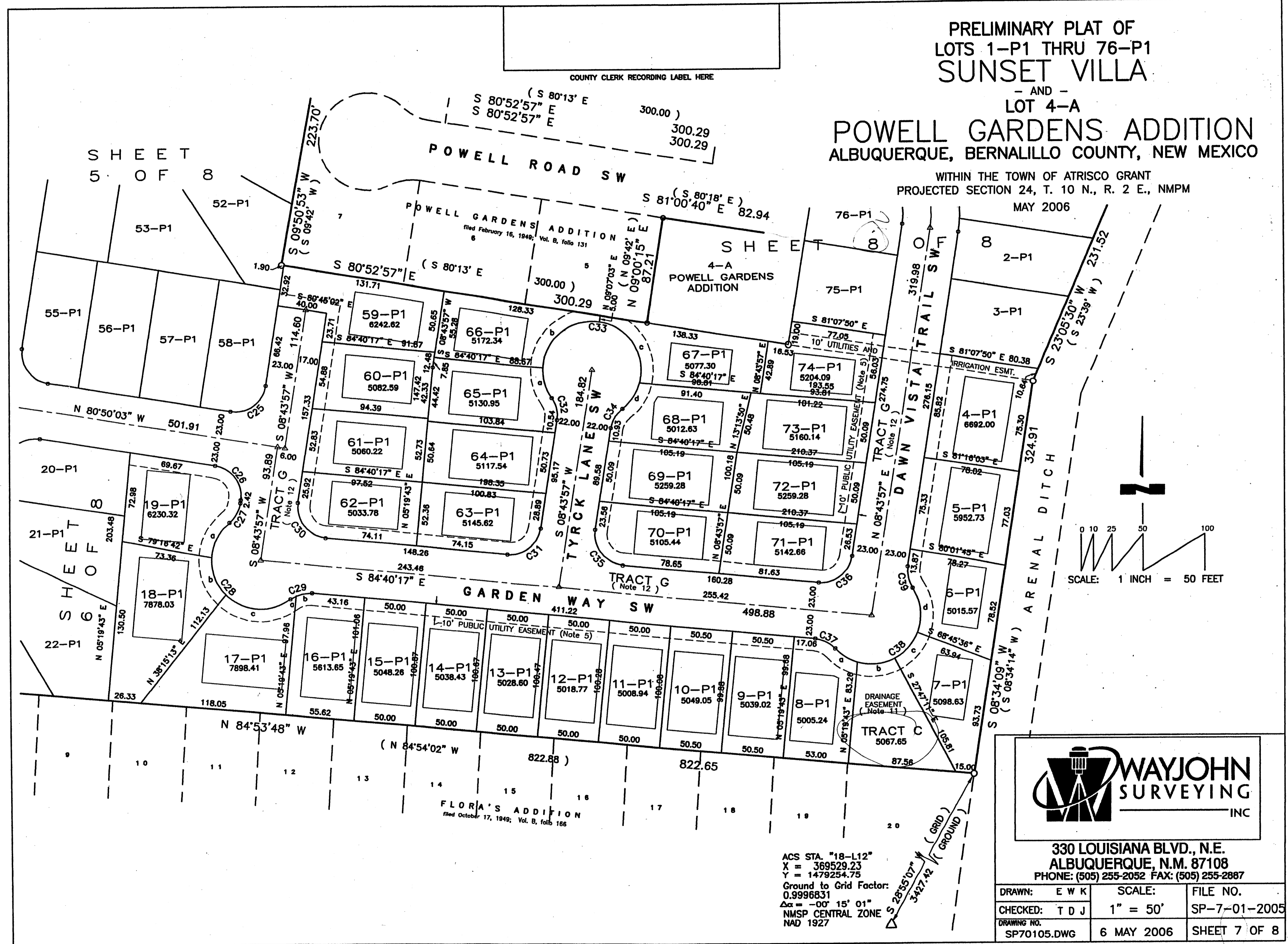
DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 may 2006	SHEET 6 OF 8



PRELIMINARY PLAT OF  
LOTS 1-P1 THRU 76-P1  
SUNSET VILLA

- AND -  
LOT 4-A  
POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
MAY 2006

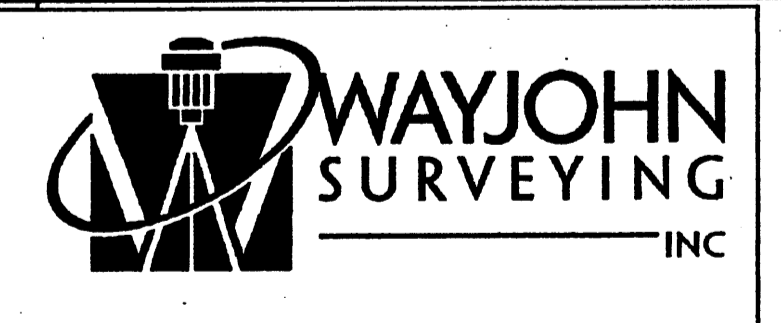
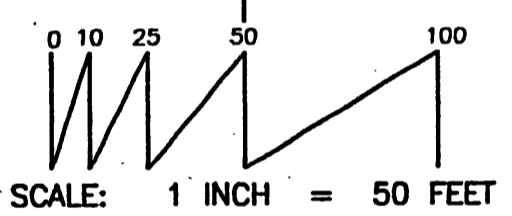


COUNTY CLERK RECORDING LABEL HERE

SHEET  
5 OF 8

SHEET  
8

SHEET  
8  
OF  
10  
TRACT  
H  
OF  
SECTION  
24



**WAYJOHN  
SURVEYING  
INC**

330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

ACS STA. #18-L12\*  
X = 369529.23  
Y = 1479254.75  
Ground to Grid Factor:  
0.9996831  
Δα = -00° 15' 01"  
NAD 1927

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J	DATE: 6 MAY 2006	SHEET 7 OF 8
DRAWING NO. SP70105.DWG		



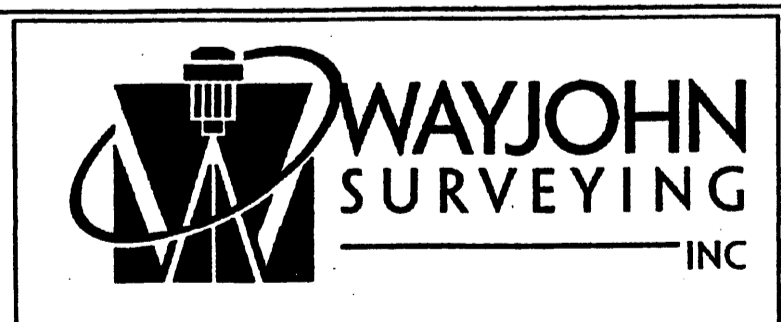
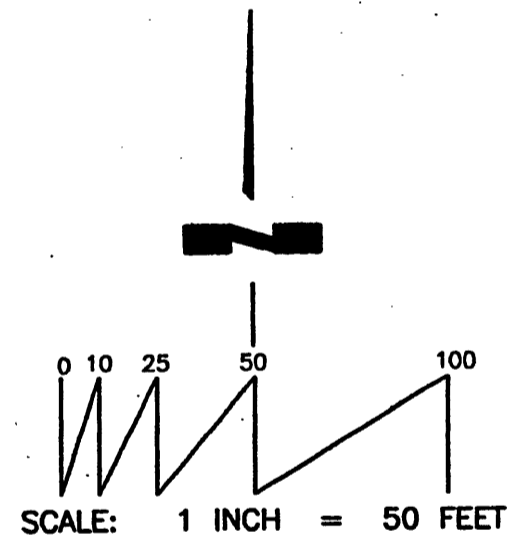
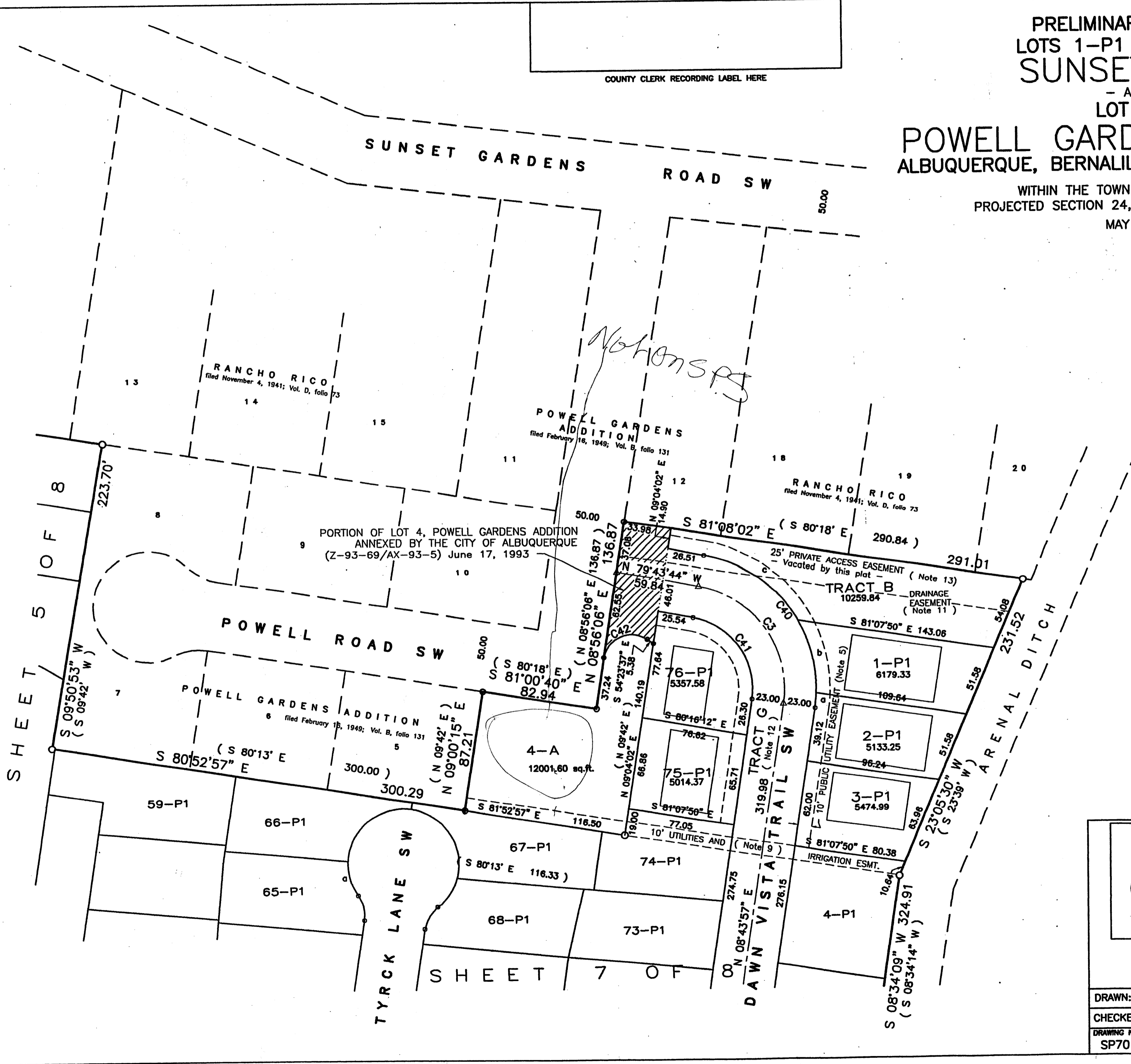
COUNTY CLERK RECORDING LABEL HERE

PRELIMINARY PLAT OF  
LOTS 1-P1 THRU 76-P1  
SUNSET VILLA

- AND -  
LOT 4-A

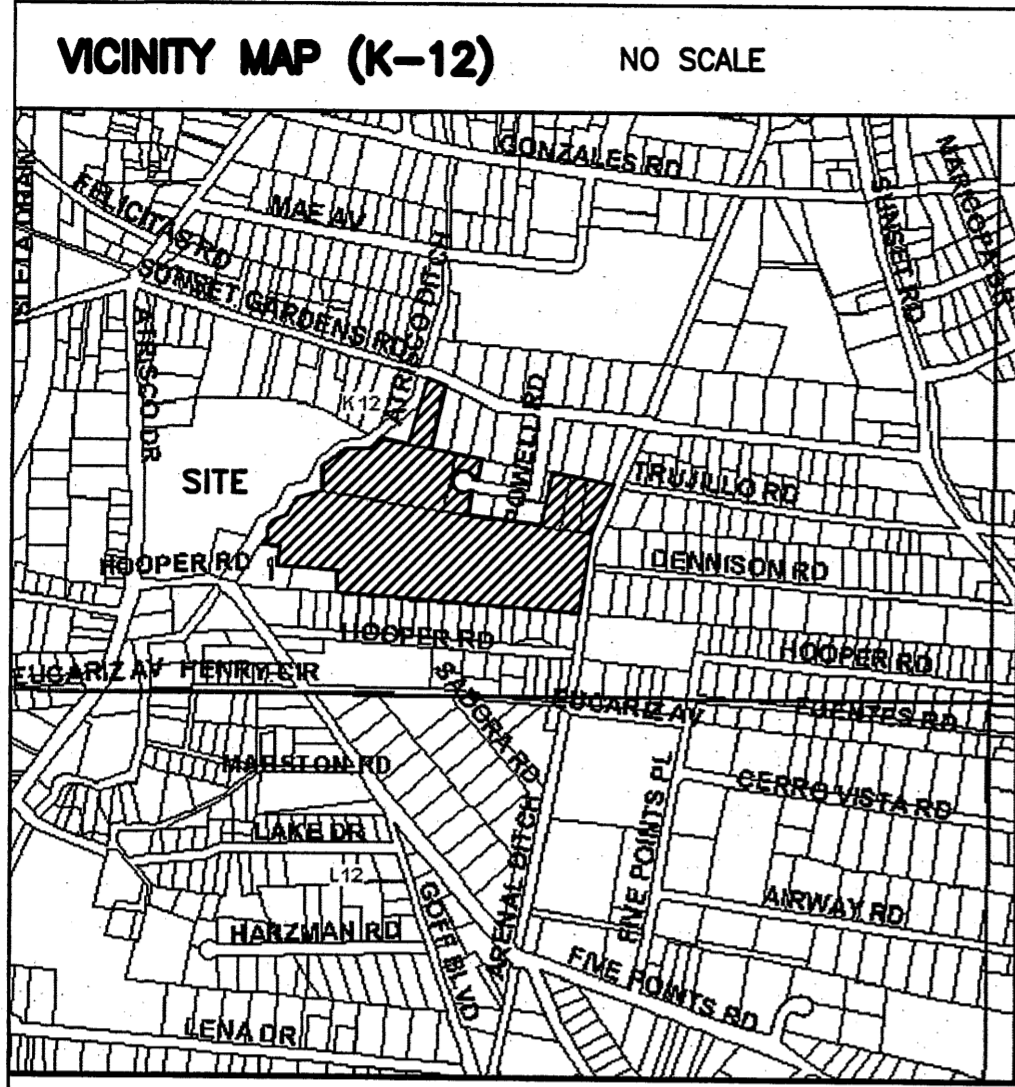
POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
MAY 2006



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 8 OF 8



COUNTY CLERK RECORDING LABEL HERE

DESCRIPTION APPEARS ON SHEET 3 OF 8

**AMENDED PRELIMINARY PLAT OF  
LOTS 1-P1 THRU 70-P1  
SUNSET VILLA**  
- AND -  
**LOT 4-A** *AMENDED*  
**PRELIMINARY PLAT  
APPROVED BY DRB**  
**ON**  
**POWELL GARDENS ADDITION**  
**ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO**  
WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
JANUARY 2007

Utility Approvals:

PNM Electric Services	_____	Date	_____
PNM Gas Services	_____	Date	_____
Qwest Telecommunications	_____	Date	_____
Comcast Cable	_____	Date	_____

PROJECT NUMBER:   x  

Application Number:   x  

- SUBDIVISION DATA**
- DRB Proj. No.
  - Zone Atlas Index No. K-12
  - Current Zoning R-1
  - Gross acreage 14.7123 Acres
  - Total Number of Lots created - 70 residential, 2 tracts -
  - No. of existing lots/tracts: 7
  - Miles of full width Private Ways created: 0.5218 mi.  
Area of streets dedicated to City of Albuquerque: -0- Ac.
  - Date of Survey: April, 2006
  - TALOS LOG NO.: 2006201958

**PURPOSE OF PLAT:**  
The purpose of this plat is to replat seven (7) tracts into seventy-seven (77) residential lots and seven (7) tracts, create Private Access Easement, grant Public Utility Easements and Drainage Easements and for compliance of platting requirement set forth in City of Albuquerque Zoning and Annexation cases Z-93-69 and AX-93-5, as approved by the City of Albuquerque Environmental Planning Commission on June 17, 1993.

City Approvals:

City Surveyor	_____	Date	_____
Real Property Division	_____	Date	_____
Environmental Health Department	_____	Date	_____
Traffic Engineering, Transportation Division	_____	Date	_____
Water Utility Department	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
AMA/CA	_____	Date	_____
City Engineer	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

**FREE CONSENT AND DEDICATION:**

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

*Joe R. Hahn*  
Joe R. Hahn, President, Warehouse Door and Moulding Corporation, a New Mexico corporation

- NOTES**
- Bearings are Grid Bearings, Central Zone, NAD 1927, based upon ACS monuments "18-L12" and "19-L12", and found monuments.
  - All distances are ground.
  - Monuments recovered and accepted or set are noted on plat. (SHEET 2 OF 8)
  - Record bearings in parenthesis ( ). Deed bearings in brackets [ ].  
Record bearings are from the following sources:  
a. SUNSET VILLA; filed March 29, 1979; Vol. D9, folio 90  
b. FLORA'S ADDITION; filed October 17, 1949; Vol. B, folio 166  
c. POWELL GARDENS ADDITION; filed February 13, 1949; Vol. B, folio 131  
d. RANCHO RICO; filed November 14, 1941; Vol. D, folio 73  
e. Warranty Deed (portion of Lot 11, Rancho Rico), recorded November 26, 1951; Book D-191, page 278.
  - Ten foot (10') Public Utility Easement along all street rights of way is hereby granted with the filing of this plat.
  - Grant of Twenty-five foot (25') Water, Sewer and Public Utilities Easement filed February 11, 1980; Book Misc. 752; page 279, records of Bernalillo County, New Mexico.
  - Ten foot (10') Public Utility Easement filed September 16, 1975; Doc. No. 84782.
  - Ten foot (10') Irrigation Easement filed November 4, 1941; Vol.D, folio 73.
  - Ten foot (10') Utilities and Irrigation Easement filed February 13, 1949; Vol.B, folio 131.
  - Ten foot (10') Easement granted to City of Albuquerque for Pipeline, Power and Well Access, filed in Book D191, page 623.
  - Tract "B" is reserved as a Drainage Easement for Stormwater Impoundment. Maintenance of this area is the mutual responsibility of all homeowners in Sunset Villa, their heir(s) and/or assign(s).
  - Streets appearing on this plat are granted as Private Ways for Private ingress, egress and circulation, maintenance is the joint, equal and inseparable responsibility of the owners of Lots 1-P1 through 71-P1, SUNSET VILLA. Said streets are also granted as Public Sewer and Water Easements and Public Utility Easements. Designated as Tract "A", contains 3.1757 acres.
  - Twenty-five foot (25') Private Access Easement following the Northernly lines of Lots 1 through 4 of the Powell Gardens Addition vacated by this plat.

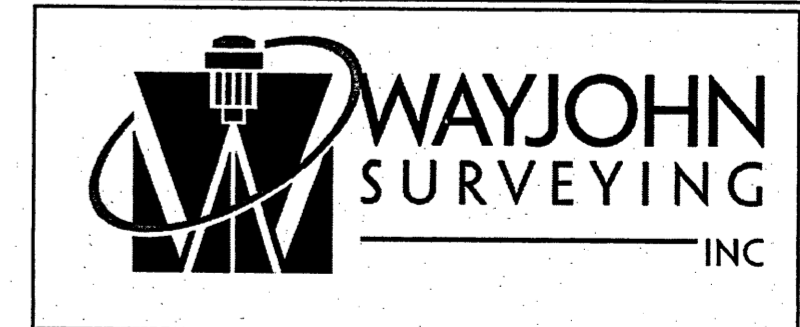
*Midge Christie*  
Midge Christie, owner, southerly portion of Lot 4, POWELL GARDENS ADDITION.

**SURVEYOR'S CERTIFICATE**  
I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston, N.M.P.S. No. 14269 \_\_\_\_\_ Date

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY  
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# \_\_\_\_\_  
PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO COUNTY TREASURER'S OFFICE \_\_\_\_\_

PRELIMINARY PLAT APPROVAL  
*Glen B. Halkin*  
Glen B. Halkin, P.S., City Surveyor, City of Albuquerque  
2-5-07  
Date



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J	6 MAY 2006	SHEET 1 OF 8
DRAWING NO. SP70105.DWG		

PRELIMINARY PLAT OF  
LOTS 1-P1 THRU 70-P1  
SUNSET VILLA

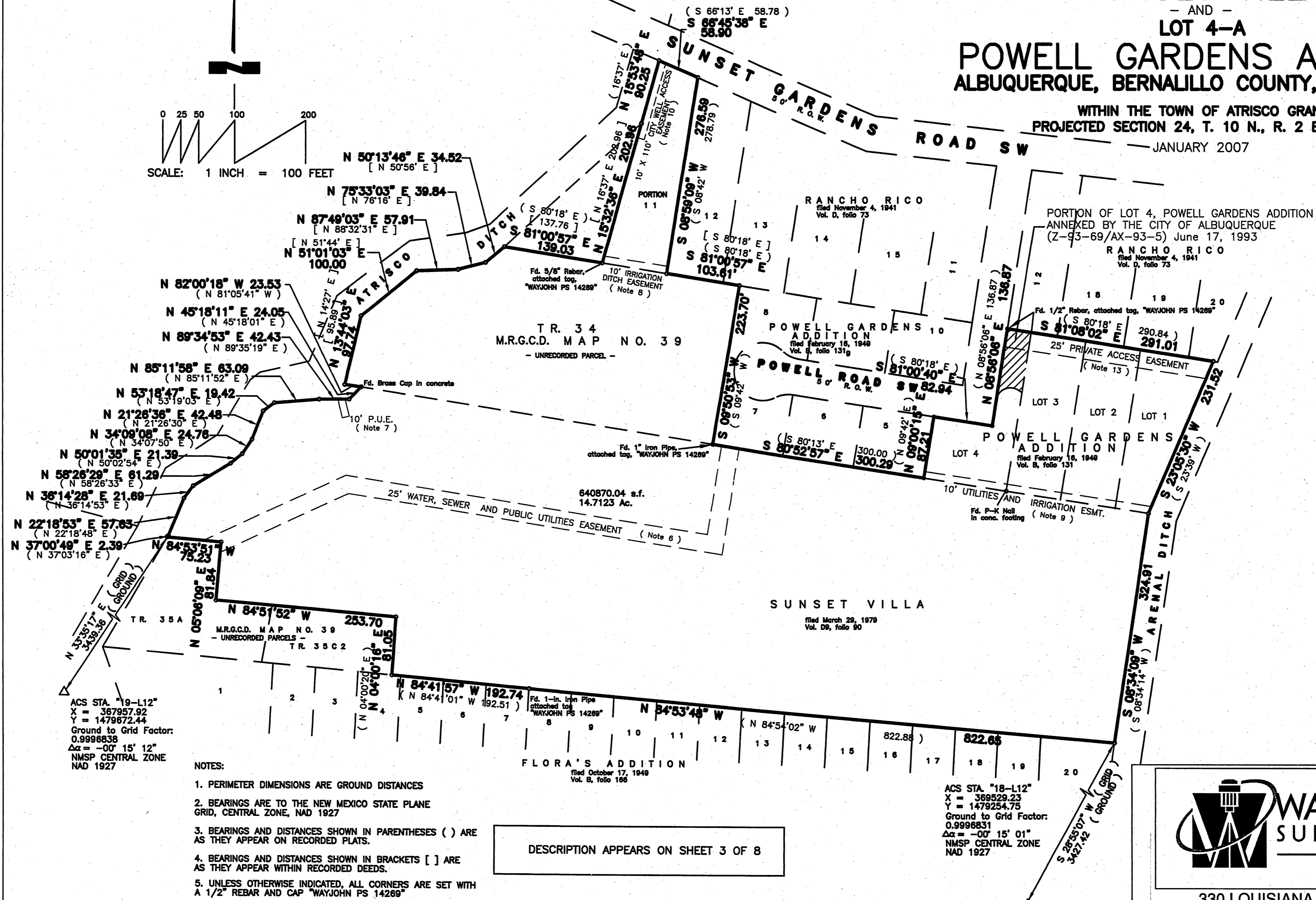
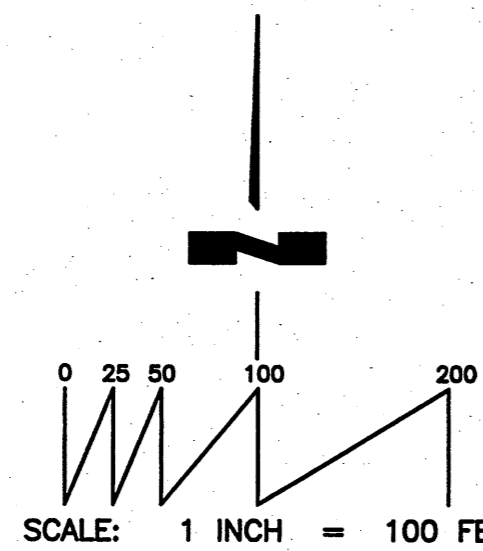
- AND -  
LOT 4-A

POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM

JANUARY 2007

COUNTY CLERK RECORDING LABEL HERE

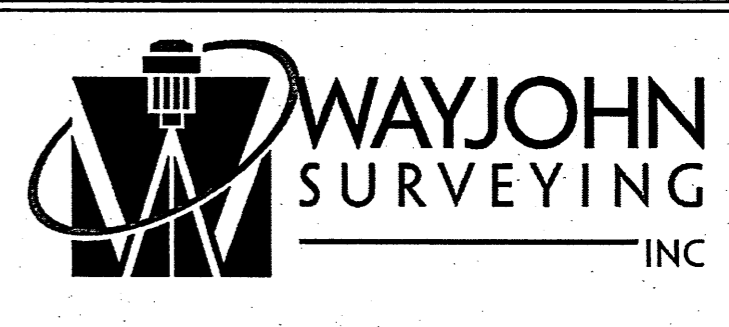


ACS STA. "19-L12"  
X = 367957.92  
Y = 1479672.44  
Ground to Grid Factor:  
0.9998638  
Δα = -00° 15' 12"  
NMSP CENTRAL ZONE  
NAD 1927

- NOTES:
1. PERIMETER DIMENSIONS ARE GROUND DISTANCES
  2. BEARINGS ARE TO THE NEW MEXICO STATE PLANE GRID, CENTRAL ZONE, NAD 1927
  3. BEARINGS AND DISTANCES SHOWN IN PARENTHESES ( ) ARE AS THEY APPEAR ON RECORDED PLATS.
  4. BEARINGS AND DISTANCES SHOWN IN BRACKETS [ ] ARE AS THEY APPEAR WITHIN RECORDED DEEDS.
  5. UNLESS OTHERWISE INDICATED, ALL CORNERS ARE SET WITH A 1/2" REBAR AND CAP "WAYJOHN PS 14269"

DESCRIPTION APPEARS ON SHEET 3 OF 8

ACS STA. "18-L12"  
X = 368525.23  
Y = 1478254.75  
Ground to Grid Factor:  
0.9998631  
Δα = -00° 15' 01"  
NMSP CENTRAL ZONE  
NAD 1927



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN:	E W K	SCALE:	FILE NO.
CHECKED:	T D J	1" = 100'	SP-7-01-2005
DRAWING NO.	SP70105.DWG	DATE:	SHEET 2 of 8
		6 MAY 2006	



COUNTY CLERK RECORDING LABEL HERE

PRELIMINARY PLAT OF  
 LOTS 1-P1 THRU 70-P1  
 SUNSET VILLA  
 - AND -  
 LOT 4-A  
 POWELL GARDENS ADDITION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 JANUARY 2007

DESCRIPTION

A tract of land in Bernalillo County, New Mexico, within the Town of Atrisco Grant, within projected Section 24, Township 10 North, Range 2 East, N.M.P.M., being and comprising the following lots and tracts:

AND  
 An Easterly portion of Lot numbered Eleven (11) of the Plat of RANCHO RICO, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on November 4, 1941, in Volume D, folio 73;

AND  
 Lots numbered One (1), Two (2), Three (3) and Four (4) of the Plat of POWELL GARDENS ADDITION, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 18, 1949, in Volume B, folio 131;

AND  
 All of SUNSET VILLA, being a replat of Tract 35C-1, and portions of Tracts 35A, 35B & 35C-2 of the MRGCD Map No. 39, situate within Sections 24 and 25, Township 10 North, Range 2 East, New Mexico Principal Meridian, within the Town of Atrisco Grant, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 29, 1979, in Book D-9, page 90;

AND  
 Tract 34, of the Middle Rio Grande Conservancy District Property Map No. 39, and being more particularly described as follows:

BEGINNING at the Southeast corner of the herein described tract of land, said corner being a point on the Westerly line of the M.R.G.C.D. Arenal Ditch and being common to the Northeast corner of Lot 20 of FLORA'S ADDITION, the plat of which was filed in the office of the County Clerk of Bernalillo County, New Mexico on October 17, 1949 in Volume B, folio 186, from which point ACS STA.

"18-112" (X=369529.23, Y=1479254.75, New Mexico State Plane Grid, Central Zone, NAD 1927) bears S 28°55'07" W, a ground distance of 3427.42 feet, and running from said beginning point thence,

N 84°53'48" W, a distance of 822.65 feet;  
 thence, N 84°41'57" W, a distance of 192.74 feet; thence, N 04°00'16" E, a distance of 81.05 feet;  
 thence, N 84°51'52" W, a distance of 253.70 feet; thence, N 05°08'09" E, a distance of 81.84 feet;  
 thence, N 84°53'51" W, a distance of 75.23 feet to the Southwesterly corner of the herein described tract, said point on the Easterly line of the M.R.G.C.D. Atrisco Ditch;  
 thence, along the Easterly line of said Ditch through the following courses, N 37°00'49" E, a distance of 2.39 feet;  
 thence, N 22°18'53" E, a distance of 57.83 feet;  
 thence, N 36°14'28" E, a distance of 21.89 feet; thence, N 58°26'29" E, a distance of 61.29 feet;  
 thence, N 50°01'35" E, a distance of 21.39 feet; thence, N 34°09'08" E, a distance of 24.76 feet;  
 thence, N 21°26'36" E, a distance of 42.48 feet; thence, N 53°18'47" E, a distance of 19.42 feet;  
 thence, N 85°11'58" E, a distance of 63.09 feet; thence, N 89°34'53" E, a distance of 42.43 feet;  
 thence, N 45°18'11" E, a distance of 24.05 feet; thence, N 82°00'18" W, a distance of 25.53 feet;  
 thence, N 13°44'03" E, a distance of 97.74 feet; thence, N 51°01'03" E, a distance of 100.00 feet;  
 thence, N 87°49'03" E, a distance of 57.91 feet; thence, N 75°33'03" E, a distance of 39.84 feet;  
 thence, N 50°13'48" E, a distance of 34.52 feet to a point being common to the Southwest corner of Lot 11 of RANCHO RICO;

thence, departing the Easterly line of Atrisco Ditch, S 81°00'57" E, a distance of 139.03 feet to a point on the Southerly line of said Lot 11;

thence, N 15°32'36" E, a distance of 202.96 feet to a point on the Westerly line of said Lot 11, being a point on the Easterly line of Atrisco Ditch;

thence, along said Ditch, N 15°15'48" E, a distance of 90.25 feet to the Northwestmost corner of the herein described tract, said corner being the Northwest corner of said Lot 11 and a point on the South right-of-way line of Sunset Gardens Road, SW;

thence, following said right-of-way line, S 66°45'38" E, a distance of 58.90 feet to a point being the Northeast corner of said Lot 11;

thence, departing said right-of-way line, S 08°59'09" W, a distance of 276.59 feet;

thence, S 81°00'57" E, a distance of 103.81 feet to a point being the Northwest corner of Lot 8, POWELL GARDENS ADDITION;

thence, S 09°50'53" W, a distance of 223.70 feet to the Southwest corner of Lot 7, POWELL GARDENS ADDITION;

thence, S 80°52'57" E, a distance of 300.29 feet to the Southwest corner of Lot 4, POWELL GARDENS ADDITION;

thence, N 09°00'15" E, a distance of 87.21 feet to the Northwest corner of Lot 4, a point on the South line of Powers Road, SW; thence, following said line S 81°00'40" E,

a distance of 82.94 feet; thence, N 08°56'06" E, a distance of 136.87 feet to the Northwest corner of Lot 4;

thence, S 81°08'02" E, a distance of 291.01 feet to the Northeast corner of the herein described tract, said point being a point on the Westerly line of the M.R.G.C.D. Arenal Ditch and being common to the Northeast corner of Lot 1 of POWELL GARDENS ADDITION;

thence, following the West line of said Ditch, S 23°05'30" W, a distance of 231.52 feet to the Southeast corner of said Lot 1;

thence, continuing along the West line of said Ditch, S 08°34'09" W, a distance of 324.91 feet to the Southeast corner of the herein described tract and the place of Beginning, containing 14.7123 acres, more or less.

STREET CENTERLINES

CURVES						CURVES					
NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH	NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	33°13'15"	75.00	43.49	S 82°33'20" W	42.88	C18	178°12'11"	40.00	124.41	S 37°58'10" E	79.99
C2	88°27'41"	75.00	115.80	N 35°29'53" W	104.63	a	47°35'28"	40.00	33.22	S 27°20'11" W	32.28
C3	90°10'48"	25.00	39.35	S 54°04'33" W	35.30	b	48°10'18"	40.00	33.63	S 20°32'42" E	32.65
C4	33°13'15"	98.00	56.82	S 82°33'20" W	56.03	c	82°26'25"	40.00	57.55	S 85°51'03" E	52.72
a	10°45'50"	98.00	18.41	N 86°12'58" W	18.38	C19	42°23'58"	25.00	18.50	N 74°07'44" E	18.08
b	22°27'25"	98.00	38.41	S 77°10'25" W	38.17	a	12°30'05"	25.00	5.45	N 59°10'47" E	5.44
C5	42°23'58"	25.00	18.50	S 87°08'41" W	18.08	b	29°53'53"	25.00	13.05	N 80°22'48" E	12.90
C6	26°47'56"	40.00	184.86	S 24°03'18" E	59.08	C20	93°24'14"	25.00	40.76	S 37°58'10" E	36.39
a	20°33'14"	40.00	12.40	N 80°55'57" W	12.90	C21	86°35'46"	25.00	37.78	N 52°01'50" E	34.29
b	85°11'31"	40.00	76.31	S 57°11'41" W	43.10	C22	43°41'27"	25.00	19.06	N 13°08'46" W	18.61
c	26°43'32"	40.00	18.77	S 11°09'09" W	18.60	C23	267°22'56"	40.00	186.67	S 81°16'03" E	57.85
d	55°34'20"	40.00	41.77	S 30°04'47" E	37.29	a	37°43'25"	40.00	26.34	N 16°05'47" W	25.86
e	54°53'04"	40.00	38.32	S 85°18'30" E	36.87	b	95°57'57"	40.00	67.00	N 50°44'57" E	59.44
f	43°42'15"	40.00	30.51	N 45°23'51" E	29.78	c	96°43'39"	40.00	67.53	S 32°54'07" E	59.79
C7	42°23'58"	25.00	18.50	N 44°44'43" E	18.08	d	36°57'36"	40.00	25.80	S 33°57'36" W	25.36
C8	33°13'15"	52.00	30.15	N 82°33'20" E	29.73	C24	43°41'27"	25.00	19.06	S 30°34'41" E	18.61
C9	89°34'00"	25.00	39.08	S 36°03'03" E	35.22	C25	93°24'14"	25.00	40.76	S 37°58'10" E	36.39
C10	42°23'58"	25.00	18.50	S 29°55'56" E	18.08	C26	86°35'46"	25.00	37.78	N 52°01'50" E	34.29
a	20°14'29"	25.00	7.96	S 17°51'12" W	7.93	C27	42°23'58"	25.00	18.50	S 63°28'18" E	18.08
b	24°09'29"	25.00	10.54	S 39°03'11" W	10.46	C28	171°23'42"	40.00	119.66	N 52°01'50" E	79.77
C11	26°47'56"	40.00	184.86	S 81°16'03" E	59.08	a	31°01'03"	40.00	21.65	S 57°46'51" E	21.39
a	66°04'31"	40.00	46.13	S 18°05'40" W	43.62	b	44°29'49"	40.00	54.85	N 84°27'43" E	30.29
b	28°41'58"	40.00	20.03	S 29°17'35" E	19.82	c	40°58'25"	40.00	28.60	N 41°43'36" E	28.00
c	53°45'53"	40.00	37.54	S 70°31'31" E	36.17	d	54°54'25"	40.00	38.33	N 06°12'49" W	36.88
d	45°30'37"	40.00	31.77	N 59°50'14" E	30.94	C29	42°23'58"	25.00	18.50	N 12°28'02" W	18.08
e	70°44'57"	40.00	49.39	N 01°42'27" E	46.31	C30	88°27'41"	98.00	151.31	N 35°29'53" W	136.72
C12	42°23'58"	25.00	18.50	N 12°28'02" W	18.08	a	06°22'25"	98.00	10.90	N 05°32'45" E	10.90
a	19°15'25"	25.00	8.40	N 24°02'19" W	8.36	b	32°04'06"	98.00	54.08	N 13°40'30" W	54.14
b	23°08'23"	25.00	10.10	N 02°50'20" W	10.03	c	50°01'10"	98.00	89.34	N 54°43'08" W	82.86
C13	90°26'00"	25.00	39.46	N 53°56'57" E	35.49	C31	88°27'41"	52.00	80.28	N 35°29'53" W	72.55
C14	89°49'12"	25.00	39.19	S 35°55'27" E	35.30	C32	116°40'28"	20.00	40.73	S 67°16'20" W	34.05
C15	90°26'00"	25.00	39.46	S 53°56'57" W	35.49						
C16	89°34'00"	25.00	39.08	S 36°03'03" E	35.22						
C17	42°23'58"	25.00	18.50	S 29°55'56" E	18.08						

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330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 3 OF 8

COUNTY CLERK RECORDING LABEL HERE

# PRELIMINARY PLAT OF LOTS 1-P1 THRU 70-P1 SUNSET VILLA - AND - LOT 4-A POWELL GARDENS ADDITION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
JANUARY 2007

### PUBLIC UTILITY EASEMENTS

Public Utility Easements shown on this plat are granted for the common and joint use of:

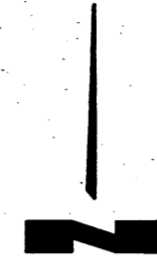
1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast Cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations or National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

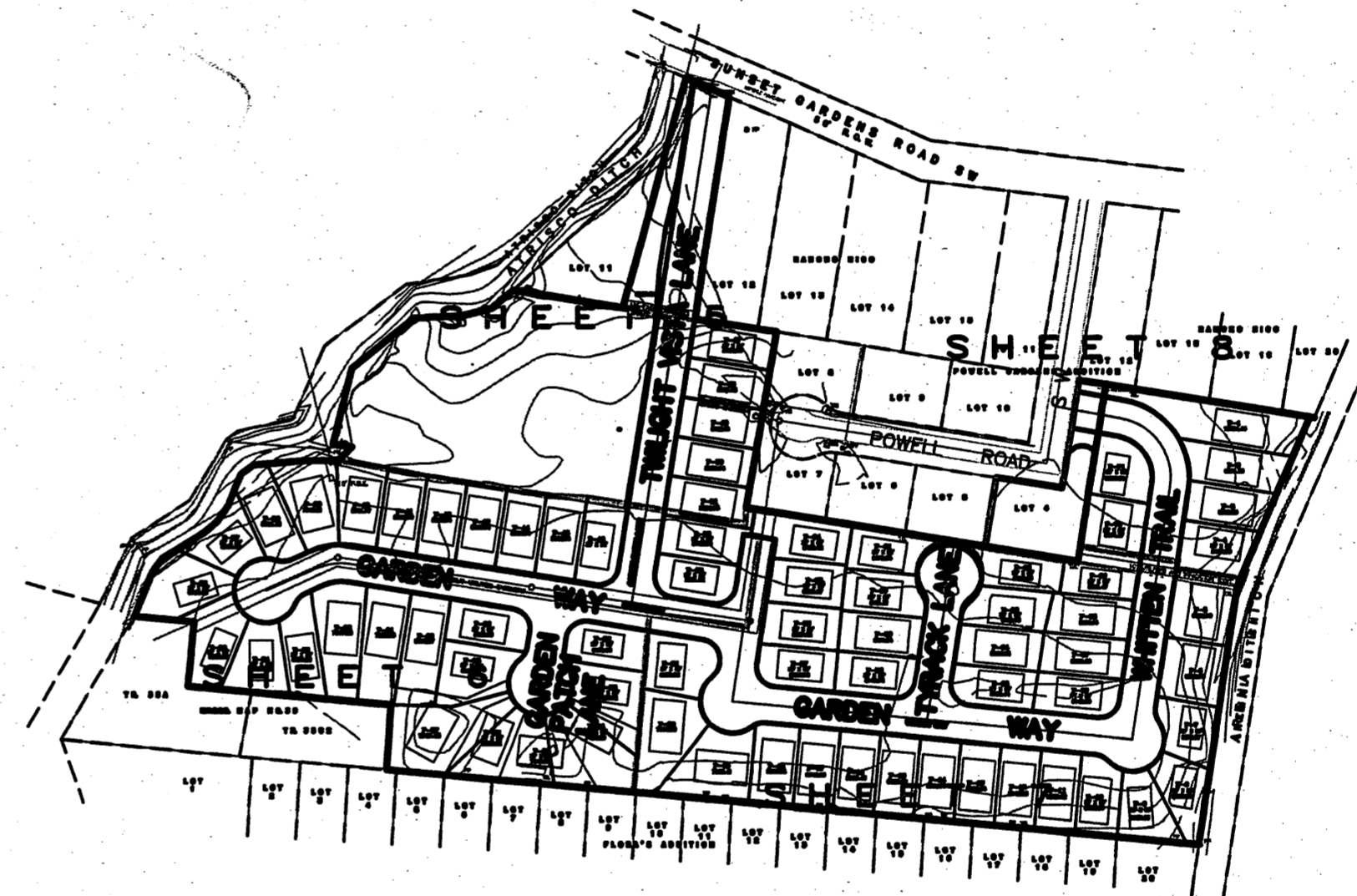
In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformers/switchgear doors and five feet (5') on each side.

METAL TAGS STAMPED "WAYJOHN PS 14269" WERE ATTACHED TO ALL RECOVERED AND ACCEPTED BOUNDARY CORNERS.  
BOUNDARY CORNERS RESET WERE SET WITH A 1/2" REBAR AND PLASTIC CAP STAMPED "WAYJOHN PS 14269"

NOTE: CENTERLINE Δ (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC's, PT's, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #14269".



SCALE: 1 INCH = 200 FEET



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330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 100'	FILE NO. SP-7-01-2005
CHECKED: T D J	6 MAY 2006	SHEET 4 OF 8
DRAWING NO. SP70105.DWG		

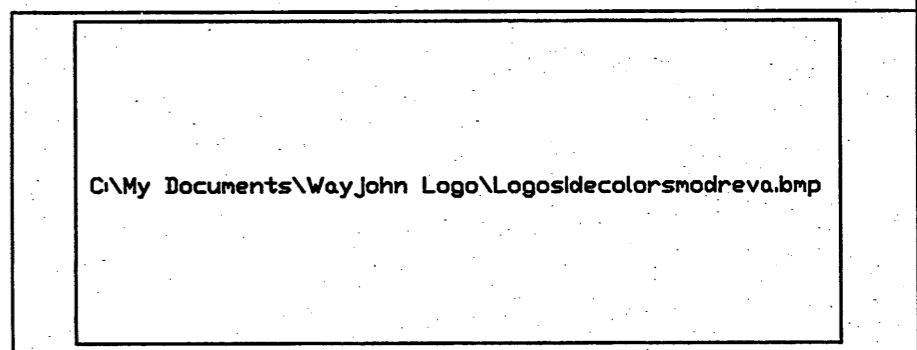
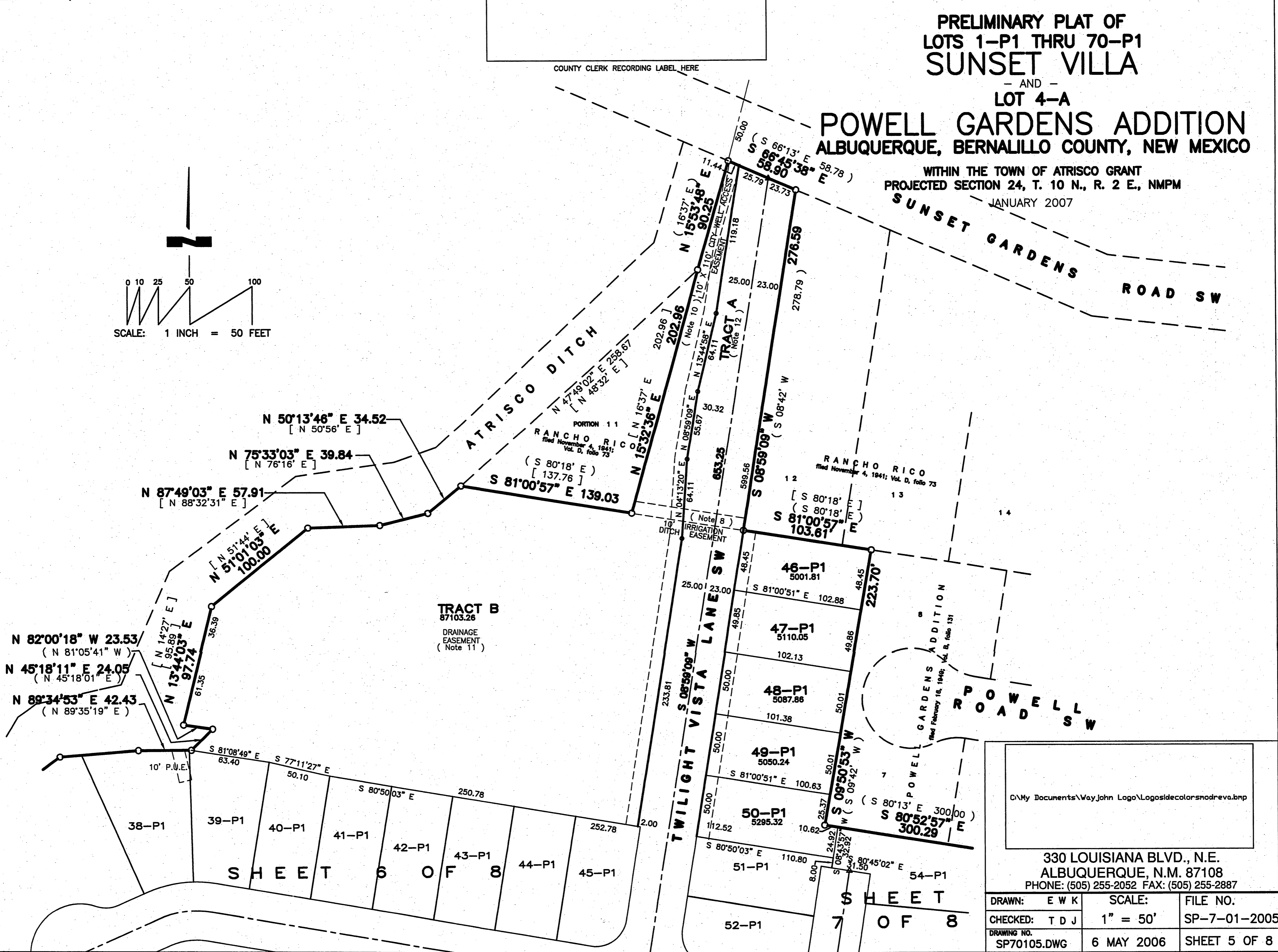
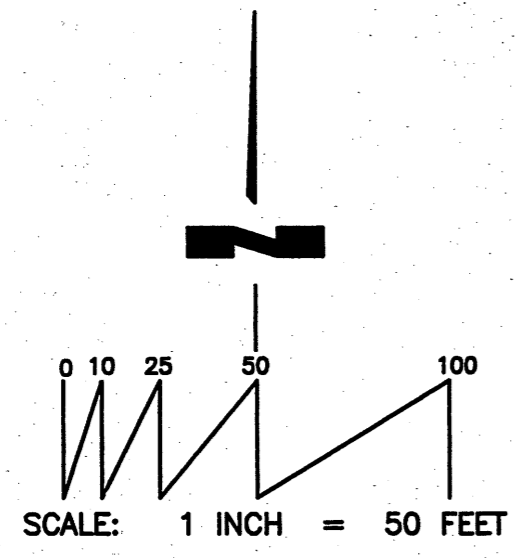
PRELIMINARY PLAT OF  
 LOTS 1-P1 THRU 70-P1  
 SUNSET VILLA

- AND -  
 LOT 4-A

POWELL GARDENS ADDITION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM  
 JANUARY 2007

COUNTY CLERK RECORDING LABEL HERE



330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 5 OF 8



PRELIMINARY PLAT OF  
LOTS 1-P1 THRU 70-P1  
SUNSET VILLA

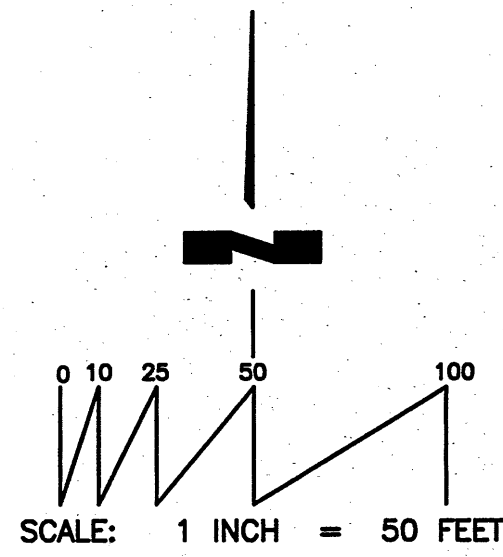
- AND -  
LOT 4-A

POWELL GARDENS ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

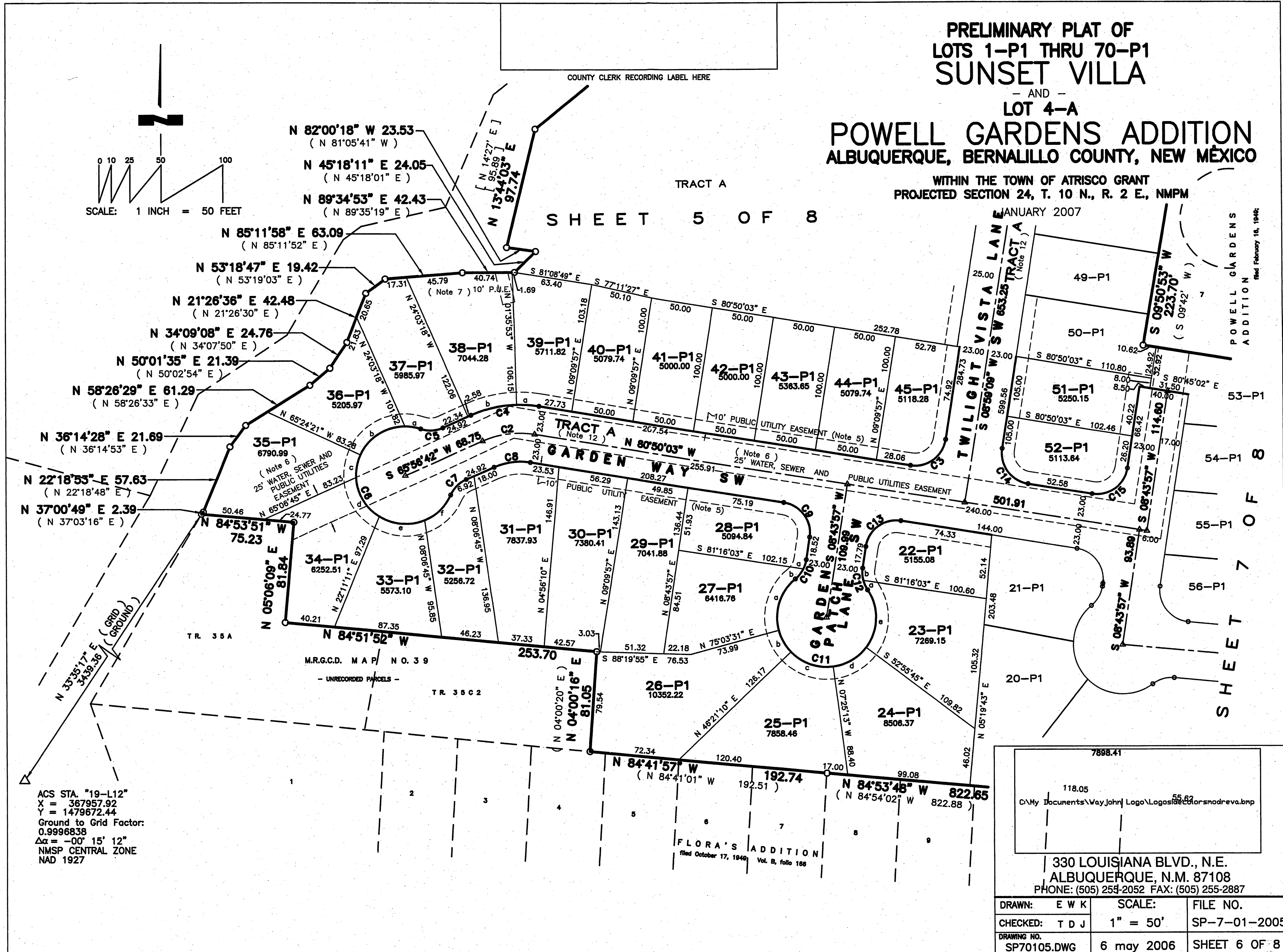
WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM

JANUARY 2007

SHEET 5 OF 8



COUNTY CLERK RECORDING LABEL HERE



POWELL GARDENS  
ADDITION  
filed February 16, 1946

SHEET 7 OF 8

ACS STA. "19-L12"  
X = 367957.92  
Y = 1479672.44  
Ground to Grid Factor:  
0.9996838  
Δα = -00° 15' 12"  
NMSP CENTRAL ZONE  
NAD 1927

118.05  
C:\My Documents\WayJohn\Logo\Logos\B&B\Colors\modreva.bmp  
330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

FLORA'S ADDITION  
filed October 17, 1946 Vol. B, folio 166

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 may 2006	SHEET 6 OF 8

PRELIMINARY PLAT OF  
 LOTS 1-P1 THRU 70-P1  
 SUNSET VILLA

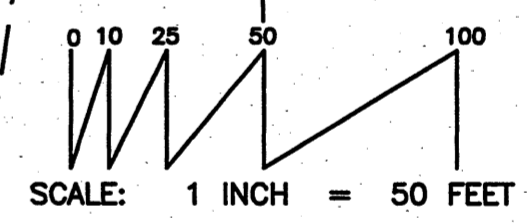
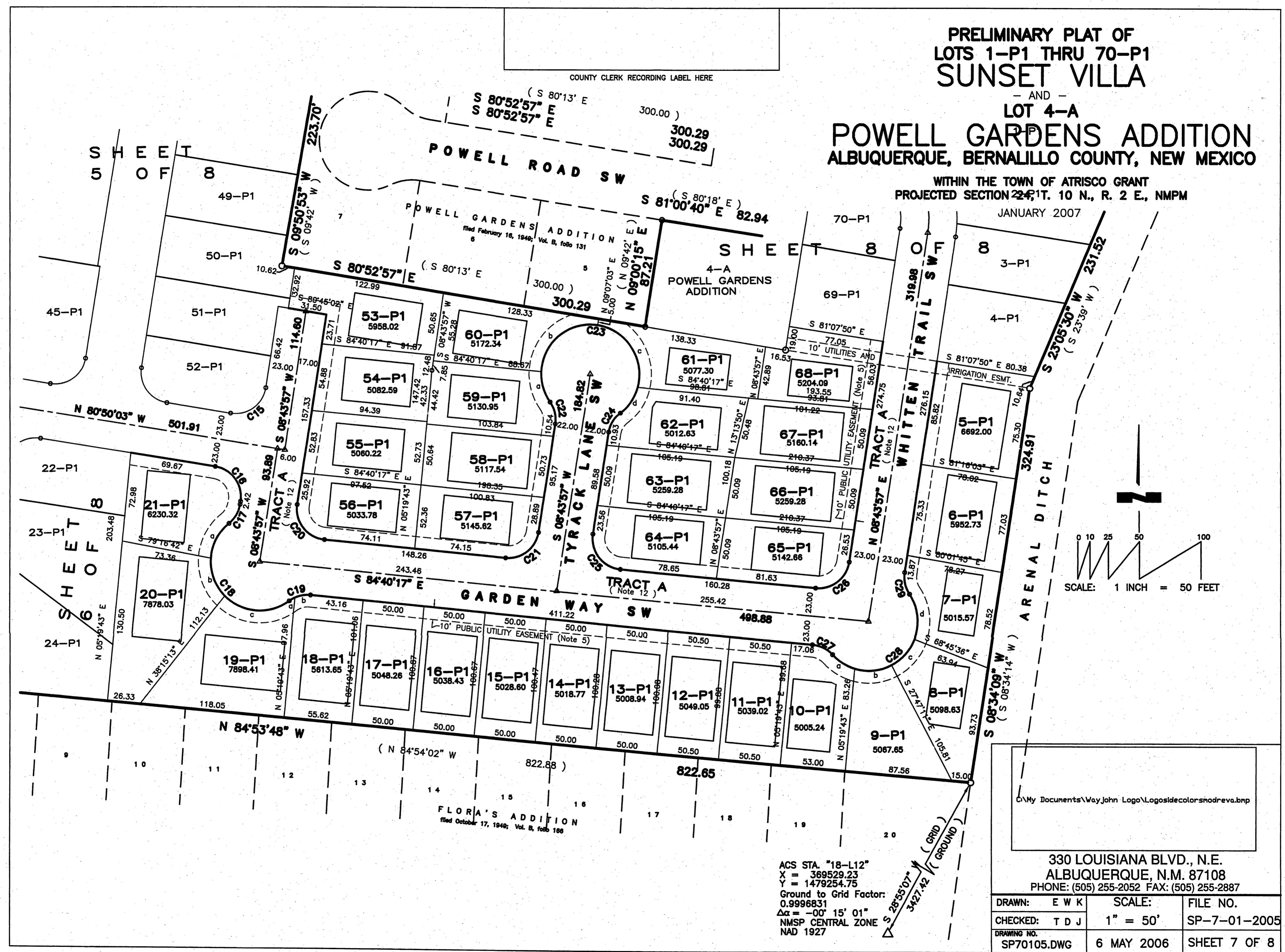
- AND -  
 LOT 4-A

POWELL GARDENS ADDITION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM

JANUARY 2007

COUNTY CLERK RECORDING LABEL HERE



ACS STA. "18-L12"  
 X = 369529.23  
 Y = 1479254.75  
 Ground to Grid Factor:  
 0.9996831  
 Δα = -00° 15' 01"  
 NMSP CENTRAL ZONE  
 NAD 1927

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330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
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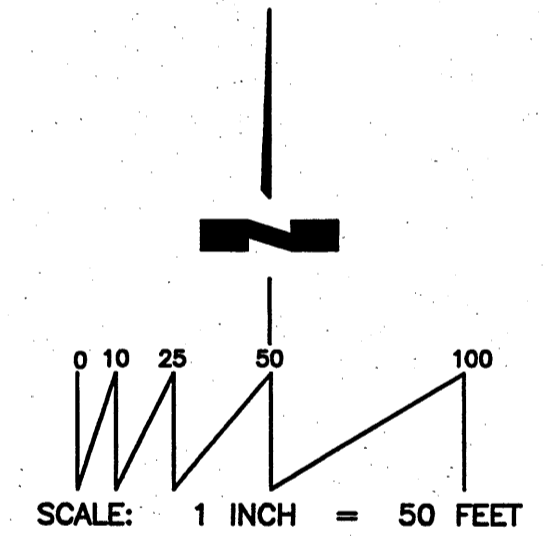
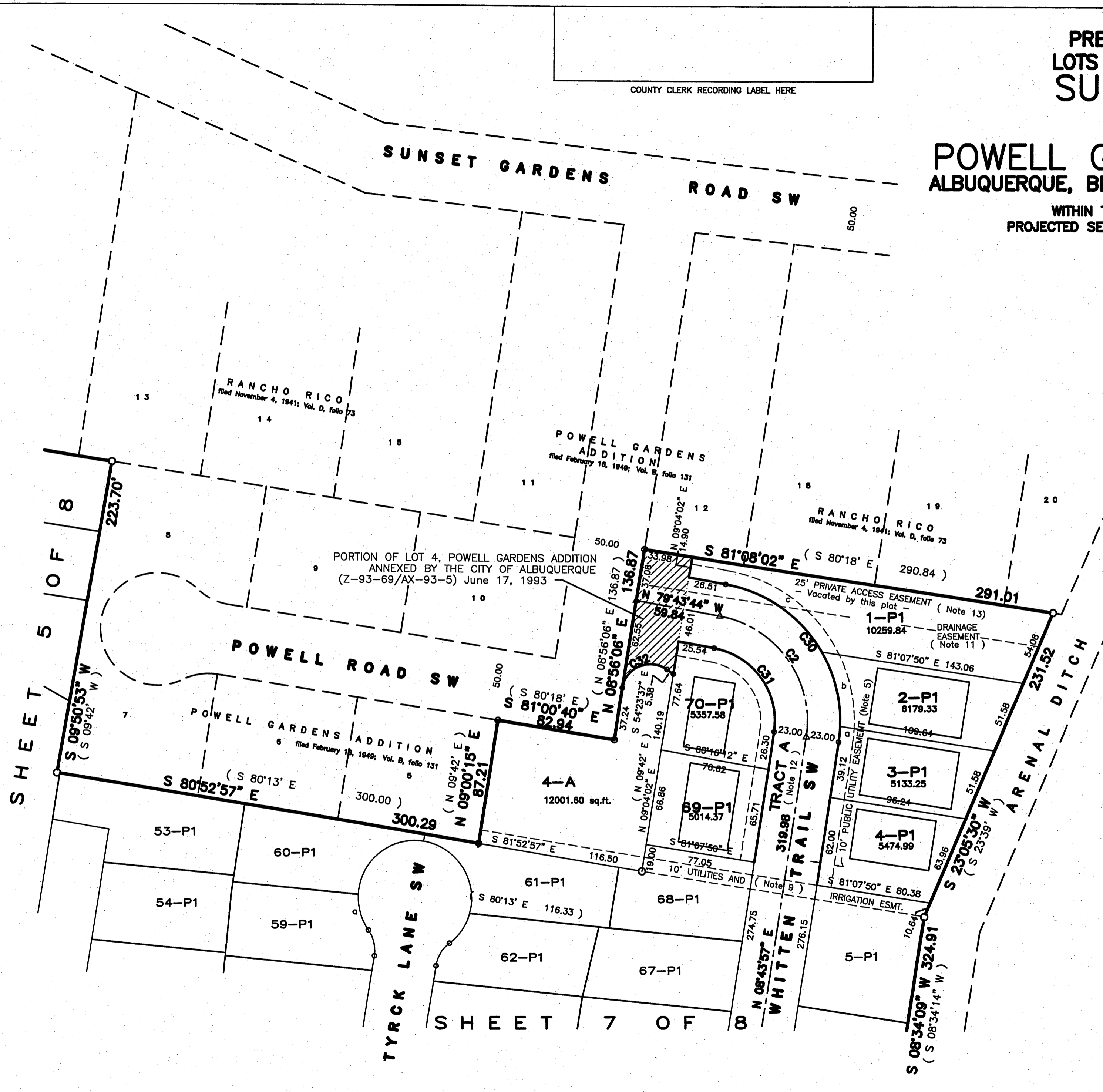
DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J		
DRAWING NO. SP70105.DWG	6 MAY 2006	SHEET 7 OF 8

COUNTY CLERK RECORDING LABEL HERE

# PRELIMINARY PLAT OF LOTS 1-P1 THRU 70-P1 SUNSET VILLA - AND - LOT 4-A POWELL GARDENS ADDITION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

WITHIN THE TOWN OF ATRISCO GRANT  
PROJECTED SECTION 24, T. 10 N., R. 2 E., NMPM

JANUARY 2007



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330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

DRAWN: E W K	SCALE: 1" = 50'	FILE NO. SP-7-01-2005
CHECKED: T D J	6 MAY 2006	SHEET 8 OF 8
DRAWING NO. SP70105.DWG		

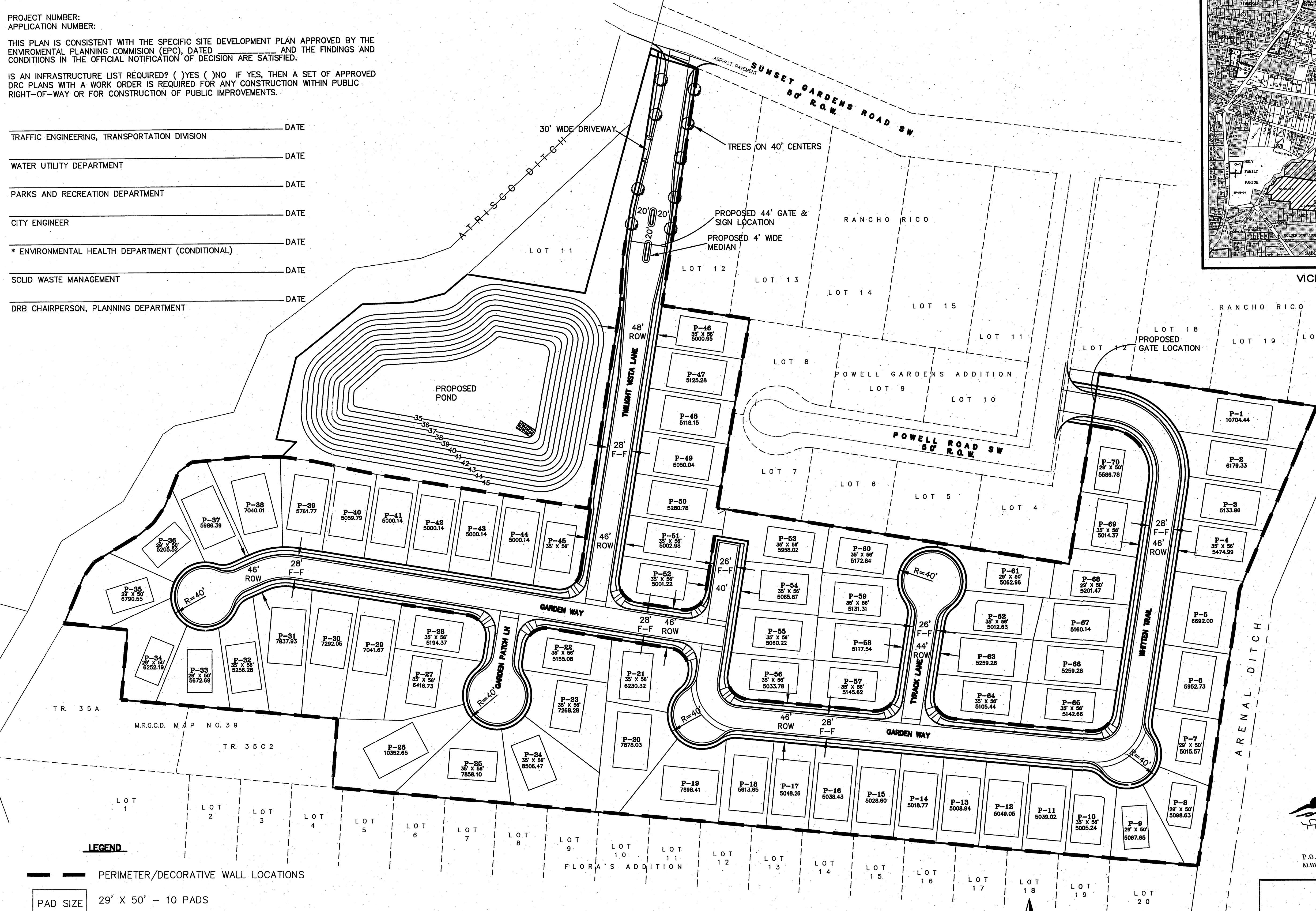


PROJECT NUMBER:  
APPLICATION NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



**LEGEND**

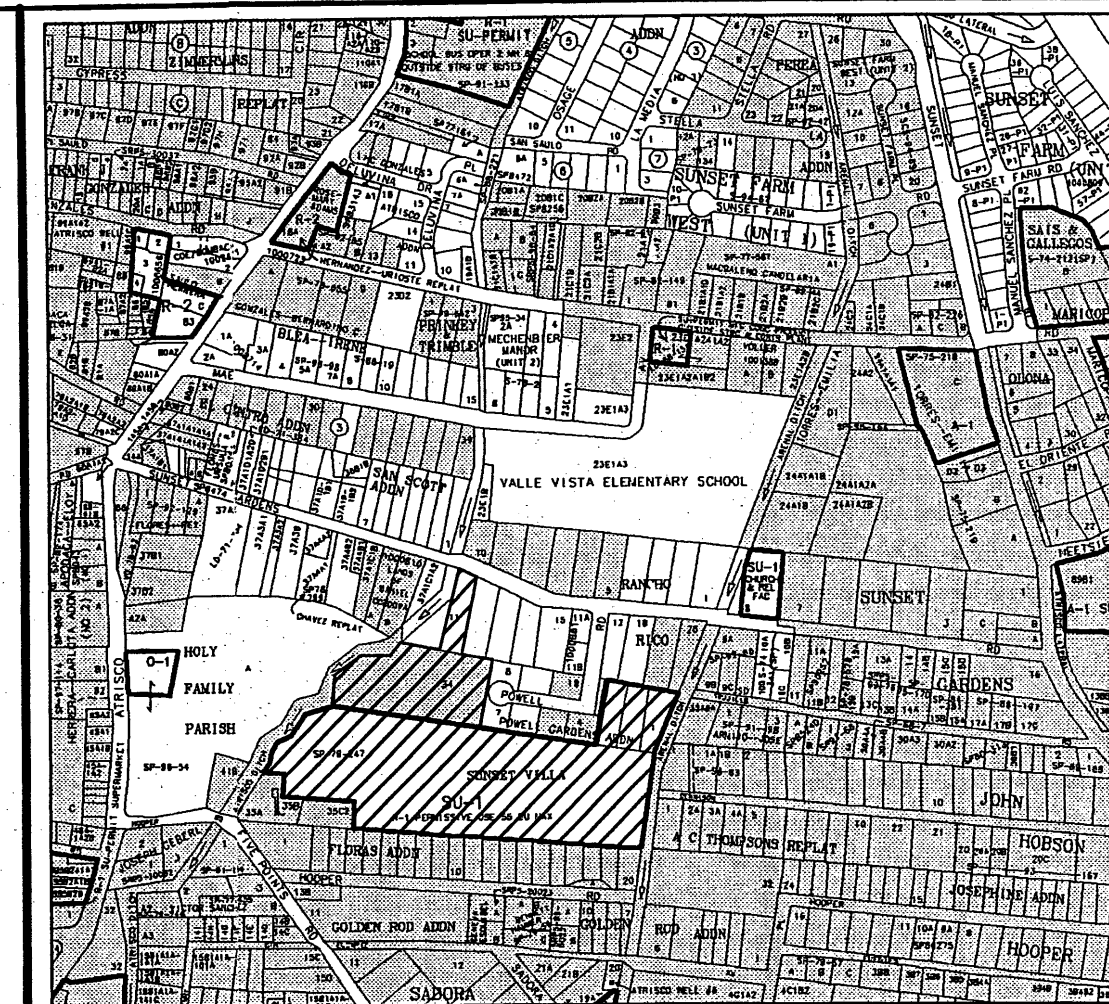
--- PERIMETER/DECORATIVE WALL LOCATIONS

PAD SIZE 29' X 50' - 10 PADS

PAD SIZE 35' X 56' - 25 PADS

PAD SIZE 40' X 65' - 35 PADS

TOTAL = 70 PADS



AMENDED SPS  
PRELIMINARY PLAT  
APPROVED BY DRB  
ON \_\_\_\_\_

AS BUILT INFORMATION	
CONTRACTOR	NO.
WORK STARTED BY	DATE
ACCEPTANCE BY	DATE
FIELD POSITION BY	DATE
DRAWING BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	NO.
NMSP CENTRAL ZONE NAD 1927	DATE

BENCH MARK	
ACS STA. #18-L12	DATE
X = 369529.23	BY
Y = 1479254.75	NO.
SURVEY INFORMATION	
GROUND TO GRID FACTOR:	DATE
0.9996831	BY
Δα = -00' 15" 01"	NO.
ENGINEER'S SEAL	
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE

NO.	DATE	REMARKS

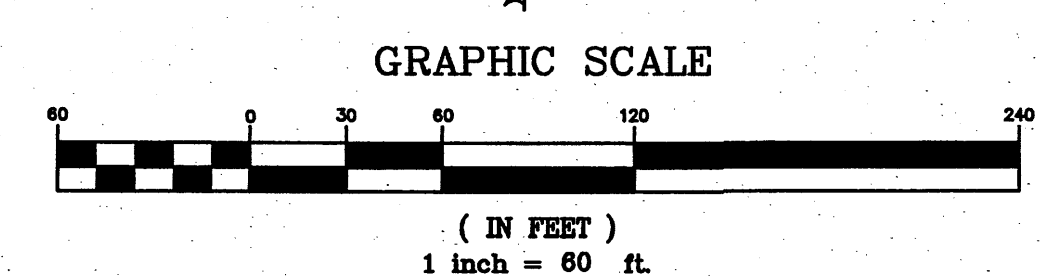
Thompson  
Engineering  
Consultants, Inc.  
tecnm@yahoo.com  
P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 830-9248

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
TRANSPORTATION DEVELOPMENT

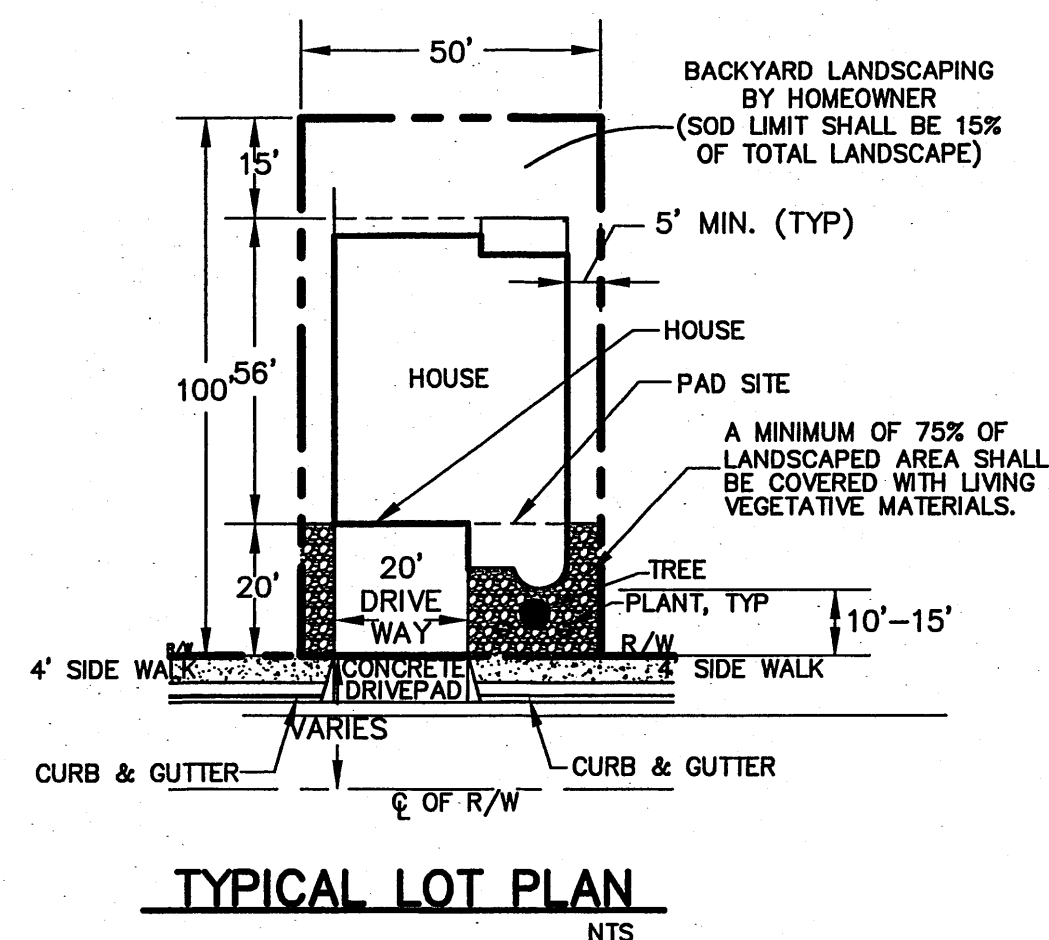
**SUNSET VILLA  
AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

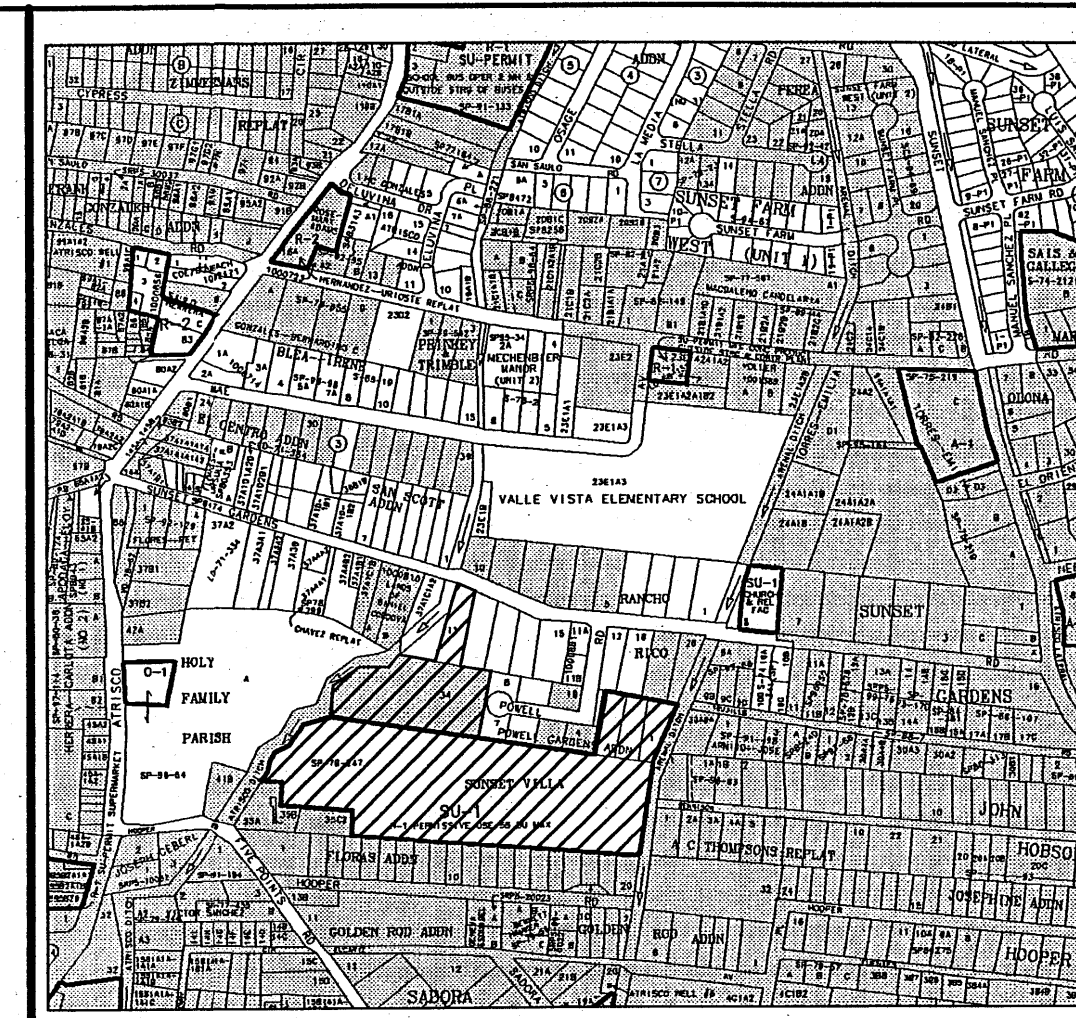
City Project No. \_\_\_\_\_ Zone Map No. K-12-Z Sheet 1 Of 2







PLANT MATERIALS TO BE USED FOR ENTRANCE  
LANDSCAPING AND FRONT YARD LANDSCAPING.  
TREES: DESERT WILLOW, TEXAS HONEY MESQUITE, VITEX  
SHRUBS: CHAMISA, DESERT BROOM, FAIRY DUSTER  
WILDFLOWERS AND GARDEN: PERENNIAL MIXTURE  
GRASSES: BLUE GRAMMA, INDIAN RICEGRASS, LITTLE BLUESTEM



**SITE DEVELOPMENT PLAN FOR SUBDIVISION DESIGN REQUIREMENTS**

The subject property consists of three separate parcels which are being developed as a gated community of seventy (70) residential lots:  
An 11.6 acre property annexed and zoned SU-1 in 1988. (AX-88-1, Z-88-1.) This parcel was then zoned SU-1 PRD, 62 dwelling units maximum in 2004 (Project # 1003281.)  
A 2.44-acre property annexed and zoned SU-1 PRD, 14 dwelling units maximum in 2005 (Project# 1003613.)  
Lot 11 Rancho Rico Subdivision, zoned R-1, included in the site plan because it provides access from Sunset Gardens Road and contains the access gate.

Maximum and minimum number of dwelling units: there shall be seventy six (76) single family detached dwelling units for an approximate density of approximately 5.2 dwelling units per acre.

Maximum and minimum lot sizes: the minimum lot size will be 50' x 100', although many of the lots will be either wider or deeper. The mean average lot size will be approximately 5803 square feet.

Maximum building height: 26 feet in all locations as controlled by the R-1 zone.

Building setbacks: To minimize the dominance of garages on the streetscape, the front yard setback shall be varied between a 10-foot minimum and 15 foot maximum. Garages shall be at least twenty (20) feet from the street. Rear yard setback shall be 15 feet. Side yard setbacks shall be 10 feet on the street side of corner lots; otherwise there shall be a required side yard setback of 5 feet. There shall be a distance of not less than 10 feet between residential buildings.

Architectural design standards: There shall be no specific architectural style required for individual dwellings. Acceptable styles include Territorial, Pueblo, Southwestern, Northern New Mexico or comparable styles. The dwellings may be single or two story subject to the height requirements set out herein. The permissible exterior wall materials shall include brick, wood, earth tone stucco or any combination thereof. The dwellings will have a variety of flat, shed or pitched roofs, with gravel, metal, tile or composite roof materials as appropriate. The color of each roof shall compliment the exterior color of the dwelling. At least 50% of the homes shall include a porch/portal or courtyard at the front of the house.

Placement of mechanical units: these units shall be located on the ground or, if roof mounted shielded from view from the public right of way.

Grading and drainage: A grading and drainage plan will be prepared and submitted for approval to the City in conjunction with the Subdivision of this property. The site is relatively flat and will require a number of ponds throughout the subdivision. Included with this submittal is a conceptual grading and drainage plan.

Landscape design standards and maintenance: The landscaping in the front and street side yards shall be installed by the Builder of each unit and shall include at least one tree and low water use indigenous plants. Landscaping of the other areas of each lot and continued maintenance of the entire lot is the responsibility of the homeowner. A minimum of 75% of the landscape area in the front yard shall be covered with living, vegetative materials, calculated from the mature spread of the plants. See typical lot plan and typical pond landscaping for landscaping. Maintenance of the pond, entrance and common area landscaping will be the responsibility of the homeowners association.

Off street parking: Chapter 23, Section 2 of the Development Process Manual, Table 23.2.1.C, Intermittant Parking Design shall be adhered to for all residential lots in the subdivision.

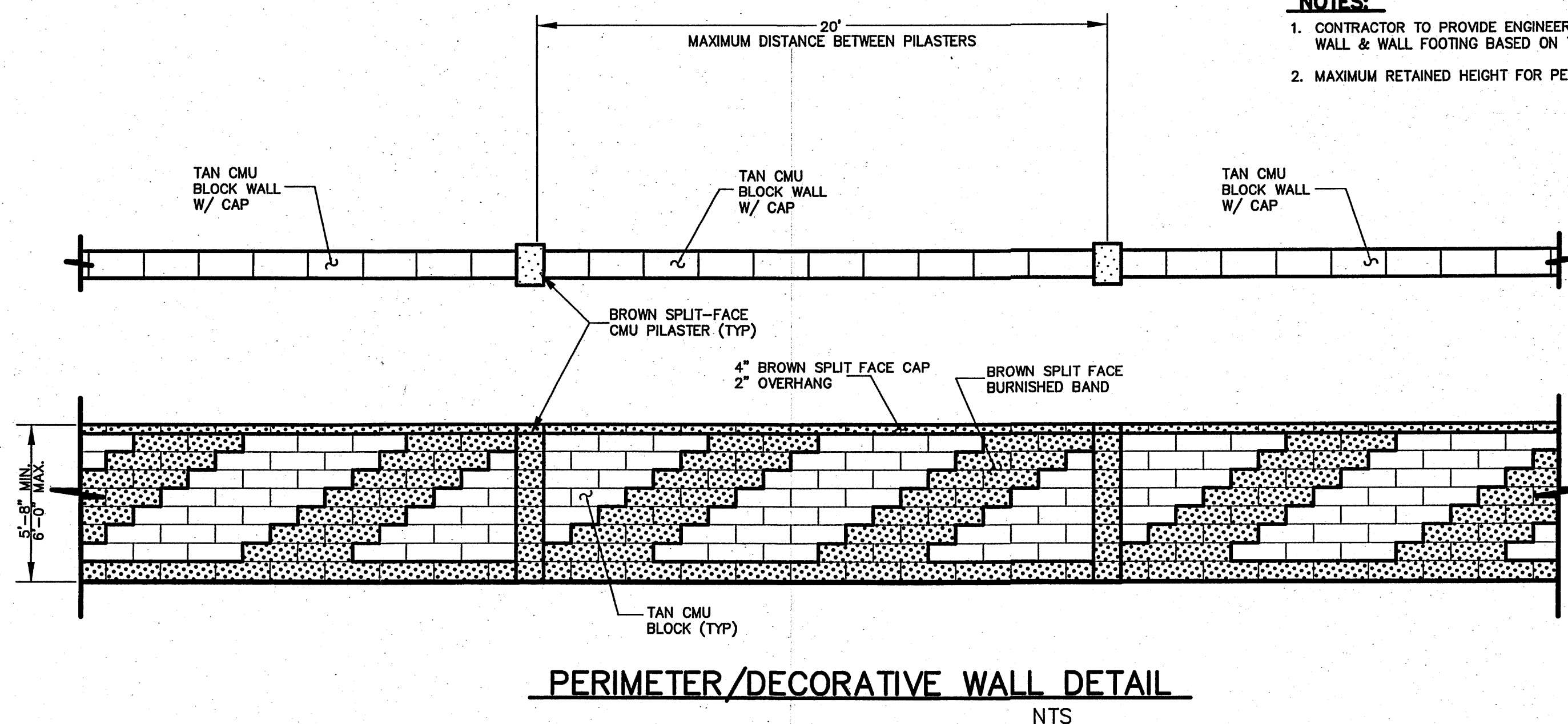
Site lighting and signage: No project site lighting is planned, but streetlights will be allowed if deemed appropriate by PNM. There will be a single project sign at the primary entrance to the subdivision.

Design of walls and fences visible from public right of way: A perimeter wall location is shown on the combined site plan. The perimeter wall design shown on this sheet meets the City's wall standards and will be included on the Development Review Board (DRB) submittal.

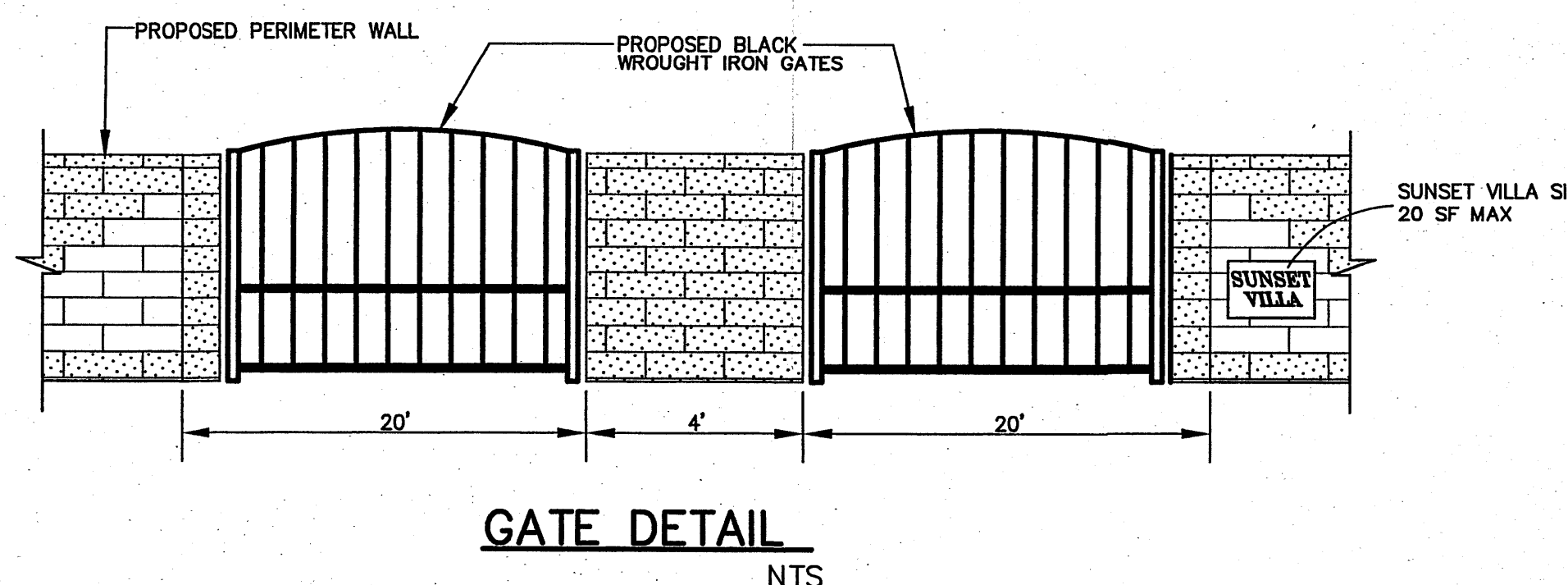
Pedestrian amenities: Public 4-foot sidewalks shall be provided on all private streets within the development.

Accessory buildings: Lots less than 6000 square feet in size shall be limited to one accessory building per lot, maximum height of 10 feet, maximum of 160 square feet in size. Lots greater than 6000 square feet may have two accessory buildings, maximum height of 10 feet, maximum of 600 square feet in size (combined).

Site Plan(s) for Building Permit: Individual site plans for building permit shall not be required except as may be required for building permit approval under the UBC.



**NOTES:**  
1. CONTRACTOR TO PROVIDE ENGINEERING DESIGN FOR REINFORCED WALL & WALL FOOTING BASED ON THE SITE GEOTECHNICAL REPORT.  
2. MAXIMUM RETAINED HEIGHT FOR PERIMETER WALL IS 1'-6".



**Thompson Engineering Consultants, Inc.**  
P.O. BOX 65760 ALBUQUERQUE, NM 87193  
PHONE: (505) 271-2199 FAX: (505) 530-9248

AS BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACS STA.	NO.	NO.	BY	NO.	DATE
WORK STATED BY	DATE	X = 369529.23	BY	REMARKS	DESIGN	DESIGNED BY	DATE
FIELD ACCEPTANCE BY	DATE	Y = 1479294.75	NO.	DESIGN	DRAWN BY	CHECKED BY	DATE
FIELD CORRECTION BY	DATE	GROUND TO GRID FACTOR:					
DRAWINGS CORRECTED BY	DATE	0.9996831					
<b>MICRO-FILM INFORMATION</b>		$\Delta\alpha = -00' 15" 01"$					
RECORDED BY	DATE	NMSP CENTRAL ZONE NAD 1927					
NO.							

<b>CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TRANSPORTATION DEVELOPMENT</b>			
<b>SUNSET VILLA AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION</b>			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
City Project No.	Zone Map No. K-12-Z	Sheet 2	Of 2







PROJECT NUMBER:  
APPLICATION NUMBER:

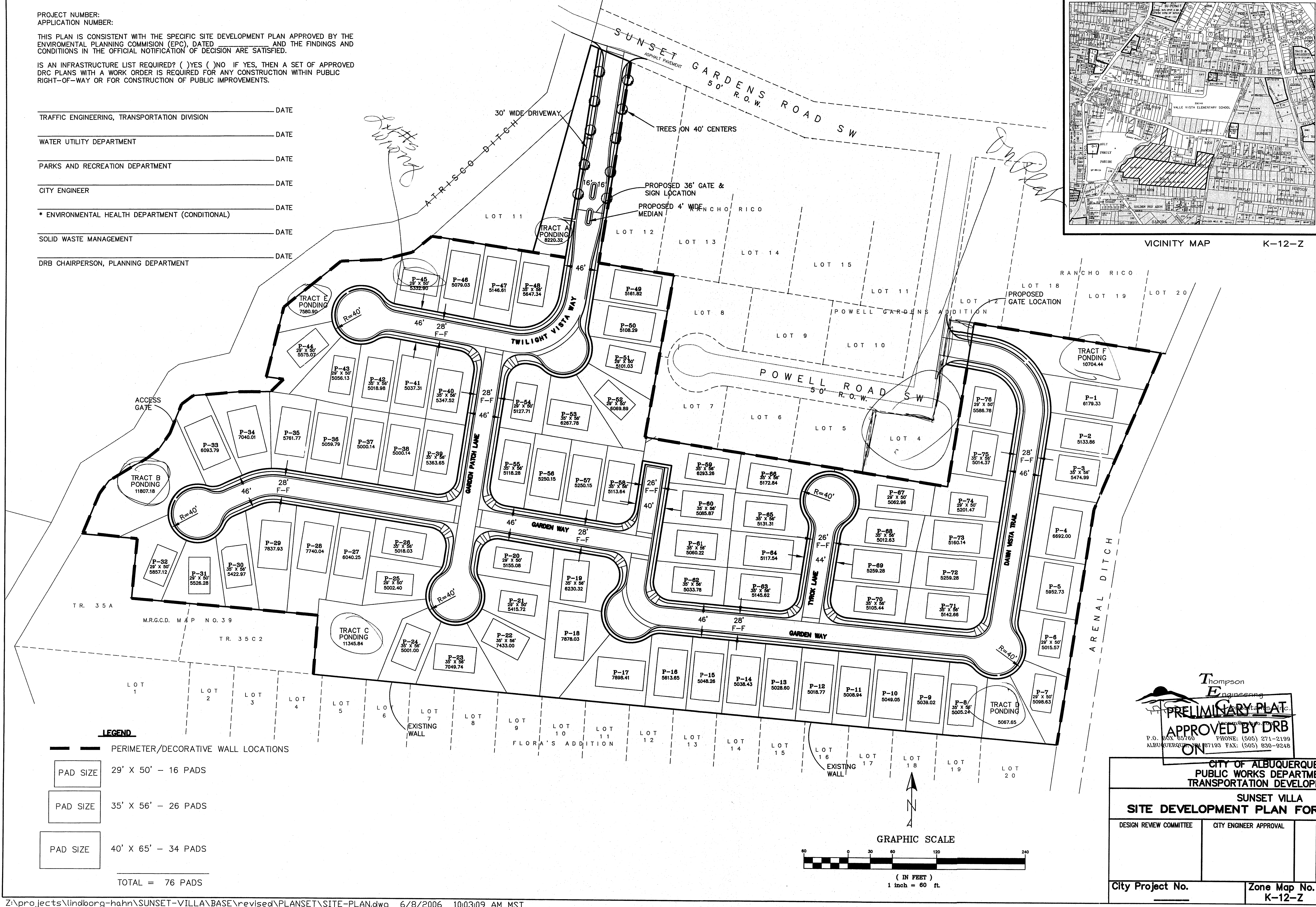
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED \_\_\_\_\_ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_  
 WATER UTILITY DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
 \* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_  
 SOLID WASTE MANAGEMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_



VICINITY MAP K-12-Z



**LEGEND**

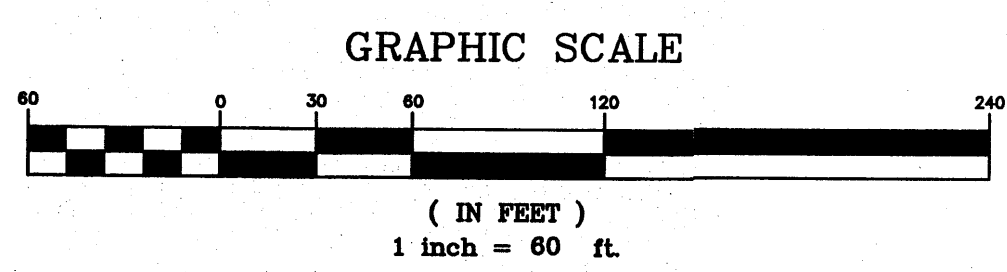
PERIMETER/DECORATIVE WALL LOCATIONS

PAD SIZE 29' X 50' - 16 PADS

PAD SIZE 35' X 56' - 26 PADS

PAD SIZE 40' X 65' - 34 PADS

TOTAL = 76 PADS

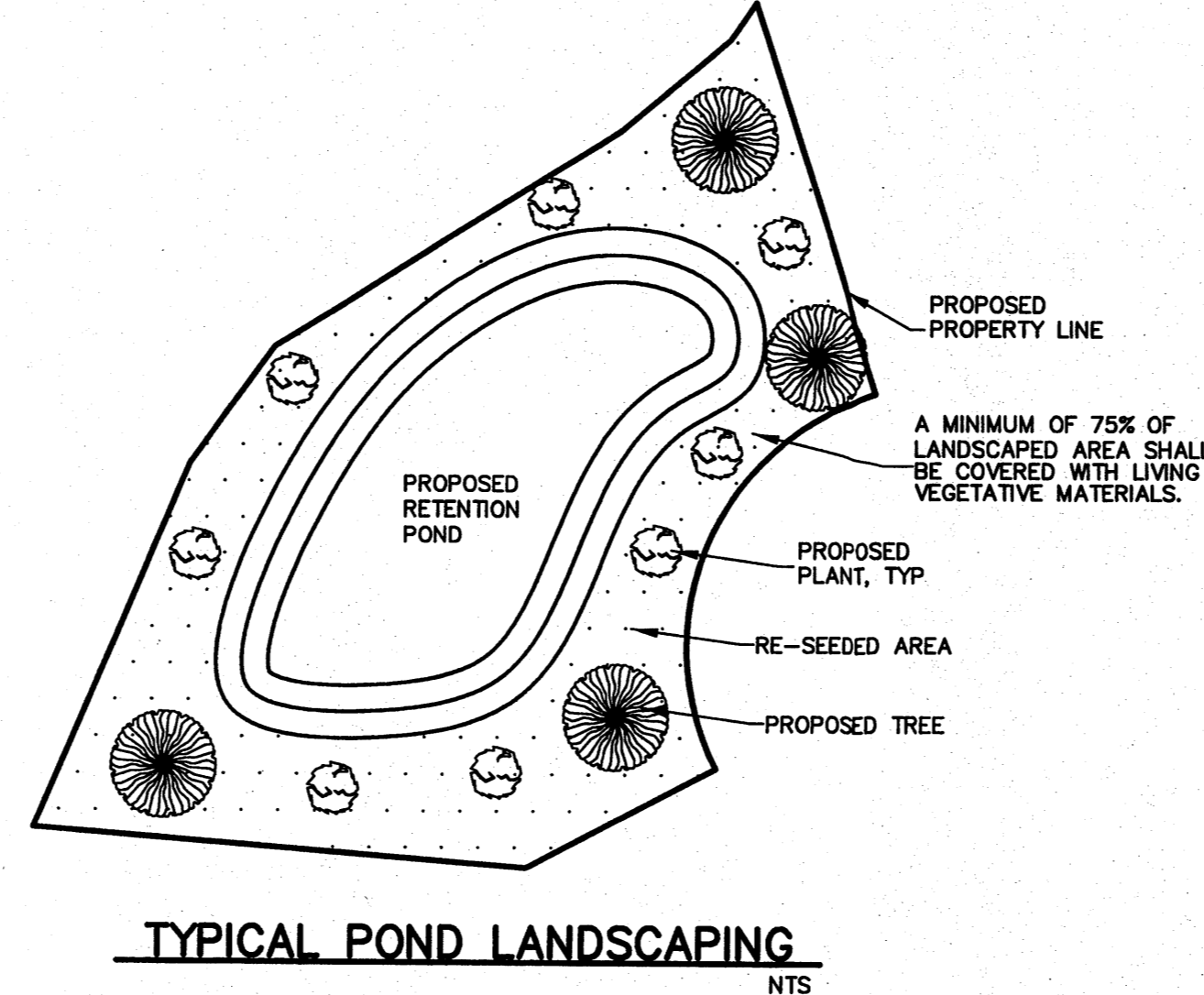
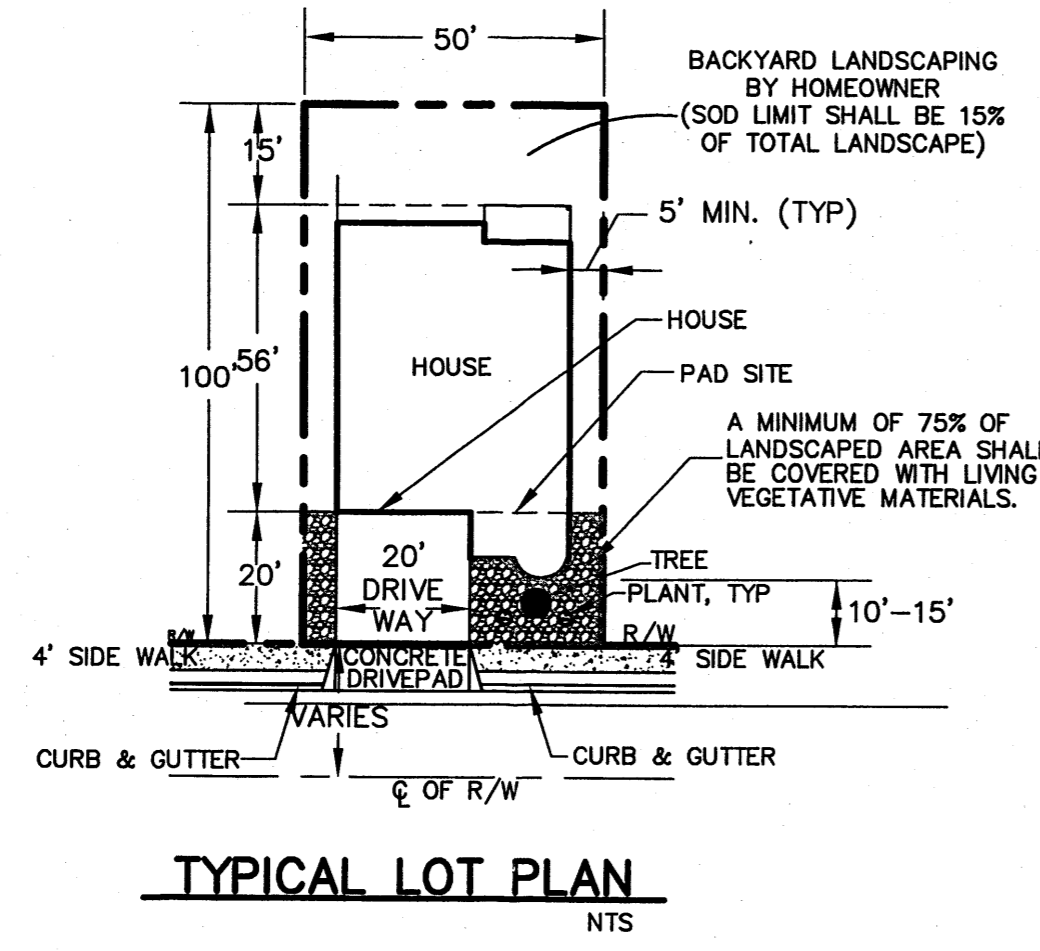


Thompson  
Engineering  
**PRELIMINARY PLAN**  
APPROVED BY DRB  
ON

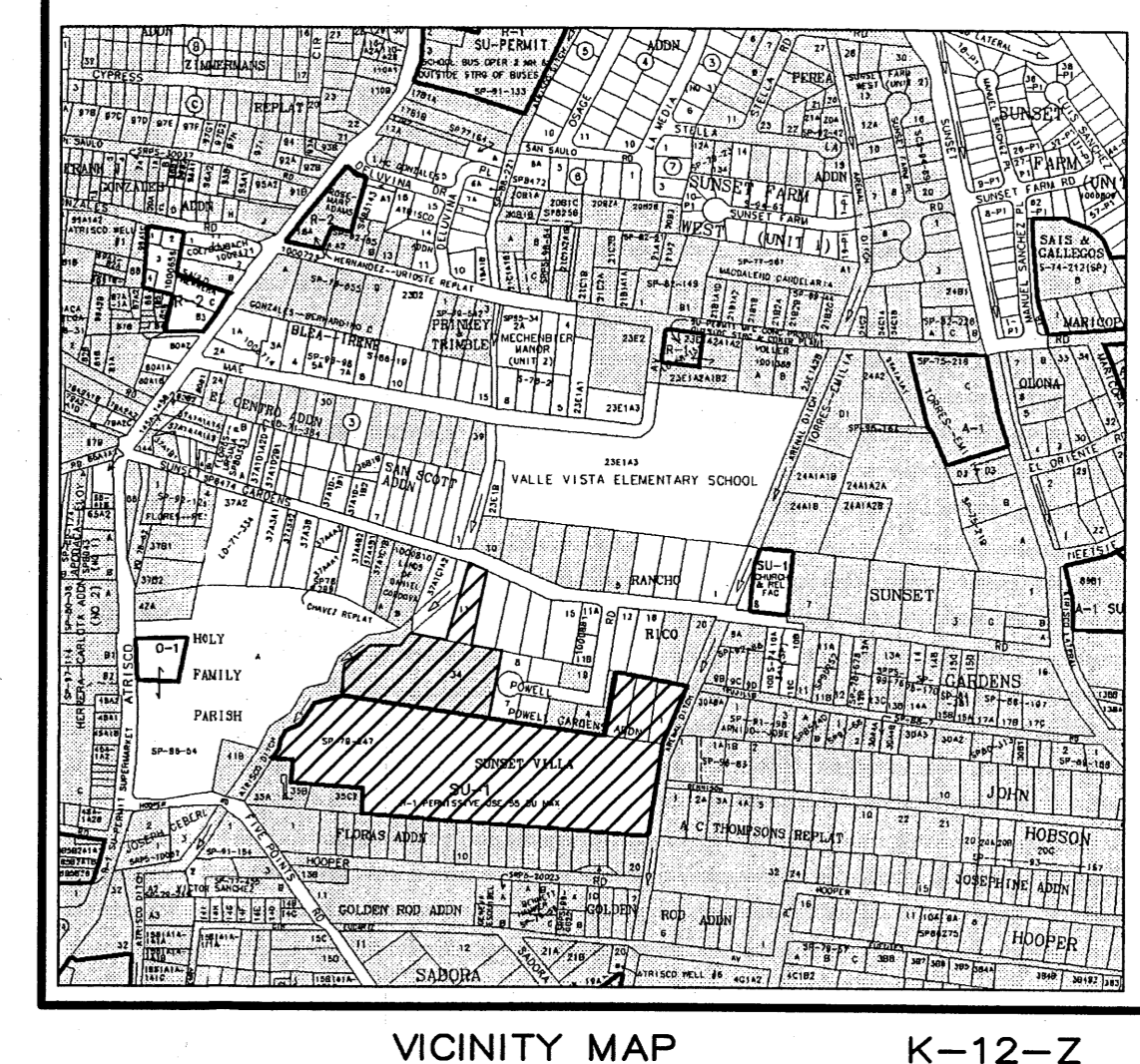
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TRANSPORTATION DEVELOPMENT			
SUNSET VILLA SITE DEVELOPMENT PLAN FOR SUBDIVISION			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
City Project No.	Zone Map No. K-12-Z	Sheet 1	Of 2

CONTRACTOR	DATE	INSPECTOR'S	DATE	FIELD	DATE	VERIFICATION BY	DATE	MICRO-FILM INFORMATION	DATE
	NO.		NO.		NO.		NO.		
BENCH MARK	NO.	SURVEY INFORMATION	NO.	ENGINEER'S SEAL	NO.	REMARKS	NO.	DESIGN	NO.
	BY		BY		BY		BY		





PLANT MATERIALS TO BE USED FOR ENTRANCE LANDSCAPING, POND LANDSCAPING AND FRONT YARD LANDSCAPING.  
 TREES: DESERT WILLOW, TEXAS HONEY MESQUITE, VITEX  
 SHRUBS: CHAMISA, DESERT BROOM, FAIRY DUSTER  
 WILDFLOWERS AND GARDEN: PERENNIAL MIXTURE  
 GRASSES: BLUE GRAMMA, INDIAN RICEGRASS, LITTLE BLUESTEM



**SITE DEVELOPMENT PLAN FOR SUBDIVISION DESIGN REQUIREMENTS**

The subject property consists of three separate parcels which are being developed as a gated community of seventy six (76) residential lots:  
 An 11.6 acre property annexed and zoned SU-1 in 1988. (AX-88-1, Z-88-1.) This parcel was then zoned SU-1 PRD, 62 dwelling units maximum in 2004 (Project # 1003281.)  
 A 2.44-acre property annexed and zoned SU-1 PRD, 14 dwelling units maximum in 2005 (Project# 1003613.)  
 Lot 11 Rancho Rico Subdivision, zoned R-1, included in the site plan because it provides access from Sunset Gardens Road and contains the access gate.

Maximum and minimum number of dwelling units: there shall be seventy six (76) single family detached dwelling units for an approximate density of approximately 5.2 dwelling units per acre.  
 Maximum and minimum lot sizes: the minimum lot size will be 50' x 100', although many of the lots will be either wider or deeper. The mean average lot size will be approximately 5803 square feet.  
 Maximum building height: 26 feet in all locations as controlled by the R-1 zone.

Building setbacks: To minimize the dominance of garages on the streetscape, the front yard setback shall be varied between a 10-foot minimum and 15 foot maximum. Garages shall be at least twenty (20) feet from the street. Rear yard setback shall be 15 feet. Side yard setbacks shall be 10 feet on the street side of corner lots; otherwise there shall be a required side yard setback of 5 feet. There shall be a distance of not less than 10 feet between residential buildings.

Architectural design standards: There shall be no specific architectural style required for individual dwellings. Acceptable styles include Territorial, Pueblo, Southwestern, Northern New Mexico or comparable styles. The dwellings may be single or two story subject to the height requirements set out herein. The permissible exterior wall materials shall include brick, wood, earth tone stucco or any combination thereof. The dwellings will have a variety of flat, shed or pitched roofs, with gravel, metal, tile or composite roof materials as appropriate. The color of each roof shall compliment the exterior color of the dwelling. At least 50% of the homes shall include a porch/portal or courtyard at the front of the house.

Placement of mechanical units: these units shall be located on the ground or, if roof mounted shielded from view from the public right of way.

Grading and drainage: A grading and drainage plan will be prepared and submitted for approval to the City in conjunction with the Subdivision of this property. The site is relatively flat and will require a number of ponds throughout the subdivision. Included with this submittal is a conceptual grading and drainage plan.

Landscape design standards and maintenance: Landscaping in the common ownership ponding areas shall be the responsibility of the Developer. The landscaping in the front and street side yards shall be installed by the Builder of each unit and shall include at least one tree and low water use indigenous plants. Landscaping of the other areas of each lot and continued maintenance of the entire lot is the responsibility of the homeowner.  
 A minimum of 75% of the landscape area in the front yard shall be covered with living, vegetative materials, calculated from the mature spread of the plants. See typical lot plan and typical pond landscaping for landscaping. Maintenance of the pond, entrance and common area landscaping will be the responsibility of the homeowners association.

Off street parking: 2 standard off street parking spaces will be provided for each dwelling, in addition to garage space, if provided.

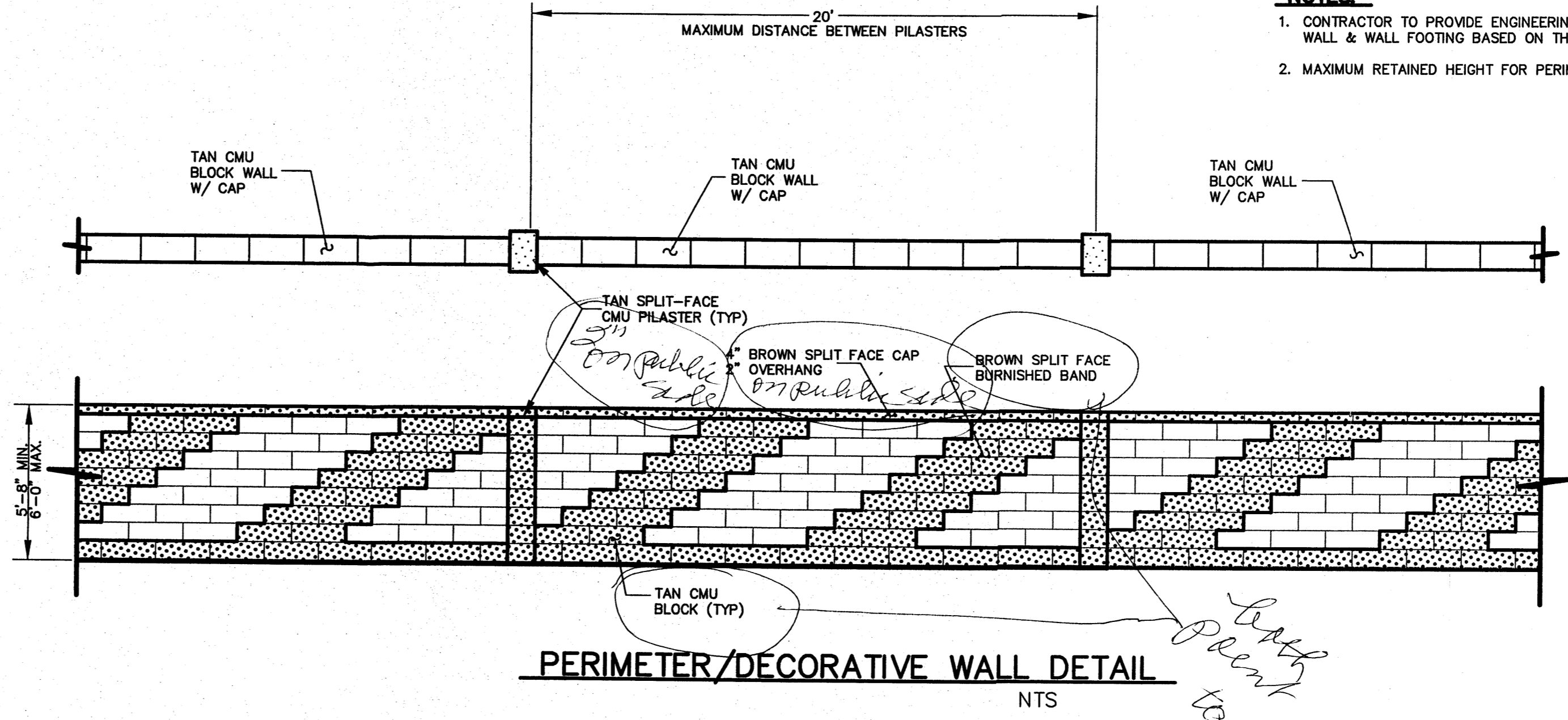
Site lighting and signage: No project site lighting is planned, but streetlights will be allowed if deemed appropriate by PNM. There will be a single project sign at the primary entrance to the subdivision.

Design of walls and fences visible from public right of way: A perimeter wall location is shown on the combined site plan. The perimeter wall design shown on this sheet meets the City's wall standards and will be included on the Development Review Board (DRB) submittal.

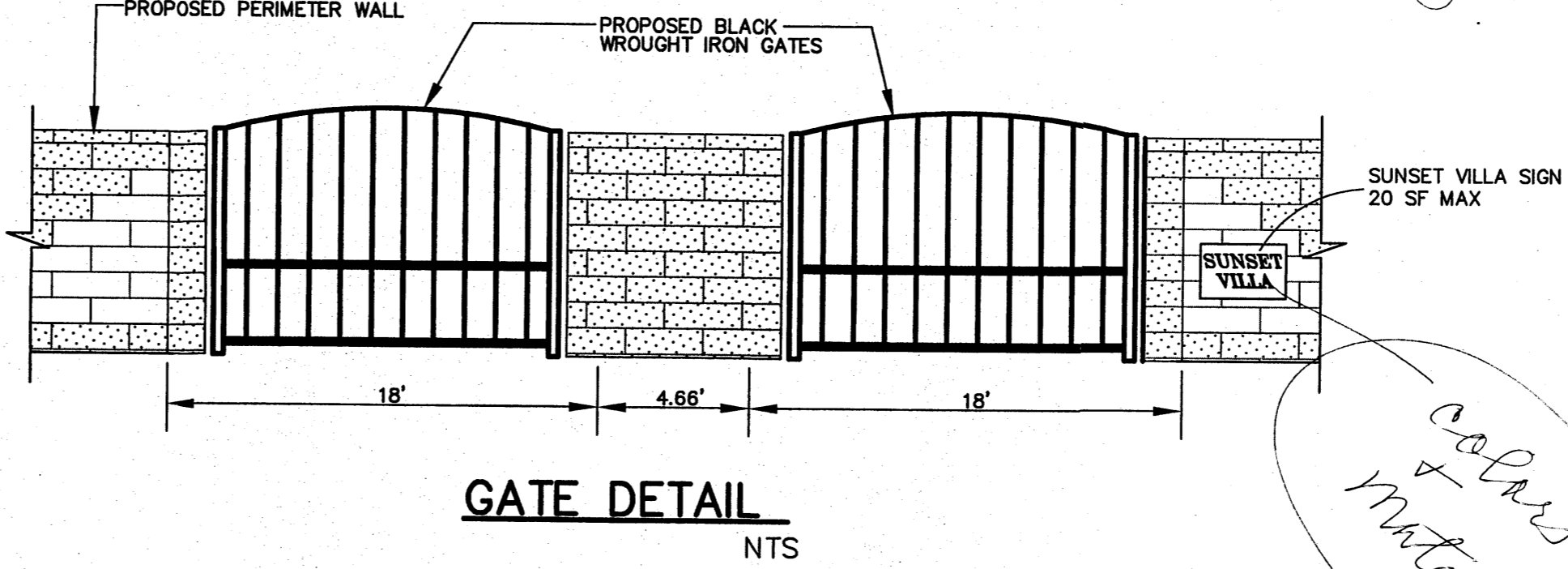
Pedestrian amenities: Public 4-foot sidewalks shall be provided on all private streets within the development.

Accessory buildings: Lots less than 6000 square feet in size shall be limited to one accessory building per lot, maximum height of 10 feet, maximum of 160 square feet in size. Lots greater than 6000 square feet may have two accessory buildings, maximum height of 10 feet, maximum of 600 square feet in size (combined).

Site Plan(s) for Building Permit: Individual site plans for building permit shall not be required except as may be required for building permit approval under the UBC.



**NOTES:**  
 1. CONTRACTOR TO PROVIDE ENGINEERING DESIGN FOR REINFORCED WALL & WALL FOOTING BASED ON THE SITE GEOTECHNICAL REPORT.  
 2. MAXIMUM RETAINED HEIGHT FOR PERIMETER WALL IS 1'-6".



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**CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TRANSPORTATION DEVELOPMENT**

**SUNSET VILLA SITE DEVELOPMENT PLAN FOR SUBDIVISION**

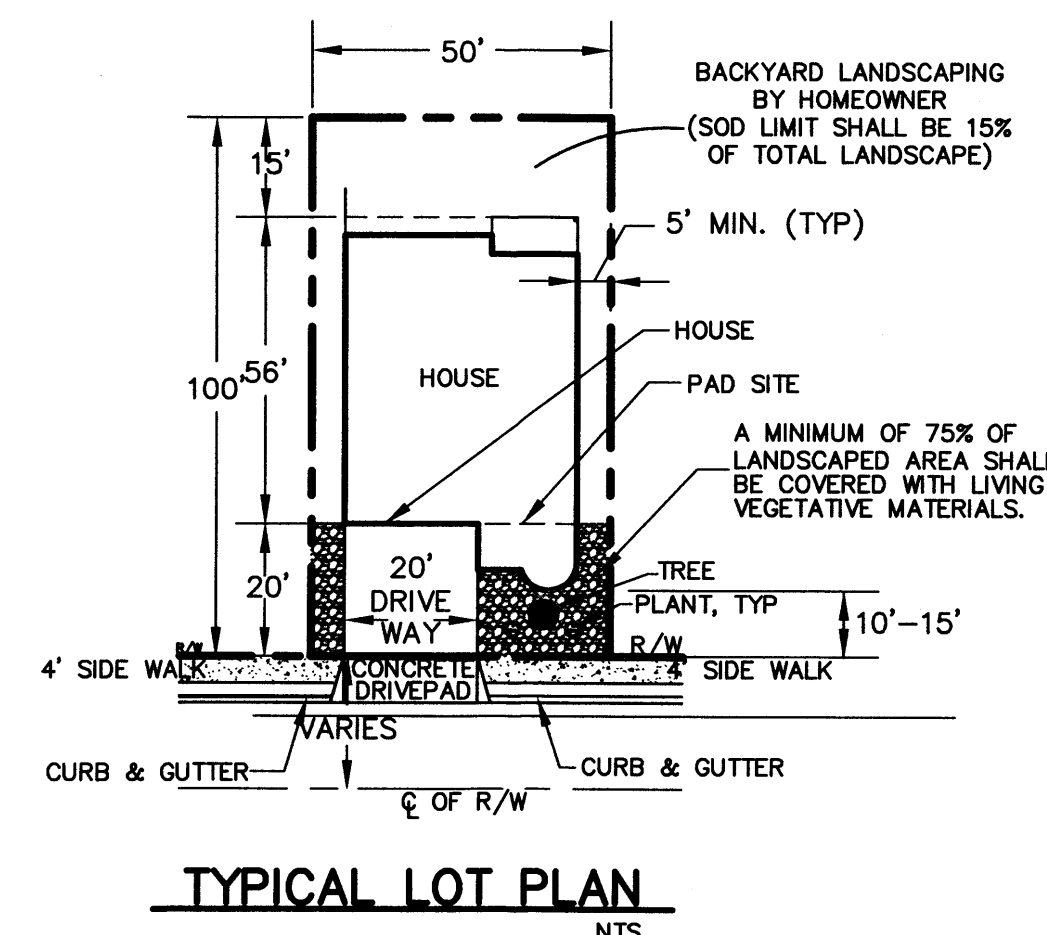
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
City Project No.	Zone Map No. K-12-Z	Sheet 2	Of 2

AS BUILT INFORMATION			
CONTRACTOR	DATE	INSPECTOR'S DATE	DATE
WORK STAKED BY	DATE	FIELD VERIFICATION BY	DATE
INSPECTOR'S DATE	DATE	FIELD VERIFICATION BY	DATE
MICRO-FILM INFORMATION			NO.
RECORDED BY			DATE
BENCH MARK			
	DATE		
SURVEY INFORMATION			
NO.	DATE	BY	
ENGINEER'S SEAL			
	REMARKS	BY	
	DESIGN		
	DATE	DATE	DATE

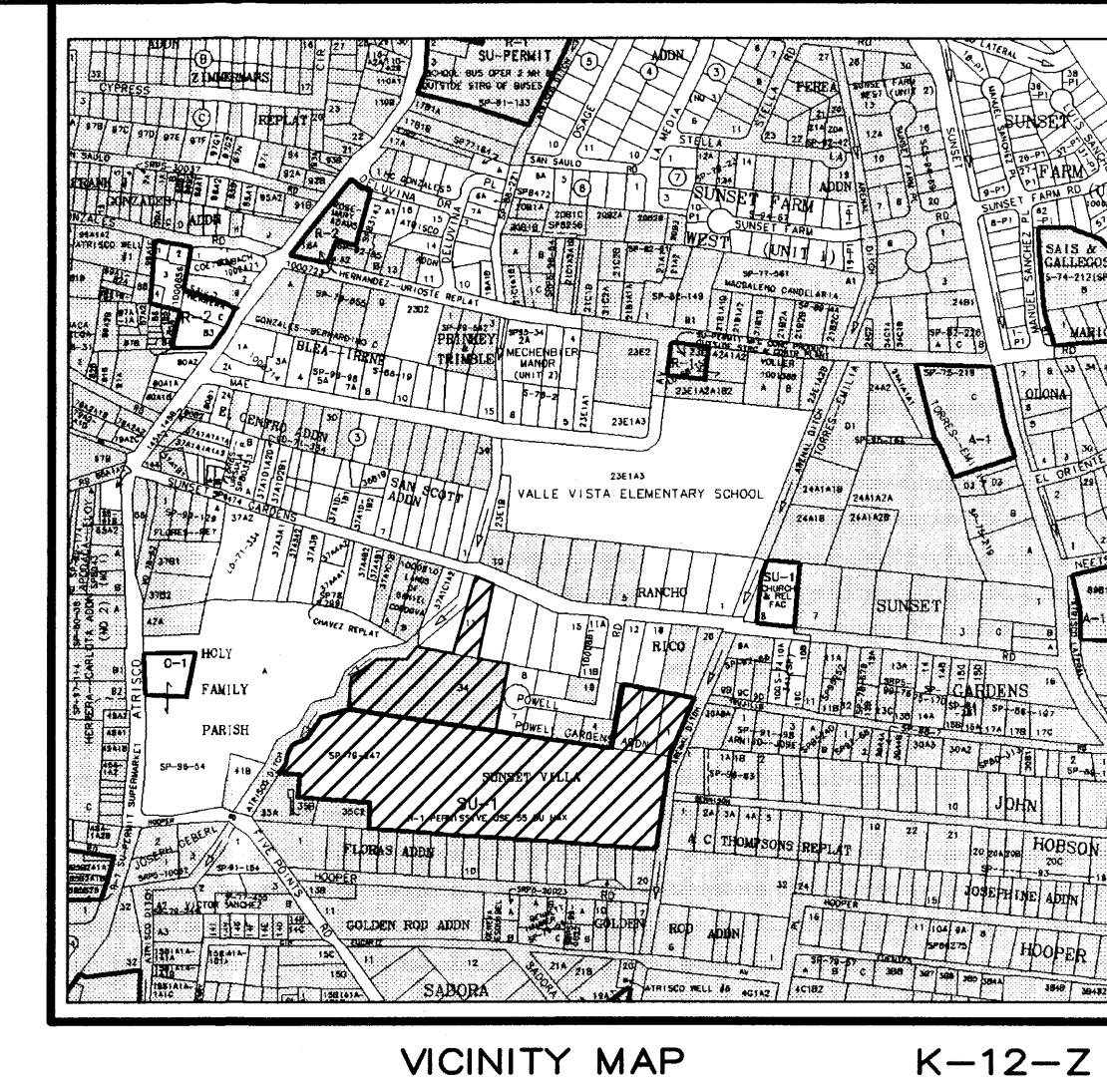








PLANT MATERIALS TO BE USED FOR ENTRANCE LANDSCAPING AND FRONT YARD LANDSCAPING.  
 TREES: DESERT WILLOW, TEXAS HONEY MESQUITE, VITEX  
 SHRUBS: CHAMISA, DESERT BROOM, FAIRY DUSTER  
 WILDFLOWERS AND GARDEN: PERENNIAL MIXTURE  
 GRASSES: BLUE GRAMMA, INDIAN RICEGRASS, LITTLE BLUESTEM



NOTES:  
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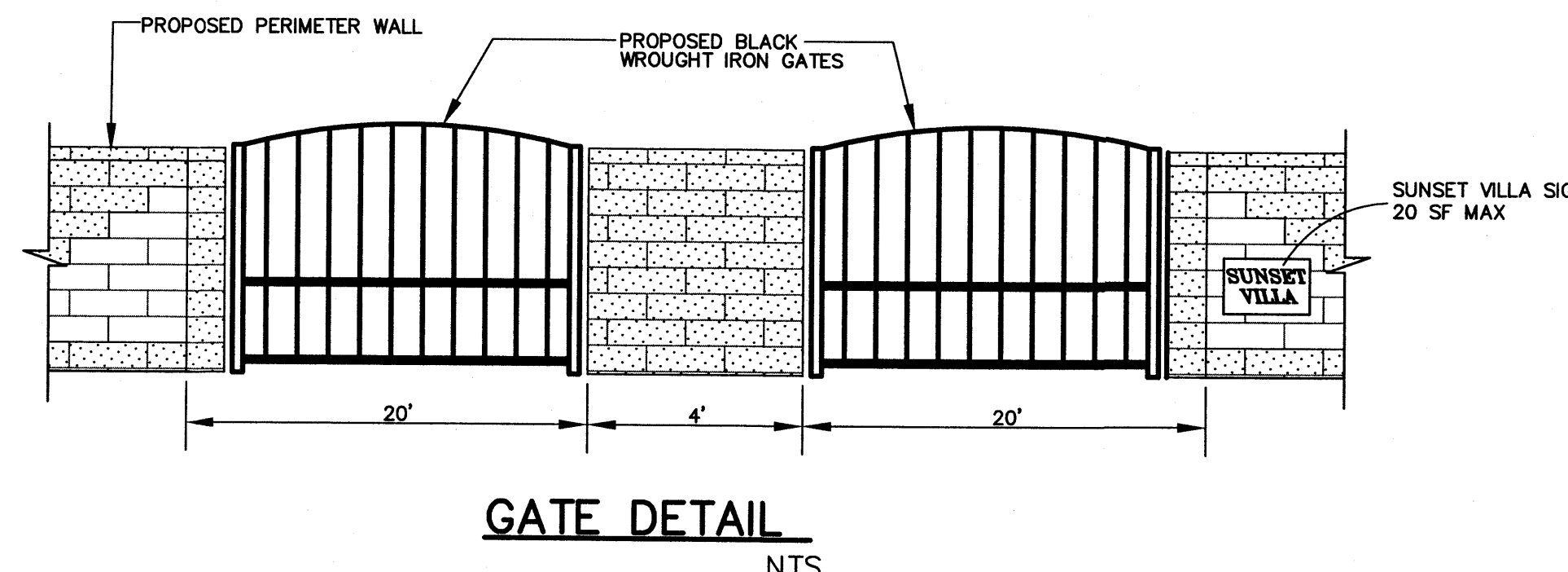
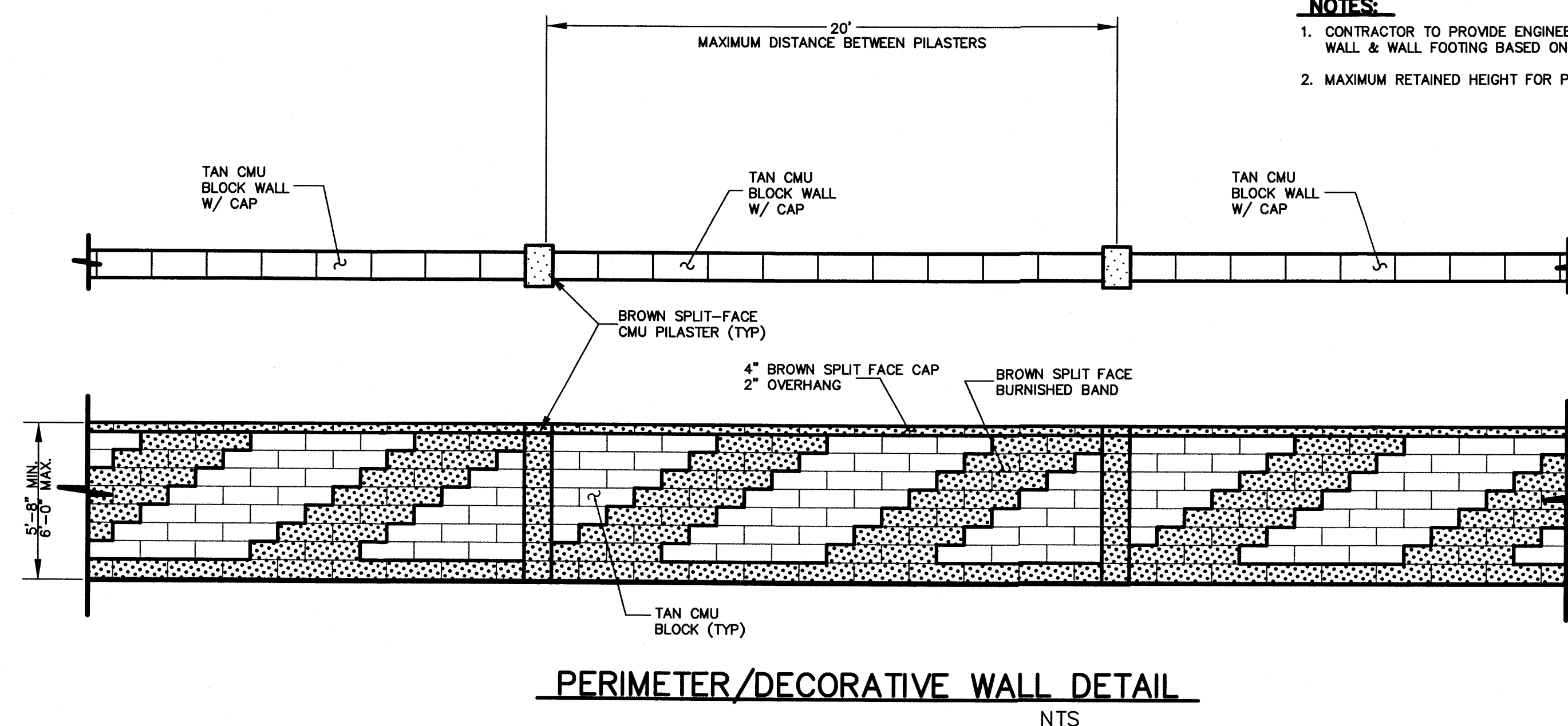
**Site lighting and signage:** No project site lighting is planned, but streetlights will be allowed if deemed appropriate by PNM. There will be a single project sign at the primary entrance to the subdivision.

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AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK BY	DATE
INSPECTORS	DATE
ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
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MICRO-FILM INFORMATION	DATE
RECORDED BY	NO.
BENCH MARK	
SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY
ENGINEER'S SEAL	
REMARKS	BY
NO. DATE	DESIGN DATE
	DRAWN BY DATE
	CHECKED BY DATE

CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 TRANSPORTATION DEVELOPMENT

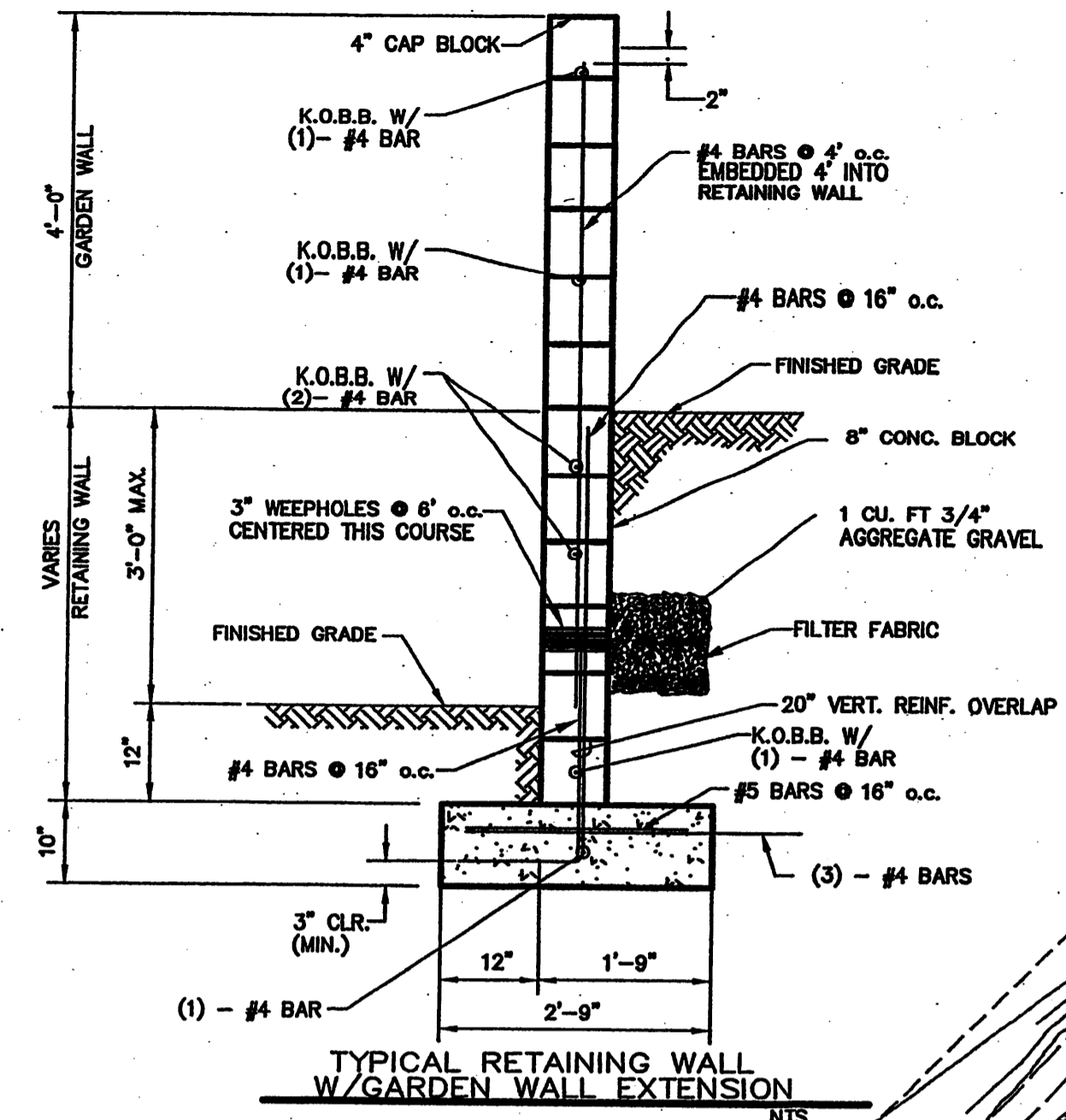
SUNSET VILLA  
 SITE DEVELOPMENT PLAN FOR SUBDIVISION

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

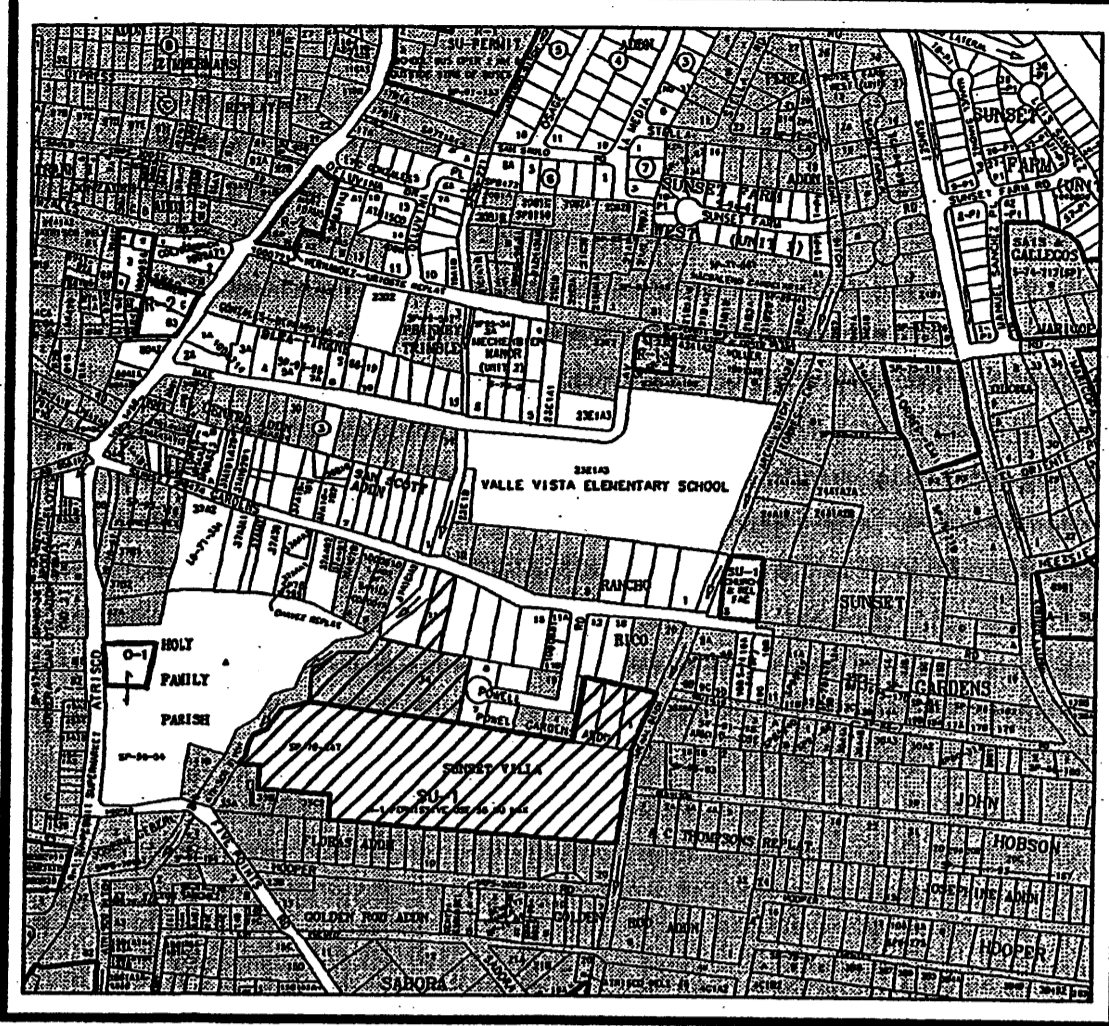




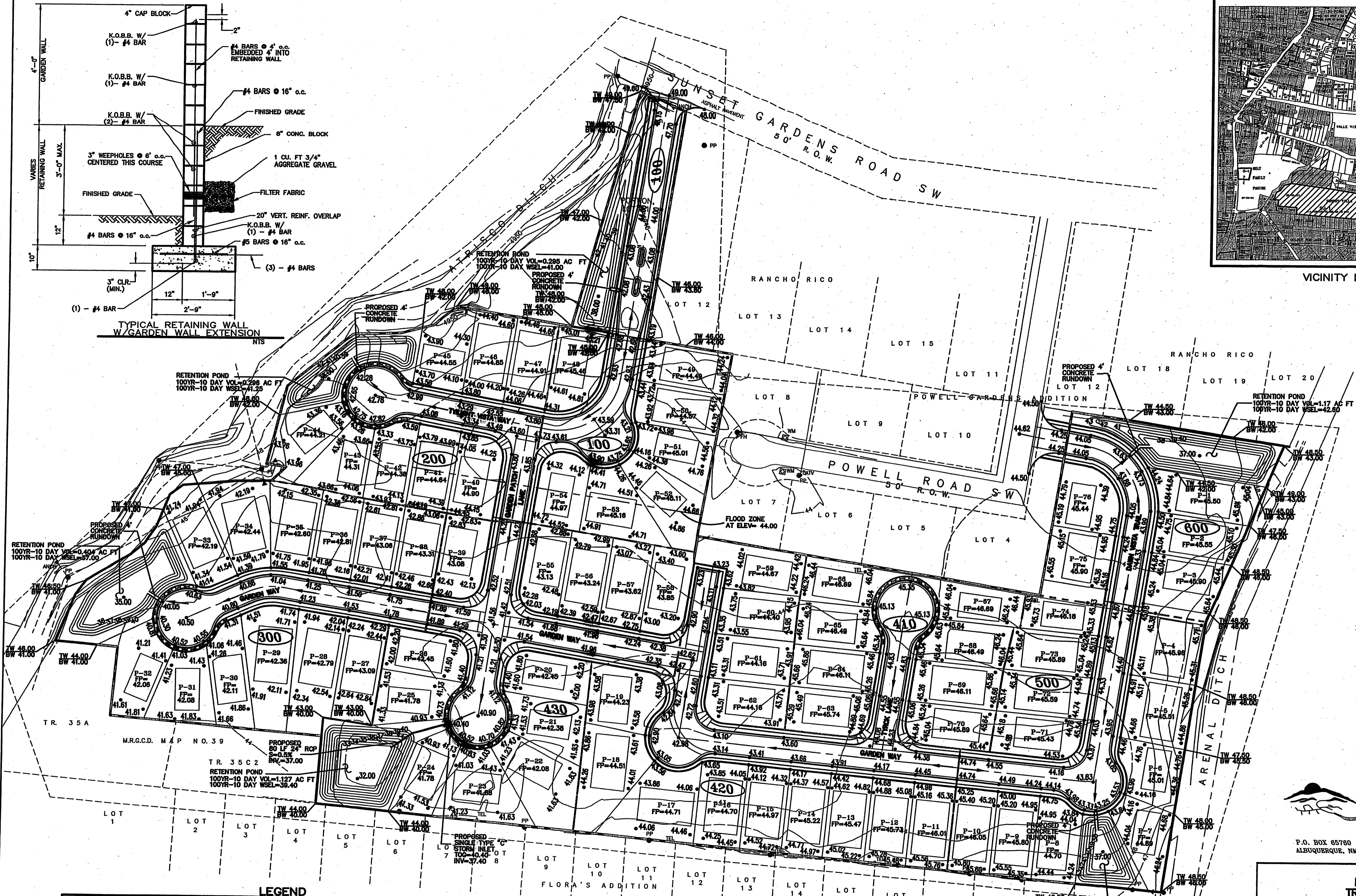




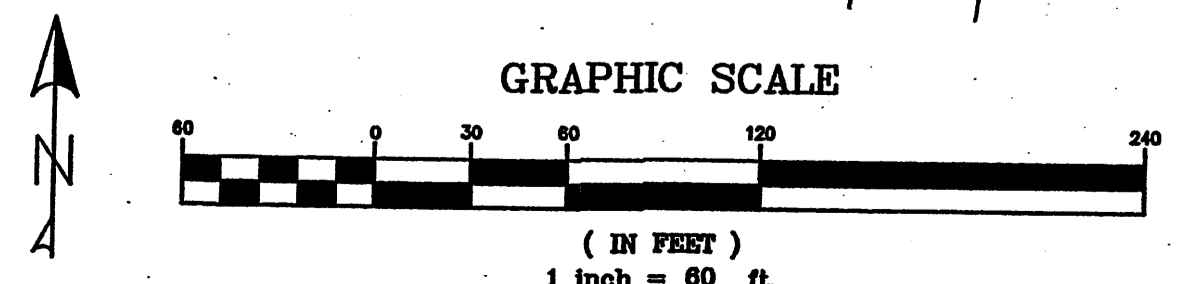
TYPICAL RETAINING WALL  
W/GARDEN WALL EXTENSION



VICINITY MAP K-12-Z



LEGEND			
15.90	PROPOSED SPOT ELEVATION	---	PROPOSED BASIN BOUNDARY
---	EXISTING FLOOD ZONE	→	PROPOSED FLOW DIRECTION
---	EXISTING CONTOUR	---	PROPOSED CONTOUR
100	PROPOSED BASIN NUMBER	---	PROPOSED CONCRETE RUNDOWN
		---	PROPOSED RETAINING WALL



AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK STAGED BY	DATE
ACCEPTANCE BY	DATE
FIELD ACTION BY	DATE
DRAWING BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	NO.

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	NO.

ENGINEER'S SEAL	
NO.	DATE
BY	DATE
DESIGN	DATE
DRAWN BY	DATE
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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TRANSPORTATION DEVELOPMENT GRADING AND DRAINAGE PLAN FOR SUNSET VILLA			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
City Project No.	Zone Map No.	Sheet	Of
	K-12-Z	1	1